



LOCATION MAP
N.T.S.


EXISTING		LEGEND		PROPOSED
— — — — —		PROPERTY LINE		— — — — —
=====		PAVEMENT		=====
— — — — —		CENTER LINE		
		CONC WALK		[.....]
		PARKING COUNT		(13)
		STACKING		[.....] 9'
				20'
——— W ———		WATER		—————
——— S ———		SEWER		—————
——— FM ———		FORCE MAIN		—————
⊗ ⊗ ⊗ ⊗ ⊗ ⊗		STORM SEWER		—————
——— OHU ———		ELEC		——— E ———
——— GAS ———		GAS		——— G ———
		TELEPHONE		——— T ———
		FENCE		——— O ———
		WATER VALVE		— —
		FIRE HYDRANT		●
		FDC		◊
◇		WATER METER		
⊙		SAN. SEWER MH		
		CURB INLET		□ C.I.
		GRATE INLET		◻ G.I.
		LIGHT POLE		□ →

<u>SITE SUMMARY TABLE</u>			
Site Address	GOLIAD		
County	ROCKWALL		
Project Name	KENNOR ROCKWALL RETAIL		
Zoning District	GR W/N. SH 205 OVERLAY DISTRICT		
Proposed use	RETAIL/REST.		
Site Area:	1.93 Acres 83,951 S.F.		
Building Area	11,713 S.F.		
Building Height:	1 Story		
Lot Coverage:	11,713 / 83,951 = 13.95%		
Floor Area Ratio:	11,713 S.F. / 83,951 = 1:14.0		
Parking Required Building:	11,713 S.F.		
	RETAIL 1 SPCS/250 SF (4,713 SF/250) = 19 SPACES		
	REST. 1 SPCS/100 SF (7,000 SF/100) = 70 SPACES		
Total Parking Required:	= 89 SPACES		
Parking Provided:	REGULAR	=	90 SPACES
	ACCESSIBLE	=	4 SPACES
	TOTAL	=	94 SPACES
Impervious Area:	67,179 S.F.		
Impervious Area Ratio:	67,179 S.F. / 83,951 = 80.02%		
Pervious Area Ratio:	16,772 S.F. / 83,951 = 19.98%		


SITE PLAN
KENNOR ROCKWALL RETAIL
LOTS 8 & 9, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
NOVEMBER 09, 2023
CASE #SP2023-036

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 17 DAY OF November, 2023.

WITNESS OUR HANDS, THIS 14 DAY OF November, 2023.



PLANNING & ZONING COMMISSION, CHAIRMAN



DIRECTOR OF PLANNING AND ZONING

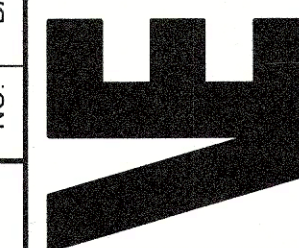
NOTES

1. TOPOGRAPHY SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC,. DATED 06/28/2023.
2. PROPERTY OWNER RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEM.

OWNER/DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-278-2948
TX Registration # F-12266



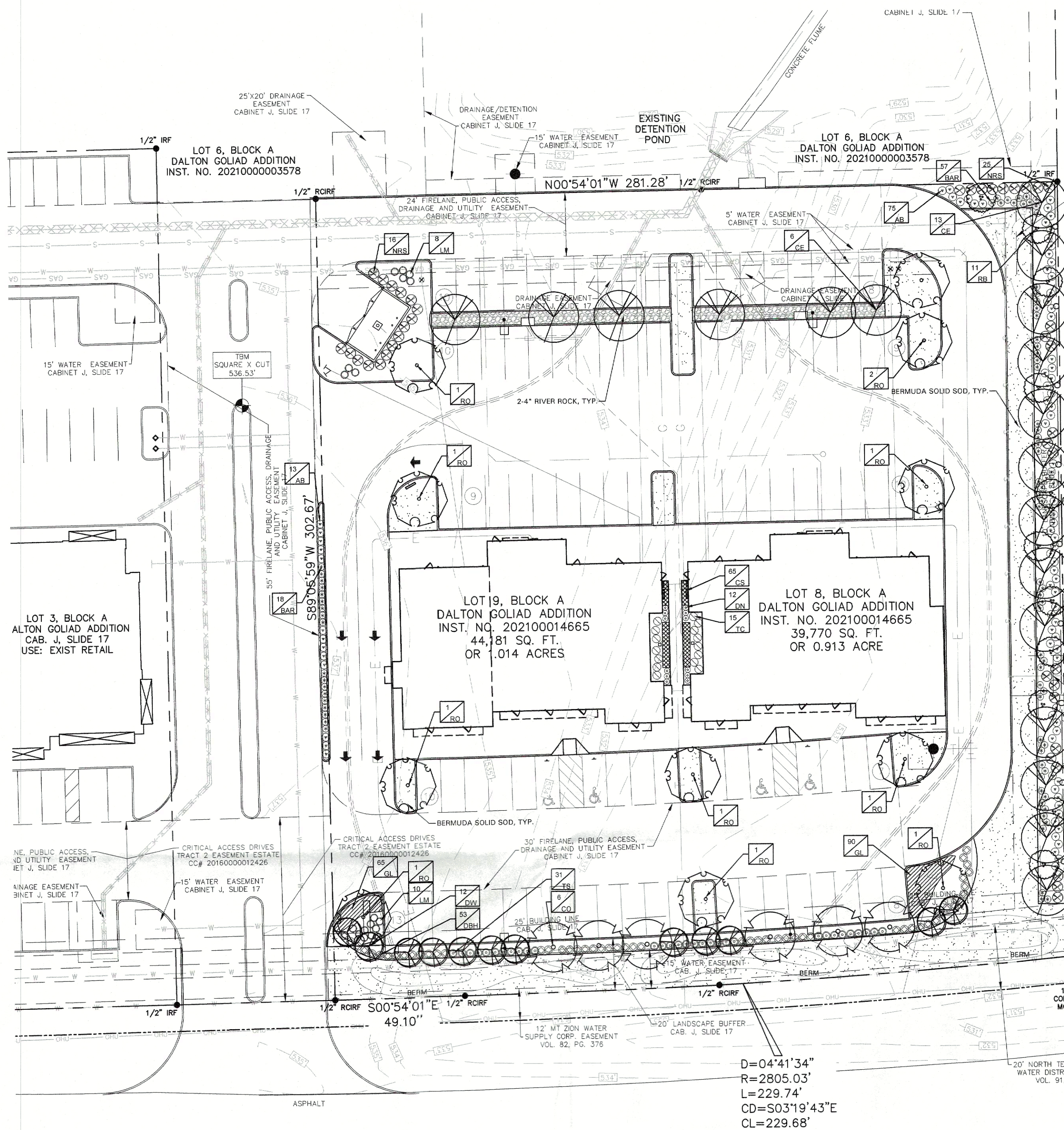
THIS DOCUMENT IS FOR
INTERIM REVIEW AND IS
NOT INTENDED FOR
CONSTRUCTION, PERMITTING
OR BIDDING PURPOSES
JUAN J. VASQUEZ, P.E.
TEXAS NO. 85952
DATED 11/09/2023
VASQUEZ ENGINEERING, L.L.C.
TX REG. E-12098

DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

SITE PLAN

Scale: 1" = 30'
Designed by: JJV
Drawn by: DRS
Checked by: JJV
20-01/DWG/SITE PLAN

SHEET
SP1



PLANT SCHEDULE					
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
19	CE	Cedar Elm	Ulmus crassifolia	4" cal.	12' ht., 4' spread, matching
6	CO	Chinkapin Oak	Quercus muhlenbergii	4" cal.	12' ht., 4' spread, matching
11	RO	Texas Red Oak	Quercus texana	4" cal.	12' ht., 4' spread, matching

LOT 27, BLOCK C
HARLAN PARK -
PHASE TWO
CAB. C, SLD. 266
USE: SINGLE FAMILY

LOT 28, BLOCK C
HARLAN PARK -
PHASE TWO
CAB. C, SLD. 266
USE: SINGLE FAMILY

LOT 29, BLOCK C
HARLAN PARK -
PHASE TWO
CAB. C, SLD. 266
USE: SINGLE FAMILY

LOT 30, BLOCK C
HARLAN PARK - PHASE TWO
CAB. C, SLD. 266
USE: SINGLE FAMILY

ORNAMENTAL TREES

12	DW	Desert Willow	Chilopsis linearis	30 gal.	8' ht., 4' spread, multi trunk, 3 cane min.
11	RB	Oklahoma Redbud	Cercis reniformis 'Oklahoma'	30 gal.	8' ht., 4' spread, 3 trunk min.

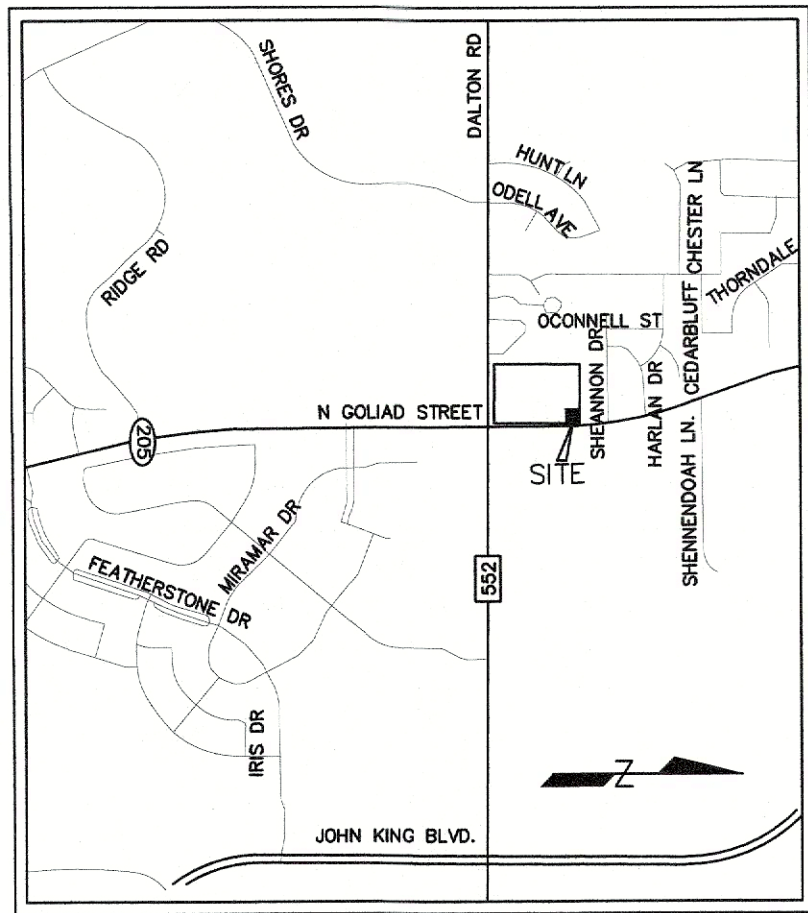
SHRUBS

88	AB	Edward Goucher Abelia	Abelia x grandiflora 'Edward Goucher'	5 gal.	full, 20" spread, 36" o.c.
77	BAR	Crimson Pymy Barberry	Berberis thunbergii 'Crimson Pymy'	5 gal.	full, 20" sprd, 30" o.c.
53	DBH	Dwarf Burford Holly	Ilex cornuta 'Burford Nana'	5 gal.	full, 20" spread, 36" o.c.
12	DN	Dwarf Nandina 'Flirt'	Nandina domestica 'Flirt'	5 gal.	full, 30" o.c.
18	LM	Lindheimer Muhly Grass	Muhlenbergia lindheimeri	5 gal.	full, 24" spread, 36" o.c.
41	NRS	Nellie R Stevens Holly	Ilex x 'Nellie R. Stevens'	7 gal.	full, 40" o.c.
15	TC	Turk's Cap	Malvacus arboreus var. 'Drummondii'	7 gal.	full, 24" sprd, 30" o.c.
31	TS	Texas Sage 'Green Cloud'	Leucophyllum frutescens 'Green Cloud'	5 gal.	full, 24" sprd, 36" o.c.

GROUND COVER/VINES/GRASS

65	CS	Carex Sedge 'Everillo'	Carex Everillo	1 gal.	full, 18" o.c.
155	GL	Giant Liriope	Liriope gigantea	1 gal.	full, 18" o.c.
				Bermuda Solid Sod TifTuf	
				2-4" River Rock	

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.



LOCATION MAP
N.T.S.

LANDSCAPE TABULATIONS ROCKWALL, TEXAS

NON RESIDENTIAL BUFFERS ABUTTING R.O.W.

- Buffer strips shall be a minimum of 20' wide along the entire length of the property's frontage abutting the right of way. All landscape buffers shall incorporate groundcover, a built up berm and shrubbery. Berms and shrubs shall have a minimum height of 30".
- One canopy tree and one accent tree shall be incorporated for every 50 l.f.
- Per Article 5, subsection 6.02 - Two shade trees shall be provided for every 100 l.f.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
berm and/or shrubs	shrubs 36" ht.
6 canopy trees, 4" cal.	6 canopy trees, 4" cal.
12 accent trees, 4" ht.	12 accent trees, 4" ht.

REQUIRED	PROVIDED
6 canopy trees, 4" cal.	6 canopy trees, 4" cal. Provided in median

NON RESIDENTIAL ABUTTING RESIDENTIAL

- Buffer of 20' shall be placed between non residential and residential properties
- 6' wrought iron fence with three tiered screening (1 small to mid sized shrub, large shrubs or accent trees and canopy trees along the entry length of adjacency with canopy trees being placed 20' o.c.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
6' ht. wrought iron fence	6' ht. wrought iron fence
3 tier landscape	3 tier landscape

PARKING LOT LANDSCAPE

- Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.
- There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars.

REQUIRED	PROVIDED
36" screen	36" screen
10 canopy trees, 4" cal.	10 canopy trees, 4" cal.

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GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
- LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION
- CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. APPROVED BY THE OWNERS CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLOS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY

SOLID SOD

- SOD SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM, THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLANS
- SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/- 1/4"), EXCLUDING TOP GROWTH AND THATCH
- LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS
- TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY
- SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS
- SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

HYDROMULCH

- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION
- BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS
- FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE 'FIBER TACK ONE' AS MANUFACTURED BY GROWERS, INC. OR APPROVED EQUAL
- HYDROMULCH WITH BERMUDA GRASS SEET AT A RATE OF 2 POUNDS PER 1000 S.F.
- USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY
- IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER SEEDED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT
- AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION
- ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE

LANDSCAPE NOTES

- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS
- CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES
- A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 1" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS
- LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE
- PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE
- EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBS
- QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST
- TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS
- 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED
- WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAC 146 WEED BARRIER OR APPROVED EQUAL
- CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS

IRRIGATION

- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR

MAINTENANCE REQUIREMENTS

- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE
- MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNERS REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE
- ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL

MISCELLANEOUS MATERIALS

- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURADUR STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS
- RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC

IRRIGATION WILL MEET THE
REQUIREMENTS OF THE UNIFIED
DEVELOPMENT CODE (UDC).
(SUBSECTION 05.04, OF ARTICLE 08)

NO EXISTING TREES ON SITE.

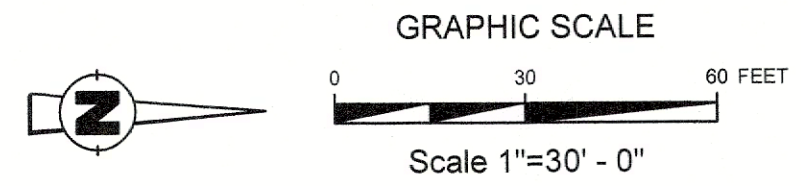
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 11 DAY OF November, 2023.

WITNESS OUT HANDS, THIS 11 DAY OF November 2023

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



AWR Designs, LLC
P.O. Box 1746
Aledo, Texas 76008
amandaj@awr-designs.com
c. 512.517.5589

OWNER/DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

LANDSCAPE PLAN
KENNOR ROCKWALL RETAIL
LOTS 8 & 9, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
NOVEMBER 9, 2023
CASE #SP2023-036

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-272-2948
TX Registration # T-12266



DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

LANDSCAPE PLAN
KENNOR ROCKWALL RETAIL
LOT 8, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX

Scale: 1" = 30'
Designed by: JUV
Drawn by: DRS
Checked by: JUV
720-010W/SITE PLANS/SP1-SITE PLAN.dwg
Date: 11/9/2023

SHEET
L1.1

SECTION 32 9300 - LANDSCAPE
PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR

- A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING

1.2 REFERENCE DOCUMENTS

- A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS

1.3 SCOPE OF WORK / DESCRIPTION OF WORK

- A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISIONS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:

1. PLANTING (TREES, SHRUBS, GRASSES)
2. BED PREP AND FERTILIZATION
3. NOTIFICATION OF SOURCES
4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
5. GUARANTEE

- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS, REQUIRED BY, AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.

- C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK

1.4 REFERENCES

- A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN, 27 OCTOBER 1980, EDITION, BY AMERICAN NATIONAL STANDARDS INSTITUTE (Z60.1) - PLANT MATERIAL
B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE, 1942 EDITION OF STANDARDIZED PLANT NAMES
C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS

1.5 SUBMITTALS

- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.
B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.

- C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.
D. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.

- E. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.

- F. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.

- G. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

- H. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.

- I. MAINTENANCE AND GUARANTEE

- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE

- B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK

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- E. MAINTENANCE AND GUARANTEE

- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.

- B. NO TREES, GRASS, GROUND COVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.

- C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, MOVING OF TREES, MOVING OF TREES, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.

- D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.

- E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.

- F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD

- G. REMOVE CUTTINGS AND STAKING MATERIALS AFTER ONE YEAR

- H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOVED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.

- I. REMOVE TRASH, DEBRIS, AND LITTER, WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AS REQUIRED.

- J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM

- K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SCHEDULE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.

- L. REAPPLY MULCH TO BARE AND THIN AREAS.

- M. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.

- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:

- a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY. ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.

- b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.

- c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOVED.

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- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.

- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.

- F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.

- G. OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS HE/SH/FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REPLACED.

- H. PRODUCT DELIVERY, STORAGE AND HANDLING

- A. PREPARATION

1. BALLED AND BURLAPPED BAB PLANTS: DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.

2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.

- B. DELIVERY

1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE.

2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.

3. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.

4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICATION OF LEAVES.

5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.

6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.

7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.

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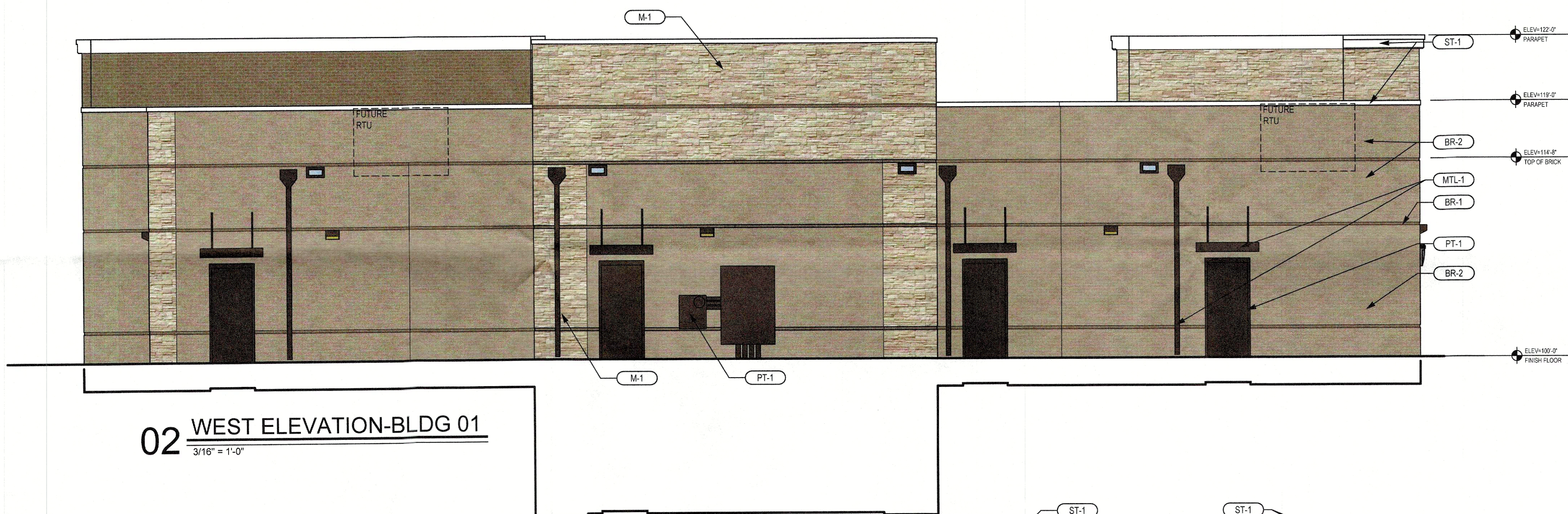
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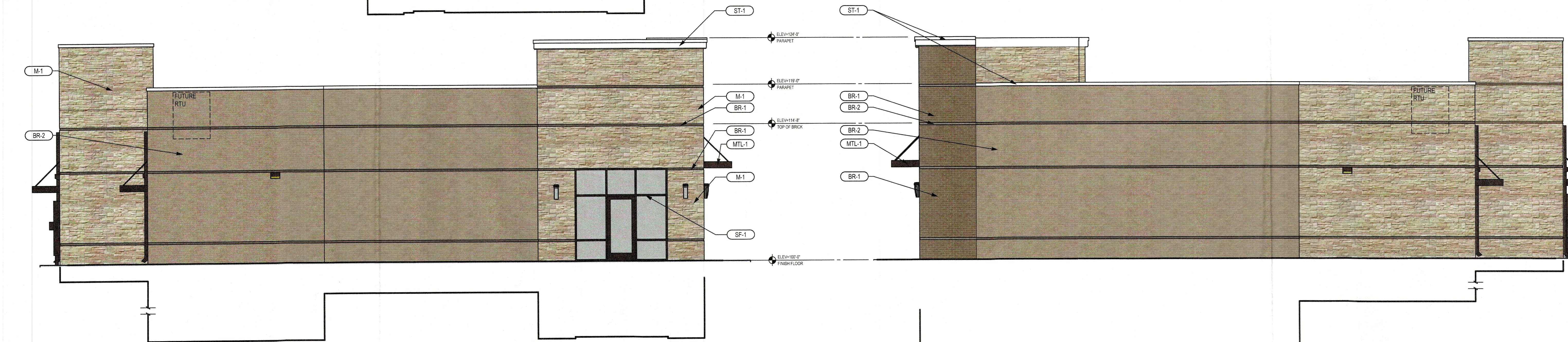
61. TO



01 EAST ELEVATION-BLDG 01 (PRIMARY FACADE)
3/16" = 1'-0"



02 WEST ELEVATION-BLDG 01
3/16" = 1'-0"



04 SOUTH ELEVATION-BLDG 01
3/16" = 1'-0"

03 NORTH ELEVATION-BLDG 01
3/16" = 1'-0"

FINISH SCHEDULE				
FINISH KEY	DESCRIPTION / LOCATION	COLOR / MATERIAL	MANUFACTURER / FINISH	NOTES
PT-1	PAINT	SW7645 THUNDER GRAY	SHERWIN WILLIAMS	MED BRONZE MATCH
BR-1	BRICK VENEER	BROWN MUSHROOM	ACME BRICK	GRAY MORTAR
BR-2	BRICK VENEER	AMERICANA	ACME BRICK	GRAY MORTAR
SF-1	STOREFRONT SYSTEM	MEDIUM BRONZE	KAWNEER	CENTER SET
M-1	STONE	LUEDERS	LUEDERS STONE	
MTL-1	METAL TRIM/CANOPIES	MED BRONZE	BERRIDGE	DOWNSPOUTS TO MATCH
ST-1	SYNTHETIC STUCCO	35237 CLOUD	STO	FINE FINISH SW6203 COLOR MATCH

MATERIAL CALCULATIONS									
WALL AREA (ALL IN SF)		NORTH		SOUTH		EAST		WEST	
TOTAL FACADE AREA		1287		1289		2080		1960	
FACADE SF EXCLUDING DOORS & WINDOWS		1197		1273		1480		1876	
DOORS & WINDOWS		100		16		600		84	
FACADE CALCULATIONS									
	STONE	434	36%	370	29%	416	28%	588	31%
	BRICK (BR1)	143	12%	0	0%	535	36%	0	0%
	BRICK (BR2)	614	51%	883	69%	479	32%	1258	67%
	SYNTHETIC STUCCO (ST-1)	6	1%	20	2%	50	3%	30	2%
	TOTAL SF / % OF FACADE	1197	100%	1273	100%	1480	100%	1876	100%

NOTE - EAST ELEVATION FACES PUBLIC RIGHT OF WAY
NOTE - PARAPET TO BE ENCLOSED. BACKS OF PARAPETS TO BE FINISHED SAME AS FACING SIDE WHERE VISIBLE.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF November, 2023.

WITNESS OUR HANDS, THIS 14 DAY OF November, 2023

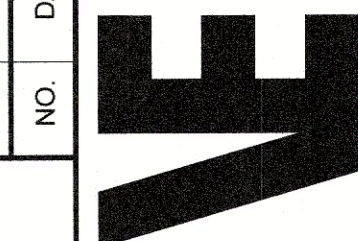
PLANNING & ZONING COMMISSION, CHAIRMAN

OWNER/DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

BUILDING ELEVATIONS
KENNOR ROCKWALL RETAIL
LOT 8 & 9, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 20, 2023
CASE #SP2023-036

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-272-2948
TX Registration # F-12266



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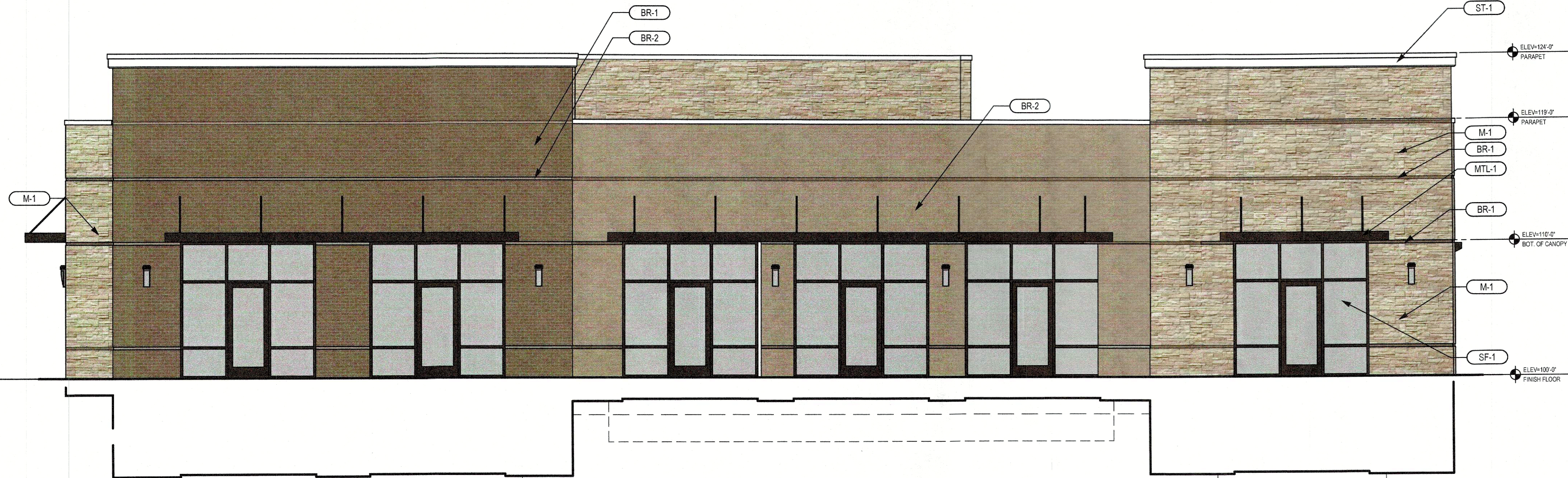
DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

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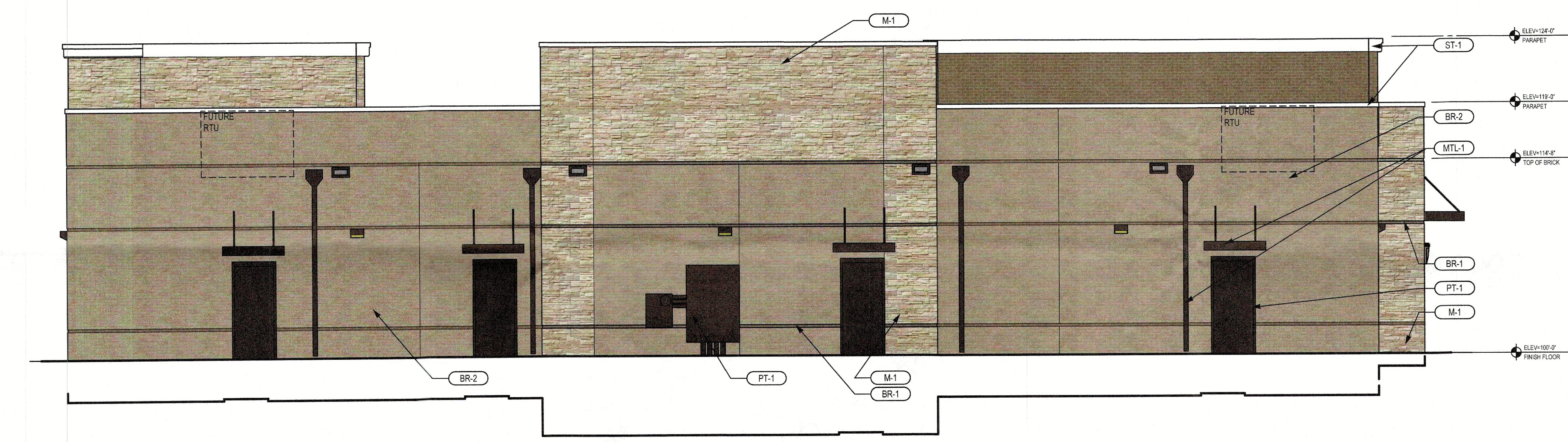
BUILDING ELEVATIONS - BLDG 01
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

Scale: 3/16" = 1'-0"
Designed by: KAB
Drawn by: KAB
Checked by: KAB
Date: 11/06/2023

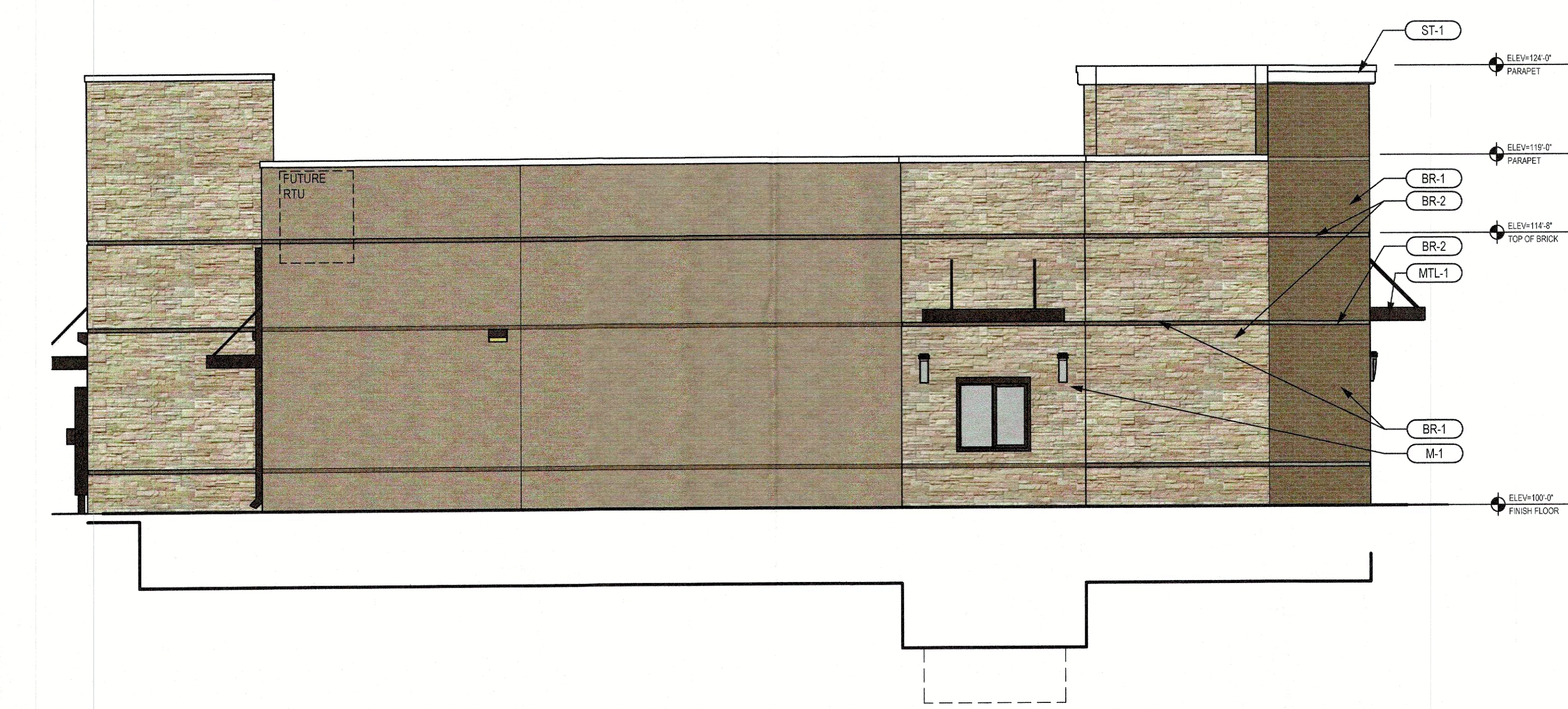
SHEET
A301



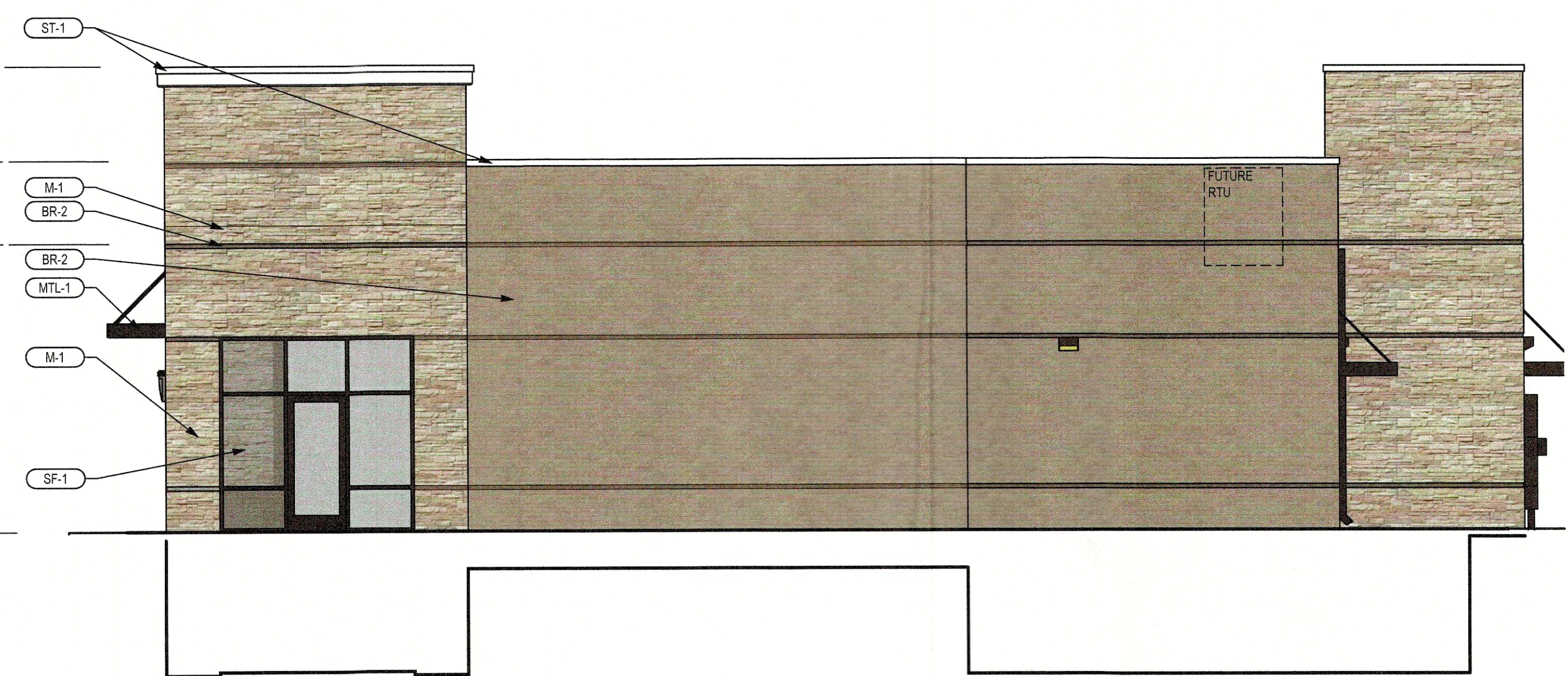
01 EAST ELEVATION-BLDG 02 (PRIMARY FACADE)
3/16" = 1'-0"



02 WEST ELEVATION-BLDG 02
3/16" = 1'-0"



04 SOUTH ELEVATION-BLDG 02
3/16" = 1'-0"



03 NORTH ELEVATION-BLDG 02
3/16" = 1'-0"

FINISH SCHEDULE				
FINISH KEY	DESCRIPTION / LOCATION	COLOR / MATERIAL	MANUFACTURER / FINISH	NOTES
PT-1	PAINT	SW7643 THUNDER GRAY	SHERWIN WILLIAMS	MED BRONZE MATCH
BR-1	BRICK VENEER	BROWN MUSHROOM	ACME BRICK	GRAY MORTAR
BR-2	BRICK VENEER	AMERICANA	ACME BRICK	GRAY MORTAR
SF-1	STOREFRONT SYSTEM	MEDIUM BRONZE	KAWNEER	CENTER SET
M-1	STONE	LUEDERS	LUEDERS STONE	
MLT-1	METAL TRIM/CANOPIES	MED BRONZE	BERRIDGE	DOWNSPOUTS TO MATCH
ST-1	SYNTHETIC STUCCO	35237 CLOUD	STO	FINE FINISH SW6203 COLOR MATCH

MATERIAL CALCULATIONS										
WALL AREA (ALL IN SF)			NORTH		SOUTH		EAST		WEST	
TOTAL FACADE AREA			1297		1289		2224		2097	
FACADE SF EXCLUDING DOORS & WINDOWS			1197		1273		1624		2013	
DOORS & WINDOWS			100		16		600		84	
FACADE CALCULATIONS										
	STONE		254	21%	375	29%	415	27%	378	19%
	BRICK (BR1)		0	0%	115	9%	514	34%	0	0%
	BRICK (BR2)		937	78%	763	60%	551	36%	1800	79%
	SYNTHETIC STUCCO (ST-1)		6	1%	20	2%	50	3%	35	2%
	TOTAL SF / % OF FACADE		1197	100%	1273	100%	1530	100%	2013	100%

NOTE - EAST ELEVATION FACES PUBLIC RIGHT OF WAY
NOTE - PARAPET TO BE ENCLOSED. BACKS OF PARAPETS TO BE FINISHED SAME AS FACING SIDE WHERE VISIBLE.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF November, 2023.
WITNESS OUR HANDS, THIS 14 DAY OF November, 2023.

[Signature]
PLANNING & ZONING COMMISSION, CHAIRMAN

OWNER/DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

[Signature]
DIRECTOR OF PLANNING AND ZONING

BUILDING ELEVATIONS
KENNOR ROCKWALL RETAIL
LOT 8 & 9, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 20, 2023
CASE #SP2023-036

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-272-2948
TX Registration # F-12266

NCA Partners
ARCHITECTURE
5646 MILTON ST., SUITE 810
DALLAS, TX 75208
214.361.9901
214.361.9906 FAX
ncapartners.com

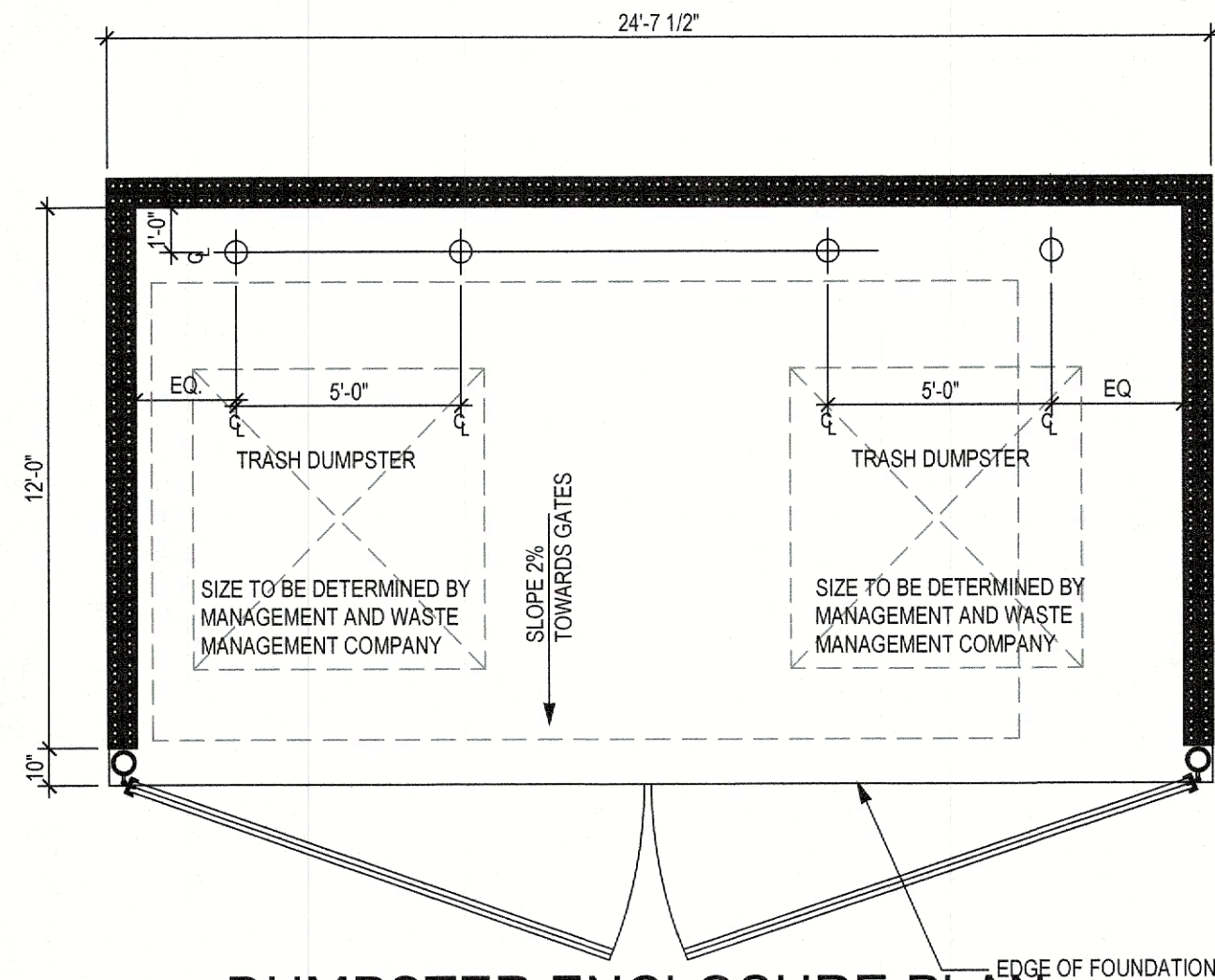
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NICHOLAS K. CADE, TBAE
LICENSE #9301

DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

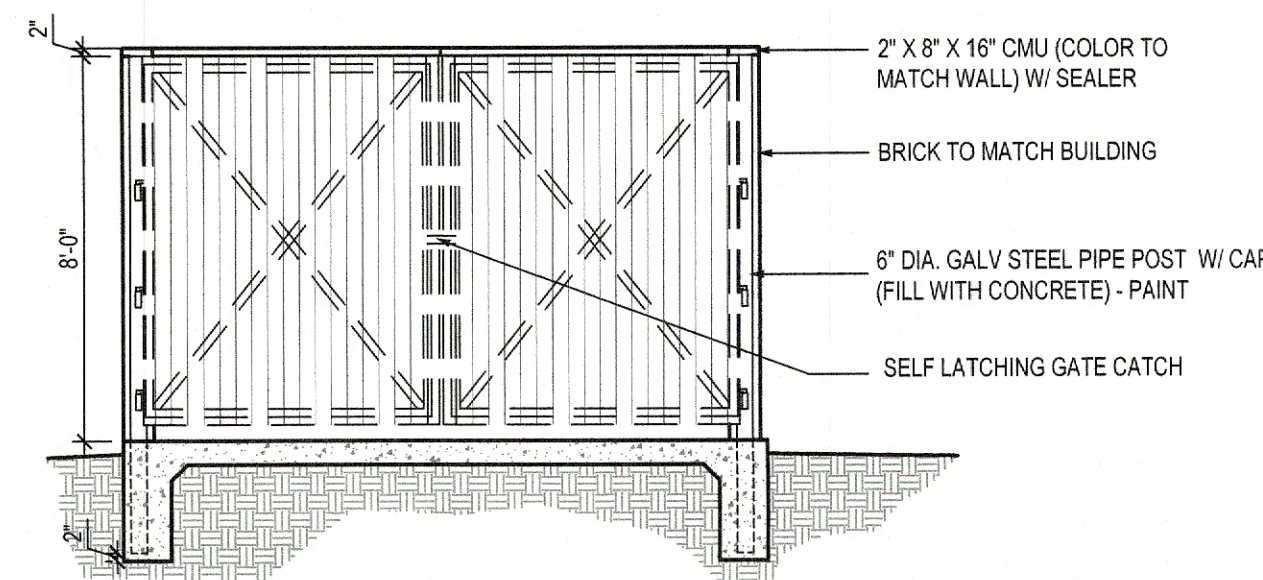
BUILDING ELEVATIONS - BLDG 02
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX

Scale: 3/16" = 1'-0"
Designed by: KAB
Drawn by: KAB
Checked by: KAB
Date: 11/06/2023

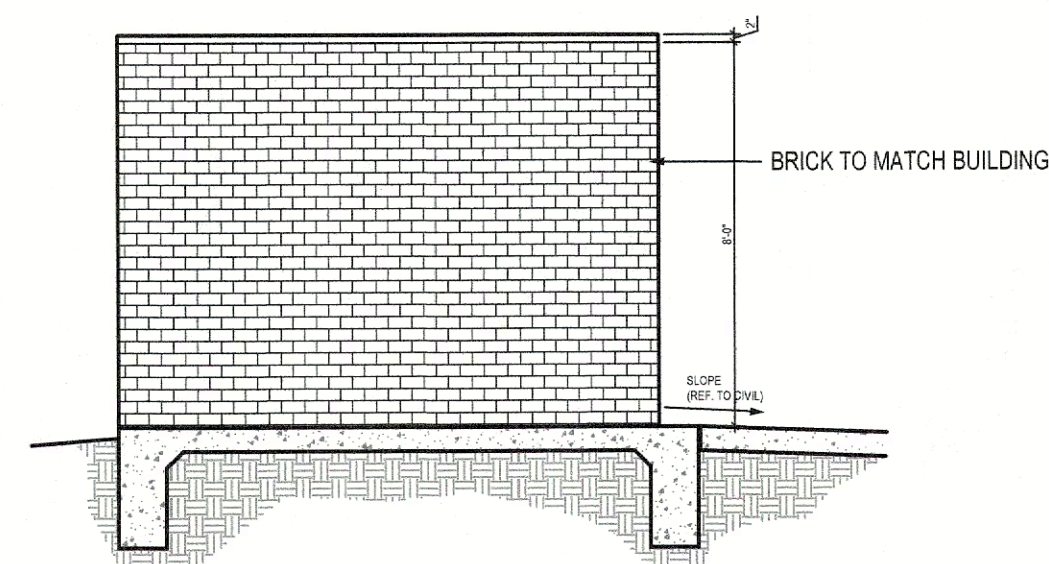
SHEET
A302



04 DUMPSTER ENCLOSURE PLAN
1/4"=1'



05 DUMPSTER ENCLOSURE FRONT ELEVATION
1/4"=1'-0"



06 DUMPSTER ENCLOSURE SIDE ELEVATION
1/4"=1'-0"

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS
APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF November, 2023.

WITNESS, OUT HANDS, THIS 14 DAY OF November, 2023.


PLANNING & ZONING COMMISSION, CHAIRMAN


DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

BUILDING ELEVATIONS
KENNOR ROCKWALL RETAIL
LOT 8 & 9, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 20, 2023
CASE #SP2023-036

DUMPSTER DETAIL
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

Scale: 3/16" = 1'-0"
Designed by: KAB
Drawn by: KAB
Checked by: KAB
Date: 11/08/2023

SHEET
A303

NCA Partners
ARCHITECTURE

5646 MILTON ST.
SUITE 810
DALLAS, TX 75206
214.361.9901
214.361.9906 FAX
ncapartners.com

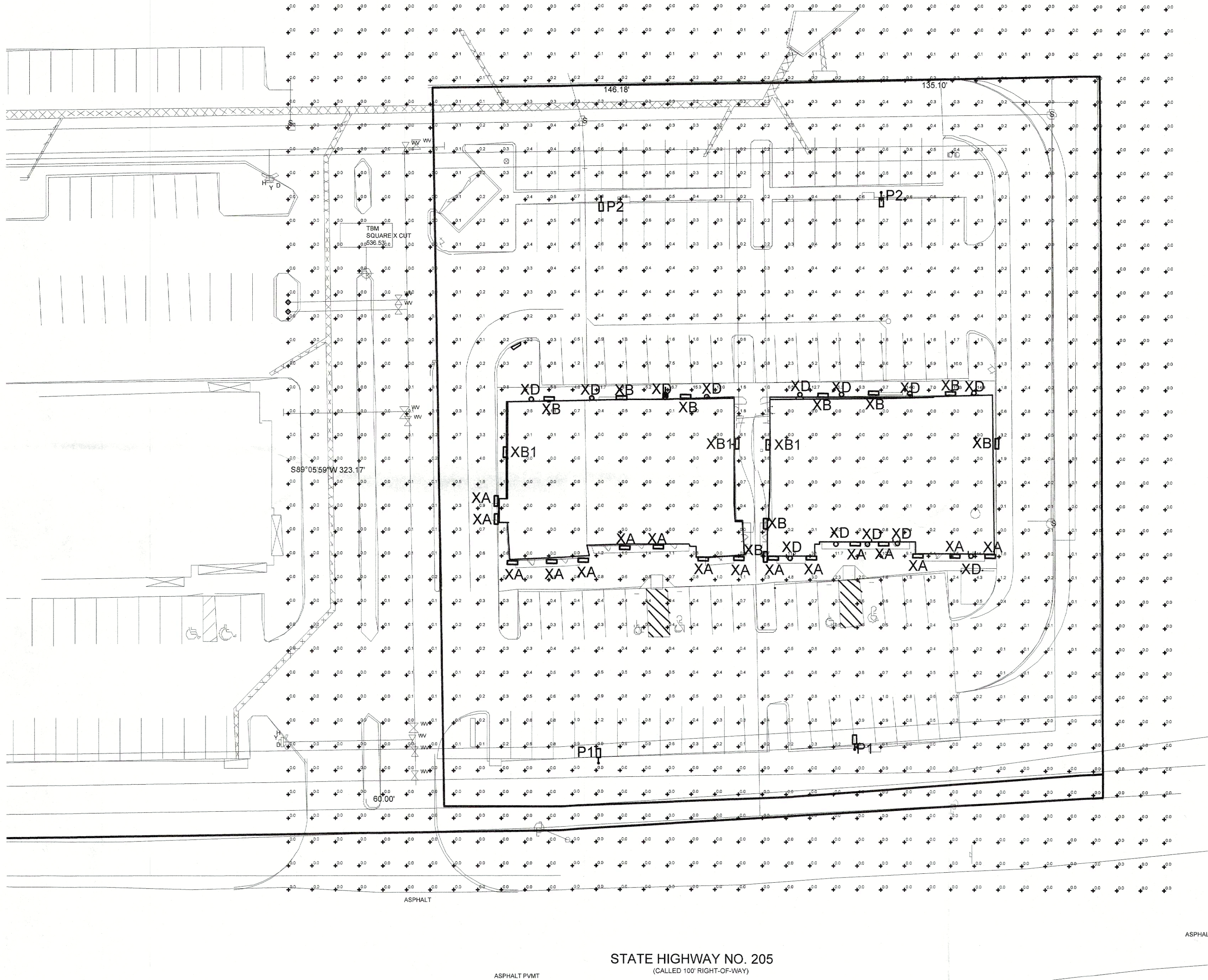
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LICENSE #9301

DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

THIS DOCUMENT IS FOR
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NOT INTENDED FOR
CONSTRUCTION
OR BIDDING PURPOSES
JUAN J. VASQUEZ, P.E.
DATE: 10/20/2023
VASQUEZ ENGINEERING, L.L.C.
TX REG. F-12266

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-276-2948
TX Registration # F-12266

LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	LAMP TYPE	WATTS	VOLTS	COMMENTS
XA	SCOTT ARCHITECTURAL	S9205-L16 40K [FINISH]	LED	16	120-277	LED EXTERIOR DECORATIVE WALL SCONCE
XB	LITHONIA	ARC2P4 40K MVOLT [FINISH]	LED	30	120-277	LED WALL PACK
XB1	LITHONIA	ARC2P1 40K MVOLT [FINISH]	LED	10.6	120-277	LED WALL PACK
XD	EELP	OMEL 20W C BZ SD CPY1 CW1	LED	20	120-277	LED MULLION MOUNT EMERGENCY OVER DOOR LIGHT
P1	ACUITY BRANDS	DSX0 LED P1 40K 80CRI BLC4	LED	33.2	120-277	D-SERIES SIZE 0 AREA LUMINAIRE P1 PERFORMANCE PACKAGE 4000K CCT 80 CRI TYPE 4 EXTREME BACKLIGHT CONTROLBLC4. MOUNTING HEIGHT 20'.
P2	ACUITY BRANDS	DSX0 LED P1 40K 80CRI T5M	LED	33.2	120-277	D-SERIES SIZE 0 AREA LUMINAIRE P1 PERFORMANCE PACKAGE 4000K CCT 80 CRI TYPE 5 MEDIUM. MOUNTING HEIGHT 20'.



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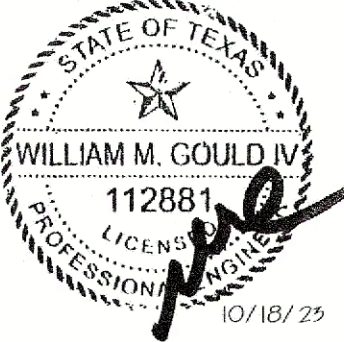
WITNESS OUT HANDS, THIS 14 DAY OF November, 2023.

[Signature]
PLANNING & ZONING COMMISSION, CHAIRMAN

[Signature]
DIRECTOR OF PLANNING AND ZONING

1 PHOTOMETRIC PLAN
SCALE = 1"=30'

PHOTOMETRIC PLAN
KENNOR ROCKWALL RETAIL
LOT 8 & 9, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
OCTOBER 20, 2023
CASE #SP2023-036



James F. Turner
Engineers, L.P.
Consulting Engineers
8340 Meadow Road, Suite 160
Rockwall, Texas 75087
TEL: 214-759-2800
TX REGISTRATION #10348 Job Number: 51136

DEVELOPER:

KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

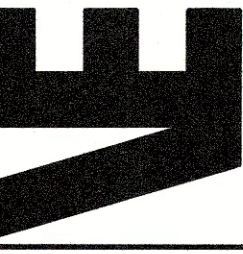
PHOTOMETRIC PLAN

KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

Scale: 1" = 30'
Designed by: JUV
Drawn by: DRS
Checked by: JUV
720-01/DWG/SITE PLANS/SP1-SITE PLAN.dwg
Date: 10/20/2023

SHEET
E1

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-276-2948
TX Registration # F-12266



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CONSTRUCTION PERMITTING
OR ANY OTHER PURPOSES
JUAN J. VASQUEZ, P.E.
TEXAS NO. 88662
VASQUEZ ENGINEERING, L.L.C.
TX REG. F-12266