

- SITE PLAN NOTES**
1. ALL FIRE HYDRANTS ARE EXISTING TO REMAIN.
 2. ALL EASEMENTS AND UTILITIES ARE EXISTING AND SHOWN IN GRAY UNLESS NOTED OTHERWISE.
 3. ALL PROPOSED UTILITIES ARE PRIVATE.

PROJECT DATA

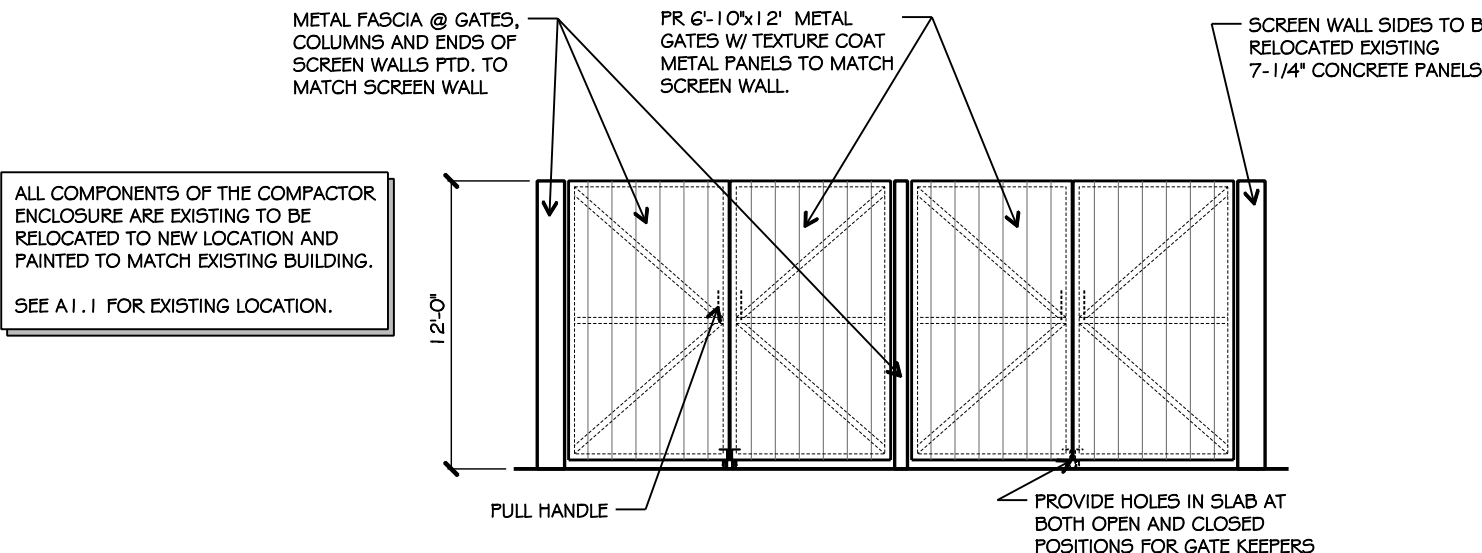
ZONING:	LIGHT INDUSTRIAL
PROPOSED LAND USE:	WAREHOUSE, MANUF., OFFICE
SITE AREA:	10.18 AC 443,480.8 SF
BUILDING AREA:	188,516 SF
EXISTING BUILDING:	11,628 SF
OFFICE ADDITION:	10,936 SF
FIRST FLOOR:	22,564 SF
SECOND FLOOR:	7,046 SF
TOTAL:	22,564 SF
INK ROOM / LOCKER ROOM ADDITION	7,046 SF

PARKING DATA SUMMARY

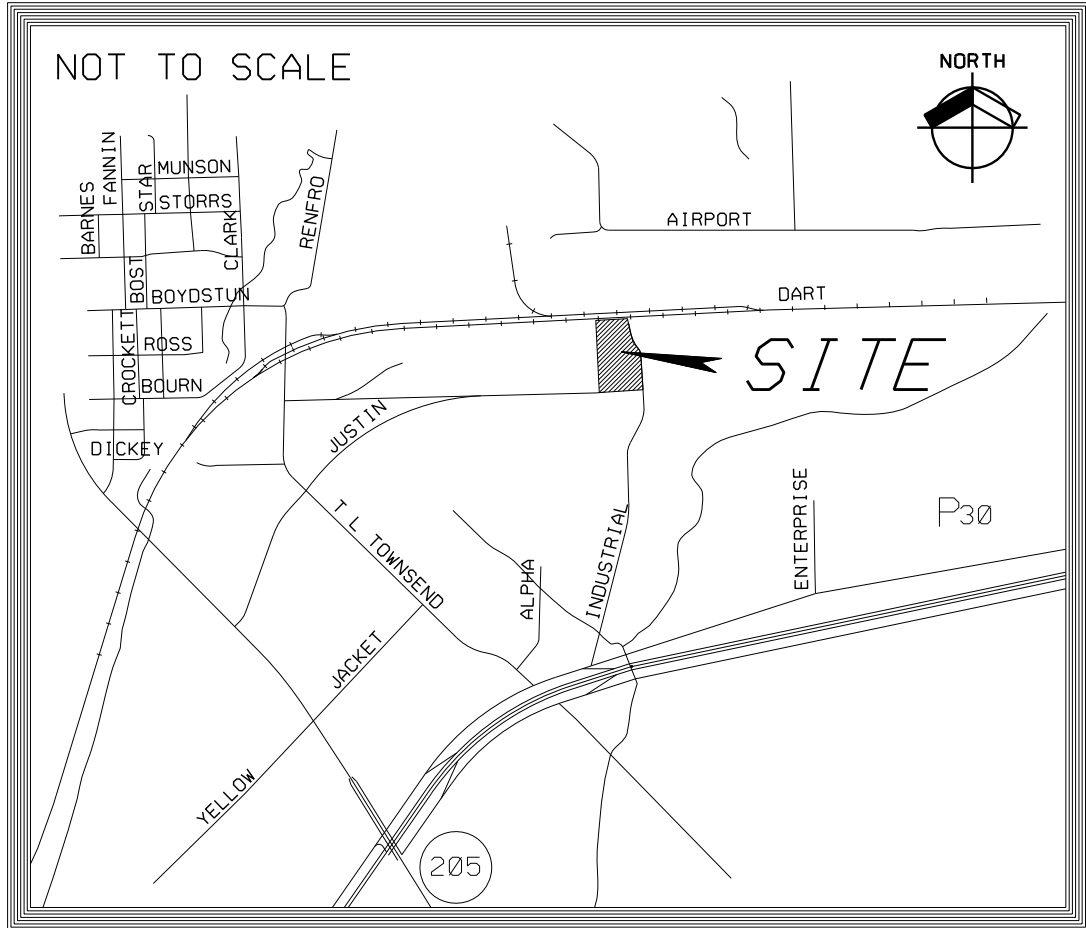
PROPOSED USE	AREA	FACTOR	REQ. SPACES
EXISTING BUILDING			
OFFICE	26,038 SF	EXISTING	-
MANUFACTURING	18,805 SF	EXISTING	-
WAREHOUSE	143,673 SF	EXISTING	-
PROPOSED ADDITION			
OFFICE (2-STORIES)	22,564 SF	1:300	75
INK ROOM (WAREHOUSE)	7,046 SF	1:1000	7

TOTALS			
- REQUIRED FOR ADDITIONS			82
- PROVIDED WITH ADDITIONS			74
TOTAL PARKING VARIANCE REQUESTED			8
ACCESSIBLE PARKING REQUIREMENTS			
- REQUIRED FOR OFFICE ADDITION			*4
- PROVIDED FOR OFFICE ADDITION			4

*BASED ON NEW PLUS EXISTING PARKING THAT WILL BE ASSOCIATED WITH THE PARKING LOT SERVING THIS ADDITION



LOCATION MAP



OWNER:
ALVAPLAST US. INC. / SPR PACKAGING
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469-402-1232

ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972-759-1400

CASE NO: SP2019-030

Drawn:
DANIELA
ROBERT PROSS
COTE
09/08/19

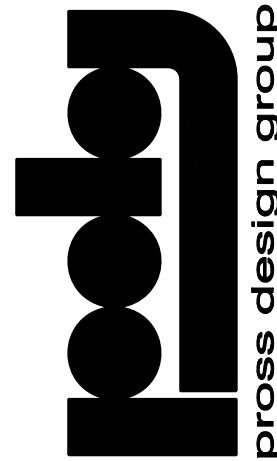
DESCRIPTION

DATE

#



09/06/2019

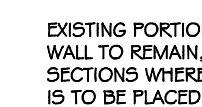


pross design group, incorporated
5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230

SPR PACKAGING
OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

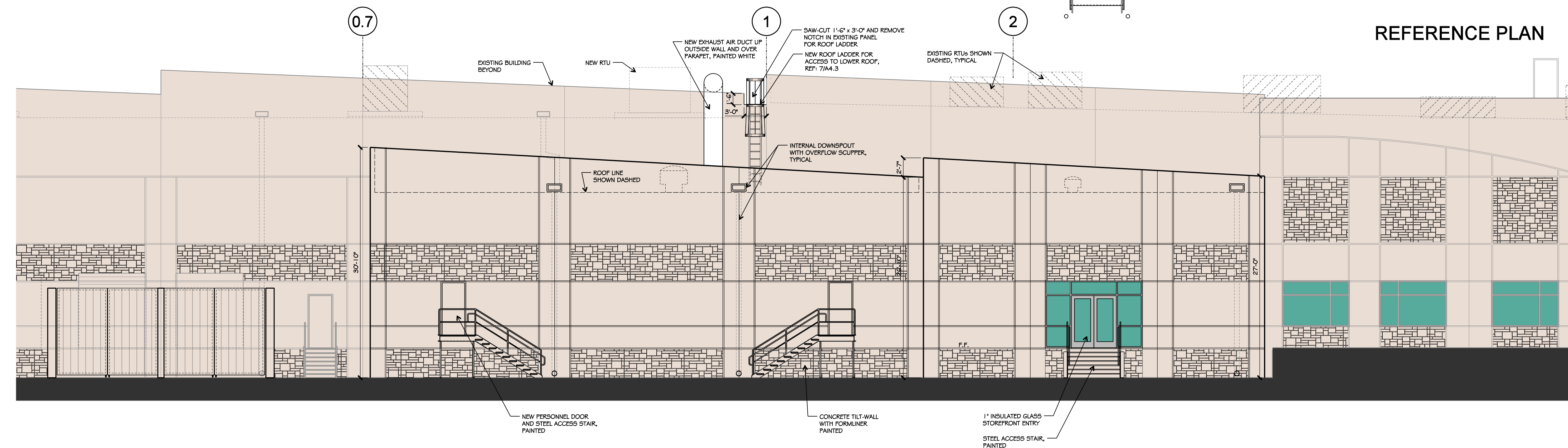
job no
1854
sheet

A1.0



2 WEST ELEVATION

Architectural floor plan of the first floor of a building. The plan shows a long, narrow layout with several rooms and corridors. On the left side, there is a large room labeled 'EAST' and a smaller room labeled 'WEST'. The central part of the plan features a long corridor with several rooms branching off. The right side of the plan shows a large room with a curved wall. The plan includes various architectural details such as doors, windows, and stairs. A scale bar is located in the bottom right corner, indicating a length of 10 meters. The plan is oriented with North at the top.



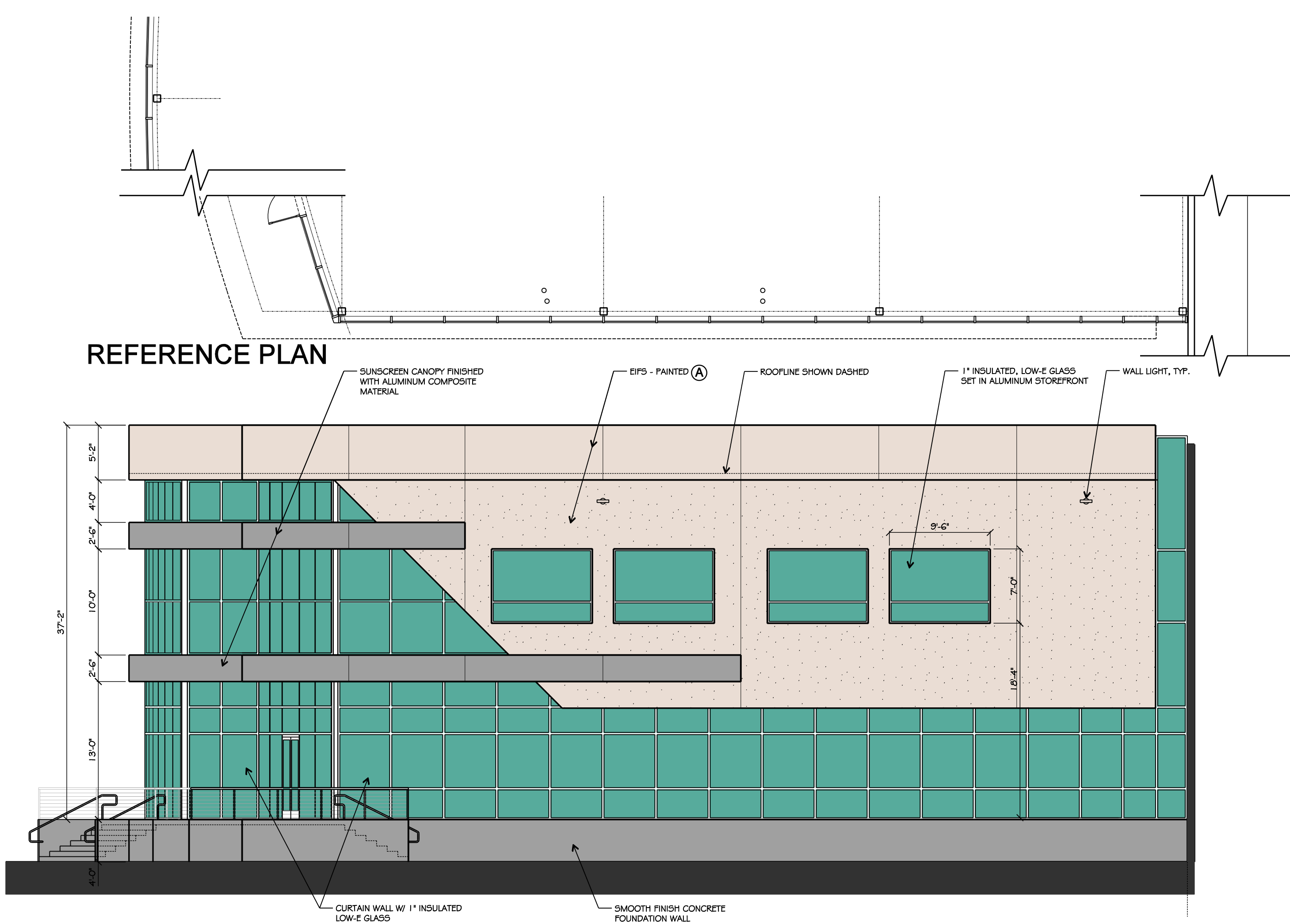
1 SOUTH ELEVATION

SCALE: 1/8"=1'-0" FACES JUSTIN RD.

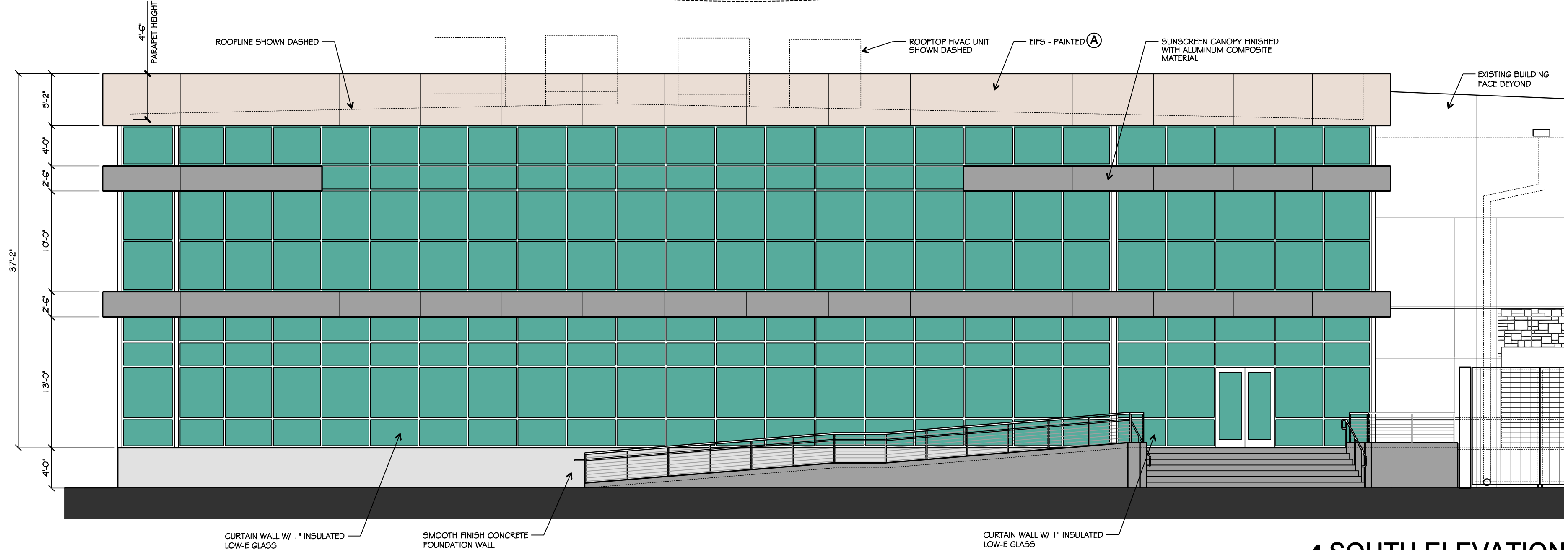
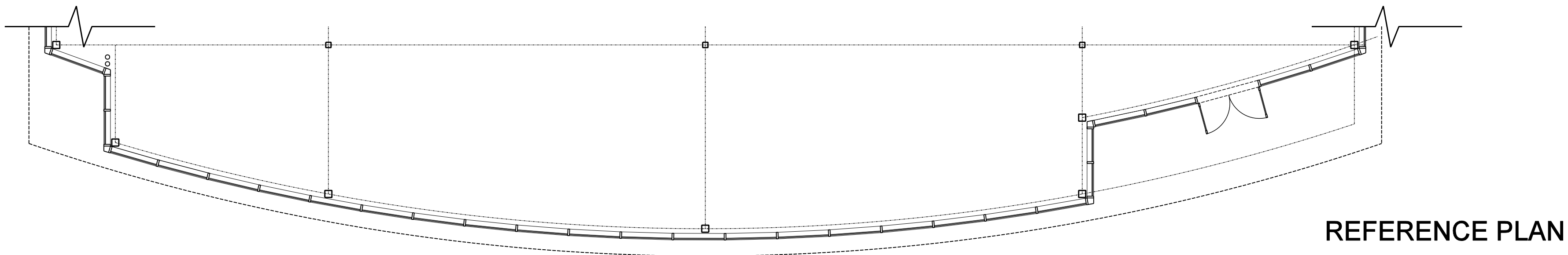
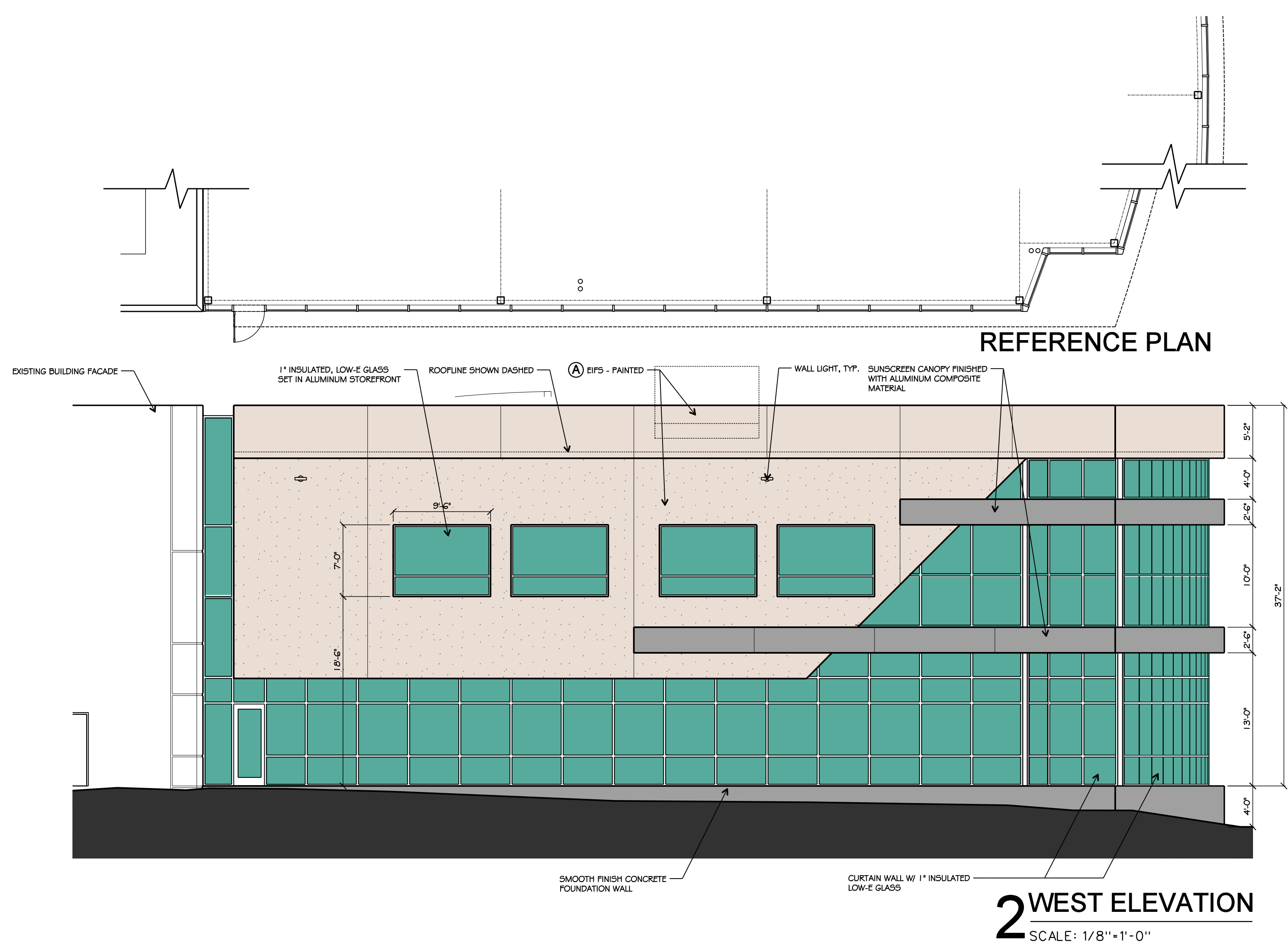
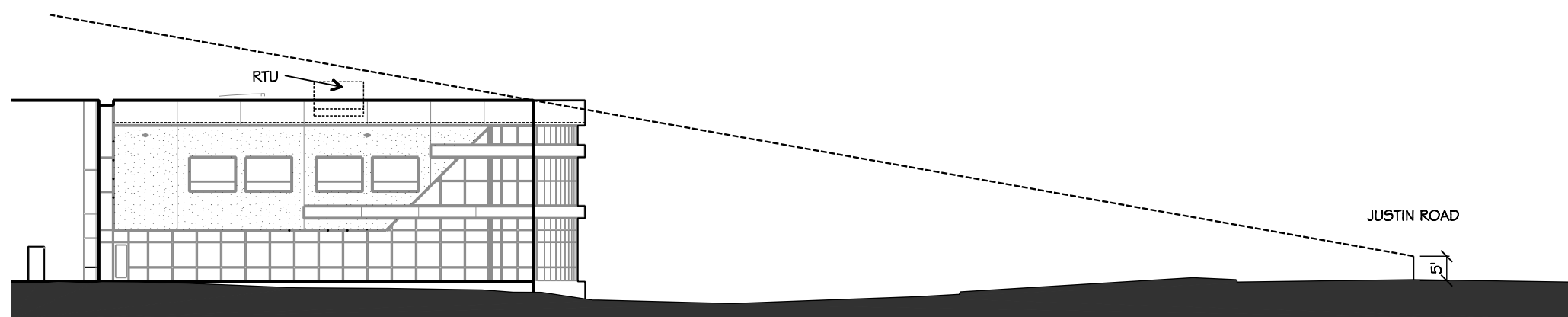
OWNER:
ALVAPLAST US, INC. / SPR PACKAGING
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469-402-1232

ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972-759-1400

CASE NO: SP2019-030



PAINT SCHEDULE						
A BASE PAINT COLOR - SW9085 TOUCH OF SAND						
FACADE MATERIAL CALCULATIONS						
	SOUTH	%	EAST	%	WEST	%
1. CURTAIN WALL	3,534.3 FT²	75.6	1,642.3 FT²	50.3	1,642.3 FT²	50.3
2. ALUMINUM COMPOSITE METAL PANELS	460.7 FT²	10.3	223.3 FT²	6.1	223.3 FT²	6.1
3. EIFS	661.3 FT²	14.1	1,596.4 FT²	43.6	1,596.4 FT²	43.6
4. TOTAL FACADE AREA	4,676.3 FT²	100	3,664 FT²	100	3,664 FT²	100



OWNER:
ALVAPLAST US, INC. / SPR PACKAGING
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469-402-1232

ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972-759-1400

CASE NO: SP2019-030

drawn:
checked:
ROBERT PROSS
DATE:
09/03/19

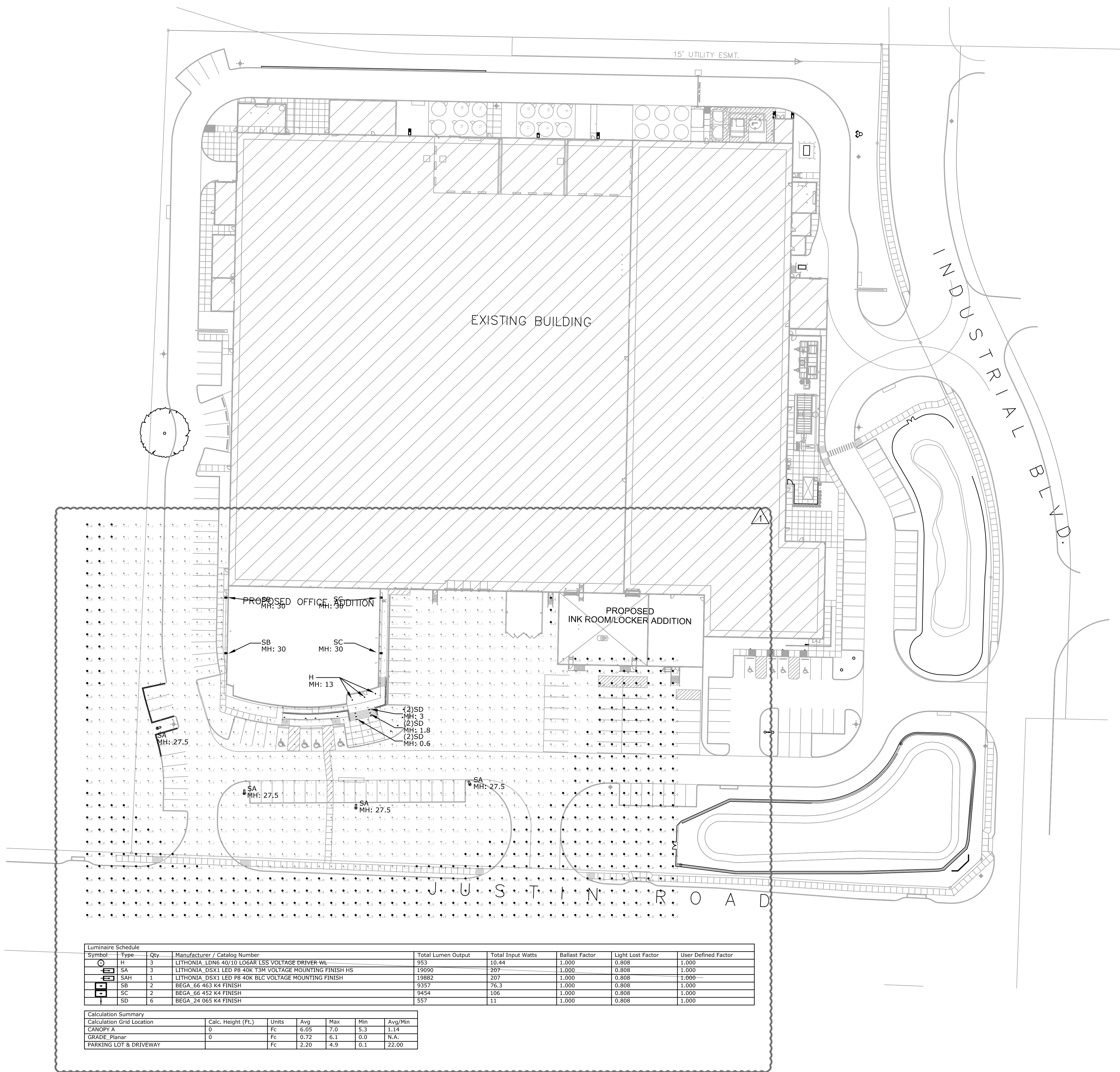
#	DATE	DESCRIPTION

09/03/2019

pross design group, incorporated
5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230 972-759-1400

OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

job no
1854
sheet
A3.0

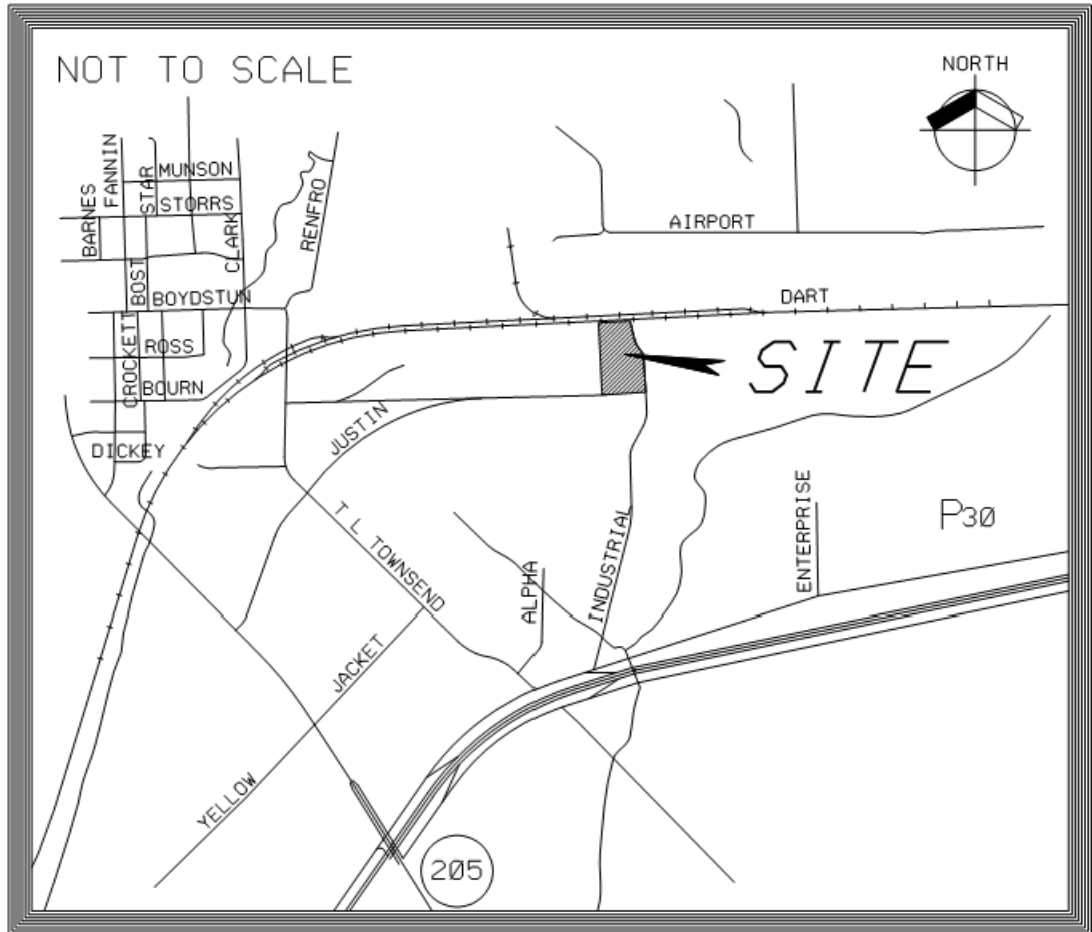


1 MEP SITE PHOTOMETRICS PLAN
MEP1.1 1" = 40'-0"

PROJECT DATA

ZONING:	LIGHT INDUSTRIAL
PROPOSED LAND USE:	WAREHOUSE, MANUF., OFFICE
SITE AREA:	10.18 AC
	443,480.8 SF
BUILDING AREA:	
EXISTING BUILDING:	188,516 SF
ADDITION FIRST FLOOR:	11,628 SF
ADDITION SECOND FLOOR:	10,936 SF

LOCATION MAP



OWNER:
ALVAPLAST US, INC. / SPR PACKAGING
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469-402-1232

ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972-759-1400

CASE NO: SP2019-000



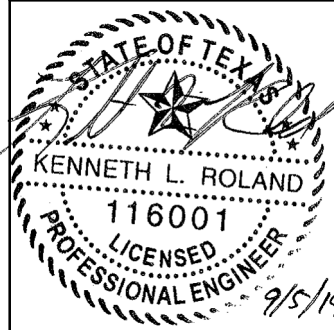
DBR Project Number 193029.000

KR	DY/HP	DS	NB	-
----	-------	----	----	---

drawn:
DBR checked
DBR
date
09/03/19

DESCRIPTION

DATE

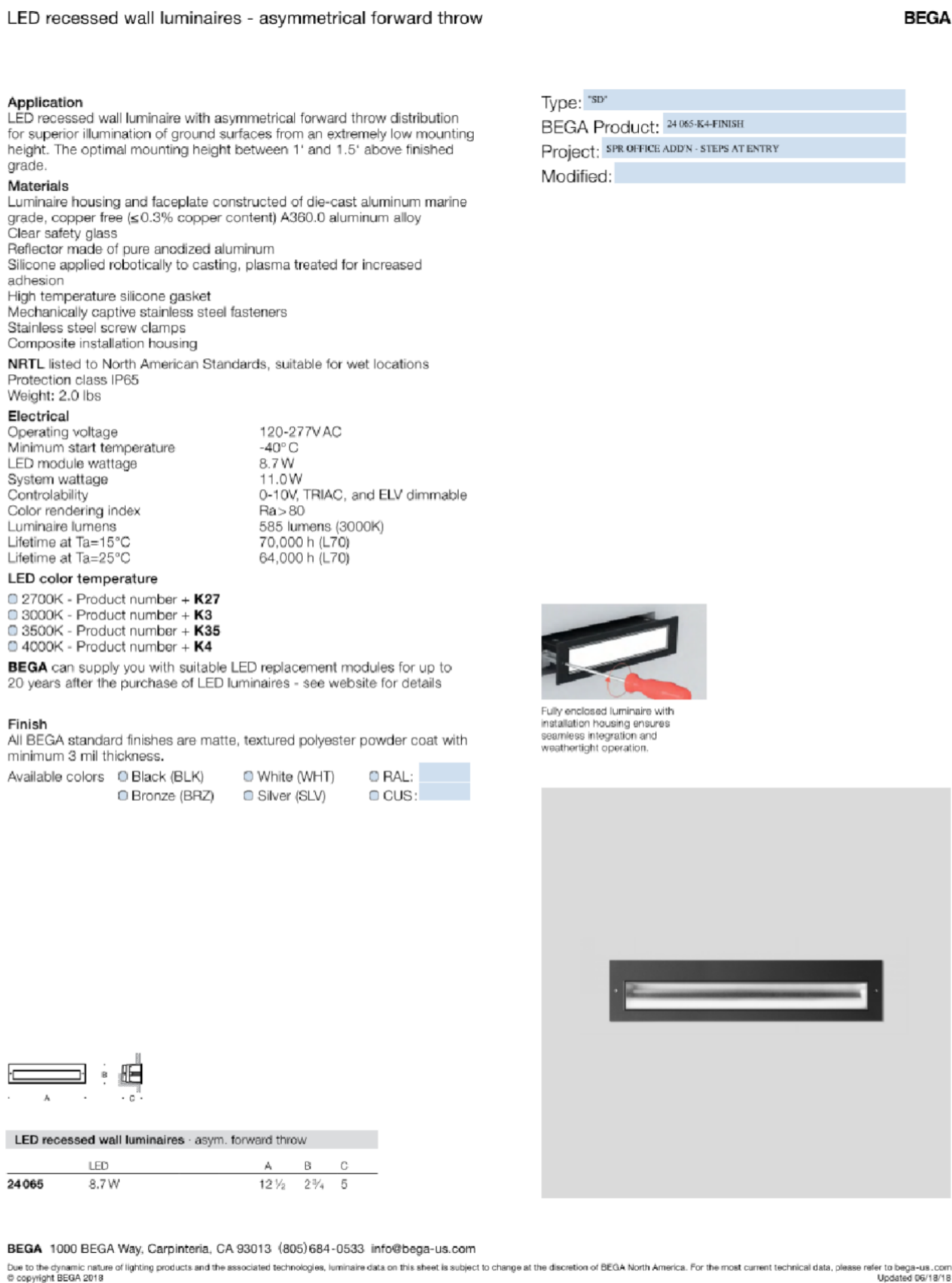
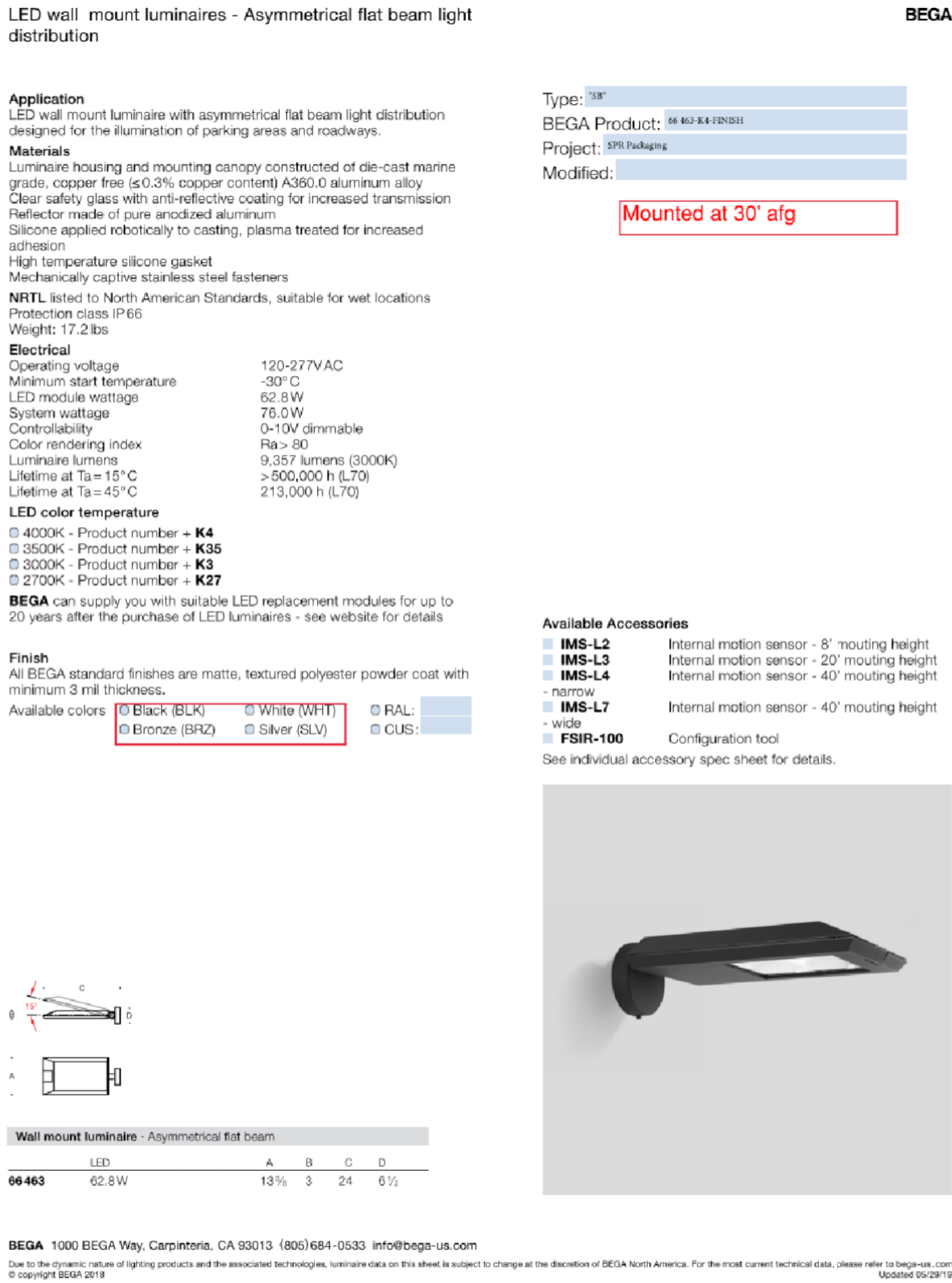
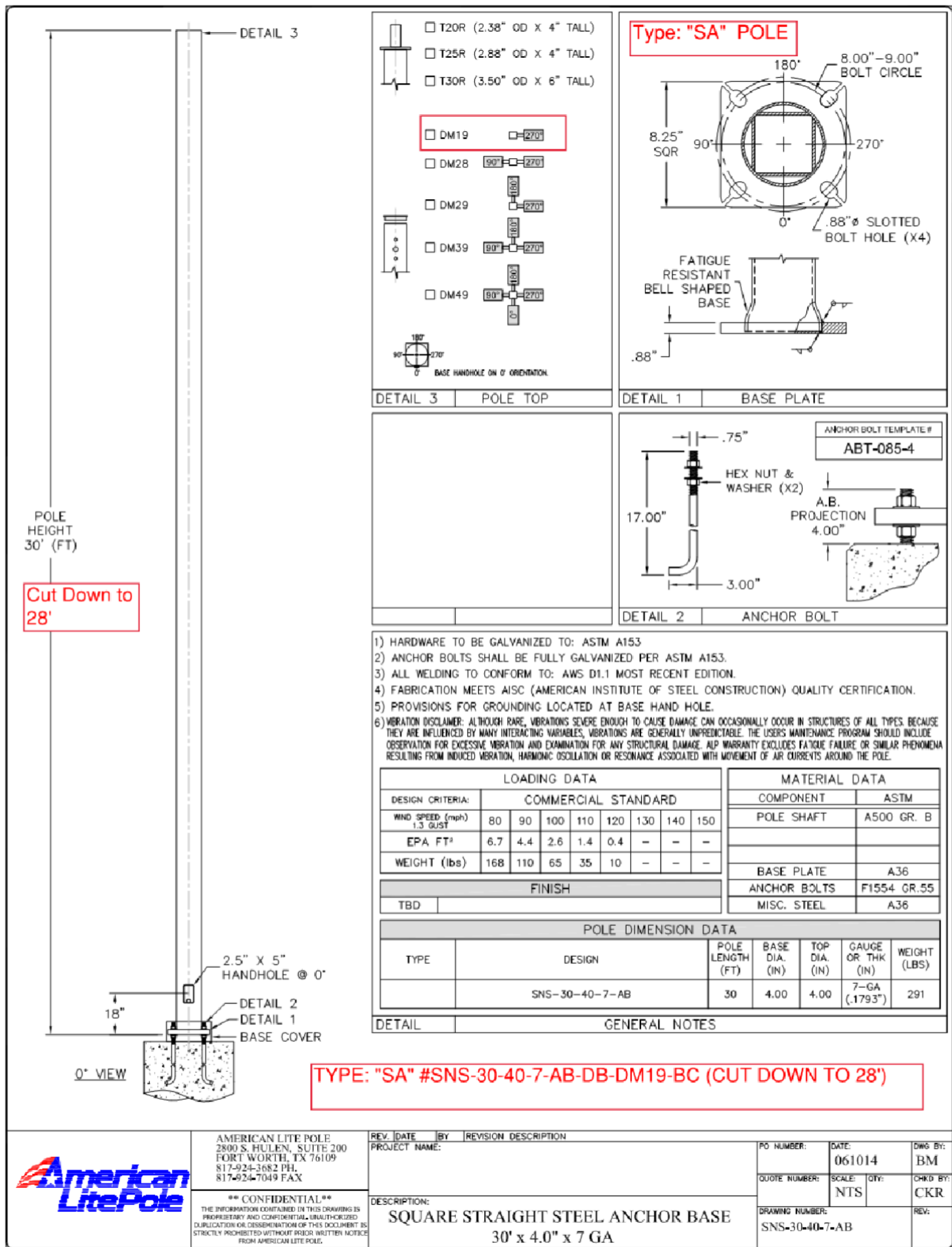


pross design group, incorporated
5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230
972-759-1400

SPR PACKAGING
OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

job no
1854
sheet

MEP1.1



LED wall mount luminaires - Asymmetrical light distribution

BEGA

Application

LED wall mount luminaire with asymmetrical light distribution designed for the illumination of parking areas and roadways.

Materials

Luminaire housing and mounting canopy constructed of die-cast marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy

Clear safety glass with anti-reflective coating for increased transmission

Reflector made of pure anodized aluminum

Silicone applied robotically to casting, plasma treated for increased adhesion

High temperature silicone gasket

Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations

Protection class IP66

Weight: 17.2 lbs

Electrical

Operating voltage: 120-277VAC

Minimum start temperature: -30° C

LED module wattage: 92.4W

System wattage: 106W

Controllability: 0-10V dimmable

Color rendering index: Ra > 80

Luminaire lumens: 9,454 lumens (3000K)

Lifetime at Ta=15°C: >500,000 h (L70)

Lifetime at Ta=40°C: 272,000 h (L70)

LED color temperature

4000K - Product number + K4

3500K - Product number + K35

3000K - Product number + K3

2700K - Product number + K27

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Type: "SC" Revised mtd at 30' afg

BEGA Product: #66 452 -K4-FINISH

Project: SPR PACKAGING

Modified:

Available Accessories

IMS-L2 Internal motion sensor - 8' mounting height

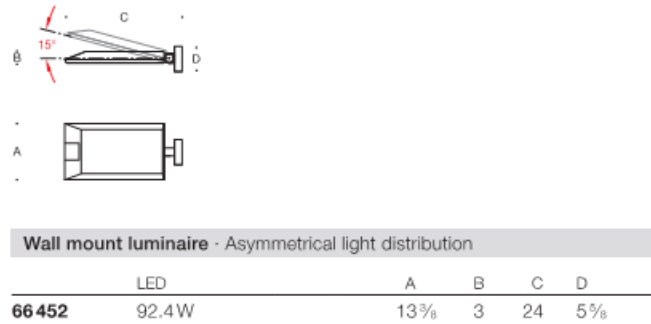
IMS-L3 Internal motion sensor - 20' mounting height

IMS-L4 Internal motion sensor - 40' mounting height

IMS-L7 Internal motion sensor - 40' mounting height

FSIR-100 Configuration tool

See individual accessory spec sheet for details.



BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

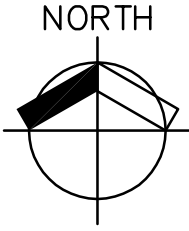
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com

© copyright BEGA 2015 Updated 05/2015



MEP LIGHTING CUT SHEETS

NOT TO SCALE



15301 Spectrum Drive, Suite 350
Addison, Texas 75001
214.217.9500 v 214.217.9505 f
TBPE Firm Registration No. 2234

DBR Project Number 193029.000

KR DY/HP DS NB -

SPR PACKAGING

OFFICE ADDITION

1480 JUSTIN RD., ROCKWALL, TEXAS

job no 1854

sheet

MEP1.3



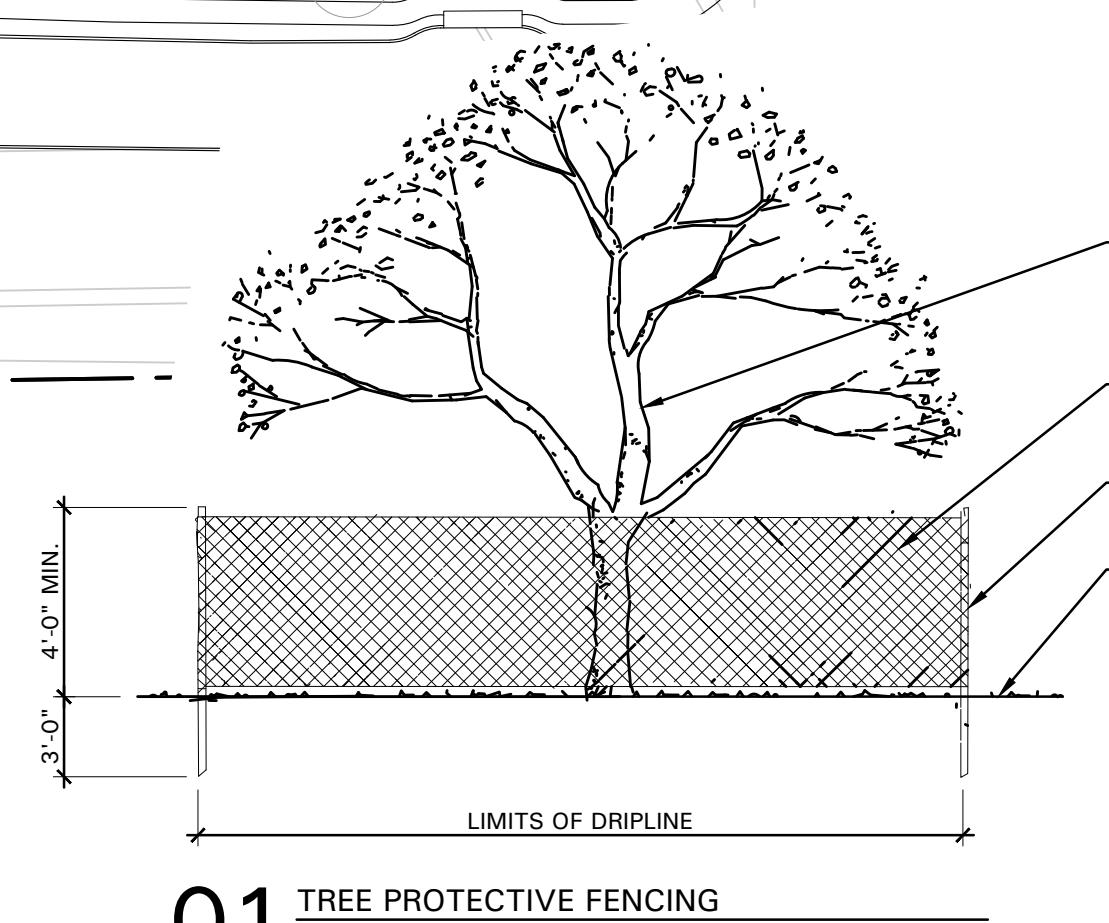
pross design group, incorporated

2510 Harvest Hill Road, Suite 200, Dallas, Texas 75220-4400

drawn: DBR

checked: DBR

date: 09/03/19



1. EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
2. IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
3. NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
4. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
5. NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
6. NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
7. NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
8. NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
9. BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
10. IRRIGATION TRENCING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
11. ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
12. ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
13. WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L/1.01
	EXISTING SHRUBS TO REMAIN

CASE NO: SP2019-030
ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972-759-1400

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office