

APPLICATION AND
PRELIMINARY PLAT CHECKLIST

Date 7/24/90

NAME OF PROPOSED SUBDIVISION LOT ONE, FOOD LION- RIDGE ROAD

NAME OF SUBDIVIDER JEM Texas Acquisitions, Inc.

ADDRESS 3538 Gastonia, N.C. 28053 Phone 704/867-4628

OWNER OF RECORD Whittle Development Inc.

ADDRESS P.O. Box 369 Rockwall, Texas 75087 PHONE 214/771-5253

NAME OF LAND PLANNER/SURVEYOR/ENGINEER Cardenas-Salcedo and Associates, Inc.

ADDRESS 5787 S. Hampton, Suite 480 PHONE 214/333-0014

TOTAL ACREAGE 3.7 CURRENT ZONING PD - General Retail

NO. OF LOTS/UNITS one

SIGNED _____

The Following Preliminary Plat Checklist is a summary of the requirements listed under Section VII of the Rockwall Subdivision Ordinance. Section VII should be reviewed and followed when preparing a Preliminary Plat. The following checklist is intended only as a reminder and a guide for those requirements. Use the space at the left to verify the completeness of the information you are submitting. If an item is not applicable to your plan, indicate by placing a check mark.

Provided or Shown Not
On Plat Applicable

I. General Information

<u> x </u>	_____	A. Vicinity map
<u> x </u>	_____	B. Subdivision Name
<u> x </u>	_____	C. Name of record owner, subdivider, land planner/engineer
<u> x </u>	_____	D. Date of plat preparation, scale and north point

APPLICATION AND PRELIMINARY PLAT CHECKLIST

Date 7/24/90

NAME OF PROPOSED SUBDIVISION Food Lion - Rockwall

NAME OF SUBDIVIDER JEM Texas Acquisitions, Inc.

ADDRESS 3538 Gastonia, N.C. 28053 Phone 704/867-4628

OWNER OF RECORD Whittle Development Inc.

ADDRESS P.O. Box 369 Rockwall, Texas 75087 PHONE 214/771-5253

NAME OF LAND PLANNER/SURVEYOR/ENGINEER Cardenas-Salcedo and Associates, Inc.

ADDRESS 3787 S. Hampton, Suite 480 PHONE 214/333-0014

TOTAL ACREAGE 2.7 CURRENT ZONING PD - General Retail

NO. OF LOTS/UNITS one

SIGNED 

The Following Preliminary Plat Checklist is a summary of the requirements listed under Section VII of the Rockwall Subdivision Ordinance. Section VII should be reviewed and followed when preparing a Preliminary Plat. The following checklist is intended only as a reminder and a guide for those requirements. Use the space at the left to verify the completeness of the information you are submitting. If an item is not applicable to your plan, indicate by placing a check mark.

Provided or Shown	Not
<u>On Plat</u>	<u>Applicable</u>

I. General Information

- | | | |
|----------|-----------------------------|--|
| <u>x</u> | <u> </u> | A. Vicinity map |
| <u>x</u> | <u> </u> | B. Subdivision Name |
| <u>x</u> | <u> </u> | C. Name of record owner,
subdivider, land
planner/engineer |
| <u>x</u> | <u> </u> | D. Date of plat preparation, scale
and north point |

III. Surrounding Area

 x _____

A. The record owners of contiguous parcels of unsubdivided land; names and lot pattern of contiguous subdivisions; approved concept plans or preliminary plat

_____ x

B. The approximate location, dimension and description of all existing or proposed lots and blocks, public rights-of-way and easements, parks and open spaces. Specifically indicate how the proposed improvements would relate to those in the surrounding area.

Taken by _____

File No. _____

Date _____

Fee _____

Receipt No. _____

II. Subject Property

 x _____

A. Subdivision boundary lines

 x _____

B. Identification of each lot and block by number or letter

 x _____

C. Dimensions, names and description of all public rights-of-ways, improvements, easements, parks and open spaces, both existing and proposed. Locate and identify existing and/or proposed median openings and left turn channelization

 x _____

D. Proposed land uses, and existing and proposed zoning categories

 x _____

E. Approximate acreage

_____ x

F. Typical lot size; lot layout; smallest lot area; number of lots

 x _____

G. Building set-back lines adjacent to street

 x _____

H. Topographical information and physical features to include contours at 2' intervals, outlines of wooded areas, drainage areas and 50 and 100 year flood limit lines, if applicable

_____ x

I. Location of City Limit lines, contiguous or within plat area

 x _____

J. Location and sizes of existing utilities

 x _____

K. Intended water source and sewage disposal method whether inside City Limits or in extraterritorial jurisdiction

**OVERLAY DISTRICT
SITE PLAN APPLICATION**

Date 7/31/90NAME OF PROPOSED DEVELOPMENT Food Line - RockwallLOCATION OF PROPOSED DEVELOPMENT F.M. 740 @ F.M. 3097NAME OF PROPERTY OWNER/DEVELOPER JEM Texas Acquisitions, Inc.

ADDRESS Post Office
Box 3538 PHONE 214/771-5253
Gastonia, N.C. 75087

NAME OF LAND PLANNER/ENGINEER Cardenas-Salcedo and Associates, Inc.

ADDRESS 5787 S. Hampton, Suite 480 PHONE 214/333-0014
Dallas, Texas 75232

TOTAL ACREAGE 3.7 CURRENT ZONING PD General RetailNUMBER OF LOTS/UNITS 1PROPOSED USE FOR DEVELOPMENT Supermarket

SIGNED _____

Following is a checklist of items that are required as a part of the site plan consideration. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal. All information should be provided on a scaled 18" x 24" sheet. Refer to the Design Guidelines for the Scenic Overlay District for additional information.

<u>Provided or Shown On Site Plan</u>	<u>Not Applicable</u>
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<u> x </u>	<u> </u>
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<u> x </u>	<u> </u>
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<u> x </u>	<u> </u>
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<u> x </u>	<u> </u>
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<u> x </u>	<u> </u>
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1. Key Map showing general location of proposed development.

2. Total lot or site area - if the site is part of a larger tract include a key map showing entire tract and location of site being planned.

3. Location, dimensions, and size of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.

4. Accurate boundary dimensions

5. Location and type of fencing and/or screening of yards and setback areas.

6. Landscape plan meeting the provisions of Ordinance No. 88-28.

7. Location and dimensions of ingress and egress, including drive widths and curb radii, location and dimensions of all existing drives within 100 ft. of proposed development.

8. Location of all easements within the site.

9. Show existing topographic contours on 5 ft. intervals and the existing average grade of all streets adjacent to the site and indicate the proposed pad elevations for all structures.

10. Indicate proposed drive access grades.

11. Include a center cross section of the site including elevations of the ground and buildings taken from the street to the rear of the property. Additional cross sections may be necessary depending on the individual location.

Provided or Shown
On Site Plan

Not
Applicable

x

12. Location, number and dimensions of off-street parking and loading facilities.

x

13. Height of all structures.

x

14. Location, general design, typical elevation and types of all signs (both wall and free standing) including lighting, heights and colors.

x

15. General description of exterior lighting plan including height and type of all light poles.

x

16. Building Plan - include a general layout of all proposed buildings indicating proposed uses.

x

17. Elevation drawings in accordance with the Overlay District Guidelines.

x

18. Location and screening of trash facilities.

x

19. Location of nearest fire hydrant within 500 ft.

x

20. Street names on proposed streets.

x

21. The following additional information:



CITY OF ROCKWALL

"THE NEW HORIZON"

Rockwall, Texas 75087-3628

(214) 771-1111

Cash Receipt

Name JEM Tex Acquisition Inc. Date _____

Mailing Address _____

Job Address _____ Permit No. _____

Check ☒

Cash ☐

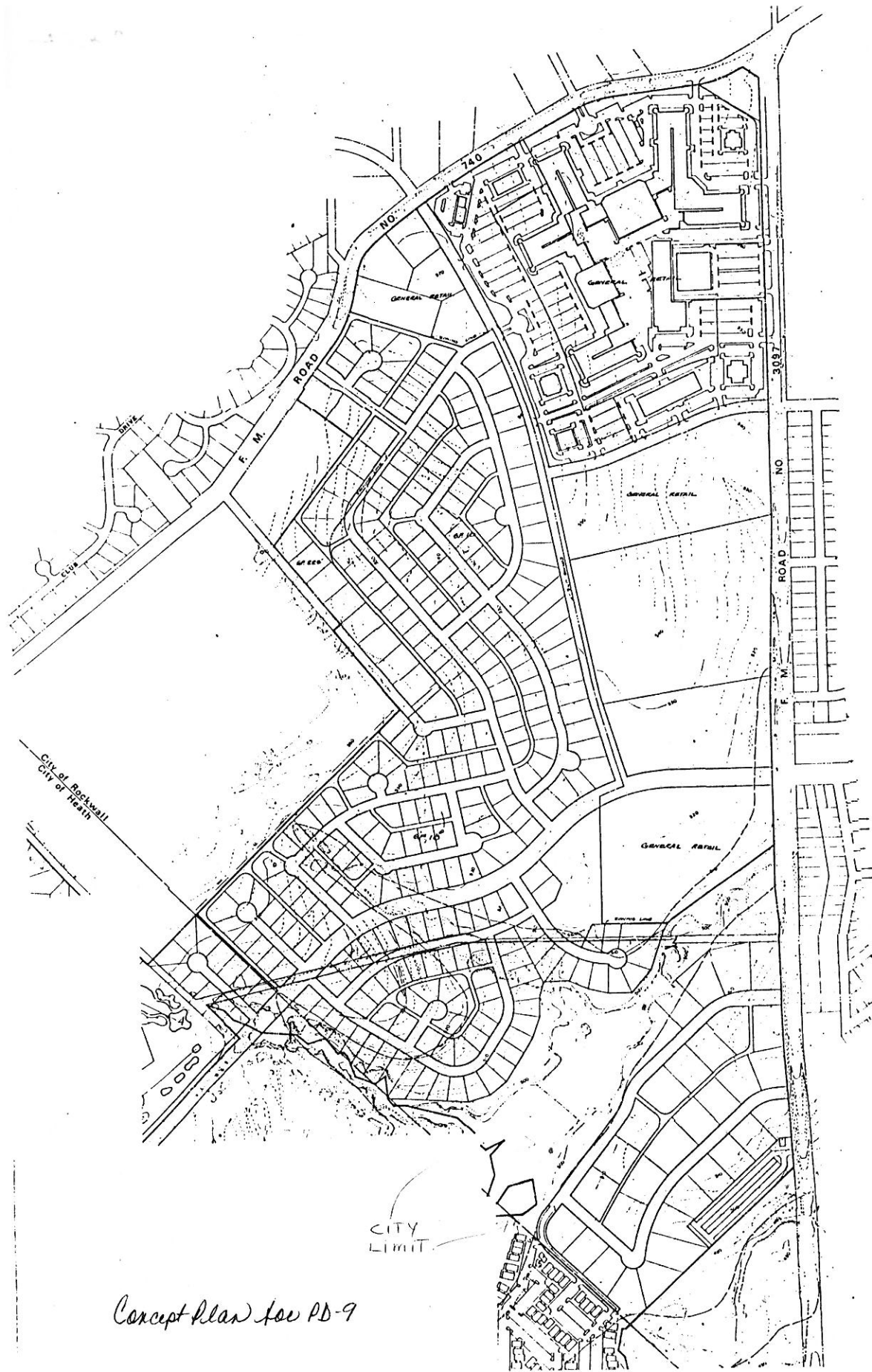
Other ☐

DESCRIPTION	Acct. Code	Amount	DESCRIPTION	Acct. Code
Building Permit	01-3601		Water Tap	02-3311
Fence Permit	01-3602		10% Fee	02-3311
Electrical Permit	01-3604		Sewer Tap	02-3314
Plumbing Permit	01-3607		Water Availability	06-3835
Mechanical Permit	01-3610		Sewer Availability	07-3836
Municipal Pool	01-3402		Meter Deposit	02-2201
Zoning, Planning, B.O.A.	01-3411	112.00	Portable Meter Deposit	02-2202
Subdivision Plats	01-3412		Misc. Income	02-3819
Sign Permits	01-3628		NSF Check	02-1128
Health Permits	01-3631		Meter Rent	02-3406
Misc. Permits	01-3625		Penalties	20-3117
Misc. Income	01-3819		Hanger Rent	20-3406
Sale of Supplies	01-3807		Tie Down Fees	20-3407
Marina Lease	08-3810		Land Lease	20-3804
Cemetery Receipts	10-3830		Sale of Supplies	20-3807
PID	13-3828		Airport Cred. Cd.	20-1132
Street	14-3828		Fuel Sales	20-3809
Hotel/Motel Tax	15-3206			
TOTAL OF COLUMN			TOTAL OF COLUMN	

TOTAL DUE

112.00

Received By 2



Concept Plan for PD-9

Recommendation

Response

1. That a detailed traffic analysis be completed including the design of a center turn lane on FM-740, the possible provision of a north bound turn acceleration lane on FM-740, the request for a 36 ft. entrance drive with three lanes, and both internal and external stacking conditions. The Board generally stated that their preference was for 30 ft. drives but that the drive conditions should be studied along with the other traffic issues. Their recommendation was that the study be completed in conjunction with the review of the final plat.

The developer does not object to a traffic analysis of the project. They are very interested in keeping the 36' drive entrances and believe that a detailed design of the drives would address concerns. They are willing to consider the construction of an acceleration lane northbound in addition to the center turn lane if that is necessary to have the wider drives. We have briefly spoken to John Reglin and he believes the drives can be designed to function with the three lanes.
2. That the parking lot lighting poles not exceed 20 feet in height. The applicant had requested the use of 40 ft. poles.

This was a concern of the developer. They use a standard 40' pole to obtain the lighting required by Food Lion. They have indicated that the number of poles will increase from 2 to 8 if they use 20 foot poles. The Board felt quite strongly about this item. The applicant had suggested the use of 30 ft. poles at the Commission meeting, however the Commission felt that the pole height should remain at a maximum of 20 ft.
3. That the joint access easements be established on the final plat and include the drives into the project.

The developer has indicated no problem with this recommendation.
4. That a raised sidewalk be provided along the front and south side of the building.

This is a significant concern to the Food Lion Company. They apparently do not use a raised sidewalk on any of their installations and they in fact remove them if they occupy an existing site. They prefer that the paving have no obstructions to the building. They have no problem with providing a walk area along the south side of the building, as shown on the attached site plan, but they again do not want to raise that walk. If this is approved the fire lane in the front does need to be painted to insure that it is not used for parking.

The Planning and Zoning Commission has recommended that they not be required to provide a raised sidewalk.
5. That the screen along FM-3097 for the loading area consist of a 3 ft. berm with a minimum of 3 ft. Photinia hedge not less

The applicant has no problem with this recommendation and has incorporated the changes in the revised landscape Plan that is included in Your

than six inches from the top of the berm. The photinias should be placed on 3 ft. centers and some effort should be made to not create a straight line with the plants. The landscape ordinance requires a 6 ft. screen such as a masonry wall or berm to screen loading docks unless otherwise approved by the Commission and Council. The Board and the Commission felt that long term a landscape hedge on top of the berm would be more desirable than a masonry wall.

6. The additional required street trees should be placed along the north property line to provide some screening for the side of the building. The plan reviewed by the Board did not have 4 street trees included.
7. Paved access should be provided on both sides of the Mr. M building.
8. The parapet wall should be extended along the back of the building. (The elevations reviewed by the Board proposed that the parapet wall would be extended along the two sides of the building but not along the back. The developer had proposed to use a stucco screen just around the mechanical equipment on the roof.)
9. The parapet at the two front corners of the building should be wrapped around from the front to the sides to add some mass and break up the visual appearance of the front parapet.
10. Any additional roof mount equipment other than what is identified in the application should be studied by the City to determine if additional screening is necessary.
11. The color of the building should be compatible with surrounding development and a brick sample should be provided to the Commission and Council.
12. The contrasting color band on the front of the building should be continued on all sides of the building.

packet.

The developer has included these additional trees in the revised site plan.

The developer has included the additional access on the revised site plan.

The developer has removed the stucco type screen and has extended the parapet along the back of the building. This change is reflected in the revised elevations. As a point of information, the parapet is not as high as the screen was proposed to be and the top of the mechanical equipment is visible over the top of the parapet.

The developer had some initial concerns about this issue, but they believe it can be addressed. The elevations do not reflect this change, but they hope to have a proposed solution by Monday.

The developer has no problem with this recommendation. They have indicated that they should know if additional equipment will be needed prior to the submission for the final plat.

The brick being proposed should be fully compatible with the shopping center and with the Mr. M. They will have the sample at the meeting.

The developer has no problem with this and the bands are now reflected on the revised elevations.

13. The stairways and canopies at the rear of the building should be upgraded and tied into the buildings.

They propose to construct the stairs out of concrete rather than use a metal stair and they propose to use a dark bronze canopy and posts to soften the visual effect of the canopy in response to this item. The Commission approved this proposal.

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____.

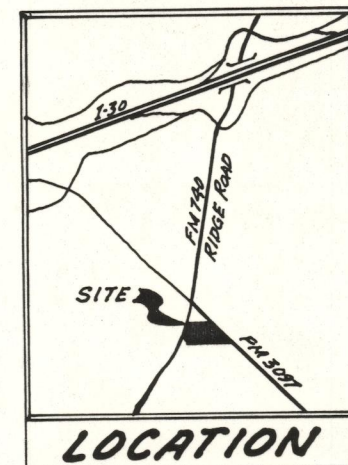
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred twenty (120) days said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____

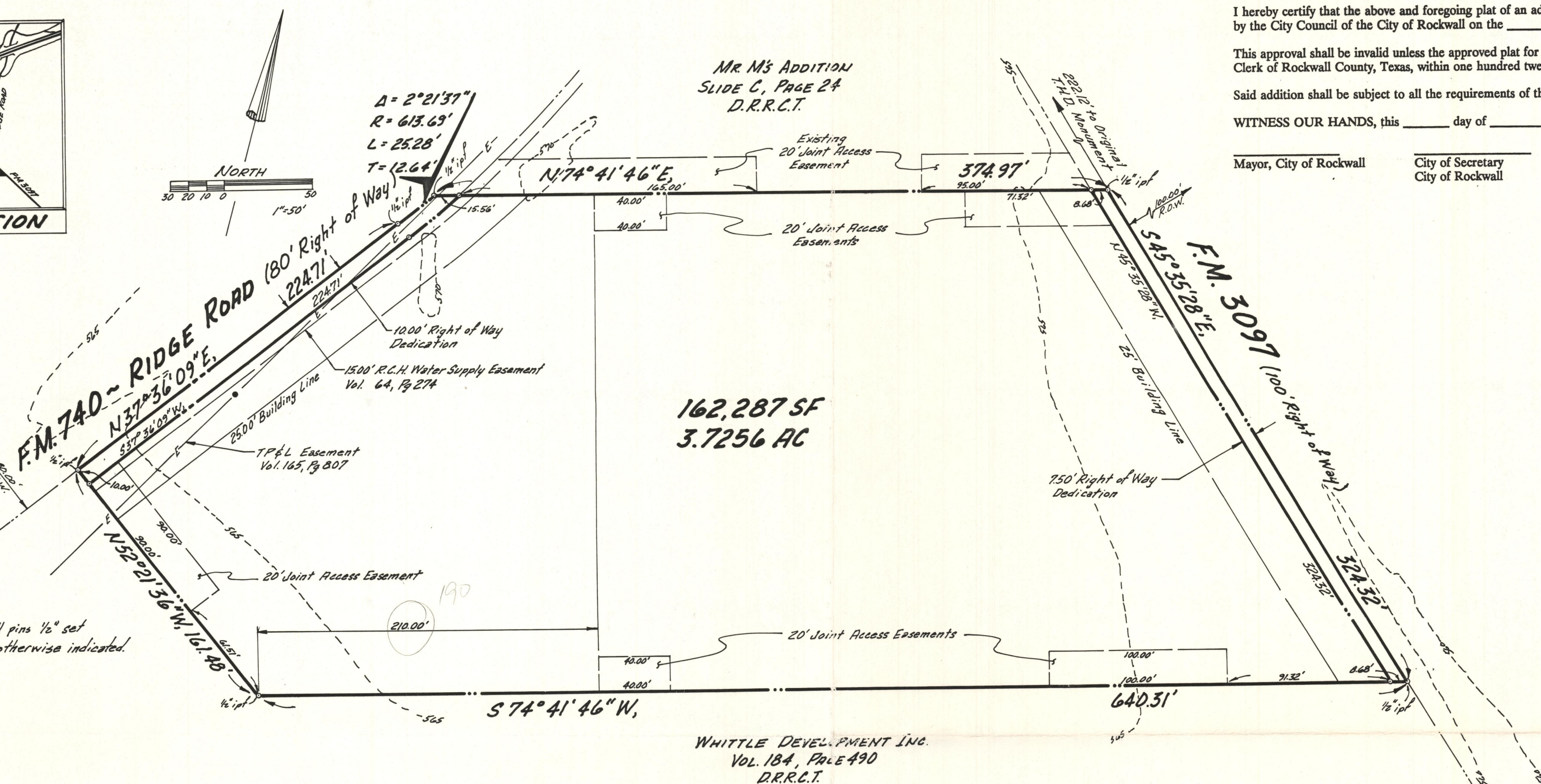
Mayor, City of Rockwall

City of Secretary
City of Rockwall



LOCATION

Note: All pins 1/2" set unless otherwise indicated.



OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS _____, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, Rockwall County, Texas, and being a part of Tract 5, as recorded in Volume 184, Page 490, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron pin found on the Southwest right-of-way line of F.M. 3097 (100' right-of-way) at the East corner of Mr. M's Addition to the City of Rockwall, recorded in Slide C, Page 24, Plat Records, Rockwall County, Texas, said point being a distance of 222.12 feet from the original Easterly Southern corner of the intersection of F.M. 740 and F.M. 3097;

THENCE, South 45° 35' 28" East a distance of 324.32 feet with said Southwesterly R.O.W. line to a 1/2" iron pin found for a corner;

THENCE, South 74° 41' 40" West a distance of 640.31 feet to a 1/2" iron pin found;

THENCE, North 52° 21' 36" West a distance of 161.48 feet to a 1/2" iron pin found in the Southwest line of F.M. 740, (80' R.O.W.);

THENCE, North 37° 36' 09" East a distance of 224.71 feet with said Southeast line to a 1/2" radius pin of 613.69 feet, and chord bearing at North 36° 25' 21" East a distance of 25.28 feet;

THENCE, Along said curve with an arc distance of 25.28 feet to a 1/2" iron pin found at the Southern corner of said Mr. M's Addition;

THENCE: North 74° 41' 46" East a distance of 374.97 feet with the Southeast line of said Mr. M's Addition to the POINT OF BEGINNING and containing 162,287 square feet or 3.7256 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT _____ being the owner, does hereby adopt this plat designating the hereinabove described property as FOOD LION ROCKWALL, an addition to the City of Rockwall, Rockwall County, Texas, and does hereby dedicate to the public use forever, and does hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision. The developer and subdivision engineer shall bear total responsibility for storm drainage improvements. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability of water for personal use and fire protection within such plat, as required under Ordinance 83-54.

WITNESS MY HAND AT _____, Texas, this _____ day of _____
BY _____

STATE OF TEXAS
COUNTY OF _____

This instrument was acknowledged before me on the _____ day of _____, by _____ (the owner) (on behalf of the owner) of the above described property.

Notary Public
My Commission Expires _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, _____, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly under my personal supervision.

Louis M. Salcedo, P.E., R.P.L.S.

Registered Public Surveyor No. 3664

STATE OF TEXAS
COUNTY OF ROCKWALL

This instrument was acknowledge before me on the _____ day of _____
by _____

Notary Public
My Commission Expires _____

Chairman, Planning and Zoning Commission

Date

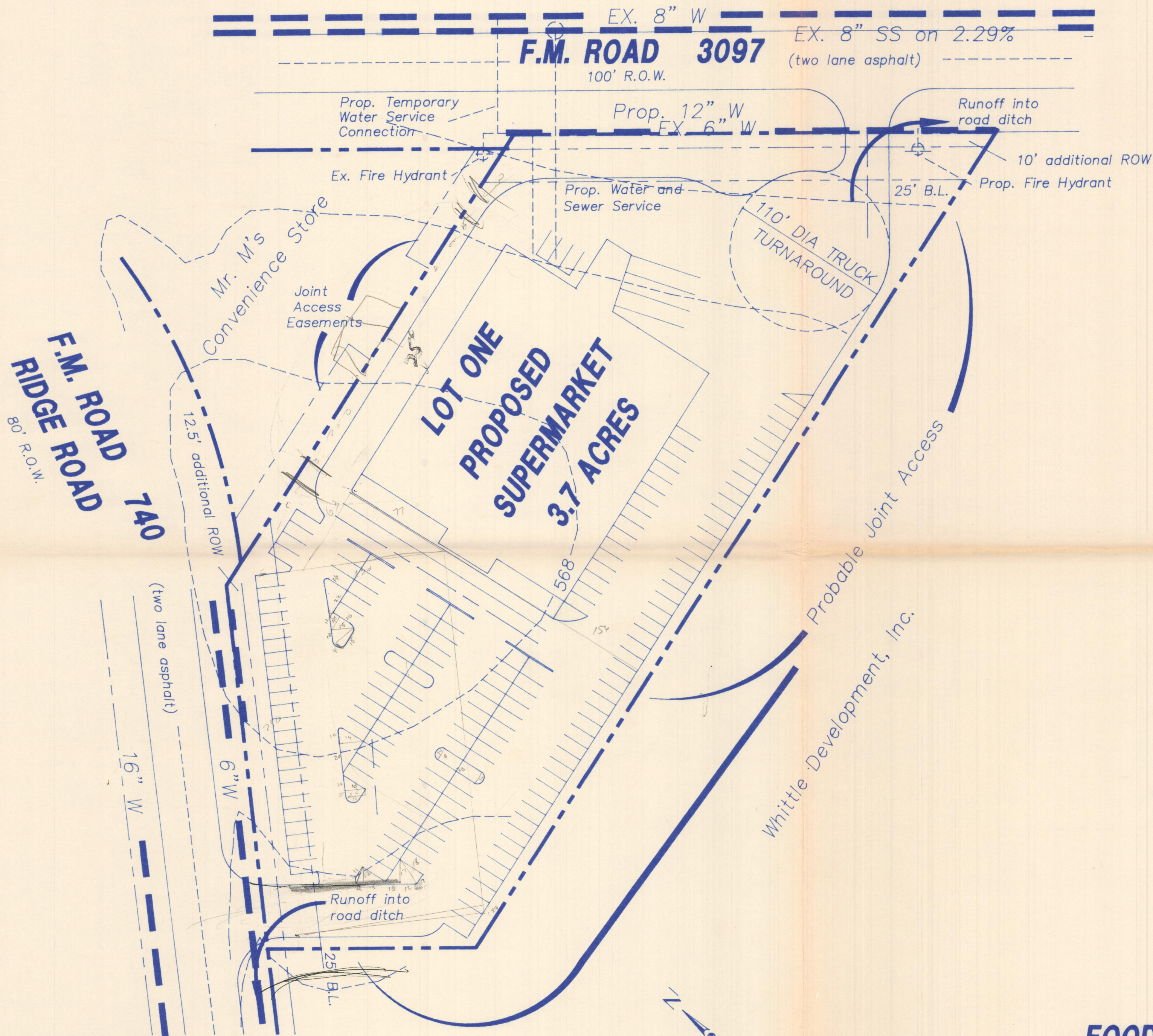
FOOD LION - ROCKWALL
AN ADDITION TO
THE CITY OF
ROCKWALL, ROCKWALL CO.,
TEXAS
E. TEAL SURVEY, ABST. NO. 207
SEPTEMBER, 1990

Owner:
Whittle Development
Box 349
Rockwall, Texas
75087

Developer:
J.E.M. Tex Acquisitions, Inc.
Box 353B
Gastonia, North Carolina
28053

Engineer:
Cardenas Salcedo & Associates, Inc.
5787 S. Hampton Road #480
Dallas, Texas
75232

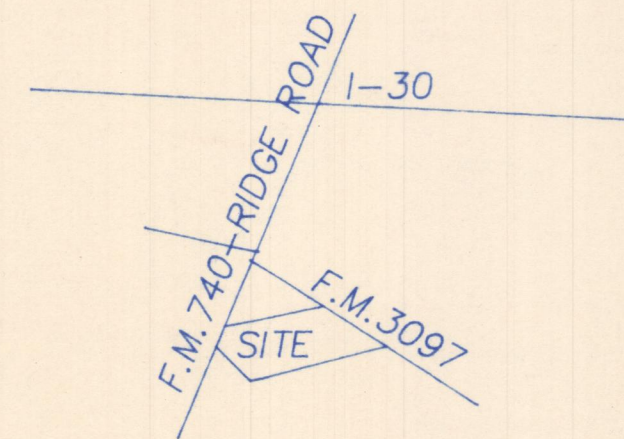
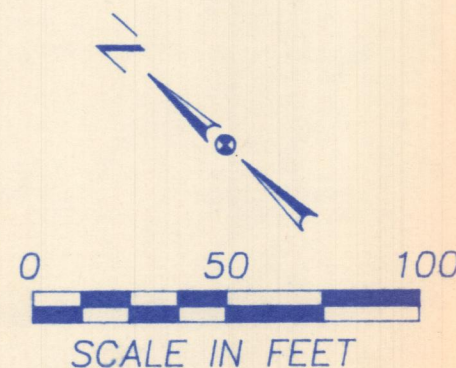
FM 3097 is listed on Throughfare Plan, but no improvements in the immediate future.



Current Improvements to FM 740 are not planned to extend south beyond Mr. M's and should not affect entrance drive to Supermarket

Note:
All median openings in future roadway improvements to be coordinated with State Department of Highways.

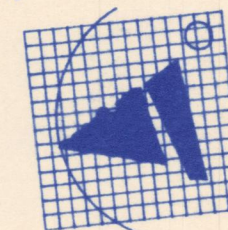
Note:
Site has no flood prone areas.



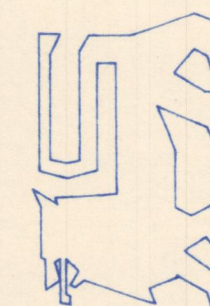
LOCATION

NO.	REVISION	DATE
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ARTECH
DESIGN GROUP INC.



FOOD LION, INC.
PROPOSED FOOD LION STORE
RIDGE ROAD (FM 740) @ FM 3097
ROCKWALL, TEXAS



Owner:
Whittle Development, Inc.
P.O. Box 369
Rockwall, Texas 75087

Developer:
JEM TEX Aquisitions, Inc.
Box 3538
Gastonia, NC 28053

Engineer:
Cardenas - Salcedo and Associates, Inc.
5787 S. Hampton Rd., 480
Dallas, Texas 75232

1st Submission

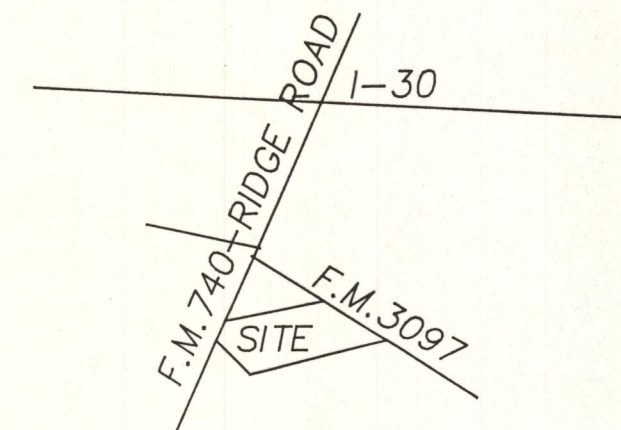
LOT ONE FOOD LION - RIDGE ROAD PD ZONING - GENERAL RETAIL



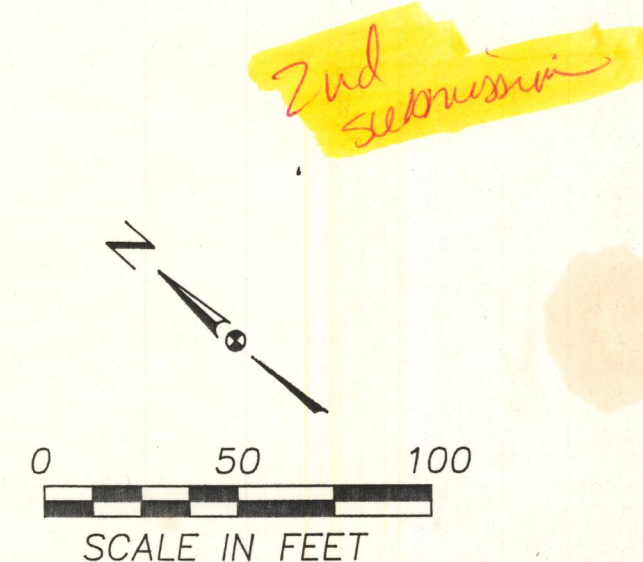
JOB NO.	90-349
DATE	JULY, 1990
DRAWN	
CHK.	
SHEET	C-3
OF 3	
SITE PLAN	

FM 3097 is listed on Throughfare Plan, but no improvements in the immediate future.

EX. 8" W
F.M ROAD 3097
100' R.O.W.
EX. 8" SS on 2.29%
(two lane asphalt)
0.62%



LOCATION



F.M. ROAD 740
RIDGE ROAD
80' R.O.W.

Mr. M's
Convenience Store
F.F. 568.52

**LOT ONE
3.7 ACRES
PROPOSED
SUPERMARKET**
F.P. 567.5

Whittle Development, Inc.

Owner:
Whittle Development, Inc.
P.O. Box 369
Rockwall, Texas 75087

Developer:
JEM TEX Aquisitions, Inc.
Box 3538
Gastonia, NC 28053

Engineer:
Cardenas - Salcedo and Associates, Inc.
5787 S. Hampton Rd., 480
Dallas, Texas 75232

SUPERMARKET SIZE: 32,211 SF
161 PARKING SPACES REQUIRED
161 PARKING SPACES PROVIDED

**LOT ONE
FOOD LION - RIDGE ROAD
PD ZONING - GENERAL RETAIL**

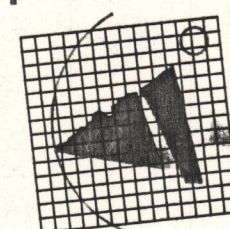
Current Improvements to FM 740 are not planned to extend south beyond Mr. M's and should not affect entrance drive to Supermarket

Note:
All median openings in future roadway improvements to be coordinated with State Department of Highways.

Note:
Site has no flood prone areas.

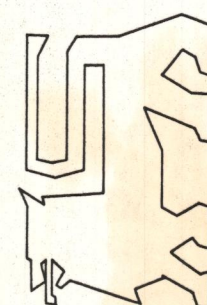
NO.	REVISION	DATE
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ARTECH
DESIGN GROUP INC.



FOOD LION, INC.

PROPOSED FOOD LION STORE
RIDGE ROAD (FM 740) @ FM 3097
ROCKWALL, TEXAS

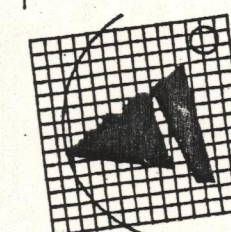


JOB NO.	90-349
DATE	JULY, 1990
DRAWN	-----
CHK.	-----
SHEET	C-3
OF 3	
SITE PLAN	

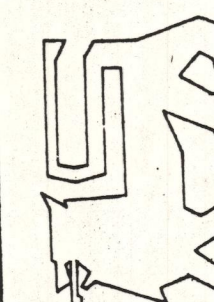
NO.	REVISION	DATE
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PLAN PREPARED BY:
T.H. PATCHETT AND ASSOCIATES
LANDSCAPE ARCHITECTS.
5207 MCKINNEY AVE #15
DALLAS, TX. 75205
214.559.0808

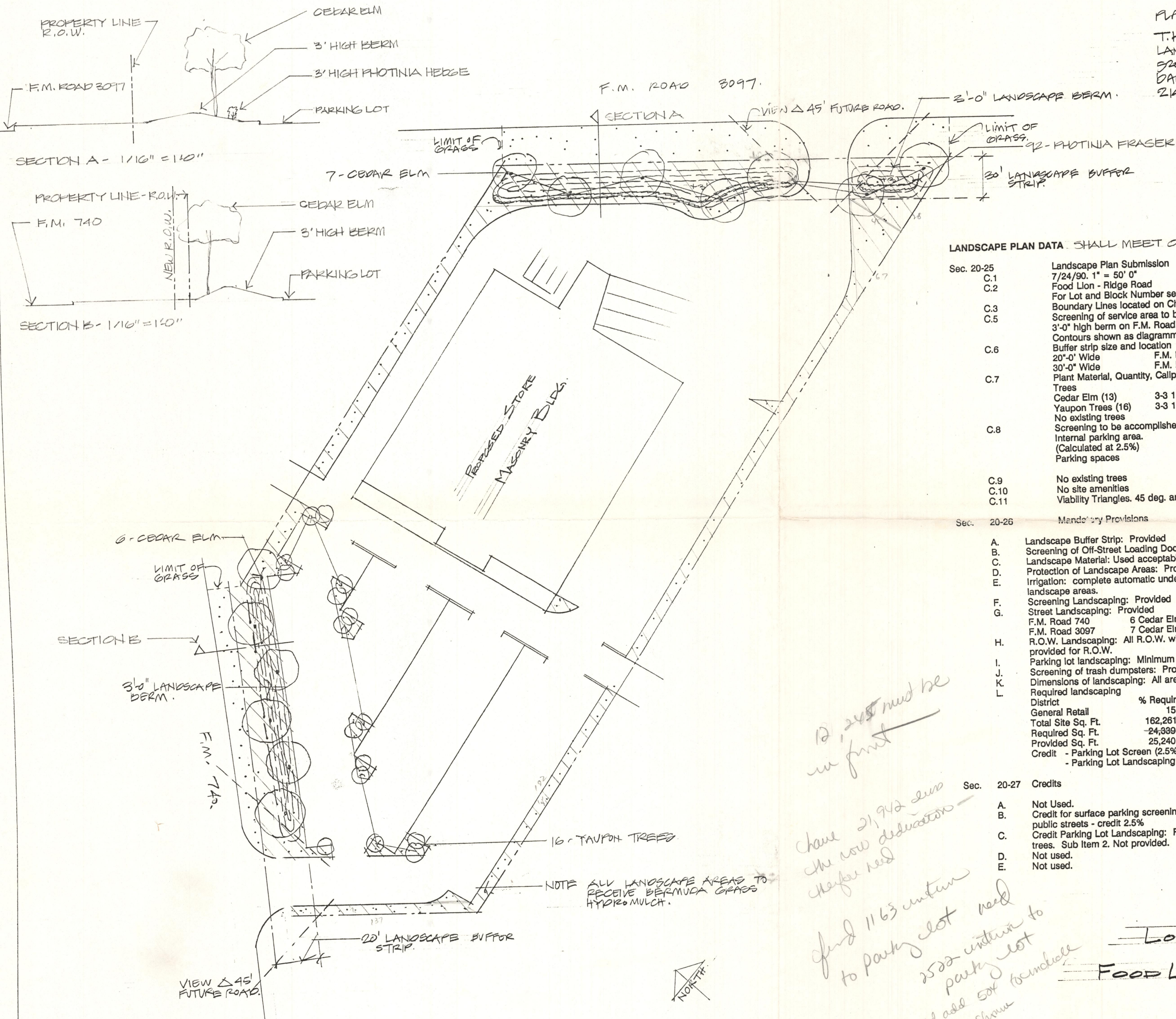
ARTECH
DESIGN GROUP INC.



FOOD LION, INC.
PROPOSED FOOD LION STORE
RIDGE ROAD (FM 740) @ FM 3097
ROCKWELL, TEXAS



JOB NO.	90-349
DATE	JULY, 1990
DRAWN	---
CHECK	---
SHEET	C-3
OF	3
SITE PLAN	



LANDSCAPE PLAN DATA SHALL MEET ORDINANCE NO. 88-23

Sec. 20-25	Landscape Plan Submission
C.1	7/24/90. 1" = 50' 0"
C.2	Food Lion - Ridge Road
C.3	For Lot and Block Number see Civil Drawings
C.5	Boundary Lines located on Civil Drawings
	Screening of service area to be accomplished by
	3'-0" high berm on F.M. Road 3097
	Contours shown as diagrammatic.
C.6	Buffer strip size and location
	20'-0" Wide F.M. Road 740
	30'-0" Wide F.M. Road 3097
C.7	Plant Material, Quantity, Caliper, Height, Spread, Spacing
	Trees
	Cedar Elm (13) 3-3 1/2" Cal, 10-12', 5-6'
	Yaupon Trees (16) 3-3 1/2" Cal, 7-8' High, 5-6'
	No existing trees
C.8	Screening to be accomplished by berm.
	Internal parking area. Required 1,450 sq. ft. (2.5%)
	(Calculated at 2.5%) Provided 1,550 sq. ft.
	Parking spaces Required 162
	Provided 164
C.9	No existing trees
C.10	No site amenities
C.11	Viability Triangles. 45 deg. angle. See plan.
Sec. 20-26	Mandatory Provisions
A.	Landscape Buffer Strip: Provided
B.	Screening of Off-Street Loading Docks: Provided by 3'-0" berm
C.	Landscape Material: Used acceptable plants
D.	Protection of Landscape Areas: Provided
E.	Irrigation: complete automatic underground irrigation system will be provided for all landscape areas.
F.	Screening Landscaping: Provided
G.	Street Landscaping: Provided
	F.M. Road 740 6 Cedar Elm
	F.M. Road 3097 7 Cedar Elm
H.	R.O.W. Landscaping: All R.O.W. will be grassed. Complete irrigation system will be provided for R.O.W.
I.	Parking lot landscaping: Minimum of 2.5% is provided (See Section 20-27, C. below)
J.	Screening of trash dumpsters: Provided by Architect
K.	Dimensions of landscaping: All areas over 25 sq. ft.
L.	Required landscaping
	District % Requirement 12.5 Net % w/credit 10%
	General Retail 15
	Total Site Sq. Ft. 162,261 163,261
	Required Sq. Ft. 24,339 24,339
	Provided Sq. Ft. 25,240 25,240
	Credit - Parking Lot Screen (2.5%) 25,240 25,240
	- Parking Lot Landscaping (2.5%)

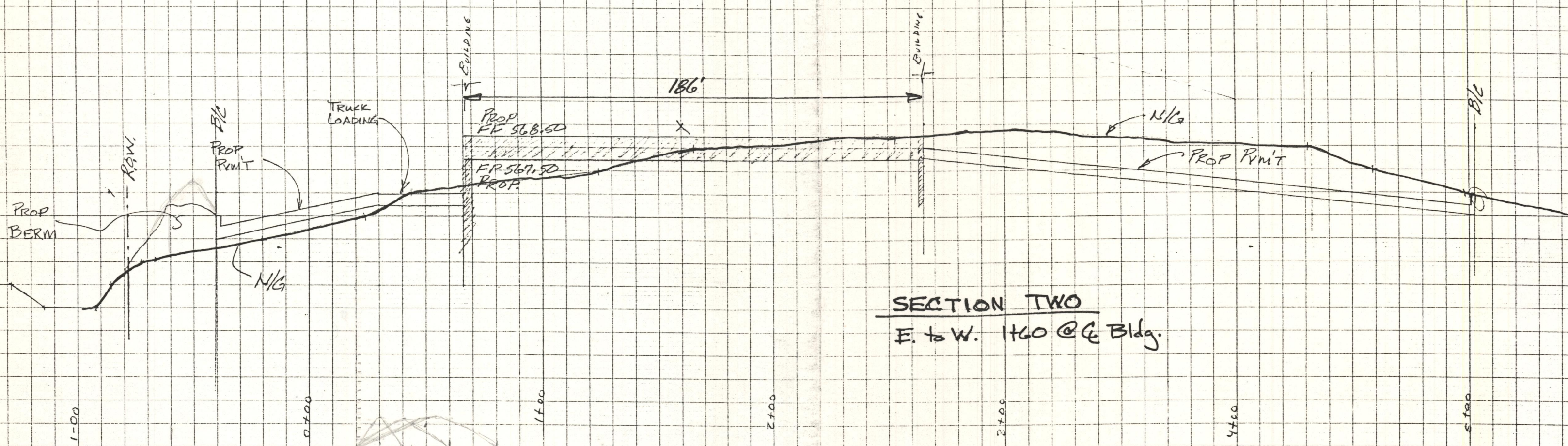
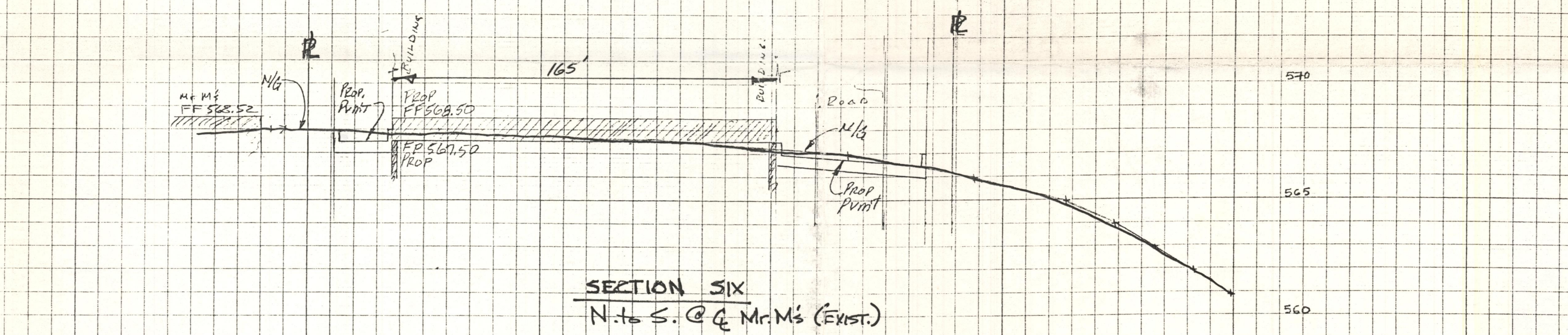
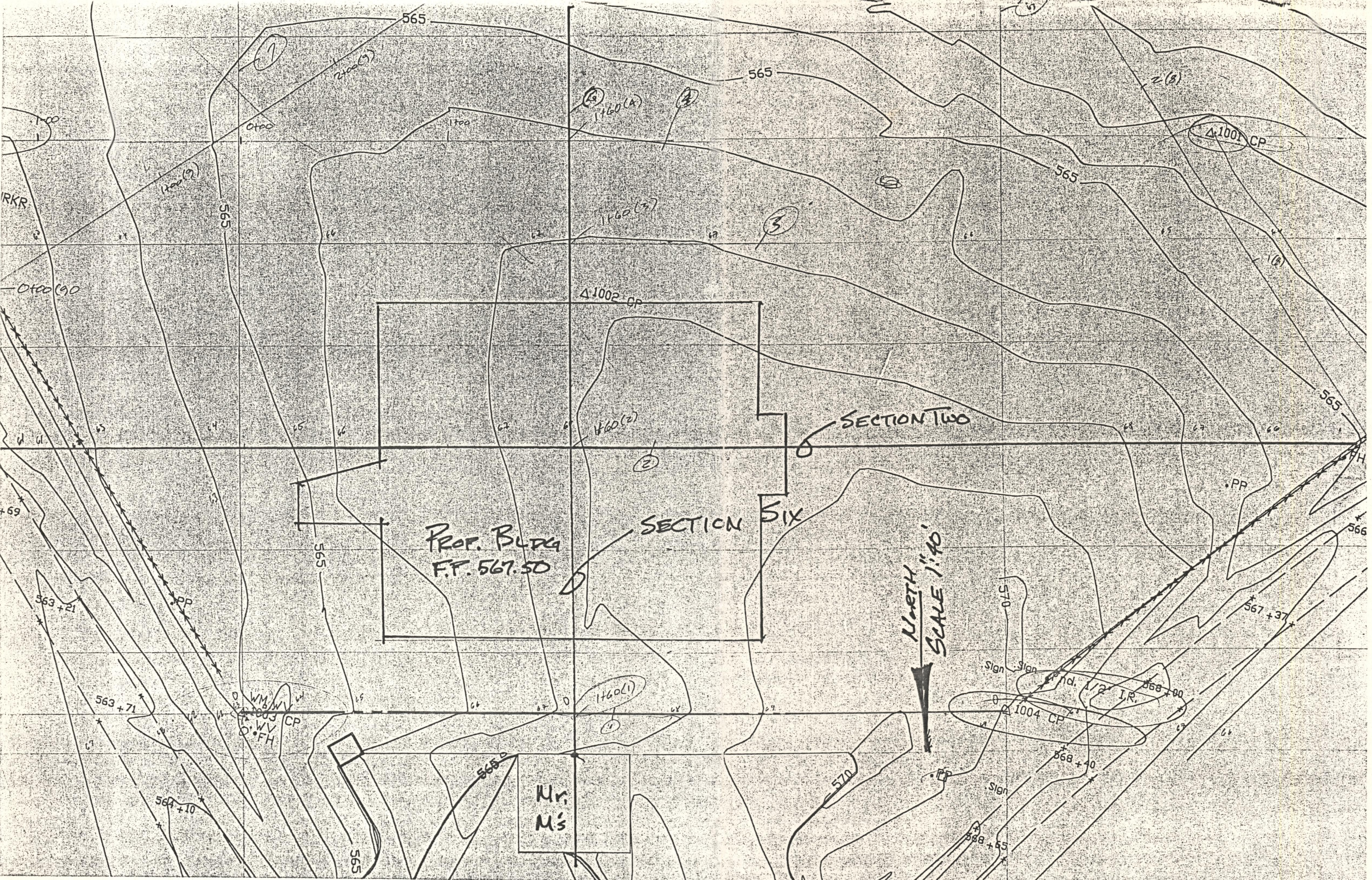
12,240 must be in front

have 21,942 and the new dedication checker need

find 1163 interior to parking lot need 2502 interior to parking lot would add 500 to outside the - shown

LOT ONE
FOOD LION - RIDGE ROAD

2nd Submission

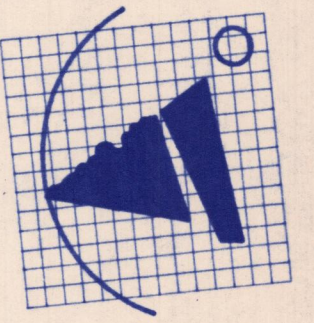


PRINTED IN U.S.A.
K&E
KENNEL & EBER CO.
4 X 50 TO THE INCH

PROPOSED
FOOD LION STORE
PRELIMINARY PROPERTY SECTIONS
1"=40' H / 1"=4' V
2nd Submission

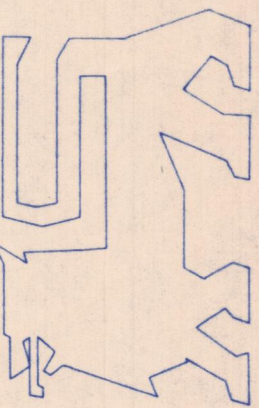
NO.	REVISION	DATE
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ARTECH
DESIGN GROUP INC.

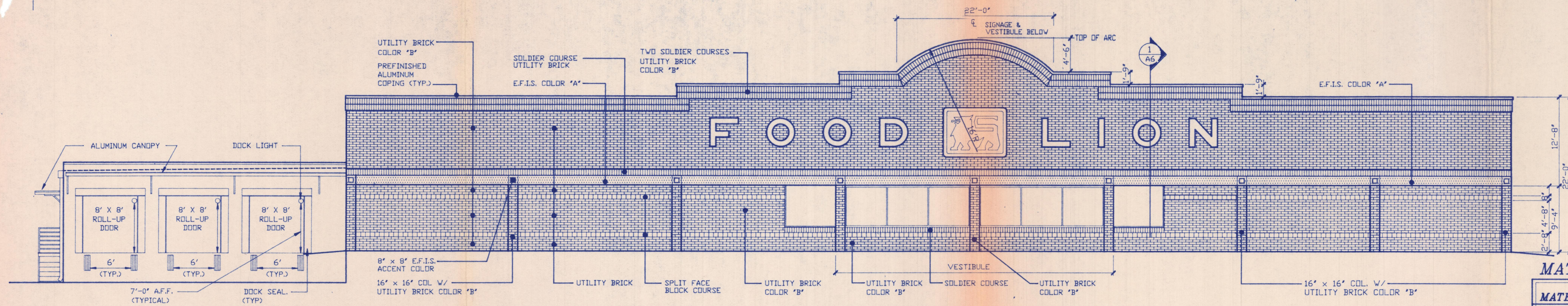


2525 Broad Street, Suite 201, Chattanooga, TN 37408 615/265-4313 Fax 615/265-5413

FOOD LION, INC.



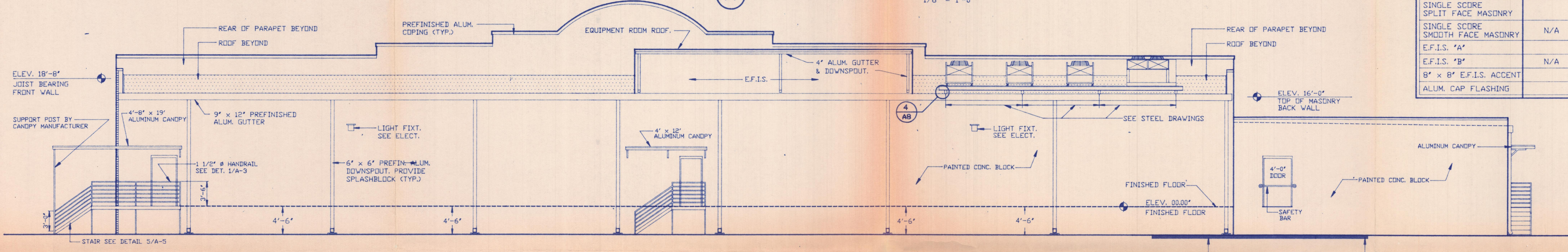
2990 4Z



(A) FRONT ELEVATION
1/8" = 1'-0"

MATERIALS LEGEND

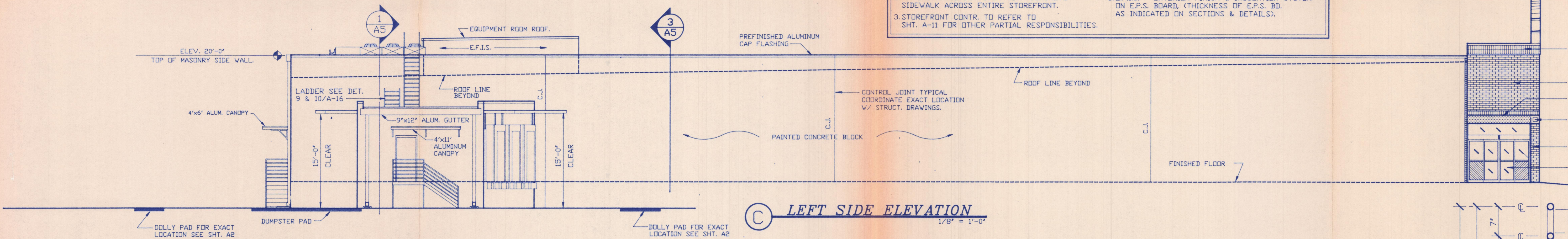
MATERIAL	MANUF.	COLOR	SIZE
UTILITY BRICK 'A'	N/A	N/A	N/A
UTILITY BRICK 'B'	N/A	N/A	N/A
SINGLE SCORE SPLIT FACE MASONRY			
SINGLE SCORE SMOOTH FACE MASONRY	N/A	N/A	N/A
E.F.I.S. 'A'			
E.F.I.S. 'B'	N/A	N/A	N/A
8" x 8" E.F.I.S. ACCENT			
ALUM. CAP FLASHING			



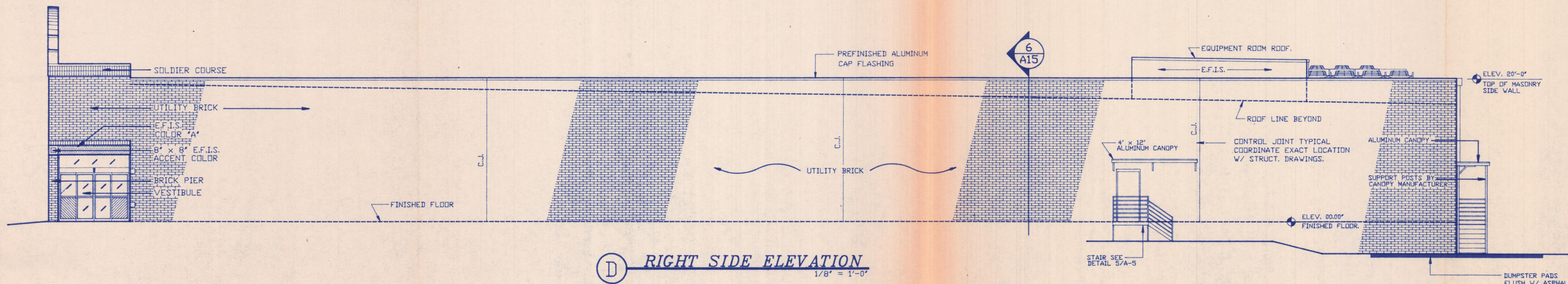
(B) REAR ELEVATION
1/8" = 1'-0"

NOTES

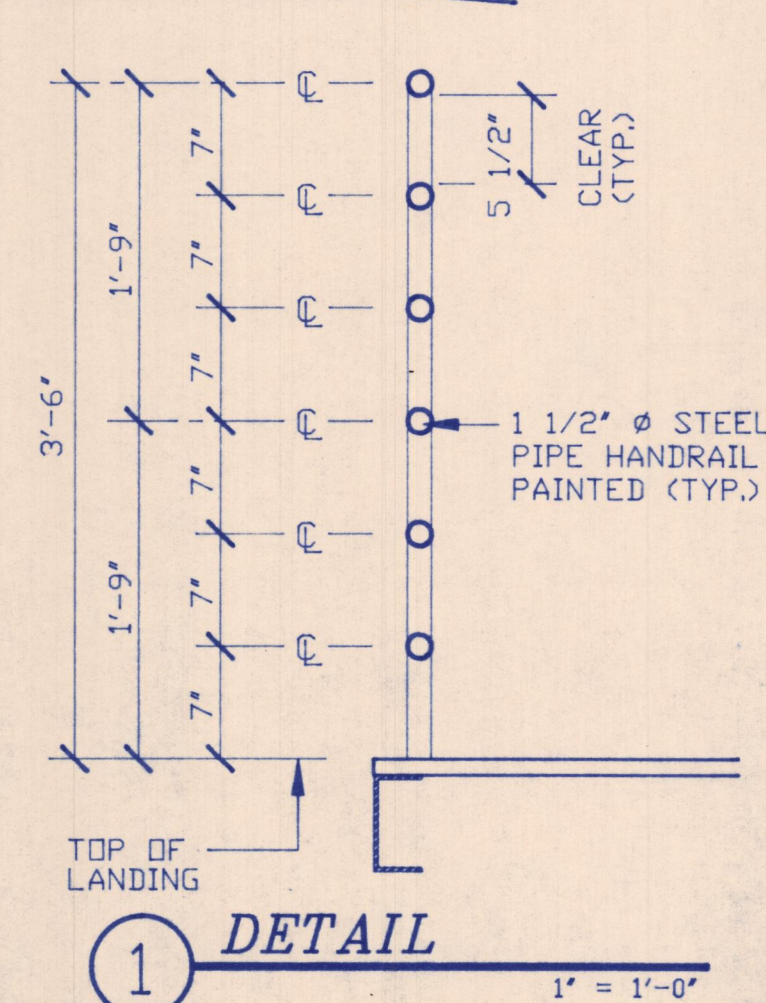
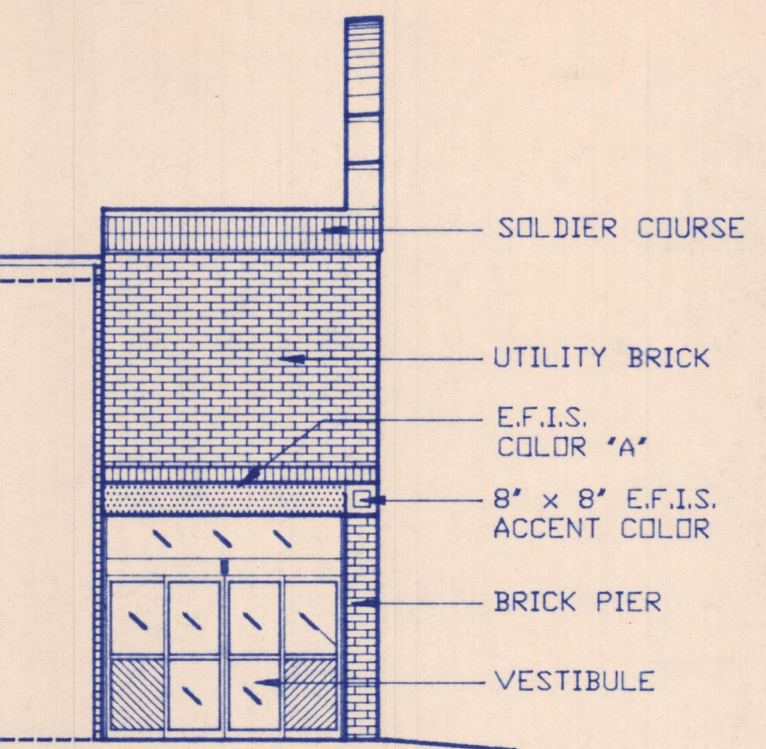
1. SIDEWALK MUST BE LEVEL ACROSS ENTIRE STOREFRONT. NO RAMPING ALLOWED.
2. PAVING SHALL BE FLUSH WITH CONCRETE SIDEWALK ACROSS ENTIRE STOREFRONT.
3. STOREFRONT CONTR. TO REFER TO SHT. A-11 FOR OTHER PARTIAL RESPONSIBILITIES.
4. ALL MSRY @ FRONT ELEV. BELOW 8' A.F.F. TO BE SMOOTH FACE SINGLE SCORE.
5. E.F.I.S. - EXTERIOR FINISH & INSULATION SYSTEM ON E.P.S. BOARD (THICKNESS OF E.P.S. BD. AS INDICATED ON SECTIONS & DETAILS).



(C) LEFT SIDE ELEVATION
1/8" = 1'-0"



(D) RIGHT SIDE ELEVATION
1/8" = 1'-0"



(1) DETAIL
1" = 1'-0"

JOB NO.	90-96
DATE	7/6/90
DRAWN	M.T.B.
CHECK	D.F.
SHEET	A-3
OF 16	
EXTERIOR ELEVATIONS	

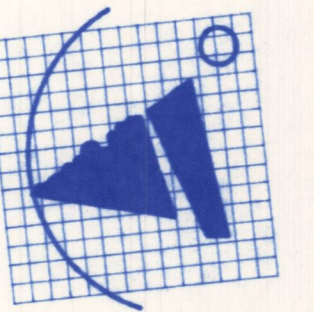
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MATERIALS LEGEND

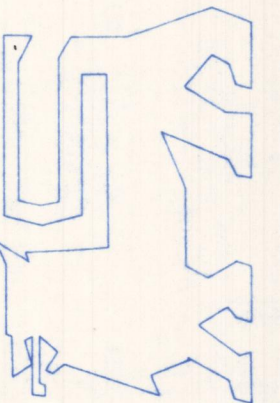
MATERIAL	MANUF.	COLOR	SIZE
UTILITY BRICK			
BRICK MORTAR			
SINGLE SCORE SPLIT FACE MASONRY			
SINGLE SCORE SMOOTH FACE MASONRY	N/A	N/A	N/A
E.F.I.S. 'A'			
E.F.I.S. 'B'	N/A	N/A	N/A
8' x 8' E.F.I.S. ACCENT			
ALUM. CAP FLASHING			

NOTE: MORTAR COLOR FOR PRECOLORED BLOCK SHALL MATCH BLOCK.

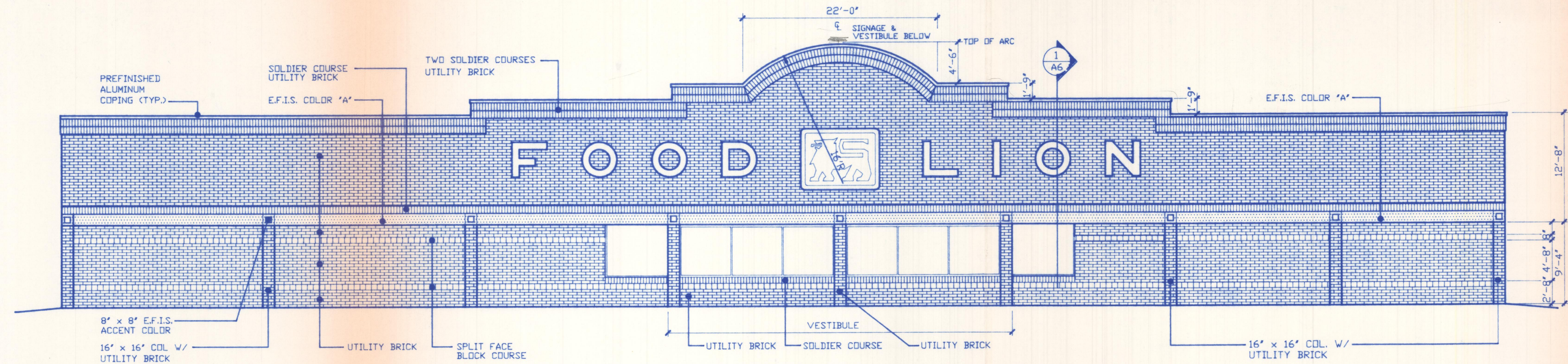
ARTECH
DESIGN GROUP INC.



FOOD LION, INC.
ROCKWALL, TEXAS
F.M. RD. #740 & F.M. RD. #3097

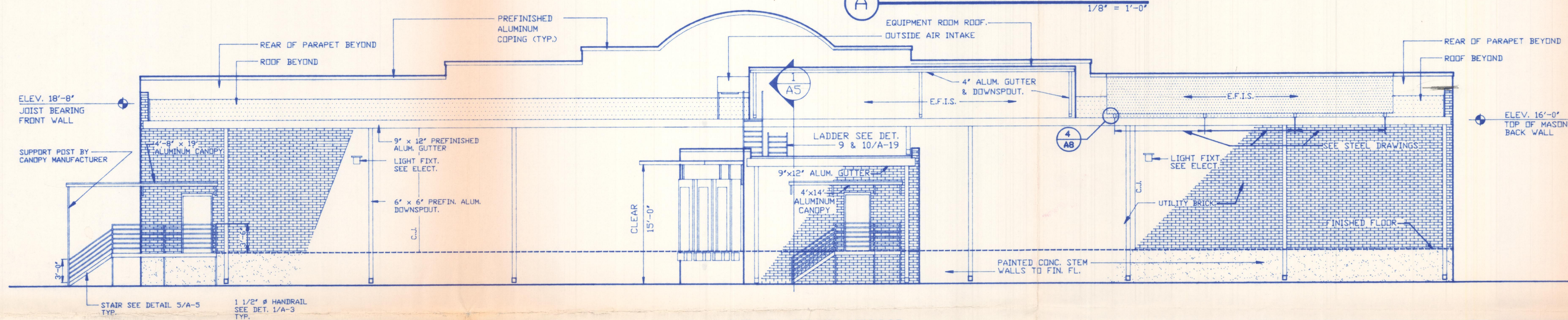


JOB NO.	90-96
DATE	7/16/90
DRAWN	M.T.B.
CHK.	D.L.F.
SHEET	A-3
OF 19	
EXTERIOR ELEVATIONS	



FRONT ELEVATION

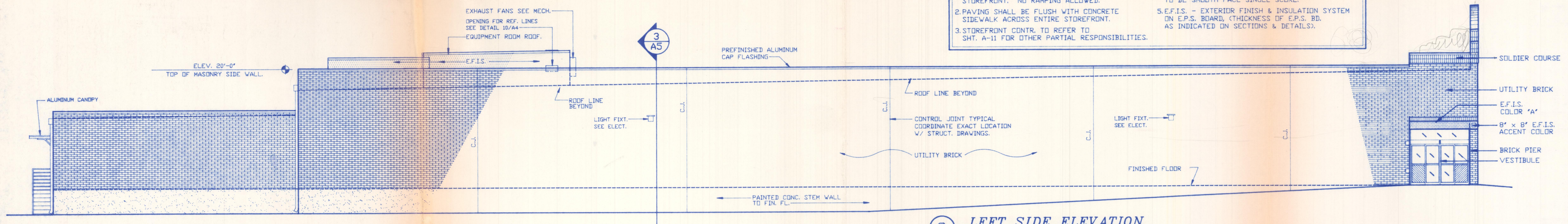
1/8" = 1'-0"



REAR ELEVATION

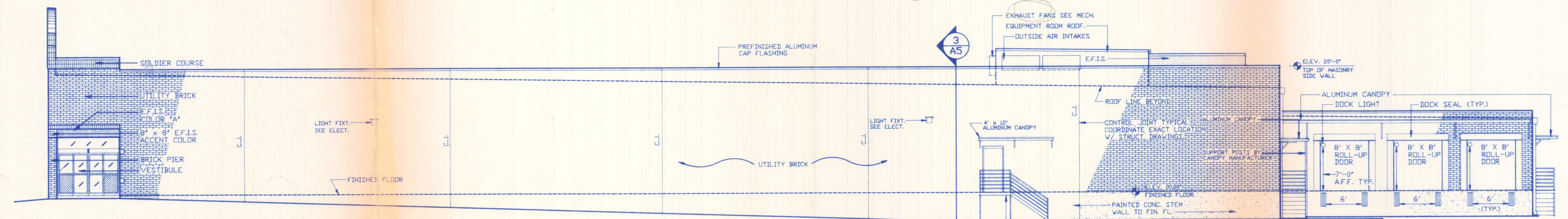
1/8" = 1'-0"

- NOTES**
1. SIDEWALK MUST BE LEVEL ACROSS ENTIRE STOREFRONT. NO RAMPING ALLOWED.
 2. PAVING SHALL BE FLUSH WITH CONCRETE SIDEWALK ACROSS ENTIRE STOREFRONT.
 3. STOREFRONT CONTR. TO REFER TO SHT. A-11 FOR OTHER PARTIAL RESPONSIBILITIES.
 4. ALL MSRY @ FRONT ELEV. BELOW 8' A.F.F. TO BE SMOOTH FACE SINGLE SCORE.
 5. E.F.I.S. - EXTERIOR FINISH & INSULATION SYSTEM ON E.P.S. BOARD, (THICKNESS OF E.P.S. BD. AS INDICATED ON SECTIONS & DETAILS).



LEFT SIDE ELEVATION

1/8" = 1'-0"



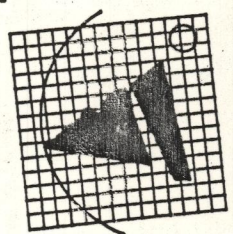
RIGHT SIDE ELEVATION

1/8" = 1'-0"

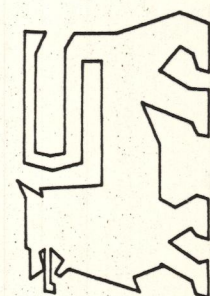
2nd Submission

NO.	REVISION	DATE
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ARTECH
DESIGN GROUP INC.



FOOD LION, INC.
PROPOSED FOOD LION STORE
RIDGE ROAD (FM 740) @ FM 3097
ROCKWALL, TEXAS



JOB NO.	90-349
DATE	JULY, 1990
DRAWN	
CHK'D	
SHEET	C-3
OF	3

SITE
PLAN

11 feet
3rd submission

F.M. ROAD 3097

F.M. ROAD
RIDGE ROAD 740

LOT ONE
3.7 ACRES
PROPOSED
SUPERMARKET

LANDSCAPE PLAN DATA

Note: Shall meet Ordinance No. 88-28

- Sec. 20-25 Landscape Plan Submission
7/24/90, 1" = 50' 0"
- C.1 Food Lion - Ridge Road
For Lot and Block Number see Civil Drawings
Boundary Lines located on Civil Drawings
- C.3 Screening of service area to be accomplished by
3'-0" high berm with 3' high photinia hedge totaling
6'-0" in height F.M. Road 3097
Contours shown as diagrammatic
- C.6 Buffer strip size and location
10'-0" Wide F.M. Road 740
20'-0" Wide F.M. Road 3097
- C.7 Plant Material, Quantity, Caliper, Height, Spread, Spacing
Trees
Cedar Elm (13) 3-3 1/2" Cal, 10-12', 5-6"
Yaupon Trees (16) 3-3 1/2" Cal, 7-8' High, 5-6"
Photinias 5 gal., 36" high
No existing trees
Screening to be accomplished by berm.
Internal parking area, (63,862) Required 3,193 sq. ft. (5%)
(Calculated at 2.5%) Provided 3,200 sq. ft.
Parking spaces Required 162
Provided 164
- C.9 No existing trees
C.10 No site amenities
C.11 Viability Triangles, 45 deg. angle, See plan.
- Sec. 20-26 Mandatory Provisions
- A. Landscape Buffer Strip: Provided
- B. Screening of Off-Street Loading Docks: Provided by 3'-0" berm
and 3'-0" high Photinia hedge
- C. Landscape Material: Used acceptable plants
- D. Protection of Landscape Areas: Provided
- E. Irrigation: complete automatic underground irrigation system will be provided for all
landscape areas.
- F. Screening Landscaping: Provided
- G. Street Landscaping: Provided on street and at north property line.
F.M. Road 740 8 Cedar Elm
F.M. Road 3097 10 Cedar Elm
- H. R.O.W. Landscaping: All R.O.W. will be grassed. Complete irrigation system will be
provided for R.O.W.
- I. Parking lot landscaping: Minimum of 2.5% is provided (See Section 20-27, C. below)
- J. Screening of trash dumpsters: Provided by Architect
- K. Dimensions of landscaping: All areas over 25 sq. ft.
- L. Required landscaping on reduced site size after dedication.
- | District | % Requirement | Net % w/credit |
|---|---------------|----------------|
| General Retail | 15 | 10% |
| Total Site Sq. Ft. | 157,333 | |
| Required Sq. Ft. | 23,600 | 15,733 |
| Provided Sq. Ft. | 26,555 | 26,555 |
| Credit - Parking Lot Screen (2.5%) | | |
| Credit - Parking Lot Landscaping (2.5%) | | |
- Sec. 20-27 Credits
- A. Not Used.
- B. Credit for surface parking screening; 3'-0" landscape berm provided at edge of site and
public streets - credit 2.5%
- C. Credit Parking Lot Landscaping: Providing 1 tree per each 10 parking spaces or 18
trees.
- D. Not used.
- E. Not used.

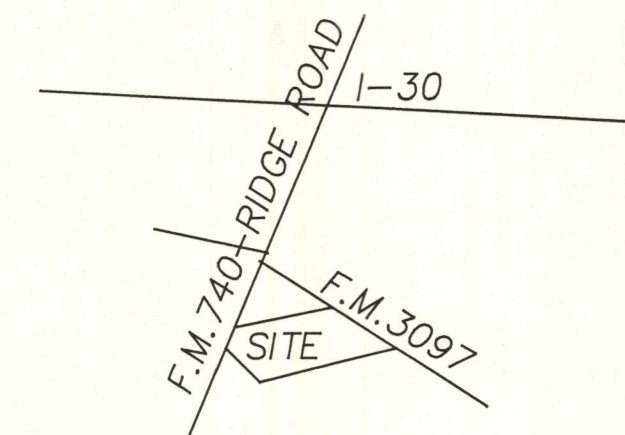
LEGEND FOR DATA

Area of Parking Lot Landscaping

LOT ONE
FOOD LION - RIDGE ROAD
PD ZONING - GENERAL RETAIL

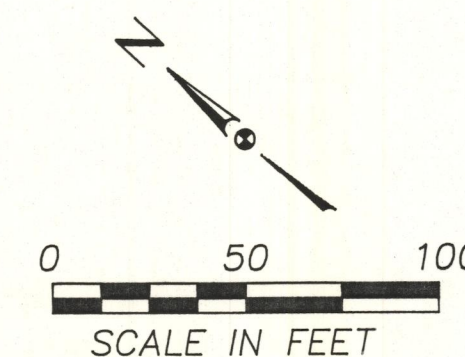
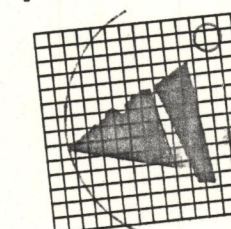
FM 3097 is listed on Throughfare Plan, but no improvements in the immediate future.

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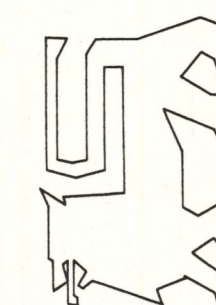


LOCATION

ARTECH
DESIGN GROUP INC.



FOOD LION, INC.
PROPOSED FOOD LION STORE
RIDGE ROAD (FM 740) @ FM 3097
ROCKWALL, TEXAS



Owner:
Whittle Development, Inc.
P.O. Box 369
Rockwall, Texas 75087

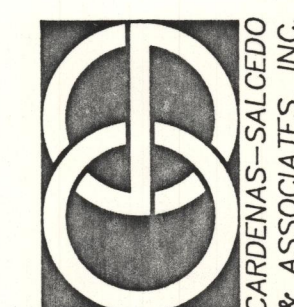
Developer:
JEM TEX Aquisitions, Inc.
Box 3538
Gastonia, NC 28053

Engineer:
Cardenas - Salcedo and Associates, Inc.
5787 S. Hampton Rd., 480
Dallas, Texas 75232

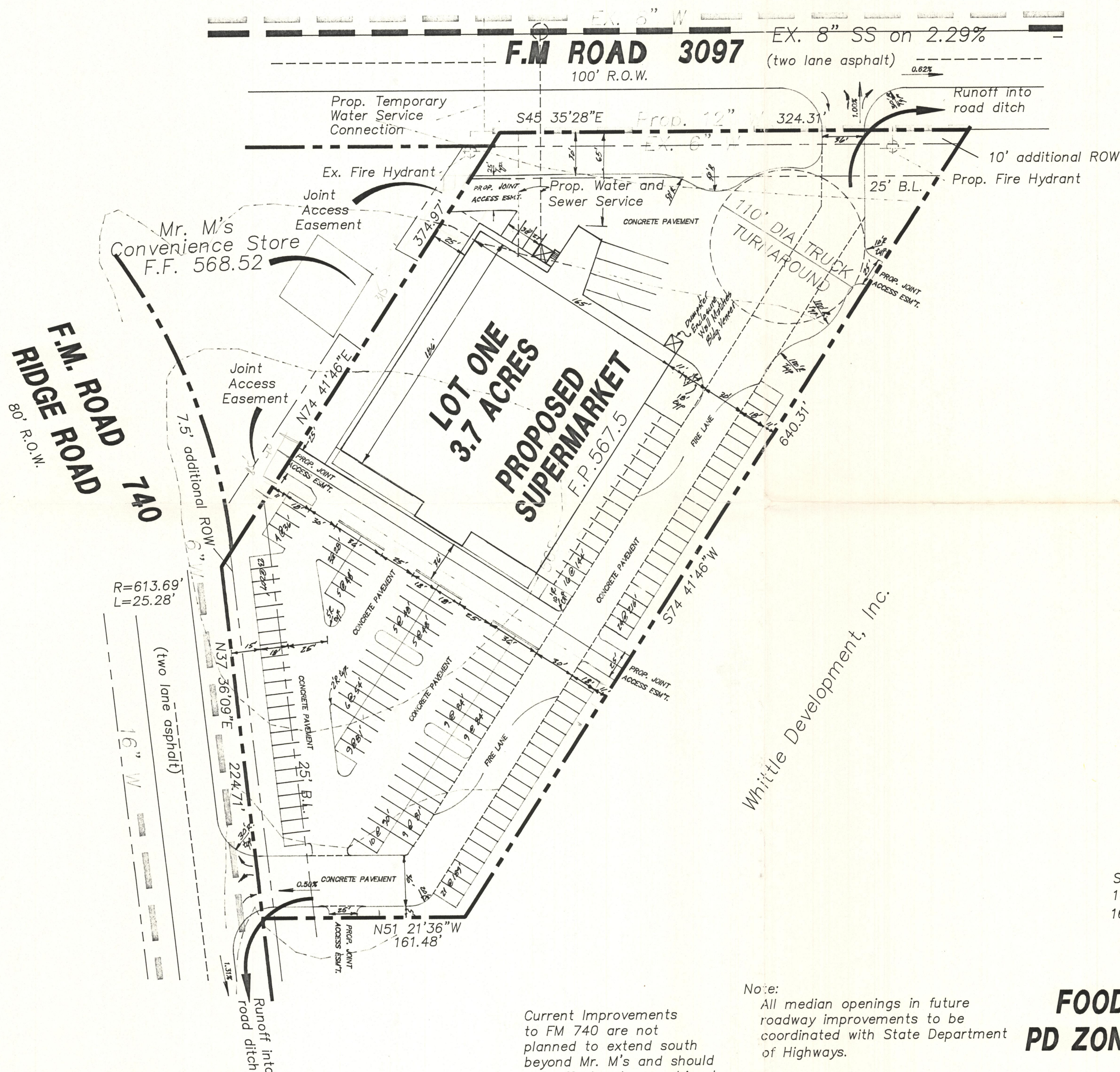
4th Submission

SUPERMARKET SIZE: 32,211 SF
161 PARKING SPACES REQUIRED
161 PARKING SPACES PROVIDED

LOT ONE FOOD LION - RIDGE ROAD PD ZONING - GENERAL RETAIL



JOB NO.	90-349
DATE	AUG. 1990
DRAWN	-----
CHECK	-----
SHEET	C-3
OF 3	
SITE PLAN	



Whittle Development, Inc.

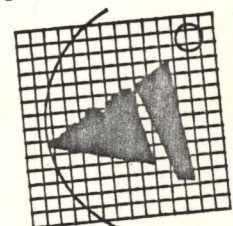
Current Improvements to FM 740 are not planned to extend south beyond Mr. M's and should not affect entrance drive to Supermarket

Note:
All median openings in future roadway improvements to be coordinated with State Department of Highways.

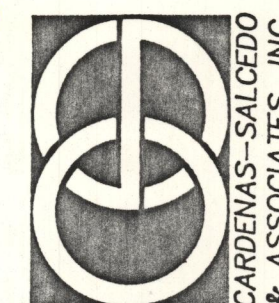
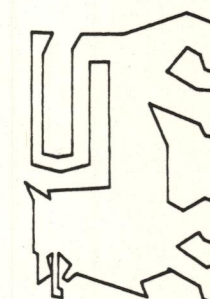
Note:
Site has no flood prone areas.

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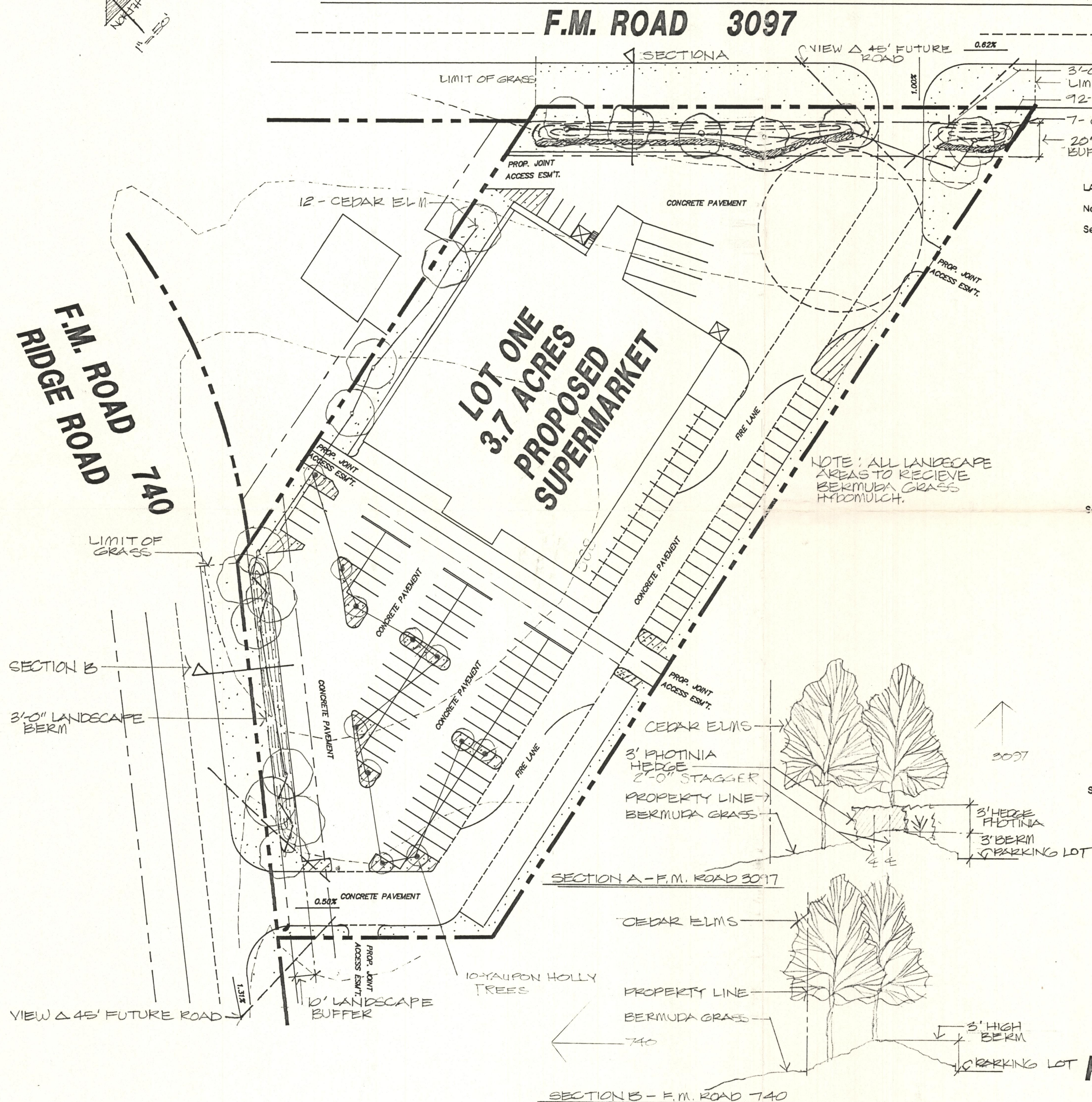
ARTECH
DESIGN GROUP INC.



FOOD LION, INC.
PROPOSED FOOD LION STORE
RIDGE ROAD (FM 740) @ FM 3097
ROCKWALL, TEXAS



JOB NO.	90-349
DATE	AUG, 1990
DRAWN	
CHK.	
SHEET	LS-1
OF	
LANDSCAPE	
PLAN	



LANDSCAPE PLAN DATA

Note: Shall meet Ordinance No. 88-28

- Sec. 20-25 Landscape Plan Submission
7/24/90, 1" = 50' 0"
- C.1 Food Lion - Ridge Road
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Yaupon Trees (10) 3-3 1/2" Cal, 7-8' High, 5-6'
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- Parking Lot Landscaping (2.5%)
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B. Credit for surface parking screening: 3'0" landscape berm provided at edge of site and
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C. Credit Parking Lot Landscaping: Providing 1 tree per each 10 parking spaces or 16
trees.
D. Not used.
E. Not used.

4th Submission

LOT ONE
FOOD LION - RIDGE ROAD
PD ZONING - GENERAL RETAIL

LEGEND FOR DATA
Area of Parking Lot Landscaping

Preliminary Plat

Final Plat

Name of Proposed Subdivision Ford Lane

Location of Proposed Subdivision

4 Name of Subdivider

Date Submitted _____ Date of Review _____

Total Acreage	No. of Lots
---------------	-------------

Review Checklist

Yes

No

N/A

1. Was the proper application submitted and ~~checklist?~~
(attach copy)
2. Were the proper number of copies submitted?
3. Is scale 1" = 100'
(Specify scale if different)
Scale = 1" = 50'
4. Is the subdivision name acceptable?
5. Comments:

Spelling of Name of Plat

row not correct

10 ft on 3097

7.5 ft or 2 x 0

need to identify P.O.B.

need to add lot 1, Block A.

need to add 1st, 2nd, 3rd, 4th, 5th, 6th, 7th, 8th, 9th, 10th, 11th, 12th, 13th, 14th, 15th, 16th, 17th, 18th, 19th, 20th, 21st, 22nd, 23rd, 24th, 25th, 26th, 27th, 28th, 29th, 30th, 31st, 32nd, 33rd, 34th, 35th, 36th, 37th, 38th, 39th, 40th, 41st, 42nd, 43rd, 44th, 45th, 46th, 47th, 48th, 49th, 50th, 51st, 52nd, 53rd, 54th, 55th, 56th, 57th, 58th, 59th, 60th, 61st, 62nd, 63rd, 64th, 65th, 66th, 67th, 68th, 69th, 70th, 71st, 72nd, 73rd, 74th, 75th, 76th, 77th, 78th, 79th, 80th, 81st, 82nd, 83rd, 84th, 85th, 86th, 87th, 88th, 89th, 90th, 91st, 92nd, 93rd, 94th, 95th, 96th, 97th, 98th, 99th, 100th, 101st, 102nd, 103rd, 104th, 105th, 106th, 107th, 108th, 109th, 110th, 111th, 112th, 113th, 114th, 115th, 116th, 117th, 118th, 119th, 120th, 121st, 122nd, 123rd, 124th, 125th, 126th, 127th, 128th, 129th, 130th, 131st, 132nd, 133rd, 134th, 135th, 136th, 137th, 138th, 139th, 140th, 141st, 142nd, 143rd, 144th, 145th, 146th, 147th, 148th, 149th, 150th, 151st, 152nd, 153rd, 154th, 155th, 156th, 157th, 158th, 159th, 160th, 161st, 162nd, 163rd, 164th, 165th, 166th, 167th, 168th, 169th, 170th, 171st, 172nd, 173rd, 174th, 175th, 176th, 177th, 178th, 179th, 180th, 181st, 182nd, 183rd, 184th, 185th, 186th, 187th, 188th, 189th, 190th, 191st, 192nd, 193rd, 194th, 195th, 196th, 197th, 198th, 199th, 200th, 201st, 202nd, 203rd, 204th, 205th, 206th, 207th, 208th, 209th, 210th, 211st, 212nd, 213th, 214th, 215th, 216th, 217th, 218th, 219th, 220th, 221st, 222nd, 223rd, 224th, 225th, 226th, 227th, 228th, 229th, 230th, 231st, 232nd, 233rd, 234th, 235th, 236th, 237th, 238th, 239th, 240th, 241st, 242nd, 243rd, 244th, 245th, 246th, 247th, 248th, 249th, 250th, 251st, 252nd, 253rd, 254th, 255th, 256th, 257th, 258th, 259th, 260th, 261st, 262nd, 263rd, 264th, 265th, 266th, 267th, 268th, 269th, 270th, 271st, 272nd, 273rd, 274th, 275th, 276th, 277th, 278th, 279th, 280th, 281st, 282nd, 283rd, 284th, 285th, 286th, 287th, 288th, 289th, 290th, 291st, 292nd, 293rd, 294th, 295th, 296th, 297th, 298th, 299th, 300th, 301st, 302nd, 303rd, 304th, 305th, 306th, 307th, 308th, 309th, 310th, 311st, 312nd, 313th, 314th, 315th, 316th, 317th, 318th, 319th, 320th, 321st, 322nd, 323rd, 324th, 325th, 326th, 327th, 328th, 329th, 330th, 331st, 332nd, 333rd, 334th, 335th, 336th, 337th, 338th, 339th, 340th, 341st, 342nd, 343rd, 344th, 345th, 346th, 347th, 348th, 349th, 350th, 351st, 352nd, 353rd, 354th, 355th, 356th, 357th, 358th, 359th, 360th, 361st, 362nd, 363rd, 364th, 365th, 366th, 367th, 368th, 369th, 370th, 371st, 372nd, 373rd, 374th, 375th, 376th, 377th, 378th, 379th, 380th, 381st, 382nd, 383rd, 384th, 385th, 386th, 387th, 388th, 389th, 390th, 391st, 392nd, 393rd, 394th, 395th, 396th, 397th, 398th, 399th, 400th, 401st, 402nd, 403rd, 404th, 405th, 406th, 407th, 408th, 409th, 410th, 411st, 412nd, 413th, 414th, 415th, 416th, 417th, 418th, 419th, 420th, 421st, 422nd, 423rd, 424th, 425th, 426th, 427th, 428th, 429th, 430th, 431st, 432nd, 433rd, 434th, 435th, 436th, 437th, 438th, 439th, 440th, 441st, 442nd, 443rd, 444th, 445th, 446th, 447th, 448th, 449th, 450th, 451st, 452nd, 453rd, 454th, 455th, 456th, 457th, 458th, 459th, 460th, 461st, 462nd, 463rd, 464th, 465th, 466th, 467th, 468th, 469th, 470th, 471st, 472nd, 473rd, 474th, 475th, 476th, 477th, 478th, 479th, 480th, 481st, 482nd, 483rd, 484th, 485th, 486th, 487th, 488th, 489th, 490th, 491st, 492nd, 493rd, 494th, 495th, 496th, 497th, 498th, 499th, 500th, 501st, 502nd, 503rd, 504th, 505th, 506th, 507th, 508th, 509th, 510th, 511st, 512nd, 513th, 514th, 515th, 516th, 517th, 518th, 519th, 520th, 521st, 522nd, 523rd, 524th, 525th, 526th, 527th, 528th, 529th, 530th, 531st, 532nd, 533rd, 534th, 535th, 536th, 537th, 538th, 539th, 540th, 541st, 542nd, 543rd, 544th, 545th, 546th, 547th, 548th, 549th, 550th, 551st, 552nd, 553rd, 554th, 555th, 556th, 557th, 558th, 559th, 560th, 561st, 562nd, 563rd, 564th, 565th, 566th, 567th, 568th, 569th, 570th, 571st, 572nd, 573rd, 574th, 575th, 576th, 577th, 578th, 579th, 580th, 581st, 582nd, 583rd, 584th, 585th, 586th, 587th, 588th, 589th, 590th, 591st, 592nd, 593rd, 594th, 595th, 596th, 597th, 598th, 599th, 600th, 601st, 602nd, 603rd, 604th, 605th, 606th, 607th, 608th, 609th, 610th, 611st, 612nd, 613th, 614th, 615th, 616th, 617th, 618th, 619th, 620th, 621st, 622nd, 623rd, 624th, 625th, 626th, 627th, 628th, 629th, 630th, 631st, 632nd, 633rd, 634th, 635th, 636th, 637th, 638th, 639th, 640th, 641st, 642nd, 643rd, 644th, 645th, 646th, 647th, 648th, 649th, 650th, 651st, 652nd, 653rd, 654th, 655th, 656th, 657th, 658th, 659th, 660th, 661st, 662nd, 663rd, 664th, 665th, 666th, 667th, 668th, 669th, 670th, 671st, 672nd, 673rd, 674th, 675th, 676th, 677th, 678th, 679th, 680th, 681st, 682nd, 683rd, 684th, 685th, 686th, 687th, 688th, 689th, 690th, 691st, 692nd, 693rd, 694th, 695th, 696th, 697th, 698th, 699th, 700th

need to verify location of easements — cannot
tie back to site plan

dimana orang-orang

Planning and Zoning

1. What is the proposed use?	<u>Commercial</u>		
2. What is the proposed density?	<u>N/A</u>		
3. What is the existing zoning?	<u>PD-9, CR</u>		
	<u>Yes</u>	<u>No</u>	<u>N/A</u>
4. Is the plan zoned properly?	<u>✓</u>	<u> </u>	<u> </u>
5. Does the use conform to the Land Use Plan?	<u>✓</u>	<u> </u>	<u> </u>
6. Is this tract taken out of a larger tract	<u>✓</u>	<u> </u>	<u> </u>
7. Will the development landlock another property?	<u> </u>	<u>✓</u>	<u> </u>
8. Is this project subject to the provisions of the Concept Plan Ordinance?	<u> </u>	<u>✓</u>	<u> </u>
9. Has a Concept Plan been been Provided and Approved	<u>✓</u>	<u> </u>	<u> </u>
10. Does the plan conform to the Master Park Plan?	<u> </u>	<u> </u>	<u>✓</u>
11. Does plan conform to the Comprehensive Zoning Ordinance of approved PD Ordinance?			
a. Lot Size	<u>✓</u>	<u> </u>	<u> </u>
b. Building Line	<u>✓</u>	<u> </u>	<u> </u>
c. Parking	<u>✓</u>	<u> </u>	<u> </u>
d. Buffering	<u> </u>	<u> </u>	<u>✓</u>
e. Site Plan	<u>✓</u>	<u> </u>	<u> </u>
f. Other	<u> </u>	<u> </u>	<u> </u>
12. Has the City Planner reviewed and commented on the plan? (If so, attach copy of Review)	<u>✓</u>	<u> </u>	<u> </u>

13. Does the plan exhibit good planning in general layout, access, and vehicular and pedestrian circulation?

✓

14. Comments:

There are several comments from John Reiter regarding circulation from lane design.

Yes

No

N/A

Engineering

1. Streets and Traffic

- a. Does the plan conform to the Master Thoroughfare Plan?

✓

- b. Is adequate right-of-way provided for any major thoroughfares or collectors?

✓

- c. Is any additional right-of-way provided for all streets and alleys?

✓

- d. Is any additional right-of-way required?

✓

- e. Is there adequate road access to the proposed project?

✓

- f. Will escrowing of funds or construction of sub-standard roads be required?

✓

- g. Do proposed streets and alleys align with adjacent right-of-way?

✓

- h. Do the streets and alleys conform to City regulations and specifications?

✓

i. Are the street names acceptable?

j. Is a traffic analysis needed?

✓

k. Comments:

see attached from John
Reglin

2. Utilities

a. Does the Plan conform to the Master Utility Plan?

b. Are all lines sized adequately to handle development?

1. Water

2. Sewer

c. Is additional line size needed to handle future development?

1. Water

2. Sewer

d. Is there adequate capacity in sewer outfall mains, treatment plants and water transmission lines to handle the proposed development?

e. Are all necessary easements provided?

f. Do all easements have adequate access?

g. Are any off site easements required?

h. Have all appropriate agencies reviewed and approved plans?

1. Electric

2. Gas

3. Telephone

4. Cable

i. Does the drainage conform to City regulations and specifications?

j. Do the water and sewer plans conform to City regulations and specifications?

k. Is there adequate fire protection existing or planned?

l. Comments:

General Requirements

1. Has the City Engineer reviewed and approved the plan?

2. Does the final plat conform to the City's Flood Plain Regulations?

3. Does the final plat conform to the preliminary plat as approved?

4. Staff Comments:

Time Spent on Review

<u>Name</u>	<u>Date</u>	<u>Time Spent (hours)</u>
<u>Julie Webb</u>	<u>10/1</u>	<u>1 hr.</u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>

REVIEW OF THE SITE PLAN FOR FOOD LION STORE

Following are the staff comments regarding the application of Food Lion Stores for a site to be located on FM-740 south of Horizon Road:

Site Plan

1. They do not propose any free standing signs at this time. They are aware that if a sign is proposed later it would have to be a monument type.
2. The drives are proposed to be 36 feet in width. Our OV guidelines recommend a maximum of 30 feet in most locations.
3. The entrance off of FM-740 would work better as a joint entrance for both this site and the site to the south. The applicants would prefer to construct the drive as shown or a portion of the drive.
4. Their standard light pole for the parking lot is 40 feet with fairly bright lights. The OV guidelines recommend a maximum of 20 feet in height. This site is also at the top of the hill and this would make the lights even brighter from the street.
5. The loading area is shown to be screened from FM-3097 with a 3' berm and a photinia hedge. The applicant may wish to use a short brick wall along the top of the berm, which would be in conformance with the landscaping ordinance.
6. They are aware that a turn lane will be required for the entrance to FM-740.

Landscape Plan

1. The applicant is providing 12.5% of landscaping with a credit of 2.5% for the 3' berm on FM-740 and FM-3097. They need to adjust the landscaping in the interior of the parking lot to provide 5% in landscaping. They are currently only providing approximately 2.5%.
2. They need to provide additional trees along the street frontages. They are required to have trees equal to 1 per 30 feet in the OV district and they are only providing 1 per 50 feet. They are requesting approval to not use that many trees in the front because it blocks the view of the building from the street.

Elevations

1. The applicant has proposed to use a parapet wall along the front and the two sides of the building, but not along the back of the building. They are proposing a screen along the A/C equipment, but the roof will be visible from FM-3097.

SITE PLAN REVIEW

- * Date Submitted _____
- * Scheduled for P&Z _____
- * Scheduled for Council _____
- * Applicant/Owner Food Lion
- * Name of Proposed Development _____
- * Location _____ Legal Description _____
- _____
- * Total Acreage _____ No. Lots/Units _____
- * Current Zoning _____
- Special Restrictions _____
- _____
- * Surrounding Zoning _____

	<u>Yes</u>	<u>No</u>	<u>N/A</u>
<u>Planning</u>			
1. Is the site zoned properly?	<u>✓</u>	_____	_____
2. Does the use conform to the Land Use Plan?	<u>✓</u>	_____	_____
3. Is this project in compliance with the provisions of a Concept Plan?	<u>✓</u>	_____	_____
* 4. Is the property platted?	_____	<u>✓</u>	_____
* 5. Is plat filed of record at Courthouse? File No. _____	_____	_____	_____
* 6. If not, is this site plan serving as a preliminary plat?	<u>✓</u>	_____	_____
7. Does the plan conform to the Comprehensive Zoning Ordinance or PD Ordinance on the following:			
a. Are setbacks correct?			
front	<u>✓</u>	_____	_____
side	<u>✓</u>	_____	_____
rear	<u>✓</u>	_____	_____
b. Are buildings on same lot adequately separated?	_____	_____	<u>✓</u>

- | | | | | |
|----|---|-------------------------------------|-------------------------------------|--------------------------|
| c. | Is the lot the proper size? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| d. | Does the lot have proper dimensions? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| e. | Are exterior materials correct? <i>concrete block</i> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| f. | Are structural materials correct? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| g. | Is coverage correct? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| h. | Is adequate area in landscaping shown? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| i. | Is it irrigated? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| j. | Is landscaping in parking lot required? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| k. | Are types of landscaping indicated? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| l. | Is floor area ratio correct? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| m. | Is building height correct? <i>needs to check</i> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| n. | Are correct number of parking spaces provided? <i>need to check</i> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| o. | Are driving lanes adequate in width? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| p. | Are parking spaces dimensioned properly | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| q. | Does the parking lot meet City specifications | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| r. | Is a fire lane provided? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| s. | Is it adequate in width? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| t. | Are drive entrances properly spaced? <i>7'4"</i> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| u. | Are drive entrances properly dimensioned? <i>7'4"</i> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| |Do drive entrances line up with planned median breaks? <i>needs to verify</i> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| v. | Is lighting provided and correctly directed? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| w. | Are sidewalks required? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| x. | Are sidewalks provided? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| y. | Is a screen or buffer required? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| |Is it sized properly? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| |Is it designed properly? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| |Is it of correct materials? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

- | | | | |
|--|-------------|-------------|-------------|
| ✓ 7. Does the site plan contain all required information from the application checklist? | _____ | _____✓_____ | _____ |
| 8. Is there adequate access and circulation? | _____✓_____ | _____ | _____ |
| 9. Is trash service located and screened? | _____ | _____✓_____ | _____ |
| ✓ 10. Are street names acceptable? | _____ | _____ | _____✓_____ |
| 11. Was the plan reviewed by a consultant?
(If so, attach copy of review.) | _____ | _____✓_____ | _____ |
| 12. Does the plan conform to the Master Park Plan? | _____ | _____ | _____✓_____ |
| 13. Are there any existing land features to be maintained?
(ie, topography, trees, ponds, etc.) | _____ | _____✓_____ | _____ |

Comments:

Building Codes

- | | | | |
|--|-------------|-------|-------|
| 1. Do buildings meet fire codes? | _____✓_____ | _____ | _____ |
| 2. Do signs conform to Sign Ordinance? | _____ | _____ | _____ |
- need to check*

Comments:

Engineering

- | | | | |
|--|-------------|-------------|-------------|
| 1. Does plan conform to Thoroughfare Plan? | _____✓_____ | _____ | _____ |
| 2. Do points of access align with adjacent ROW? | _____ | _____ | _____✓_____ |
| 3. Are the points of access properly spaced? | _____ | _____✓_____ | _____ |
| 4. Are street improvements required? | _____ | _____✓_____ | _____ |
| 5. Will escrowing of funds or construction of substandard roads be required? | _____ | _____✓_____ | _____ |
| 6. Does plan conform with Flood Plain Regulations? | _____✓_____ | _____ | _____ |
| 7. Is adequate fire protection present? | _____ | _____ | _____ |
| 8. Are all utilities adequate? | _____ | _____ | _____ |
| 9. Are adequate drainage facilities present? | _____ | _____ | _____ |
| 10. Is there a facilities agreement on this site? | _____ | _____✓_____ | _____ |
- need to check*

- | | | | |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| 11. Are existing roads adequate for additional traffic to be generated? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 12. Is the site part of a larger tract? Does the plan adversely impact development of remaining land? | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. Are access easements necessary? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. Are street and drive radii adequate? <i>need to check</i> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 15. Have all required conditions been met? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 16. Is there a pro rata agreement on this site? <i>but must water line</i> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Have all charges been paid? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Time Spent on Review

<u>Name</u>	<u>Date</u>	<u>Time Spent (hours)</u>
<i>John A.</i>	<i>7/26</i>	<i>2 hrs.</i>

MEMORANDUM

August 8, 1990

TO: Members of the Planning and Zoning Commission

FROM: Julie Couch, Assistant City Manager

RE: Food Lion Site Plan

As we mentioned in the notes the Architectural Review Board met Tuesday night to take action on the Food Lion request. I have attached a copy of the draft minutes of the meeting which includes their recommendation on the proposal.

I have spoken with the developers since the meeting and the following are some of their responses to the recommendations of the Board:

<u>Item</u>	<u>Response</u>
1. Traffic analysis -	The developer does not object to a traffic analysis of the project. They are very interested in keeping the 36' drive entrances and believe that a detailed design of the drives would address concerns. They are willing to consider the construction of an acceleration lane northbound in addition to the center turn lane if that is necessary to have the wider drives.
2. 20' light poles-	This was a concern of the developer. They use a standard 40' pole to obtain the lighting required by Food Lion. They should be prepared to address this tomorrow night. They have indicated that the number of poles will increase from 2 to 8 if they use 20 foot poles. The Board felt quite strongly about this item.
3. Joint access easements -	This presents no problems.
4. Raised sidewalk curb -	This is a significant concern to the Food Lion Company. They apparently do not use a raised sidewalk on any of their installations

and they in fact remove them if they occupy an existing site. They prefer that the paving have no obstructions to the building. They have no problem with providing a walk area along the south side of the building but they again do not want to raise that walk. If this is approved the fire lane in the front does need to be painted to insure that it is not used for parking.

- | | | |
|-----|------------------------------|---|
| 5. | Screening for loading area - | This presents no problems. |
| 6. | Additional trees - | This presents no problems. |
| 7. | Access to Mr. M. - | This presents no problems. |
| 8. | Back parapet wall - | This presents no problems. |
| 9. | Wrap around front parapet - | They had some initial concerns but they believe this can be addressed. |
| 10. | Additional roof equipment - | They had some initial concerns. |
| 11. | Brick color - | This presents no problems. |
| 12. | Brick band - | This presents no problems. |
| 13. | Rear stairway and canopy - | They propose to construct the stairs out of concrete rather than use a metal stair and they propose to use a dark bronze canopy and posts to soften the visual effect of the canopy in response to this item. |

Developer Response

1. Driveway widths - would prefer
2. can provide access to Mr. Hon 3097, would
more buildy to Mr M & open access
3. Would like 3 lanes but would consider
at access lane
4. Make sure access easement wide enough &
connect the entire drive entrance

Minor - also look at acceleration lane
on 740 as well as where the road is
widened.

1. ✓ access to Mr. M on 3097 side
2. limit the width of drives to 30 feet
3. Put a sidewalk along the side of Buddy
4. Cant curb outside of front
5. raise the issue of drainage
6. Bring up the color of brick
7. Bring up the continuation of Brick Bardon all 4 sides
8. Wrap around the full parapet
9. There will be a rivet on wall & on scenery wall
10. Parapet should be continued along the back.
11. Exterior lighting on building - fluorescent under the Buddy - look at recessed can on soffit light
12. Letters - every face letters
13. Color of canopy & type of canopy - would like an upgrade so on back
14. Stair should be concrete & look like a part of Buddy
15. Metal cap - Test green baked enamel
16. Don't want a curb in front & along side when there is park to avoid any expansion on side of Buddy
17. Need traffic sign analysis in conjunction with drive openings & stacking both into & out of park lot

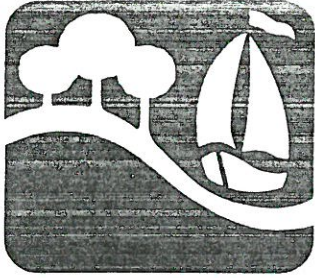
Agenda of Board

1. Want to stay with soft drives but willing to check at with traffic analysis on stacky, internal & external, as well as turn lane & acceleration lane. Also look at when 740 is widened.
2. ^{point 2/1} ~~Second~~ ^{us 8} one for 20 foot poles - period. & fix them with better fixtures
3. Work on joint access on final plan.
4. Need a curb on sidewalk ^{front} & provide sidewalk along South side.
5. Will plant 3' photinias 4' offset from the top of 5' berm on 36" centers not in straight row
6. Put additional trees on north side
7. Provide access on both sides of Mr. M.
8. Extend parapet wall along the back
9. To wrap around the front parapet or full down the front of the building
10. Any signpost. w/ further deli should be studied
11. Color will be consistent & provide Blue signage

12. Put brick band around belly

13. Lay some stairways on back + upgrade
canopy on back

14.



CITY OF ROCKWALL

"THE NEW HORIZON"

July 30, 1990

Mr. John Reed
Cardenas-Salcedo and Associates, Inc.
5787 S. Hampton, Suite 480
Dallas, TX 75232

Dear John:

I have had an opportunity to review the site plan and related information that has been submitted for the proposed Food Lion Store. There are a number of items that need to be added to the submission for a complete review. I had provided you with the Site Plan application for the Overlay District as well as the standard Site Plan form. Both of these forms list much of the information that still needs to be provided and should be included in the submission. I have attached another copy of the Overlay District application form for completion. Following is a list of additional information or clarification that is needed.

Site Plan

1. Label all dimensions including driveway widths, drive lanes, turning radii, property lines, and building size and dimensions including height.
2. Typical design of all signage including wall and free standing signage. You are limited to a monument sign for a free standing sign design.
3. Location, screening, and dimensions of trash disposal area.
4. Number of parking spaces required and number provided on the site plan.
5. Fire lane needs to be designated.
6. Paving needs to be constructed to the property line at those points that are to be designated as cross access locations. I have identified several possible locations on the attached drawing.
7. Identify paving material.
8. The drive on FM-740 appears to be approximately 35-40 feet. Our general standard for automobile access is 30 feet.

9. The access off of FM-740 should be designed to serve as a joint access for this site and the site to the south.
10. We need details of outside lighting including parking lot lighting. Generally, parking lot light poles should not exceed 20 feet.
11. We need more details of the proposed screening of the loading area. Generally, the screening needs to be six feet in height from the street. I see that you are using a berm for partial screening but we need to address this issue further. You may consider the use of a brick wall parallel to FM-3097 in front of the loading area itself.
12. Be aware that all utility drops must be underground.
13. You are providing 12.5 feet of ROW on FM-740. Our current plans only call for 7.5 feet to be dedicated.
14. As indicated on the Overlay District Site Plan application we need grade information on the access drives and cross section information through the building and site.
15. As we discussed, we will need to look at a center turn lane being provided on FM-740.

Landscaping Plan

1. The area being used in the calculation for required landscaping needs to be shaded for identification. You cannot use land to be dedicated as ROW to meet the landscaping requirements unless you wish to receive credit for enhanced landscaping.
2. I need a calculation of the area of the interior of the parking lot. At least 5% of the interior of the parking lot must be landscaped. This area needs to be identified. At least one tree for every 20 parking spaces must be provided and they should be placed throughout the parking lot in the front.
3. We need more details on the landscaping itself. What is proposed besides the identified trees and grass.
4. The proposed berms appear to be partially on ROW. This may present a problem. We need some typical cross sections of the berms to determine if they will pose a problem.
5. I would recommend that evergreen shrubs be considered along the berm on FM-3097 for additional screening.
6. There need to be trees equal to 1 for every 30 feet of frontage on both FM-740 and FM-3097.

Elevations

1. We will need more detailed elevations for the front and the rear of the building. There will be significant interest in mitigating the rear view of the building from FM-3097.
2. Concrete block is not a permitted material without a Conditional Use Permit. Tilt wall is not encouraged within the Overlay District. You need to consider brick on the two sides currently showing block.
3. All utility equipment must be screened from view. Consideration should be given to extending the parapet wall on both sides and the rear.
4. What will the front canopy consist of and what will it look like?

As I mentioned to you this is scheduled to go to the Architectural Review Board on August 7 and the Planning and Zoning Commission on August 9. In order for the Board to have adequate time to review the application I will need this information back by next Wednesday at 12:00. There will be a great deal of interest in this project. It is the largest project to be constructed on FM-740 since the Overlay District was adopted. As much detail as you can provide will be needed to adequately present your application. If the Board or Commission do not feel that they have enough information to adequately review the application your case may be delayed to provide additional time.

As I mentioned, I will be out of town until August 6. I will call you when I get back and have an opportunity to review the additional information. In the meantime if you have any scheduling questions you may contact Mary Nichols. We will need 16 copies of the revisions for both the Board and the Commission, along with an 8-1/2" x 11" reduction. Please submit them to Mary Nichols.

Sincerely,



Julie Couch
Assistant City Manager

cc: Bill Eisen
Mary Nichols

attachment

OVERLAY DISTRICT
SITE PLAN APPLICATION

Date_____

NAME OF PROPOSED DEVELOPMENT_____

LOCATION OF PROPOSED DEVELOPMENT_____

NAME OF PROPERTY OWNER/DEVELOPER_____

ADDRESS_____ PHONE_____

NAME OF LAND PLANNER/ENGINEER_____

ADDRESS_____ PHONE_____

TOTAL ACREAGE_____ CURRENT ZONING_____

NUMBER OF LOTS/UNITS_____

PROPOSED USE FOR DEVELOPMENT_____

SIGNED_____

Following is a checklist of items that are required as a part of the site plan consideration. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal. All information should be provided on a scaled 18" x 24" sheet. Refer to the Design Guidelines for the Scenic Overlay District for additional information.

Provided or Shown
On Site Plan

Not
Applicable

1. Key Map showing general location of proposed development.

2. Total lot or site area - if the site is part of a larger tract include a key map showing entire tract and location of site being planned.

3. Location, dimensions, and size of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.

4. Accurate boundary dimensions

5. Location and type of fencing and/or screening of yards and setback areas.

6. Landscape plan meeting the provisions of Ordinance No. 88-28.

7. Location and dimensions of ingress and egress, including drive widths and curb radii, location and dimensions of all existing drives within 100 ft. of proposed development.

8. Location of all easements within the site.

9. Show existing topographic contours on 5 ft. intervals and the existing average grade of all streets adjacent to the site and indicate the proposed pad elevations for all structures.

10. Indicate proposed drive access grades.

11. Include a center cross section of the site including elevations of the ground and buildings taken from the street to the rear of the property. Additional cross sections may be necessary depending on the individual location.

<u>Provided or Shown On Site Plan</u>	<u>Not Applicable</u>
---	---------------------------

_____	_____
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12. Location, number and dimensions of off-street parking and loading facilities.

_____	_____
-------	-------

13. Height of all structures.

_____	_____
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14. Location, general design, typical elevation and types of all signs (both wall and free standing) including lighting, heights and colors.

_____	_____
-------	-------

15. General description of exterior lighting plan including height and type of all light poles.

_____	_____
-------	-------

16. Building Plan - include a general layout of all proposed buildings indicating proposed uses.

_____	_____
-------	-------

17. Elevation drawings in accordance with the Overlay District Guidelines.

_____	_____
-------	-------

18. Location and screening of trash facilities.

_____	_____
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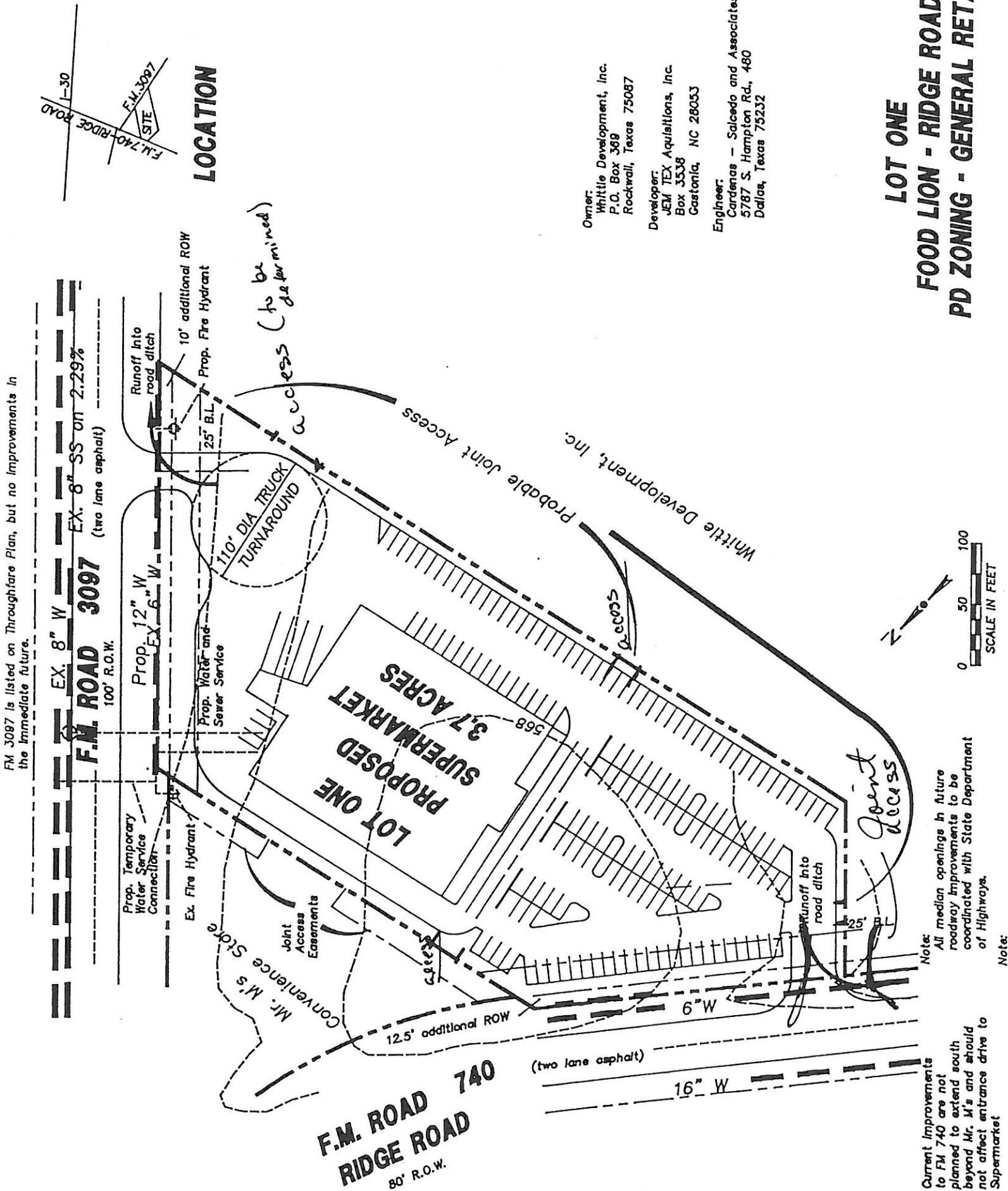
19. Location of nearest fire hydrant within 500 ft.

_____	_____
-------	-------

20. Street names on proposed streets.

_____	_____
-------	-------

21. The following additional information:



**CARDENAS-SALCEDO
& ASSOCIATES, INC.**

5787 South Hampton, Suite 480
DALLAS, TEXAS 75232

(214) 333-0014
FAX (214) 333-2742

LETTER OF TRANSMITTAL

DATE	8/1/90	JOB NO.	90-349
ATTENTION			
RE: Revised Submittal - Food Lion			

TO Mr Bill Eisen
City Manager
City of Rockwall, Texas

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via Carrier the following items:

- ☐ Shop drawings ☒ Prints ☐ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐ _____

COPIES	DATE	NO.	DESCRIPTION
			16 Site Plan
			16 Landscape Plan
			16 Site Cross Section

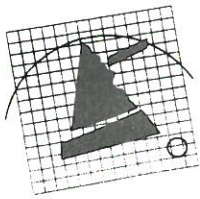
THESE ARE TRANSMITTED as checked below:

- ☐ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☒ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☐ For review and comment ☐ By Julie Couch
☐ FOR BIDS DUE _____ 19 _____ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS Respond if Necessary.

COPY TO Julie Couch, ACU

SIGNED: [Signature]



ARTECH
DESIGN GROUP INC.

FED X OVERNIGHT

LETTER OF TRANSMITTAL

DATE: 8/1/90

JOB NO.: 90-50

ATTENTION: MARY NICHOLS

RE: FOOD LION STORE

ROCKWALL, TX

TO: CITY OF ROCKWALL
205 WEST RUSK
ROCKWALL, TX 75087
214/771-1111

We are sending you attached:

- ☒ Prints ☐ Copy of letter ☐ Specifications
☐ Tracings ☐ Shop drawings ☐ Samples
☐ Other: _____

Copies	Date	Sheet #	Description
10			BLUE LINES OF ELEVATIONS
1			REDUCTION ON 8 1/2" W. PAPER

These are transmitted as checked below:

- ☐ For approval ☐ Approved as noted
☒ For your use ☐ Returned for corrections
☐ As requested ☐ Resubmit copies for approval
☐ For review and comment ☐ Submit copies for distribution
☐ Approved as submitted ☐ Return corrected prints

Remarks: THESE ARE SUBMITTED FOR INCLUSION WITH THE
SITE DRAWINGS AS SUBMITTED BY CARDENAS-SALCEDO.

Copy to: _____ By: DANNY FLOYD

MINUTES OF
THE ARCHITECTURAL BOARD OF REVIEW

AUGUST 7, 1990

Members Present: Chuck Hodges, Lynn Broyles, Gary McKibben, John Lewis, Haywood Eason. Rick Burgy and Sherry Lofland were not present. The meeting was called to order at 7:15 p.m.

The Board considered approval of a site plan and building plan for a Food Lion grocery store to be located on FM-740 south of Horizon Road.

After a lengthy discussion it was the consensus of the Board that the following items be recommended to the Planning and Zoning Commission regarding the proposed development:

1. That a detailed traffic analysis be completed including the design of the center turn lane, the possible provision of a north bound acceleration lane, the request for a 36 foot entrance drive with three lanes, and both internal and external stacking conditions. The Board generally stated that their preference was for 30 foot drives but that the drive conditions should be studied along with the other traffic issues.
2. That the parking lot lighting poles not exceed 20 feet in height.
3. That the joint access easements be established on the final plat and include the drives into the project.
4. That a raised sidewalk be provided along the front and south side of the building.
5. That the screen along FM-3097 for the loading area consist of a 3 foot berm with a minimum of 3 foot photinia hedge not less than six inches from the top of the berm. The photinias should be placed on 3 foot centers and some effort should be made to not create a straight line with the plants.
6. The additional required street trees should be placed along the north property line to provide some screening for the side of the building.
7. Paved access should be provided on both sides of the Mr. M building.
8. The parapet wall should be extended along the back of the building.
9. The parapet at the two front corners of the building should be wrapped around from the front to the sides to add some mass and break up the visual appearance of the front parapet.

10. Any additional roof mount equipment other than what is identified in the application should be studied by the City to determine if additional screening is necessary.
11. The color of the building should be compatible with surrounding development and a brick sample should be provided to the Commission and Council.
12. The contrasting color band on the front of the building should be continued on all sides of the building.
13. The stairways and canopies at the rear of the building should be upgraded and tied into the building.

CITY OF ROCKWALL
Planning and Zoning Agenda

Agenda Date: August 9, 1990

Agenda No: III. B.

Agenda Item: P&Z 09-23/SP/PP - Discuss and Consider Approval of a Site Plan/
Preliminary Plat/Building Plan for Food Lion Grocery Store

Item Generated By: Applicant, Food Lion Stores

Action Needed: Consider approving the site plan and plat with any changes
necessary.

Background Information:

We have received a request from Food Lion Stores for the above items. They have submitted a site plan, elevations, landscape plan, and cross sections for your consideration and for the Architectural Board. They will be meeting with the Board on Tuesday and we will have their recommendation for you on Thursday night. Our comments regarding the plans submitted are as follows:

Site Plan

1. They do not propose any free standing signs at this time. They are aware that if a sign is proposed later it would have to be a monument type.
2. The drives are proposed to be 36 feet in width. Our OV guidelines recommend a maximum of 30 feet in most locations.
3. The entrance off of FM-740 would work better as a joint entrance for both this site and the site to the south. The applicants would prefer to construct the drive as shown or a portion of the drive.
4. Their standard light pole for the parking lot is 40 feet with fairly bright lights. The OV guidelines recommend a maximum of 20 feet in height. This site is also at the top of the hill and this would make the lights even brighter from the street.
5. The loading area is shown to be screened from FM-3097 with a 3' berm and a photinia hedge. The applicant may wish to use a short brick wall along the top of the berm, which would be in conformance with the landscaping ordinance.

We will be able to review the recommendations of the Board on Thursday night.

NOTES CONT'D ON NEXT PAGE

Attachments:

1. Site Plan, Elevations, Cross Sections, Landscape Plan

Agenda Item: Food Lion Site Plan

Item No: III. B.

NOTES ON FOOD LION CONT'D

6. They are aware that a turn lane will be required for the entrance to FM-740.

Landscape Plan

1. The applicant is providing 12.5% of landscaping with a credit of 2.5% for the 3' berm on FM-740 and FM-3097. They need to adjust the landscaping in the interior of the parking lot to provide 5% in landscaping. They are currently only providing approximately 2.5%.
2. They need to provide additional trees along the street frontages. They are required to have trees equal to 1 per 30 feet in the OV district and they are only providing 1 per 50 feet. They are requesting approval to not use that many trees in the front because it blocks the view of the building from the street.

Elevations

1. The applicant has proposed to use a parapet wall along the front and the two sides of the building, but not along the back of the building. They are proposing a screen along the A/C equipment, but the roof will be visible from FM-3097.

CITY OF ROCKWALL
Planning and Zoning Agenda

Agenda Date: December 13, 1990

Agenda No: III. D.

Agenda Item: Discuss and Consider Recommending Approval of an Amendment to the Site Plan for Food Lion

Item Generated By: Applicant, Food Lion

Action Needed: Consider approving the requested amendment.

Background Information:

Food Lion is now in the process of completing their construction plans for the Rockwall store. In their original application they had requested a 36 foot drive off of FM-740 and a 30 foot drive off of FM-3097. There was a great deal of discussion regarding the 36 foot drive on 740 and it was included in the review done by John Reglin. They have now decided that they would prefer a 36 foot drive off of 3097 as well. They want to be able to provide for a north and a south bound exit from the parking lot. This entrance will also be used by the majority of the truck traffic servicing this site.

Because this was such an item of discussion during the original consideration I have required them to submit their request as a formal site plan amendment. I have discussed this change with Mr. Reglin and he does not see a significant problem with the additional footage. A copy of that portion of the site plan is attached with their request.

Attachments:

1. Location Map
2. Request with drawing

Agenda Item: Food Lion Site Plan

Item No: III. D.

November 21, 1990



Ms. Julie Couch
City of Rockwall
205 W. Rusk
Rockwall, Texas

CARDENAS - SALCEDO AND ASSOCIATES, INC.
5787 S. HAMPTON, SUITE 480 • DALLAS, TX 75232
214/333-0014

RE: Proposed Food Lion Site Development

Dear Ms. Couch:

In follow up to our telephone conversation last week I would like this letter to serve as a request in considering a 36.00 foot wide drive in lieu of a 30.00 foot wide drive at our project entrance off of F.M. 3097. The attached exhibit shows the requested widening. This request was prompted by the Site Developer in order to provide better patron and truck accessibility off of F.M. 3097. This drive widening along with the proposed widening of F.M. 740 should greatly entrance the traffic conditions at the F.M. 740 site entrance. Although we do not intend to restrict truck traffic from the F.M. 740 drive we do anticipate the more convenient truck entrance and exit condition to be at F.M. 3097. Thus relieving the storage and exiting condition at the F.M. 740 Drive.

Also, as discussed we are making plans to be on the December 13th, 1990 Planning and Zoning Commission Meeting and then the 17th of December, 1990 Council Meeting. As always we look forward to a favorable response.

Should you require any further information or correspondence please do not hesitate in calling.

Sincerely,
CARDENAS-SALCEDO AND ASSOCIATES, INC.

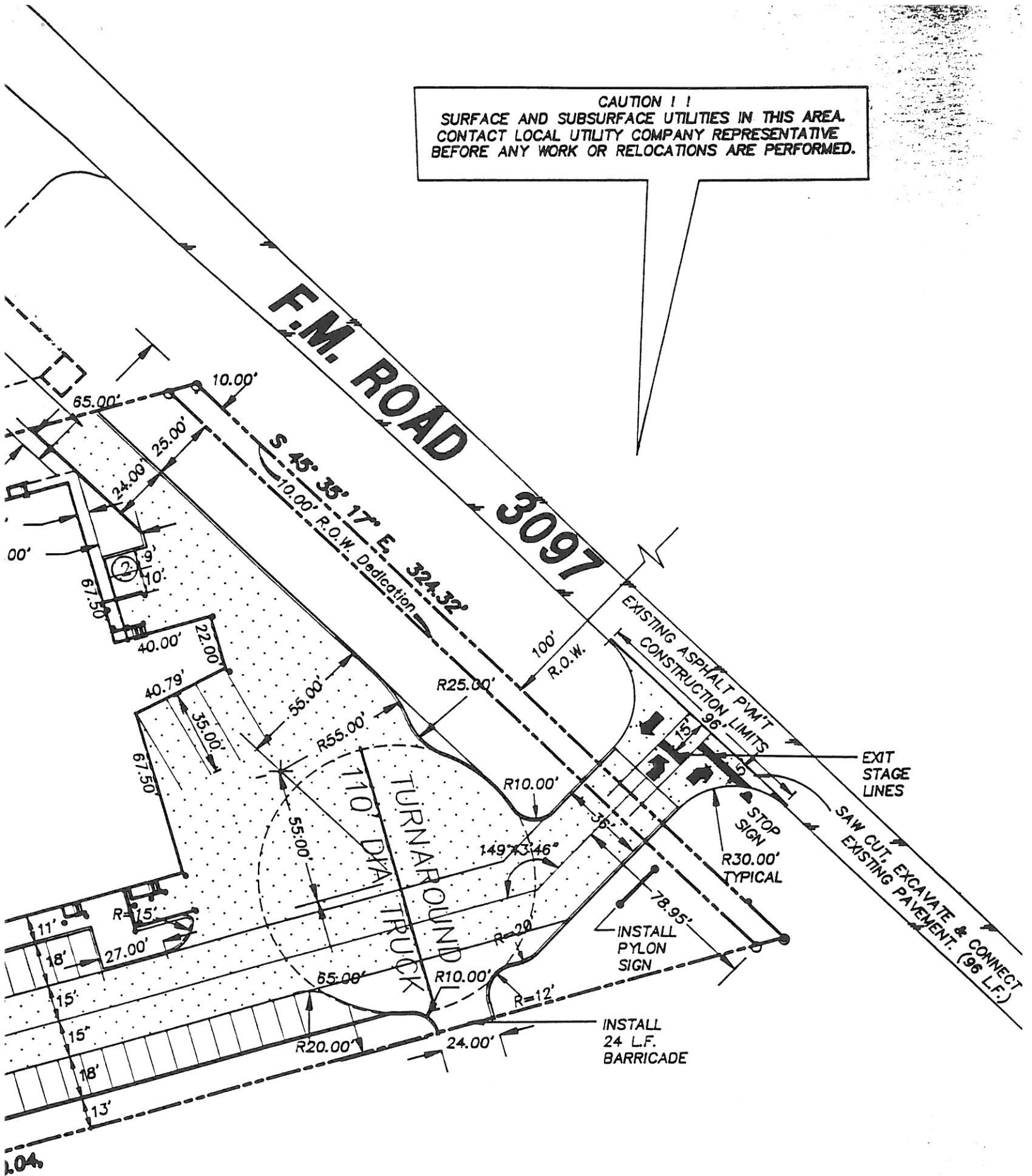
J. R. R.

J Rob't Reed

JRR/dg

Encl.
cc: JEMTEX

CAUTION !!
 SURFACE AND SUBSURFACE UTILITIES IN THIS AREA.
 CONTACT LOCAL UTILITY COMPANY REPRESENTATIVE
 BEFORE ANY WORK OR RELOCATIONS ARE PERFORMED.

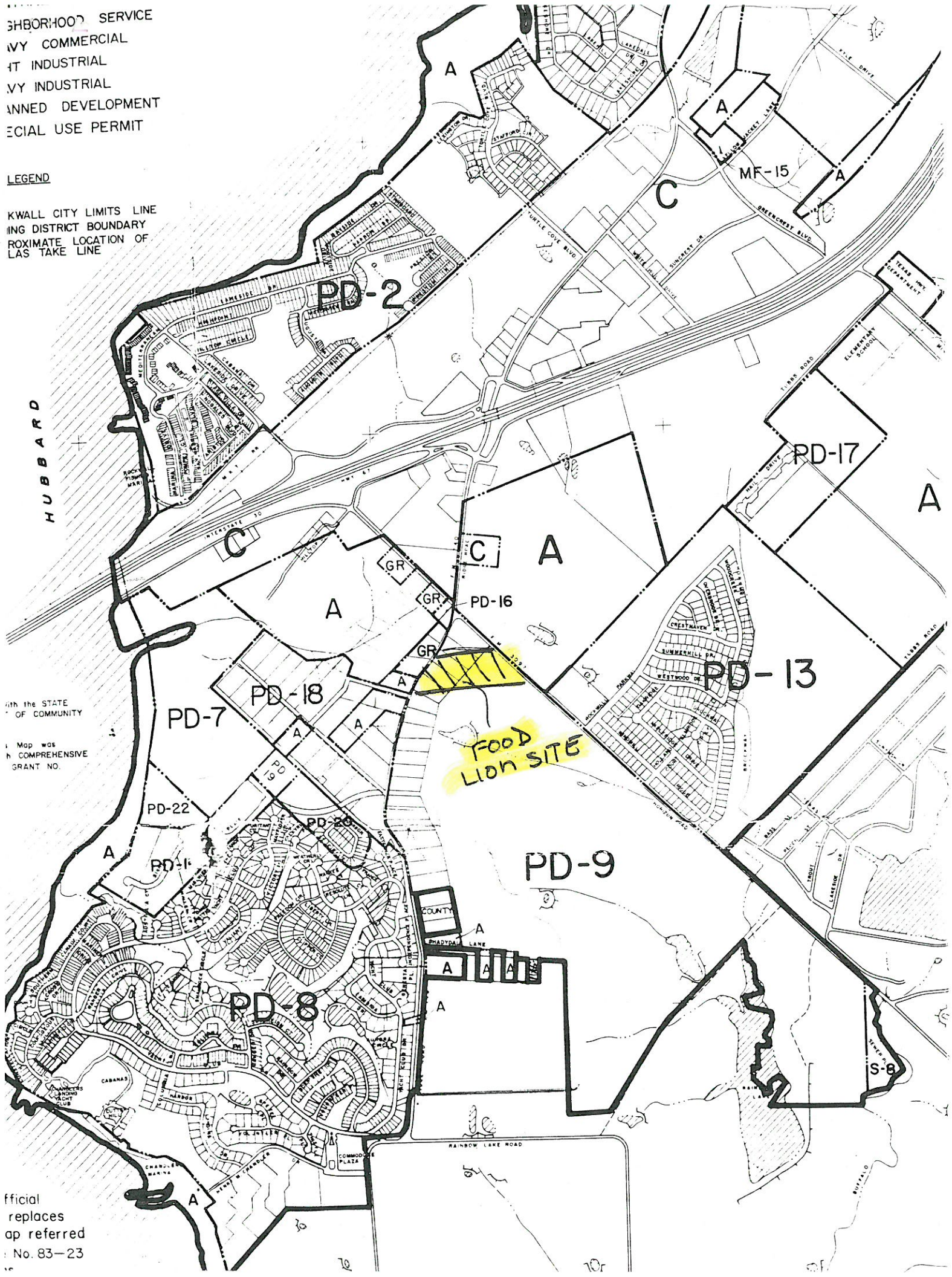


36.00' WIDE
 EAST DRIVE EXHIBIT
 SITE # 50 @ F.M.3097
 ROCKWALL, TEXAS

SHB0R1007 SERVICE
WY COMMERCIAL
IT INDUSTRIAL
WY INDUSTRIAL
ANNED DEVELOPMENT
ECIAL USE PERMIT

LEGEND

KWALL CITY LIMITS LINE
ING DISTRICT BOUNDARY
ROXIMATE LOCATION OF
LAS TAKE LINE



With the STATE
OF COMMUNITY
Map was
COMPREHENSIVE
GRANT NO.

Official
replaces
as referred
No. 83-23

**CITY OF ROCKWALL
City Council Agenda**

Agenda Date: August 20, 1990

Agenda No: VI. B.

Agenda Item: P&Z 90-23-SP/PP - Discuss and Consider Approval of a Site Plan/Preliminary Plat/Building Plan for Food Lion Grocery Store

Item Generated By: Applicant, Food Lion Stores

Action Needed: Take action on the proposed site plan/plat.

Background Information:

We have received a request for approval of a site plan from Food Lion Stores for a 32,211 sq. ft. store to be located on FM-740 south of the Mr. M location. The site contains 3.7 acres and will have frontage on both FM-740 and FM-3097. The site plan, as it has been revised, generally conforms to our requirements. The property is located within the Overlay District and has been reviewed by the Architectural Review Board as well as the Commission.

The Commission has recommended that the site plan/building plan/preliminary plat be approved subject to the recommendations of the Architectural Review Board with the exception that they not be required to construct a raised sidewalk in front of and along the south side of the building.

A listing of the recommendations of the Board and the response of the developer to the recommendation is attached. The developer has incorporated most of the recommendations of the Board and Commission in their plans and they have included the changes in the drawings that you have in your packet. The Planning and Zoning Chairman will be at the meeting and a copy of the revised drawings have been provided to him as well.

Attachments:

1. Location Map
2. Site Plan
3. Elevations
4. Cross Sections
5. Landscape Plan
6. Concept Plan for PD-9

Agenda Item: Food Lion Site Plan

Item No: VI. B.