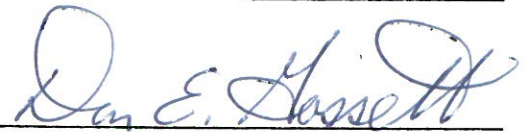


APPLICATION AND FINAL PLAT CHECKLISTDate January 25, 1991Name of Proposed Development LOT 1, BLOCK 1, CROSSINGS ADDITIONName of Developer RACETRAC PETROLEUM, INC.Address 300 Technology Ct., Smyrna, Georgia Phone 1-800-877-7357Owner of Record 30080  
RACETRAC PETROLEUM, INC.Address 300 Technology Ct., Smyrna, Georgia Phone 1-800-877-7357Name of Land ~~Owner~~ 30080 / Surveyor / ~~Engineer~~ Don E. Gossett, R.P.L.S.Address 1015 Yvonne Dr., Joshua, Tx. 76058 Phone 817-295-0733Total Acreage 1.004Current Zoning "C"Number of Lots/~~Units~~ One

Signed



The Final Plat shall generally conform to the Preliminary Plat, as approved by the City Council and shall be drawn to legibly show all data on a satisfactory scale, usually not smaller than one inch equals 100 feet. The Final Plat shall be submitted on a drawing which is 18" x 24".

The following Final Plat Checklist is a summary of the requirements listed under Section VIII of the Rockwall Subdivision Ordinance. Section VIII should be reviewed and followed when preparing a Final Plat. The following checklist is intended only as a reminder and a guide for those requirements.

INFORMATIONProvided or  
Shown on PlatNot  
ApplicableX      

1. Title or name of development, written and graphic scale, north point, date of plat and key map

X      

2. Location of the development by City, County and State



- |               |               |   |
|---------------|---------------|---|
| <u>  X  </u>  | <u>      </u> | 3. Location of development tied to a USGS monument, Texas highway monument or other approved benchmark  |
| <u>  X  </u>  | <u>      </u> | 4. Accurate boundary survey and property description with tract boundary lines indicated by heavy lines   |
| <u>      </u> | <u>  X  </u>  | 5. If no engineering is provided show contours of 5 ft. intervals   |
| <u>  X  </u>  | <u>      </u> | 6. Accurate plat dimensions with all engineering information necessary to reproduce plat on the ground  |
| <u>  X  </u>  | <u>      </u> | 7. Approved name and right-of-way width of each street, both within and adjacent to the development   |
| <u>  X  </u>  | <u>      </u> | 8. Locations, dimensions and purposes of any easements or other rights-of-way   |
| <u>  X  </u>  | <u>      </u> | 9. Identification of each lot or site and block by letter and number and building lines   |
| <u>  X  </u>  | <u>      </u> | 10. Record owners of contiguous parcels of unsubdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats or adjoining platted land by record name and by deed record volume and page |
| <u>      </u> | <u>  X  </u>  | 11. Boundary lines, dimensions and descriptions of open spaces to be dedicated for public use of the inhabitants of the development   |
| <u>  X  </u>  | <u>      </u> | 12. Certificate of dedication of all streets, alleys, parks and other public uses signed by the owner or owners (see wording)   |



- |                      |                      |  |
|----------------------|----------------------|--|
| <u>          </u>    | <u>      X      </u> | 13. Designation of the entity responsible for the operation and maintenance of any commonly held property and a waiver releasing the City of such responsibility, a waiver releasing the City for damages in establishment or alteration of grades (see wording) |
| <u>      X      </u> | <u>          </u>    | 14. Statement of developer responsibility for storm drainage improvements (see wording)  |
| <u>      X      </u> | <u>          </u>    | 15. Instrument of dedication or adoption signed by the owner or owners (see wording)   |
| <u>      X      </u> | <u>          </u>    | 16. Space for signatures attesting approval of the plat (see wording)  |
| <u>      X      </u> | <u>          </u>    | 17. Seal and signature of the surveyor and/or engineer responsible for surveying the development and/or the preparation of the plat (see wording)  |
| <u>          </u>    | <u>      X      </u> | 18. Compliance with all special requirements developed in preliminary plat review  |
| <u>      X      </u> | <u>          </u>    | 19. Statements indicating that no building permits will be issued until all public improvements are accepted by the City (see wording)   |
| <u>      X      </u> | <u>          </u>    | 20. Submit Along with plat a calculation sheet indicating the area of each lot.  |
| <u>          </u>    | <u>      X      </u> | 21. Attach copy of any proposed deed restrictions for proposed subdivision.  |



Page 4 of 4

Taken by: \_\_\_\_\_

Date: 1/25/91

Receipt No.: \_\_\_\_\_

File No.: 91-1-SP/CUP/FP

Fee: \$ 221.00



# OWNER'S CERTIFICATE

STATE OF TEXAS

COUNTY OF ROCKWALL

WHEREAS, RACETRAC PETROLEUM, INC., MAX LENKER, PRESIDENT, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

A parcel or tract of land located in the JOSEPH CADLE SURVEY, ABST. 65, and being a portion of that tract of land recorded in Volume 47, Page 500, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at a point being formed by the intersection of the Southerly right-of-way line of Yellow Jacket Lane and the Northwesterly corner of Lot 1, Block 1, ROCKWALL BUSINESS PARK,

THENCE S 44°42'40" E, a distance of 263.35 feet to a point on the Northeastly line of Block 1, ROCKWALL BUSINESS PARK;

THENCE continuing S 44°42'40" E, a distance of 152.73 feet to a point marked with an iron pin set, said point being the Northwest corner of Parcel A,

marked with an iron pin set, said point being the Northwest corner of Parcel A, Lot 1, Block 1, ROCKWALL BUSINESS PARK;

THENCE S 30°38'59" W with the Northwesterly line of said Parcel A, a distance of 150.54 feet to a point marked with an iron pin;

THENCE S 45°43'20" W, a distance of 300.65 feet to a point marked with an iron pin, said point also being in the Northeastly line of State Highway No. 205;

THENCE N 30°00'00" W, along said Northeastly line a distance of 150.0 feet to a point marked with an iron pin, said point bearing S 30°40' E, a distance of 60.19 feet from the centerline of Yellow Jacket Lane, said centerline being the Northwesterly line of the Joseph Cadle Survey;

THENCE S 45°42'13" E, a distance of 279.13 feet to the "Point-of-Beginning" and containing 43,717 square feet or 1.004 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT RACETRAC PETROLEUM, INC., MAX LENKER, PRESIDENT, being the owner, does hereby adopt this plat designating the hereinabove described property as LOT 1, BLOCK 1, CROSSINGS ADDITION to the City of Rockwall, Rockwall County, Texas, and does hereby reserve, the easement for the streets and alleys shown thereon, and does hereby reserve, the easement for the installation of all utilities desiring to use or using same. No buildings shall be constructed or placed upon or across the utility easements as described herein. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective systems on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for the purpose of construction, reconstruction, inspecting, patrolling, maintaining, and otherwise adding to or removing all or part of their respective systems without liability to the City of Rockwall.

The City of Rockwall will not be liable for procuring the permission of anyone. The developer and subdivision engineer shall be responsible for the necessary drainage improvements. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until such time as the developer has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall.

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

WITNESS MY HAND at the City of Sayrna, Cobb County, Georgia, this \_\_\_\_\_ day of \_\_\_\_\_, 1991.

BY \_\_\_\_\_

MAX LENKER, PRESIDENT, RACETRAC PETROLEUM, INC.

STATE OF GEORGIA

COUNTY OF COBB

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_, 1991.

by MAX LENKER, on behalf of the owner of the above described property.

Notary Public

My commission expires \_\_\_\_\_

Notary Public

My commission expires \_\_\_\_\_

Notary Public

My commission expires \_\_\_\_\_

Notary Public

My commission expires \_\_\_\_\_

Notary Public

My commission expires \_\_\_\_\_

Notary Public

My commission expires \_\_\_\_\_

Notary Public

My commission expires \_\_\_\_\_

Notary Public

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Notary Public

My commission expires \_\_\_\_\_

Notary Public

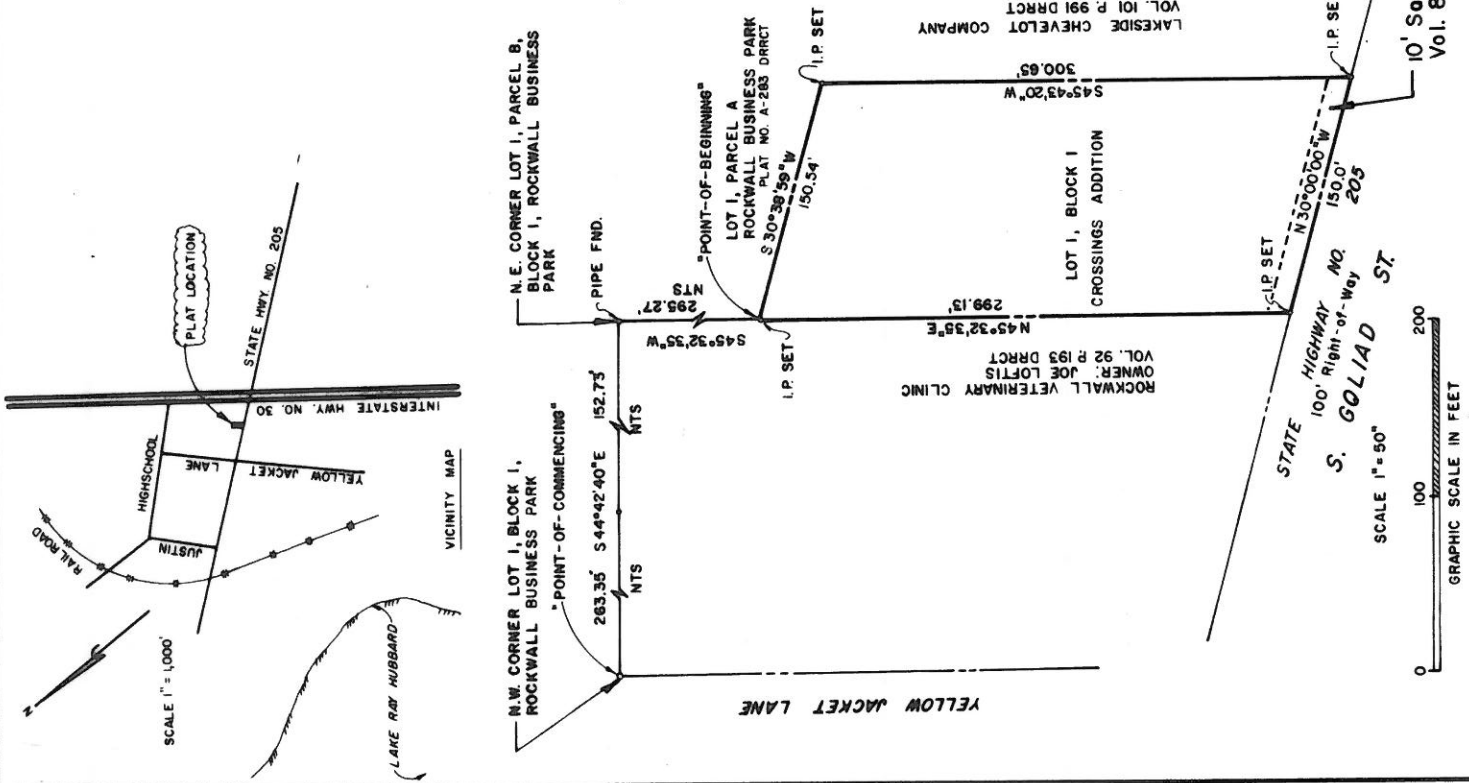
My commission expires \_\_\_\_\_

Notary Public

My commission expires \_\_\_\_\_

Notary Public

My commission expires \_\_\_\_\_



# RECOMMENDED FOR FINAL APPROVAL

Chairman, Planning and Zoning Commission

Date \_\_\_\_\_

APPROVED \_\_\_\_\_

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 1991.

This approval shall be invalid unless the approved plat for such addition is filed in the office of the County Clerk of Rockwall County, Texas, within one hundred twenty (120) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 1991.

Mayor, City of Rockwall

City Secretary

City of Rockwall

SURVEYOR'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That I, Don E. Gossett, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Registered Professional Land Surveyor No. 1811

STATE OF TEXAS

COUNTY OF JOHNSON

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_, 1991.

Notary Public

My Commission Expires \_\_\_\_\_

Notary Public

My Commission Expires \_\_\_\_\_

Notary Public

My Commission Expires \_\_\_\_\_

Notary Public

My Commission Expires \_\_\_\_\_

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Notary Public

My Commission Expires \_\_\_\_\_

Notary Public

My Commission Expires \_\_\_\_\_

Notary Public

My Commission Expires \_\_\_\_\_

# FINAL PLAT LOT 1, BLOCK 1 CROSSINGS ADDITION

CITY OF ROCKWALL—ROCKWALL COUNTY—TEXAS

JANUARY, 1991

10' Sani. Sewer Esm't  
Vol. 84, Pg 234

STATE HIGHWAY NO. 205  
100' Right-of-Way  
S. GOLIAD ST.  
SCALE 1"=50'  
0 100 200  
GRAPHIC SCALE IN FEET



SITE PLAN APPLICATION

Date 1/21/91

NAME OF PROPOSED DEVELOPMENT RACETRAC ADDITION

NAME OF PROPERTY OWNER/DEVELOPER RACETRAC PETROLEUM, INC.

ADDRESS 300 TECHNOLOGY COURT PHONE (404) 431-7600  
SMYRNA, GA 30082

NAME OF LAND PLANNER/ENGINEER TIMOTHY L. WALTERS

ADDRESS 300 TECHNOLOGY COURT PHONE (404) 431-7600 EXT: 1126  
SMYRNA, GA 30082

TOTAL ACREAGE 1.036 ACRES CURRENT ZONING C

NUMBER OF LOTS/UNITS 1

SIGNED Timothy L. Walters

Following is a checklist of items that may be required as a part of the site plan. In addition, other information may be required if it is necessary for an adequate review of a specific development proposal. All information should be provided on a scaled drawing generally not exceeding 18" x 24".

Provided or Shown On Site Plan	Not Applicable	
<u>X</u>	<u>      </u>	1. Total lot or site area - if the site is part of a larger tract include a key map showing entire tract and location of site being planned
<u>X</u>	<u>      </u>	2. <u>Location, dimensions, and size</u> of all existing and planned structures on the subject property and approximate locations of structures on adjoining property within 100 ft.
<u>X</u>	<u>      </u>	3. <u>Location</u> and <u>type</u> of landscaping, lighting, fencing and/or screening of yards and setback areas
<u>X</u>	<u>      </u>	4. <u>Calculation</u> of landscaped area provided
<u>      </u>	<u>X</u>	5. <u>Location</u> and <u>dimensions</u> of ingress and egress



<u>X</u>	_____	6. <u>Location</u> , <u>number</u> and <u>dimensions</u> of off-street parking and loading facilities
_____	<u>X</u>	7. <u>Height</u> of all structures
_____	<u>X</u>	8. <u>Proposed uses</u> of all structures
<u>X</u>	_____	9. <u>Location</u> and <u>types</u> of all signs, including lighting and heights
<u>X</u>	_____	10. <u>Elevation</u> <u>drawings</u> citing proposed exterior finish materials and proposed structural materials
<u>X</u>	_____	11. <u>Location</u> and <u>screening</u> of trash facilities
<u>X</u>	_____	12. <u>Location</u> of nearest fire hydrant within 500 ft.
_____	<u>X</u>	13. Street names on proposed streets
_____	_____	14. The following additional information: _____ _____ _____ _____ _____

If the site plan is required as a preliminary or development plan under a Planned Development Zoning Classification, the attached applicable items specified for preliminary plans or development plans must be included.



Taken by \_\_\_\_\_

File No. \_\_\_\_\_

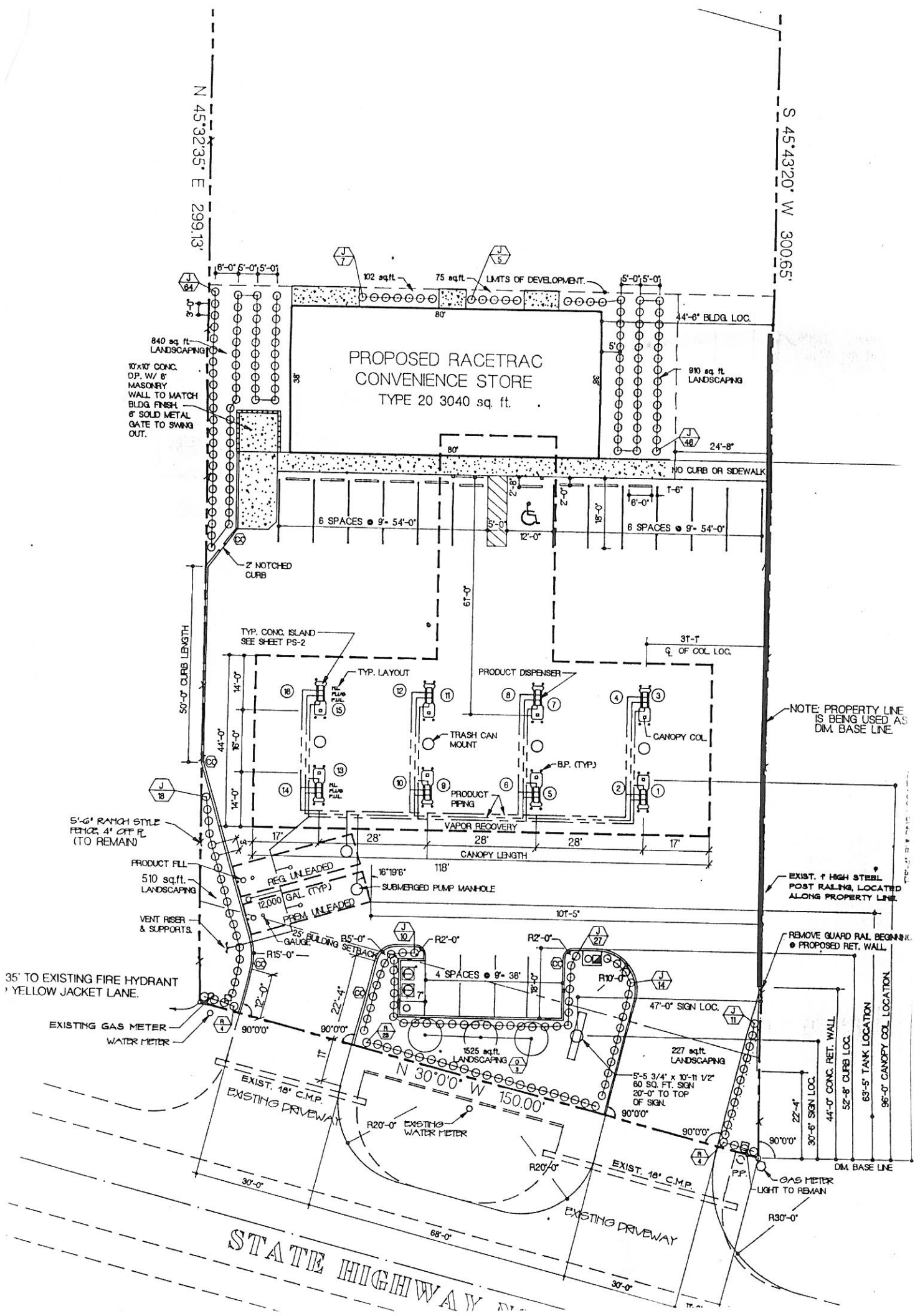
Date \_\_\_\_\_

Fee \_\_\_\_\_



N 45°32'35" E 299.13'

S 45°43'20" W 300.65'





CITY OF ROCKWALL  
205 West Rusk  
Rockwall, Texas

APPLICATION FOR CONDITIONAL USE PERMIT

Case No. 91-1- CUP

Date Submitted 1/28/91

Filing Fee \$ \_\_\_\_\_

Applicant RACETRAC PETROLEUM, INC.

Address 300 TECHNOLOGY COURT Phone No. 1-800-877-7357  
SMYRNA, GEORGIA

Owner X

Tenant<sup>1</sup> \_\_\_\_\_

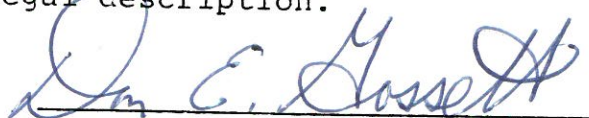
Prospective Purchaser \_\_\_\_\_<sup>1</sup>

Legal description of property for which Conditional Use Permit is requested (if additional space is needed, the description may be typed legibly on a separate sheet and attached hereto:)<sup>2</sup>

I hereby request that a Conditional Use Permit be issued for the above described property for:

line The current zoning on this property is \_\_\_\_\_.  
There <sup>space</sup> are/are not <sup>space</sup> deed restrictions pertaining to the intended use of this property.

I have attached hereto as Exhibit A a plat showing the property which is the subject of this requested Conditional Use Permit and have read the following note concerning the importance of my submitting to the City a sufficient legal description.

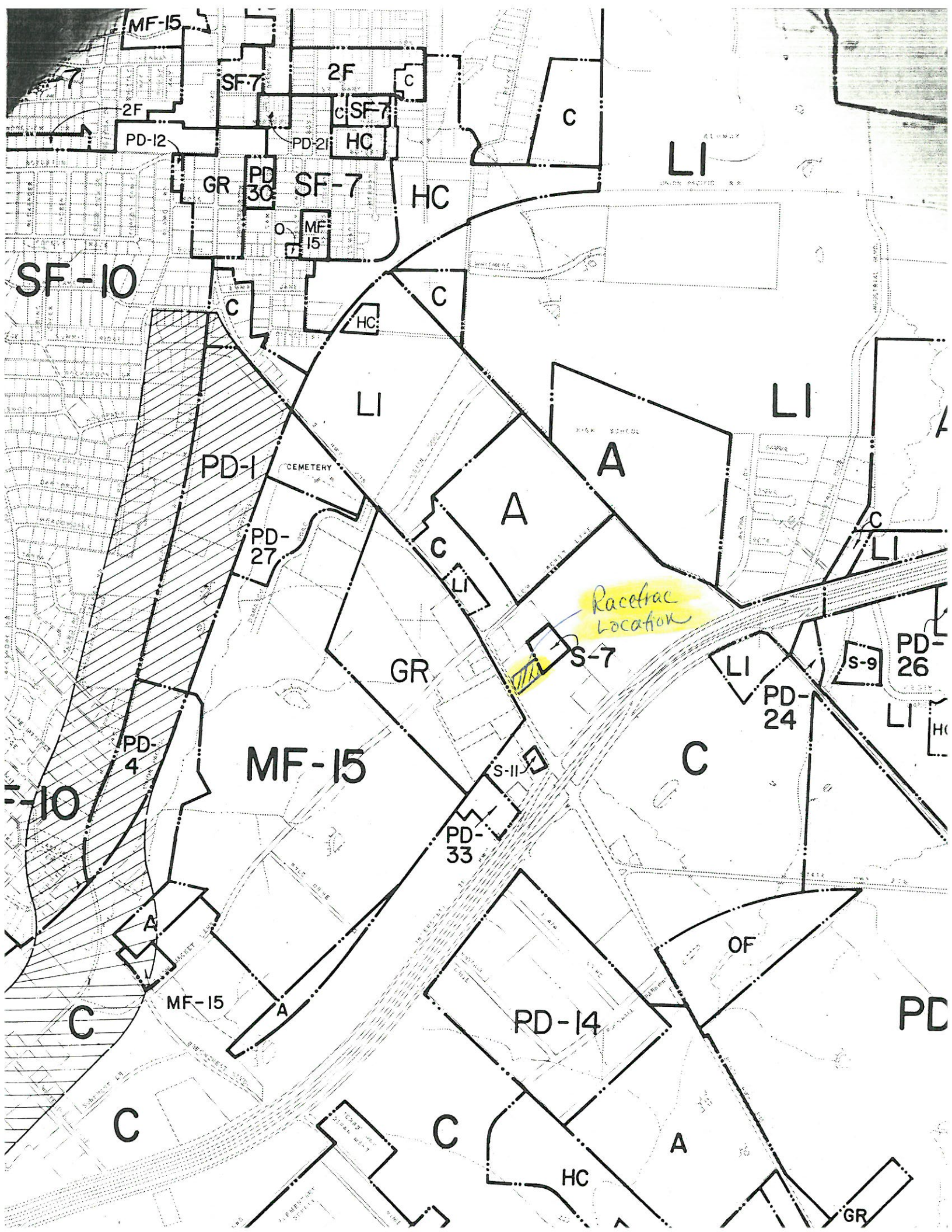


<sup>1</sup>If the applicant is someone other than the owner, written acknowledgement by the owner of the request must also be submitted.



<sup>2</sup>The legal description is used to publish the notice of the required hearing and in the preparation of the final ordinance granting the Conditional Use Permit. The description must be sufficient so as to allow a qualified surveyor to take the description and locate and mark off the tract on the ground. Each applicant should protect himself by having a surveyor or his attorney approve his legal description. Failure to do so by the applicant may result in delay in passage of the final ordinance or the ordinance being declared invalid at some later date because of an insufficient legal description.





SF-10

SF-10

MF-15

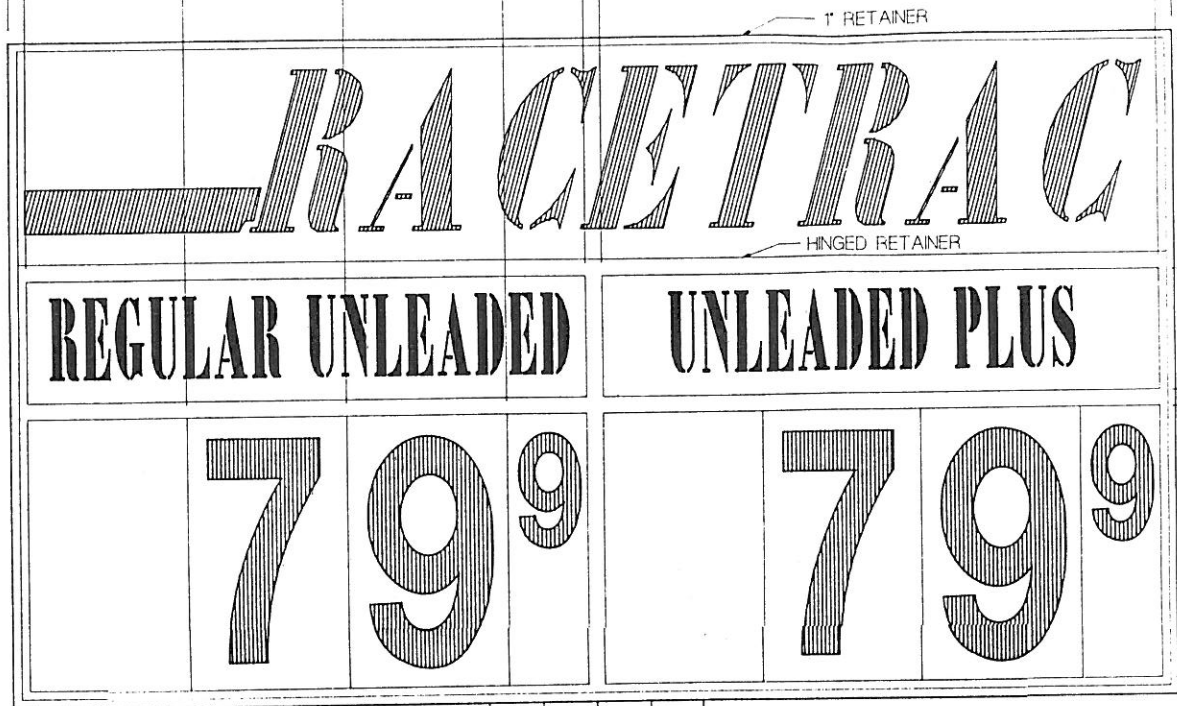
Racetrac Location

PD-26

LI

PD





NOTE:  
20 AMP 120 VOLT CIRCUIT

32' X 16'  
8' SPLIT FACE  
BLOCK COLUMN

6" X 37" WALL  
STEEL STUB PIPE

#5 @ 9" E.W.

3000 P.S.F. CONCI





# CITY OF ROCKWALL

"THE NEW HORIZON"

Rockwall, Texas 75087-3628

(214) 771-1111

Cash Receipt

N:

91-

Name Race Trac Date \_\_\_\_\_

Mailing Address \_\_\_\_\_

Job Address \_\_\_\_\_ Permit No. \_\_\_\_\_

Check ☒

Cash ☐

Other ☐

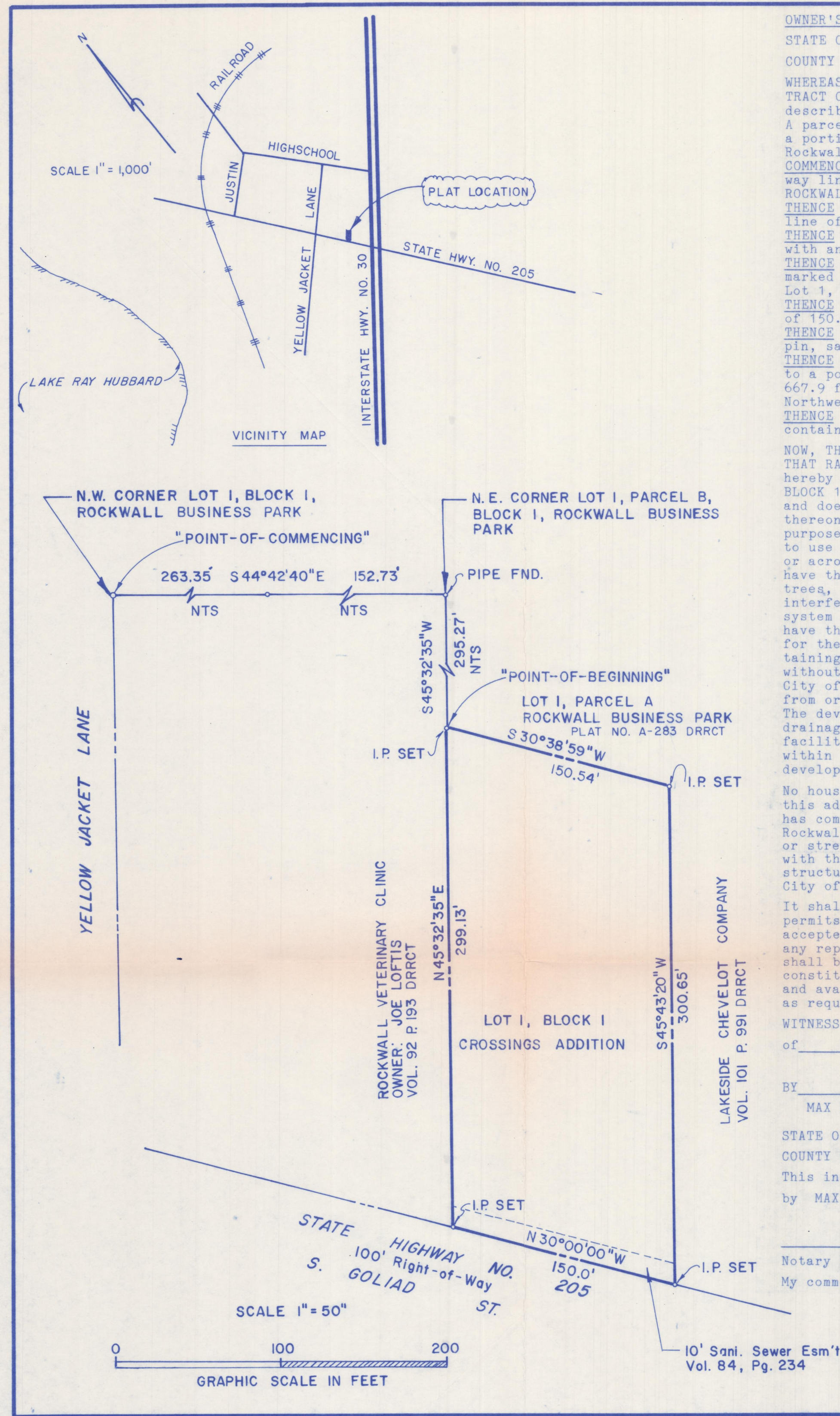
DESCRIPTION	Acct. Code	Amount	DESCRIPTION	Acct. Code
Building Permit	01-3601		Water Tap	02-3311
Fence Permit	01-3602		10% Fee	02-3311
Electrical Permit	01-3604		Sewer Tap	02-3314
Plumbing Permit	01-3607		Water Availability	06-3835
Mechanical Permit	01-3610		Sewer Availability	07-3836
Municipal Pool	01-3402		Meter Deposit	02-2201
Zoning, Planning, B.O.A.	01-3411	221.00	Portable Meter Deposit	02-2202
Subdivision Plats	01-3412		Misc. Income	02-3819
Sign Permits	01-3628		NSF Check	02-1128
Health Permits	01-3631		Meter Rent	02-3406
Misc. Permits	01-3625		Penalties	20-3117
Misc. Income	01-3819		Hanger Rent	20-3406
Sale of Supplies	01-3807		Tie Down Fees	20-3407
Marina Lease	08-3810		Land Lease	20-3804
Cemetery Receipts	10-3830		Sale of Supplies	20-3807
PID	13-3828		Airport Cred. Cd.	20-1132
Street	14-3828		Fuel Sales	20-3809
Hotel/Motel Tax	15-3206			
TOTAL OF COLUMN			TOTAL OF COLUMN	

TOTAL DUE

221.00

Received By [Signature]





# OWNER'S CERTIFICATE

STATE OF TEXAS

COUNTY OF ROCKWALL

WHEREAS, RACETRAC PETROLEUM, INC., MAX LENKER, PRESIDENT, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows;  
A parcel or tract of land located in the JOSEPH CADLE SURVEY, ABST. 65, and being a portion of that tract of land recorded in Volume 47, Page 500, Deed Records, Rockwall County, Texas, and being more particularly described as follows;  
COMMENCING at a point being formed by the intersection of the Southerly right-of-way line of Yellow Jacket Lane and the Northwesterly corner of Lot 1, Block 1, ROCKWALL BUSINESS PARK,  
THENCE S 44°42'40" E, a distance of 263.35 feet to a point on the Northeasterly line of Parcel D, Lot 1, Block 1, ROCKWALL BUSINESS PARK;  
THENCE continuing S 44°42'40" E, a distance of 152.73 feet to a point marked with an iron pipe found;  
THENCE S 45°32'35" W, a distance of 295.27 feet to the "Point-of-Beginning" marked with an iron pin set, said point being the Northwest corner of Parcel A, Lot 1, Block 1, ROCKWALL BUSINESS PARK;  
THENCE S 30°38'59" W with the Northwesterly line of said Parcel A, a distance of 150.54 feet to a point marked with an iron pin;  
THENCE S 45°43'20" W, a distance of 300.65 feet to a point marked with an iron pin, said point also being in the Northeasterly line of State Highway No. 205;  
THENCE N 30°00'00" W, along said Northeasterly line a distance of 150.0 feet to a point marked with an iron pin, said point bearing S 30°40' E, a distance of 667.9 feet from the centerline of Yellow Jacket Lane, said centerline being the Northwesterly line of the Joseph Cadle Survey;  
THENCE N 45°32'35" E, a distance of 299.13 feet to the "Point-of-Beginning" and containing 43,717 square feet or 1.004 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
THAT RACETRAC PETROLEUM, INC., MAX LENKER, PRESIDENT, being the owner, does hereby adopt this plat designating the hereinaboe described property as LOT 1, BLOCK 1, CROSSINGS ADDITION, to the City of Rockwall, Rockwall County, Texas, and does hereby dedicate to the public use forever the streets and alleys shown thereon, and does hereby reserve the easement strips shown on this plat for the purposes stated and for the mutal use and accommodation of all utilities desiring to use or using same. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for the purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision. The developer and subdivision engineer shall bear total responsibility for storm drainage improvements. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until such time as the developer has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall.

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

WITNESS MY HAND at the City of Smyrna, Cobb County, Georgia, this \_\_\_\_\_ day of \_\_\_\_\_.

BY \_\_\_\_\_  
MAX LENKER, PRESIDENT, RACETRAC PETROLEUM, INC.

STATE OF GEORGIA

COUNTY OF COBB

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_ 1991.  
by MAX LENKER, on behalf of the owner of the above described property.

Notary Public

My commission expires \_\_\_\_\_

## RECOMMENDED FOR FINAL APPROVAL

Chairman, Planning and Zoning Commission

Date \_\_\_\_\_

## APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_ 1991.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred twenty (120) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_.

Mayor, City of Rockwall

City Secretary  
City of Rockwall

## SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Don E. Gossett, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Registered Professional Land Surveyor  
No. 1811

STATE OF TEXAS  
COUNTY OF JOHNSON

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_.

Notary Public

My Commission Expires \_\_\_\_\_

## FINAL PLAT

# LOT 1, BLOCK 1 CROSSINGS ADDITION

CITY OF ROCKWALL—ROCKWALL COUNTY—TEXAS

JANUARY, 1991





SITE SPECIFIC	SHEET NO.	DRAWING TITLE	No.	REV. DATE	STANDARD
	GR-1	GENERAL REQUIREMENTS			
	GR-2	SITE SPECIFIC REQUIREMENTS			
12/1/90	P-0	DEMOLITION PLAN	0		
12/1/90	P-1	SITE PLAN	0		
12/1/90	P-2	GRADING/UTILITY PLAN	0		
	PS-1	PLOT PLAN STANDARD DETAILS	11	12/8/89	5/20/86
	PS-2	PRODUCT PIPING	16	6/15/90	9/22/88
	PS-3	TANK DETAILS	10	12/28/89	9/27/88
	PS-5	TANK NOTES	3	11/16/89	5/2/89
	S-1	FOUNDATION PLAN	0		11/2/90
	S-2	STEEL FRAMING PLAN	0		11/2/90
	S-3	ROOF PLAN	0		11/2/90
	A-1	FLOOR PLAN	0		11/2/90
	A-2	EXTERIOR ELEVATIONS	0		11/2/90
	A-3	WALL SECTIONS	0		11/2/90
	A-4	COOLER & MISC. DETAILS	0		11/2/90
	A-5	REFLECTED CEILING PLAN	0		11/2/90
	A-6	INTERIOR FINISHES & DOOR SCHED.	0		11/2/90
	M-1	HVAC PLAN	0		11/2/90
	M-2	PLUMBING PLAN	0		11/2/90
	M-3	PLUMBING RISER DIAGRAM	0		11/2/90
	E-1	POWER PLAN & NOTES	0		11/2/90
	E-2	LIGHTING PLAN & FIXTURE SCHEDULE	0		11/2/90
	E-3	PANEL SCHEDULES & RISER DIAGRAM	0		11/2/90
	E-4	MPD-ELECTRICAL DETAILS	0		11/2/90
	F-1	FIXTURE PLAN & SCHEDULES	0		11/2/90
	F-2	CHECK OUT COUNTER	0		11/2/90
	F-3	SNACK CENTER COUNTER DETAILS	0		11/2/90
1/18/91	C-1	AUTO CANOPY	0		
1/18/91	C-2	AUTO CANOPY ELECTRICAL	0		
1/18/91	C-3	AUTO CANOPY STRUCTURAL	0		

THESE PLANS ARE SUBJECT  
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ANY USE OF SAME WITHOUT  
THE EXPRESSED WRITTEN  
PERMISSION OF RACETRAC  
PETROLEUM INC. IS PROHIBITED.

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300 TECHNOLOGY COURT  
SMYRNA, GEORGIA 30082  
(404) 431-7600

SITE	HIGHWAY 205 ROCKWALL, TEXAS C-STORE TYPE 20		
SCALE	NOT TO SCALE		
DRAWN	MB/VP	DATE	NOV. 2, 1990

	REV

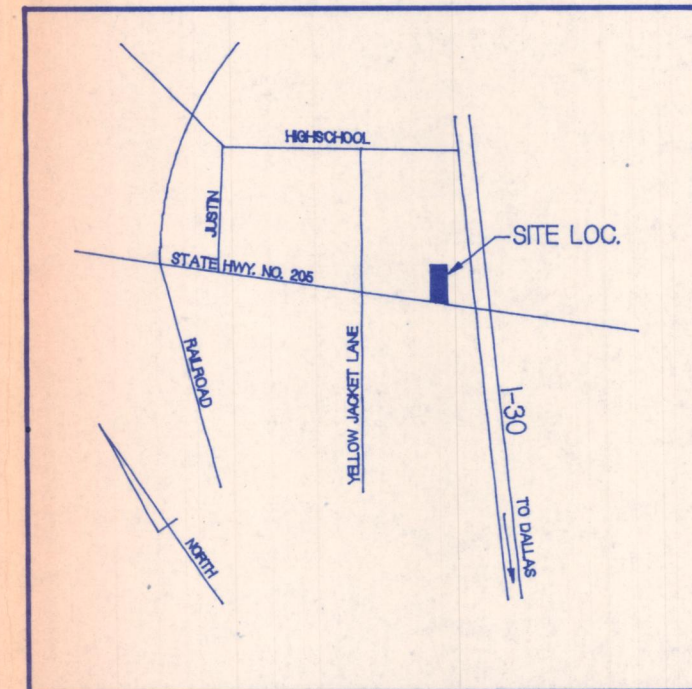
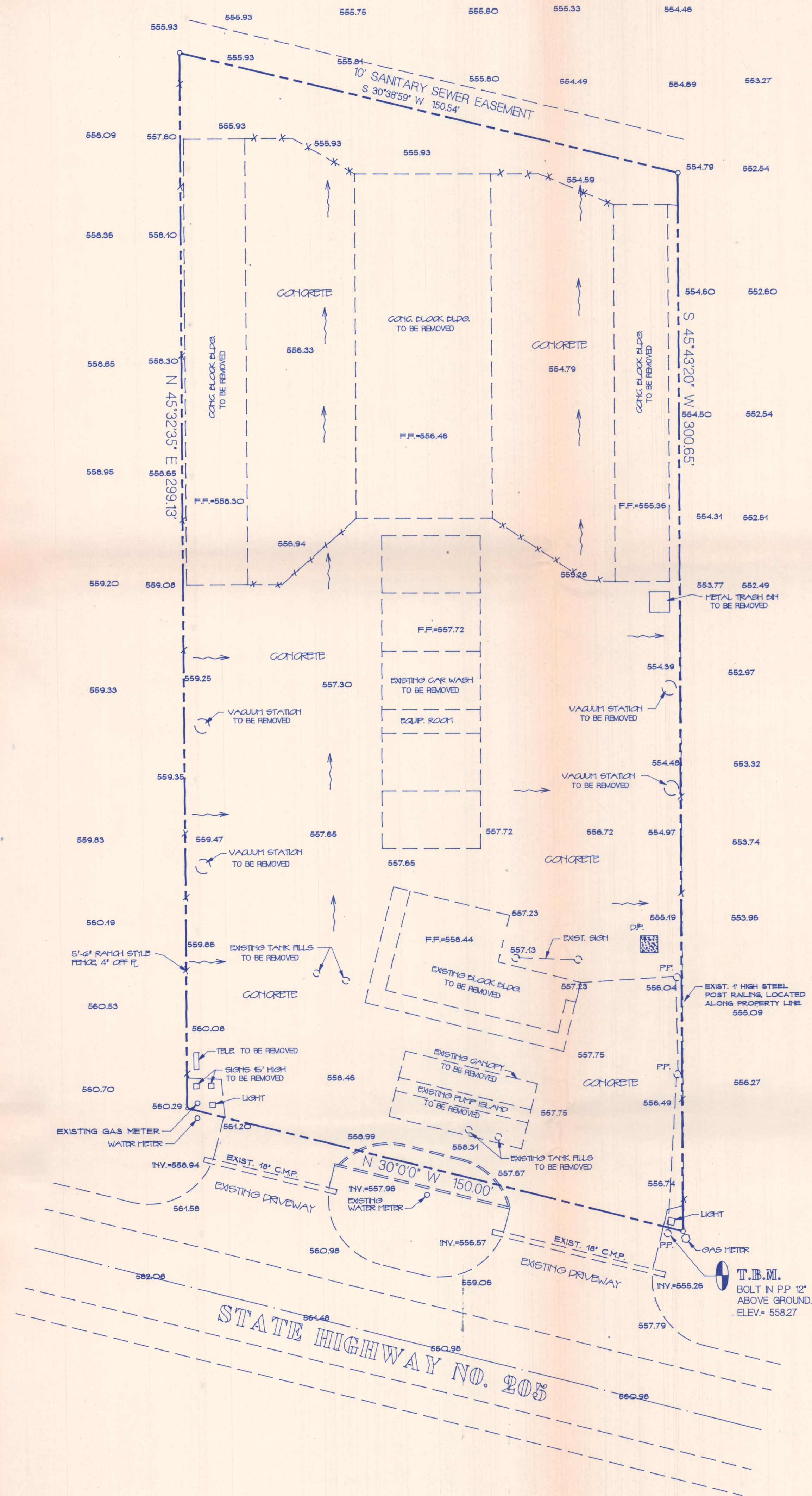
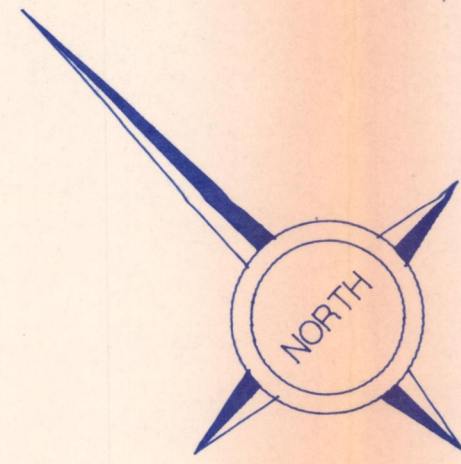
NO.

REVISIONS

5

5115





VICINITY MAP

DEMOLITION PLAN

HIGHWAY 205  
ROCKWALL, TEXAS

SITE

SCALE  
T. WALTERS  
R212000

DATE  
12/1/90

DWG. ROTATED 60°00'

PO

DATE

BY

DATE

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300 TECHNOLOGY COURT  
SMYRNA, GEORGIA 30082  
(404) 431-7600

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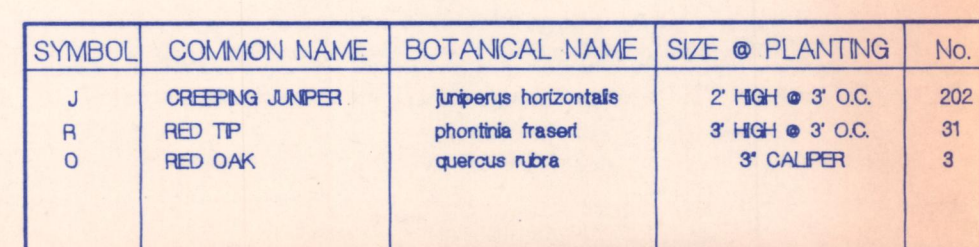
REVISIONS

NO.

BY

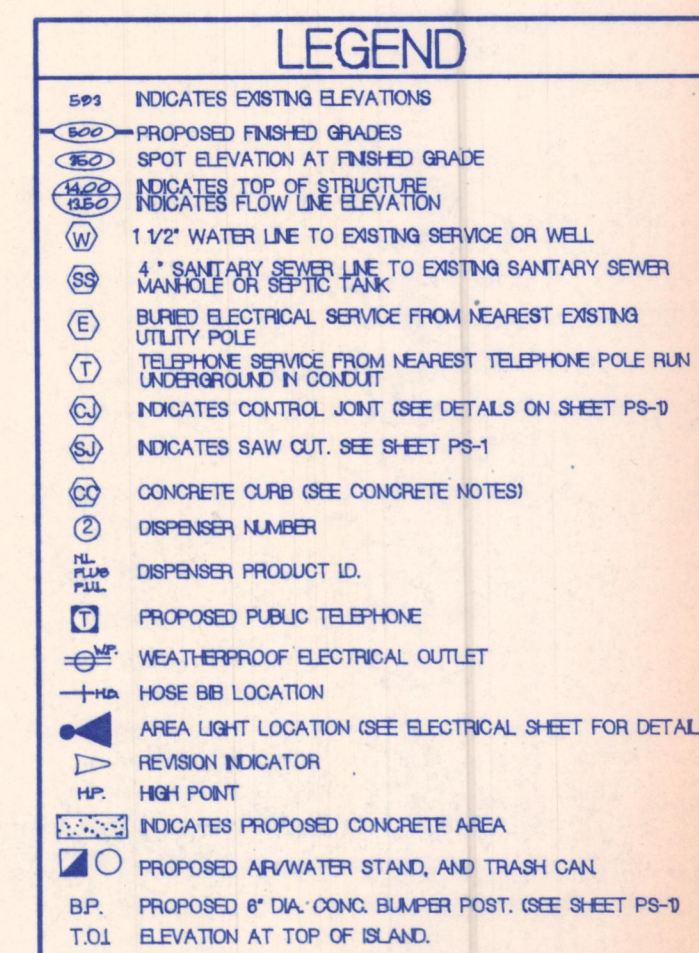
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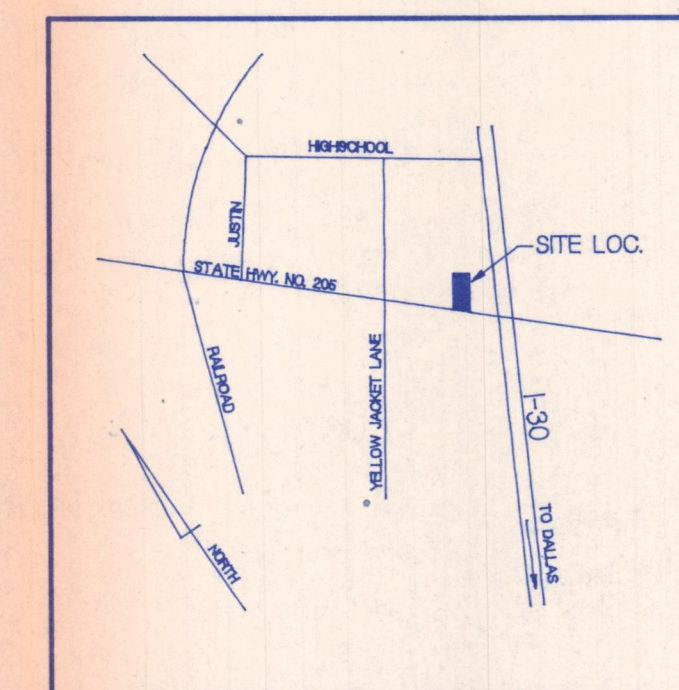


## LANDSCAPE NOTES

1. CONTRACTOR WILL DRAW IRRIGATION PLANS AND HAVE THE OWNER APPROVE. CONTRACTOR WILL SUBMIT PLANS TO CITY OF ROCKWALL PRIOR TO INSTALLATION.
2. CONTRACTOR WILL SUBMIT BIDS FOR ALL OF THE FOLLOWING TYPES OF IRRIGATION:
  1. SHALLOW WELL
  2. DEEP WELL
  3. POTABLE WATER SYSTEM (CITY OR COUNTY WATER)
  4. RECLAMATION WATER SYSTEM (IF LOCALLY AVAILABLE)
3. IRRIGATION SYSTEM SHALL BE EITHER SPRAY, BUBBLER, OR DRIP TYPE, AND WILL WATER AREAS IN THE R/W.



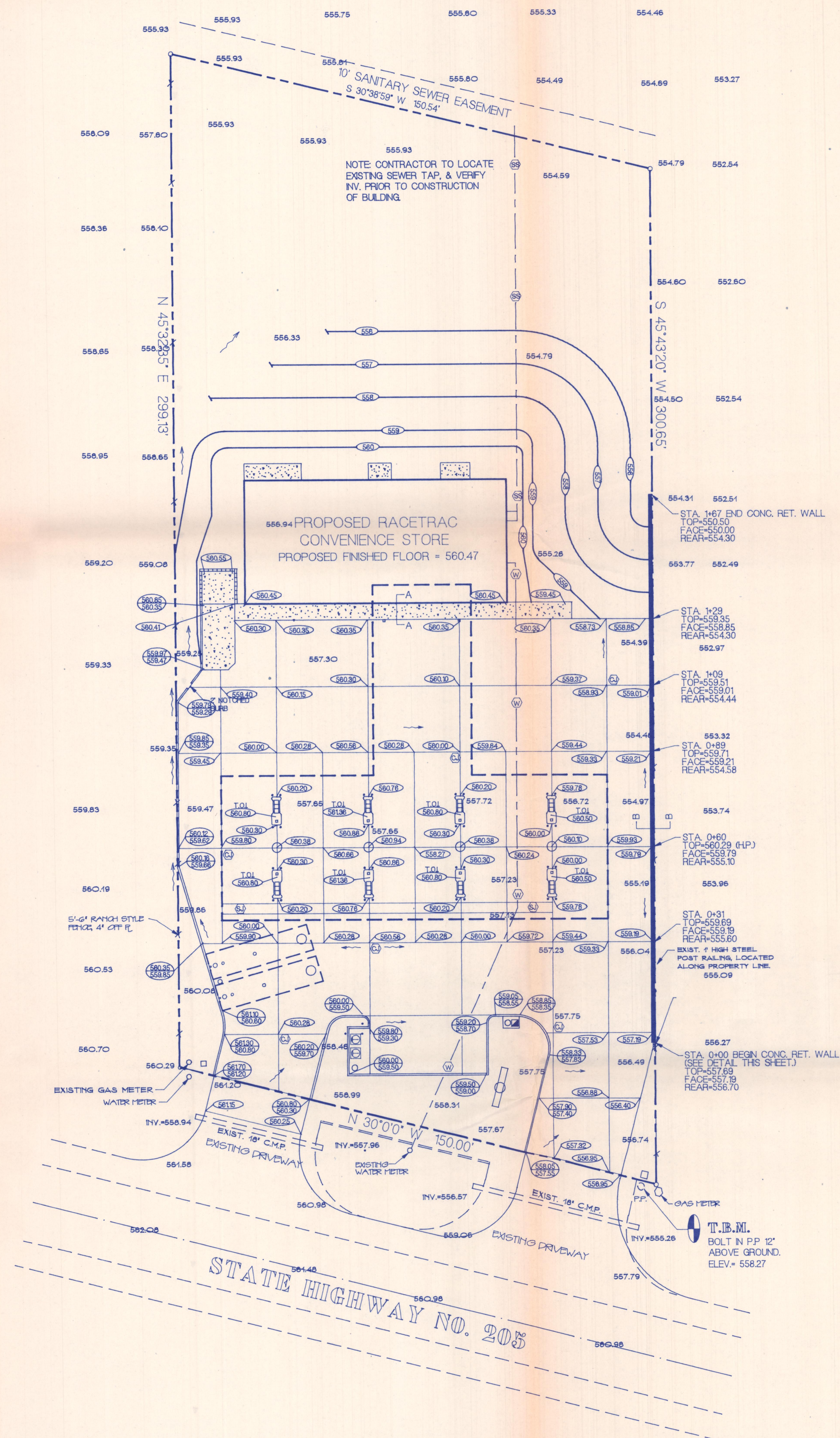
NOTE: ALL STRUCTURES WITHIN THE PROPERTY  
WILL BE REMOVED UNLESS NOTED TO REMAIN.  
TOTAL AREA OF SITE = 45,133 sq. ft.  
TOTAL AREA TO BE DEVELOPED = 29,538 sq. ft.  
REQ. LANDSCAPE = 3692 sq.ft.  
LANDSCAPE SHOWN = 4,189 sq. ft.  
PARKING REQ.=16  
PARKING SHOWN = 17























## VICINITY MAP

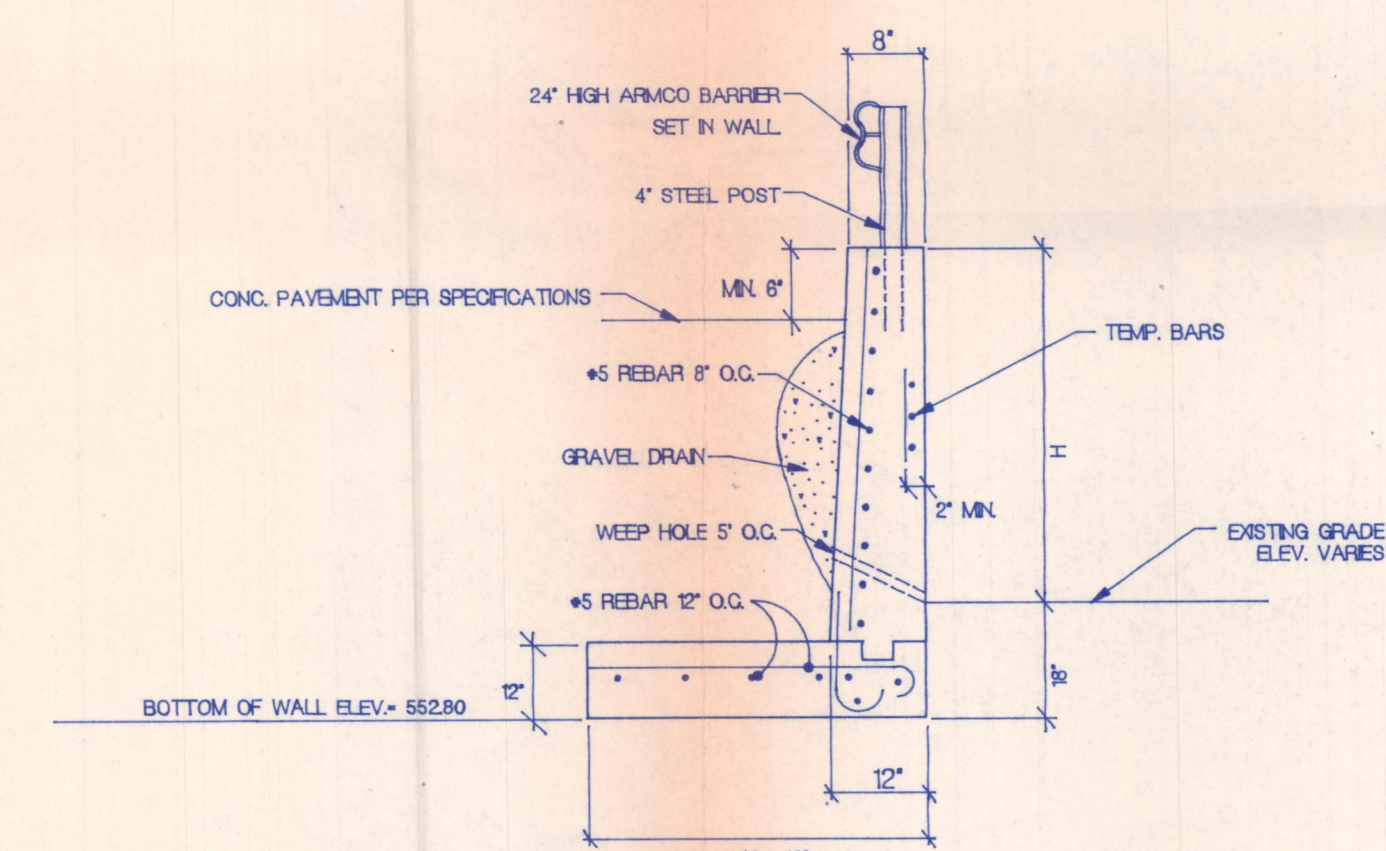
THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM INC. IS PROHIBITED.	NO. _____		REVISIONS	BY _____	DATE _____
	NO. _____		REVISIONS	BY _____	DATE _____



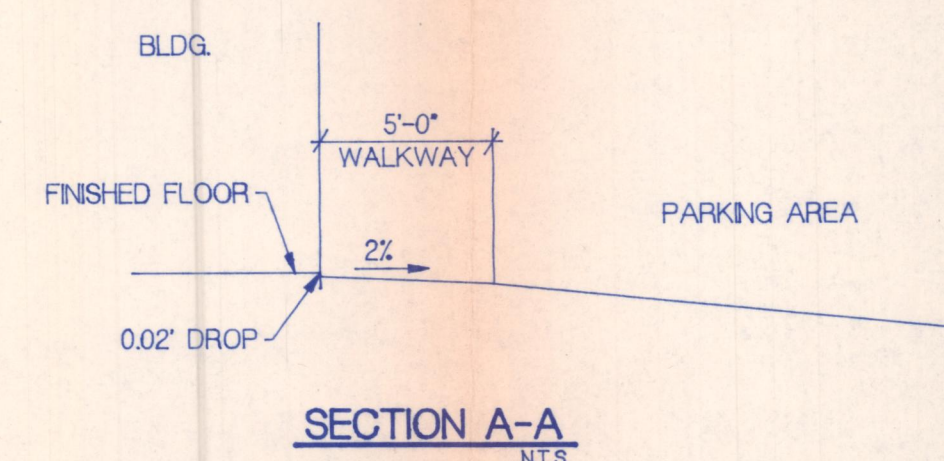


# LEGEND

500	INDICATES EXISTING ELEVATIONS
	PROPOSED FINISHED GRADES
	SPOT ELEVATION AT FINISHED GRADE
	PROPOSED FLOW LINE ELEVATION
	1 1/2" WATER LINE TO EXISTING SERVICE OR WELL
	4" SANITARY SEWER LINE TO EXISTING SANITARY SEWER OR MANHOLE OR TO CITY TRUNK
	BURIED ELECTRICAL SERVICE FROM NEAREST EXISTING UTILITY POLE
	TELEPHONE SERVICE FROM NEAREST TELEPHONE POLE RUN UNDERGROUND IN CONDUIT
	INDICATES CONTROL JOINT (SEE DETAILS ON SHEET PS-9)
	INDICATES SAW CUT. SEE SHEET PS-6
	CONCRETE CURB (SEE CONCRETE NOTES)
	DISPENSER NUMBER
	DISPENSER PRODUCT ID.
	PROPOSED PUBLIC TELEPHONE
	WEATHERPROOF ELECTRICAL OUTLET
	HOB BSE LOCATION
	AREA LIGHT LOCATION (SEE ELECTRICAL SHEET FOR DETAILS)
	REVISION INDICATOR
	HIGH POINT
	INDICATES PROPOSED CONCRETE AREA
	PROPOSED AIR/WATER STAND, AND TRASH CAN
B.P.	PROPOSED B.P. ON CONC. ISLAND POST. (SEE SHEET PS-9)
T.Q.	ELEVATION AT TOP OF BUMPER.



"L" RETAINING WALL SECTION  
SECTION B-B N.T.S.



SECTION A-A

NOTE

1. ENTIRE SITE TO BE 6" THICK 3500 AIR  
ENTRAINED CONC. PAVEMENT.  
ALL CONC. TO BE WOOD FLOATED, STEEL  
TROLLED, LIGHT BROOM FINISHED.

## CANOPY NOTES

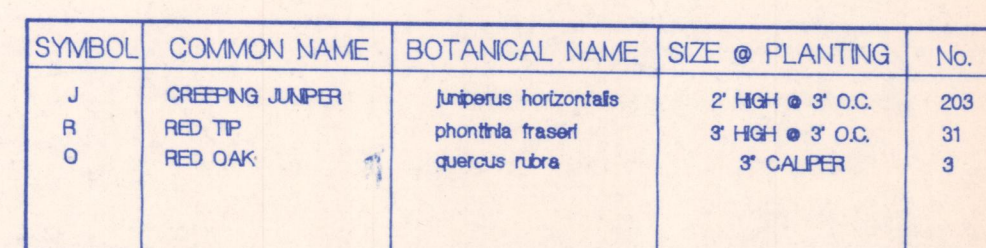
1. ELEVATION AT BOTTOM OF FASCIA TO BE 576.87  
2. TOP OF COL. FOOTING ELEV.= 559.00

## TANK NOTES

1. MIN. TANK BURRAL IS 3'-0" TOP OF TANKS = 556.90
2. TANKS AND PRODUCT PIPING TO BE INSTALLED PER N.F.P.A. 30.

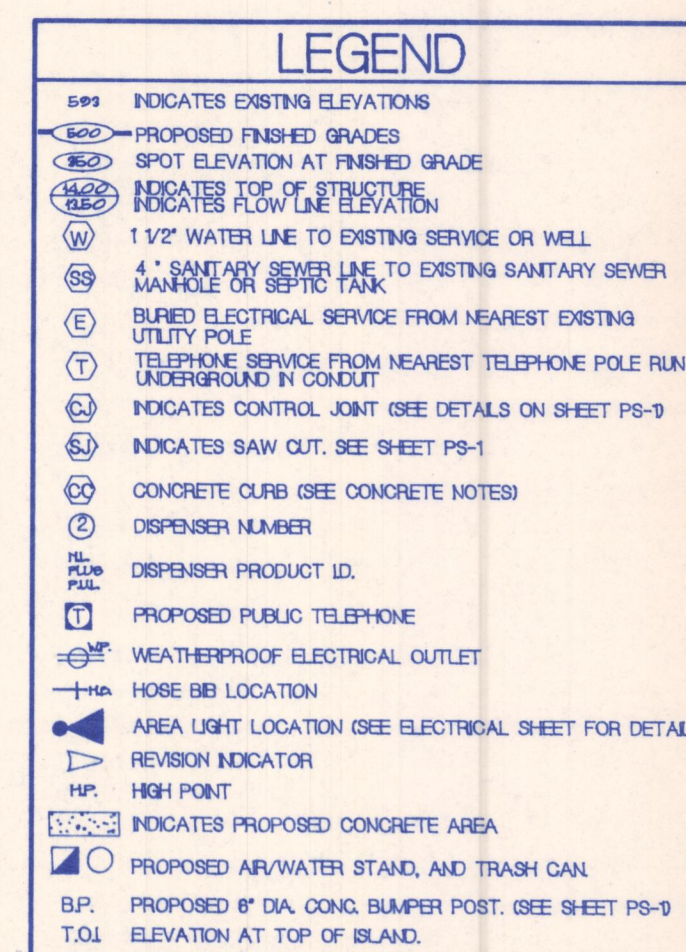
P2	GRADING/UTILITY PLAN	
	SITE	HIGHWAY 205 ROCKWALL, TEXAS
	SCALE	1" = 20'
REVISIONS	DRAWN BY	T. WALTERS DATE 12/1/90
0	CHECKED BY	FORPERS. LAMIC DATED 6/20/97
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<h1>RACETRAC</h1> <p>             RACETRAC PETROLEUM, INC.              300 TECHNOLOGY COURT              SMYRNA, GEORGIA 30082              (404) 431-7600           </p>		
NO.		
REVISONS		
BY	DATE	



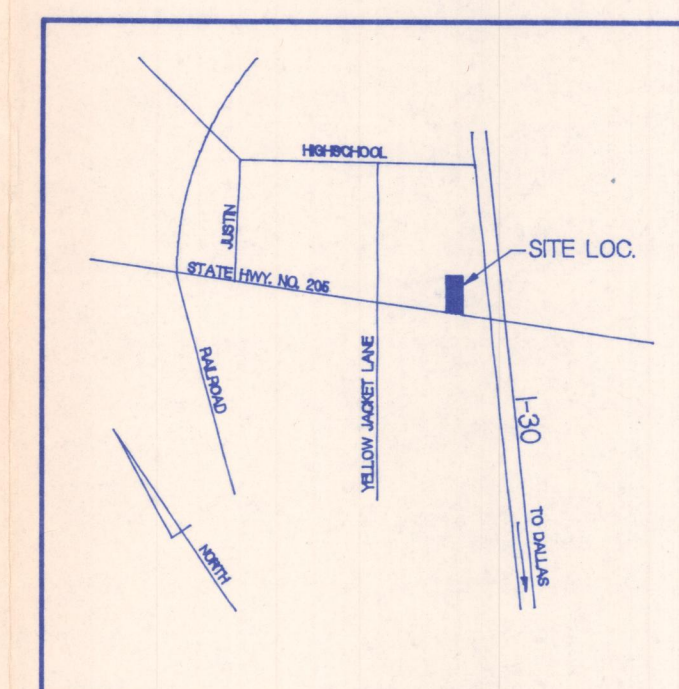


LANDSCAPE NOTES

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3. IRRIGATION SYSTEM SHALL BE EITHER SPRAY, BUBBLER, OR DRIP TYPE, AND WILL WATER AREAS IN THE R/W.



NOTE: ALL STRUCTURES WITHIN THE PROPERTY  
WILL BE REMOVED UNLESS NOTED TO REMAIN.  
TOTAL AREA OF SITE = 45,133 sq. ft.  
TOTAL AREA TO BE DEVELOPED = 29,538 sq. ft.  
REQ. LANDSCAPE = 3692 sq.ft.  
LANDSCAPE SHOWN = 4,176 sq. ft.  
PARKING REQ.=16  
PARKING SHOWN = 17



VICINITY MAP

RACETRAC

RACETRAC PETROLEUM, INC.  
300 TECHNOLOGY COURT  
SMYRNA, GEORGIA 30082  
(404) 431-7600

## SITE PLAN

HIGHWAY 205  
ROCKWALL, TEXAS

20'

WALTERS	DATE 12/1/90
212P000	DWG ROTATED 60.00°

S  
H  
E  
E  
T

P1

C

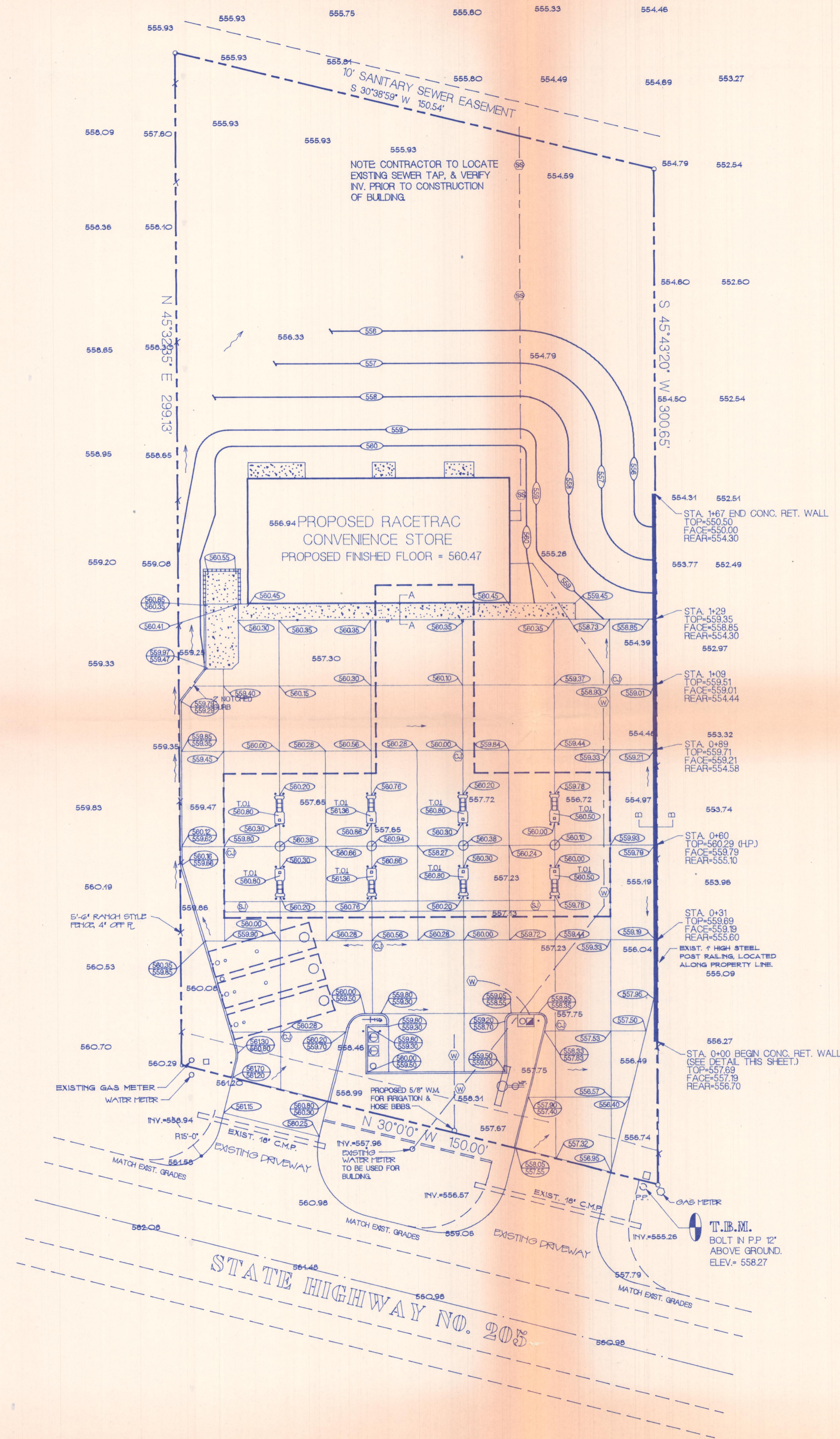
RE

NO

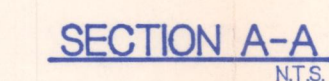
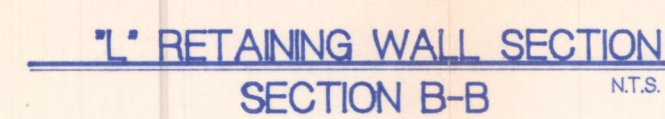
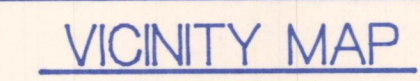
DEVICIONS

RV	DATE
----	------





- 100 INDICATES EXISTING ELEVATIONS
- 100 PROPOSED FINISHED GRADES
- SPOT ELEVATION AT FINISHED GRADE
- 100 ELEVATION AT TOP OF RETAINING WALL
- 100 ELEVATION AT LOW POINT OF TANK
- 1/2" WATER LINE TO EXISTING SERVICE OR WELL
- 4" SANITARY SEWER LINE TO EXISTING SANITARY SEWER
- 1/2" OR 4" WATER OR SANITARY SERVICE
- BURIED ELEVATION SERVICE FROM NEAREST EXISTING UTILITY POLE
- 1/2" OR 4" WATER SERVICE FROM NEAREST TELEPHONE POLE RUN UNDERGROUND IN CONDUIT
- INDICATES CONTROL JUNCTION (SEE DETAILS ON SHEET PS-9)
- INDICATES SAW CUT (SEE SHEET PS-1)
- CONCRETE CURB (SEE CONCRETE NOTES)
- DISPENSER NUMBER
- DISPENSER PRODUCT ID.
- PROPOSED PUBLIC TELEPHONE
- WEATHERPROOF ELECTRICAL OUTLET
- HORSE BIB LOCATION
- AREA LIGHT LOCATION (SEE ELECTRICAL SHEET FOR DETAILS)
- REVISION INDICATOR
- HIGH POINT
- INDICATES PROPOSED CONCRETE AREA
- PROPOSED AIR/WATER STAND, AND TRASH CAN
- B.P. PROPOSED 8" DIA. CONC. BUMPER STOP. (SEE SHEET PS-9)
- T.O.I. ELEVATION AT TOP OF ISLAND.



1. ENTIRE SITE TO BE 6" THICK 3500 AIR  
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ALL CONC. TO BE WOOD FLOATED, STEEL  
TROLLED, LIGHT BROOM FINISHED.

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1. MIN. TANK BURIAL IS 3'-0" TOP OF TANKS = 556.90
2. TANKS AND PRODUCT PIPING TO BE INSTALLED PER N.F.P.A. 30.

SHEET	P2
GRADING/UTILITY PLAN	
HIGHWAY 205 ROCKWALL, TEXAS	
SITE	T= 20"
DRAWN	T. WALTERS
DATE	12/1/90
JOB NUMBER	R212P000 DWG. ROTATED 60°/0°
RACETRAC PETROLEUM, INC. 300 TECHNOLOGY COURT SMYRNA, GEORGIA 30082 (404) 431-7600	
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NO.	
REVISIONS	
BY	DATE



SITE PLAN REVIEW

- ✓ Date Submitted \_\_\_\_\_
- ✓ Scheduled for P&Z \_\_\_\_\_
- ✓ Scheduled for Council \_\_\_\_\_
- ✓ Applicant/Owner Racetrac
- ✓ Name of Proposed Development Racetrac
- ✓ Location \_\_\_\_\_ Legal Description \_\_\_\_\_
- ✓ Total Acreage \_\_\_\_\_ No. Lots/Units \_\_\_\_\_
- ✓ Current Zoning \_\_\_\_\_
- Special Restrictions \_\_\_\_\_
- ✓ Surrounding Zoning \_\_\_\_\_

	<u>Yes</u>	<u>No</u>	<u>N/A</u>
<u>Planning</u>			
1. Is the site zoned properly?	<u>✓</u>	_____	_____
2. Does the use conform to the Land Use Plan?	<u>✓</u>	_____	_____
3. Is this project in compliance with the provisions of a Concept Plan?	_____	_____	<u>✓</u>
✓ 4. Is the property platted?	_____	<u>✓</u>	_____
✓ 5. Is plat filed of record at Courthouse? File No. _____	_____	<u>✓</u>	_____
✓ 6. If not, is this site plan serving as a <u>final</u> preliminary plat?	<u>✓</u>	_____	_____
7. Does the plan conform to the Comprehensive Zoning Ordinance or PD Ordinance on the following:			
a. Are setbacks correct?			
front	<u>✓</u>	_____	_____
side	<u>✓</u>	_____	_____
rear	<u>✓</u>	_____	_____
b. Are buildings on same lot adequately separated?	_____	_____	<u>✓</u>



c.	Is the lot the proper size?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d.	Does the lot have proper dimensions?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e.	Are exterior materials correct? <i>a cur</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f.	<i>has been requested</i> Are structural materials correct?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g.	Is coverage correct?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h.	Is adequate area in landscaping shown?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i.	Is it irrigated?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
j.	Is landscaping in parking lot required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k.	Are types of landscaping indicated?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
l.	Is floor area ratio correct?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
m.	Is building height correct?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
n.	Are correct number of parking spaces provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
o.	Are driving lanes adequate in width?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
p.	Are parking spaces dimensioned properly	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
q.	Does the parking lot meet City specifications	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
r.	Is a fire lane provided?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
s.	Is it adequate in width?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
t.	Are drive entrances properly spaced?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
u.	<i>they have requested a waiver</i> Are drive entrances properly dimensioned?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	....Do drive entrances line up with planned median breaks? <i>needed</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v.	Is lighting provided and correctly directed?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
w.	Are sidewalks required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
x.	Are sidewalks provided?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
y.	Is a screen or buffer required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	....Is it sized properly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	....Is it designed properly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	....Is it of correct materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



- |  |               |               |               |
|--|---------------|---------------|---------------|
| ✓ 7. Does the site plan contain all required information from the application checklist?           | <u>✓</u>      | <u>      </u> | <u>      </u> |
| 8. Is there adequate access and circulation?   | <u>✓</u>      | <u>      </u> | <u>      </u> |
| 9. Is trash service located and screened?  | <u>✓</u>      | <u>      </u> | <u>      </u> |
| ✓ 10. Are street names acceptable?   | <u>      </u> | <u>      </u> | <u>✓</u>      |
| 11. Was the plan reviewed by a consultant?<br>(If so, attach copy of review.)                      | <u>✓</u>      | <u>      </u> | <u>      </u> |
| 12. Does the plan conform to the Master Park Plan?   | <u>✓</u>      | <u>      </u> | <u>      </u> |
| 13. Are there any existing land features to be maintained?<br>(ie, topography, trees, ponds, etc.) | <u>      </u> | <u>✓</u>      | <u>      </u> |

Comments:

#### Building Codes

- |  |               |               |               |
|--|---------------|---------------|---------------|
| 1. Do buildings meet fire codes?       | <u>✓</u>      | <u>      </u> | <u>      </u> |
| 2. Do signs conform to Sign Ordinance? | <u>      </u> | <u>      </u> | <u>      </u> |

Comments:

*we assume  
have not seen  
free standing sign*

#### Engineering

- |  |               |               |               |
|--|---------------|---------------|---------------|
| 1. Does plan conform to Thoroughfare Plan?                                   | <u>      </u> | <u>      </u> | <u>      </u> |
| 2. Do points of access align with adjacent ROW?                              | <u>      </u> | <u>      </u> | <u>      </u> |
| 3. Are the points of access properly spaced?                                 | <u>      </u> | <u>      </u> | <u>      </u> |
| 4. Are street improvements required?   | <u>      </u> | <u>✓</u>      | <u>      </u> |
| 5. Will escrowing of funds or construction of substandard roads be required? | <u>      </u> | <u>✓</u>      | <u>      </u> |
| 6. Does plan conform with Flood Plain Regulations?                           | <u>✓</u>      | <u>      </u> | <u>      </u> |
| 7. Is adequate fire protection present?                                      | <u>✓</u>      | <u>      </u> | <u>      </u> |
| 8. Are all utilities adequate?   | <u>✓</u>      | <u>      </u> | <u>      </u> |
| 9. Are adequate drainage facilities present?                                 | <u>      </u> | <u>      </u> | <u>      </u> |
| 10. Is there a facilities agreement on this site?                            | <u>      </u> | <u>✓</u>      | <u>      </u> |



11. Are existing roads adequate for additional traffic to be generated? ☒ ☐ ☐
12. Is the site part of a larger tract? Does the plan adversely impact development of remaining land? ☒ ☒ ☐ *an easement will be provided*
13. Are access easements necessary? ☒ ☐ ☐ *yes*
14. Are street and drive radii adequate? ☐ ☒ ☐ *they increased onto adjacent.*
15. Have all required conditions been met? ☐ ☐ ☐
16. Is there a pro rata agreement on this site? ☐ ☒ ☐
17. Have all charges been paid? ☐ ☐ ☐

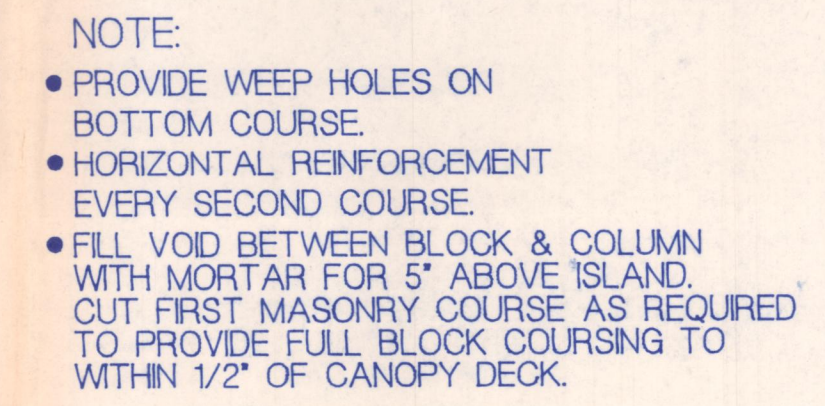
Time Spent on Review

<u>Name</u>	<u>Date</u>	<u>Time Spent (hours)</u>
<u>Julie Gunk</u>	<u>2/8/91</u>	<u>1 hr.</u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>

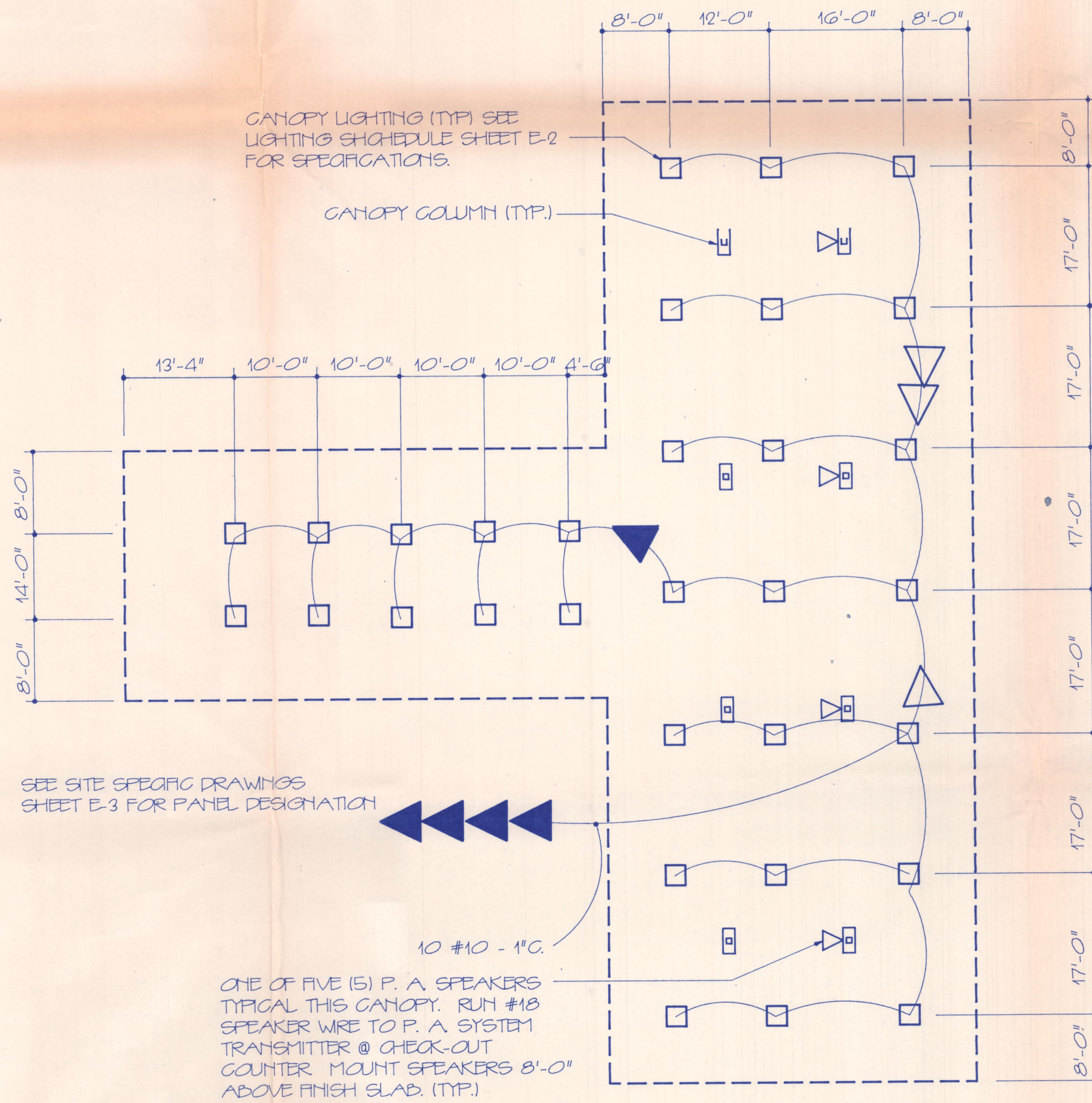
~~Do you~~ a  
need to grass/irrigate spray to ROW  
and returns

drives OK but could function  
w/ wheel 1 drive -  
would not have access to  
median opening









## GENERAL NOTES.

1. ALL CANOPY LIGHTS ARE 400 WATT, SUPER METAL HALIDE 2' X 2' FIXTURES WITH SYMMETRICAL DROP LENS ACRYLIC DIFFUSERS.
2. ALL WIRE SHALL BE 2 #10 IN 1/2" C. UNLESS OTHERWISE NOTED.

## CANOPY LIGHTING

SITE  
HIGHWAY 205  
ROCKWALL, TEXAS

SCALE  
T = 10'

DATE  
1/21/91

REV.  
C-2  
S.S.

REV.  
0

JOB NUMBER  
R22C1

DATE  
1/21/91

DATE  
1/21/91

DATE  
1/21/91

**RACETRAC**  
RACETRAC PETROLEUM, INC.  
300 TECHNOLOGY COURT  
SMYRNA, GEORGIA 30082  
(404) 431-7600

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THE EXPRESSED WRITTEN  
PERMISSION OF RACETRAC  
PETROLEUM INC. IS PROHIBITED.

NO.

REVISIONS

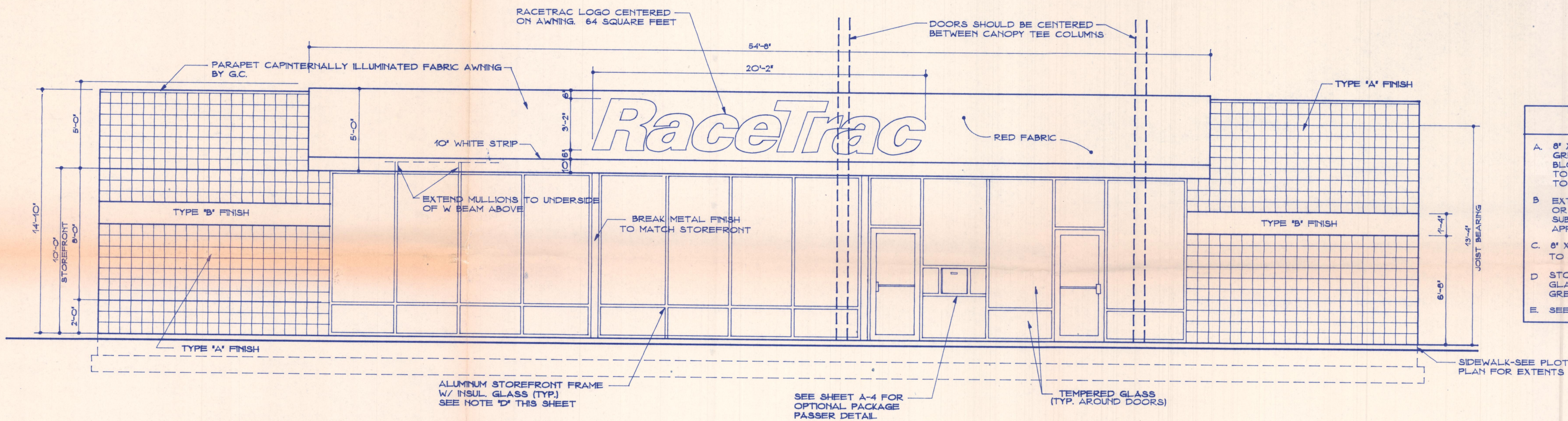
BY

DATE

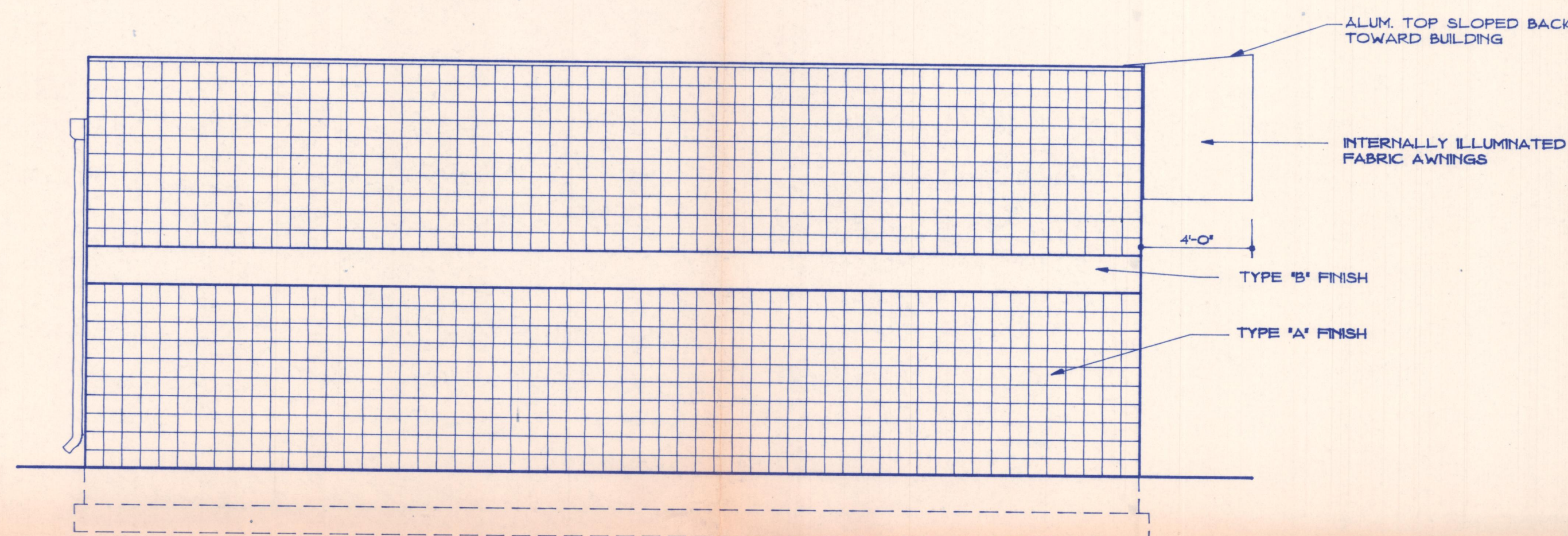




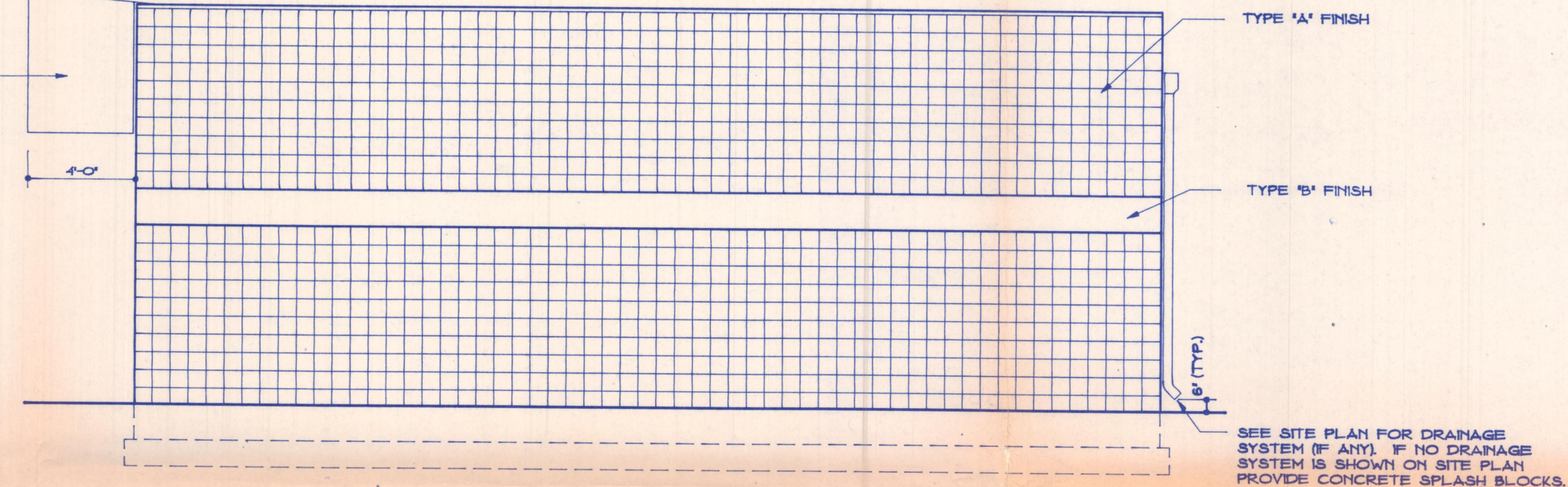




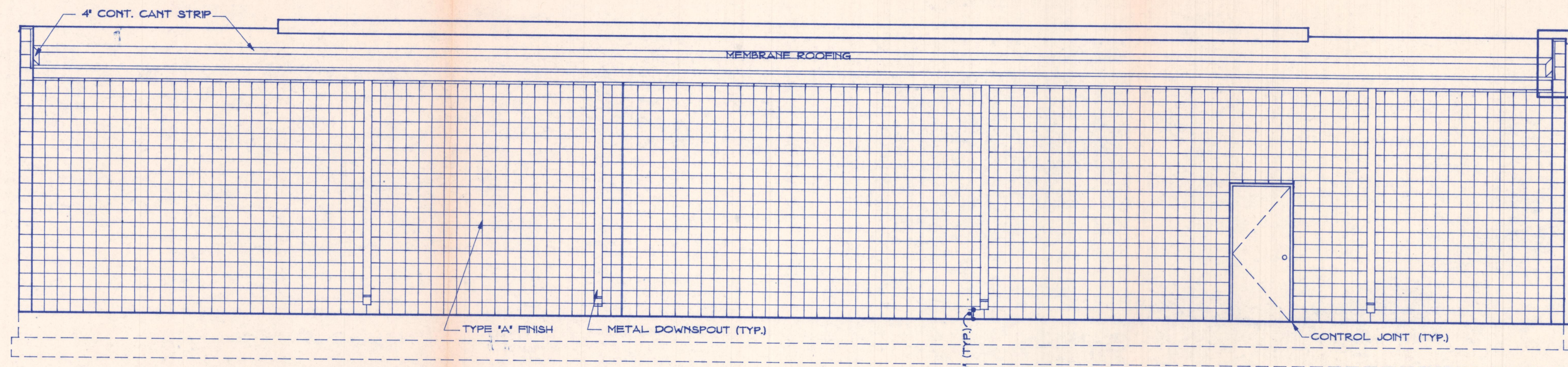
3 FRONT ELEVATION  
A-2 1/4"=1'-0"



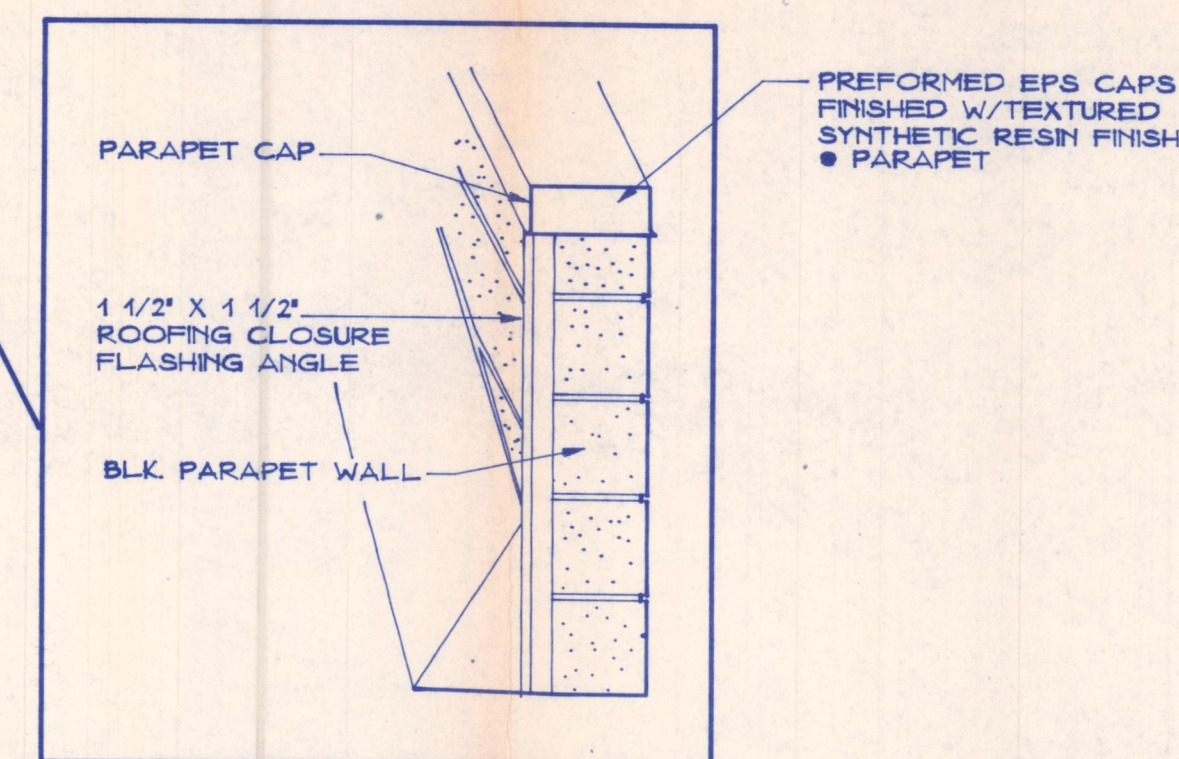
2 LEFT SIDE ELEVATION  
A-2 1/4"=1'-0"



1 RIGHT SIDE ELEVATION  
A-2 1/4"=1'-0"



4 REAR ELEVATION  
A-2 1/4"=1'-0"



### EXTERIOR FINISH NOTES

- 8" X 8" X 16" SPLIT FACE, SINGLE SCORE BLOCK - STACK BOND - STANDARD GREY. TO BE PAINTED AFTER CONSTRUCTION AS PER RACETRAC SPECS. BLOCK TO BE STRUNG & LAID UP FROM INSIDE FACE OF WALL. VERTICAL JOINTS TO BE PROPERLY ALIGNED & PLUMB. VERTICAL & HORIZONTAL MORTAR JOINTS TO BE STRUCK SQUARE TO MATCH BLOCK SCORE.
- EXTERIOR INSULATION FINISH SYSTEM (DRIVIT, STO, R-WALL, OR EQUAL). FINISH TEXTURES TO MATCH/EQUAL DRIVIT'S 'QUARZPUTZ-REGULAR'. SUBMIT APPLICABLE COLOR, FINISH & SYSTEM DATA SHEETS TO OWNER FOR APPROVAL PRIOR TO APPLICATION.
- 8" X 8" X 16" STANDARD CONC. BLOCK. GUTTER, DOWNSPOUTS & ROOF CAP TO BE AS PER RACETRAC SPECS.
- STOREFRONT FRAMING BY ATLAS ARCHITECTURAL METALS, INC. 2" X 4 1/2" FLUSH GLAZE, ARCHITECTURAL GLASS: DARK BRONZE ANODIC COATING W/1" INSUL. SOLAR GREY GLASS.
- SEE MASONRY NOTES - SHEET S-1

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.

**RACETRAC**  
RACETRAC PETROLEUM, INC.  
300 TECHNOLOGY COURT  
SMYRNA, GEORGIA 30082  
(404) 431-7600

ELEVATIONS

HIGHWAY 205  
ROCKWALL, TEXAS  
C-STORY TYPE 20

SITE SCALE DRAWN JOB NUMBER DATE JAN. 23, 1991 MB,VP R2/2A2

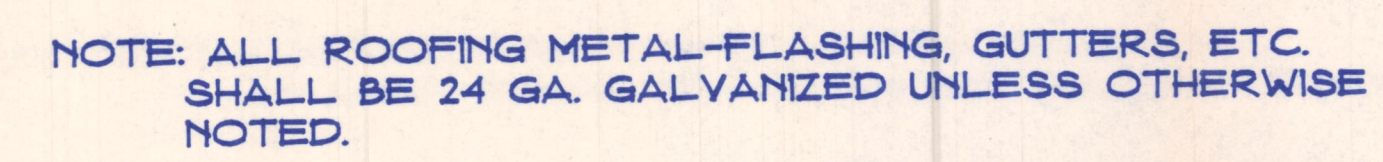
SHEET A-2 S.S. REV.

REVISIONS

NO.

BY DATE 1-17-91





NOTE: ALL ROOFING METAL-FLASHING, GUTTERS, ETC.  
SHALL BE 24 GA. GALVANIZED UNLESS OTHERWISE  
NOTED.

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P.O. Box 105035, Atlanta, Georgia 30348-5035  
(404) 431-7600

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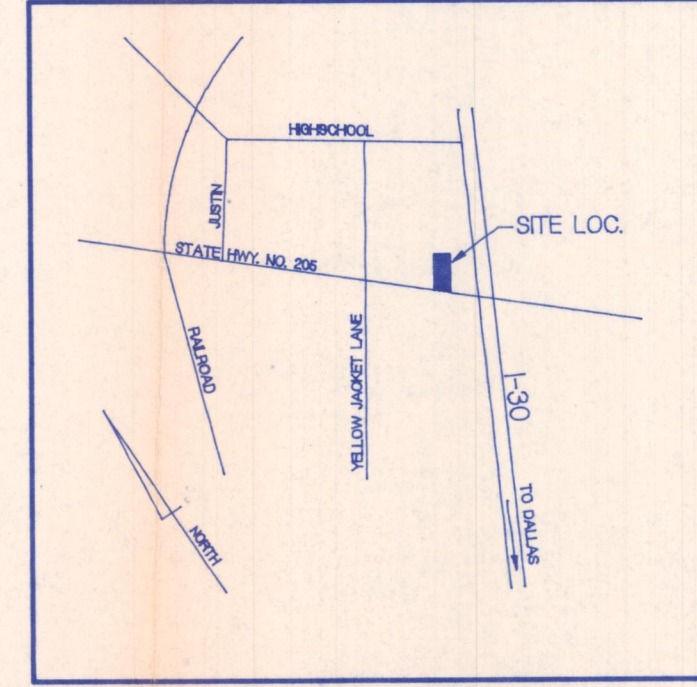
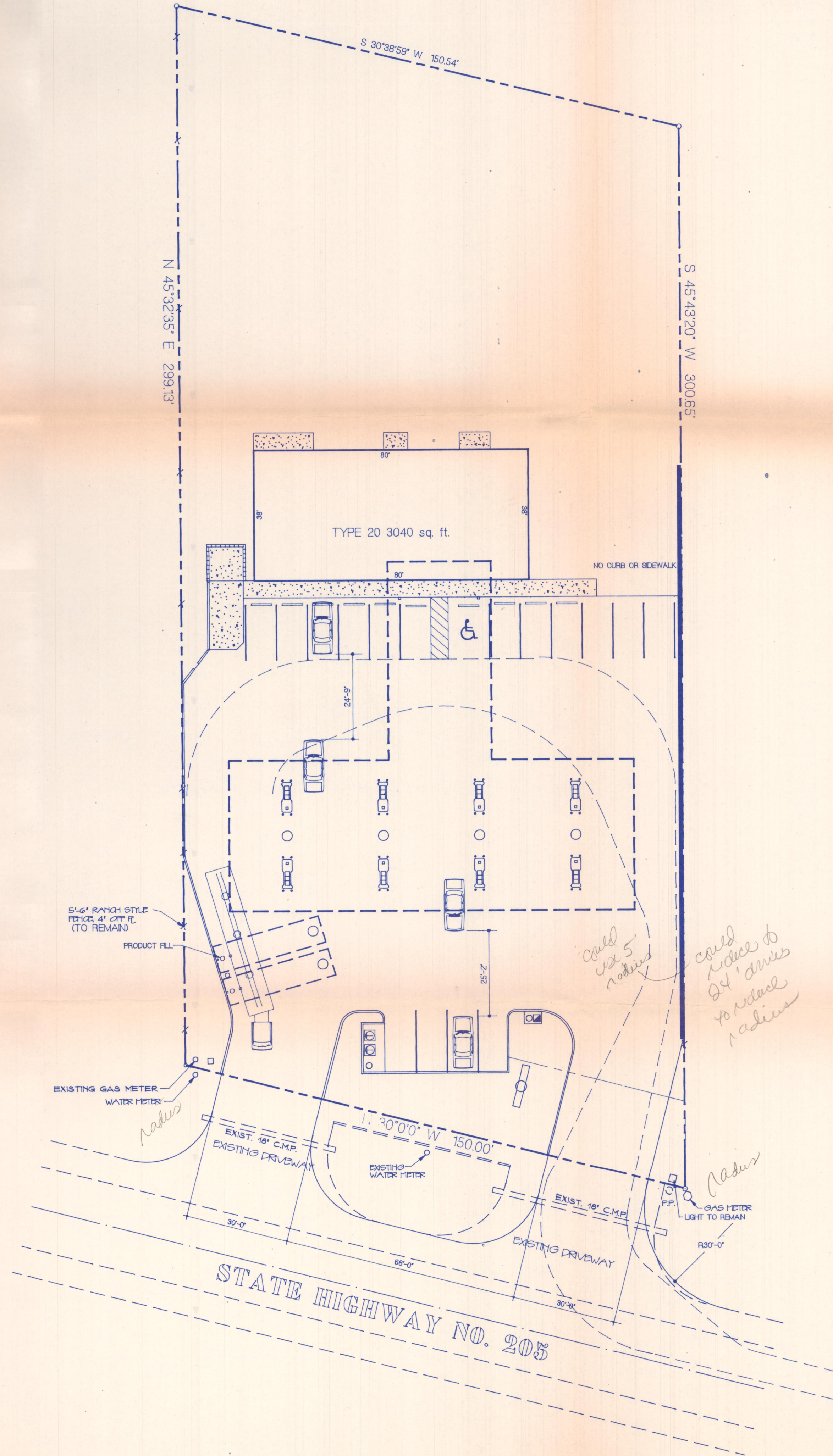
C-STORE TYPE 20

DATE NOV. 2, 1990

SHEET S-3

NO.		BY	DATE	CHECK	DATE
<b>REVISIONS</b>					





VICINITY MAP

PARLING/TRUCK LAYOUT

SITE  
HIGHWAY 205  
ROCKWALL, TEXAS

SCALE  
T= 20'

DRAWN  
T. WALTERS

DATE  
12/1/90

JOB NUMBER  
R212P001

DWG. ROTATED 60°00'

RACETRAC

RACETRAC PETROLEUM, INC.  
300 TECHNOLOGY COURT  
SMYRNA, GEORGIA 30082  
(404) 431-7600

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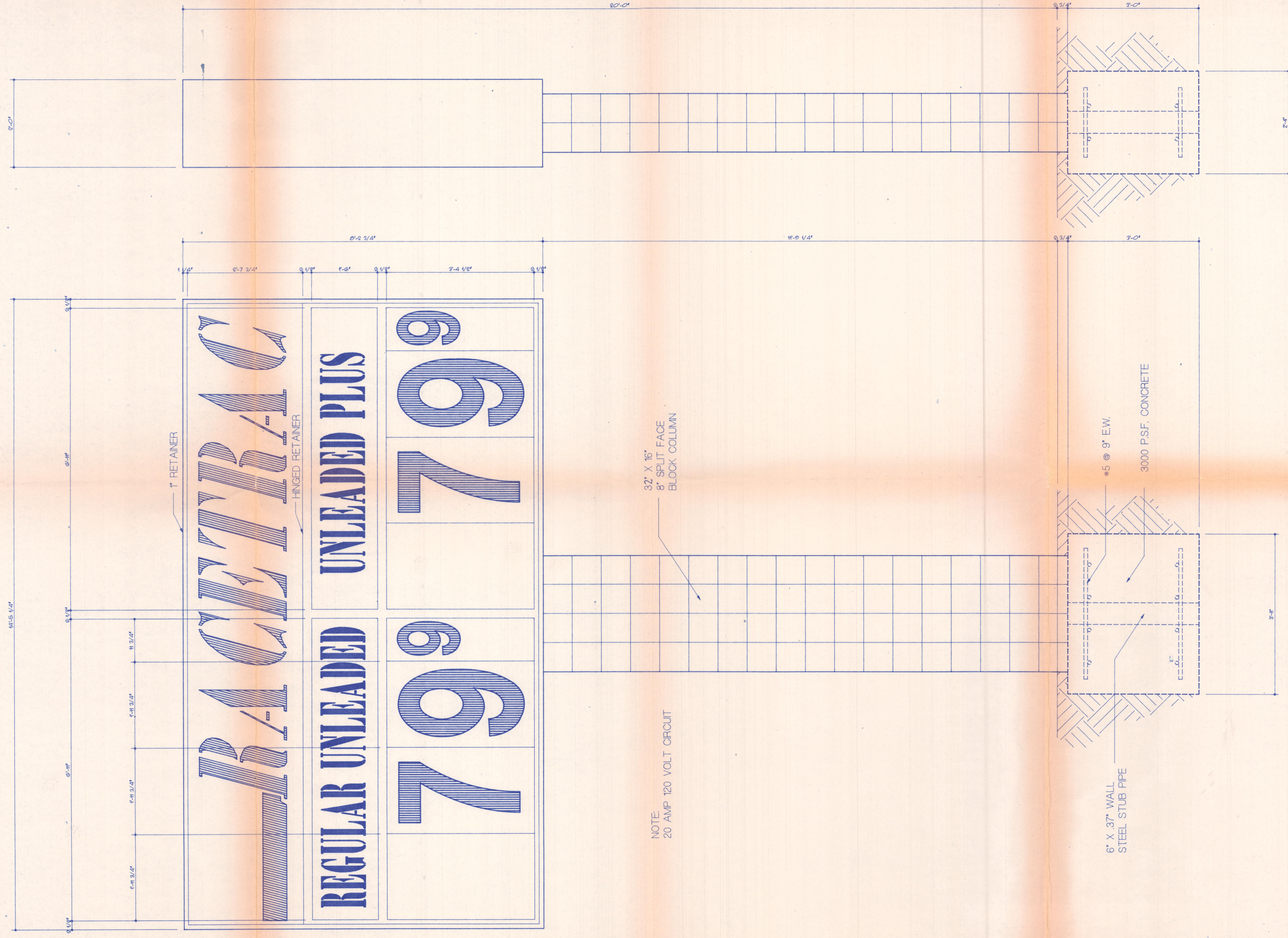
NO.

REVISIONS

BY

DATE



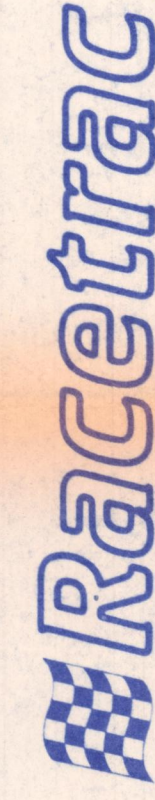


NOTE:  
20 AMP 120 VOLT CIRCUIT

32" X 16"  
8" SPLIT FACE  
BLOCK COLUMN

SHEET	FSS	120 SQ. FT. FREE STANDING SIGN			
		SITE			
REV.		SCALE	NTS		
		DRAWN	JDP - 1154	DATE	MARCH 22, 1990
			FSS120-2		

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P.O. Box 105035, Atlanta, Georgia 30348-5035  
(404) 431-7600

NO.	REVISIONS	BY	DATE	CHECK	DATE
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# REVIEW

## Tax Certificate

C. Davidson



**TRW/Great West  
Information Services Corporation**

4909 S. Cockrell Hill Rd., #C  
Dallas, Texas 75236  
(214) 331-4375 800-733-1898  
Fax: (214) 331-2858



# Tax Certificate

CLIENT:	CERTIFICATE NO.:
SAFECO LAND TITLE OF ROCKWALL (Gale Coursoy).	
G.F. NO.:	ORDER NO.:
90 R 7989 (Office Concepts, Ltd.)	102800
TAX/PROPERTY DESCRIPTION:	EXEMPTIONS:

SEE ATTACHED

ASSESSED AS: TR 23  
1.010 Acres

[illegible]





## Race trac

- ✓ 1. need sign elevation -
2. Drives - - unidirectional
  - ability to handle
  - radius encroachment
- ✓ 3. Buy Burely material + color samples
4. Do you own back - Parking Roadwall Business Park  
access easement
5. CUP for materials
6. Parapet wall - extend
- 7. What about many <sup>partly</sup> ~~landscaping~~ landscaping area.
8. Dub is working up info



✓ Property not platted - need to plat entire tract.

## 2. Landscaping

a. need total area calculation - ~~irrigated area~~  
by bldg. - how far back on <sup>negative</sup> ~~what kind~~ ~~irrigated area~~ ~~in front of bldg~~  
total site area -

total site = 45,000 - 15% = 67500 total area to be developed?  
estimate - 29,400 - 15% = 4410 10% = 2940?

b. shrubs need to be on 3' centers

c. ~~are~~ curved into development?

d. <sup>row</sup> area in front of the prop needs to be grassed -  
show on plans.

## 3. Site - needs to be set back 10 ft

4. ~~needs to be~~ what about scenery the size of  
the building

5. What are the building materials

6. Doors or dumpstn - what type

7. Screening of utility equip?

8. Type of roof.

9. Elevations of all sides?

10. need building dimensions

11. describe the lighting of bldg + canopy

12. How many pumps at each station



13. Reduction of openings or reduce to one - need to show proximity of adjacent drives
14. Buddy square footage & dimensions?
15. 16 parking spaces - where are the 15 spaces
16. Elevation + color of signage + canopy
17. Nearest fire hydrant location
18. Possible ROW dedication





RACETRAC PETROLEUM, INC.  
P.O. Box 105035, Atlanta, Georgia 30348 -5035  
(404) 431-7600

## LETTER OF TRANSMITTAL

**Attention:** MS. JULIE COUCH  
CITY OF ROCKWALL

**Date:** 1/23/91

**Job:** HIGHWAY 205 ROCKWALL, TX

**Please Find:** ☒ **Enclosed** ☐ **Under Separate Cover**

☒ **WORKING DRAWINGS**

☒ **PERMIT APPLICATION**

☐ **CHECK(S) FOR FEES**

☐ **OTHER** \_\_\_\_\_

Copies	Date	Description
17	_____	ENGINEERING PLANS
2	_____	CANOPY PLANS
2	_____	ROOF & ELEV. PLANS
1	_____	APPLICATION FORM
1	_____	CHECK FOR \$85.00 APPLICATION FEE
	_____	_____
	_____	_____

### Transmitted For:

☒ **REVIEW AND COMMENTS**

☐ **RESUBMITTAL W/REVISIONS**

☐ **YOUR RECORDS**

☐ **OTHER** \_\_\_\_\_

☒ **FILE FOR PERMIT**

**Remarks:** I HOPE I HAVE ENCLOSED EVERYTHING THAT YOU ASKED FOR. IF NOT PLEASE  
GIVE ME A CALL @ THE NUMBER BELOW.

THANK YOU,

Signed Timothy R. Walters  
(800) 877-7357 EXT: 1126 TIM WALTERS





January 25, 1991

Ms. Julie Couch  
City of Rockwall  
205 West Rusk  
Rockwall, Tx 75087

RE: Authorization to sign permit applications

Dear Ms. Couch:

This letter gives Mr. Don Gossett authorization on behalf of Racetrac Petroleum, Inc. to sign any applications necessary to obtain building permits.

If you have any questions, please call Tim Walters at (404) 431-7600, Ext. 1126.

Sincerely,

A handwritten signature in blue ink, appearing to read "T. Richard Peoples". The signature is fluid and cursive, with a large "T" and "P".

T. Richard Peoples  
Vice President of Design

TRP/mgb

RACETRAC PETROLEUM, INC.  
P.O. Box 105035, Atlanta, Georgia 30348-5035  
(404) 431-7600



# MASTERPLAN

Mrs. Julie Couch  
City of Rockwall  
205 W. Rusk  
Rockwall, Texas 75087

February 11, 1991

Dear Mrs. Couch:

## RACETRAC SITE PLAN - SH 205 NORTH OF IH-30 AND LAKESIDE CHEVROLET

Pursuant to our conversation, I have reviewed the subject site plan along the east side of SH 205. The following information is thought to be important.

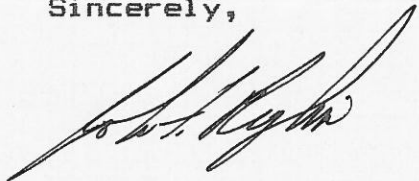
1. Overall, the site plan is well-conceived. Access to the pump islands, the underground tanks, and the convenience store parking is good.
2. There should be a designated access easement along the south side of the property to access the land east of this site.
3. The radii at each proposed driveway encroach upon the neighboring properties to the north and south. In order to correct this, three things could be done - reduce the driveway widths from 30 to around 24 FT, move the driveways inboard to the property thereby reducing the 68 FT clear space between driveways, and reduce the size of the radii. A small reduction of each of these factors would eliminate the encroachment problems without unduly sacrificing the site plan.
4. The site plan shown includes two driveways. City standards identify driveways for a site to be generally separated by distances of 150 FT. The plan shown, however, is a good one, and the site may have access in the future to a median opening at the north property line. The plan as presented seems best.
5. Some consideration should be given to setting up cross-access easement capability to the properties north and south of this site. While these adjoining properties may not want to take advantage of such easements at this time, there will come a time when SH 205 will have a raised median. It seems in the best interests of the City to require cross-access easements along major thoroughfares as a general means of helping to provide for future vehicular movement.



RECOMMENDATIONS

1. Require applicant to show joint access easement to the property east of this site.
2. Require applicant to show an access easement across the property, north-south, for the future potential use of the adjoining properties.
3. Eliminate the encroachment of the applicant's curb return radii onto adjoining properties.

Sincerely,

A handwritten signature in dark ink, appearing to read "John F. Reglin", written in a cursive style.

John F. Reglin, P.E.  
Vice President



**CITY OF ROCKWALL**  
**Planning and Zoning Agenda**

**Agenda Date:** February 14, 1990

**Agenda No:** III. B.

**Agenda Item:** P&Z 91-1-CUP/SP/FP - Hold Public Hearing and Consider Recommending Approval of a Request From Racetrac, Inc., for a Conditional use Permit for a Building Not Meeting Materials Requirements and Approval of a Site Plan and Final Plat for a Self Serve Gas Station Located on SH-205 North of I-30

**Item Generated By:** Applicant, Racetrac

**Action Needed:** Hold public hearing and take any necessary action.

**Background Information:**

we have received a request for a self serve gas station facility to be located on SH-205 in the old Fina station location just north of Lakeside Chevrolet. They plan to completely remove all existing structures and build a new facility.

**Site Plan**

The site plan generally conforms to our requirements. Our specific comments are as follows:

Building - the building is proposed to be constructed out of a concrete block material. This is very similar to the material used by Braum's for their building. This material does require a CUP to be used. They do not show a parapet wall along the back of the building but they are willing to put a wall along the rear. This should be included as a condition in the approval.

Canopy supports and sign support - They plan to use a stucco material to screen the metal supports for both the sign and canopy rather than brick. The stucco would be painted grey to match the building.

Drives - there are two existing drives on the property. The applicants wish to retain the two drives. They are currently approximately 40-45 feet wide. They have reduced the width to 30 feet. I have asked them to also move them because the outside radii encroach across the adjacent property. They are requesting a waiver to the one entrance requirement.

Landscaping - the landscaping does conform to our requirements.

**Plat**

The property is not platted and they must complete that process in order to build. The plat meets our requirements with the exception of no faccess easment to the rear of the property and the inclusion of a utility easement along the frontage. They will provide this Thursday night.

**Attachments:**

1. site plan

**Agenda Item:** Racetrac Site Plan

**Item No:** III. B.



**CITY OF ROCKWALL**  
**Planning and Zoning Agenda**

**Agenda Date:** February 14, 1990

**Agenda No:** III. C.

**Agenda Item:** P&Z 91-1-CUP - Hold Public Hearing and Consider Recommending Approval of a Request from Robert Ryan for a Conditional Use Permit for a Commercial Amusement Located in Rockwall Village Shopping Center

**Item Generated By:** Applicant, Robert Ryan

**Action Needed:** Hold public hearing and take any necessary action.

**Background Information:**

Mr. Ryan was granted a CUP for a billiard facility in the Ridge Road Shopping Center last year. He never opened the facility due to health problems and he is now wanting to move his location from Ridge Road Shopping Center to Rockwall Shopping Center. His previous location was going to have a small snack bar area but he has eliminated this from the new application. I have attached his application information from his previous packet and his proposed layout. I have also attached a copy of the conditions that were included in the original approval. He is aware of the concern about the kids that congregate in the parking lot in this location. He has been asked to address this issue at the meeting.

**Attachments:**

1. Building layout
2. Previous conditions

**Agenda Item:** Robert Ryan CUP

**Item No:** III. C.



**CITY OF ROCKWALL  
City Council Agenda**

**Agenda Date:** February 18, 1990

**Agenda No:** VI. C.

**Agenda Item:** P&Z 91-1-CUP/SP/FP - Hold Public Hearing and Consider Approval of an Ordinance Requested by Racetrac, Inc., for a Conditional Use Permit for a Building Not Meeting Materials Requirements and Approval of a Site Plan and Final Plat for a Self Serve Gas Station Located on SH-205 North of I-30

**Item Generated By:** Applicant, Racetrac

**Action Needed:** Hold public hearing and take any necessary action.

**Background Information:**

The Commission has recommended the following:

**CUP**

The Commission has recommended approval of the split face block material for the proposed building.

**Final Plat**

The Commission recommended approval of the plat with the condition that a utility easement be dedicated along the front property line and that a 24 foot ingress and egress easement be provided along the south property line. They have added these items to the plat and a copy is attached.

**Site Plan**

The Commission recommended approval of the site plan with the conditions that a parapet wall be constructed along the back of the building to match the other walls, and that the canopy supports and the sign pole be wrapped with the split face block to match the material used on the main structure.

There was considerable discussion regarding the request to continue to have two drives rather than one drive. We had asked Mr. Reglin to review the plan and he indicated that either one or two drives could work but that two drives seemed to better serve the layout proposed by the applicant. The Commission approved the site plan with the two entrances.

The vote of the Commission was not unanimous. A draft copy of the minutes is attached.

**Attachments:**

1. Revised Plat
2. Sign Schematic
3. Ordinance

**Agenda Item:** Racetrac Site Plan

**Item No:** VI. C.



**CITY OF ROCKWALL**  
**City Council Agenda**

**Agenda Date:** February 18, 1990

**Agenda No:** VI. **D.**

**Agenda Item:** **P&Z 91-1-CUP/SP/FP** - Hold Public Hearing and Consider Approval of an Ordinance Requested by Racetrac, Inc., for a Conditional Use Permit for a Building Not Meeting Materials Requirements and Approval of a Site Plan and Final Plat for a Self Serve Gas Station Located on SH-205 North of I-30

**Item Generated By:** Applicant, Racetrac

**Action Needed:** Hold public hearing and take any necessary action.

**Background Information:**

We have received a request for a self serve gas station facility to be located on SH-205 in the old Fina station location just north of Lakeside Chevrolet. They plan to completely remove all existing structures and build a new facility.

**Site Plan**

The site plan generally conforms to our requirements. Our specific comments are as follows:

Building - the building is proposed to be constructed out of a concrete block material. This is very similar to the material used by Braum's for their building. This material does require a CUP to be used. They do not show a parapet wall along the back of the building but they are willing to put a wall along the rear. This should be included as a condition in the approval. The building would be painted a grey with the signage and contrast color a red. They will have colored elevation drawings at the meeting.

Canopy supports and sign support - They plan to use a stucco material to screen the metal supports for both the sign and canopy rather than brick. The stucco would be painted grey to match the building. The canopy is proposed to be 16 feet high from the bottom of the canopy fascia to the ground.

Drives - there are two existing drives on the property. The applicants wish to retain the two drives. They are currently approximately 40-45 feet wide. They have reduced the width to 30 feet. I have asked them to also move them because the outside radii encroach across the adjacent property. They are requesting a waiver to the one entrance requirement.

Landscaping - the landscaping does conform to our requirements.

**Plat**

The property is not platted and they must complete that process in order to build. The plat meets our requirements with the exception of no access easement to the rear of the property and the inclusion of a utility easement along the frontage. They will provide this.

This item will be considered by the Planning and Zoning Commission on Thursday and we will forward their recommendation to you on Friday.

**Attachments:**

1. Site plan

**Agenda Item:** Racetrac Site Plan

**Item No:** VI. **D.**



**CITY OF ROCKWALL**  
**City Council Agenda**

**Agenda Date:** March 4, 1990

**Agenda No:** V. C.

**Agenda Item:** P&Z 91-1-CUP/SP/FP - Consider Approval of a Site Plan for a Self Service Gas Station Located on SH-205 North of I-30

**Item Generated By:** Applicant, Racetrac

**Action Needed:** Consider approval of the site plan with any conditions included in the motion.

**Background Information:**

The representative for Racetrac will be here Monday night to discuss the proposed site plan. The two items that were mentioned at the last meeting regarding the vent pipes and the monument sign have been discussed with the applicant. They are proposing to move the vent pipes to the side of the building behind the dumpster location rather than bricking them and they have indicated that they would like to retain the pole sign as proposed. They will be sending us a revised site plan with the relocated vent pipes.

The other comments regarding the site plan were as follows:

**Site Plan**

Building - the building is proposed to be constructed out of a concrete block material. This is very similar to the material used by Braum's for their building. A CUP was approved for this material at the last meeting. They did not originally show a parapet wall along the back of the building but they are willing to put a wall along the rear. This should be included as a condition in the approval. The building would be painted a grey with the signage and contrast color a red. They will have colored elevation drawings at the meeting.

Canopy supports and sign support - They plan to use a stucco material to screen the metal supports for both the sign and canopy rather than brick. The stucco would be painted grey to match the building. The canopy is proposed to be 16 feet high from the bottom of the canopy fascia to the ground.

Drives - there are two existing drives on the property. The applicants wish to retain the two drives. They are currently approximately 40-45 feet wide. They have reduced the width to 30 feet. They are requesting a waiver to the one entrance requirement. Their primary reason for wanting the two drives is access for the tanker trucks that will deliver the fuel. They would enter from the south entrance and turn around in the site and unload along the north drive where the filling facilities are located. There is an existing drive approximately 30 feet to the south of the property line into the Lakeside Chevrolet parking lot and there is a drive approximately 10 feet to the north of the property line into the vet clinic parking lot.

Site - the site will be completely leveled which will require a retaining wall along the south side of the property.

Landscaping - the landscaping does conform to our requirements.

**Attachments:**

1. Site plan
2. Sign Plan
3. Location Map

**Agenda Item:** Racetrac Site Plan

**Item No:** V. C.