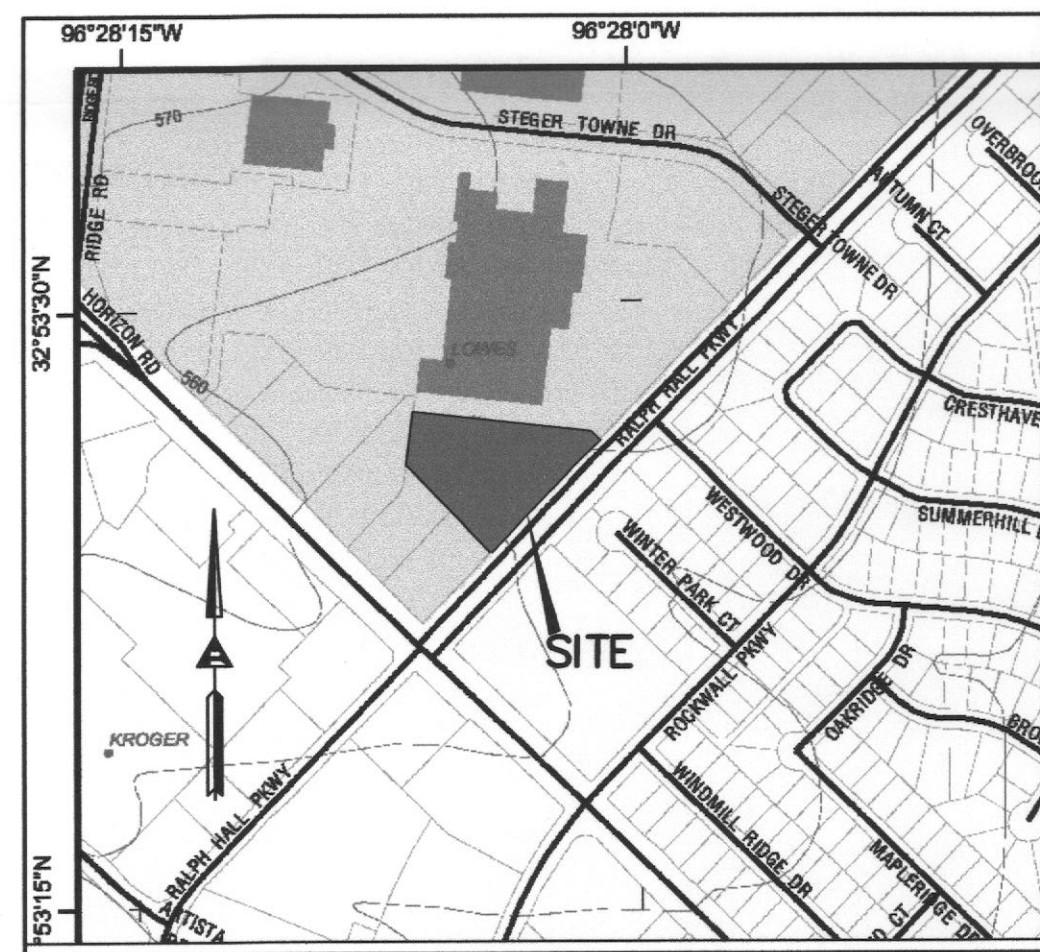


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VICINITY MAP
N.T.S.

SITE DATA SUMMARY TABLE

EXISTING ZONING:
C - COMMERCIAL DISTRICT

PROPOSED USE:
AUTO REPAIR GARAGE MINOR +
NATIONAL TIRE & BATTERY - AUTO ACCESSORY SALES AND SERVICE CENTER

BUILDING DATA

BUILDING AREA 8,000±
BUILDING HEIGHT 22'±

PARKING SUMMARY:

	PROVIDED	REQUIRED
AUTO REPAIR (2SP/SERVICE BAY)	34	20
10 SERVICE BAYS		
HANDICAP PARKING	2	1
TOTAL PARKING	34	20

LOT COVERAGE DATA:

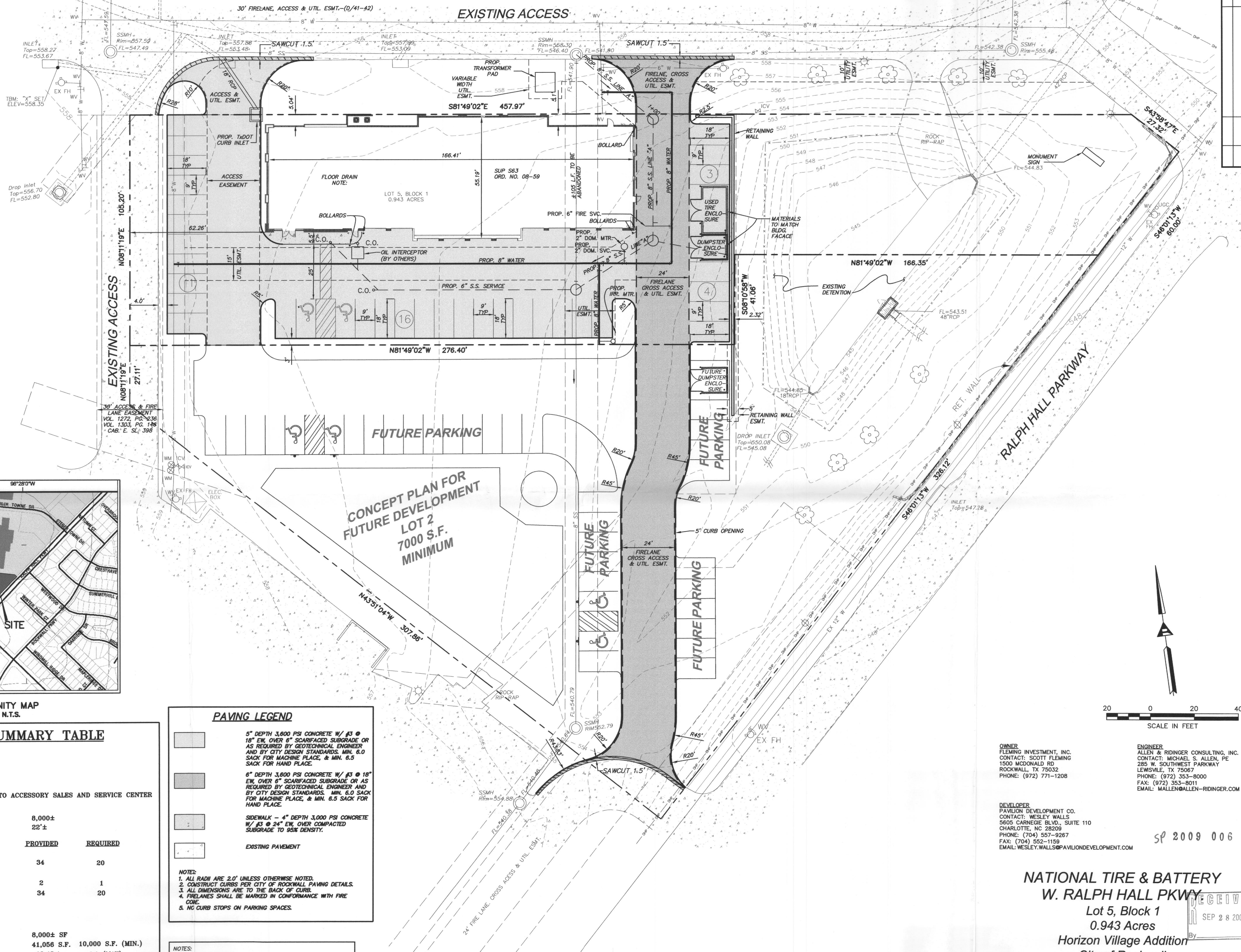
BUILDING FOOTPRINT	8,000± SF	
LOT AREA	41,056 S.F.	10,000 S.F. (MIN.)
FAR	19.48:1	4:1 (MAX)
IMPERVIOUS COVERAGE	63.6%	85% (MAX)
PERVIOUS COVERAGE	36.4%	15% (MIN)

PAVING LEGEND

- 5" DEPTH 3,600 PSI CONCRETE W/ #3 @ 18" EW, OVER 6" SCARIFIED SUBGRADE OR AS REQUIRED BY GEOTECHNICAL ENGINEER AND BY CITY DESIGN STANDARDS. MIN. 6.0 SACK FOR MACHINE PLACE, & MIN. 6.5 SACK FOR HAND PLACE.
- 6" DEPTH 3,600 PSI CONCRETE W/ #3 @ 18" EW, OVER 6" SCARIFIED SUBGRADE OR AS REQUIRED BY GEOTECHNICAL ENGINEER AND BY CITY DESIGN STANDARDS. MIN. 6.0 SACK FOR MACHINE PLACE, & MIN. 6.5 SACK FOR HAND PLACE.
- SIDEWALK - 4" DEPTH 3,000 PSI CONCRETE W/ #3 @ 24" EW, OVER COMPACTED SUBGRADE TO 95% DENSITY.
- EXISTING PAVEMENT

NOTES:
1. ALL RADII ARE 2.0' UNLESS OTHERWISE NOTED.
2. CONSTRUCT CURBS PER CITY OF ROCKWALL PAVING DETAILS.
3. ALL DIMENSIONS ARE TO THE BACK OF CURB.
4. FIRELANES SHALL BE MARKED IN CONFORMANCE WITH FIRE CODE.
5. NO CURB STOPS ON PARKING SPACES.

NOTES:
1. CONTRACTOR SHALL INSTALL POWER TO PROPOSED SIGNAGE AND SHALL VERIFY EXACT LOCATION OF SIGNAGE WITH SIGN COMPANY.



20 0 20 40
SCALE IN FEET

OWNER:
FLEMING INVESTMENT, INC.
CONTACT: SCOTT FLEMING
1500 MODONAL RD
ROCKWALL, TX 75032
PHONE: (972) 771-1208

ENGINEER:
ALLEN & RIDINGER CONSULTING, INC.
CONTACT: MICHAEL S. ALLEN, PE
285 W. SOUTHWEST PARKWAY
LEWISVILLE, TX 75067
PHONE: (972) 353-8000
FAX: (972) 353-8011
EMAIL: MALLEN@ALLEN-RIDINGER.COM

DEVELOPER:
PAVILION DEVELOPMENT CO.
CONTACT: WESLEY WALLS
5605 CARNegie BLVD., SUITE 110
CHARLOTTE, NC 28209
PHONE: (704) 557-9267
FAX: (704) 552-1159
EMAIL: WESLEY.WALLS@PAVILIONDEVELOPMENT.COM

SP 2009 006

NATIONAL TIRE & BATTERY
W. RALPH HALL PKWY

Lot 5, Block 1
0.943 Acres

Horizon Village Addition
City of Rockwall
Rockwall County, Texas

FILE COPY



Scale: 1"=20'
Designed by: MSA
Drawn by: MAB
Checked by: MSA
Date: SEPTEMBER 21, 2009
Project No. 082-010

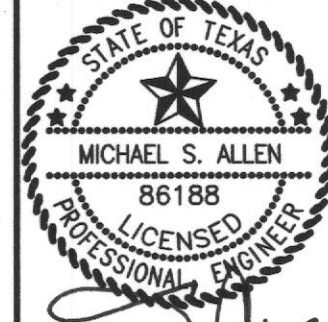
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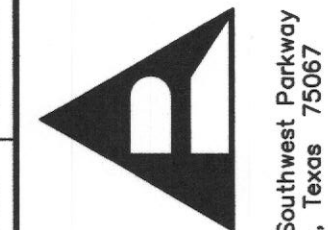
OF 1

NATIONAL TIRE & BATTERY (NTB)
W. RALPH HALL PKWY.
CITY OF ROCKWALL, TEXAS

SITE PLAN / CONCEPT PLAN



Michael S. Allen
9/28/09

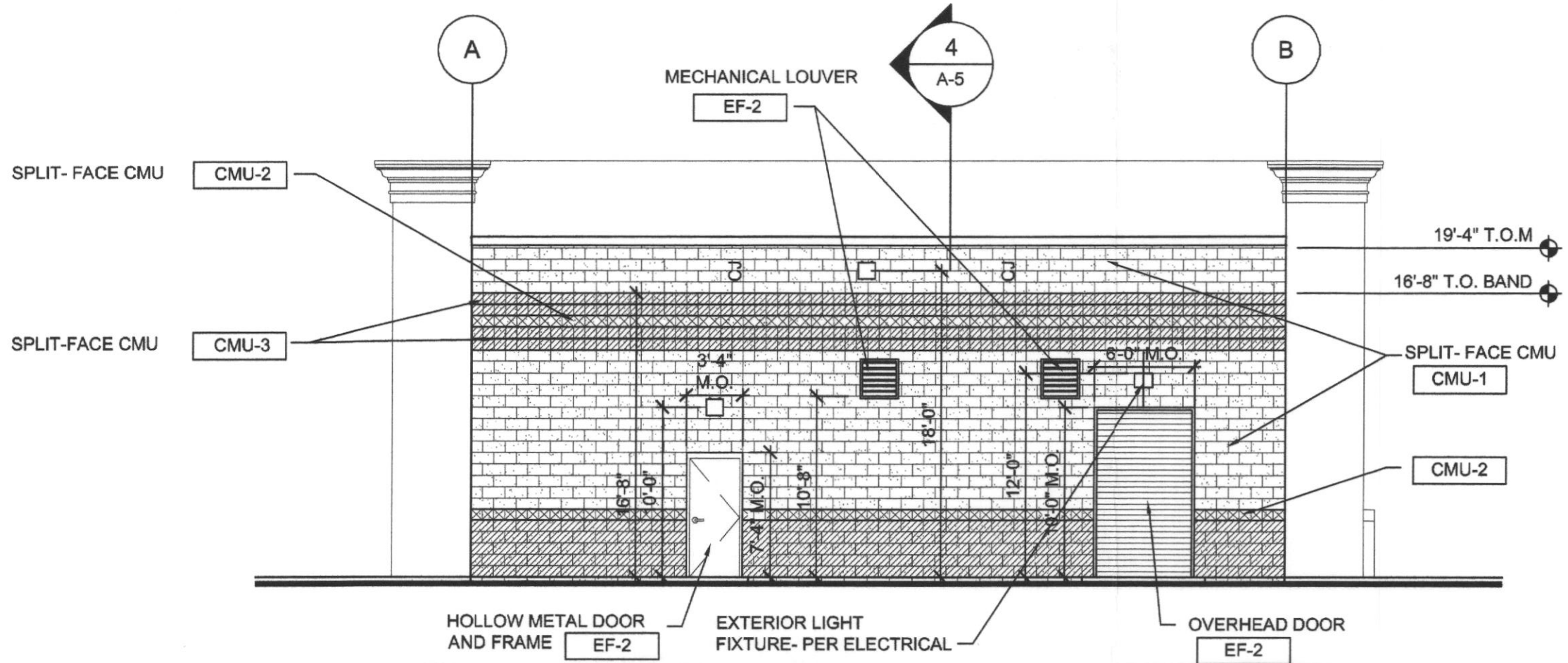
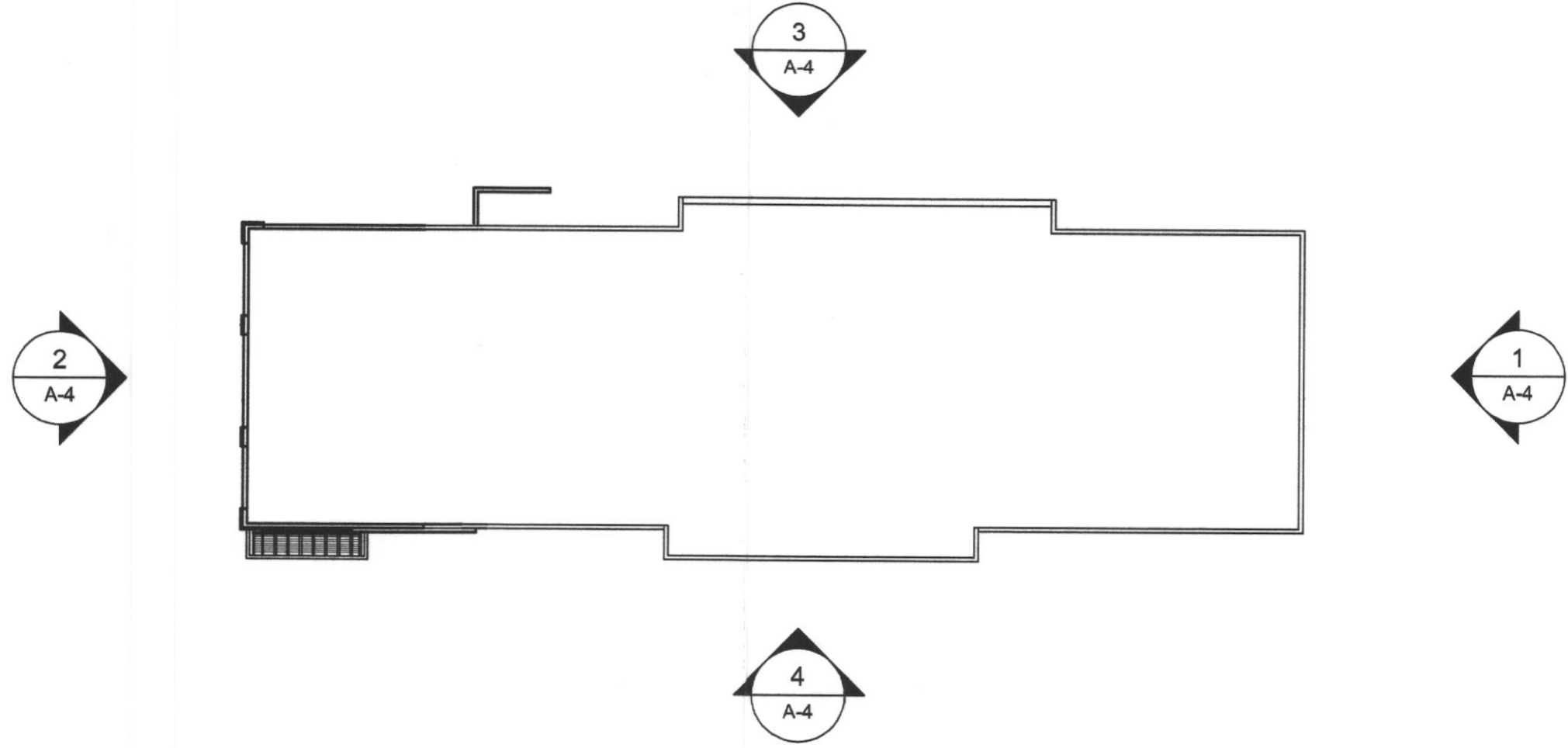


Allen &
Ridinger
Consulting, Inc.
Firm No. 1969
Tel. No. (972) 353-8000
Fax No. (972) 353-8011
285 W. Southwest Parkway
Lewisville, Texas 75067

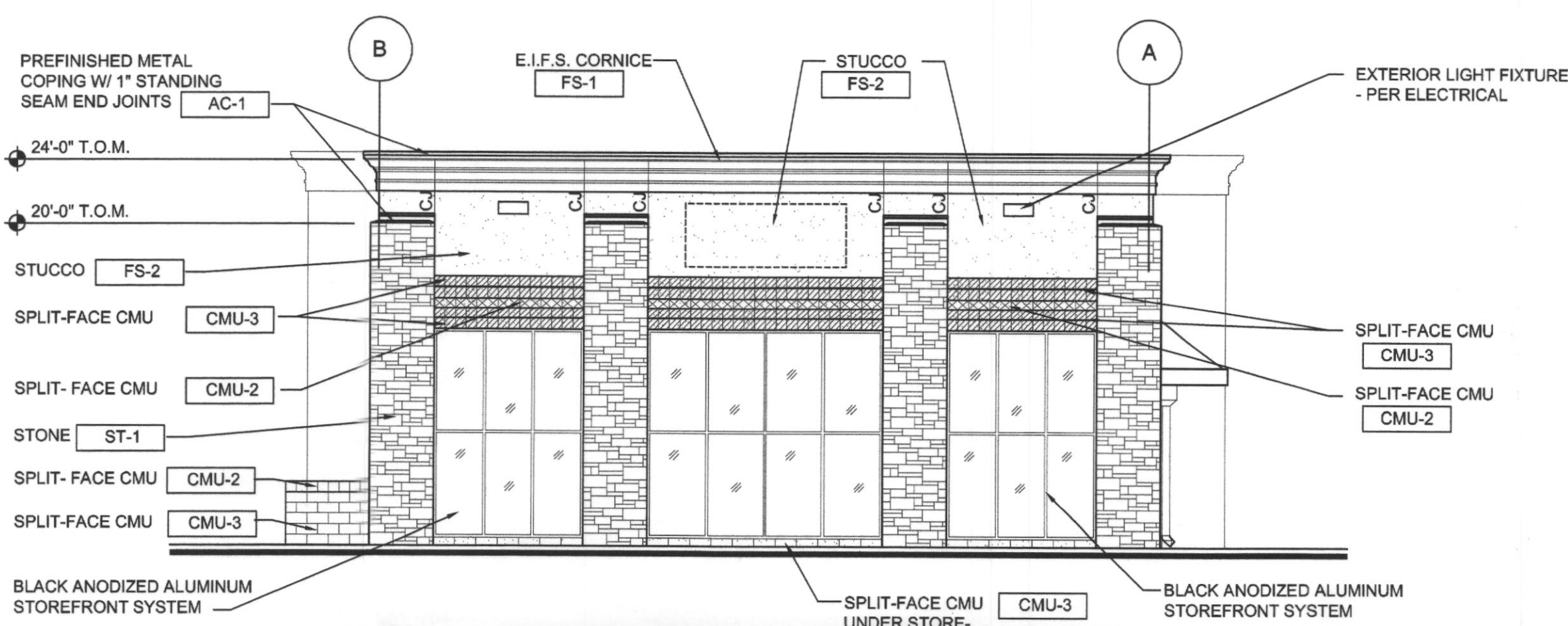
App. Revisions No. Date

EXTERIOR FINISH SCHEDULE				
KEY	MATERIAL	COLOR	MANUFACTURER	REMARKS
EXTERIOR	AC - 1	PREFINISHED METAL	MATCH EF - 2 - SW # 7038 TONY TAUPE	
	EF - 1	PAINT	SW # 6258 TRICORN BLACK	SHERWIN WILLIAMS
	EF - 2	PAINT	SW # 7038 TONY TAUPE	SHERWIN WILLIAMS
	EF - 3	NOT USED		
	EF - 4	NOT USED		
	EF - 5	NOT USED		
	EF - 6	PAINT	SW# 6906 CITRUS	SHERWIN WILLIAMS
	FS-1	EIFS	MATCH #700 WHITE LIMESTONE	
	FS-2	STUCCO	MATCH #715 ALAMO BUFF	
	CMU-1	CMU	SW #715 ALAMO BUFF SPLIT-FACE CMU	HEADWATERS CONST. MAT'LS 972-263-5077
	CMU-2	CMU	SW #700 WHITE LIMESTONE SPLIT-FACE CMU	HEADWATERS CONST. MAT'LS 972-263-5077
	CMU-3	CMU	SW #721 WALNUT BROWN SPLIT FACE CMU	HEADWATERS CONST. MAT'LS 972-263-5077
	ST-1	STONE VENEER	ANTIQUE LUEDERS LIMESTONE	MY STONE SUPPLY - TINA J. 940-782-9262
NOTE: - CONTRACTOR TO CONTACT U.S. SIGNS FOR APPROVED SIGNAGE LOCATIONS. - SEE ELEVATIONS FOR SPECIFIC BLOCK TYPES. - EIFS SYSTEM IS FOR CORNICE ONLY. ALL OTHER AREAS ARE TO BE STUCCO SYSTEM				

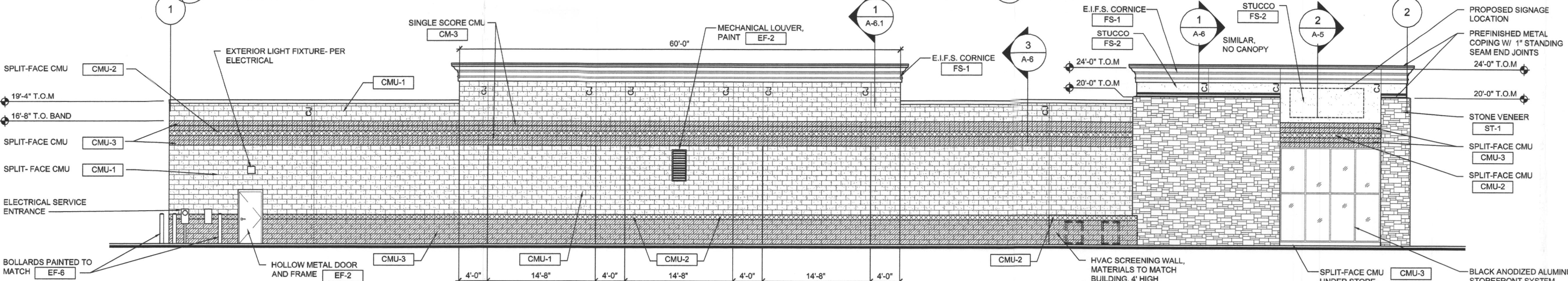
KEY PLAN



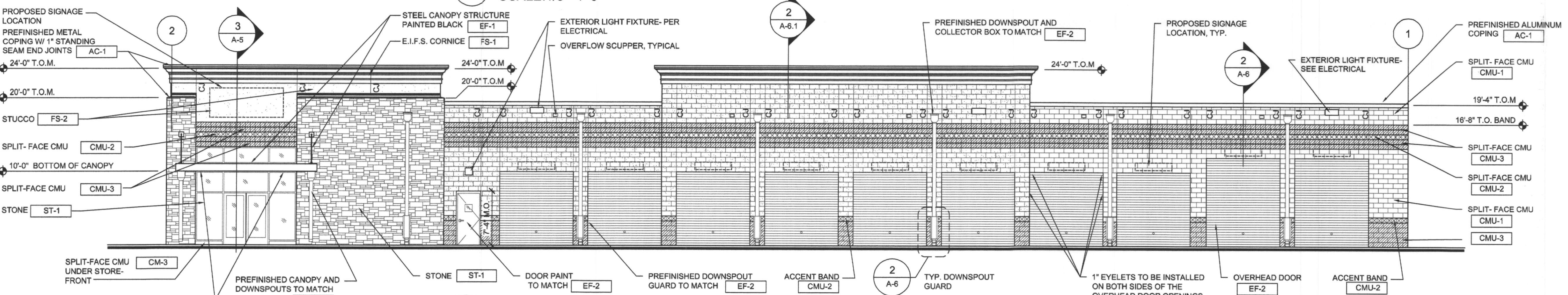
1 REAR ELEVATION
SCALE: 1/8"=1'-0"



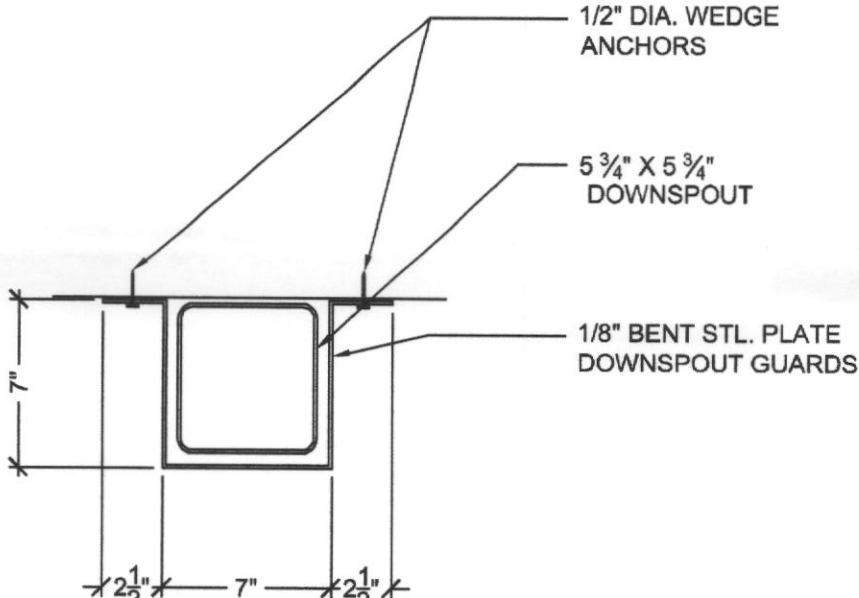
2 FRONT ELEVATION
SCALE: 1/8"=1'-0"



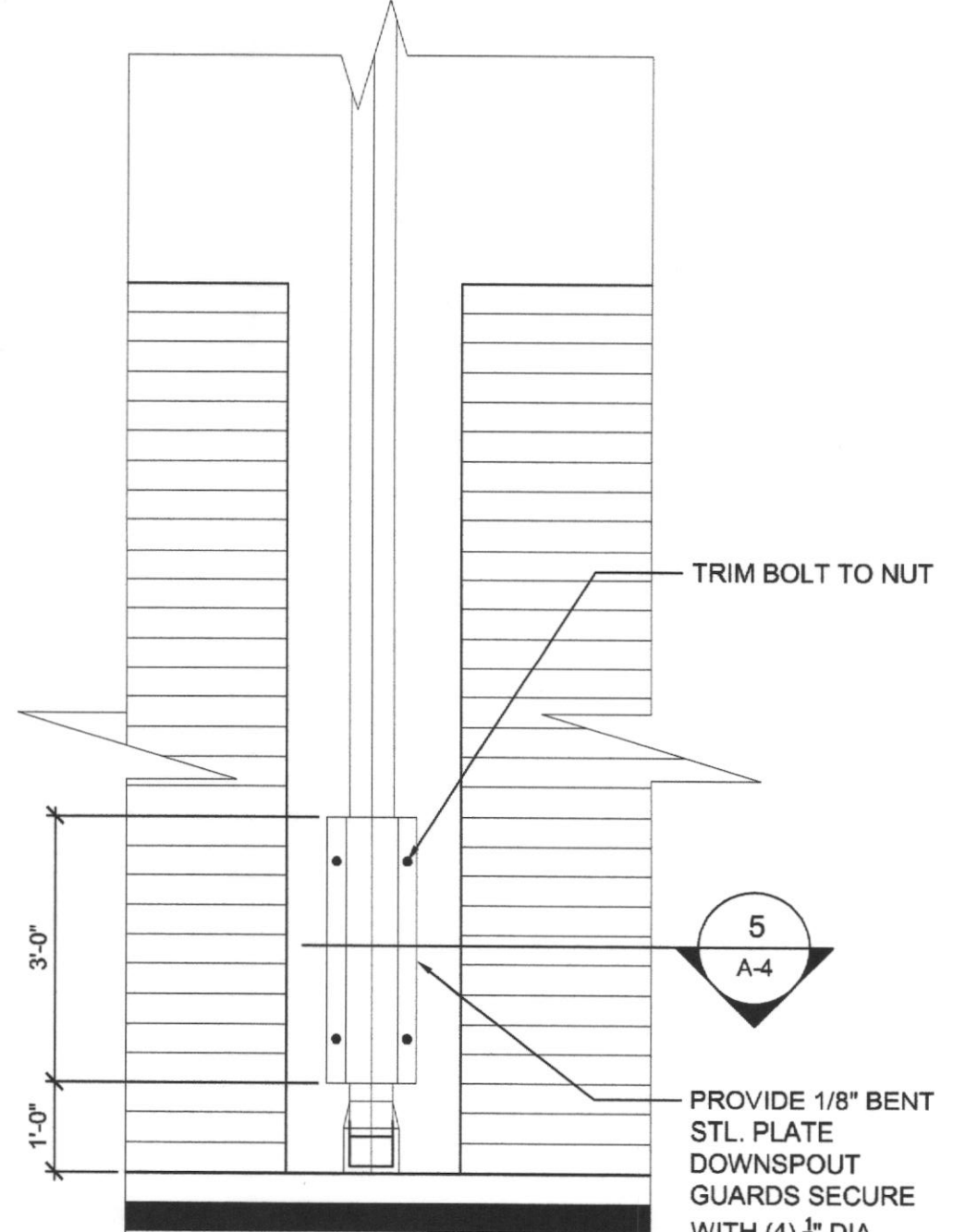
3 SIDE ELEVATION
SCALE: 1/8"=1'-0"



4 SIDE ELEVATION
SCALE: 1/8"=1'-0"

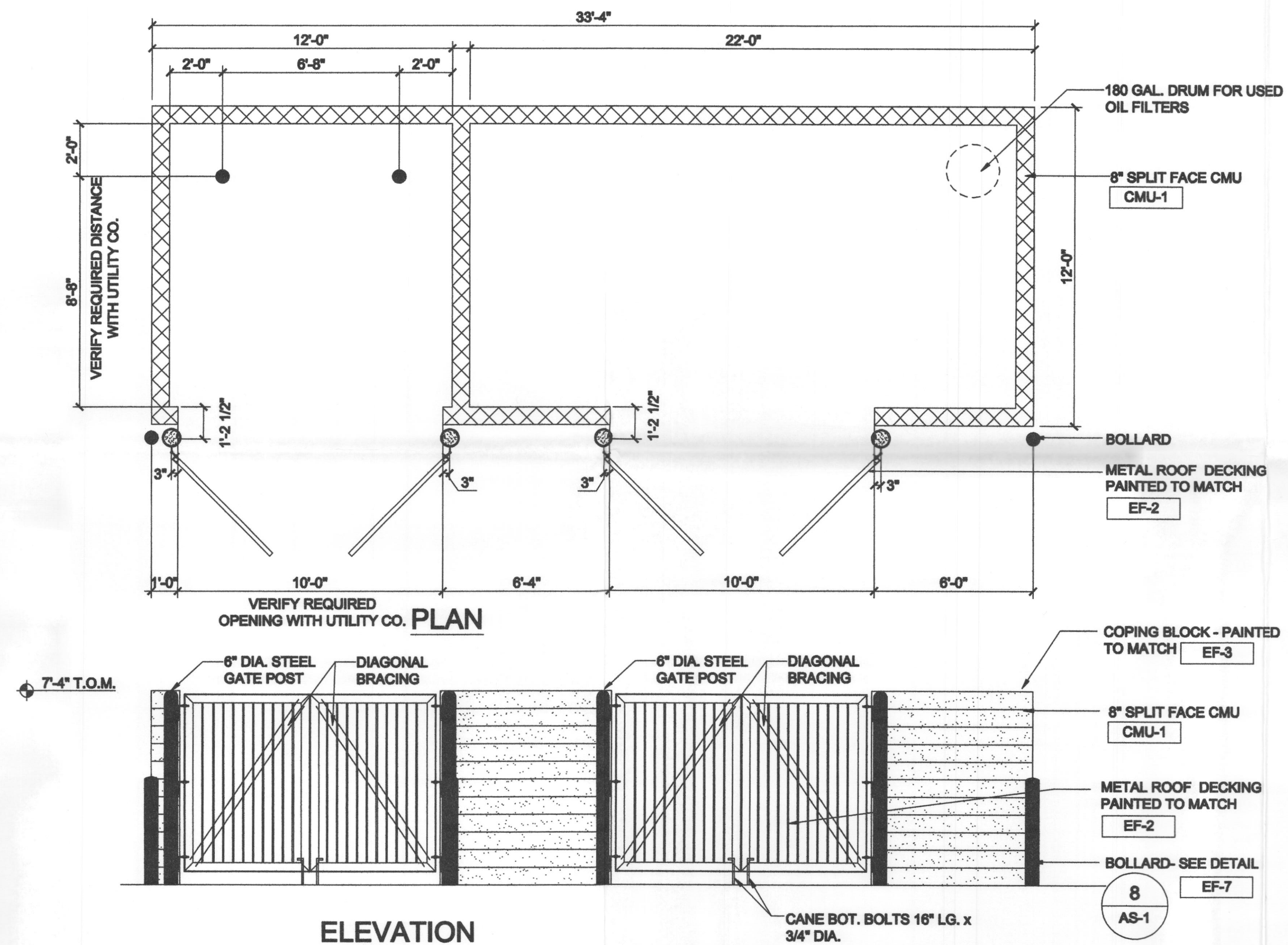


5 DOWNSPOUT GUARD DETAIL
SCALE: 1 1/2"=1'-0"

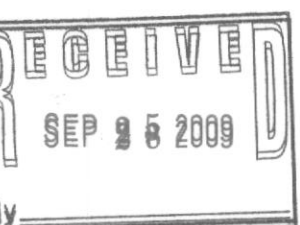


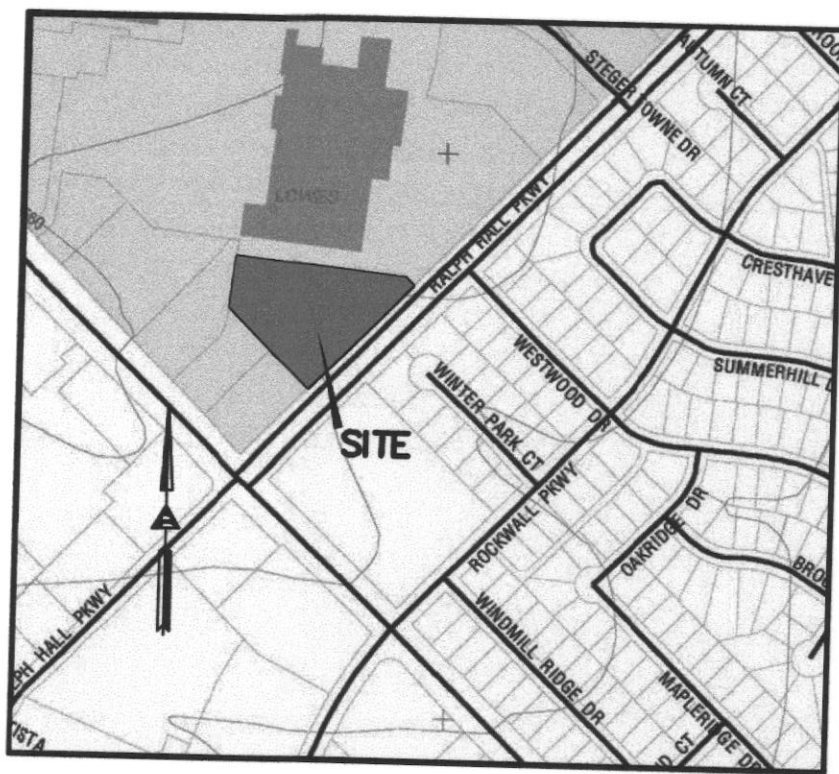
6 DOWNSPOUT GUARD
SCALE: 1/2"=1'-0"

REV	DATE

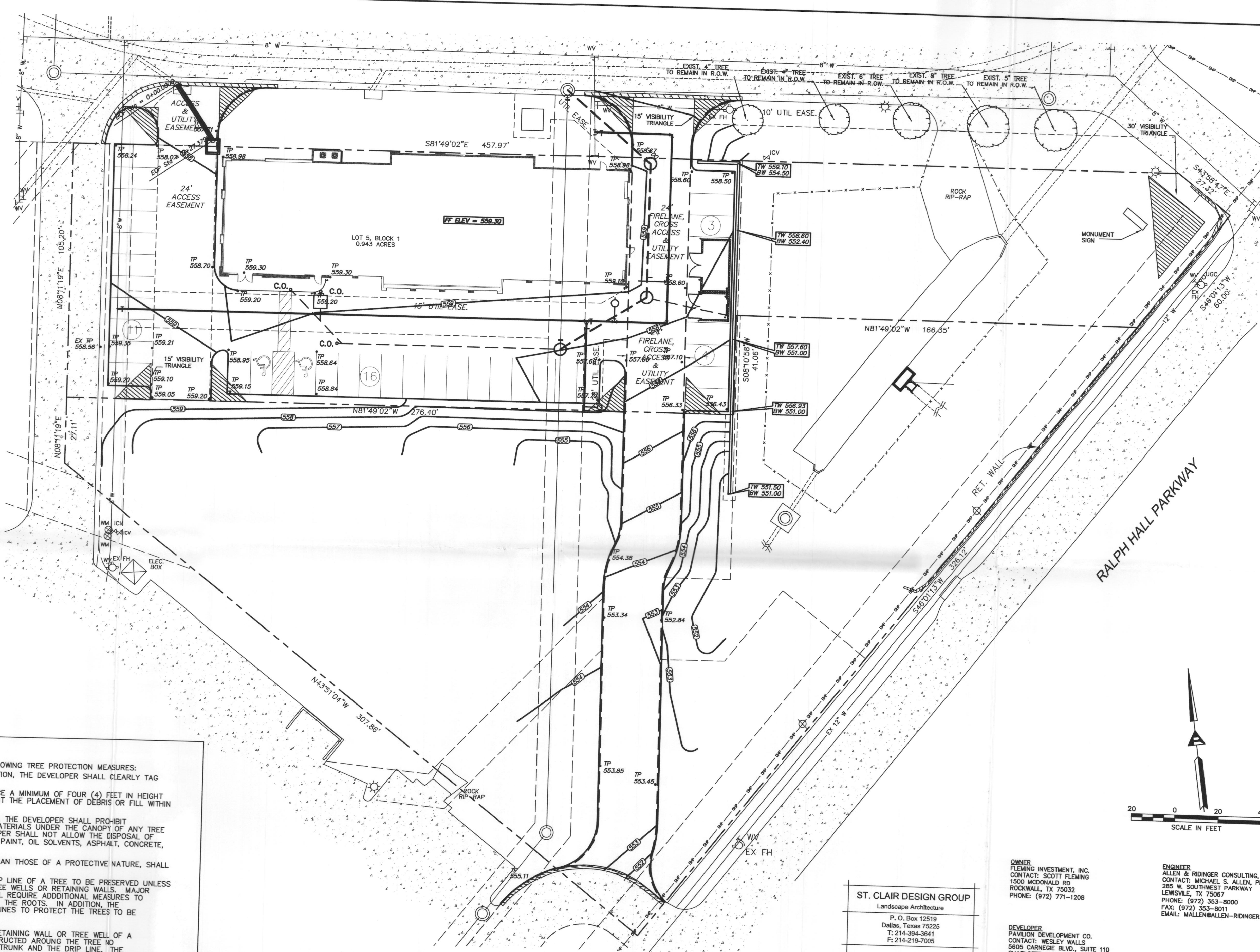


DUMPSTER AND USED TIRE ENCLOSURE DETAIL





VICINITY MAP
N.T.S.



TREE PRESERVATION NOTES

- CONTRACTOR AND DEVELOPER SHALL ADHERE TO THE FOLLOWING TREE PROTECTION MEASURES:
1. PRIOR TO GRADING, BRUSH REMOVAL, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
 2. THE DEVELOPER SHALL ERECT A PLASTIC MESH FENCE A MINIMUM OF FOUR (4) FEET IN HEIGHT AROUND EACH TREE OR GROUP OF TREES TO PREVENT THE PLACEMENT OF DEBRIS OR FILL WITHIN THE DRIP LINE.
 3. DURING THE CONSTRUCTION PHASE OF DEVELOPMENT, THE DEVELOPER SHALL PROHIBIT CLEANING, PARKING OR STORAGE OF EQUIPMENT OR MATERIALS UNDER THE CANOPY OF ANY TREE OR GROUP OF TREES BEING PRESERVED. THE DEVELOPER SHALL NOT ALLOW THE DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, OIL SOLVENTS, ASPHALT, CONCRETE, MORTAR, ETC., IN THE CANOPY AREA.
 4. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
 5. NO FILL OR EXCAVATION MAY OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED UNLESS THERE IS A SPECIFIC APPROVED PLAN FOR USE OF TREE WELLS OR RETAINING WALLS. MAJOR CHANGES OF GRADE (SIX (6) INCHES OR GREATER) WILL REQUIRE ADDITIONAL MEASURES TO MAINTAIN PROPER OXYGEN AND WATER EXCHANGE WITH THE ROOTS. IN ADDITION, THE DEVELOPER SHOULD ADHERE TO THE FOLLOWING GUIDELINES TO PROTECT THE TREES TO BE PRESERVED:
 - a. WITH MAJOR GRADE CHANGES, A REINFORCED RETAINING WALL OR TREE WELL OF A DESIGN APPROVE BY THE CITY SHOULD BE CONSTRUCTED AROUND THE TREE NO CLOSER THAN HALF THE DISTANCE BETWEEN THE TRUNK AND THE DRIP LINE. THE RETAINING WALL SHOULD BE CONSTRUCTED SO AS TO MAINTAIN THE EXISTING GRADES AROUND A TREE OR GROUP OF TREES.
 - b. AT NO TIME SHOULD A WALL, PAVEMENT OR POROUS PAVEMENT BE PLACED CLOSER THAN FIVE (5) FEET OR ONE (1) FOOT FOR EVERY TWO (2) INCHES IN CALIPER, WHICHEVER IS GREATER, TO THE TRUNK OF THE TREE.
 - c. ROOT PRUNING MAY BE NECESSARY WHEN THE CRITICAL ROOT ZONE IS TO BE DISTURBED.
 - d. IF A PATIO, SIDEWALK, DRIVE, PARKING LOT, OR OTHER PAVED SURFACE MUST BE PLACED WITHIN THE DRIP LINE OF AN EXISTING TREE, MATERIAL SUCH AS A POROUS PAVEMENT OR OTHER APPROVED CONSTRUCTION METHOD THAT WILL ALLOW THE PASSAGE OF WATER AND OXYGEN MAY BE REQUIRED.

TREE PRESERVATION NOTE:
ALL EXISTING TREES TO REMAIN ARE OFF-SITE AND LOCATED IN
ACCESS ROAD RIGHT OF WAY.

ST. CLAIR DESIGN GROUP
Landscape Architecture
P. O. Box 12519
Dallas, Texas 75225
T: 214-394-3641
F: 214-219-7005



DATE SEALED: 08-28-09
DESIGN BY: JBS
DRAWN BY: JBS
CHECKED BY: JBS
DATE: AUGUST 3, 2009

OWNER
FLEMING INVESTMENT, INC.
CONTACT: SCOTT FLEMING
1500 McDONALD RD
ROCKWALL, TX 75082
PHONE: (972) 771-1208

DEVELOPER
PAVILION DEVELOPMENT CO.
CONTACT: WESLEY WALLS
5605 CARNEGIE BLVD., SUITE 110
CHARLOTTE, NC 28209
PHONE: (704) 557-9267
FAX: (704) 552-1159
EMAIL: WESLEY.WALLS@PAVILIONDEVELOPMENT.COM

ENGINEER
ALLEN & RIDINGER CONSULTING, INC.
CONTACT: MICHAEL S. ALLEN, PE
285 W. SOUTHWEST PARKWAY
LEWISVILLE, TX 75067
PHONE: (972) 353-8000
FAX: (972) 353-8011
EMAIL: MALLEN@ALLEN-RIDINGER.COM

SEP 2 8 2009

NATIONAL TIRE & BATTERY
W. RALPH HALL PKWY.

Lot 5, Block 1
0.943 Acres

Horizon Village Addition
City of Rockwall
Rockwall County, Texas

FILE COPY

Scale: 1"=20'
Designed by: JBS
Drawn by: JBS
Checked by: JBS
Date: AUGUST 3, 2009
Project No. 082-010

SHEET
LP-1

OF 2

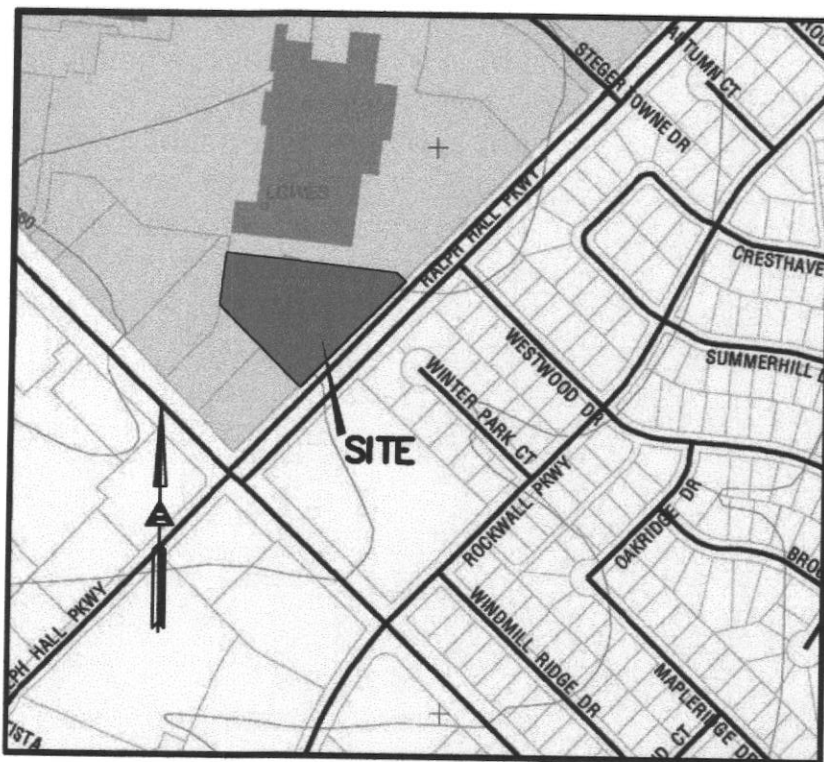
NATIONAL TIRE & BATTERY (NTB)
W. RALPH HALL PKWY.
CITY OF ROCKWALL, TEXAS

TREESCAPE PLAN

App. No. 1 9-2-08 PER CITY COMMENTS

No. 2 9-28-08 PER CITY COMMENTS

Allen &
Ridinger
Consulting, Inc.
285 W. Southwest Parkway
Lewisville, Texas 75067
Tel. No. (972) 353-8000
Fax No. (972) 353-8011



VICINITY MAP
N.T.S.

LANDSCAPE TABULATIONS

SITE AREA: 41,056 SF
REQUIRED LANDSCAPING 15% = 6,158 SF
LANDSCAPE PROVIDED: 14,970 SF (36.4%)
MINIMUM 50% LOCATED IN FRONT OR SIDE YARD = 7,125 SF
FRONT AND SIDE YARD LANDSCAPE PROVIDED: 14,451 SF
SITE DETENTION POND AREA: 6,621 SF
DETENTION POND AREA TREES REQUIRED: 6,621/750 = 9 TREES
DETENTION POND AREA TREES PROVIDED: 9 TREES
STREET BUFFER LANDSCAPE REQUIRED: 10' BUFFER
10' BUFFER ADJACENT TO RALPH HALL PARKWAY PROVIDED
RALPH HALL PARKWAY FRONTAGE: 60 LF - 2 TREES REQUIRED
RALPH HALL PARKWAY STREET BUFFER TREES PROVIDED: 2 TREES
PARKING AREA LANDSCAPE: 6 ROWS PARKING ONLY
NO PARKING AREA REQUIREMENT APPLIES
3 PARKING AREA TREES REQUIRED TO MEET TREE REQUIREMENT
ALL REQUIRED SPACES WITHIN 80' OF LARGE CANOPY TREE

GENERAL LANDSCAPE NOTES

- All landscape areas are to be received within .1' of proposed finish grade and free from all trash and debris.
- All trees are to be planted in pits twice the diameter of the tree ball and no deeper than the depth of the ball. Scarify all tree pit sides prior to planting. All trees are to be planted plumb and at or slightly above finish grade. All tree pits are to have a 3" watering saucer formed around the perimeter of the pit. All tree pits are to be top dressed with a 2" layer of shredded hardwood mulch. Stake and / or guy trees only at the direction of the landscape architect.
- Rotavate the existing soil to the direction of the landscape architect. Add a 3" layer of premium compost as supplied by Living Earth Technology and till into the top 3" of the existing soil. Install all shrubs 1" above finish grade and fertilize with Agri-form slow release fertilizer tablets at the manufacturer's recommended rates of application. Top dress all planting beds with a 2" layer of shredded hardwood mulch.
- All planting beds not formed by a concrete curb or sidewalk are to be edged with Steel Edging (1/8"x4" pointed green) or an approved equal. All edging stakes are to be placed to the inside of the bed and the top of the edging is to be no less than 1" and no more than 1.5" above proposed finish grade.
- All turf areas are to be hydromulch Bermudagrass, unless otherwise noted on the plan.
- Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass at a rate of four (4) pounds per thousand square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
- All sodded areas are to receive common bermuda sod laid parallel to the contour of the land. All sod on slopes greater than 1:4 is to be pinned with 1"x12" wooden stakes. All sod is to be laid with tight joints and with all joints staggered. Roll all sod with a water ballast lawn roller upon installation and fertilize with a complete fertilizer (13-13-13) at the rate of 1.5# actual nitrogen per 1000 square feet. Water all sod thoroughly.
- All irrigation meter(s) are to be by utility contractors as per local codes. Irrigation sleeves to be installed by licensed irrigation contractor as per the plan.
- All irrigation controllers are to have mini-click freeze and rain stats installed as per manufacturer's recommendations.
- All irrigation sleeves to be by licensed irrigation contractor. All sleeves to be PVC schedule 40 with 90 degree elbows on both ends with extensions protruding 18" above proposed finish grade.
- All turf and planting beds to be zoned separately. All planting bed heads to be on 12" pop-up risers. All turf heads to be on 4" pop-up risers. All valves to be plastic valves. All equipment to be Rainbird or approved equal.
- All mainline and lateral line to have a minimum of 12" of cover and to be SDR (class 200) pipe.
- Quantities shown on plant list are landscape architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on the plans regardless of quantities designated on plant list.

IRRIGATION NOTES:

- All landscaped areas shall be irrigated with an irrigation system capable of providing the proper amount of water for the particular for the particular type of plant material used. Irrigation will be provided by an underground sprinkler system, or a subterranean drip drip system as approved by the City Arborist.
- Automatic underground irrigation system shall be equipped with freeze guard set at 38 degrees F.
- Areas of open space which contain preserved trees need not be irrigated if the City Arborist determines irrigation would be harmful to the preserved trees.

PLANT LIST

QUANTITY	DESCRIPTION
2	BALD CYPRESS / TAXODIUM DISTICHUM
6	LIVE OAK / QUERCUS VIRGINIANA
3	TEXAS ASH / FRAXINUS TEXANSIS
3	CEDAR ELM / ULMUS CRASSIFOLIA
3	BERMUDA GRASS / CYNODON DACTYLON

REMARKS

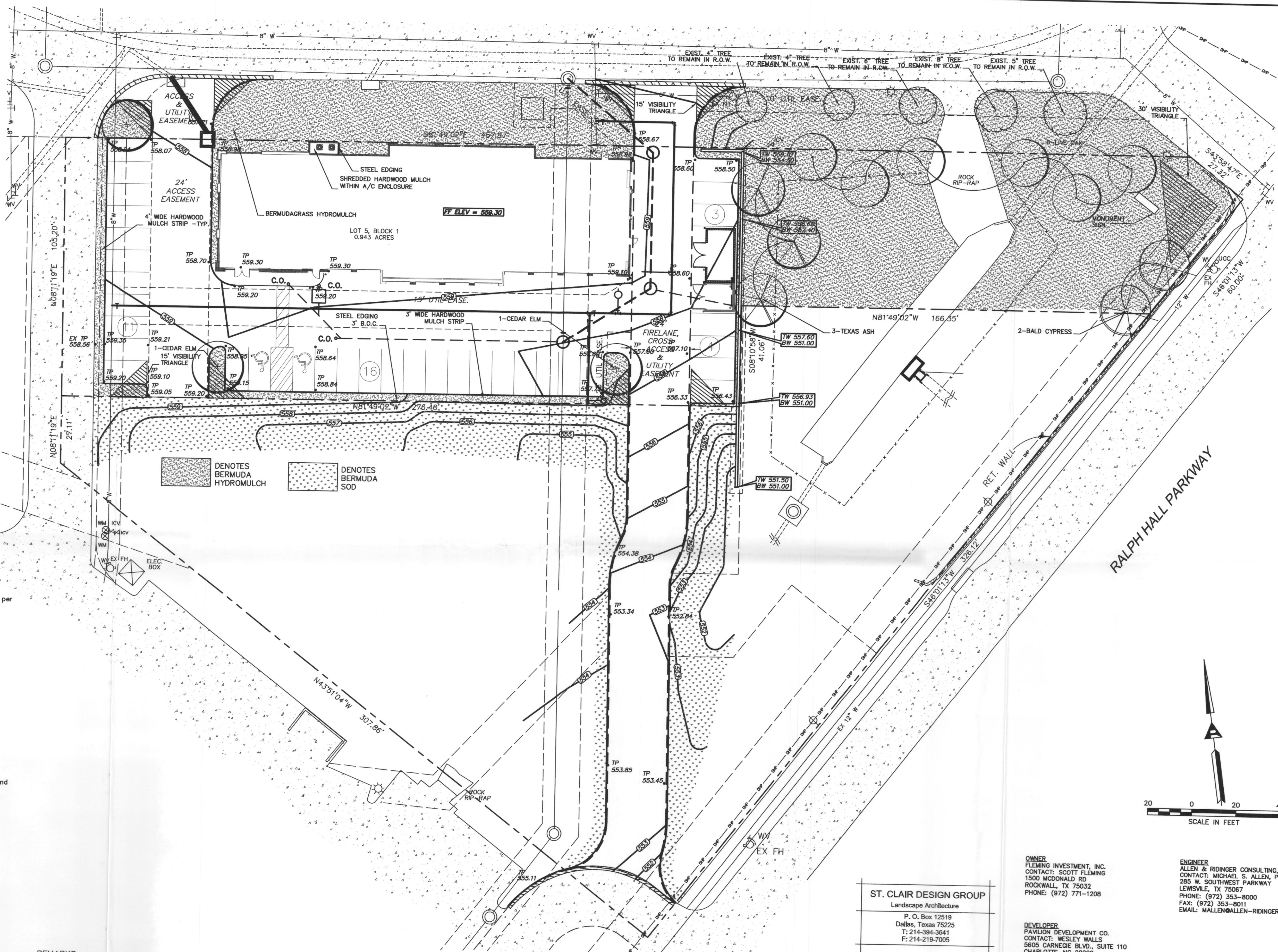
3" CAL. / 8' HT. / 5' SP. / CONTAINER GROWN
3" CAL. / 8' HT. / 5' SP. / CONTAINER GROWN
3" CAL. / 8'-11' HT. / 5' SP. / CONTAINER GROWN
3" CAL. / 8' HT. / 5' SP. / CONTAINER GROWN
HYDROMULCH AND SOLID SOD AS NOTED ON PLAN

TREE PRESERVATION NOTE:

ALL EXISTING TREES TO REMAIN ARE OFF-SITE AND LOCATED IN ACCESS ROAD RIGHT OF WAY.

TREE PLANTING NOTE:

ALL PROPOSED TREE PLANTINGS TO BE A MINIMUM OF FIVE (5) FEET FROM EXISTING AND PROPOSED UTILITIES.



SCALE IN FEET
20 0 20 40

OWNER
FLEMING INVESTMENT, INC.
CONTACT: SCOTT FLEMING
1500 McDONALD RD
ROCKWALL, TX 75082
PHONE: (972) 771-1208

ENGINEER
ALLEN & RIDINGER CONSULTING, INC.
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CONTACT: WESLEY WALLS
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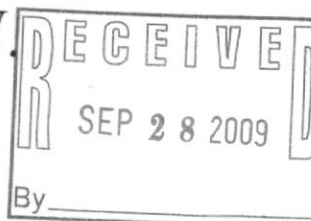
DATE SEALED: 09-28-09

DESIGN BY: JBS
DRAWN BY: JBS
CHECKED BY: JBS
DATE: AUGUST 3, 2009

NATIONAL TIRE & BATTERY W. RALPH HALL PKWY

Lot 5, Block 1
0.943 Acres

Horizon Village Addition
City of Rockwall
Rockwall County, Texas



FILE COPY

No.2 9-28-09 PER CITY COMMENTS
No.1 9-2-09 PER CITY COMMENTS
App.

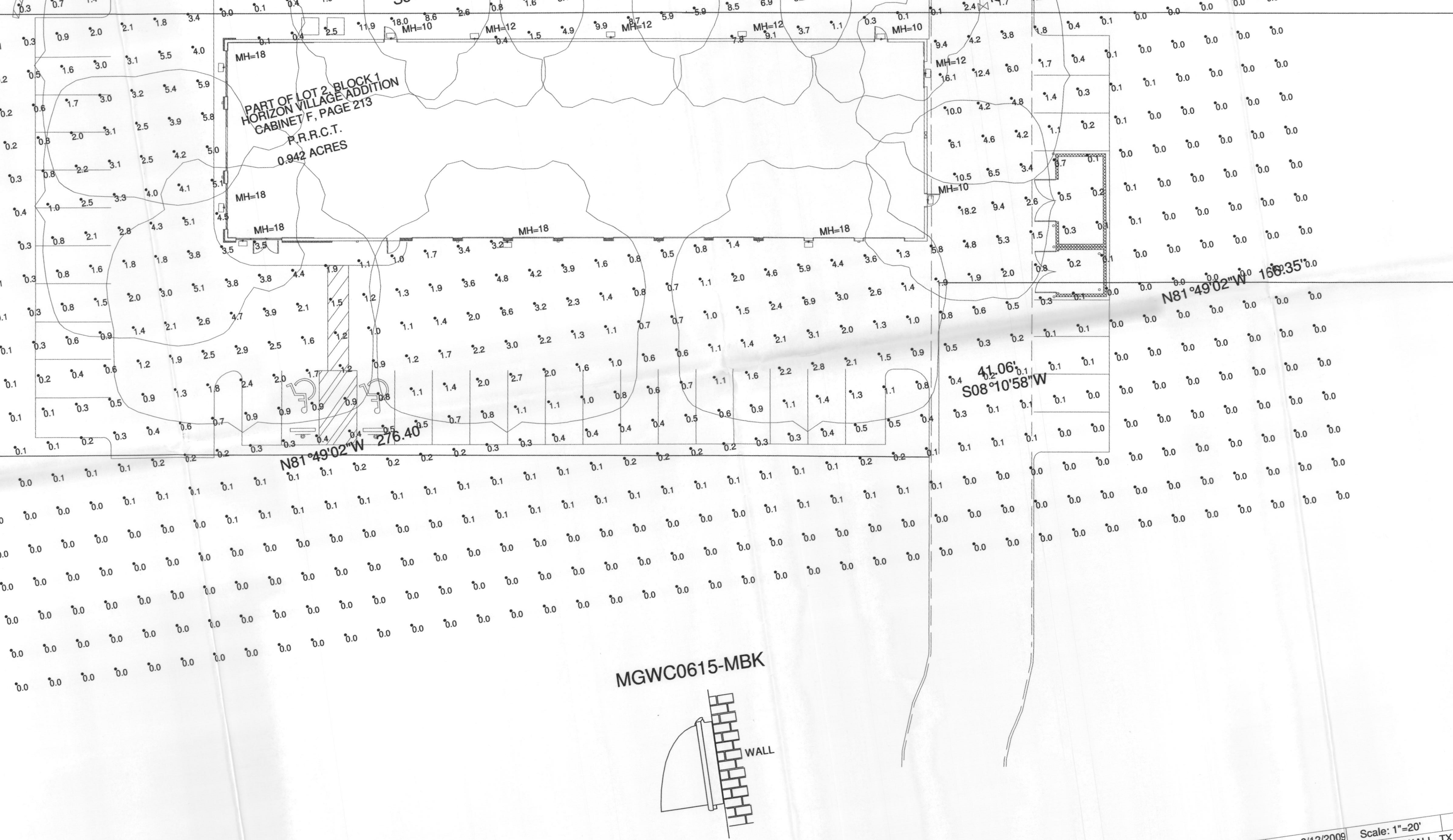
Allen & Ridinger Consulting, Inc.
285 W. Southwest Pkwy
Lewisville, Texas 75067
Tel. No. (972) 353-8000
Fax No. (972) 353-8001

NATIONAL TIRE & BATTERY (NTB)
W. RALPH HALL PKWY.
CITY OF ROCKWALL, TEXAS

LANDSCAPE PLAN

Scale: 1"=20'
Designed by: JBS
Drawn by: JBS
Checked by: JBS
Date: AUGUST 3, 2009
Project No. 082-010

SHEET
LP-2



FIXTURE MOUNTING HEIGHT: AS SHOWN
ISOLINES AT .5 FC

Luminaire Schedule		Label	Arrangement	Lumens	LLF	Description
Symbol	Qty					
t	12	A	SINGLE	14000	0.750	MGWC0615-MBK (150W PSMH, BLACK)

RUUD LIGHTING
800.236.7000 USA <www.ruudlighting.com> 905.671.1991 CAN

Ilumination results shown on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy code.

Date: 8/12/2009Scale: 1"=20'

Project Name: NTB - ROCKWALL, TX

Filename: TK-RWTX1MDJ.AGI

FOOTCANDLES CALCULATED AT 6

Numeric Summary	
Label	Avg
SITE	0.87