

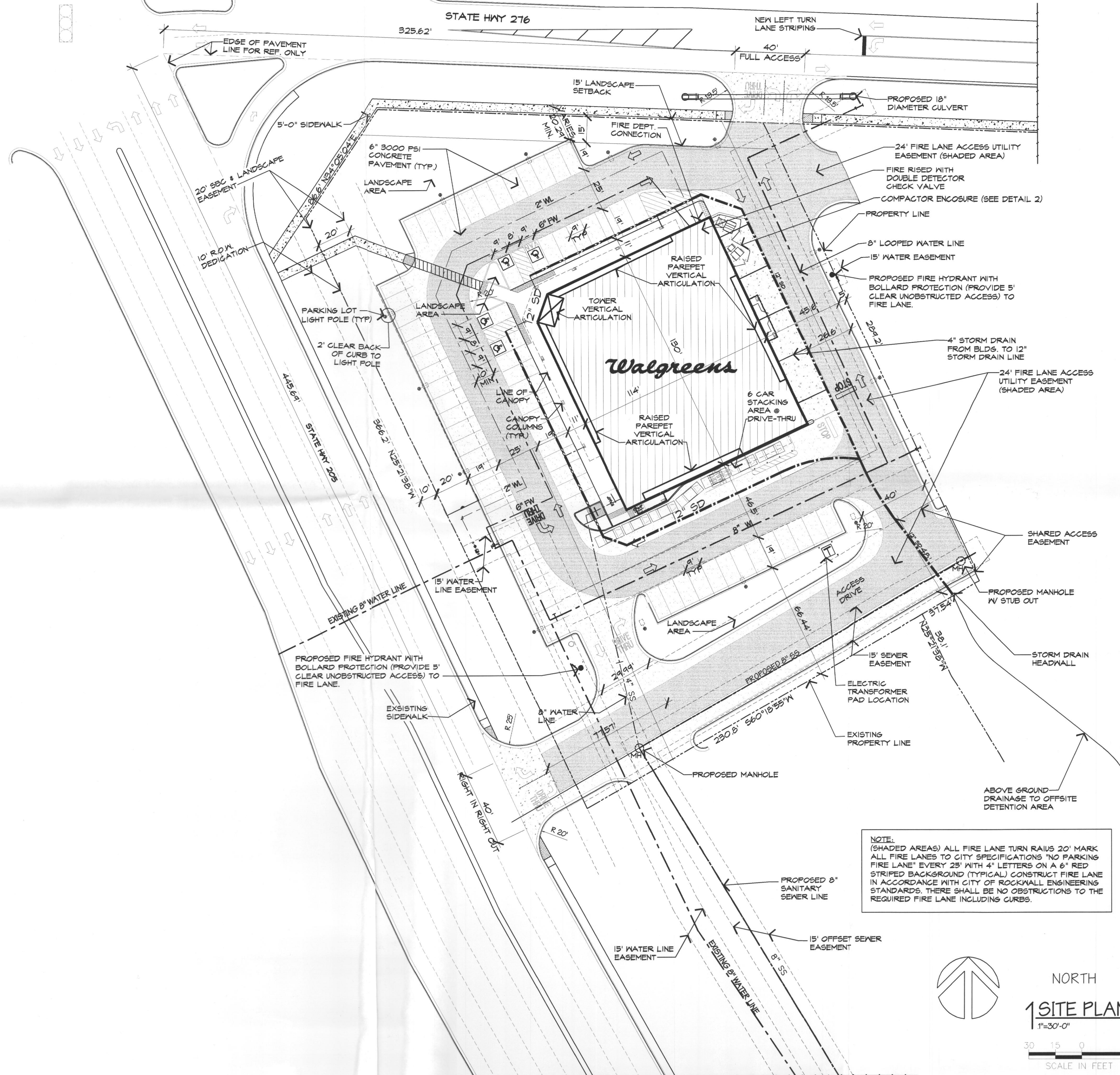
PROJECT TYPE	
DRAWINGS/SPECIFICATIONS BY:	
<input type="checkbox"/> WALGREENS' CONSULTANT	<input checked="" type="checkbox"/> LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:

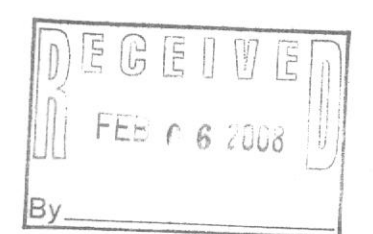
☐ WALGREENS' CONTRACTOR

☒ LANDLORD'S CONTRACTOR (CONSTRUCTION COMPANY)

STORE		BUILDING	
NEW.....	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
REMODELING....	<input type="checkbox"/>	NEW.....	<input type="checkbox"/>
RELOCATION....	<input type="checkbox"/>	EXISTING.....	<input type="checkbox"/>
OTHERS.....	<input type="checkbox"/>	NEW SHELL ONLY .	<input type="checkbox"/>



1. ALL DIMENSIONS INDICATED ARE FACE OF CURB TO FACE OF CURB.
2. ALL STORMWATER IS DRAINING TO AN OFFSITE DETENTION POND CURRENTLY UNDER DESIGN BY CIVIL ENGINEER AND WILL BE SUBMITTED TO ENGINEERING DEPARTMENT. DETENTION POND EASEMENT IS INDICATED ON THE "FINAL PLAT MEADOWCREEK BUSINESS CENTER" SUBMITTED WITH INITIAL SUBMITAL.
3. ALL PROPOSED EASEMENTS WILL BE ESTABLISHED BY SEPERATE DRAWINGS AND DOCUMENTATION.
4. APPLICATION AND SUBMITTAL FOR DRIVEWAYS, LEFT TURN STRIPING AND CULVERTS WILL BE SUBMITTED TO TEXAS DOT BY CIVIL ENGINEER.



2008 003

NO.	DATE	BY	DESCRIPTION	CONST.
①	2/4/08		CITY SITE PLAN REVIEW COMMENTS	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS
PLAN AND SPECIFICATIONS WAS
PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION AND THAT
I AM A DULY REGISTERED
ARCHITECT OR ENGINEER UNDER
THE LAWS OF THE STATE OF
TEXAS AS SIGNIFIED BY MY
HAND AND SEAL.

SITE PLAN
REVIEW
RESUBMITTAL

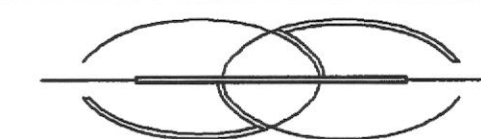
PROJECT NAME
(SEC) STATE HWY 205
& STATE HWY 276
ROCKWALL, TX

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DRAWING TITLE
SITE PLAN

DATE 00/00/2007	STORE NO.# 00000	DRAWING NO.
DRAWN BY:	WALGREENS CRITERIA: 2007	
REVIEWED BY:	SCALE: AS NOTED	
		OF 00 DWGS

FILE COPY



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cgg@callahangallup.com (e-mail)

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
☐ WALGREENS' CONSULTANT ☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
☐ WALGREENS' CONTRACTOR ☒ LANDLORD'S CONTRACTOR (CONSTRUCTION COMPANY)

STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input checked="" type="checkbox"/>
REMODELING.... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION.... <input type="checkbox"/>	NEW SHELL ONLY. <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

SIGN AREA SUMMARY

NORTH ELEVATION:
30'-7 1/2" LONG "WALGREENS" SIGN 80.32 SF
12'-10" LONG "PHARMACY" SIGN 19.2 SF
7'-9" LONG "PHOTO" SIGN 11.75 SF

EAST ELEVATION:
30'-7 1/2" LONG "WALGREENS" SIGN 80.32 SF
12'-10" LONG "PHARMACY" SIGN 19.2 SF
7'-9" LONG "PHOTO" SIGN 11.75 SF

TOTAL BUILDING SIGNAGE 222.54 SF

SITE SIGN AREA:
MONUMENT SIGN: 11.22 SF
PRIMARY PANEL 40.03 SF
I.E.D. BOARD 51.25 SF
TOTAL AREA 102.50 SF

TOTAL SITE SIGNAGE 102.50 SF

DIRECTIONAL SIGNS:

EAST ELEVATION:
10" "ENTER" INDIVID. SIGN 3.5 SF

WEST ELEVATION:
10" "EXIT" INDIVIDUAL SIGN 2.1 SF
5.6 SF

TOTAL SIGNAGE AREA: 281.09 SF



NO.	DATE	BY	CITY SITEPLAN COMMENTS	CONST.

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF TEXAS AS SIGNIFIED BY MY HAND AND SEAL.

FOR SITE
PLAN
REVIEW

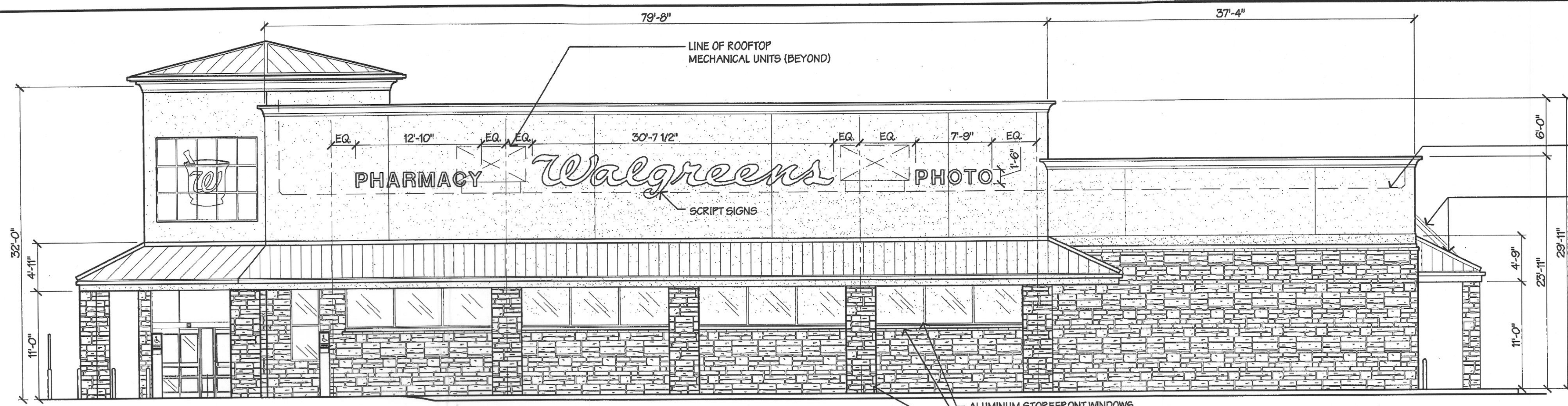
PROJECT NAME
(SEC) STATE HWY 205
& STATE HWY 276
ROCKWALL, TX

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DRAWING TITLE

EXTERIOR ELEVATIONS

DATE 01/18/2008	STORE NO.# 00000	DRAWING NO.
DRAWN BY:	WALGREENS CRITERIA: 2007	
REVIEWED BY:	SCALE: AS NOTED	
		OF 00 DWGS.

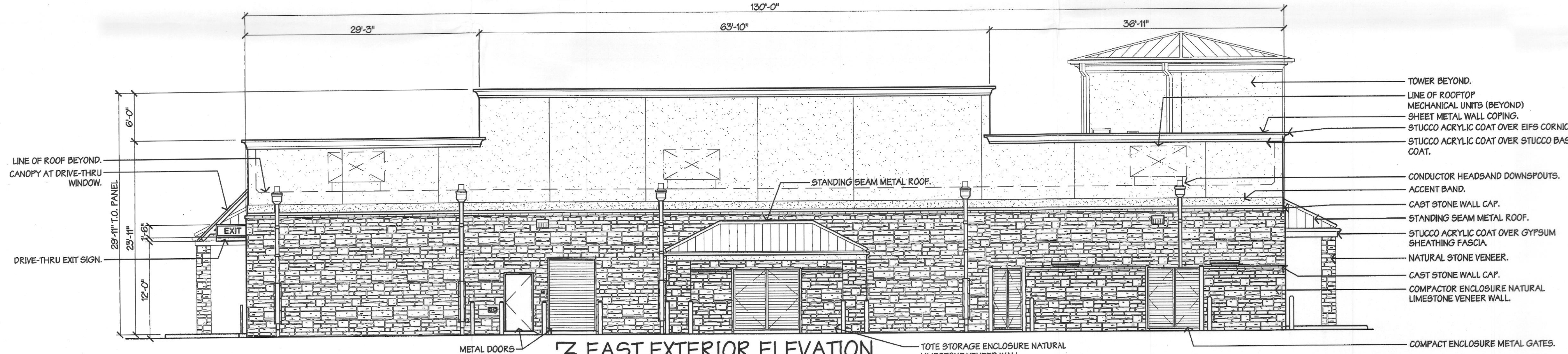


1 WEST EXTERIOR ELEVATION
SCALE 1/8"=1'-0"

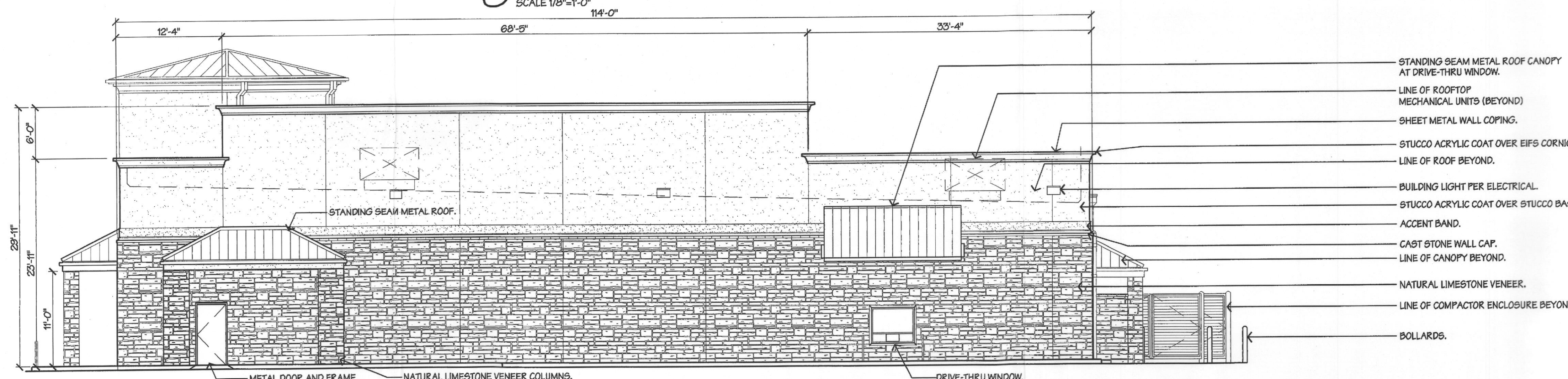
1a TOWER ELEVATION
SCALE 1/8"=1'-0"



2 NORTH EXTERIOR ELEVATION
SCALE 1/8"=1'-0"



3 EAST EXTERIOR ELEVATION
SCALE 1/8"=1'-0"



4 SOUTH EXTERIOR ELEVATION
SCALE 1/8"=1'-0"

MATERIALS

ROOFING:
BUILDING: MODIFIED BITUMINOUS ROOF MEMBRANE WITH "WHITE" CERAMIC GRANULE SURFACE.

TOWER AND CANOPIES:
FACTORY FINISHED STANDING SEAM METAL COLOR TO MATCH KYMAR 500 FLUOROCARBON FINISH "ZINC GREY".

WALL COPING, CONDUCTOR HEADS & DOWNSPOUTS:
FACTORY FINISHED SHEET METAL COLOR TO MATCH KYMAR 500 FLUOROCARBON FINISH "ALMOND".

WALLS:
FIELD COLOR: STUCCO ACRYLIC COAT OVER STUCCO BASE COAT WITH INTEGRAL COLOR MATCHING BENJAMIN MOORE "DUNE WHITE".
ACCENT BAND: STUCCO ACRYLIC COAT OVER STUCCO BASE COAT WITH INTEGRAL COLOR MATCHING BENJAMIN MOORE "BUTTE ROCK".
STONE VENEER: NATURAL LIMESTONE VENEER BLEND 50% GOLD, 50% CREAM QUARRIED FROM GALADDO QUARRY, FLORENCE, TX WITH CAST STONE WALL CAP.

ALUMINUM STOREFRONT WINDOWS:
SIDE WALL WINDOWS: CLEAR ANODIZED ALUMINUM WITH FILKINTON "EVERGREEN" TINTED GLASS.
TOWER WINDOW: CLEAR ANODIZED ALUMINUM WITH CLEAR GLASS.

AUTOMATIC ENTRANCE DOORS:
CLEAR ANODIZED ALUMINUM WITH CLEAR GLASS DOORS AND CLEAR GLASS AT TRANSOMS.

METAL DOORS AND FRAMES:
PAINTED COLOR TO MATCH BENJAMIN MOORE "STONE BROWN".

ENCLOSURE FOR TRASH COMPACTOR & TOTE STORAGE:
8" CONCRETE MASONRY UNITS WITH NATURAL LIMESTONE VENEER AND CAST STONE WALL CAP WITH METAL ENCLOSURE GATES PAINTED TO MATCH BENJAMIN MOORE "ALMOND".

BUILDING SIGNS:
SCRIPT SIGNS "WALGREENS", "PHARMACY" AND "PHOTO": RED PLEXIGLASS IN BRONZE METAL HOUSING, INTERNALLY ILLUMINATED.
DIRECTIONAL SIGNS "DRIVE THRU PHARMACY" AND "DRIVE THRU EXIT": RED PLEXIGLASS IN BRONZE METAL HOUSING, INTERNALLY ILLUMINATED.
DRIVE THRU "CLEARANCE" SIGN: ALUMINUM PANEL "YELLOW REFLECTIVE FINISH AND BLACK LETTERS."
HANDICAPPED PARKING: 7'-0" HIGH STEEL TUBE PAINTED "WHITE" STANDARD HANDICAPPED SIGN.

BOLLARDS:
4" DIAMETER STEEL PIPE WITH "GREY" POLYETHYLENE COVER, 3'-0" HIGH.

DRIVE-THRU WINDOW:
FACTORY FINISHED "GREY" STEEL FRAME AND TRANSACTION DRAWER WITH CLEAR GLASS.

BUILDING STRUCTURAL ELEMENTS

ROOF:
BUILDING: METAL DECKING OVER STEEL BAR JOISTS.
TOWER: METAL ROOF RAFTERS.

WALLS:
REINFORCED CONCRETE WALL PANELS.

FLOOR:
REINFORCED CONCRETE FLOOR SLAB.

FOUNDATION:
REINFORCED CONCRETE DRILLED PIERS AND GRADE BEAMS.

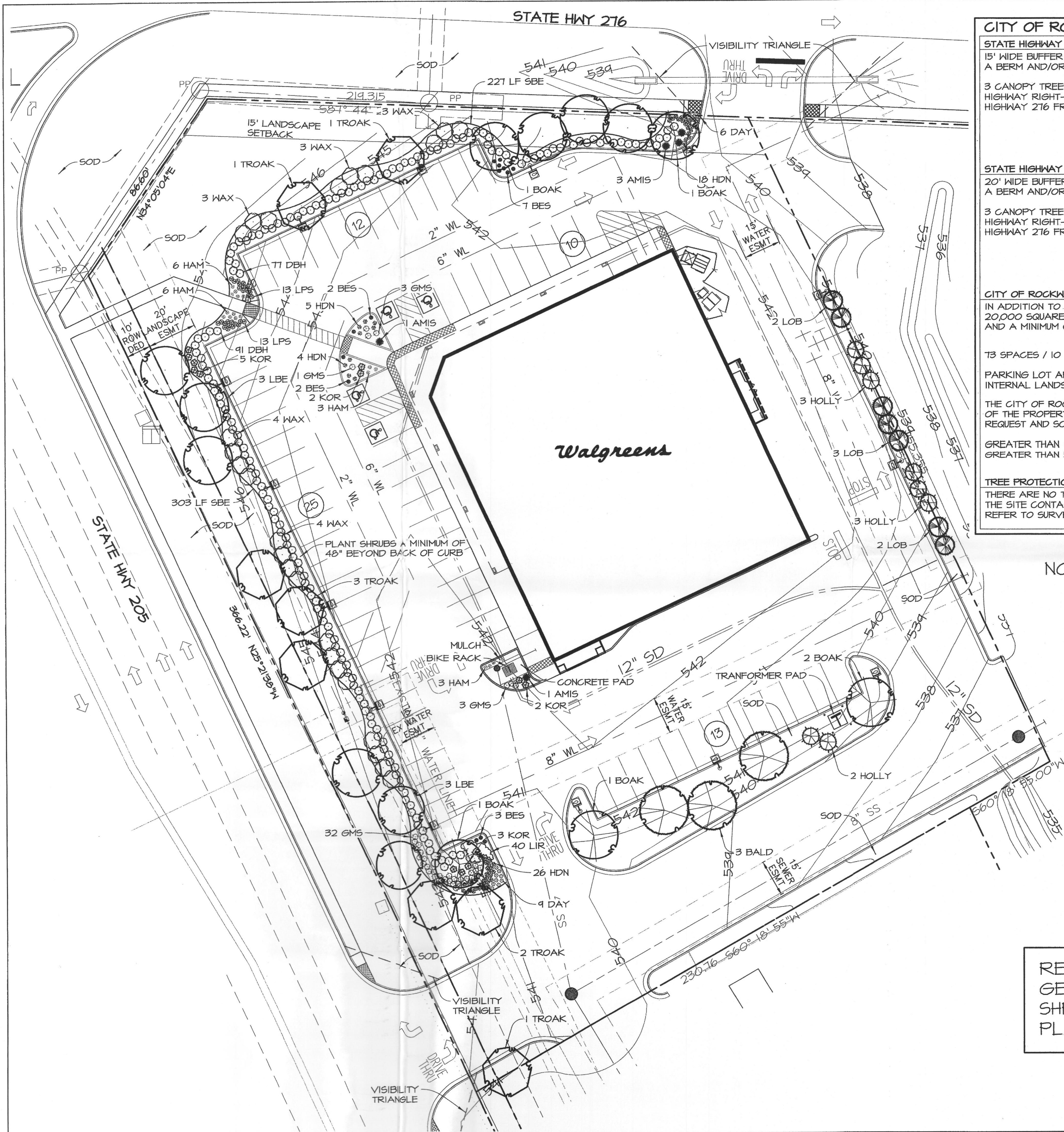
EXTERIOR WALL MATERIAL PERCENTAGE

SOUTH EXTERIOR ELEVATION:
STUCCO ACRYLIC COAT OVER STUCCO BASE COAT: 41.8%
LIMESTONE VENEER: 58.2%

EAST EXTERIOR ELEVATION:
STUCCO ACRYLIC COAT OVER STUCCO BASE COAT: 39.6%
LIMESTONE VENEER: 60.4%

NORTH EXTERIOR ELEVATION:
STUCCO ACRYLIC COAT OVER STUCCO BASE COAT: 42.7%
LIMESTONE VENEER: 57.3%

WEST EXTERIOR ELEVATION:
STUCCO ACRYLIC COAT OVER STUCCO BASE COAT: 44.8%
LIMESTONE VENEER: 55.1%



CITY OF ROCKWALL LANDSCAPE REQUIREMENTS

STATE HIGHWAY 276 CORRIDOR OVERLAY LANDSCAPE STANDARDS
15' WIDE BUFFER STRIP SHALL BE LOCATED ALONG THE PROPERTY FRONTAGE, WITH A BERM AND/OR SHRUBBERY ALONG THE ENTIRE LENGTH OF THE PROPERTY FRONTAGE.
3 CANOPY TREES AND 4 ACCENT TREES SHALL BE REQUIRED FOR EVERY 100 FEET OF HIGHWAY RIGHT-OF-WAY.
HIGHWAY 276 FRONTAGE = 219 LF

CANOPY TREES REQUIRED	PROVIDED
7	7
ACCENT TREES REQUIRED	PROVIDED
9	9

STATE HIGHWAY 205 CORRIDOR OVERLAY LANDSCAPE STANDARDS
20' WIDE BUFFER STRIP SHALL BE LOCATED ALONG THE PROPERTY FRONTAGE, WITH A BERM AND/OR SHRUBBERY ALONG THE ENTIRE LENGTH OF THE PROPERTY FRONTAGE.
3 CANOPY TREES AND 4 ACCENT TREES SHALL BE REQUIRED FOR EVERY 100 FEET OF HIGHWAY RIGHT-OF-WAY.
HIGHWAY 205 FRONTAGE = 366 LF

CANOPY TREES REQUIRED	PROVIDED
12	12
ACCENT TREES REQUIRED	PROVIDED
16	16

CITY OF ROCKWALL ARTICLE VIII LANDSCAPE STANDARDS
IN ADDITION TO THE OVERLAY REQUIREMENTS ABOVE, PARKING LOTS IN EXCESS OF 20,000 SQUARE FEET SHALL HAVE 1 CANOPY TREE FOR EVERY 10 PARKING SPACES AND A MINIMUM OF 5% OF INTERIOR LANDSCAPE AREA.

CANOPY TREES REQUIRED	PROVIDED
8	8

PARKING LOT AREA = 31,000 SF
INTERNAL LANDSCAPE AREA = 1,600 SF (5%)

THE CITY OF ROCKWALL HAS REQUESTED A ROW OF TREES ALONG THE NORTHEAST PORTION OF THE PROPERTY. EVERGREEN TREES HAVE BEEN PROVIDED TO COMPLY WITH THE CITY'S REQUEST AND SCREEN THE DUMPSTERS AND ENCLOSURES ON THE BACK SIDE OF THE BUILDING
GREATER THAN 15% OF THE SITE IS DEVOTED TO LANDSCAPING - 21,700 SF (22.7%)
GREATER THAN 50% OF THE REQUIRED LANDSCAPING IS LOCATED IN THE SITE FRONTAGE

TREE PROTECTION
THERE ARE NO TREES ON WALGREENS PROPERTY CONSIDERED A PROTECTED TREE. THE SITE CONTAINS CEDAR TREES AND HACKBERRYS THAT ARE LESS THAN 12" DBH. REFER TO SURVEY.

NO TREES WITHIN 5' OF UTILITIES

REFER TO SHEET L1.2 FOR
GENERAL NOTES, TREE AND
SHRUB PLANTING DETAIL, AND
PLANT MATERIAL SCHEDULE.

FACILITIES PLANNING, DESIGN, & ENGINEERING
108 WILMOT ROAD
DEERFIELD, IL 60015-5105

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TULSA, OK 74105
918-742-1463
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dan_hilbeck@hilbeckdesign.com

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
☐ WALGREENS' CONSULTANT ☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
☐ WALGREENS' CONTRACTOR
☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW..... <input type="checkbox"/>	<input type="checkbox"/>
REMODELING..... <input type="checkbox"/>	NEW..... <input type="checkbox"/>
RELOCATION..... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>

2008 003

Scale: 1"=20'

NO.	DATE	BY	CITY SITE PLAN COMMENTS	DESCRIPTION	CONST.
2-4-08					

REVISIONS

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FOR
SITE PLAN
REVIEW

PROJECT NAME
(SEC) STATE HWY 205
& STATE HWY 276
ROCKWALL, TX
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DRAWING TITLE
LANDSCAPE PLAN

DATE 2-6-08 CRITERIA-2007	STORE NO. # xxxxxx	DRAWING NO.
DRAWN BY: BBD	SCALE: 1"=20'-0"	L1.1
REVIEWED BY: DTA	RELEASED TO CONSTRUCTION	

