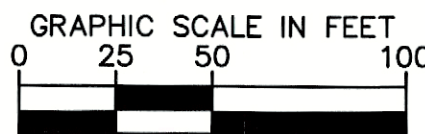
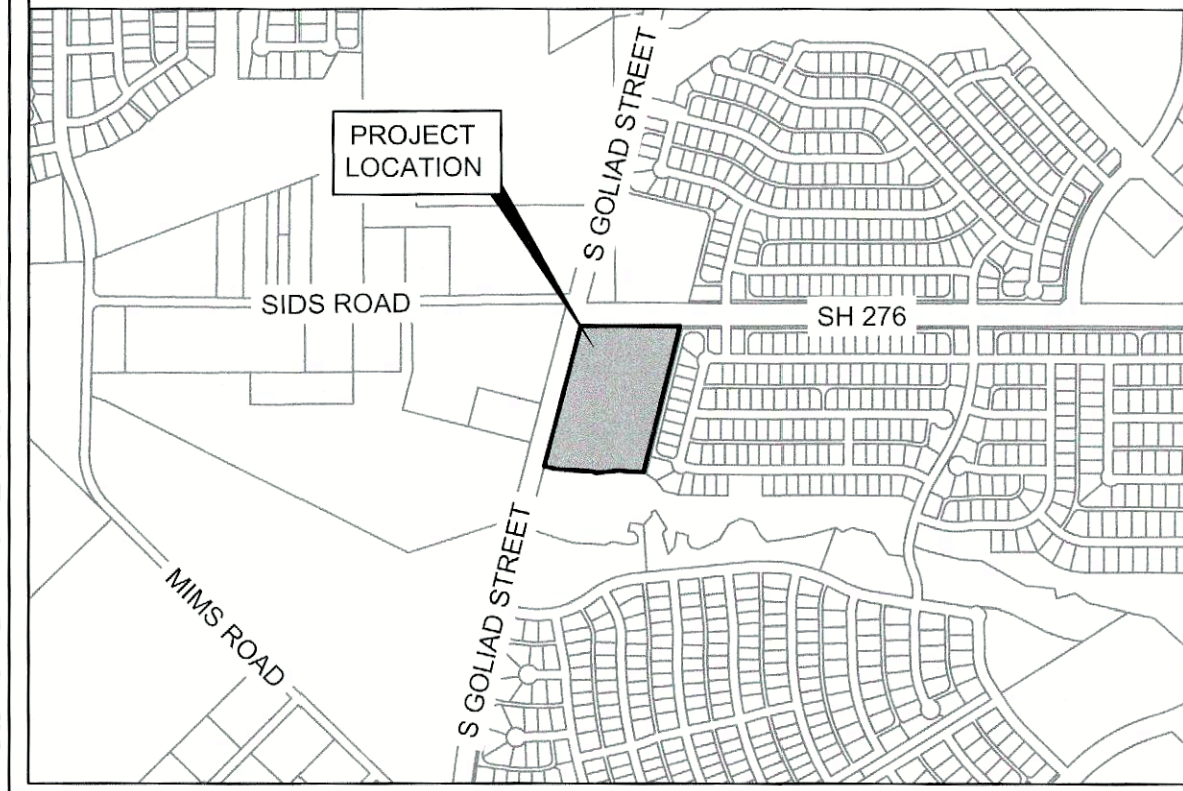


Parking	
Parking Ratio (From The City of Rockwall UDC)	1 Space per 200 S.F.
Gross Building S.F.	55,577
Required Parking	
Parking Required (1 Space per 200 S.F.)	278 SPACES
Handicap Parking Required (Per UDC)	7 SPACES
Total Parking Required	278 SPACES
Provided Parking	
Surface Parking Provided	270 SPACES
Handicap Parking Provided	8 SPACES
Total Parking Provided	278 SPACES



VICINITY MAP



CITY SITE PLAN NOTES

1. ALL PARKING SPACES TO BE 9' X 20' UNLESS OTHERWISE NOTED.
2. ALL RADII IN PARKING AREAS ARE TO BE 3' UNLESS OTHERWISE NOTED.
3. SITE PLAN APPROVAL IS BEING PURSUED FOR LOT 1. APPROVAL FOR LOT 2 WILL BE PURSUED IN A FUTURE SITE PLAN.

LEGEND

	PROPERTY LINE
	LIGHT DUTY PAVEMENT (5' - 3600 PSI, SHALL BE A MIN OF #3 BARS @ 18" O.C.E.W.)
	MEDIUM DUTY FIRE LANE PAVEMENT (5' - 3600 PSI, SHALL BE A MIN OF #3 BARS @ 18" O.C.E.W.)
	HEAVY DUTY PAVEMENT (7' - 3600 PSI, SHALL BE A MIN OF #3 BARS @ 18" O.C.E.W.)
	SH 276 & SH 205 PAVEMENT (10' - 3600 PSI, SHALL BE A MIN OF #4 BARS @ 18" O.C.E.W.)
	EXISTING PAVEMENT
	PROPOSED STORM LINE
	PROPOSED 6" SANITARY SEWER LINE
	PROPOSED 8" SANITARY SEWER LINE
	PROPOSED 12" WATER LINE
	PROPOSED 16" WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING 8" WATER LINE
	EXISTING 12" WATER LINE
	EXISTING 16" WATER LINE
	EXISTING 24" WATER LINE
	PROPOSED DITCH FLOW
	PROPOSED FIRE HYDRANT
	PROPOSED CURB INLET
	PROPOSED WATER METER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED JUNCTION BOX
	PROPOSED RETAINING WALL
	ACCESSIBLE PARKING SYMBOL
	PROPOSED TRANSFORMER
	NUMBER OF PARKING SPACES
	TYPICAL
	EXISTING
	PROPOSED
	TUCK UNDER PARKING
	CARPORT PARKING
	TANDEM PARKING
	ELECTRIC VEHICLE PARKING
	EXISTING OVERHEAD ELECTRIC LINES

THE SITE PLAN IS FOR CITY REVIEW ONLY TO ILLUSTRATE COMPLIANCE WITH ZONING AND DEVELOPMENT REGULATIONS. IT IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

PROJECT NUMBER: SP2025-017

SITE PLAN FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING

JUNE 11, 2025

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC.
ADDRESS: 203 WEST NASH ST. SUITE 100
TERRELL, TX 75160
PHONE: (972) 588-4283
CONTACT: MATT LUCAS, P.E.

OWNER
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
DALLAS, TX 75231
PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

APPLICANT
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
DALLAS, TX 75231
PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

ARCHITECT
BLUEPRINT DESIGN
ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B
AUSTIN, TX 78728
PHONE: (855) 228-7440
CONTACT: WARREN L. INCE

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27 DAY OF May, 2025.

WITNESS OUR HANDS, THIS 25 DAY OF June, 2025

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

Kimley»Horn

203 W NASH ST. SUITE 100 TERRELL, TX 75160
PHONE: 972-770-1300 FAX: 972-239-3920
WWW.KIMLEY-HORN.COM TX F-928
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.

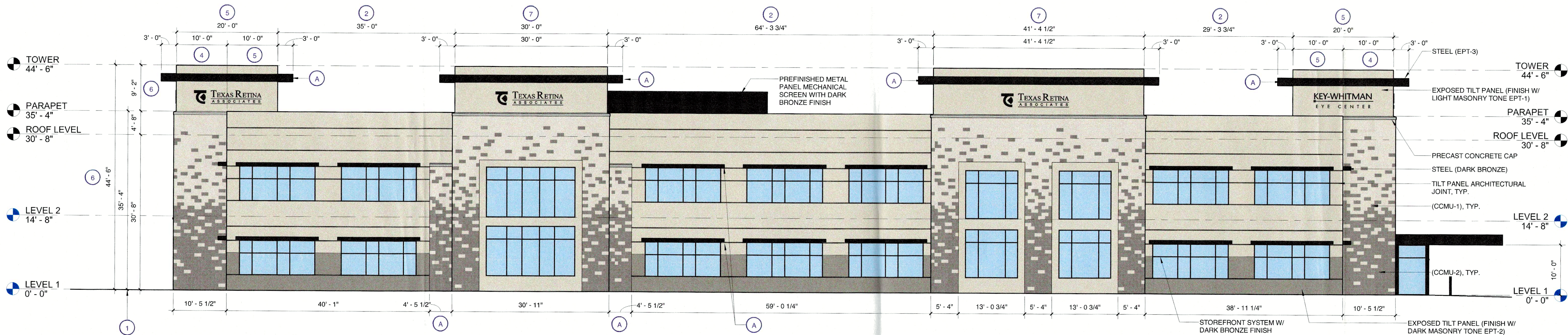
PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley»Horn
Name: MATT LUCAS
P.E. No. 108727 Date: 5/11/2025

KHA PROJECT	060016600
DATE	6/11/2025
SCALE	AS SHOWN
DESIGNED BY	CJH
DRAWN BY	JOP
CHECKED BY	MAL

ROCKWALL MEDICAL BUILDING
PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX

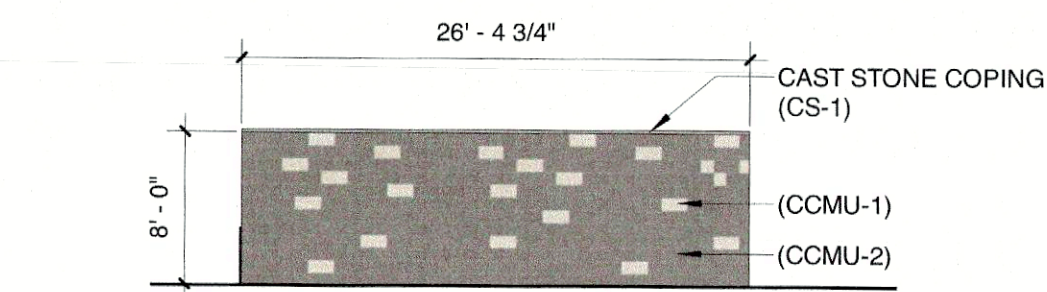
SITE PLAN

SHEET NUMBER
C-100

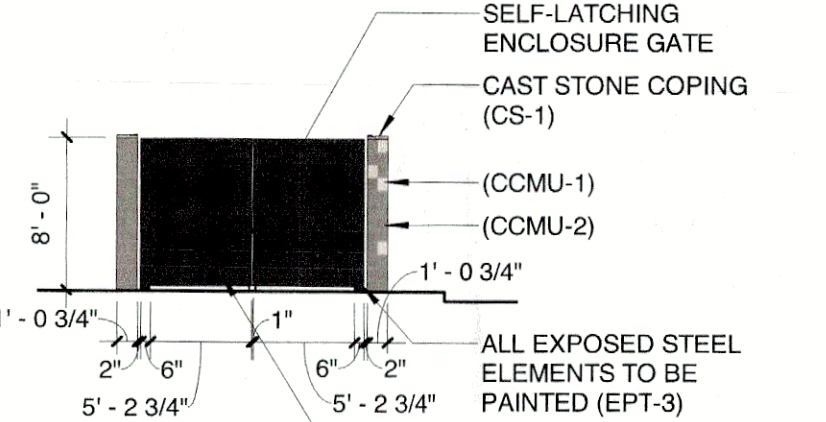


1 SOUTH ELEVATION (FACING RESIDENTIAL - PRIMARY FACADE)
1" = 10'-0"

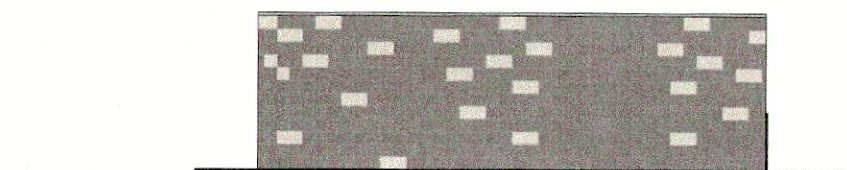
NOTE:
GENERATOR ENCLOSURE HEIGHT TO BE SET AT 8" ABOVE FINAL GENERATOR DESIGN.



2 GENERATOR ENCLOSURE - NORTH ELEVATION
1" = 10'-0"



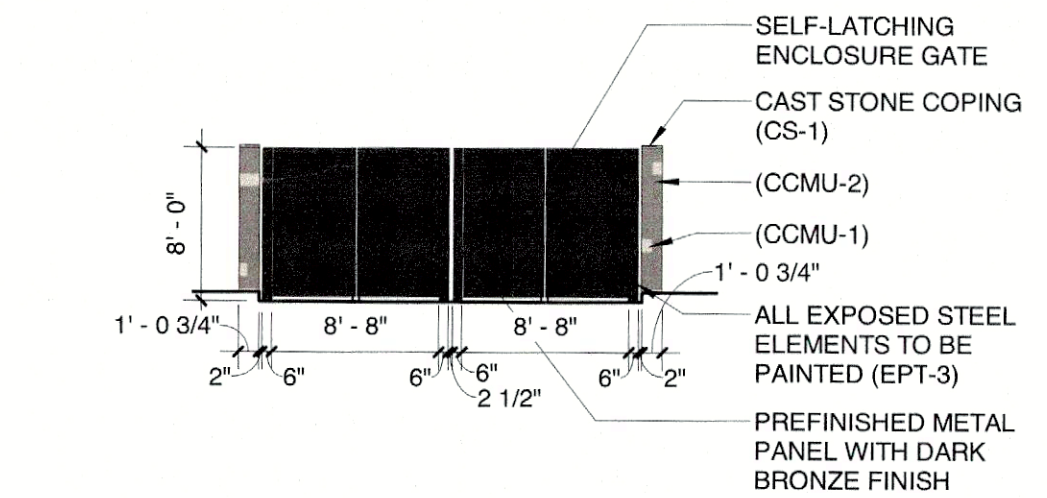
3 GENERATOR ENCLOSURE - EAST ELEVATION
1" = 10'-0"



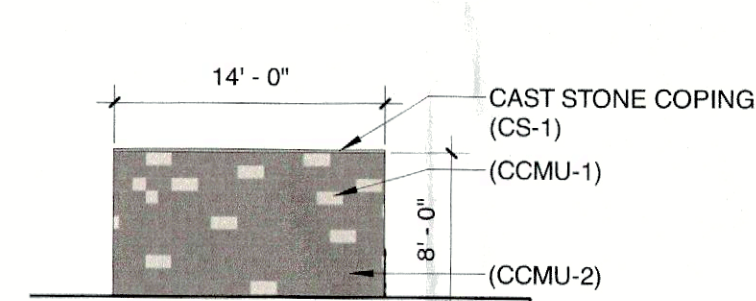
4 GENERATOR ENCLOSURE - SOUTH ELEVATION
1" = 10'-0"



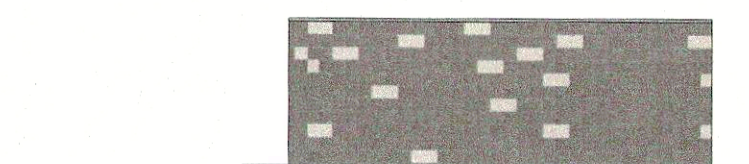
5 GENERATOR ENCLOSURE - WEST ELEVATION
1" = 10'-0"



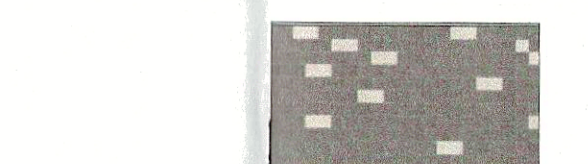
9 TRASH ENCLOSURE - WEST ELEVATION
1" = 10'-0"



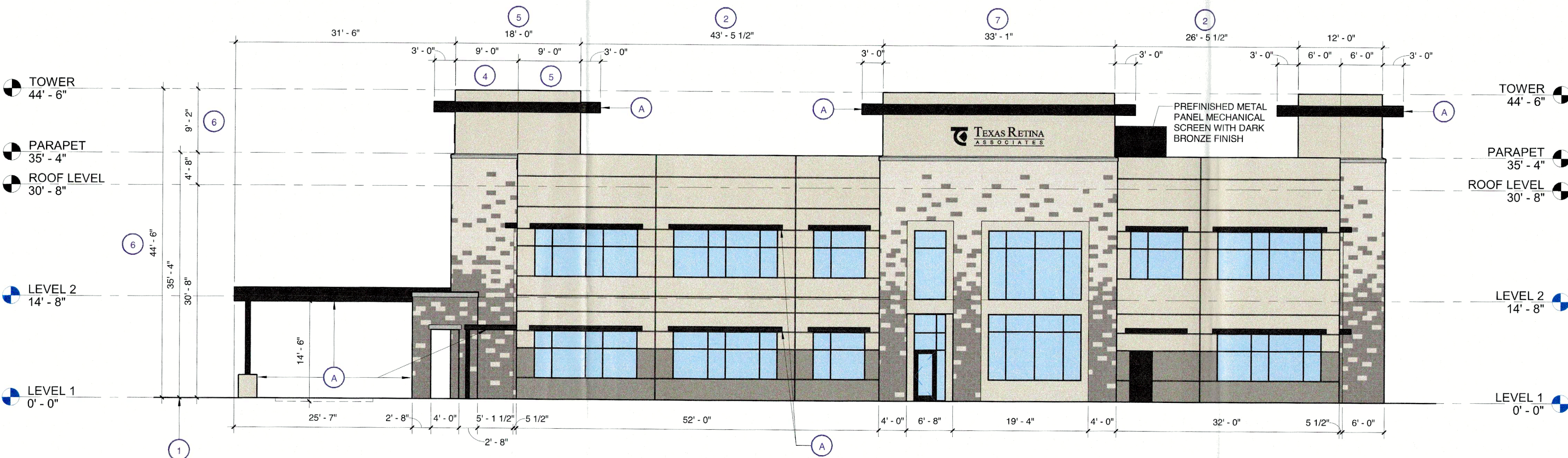
8 TRASH ENCLOSURE - SOUTH ELEVATION
1" = 10'-0"



7 TRASH ENCLOSURE - EAST ELEVATION
1" = 10'-0"



6 TRASH ENCLOSURE - NORTH ELEVATION
1" = 10'-0"



10 WEST ELEVATION (FACING RESIDENTIAL - SECONDARY FACADE)
1" = 10'-0"

PRIMARY FACADE ARTICULATION COMPLIANCE KEY NOTES:

- 1 WALL HEIGHT. THE WALL HEIGHT SHALL BE MEASURED FROM GRADE TO THE TOP OF THE WALL.
PROPOSED WALL HEIGHT IS AT 35'-4" (REFER TO ELEVATIONS)
- 2 WALL LENGTH. THE MAXIMUM WALL LENGTH SHALL NOT EXCEED THREE (3) TIMES THE WALL HEIGHT (I.E. 3 X 1 ≥ 2).
35'-4" (3) = 106'-0" (COMPLIES) MAX LENGTH PROPOSED IS 64'-3 3/4".
- 3 SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE MINIMUM LENGTH OF THE SECONDARY ENTRYWAY OR PROJECTING ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL LENGTH (I.E. 25% X 2 ≤ 3).
NORTH/SOUTH: 64'-3 3/4" (25%) = 16' 15/16"
SECONDARY FEATURE SHOWN AS 30' 0" (COMPLIES)
- 4 WALL PROJECTION. THE MINIMUM WALL PROJECTION FOR A PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL HEIGHT (I.E. 25% X 1 ≤ 4).
35'-4" (25%) = 8'-10" (COMPLIES)
NORTH AND SOUTH ARE PROPOSED AT 9'-0".
EAST AND WEST ARE PROPOSED AT 10'-0".
- 5 PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT WIDTH. THE MINIMUM WALL WIDTH OF THE PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL EXTEND TWICE THE REQUIRED WALL PROJECTION (I.E. 2 X 4 ≥ 5).
2(8'-10") = 17'-8" (COMPLIES) PROPOSED AT 18'-0"
- 6 PROJECTION HEIGHT. THE PRIMARY AND SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT SHALL EXTEND A MINIMUM OF 25% OF THE WALL HEIGHT ABOVE THE TOP OF THE WALL (I.E. 25% X 1 ≥ 6).
35'-4" (100%) + 8'-10" (25%) = 44'-2" (125%) TOTAL (COMPLIES) PROPOSED AT 9'-2" OR 44'-6" TOTAL.
- 7 PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL MEET ALL OF THE SAME PROJECTIONS AS THE SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT, BUT SHALL EXTEND A MINIMUM OF TWICE THE LENGTH OF THE SECONDARY ELEMENT (I.E. 2 X 3 ≥ 7).
NORTH/SOUTH ELEVATION: (2) 16' 15/16" = 32'-7/8" (COMPLIES) SHOWN AT 41'-4 1/2".
EAST/WEST ELEVATION: (2) 13'-1 1/2" = 26'-3" (COMPLIES) SHOWN AT 33'-1".
- 8 ADDITIONAL ARCHITECTURAL ELEMENT
SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR EXPOSED CONCRETE TILT PANEL VS. MASONRY
SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR CUSTOM CONCRETE MASONRY UNITS FOR 20% STONE.

	TOTAL FACADE AREA (S.F.)	TOTAL GLAZING AREA (S.F.)	TOTAL AREA MINUS GLAZING (S.F.)	TOTAL TILT PANEL AREA (S.F.)	TOTAL BURNISHED BLOCK AREA (S.F.)	TOTAL GLAZING PERCENTAGE (S.F.)	TOTAL EXPOSED TILT PANEL PERCENTAGE	TOTAL BURNISHED BLOCK PERCENTAGE
NORTH ELEVATION	9,534	2,302	7,232	4,881	2,351	24.1%	51%	25%
EAST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%
SOUTH ELEVATION	9,534	2,224	7,310	4,967	2,343	23.3%	52%	25%
WEST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27 DAY OF May, 2025.

WITNESSED OUR HANDS, THIS 25 DAY OF June, 2025.

PLANNING & ZONING COMMISSION, CHAIRMAN

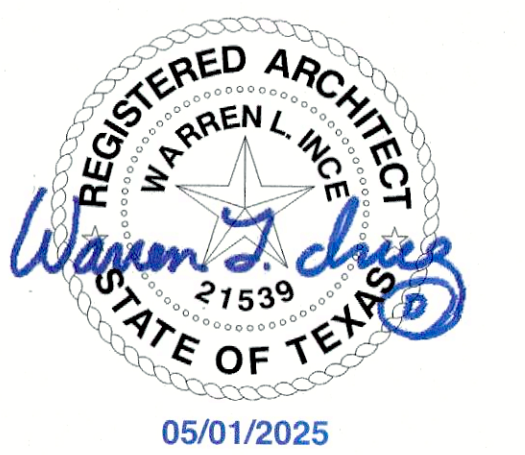
DIRECTOR OF PLANNING AND ZONING



SI #: 25101

VUE REALTY GROUP, LLC.
ROCKWALL MOB
STATE HIGHWAY 205 AND STATE HIGHWAY 276 BYPASS
ROCKWALL, TEXAS

SEAL:



STUDIO INDIGO DESIGN, LLC
Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2025.05.01

DRAWN BY: WLI

EXTERIOR ELEVATIONS - COLOR

DRAWING NUMBER:

AS211

SCALE: AS INDICATED



NORTHWEST PERSPECTIVE/RENDERING - VIEW FROM DRIVE

FINISH LEGEND - MATERIAL BOARD:

(CCMU-1):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: LIMESTONE
MORTAR: TBD

(EPT-1):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7516 KESTREL WHITE

(CCMU-2):
CUSTOM CONCRETE MASONRY UNIT
MFR: FEATHERLITE
FINISH: GRAY
MORTAR: TBD

(EPT-2):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7024 FUNCTIONAL GRAY

STOREFRONT SYSTEM:
MFR: KAWNEER OR EQUAL
FINISH: DARK BRONZE ANODIZED

(EPT-3):
EXTERIOR PAINT
MFR: SHERWIN WILLIAMS
FINISH: SW7048 - URBANE BRONZE

(SOFFIT):
SOFFIT MATERIAL
MFR: MAC METAL
COLLECTION: HARRYWOOD
FINISH: CORK

(CS-1):
CONCRETE CAST STONE
MFR: SITEWORKS ARCHITECTURAL
CAST STONE
FINISH: NATURAL



VUE REALTY GROUP, LLC.

ROCKWALL MOB

STATE HIGHWAY 205 AND STATE HIGHWAY
276 BYPASS
ROCKWALL, TEXAS

SEAL:

STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2025.05.01

DRAWN BY: Author

BUILDING
MATERIAL SAMPLE
BOARD & COLOR
RENDERINGS

DRAWING NUMBER:

AS221

SCALE: AS INDICATED

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 25 DAY OF May, 2025.

WITNESSED OUR HANDS, THIS 25 DAY OF June, 2025

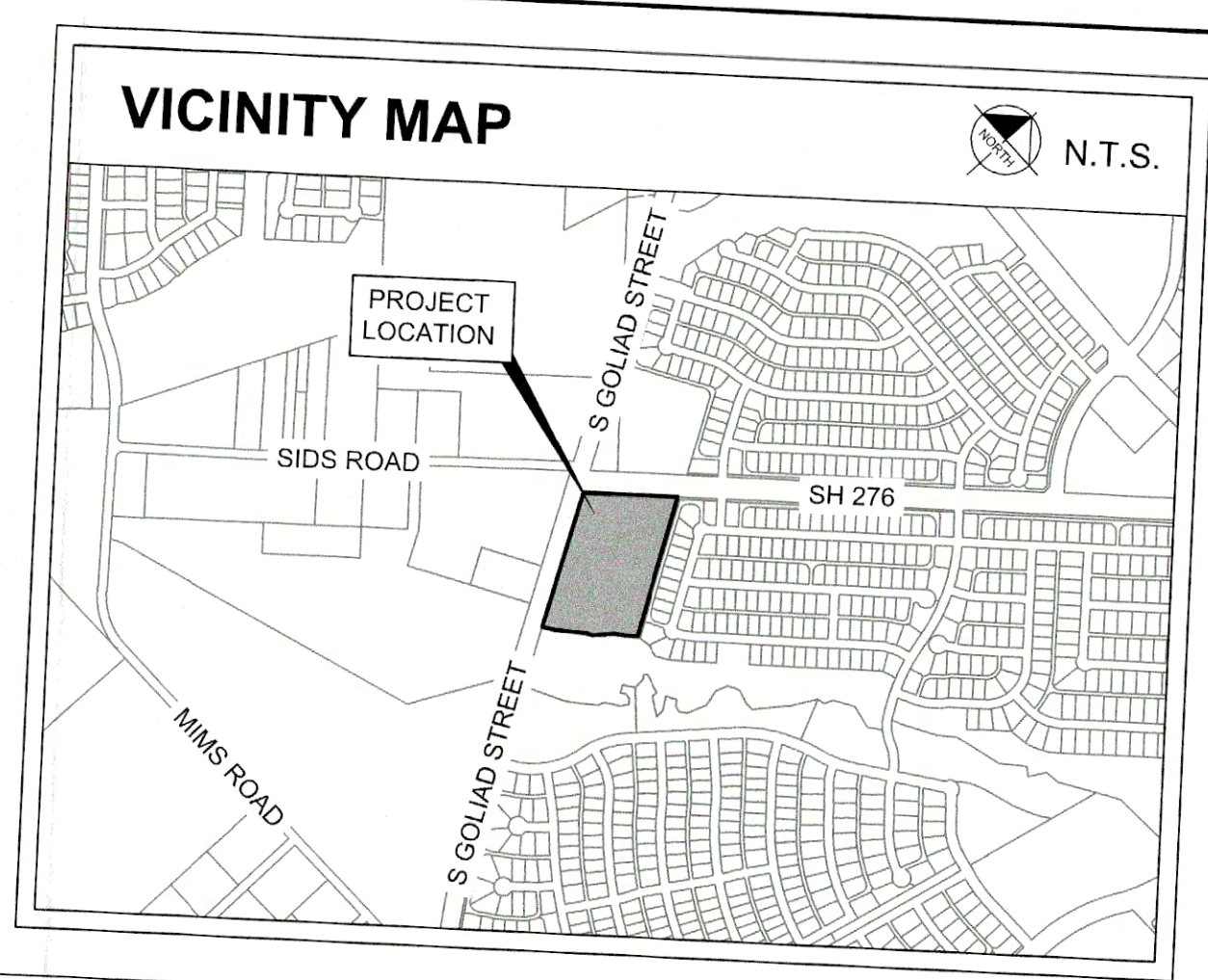
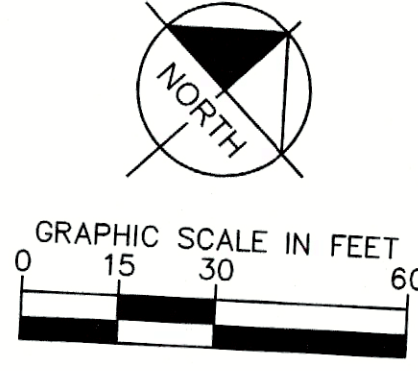
PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

W.H. BARNES SURVEY - ABSTRACT NO. 26

CALLED 6.30 ACRES
GREENOAKS PROPERTIES INC.
VOL. 2872, PG. 73
D.R.R.C.T.
PROP ID: 50535

LOT
MEADOWCRAFT
CA



STATE HIGHWAY NO. 276
(VARIABLE WIDTH RIGHT-OF-WAY)

451' TO INTERSECTION

BM #402

BM #405

EXISTING CITY OF HEATH
24" WATER LINE

VISIBILITY TRIANGLE

VISIBILITY TRIANGLE

15' LANDSCAPE BUFFER
10' UTILITY EASEMENT
15' BUILDING SETBACK

30" TALL CONTINUOUS
LANDSCAPE BERM

N44°26'08"E 518.80'

MULCH
STEEL EDGING

LOT 3
BLOCK D

15' LANDSCAPE AREA

37.5' BUILDING SETBACK

STEEL EDGING (TYP.)

MULCH

LOT 4

PROPOSED 24" FIRE LANE,
ACCESS, AND UTILITY EASEMENT

30" TALL CONTINUOUS
LANDSCAPE BERM

25' LANDSCAPE BUFFER

PROPOSED PROPERTY LINE

LOT 5

LOT 6

LOT 7

LOT 8

LOT 9

LOT 10

LOT 11

LOT 12

LOT 13

LOT 14

LOT 15

LOT 16

LOT 17

LOT 18

LOT 19

LOT 20

LOT 21

LOT 22

LOT 23

LOT 24

LOT 25

LOT 26

LOT 27

LOT 28

LOT 29

LOT 30

S. GOLIAD ST.
STATE HIGHWAY NO. 205
(VARIABLE WIDTH RIGHT-OF-WAY)

N31°45'42"W 319.53'

ERA 152

CT 5

EUF 555

MULCH

HYDROSEED

CT 234

CT 5

QT 2

ERA 152

CT 5

EUF 479

MULCH

HYDROSEED

CT 5

ERA 152

CT 5

EUF 479

MULCH

HYDROSEED

CT 5

ERA 152

CT 5

EUF 479

MULCH

HYDROSEED

CT 5

ERA 152

CT 5

EUF 479

MULCH

HYDROSEED

CT 5

ERA 152

CT 5

EUF 479

MULCH

HYDROSEED

CT 5

ERA 152








CT 5

EUF 479

MULCH

HYDROSEED

PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>
TREES			
	AG	19	<i>Acer rubrum</i> 'October Glory'™ / October Glory Maple
	QT	57	<i>Quercus texana</i> / Texas Red Oak
	QV	31	<i>Quercus virginiana</i> / Southern Live Oak
	TD	15	<i>Taxodium distichum</i> / Bald Cypress
	UC	20	<i>Ulmus crassifolia</i> / Cedar Elm
<u>ORNAMENTAL TREE</u>			
	CT	40	<i>Cercis canadensis</i> / Eastern Redbud
	IO	37	<i>Ilex decidua</i> / Possumhaw Holly

SHRUBS

BEA	236	Berberis atropurpurea 'Rose Glow' / Red Leaf Japanese Barberry
ELA	195	Elaeagnus pungens / Elaeagnus
HES	33	Hesperaloe parviflora / Red Yucca
ILB	317	Ilex cornuta 'Burfordii' / Burford Holly
LLS	113	Leucophyllum langmaniae 'Lynn's Legacy' / Texas Sage
ROS	249	Rosmarinus officinalis / Rosemary
YCA	59	Yucca filamentosa 'Color Guard' / Adam's Needle
CKG	80	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
NAS	225	Nassella tenuissima / Mexican Feather Grass
PEH	402	Pennisetum alopecuroides 'Hamelii' / Hameln Dwarf Fountain Grass

GRASSES

GROUNDCOVERS

DW	332	Dianthus gratianopolitanus 'Firewitch' / Firewitch Cheddar Pink
ERA	1,352	Eragrostis curvula / Weeping Lovegrass
EUF	3,888	Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper
HAD	127	Hemerocallis fulva 'Aztec Gold' / Aztec Gold Daylily
LG	364	Liriope gigantea / Giant Liriope
LIR	431	Liriope muscari / Liriope
NC	142	Nepeta mussinii / Catnip

MATCHLINE SEE PAGE LP 1.02

ZE	28	Zinnia elegans / Zinnia
SOD	TBD	Cynodon dactylon / Common Bermuda
HYDRO SEED	TBD	Cynodon dactylon / Common Bermuda
SEED MIX	TBD	Detention Pond and Slope Mix
DG	TBD	Decomposed Granite
STEEL EDGING	TBD	Steel Edging
MULCH	TBD	Shredded Hardwood Mulch

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 21 DAY OF May, 2025.

WITNESS OUR HANDS, THIS 25 DAY OF June, 2025.
PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

PerVIOUS	ImpVIOUS
26%	74%
(41,805 sf)	(117,463 sf)

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC TABLE
NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE TABLE
NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD. NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.
NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

PROJECT NUMBER: SP2025-XXX

LANDSCAPE PLAN
FOR
ROCKWALL MEDICAL BUILDING
8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC.
ADDRESS: 203 WEST NASH ST, SUITE 100
TERRELL, TX 75780
PHONE: (972) 588-4263
CONTACT: MATT LUCAS, P.E.
OWNER
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
DALLAS, TX 75231
PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE
ARCHITECT
BLUE FIN DESIGN
ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B
AUSTIN, TX 78728
PHONE: (865) 228-7440
CONTACT: WARREN L. INCE

SHEET NUMBER
LP 1.01

ROCKWALL MEDICAL
BUILDING
PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX

LANDSCAPE PLAN

Kimley»Horn
13455 NOEL RD. TWO GALLERIA OFFICE TOWER
SUITE 700 DALLAS, TX 75240
PHONE: 972.770.1300 FAX: 972.239.3820
WWW.KIMLEY-HORN.COM TX F-528
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

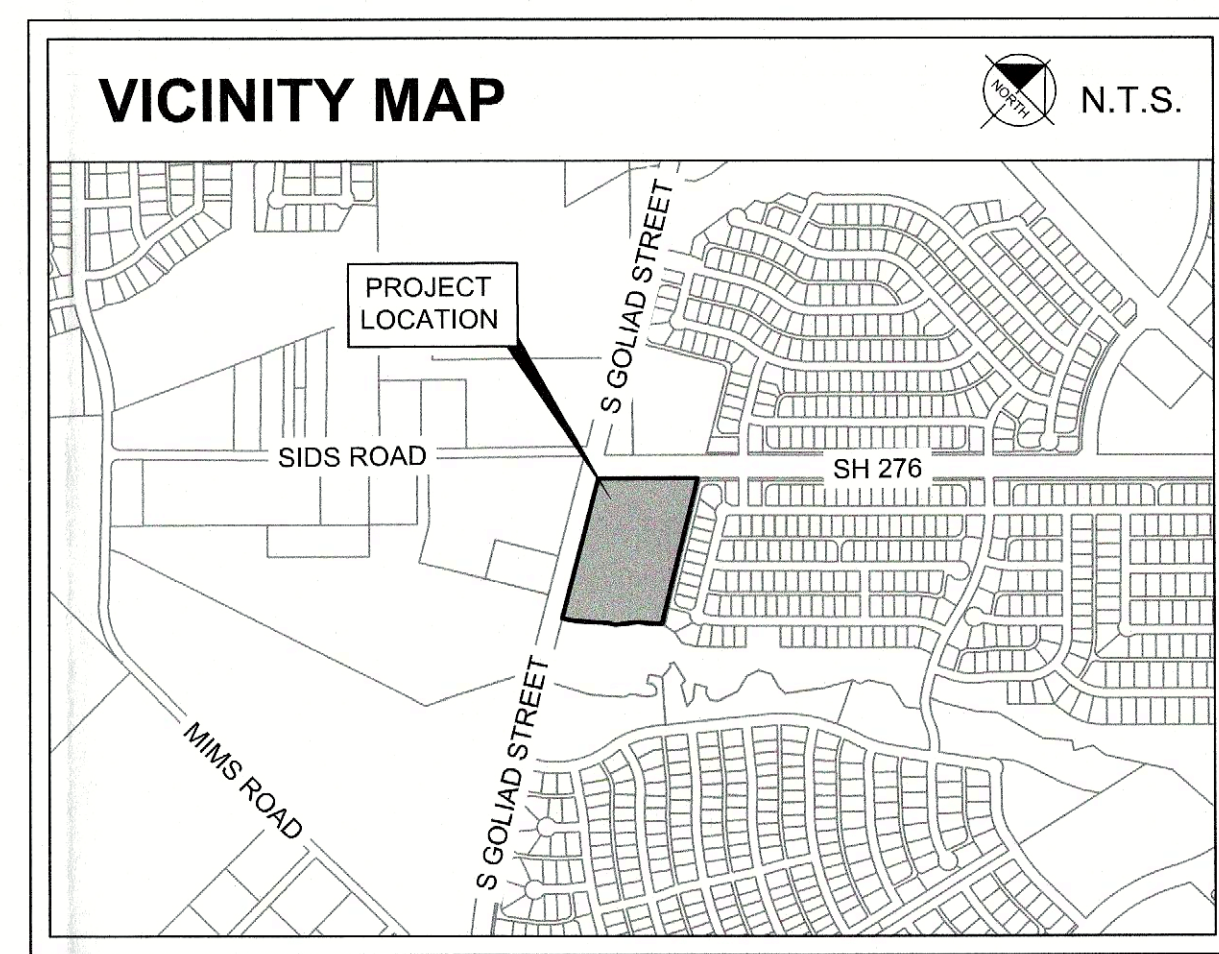
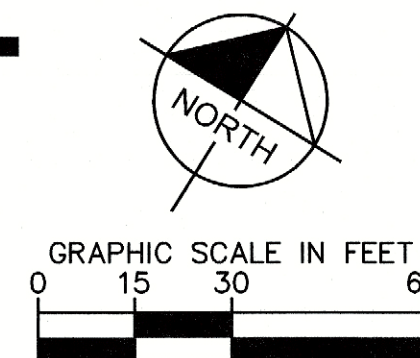
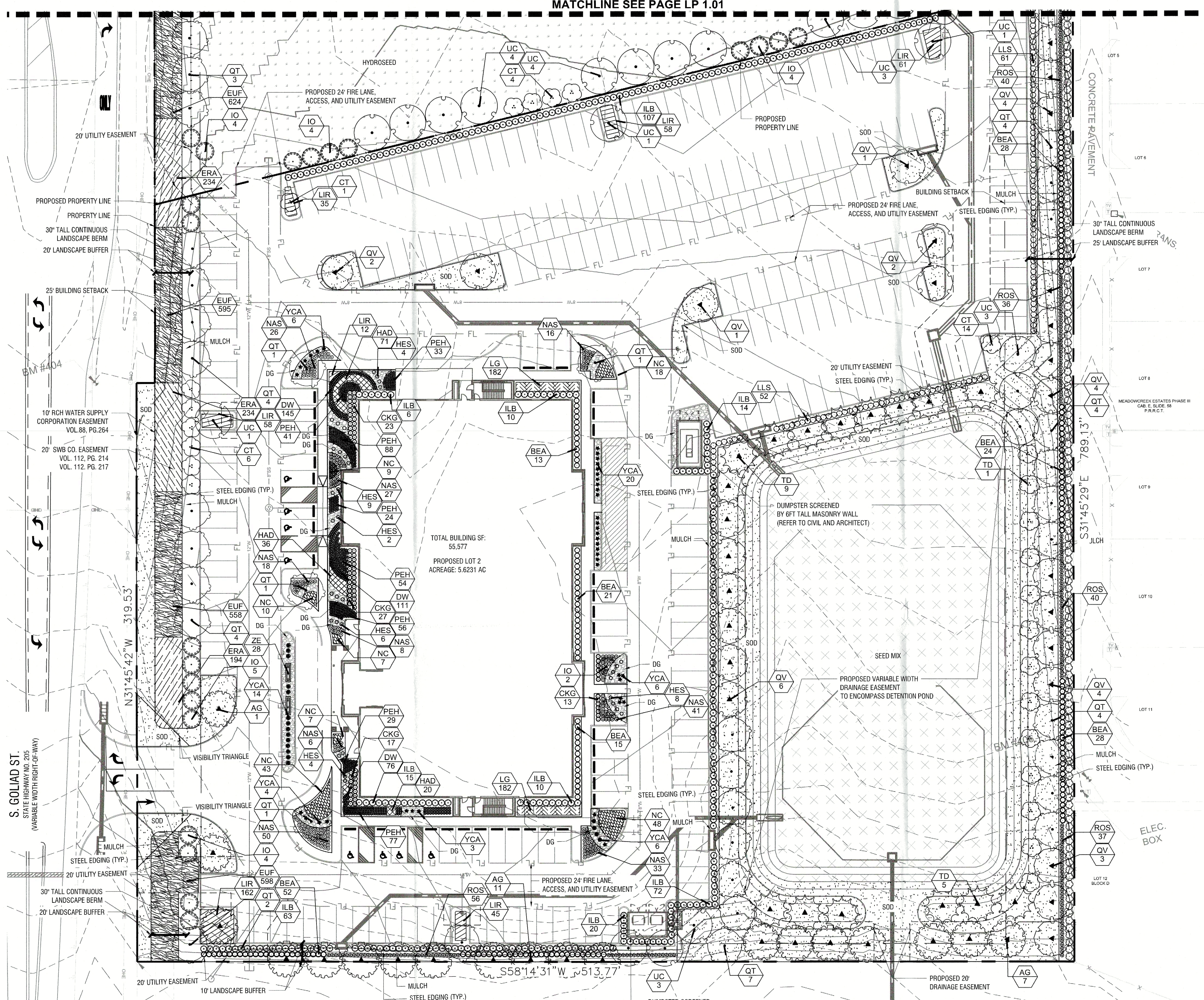
PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley»Horn
13455 NOEL RD. TWO GALLERIA OFFICE TOWER
SUITE 700 DALLAS, TX 75240
PHONE: 972.770.1300 FAX: 972.239.3820
WWW.KIMLEY-HORN.COM TX F-528
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
060016600	5/2/2025			KAE	KAE	NBA

THIS DOCUMENT, TOGETHER WITH THE CONCEPT AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS HEREBY CERTIFIED THAT THE SPECIFIC PURPOSE AND DESIGN FOR WHICH IT WAS PREPARED, ISSUED OR USED, IS THE SPECIFIC PURPOSE AND DESIGN FOR WHICH IT WAS PREPARED, ISSUED OR USED, AND THAT IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

DATE: 05/22/2025
DRAWN BY: JEFF BROCKETTE
CHECKED BY: JEFF BROCKETTE
SCALE: AS SHOWN
DESIGNED BY: KAE
DRAWN BY: KAE
CHECKED BY: NBA











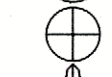
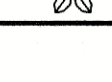
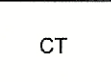
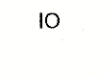
MATCHLINE SEE PAGE LP 1.01



CITY OF ROCKWALL LANDSCAPE REQUIREMENTS		
LANDSCAPE MATERIAL (SECTION 4.A)		
Canopy Trees shall be a minimum of 4" caliper	REQUIRED	PROVIDED
Accent Trees shall be a minimum of 4 ft in total height	Yes	Yes
Shrubs shall be a minimum of 3 gallons in size		
RESIDENTIAL ZONE - LANDSCAPE BUFFERS		
A minimum of a 25-foot wide landscaped buffer must be installed for buildings with a building footprint of 25,000 SF to 49,999 SF (Subsection 04.01.E.4), Article 05, UDC)	REQUIRED	PROVIDED
25 ft	25 ft	25 ft
6 ft masonry fence (Subsection 05.02.B, Article 08, UDC)	6 ft fence	6 ft fence
1 canopy trees / 20 lf (Subsection 05.02.B, Article 08, UDC)	16 canopy trees	16 canopy trees
314 lf / 20 lf = 16 canopy trees		
STATE HIGHWAY NO. 276 - LANDSCAPE BUFFERS		
Retail/Commercial Land Uses: 15-feet (Subsection 06.02.E, Article 05, UDC)	REQUIRED	PROVIDED
15 ft	15 ft	15 ft
Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 canopy trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	11 canopy trees	11 canopy trees
519 lf / 100 lf * 2 = 11 canopy trees		
4 accent trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	21 accent trees	21 accent trees
519 lf / 100 lf * 4 = 21 accent trees		
S. GOLIAD ST. (SH-206) - LANDSCAPE BUFFERS		
SH-206 Overlay District: 20 ft (Subsection 06.02.E, Article 05, UDC)	REQUIRED	PROVIDED
20 ft	20 ft	20 ft
Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 canopy trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	7 canopy trees	7 canopy trees
314 lf / 100 lf * 2 = 7 canopy trees		
4 accent trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	13 accent trees	13 accent trees
314 lf / 100 lf * 4 = 13 accent trees		
PARKING LOT LANDSCAPING		
Parking lots with more than two rows of parking spaces shall have a minimum of 200 sf of landscaping. (Subsection 05.03.E, Article 08, UDC)	REQUIRED	PROVIDED
200 sf	200 sf	200 sf
No parking spaces may be located more than 80-feet from the trunk of a canopy tree. (Subsection 05.03.E, Article 08, UDC)	80 ft	80 ft
LANDSCAPE REQUIREMENTS		
Zoning District: Commercial (C) District 20% required landscaping areas. (Subsection 05.03.A, Article 08, UDC)	REQUIRED	PROVIDED
43,647 sf (20%)	45,354 sf (20.8%)	45,354 sf (20.8%)
20% x 218,234 sf = 43,647 sf		
A minimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage. (Subsection 05.03.A, Article 08, UDC)	21,824 sf (50%)	*21,824 sf (50%)
50% x 43,647 sf = 21,824 sf		
DETENTION BASIN REQUIREMENTS		
1 canopy tree / 750 sf (Subsection 05.03.D, Article 08, UDC)	69 canopy trees	69 canopy trees
52000 sf / 750 sf = 69 canopy trees		
1 accent tree / 1500 sf (Subsection 05.03.D, Article 08, UDC)	34 accent trees	34 accent trees
52000 sf / 1500 sf = 34 accent trees		
SCREENING REQUIREMENTS		
Trash/Recycling enclosures shall be four sided. These receptacles shall be screened by a minimum six foot, solid masonry dumpster enclosure.	REQUIRED	PROVIDED
6 ft wall	6 ft wall	6 ft wall
1 canopy tree / 20 lf (Subsection 01.05.E, Article 05, UDC)	4 canopy trees	4 canopy trees
62 lf / 20 lf = 4 canopy trees		
Screened with evergreen shrubs (Subsection 01.05.B, Article 05, UDC)	Yes	Yes

* Landscape square footage accounts for all planting on building pad, internal islands on the west side of the building and landscape on the southern portion of the commercial site.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
TREES			
	AG	19	Acer rubrum 'October Glory' TM / October Glory Maple
	QT	57	Quercus texana / Texas Red Oak
	QV	31	Quercus virginiana / Southern Live Oak
	TD	15	Taxodium distichum / Bald Cypress
	UC	20	Ulmus crassifolia / Cedar Elm
ORNAMENTAL TREE			
	CT	40	Cercis canadensis / Eastern Redbud
	IO	37	Ilex decidua / Possumhaw Holly
SHRUBS			
	BEA	236	Berberis atropurpurea 'Rose Glow' / Red Leaf Japanese Barberry
	ELA	195	Elaeagnus pungens / Elaeagnus
	HES	33	Hesperaloe parviflora / Red Yucca
	ILB	317	Ilex cornuta 'Burfordii' / Burford Holly
	LLS	113	Leucophyllum langmaniae 'Lynn's Legacy' / Texas Sage
	ROS	249	Rosmarinus officinalis / Rosemary
	YCA	59	Yucca filamentosa 'Color Guard' / Adam's Needle

ORNAMENTAL TREE		
CT	40	Cercis canadensis / Eastern Redbud
IO	37	Ilex decidua / Possumhaw Holly
GRASSES		
CKG	80	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
NAS	225	Nassella tenuissima / Mexican Feather Grass
PEH	402	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass
GROUND COVERS		
DW	332	Dianthus gratianopolitanus 'Firewitch' / Firewitch Cheddar Pink
GROUND COVERS		
ERA	1,352	Eragrostis curvula / Weeping Lovegrass
EUF	3,888	Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper
HAD	127	Hemerocallis fulva 'Aztec Gold' / Aztec Gold Daylily
LG	364	Liriope gigantea / Giant Liriope

LIR	431	Liriope muscari / Liriope
NC	142	Nepeta mussinii / Catnip
ZE	28	Zinnia elegans / Zinnia

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27 DAY OF May, 2025.

WITNESS OUR HANDS, THIS 27 DAY OF May, 2025. PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2025-XXX

LANDSCAPE PLAN FOR ROCKWALL MEDICAL BUILDING 8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: PD-10 PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 PHONE: (972) 558-4283 CONTACT: MATT LUCAS, P.E. OWNER: VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE ARCHITECT: BLUE FIN DESIGN ADDRESS: 14026 NORTH MOPAC EXPRESSWAY, SUITE 100 AUSTIN, TX 78728 PHONE: (855) 228-1440 CONTACT: WARREN L. INCE APPLICANT: VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE

ROCKWALL MEDICAL BUILDING

PREPARED FOR VUE REAL ESTATE CITY OF ROCKWALL, TX

LANDSCAPE PLAN

SHEET NUMBER LP 1.02

Kimley»Horn

13455 NOEL RD. TWO GALLERIA OFFICE TOWER SUITE 100 DALLAS, TX 75249-3820 PHONE: 972.740.1000 FAX: 972.228.9320 WWW.KIMLEY-HORN.COM TX 7-928 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.

PRELIMINARY Kimley»Horn P.L.A. No. 544 Date: 5/2/2025

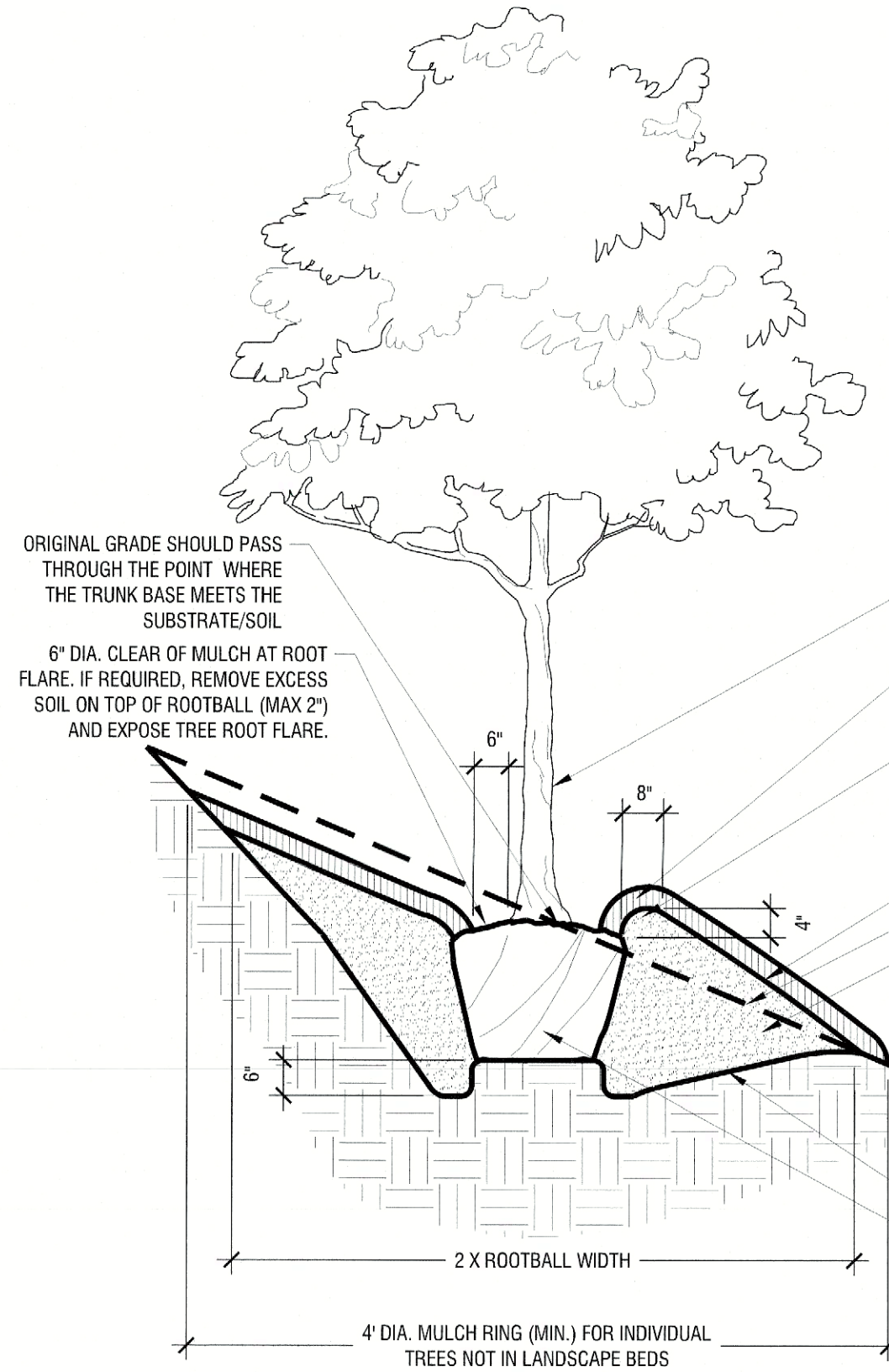
KHA PROJECT 060016600 DATE 5/2/2025 SCALE AS SHOWN DESIGNED BY KAE DRAWN BY KAE CHECKED BY NBA

REVISIONS No. DATE BY

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DETAILS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND PROJECT FOR WHICH IT WAS PREPARED. REUSE OF AND MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN AUTHORIZATION OF KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

DATE: 5/2/2025
DRAWN BY: JACOB
CHECKED BY: JACOB
DESIGNED BY: JACOB
SCALE: AS SHOWN
PROJECT: KHA PROJECT 060016600
SHEET: 3040

- NOTES:
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. TREE STAKING DETAIL THIS SHEET.

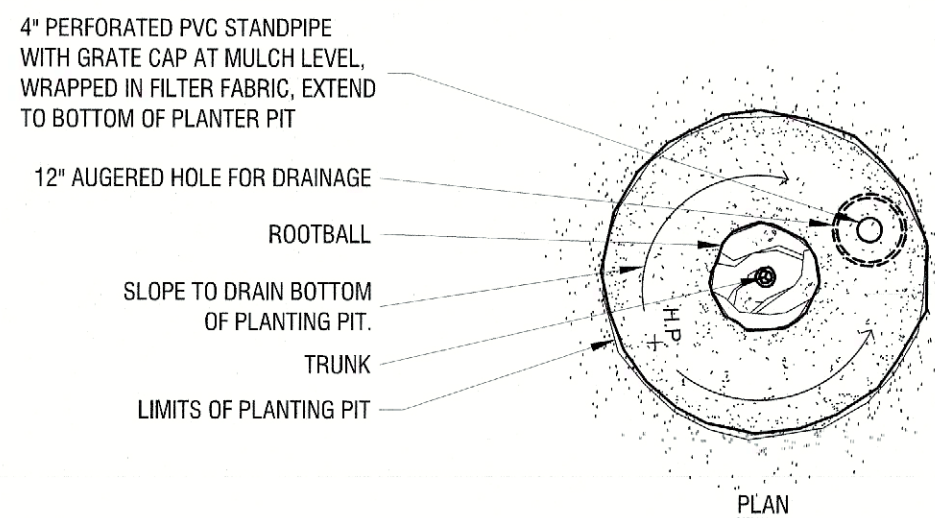


- TRUNK/ROOTBALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT
- 3\"/>

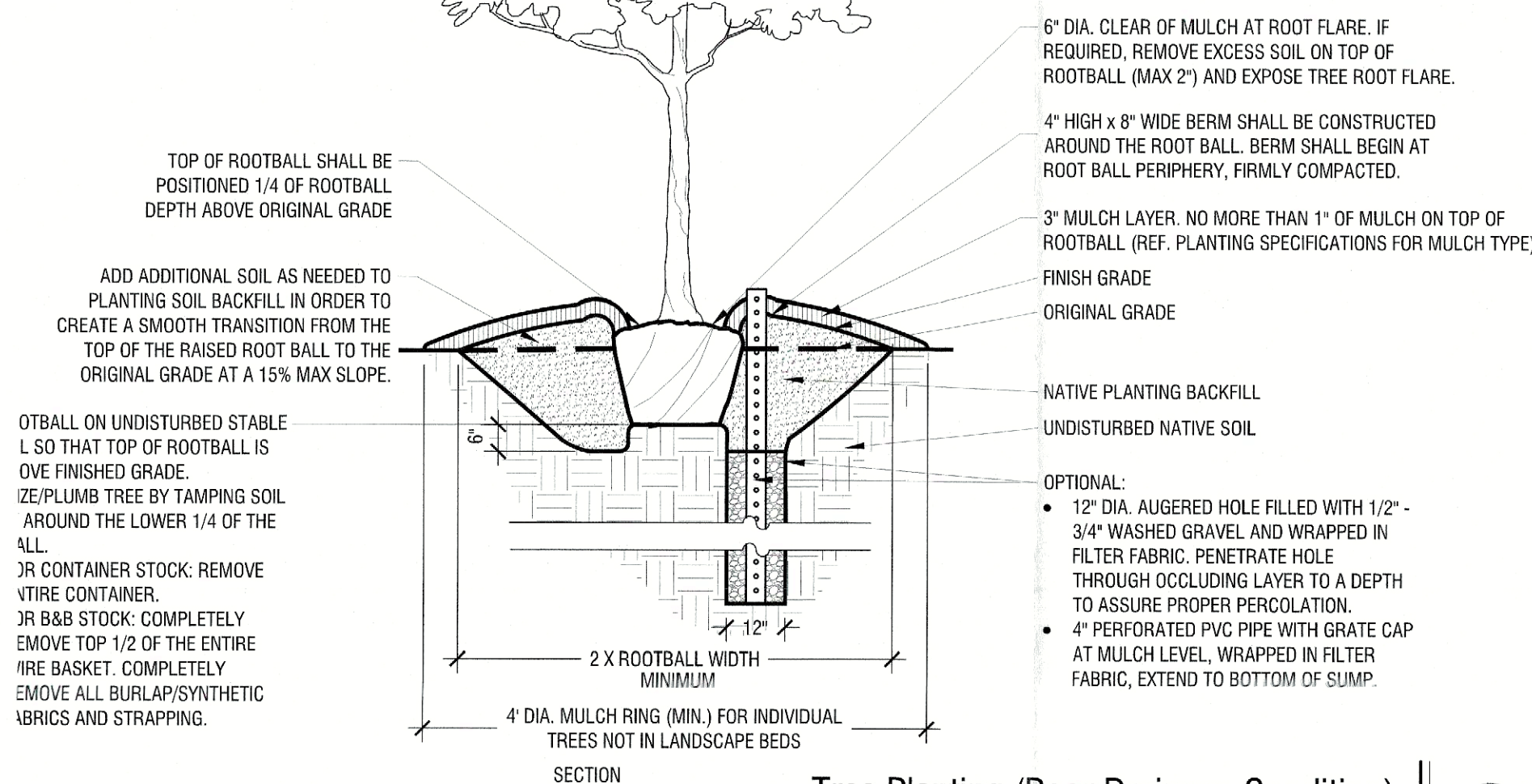
Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes)

Scale: NTS

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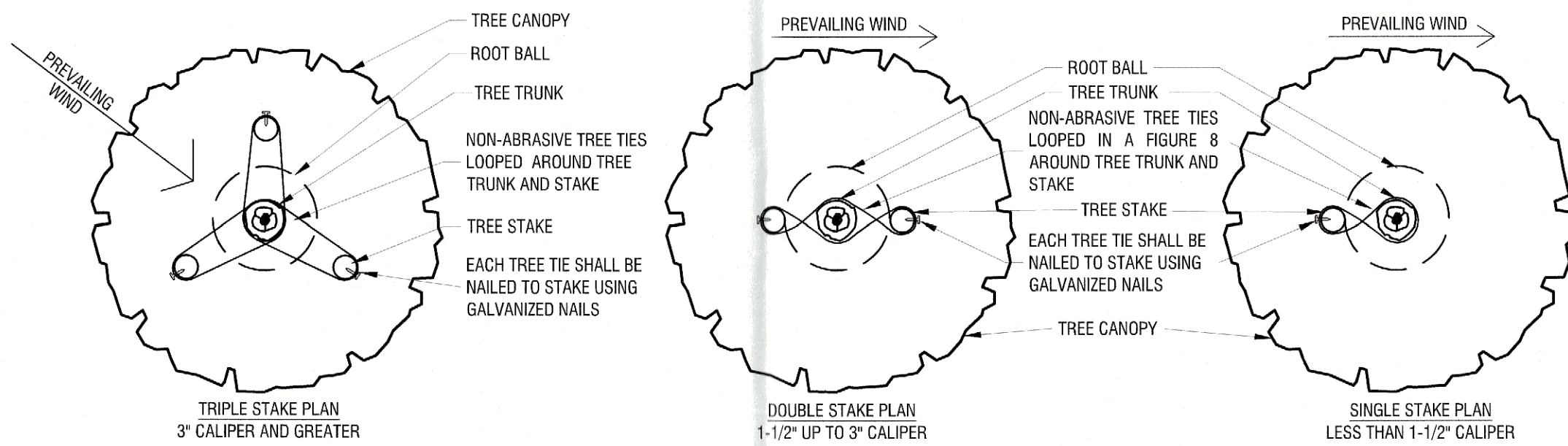
- NOTES:
1. THIS DETAIL IS FOR TREE PLANTING IN POOR DRAINAGE CONDITIONS ONLY. REF. DETAIL A THIS SHEET FOR TYPICAL TREE PLANTING.



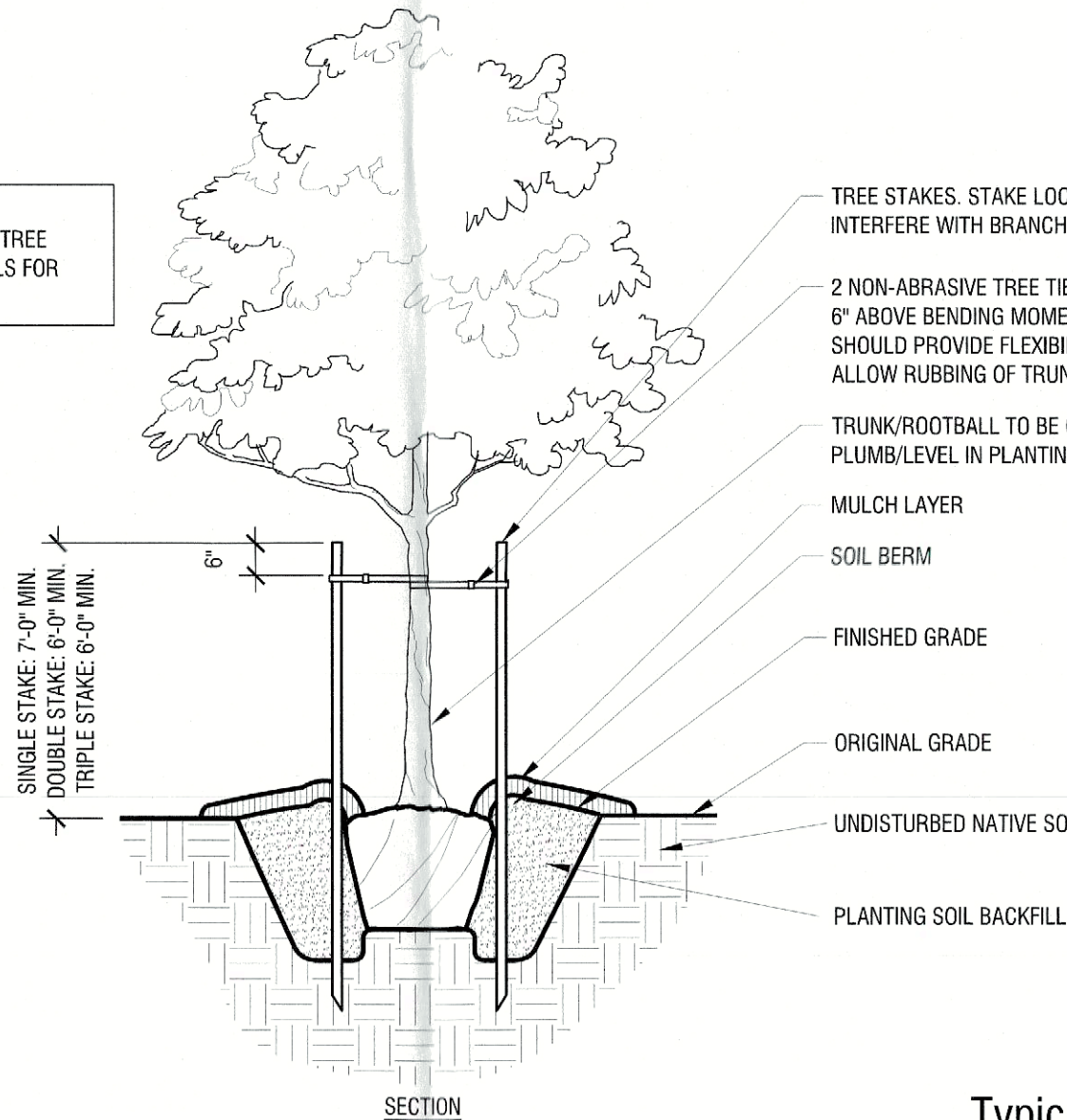
Tree Planting (Poor Drainage Condition)

Scale: NTS

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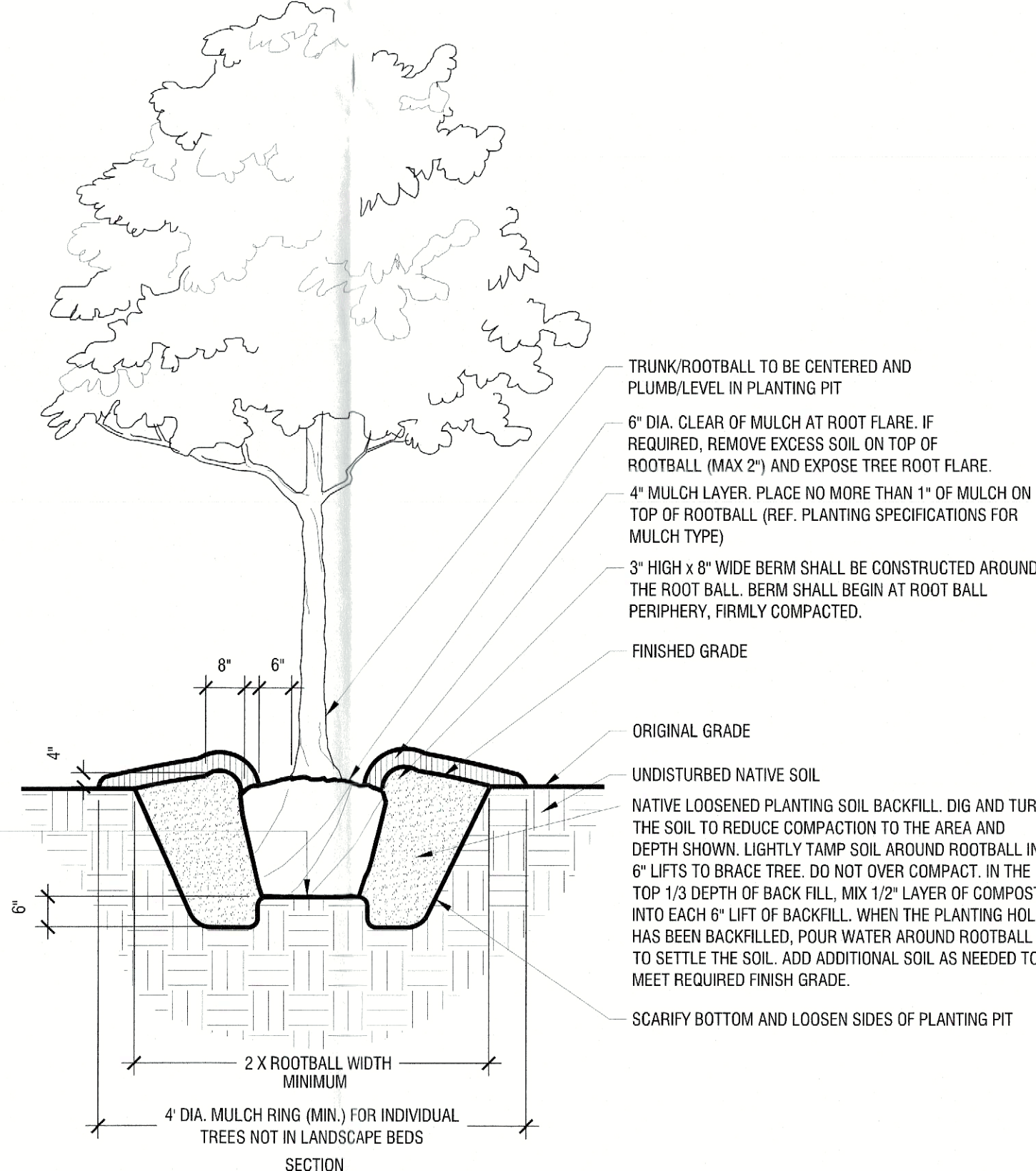
- NOTES:
1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.



Typical Tree Staking

Scale: NTS

B



Typical Tree Planting (Up to 3\"/>

Scale: NTS

A

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27 DAY OF May, 2025.

WITNESS OUR HANDS, THIS 25 DAY OF Jun, 2025
PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2025-XXX

LANDSCAPE DETAILS FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC.
ADDRESS: 203 WEST NASH ST, SUITE 100
DALLAS, TX 75180
PHONE: (972) 588-4283
CONTACT: MATT LUCAS, P.E.

OWNER
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
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PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

APPLICANT
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
DALLAS, TX 75231
PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

ARCHITECT
BLUE FIN DESIGN
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AUSTIN, TX 78728
PHONE: (855) 228-7440
CONTACT: WARREN L. INCE

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13455 NOEL RD. TWO GALLERIA OFFICE TOWER
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PHONE: 972-770-1300 FAX: 972-235-3820
WWW.KIMLEY-HORN.COM TX F-928

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PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley»Horn
P.L.A. NIKOLAUS B. ADAMS
L.A. No. 3804 Date 5/2/2025

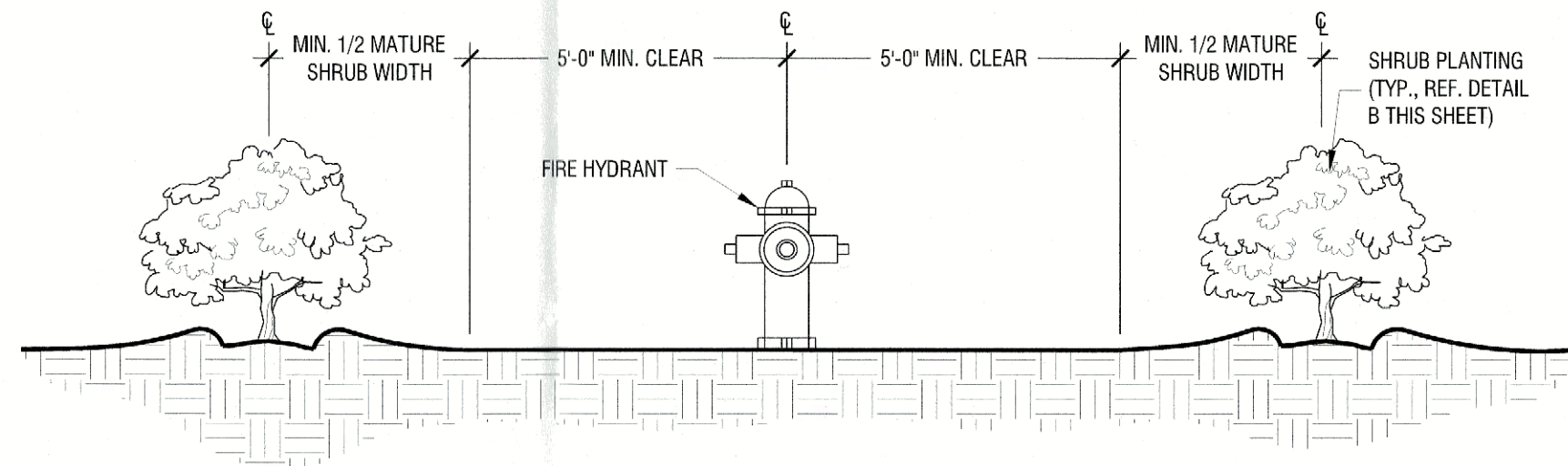
KHA PROJECT	060016600
DATE	5/2/2025
SCALE	AS SHOWN
DESIGNED BY	KAE
DRAWN BY	KAE
CHECKED BY	NBA

ROCKWALL MEDICAL BUILDING
PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX

LANDSCAPE DETAILS

SHEET NUMBER
LP 3.01

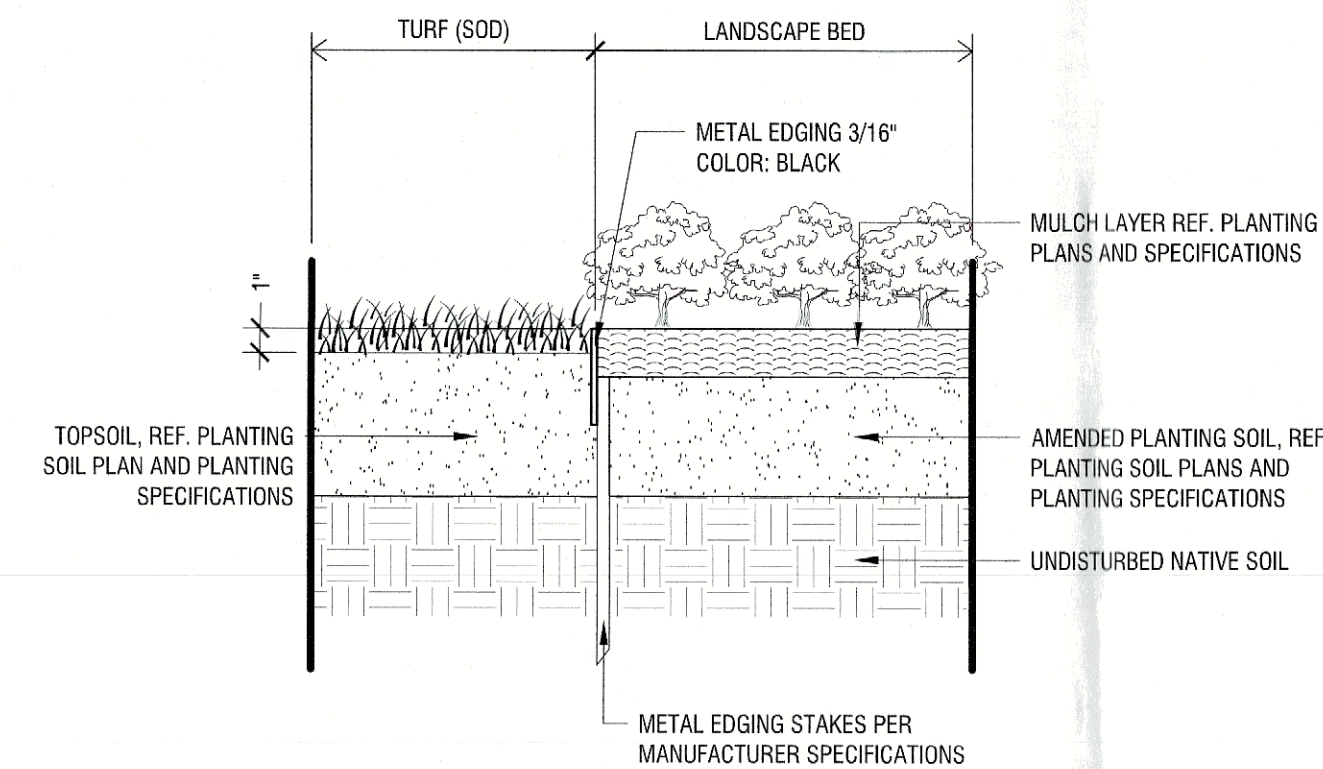
- NOTES:
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT
 3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUND COVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



Shrub Planting at Fire Hydrant

Scale: NTS

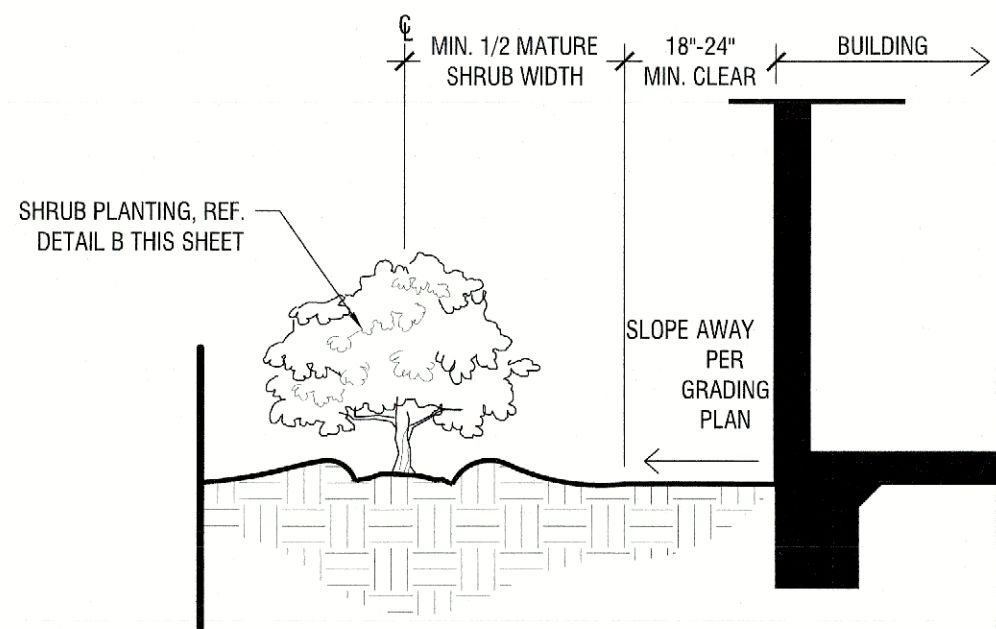
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METAL EDGING (AT TURF & LANDSCAPE BED)

Scale: 1 1/2\"/>

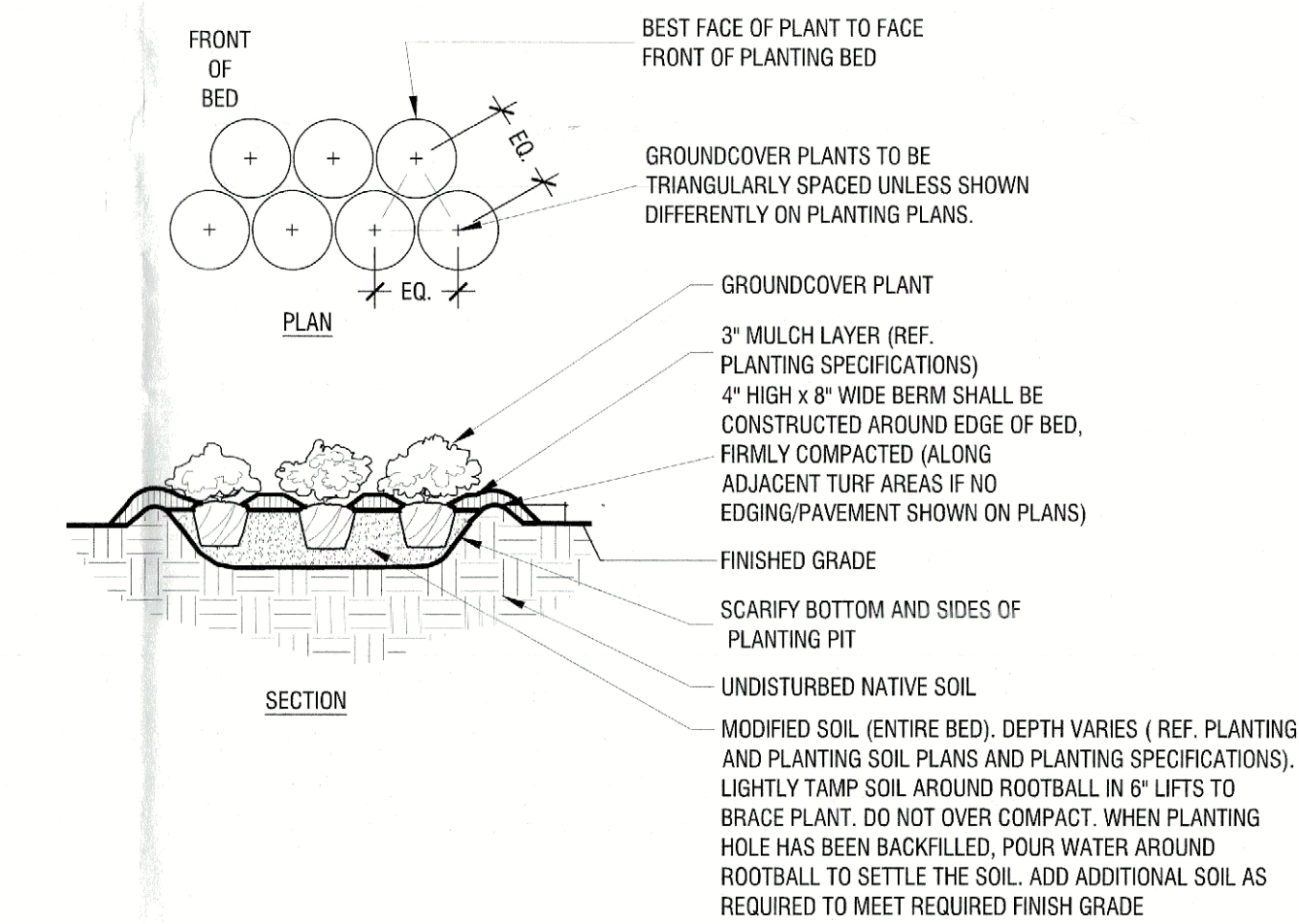
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Shrub Planting at Building Edge

Scale: NTS

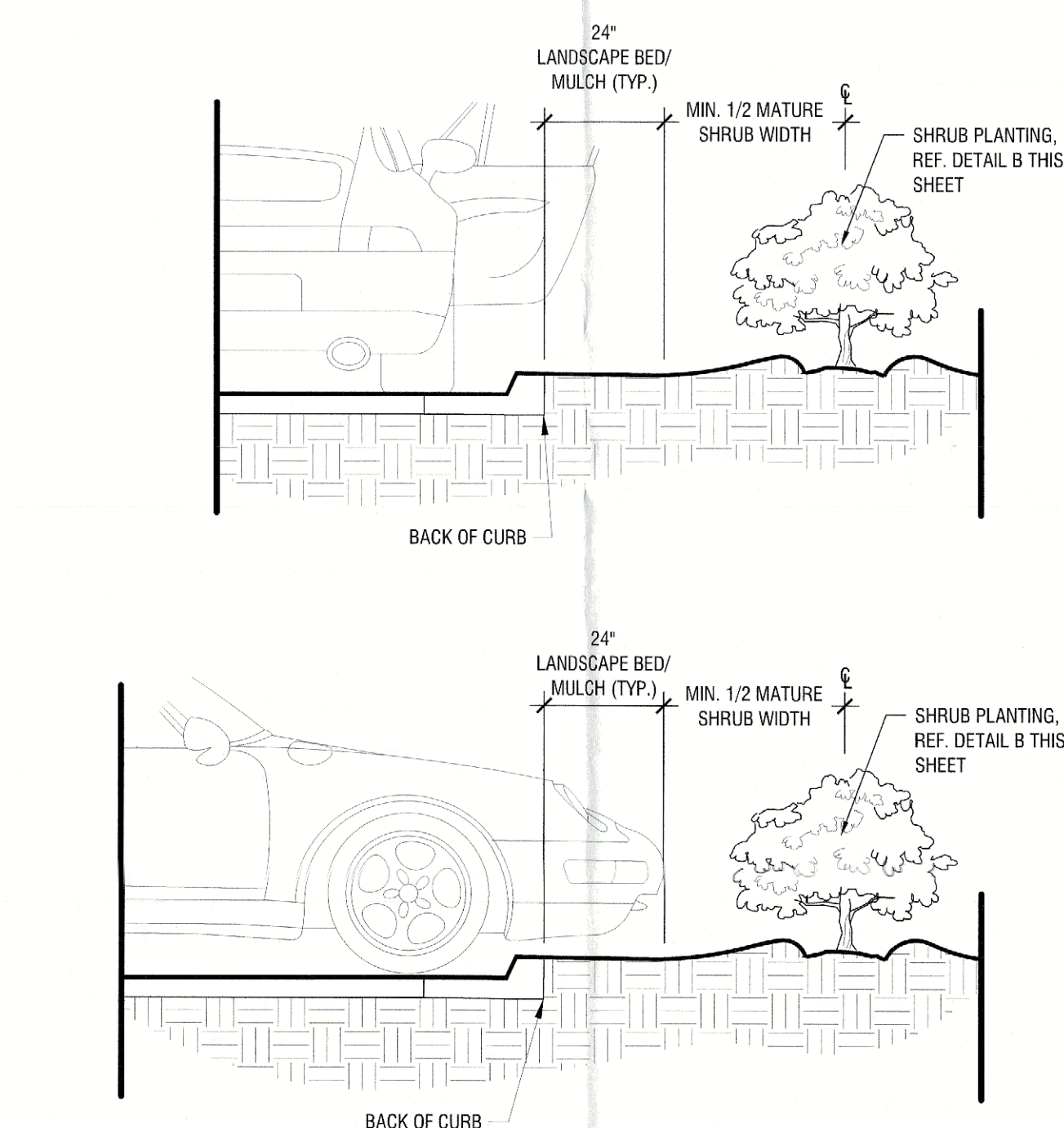
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Typical Groundcover Planting

Scale: NTS

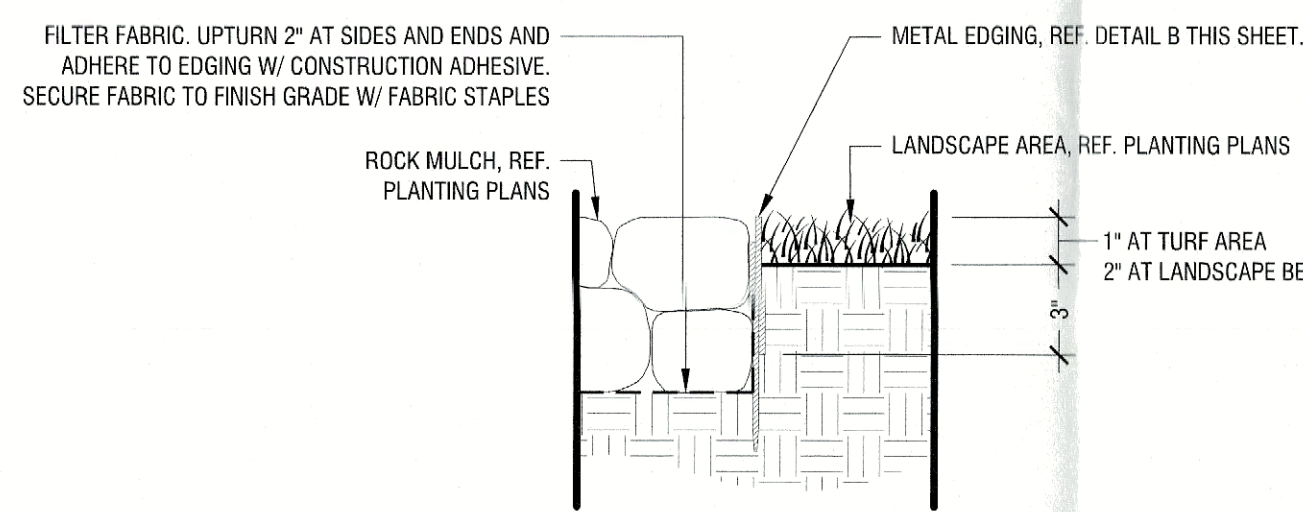
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Shrub Planting at Curb

Scale: NTS

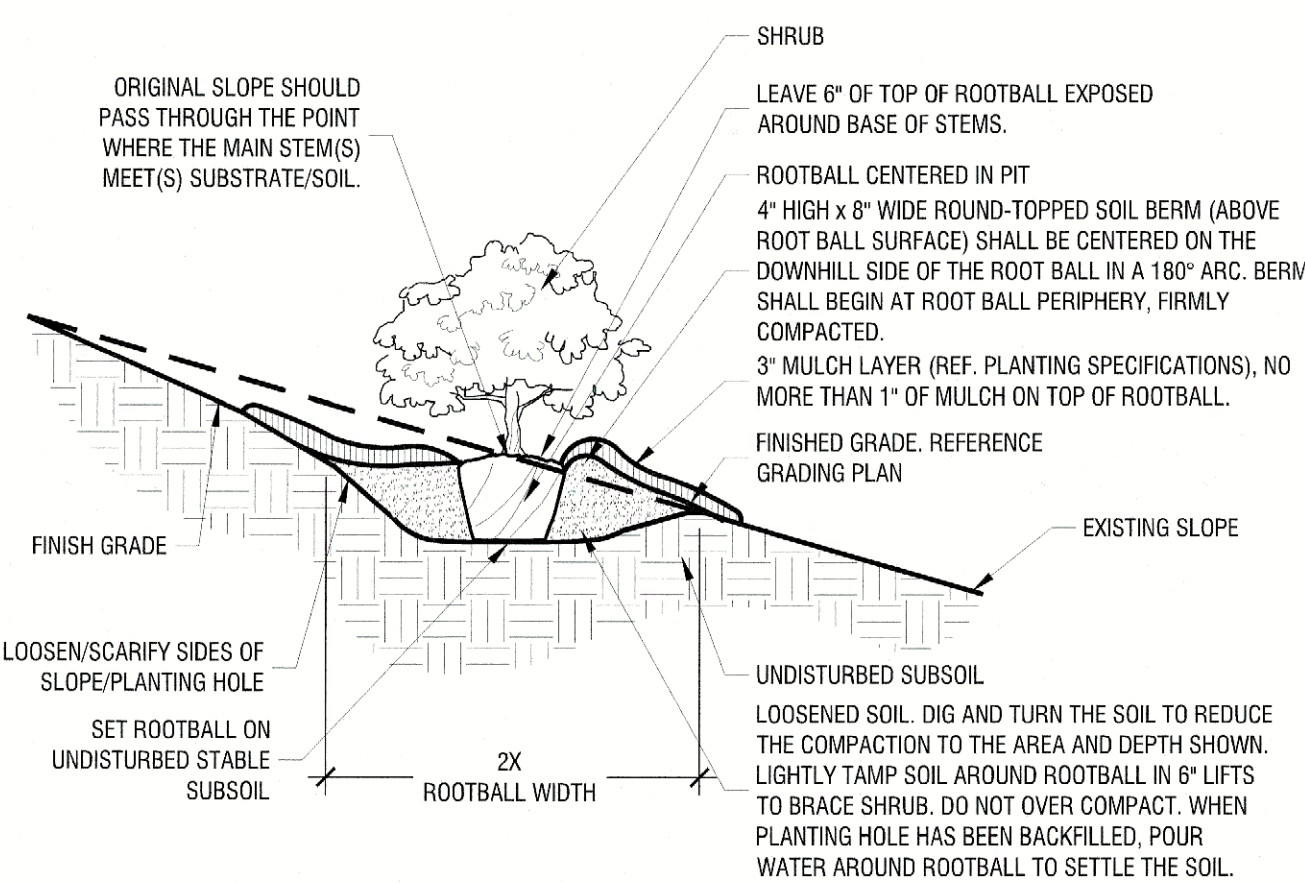
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METAL EDGING (AT ROCK COBBLE BED)

Scale: 1 1/2\"/>

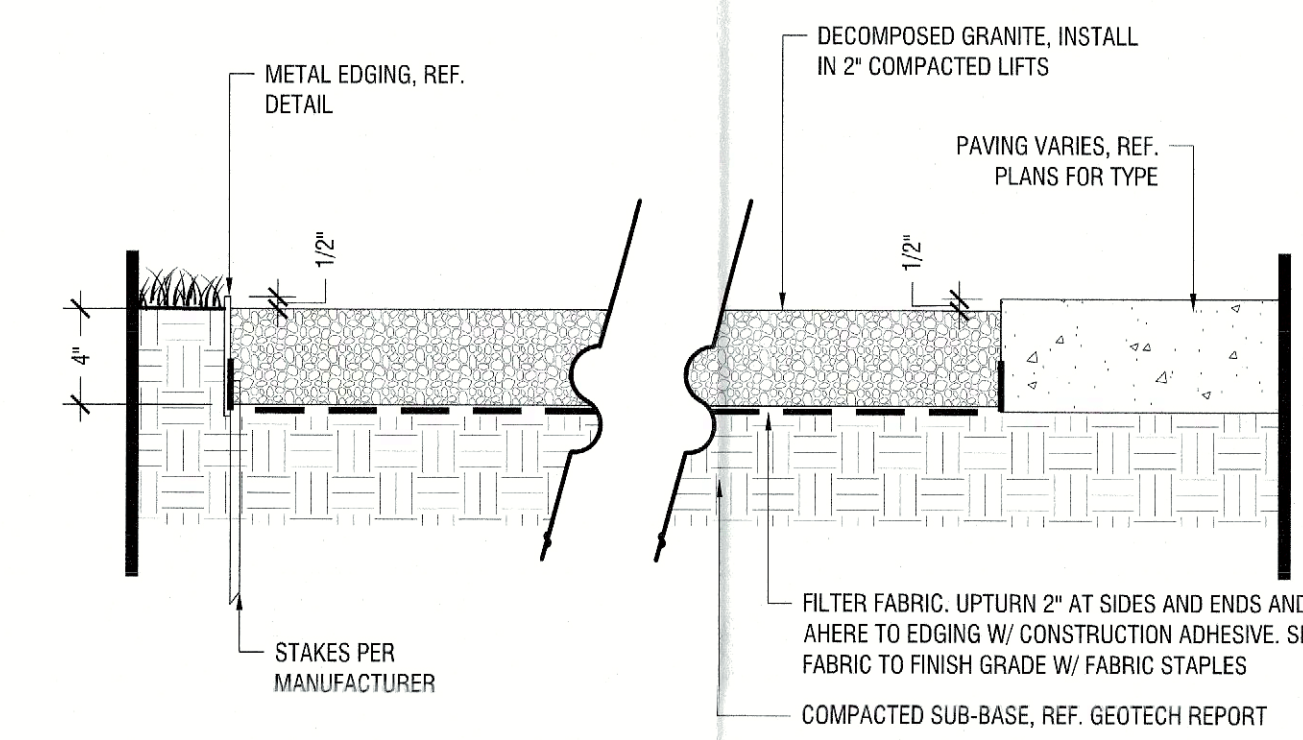
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Shrub Planting On 5-50% (20:1 TO 2:1) Slope

Scale: NTS

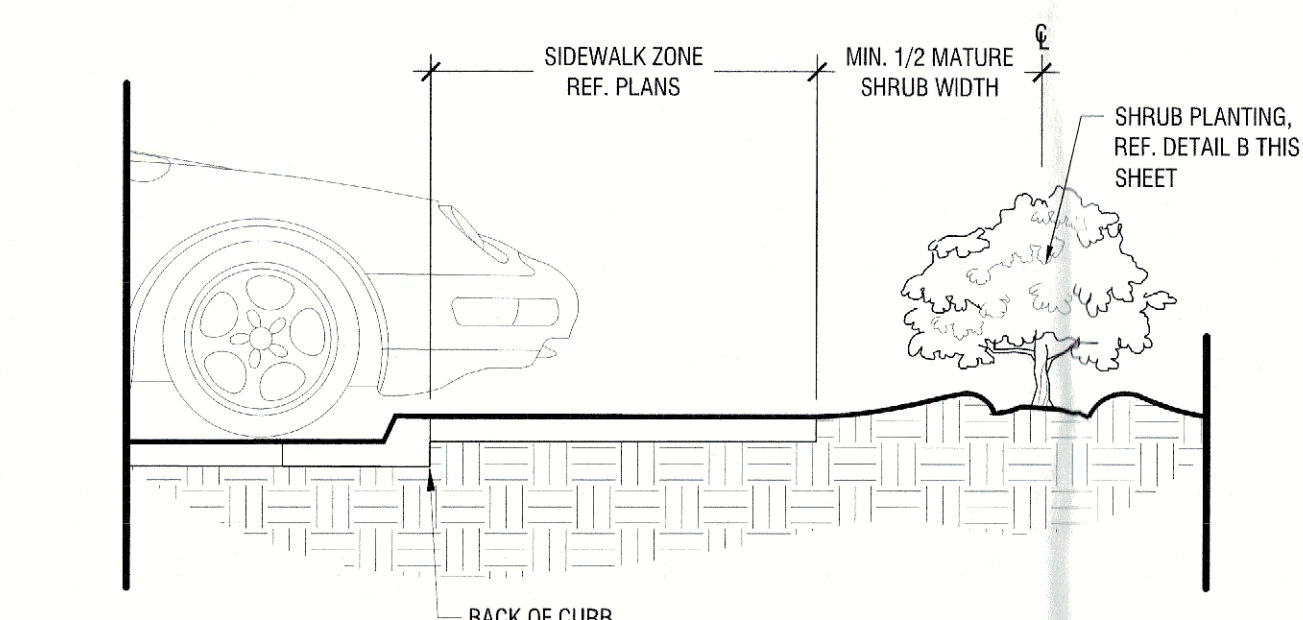
C



Decomposed Granite

Scale: 1 1/2\"/>

I



Shrub Planting at Sidewalk

Scale: NTS

F

SITE PLAN SIGNATURE BLOCK

APPROVED:
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WITNESS OUR HANDS, THIS 25 DAY OF June, 2025

PLANNING & ZONING COMMISSION, CHAIRMAN

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FOR
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MAY 2, 2025

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AUSTIN, TX 78728
PHONE: (855) 226-7440
CONTACT: WARREN L. INCE

ROCKWALL MEDICAL BUILDING

PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX

LANDSCAPE DETAILS

SHEET NUMBER
LP 3.02

PRELIMINARY
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Not for construction or permit purposes.
Kimley»Horn
P.L.A. NINGBAUS B. ADAMS
L.A. No. 3454 Date: 5/2/2025

KHA PROJECT
060016800
DATE
5/2/2025
SCALE
AS SHOWN
DESIGNED BY
KAE
DRAWN BY
KAE
CHECKED BY
NBA

REVISIONS

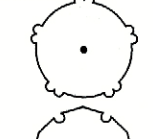
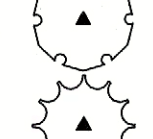
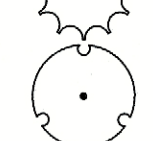

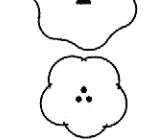

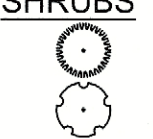
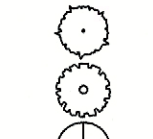
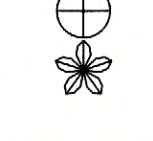
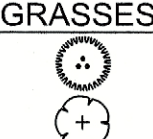



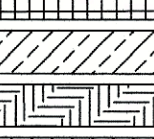
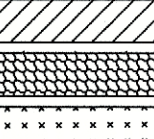
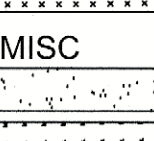
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DATE



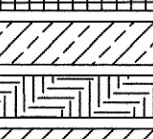
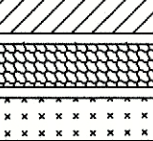
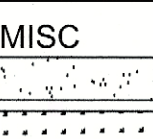
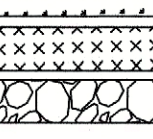
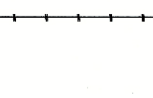
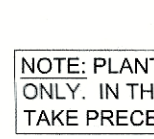


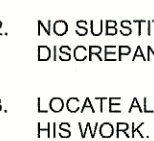
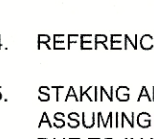
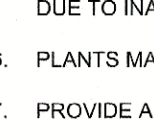
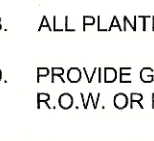
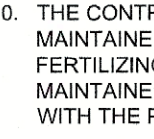
BY

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PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
TREES					
	QT	37	Quercus texana / Texas Red Oak	4" cal, 16' ht, 5'-6" spr	Full, Straight, Single Leader
	QV	22	Quercus virginiana / Southern Live Oak	4" cal, 16' ht, 5'-6" spr	Full, Straight, Single Leader
	TD	45	Taxodium distichum / Bald Cypress	4" cal, 15' ht, 6' spr	Full, Straight, Single Leader
	UC	13	Ulmus crassifolia / Cedar Elm	4" cal, 15' ht, 6' spr	Full, Straight, Single Leader
ORNAMENTAL TREE					
	AT	33	Acer truncatum / Shantung Maple	4" cal, 16' ht, 5'-6" spr	Full, Straight, Single Leader
	CT	14	Cercis canadensis / Eastern Redbud	4" cal, 14' ht, 6' spr	Full, Single Leader
	IO	22	Ilex decidua / Possumhaw Holly	4" cal, 12' ht, 4' spr	Full, Multi-Trunk
SHRUBS					
	BEA	235	Berberis atropurpurea 'Rose Glow' / Red Leaf Japanese Barbary	24" ht, 24" spr, 36" oc	Full, 3 gallon min.
	ELA	153	Elaeagnus pungens / Elaeagnus	24" ht, 24" spr, 48" oc	Full, 3 gallon min.
	HES	36	Hesperaloe parviflora / Red Yucca	18" ht, 18" spr, 24" oc	Full, 3 gallon min.
	ILB	52	Ilex cornuta 'Burfordii' / Burford Holly	36" ht, 30" spr, 42" oc	Full, 3 gallon min.
	ROS	154	Rosmarinus officinalis / Rosemary	18" ht, 18" spr, 24" oc	Full, 3 gallon min.
	YCA	42	Yucca filamentosa 'Color Guard' / Adam's Needle	18" ht, 18" spr, 24" oc	Full, 3 gallon min.
GRASSES					
	CKG	131	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	18" ht, 30" oc	Full, 3 gallon min.
	NAS	233	Nassella tenuissima / Mexican Feather Grass	18" ht, 24" oc	Full, 3 gallon min.
	PEH	344	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass	12" ht, 24" oc	Full, 3 gallon min.

GROUNDCOVERS

	DW	469	Dianthus gratianopolitanus 'Firewitch' / Firewitch Cheddar Pink	6" ht, 12" spr, 18" oc	Full, 1 gallon min.
GROUND COVERS					
	ERA	834	Eragrostis curvula / Weeping Lovegrass	18" ht, 12" spr, 24" oc	Full, 1 gallon min.
	EUF	2,079	Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper	8" ht, 8" spr, 18" oc	Full, 1 gallon min.
	HAD	147	Hemerocallis fulva 'Aztec Gold' / Aztec Gold Daylily	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
	LHG	86	Lantana x 'New Gold' / New Gold Lantana	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
	LG	187	Liriope gigantea / Giant Liriope	12" ht, 12" spr, 12" oc	Full, 1 gallon min.
	LIR	755	Liriope muscari / Liriope	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
	NC	117	Nepeta mussinii / Catnip	4" ht, 8" spr, 24" oc	Full, 1 gallon min.
	ZE	218	Zinnia elegans / Zinnia	4" ht, 12" spr, 12" oc	Full, 1 gallon min.
MISC					
	SOD	TBD	Cynodon dactylon / Common Bermuda	n/a	Solid sod, rolled tight with sand filled joints, 100% weed, disease, and pest free.
	HYDRO SEED	TBD	Cynodon dactylon / Common Bermuda	n/a	Hydroseeded areas. See landscape specifications.
	SEED MIX	TBD	Detention Pond and Slope Mix	n/a	Native American Seed Mix #2808
	DEG	TBD	Decomposed Granite	4" depth	
	STEEL EDGING	TBD	Steel Edging	3/16" x 6'	Black
	MULCH	TBD	Shredded Hardwood Mulch	n/a	3" depth. All trees in soil to receive a 4' dia. mulch ring

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

PLANTING NOTES

- ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
- REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
- STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS MASSSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
- PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
- ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
- PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/ OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT. PROVIDE IRRIGATION AS NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
- CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMUDA SOD AND IRRIGATED.
- ALL LANDSCAPE BEDS TO HAVE TOPSOIL/BEDDING MIX THAT MEETS LANDSCAPE SPECIFICATIONS. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 5.5-7.4, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.
- ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD AND IRRIGATED UNLESS OTHERWISE SHOWN ON PLANS.
- ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

- THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
 - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS OPERATION OF EQUIPMENT. STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP LINE. NO MATERIALS SHALL BE BURIED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSEPHEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4) INCHES CALIPER AS FINED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL
- SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

- MATERIALS SAMPLES
- MULCH ONE (1) CUBIC FOOT
- TOPSOIL ONE (1) CUBIC YARD
- PLANTS ONE (1) OF EACH VARIETY

2. PLANT MATERIALS

- A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING MUST BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE SUBJECT TO THE APPROVAL OF THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

- B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

- C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS. LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

1. ASTM D5958, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SOOS, STIFF CLAY, STONES LARGER THAN 1 INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL.

2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED, ONKATE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.

3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR EACH SQUARE FOOT OF PLANTING AREA. INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITHIN INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO BE PROVIDED.

4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.

5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOSS, OR MARSHES.
6. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CERTIFICATION THAT PERMITS ARE CURRENT AND ACTIVE.

7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE.

8. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW:

- a. ORGANIC SOIL AMENDMENTS

1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS; FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO PLANT GROWTH.

2. BACK TO NATURAL COTTON BURR COMPOST OR APPROVED EQUIVALENT.

3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.

4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.

5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.

6. WORM CASTINGS: EARTHWORMS.

- b. INORGANIC SOIL AMENDMENTS

1. LIME: ASTM C592, CLASS 0 AGRICULTURAL, LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE.

2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.

3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.

4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.

5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

- c. PLANTING SOIL MIX

1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MINOR MATERIALS OR APPROVED EQUAL.

2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL, MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.

3. SOD/SEED AREA TOPSOIL

- ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL. PRIOR TO INSTALLATION, TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 25% (MIN) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL (MIN) CONTAINER.

- IN ADDITION TO TOPSOIL APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24x10x5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER.

5. MULCH

- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL AND GRADE.

L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRO" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "B" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER DETAIL.

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

M. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.

N. COLLECTED STOCK

- WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

O. NATIVE STOCK

- PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

P. MATERIALS LIST

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

Q. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO THE FINISHED GRADE ALLOWING FOR THE THICKNESS OF SOD AND ONE INCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS LINES AND TANKS, WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3. SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM ON-SITE OR APPROVED SOURCE. IF THE CONTRACTOR LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTING AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD OF FOUR (4) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 290.1. UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARUL PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO CLOSURE WILL BE MADE FOR LOSS OF PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MATERIAL HAS BEEN FLOPPED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FELLOW. PROPER JETTING IN SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STOCK" OR EQUAL, IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION I OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

- TWO (2) TABLETS PER 1 GAL. PLANT

- THREE (3) TABLETS PER 3 GAL. PLANT

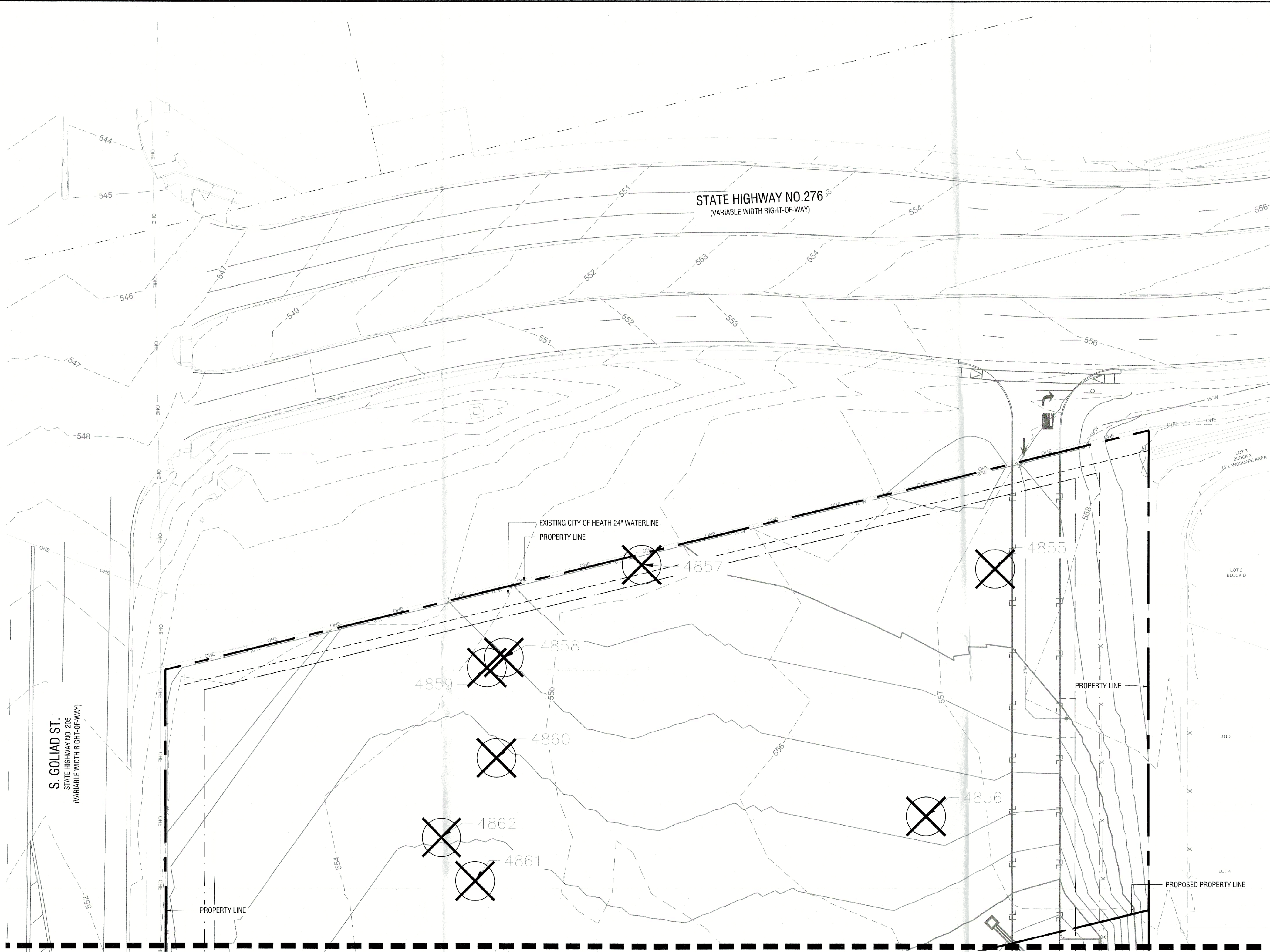
- FOUR (4) TABLETS PER 5 GAL. PLANT

- LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT

X:\Info Pkg - Tree Plan - 05042025\05042025\0513 AM
DRAWN BY: JEFF BROCKETTE
CHECKED BY: JEFF BROCKETTE
DATE: 5/2/2025
DRAWN NAME: JEFF BROCKETTE
CHECKED NAME: JEFF BROCKETTE

This document, together with the concepts and designs presented herein, is an instrument of service, and is intended only for the specific purpose and client for which it was prepared. Reuse of any portion of this document without the written authorization and signature of Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



TREE PRESERVATION AND REMOVAL NOTES

- CONTRACTOR SHALL COORDINATE WITH ISA CERTIFIED ARBORIST AND PROPERTY OWNERS TO VERIFY OBJECTIVES PRIOR TO COMMENCING ANY PRUNING OR TREE REMOVAL ACTIVITIES.
- ALL CREW MEMBERS SHOULD BE WEARING THE APPROPRIATE SAFETY GEAR: HARD HATS, EYE PROTECTION, APPROVED BOOTS, HEARING PROTECTION, CHAIN SAW CHAPS FOR GROUNDWORK.
- ANY TREES REMOVED, AND ALL TREE MATERIALS REMOVED SHALL BE REMOVED FROM THE PROPERTY AT THE CONTRACTOR'S EXPENSE.
- ALL TRASH AND DEBRIS FROM ANY CONSTRUCTION RELATED ACTIVITIES SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE, FOLLOWING COMPLETION OF THE PROJECT.
- ANY DAMAGE TO THE EXISTING LANDSCAPE, PAVEMENT, BUILDING, OR ANY OTHER SITE FEATURES SHALL BE REPLACED BY THE CONTRACTOR AND/OR RESTORED TO PRE-CONSTRUCTION CONDITION.
- CONTRACTOR SHALL PROVIDE REMOVAL, STORAGE, AND TRANSPLANTING OF EXISTING TREES ON SITE. THE CONTRACTOR SHALL REMOVE EACH EXISTING TREE THROUGH THE USE OF HAND DIGGING, OR WITH THE USE OF AN APPROVED MECHANICAL DEVICE. TREES SHALL BE HARVESTED AS BALLED & BURLAPPED TREE SPECIMENS, PER ANSI Z60 STANDARDS, AND TRANSPORTED TO NEW LOCATION ON SITE, OR AT ALTERNATE SITE AS DIRECTED OR APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO PROVIDE FOR REMOVAL, PLACEMENT OF BURLAP, PLACEMENT OF WIRE BASKET OR OTHER APPROVED BALL-SUPPORTING DEVICE, TRANSPORT TO TEMPORARY STORAGE AREA, ONGOING MAINTENANCE AND WATERING DURING CONSTRUCTION, AND RE-PLANTING TO BE PERFORMED UPON COMPLETION OF MAJOR SITE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GUIDELINES AND RECOMMENDATIONS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK.

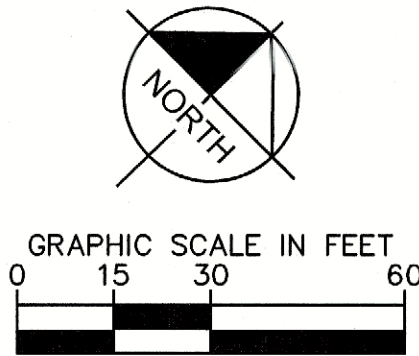
SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 27 DAY OF May, 2025.

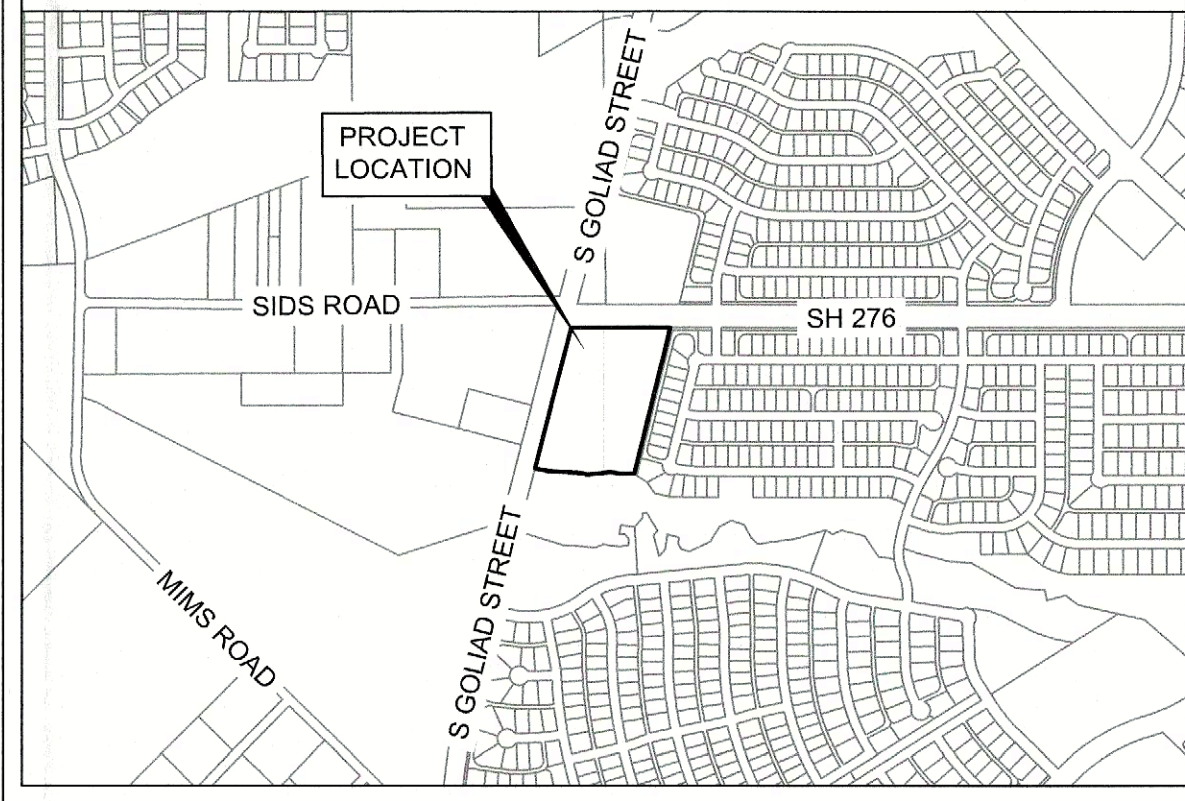
WITNESS OUR HANDS, THIS 25 DAY OF June, 2025

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



VICINITY MAP



Outside Proposed Property Line					
#	SPECIES	CALIPER (IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)
4855	Eastern Redcedar / Juniperus virginiana	13.9 (15 ft tall)	Remove	Healthy (5)	4
4856	Eastern Redcedar / Juniperus virginiana	17.3 (20 ft tall)	Remove	Healthy (5)	4
4857	Eastern Redcedar / Juniperus virginiana	13.7 (15 ft tall)	Remove	Healthy (5)	4
4858	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4
4859	Eastern Redcedar / Juniperus virginiana	11.4 (10 ft tall)	Remove	Healthy (5)	4
4860	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4
4861	Eastern Redcedar / Juniperus virginiana	18.8 (20 ft tall)	Remove	Healthy (5)	4
4862	Eastern Redcedar / Juniperus virginiana	12.2 (12 ft tall)	Remove	Healthy (5)	4
4863	Eastern Redcedar / Juniperus virginiana	12.3 (12 ft tall)	Remove	Healthy (5)	4
4865	Eastern Redcedar / Juniperus virginiana	14.7 (15 ft tall)	Remove	Healthy (5)	4
4866	Eastern Redcedar / Juniperus virginiana	12.6 (12 ft tall)	Remove	Healthy (5)	4
Total Mitigation Required:					44

Inside Proposed Property Line					
#	SPECIES	CALIPER (IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)
4864	Eastern Redcedar / Juniperus virginiana	11 (10 ft tall)	Remove	Healthy (5)	4
4867	Chittamwood / Sideroxylon lanuginosum	9.1 (10 ft tall)	Remove	Declining (1)	0
4868	Eastern Redcedar / Juniperus virginiana	15.4 (15 ft tall)	Remove	Healthy (5)	4
4869	Eastern Redcedar / Juniperus virginiana	14.2 (15 ft tall)	Remove	Healthy (5)	4
4870	Eastern Redcedar / Juniperus virginiana	19.1 (20 ft tall)	Remove	Healthy (5)	4
4871	Eastern Redcedar / Juniperus virginiana	11 (10 ft tall)	Remove	Healthy (5)	4
4872	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4
4873	Eastern Redcedar / Juniperus virginiana	11.1 (10 ft tall)	Remove	Healthy (5)	4
4874	Eastern Redcedar / Juniperus virginiana	14.3 (15 ft tall)	Remove	Healthy (5)	4
4875	Eastern Redcedar / Juniperus virginiana	11.4 (10 ft tall)	Remove	Healthy (5)	4
4876	Eastern Redcedar / Juniperus virginiana	14.3 (15 ft tall)	Remove	Healthy (5)	4
4877	Eastern Redcedar / Juniperus virginiana	11.2 (10 ft tall)	Remove	Healthy (5)	4
4878	Eastern Redcedar / Juniperus virginiana	12.4 (12 ft tall)	Remove	Healthy (5)	4
4879	Eastern Redcedar / Juniperus virginiana	14 (15 ft tall)	Remove	Healthy (5)	4
4880	Eastern Redcedar / Juniperus virginiana	15.3 (15 ft tall)	Remove	Healthy (5)	4
4881	Eastern Redcedar / Juniperus virginiana	15.6 (15 ft tall)	Remove	Healthy (5)	4
4882	Eastern Redcedar / Juniperus virginiana	13.1 (15 ft tall)	Remove	Healthy (5)	4
4883	Eastern Redcedar / Juniperus virginiana	14.4 (15 ft tall)	Remove	Healthy (5)	4
4884	Eastern Redcedar / Juniperus virginiana	13.2 (15 ft tall)	Remove	Healthy (5)	4
4885	Eastern Redcedar / Juniperus virginiana	12.3 (10 ft tall)	Remove	Healthy (5)	4
4886	Eastern Redcedar / Juniperus virginiana	15.7 (15 ft tall)	Remove	Healthy (5)	4
4887	Eastern Redcedar / Juniperus virginiana	11.5 (10 ft tall)	Remove	Healthy (5)	4
4895	Qedar Elm / Ulmus crassifolia	15.5 (15 ft tall)	Remove	Healthy (5)	4
4896	Eastern Redcedar / Juniperus virginiana	18.2 (20 ft tall)	Remove	Healthy (5)	4
4897	Eastern Redcedar / Juniperus virginiana	14.9 (15 ft tall)	Remove	Healthy (5)	4
4898	Eastern Redcedar / Juniperus virginiana	14.8 (15 ft tall)	Remove	Healthy (5)	4
4899	Eastern Redcedar / Juniperus virginiana	18.5 (20 ft tall)	Remove	Healthy (5)	4
Total Mitigation Required:					104
Grand Total Mitigation Required:					148 in

TREE PRESERVATION LEGEND



NOTE: TREE REMOVAL PERMIT SHALL BE REQUESTED AT THE TIME OF TREE REMOVAL.

PROJECT NUMBER: SP2025-XXX

TREE PRESERVATION PLAN FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC.
ADDRESS: 203 WEST NASH ST, SUITE 100
TERRELL, TX 75160
PHONE: (972) 588-4283
CONTACT: MATT LUCAS, P.E.

OWNER
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
DALLAS, TX 75231
PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

APPLICANT
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100
DALLAS, TX 75231
PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

ARCHITECT
BLUE FIN DESIGN
ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B
AUSTIN, TX 78728
PHONE: (855) 228-7440
CONTACT: WARREN L. INCE

No.	REVISIONS	DATE	BY

Kimley»Horn
13455 NOEL RD, TWO GALLERIA OFFICE TOWER
SUITE 700 DALLAS, TX 75240
PHONE: 972.770.1300 FAX: 972.238.3820
WWW.KIMLEY-HORN.COM TX F-928
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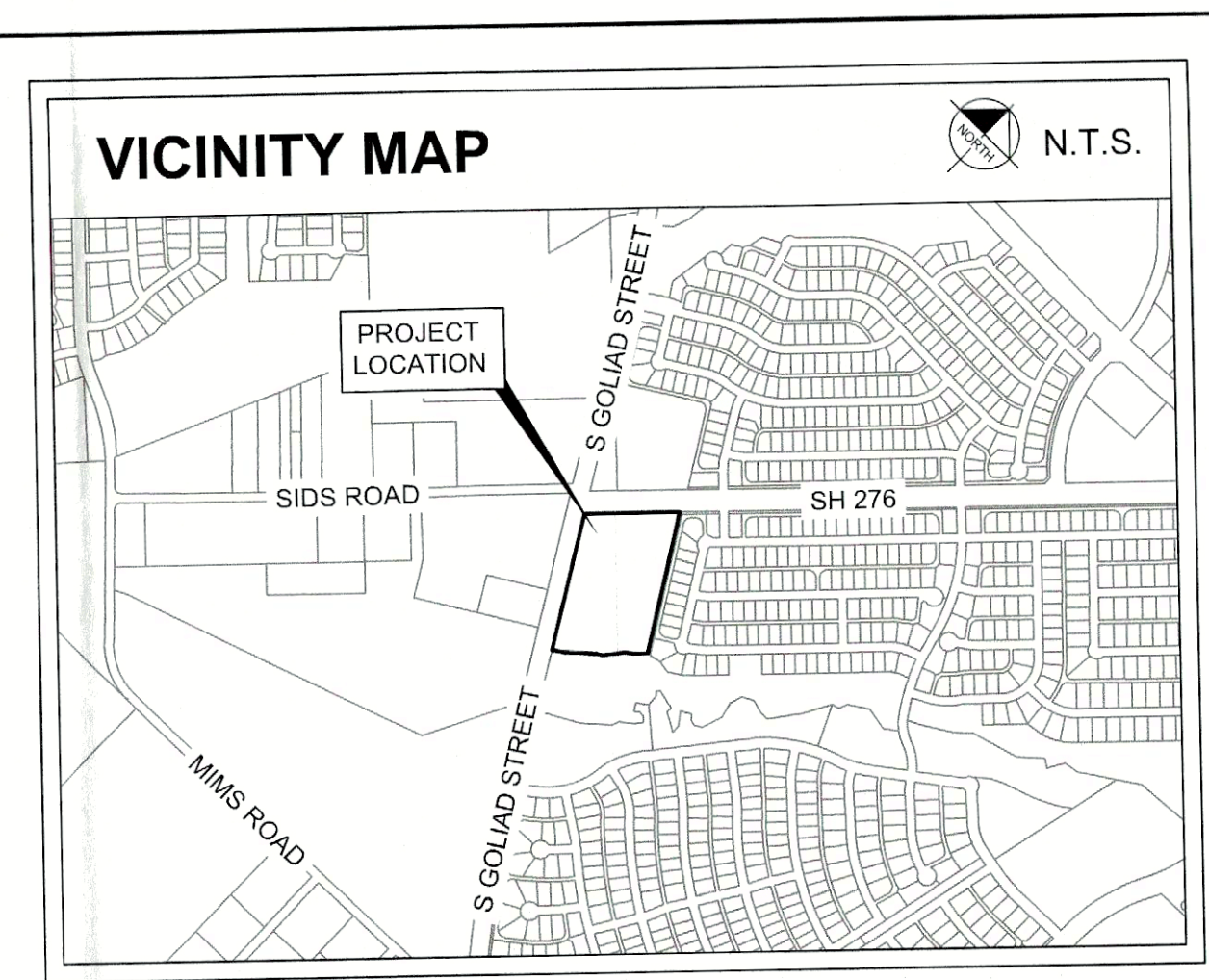
PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley»Horn
P.L.A. NIKOLAUS B. ADAMS
L.A. No. 3404 Date: 5/2/2025

KHA PROJECT	050018600
DATE	5/2/2025
SCALE	AS SHOWN
DESIGNED BY	KAE
DRAWN BY	KAE
CHECKED BY	NBA

ROCKWALL MEDICAL BUILDING
PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX

TREE PRESERVATION PLAN

SHEET NUMBER
LT 1.01



Inside Proposed Property Line					
#	SPECIES	CAULPER (IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)
4864	Eastern Redcedar / <i>Juniperus virginiana</i>	11 (10 ft tall)	Remove	Healthy (5)	4
4867	Chittamwood / <i>Sideroxylon lanuginosum</i>	9.1 (10 ft tall)	Remove	Declining (1)	0
4868	Eastern Redcedar / <i>Juniperus virginiana</i>	15.4 (15 ft tall)	Remove	Healthy (5)	4
4869	Eastern Redcedar / <i>Juniperus virginiana</i>	14.2 (15 ft tall)	Remove	Healthy (5)	4
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4871	Eastern Redcedar / <i>Juniperus virginiana</i>	11 (10 ft tall)	Remove	Healthy (5)	4
4872	Eastern Redcedar / <i>Juniperus virginiana</i>	18.2 (20 ft tall)	Remove	Healthy (5)	4
4873	Eastern Redcedar / <i>Juniperus virginiana</i>	11.1 (10 ft tall)	Remove	Healthy (5)	4
4874	Eastern Redcedar / <i>Juniperus virginiana</i>	14.3 (15 ft tall)	Remove	Healthy (5)	4
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4882	Eastern Redcedar / <i>Juniperus virginiana</i>	13.1 (15 ft tall)	Remove	Healthy (5)	4
4883	Eastern Redcedar / <i>Juniperus virginiana</i>	14.4 (15 ft tall)	Remove	Healthy (5)	4
4884	Eastern Redcedar / <i>Juniperus virginiana</i>	13.2 (15 ft tall)	Remove	Healthy (5)	4
4885	Eastern Redcedar / <i>Juniperus virginiana</i>	12.3 (10 ft tall)	Remove	Healthy (5)	4
4886	Eastern Redcedar / <i>Juniperus virginiana</i>	15.7 (15 ft tall)	Remove	Healthy (5)	4
4887	Eastern Redcedar / <i>Juniperus virginiana</i>	11.5 (10 ft tall)	Remove	Healthy (5)	4
4885	Cedar Elm / <i>Ulmus crassifolia</i>	15.5 (15 ft tall)	Remove	Healthy (5)	4
4896	Eastern Redcedar / <i>Juniperus virginiana</i>	18.2 (20 ft tall)	Remove	Healthy (5)	4
4897	Eastern Redcedar / <i>Juniperus virginiana</i>	14.9 (15 ft tall)	Remove	Healthy (5)	4
4898	Eastern Redcedar / <i>Juniperus virginiana</i>	14.8 (15 ft tall)	Remove	Healthy (5)	4
4899	Eastern Redcedar / <i>Juniperus virginiana</i>	18.5 (20 ft tall)	Remove	Healthy (5)	4
Total Mitigation Required:					104
Grand Total Mitigation Required:					148 in

PROJECT NUMBER: SP2025-XXX

TREE PRESERVATION PLAN
FOR
ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES
SURVEY, ABST. NO. 26 WITHIN THE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 2003 WEST NASH ST, SUITE 100 TERRELL, TX 75261 PHONE: (972) 584-4263 CONTACT: MATT LUCAS, P.E.	OWNER VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 (972) 556-1700 CONTACT: JEFF BROCKETTE
APPLICANT VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE	ARCHITECT BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100E AUSTIN, TX 78728 PHONE: (855) 228-7440 CONTACT: WARREN L. INCE

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE
CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION
OF THE CITY OF ROCKWALL ON THE 29 DAY OF May, 2025.

WITNESS OUR HANDS, THIS 25 DAY OF June, 2025

[Signature]
PLANNING & ZONING COMMISSION, CHAIRMAN

[Signature]
DIRECTOR OF PLANNING AND ZONING

SHEET NUMBER LT 1.02	TREE PRESERVATION PLAN	ROCKWALL MEDICAL BUILDING PREPARED FOR VUE REAL ESTATE CITY OF ROCKWALL, TX	KHA PROJECT 060016600 DATE 5/2/2025 SCALE AS SHOWN DESIGNED BY KAE DRAWN BY KAE CHECKED BY NBA	<div><div>PRELIMINARY</div><div>FOR REVIEW ONLY Not for construction or permit purposes.</div><div>Kimley»Horn</div><div>PLA. NIKOLAUS B. ADAMS L.A. No. 3454 Date 5/2/2025</div></div> <div><div>Kimley»Horn</div><div>13455 NOEL RD., TWO GALLERIA OFFICE TOWER SUITE 700 DALLAS, TX 75240 PHONE: 972-770-1300 FAX: 972-238-3820 WWW.KIMLEY-HORN.COM TX F-928 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.</div></div>		No.	REVISIONS	DATE	BY

