

BENCHMARK:

MONUMENT 179.7' WEST OF WEST EDGE OF SH 205 PAVEMENT AND 6.8' NORTH OF BACK OF CURB DALTON ROAD.
ELEVATION = 541.57'

NOTES:

1. EXISTING TOPOGRAPHY BASED ON SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC DATED 1/14/2016.
2. SEE CIVIL SHEETS FOR CIVIL SITE DESIGN.
3. SEE LANDSCAPE PLANS FOR SITE LANDSCAPE.
4. REFERENCE ARCHITECT PLANS FOR EXACT BUILDING DIMENSIONS.
5. ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING OR AS OTHERWISE NOTED.
6. ALL CURB RADIUS NOT LISTED ARE 2' FACE OF CURB.

SITE SUMMARY TABLE

Address	3611 N. GOLIAD STREET
Project Name	FREDDY'S FROZEN CUSTARD
Zoning District	GR N, SH 205 OVERLAY DISTRICT
Proposed use	RESTAURANT WITH DRIVE THRU
Site Area:	0.857 Acres 37,346 S.F.
Building Area	2,822 S.F. (TOTAL)
Building Height:	26'2" - 1 STORY
Lot Coverage:	2,822/37,346 = 7.6%
Floor Area Ratio:	2,822/37,346 = 1:07.6
Parking Required:	2,822 SF (REST)/100 SF/SPC = 28 SPACES
	Total = 28 SPACES
Parking Provided:	Regular = 36 SPACES
	Handicap = 2 SPACES
	Total = 38 SPACES
Impervious Area:	30,568 / 37,346 SF = 81.9%
Pervious Area:	6,778 / 37,346 SF = 18.1%

SITE PLAN
FREDDY'S FROZEN CUSTARD
LOT 4, BLOCK A
DALTON GOLIAD ADDITION
0.857 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
AUGUST 29, 2017
CASE #SP2017-024

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

OWNER:
ROCKWALL 205-552, LLC
1408 QUORUM DRIVE, SUITE 160
DALLAS, TEXAS 75244
PHONE: 214-402-8702
CONTACT: JAY HOLMAN

DEVELOPER:
MCCLURE PARTNERS
P.O. BOX 802047
DALLAS, TEXAS 75380
PHONE: 214-384-3470
CONTACT: JOHN MCCLURE

Scale: 1" = 30'

Designed by: JLV

Drawn by: JLV

Checked by: JLV

Date: 08/23/2017

SITE PLAN

LOT 4, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TEXAS

SHEET

SP1

APP.

NO.

DATE

DEVELOPER:

MCCLURE PARTNERS
P.O. BOX 802047
DALLAS, TX 75380

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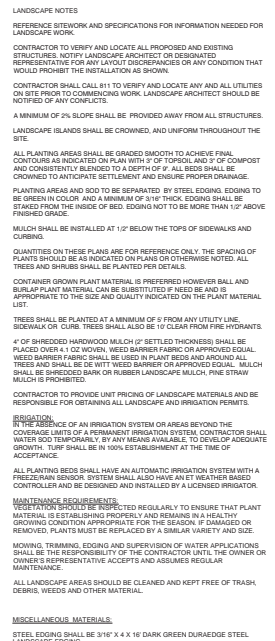
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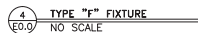
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LANDSCAPE PLAN
FREDDY'S FROZEN CUSTARD
LOT 4, BLOCK A
DALTON GOLIAD ADDITION
0.857 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
JULY 07, 2017
CASE #SP2017-024

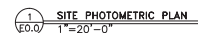
Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Placename	Lumens Per Lumen	Light Loss Factor	Wattage
	SB	6	Ultralux Lighting	CSX1 LED 2 30670/40K FT MHVLT	CSX1 LED FIXTURE WITH 2 LIGHT ENGINES, 100MA DRIVER, 4000K COLOR TEMP, TYPE FT OPTIC	LED	1	CSX1_LED_2_30 B700_40K_FT_M VOLT-les	11685	1	146
	F	10	Accent Lighting	F142-851-43 15W	EXTERIOR LED GOOSENECK SPACING	1. LUMINAIRE OUTPUT: 1994 Lms	1	WBL_LED_1_15a 700_40K_100_M VOLT-les	2007	1	15.0
	G	3	Ultralux Lighting	C 2 86	GENERAL PURPOSE CHANNEL, 8" 2 LAMP T12 SLMUNE	TWO 75-WATT T12 SLMUNE 96" LINEAR FLUORESCENT	2	C_2_86les	6300	1	172

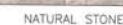


DETAIL - POLE LIGHT BASE

NOTE:
POLE BASE BY GENERAL CONTRACTOR. PROVIDE
CONDUITS AND GROUND RODS PER DETAIL.

NO SCALE





MATERIAL COUNTS					
ELEVATION:	BRICK (SF):	%	STONE (SF):	%	TOTAL (SF)
EAST*	528.87	72	205.55	28	734.42
WEST	604.31	77	180	23	784.31
NORTH	973.12	72	372.04	28	1345.16
SOUTH*	1203.67	76	381.29	24	1584.96

* DENOTES ELEVATION AT PUBLIC RIGHT OF WAY

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