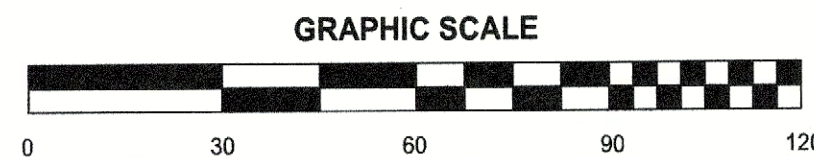


1 OVERALL SITE PLAN
1" = 30'-0"



OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

LEGAL DESCRIPTION:

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

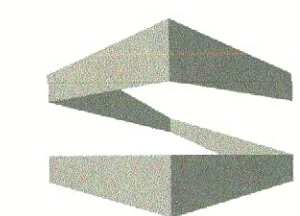
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 27 day of May 2025.

WITNESS OUR HANDS, this 25 day of June, 2025.

James C. Basing
Planning & Zoning Commission, Chairman

hli
Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

HARBOR
HEIGHTS
BLDG. #4

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411

Drawing Date: 4.20.2025

Drawn: PC

Checked: JS

Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

Sheet Title:

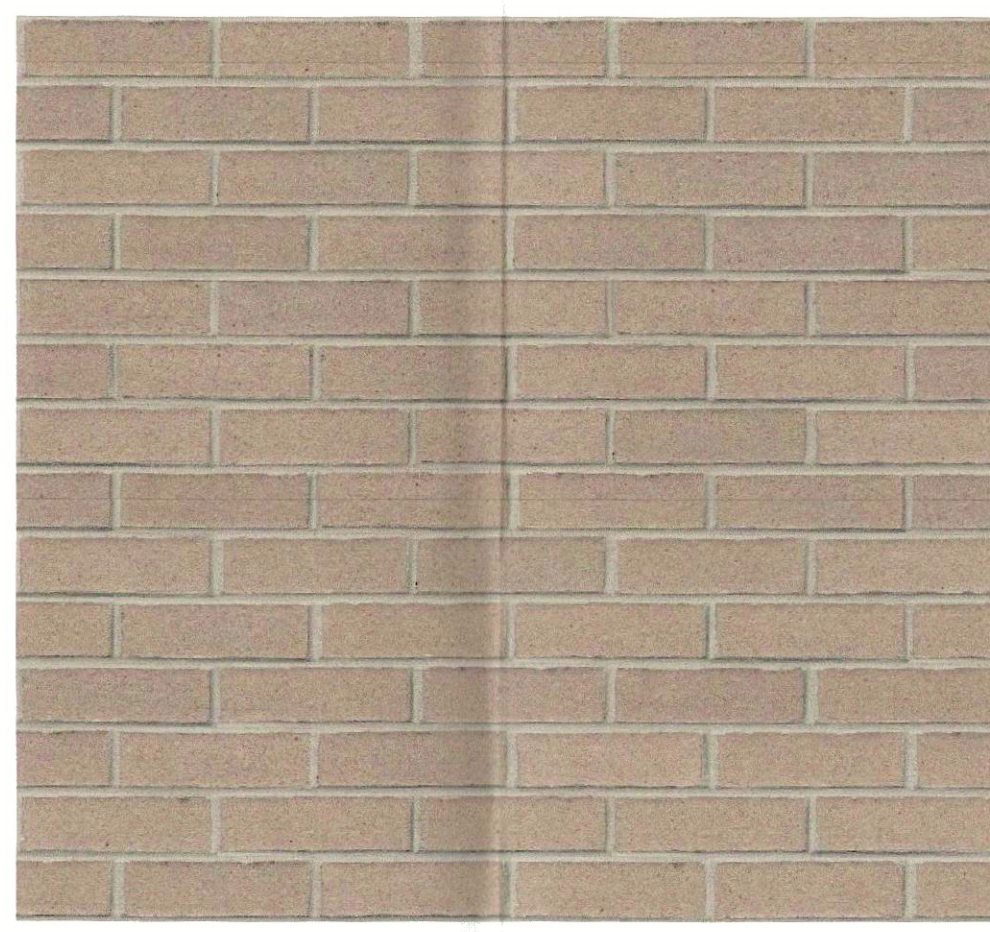
OVERALL SITE
PLAN

MATERIALS:

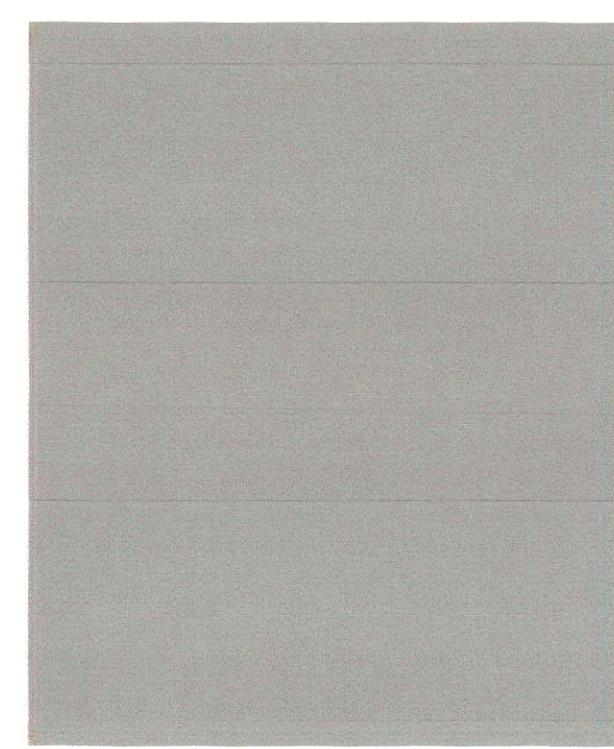
ROOFING: TPO WHITE
BRICK VENEER: ACME MARBLE GRAY - KING SIZE
NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
STUCCO CAP: 3 PART STUCCO - COLOR 133 DRIFTWOOD
STUCCO WALL: 3 PART STUCCO - COLOR 152 ANTHRACITE COAL.
METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER



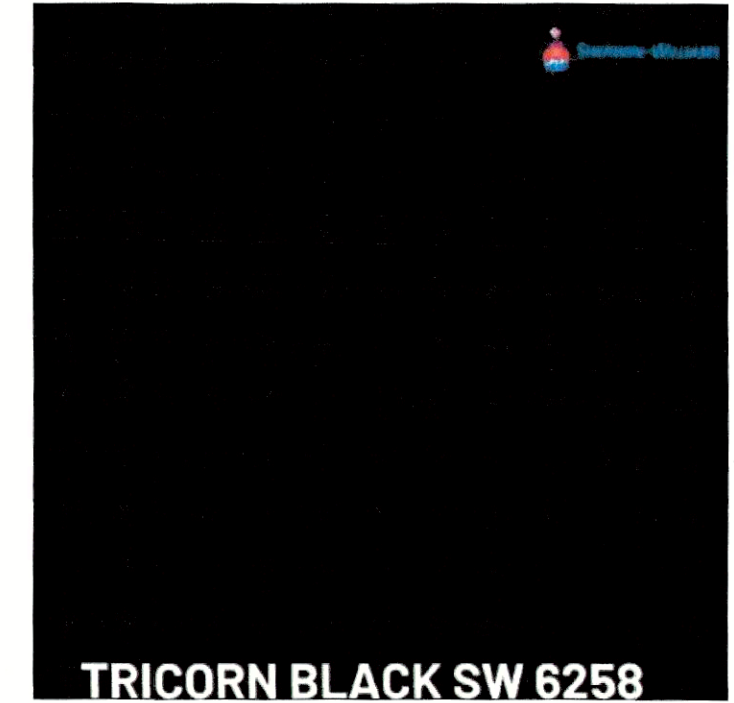
BRICK VENEER



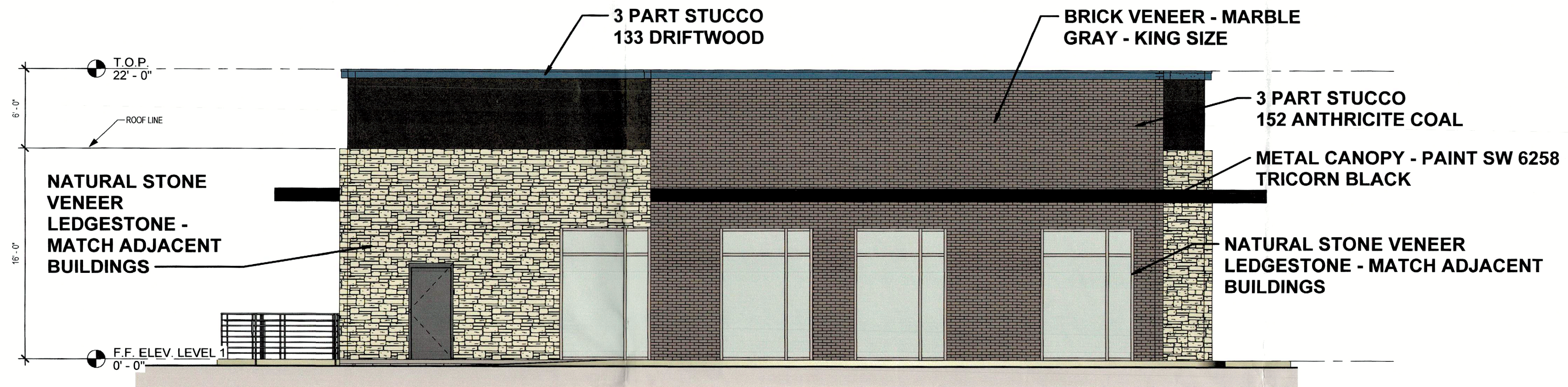
133 Driftwood
RGB 158 161 164



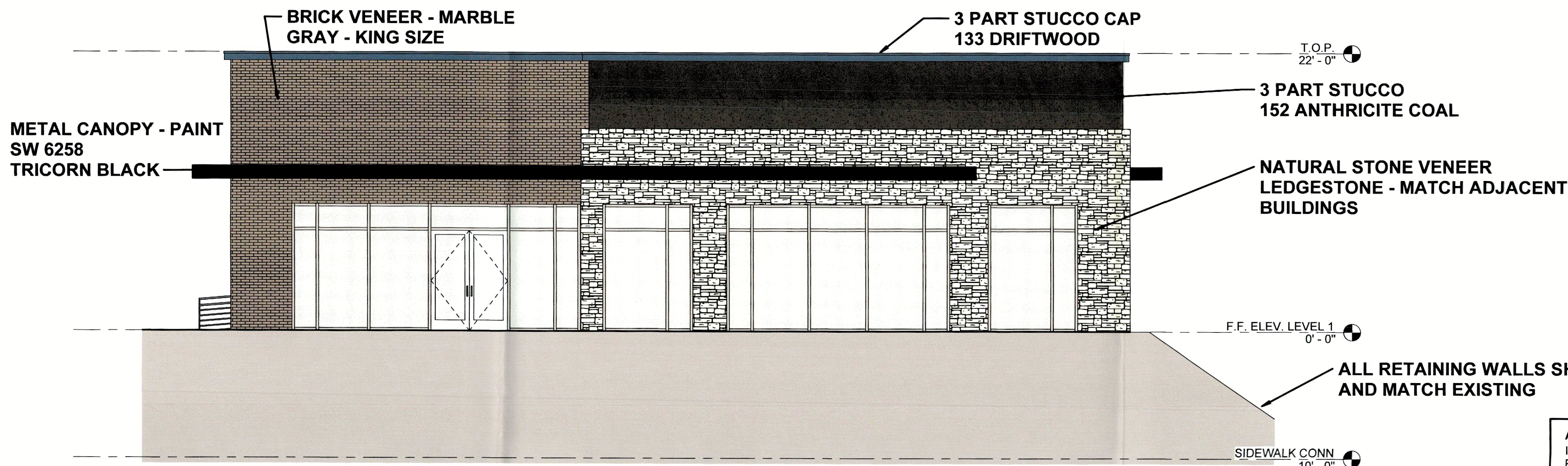
152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258



2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

BACK SIDE OF PARAPET - FINISH - 3 PART STUCCO 152 ANTHRACITE COAL. OR BRICK VENEER TO MATCH EXTERIOR FINISH, WHERE VISIBLE FROM ADJ. PROPERTY / RIGHT OF WAY.

ALL RTU'S SHALL BE SCREENED BY PARAPET OR ROOFTOP SCREEN.

OWNER INFORMATION:

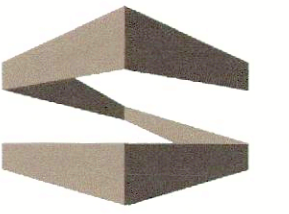
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 27 day of May 2025.

WITNESS OUR HANDS, this 26 day of June 2025.

Joan Conway
Planning & Zoning Commission, Chairman

Bill
Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

PHILLIP CRADDOCK, AIA

FOR SITE PLAN
APPROVAL ONLY



5/29/2025

**HARBOR
HEIGHTS
BLDG. #4**

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 5.29.2025
Drawn: Author
Checked: Checker
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

Sheet Title:

**EXTERIOR
ELEVATIONS**

SP2025-014

A401

Autodesk Docs://HHRR BLDG #4/ARCH_BLDG 4 HHRR.rvt

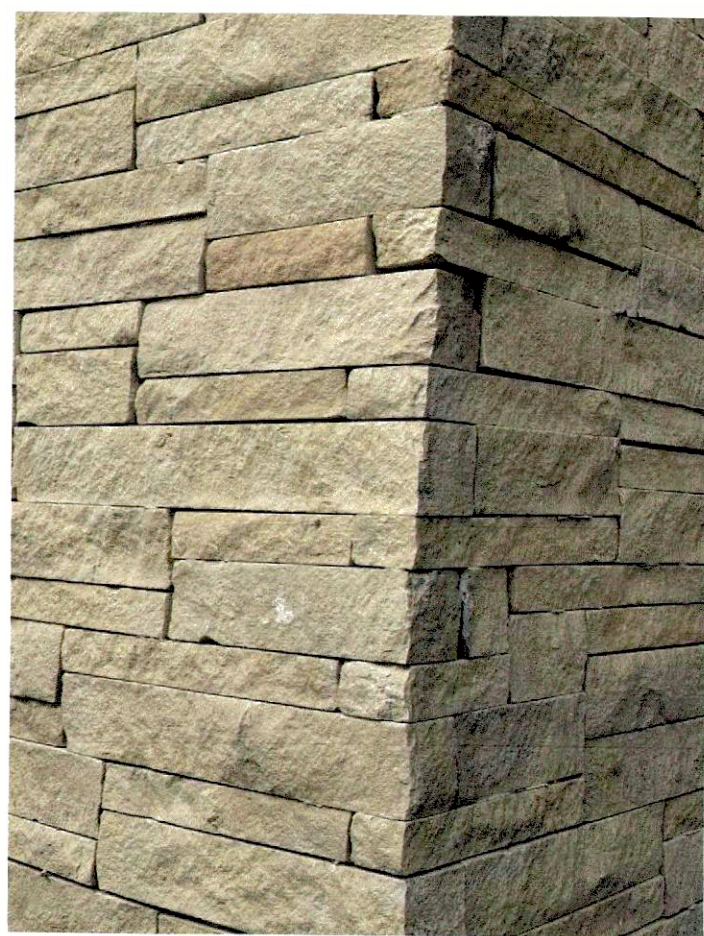
5/29/2025 7:50:41 AM

D

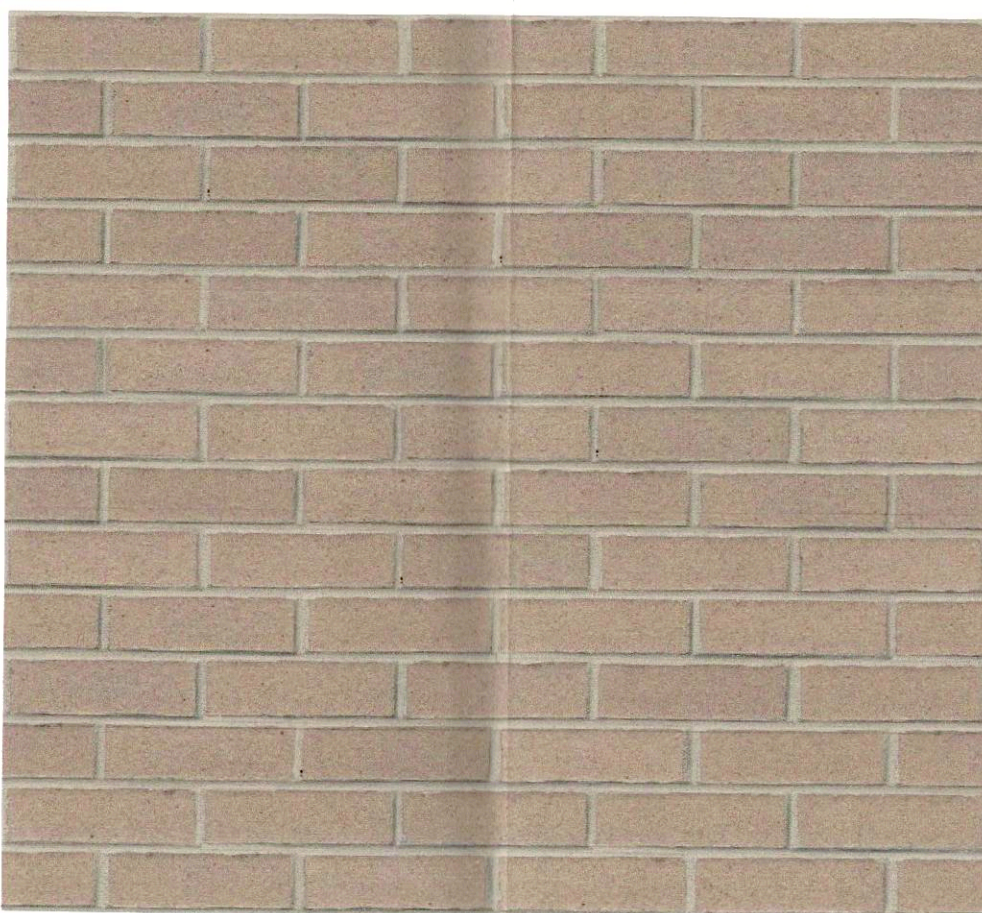
C

B

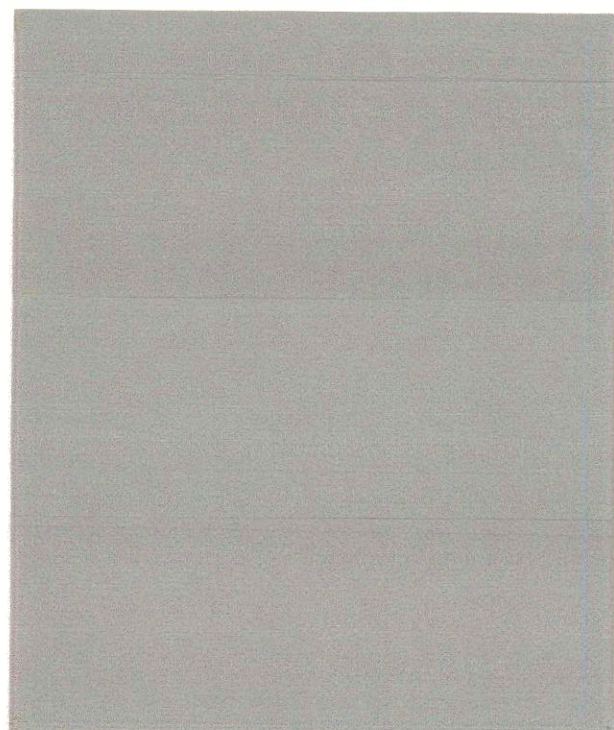
A



NATURAL STONE VENEER



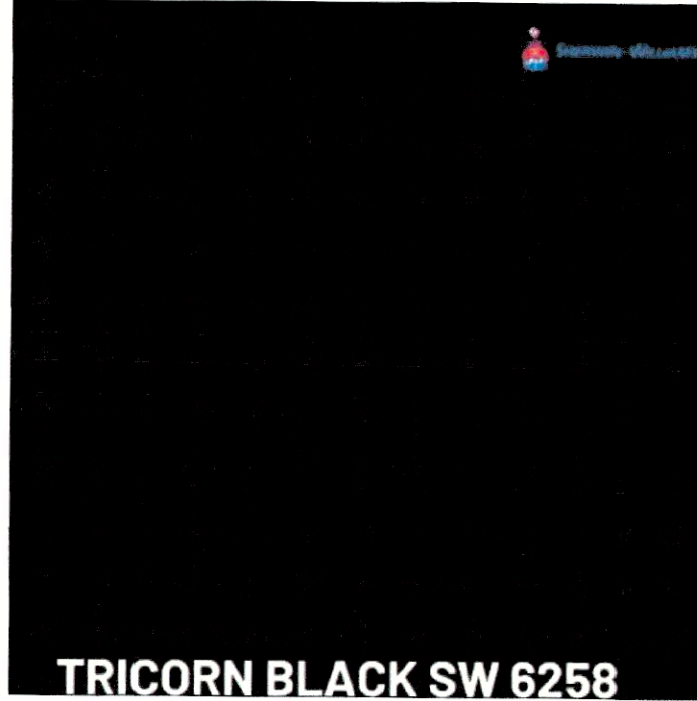
BRICK VENEER



133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258

3 PART STUCCO
CAP 133 DRIFTWOOD

T.O.P.
22' - 0"

ROOF MOUNTED RTU EQUIPMENT

3 PART STUCCO
152 ANTHRACITE COAL

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS

BRICK VENEER -
MARBLE GRAY -
KING SIZE

F.F. ELEV. LEVEL 1
0' - 0"

2 WEST ELEVATION

3/16" = 1'-0"

MATERIALS:

ROOFING: TPO WHITE

BRICK VENEER: ACME MARBLE GRAY - KING SIZE

NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.

STUCCO CAP: 3 PART STUCCO - COLOR 133 DRIFTWOOD

STUCCO WALL: 3 PART STUCCO - COLOR 152 ANTHRACITE COAL.

METAL AWNING: PAINT SW 6258 TRICORN BLACK

3 PART STUCCO CAP
133 DRIFTWOOD

ROOF MOUNTED EQUIPMENT

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

3 PART STUCCO
152 ANTHRACITE COAL

BRICK VENEER -
MARBLE GRAY -
KING SIZE

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS

T.O.P.
22' - 0"

F.F. ELEV. LEVEL 1
0' - 0"

1 SOUTH ELEVATION

3/16" = 1'-0"

ALL RTU'S SHALL BE
SCREENED BY PARAPET
OR ROOFTOP SCREEN.

BACK SIDE OF PARAPET -
FINISH - 3 PART STUCCO
152 ANTHRACITE COAL. OR
BRICK VENEER TO MATCH
EXTERIOR FINISH, WHERE
VISIBLE FROM ADJ.
PROPERTY / RIGHT OF
WAY.

OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

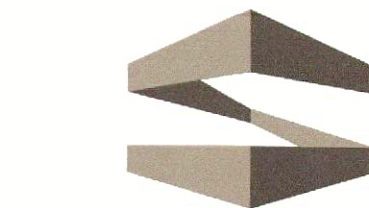
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 25 day of May, 2025.

WITNESS OUR HANDS, this 25 day of May, 2025.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

PHILLIP CRADDOCK, AIA

FOR SITE PLAN
APPROVAL ONLY



5/29/2025

HARBOR HEIGHTS BLDG. #4

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411

Drawing Date: 5.29.2025

Drawn: PC

Checked: JS

Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

Sheet Title:

EXTERIOR
ELEVATIONS

SP2025-014
A400

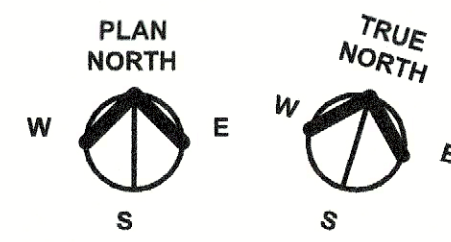
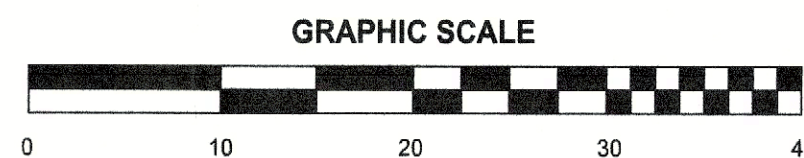
Autodesk Docs://HHRR BLDG #4/ARCH_BLDG 4 HHRR.mxd

5/20/2025 11:43:12 AM

1

SITE PLAN

1" = 10'-0"

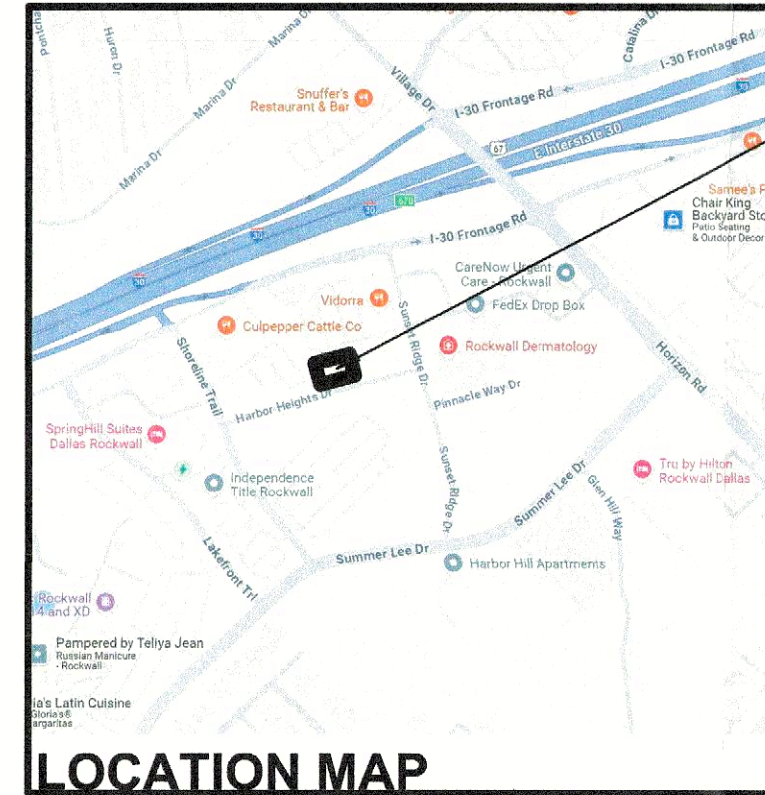


LEGAL DESCRIPTION:

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS, BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

CITY OF ROCKWALL
VOL. 4324, PG 290
D.R.R.C.T.

LOCATION MAP



PROJECT LOCATION

OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 27 day of May, 2025.

WITNESS OUR HANDS, this 25 day of June, 2025.

Jan Conway
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SITE INFORMATION

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	15,030 S.F. RESTAURANT 12,600 S.F. OFFICE 7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES) REQUESTING 31 CITY ADJACENT SPACES 31 TOTAL PROVIDED 192
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)

* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

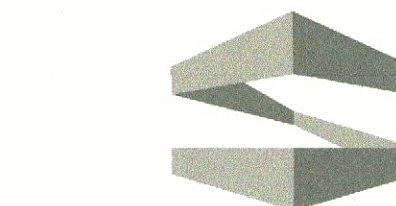
TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQ'D
12PM-1PM	37.80	46.40	108	192
4PM-6PM	19.74	41.76	130	192

SITE NOTES:

- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
- DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED

LEGEND:

	PROPOSED CONCRETE SIDEWALK		EXISTING AT&T MANHOLE
	GRASS		EXISTING WATER METER
	WOOD DECK		EXISTING ELECTRICAL MANHOLE
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING SEWER MANHOLE
	EXISTING SEWER LINE		EXISTING POWER POLE
	EXISTING WATER LINE		EXISTING LIGHT POLE
	EXISTING GAS LINE		EXISTING FIRE HYDRANT
	EXISTING TELEPHONE DUCT BANK		
	EXISTING ELECTRICAL DUCT BANK		



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

**HARBOR
HEIGHTS
BLDG. #4**

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411

Drawing Date: 4.20.2025

Drawn: PC

Checked: JS

Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

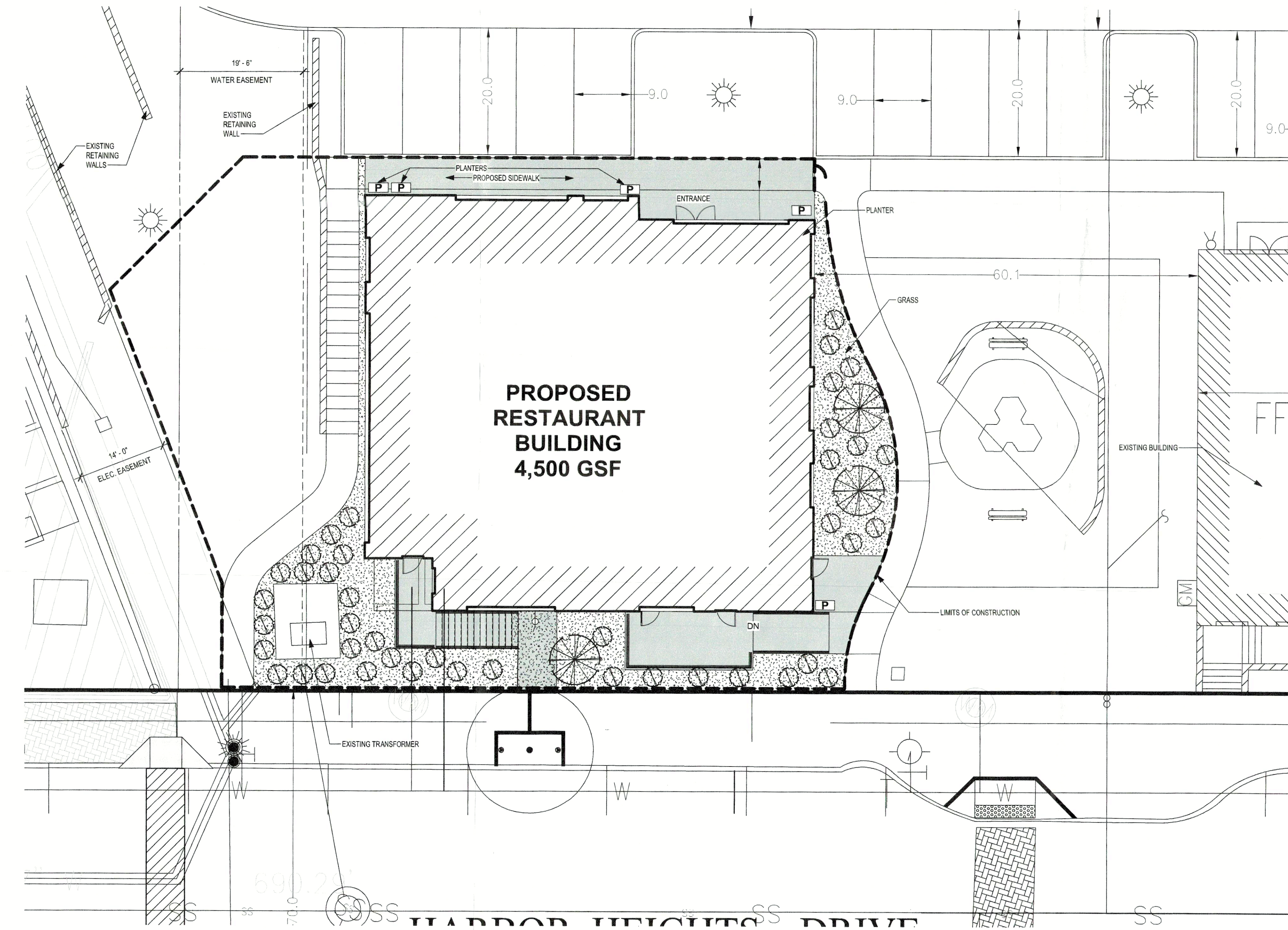
Sheet Title:

SITE PLAN

SP2025-014

A101

Autodesk Docs/HHRR BLDG #4/ARCH_BLDG 4 HHRR.rvt



LEGEND

QTY	P	STONEWARE GRECIAN SERIES - EQUAL PLANTING BOX
4		
42		SHRUB DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX, 30" HIGH AT TIME OF PLANTING
3		CANOPY TREE LIVE OAK, "LC" 100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 8 FT. CEDAR ELM "CA" 100 GAL, 4.0"-4.5" CAL 12-14 FT. HIGH, CLEAR TRUNK TO 8 FT.



PLANTER POT EXAMPLE

SITE INFORMATION

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	15,030 S.F. RESTAURANT 12,600 S.F. OFFICE 7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES	31 TOTAL PROVIDED 192
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)

(A) General Irrigation Requirements.
The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:
(1) Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.
(2) Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).
(3) Be maintained and kept operational at all times to provide for efficient water distribution.

LANDSCAPING NOTE:
TREES SHALL BE MIN. 5'-0" FROM ALL UNDERGROUND EXISTING OR PROPOSED UTILITY LINES 10" OR SMALLER & 10'-0" AWAY FROM LINES 12" OR GREATER.

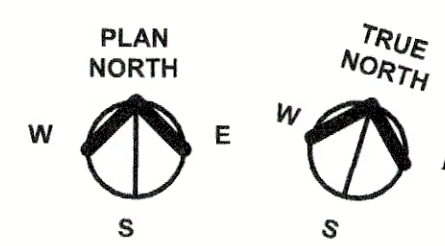
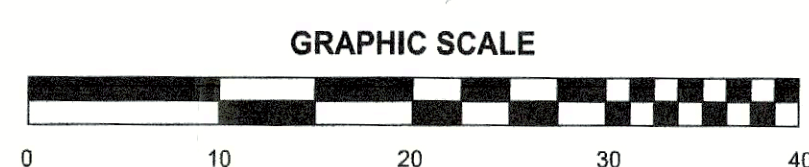
OWNER INFORMATION:

HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 25 day of May, 2025.
WITNESS OUR HANDS, this 25 day of May, 2025.
James Conway Planning & Zoning Commission, Chairman
John Director of Planning and Zoning

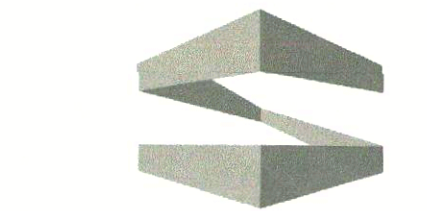
LEGAL DESCRIPTION:

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS, BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE



LANDSCAPE PLAN

1" = 10'-0"



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA
FOR SITE PLAN
APPROVAL ONLY

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

HARBOR HEIGHTS BLDG. #4

2351 HARBOR
HEIGHTS DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.20.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

Sheet Title:

LANDSCAPE PLAN

SP2025-014

A102