



CITY OF ROCKWALL

HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Historic Preservation Advisory Board
DATE: October 17, 2019
APPLICANT: Michael Cheatham; *WillowCreek Custom Homes*
CASE NUMBER: H2019-012; *Building Permit Fee Waiver*

SUMMARY

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Building Permit Fee Waiver for exterior modifications to a High Contributing Property identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

BACKGROUND

The applicant is requesting approval of a building permit fee waiver in conjunction with a Certificate of Appropriateness [Case No. H2019-011] and a small neighborhood matching grant [Case No. H2019-013] to allow the expansion of a single-family home in order to add a garage and a breezeway. The subject property was annexed prior to 1959, zoned Single-Family 7 (SF-7) District, is situated within the Historic Overlay (HOV) District, and is addressed as 401 N. Fannin Street. The subject property is recognized as a *High Contributing Property*, which indicates the property retains a high degree of architectural and physical integrity and possesses strong associations concerning the structure's historic context. The home is approximately 2,447 SF, and -- based on the 2017 Historic Resources Survey -- the main area was considered to have been constructed in the Folk Victorian style in 1905. On June 16, 2016, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [Case No. H2018-004] to allow renovations and expansion of the existing home on the subject property. On September 21, 2017, staff initiated a *Reconsideration of Contributing Status* request after reviewing the progress of the renovation and recognizing that the high contributing designation may no longer be appropriate for the property. Following a review, the Historic Preservation Advisory Board (HPAB) passed a motion to allow the subject property to maintain its high contributing designation by a vote of 7-0. On December 20, 2018, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [Case No. H2018-022] in conjunction with a small neighborhood matching grant and a building permit fee waiver [Case No.'s H2018-023 and H2018-024] for the replacement of a fence.

CONFORMANCE TO THE BUILDING PERMIT FEE WAIVER REQUIREMENTS

According to Section 7, *Building Permit Fee Waiver*, of Article XI, *Development and Review Procedures*, of the Unified Development Code (UDC), the Historic Preservation Advisory Board (HPAB) has the ability to reduce or waive building permit fees for projects involving a minimum investment of \$5,000.00 and that are associated with exterior improvements for the rehabilitation or restoration of a property. The property must be located within the Old Town Rockwall (OTR) Historic or the Southside Residential Overlay (SRO) District. Properties classified as *non-contributing* are eligible for a 50% reduction of the required building permit fees and properties identified as *contributing* are eligible for a full waiver of building permit fees. In this case, the proposed exterior improvements are considered to be substantial in nature, and the subject property is located within the Old Town Rockwall (OTR) Overlay District and is classified as a *High Contributing* property. Based on this, the applicant is eligible

for a full waiver of the required building permit fees. Should the Historic Preservation Advisory Board (HPAB) approve this request, a total of \$690.25 of required permit fees would be waived.

CONDITIONS OF APPROVAL

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Building Permit Fee Waiver, staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



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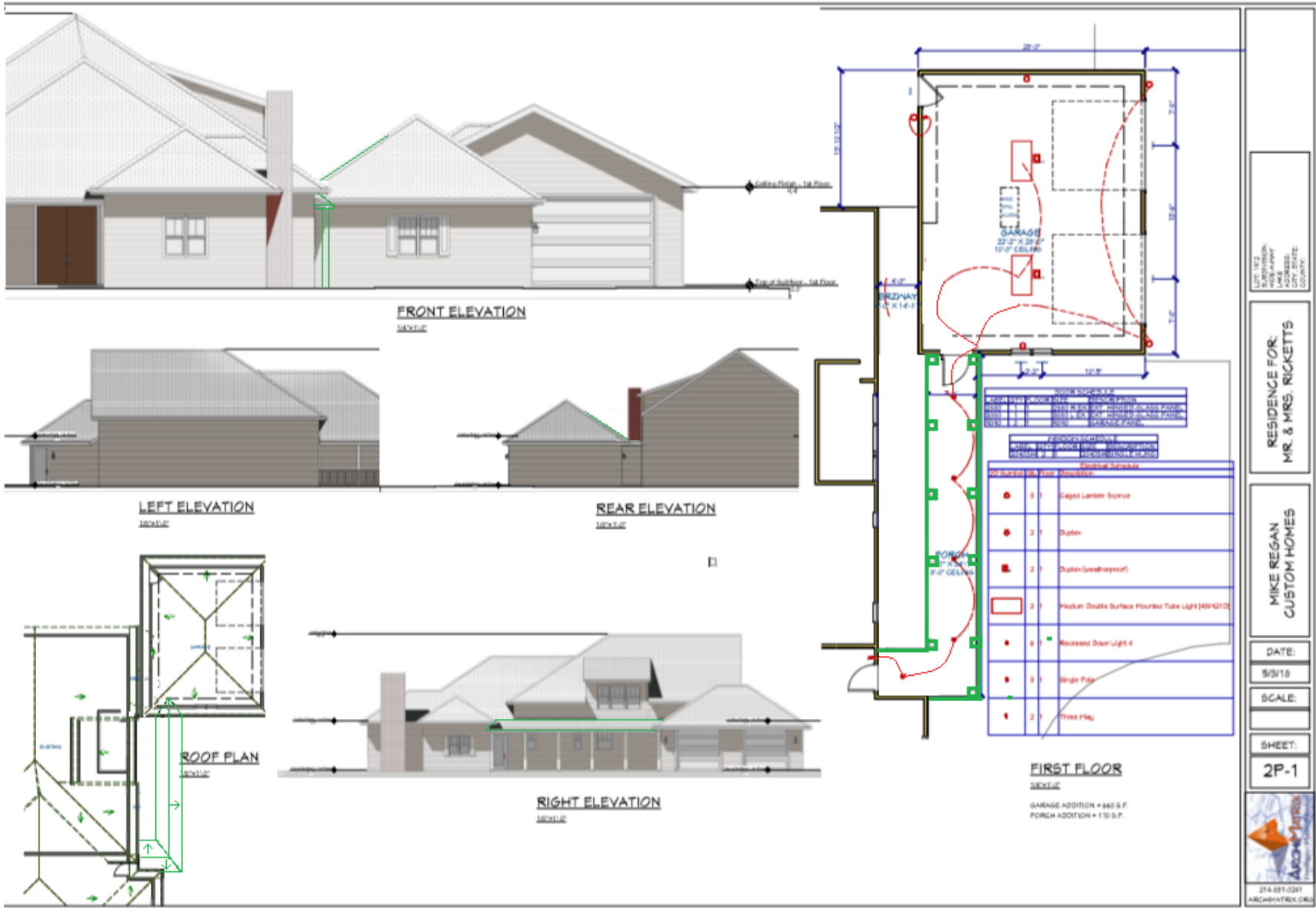


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOT: 112
SUBDIVISION:
LAKES
ADDRESS:
COUNTY:

RESIDENCE FOR:
MR. & MRS. RICKETTS

MIKE REGAN
CUSTOM HOMES

DATE:

5/5/15

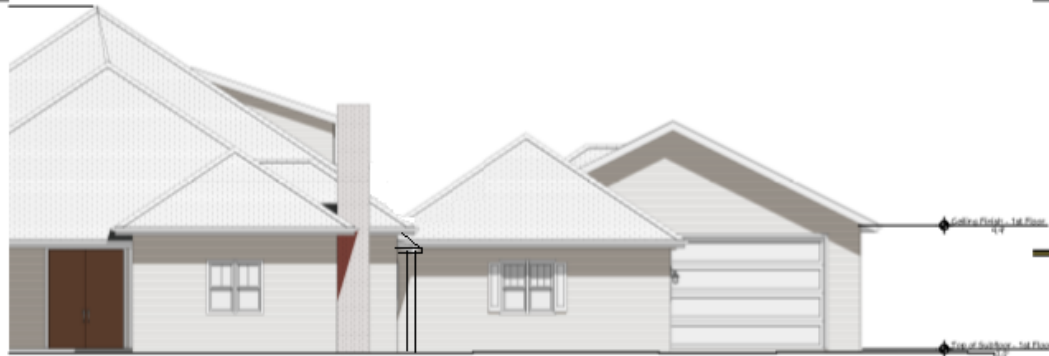
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SHEET:

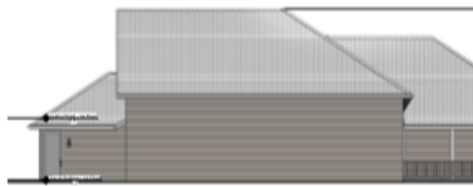
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214-651-0261
ARCHITECTURE



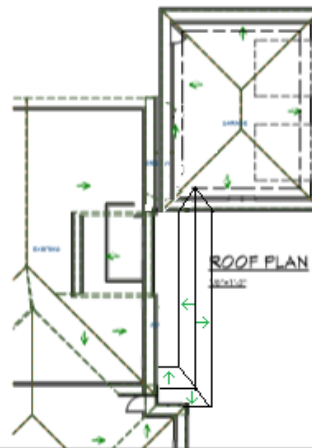
FRONT ELEVATION
1/2"x1/2"



LEFT ELEVATION
1/2"x1/2"



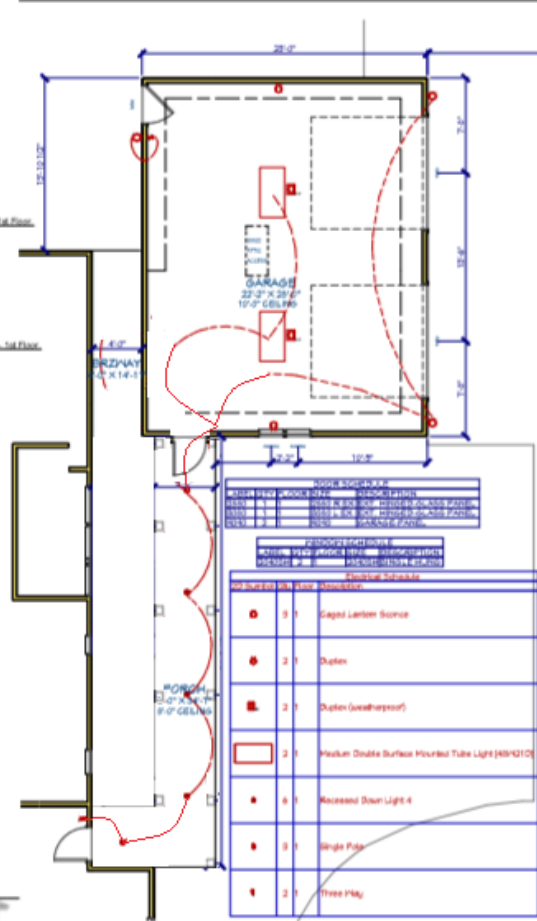
REAR ELEVATION
1/2"x1/2"



ROOF PLAN
1/2"x1/2"



RIGHT ELEVATION
1/2"x1/2"



FIRST FLOOR
1/2"x1/2"

GARAGE ADDITION = 440 S.F.
PORCH ADDITION = 170 S.F.

LOT 112
HIGHLAND
ADDRESS
CITY, STATE
ZIP

RESIDENCE FOR:
MR. & MRS. RICKETS

MIKE REGAN
CUSTOM HOMES

DATE:

5/3/18

SCALE:

SHEET:

2P-1



HHM ID 21613

401 FANNIN ST



Oct 2016

Image ID 21628



Coordinates: 32.9331818, -96.4587486

IDENTIFICATION

Parcel ID 14401

Street number 401

Street name FANNIN

Street type ST

DESCRIPTION

Type Building - Residential - Single-Family
House - Modified L-Plan

Exterior wall materials Horizontal wood board

Stylistic influences Folk Victorian

Stories 1

ROOF

Roof shape Cross-gabled, Hipped

Chimney locations Side, External

Roof materials Asphalt composition shingles

Chimney materials Brick

Number of chimneys 1

Chimney features Chimney cap

DOORS AND WINDOWS

Door types Double door primary entrance

Window materials Vinyl

Window types Double-hung

PORCH

Porch type One story, Partial width, Wrap-around

Porch support type Classical columns

Porch roof type Inset

Other porch features Jig-sawn brackets, Turned wood
balusters

LANDSCAPE

Landscape features Concrete curb

HISTORY

Year built Ca. 1910

Historic name

Source for year built Sanborn map

INTEGRITY

Alterations Windows replaced, Doors replaced

Integrity notes Compatible replacements

RECOMMENDATIONS

Recommended NRHP designations Recommended individually eligible for
the NRHP, Recommended contributing
to a NRHP district

Priority ranking High

Recommended local designations Recommended eligible as a local
landmark, Recommended contributing
to a local historic district

PRIOR DESIGNATIONS

Prior local designations High Contributing

HHM ID 21613

401 FANNIN ST

IMAGES



Oct 2016

Image ID 21628



Oct 2016

Image ID 21626

HHM ID 21613

401 FANNIN ST

IMAGES



Oct 2016

Image ID 21625



Oct 2016

Image ID 21627







101 N. Franklin St.









