

ZONING: AG
ROCKWALL I.S.D.
TRACT 17-01

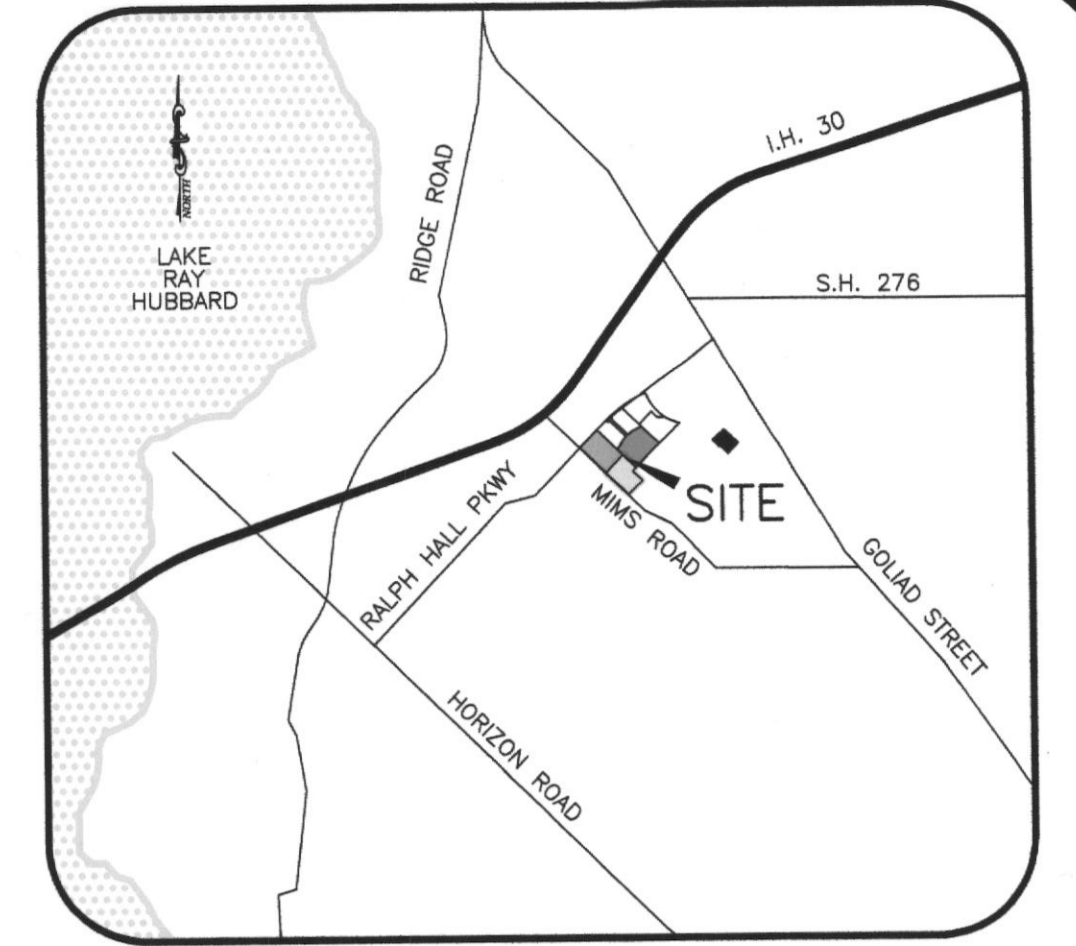
ZONING: C
ROCKWALL CROSSING LTD.
LOT 9, BLOCK A

TREE NOTE:

1. REFERENCE TREE PRESERVATION PLAN FOR MORE INFORMATION.

GENERAL NOTES:

1. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, CANOPIES, ACCESSIBLE RAMPS & SIDEWALK DETAILS FROM BACK OF CURB TO PROPOSED BUILDING & ROOF DRAIN LOCATIONS.
2. ALL PARKING SPACES TO BE 9'x18', UNLESS OTHERWISE NOTED.
3. ALL INTERIOR FIRE LANE RADI ARE TO BE A MINIMUM OF 20 FEET, UNLESS OTHERWISE NOTED.
4. ALL DIMENSION ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
5. ALL CURB RADI ARE 2' UNLESS OTHERWISE NOTED.
6. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY LANE'S SOUTHWEST SURVEYING INC.;
7. REFERENCE PHOTOMETRIC PLAN FOR EXACT LIGHT POLE LOCATIONS & HEIGHTS.
8. PERSONS USING THESE DRAWINGS SHOULD CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS OF UNDERGROUND UTILITIES.
9. ALL ACCESSIBLE ROUTES, RAMPS, SIDEWALK, AND ACCESSIBLE PARKING TO COMPLY WITH ADA STANDARDS.
10. CONSTRUCT EIGHT FOOT TALL MASONRY SCREEN WALL AROUND DUMPSTER TO MATCH BUILDINGS. REFERENCE DETAIL ON SHEET.
11. ALL PAVEMENT MATERIAL THRU-OUT SITE WILL BE REINFORCED CONCRETE WITH SPECIFIC THICKNESS SPECIFIED IN CIVIL PAVING PLAN.
12. A SEPERATE SIGN PERMIT IS REQUIRED FOR APPROVAL OF ANY SIGNAGE ON SITE.



VICINITY MAP
N.T.S.

SITE DATA TABULATIONS

| Lot 4 | | Lot 6 | |
|---|-----------------------|--|-----------------------|
| EXISTING ZONING | PD-54 | EXISTING ZONING | PD-54 |
| PROPOSED USE | MEMORY CARE CENTER | PROPOSED USE | OFFICE |
| TOTAL LOT AREA | 1.77 ACRE (77,120 SF) | TOTAL LOT AREA | 1.62 ACRE (70,387 SF) |
| BUILDING SQUARE FEET | 15,955 S.F. | BUILDING SQUARE FEET | 24,707 S.F. |
| BUILDING HEIGHT | ONE STORY - 28'-2" | BUILDING HEIGHT | TWO STORY - 35' |
| F.A.R. | 0.21 | F.A.R. | 0.35 |
| IMPERVIOUS COVER | 43,561 S.F. | IMPERVIOUS COVER | 55,156 S.F. |
| LANDSCAPING | 33,569 S.F. | LANDSCAPING | 15,231 S.F. |
| PARKING REQUIRED (1 SP. FOR EVERY 6 BEDS + 1 SP. PER EMPLOYEE MAX. SHIFT) (40 BEDS TOTAL) | 20 SPACES | PARKING REQUIRED (1 SP. FOR EVERY 250 S.F. OF BUILDING) | 99 SPACES |
| PARKING PROVIDED (FUTURE DEVELOPMENT TO PROVIDE 2 ADDITIONAL SPACES) | 24 SPACES | PARKING PROVIDED | 99 SPACES |
| PROP. CONST. TYPE | Masonry Walls | PROP. CONST. TYPE | Masonry Walls |

| Lot 7 | |
|--|-----------------------|
| EXISTING ZONING | PD-60 |
| PROPOSED USE | DAY CARE CENTER |
| TOTAL LOT AREA | 1.29 ACRE (56,342 SF) |
| BUILDING SQUARE FEET | 12,502 S.F. |
| BUILDING HEIGHT | ONE STORY - 25'-6" |
| F.A.R. | 0.22 |
| IMPERVIOUS COVER | 34,122 S.F. |
| LANDSCAPING | 22,220 S.F. |
| PARKING REQUIRED (1 SP. FOR EVERY 300 S.F. + 1 DRIVE LOADING AREA MIN. 4 SP.) | 46 SPACES |
| PARKING PROVIDED | 49 SPACES |
| PROP. CONST. TYPE | Masonry Walls |

| BOUNDARY CURVE DATA TABLE | | | | | | |
|---------------------------|-------------|----------|---------|------------|---------------|---------|
| NUMBER | DELTA ANGLE | RADIUS | TANGENT | ARC LENGTH | CHORD BRNG. | CHORD |
| C-1 | 00°54'22" | 1137.00' | 8.99' | 17.98' | N 45°35'47" E | 17.98' |
| C-2 | 00°54'32" | 1137.00' | 9.02' | 18.04' | N 47°42'53" E | 18.04' |
| C-3 | 11°36'40" | 188.00' | 19.11' | 38.09' | N 30°08'56" E | 38.02' |
| C-4 | 18°24'19" | 312.00' | 50.55' | 100.23' | N 33°30'51" E | 99.79' |
| C-5 | 20°08'57" | 312.00' | 55.43' | 109.72' | N 57°12'01" E | 109.16' |
| C-6 | 09°15'48" | 188.00' | 15.23' | 30.40' | N 62°38'36" E | 30.35' |

| BOUNDARY TANGENT DATA TABLE | | |
|-----------------------------|---------------|----------|
| NUMBER | BEARING | DISTANCE |
| T-1 | N 44°51'24" W | 20.00' |
| T-2 | N 41°49'51" W | 20.00' |

LEGEND

- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING POWER POLE w/ GUY ANCHOR
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING SANITARY SEWER
- EXISTING WATER
- PROPOSED SANITARY SEWER
- EXISTING WATER
- PROPOSED CURB INLET
- PROPOSED GRATE INLET
- PROPOSED FIRE LANE
- PROPOSED PARKING COUNTS

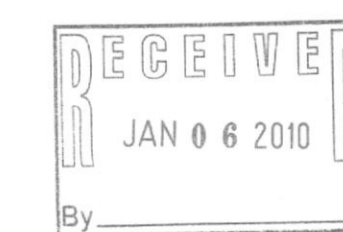


OWNER / DEVELOPER
LSC FLAGSTONE CORNERS PARTNERS, LTD
16980 DALLAS PARKWAY STE. 101 PHONE: 972-267-2715
DALLAS, TEXAS 75248 FAX: 972-267-2718
CONTACT: MR. LARRY CROSBY x13

Walls & Associates
Consulting Civil Engineers - Designers - Planners
530 S. Carrier Pkwy, Ste. 200 Phone: 214-724-0983
Grand Prairie, Texas 75051 Email: walls@wallsandassociates.com
Fax: (972) 237-9097

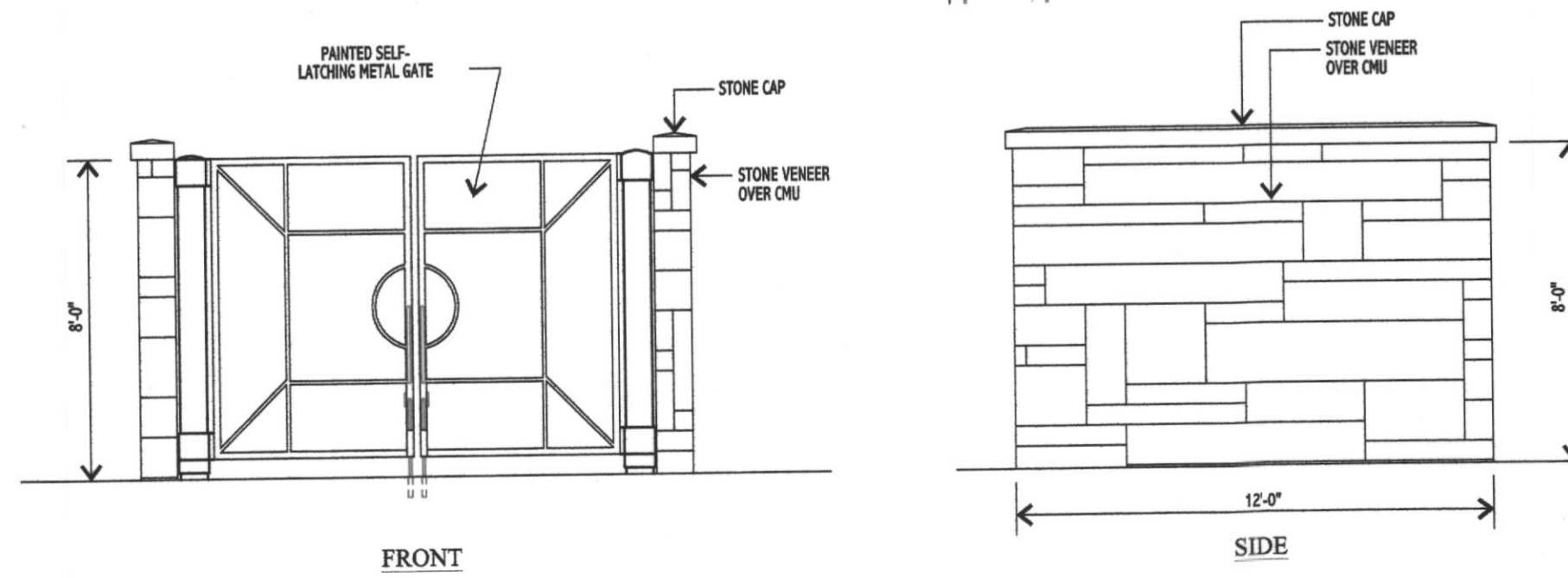
SITE PLAN
OF
**LOTS 4, 6 & 7, BLOCK A
FLAGSTONE CORNERS**
BEING OUT OF A
8.428 ACRES TRACT
SITUATED IN THE
J.D. McFARLAND SURVEY, ABSTRACT No. 145
LOCATED IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
DECEMBER 18, 2009

2009 011



FILE COPY

INITIAL SUBMISSION TO CITY: 12-18-09



TYPICAL DUMPSTER ENCLOSURE



5906 Dolores SUITE 100 HOUSTON, TX. 77057
713 783 8040 FAX 713 783 7774

drawing chronology

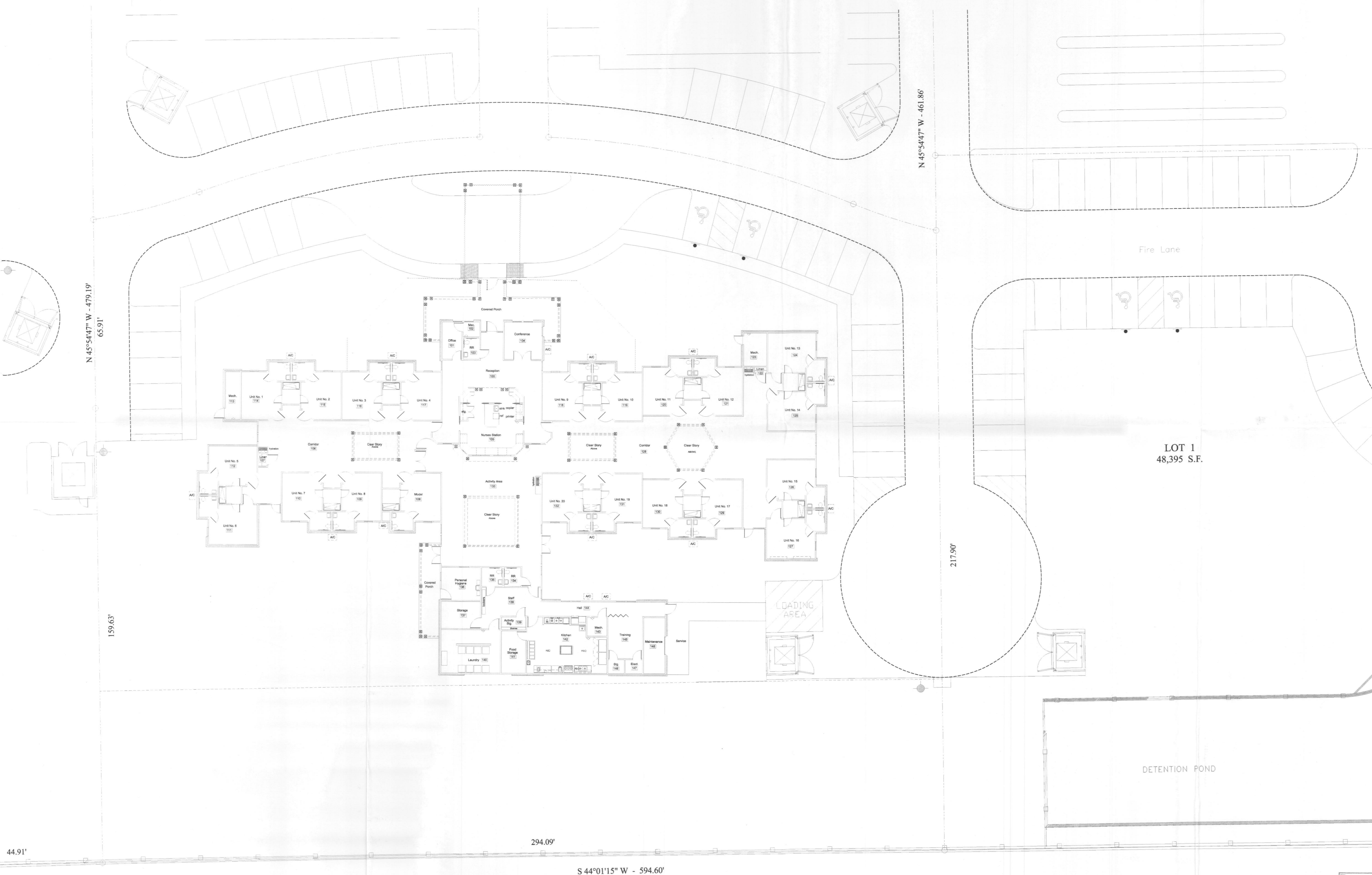
01 01-04-10 ISSUED FOR REVIEW

The Architect has made every effort to set forth in the Contract Documents the complete scope of the work. The Contractor is never the less cautioned that minor omissions and discrepancies in the drawings shall not excuse the Contractor from providing a complete facility and improvements in accordance with the intent of these documents. It will be the responsibility of the Contractor to bring any conflicts, omissions, or discrepancies to the attention of the Architect in writing, prior to submissions of proposals or to commencement of construction.

In accordance with the rules and regulations of the Texas Board of Architectural Examiners these documents may not be used for construction unless the Seal of the Architect has been properly numbered and signed by the Architect of Record.

The drawings prepared by Carlin / White for this project are instruments of the Architect's service for the use solely with respect to this Project and, unless otherwise provided, the Architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright.

general notes



LOT 1
48,395 S.F.

DETENTION POND

project

FILE COPY

sheet name

Site Plan

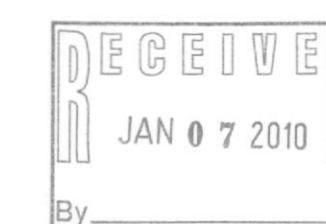
Date:

Project No.:

Reviewed:

A-1.2

2009 011



SCALE: 1/16" = 1'-0"

01

Exterior Wall Finish Percentages

Stone Veneer

| | | | |
|----|-------------|----|-------------|
| 1 | 171.72 s.f. | 15 | 266.98 s.f. |
| 2 | 215.02 s.f. | 16 | 215.02 s.f. |
| 3 | 215.02 s.f. | 17 | 215.02 s.f. |
| 4 | 164.54 s.f. | 18 | 56.29 s.f. |
| 5 | 21.65 s.f. | 19 | 106.08 s.f. |
| 6 | 25.98 s.f. | 20 | 63.47 s.f. |
| 7 | 51.96 s.f. | 21 | 241.00 s.f. |
| 8 | 73.61 s.f. | 22 | 95.26 s.f. |
| 9 | 215.02 s.f. | 23 | 307.43 s.f. |
| 10 | 215.02 s.f. | 24 | 147.22 s.f. |
| 11 | 64.95 s.f. | 25 | 215.02 s.f. |
| 12 | 255.47 s.f. | 26 | 318.94 s.f. |
| 13 | 215.02 s.f. | 27 | 215.02 s.f. |
| 14 | 215.02 s.f. | 28 | 112.58 s.f. |

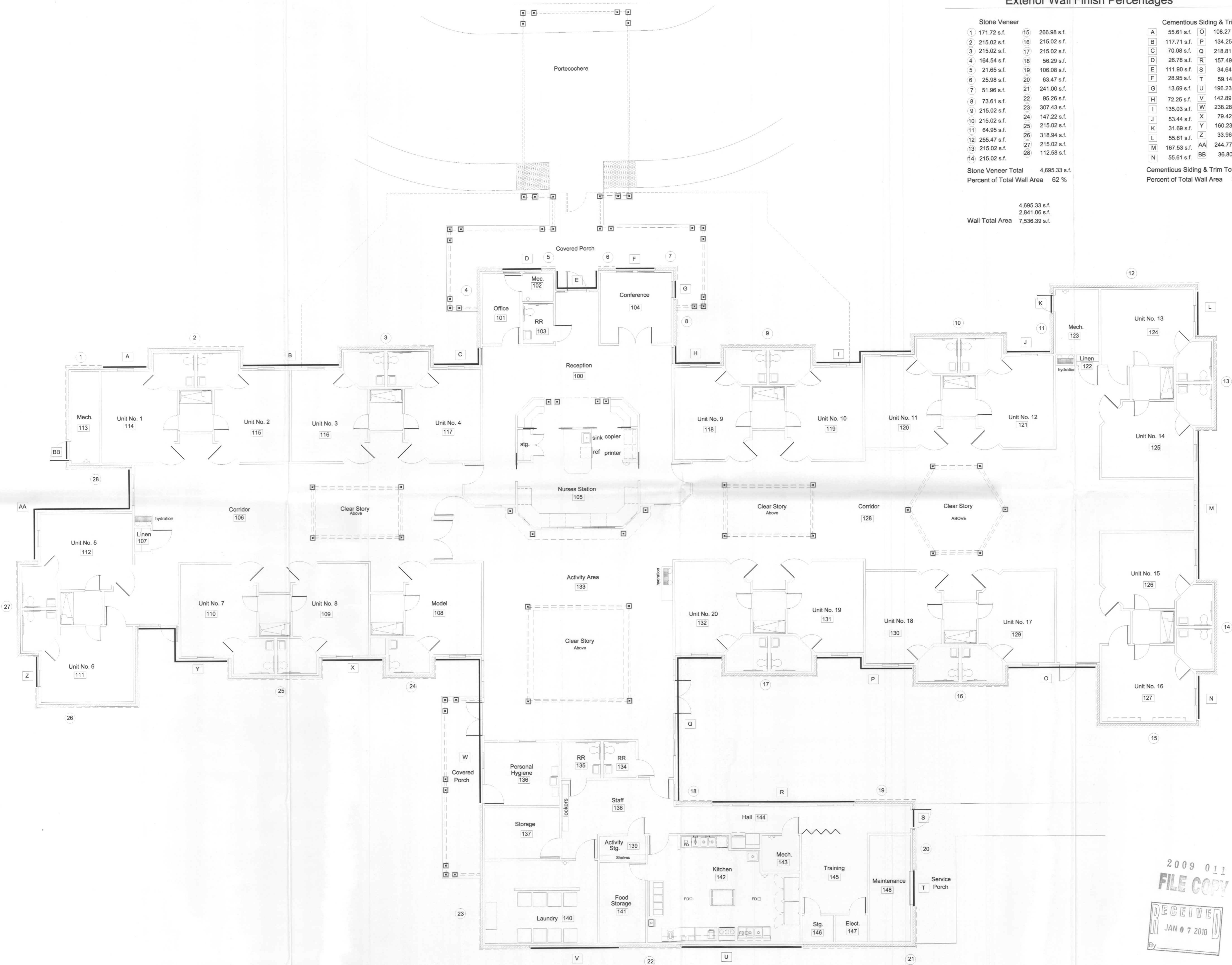
Stone Veneer Total 4,695.33 s.f.
Percent of Total Wall Area 62 %

Cementitious Siding & Trim

| | | | |
|---|-------------|----|-------------|
| A | 55.61 s.f. | O | 108.27 s.f. |
| B | 117.71 s.f. | P | 134.25 s.f. |
| C | 70.08 s.f. | Q | 218.81 s.f. |
| D | 26.78 s.f. | R | 157.49 s.f. |
| E | 111.90 s.f. | S | 34.64 s.f. |
| F | 28.95 s.f. | T | 59.14 s.f. |
| G | 13.69 s.f. | U | 196.23 s.f. |
| H | 72.25 s.f. | V | 142.89 s.f. |
| I | 135.03 s.f. | W | 238.28 s.f. |
| J | 53.44 s.f. | X | 79.42 s.f. |
| K | 31.69 s.f. | Y | 160.23 s.f. |
| L | 55.61 s.f. | Z | 33.96 s.f. |
| M | 167.53 s.f. | AA | 244.77 s.f. |
| N | 55.61 s.f. | BB | 36.80 s.f. |

Cementitious Siding & Trim Total 2,841.06 s.f.
Percent of Total Wall Area 38 %

4,695.33 s.f.
2,841.06 s.f.
Wall Total Area 7,536.39 s.f.



CARLIN / WHITE
ASSOCIATES INC.

www.carlinwhite.com



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713 783 8040 FAX 713 783 7774

drawing chronology

01 01-04-10 ISSUED FOR REVIEW

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Plan Notes:

A EXTERIOR WALL WITH 6" HARDIPLANK SIDING AND HARDIPLANK SIDING & TRIM WALL AREA DOES NOT INCLUDE WINDOWS WINDOWS = 18 S.F. EACH (3' X 6')

1 EXTERIOR WALL WITH STONE VENEER ONLY

NOTE: SURFACE AREAS ARE MEASURED FROM BOTTOM OF WALL MATERIAL TO TOP OF FASCIA (8'-8") FASCIA IS THE SAME HEIGHT CONT. AROUND BUILDING. HARDIPLANK SIDING TO BE SMOOTH FINISH AND PAINTED HARDIPLANK SIDING & TRIM TO BE SMOOTH FINISH & PAINTED

Total Beds = 40

Total 15,955 SF
Service Area 2,394 SF

project

ROCKWALL
ALZHEIMER

Rockwall Texas

sheet name

Exterior Finish Plan

Date: 00

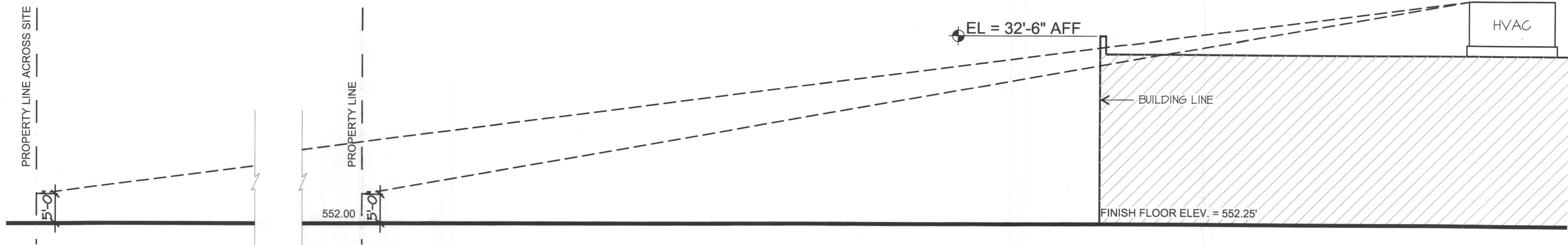
Project No.: 00

Reviewed: CHC

A-2

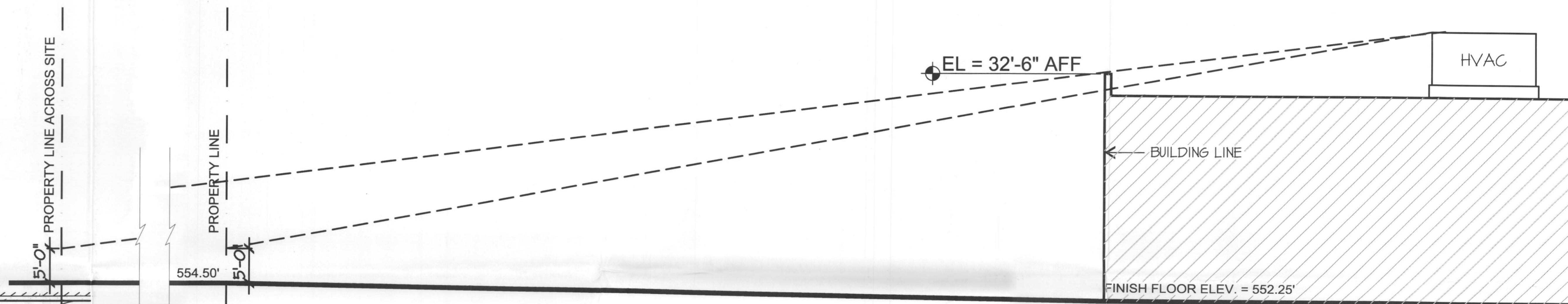
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01



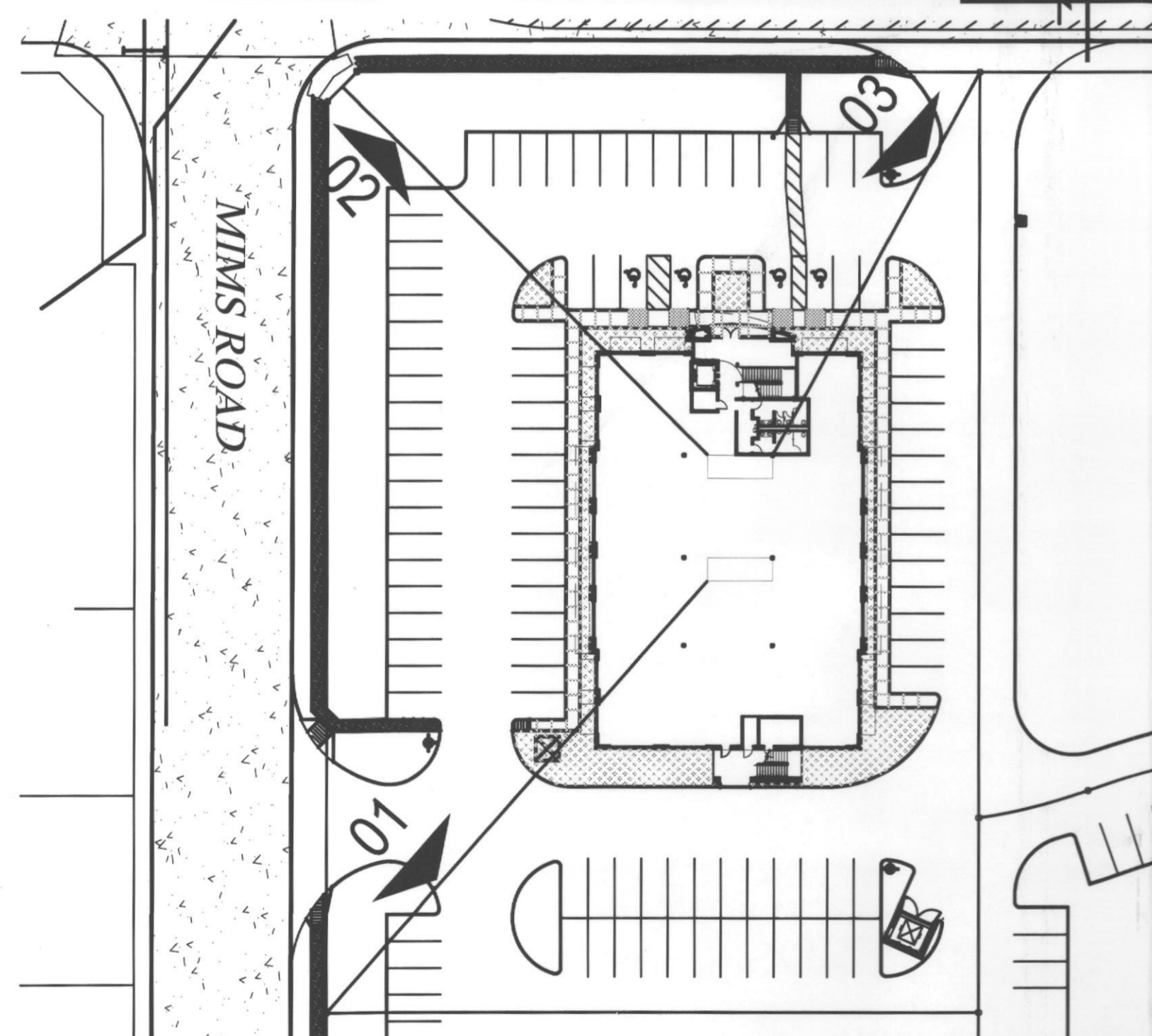
01 SITE SECTION

SCALE: 1/16" = 1'-0"



02 SITE SECTION

SCALE: 1/16" = 1'-0"

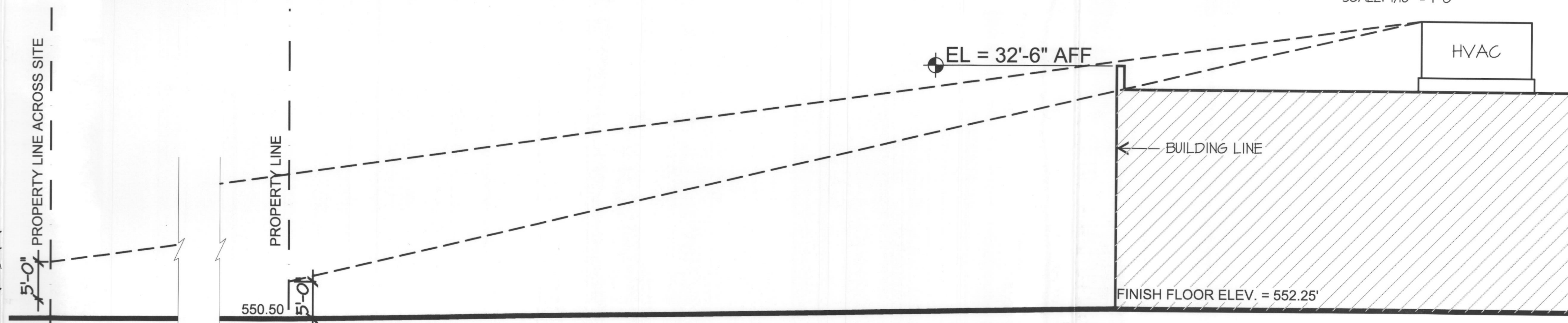


04 SITE PLAN

SCALE: NTS



NORTH



03 SITE SECTION

SCALE: 1/16" = 1'-0"

ROCKWALL OFFICE BUILDING

ROCKWALL, TEXAS

BLDG SITE LINE

SCALE: AS NOTED ■ JOB#: 29115 ■ ISSUE DATE: 01-07-2010

APPROVED BY: _____ DATE: _____

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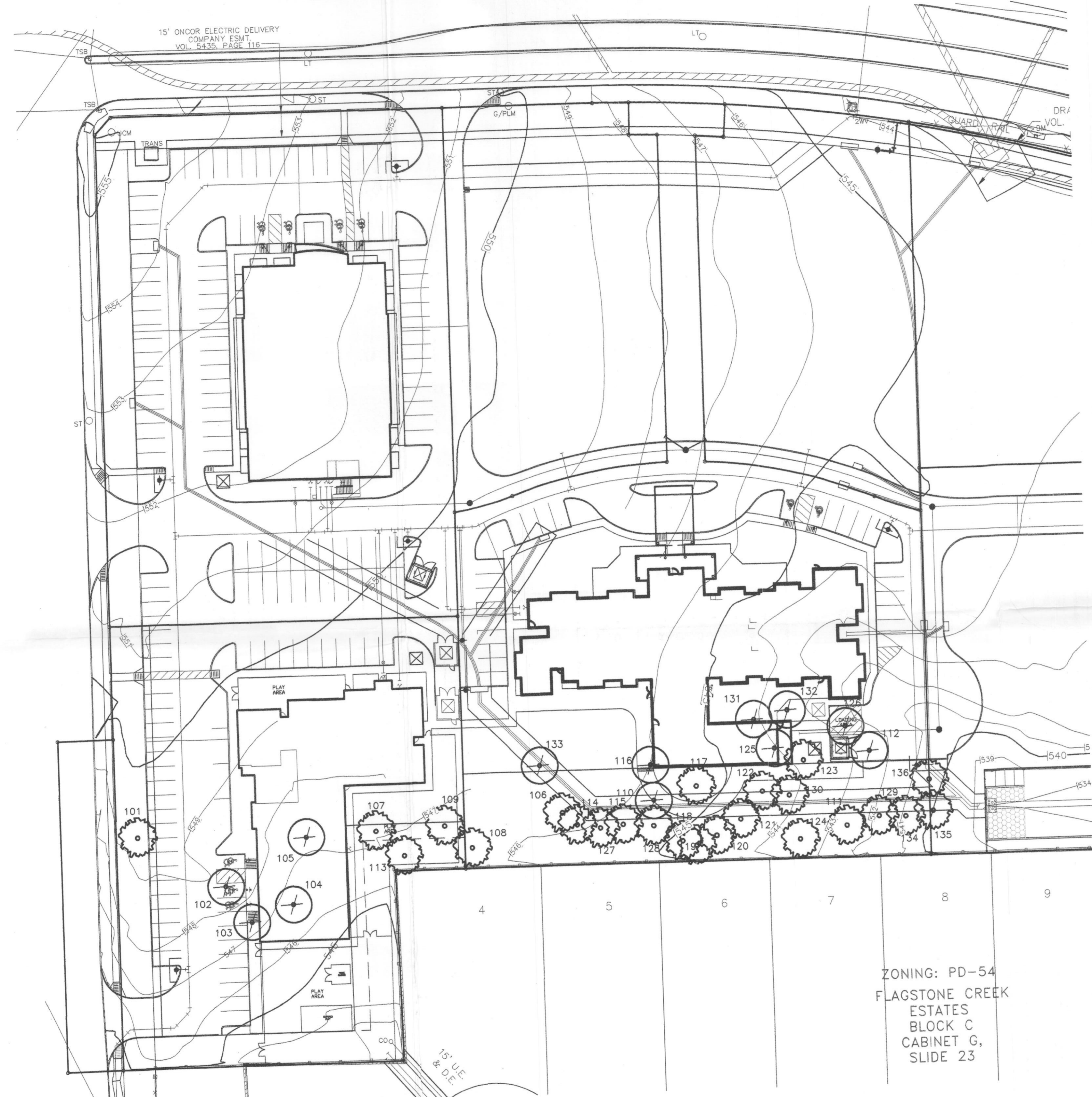


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JAN 07 2010
By _____

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ZONING: PD-54
FLAGSTONE CREEK
ESTATES
BLOCK C
CABINET G,
SLIDE 23

LEGEND

499  EXISTING TREE TO BE PRESERVED/PROTECTED

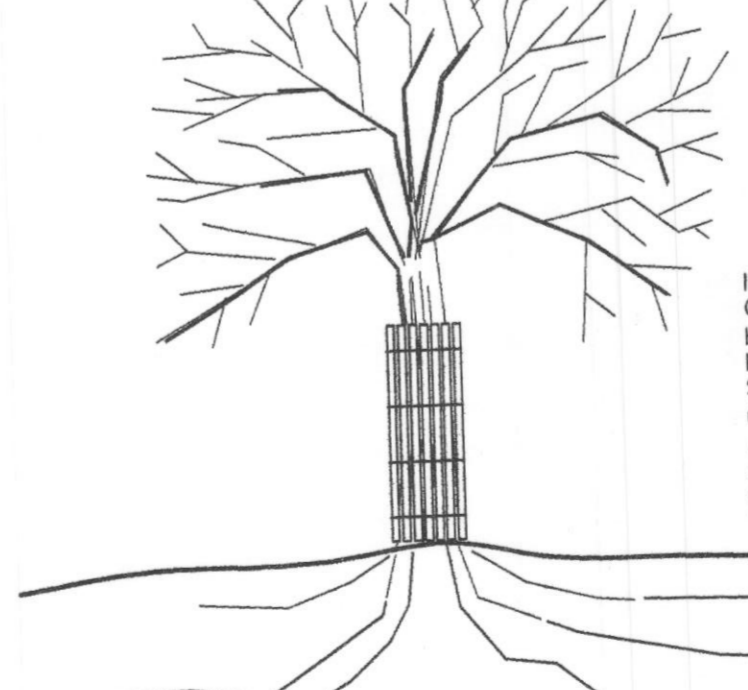
499  EXISTING TREE TO BE REMOVED BY PERMIT

| TREE REMOVAL | | | | |
|--------------|-------------|-------------|--------|---------------|
| Number | DBH | Common Name | Canopy | Comment |
| 101 | 26" | HACKBERRY | LOT 7 | PRESERVE |
| 102 | 24" | HACKBERRY | LOT 7 | REMOVE |
| 103 | 19" | HACKBERRY | LOT 7 | REMOVE |
| 104 | 20" | PECAN | LOT 7 | REMOVE |
| 105 | 26" | HACKBERRY | LOT 7 | REMOVE |
| 106 | 10"/6" | HACKBERRY | LOT 4 | PRESERVE |
| 107 | 27" | HACKBERRY | LOT 7 | PRESERVE |
| 108 | 22" | HACKBERRY | LOT 4 | PRESERVE |
| 109 | 20" | HACKBERRY | LOT 7 | PRESERVE |
| 110 | 24" | BOIS D'ARC | LOT 4 | REMOVE |
| 111 | 8" | HACKBERRY | LOT 4 | PRESERVE |
| 112 | 6" | HACKBERRY | LOT 4 | REMOVE |
| 113 | 11" | HACKBERRY | LOT 7 | PRESERVE |
| 114 | 8"/8" | HACKBERRY | LOT 4 | PRESERVE |
| 115 | 8"/8" | HACKBERRY | LOT 4 | PRESERVE |
| 116 | 8" | HACKBERRY | LOT 4 | REMOVE |
| 117 | 20" | HACKBERRY | LOT 4 | PRESERVE |
| 118 | 9" | HACKBERRY | LOT 4 | PRESERVE |
| 119 | 6" | BOIS D'ARC | LOT 4 | PRESERVE |
| 120 | 6" | BOIS D'ARC | LOT 4 | PRESERVE |
| 121 | 12" | HACKBERRY | LOT 4 | PRESERVE |
| 122 | 12" | HACKBERRY | LOT 4 | PRESERVE |
| 123 | 7" | HACKBERRY | LOT 4 | PRESERVE |
| 124 | 10"/10"/10" | HACKBERRY | LOT 4 | PRESERVE |
| 125 | 7" | HACKBERRY | LOT 4 | REMOVE |
| 126 | 9" | HACKBERRY | LOT 4 | REMOVE |
| 127 | 7" | HACKBERRY | LOT 4 | PRESERVE |
| 128 | 6" | BOIS D'ARC | LOT 4 | PRESERVE |
| 129 | 6" | HACKBERRY | LOT 4 | PRESERVE |
| 130 | 12" | HACKBERRY | LOT 4 | PRESERVE |
| 131 | 10"/10" | HACKBERRY | LOT 4 | REMOVE |
| 132 | 10" | HACKBERRY | LOT 4 | REMOVE |
| 133 | 6"/6"/6" | HACKBERRY | LOT 4 | REMOVE |
| 134 | 10" | HACKBERRY | LOT 4 | PRESERVE |
| 135 | 24" | BOIS D'ARC | LOT 4 | REMOVE |
| 136 | 20" | BOIS D'ARC | LOT 4 | REMOVE/HAZARD |

- TREE MITIGATION NOTES LOT 4:**
- SEVEN (7) EXISTING HACKBERRYS (38" TOTAL).
 - 50% REQUIRED MITIGATION.
 - 38" X 50% = 19" REQUIRED MITIGATION.
 - 5 X 4" NEW TREES = 20" ADDED
- TREE MITIGATION NOTES LOT 7:**
- THREE (3) EXISTING HACKBERRY, ONE (1) PECAN (89" TOTAL).
 - 50% REQUIRED MITIGATION ON HACKBERRY 100% ON OTHERS.
 - 69" X 50% = 35" + 20" = 55" REQUIRED MITIGATION.
 - 14 X 4" NEW TREES = 56" ADDED

BARK PROTECTION

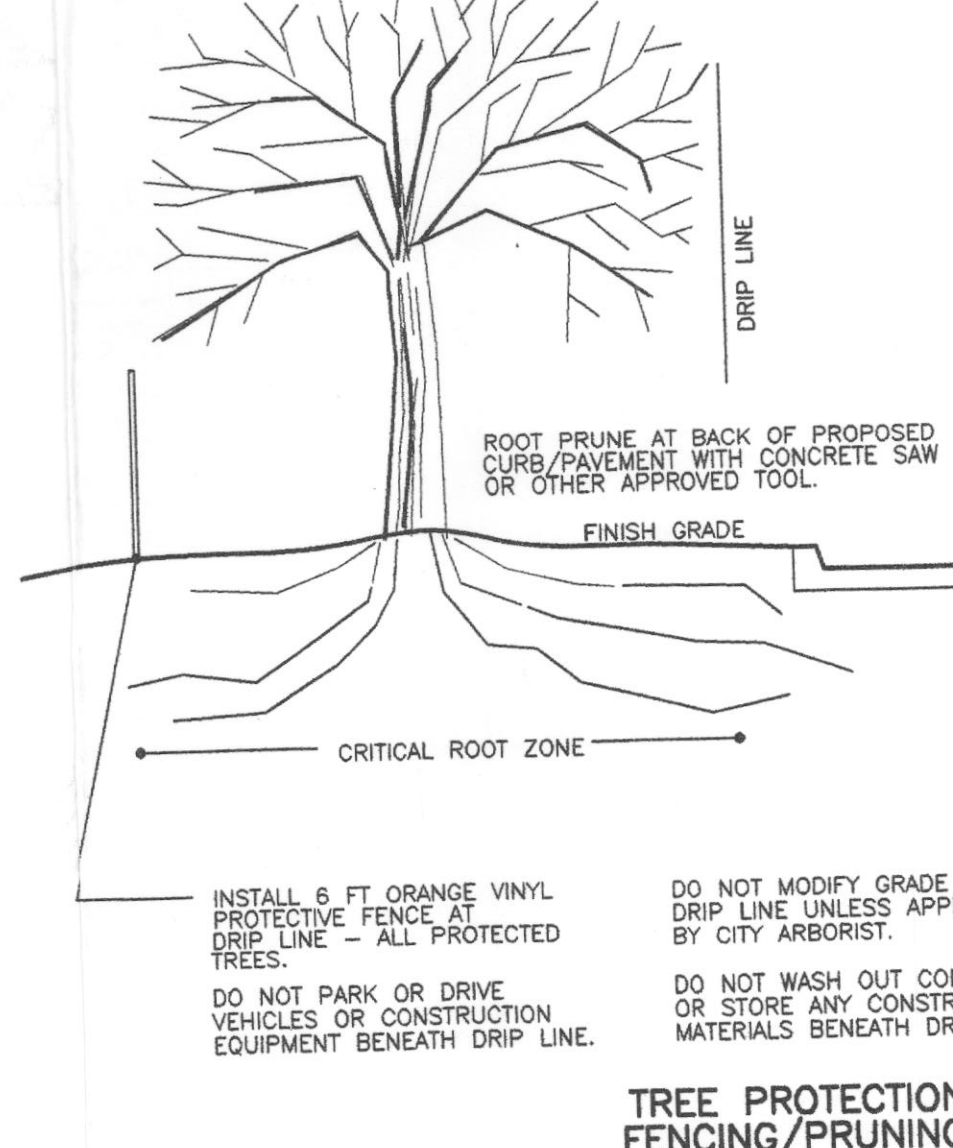
SCALE: NONE



INSTALL 2X4'S @ 5" OC TO MINIMUM HEIGHT OF 10' OR TO HEIGHT OF BRANCHING. STAPLE WIRE CONNECTORS TO 2X4'S AT 3' OC. DO NOT ATTACH TO TREE. COMPLETELY ENCIRCLE TRUNK.

TREE PROTECTION FENCING/PRUNING

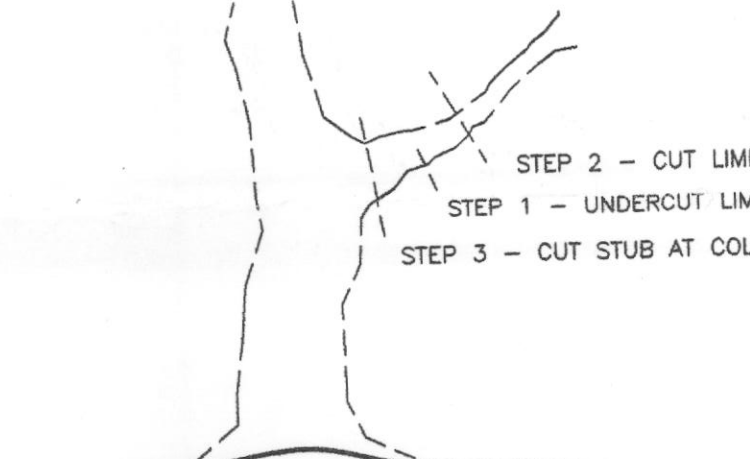
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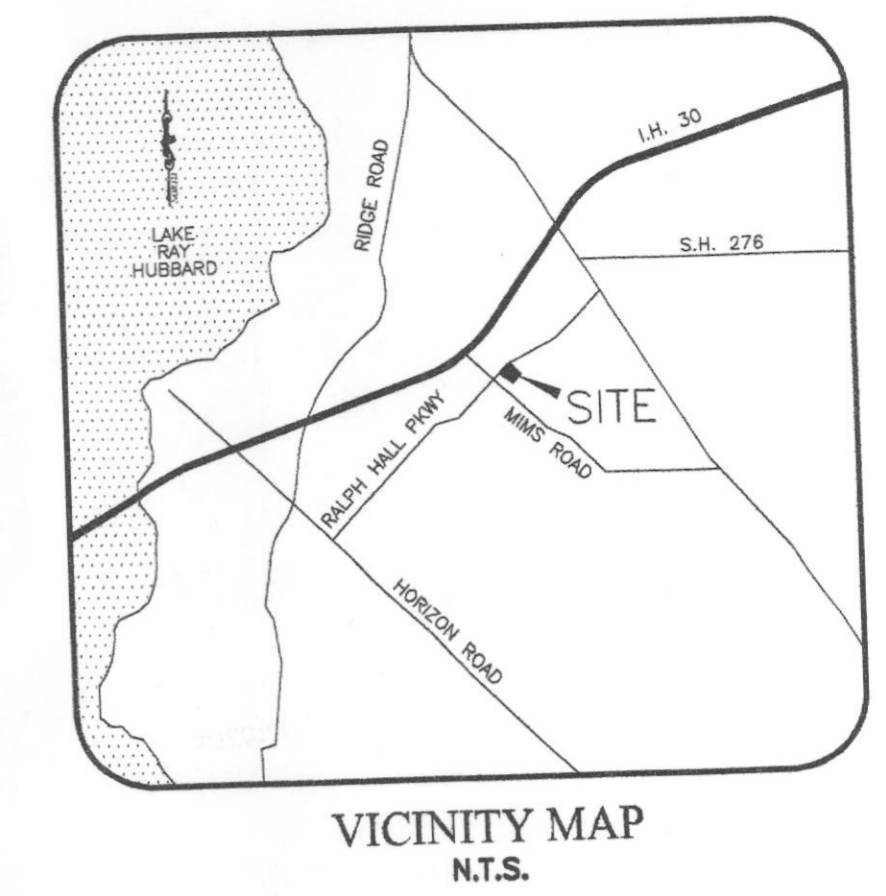
INSTALL 6 FT ORANGE VINYL PROTECTIVE FENCE AT DRIP LINE - ALL PROTECTED TREES. DO NOT PARK OR DRIVE VEHICLES OR CONSTRUCTION EQUIPMENT BENEATH DRIP LINE. DO NOT MODIFY GRADE BENEATH DRIP LINE UNLESS APPROVED BY CITY ARBORIST. DO NOT WASH OUT CONCRETE TRUCKS OR STORE ANY CONSTRUCTION MATERIALS BENEATH DRIP LINE.

TREE PRUNING

SCALE: NONE



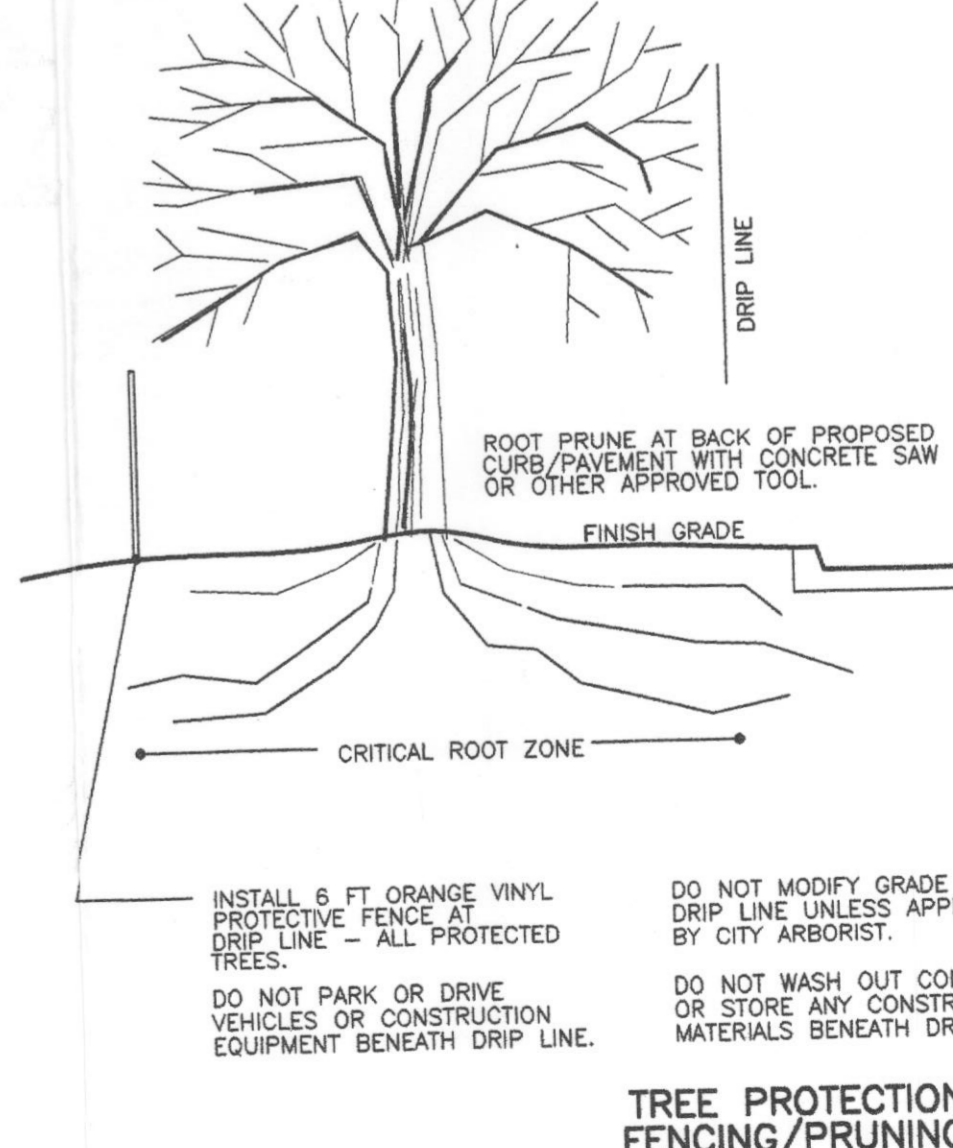
STEP 1 - UNDERCUT LIMB
STEP 2 - CUT LIMB
STEP 3 - CUT STUB AT COLLAR



NOTE:
REF NOTE 11, SHEET L-2
FOR ALL PRESERVED TREES.

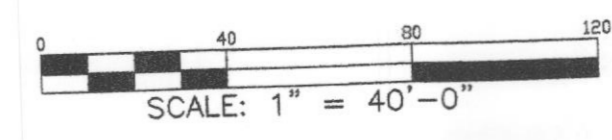
TREE PROTECTION FENCING/PRUNING

SCALE: NONE



INSTALL 6 FT ORANGE VINYL PROTECTIVE FENCE AT DRIP LINE - ALL PROTECTED TREES. DO NOT PARK OR DRIVE VEHICLES OR CONSTRUCTION EQUIPMENT BENEATH DRIP LINE. DO NOT MODIFY GRADE BENEATH DRIP LINE UNLESS APPROVED BY CITY ARBORIST. DO NOT WASH OUT CONCRETE TRUCKS OR STORE ANY CONSTRUCTION MATERIALS BENEATH DRIP LINE.

TREE PRESERVATION PLAN



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JAN 06 2010

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Date Jan 05, 2010
Drawn By GAC
Checked By JRF
Revisions

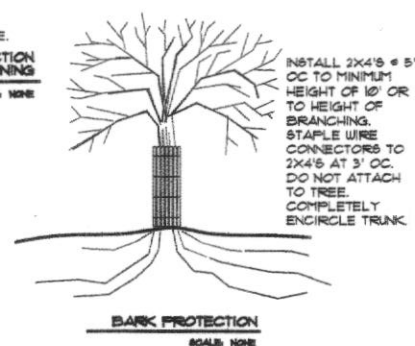
DFL Group, LLC
LANDSCAPE ARCHITECTURE
PAPERS - OPEN SPACE PLANNING
8228 MEDCREEK BLVD., NORTH RICHLAND HILLS, TX 76881-8749-0700



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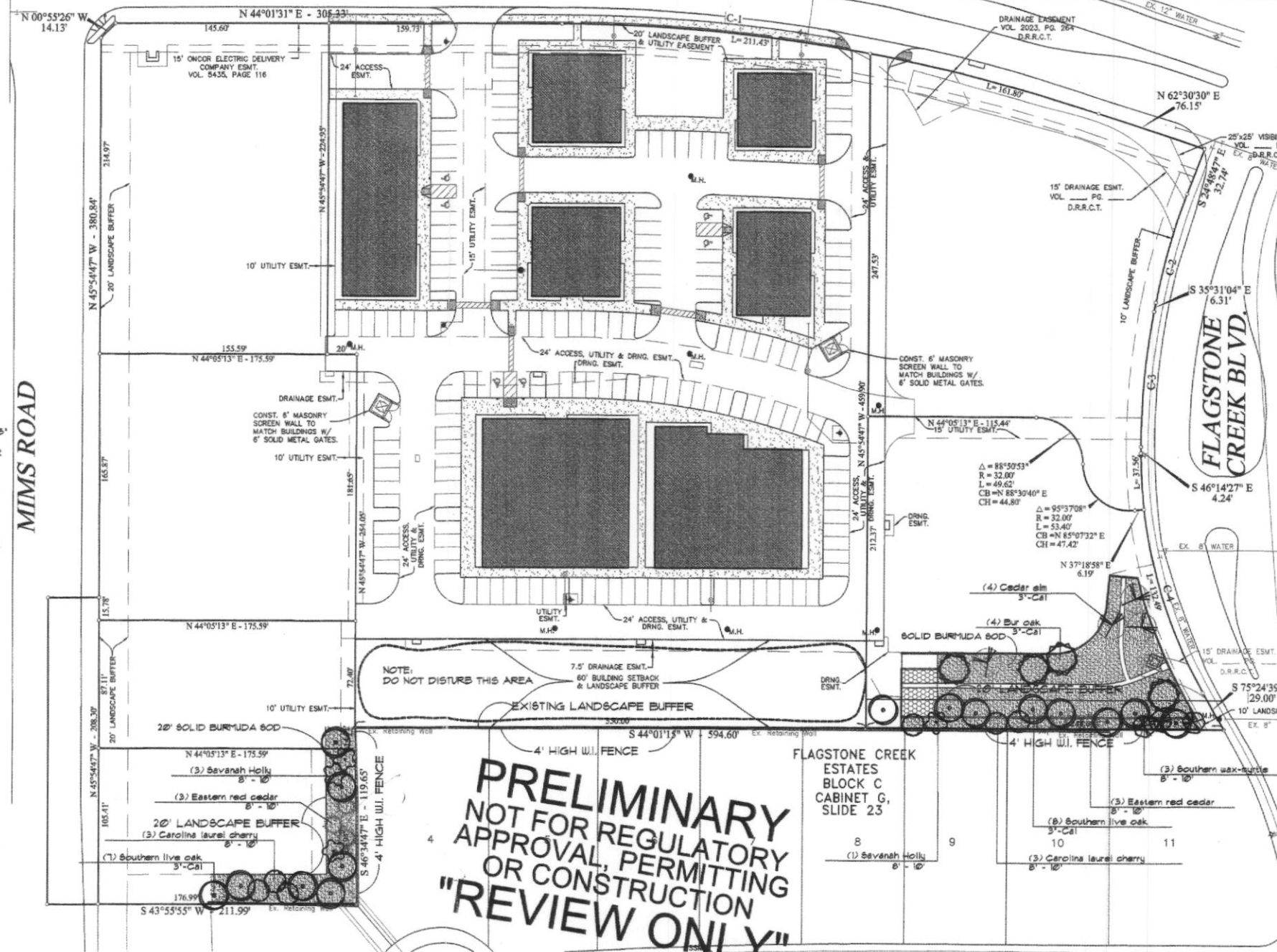
FLAGSTONE CORNERS
LOTS 4, 6 AND 7
ROCKWALL, TEXAS

Sheet No.
L-1
DF 3



1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
4. ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWN.
7. MAINTAIN PROTECTIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY SPECIFICATIONS AT ALL ENTRANCES TO SITE.
8. KEEP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS, WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
11. IF EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE AS DIRECTED BY OWNER'S REPRESENTATIVE. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
14. INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUND COVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
15. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.

(85' R.O.W.)



| Qty | Sym | Scientific Name | Common Name | Code | Size |
|-----|-----|------------------------|------------------------|---------|----------|
| 4 | | Quercus macrocarpa | Bur oak | Qums | 3'-Cal |
| 4 | | Ulmus crassifolia | Cedar elm | Ultr | 3'-Cal |
| 3 | | Myrica carifera | Southern wax-myrtle | Myce | 8' - 10' |
| 6 | | Prunus caroliniana | Caroline laurel cherry | Prccr | 8' - 10' |
| 15 | | Quercus virginiana | Southern live oak | Qluri | 3'-Cal |
| 6 | | Juniperus virginiana | Eastern red cedar | Juvi | 8' - 10' |
| 4 | | Ilex opaca x attenuata | Savannah Holly | Hopatts | 8' - 10' |

Lone Star Companies Of Dallas
16980 Dallas Parkway, Ste. 101
Dallas, Texas 75248



LANDSCAPE PLAN



DFL Group, LLC



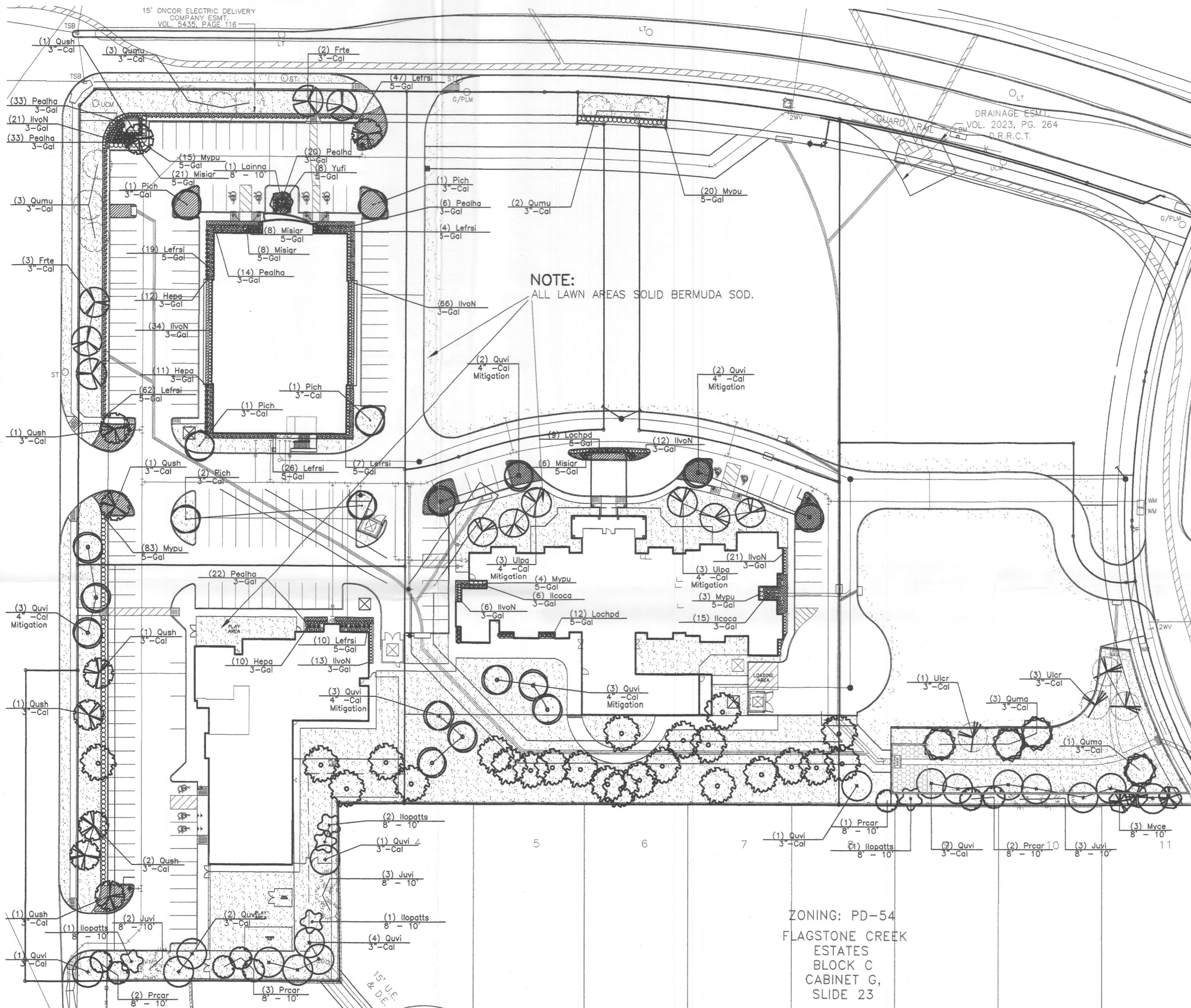
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FLAGSTONE CORNERS
NEC. E. RALPH HALL PARKWAY, AND MIMS RD.

Sheet No. _____

L-1

OF



NOTE:

1. THE SITE WILL BE IRRIGATED WITH A BELOW GROUND AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE SENSOR, THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR THE PARTICULAR TYPE OF PLANT MATERIAL USED.
2. THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING, IRRIGATION, FERTILIZING, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS. THE REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES AS DEFINED IN ARTICLE VIII, SECTION 9.
3. ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS STATED IN THE CITY LANDSCAPE ORDINANCE, ARTICLE VIII, SECTION 8.
4. ALL LANDSCAPE AREAS ARE PROTECTED FROM VEHICULAR TRAFFIC BY CONCRETE CURBING.
5. VISIBILITY TRIANGLES ARE SHOWN AND PROTECTED.

TREE MITIGATION NOTE:

1. REF. SHEET L-1 FOR TREE MITIGATION TABLE.

NOTE:

ALL 4" CALIPER TREES ARE USED TO FULFILL MITIGATION REQUIREMENTS

NOTE:

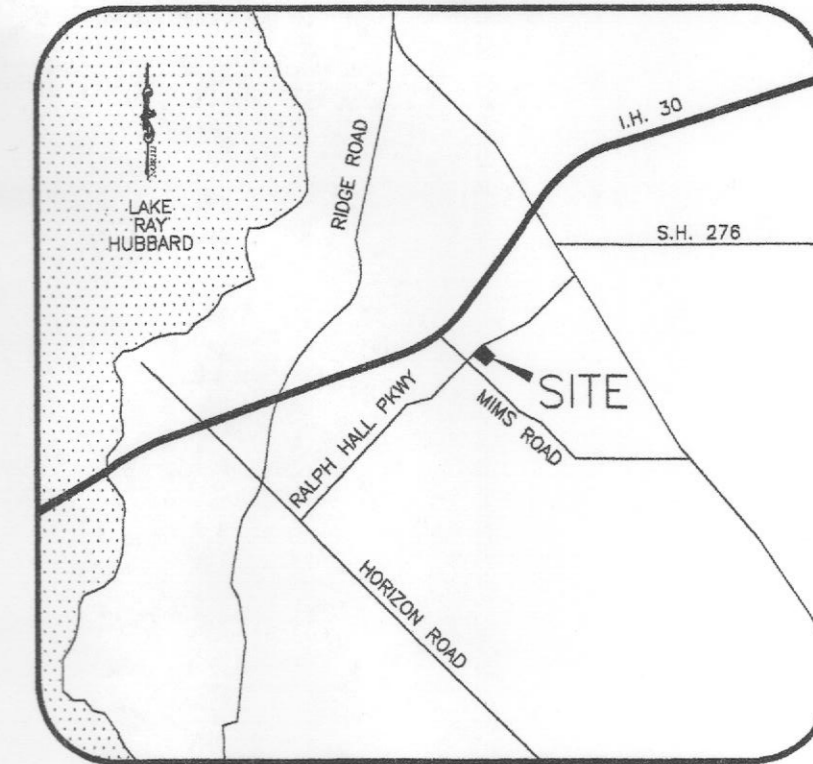
REF NOTE 11 FOR ALL PRESERVED TREES.

CITY OF ROCKWALL LANDSCAPE REQUIREMENTS

| LANDSCAPE BUFFER | LOT 4 | |
|-------------------------|---|----------|
| | REQUIRED | PROVIDED |
| STREET LANDSCAPING | 10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER | |
| | 10' | 20' |
| PARKING LOT LANDSCAPING | 1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE | |
| | REQUIRED | PROVIDED |
| PARKING LOT TREES | 62'/50 = 2 TREES | 2 TREES |
| PARKING LOT TREES | 5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING | |
| | REQUIRED | PROVIDED |
| PARKING LOT TREES | 14,316 X 5% = 716 SF | 1636 |
| | IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES | |
| PARKING LOT TREES | REQUIRED | PROVIDED |
| | N/A | |
| PARKING LOT TREES | ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE | |
| | REQUIRED | PROVIDED |
| PARKING LOT TREES | ALL SPACES WITHIN 80' | |
| | | |
| LANDSCAPE AREA | REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA | |
| | REQUIRED | PROVIDED |
| LANDSCAPE AREA | 77,090 X 15% = 11,564 SF | 36,369 |
| | | |
| LANDSCAPE AREA | 50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD | |
| | REQUIRED | PROVIDED |
| LANDSCAPE AREA | 11,564 X 50% = 5,782 SF | 8,437 |
| | | |

| LANDSCAPE BUFFER | LOT 6 | |
|-------------------------|---|----------|
| | REQUIRED | PROVIDED |
| STREET LANDSCAPING | 10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER | |
| | 10' | 20' |
| PARKING LOT LANDSCAPING | 1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE | |
| | REQUIRED | PROVIDED |
| PARKING LOT TREES | 534'/50 = 11 TREES | 11 TREES |
| PARKING LOT TREES | 5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING | |
| | REQUIRED | PROVIDED |
| PARKING LOT TREES | 38,966 X 5% = 1,948 SF | 2,052 |
| | IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES | |
| PARKING LOT TREES | REQUIRED | PROVIDED |
| | 100 SPACES/10 = 10 TREES | 10 TREES |
| PARKING LOT TREES | ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE | |
| | REQUIRED | PROVIDED |
| PARKING LOT TREES | ALL SPACES WITHIN 80' | |
| | | |
| LANDSCAPE AREA | REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA | |
| | REQUIRED | PROVIDED |
| LANDSCAPE AREA | 70,387 X 15% = 10,558 SF | 11,574 |
| | | |
| LANDSCAPE AREA | 50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD | |
| | REQUIRED | PROVIDED |
| LANDSCAPE AREA | 10,558 X 50% = 5,279 SF | 9,552 |
| | | |

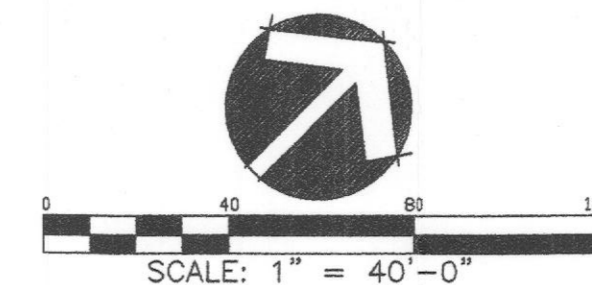
| LANDSCAPE BUFFER | LOT 7 | |
|-------------------------|---|-----------------------------|
| | REQUIRED | PROVIDED |
| STREET LANDSCAPING | 10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER | |
| | 10' | 20' |
| PARKING LOT LANDSCAPING | 1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE | |
| | REQUIRED | PROVIDED |
| PARKING LOT TREES | 280'/50 = 6 TREES | 6 TREES (5 NEW, 1 EXISTING) |
| PARKING LOT TREES | 5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING | |
| | REQUIRED | PROVIDED |
| PARKING LOT TREES | 18,279 X 5% = 1,045 SF | 1,786 |
| | IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES | |
| PARKING LOT TREES | REQUIRED | PROVIDED |
| | N/A | |
| PARKING LOT TREES | ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE | |
| | REQUIRED | PROVIDED |
| PARKING LOT TREES | ALL SPACES WITHIN 80' | |
| | | |
| LANDSCAPE AREA | REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA | |
| | REQUIRED | PROVIDED |
| LANDSCAPE AREA | 56,342 X 15% = 8,452 SF | 21,143 |
| | | |
| LANDSCAPE AREA | 50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD | |
| | REQUIRED | PROVIDED |
| LANDSCAPE AREA | 8,452 X 50% = 4,226 SF | 4,950 |
| | | |



VICINITY MAP
N.T.S.

PLANTING NOTES:

1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
4. ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
7. MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
8. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 4 FT.
9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
11. IF EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE AS DIRECTED BY OWNER'S REPRESENTATIVE. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
14. INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUND COVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
15. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
16. ALL TREES TO BE PLANTED MIN. 5' FROM ANY UTILITIES.



LANDSCAPE PLAN

Date Jan 05, 2010
Drawn By GAC
Checked By JRF
Revisions



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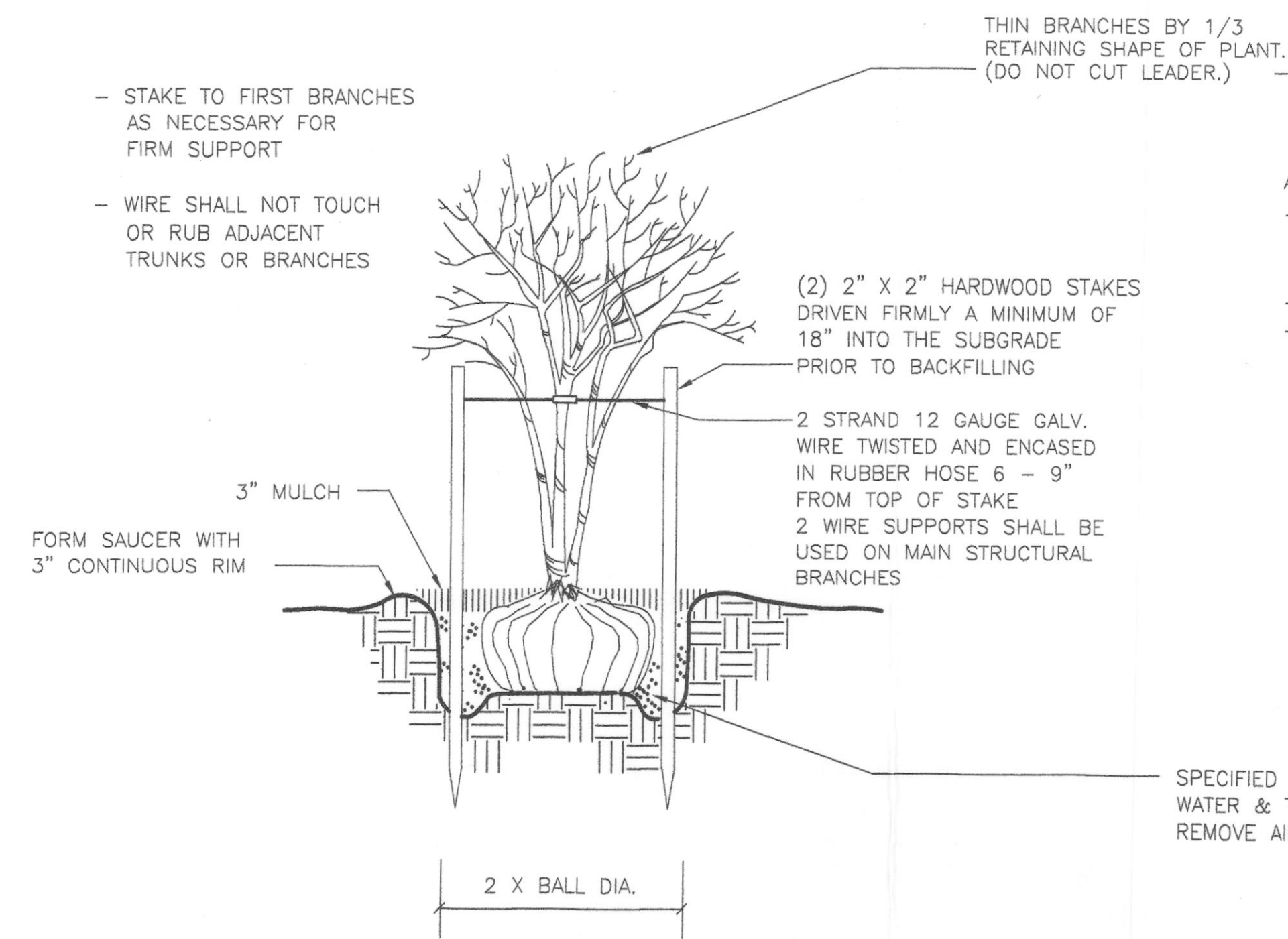
FLAGSTONE CORNERS
LOTS 4, 6 AND 7
ROCKWALL, TEXAS

Sheet No.

L-2

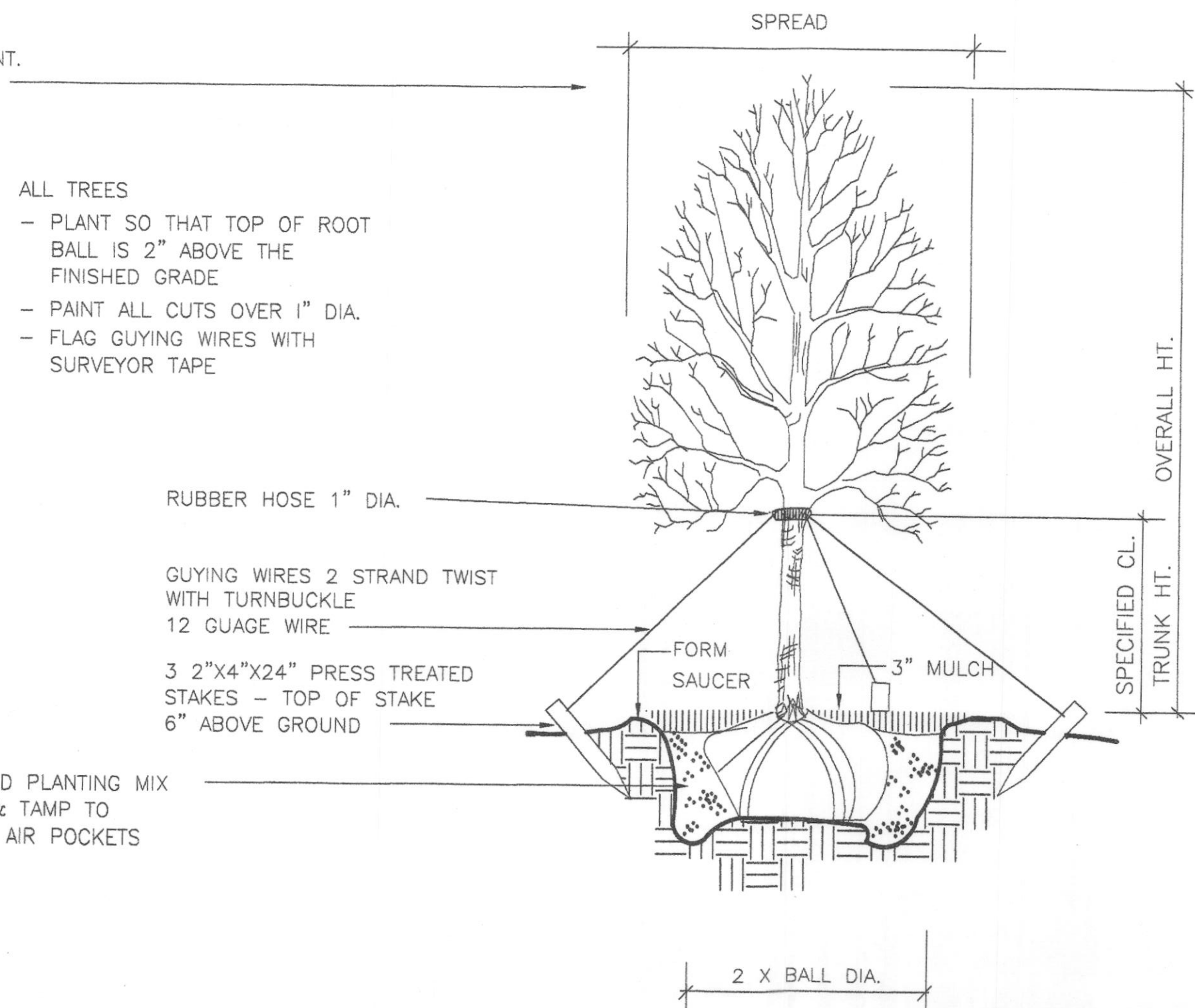
OF 3

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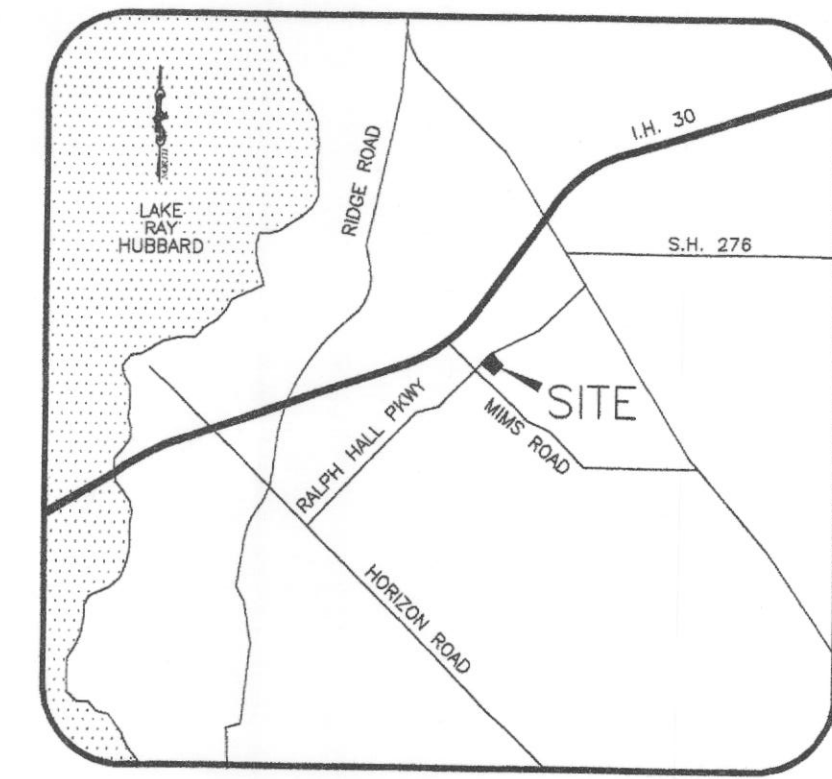
STAKING FOR MULTI-TRUNK TREES & TREES 2" CAL. & UNDER

SCALE: NOT TO SCALE

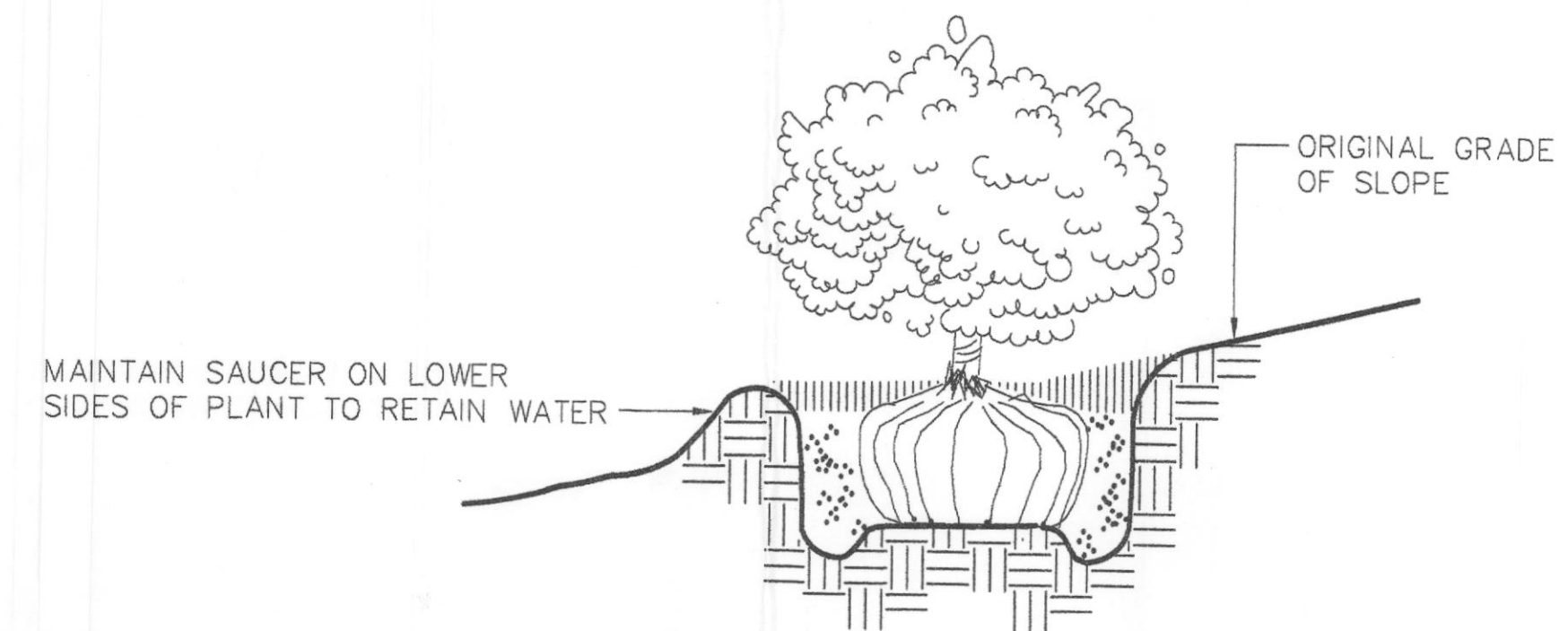


TREE PLANTING - GUY WIRES OVER 2" CALIPER

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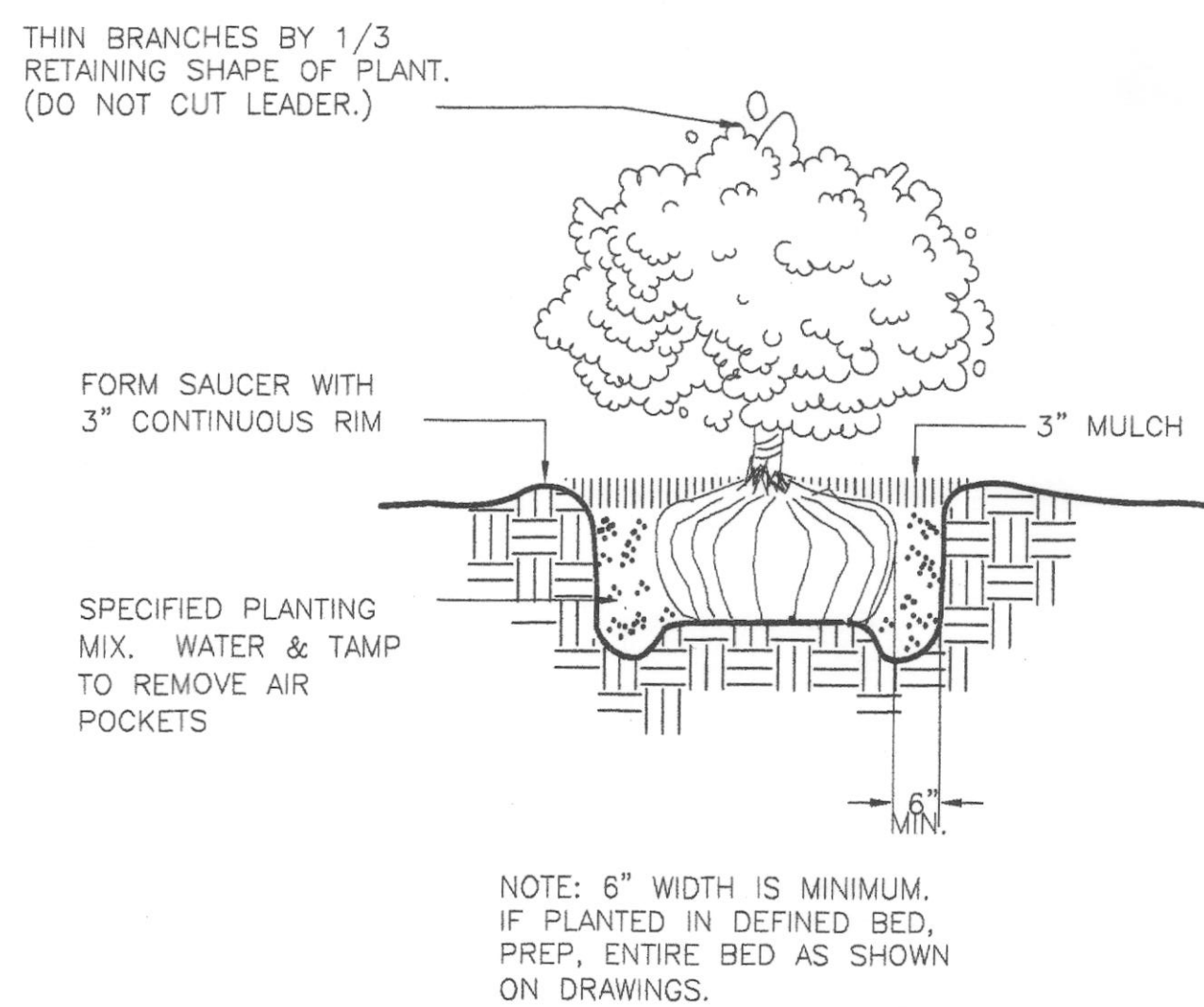


VICINITY MAP N.T.S.



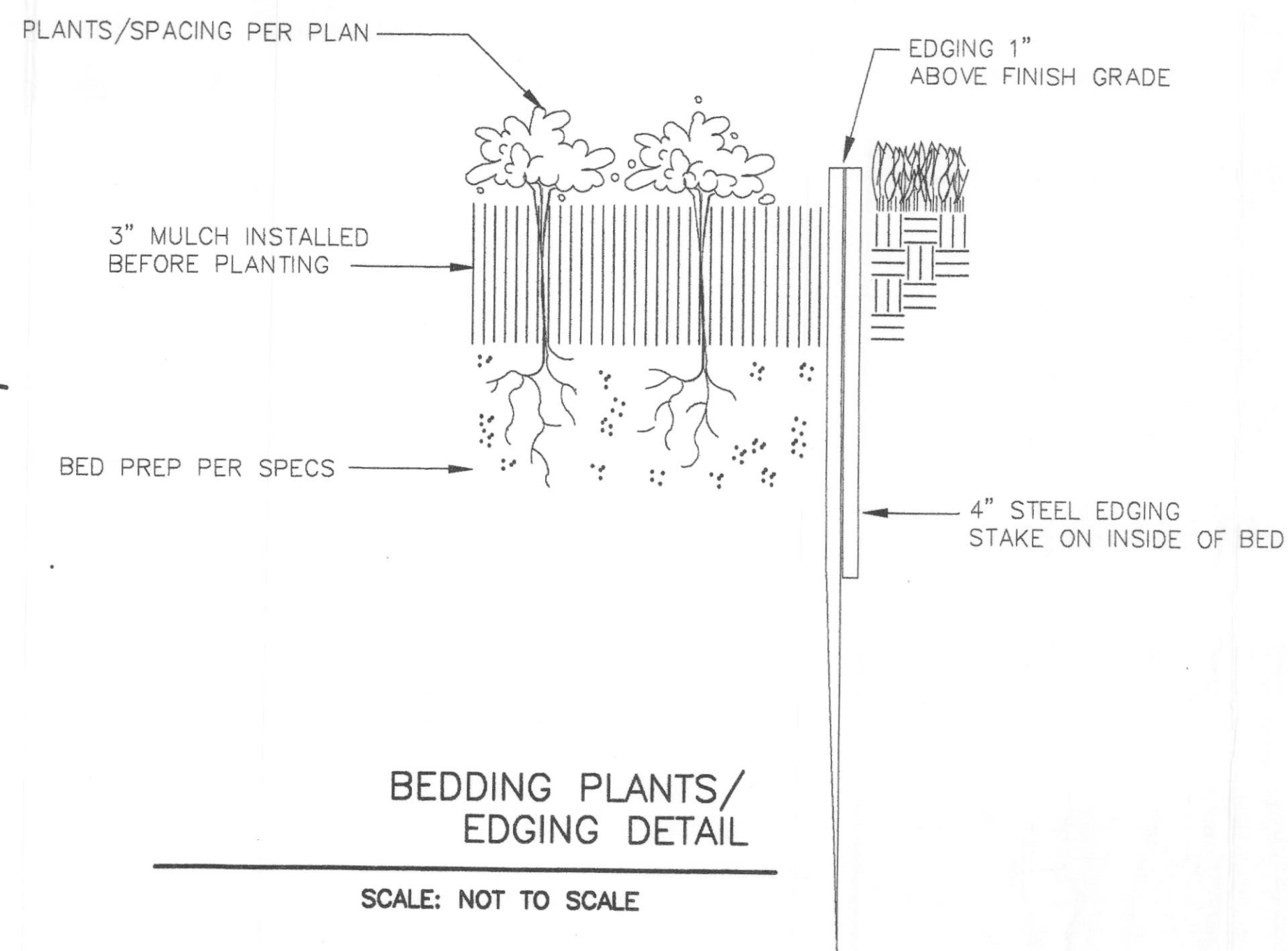
TREE/SHRUB PLANTING ON SLOPES

SCALE: NOT TO SCALE



SHRUB PLANTING

SCALE: NOT TO SCALE



SCALE: NOT TO SCALE

PLANT LIST

| Symbol | Quantity | Code Name | Scientific Name | Common Name | Planting Size | Comments |
|--------|----------|-----------|-------------------------------------|------------------------|---------------|--------------|
| ○ | 8 | Prcar | Prunus caroliniana | Carolina laurel cherry | 8' - 10' | B & B |
| ○ | 8 | Juvi | Juniperus virginiana | Eastern red cedar | 8' - 10' | B & B |
| ○ | 5 | Ilopatts | Ilex opaca x attenuata 'Savannah | Savannah Holly | 8' - 10' | B & B |
| ○ | 9 | Qush | Quercus shumardii | Shumard oak | 3"-Cal | B & B |
| ○ | 4 | Ulc | Ulmus crassifolia | Cedar elm | 3"-Cal | B & B |
| ○ | 5 | Frte | Fraxinus texensis | Texas ash | 3"-Cal | B & B |
| ○ | 8 | Qumu | Quercus Muhlenbergii | Chinquapin Oak | 3"-Cal | B & B |
| ○ | 13 | Quvi | Quercus virginiana | Southern live oak | 4"-Cal | B & B |
| ○ | 16 | Quvi | Quercus virginiana | Southern live oak | 3"-Cal | B & B |
| ○ | 175 | Lefrsi | Leucophyllum frutescens 'Silverado' | Silverado sage | 5-Gal | 36" OC |
| ○ | 125 | Mypu | Myrica pusilla | Dwarf Wax Myrtle | 5-Gal | 36" OC |
| ○ | 173 | IlvoN | Ilex vomitoria 'Nana' | Dwarf yaupon | 3-Gal | 24" OC |
| ○ | 43 | Misigr | Miscanthus sinensis 'Gracillimus' | Maiden grass | 5-Gal | 36" OC |
| ○ | 95 | Pealha | Pennisetum alopecuroides 'Hamelin' | Dwf Fountain Grass | 3-Gal | 24" OC |
| ○ | 3 | Myce | Myrica cerifera | Southern wax-myrtle | 8' - 10' | B & B |
| ○ | 4 | Quma | Quercus macrocarpa | Bur oak | 3"-Cal | B & B |
| ○ | 6 | Pich | Pistacia chinensis | Chinese pistache | 3"-Cal | B & B |
| ○ | 6 | Ulpa | Ulmus parvifolia | Lacebark elm | 4"-Cal | B & B |
| ○ | 1 | Lainna | Lagerstroemia indica 'Natchez' | Crape myrtle 'Natchez' | 8' - 10' | 3 or 5 canes |
| ○ | 33 | Hepa | Hesperaloe parviflora | Red yucca | 3-Gal | 36" OC |
| ○ | 8 | Yufi | Yucca filamentosa | Softleaf yucca | 5-Gal | 36" OC |
| ○ | 21 | Lochpd | Loropetalum chinense 'Plum Delight' | Chinese Fringe Flower | 5-Gal | 36" OC |
| ○ | 21 | Ilcoca | Ilex cornuta 'Carissa' | Carissa holly | 3-Gal | 36" OC |
| ○ | 2215 | Tras | Trachelospermum asiaticum | Asian jasmine | 4" pot | 12" OC |
| ○ | 1950 | Limu | Liriope muscari 'Big Blue' | 'Big Blue' Liriope | 4" pot | 12" OC |

Date Jan 05, 2010
Drawn By GAC
Checked By JRF
Revisions

DFL Group, LLC
LANDSCAPE ARCHITECTURE
8200 MIDCITY BLVD., NORTH RICHLAND, TX 78860 817-479-0700



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FLAGSTONE CORNERS
LOTS 4, 6 AND 7
ROCKWALL, TEXAS






Sheet No.

L-3

OF 3

PLANTING DETAILS



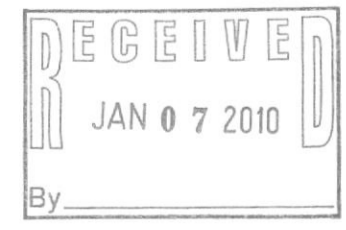
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|---|-----|---------|----------------------------|--------|-------|-------|
| Symbol | Qty | Label | Description | Lumens | LLF | Watts |
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|  | 2 | SA4 | KIM - WP9L4_400PMH-ED28 | 40000 | 0.720 | 400 |
|  | 4 | SA4HS | KIM - WP9L4_400PMH-ED28_HS | 40000 | 0.720 | 400 |
|  | 2 | 2SA4 | KIM - WP9L4_400PMH-ED28 | 40000 | 0.720 | 400 |
|  | 6 | SA3-250 | KIM - WP9L3-250PMH-ED28 | 22500 | 0.720 | 250 |

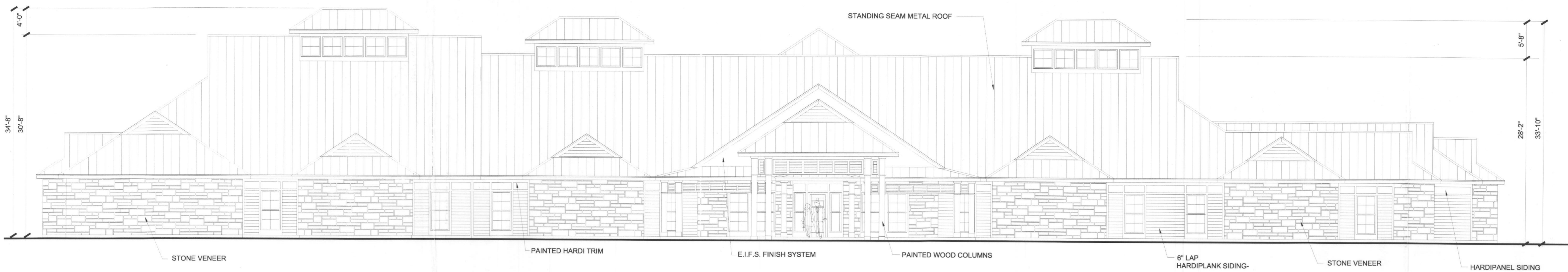
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|---------------------|-------------|-------|------|------|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| Prop Line | Illuminance | Fc | 0.01 | 0.1 | 0.0 | N.A. | N.A. |
| Calc Zone 1 | Illuminance | Fc | 2.44 | 12.6 | 0.2 | 12.20 | 63.00 |

NOTES
1. Calc at grade level
2. Mounted on 17.5' pole on a 30" base
Except Type SA3-250 - 12.5' pole on a 30" base

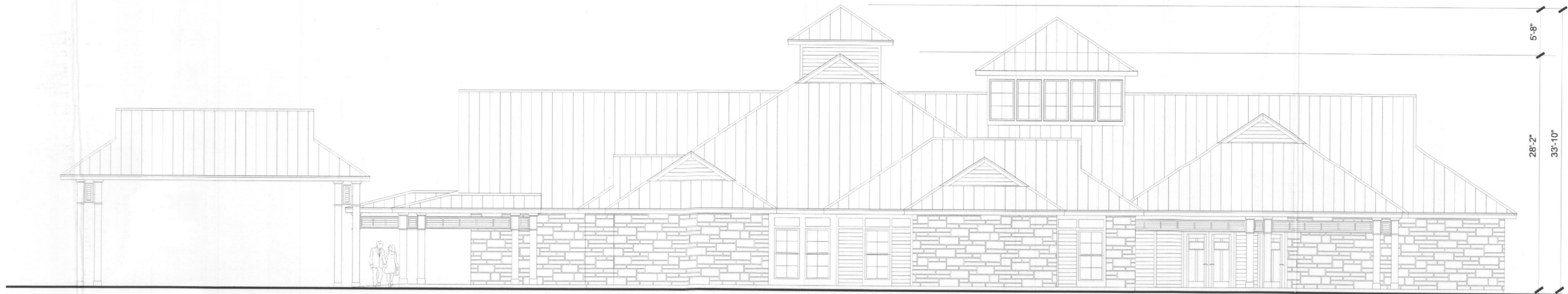
3 COPY

2009 011





FRONT ELEVATION- NORTH 1/8"= 1'-0"



SIDE - WEST 1/8"= 1'-0"



REAR- SOUTH 1/8"= 1'-0"



SIDE - EAST 1/8"= 1'-0"

record architect

CARLIN / WHITE
ASSOCIATES INC.

www.carlinwhite.com



5906 DOLORES SUITE 100 HOUSTON, TX. 77057
713 783 8040 FAX 713 783 7774

drawing chronology

01 01-10-10 ISSUED FOR REVIEW

The Architect has made every effort to set forth in the Contract Documents the complete scope of the work. The Contractor is never the less cautioned that minor omissions and discrepancies in the drawings shall not excuse the Contractor from providing a complete facility and improvements in accordance with the intent of these documents. It will be the responsibility of the Contractor to bring any conflicts, omissions, or discrepancies to the attention of the Architect in writing, prior to submissions of proposals or to commencement of construction.

In accordance with the rules and regulations of the Texas Board of Architectural Examiners these documents may not be used for construction unless the Seal of the Architect has been properly numbered and signed by the Architect of Record.

The drawings prepared by Carlin / White for this project are instruments of the Architect's service for the use solely with respect to this Project and, unless otherwise provided, the Architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright.

project

ROCKWALL
ALZHEIMER

Rockwall Texas

sheet name

Building Elevations

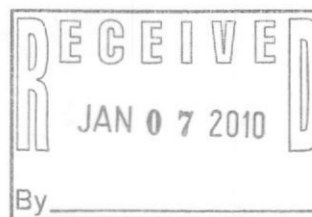
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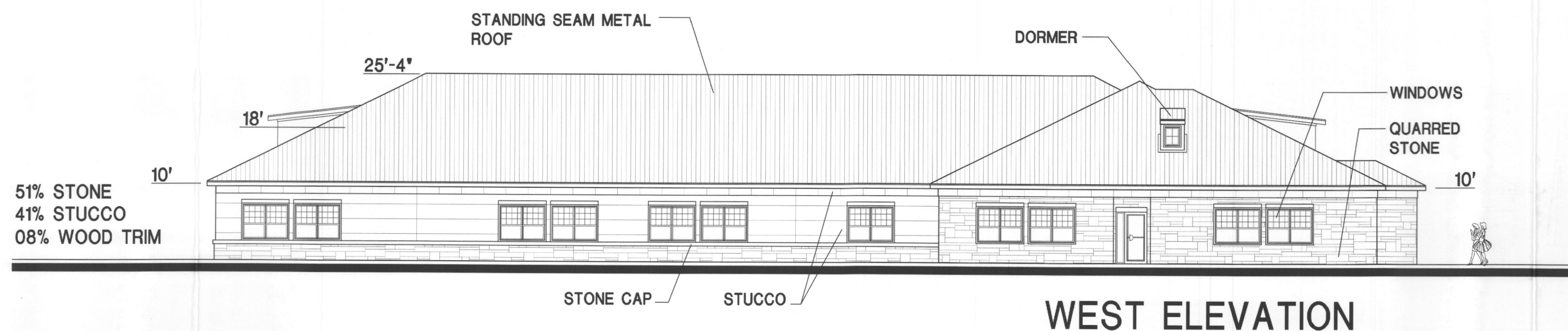
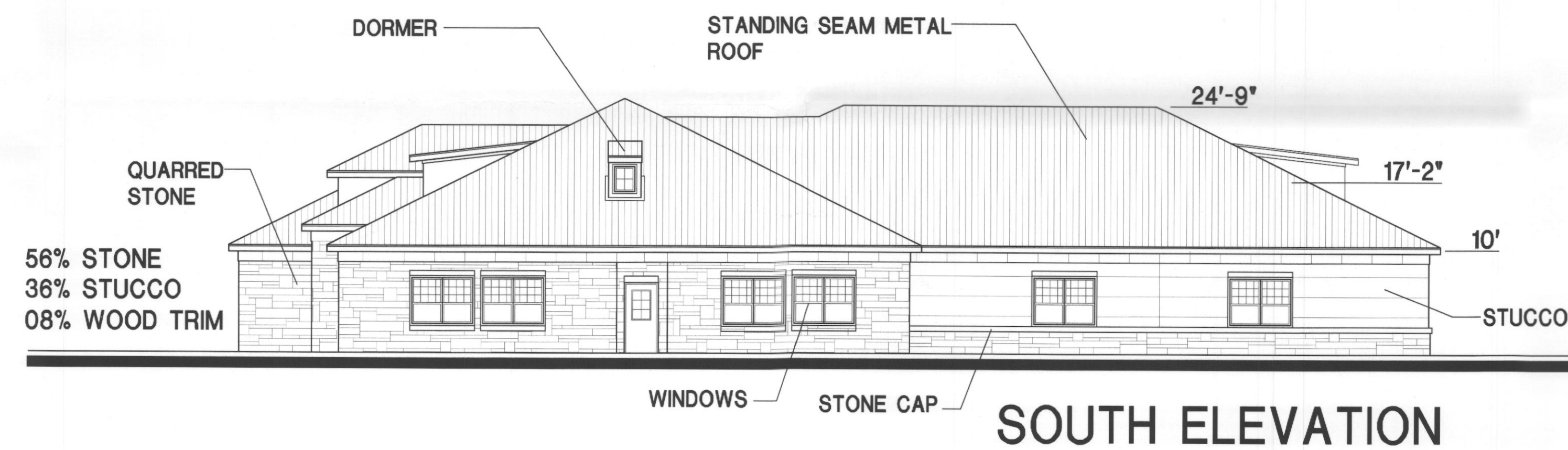
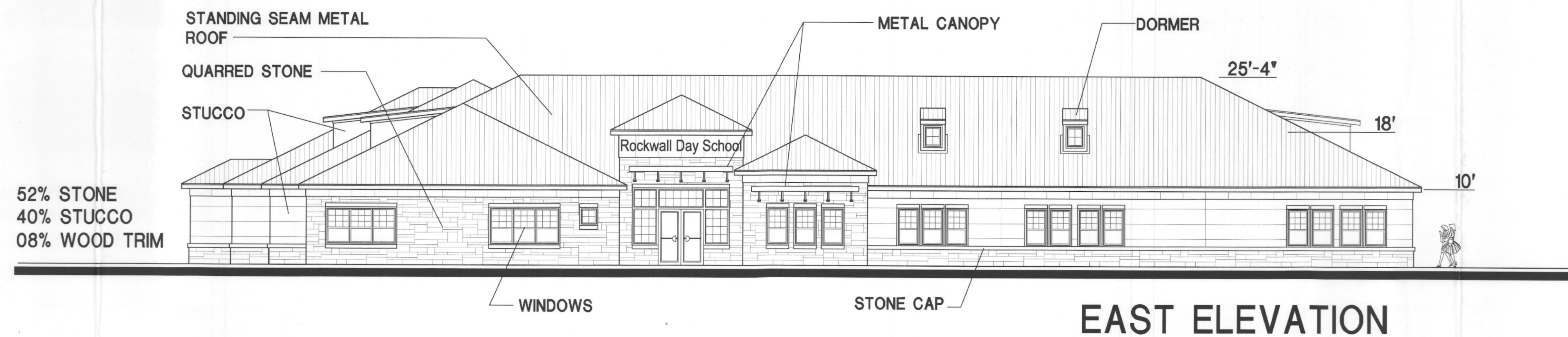
Project No.: 00

Reviewed: CHC

FILE COPY

2009 011





| BUILDING TOTALS | |
|-----------------|------|
| STONE VENEER | 53 % |
| STUCCO | 39 % |
| WOOD TRIM | 08 % |

ROCKWALL DAY SCHOOL

ROCKWALL, TX
LONE STAR COMPANIES

EL-03

SCALE: 1"=10' ■ JOB#: 29121 ■ ISSUE DATE: 01/07/10
APPROVED BY: _____ DATE: _____

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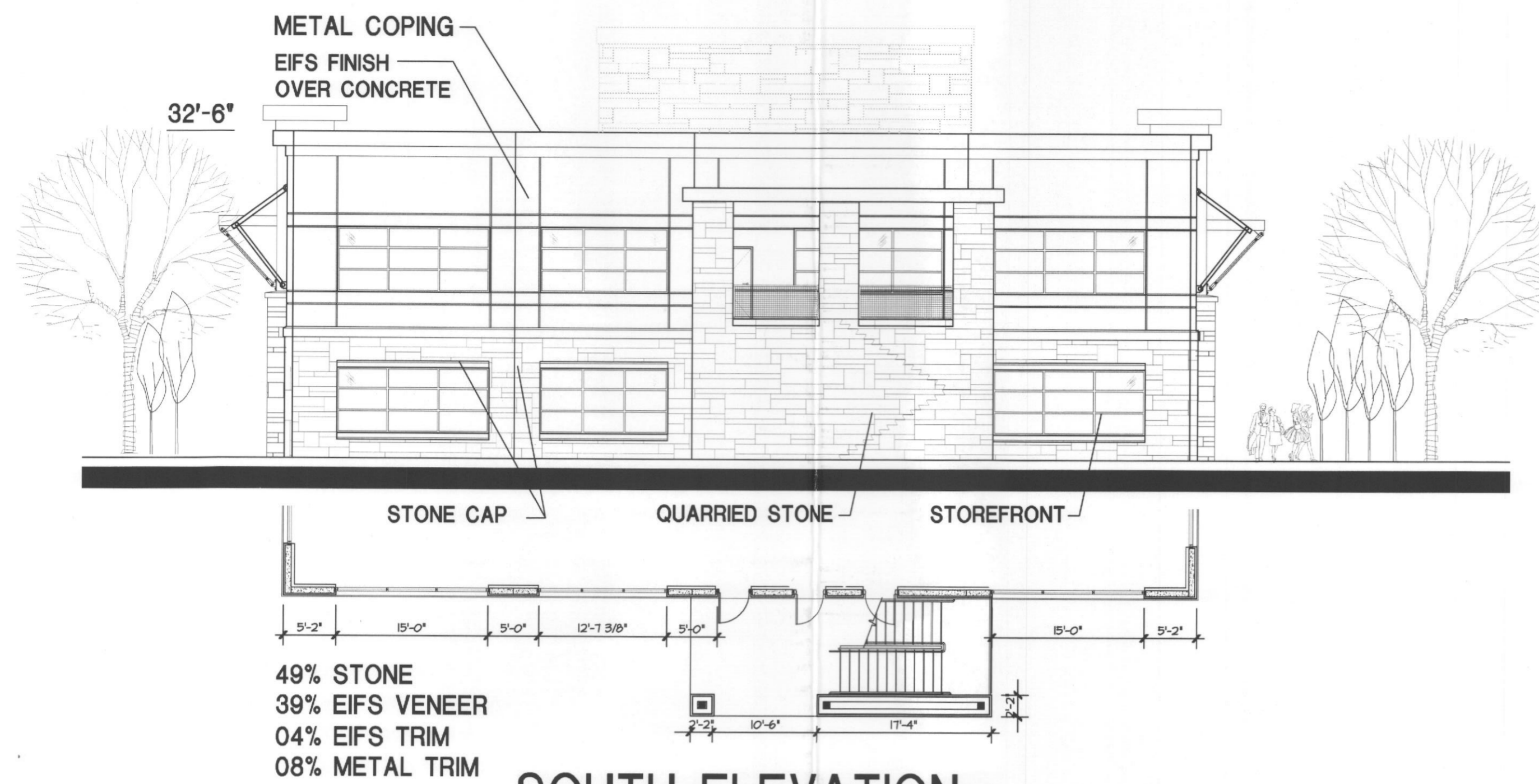


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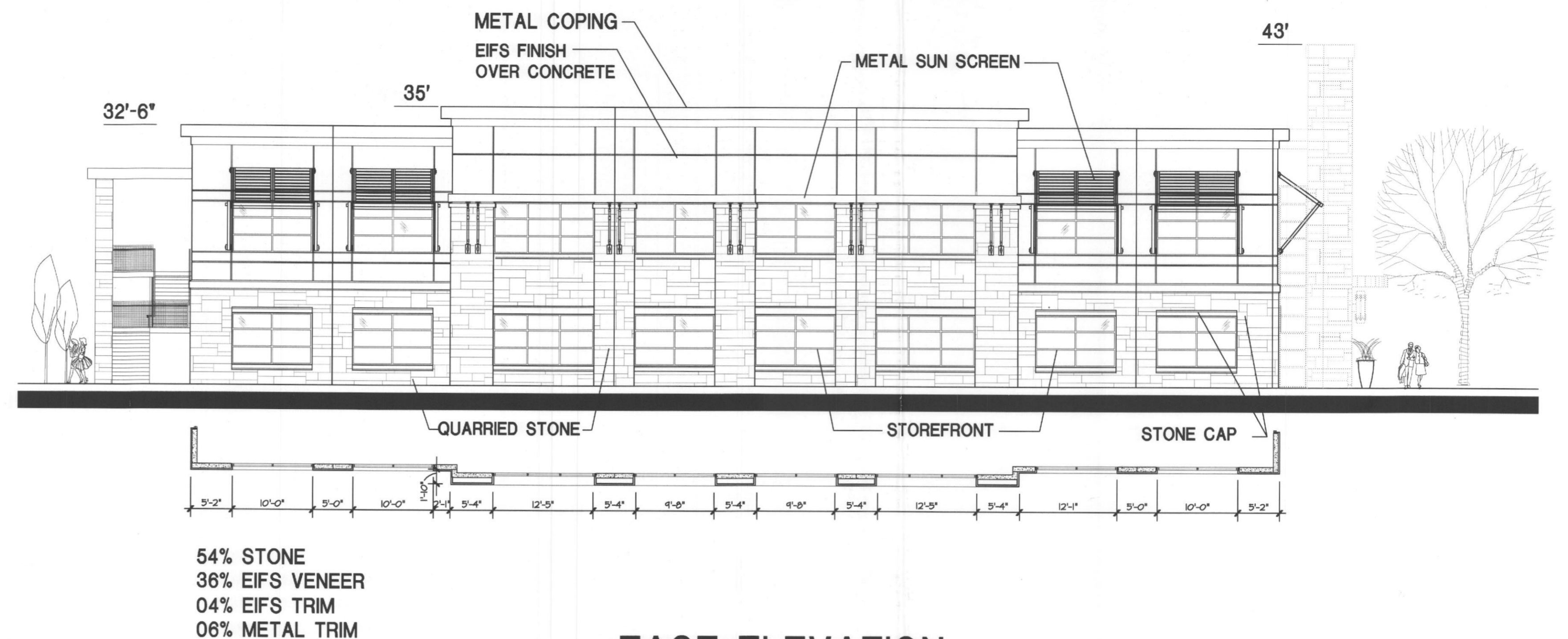
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2009 011

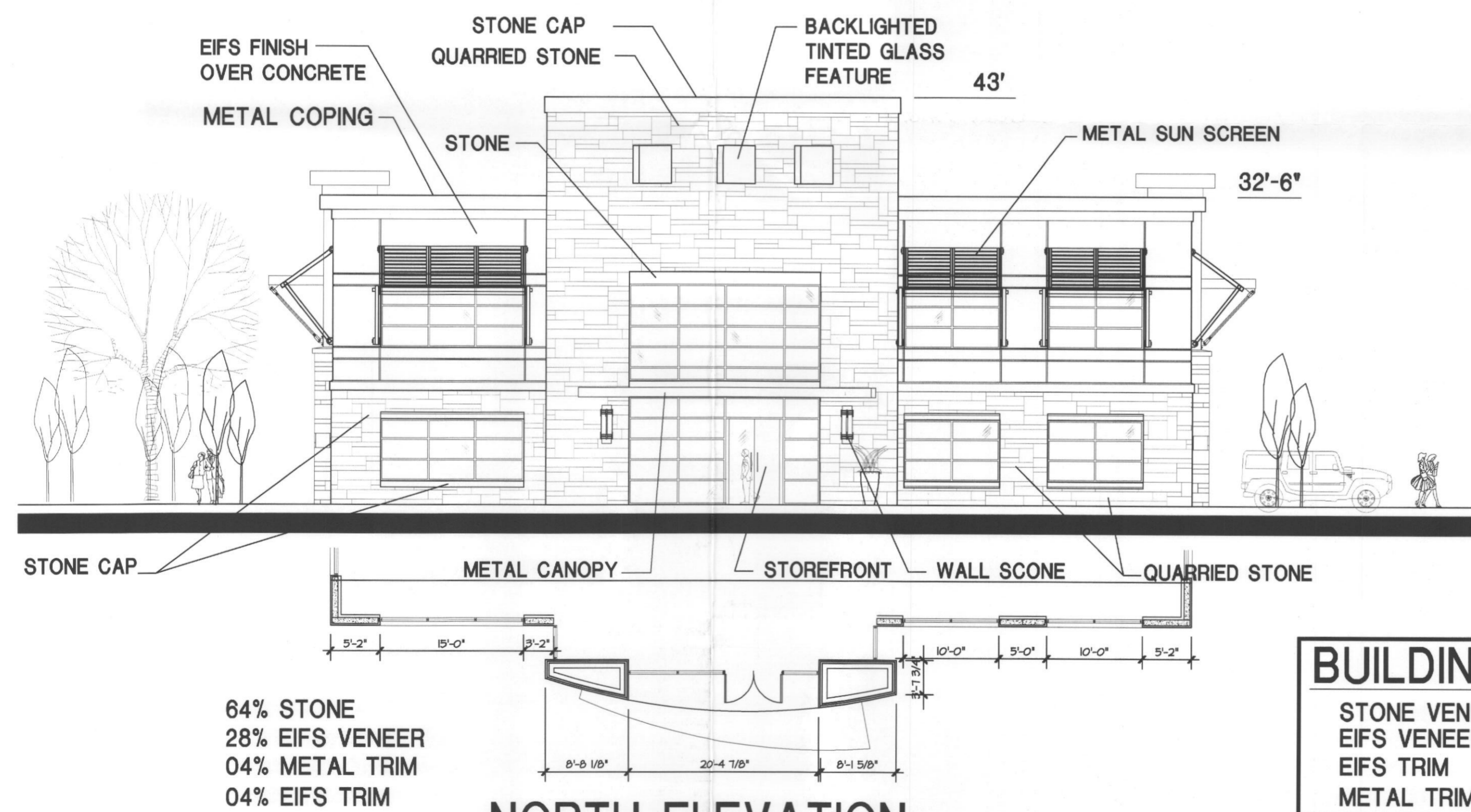
JAN 07 2010
By _____



SOUTH ELEVATION



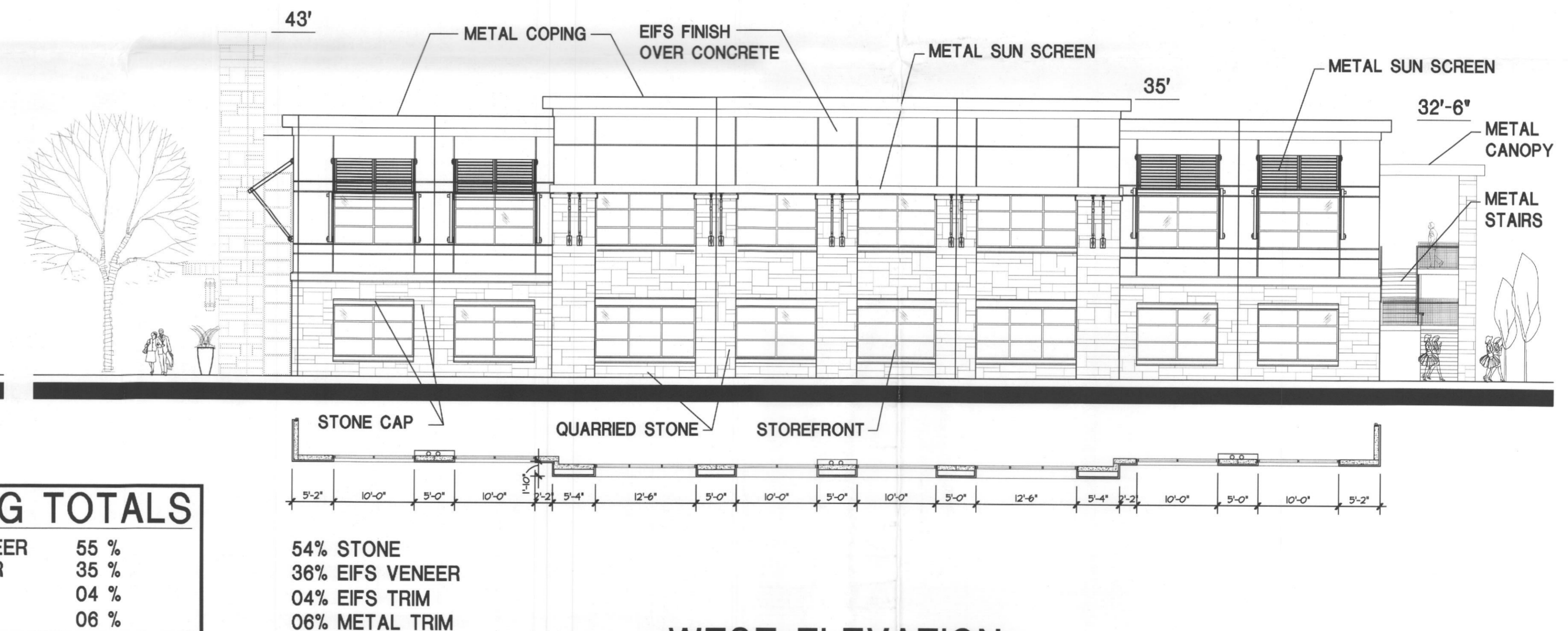
EAST ELEVATION



NORTH ELEVATION

BUILDING TOTALS

| | |
|--------------|------|
| STONE VENEER | 55 % |
| EIFS VENEER | 35 % |
| EIFS TRIM | 04 % |
| METAL TRIM | 06 % |



WEST ELEVATION

OFFICE BUILDING

**ROCKWALL, TX
LONE STAR COMPANIES**

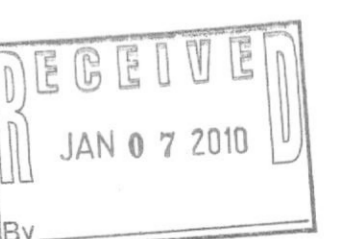
EL-07

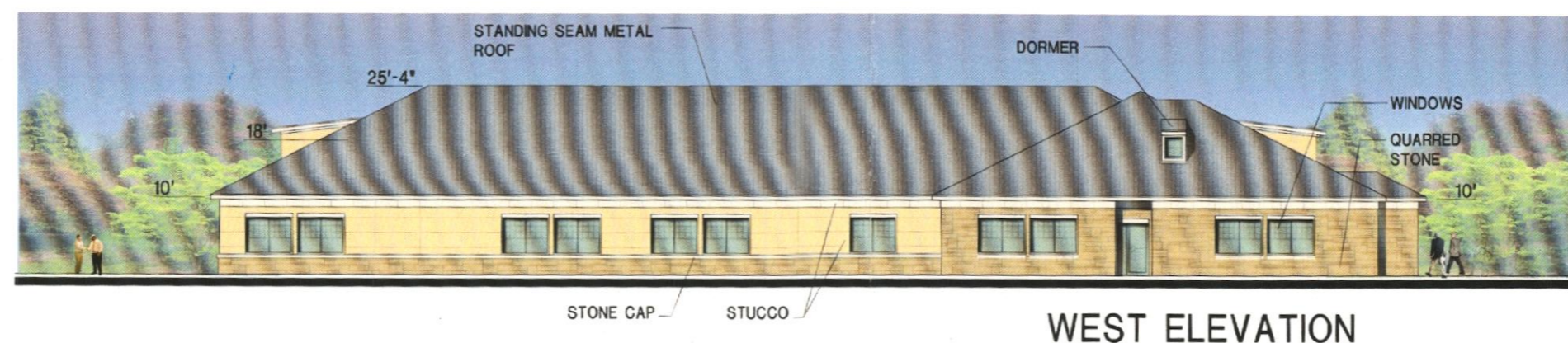
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APPROVED BY: _____ DATE: _____

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2009 011

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BUILDING TOTALS

| | |
|--------------|------|
| STONE VENEER | 53 % |
| STUCCO | 39 % |
| WOOD TRIM | 08 % |

ROCKWALL DAY SCHOOL

ROCKWALL, TX
LONE STAR COMPANIES

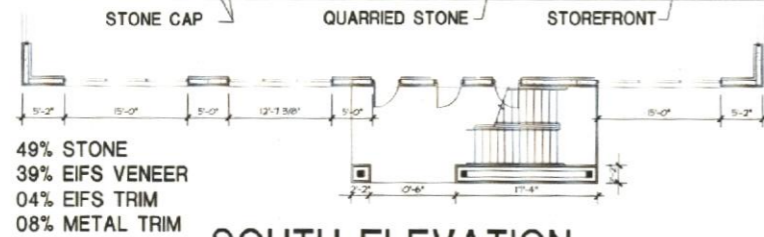
EL-03

SCALE: 1"=10' JOB#: 29121 ISSUE DATE: 01/07/10
APPROVED BY: DATE:

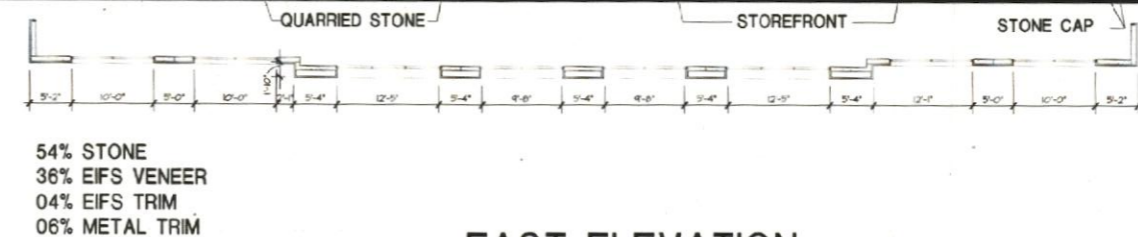
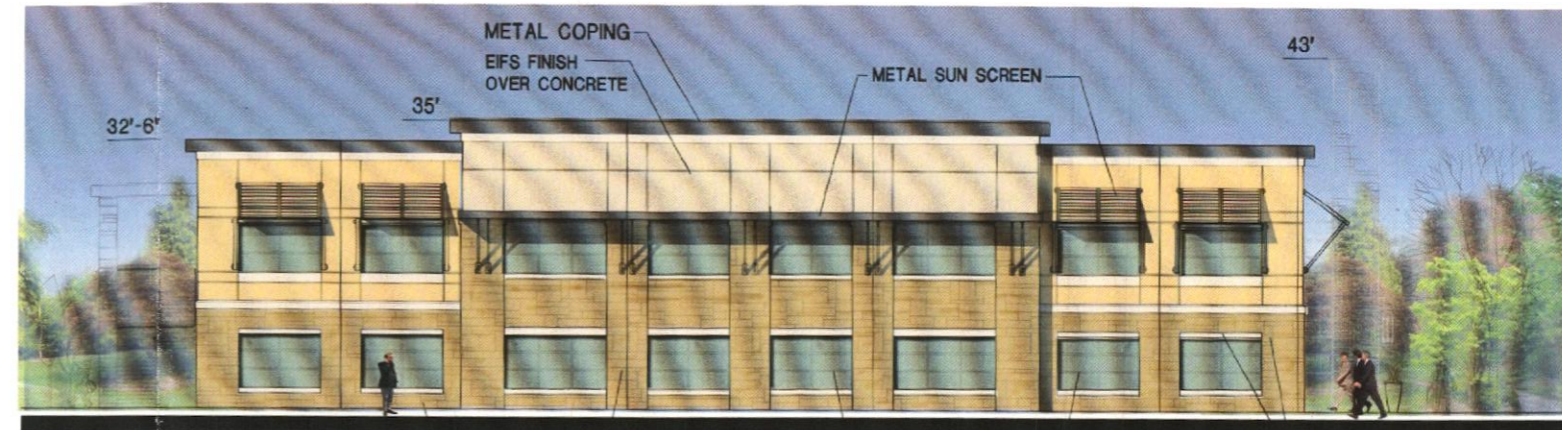
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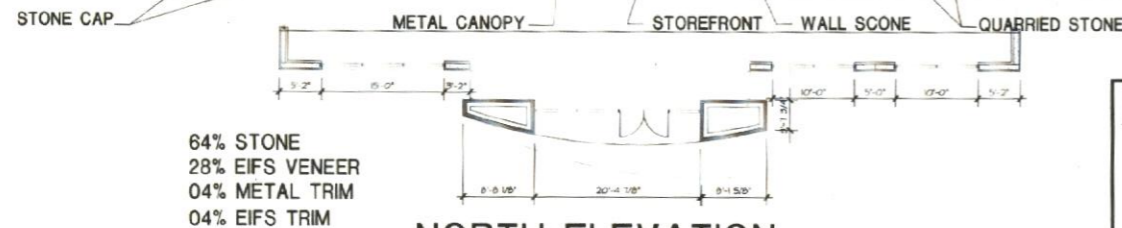
O'BRIEN



SOUTH ELEVATION

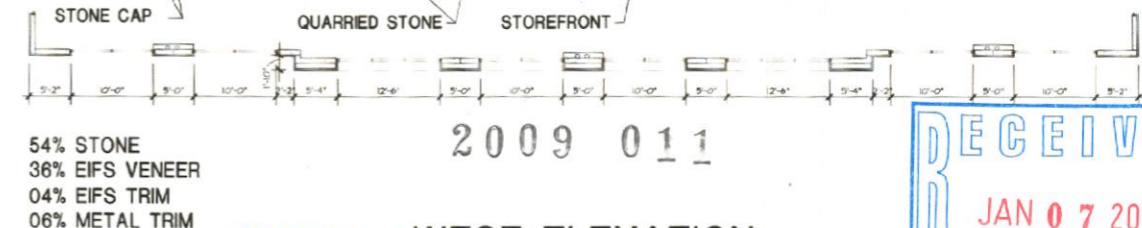
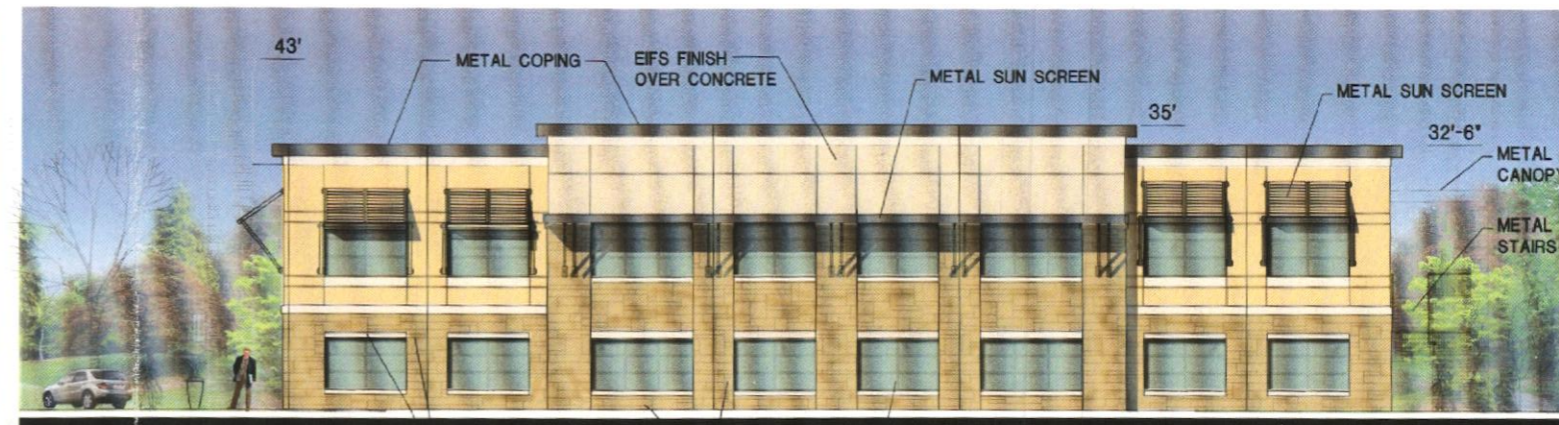


EAST ELEVATION



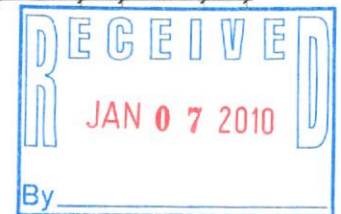
NORTH ELEVATION

| BUILDING TOTALS | |
|-----------------|------|
| STONE VENEER | 55 % |
| EIFS VENEER | 35 % |
| EIFS TRIM | 04 % |
| METAL TRIM | 06 % |



WEST ELEVATION

FILE COPY



OFFICE BUILDING

ROCKWALL, TX
LONE STAR COMPANIES

EL-07

SCALE: 3/32"=1'-0" ■ JOB#: 29115 ■ ISSUE DATE: 01/07/10
APPROVED BY: DATE:

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FRONT- NORTH

6" LAP
HARDIPLANK SIDING-

PAINTED WOOD COLUMNS

STONE VENEER

HARDIPANEL SIDING

STANDING SEAM METAL ROOF

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ALZHEIME