



CITY OF ROCKWALL
AT CITY PLACE
385 SOUTH GOLIAD
ROCKWALL, TEXAS 75087
972-771-7745

DEVELOPMENT APPLICATION

- | | |
|---|--|
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Landscape |
| <input type="checkbox"/> Treescape | <input type="checkbox"/> Building Elevations |
| <input type="checkbox"/> Photometric / Lighting Plan | |
| <input type="checkbox"/> Material Samples / Color Rendering | |

Property Information

PZ Case No. **2006 019**

Addition Name:		Address / Location: 1529 Laguna Drive	
Lot(s):	Block:	Current Zoning: Commercial	
# of Acres: 1.751	# of Lots:	# of Units:	

Applicant Information

Name: Rockwall RMKP, LP		Company:	
Mailing Address: 6005 Silverleaf Ln			
City: Garland		State: TX	Zip: 75043
Phone: 972-226-9342		Fax: 972-226-9342	Email: KAVEENemail-1@yahoo.com

Owner Information

Name: KAVEEN Patel		Company: Rockwall RMKP LP	
Mailing Address: 6005 Silverleaf Ln			
City: Garland		State: TX	Zip: 75043
Phone: 972-226-9342		Fax: same	Email: KAVEENemail-1@yahoo.com

Site Plan Application Submittal Requirements

Submit the following items (when applicable)

☒ Submittal Fee

☐ Site Plan

☐ Treescape Plan

☐ Landscape Plan

☐ Photometric Plan

☐ Building Elevations

☐ Building Samples / Color Rendering

1st Submittal w/ application for ARB / P&Z Work Session

See Fee Schedule (attached)

24" x 36", 15 Copies (folded)

24" x 36", 15 Copies (folded)

24" x 36", 15 Copies (folded)

24" x 36", 15 Copies (folded)

24" x 36", 15 Copies (folded)

Check w/ planning staff

2nd Submittal w/ revisions for P&Z

20 Large copies + one 8.5" x 11"

20 Large copies + one 8.5" x 11"

20 Large copies + one 8.5" x 11"

20 Large copies + one 8.5" x 11"

20 Large copies + one 8.5" x 11"

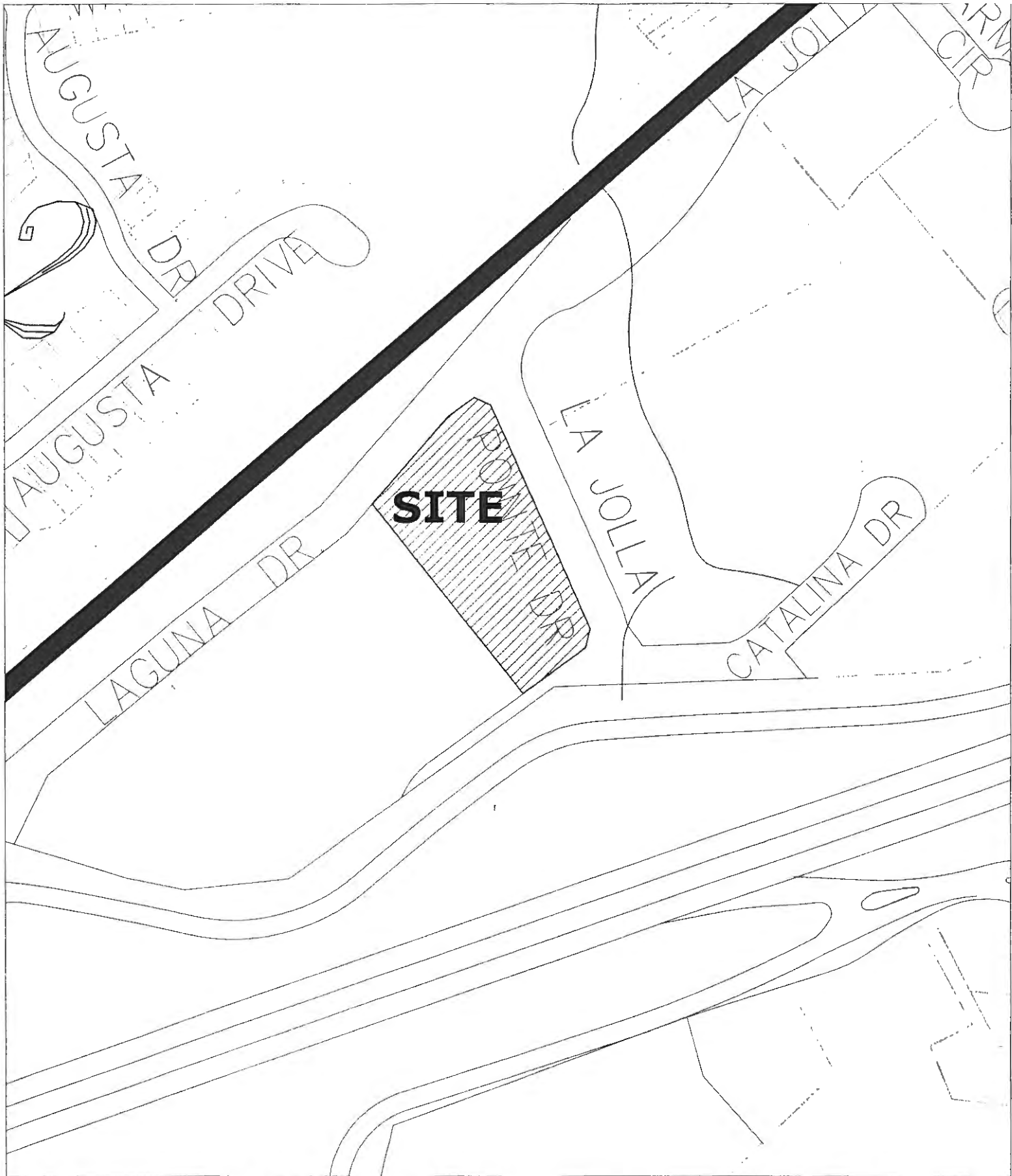
N/A

The application is not considered accepted by the City until the Planning Director and City Engineer has signed below.

City Engineering Signature

Planning Director Signature

JUN 15 2006



SP2006-019
Hampton Inn
1529 Laguna Drive



1" = 200'

**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 8/29/2006

APPLICANT: Rockwall RMKP LP

AGENDA ITEM: SP2006-019; Hampton Inn

6-0 ✓

Discuss and consider a request by Rockwall RMKP, LP, for approval of a site plan for Hampton Inn, a proposed 62-room hotel located on Lot 4R, Block C, La Jolla Pointe Phase 1 Addition, being 1.751-acres zoned (C) Commercial district and situated within the IH-30 Overlay district, and take any action necessary.

BACKGROUND INFORMATION:

The applicant has submitted a site plan for a Hampton Inn hotel, a proposed 62-room hotel located on Lot 4R, Block C, La Jolla Pointe Phase 1 Addition. The required parking for the intended use is 62 spaces (one per room), and the applicant is providing 67 spaces, including three accessible spaces. The site will be accessed from Catalina Drive and Laguna Drive. Because of the grade differential and a slope easement, cross access into the adjacent Carrabba's site is impractical.

The site plan indicates approximately 34% of the site is open space, which exceeds the 15% City requirement for the Commercial District. As this site has no frontage on IH-30, 10-ft buffers are required along each of the three street frontages, with a minimum planting of 1 tree per 50 linear feet (or 15 trees for 716 linear feet). The landscape plan shows two, 3-inch caliper Live Oaks and thirteen, 3-inch caliper Cedar Elm trees within the landscape buffers, meeting City standards. 11 Crepe Myrtles and 6 Little Gem Magnolias, plus a large number of shrubs and other plantings, are also included in the buffers. Live Oaks are also provided in the parking lot and a row of Cedar Elms are planted in the rear of the building to comply with IH-30 Overlay standards.

The elevations propose a 3-story building consisting of natural stone, brick and stucco. The provided natural stone percentage is approximately 30% on each facade, and the building appears to comply with all other City requirements for the IH-30 Overlay district and commercial zoning. All rooftop and ground mounted mechanical equipment must be screened from all adjacent properties and right of ways. The building elevations have been reviewed and approved by the Architectural Review Board (ARB).

The photometric plan indicates pole lights with an overall mounting height of 27'6" (including base), which complies with the IH-30 overlay district. The maximum light level shall be 0.2-FC at all property lines, and all fixtures (including wall mounted) shall be full or partial cut-off as specified in the Unified Development Code.

RECOMMENDATIONS:

On 6/27/06 the Architectural Review Board recommended approval of the site plan and building elevations subject to review of final building materials.

Staff Recommends approval of the request with the following conditions:

1. Submittal and approval of engineering plans prior to replat.
2. Adherence to fire department requirements.
3. Submittal and approval of replat.
4. All rooftop and ground mounted mechanical equipment must be screened from all adjacent properties and right of ways.
5. All exterior lighting shall be directed downward and be full or partial cut-off as defined by the Unified Development Code. No lighting shall exceed 0.2-FC when measured at the property line.

City of Rockwall
Project Plan Review History
Development Services

Project Number SP2006-019 Project Name Hampton Inn Type SITE PLAN Subtype Status Staff Review	Applied 6/19/2006 KW Approved Closed Expired Status
--	--

Owner Rockwall RMKP LP**Applicant** Rockwall RMKP LP
Site Address
 1529 LAGUNA DR

City
 ROCKWALL

State TX
Zip
Zoning
Subdivision
 LA JOLLA POINTE ADDN PH I
Tract
Block
 C

Lot No
 4-R

Parcel No
 4118-000C-0004-00-0R
General Plan

		Dates				Status Notes	Remarks
Type of Review	Contact	Sent	Due	Received	Elapsed		
ENGINEERING	CT			6/21/2006			<ul style="list-style-type: none"> - Replat required. - Engineering plans submittal and review required prior to approval of replat. - Site plan does not meet fire department requirements! - Maximum 3 spaces on a dead-end parking aisle. - Verify drainage calculations - inlets taking the design flows. - Replace deep inlets with curb inlets. - Get with fire dept on canopy. No utilities can be under this structure. - See other misc. markups on site plan. - Additional engineering comments with full engineering plans submittal.
FIRE	AA			6/21/2006			<ul style="list-style-type: none"> - Height of building requires 39-ft radius on firelanes. - Fire department must approve overhead canopy in firelane (min. 14-ft clearance). - Fire hydrant coverage is inadequate. All points of building must be within 150-ft of a firelane and hydrant. - See engineering comments and markups for additional issues. Contact Ariana Adair, Fire Marshal with questions.
PLANNING	MH			6/21/2006			<ul style="list-style-type: none"> - Engineering and fire department issues affecting site layout (e.g. 39-ft radii on firelanes, no dead-end parking aisles with more than 3 spaces, etc). - Can this lot accommodate required parking (65 spaces) after firelane and parking lot adjustments? - Alternative dumpster location and/or orientation (away from street)? - Lighting plan issues: Maximum 0.2-FC at all property lines. - All fixtures to be full or partial cut-off (i.e. max. 1" reveal.), and must be oriented downward. - Details on building and flag up-lighting? Accent lighting is generally ok, but cannot glare into ROW or adjacent properties. - Elevations appear to meet City requirements except for more than 10% "secondary materials" (EIFS). Consider replacing with stucco or additional stone, brick materials. 3/4 vote

Type of Review	Contact	Dates				Status Notes	Remarks
		Sent	Due	Received	Elapsed		
by Council required for variance approval!							
- Landscaping looks ok, except must be changed with any changes to site plan.							
- Additional tree at west side of Catalina drive entrance?							
Submit 15 large copies and one 8.5"x11" copy of each revised plan no later than Wednesday, July 5th for consideration at the 7/11 P&Z and 7/17 Council (if required) meetings.							

SP-2006-019

- ENGINEERING REQ.
- FIRE DEPT. REQ.
- TURN DUMPSTER AWAY FROM STREET.
- EIFS NOT ALLOWED FOR THAN 10070.

ARB – ARCHITECTURAL REVIEW BOARD

Review by this Board is required if the subject project lies within any Overlay District (Scenic Overlay, SH 66, I-30, SH 205, FM 549, SH 276, etc). The ARB will generally hold their meeting the same evening as the Planning & Zoning Commission Work Session, providing their recommendation directly to the Commission and applicant.

Additional information may be required for site plans in an Overlay district, including but not limited to, building material and color samples, color elevations, artistic renderings of project, etc. Check with Planning Staff prior to submittal.

ADMINISTRATIVE SITE PLAN APPROVAL

- ↓ In limited circumstances, as allowed by the Unified Development Code, a site plan application may be approved “administratively” by City Staff. To be eligible for administrative approval, the subject tract must NOT have “PD” Planned Development zoning and must NOT be located within any Overlay district.
- ↓ While there is no formal application deadline and the approval process is typically faster for an “administrative” site plan, that approval is often contingent on other applications (platting, engineering, etc).
- ↓ The application fee for administrative site plans shall be the same as other site plans (*see attached fee schedule*).
- ↓ Only four (4) copies of each required drawing are necessary with the initial submittal.

APPLICATION FEE SCHEDULE (RES. NO. 05-22)

Zoning Application Fees

- | | |
|---|--------------------|
| • Zoning Change (Including SUP and PD requests) | \$200 + \$15/Acre* |
| • PD Development Plans (if required) | \$200 + \$15/Acre* |
| • PD Site Plans | \$250 + \$20/Acre* |

Platting Application Fees

- | | |
|--|--------------------|
| • Master Plat | \$100 + \$15/Acre* |
| • Preliminary Plat | \$200 + \$15/Acre* |
| • Final Plat | \$300 + \$20/Acre* |
| • Replat | \$300 + \$20/Acre* |
| • Amending or Minor Plat | \$150 |
| • Plat Reinstatement Request | \$100 |
| • Filing Fees (Invoiced at time of filing) | Actual Cost |

Site Plan Application Fees

- | | |
|---|--------------------|
| • Site Plan (Incl. Elevations, Landscaping, Tree Plan, etc) | \$250 + \$20/Acre* |
| • Amended Site Plan, Elevations or Landscaping Plan | \$100 |

Other Fees

- | | |
|--------------------------------|----------------------|
| • Tree Removal Application | \$75 |
| • Front Yard Fence Application | \$75 (+ Bldg Permit) |
| • Zoning Verification Letter | \$25 |
| • Applicant Appearance Fee | \$250 |

***In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the “base fee” is required.**



RECEIPT

Project Number: SP2006-019
Job Address: 1529 LAGUNA DR
ROCKWALL, TX

Receipt Number: B39067

Printed: 6/19/2006 2:45 pm

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$ 285.00

Total Fees Paid:

\$ 285.00

Date Paid: 6/19/2006 12:00:00AM

Paid By: Kaveen Patel

Pay Method: Check 1006

Received By: KW

WADIWA AND ASSOCIATES, INC.**Designers and Planners**

1220 Blalock # 230 Houston, TX 77055

(713) 465-0009 FAX (713) 465-2391

FAX TRANSMITTALTO: MICHAEL HAMPTON DATE: 2.24.06
972-771-7748 (F)PROJECT: HAMPTON INN & SUITES - ROCKWALL, TX.
AT LA JOLLA POINTTotal Number of Pages Including This Page: 2**WE TRANSMIT:**

- ☒ herewith
☐ as per your request

DESCRIPTION:

IT WAS A PLEASURE TO VISIT
WITH YOU ON PHONE LAST WEEK
& SOME TIME AGO.

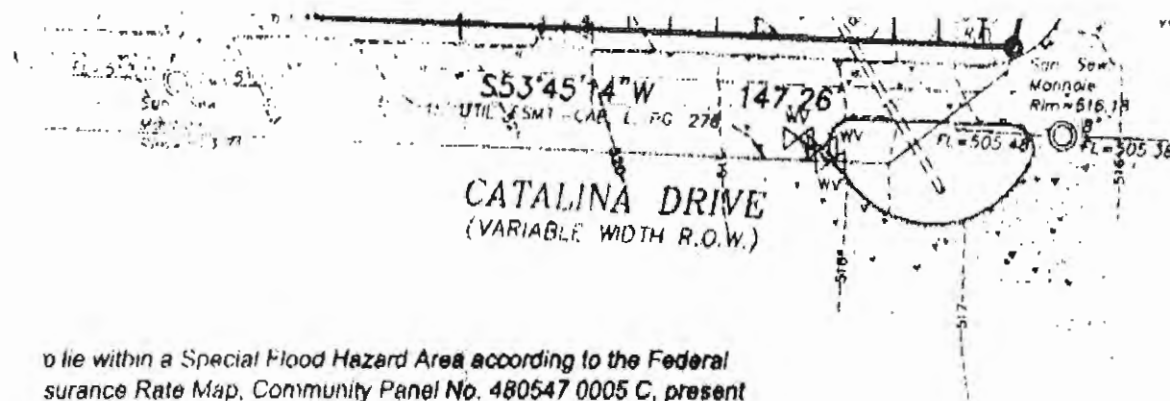
AS DISCUSSED, PLEASE REVIEW
THE ATTACHED PRELIMINARY
SITE PLAN & OFFER
YOUR COMMENTS.

THIS WILL BE A - 60 ROOM - STORY
PROJECT WITH 62 PARKINGS.

Q.....

116644445
SENDER:

MAHESH

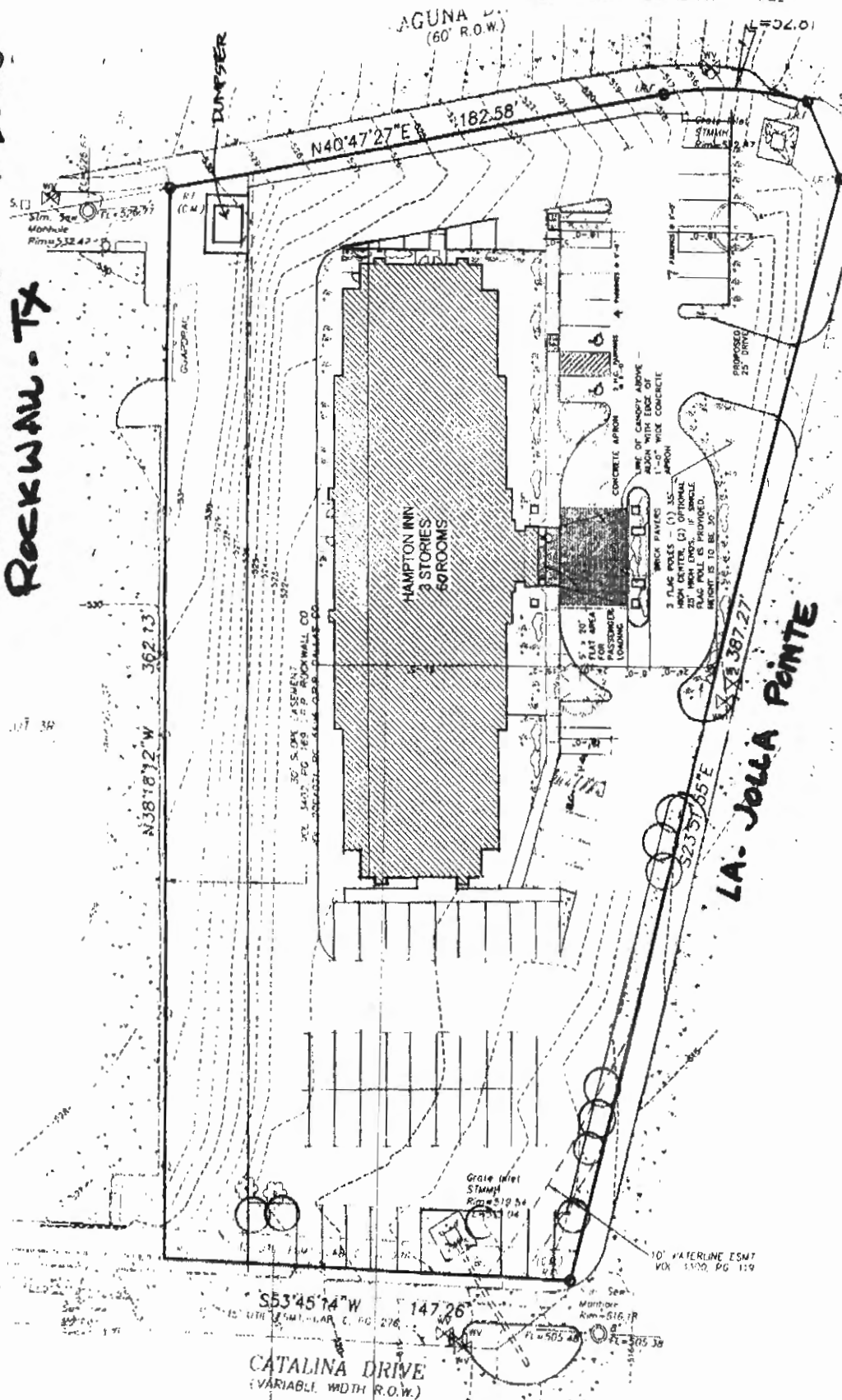


to lie within a Special Flood Hazard Area according to the Federal Insurance Rate Map, Community Panel No. 480547 0005 C, present

stamped "Arthur Surveying Company" unless otherwise noted. All Iron piped "Arthur Surveying Company".

of Lot 4R, Block C of La Jolla Pointe Addition, Cabinet E, Page 276.

1-5-06
HAMPTON INN
ROCKWALL, TX



to lie within a Special Flood Hazard Area according to the Federal Insurance Rate Map, Community Panel No. 480547 0005 C, present

stamped "Arthur Surveying Company" unless otherwise noted. All iron topped "Arthur Surveying Company".

of Lot 4R, Block C of La Jolla Pointe Addition, Cabinet E, Page 276

Site Plan Checklist

Site plans or development plans shall include the following information:

General

- ☒ Applicant's name, address, phone number (where they can be reached), and valid e-mail
- ☒ Other Consultants (Architect, Landscape Architect, etc.)
- ☒ Development location (including subdivision name, lot & block number, and address)
- ☒ Locator Map
- ☒ Proposed use or uses
- ☐ Zoning district
- ☐ Table showing area requirements (min./max) and what is proposed;
 - Lot size
 - Building size
 - Building coverage
 - Floor to Area Ratio
 - Height
 - Impervious cover
 - Open space
- ☒ Location of all existing buildings or structures on lot
- ☐ Adjacent land uses and improvements
- ☒ Scale: one inch (1") equals twenty feet (20'), thirty feet (30'), forty feet (40'), etc.
- ☐ Location of any on site items
- ☐ Location and type of existing and proposed screening, including screening of dumpsters and mechanical equipment, parking areas, vehicles awaiting repair, open storage, etc.

Utilities & Drainage

- ☐ Existing and proposed water mains (including size and valve locations).
- ☐ Water meter size and location.
- ☐ Existing and proposed sewer mains (including size, manholes, and cleanout)
- ☐ Sewer service size (provide cleanout at property line).
- ☐ Existing and proposed utility easements
- ☐ Easements (utility, access, drainage, etc.)
- ☐ Existing and proposed fire hydrants (including any nearby off-site hydrants)
- ☐ Existing and proposed fire lines and appurtenances
- ☐ Location and size of irrigation meters
- ☐ Location and size of grease and sand traps
- ☐ One Hundred (100) year flood elevation (if in flood-prone area)
- ☐ Existing and proposed culver
- ☐ Location of Detention, Retention or other significant drainage features.

Meet Engineering...

Site circulation and parking

- ☐ Drive approach dimensions and radii (both inside and outside turning radii)
- ☐ Delineation and width of internal circulation roadways
- ☐ Location and dimensions of ingress/egress
- ☐ Distance between driveways and intersecting streets
- ☐ Number of required parking spaces and number of parking spaces provided, including handicapped parking spaces.
- ☐ Parking dimensions (typical 9' x 20')
- ☐ Stacking spaces and drive-through land location
- ☐ Building entrances
- ☐ Fire lanes meeting fire code standard (typically 24 feet wide), (fire lanes to be shaded)
- ☐ Delivery truck docks & loading docks
- ☐ Locations of dumpsters and /or compactors
- ☐ Medians, islands, barriers, and channelization
- ☐ Width of adjacent streets, alley, or other access abutting property
- ☐ Length, width, and taper of turn bays

Landscape Plan

- ☒ A detailed landscape plan in conformance with Article VIII of the City of Rockwall Unified Development Code shall be submitted with the site plan (also see landscape standards in Overlay district if applicable).
- ☒ Project name, street address, and lot and block description
- ☒ Locations and dimensions of proposed landscape buffer strips
- ☐ Location of existing boundary lines and dimensions of the lot
- ☐ Location of significant drainage features
- ☐ Location and size of existing and proposed street and alleys, utility easements, driveways and sidewalks on or adjacent to the lot.
- ☒ Complete description of plant materials shown on the plan, including names, locations, container and caliper sizes at installation, heights spread and spacing.
- ☒ Quantity of each plant material proposed.
- ☒ Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including information as to the amount (in square feet) of landscape areas, parking area, off-street parking and loading spaces.
- ☐ Location and description, by type and size, of existing protected trees (4" or larger) proposed to be retained. Such trees will be marked and drip line of said trees will be protected.
- ☒ Size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other site amenities.
- ☐ Visibility of triangles on the lot for driveway intersections and public streets.
- ☒ Landscape table with calculation of landscaped area provided.
- ☐ Location and size of all existing and planned structures on the subject property.
- ☐ Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.

Wing over - must come down

Lighting Plan

- ☒ Where site lighting is required or proposed, lighting/photometric plan shall be submitted.
- ☒ Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property. A maximum level of 0.2-FC should be measured at all property lines.
- ☒ Show location of all exterior lighting, including pole mounted, wall mounted, signage, etc.
- ☒ Indicate overall mounting height of all proposed light fixtures
- ☒ Indicate wattage of all light sources
- ☒ Elevation drawings and/or cut sheets for proposed light fixtures on/with the photometric plan.

Building Elevations

- ☒ Specifications and descriptions of all proposed building materials on all buildings.
- ☒ Indicate overall height of proposed structure (s).
- ☐ Indicate roofing materials, colors, etc.
- ☒ Indicate percentage of all materials used (exclusive of door and windows).
- ☒ Dimension all elements of building, including vertical and horizontal articulation (s).
- ☐ Material samples and color elevations/renderings required for all buildings subject to Architectural Review.

too much EFIS

- Samples - (@meeting?)

Tree Survey and Treescape Plan

- ☐ A Tree Survey shall be submitted, drawn to the same scale as the site plan, showing the building pad, pavement areas, and other construction features which will disturb the land indicated.
- ☐ Date, scale, north point, names and contact information of both the property owner and the person preparing the plan.
- ☐ Project name, street address, and lot and block description.
- ☐ Location of all existing or proposed structures, or building pads as shown on the grading plan.
- ☐ All improvements properly dimensioned and referenced to property lines.
- ☐ Setback and yard requirements.
- ☐ Existing and proposed site elevations, grades, major contours and limits of construction.
- ☐ Location of existing or proposed utilities and easements.
- ☐ Location and description, by type of size, of existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and drip line of said trees shall be protected prior to and during all construction, including all dirt work.
- ☐ Location of all protected trees (4" or larger) trees to be removed from the site and the proposed locations of all replacement trees.
- ☐ Table showing inches or trees being removed and replaced.

NOAKES ENGINEERING COMPANY, INC.
3603 B WEST PIONEER PARKWAY
ARLINGTON, TEXAS 76013
PHONE: METRO 817-261-7900/FAX 817-275-2154

FAX COVER SHEET

DATE 8/1/06 TIME 11:30 AM

NUMBER OF PAGES INCLUDING COVER PAGE 7

RE: Hampton Inn-Lasalle Point OUR FILE NO. 06-7194

TO: Michael Hampton

COMPANY: C.O.R. - Planning

FAX#: (972) 771-7748

FROM: Jessica Kilgore

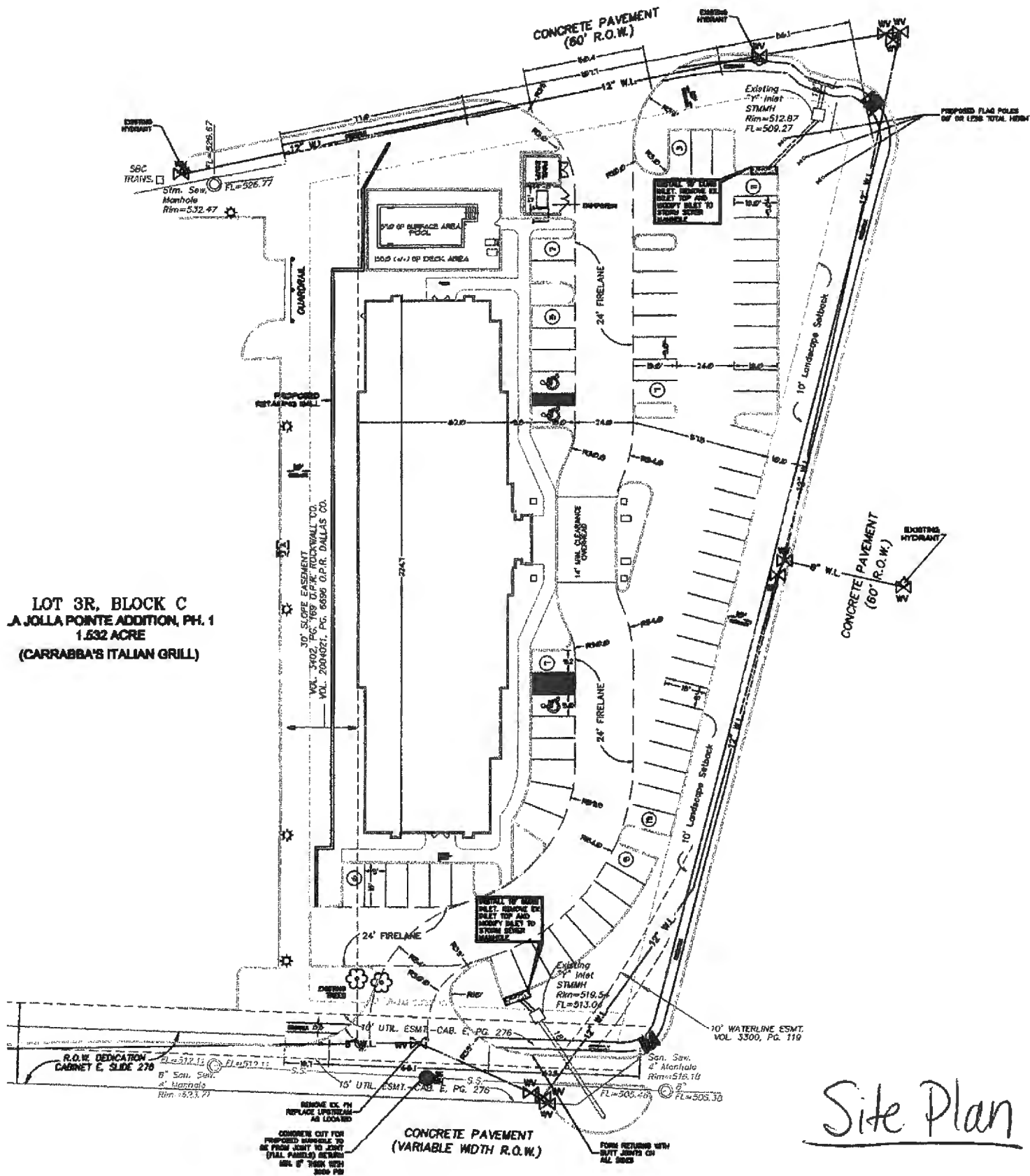
SPECIAL INSTRUCTIONS: For clarity as needed
from PDF files sent this morning!

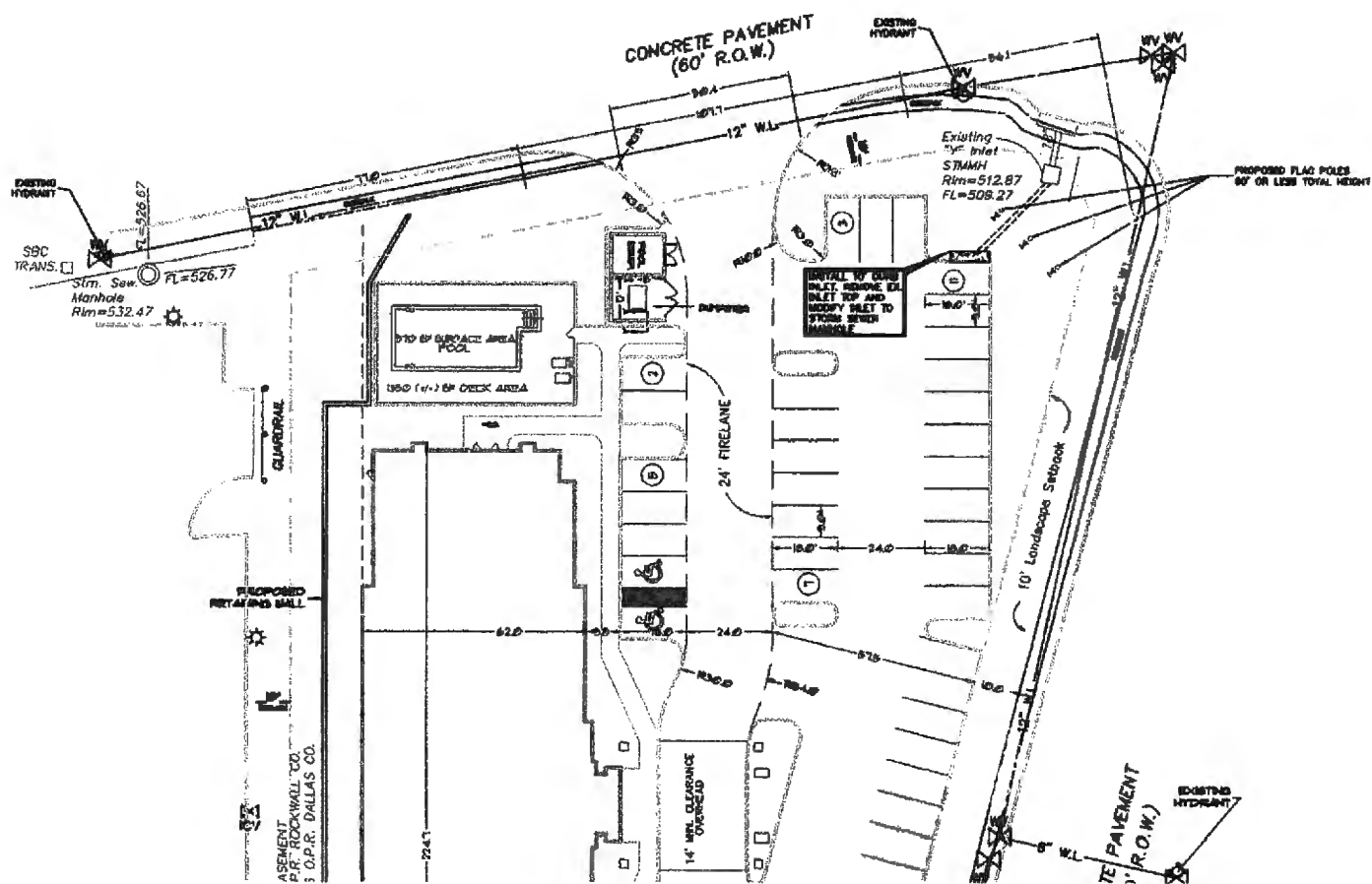
Thanks

Jessica

Note: The information contained in this facsimile message is confidential information intended only for the individual or entity named above. If you have received this communication in error, please notify us. THANK YOU.

①

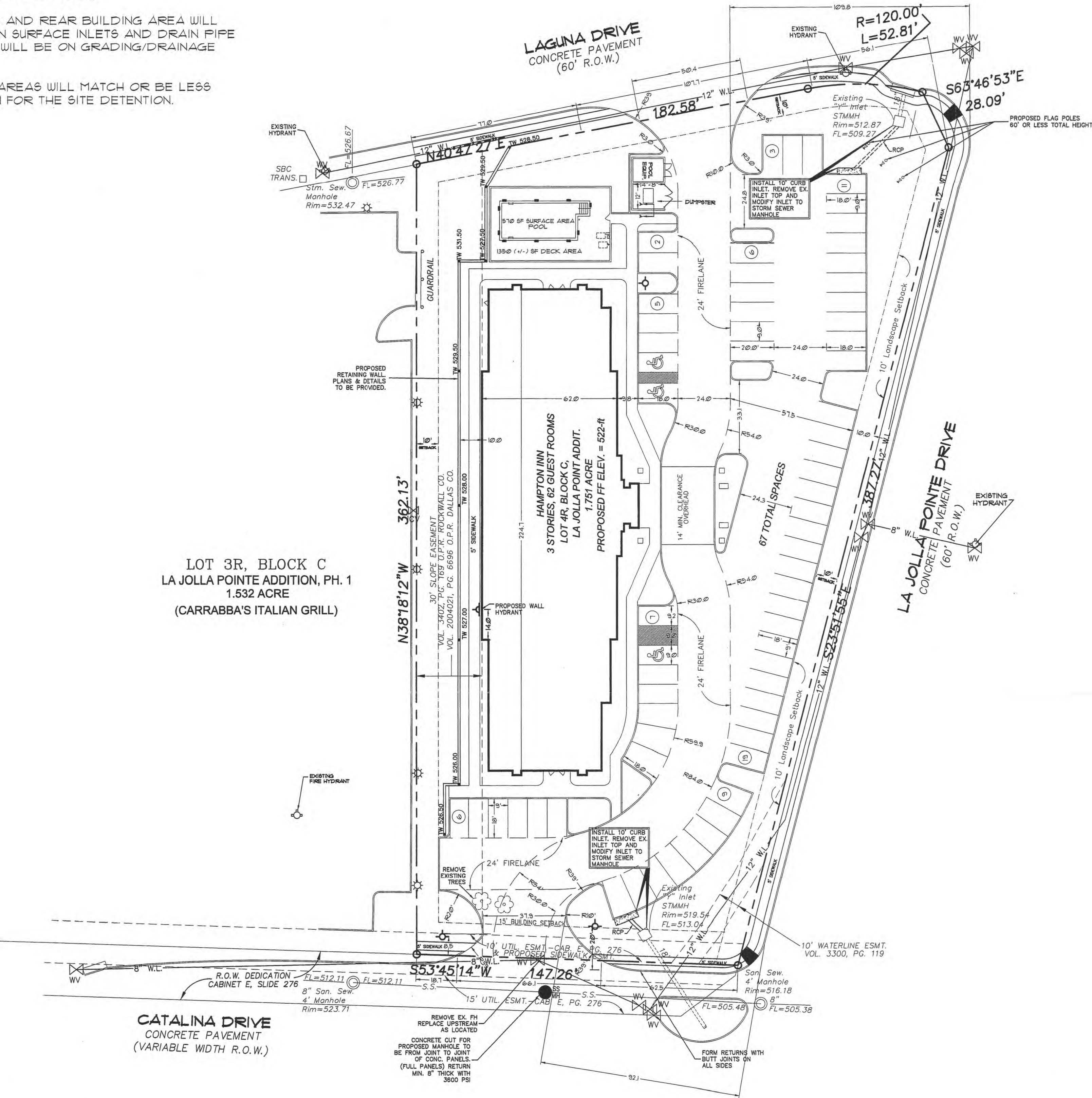




FRELIMINARY DRAINAGE NOTES:

*ROOF DRAINAGE AND REAR BUILDING AREA WILL BE COLLECTED IN SURFACE INLETS AND DRAIN PIPE SYSTEM. DESIGN WILL BE ON GRADING/DRAINAGE PLAN.

*SITE DRAINAGE AREAS WILL MATCH OR BE LESS THAN THE DESIGN FOR THE SITE DETENTION.

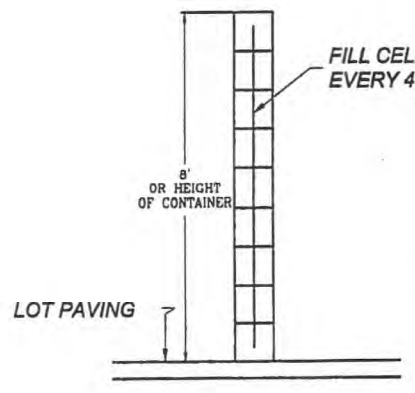


LOT 3R, BLOCK C
LA JOLLA POINTE ADDITION, PH. 1
1.532 ACRE
(CARRABBA'S ITALIAN GRILL)

CATALINA DRIVE
CONCRETE PAVEMENT
(VARIABLE WIDTH R.O.W.)

LA JOLLA POINTE DRIVE
CONCRETE PAVEMENT
(60' R.O.W.)

LAGUNA DRIVE
CONCRETE PAVEMENT
(60' R.O.W.)



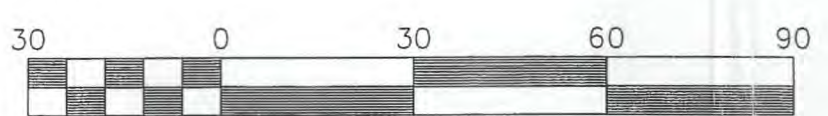
THE SCREENING OF THE DUMPSTER IS MASONRY WALLS ON THREE SIDES WITH THE HEIGHT EQUAL TO 8' OR THE HEIGHT OF THE CONTAINER WITH A METAL GATE PAINTED TO MATCH AS DIMENSIONED ON PLAN VIEW. IF CMU'S ARE USED THEY MUST BE SPLIT FACE OR DECORATIVE.

DUMPSTER DETAIL
SCALE: NONE

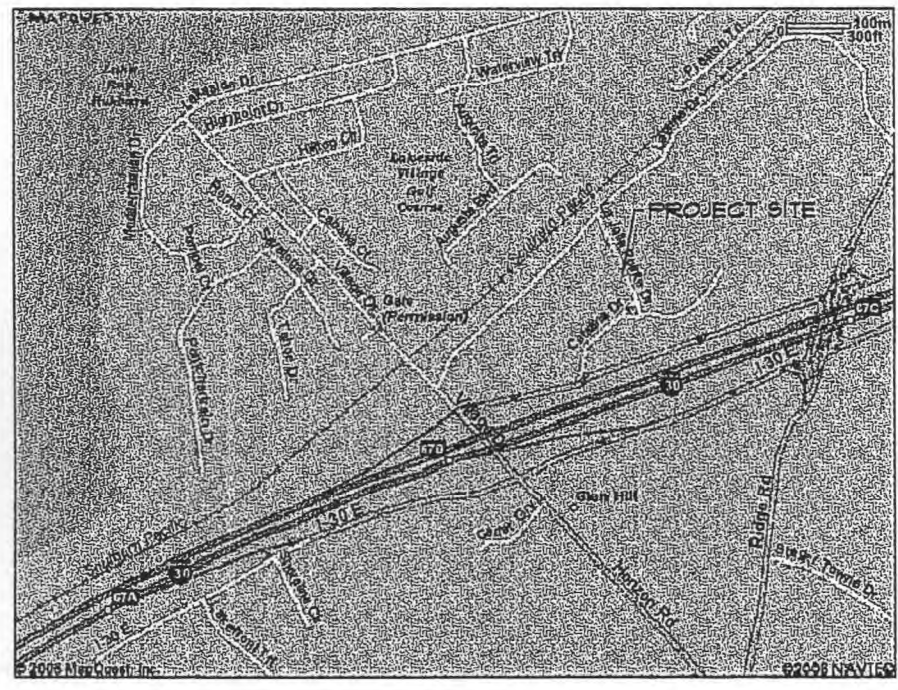
- 8" W — 8" W — PROP. WATER LINE
- 8" W — 8" W — EXISTING WATER LINE
- S.S. — S.S. — PROP. SAN. SEWER
- S.S. — S.S. — EXISTING SAN. SEWER
- SS MH — PROP. S. S. MANHOLE
- — PROP. S. S. CLEANOUT
- ⊕ — PROP. FIRE HYDRANT
- ⊖ — PROP. WATER VALVE
- ⊕ — PROP. WALL HYDRANT

SITE PLAN

SCALE: 1" = 30'-0"



Scale 1" = 30'



SITE MAP
SCALE: NONE

SITE BENCH MARK - FOUND BOX CUT TOP OF WEST CURB OF LAKESIDE DR. APPROX. 120'-FT NORTH OF RAILROAD AT NW CORNER OF LA JOLLA POINTE ADDIT., PH II, ELEVATION = 503.23 CONTOURS ARE @ 1-FOOT INTERVALS TOPOGRAPHIC SURVEY FURNISHED BY ARTHUR SURVEYING CO., INC.

SITE AREA: 16,274 SQ. FT.
BUILDING PAD AREA: 13,203 SQ. FT.
PAVED AREA: 31,130 SQ. FT.
NET CHANGE IN PAVED IMPERVIOUS SURFACE: +66%

PARKING SP. REQUIRED: 65
PARKING SP. PROVIDED: 67 (3 H/C)

LANDSCAPING AREA: 15% MIN = 0.263 AC
OPEN AREA: 34% PROVIDED = 0.596 AC
15' FRONT YARD
10' REAR SETBACK
10' SIDE SETBACK

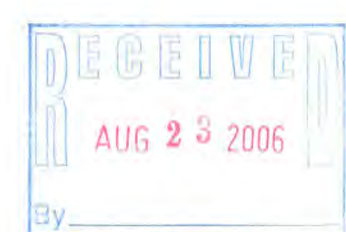
FIRE LANE / HYDRANTS:
1. CONCRETE FOR FIRE LANE TO BE 6" THICK 3600 PSI CONCRETE. REST OF THE DRIVE TO BE 5" THICK 3000 PSI CONCRETE.

2. FIRE LANE SHALL BE MARKED WITH 6" RED STRIPE WITH 4" WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY 10' - 25' OF LENGTH ALONG THE FIRE LANE. PLACE ON VERTICAL SURFACE OF THE CURB WHERE PRESENT.

3. FIRE HYDRANT TO HAVE 15' OF CLEAR SPACE ON EITHER SIDE FOR VISIBILITY 5' OF CLEARANCE MIN. ALL AROUND FOR PROPER OPERATION OF HYDRANT.

4. APPROVED PERMANENT BLUE REFLECTIVE MARKERS SHALL BE PROVIDED IN THE PAVING ADJACENT TO ALL HYDRANTS IN CENTER OF THE STREET / FIRELANE FOR EASE IN LOCATING HYDRANTS.

5. 14-FOOT MINIMUM OVERHEAD CLEARANCE SHALL HAVE SIGN POSTED TO NOTIFY OF PARKING, STOPPING AND LOADING RESTRICTIONS.



2006 019

FILE COPY



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ED D. NOAKES, P.E. 24152 ON 8-22-2006

REVISIONS

DEVELOPER: MR. KAVEEN R. PATEL
6005 SILVERLEAF LANE
GARLAND, TEXAS 75043
(214) 629 - 2840

HAMPTON INN

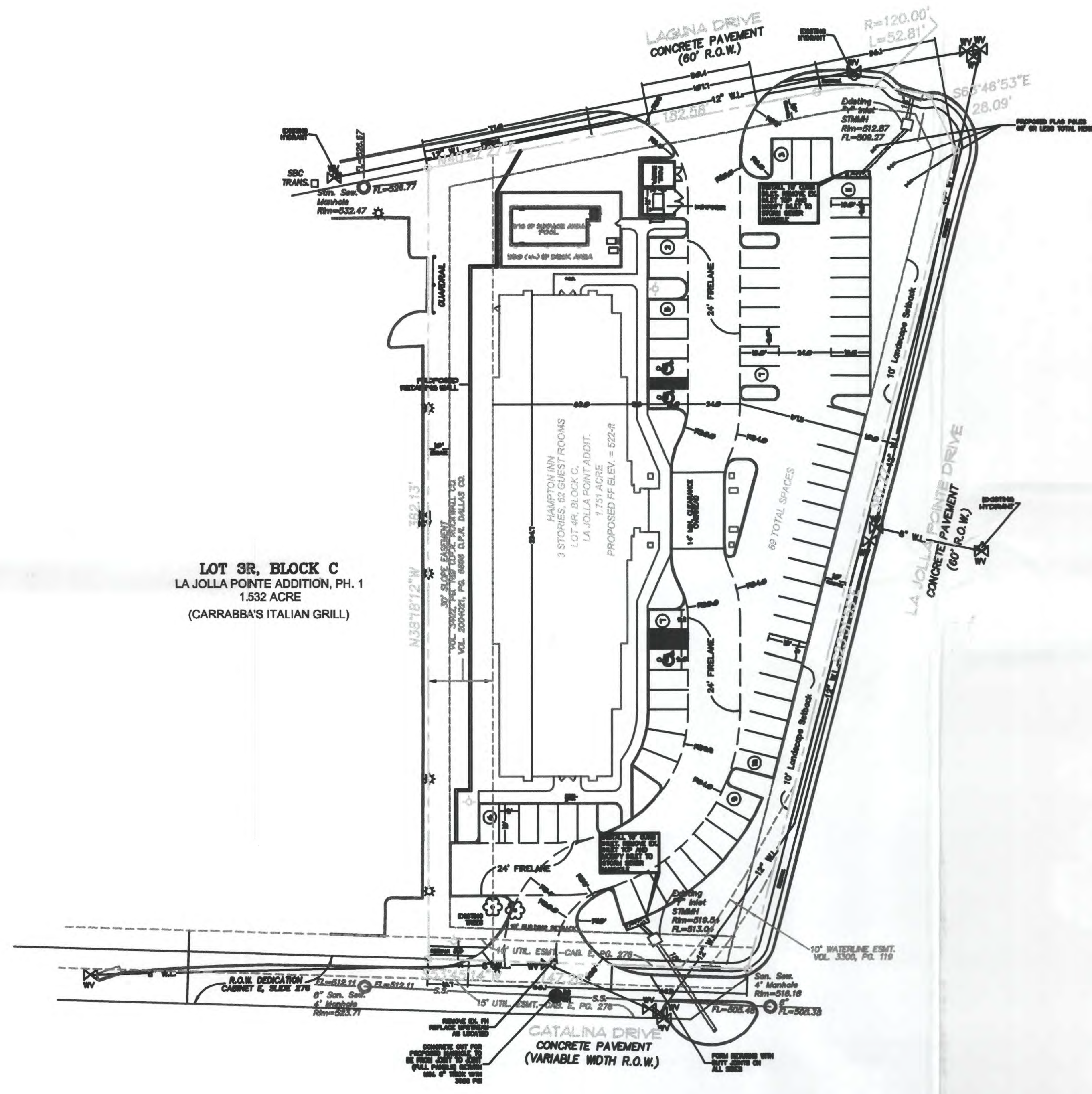
LA JOLLA POINTE DRIVE, ROCKWALL, TX
LOT 4R, BLOCK C
LA JOLLA POINTE ADDITION
CITY OF ROCKWALL, TEXAS

NOAKES ENGINEERING COMPANY, INC.
3603 W. PIONEER PKWY, STE B
ARLINGTON, TEXAS 76013
(817) 261-7900 FAX (817) 275-2154

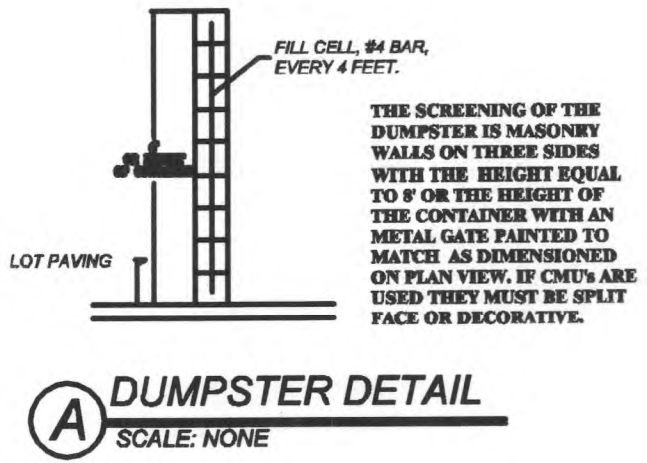
FILE NO.
06-7194

SCALE
1" = 30'

SHEET NO.

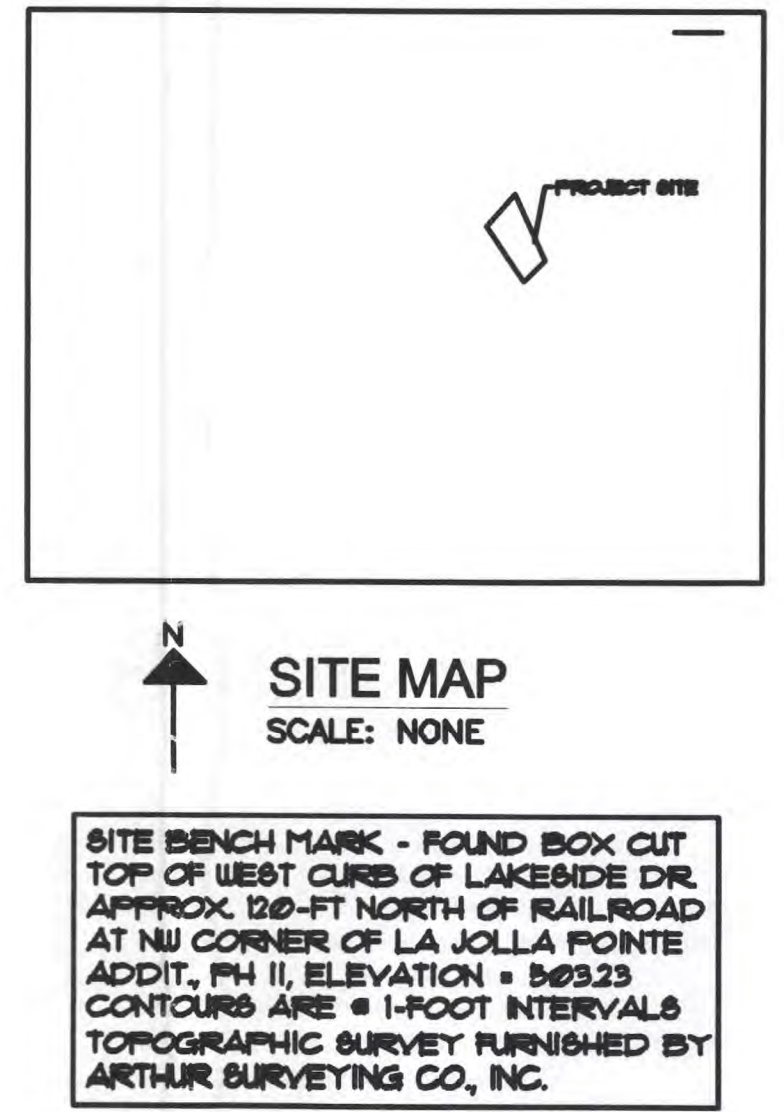


LOT 3R, BLOCK C
LA JOLLA POINTE ADDITION, PH. 1
1.532 ACRE
(CARRABBA'S ITALIAN GRILL)



- PROF. WATER LINE
- 8" W 8" W EXISTING WATER LINE
- PROF. SAN. SEWER
- EXISTING SAN. SEWER
- PROF. S. S. MANHOLE
- PROF. S. S. CLEANOUT
- PROF. FIRE HYDRANT
- PROF. WATER VALVE

SITE PLAN
SCALE: 1" = 30'-0"
Scale 1" = 30'



- SITE AREA: 76,274 SQ. FT.
BUILDING PAD AREA: 13,203 SQ. FT.
PAVED AREA: 37,130 SQ. FT.
NET CHANGE IN PAVED
INTERVIOUS SURFACE: +66%
- PARKING SP. REQUIRED: 63
PARKING SP. PROVIDED: 63 (3 WC)
- LANDSCAPING AREA: 18% MIN = 0.263 AC
OPEN AREA: 34% PROVIDED = 0.536 AC
15' FRONT YARD
10' REAR SETBACK
10' SIDE SETBACK
- FIRE LANE / HYDRANTS:
1. CONCRETE FOR FIRE LANE TO BE 6" THICK 3600 PSI CONCRETE. REST OF THE DRIVE TO BE 5" THICK 3600 PSI CONCRETE.
2. FIRE LANE SHALL BE MARKED WITH 6" RED STRIPE WITH 4" WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY 10 - 20' OF LENGTH ALONG THE FIRE LANE. PLACE ON VERTICAL SURFACE OF THE CURB WHERE PRESENT.
3. FIRE HYDRANT TO HAVE 15' OF CLEAR SPACE ON EITHER SIDE FOR VISIBILITY 5' OF CLEARANCE MIN. ALL AROUND FOR PROPER OPERATION OF HYDRANT.
4. APPROVED PERMANENT BLUE REFLECTIVE MARKERS SHALL BE PROVIDED IN THE PAVING ADJACENT TO ALL HYDRANTS IN CENTER OF THE STREET / FIRELANE FOR EASE IN LOCATING HYDRANTS.
5. 14-FOOT MINIMUM OVER-HEAD CLEARANCE SHALL HAVE SIGN POSTED TO NOTIFY OF PARKING, STOPPING AND LOADING RESTRICTIONS.

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AUG 01 2005

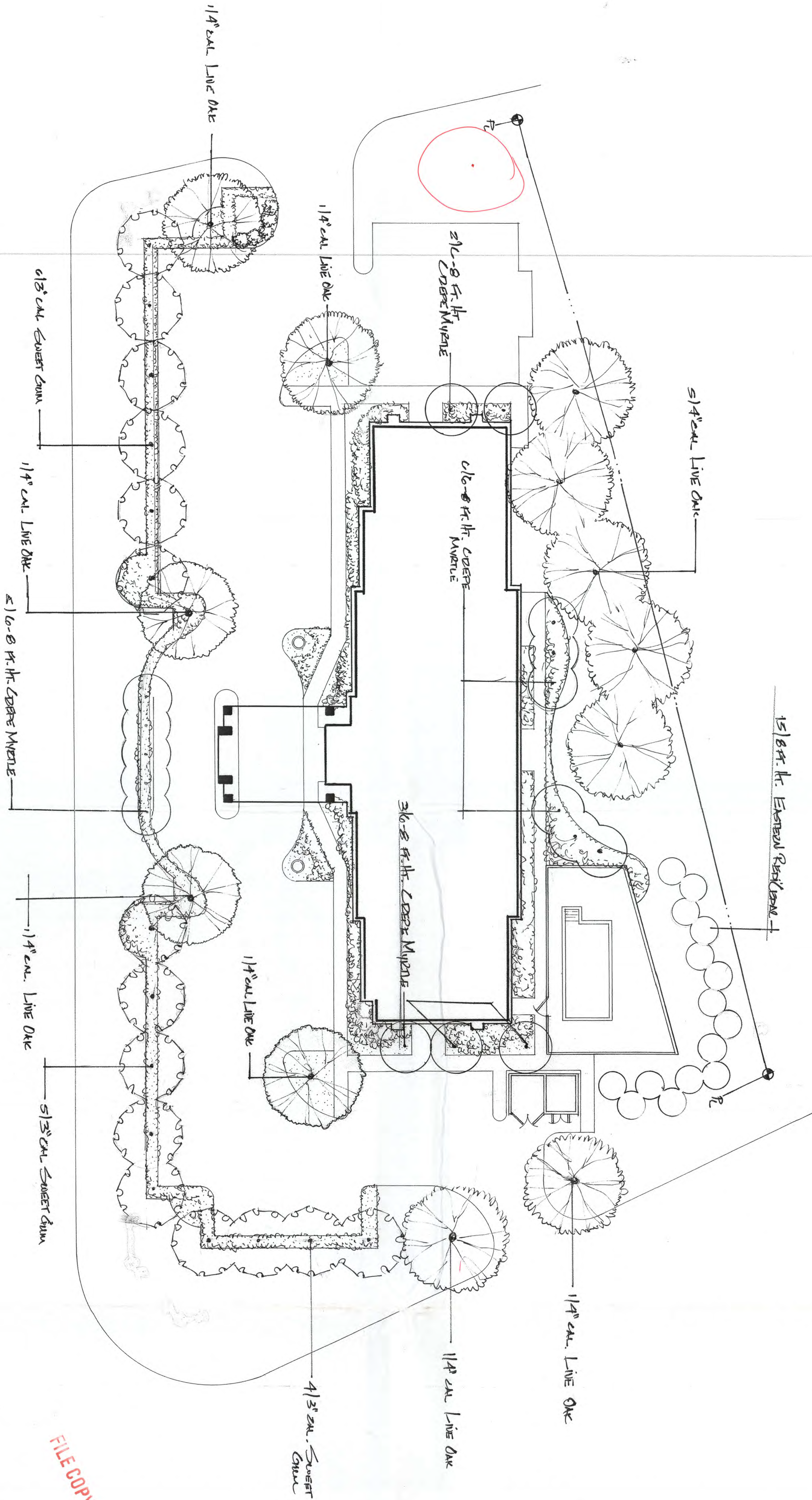
PRELIMINARY
NOT FOR
CONSTRUCTION

DEVELOPER: MR. KAVEEN R. PATEL
6005 SILVERLEAF LANE
GARLAND, TEXAS 75043
(214) 659 - 2940

HAMPTON INN
LA JOLLA POINTE DRIVE, ROCKWALL, TX
LOT 4R, BLOCK C
LA JOLLA POINTE ADDITION
CITY OF ROCKWALL, TEXAS

NOAKES ENGINEERING COMPANY, INC.
3603 W. PIONEER PKWY, STE B
ARLINGTON, TEXAS 76013
(817) 261-7800 FAX (817) 276-2164

FILE NO.
06-7194
SCALE
1" = 30'
SHEET NO.



2006 019



FILE COPY

UNIQUECREATIONS
709 W. Broad, Ste. 100-B Forney, Texas 75126 214-893-7577

All plans and specifications are the property of *Unique Creations* and are not intended to be used for the solicitation of bids or for private use. These provisions may be waived if a design fee has been paid in full to *Unique Creations*.

Attn. Commercial Printers: DO NOT REPRODUCE COPIES OF THIS PLAN!

All plans and specifications should be approved by local City offices and/or Homeowner Associations to ensure all buildings, structures, fences, pools, decks, retaining walls, sidewalks, and irrigation systems meet all local building codes and requirements. *Unique Creations* is not to be held responsible.

HAMPTON INN

LA JOLLA PT. DR. & LAGUNA DR
ROCKWALL, TX

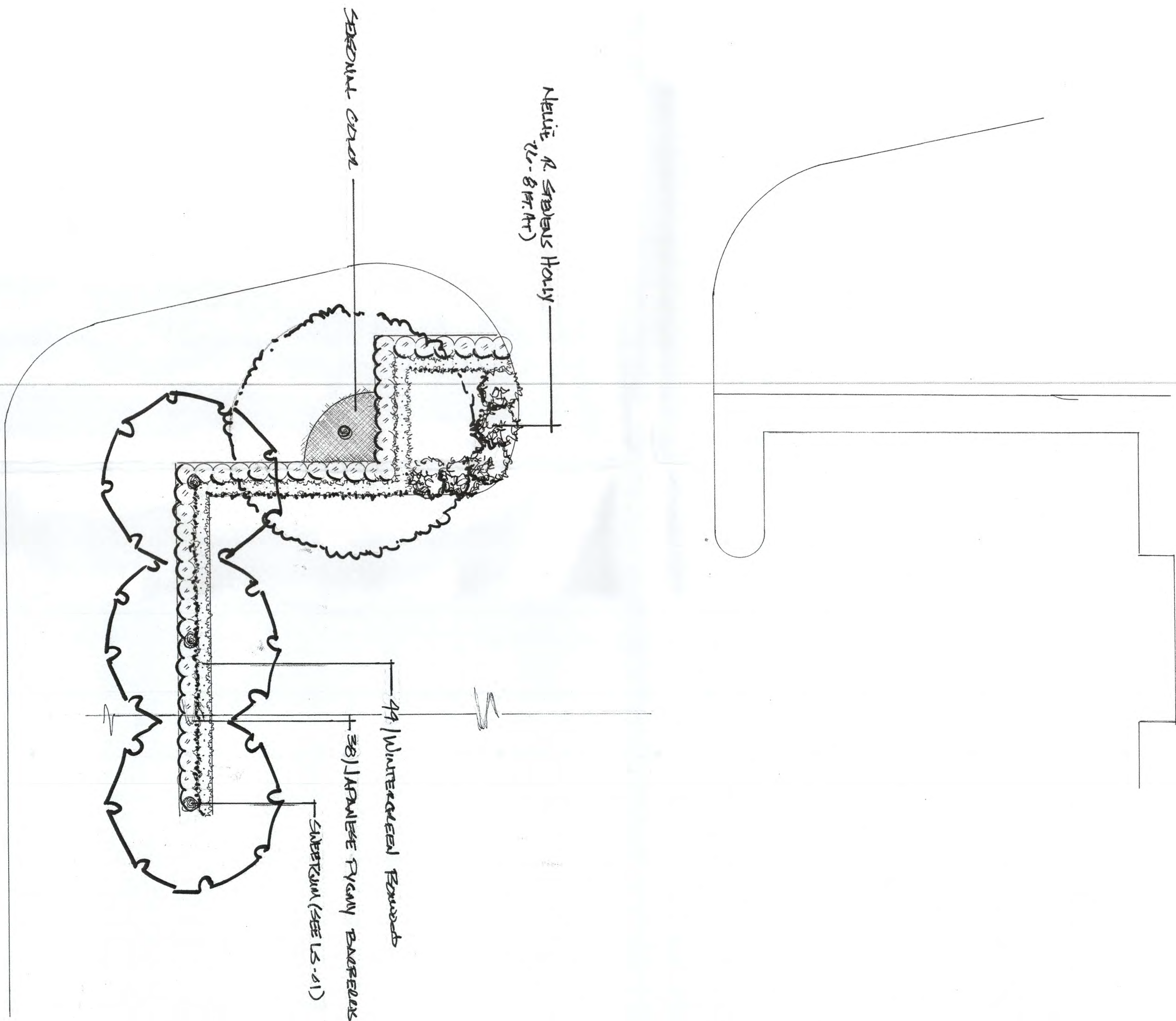
SHADE & ORNAMENTALS

TS. LS-01

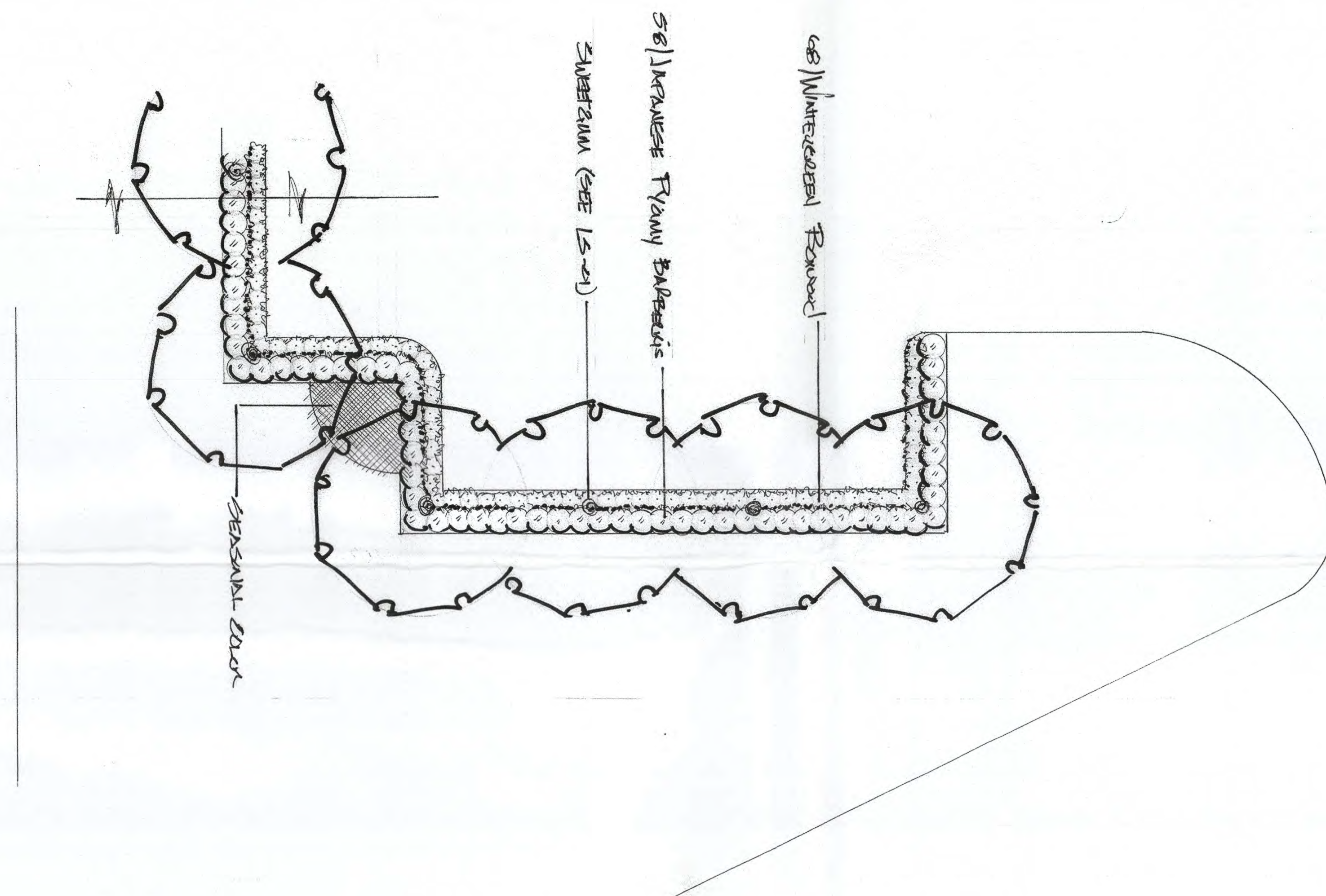


SCALE: 1" = 20'0"

A SOUTH-SIDE PLANTING PLAN
1" = 10' 0"



B NORTH-SIDE PLANTING PLAN
1" = 10' 0"



UNIQUECREATIONS
709 W. Broad, Ste. 100-B Forney, Texas 75126 214-893-7577

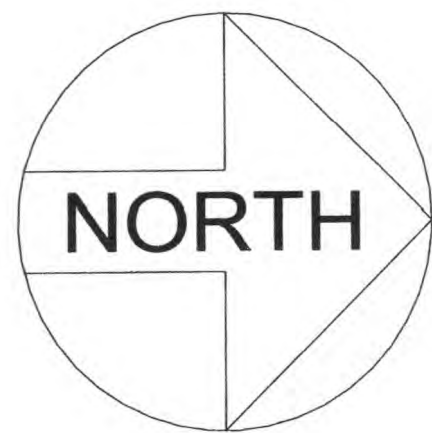
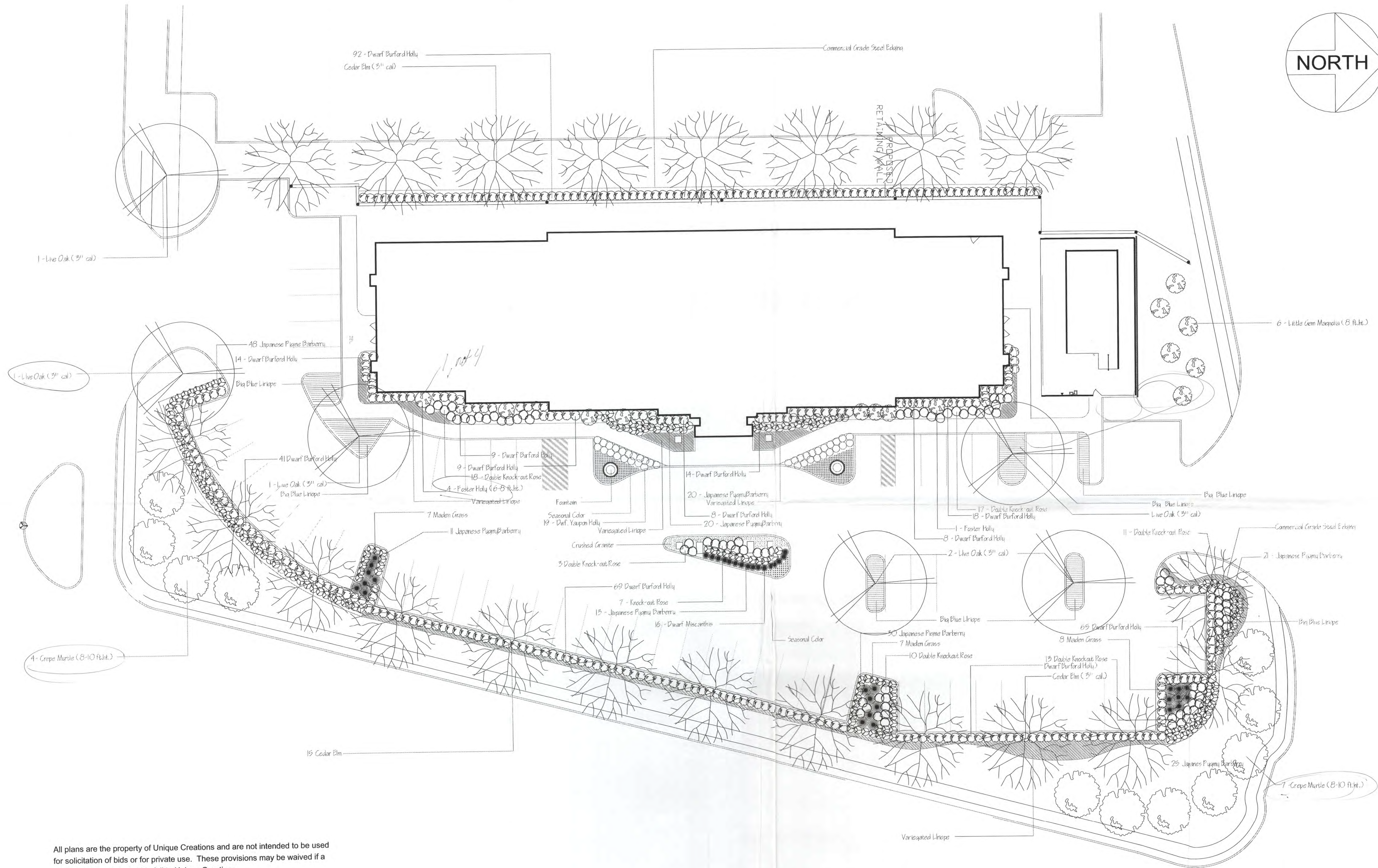
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HAMPTON INN
LA JOLLA PRIDE & CARMONA DR
ROCKWALL, TX
NORTH & SOUTH PLANTING PLANS

PG. LS-03
North
SCALE: 1" = 10' 0"



Revisions	
6/16/06	Initial Planning
8/22/06	Site 2 planning

HAMPTON INN
Lot 4, Block C
La Jolla Point Dr. & Laguna Dr.
Rockwall, Texas

UNIQUECREATIONS

3227 McKinney, Suite 8C Dallas, Texas 75205 214-893-7577

All plans are the property of Unique Creations and are not intended to be used for solicitation of bids or for private use. These provisions may be waived if a design fee has been paid in full to Unique Creations.

ATTN COMMERCIAL PRINTERS: DO NOT REPRODUCE COPIES OF THIS PLAN!!

All plans and specifications should be approved by local city offices and /or homeowners associations to ensure and fences, pools, buildings, structures, retaining walls, sidewalks, and irrigation systems meet all local building codes and requirements. Unique Creations is not to be held responsible.

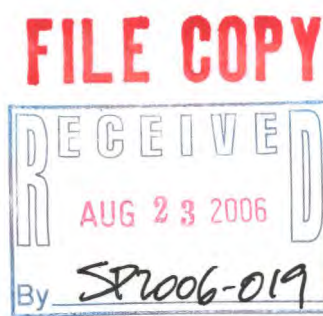
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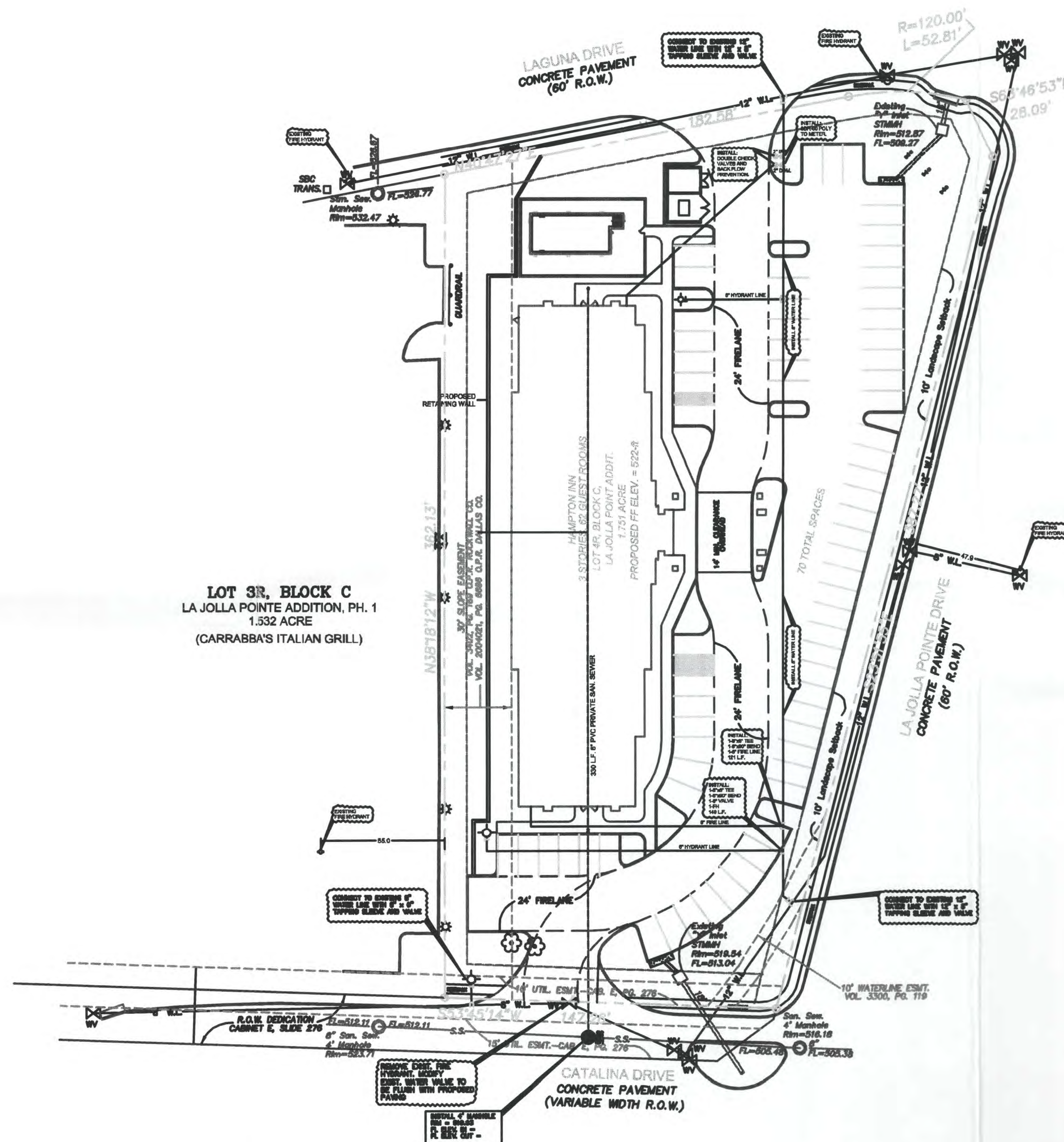
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Date: 8/22/06

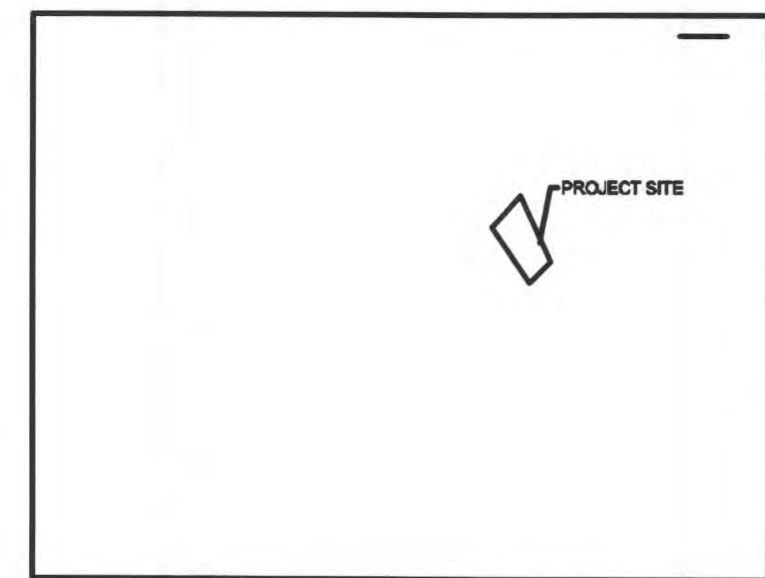
Sheet No.

LS
1.01





LOT 3R, BLOCK C
LA JOLLA POINTE ADDITION, PH. 1
1.532 ACRE
(CARRABBA'S ITALIAN GRILL)



SITE MAP
SCALE: NONE

SITE BENCH MARK - FOUND BOX CUT
TOP OF WEST CURB OF LAKESIDE DR.
APPROX. 120-FT NORTH OF RAILROAD
AT NW CORNER OF LA JOLLA POINTE
ADDIT., PH II, ELEVATION = 503.23
CONTOURS ARE @ 1-FOOT INTERVALS
TOPOGRAPHIC SURVEY FURNISHED BY
ARTHUR SURVEYING CO., INC.

- PROP. WATER LINE
- EXISTING WATER LINE
- PROP. SAN. SEWER
- EXISTING SAN. SEWER
- PROP. S. S. MANHOLE
- PROP. S. S. CLEANOUT
- PROP. FIRE HYDRANT
- PROP. WATER VALVE

UTILITY PLAN
SCALE: 1" = 30'-0"
Scale 1" = 30'

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PRELIMINARY
NOT FOR
CONSTRUCTION

DEVELOPER: MR. KAVEEN R. PATEL
6005 SILVERLEAF LANE
GARLAND, TEXAS 75043
(214) 628 - 2840

HAMPTON INN
LA JOLLA POINTE DRIVE, ROCKWALL, TX
LOT 4R, BLOCK C
LA JOLLA POINTE ADDITION
CITY OF ROCKWALL, TEXAS

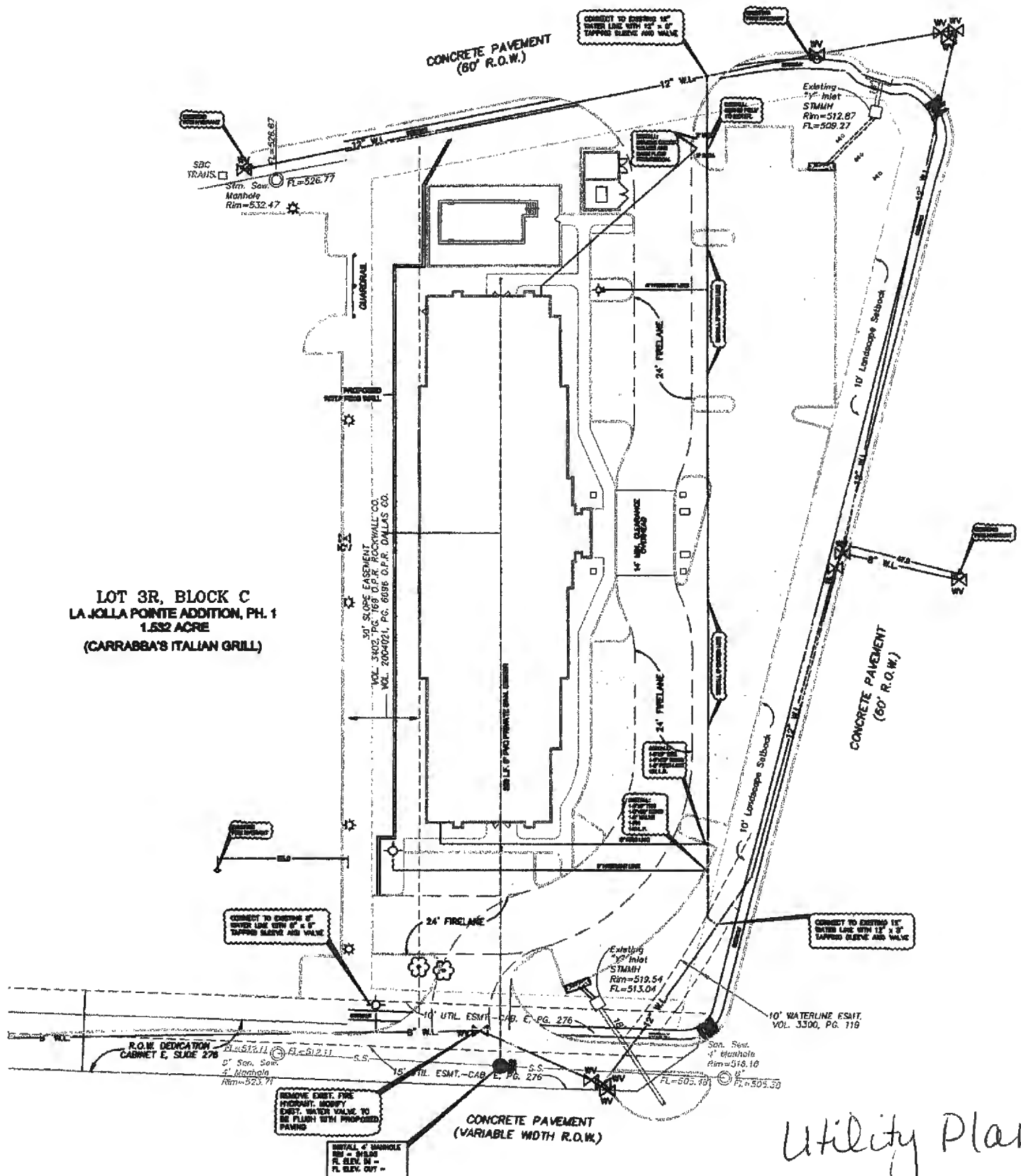
NOAKES ENGINEERING COMPANY, INC.
3603 W. PIONEER PKWY, STE B
ARLINGTON, TEXAS 76013
(817) 261-7900 FAX (817) 276-2154

FILE NO.
06-7194

SCALE
1" - 30'

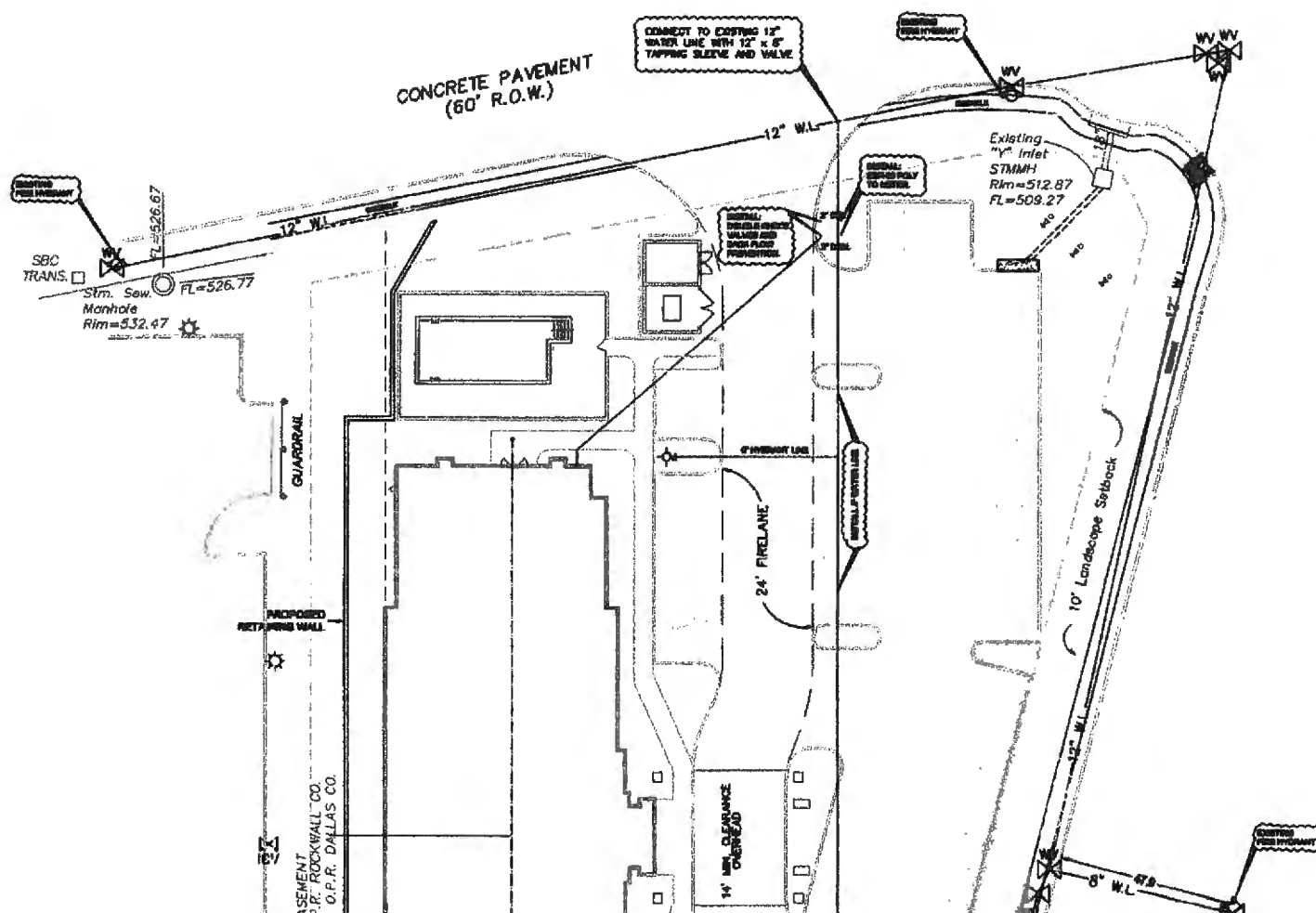
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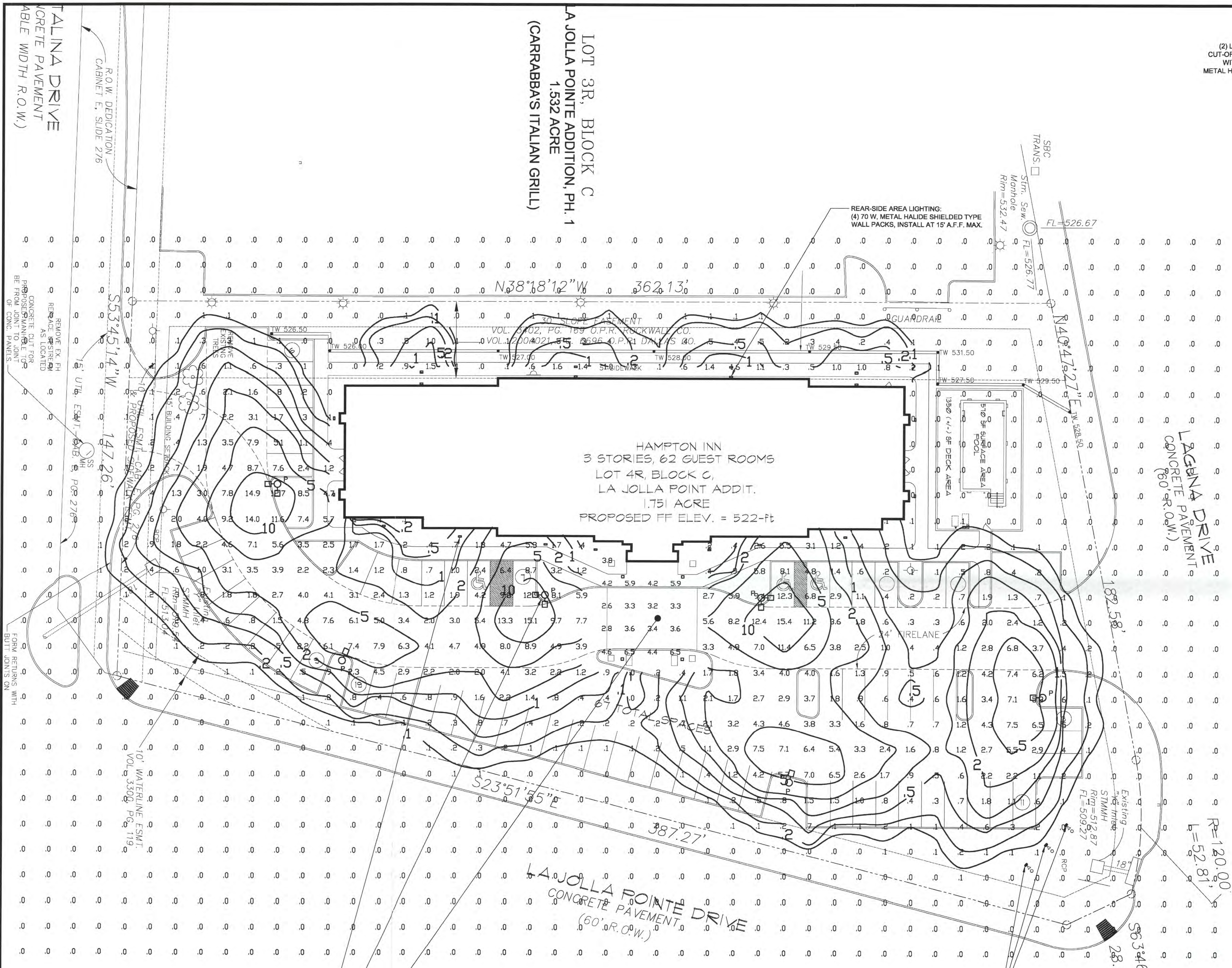
(4)



Utility Plan

4

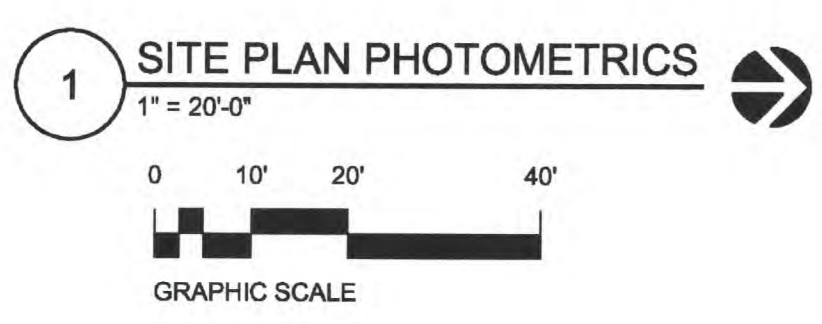




FACADE ILLUMINATION (4 SIDES):
(15) 175 W, 120 V, METAL HALIDE
GROUND MOUNTED FLOOD LIGHTS
AIMING AT BUILDING ELEVATIONS

PARKING AREA LIGHTING:
(8) 20-FOOT POLE W/1 OR 2
400 W, METAL HALIDE CUTOFF
TYPE SHOE BOXES)

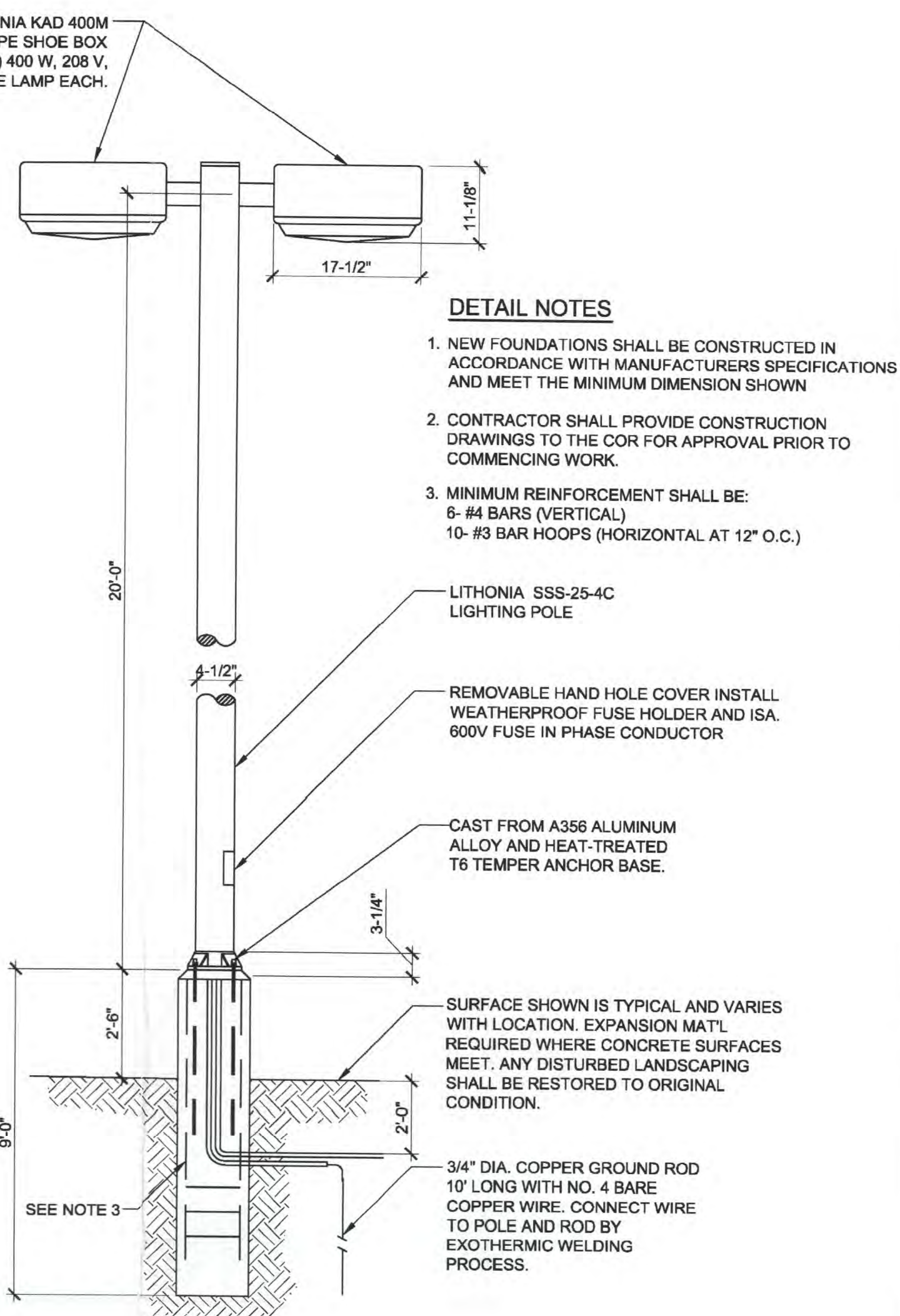
CANOPY LIGHTING:
(4) 70 W, 120 V, METAL HALIDE
RECESSED FIXTURES



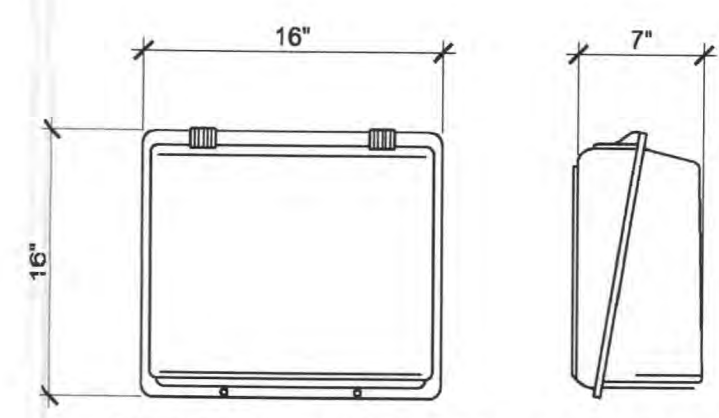
FLAG POLES LIGHTING:
(3) 175 W, 208 V, METAL HALIDE
FLOOD LIGHTS, TILT UPRIGHT
TO 175°

OUTDOOR ILLUMINATION SUMMARY	
TOTAL LUMINARIES	35
TOTAL KW LOAD	8.2
# POINTS	1602
AVERAGE F.C.	1.1
MAXIMUM F.C.	15.4

NOTE:
ILLUMINATION NUMBERS AND CURVES SHOWN
ON PLAN ARE HORIZONTAL FOOT-CANDLES (F.C.)



2 LIGHT POLE DETAIL
NOT TO SCALE



3 EXTERIOR WALL PACK DETAIL
NOT TO SCALE

- SITE PLAN LIGHTING NOTES:**
- PARKING AREA LIGHTING: INSTALL SHOE BOXES (1 OR 2) ON 25-FOOT HIGH ALUMINUM POLES. LIGHTING FIXTURES SHALL BE CUTOFF TYPE WITH HOUSE SIDE SHIELD WHERE ADJACENT TO GUEST ROOMS.
 - COORDINATE LIGHTING LOCATIONS WITH LANDSCAPE PLANTINGS.
 - REFER TO HILTON SIGNAGE STANDARDS FOR ADDITIONAL INFORMATION AND PRECISE SIGNAGE REQUIREMENTS. ELECTRICAL POWER FOR BUILDING AND MONUMENT SIGNAGES SHALL BE PROVIDED AND CONNECTED BY ELECTRICAL CONTRACTOR.
 - BUILDING UP-LIGHTING SHALL NOT BE OBSTRUCTED BY LANDSCAPE PLANTINGS.
 - ALL OUTDOOR LIGHTING SHALL COMPLY WITH APPLICABLE INTERNATIONAL ENERGY CONSERVATION CODE AND CITY AMENDMENTS.
 - ELECTRICAL CONTRACTOR TO VERIFY ILLUMINATION LEVELS AFTER INSTALLATION AND ADJUST LUMINARIES AS NECESSARY.

FILE COPY

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AUG 13 2008
By SP006-019

REVISIONS	BY

PROPOSED

HAMPTON INN

LA JOLLA POINTE DRIVE AND LAGUNA DRIVE
ROCKWALL, TEXAS

R S S ARCHITECTS LLC.

1904 W. ABRAM STREET, SUITE #250
ARLINGTON, TEXAS 76013

PH: 817/640-9003 FAX: 817/649-9410

SITE PLAN PHOTOMETRICS

Date: 06-15-06

Scale: As Noted

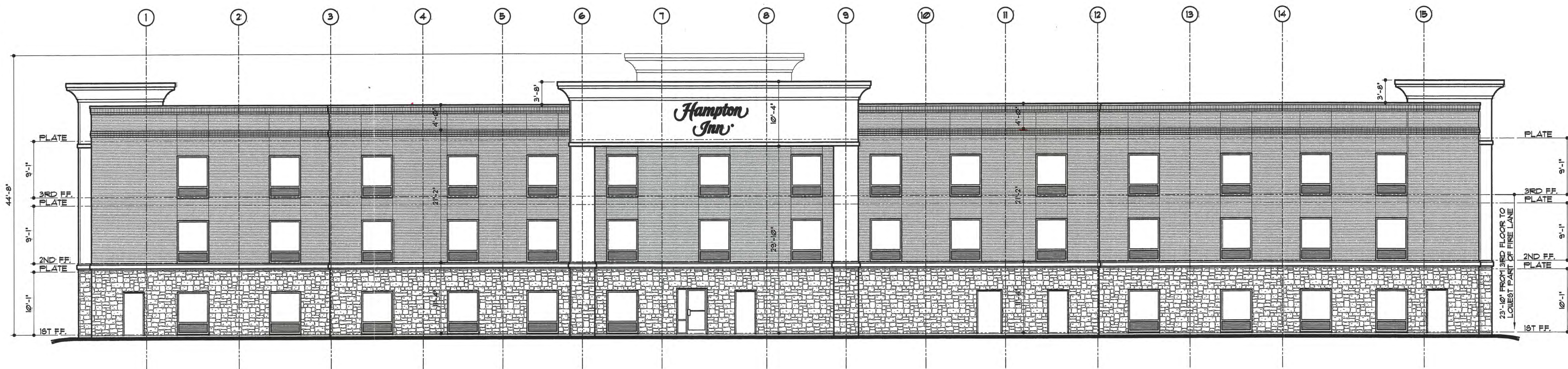
Drawn: JLL

Reviewed: RF

Sheet:

SPP

Of 1 Sheets



2 REAR ELEVATION
WEST ELEVATION SCALE: 1/8" = 1'-0"

REAR ELEVATION SQUARE FOOTAGES:
TOTAL S.F. = 8,410 S.F.
STONE S.F. = 2,514 S.F. (29.7%)
BRICK S.F. = 5,134 S.F. (60.6%)
EIFS S.F. = 822 S.F. (9.7%)



1 FRONT ELEVATION
EAST ELEVATION SCALE: 1/8" = 1'-0"

FRONT ELEVATION SQUARE FOOTAGES:
TOTAL S.F. = 8,584 S.F.
STONE S.F. = 2,550 S.F. (29.7%)
BRICK S.F. = 4,952 S.F. (57.7%)
EIFS S.F. = 1,082 S.F. (12.6%)

NOTE:
STONE TO BE REAL MASONRY. CULTURED OR SYNTHETIC STONE SHALL NOT BE PERMITTED.

NATURAL

MAX 10% allowed in I-30

Static Material
Not allowed w/in 4'
of Finish Floor

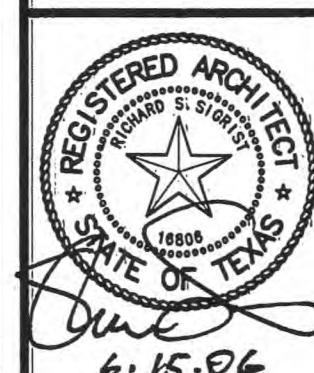
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PROPOSED
HAMPTON INN
LA JOLLA POINTE DRIVE AND LAGUNA DRIVE
ROCKWALL, TEXAS



R.S.S. ARCHITECTS, LLC
1304 W. ABRAM STREET, SUITE #250
ARLINGTON, TEXAS 76013
TEL: 817/640-9003 FAX: 817/649-8400

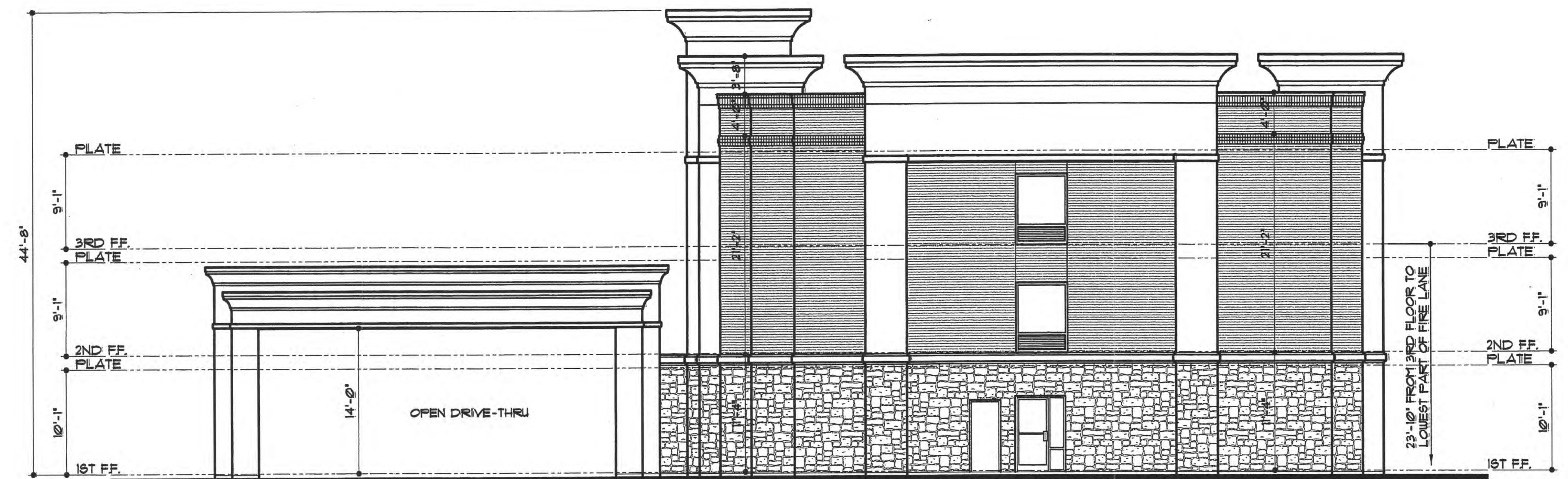
Date 06/15/06

Job 06019

Sheet

ELEV-1

Of Sheets



RIGHT ELEVATION SQUARE FOOTAGES:
 TOTAL SF. = 2656 SF.
 STONE SF. = 828 SF. (30.4%)
 BRICK SF. = 1132 SF. (44.8%)
 EIFS SF. = 656 SF. (24.8%)

MAX 10%

1 RIGHT SIDE ELEVATION
 NORTH ELEVATION SCALE: 1/8" = 1'-0"



LEFT ELEVATION SQUARE FOOTAGES:
 TOTAL SF. = 2656 SF.
 STONE SF. = 828 SF. (30.4%)
 BRICK SF. = 1132 SF. (44.8%)
 EIFS SF. = 656 SF. (24.8%)

MAX 10%

2 LEFT SIDE ELEVATION
 SOUTH ELEVATION SCALE: 1/8" = 1'-0"

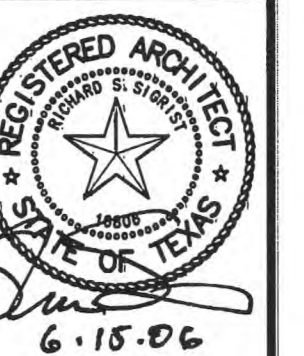
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2006 019

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 By

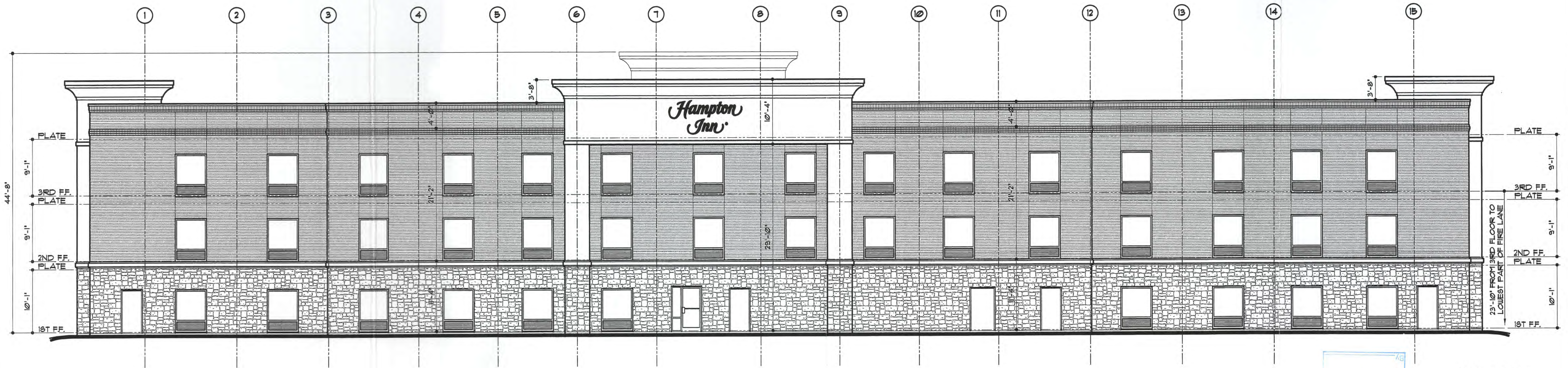
REVISIONS	BY

PROPOSED
HAMPTON INN
 LA JOLLA POINTE DRIVE AND LAGUNA DRIVE
 ROCKWALL, TEXAS



R S S ARCHITECTS LLC
 1304 W. ABRAM STREET, SUITE #250
 ARLINGTON, TEXAS 76013
 PH: 817/640-9003 FAX: 817/649-8400

Date 06/15/06
 Job 06019
 Sheet
ELEV-2
 Of Sheets



2 REAR ELEVATION
WEST ELEVATION SCALE: 1/8" = 1'-0"

REAR ELEVATION SQUARE FOOTAGES:
TOTAL S.F. = 8,470 S.F.
STONE S.F. = 2,514 S.F. (29.7%)
BRICK S.F. = 5,134 S.F. (60.6%)
STUCCO S.F. = 822 S.F. (9.7%)



1 FRONT ELEVATION
EAST ELEVATION SCALE: 1/8" = 1'-0"

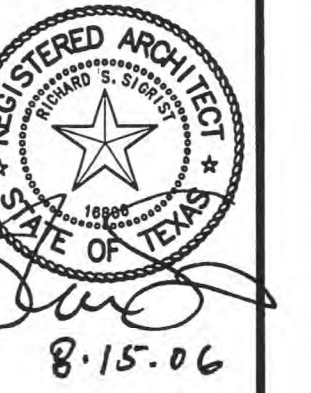
FRONT ELEVATION SQUARE FOOTAGES:
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STUCCO S.F. = 1,082 S.F. (12.6%)

NOTE:
STONE TO BE REAL MASONRY. CULTURED OR SYNTHETIC STONE
SHALL NOT BE PERMITTED.

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AUG 23 2006
SP2006-019

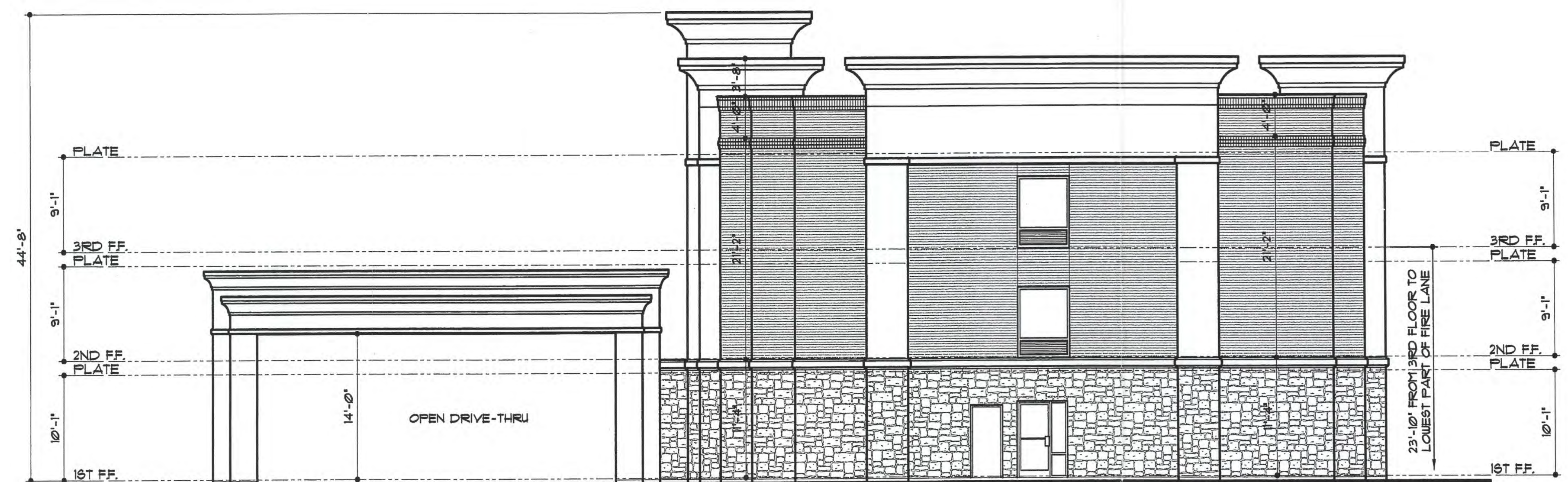
REVISIONS	BY

PROPOSED
HAMPTON INN
LA JOLLA POINTE DRIVE AND LAGUNA DRIVE
ROCKWALL, TEXAS



R S S ARCHITECTS LLC
1304 W. ABRAM STREET, SUITE #250
ARLINGTON, TEXAS 76013
PH: 817/640-9003 FAX: 817/640-9540

Date: 8/15/06
Job: 06019
Sheet: ELEV-1
Of: Sheets



RIGHT ELEVATION SQUARE FOOTAGES:
 TOTAL S.F. = 2,656 S.F.
 STONE S.F. = 808 S.F. (30.4%)
 BRICK S.F. = 1,190 S.F. (44.8%)
 STUCCO S.F. = 658 S.F. (24.8%)

1 RIGHT SIDE ELEVATION
 NORTH ELEVATION SCALE: 1/8" = 1'-0"

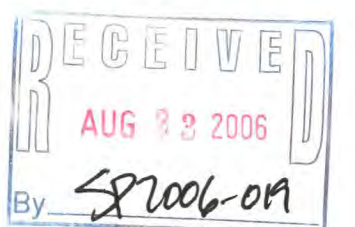
610 9002



LEFT ELEVATION SQUARE FOOTAGES:
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 STUCCO S.F. = 658 S.F. (24.8%)

2 LEFT SIDE ELEVATION
 SOUTH ELEVATION SCALE: 1/8" = 1'-0"

FILE COPY



REV
 PROPOSED
 REGISTRATION
 R S S ARCHITECTS, LLC
 Date
 Job
 Sheet
 E
 Of



CITY OF ROCKWALL

at Rockwall CityPlace

8/30/2006

Rockwall RMKP LP
Kaveen Patel
6005 Silverleaf Ln.
Garland, TX 75043

RE: SP2006-019, Hampton Inn
Project Type: SITE PLAN

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the Planning and Zoning Commission on 8/29/2006. The following is a record of all recommendations, voting records and conditions of approval:

On 6/27/06 the Architectural Review Board recommended approval of the site plan and building elevations subject to review of final building materials.

Staff Recommends approval of the request with the following conditions:

- 1. Submittal and approval of engineering plans prior to replat.*
- 2. Adherence to fire department requirements.*
- 3. Submittal and approval of replat.*
- 4. All rooftop and ground mounted mechanical equipment must be screened from all adjacent properties and right of ways.*
- 5. All exterior lighting shall be directed downward and be full or partial cut-off as defined by the Unified Development Code. No lighting shall exceed 0.2-FC when measured at the property line.*

On 8/29/06 the Planning and Zoning Commission approved the site plan with staff conditions by a vote of 6 to 0 (Hunter absent).

Please contact the City of Rockwall Planning Staff at (972) 771-7745 with any questions regarding this matter.

Sincerely yours,

Michael Hampton, AICP
Planning and Zoning Manager