

Rockwall County

Rockwall County Annex

Site Plan Submission

1111, E Yellow Jacket Ln

Rockwall, TX 75037

Parkhill

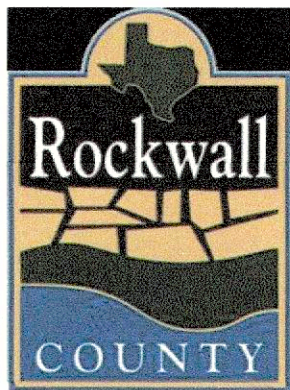
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF SALVADOR T. SANCHEZ, R.A., TEXAS LICENSE #29255. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

PARKHILL

10/20/2023

Parkhill.com

Rockwall County Annex



CLIENT
Rockwall County

1111, E Yellow Jacket Ln
Rockwall, TX 75037

PROJECT NO.
11987.22

ROCKWALL COUNTY ANNEX

10/20/2023 Site Plan

CASE NUMBER: SP-2023-034

Cover Sheet
G-000

VICINITY MAP



SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 18 day of October, 2023.
WITNESS OUR HANDS, this 12 day of October, 2023.
[Signature] [Signature]
Planning & Zoning Commission, Chairman Director of Planning and Zoning

DESIGNER INFORMATION

NAME: PARKHILL
ADDRESS: 3000 INTERNET BLVD, SUITE 550
FRISCO TX, 75034
PHONE NUMBER: 972-987-1670

PROJECT INFORMATION

LOT: Lot 1, Block A, 12.79 AC.
PLATTED: N/A
CASE NUMBER: SP-2023-034
PROPOSED LAND USE: COMMERCIAL

OWNER CONTACT INFORMATION

NAME: ROCKWALL COUNTY
ADDRESS: 101 EAST RUSK STREET
ROCKWALL TX, 75087
PHONE NUMBER: 972-204-6000

SURVEY CONTROL

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
ON-SITE CONTROL SET				
110	7021202.65	2597382.11	570.00	#4 BAR W/LEMKE CAP
111	7021835.19	2597592.84	578.73	#4 BAR W/LEMKE CAP
112	7021699.15	2597317.26	576.98	#4 BAR W/LEMKE CAP
113	7021391.61	2597115.51	571.82	#4 BAR W/LEMKE CAP
OFF-SITE CONTROL (ROCKWALL)				
102	7029731.12	2598589.31	529.10	CP COR-2
106	7025942.63	2601204.04	558.61	CP COR-6
HORIZONTAL AND VERTICAL DATUM BASED ON ROCKWALL CONTROL MONUMENT COR-2				
HORIZONTAL DATUM: NAD83 (2011), TEXAS STATE PLANE, NORTH CENTRAL ZONE				
VERTICAL DATUM: NAVD88				

TOPOGRAPHIC LEGEND

	ELECTRIC BOX		ELECTRIC VAULT
	ELECTRIC GUY DOWN		ELECTRIC LIGHT GROUND
	ELECTRIC POWER POLE		ELECTRIC LIGHT POLE
	COMMUNICATIONS VAULT		ELECTRIC OUTLET
	GAS METER		BENCHMARK
	WATER FIRE HYDRANT		CONTROL POINT
	WATER IRRIGATION CONTROL VALVE		TREE DECIDUOUS
	WATER IRRIGATION SPRINKLER HEAD		FIBER OPTIC UNDERGROUND
	WATER METER		GAS LINE UNDERGROUND
	WATER SIGN/MARKER		POWER OVERHEAD
	WATER VALVE		POWER UNDERGROUND
	SANITARY SEWER MANHOLE		CURB & GUTTER
	SANITARY SEWER CLEANOUT		STORM DRAIN PIPE
	STORM DRAIN MANHOLE		UNK
	STORM DRAIN GRATE INLET		WATER UNDERGROUND
	BOLLARD/GUARD POST		CONCRETE
	MONUMENT FOUND		EASEMENT
	MONUMENT SET		RIGHT-OF-WAY
	SIGN COMMERCIAL		PROPERTY LINE
	SIGN		
	BORE HOLE LOCATION		

SURVEYOR'S REPORT

THIS SURVEY IS BASED ON THE TEXAS COORDINATE SYSTEM OF 1983 (NAD'83).
TEXAS NORTH CENTRAL ELEVATIONS ARE BASED ON NAVD'88.
CONVERGENCE = 01°07'04.01617".
COMBINED SCALE FACTOR = 0.999852262
DISTANCES ARE AT GRID
RECORDED AND MEASURED BOUNDARY DISTANCES ARE AT SURFACE.

GPS BASE STATION: 110
LATITUDE: N. 32° 54' 46.52"
LONGITUDE: W. 96° 27' 01.82"

LOCATION OF UNDERGROUND UTILITIES DETERMINED FROM SURFACE EVIDENCE AND/OR REPORTED LOCATION AND MAY OR MAY NOT CORRECTLY INDICATE THE ACTUAL LOCATION OR EXISTENCE OF THOSE UTILITIES. UTILITY REQUESTS WERE MADE TO TEXAS 811, TICKET NUMBER 2374353644. ADDITIONAL UTILITIES MAY EXIST WHICH THIS SURVEY DOES NOT INDICATE.

THIS PLAT IS INVALID UNLESS IT BEARS THE SURVEYOR'S ORIGINAL SEAL AND SIGNATURE.

THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY AND THE INFORMATION HEREON REPRESENTS THE FINDINGS OF THIS SURVEY TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SURVEYED:
SEPTEMBER 7, 2023
SIGNED:
OCTOBER 16, 2023

SAMUEL WYATT
R.P.L.S. 6453



SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 15 day of October, 2023.
WITNESS OUR HANDS, this 15 day of October, 2023.

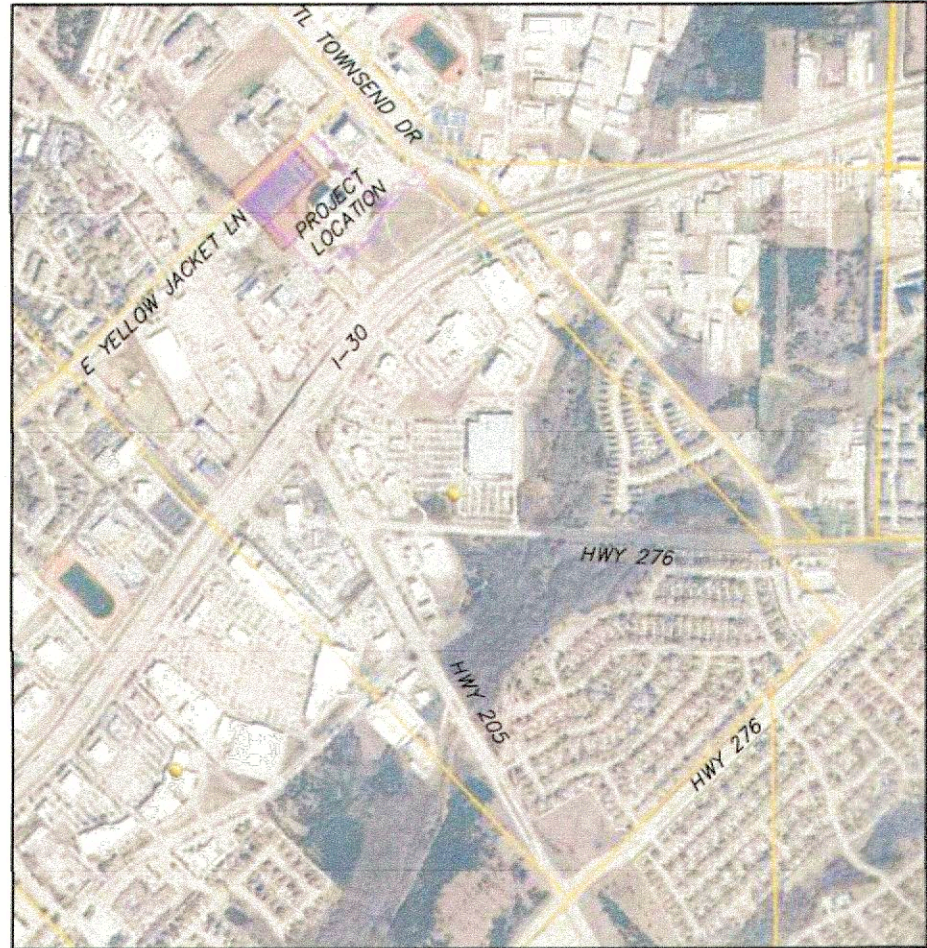
Planning & Zoning Commission, Chairman Director of Planning and Zoning

Surveyed By: DB/TM

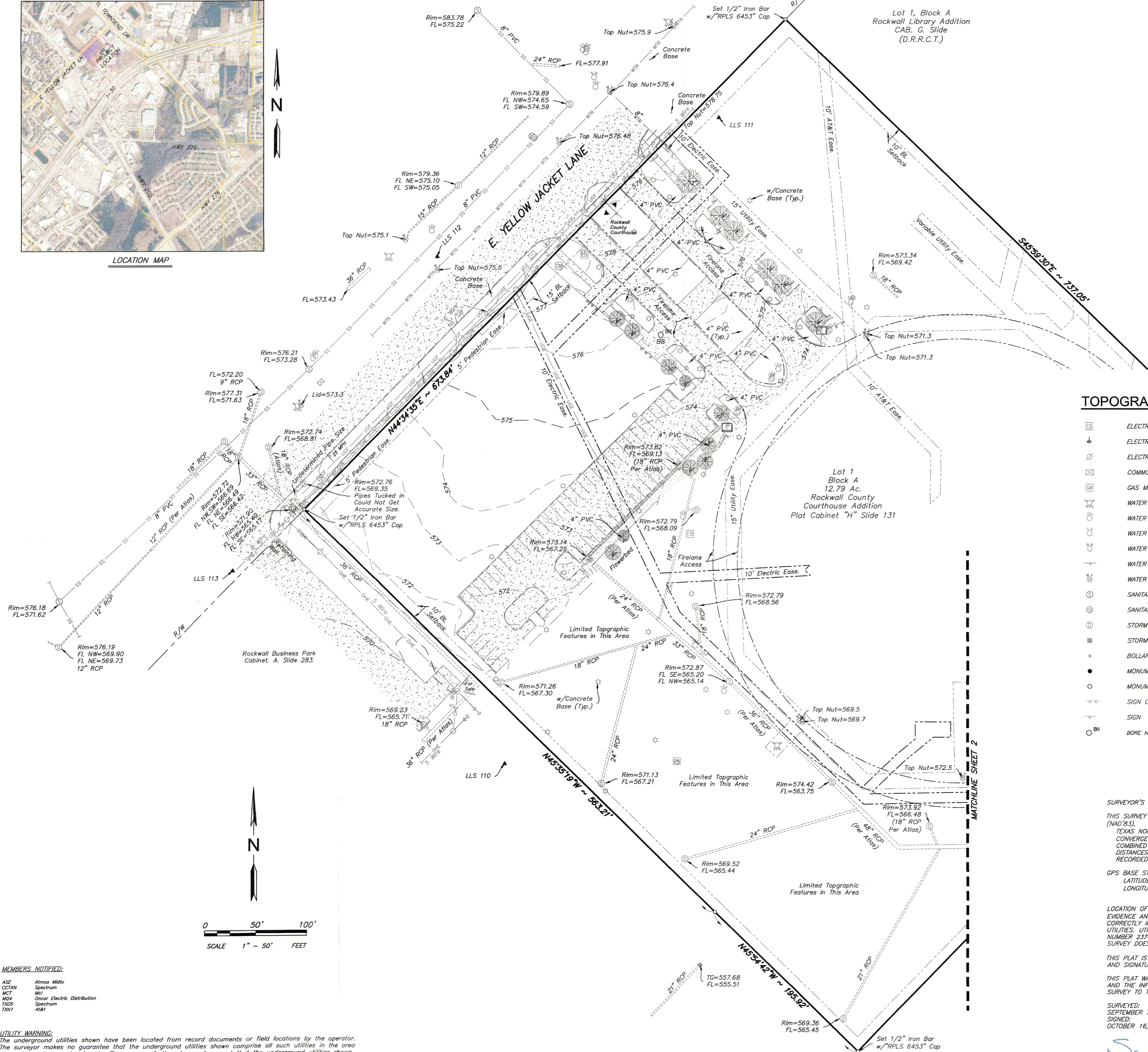
Drawn By: SA

Approved By: SW

Date: 9/28/2023



LOCATION MAP



MEMBERS NOTIFIED:

ASE Atmos Mktz
CSTN Spectrum
MCT Mel
M04 Onco Electric Distribution
TX05 Spectrum
TXN1 Altek

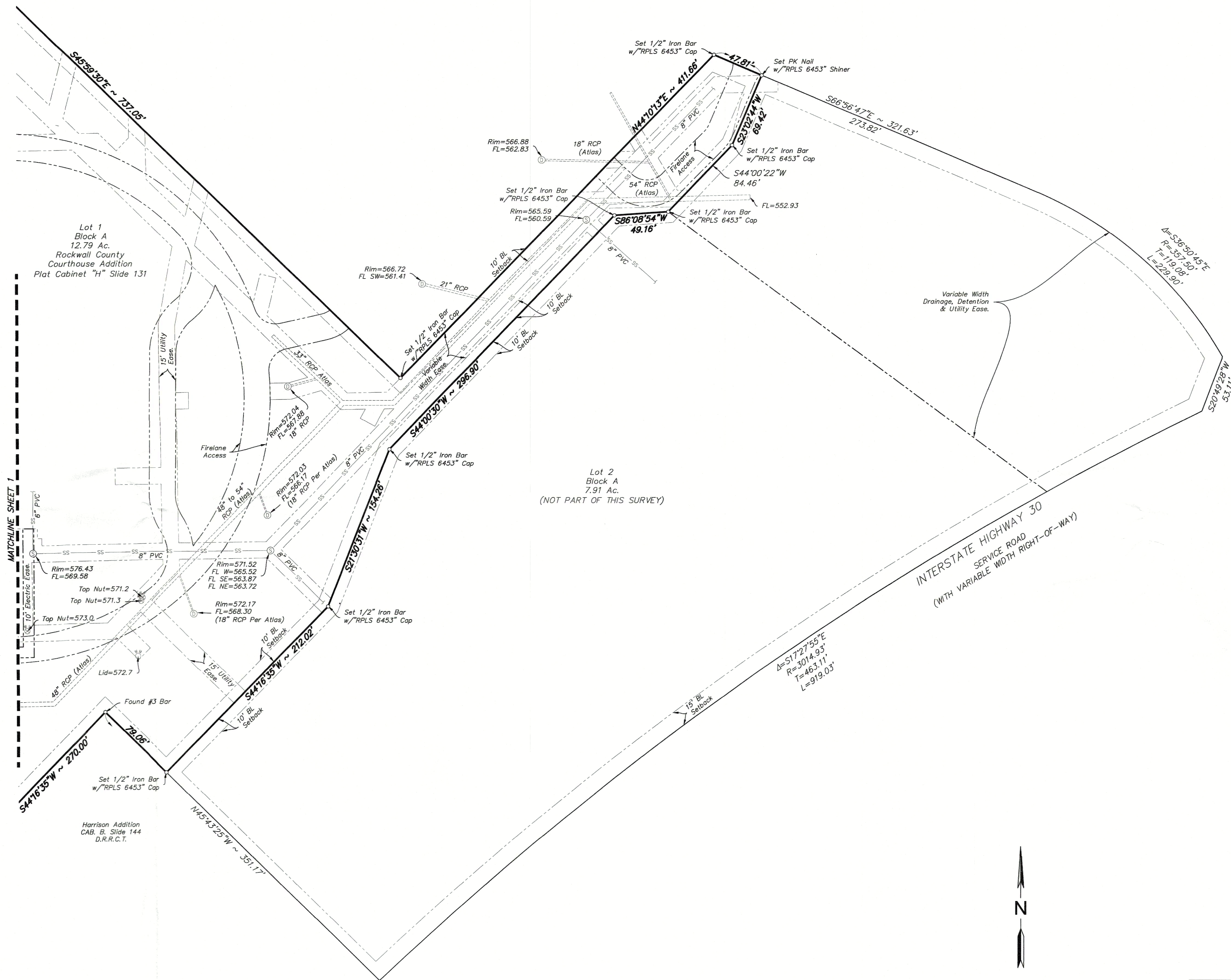
UTILITY WARNING:

The underground utilities shown have been located from record documents or field locations by the operator. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities.

Utility elevations and sizes may have been measured under adverse field conditions. Upon exposing the utility, elevations and line sizes should be verified by the contractor prior to construction. Contractor should verify critical elevations using the benchmark provided by the surveyor or engineer. Any discrepancies should be immediately brought to the engineer's and surveyor's attention.

Texas 811 Ticket Nos. 2374353644

H:\04174423\00_PARKHILL ROCKWALL CO CH ANNEX\FINAL\04174423-ROCKWALL CO CH ANNEX_C3D2023.DWG, 10/16/2023 12:59:29 PM, Stacker



ROCKWALL COUNTY
COURTHOUSE ANNEX
ROCKWALL, TEXAS

CLIENT

CITY OF ROCKWALL

ROCKWALL CO. COURTHOUSE
1111 E. YELLOW JACKET LN

PROJECT NO.

04174423.00

KEY PLAN

#	DATE	DESCRIPTION

TOPOGRAPHIC
SURVEY

1" = 50'

V-2

SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was
approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of October, 2023.
WITNESS OUR HANDS, this 12 day of October, 2023.

Planning & Zoning Committee, Chairman

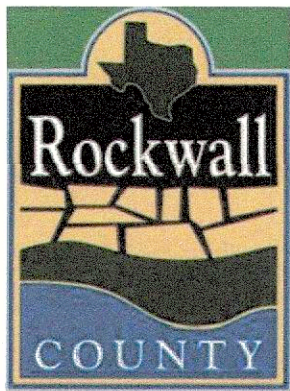
Director of Planning and Zoning

Surveyed By: DB/TM

Drawn By: SA

Approved By: SW

Date: 9/28/2023



CLIENT

Rockwall County

1111 E Yellowjacket Lane
Rockwall, TX 75037

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County
Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
Phone Number: 972-987-1670

Owner Contact Information

Name: Rockwall County
Address: 101 East Rusk Street, Rockwall, Texas,
75087
Phone Number: 972-204-6000

#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

EXISTING SITE
DESIGN SURVEY

C-102A

SURVEY CONTROL

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ON-SITE CONTROL SET				
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SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was
approved by the Planning & Zoning Commission of the City of Rockwall on the 11th day of October 2023.
WITNESS OUR HANDS, this 11th day of October 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

TOPOGRAPHIC LEGEND

	ELECTRIC BOX		ELECTRIC VAULT
	ELECTRIC GUY DOWN		ELECTRIC LIGHT GROUND
	ELECTRIC POWER POLE		ELECTRIC LIGHT POLE
	COMMUNICATIONS VAULT		ELECTRIC OUTLET
	GAS METER		BENCHMARK
	WATER FIRE HYDRANT		CONTROL POINT
	WATER IRRIGATION CONTROL VALVE		TREE DECIDUOUS
	WATER IRRIGATION SPRINKLER HEAD		FIBER OPTIC UNDERGROUND
	WATER METER		GAS LINE UNDERGROUND
	WATER SIGN/MARKER		POWER OVERHEAD
	WATER VALVE		POWER UNDERGROUND
	SANITARY SEWER MANHOLE		CURB & GUTTER
	SANITARY SEWER CLEANOUT		STORM DRAIN PIPE
	STORM DRAIN MANHOLE		UNKNOWN
	STORM DRAIN GRATE INLET		WATER UNDERGROUND
	BOLLARD/GUARD POST		CONCRETE
	MONUMENT FOUND		EASEMENT
	MONUMENT SET		RIGHT-OF-WAY
	SIGN COMMERCIAL		PROPERTY LINE
	SIGN		
	BORE HOLE LOCATION		

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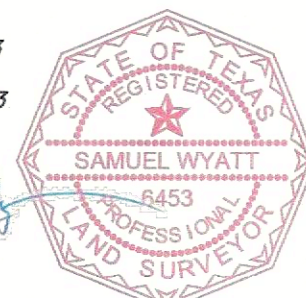
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NUMBER 2374333644. ADDITIONAL UTILITIES MAY EXIST WHICH THIS
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AND SIGNATURE.

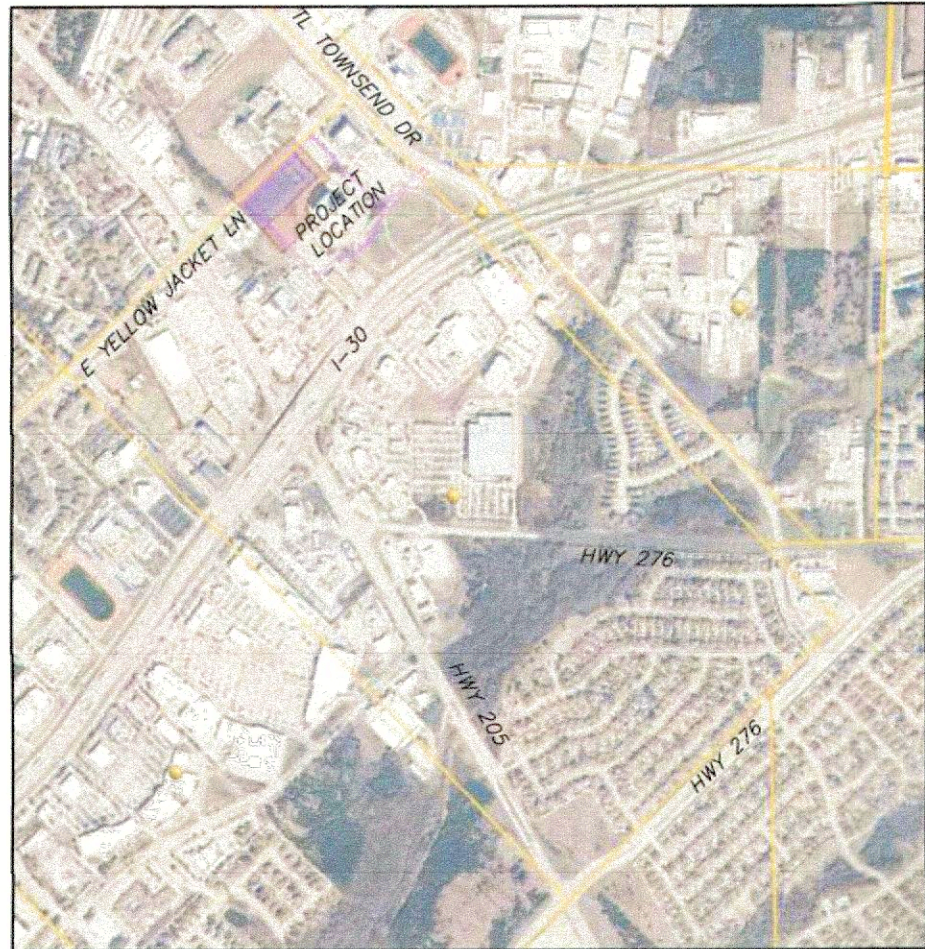
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AND THE INFORMATION HEREON REPRESENTS THE FINDINGS OF THIS
SURVEY TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SURVEYED:
SEPTEMBER 7, 2023
SIGNED:
NOVEMBER 28, 2023

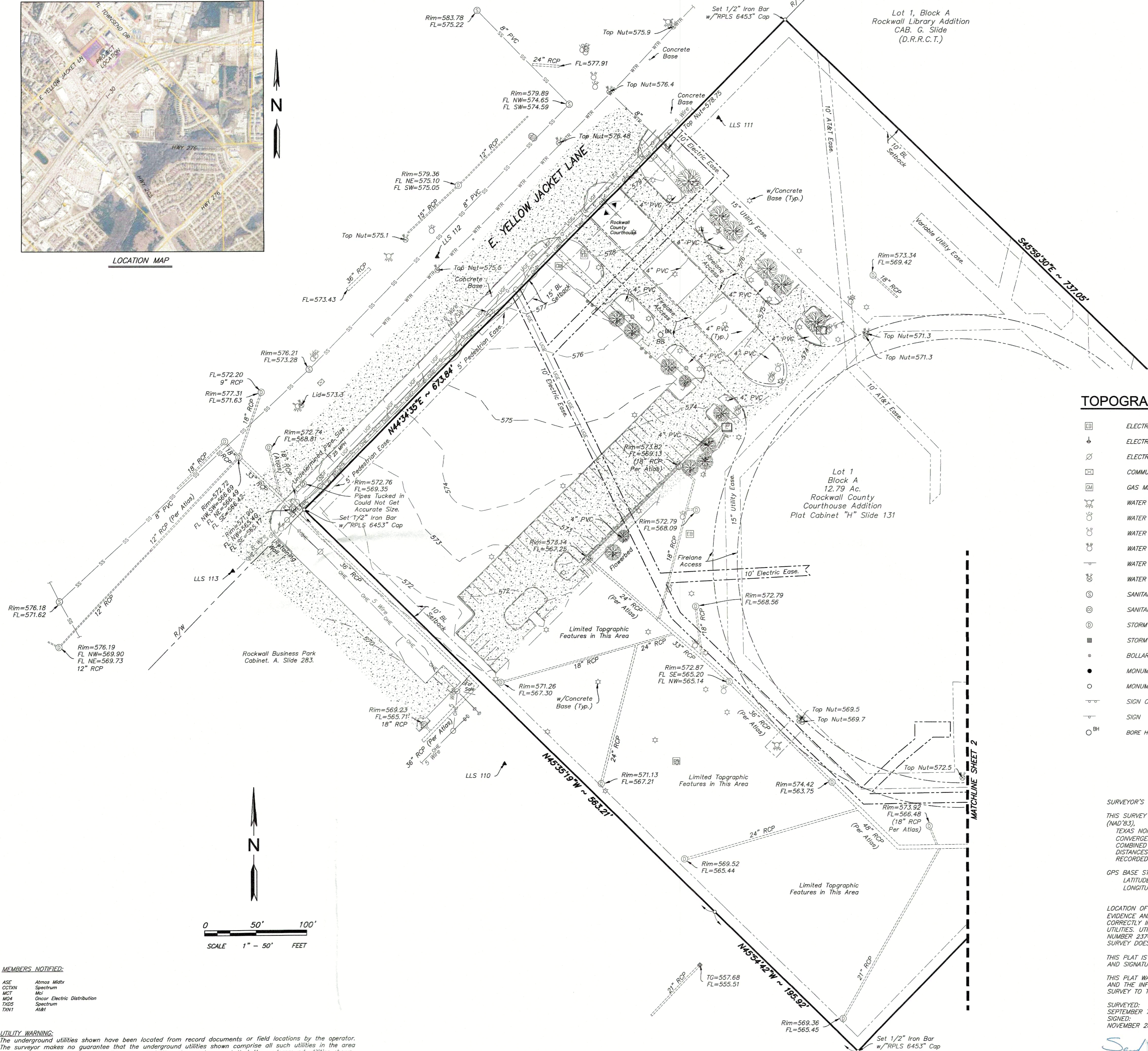
SAMUEL WYATT
R.P.L.S. 6453



Surveyed By:	DB/TM
Drawn By:	SA
Approved By:	SW
Date:	9/28/2023



LOCATION MAP



MEMBERS NOTIFIED:

ASE	Atmos Midtr
OSTM	Spectrum
MCT	Mel
M04	Onco Electric Distribution
T025	Spectrum
T0N1	Altet

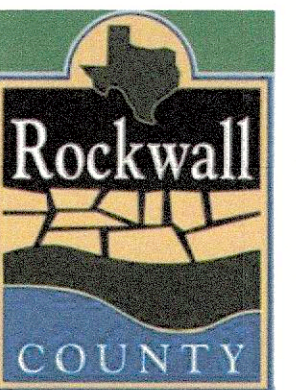
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Texas 811 Ticket Nos. 2374333644

Rockwall County Annex



CLIENT

Rockwall County

1111 E Yellowjacket Lane
Rockwall, TX 75037

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County
Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

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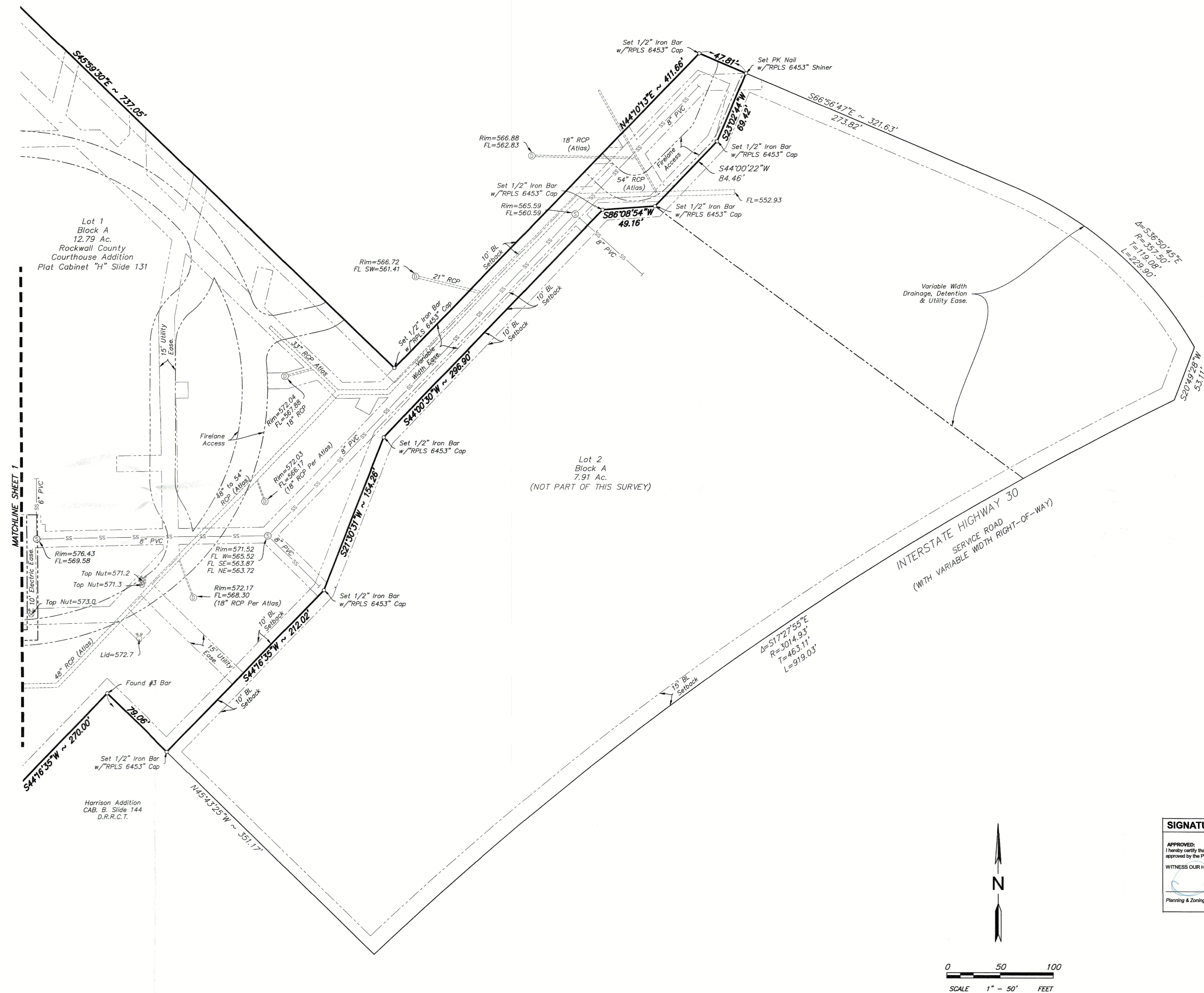
Owner Contact Information

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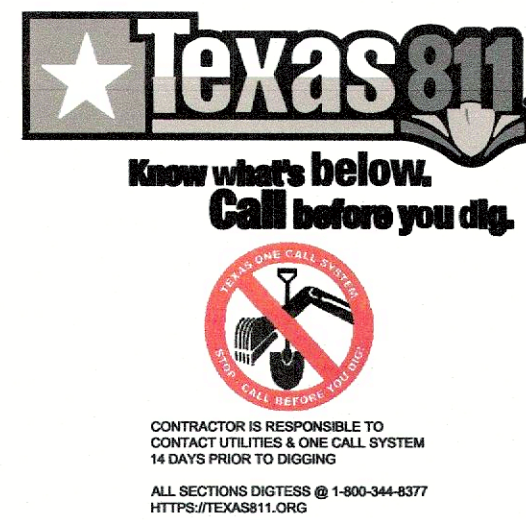
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal
#	DATE	DESCRIPTION

EXISTING SITE DESIGN SURVEY

C-102B



Surveyed By:	DB/TM
Drawn By:	SA
Approved By:	SW
Date:	9/28/2023



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

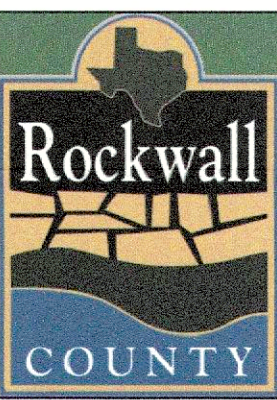
ALL WASTEWATER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DEPARTMENT AND INSTALLED BY A LICENSED PLUMBER.

Parkhill

THIS DOCUMENT IS RELEASED ON 12/28/23 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF BENITO SANCHEZ, P.E., TEXAS LICENSE #87889. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC. F-560

Parkhill.com

Rockwall County Annex

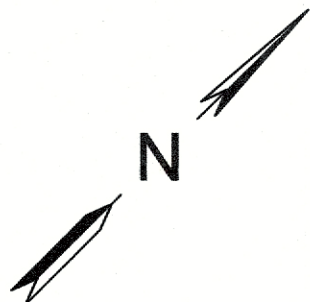


CLIENT
Rockwall County

1111 E Yellowjacket Lane
Rockwall, TX 75037

PROJECT NO.
11987.22

KEY PLAN



0 20' 40'

3	1/3/2024	Design Development
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

DATE DESCRIPTION

Utility And Storm
Drain Plan
CU101

SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of October, 2023.
WITNESS OUR HANDS, this 12 day of October, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

KEY NOTES

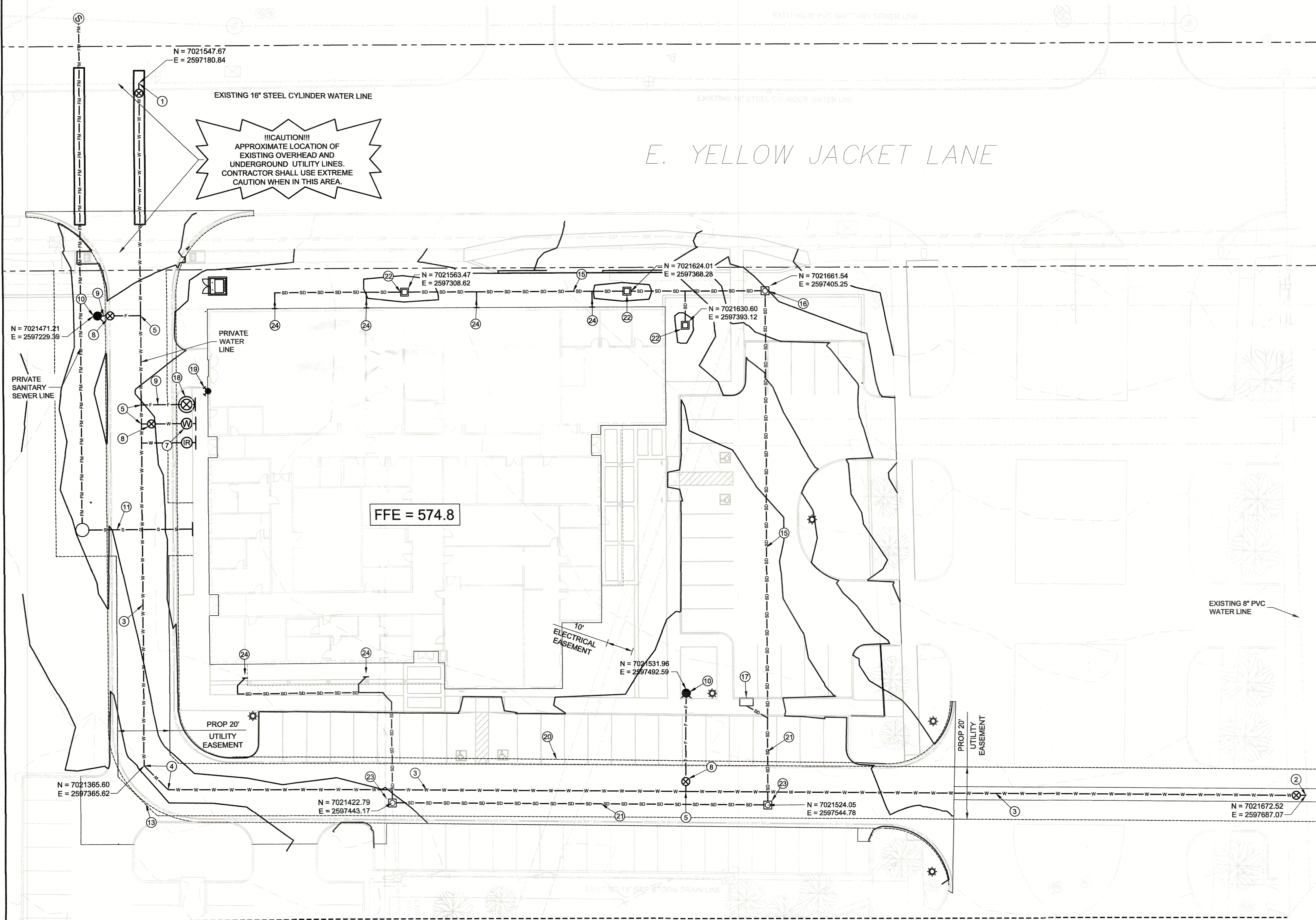
- AS INDICATED BY: (00)
- 16"x6" TAPPING SLEEVE AND VALVE
 - 8"x6" TAPPING SLEEVE AND VALVE
 - 6" C-900 PVC WATER LINE
 - 6"x6" 45° BEND
 - 6"x6" TEE
 - 6"x2 1/2" TEE
 - 6" WATER METER ASSEMBLY - SEE DETAIL CU502
 - 6" GATE VALVE - SEE DETAIL CU503
 - 6" C-900 DR-14 PVC FIRE PROTECTION LINE
 - FIRE HYDRANT - SEE DETAIL CU502
 - 6" SDR-26 SANITARY SEWER LINE
 - 6" 45° BEND
 - CLEANOUT - SEE DETAIL CU503
 - 5" SANITARY SEWER MANHOLE - SEE DETAIL CU503
 - 15" HDPE STORM DRAIN LINE
 - 24"x24" JUNCTION BOX - SEE DETAIL CU502
 - 5" CURB INLET - SEE DETAIL CU504
 - POST INDICATOR VALVE - SEE DETAIL C1/CU501
 - WALL MOUNTED FIRE DEPARTMENT CONNECTION - SEE PLUMBING PLANS
 - PROPOSED UTILITY EASEMENT
 - 24" RCP STORM DRAIN PIPE
 - 24"x24" INLET - SEE DETAIL CU504
 - 30"x30" JUNCTION BOX - SEE DETAIL CU502
 - CONNECT TO 6" ROOF DRAIN - SEE MEP FOR CONTINUATION

UTILITY NOTES

- A. THE EXISTING UTILITIES, ABOVE GROUND AND UNDER GROUND, INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY OTHERS. VERIFY, BOTH HORIZONTALLY AND VERTICALLY, THE LOCATIONS OF ALL EXISTING UTILITIES, APPURTENANCES, OR OTHER FEATURES, PRIOR TO CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES, APPURTENANCES, AND ANY OTHER FEATURES ENCOUNTERED, AND NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICTS WITH THE WORK.
- B. REPAIR DAMAGE TO UTILITIES CAUSED BY CONTRACTOR, AT CONTRACTOR'S EXPENSE.
- C. PRIVATE FIRE HYDRANTS MUST BE COATED RED BY THE MANUFACTURER. PRESSURE INDICATOR RINGS ARE TO BE INSTALLED. THE DEVELOPER OR CONTRACTOR IS REQUIRED TO PAY FOR THE FLOW TEST TO DETERMINE THE PRESSURE.
- D. WATER LINE IS TO BE PVC C-900 DR-14 AFTER THE GATE VALVE HEADING TO THE FIRE HYDRANT OR FDC.
- E. COORDINATE FIRE LINE INSPECTIONS WITH THE FIRE MARSHAL'S OFFICE.
- F. FIELD VERIFY ALL DIMENSIONS AND GRADES TO CONFIRM POSITIVE FLOW OF ALL NEW AND EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
- G. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND ALL APPLICABLE CODES.
- H. DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE DRAWINGS.

LEGEND

- PROPERTY LINE
- S — S — EXISTING SANITARY SEWER LINE WITH MANHOLE
- W — W — EXISTING WATER LINE WITH VALVE
- ⊗ EXISTING FIRE HYDRANT
- SD — SD — EXISTING STORM DRAIN LINE
- SD — SD — NEW STORM DRAIN LINE
- E — E — NEW ELECTRIC LINE
- W — W — NEW PVC C-900 DOMESTIC WATER LINE WITH VALVE
- F — F — NEW PVC C-900 DR-14 FIRE PROTECTION WATER LINE
- ⊗ NEW FIRE HYDRANT
- S — S — NEW PVC (SDR-35) SANITARY SEWER SERVICE LINE
- NEW UTILITY EASEMENT





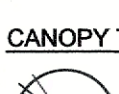


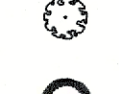


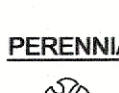

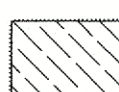
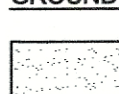








MATCHLINE SEE SHEET CU101B

A1 UTILITY PLAN
1" = 20'

A:\2024\1987\2203_DSGN01_DWG050_CVIL00_SHEETS\CU101-11987.DWG, 1/8/2024 3:53 PM, fgonas

A:\2022\11987 22\03_DSGN01_DWG060_LAND\03_SHEETS\LP102-11987.DWG, 11/6/2023 5:23 PM, ghufaker

PLANT SCHEDULE

ACCENT TREES	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE	CALIPER	SIZE
	5	DESERT WILLOW	CHILOPSIS LINEARIS	25 GAL	2" CAL	6' - 8' HT
	5	EASTERN REDBUD	CERCIS CANADENSIS	25 GAL	2" CAL	6' - 8' HT
	2	YAUPON HOLLY	ILEX VOMITORIA	15 GAL	N/A	6' HT.
	6	POSSUM HAW HOLLY	ILEX DECIDUA	15 GAL	N/A	6' HT.
CANOPY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER SIZE	CALIPER	SIZE
	3	CEDAR ELM	ULMUS CRASSIFOLIA	B & B	4" CAL	12'-14' HT.
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	6	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL		
	11	BRAKELIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM	5 GAL		
	13	DWARF BURFORD HOLLY	ILLEX CORNUTA 'BURFORDII NANA'	7 GAL	30" HT.	
	26	TEXAS SAGE	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY'	7 GAL	30" HT.	
	77	MEXICAN SAGE	SALVIA LEUCANTHA	5 GAL		
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	71	DEER MUHLY	MUHLENBERGIA RIGENS	5 GAL		
	14	PURPLE MUHLY	MUHLENBERGIA RIGIDA 'NASHVILLE' TM	5 GAL		
	85	LITTLE BLUE STEM GRASS	SCHIZACHYRIUM SCOPARIUM	5 GAL		
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	
	24	TEXAS LANTANA	LANTANA URTICOIDES	1 GAL		
	56	TURK'S CAP	MALVAVISCUS DRUMMONDII	1 GAL		
ORNAMENTAL GRASS AREA	QTY	COMMON NAME	BOTANICAL NAME	CONT		
	486	BERKELEY SEDGE	CAREX DIVULSA	1 GAL		
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT		
	451 SF	DECOMPOSED GRANITE	DECOMPOSED GRANITE	3" DEPTH		
	1,525 SF	1"-2" RIVER ROCK	1"-2" RIVER ROCK	4" DEPTH		
	5,141 SF	SHREDDED HARDWOOD MULCH	SHREDDED HARDWOOD MULCH	3" DEPTH		
SOD/SEED	QTY	COMMON NAME	BOTANICAL NAME	CONT		
	6,065 SF	TAHOMA 31 BERMUDA SOD	CYNODON DACTYLON 'TAHOMA 31'	SOLID SOD		

PLANTING GENERAL NOTES

- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF ROCKWALL STANDARDS.
- B. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT AND SPECIFICATIONS FOR REQUIREMENTS NOT LISTED HEREIN.
- C. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- D. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN SHOWN ON ALL DRAWINGS. PLANT COUNTS AND SQUARE FOOTAGES ARE PROVIDED AS A COURTESY ONLY.
- E. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
- F. IN THE CASE OF A DISCREPANCY BETWEEN THE CONTAINER SIZE CALLED OUT IN PLANT LIST AND THE CALIPER AND HEIGHT OF PLANT MATERIAL, THE SPECIFIED TREE MUST MEET THE CALIPER AND HEIGHT REQUIREMENTS SPECIFIED, EVEN IF THE LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
- G. ALL PLANTS TO BE GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
- H. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE PLANT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- I. LANDSCAPE CONTRACTOR SHALL LOCATE THE SOURCE OF AND SELECT ALL PLANTS FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
- J. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO DELIVERY AT THE NURSERIES OR SUPPLIERS BY THE PROJECT LANDSCAPE ARCHITECT.
- K. IF ANY SOURCE OF PLANTS IS LOCATED FURTHER THAN 30 MILES FROM THE PROJECT SITE THE CONTRACTOR WILL BE REQUIRED TO PAY TIME AND TRAVEL EXPENSES INCURRED BY THE PROJECT LANDSCAPE ARCHITECT.
- L. AT THE OPTION OF THE LANDSCAPE ARCHITECT, PHOTOS OF ALL PLANT MATERIAL SHOWING CONTAINER SIZE, HEIGHT AND CALIPER CAN BE SUBMITTED FOR APPROVAL.
- M. ALL PLANTS TAGGED AS APPROVED AT NURSERY OR SUPPLIER SHALL BEAR THE SAME TAG WHEN DELIVERED ON SITE.
- N. THE RIGHT TO REJECT PLANT MATERIALS DELIVERED TO THE SITE THAT DO NOT BEAR APPROVAL TAGS IS RESERVED BY THE PROJECT LANDSCAPE ARCHITECT.
- O. IN AREAS WHERE PAVING SUBGRADES AND BUILDING PADS EXTEND INTO PLANT BED AREAS, 6 INCH HOLES SHALL BE DRILLED EVERY 3 FEET AND FILLED WITH 1 INCH DIAMETER GRAVEL TO PROVIDE PERCOLATION AND DRAINAGE FOR THE PLANTING BED. HOLES SHALL BE DRILLED THROUGH IMPROVED SUBGRADES INTO EXISTING SITE SOILS BUT NO DEEPER THAN FOUR FEET.
- P. ALL PLANTING BEDS TO RECEIVE 2 INCHES OF BACK TO EARTH COMPOST PER SQUARE FOOT AND 1 POUND OF A 4(N):1(P):2(K) RATIO FERTILIZER PER 100 SQUARE FEET. BOTH MATERIALS SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 12 INCHES.
- Q. ALL FINAL PLANTING BED GRADES IN AREAS WHERE ORGANIC AND/OR INORGANIC MULCH IS BEING APPLIED SHOULD BE 3 OR 4 INCHES BELOW ADJACENT HARD SURFACES ACCORDING TO MULCH DEPTH INDICATED ON PLANS.
- R. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING IS COMPLETE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- S. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING OR AS ESTABLISHED IN CONTAINER.
- T. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
- U. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN AS NEEDED DURING THE FIRST GROWING SEASON.
- V. ALL PLANTING BEDS SHALL RECEIVE ORGANIC AND/OR INORGANIC MULCH MATERIALS AS NOTED ON PLANS.
- W. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- X. THE CONTRACTOR SHALL PRUNE ALL BRANCHES 6 FEET ABOVE FINISH GRADE ON ALL DECIDUOUS TREES 12 FEET OR TALLER.
- Y. AREAS TO BE FILLED WITH INORGANIC MULCHES WITH A DIAMETER LESS THAN 1/4 INCH IN SIZE SHALL BE COMPACTED TO 85% PROCTOR DENSITY BEFORE MULCH IS PLACED.
- Z. THE SITE SHALL BE FINE GRADED PRIOR TO ANY PLANT INSTILLATION. ANY AREAS DISTURBED BY PLANTING SHALL BE REGRADED AND SMOOTHED PRIOR TO GRASS PLANTING.
- AA. SOD SHALL BE USED AROUND DRAIN INLETS (6' BUFFER) AND IN AREAS WHERE THE SLOPE EXCEEDS 20% (1:5) UNLESS THE AREA IS A PLANTING BED.

SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11th day of November, 2023.

WITNESS OUR HANDS, this 11th day of November, 2023.

Planning & Zoning Commission, Chairman

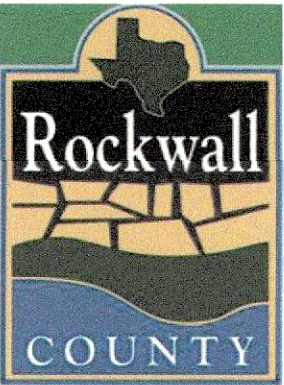
Chairman of Planning and Zoning

Parkhill

THIS DOCUMENT IS RELEASED ON NOVEMBER 7, 2023 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF LANDON G. BELL, R.L.A., TEXAS LICENSE #3245. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC.

Parkhill.com

Rockwall County Annex



CLIENT

Rockwall County

1111 E Yellowjacket Lane
Rockwall, TX 75037

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
Phone Number: 972-987-1670

Owner Contact Information

Name: Rockwall County
Address: 101 East Rusk Street, Rockwall,
Texas, 75087
Phone Number: 972-204-6000

2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

#	DATE	DESCRIPTION
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Planting Notes
& Schedule
LP102

A:202211987.2203_DSGN01_DWG000_LAND03_SHEETS.DWG, 11/16/2023 5:23 PM, ghufaker

* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PARK USERS/PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

ROOT ANCHOR BY TREE STAKE SOLUTIONS, PROVIDE AND INSTALL THE APPROPRIATE SIZE ROOT ANCHOR AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143

1/2 ROOT BALL WIDTH (MINIMUM)

3" HARDWOOD MULCH AS SPEC'D. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

CUT AWAY AND REMOVE ALL GALVANIZED WIRE BASKET, TWINE, ROPE AND BURLAP FROM THE TOP TWO-THIRDS OF THE ROOT BALL BEFORE BACKFILLING THE PLANTING PIT. ALL TWINE, ROPE AND BURLAP MUST BE BIODEGRADABLE.

BACKFILL PLANTING PIT WITH NATIVE SOIL; MIX SOIL THOROUGHLY PRIOR TO BACKFILLING, SATURATE WITH WATER TO ELIMINATE VOIDS AND ENSURE FULL CONTACT WITH ROOT BALL.

SCARIFY BOTTOM AND SIDES OF PLANTING PIT. PLANTING PIT DEPTH TO BE 2" LESS THAN THE DEPTH OF THE ROOT BALL.

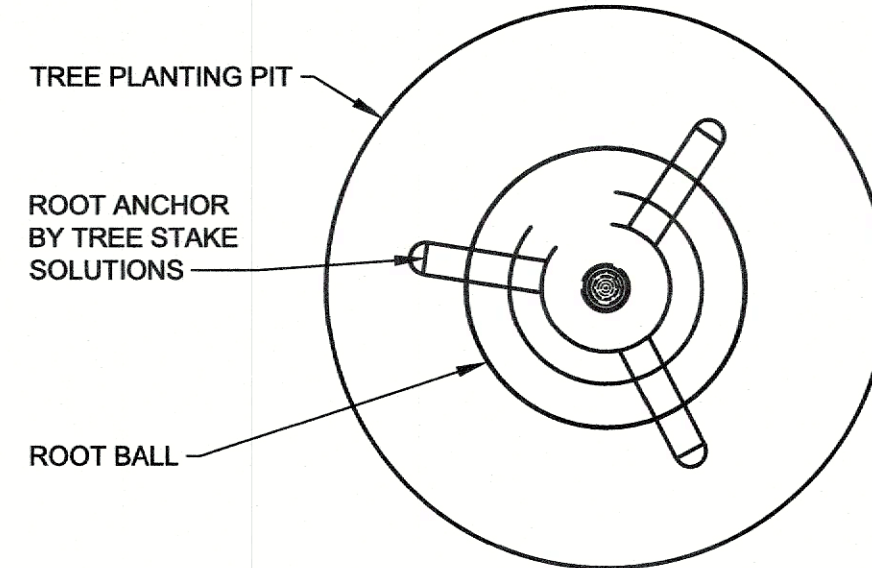
NOTES:

1. TOP OF ROOT BALL SHALL BE TWO-INCHES (2") ABOVE FINISHED GRADE. ROOT FLARE MUST BE VISIBLE AFTER PLANTING AND MULCHING.
2. DO NOT CONSTRUCT A WATER BASIN AROUND THE PLANTING PIT.
3. DO NOT PILE MULCH AROUND THE TREE TRUNK.
4. ROOT BOUND TREES WILL NOT BE ACCEPTED.
5. TREES PLANTED TOO LOW, OR WITH THE ROOT FLARE COVERED, WILL NOT BE ACCEPTED.
6. APPLY TREE WRAPPING MATERIAL ON SMOOTH BARKED TREES (i.e. MAPLES & RED OAK) INSTALLED DURING THE SPRING SEASON. WRAP TRUNK FROM GUYING STRAPS TO THE ROOT BALL. USE A WATERPROOF TAPE OR ADHESIVE TO AFFIX THE PRODUCT TO ITSELF. TREE WRAP IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF OCTOBER THAT SAME YEAR.
7. TREE WRAP SHALL BE CLARK'S TREE WRAP BY WALTER E. CLARK & SON, INC., (203) 795-1235, OR APPROVED EQUAL.
8. TREE STAKING IS TO BE REMOVED BY THE CONTRACTOR AFTER ONE (1) YEAR.
9. REFERENCE PLANS AND PROJECT MANUAL FOR SPECIFICATIONS DEFINING SIZE, TYPE, QUALITY, ETC.

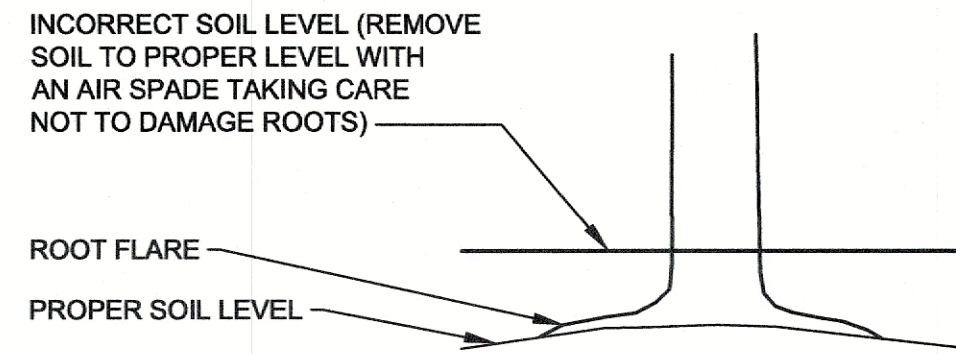
TREE CALIPER MEASURED ABOVE TOP OF ROOT BALL (6" FOR TREES LESS OR EQUAL TO 4" CALIPER AND 12" FOR TREES GREATER THAN 4" CALIPER).

SEE NOTE #1.

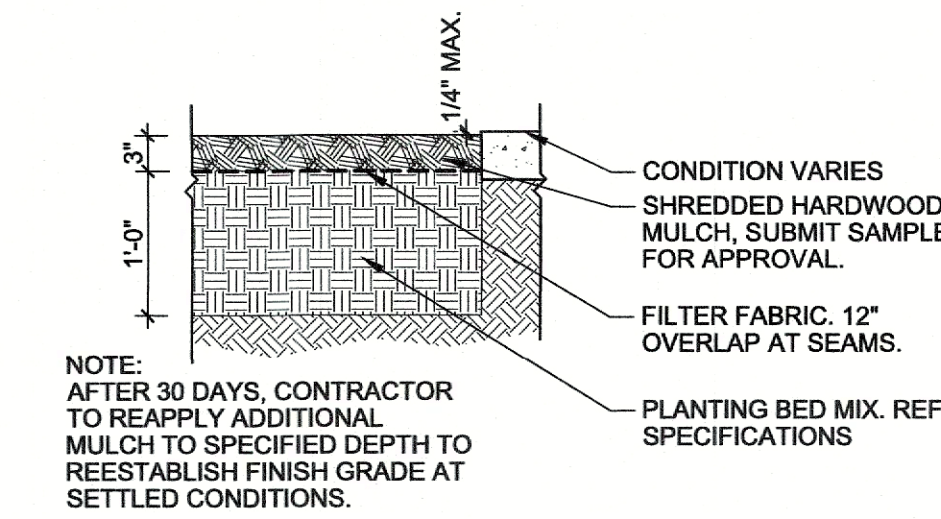
ROOT BALL TO BE PLACED ON UNDISTURBED SOIL. IF THE PLANTING PIT IS OVER-EXCAVATED, ADD FILL TO ACHIEVE THE PROPER PLANTING DEPTH AND TAMP THE SOIL TO COMPACT PRIOR TO PLANTING.



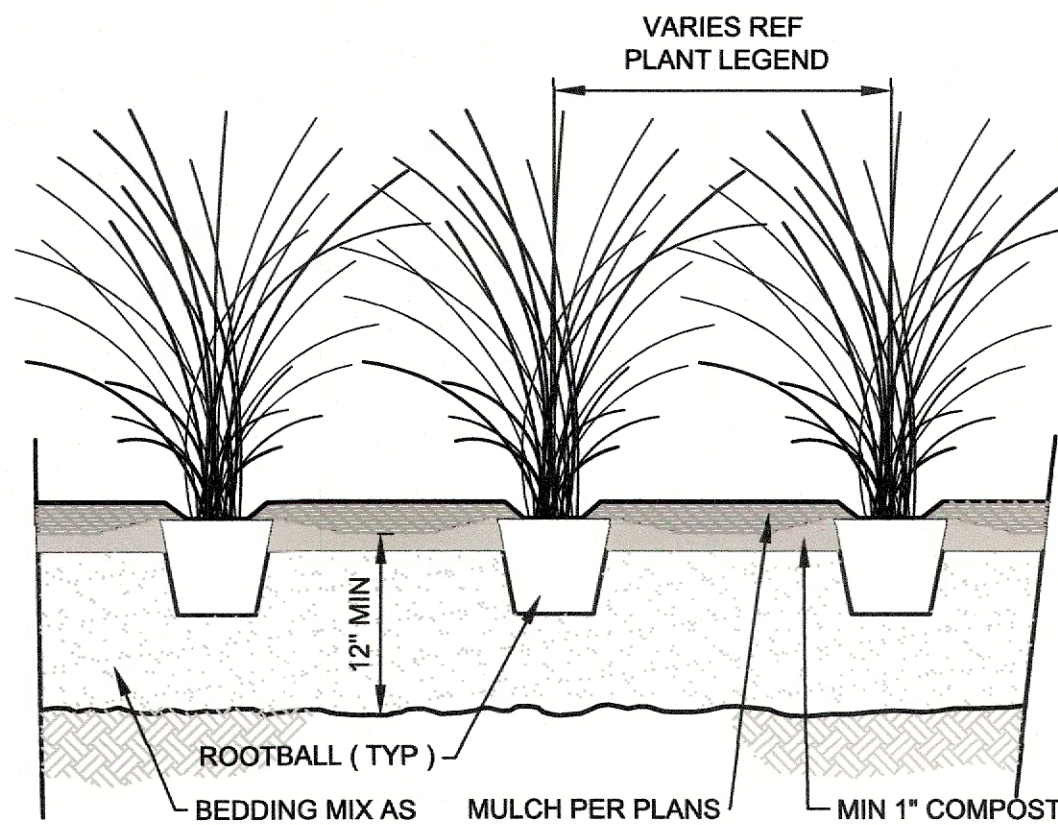
PLAN VIEW



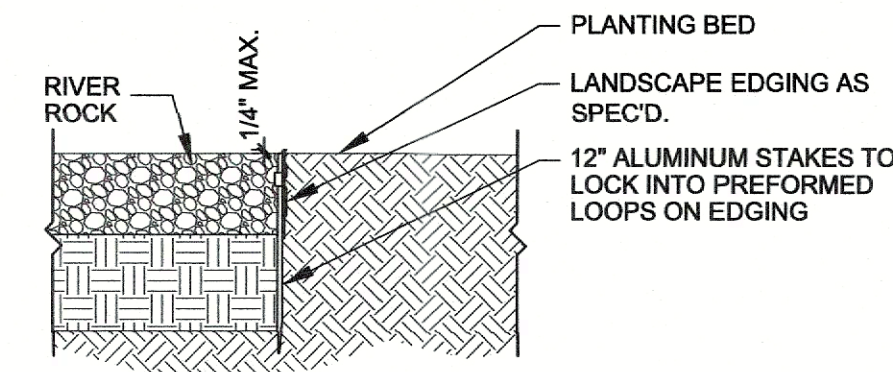
EXPOSED COVERED ROOT FLARE



D4 MULCH
3/4"=1'-0" L_MULCH



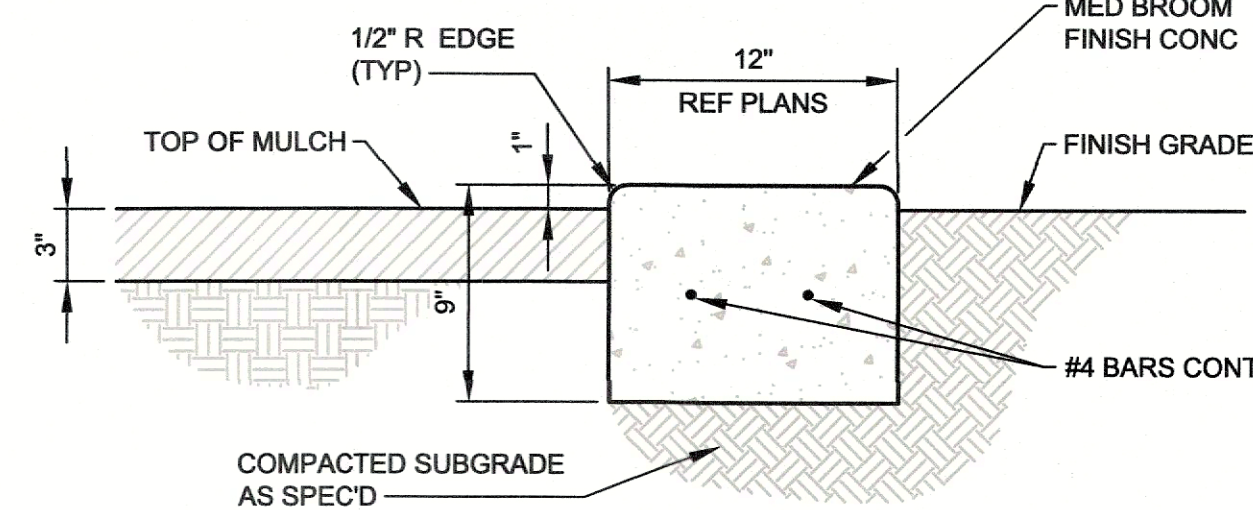
C4 ORNAMENTAL GRASS PLANTING
1"=1'-0" L_ORNAMENTAL_GRASS_PLANTING



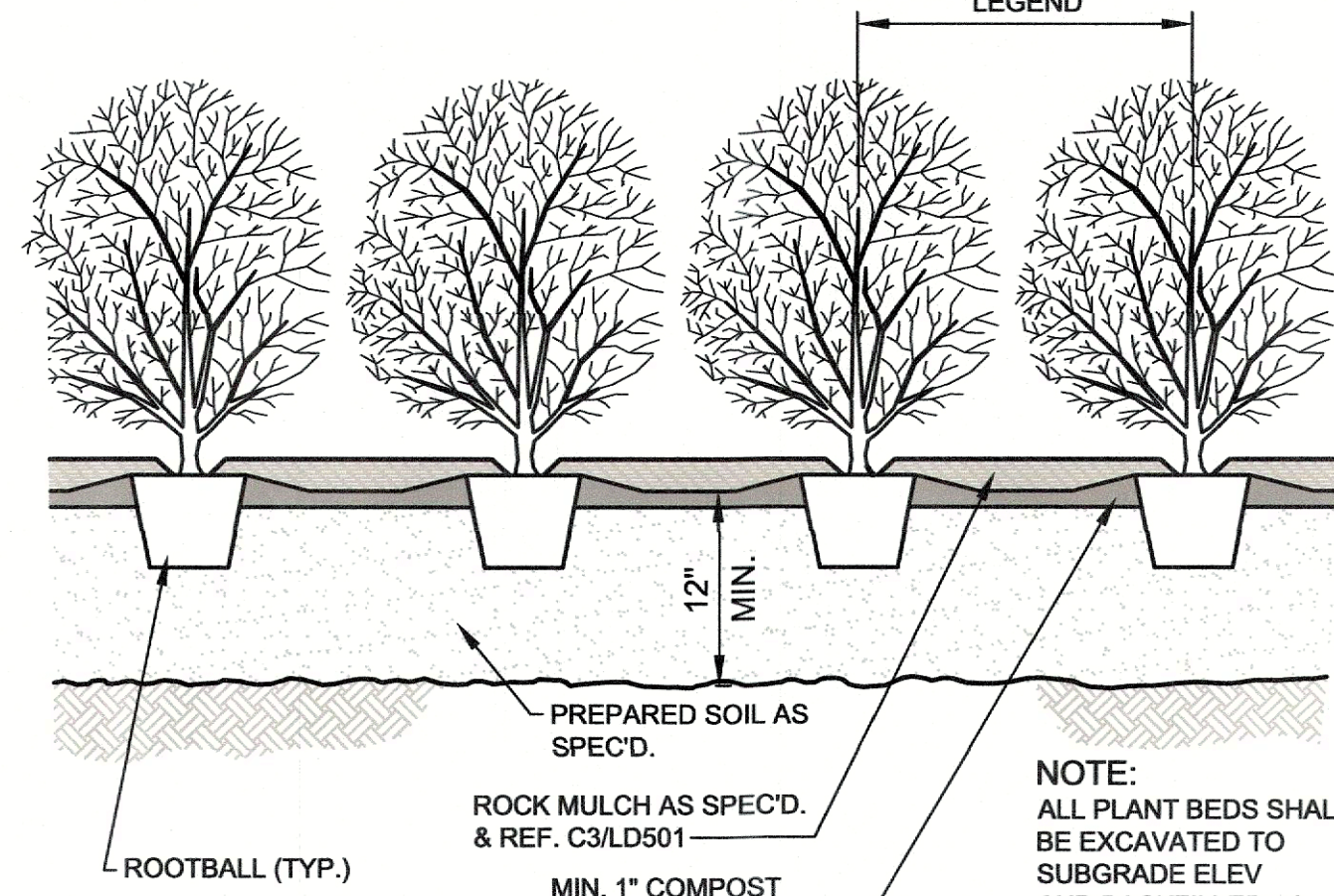
C5 LANDSCAPE EDGE
1"=1'-0" LNDSCPE_EDG

NOTE:

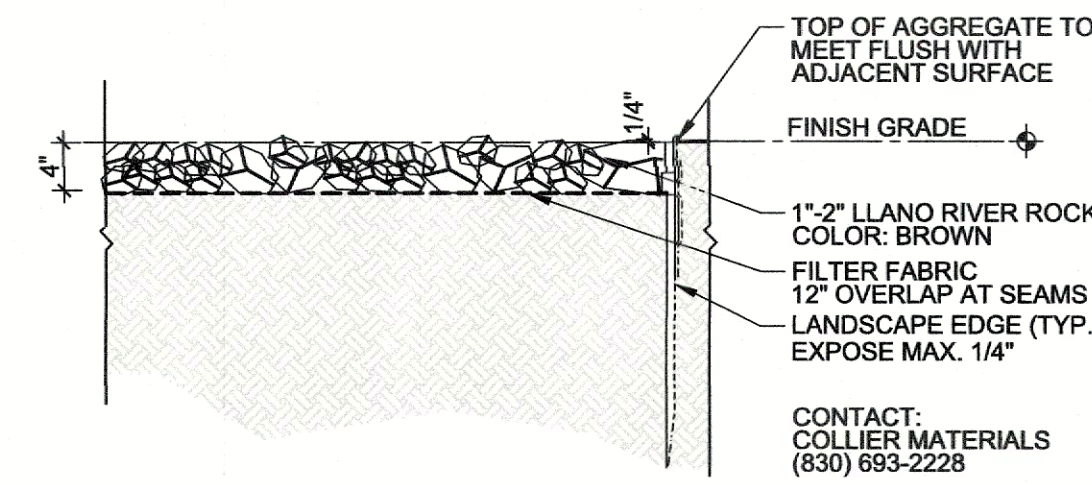
- MOWSTRIP TO BE DOWELED INTO EDGE OF CONC PAVING
- CONTROL JOINTS TO BE 1/8" WIDE X 1 3/4" DEEP, SPACED 5' OC
- DOWELED EXPANSION JOINTS TO BE 50' OC, AND AT ENDS.
- DOWELED EXPANSION JOINTS TO BE 12" L W/ #4 SMOOTH BAR DOWEL, CAP AND LUBE ONE END. JOINT IS TO BE 1/2" PREMOLDED FIBER EXPANSION JOINT MATERIAL WITH 1" JOINT SEALER ABOVE.
- CONTRACTOR SHALL STAKE LAYOUT OF EDGING FOR APPROVAL BY ARCHITECT / ENGINEER



B4 12" CONCRETE LANDSCAPE EDGE
1 1/2" = 1'-0" PVMT_CONC_MOWSTRIP_LANDSCAPE_EDGE

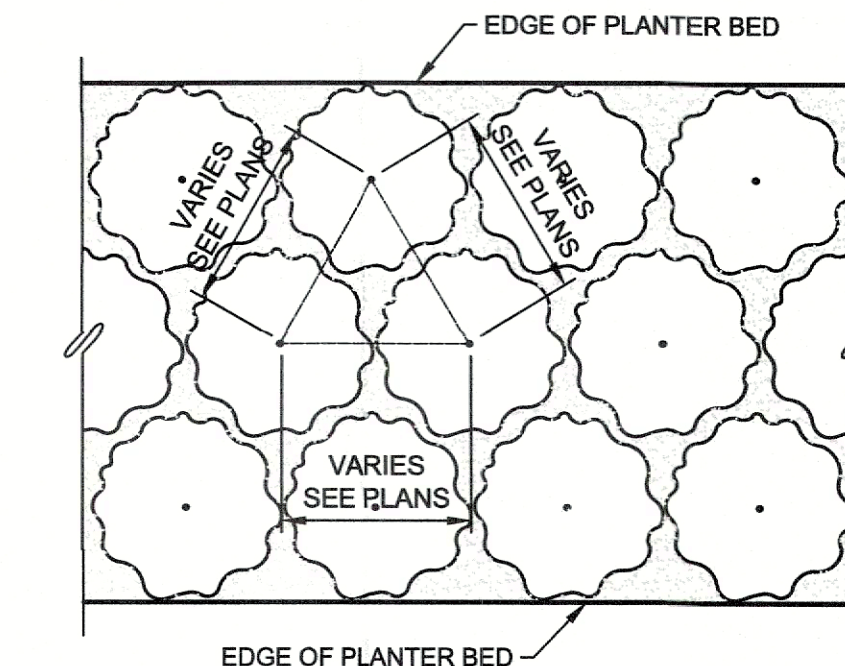


B3 SHRUB PLANTING
1"=1'-0" L_PLANTING_SHRUB



NOTE: SUBMIT MIN. 3 GAL. QUANTITY FOR APPROVAL PRIOR TO ORDERING AND SHIPPING TO SITE. SUBMIT SAMPLE FOR ARCHITECT APPROVAL.

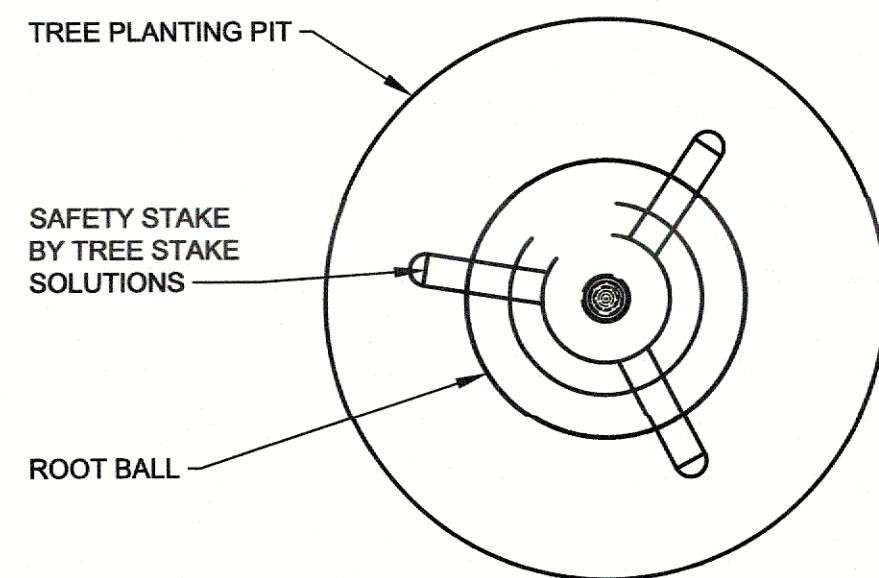
A3 RIVER ROCK - 1-2"
3/4"=1'-0" RRCK



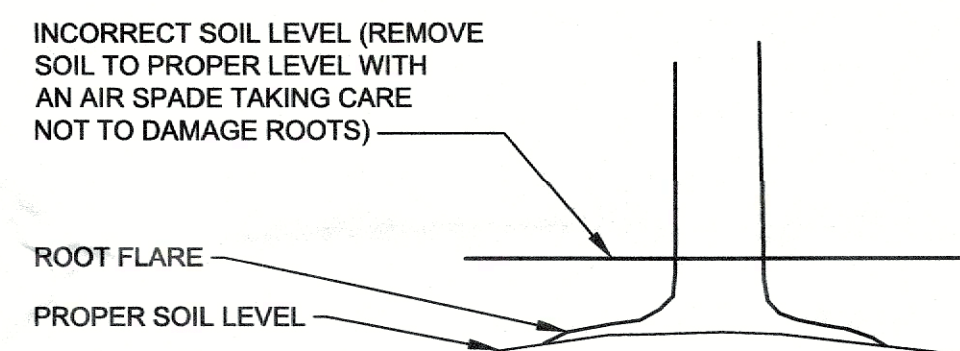
A4 PLANT LAYOUT
1/2"=1'-0" L_PLANT_LAYOUT

C1 MULTI-TRUNK TREE PLANTING AND ANCHORING

1/2"=1'-0"



PLAN VIEW



EXPOSED COVERED ROOT FLARE

* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PARK USERS/PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

SAFETY STAKE BY TREE STAKE SOLUTIONS, PROVIDE AND INSTALL THE APPROPRIATE SIZE SAFETY STAKE AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143 (ALSO, SEE PLAN VIEW ABOVE)

1/2 ROOT BALL WIDTH (MINIMUM)

3" SHREDDED HARDWOOD MULCH. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

BACKFILL PLANTING PIT WITH NATIVE SOIL; MIX SOIL THOROUGHLY PRIOR TO BACKFILLING, SATURATE WITH WATER TO ELIMINATE VOIDS AND ENSURE FULL CONTACT WITH ROOT BALL.

SCARIFY BOTTOM AND SIDES OF PLANTING PIT. PLANTING PIT DEPTH TO BE 2" LESS THAN THE DEPTH OF THE ROOT BALL.

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9. REFERENCE PLANS AND PROJECT MANUAL FOR SPECIFICATIONS DEFINING SIZE, TYPE, QUALITY, ETC.

CLARK'S TREE WRAP AS SPEC'D, OR APPROVED EQUAL, SEE NOTE #6 FOR MORE INFORMATION.

TREE CALIPER MEASURED ABOVE TOP OF ROOT BALL (6" FOR TREES LESS OR EQUAL TO 4" CALIPER AND 12" FOR TREES GREATER THAN 4" CALIPER).

SEE NOTE #1.

NOTES:

1. UPON COMPLETION OF ROUGH GRADING, CONTRACTOR SHALL DIG TEST TREE PITS ACROSS THE SITE. THE TEST PITS SHALL BE FILLED WITH WATER AND OBSERVED FOR DRAINAGE. IF THE PIT HOLDS WATER FOR GREATER THAN 24 HOURS, THE TREE LOCATIONS AND/OR SPECIES WILL BE REVISED.

ROOT BALL TO BE PLACED ON UNDISTURBED SOIL. IF THE PLANTING PIT IS OVER-EXCAVATED, ADD FILL TO ACHIEVE THE PROPER PLANTING DEPTH AND TAMP THE SOIL TO COMPACT PRIOR TO PLANTING.

A1 TREE PLANTING AND STAKING

1/2"=1'-0"

L_PLANTING_TREE_STANDARD

SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11th day of November, 2023.

WITNESS OUR HANDS, this 11th day of November, 2023.

Planning & Zoning Commission, Chairman

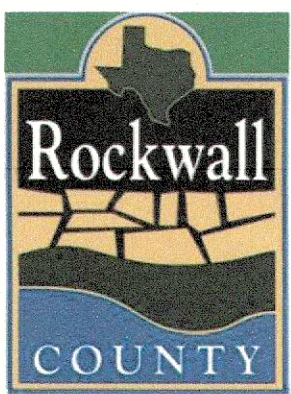
Director of Planning and Zoning

Parkhill

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Parkhill.com

Rockwall County Annex



CLIENT

Rockwall County

1111 E Yellowjacket Lane
Rockwall, TX 75037

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
Phone Number: 972-987-1670

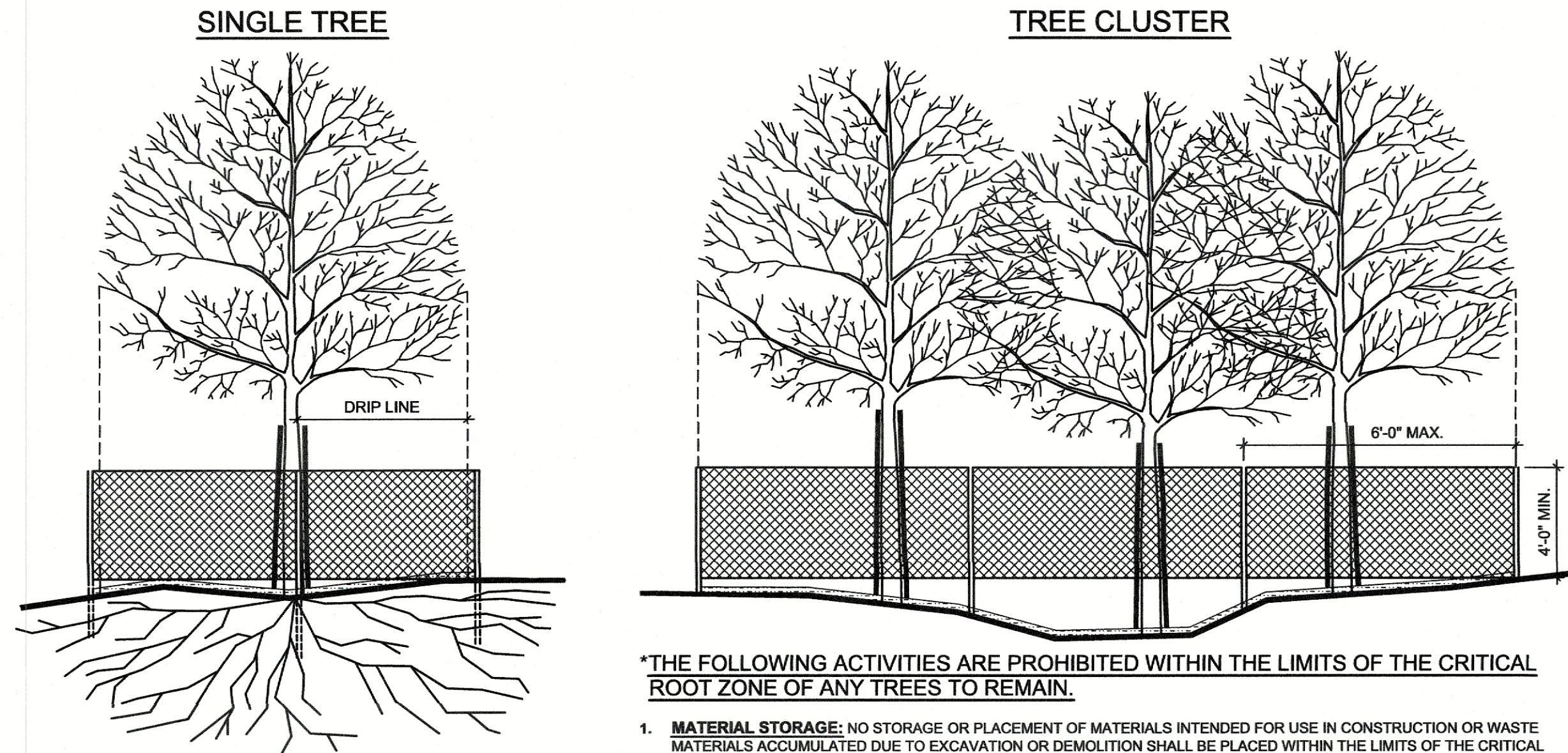
Owner Contact Information

Name: Rockwall County
Address: 101 East Rusk Street, Rockwall,
Texas, 75087
Phone Number: 972-204-6000

#	DATE	DESCRIPTION
2	11/07/2023	Site Plan Re-Submittal #1
1	10/20/2023	Site Plan Submittal

Landscape
Details
LD501

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***CRITICAL ROOT ZONE:**
THE AREA OF UNDISTURBED NATURAL SOIL AROUND A TREE DEFINED BY A CONCENTRIC CIRCLE WITH A RADIUS TO THE DISTANCE FROM THE TREE TRUNK TO THE OUTERMOST PORTION OF THE DRIP LINE.

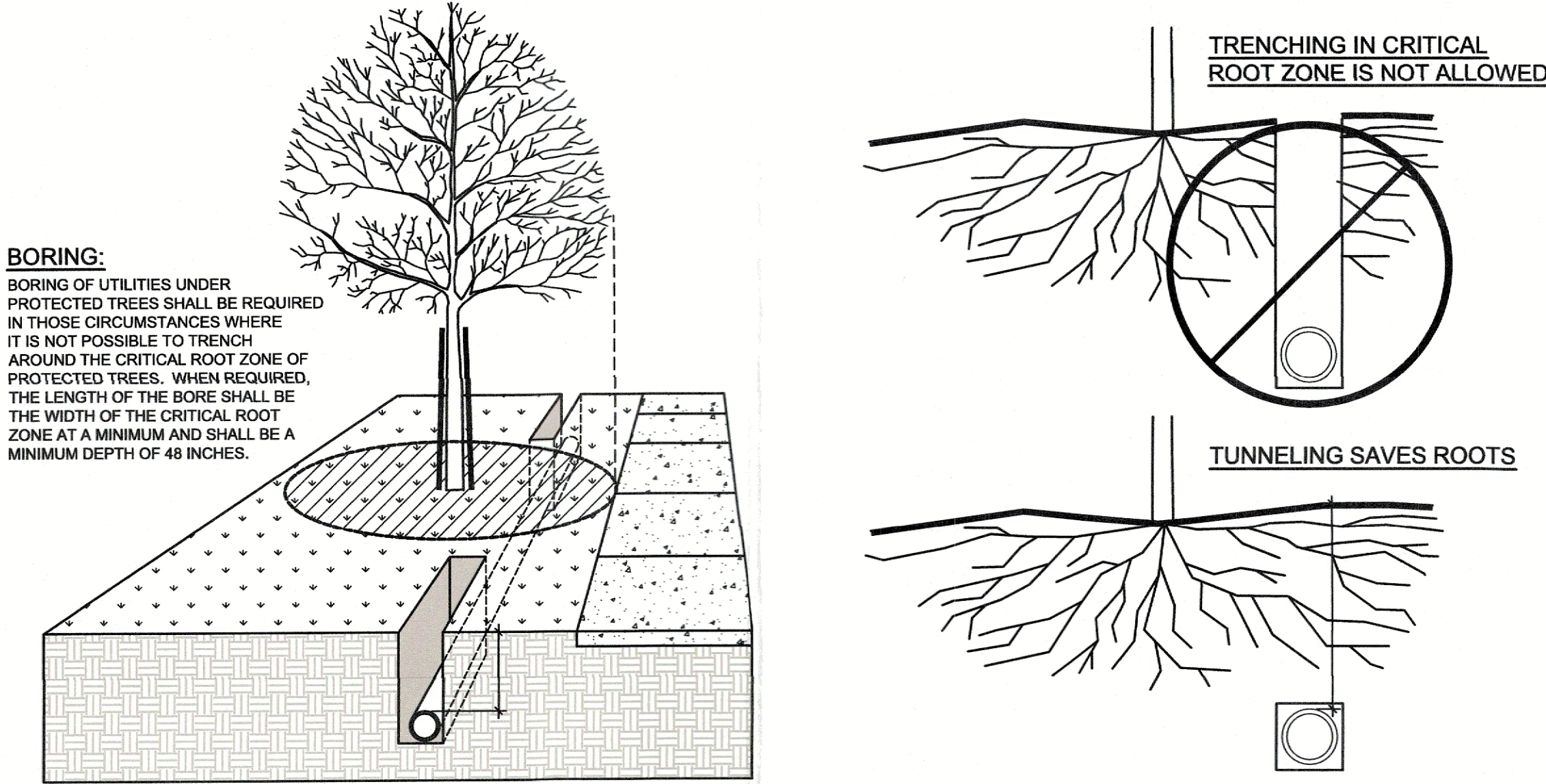
DRIP LINE:
A VERTICAL LINE RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF A TREE AND EXTENDING TO THE GROUND.

PROTECTIVE FENCING:
ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING, OR OTHER SIMILAR FENCING AS SPECIFIED AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF SIX FOOT (6') INTERVALS BY APPROVED METHOD SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THIS FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL.

TREE PROTECTION NOTES

- A. THE CONTRACTOR SHALL PROTECT THE TREE AND PLANT PROTECTION ZONE AT ALL TIMES FROM COMPACTION OF THE SOIL; DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.
- B. THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION ZONE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE, INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND SHALL NOT PERMIT EMPLOYEES TO TRAVERSE THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE AREA FOR LUNCH OR ANY OTHER WORK BREAKS. PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAY BE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW.
- C. TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PART 8) AND BE PERFORMED UNDER SUPERVISION OF AN ARBORIST.
- D. TRUNK PROTECTION ONLY WHERE FENCE IS NOT CONSTRUCTIBLE: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A RING OF 8 FOOT LONG 2 INCH X 6 - INCH PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD. REMOVE TRUNK PROTECTION UPON SUBSTANTIAL COMPLETION.

TREE TRENCHING AND TUNNELING



TREE TRENCHING AND TUNNELING NOTES

- A. IN THE EVENT THAT CONSTRUCTION ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY, AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.
- B. WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN WOOD CHIPS AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITH OUT THE APPROVAL OF THE OWNERS REPRESENTATIVE. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.

A1 TYPICAL TREE PROTECTION
1/2" = 1'-0"

PLANT DET 6 REV

SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 11th day of November, 2023.

WITNESS OUR HANDS, this 11th day of November, 2023.

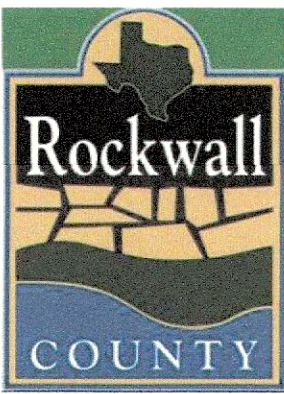
Planning & Zoning Commission, Chairman
Chairman of Planning and Zoning

Parkhill

THIS DOCUMENT IS RELEASED ON NOVEMBER 7, 2023 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF LANDON G. BELL, R.L.A., TEXAS LICENSE #3245. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC.

Parkhill.com

Rockwall County Annex



CLIENT

Rockwall County

1111 E Yellowjacket Lane
Rockwall, TX 75037

PROJECT NO.

11987.22

KEY PLAN

Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: SP2023-034
Proposed Land Use: Commercial

Designer Information:

Name: Parkhill
Address: 3000 Internet Blvd Suite 550,
Frisco, Texas 75034
Phone Number: 972-987-1670

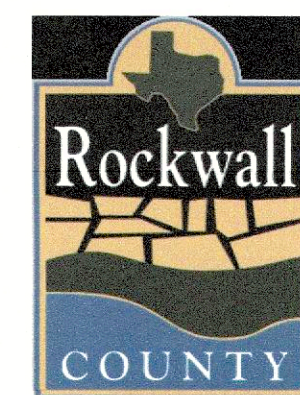
Owner Contact Information

Name: Rockwall County
Address: 101 East Rusk Street, Rockwall,
Texas, 75087
Phone Number: 972-204-6000

2 11/07/2023 Site Plan Re-Submittal #1
1 10/20/2023 Site Plan Submittal

DATE DESCRIPTION

Landscape
Details
LD502



CLIENT

Rockwall County

1111, E Yellow Jacket Ln
Rockwall, TX 75037

PROJECT NO.

11987.22

ROCKWALL COUNTY ANNEX

01/03/2024 Design Development

DATE DESCRIPTION

CASE NUMBER:

SP-2023-034

Exterior
Elevations

A-201

GENERAL NOTES

- A. ALL ROOF MOUNTED EQUIPMENT TO BE MOUNTED ON "ROOF HIGH" LEVEL BEHIND STANDING SEAM ROOF PARAPET.
B. ROOF PARAPET TO BE COMPLETELY ENCLOSED, AT UPPER/LOWER ROOFS. INTERIOR FACE OF ROOF HIGH PARAPET TO MATCH STUCCO ON EXTERIOR FACE.

KEY NOTES

- AS INDICATED BY: #
- 363 PREFIN MTL COPING
461 ALUMINUM CANOPY 3' X 10'
462 STANDING SEAM METAL CANOPY
463 ROOF LINE BEHIND PARAPET/ROOF HEIGHT
464 DOWNSPOUT WITH SCUPPER
836 ROOFTOP MECH EQUIP. SCREENED BEHIND ROOF

LEGEND

- ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.
- Brick Type A - Acme Pacific Clay - Calico or comparable color
- ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.
- Brick Type B - Acme Pacific Clay - Morro Rock or comparable color
- ADHERED VENEER STONE OVER CONCRETE TILT PANEL.
- Natural Stone Veneers - Ashlar pattern - Heritage Manor or comparable color
- STUCCO
- Dryvit - 715 Licorice or comparable color
- STANDING SEAM METAL ROOF
- Awnitech - Black k or comparable color
- GLAZING

FACADE SURFACE AREA

EAST:	Brick Type A	= 1,482 sf	(57.4%)
	Brick Type B	= 41 sf	(1.6%)
	Thin Stone	= 711 sf	(27.6%)
	Stucco	= 345 sf	(13.4%)
	Total	= 2,581 sf	(100%)
WEST:	Brick Type A	= 1,383 sf	(54%)
	Brick Type B	= 55 sf	(2.2%)
	Thin Stone	= 767 sf	(29.9%)
	Stucco	= 357 sf	(13.9%)
	Total	= 2,562 sf	(100%)
NORTH:	Brick Type A	= 1,307 sf	(40.4%)
	Brick Type B	= 422 sf	(13%)
	Thin Stone	= 1,021 sf	(31.5%)
	Stucco	= 489 sf	(15.1%)
	Total	= 3,239 sf	(100%)
SOUTH:	Brick Type A	= 1,667 sf	(52.9%)
	Brick Type B	= 10 sf	(.3%)
	Thin Stone	= 1,004 sf	(31.8%)
	Stucco	= 473 sf	(15%)
	Total	= 3,154 sf	(100%)

SIGNATURE BLOCK

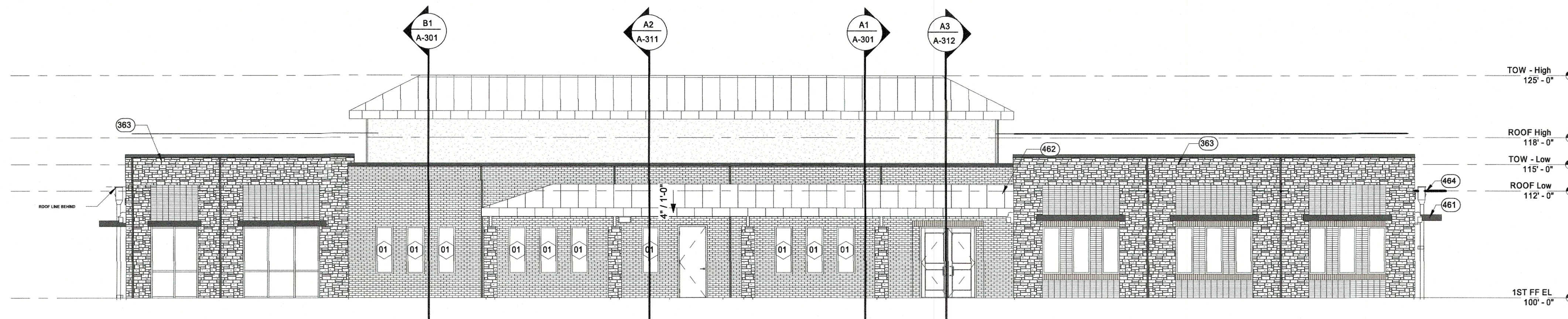
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 1st day of January, 2024.

WITNESS OUR HANDS, this 1st day of January, 2024.

[Signature]
Planning & Zoning Commission, Chairman

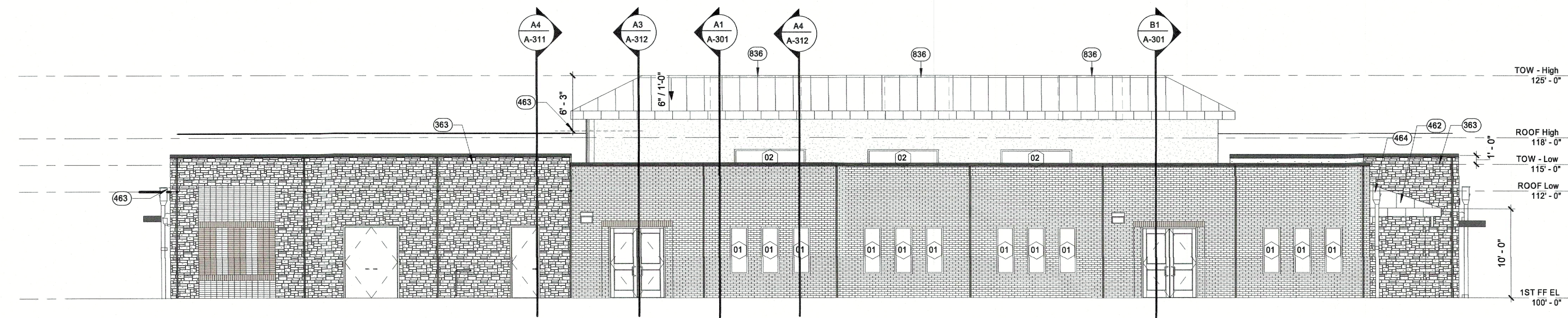
[Signature]
Director of Planning and Zoning

0 4' 8' 16'



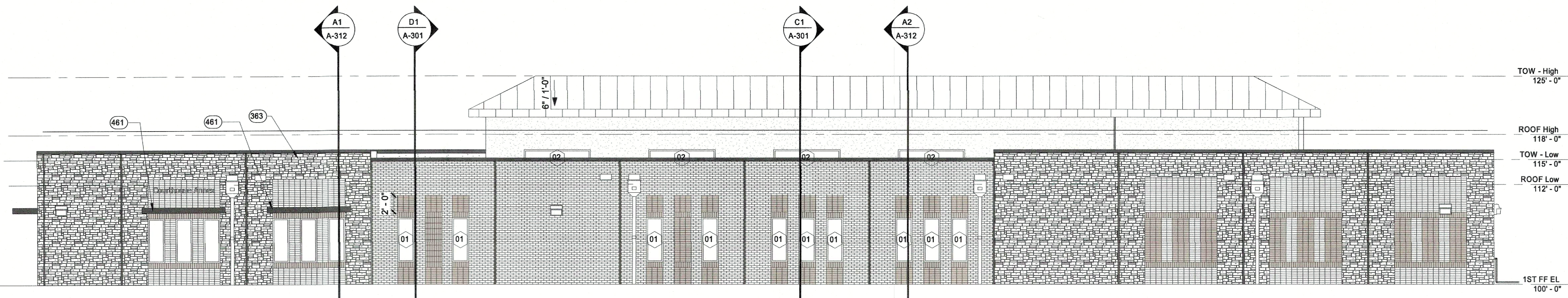
D1 EAST ELEVATION

1/8" = 1'-0"



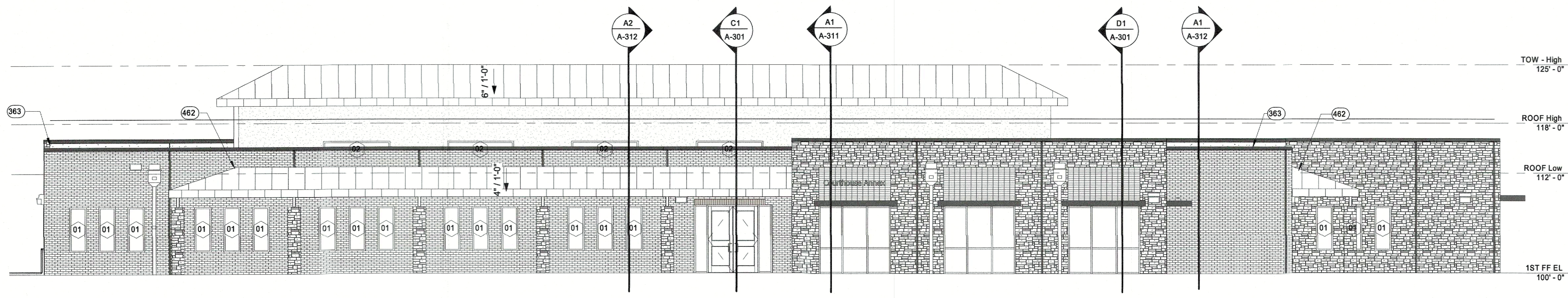
C1 WEST ELEVATION

1/8" = 1'-0"



B1 NORTH ELEVATION

1/8" = 1'-0"



A1 SOUTH ELEVATION

1/8" = 1'-0"



D1 3D View - SE
1" = 1'-0"



C1 3D View - SW
1" = 1'-0"

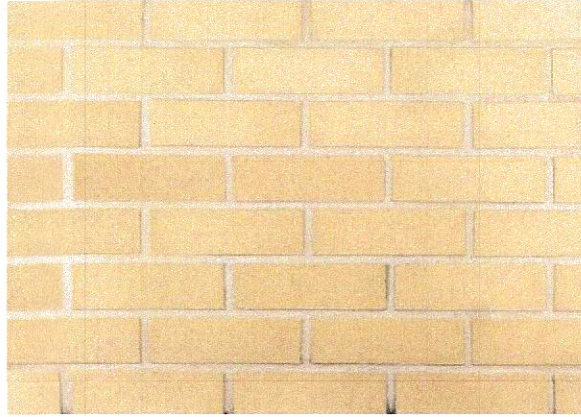


B1 3D View - NE
1" = 1'-0"

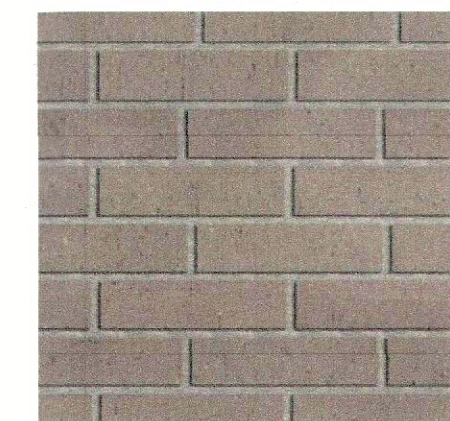


A1 3D View - NW
1" = 1'-0"

ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.
- Acme Pacific Clay - Chino or comparable color



ADHERED VENEER BRICK OVER CONCRETE TILT PANEL.
- Acme Pacific Clay - Monro Rock or comparable color



ADHERED VENEER STONE OVER CONCRETE TILT PANEL.
- Natural Stone Veneers - Heritage Manor or comparable color



STUCCO
- Tremco - Dark Bronze or comparable color

STANDING SEAM METAL ROOF
Black or comparable color

FLAT ROOF BEHIND PARAPET
TPO - Light Gray or comparable color

A4 Materials
1" = 1'-0"

ROOM SCHEDULE

Department	ROOM NUMBER	ROOM NAME	AREA
AUDITOR	170	CIRCULATION	631 SF
AUDITOR	172	DIRECTOR	199 SF
AUDITOR	171	MANAGER	123 SF
AUDITOR	173	SUPERVISOR	163 SF
AUDITOR	174	SUPERVISOR	161 SF
AUDITOR	170C	WORKSTATION	64 SF
AUDITOR	170A	WORKSTATION	62 SF
AUDITOR	170E	WORKSTATION	64 SF
AUDITOR	170D	WORKSTATION	62 SF
AUDITOR	170F	WORKSTATION	61 SF
AUDITOR	170B	WORKSTATION	65 SF
CIRCULATION	101	CIRCULATION	1,655 SF
CIRCULATION	140	CIRCULATION	2,496 SF
CIRCULATION	100	ENTRY	548 SF
			158 SF
			3,192 SF
COMMON/SUPPORT	163	BREAK ROOM	498 SF
COMMON/SUPPORT	105	DATA	80 SF
COMMON/SUPPORT	141E	ELEC	132 SF
COMMON/SUPPORT	166	ELECTRICAL	124 SF
COMMON/SUPPORT	141F	FIRE RISER	64 SF
COMMON/SUPPORT	106	JAN	80 SF
COMMON/SUPPORT	161	MAIL	215 SF
COMMON/SUPPORT	102	MEETING	191 SF
COMMON/SUPPORT	103	MEN'S RR	257 SF
COMMON/SUPPORT	121	RESTROOM	76 SF
COMMON/SUPPORT	144	STAFF RESTROOM	74 SF
COMMON/SUPPORT	143	STAFF RESTROOM	75 SF
COMMON/SUPPORT	142	WELLNESS ROOM	91 SF
COMMON/SUPPORT	104	WOMEN'S RR	251 SF
			2,208 SF
ELECTIONS	150	CIRCULATION	348 SF
ELECTIONS	154	DIRECTOR	196 SF
ELECTIONS	151	ELECTIONS STORAGE	2,516 SF
ELECTIONS	153	SUPERVISOR	145 SF
ELECTIONS	152	SUPERVISOR	145 SF
ELECTIONS	150C	WORKSTATION	64 SF
ELECTIONS	150D	WORKSTATION	64 SF
ELECTIONS	150E	WORKSTATION	64 SF
ELECTIONS	150A	WORKSTATION	64 SF
ELECTIONS	150B	WORKSTATION	64 SF
			3,670 SF
ENVIRONMENTAL HEALTH	130	CIRCULATION	215 SF
ENVIRONMENTAL HEALTH	133	DIRECTOR	201 SF
ENVIRONMENTAL HEALTH	132	SUPERVISOR	144 SF
ENVIRONMENTAL HEALTH	131	WORKSTATION	83 SF
			643 SF
GIS	135	CIRCULATION	133 SF
GIS	137	DIRECTOR	193 SF
GIS	136	SUPERVISOR	112 SF
			438 SF
INDIGENT HEALTH	122	CIRCULATION	231 SF
INDIGENT HEALTH	123	DIRECTOR	147 SF
INDIGENT HEALTH	120	LOBBY	106 SF
INDIGENT HEALTH	122S	STORAGE	87 SF
INDIGENT HEALTH	124	WORKSTATION	107 SF
			679 SF
MULTI-PURPOSE	160S	CHAIR STORAGE	174 SF
MULTI-PURPOSE	160	MULTI-PURPOSE	2,020 SF
			2,194 SF
			1,032 SF
STORAGE	134	STORAGE	1,032 SF
			1,032 SF
TAX OFFICE	112	BACK OF HOUSE	208 SF
TAX OFFICE	116	DIRECTOR	209 SF
TAX OFFICE	115	MANAGER	128 SF
TAX OFFICE	162	RECEIVING	299 SF
TAX OFFICE	117	STORAGE	671 SF
TAX OFFICE	114	SUPERVISOR	162 SF
TAX OFFICE	113	TRANSACTION DESKS	493 SF
TAX OFFICE	111	TRANSACTION DESKS	416 SF
TAX OFFICE	110	WAITING	1,141 SF
			3,727 SF
VETERAN SERVICES	125	CIRCULATION	257 SF
VETERAN SERVICES	126	DIRECTOR	203 SF
			460 SF
			19,896 SF

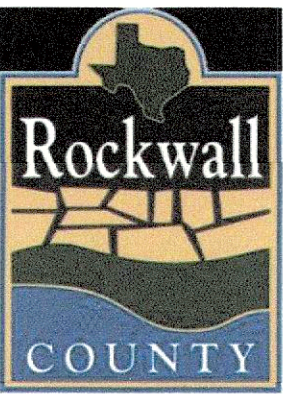
Grand total: 64

SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12th day of October, 2023.

WITNESS OUR HANDS, this 12th day of October, 2023.

[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning and Zoning



CLIENT

Rockwall County

1111, E Yellow Jacket Ln
Rockwall, TX 75037

PROJECT NO.

11987.22

ROCKWALL COUNTY ANNEX

12/01/2023 Site Plan

DATE DESCRIPTION

CASE NUMBER:

SP-2023-034

Plot										
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	W1		1	Lithonia Lighting	WST LED P3 40K VF MVOLT	WST LED, Performance package 3, 4000 K, visual comfort forward throw, MVOLT	1	6609	0.8	50
	W2		2	Lithonia Lighting	WST LED P1 40K MvOLT	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts	1	1568	0.8	11.47
	C/CE		10	Lithonia Lighting	LDN6 40/07 L06AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRJ80	1	679	0.8	8.91
	AA		1	Lithonia Lighting	ESX1 LED P3 40K R5	ESX LED Area Luminaire Size 1 P3 Lumen Package 4000K CCT Type R5 Distribution	1	21680	0.8	146.35

Symbol					
Description	Avg	Max	Min	Max/Min	Avg/Min
Existing Parking Lot	0.3 fc	8.6 fc	0.0 fc	N/A	N/A
Existing Parking Lot Canopy	0.8 fc	3.1 fc	0.0 fc	N/A	N/A
FIRELANE ROAD	0.3 fc	5.8 fc	0.0 fc	N/A	N/A
Front Canopy	0.8 fc	3.1 fc	0.0 fc	N/A	N/A
New Parking Lot	0.9 fc	5.7 fc	0.0 fc	N/A	N/A
Yellow Jacket Lane Sidewalk	0.2 fc	1.9 fc	0.0 fc	N/A	N/A

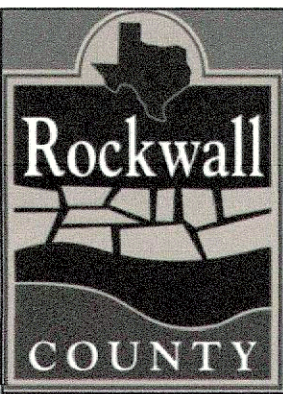
PARKING LOT COUNT		
	REQUIRED	PROVIDED
EXISTING REGULAR SPACES	N/A	29
PROPOSED REGULAR SPACES	15	40
ACCESSIBLE SPACES	3	4
TOTAL SPACES	72	73

- KEY NOTES
- AS INDICATED BY: (00)
1. DRIVEWAY - SEE DETAIL XX/CS501
 2. PARALLEL CURB RAMP - SEE DETAIL B4/CS501
 3. STRAIGHT HANDICAP RAMP AT RADIUS - SEE DETAIL B1/CS501
 4. PARKING BLOCK - SEE DETAIL B3/CS501
 5. HANDICAP SIGN WITH "VAN ACCESSIBLE" PLACARD - SEE DETAIL A4/CS502
 6. HANDICAP MARKING - SEE DETAIL A3/CS502
 7. ACCESS AISLE MARKING - SEE DETAIL A2/CS502
 8. HANDICAP SIGN - SEE DETAIL A1/CS502
 9. RELOCATED LIGHT POLE - SEE DEMOLITION PLANS. COORDINATE WITH ELECTRICAL.



Parkhill.com

Rockwall County Annex



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1111 E Yellowjacket Lane
Rockwall, TX 75037

PROJECT NO.
11987.22

KEY PLAN
Lot 1, Block A, 12.79 Ac. Rockwall County Courthouse Addition
Plat Cabinet "H" Slide 131
Case Number: N/A
Proposed Land Use: Commercial

Designer Information:
Name: Parkhill
Address: 3000 Internet Blvd Suite 550, Frisco, Texas 75034
Phone Number: 972-987-1670

Owner Contact Information
Name: Rockwall County
Address: 101 East Rusk Street, Rockwall, Texas, 75087
Phone Number: 972-204-6000

Electrical
Photometric
Plan
E101

- SITE PLAN NOTES
- A. FIRE LANE MARKING SHALL BE 6" WIDE RED BACKGROUND STRIPE WITH 4" WHITE LETTERS USING 3/4" STROKE STATING "NO PARKING FIRE LANE". PAINT EVERY 25' ON CENTER ALONG THE FIRE LANE. PLACE FIRE LANE MARKING ON THE VERTICAL SURFACE OF THE CURB WHEN PRESENT OR ON THE PARKING SURFACE WHEN NOT.
 - B. FIRE LANE MARKING SHOWN IS REPRESENTATIONAL. FIRE LANE MARKING SHALL BE A MINIMUM OF 20' APART OR 26' APART WHEN ADJACENT TO BUILDINGS OVER 30' HIGH. FIRE LANE MARKING SHALL BE PAINTED ON A CURB FACE WHERE THE REPRESENTATIONAL MARKING IS SHOWN NEXT TO A CURB. COORDINATE FIRE LANE MARKINGS WITH CITY OF ROCKWALL FIRE MARSHAL PRIOR TO INSTALLATION. XXX-XXX-XXXX.
 - C. INSTALL FIRE APPARATUS ACCESS ROADS AND MAKE SERVICEABLE PRIOR TO THE START OF BUILDING FRAMING.
 - D. STRIPING WIDTH = 4". STRIPE COLOR = WHITE. HANDICAP AND MEDIAN ISLAND STRIPES (YELLOW). PLACE DIAGONAL STRIPES (45°) AT 24" ON CENTER.
 - E. CALL THE ONE CALL SYSTEM (811) PRIOR TO CONSTRUCTION.
 - F. LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING FEATURES AT CONTRACTOR'S EXPENSE.
 - G. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE LATEST CITY OF ROCKWALL DESIGN STANDARDS, REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
 - H. FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) AND COMPLY WITH EPA & TCEQ STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
 - I. EARTHWORK AND BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO 95% MODIFIED PROCTOR (ASTM D-1557), WITHIN 2% OF OPTIMUM MOISTURE CONTENT, PRIOR TO PLACEMENT OF IMPROVEMENTS.
 - J. DOWEL SIDEWALKS INTO PAVEMENT AT TIE-INS TO EXISTING SLABS, AND TO DRIVEWAY PAVEMENTS. INSTALL EXPANSION JOINT MATERIAL WHERE PAVEMENT ABUTS EXISTING STRUCTURES FOR ISOLATION PURPOSES.
 - K. DO NOT INSTALL STEEL REINFORCEMENT IN CONCRETE LOCATED WITHIN THE PUBLIC RIGHT OF WAY. USE FIBER MESH PER CITY REQUIREMENTS.
 - L. ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
 - M. CONTRACTOR IS TO SCHEDULE A PRE-PAVING MEETING WITH THE ENGINEER AT LEAST 7 DAYS PRIOR TO ANY PAVING.

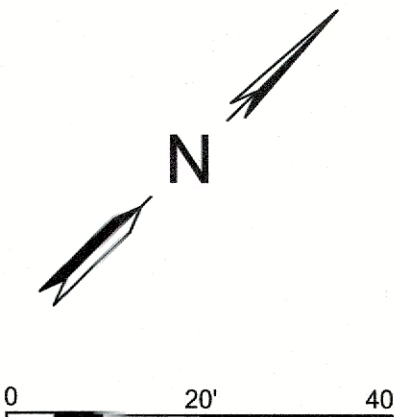
Lighting fixture "AA" mounted at 15'-0" with 0'-30" concrete base.

SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 12 day of December, 2023.
WITNESS OUR HANDS, this 12 day of December, 2023.

Planning & Zoning Commission, Chairman
Director of Planning and Zoning

- LEGEND
- PROPERTY LINE
 - BUILDING SETBACK LINE
 - FIRE LANE MARKING - SEE DETAIL A5/CS501 & NOTE THIS SHEET
 - EXISTING EASEMENT
 - SIDEWALK - SEE DETAIL CS503
 - 6" HEAVY DUTY CONCRETE PAVEMENT - SEE DETAIL A3/CS501
 - 5" STANDARD DUTY CONCRETE PAVEMENT - SEE DETAIL A1/CS501



A1 SITE PLAN
1" = 20'

A:\2022\11987.22\03_DSGN01_DWG050_CIVIL\00_SHEETS\CS101-11987.DWG, 10/19/2023 1:52 PM, jones