

# Planning and Zoning Case Check List

P & Z Case # 2204-003 P&Z Date 02-11-14 CC Date 02-17-14 *1st Reading*  
*COA 03/03/14 2nd Reading*  
 Approved/Denied ARB Date \_\_\_\_\_ HPAB Date 01-16-14 Park Board \_\_\_\_\_

**Zoning Application**

Specific Use Permit

Zoning Change

PD Concept Plan

PD Development Plan

**Site Plan Application**

Site Plan

Treescape

Landscape

Building Elevations

Photometric/Lighting Plan

Material Samples

Color Rendering

**Platting Application**

Master Plat

Preliminary Plat

Final Plat

Replat

Administrative/Minor Plat

Vacation Plat

Landscape Plan

Treescape Plan

- Copy of Ordinance (Ord. # 14-10)
- Application
- Receipt
- Location/Buffer Map
- Newspaper Public Notice
- 200 ft Buffer Public Notice
- Project Review
- Staff Report
- City Council Report
- Approval/Denial Letter
- Correspondence
- Copy - All Plans Required
- Copy - Mark-ups
- City Council Minutes - Laserfiche
- Minutes - Laserfiche
- Plat Filed Date \_\_\_\_\_
- Cabinet# \_\_\_\_\_
- Slide# \_\_\_\_\_

Notes \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Zoning Map Updated \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *[Signature]*

CITY ENGINEER: *[Signature]*

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre or Lot)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre or Lot)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 109 Saint Marys St, Rockwall TX 75087  
 Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_  
 General Location \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning \_\_\_\_\_ Current Use \_\_\_\_\_  
 Proposed Zoning \_\_\_\_\_ Proposed Use \_\_\_\_\_  
 Acreage \_\_\_\_\_ Lots [Current] \_\_\_\_\_ Lots [Proposed] \_\_\_\_\_

**Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>Charlie Rickerson</u>	<input checked="" type="checkbox"/> Applicant	_____
Contact Person	<u>11</u>	Contact Person	_____
Address	<u>109 Saint Marys St</u>	Address	<u>11</u>
City, State & Zip	<u>Rockwall, TX 75087</u>	City, State & Zip	_____
Phone	<u>214-862-4283</u>	Phone	_____
E-Mail	<u>rickersonc@gmail.com</u>	E-Mail	_____

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Charlie Rickerson [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 200, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of January, 20 14. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 day of January, 20 14.

Owner's/Applicant's Signature *[Signature]*

Notary Public in and for the State of Texas \_\_\_\_\_

My Commission Expires \_\_\_\_\_

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January 02, 2014

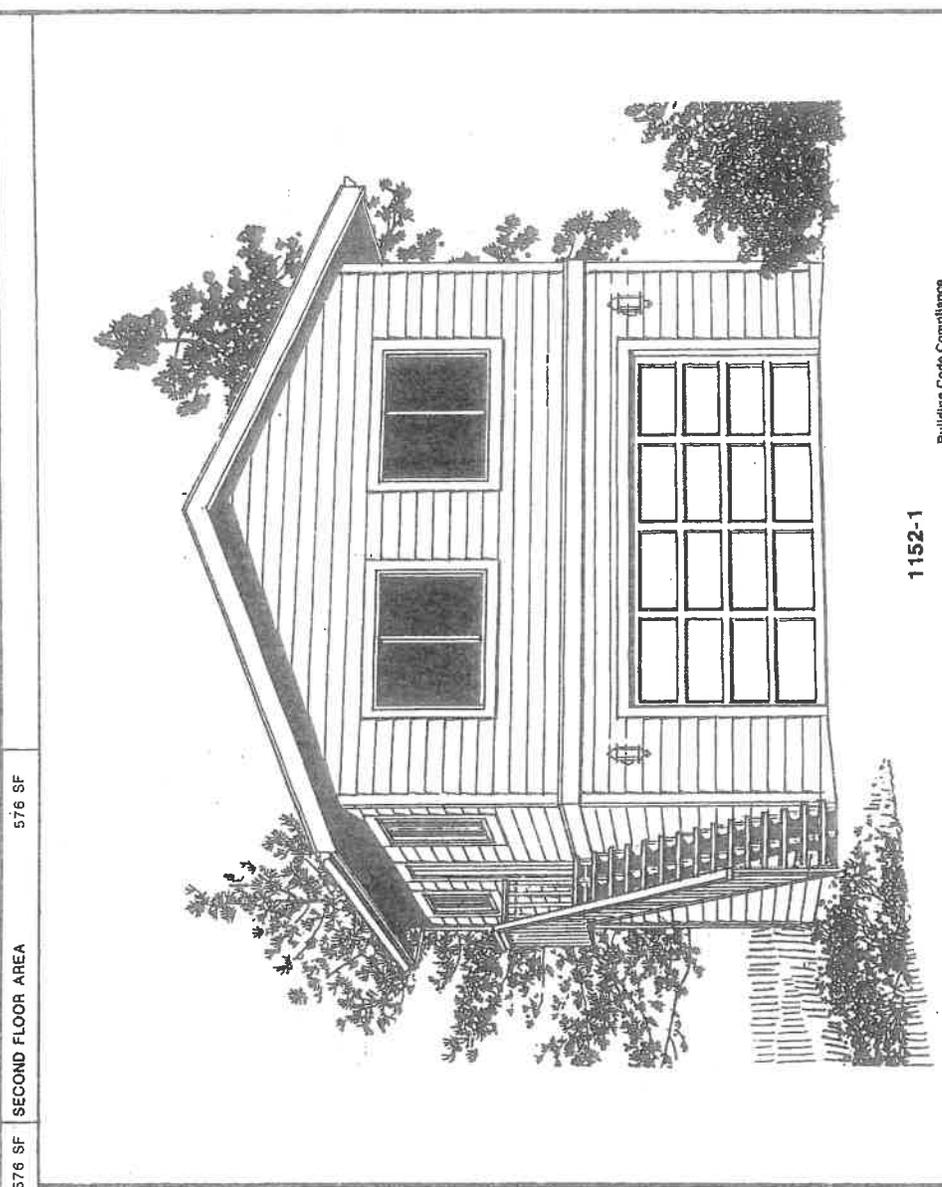
Historic Preservation Advisory Board,

We have submitted a list of projects we would like to complete on our home located at 109 St. Marys Street. Our requests are based upon improving the aesthetics and proper functionality of the property. Our primary purpose is to add a garage and two driveways that would coordinate with the style of the property. We currently have two dirt path driveways that enter the property from Barnes Lane. They are both frequently blocked by visitors or staff of the nursing home that is across from the property. We are restoring this property for our family to enjoy and to contribute positively to our Rockwall community. We are honored to be a part of such a rich history. Thank you for considering our requests.

Sincerely,

Charlie & Ginni Rickerson





GROSS FLOOR AREA: 1152 SF - FIRST FLOOR AREA (GARAGE): 576 SF SECOND FLOOR AREA 576 SF  
 GRADE TO RIDGE HEIGHT: 22' - 8"

**Building Materials List for Plan #1152-1**

- Local building code approved substitutions may be made to this list -  
 Variations in construction methods and materials can require modification of this list. Every attempt is made for greatest accuracy, but typographical or human error is possible. Quantities verification by the materials supplier is recommended before materials package is finalized and/or shipped.

**Concrete & Reinforcements For Stemwall/Footing Foundation**

- Poured-in-place concrete (min) 11.5 cy
- #4 Reinforcing Steel Bar 569 lf 28 - 20' pos. 506 sf 126 lf, 4' roll 180 pcs 96 lf
- 2 x 6 x 92-1/2" HFDF "stud" exterior wall framing 63 pcs 128 lf
- 2 x 6 HFDF No. 2 ext. wall sole plate material 24 lf
- 2 x 4 x 96" utility grade interior wall framing 384 lf 48 lf
- 2 x 4 utility grade interior wall plates 96 lf
- 2 x 6 HFDF No. 2 for ext. wall top plates 48 lf
- 2 x 6 HFDF No. 2 bottom 96 lf
- 2 x 6 HFDF No. 2 pressure-treated mud sill (bottom plate) 17 pcs
- 4 x 6 x 92-1/2" HFDF No. 2 "king stud" material (for bracket support) 3 pcs
- 2 x 6 DF No. 1 header material 17 pcs
- 5 1/2 x 8 1/4 LVL garage door header 2350F52.0E 1 pc.
- 16" LPI 3/2 second floor joists 23' - 0 3/4" length 19 pcs 48 lf
- 18" x 1-1/8" thick LPI rim joist material 18 sheets
- 34" T & G C-D APA Plywood, ext. glue floor 1 pc.
- 2 x 6 HFDF Pressure treated landing joists 3 pcs 8' length
- 2 x 8 HFDF Pressure treated landing joists 3 pcs 16' length
- 2 x 12 HF No. 2 S4S Sillinger 30 pcs 8' length
- 2 x 4 cedar or treated wood for stair tread & landing 20 pcs 8' length
- 2 x 4 cedar trim for quadrants 3 pcs 8' length
- 1 x 4 cedar trim for quadrants 3 pcs 13 pcs.
- 2 x 4 x 22-1/2" eme blocks w/ screened vent holes 24 pcs.

**Sheathing Materials**

- 2 x 4 x 22-1/2" eme blocks w/ screened vent holes 25 sheets
- 7/16" o.s.b. Wall Sheathing 53 sheets

**Vapor Barrier**

- Roof 15# bituminous felt paper in 30" wide roll 300 lf
- Wall 7# bituminous felt paper in 40" wide roll 680 lf
- Floor .005" black polyethylene membrane 576 sf

**Siding Materials**

- 8" textured o.s.b. siding boards with 1" lap 1500 sf of sited area
- (alternate siding) textured 7/16" o.s.b. panel siding 4 x 8 sheets 28 sheets
- (alternate siding) textured 7/16" o.s.b. panel siding 4 x 10 sheets 24 sheets
- Trim: 5/4 x 3 8' length 8 pcs
- Trim: 5/4 x 4 8' length 32 pcs
- Trim: 5/4 x 4 10' length 2 pcs.
- Fascia: 1 x 6 52 lf
- Rakeboard: 2 x 6 4 pcs.

**Roofing Materials**

- Composition Roofing Shingles 731 sf
- Ridgevent material 24 lf

**Windows and Doors**

- 4060 interior bypass door assembly 2 ea.
- 2680 interior swing door assembly 2 ea.
- 2680 interior bi-fold door assembly 1 ea.
- 2468 interior swing floor assembly 2 ea.
- 8040 slider window 2 ea.
- 5040 slider window 1 ea.
- 5036 slider window 2 ea.
- 3026 slider window 1 ea.
- 3026 exterior door assembly 2 ea.
- 16'-0" x 7'-0" sectional garage door assembly 1 ea.

1152-1

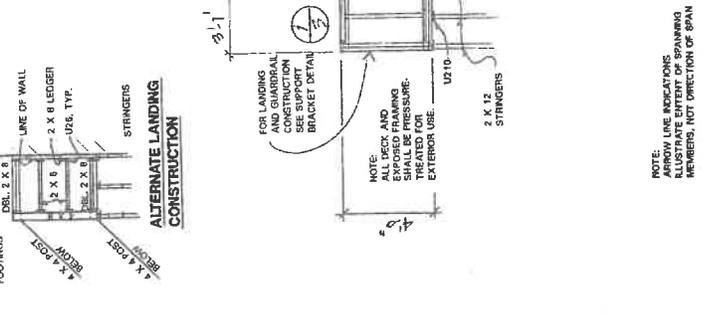
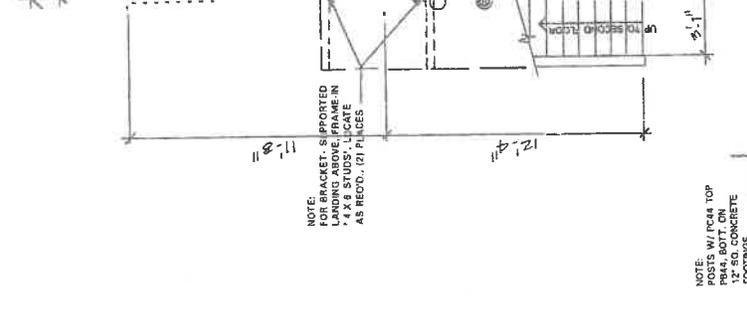
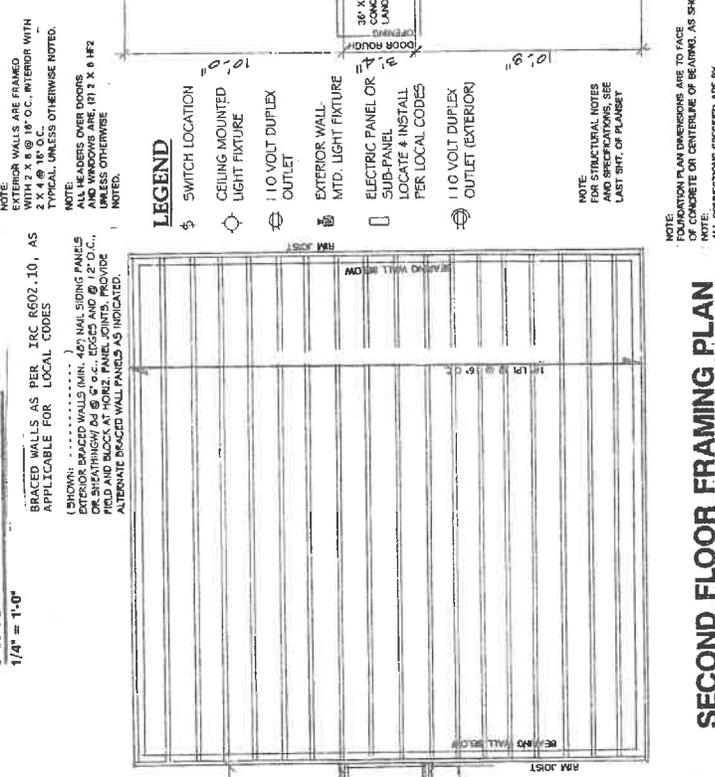
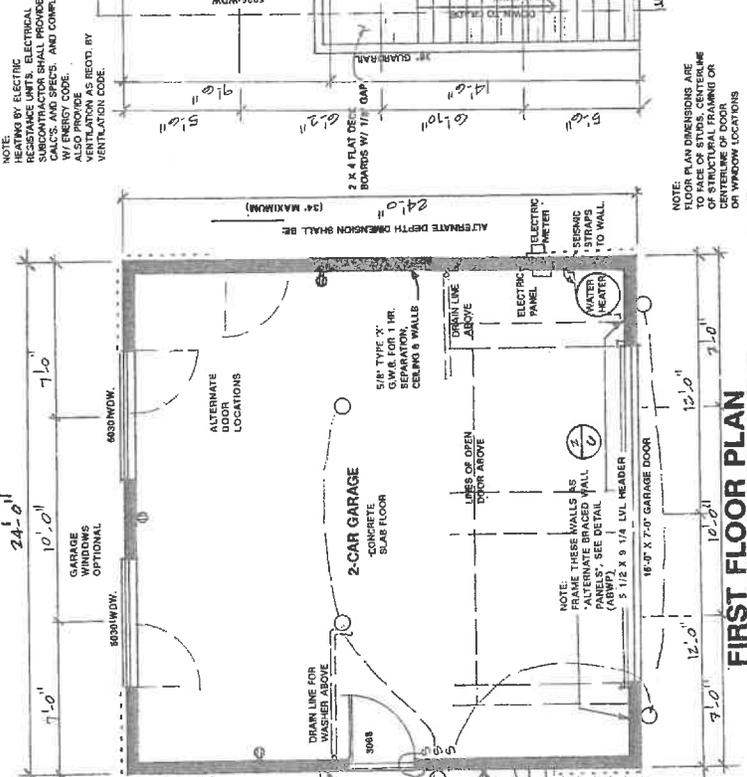
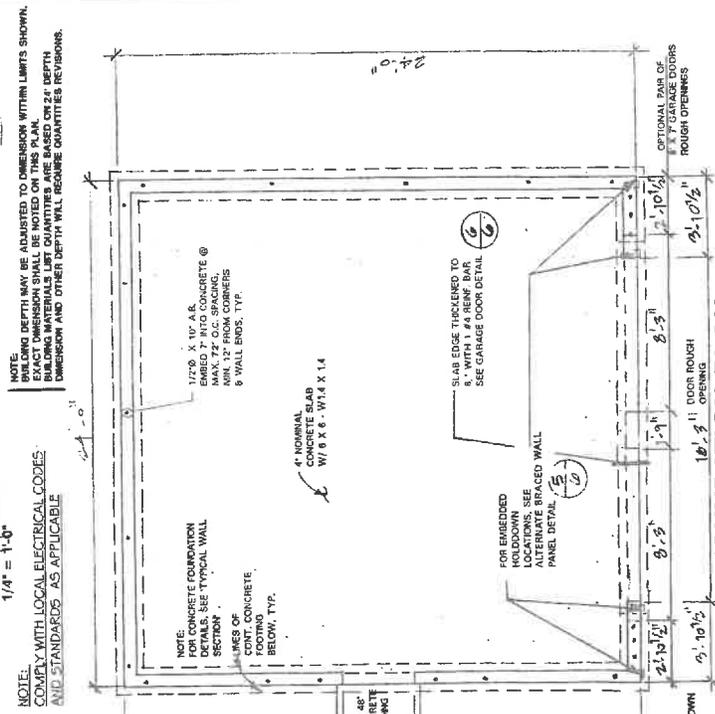
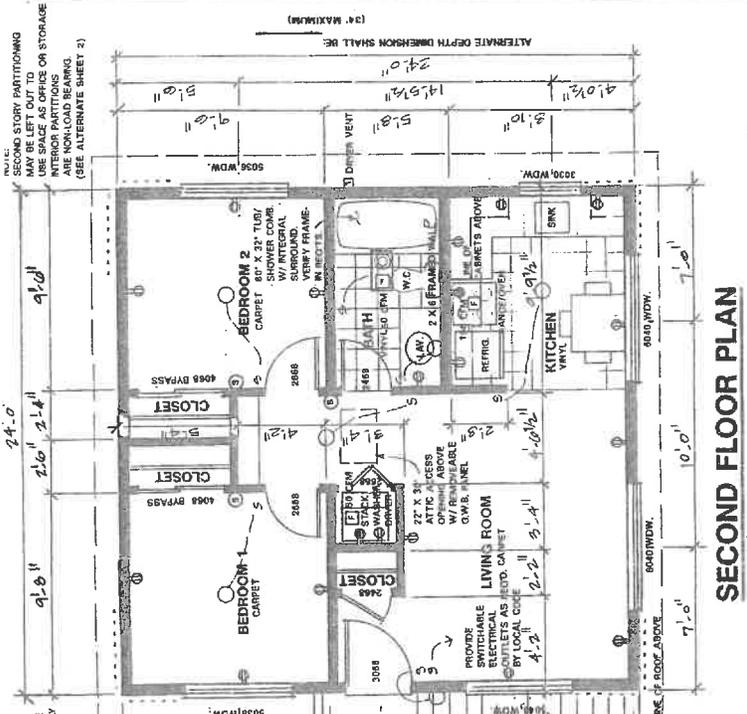
**Building Code Compliance**  
 This planset was prepared to comply with the prescriptive requirements of the 2008 edition of the International Residential Code (IRC)

**Parameters For Design**  
 Wind Speed: 100 mph - 3 sec. gust  
 Wind Exposure: 'B'  
 Seismic Category: A, B and C  
 Snow Load: 30# / sq. ft.

**Metal Parts**  
 Anch. bolts: 1/2" x 10' ASTM A-307 22 pcs  
 Hex Nuts for anchor bolts 22 pcs  
 Flat washer: 2" x 2" square x 3/16" thick 22 pcs  
 Simpson HI clips 22 pcs  
 Handrail, 1-1/2" dia. Wood or metal 16' length 4 pcs  
 Simpson STHD14 hold-down straps 4 pcs  
 Hanger - Simpson U28 for stringers 3 pcs  
 16d shiner nails @ 50 lbs. / box 50 lbs.  
 8d common nails @ 50 lbs. / box 50 lbs.  
 Roofing nails @ 210 nails / lb. 10 lbs.  
 Metal flashing strip for wdw. & door heads (applied length) 54 lf  
 Z-Flash strip for aluminum panel siding (installed, allow for overlaps) 54 lf

**Building Categories and Data**  
 Occupancy Classification: "U"  
 Construction Type: "V"

- Note: To advise corrections, please call Behm Design @ 1-800-210-6776 -









DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Anna Dean Coates to Richard D. Jordan and Wilma D. Jordan, dated May 5, 1967 and being recorded in Volume 79, Page 79 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the intersection of the North right-of-way line of St. Mary's Street with the West right-of-way line of Barnes Street at the Southeast corner of said Jordan tract;

THENCE S. 88 deg. 28 min. 55 sec. W. along the North right-of-way line of St. Mary's Street, a distance of 110.31 feet to a 1/2" iron rod found for corner;

THENCE N. 00 deg. 00 min. 38 sec. W. a distance of 154.12 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 28 min. 20 sec. E. a distance of 110.34 feet to a 3/8" iron rod found for corner in the West right-of-way line of Barnes Street;

THENCE SOUTH (Controlling bearing line) along said right-of-way line, a distance of 154.14 feet to the POINT OF BEGINNING and containing 0.39 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for AMERICAN TITLE COMPANY, LEHMAN BROTHERS BANK, and DEANNA GRANDSTAFF at 109 ST. MARY'S STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 12th day of December, 2005.

  
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
TV TELEVISION CABLE RISER	GAS GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE
ELEC ELECTRIC METER	TU ELEC BOX	WM WATER METER	1/2" IRF ROD FOUND (CORNER)	LP LIGHT POLE
FENCE	SUBSURFACE JUNCTION BOX	A/C AIR COND. UNIT	RISER	PACKAGE TRUCK
————— PROPERTY LINE —————				

**R.S.C.I.**  
 ROCKWALL SURVEYING CO., INC.

**LAND SURVEYING**

SURVEY DATE DECEMBER 12, 2005  
 SCALE 1" = 30' FILE # 20052148  
 CLIENT GRANDSTAFF GF# 17582-RW05

DESCRIPTION

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 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
Ⓢ	Ⓠ	Ⓣ	Ⓢ	Ⓠ
TV	GAS	TEL	FH	PP
TELEVISION	GAS	PHONE	FIRE	POWER
CABLE ROVER	METER	ROVER	HYDRANT	POLE
▲	Ⓢ	⊗	○	○
ELEC	TU ELEC	WM	1/2" IRS	1/2" IRS
ELECTRIC	BOX	WATER	FOUND	FOUND
METER	SUBSURFACE	METER	(COPPER)	(COPPER)
-X-	JUNCTION BOX	A/C	LP	LP
FENCE		A/C	LIGHT	LIGHT
		AIR COND.	POLE	POLE
		SALT		
PROPERTY LINES				



LAND SURVEYING

SURVEY DATE DECEMBER 12, 2005  
 SCALE 1" = 30' FILE # 20052148  
 CLIENT GRANDSTAFF OF # 17582-RW05



# RECEIPT

Project Number: Z2014-003  
Job Address: 109 ST MARYS ST  
ROCKWALL, TX 75087

Receipt Number: B61769  
Printed: 1/21/2014 11:38 am

Fee Description	Account Number	Fee Amount
ZONING	01-4280	\$ 200.00

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**Total Fees Paid:**

**\$ 200.00**

Date Paid: 1/21/2014 12:00:00AM  
Paid By: Charlie Rickerson  
Pay Method: CHECK 305  
Received By: JDS



**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire

From: Planning & Zoning Department

Date: 1/21/2014

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 01/24/2014. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 1/28/2014 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 1/28/2014 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** Z2014-003  
**Project Name:** 109 St. Mary's Remodel  
**Project Type:** ZONING  
**Applicant Name:** Charlie Rickerson  
**Owner Name:** Charlie Rickerson  
**Project Description:**



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**Applicant Name:** Charlie Rickerson  
**Owner Name:** Charlie Rickerson  
**Project Description:**

**City of Rockwall**  
Project Plan Review History



<b>Project Number</b>	Z2009-009	<b>Owner</b>	Russell Hyland	<b>Applied</b>	5/18/2009	DG
<b>Project Name</b>	Detached garage w/separate living unit	<b>Applicant</b>	Randall Edmiston	<b>Approved</b>	7/20/2009	DG
<b>Type</b>	ZONING			<b>Closed</b>	7/21/2009	DG
<b>Subtype</b>	SUP			<b>Expired</b>		
<b>Status</b>	APPROVED			<b>Status</b>	2/2/2010	MH

**Site Address**  
3815 Pinebluff  
City, State Zip  
Rockwall, TX 75032

Zoning

<b>Subdivision</b>	TIMBER CREEK ESTATES	<b>Tract</b>	1	<b>Block</b>	E	<b>Lot No</b>	1	<b>Parcel No</b>	5168-000E-0001-00-OR	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<b>BUILDING</b> 1. A building permit is required. 2. The applicable code is the 2006 IRC and local amendments. 3. Energy compliance calculations are required. 4. Side setback is 6 feet. 5. The foundation must be engineer designed. 6. One hour fire separation is required between the garage and living area. 7. The door to the living space must be 20 minute rated. 8. The bottom opening of all operable second story windows must be min. 24" above the floor.	John Shannon	5/18/2009	5/25/2009	5/19/2009	1 Approved	See notes
<b>ENGINEERING</b>	Amy Williams	5/18/2009	5/25/2009	5/19/2009	1 Approved	
<b>FIRE</b> (5/26/2009 09:51 AA) Fire hydrant coverage shall meet the 400-foot hose reach distance to all portions of the exterior building walls.	Ariana Hargrove	5/18/2009	5/25/2009	5/26/2009	8 Comments	
<b>PLANNING</b>	David Gonzales	5/18/2009	5/25/2009	5/21/2009	3 Comments	see notes

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Should the SUP be approved, the structure must meet all Fire Department, Building Inspections and Engineering requirements.            The detached garage shall not exceed an overall height of 26.5 ft.            The detached garage area shall not exceed 900 sq ft.            The 2nd floor guest quarters/secondary living area shall not exceed 30% of the area of the primary structure (3014 sq ft X 30% = 904 sq ft).            The exterior wall materials shall match that of the primary structure and generally in the same proportion.</p> <p>Conditions of the SUP are to include:</p> <ol style="list-style-type: none"> <li>1. Guest quarters or secondary living units may be allowed on a property in a residential or commercial zoning district provided it is ancillary to the primary use and that only one such facility is provided.</li> <li>2. No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance.</li> </ol>						

# Project Details

## Project Number Z2014-003

### As of 1/24/2014

**Type / Subtype**  
ZONING / SUP

**Project Name**  
109 St. Mary's Remodel

**Planner**  
David Gonzales

**Site Address**  
109 ST MARYS ST

**Status**  
STAFF REVIEW

**City, State Zip**  
ROCKWALL, TX 75087

**Application Date** 1/21/2014 JDS

**Approval Date**

**Date Closed**

**Expiration Date**

**Status Date** 1/21/2014 JDS

**Site APN**  
3140-0117-000A-00-0R

**Description**

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

**Conditions**

## Additional Sites

APN	Address
No Additional Sites	

## Chronology Actions

Type of Action	Action Date
No Activity	

## Contacts

Contact Type	Name	Address	City, State, Zip	Phone	Fax	Email
OWNER	Charlie Rickerson	109 St. Mary's Street	ROCKWALL TX 75087	(214) 862-4283		rickersonc@gmail.com
APPLICANT	Charlie Rickerson	109 St. Mary's Street	ROCKWALL TX 75087	(214) 862-4283		rickersonc@gmail.com

## Fees

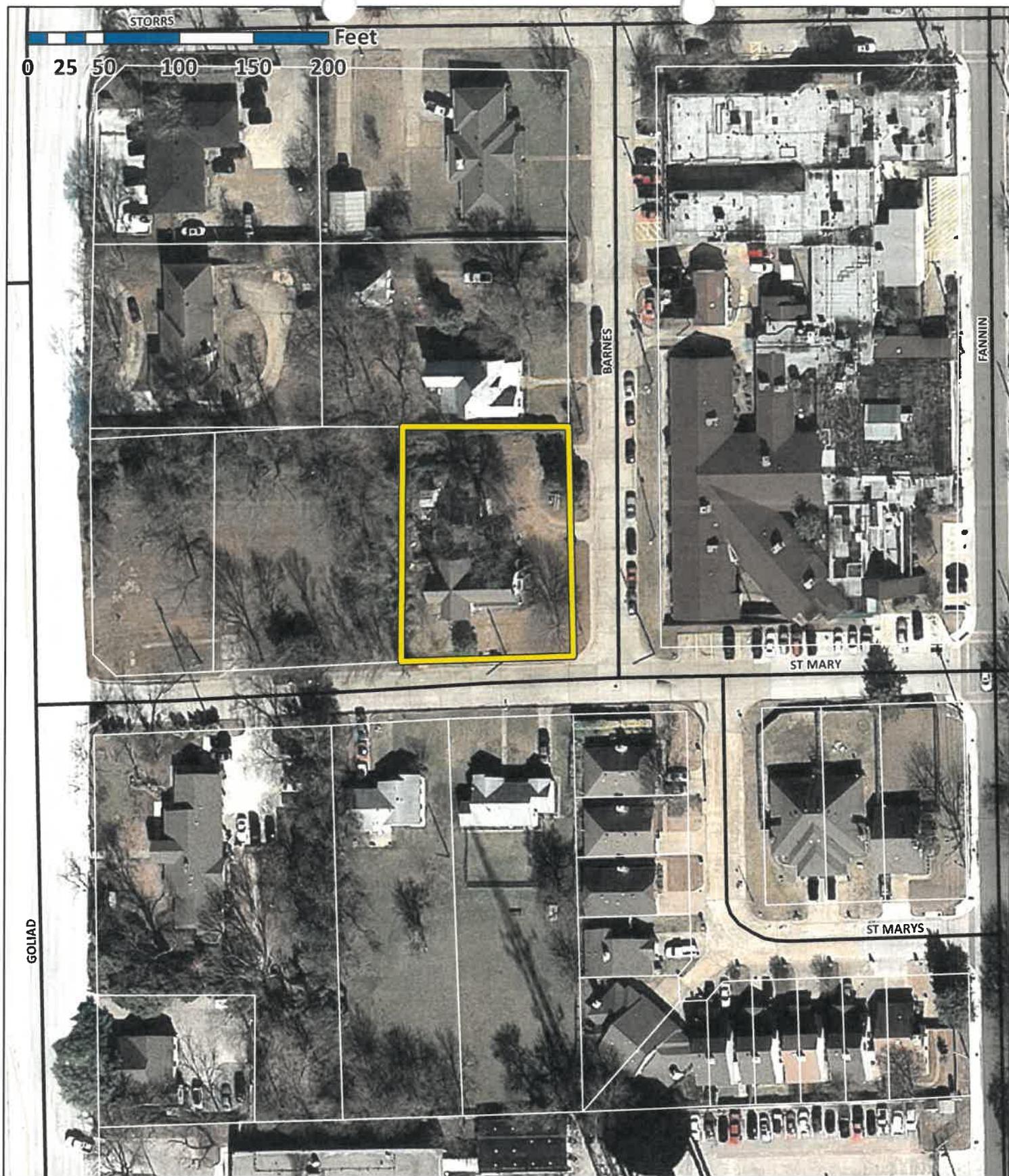
Description of Fee	Date Paid	Paid By	Pay Method	Account
ZONING	1/21/2014			

## Inspections

Type of Inspection Inspector	Scheduled Date Result	Completed Date Remarks
No Activity		

## Reviews

Type of Review Contact	Date Sent Status	Date Due Remarks	Date Received
PLANNING David Gonzales	1/21/2014 COMMENTS	1/28/2014 See comments	1/24/2014
<b>Notes:</b>	1. Should the SUP be approved, the structure must meet all Fire Department, Building Inspections and Engineering requirements. 2. The detached garage shall not exceed an overall height of 32 ft allowed by the SF-7 district standards (proposed height = 30.8 ft) 3. The detached garage area shall not exceed 900 sq-ft (proposed 576 sq-ft). 4. The 2nd floor guest quarters/secondary living area shall not exceed 30% of the area of the primary structure (2738 sq ft X 30% = 821.4 sq ft). The proposed area is 24' X 24' and equals the garage area of 576 sq-ft. 5. The exterior wall materials will match that of the primary structure as approved by the HPAB on 01-16-2014 (primary material - 6" horizontal wood siding).		
ENGINEERING Amy Williams	1/21/2014 APPROVED	1/28/2014	1/23/2014
FIRE Ariana Hargrove	1/21/2014	1/28/2014	
BUILDING John Shannon	1/21/2014	1/28/2014	



## City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



January 02, 2014

Historic Preservation Advisory Board,

We have submitted a list of projects we would like to complete on our home located at 109 St. Marys Street. Our requests are based upon improving the aesthetics and proper functionality of the property. Our primary purpose is to add a garage and two driveways that would coordinate with the style of the property. We currently have two dirt path driveways that enter the property from Barnes Lane. They are both frequently blocked by visitors or staff of the nursing home that is across from the property. We are restoring this property for our family to enjoy and to contribute positively to our Rockwall community. We are honored to be a part of such a rich history. Thank you for considering our requests.

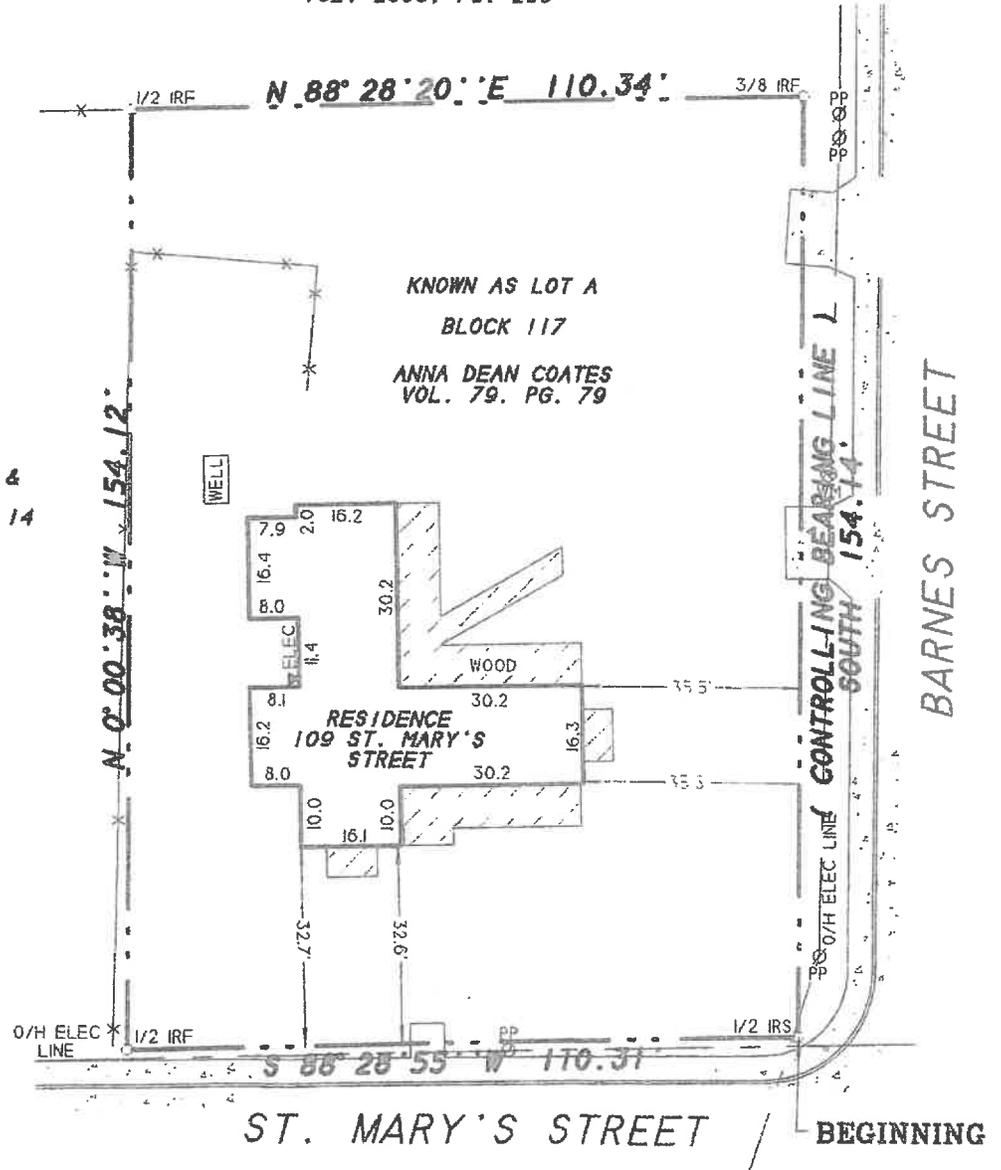
Sincerely,

Charlie & Ginni Rickerson

WILLIAM H. MIGNEALT  
VOL. 2933. PG. 260



NAN L. SMARTT &  
JULIA BOND  
VOL. 879. PG. 14



SURVEY ACCEPTED BY:

\_\_\_\_\_ DATE \_\_\_\_\_

\_\_\_\_\_ DATE \_\_\_\_\_

DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Anna Dean Coates to Richard D. Jordan and Wilma D. Jordan, dated May 5, 1967 and being recorded in Volume 79, Page 79 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the intersection of the North right-of-way line of St. Mary's Street with the West right-of-way line of Barnes Street at the Southeast corner of said Jordan tract;

THENCE S. 88 deg. 28 min. 55 sec. W. along the North right-of-way line of St. Mary's Street, a distance of 110.31 feet to a 1/2" iron rod found for corner;

THENCE N. 00 deg. 00 min. 38 sec. W. a distance of 154.12 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 28 min. 20 sec. E. a distance of 110.34 feet to a 3/8" iron rod found for corner in the West right-of-way line of Barnes Street;

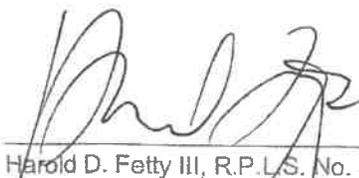
THENCE SOUTH (Controlling bearing line) along said right-of-way line, a distance of 154.14 feet to the POINT OF BEGINNING and containing 0.39 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for AMERICAN TITLE COMPANY, LEHMAN BROTHERS BANK, and DEANNA GRANDSTAFF at 109 ST. MARY'S STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 12th day of December, 2005.

  
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND				
⊙	⊕	⊞	⊖	⊗
TV	GAS	TEL	FH	PP
TELE-BOX	GAS	PHONE	FIRE	POWER
CASE, H. A. TEST	METER	RISER	HYDRANT	POLE
⚡	⊞	⊞	⊞	⊞
ELEC	TU ELEC	WM	1/2" IRF	
ELECTRIC	BOX	TAPER	WGT. ROD	
METER	SUSPENSE	METER	1" ROD	
	BO.			
-X-	A/C	LP	OR	
POLE	UNIT	POLE	MARK	



LAND SURVEYING

SURVEY DATE DECEMBER 12, 2005  
 SCALE 1" = 30' FILE # 20052148  
 CLIENT GRANDSTAFF CF# 17582-RW05



GROSS FLOOR AREA: 1152 SF | FIRST FLOOR AREA (GARAGE): 576 SF | SECOND FLOOR AREA: 576 SF  
 GRADE TO RIDGE HEIGHT: 22' - 8"

**Building Materials List for Plan #1152-1**

- Local building code approved substitutions may be made to this list -  
 Variations in construction methods and materials can require modification of this list. Every attempt is made for greatest accuracy, but typographical or human error is possible. Quantities verification by the materials supplier is recommended before materials package is finalized and/or shipped.

**Concrete & Reinforcement For Stems/Wall/Footing Foundation**

- Poured-in-place concrete (min) 111.5 cy
- 84 Reinforcing Steel Bar 568 # 28 - 20' pcs
- w6 x 6 - w1.4 x 1.4 wire mesh 508 sf 120 #, 5' roll

**Rough Framing**

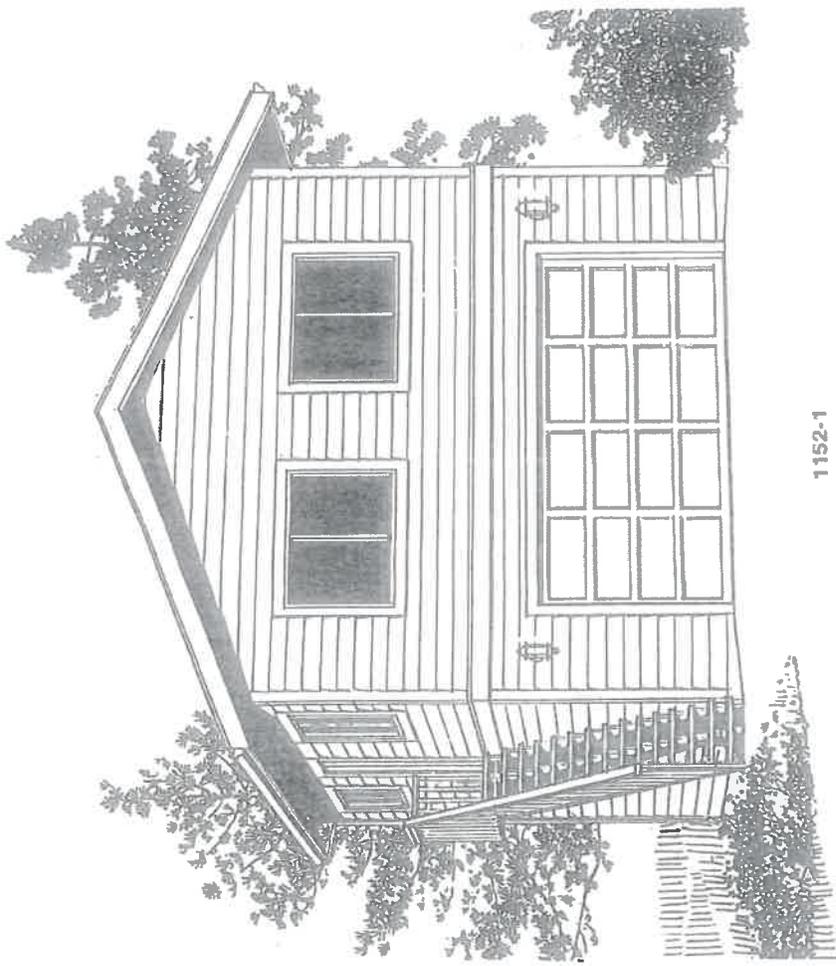
- 2 x 6 x 92-1/2" HFDF "stud" exterior wall framing 180 pcs
- 2 x 6 HFDF NO. 2 ext wall sole plate material 96 #
- 2 x 4 x 96" utility grade interior wall framing 60 pcs
- 2 x 4 x 96" utility grade interior wall studs 120 #
- 2 x 6 x 96" utility grade exterior wall framing 10 pcs
- 2 x 6 x 96" utility grade exterior wall plates 24 #
- 2 x 6 HFDF No. 2 1/2" ext. wall top plate 48 #
- 2 x 4 HFDF No. 2 1/2" interior 48 #
- 2 x 6 HFDF No. 2 pressure-treated mudsill (bottom plate) 96 #
- 4 x 6 x 92-1/2" HFDF No. 2 "wing stud" material (for bracket support) 2 pcs
- 4 x 4 x 96" HFDF No. 2 support bracket material 3 pcs
- 2 x 6 DF No. 1 header material 8' length 17 pcs
- 5 1/2 x 9 1/4 LVL garage door header 2560F52.0E 19 pcs
- 16" LPI 32 second floor joists 23' - 9 3/4" length 48 #
- 16" x 1-1/2" thick LPI rim joist material 4 x 8 sheet 18 sheets
- 3/4" T & G-G APA Plywood, ext. glue floor 8' length 1 pc
- 2 x 6 HFDF Pressure treated landing joists 8' length 3 pcs
- 2 x 6 HFDF Pressure treated landing joists 16' length 3 pcs
- 2 x 12 HF No. 2 Stud Slinger 30 pcs
- 2 x 4 cedar or treated wood for stair tread & landing 8' length 26 pcs
- 2 x 2 cedar posts for guardrails 8' length 3 pcs
- 2 x 4 cedar cap for guardrails 8' length 3 pcs
- 1 x 4 cedar trim for guardrails 8' length 13 pcs
- 2 x 4 x 22-1/2" eave boards w/ screened vent holes 24 pcs

**Sheathing Materials**

- 15/32" 5-ply G-D APA, ext. glue P 1, 2/10 Roof She 4 x 8 sheets 25 sheets
- 7/16" o.s.b. Wall Sheathing 4 x 8 sheets 53 sheets
- Vapor Barrier 300 #
- Roof 1/2" boronated felt paper @ 36" wide roll 680 #
- W68 7/8 boronated felt paper in 140' wide roll 576 #
- Flashed 100% black polyethylene membrane
- Sliding Materials 1500 # of solid glue
- 6" insulated 6 x 6 siding boards with 1" lag (alternates siding) 4 x 8 sheets 28 sheets
- 4 x 10 sheets 24 sheets
- 8' length 8 pcs
- 9' length 9 pcs
- 10' length 10 pcs
- 12' length 12 pcs
- 16' length 16 pcs

**Roofing Materials**

- Composition Roofing Shingles 731 sf of roof area
- Ridgevent metal
- Windows and Doors
- 4098 interior bypass door assembly 2 ea
- 2808 interior swing door assembly 2 ea
- 2698 interior 1s-bld door assembly 1 ea
- 2498 interior swing door assembly 2 ea
- 6040 slider window 2 ea
- 6030 slider window 1 ea
- 5036 slider window 1 ea
- 3030 slider window 1 ea
- 3088 - exterior door assembly 2 ea
- 16-0" x 7-0" sectional garage door assembly 1 ea



1152-1

**Building Code Compliance**  
 This plan set was prepared to comply with the prescriptive requirements of the 2009 edition of the International Residential Code (IRC)

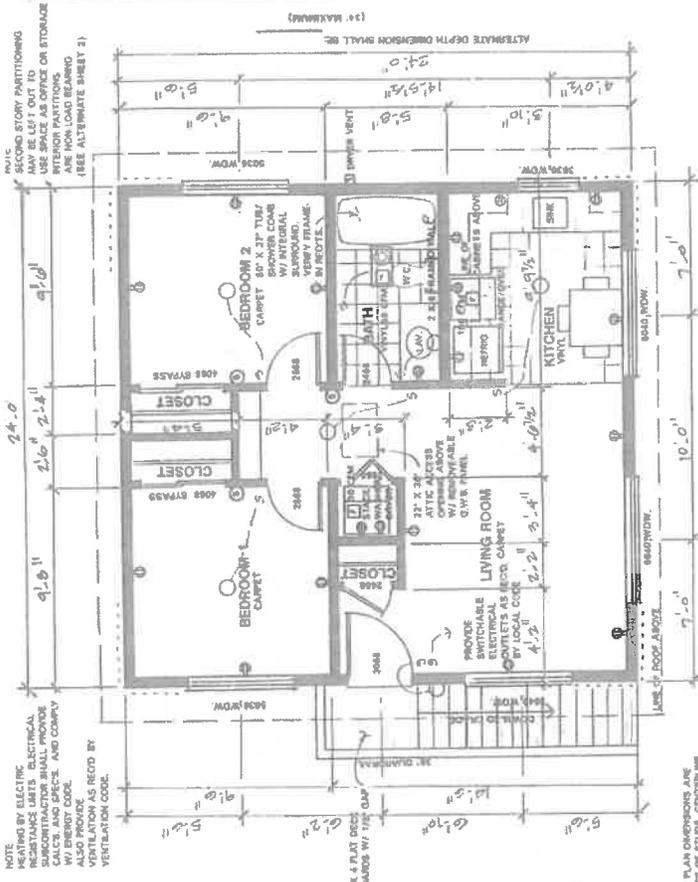
**Parameters For Design**  
 Wind Speed: 100 mph - 3 sec. gust  
 Wind Exposure: 'B'  
 Seismic Category: A, B and C  
 Snow Load: 30# / sq. ft.

**Building Categories and Data**  
 Occupancy Classification: "U"  
 Construction Type: "Y"

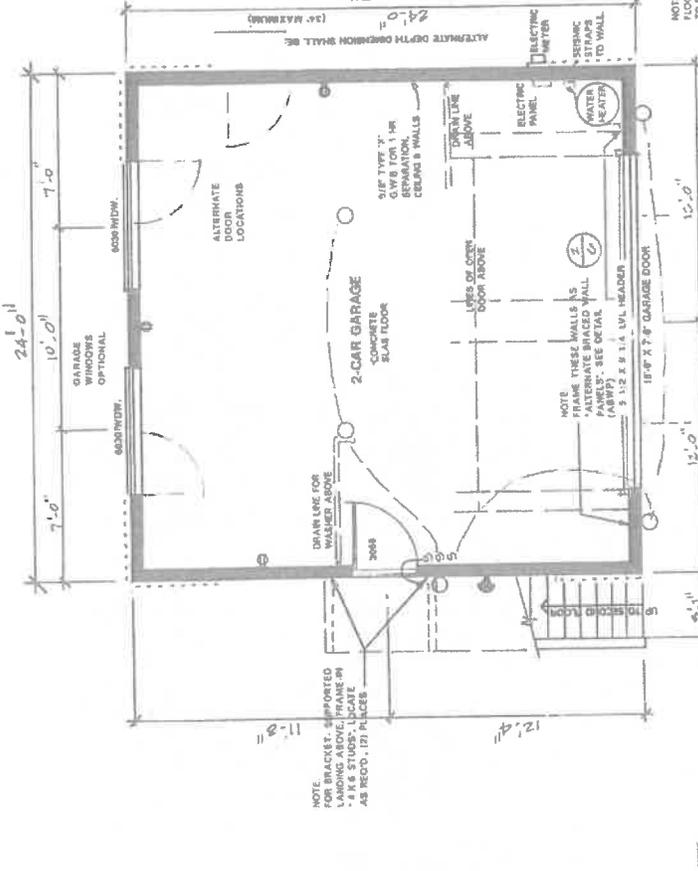
**Material Parts**

Anch bolts - 1/2" x 10" ASTM A-307	22 pcs
Her Nuts for anchor bolts	22 pcs
Flat washer: 2" x 2" square x 3/16" thick	22 pcs
Simpson H1 clips	22 pcs
Horizontal 1-1/2" dia. Wood or metal	16' length
Header Support Brackets	4 pcs
Simpson STD14 hold-down strips	4 pcs
Hanger - Simpson U28 for stringers	3 pcs
16d spike nails @ 50 lbs. / box	50 lbs.
8d common nails @ 5000s. / box	50 lbs.
Roofing nails @ 210 nails / lb.	54 #
2-Flashing strip for wdw. & door heads (supplied length)	54 #
2-Flashing strip for sash/material panel siding (installed, allow for overlaps)	54 #

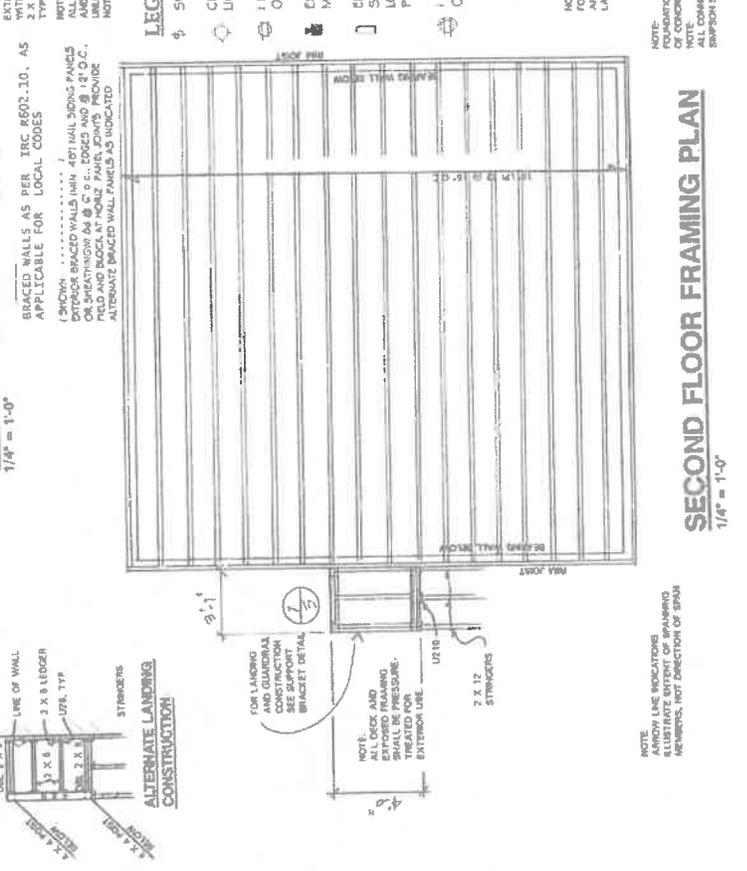
- Note: To advise corrections, please call Behm Design @ 1-800-210-8778 -



**SECOND FLOOR PLAN**  
1/4" = 1'-0"

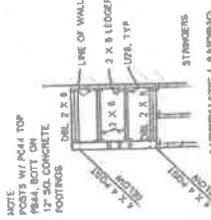


**FIRST FLOOR PLAN**  
1/4" = 1'-0"



**SECOND FLOOR FRAMING PLAN**  
1/4" = 1'-0"

- LEGEND**
- ⊕ SWITCH LOCATION
  - ⊕ CEILING MOUNTED LIGHT FIXTURE
  - ⊕ 110 VOLT DUPLEX OUTLET
  - ⊕ EXTERIOR WALL MTD. LIGHT FIXTURE
  - ⊕ ELECTRIC PANEL OR SUB-PANEL LOCATE & INSTALL PER LOCAL CODES
  - ⊕ 110 VOLT DUPLEX OUTLET (EXTERIOR)



NOTE: DIMENSIONS ILLUSTRATE EXTENT OF FRAMING MEMBERS, NOT DIRECTION OF SPAN



## - Public Notice -

The City of Rockwall Planning and Zoning Commission will hold a public hearing on **Tuesday, February 11, 2014** at 6:00 p.m. in the Council Chambers at Rockwall City Hall, 385 South Goliad, Rockwall, Texas, and the Rockwall City Council will hold a public hearing on **Monday, February 17, 2014** at 6:00 p.m. in the Council Chambers at Rockwall City Hall, 385 South Goliad, Rockwall, Texas, to consider the following items:

### **Z2014-001: Proposed Zoning Change – Sids Road**

Hold a public hearing to discuss and consider a request by Tommy Pulliam on behalf of Rayburn Electric Cooperation, Inc. for the approval of a zoning change from Agricultural (Ag) District to a Heavy Commercial (HC) District for a 6.057-acre tract land identified as a portion of Tract 3-06 of the W. H. Barnes Survey, Abstract No. 26, Rockwall, Rockwall County, Texas, zoned Agricultural (Ag) District, located on the south side of Sids Road west of S. Goliad Street (SH-205), and take any action necessary.

### **Z2014-002: Proposed PD Amendment (PD-70) – FM-552**

Hold a public hearing to discuss and consider a request by Brad Forslund of Churchill Residential, Inc. on behalf of Stone Creek Balance, LTD. for the approval of a zoning amendment to Planned Development District 70 (PD-70) to allow an age restricted, senior housing on a 5.29-acre portion of a larger tract of land identified as Tract 2 of the W. T. DeWeese Survey, Abstract No. 71, Rockwall, Rockwall County, Texas, currently zoned Planned Development District 70 (PD-70), located on the south side of FM-552 east of N. Goliad Street (SH-205), and take any action necessary.

### **Z2014-003: Proposed Specific Use Permit – 109 St. Mary's Street**

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

**All interested parties are encouraged to attend. Please contact the City of Rockwall Planning and Zoning staff at (972) 771-7745 with any questions. Additional information can be found on all current Zoning cases on the City's website:**

**<http://www.rockwall.com/Planning/PlanningDevCases.asp>**



**NOTICE OF PUBLIC HEARING  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2014-003: 109 St. Mary's Remodel**

*Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 2/11/2014 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 2/17/2014 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087**

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **2/17/2014** to ensure they are included in the information provided to the City Council.

Sincerely,

**Robert LaCroix, AICP**  
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

PLEASE RETURN THE BELOW FORM

**Case No. Z2014-003: 109 St. Mary's Remodel**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Blank area for providing reasons for support or opposition.

Name:

Blank line for Name.

Address:

Blank line for Address.

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

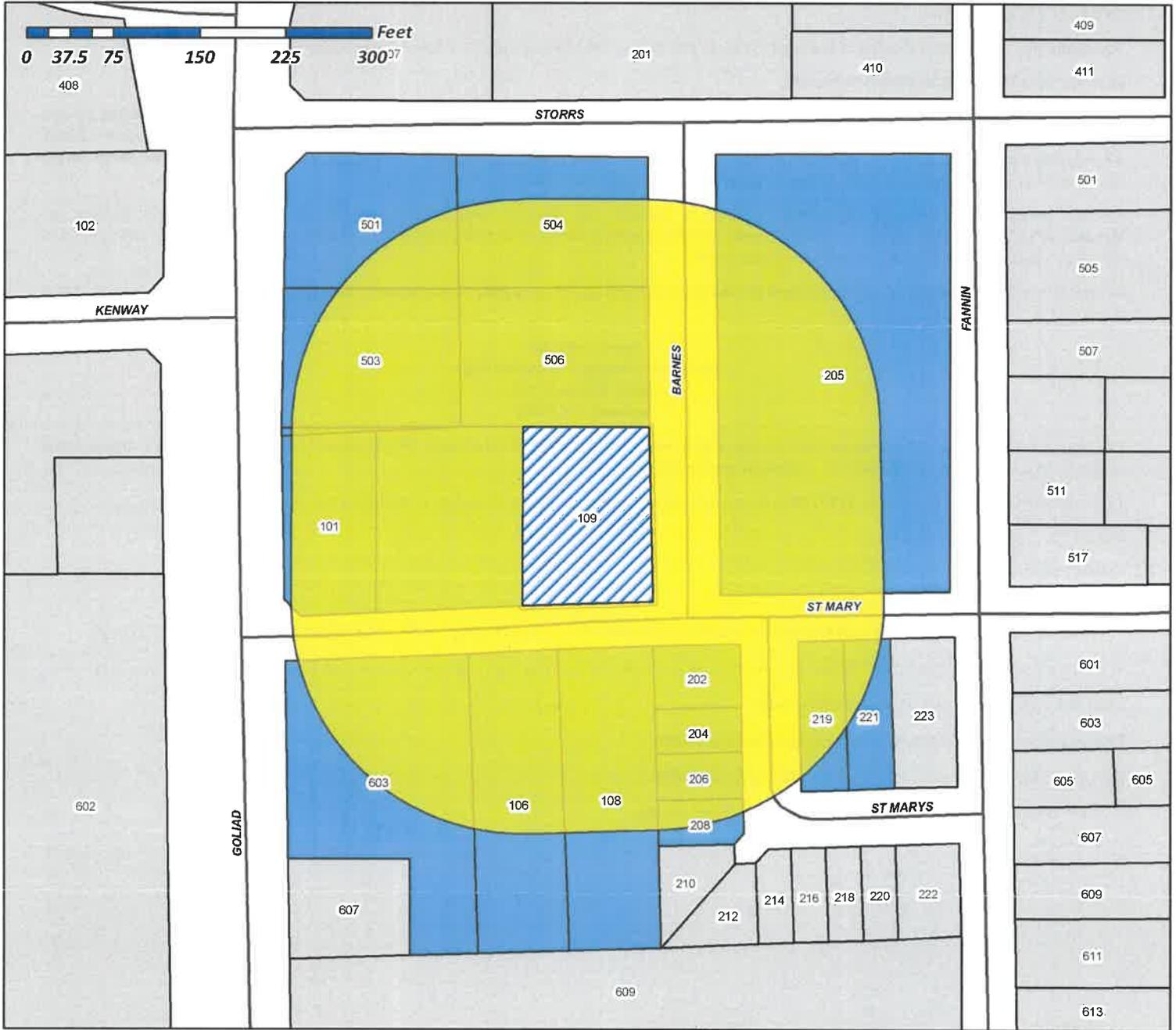
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2014-003  
**Case Name:** 109 St. Mary's Remodel  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 109 St. Mary's



**Date Created:** 1/24/2014

**For Questions on this Case Call (972) 771-7745**



**NOTICE OF PUBLIC HEARING  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of

**Case No. Z2014-003: 109 St. Mary's Re**

Hold a public hearing to discuss and c...  
with guest quarters/secondary living ur  
identified as Lot A, Block 117, B. F. Bo,  
Family 7 (SF-7) District, located at 109 S

For the purpose of considering the  
**Tuesday, 2/11/2014 at 6:00 p.m.**, and t  
the City Council Chambers at City Hall, 3

As an interested property owner, you ar  
to:

You may also email your comments to  
please include your name and address fo

Your comments must be received by 2/11

Sincerely,

**Robert LaCroix, AICP**  
Director of Planning & Zoning

**MORE INFORMATION ON THIS CASE C**

**PLEASE RETURN THE BELOW FORM**

**Case No. Z2014-003: 109 St. Mary's R**

**Please place a check mark on the app**

I am in favor of the request for the

I am opposed to the request for the

*No objection  
the structure will*

Name: *Todd W White*

Address: *503 S...*

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a p...  
change must receive, in order to take effect,  
written and signed by the owners of at least 2  
lots or land immediately adjoining the area co

**PLEASE S**

Plan

503 SOUTH GOLIAD  
ROCKWALL, TEXAS 75087

THE WHITE LAW FIRM



David Gonzales  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall TX 75087-3737



ing application:

allow a detached garage  
i 0.40-acre parcel of land  
d Property, zoned Single

d a public hearing on  
e hearings will be held in

g please return the form

e Planning Department

[NGDEVCASES.ASP](#)

*specy*



**\$0.480**  
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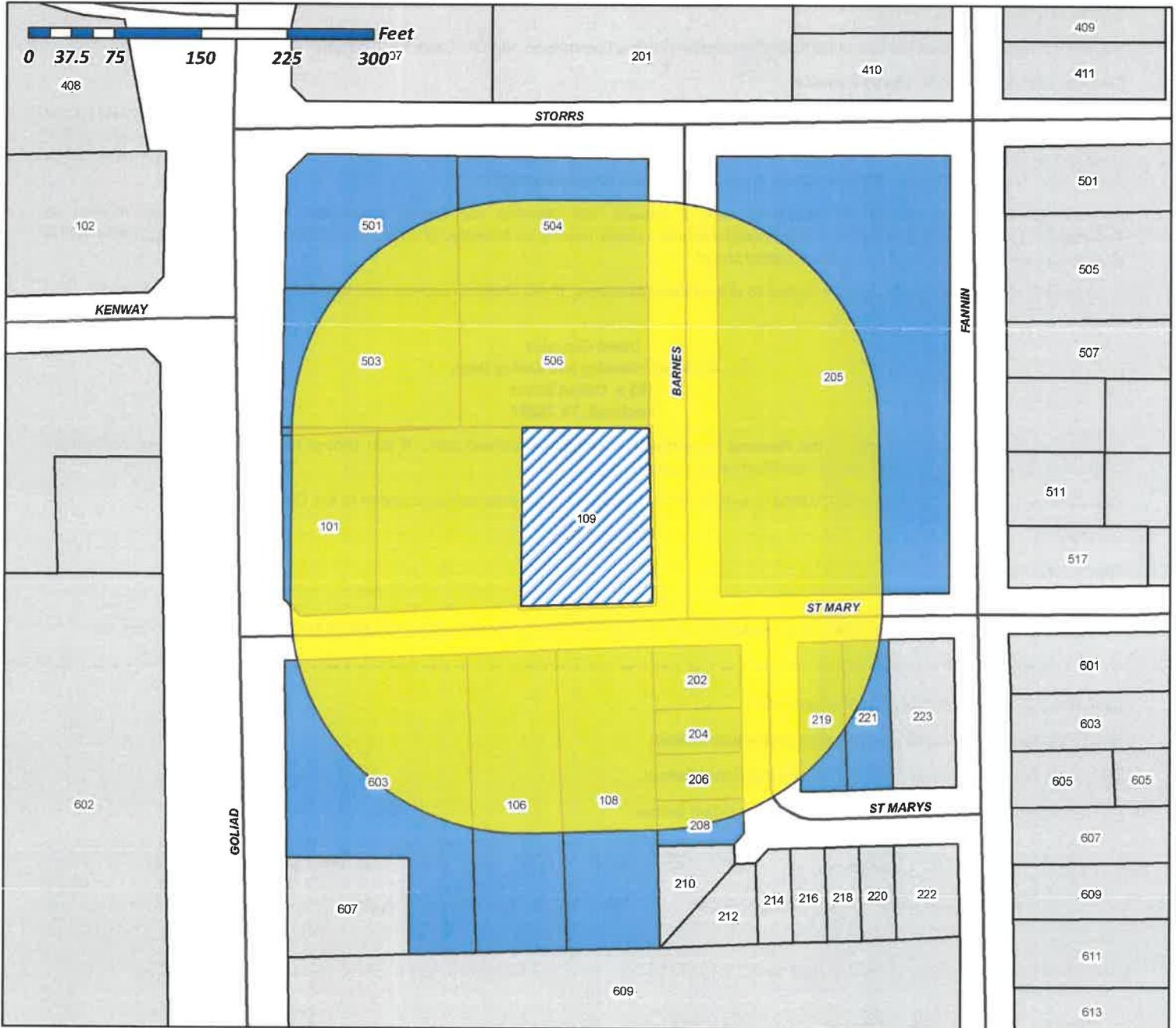
ection, the proposed  
The protest must be  
or (2) the area of the



# City of Rockwall

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**Case Number:** Z2014-003  
**Case Name:** 109 St. Mary's Remodel  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 109 St. Mary's

### Vicinity Map



**Date Created:** 1/24/2014

**For Questions on this Case Call (972) 771-7745**



# NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2014-003: 109 St. Mary's Remodel**

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

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Director of Planning & Zoning

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PLEASE RETURN THE BELOW FORM

**Case No. Z2014-003: 109 St. Mary's Remodel**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

WATKINS FAMILY MGT. LLC  
8441 S. F.M. 649 HEATH TX 75032

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Reference No	Last Name	Name	Legal Description	Address 1	Address 2	Address 3	City	State	ZIP
5061-0001-0004-00-0R		MOORE, GLEN & JACKIE	ST MARYS PLACE, BLOCK 1, LOT 4		2026 SUNNY CIR		ROCKWALL	TX	75032
3140-0804-0000-00-0R	LAKEPOINTE PHOTOGRAPHY	MERRITT P CRAIG JR	B F BOYDSTON, BLOCK 80C		504 BARNES ST		ROCKWALL	TX	75087
3140-0117-0004-00-0R		WAY FAMILY MANAGEMENT LLC	B F BOYDSTON, BLOCK 80A		8441 S FM 549		ROCKWALL	TX	75032
3140-0079-0000-00-0R		GRANDSTAFF DEANNA	B F BOYDSTON, BLOCK 117, LOT A		8128 MONTEREA VILLA TRL	APT 3016	FT WORTH	TX	76177
5061-0002-0001-00-0R		MIGNEAULT WILLIAM H & MELINDA	B F BOYDSTON, BLOCK 79, ACRES .500		188 RIDGEMONT DR		FORNEY	TX	75126
5061-0002-0002-00-0R		GREEN MAUREEN & MICKY R	ST MARYS PLACE, BLOCK 2, LOT 1		945 BREEZY HILL LN		ROCKWALL	TX	75087
3140-0808-0000-00-0R		PEOPLE'S BILLY W	ST MARYS PLACE, BLOCK 2, LOT 2		945 BREEZY HILL LN		ROCKWALL	TX	75087
3140-0117-0000-00-0R		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 80B	DAVID L BOND TRUSTEE JULIANA L BOND TAX EXEMPT TRUST	PO BOX 35		ALLEN	TX	75013
3140-0117-0000-00-0R		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT E	DAVID L BOND TRUSTEE JULIANA L BOND TAX EXEMPT TRUST			ALLEN	TX	75013
5061-0001-0001-00-0R		RICKARDS MICHAEL A ETUX	ST MARYS PLACE, BLOCK 1, LOT 1		202 SAINT MARYS PL	1122 SURREY LANE	ROCKWALL	TX	75087
5061-0001-0002-00-0R		VEGA JOHN & PAIVI S	ST MARYS PLACE, BLOCK 1, LOT 2		205 TUPELO DR		ROCKWALL	TX	75087
5061-0001-0003-00-0R		MORKEN PETER & GAY ANDERSON	ST MARYS PLACE, BLOCK 1, LOT 3	GILMA L MORKEN LIFE ESTATE	206 SAINT MARYS PL		ROCKWALL	TX	75087
3239-0004-0001-00-0R	ABANDONED ROW	SAINT JOSEPH BUILDING LLC	CARABAL ADDITION, BLOCK A, LOT 1		503 SOUTH GOLIAD		ROCKWALL	TX	75087
CEMETERY									
3205-0004-0001-00-0R	ROCKWALL NURSING CENTER	CAMPBELL W E	W E CAMPBELL, BLOCK A, LOT 1, ACRES 1.814	C/O RW SCC, LLC	206 STORNS ST		ROCKWALL	TX	75087
3140-0078-0000-00-0R	LOUR SALON & SPA	MERRITT CRAIG	B F BOYDSTON, BLOCK 78, ACRES .500		504 BARNES ST		ROCKWALL	TX	75087
3140-0117-0000-00-0R		MCCORD SHANNON	B F BOYDSTON, BLOCK 117, LOT C		501 S GOLIAD ST		ROCKWALL	TX	75087

**CITY OF ROCKWALL  
PLANNING AND ZONING COMMISSION MEMO**

**AGENDA DATE:** 02/11/2014

**APPLICANT:** Charlie Rickerson

**AGENDA ITEM:** Z2014-003; Detached Garage with Secondary Living Unit

---

**SUMMARY:**

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a *Landmarked Property*, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

**DISCUSSION:**

The applicant, Charlie Rickerson, is requesting approval of a Specific Use Permit (SUP) for the construction of a detached garage that will include a guest quarters/secondary living unit. The property is located at 109 St. Mary's St., zoned Single Family (SF-7) District, is recognized locally as a *Landmarked Property*, and was constructed in 1888. The *Folk Victorian* styled home is also known as the *Jordan House*. In keeping with the historic integrity of the property, the detached garage (accessory structure) will be composed primarily of a beveled (horizontal) six (6) inch wood siding, a steep sloped gabled roof with a staggered "shake" wall surface pattern on the façade, and decorative windows with the cornice and lintel matching the primary structures appearance. The garage door for the building will have the appearance of a carriage styled door, providing a historically relevant quality to the structure.

The proposed accessory structure will be a two (2) story structure with an overall square footage of approximately 1,152 sq. ft. and an overall height of 30.8 feet. The lower level of the accessory structure will consist of a detached garage that will be approximately 576 sq. ft. in area. The Unified Development Code (UDC) allows for one (1) detached garage in a residential district as long as it does not exceed 900 sq. ft. in area or fifteen (15) feet in height, provided that it is located on the same lot as the residential use and that the exterior cladding contains the same materials, excluding glass, as found on the main structure and is generally in the same proportion. The area of the proposed accessory structure does not exceed the maximum square footage allowed; however, it does exceed the maximum height of fifteen (15) feet, therefore requires an SUP.

In addition, the proposed accessory structure will provide a "Guest Quarters/Secondary Living Unit" to be located on the second floor. The applicant has submitted proposed floor plans for the accessory structure indicating the upstairs living space to be approximately 576 sq. ft., thereby not exceeding the maximum allowable area of 30% of the main structure (2738 sq. ft. X 30% = 821.4 sq. ft.). Under the Permissible Uses Section of the Unified Development Code

(UDC), a guest quarters/secondary living unit requires approval of an SUP with the following conditions:

- Guest quarters or secondary living units may be allowed on a property in a residential zoning district provided it is ancillary to the primary use and that only one such facility is provided.
- The area of such quarters shall not exceed 30% of the area of the main structure.
- No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance.

The Rickerson's have recently been approved for a Certificate of Appropriateness (COA) by the Historic Preservation Advisory Board (HPAB) that allows for the construction of the accessory building (with approval of an SUP) and restoration of the primary structure based on their goal of maintaining the historical integrity of the home. Although the intent of the applicant is to provide an accessory structure that is compatible in height, materials, color, design and style to the primary structure, the SUP remains a discretionary action for the Planning and Zoning Commission and City Council.

#### **NOTIFICATION:**

A public notice has been published in the Rockwall County News, on the City's web-site, and a sign has been posted on the property. Also, notices have been mailed to fifteen (15) property owners within 200-ft of the subject property as required by law. At time of this report, staff has received two (2) response "in favor of," and none "opposed to" the request.

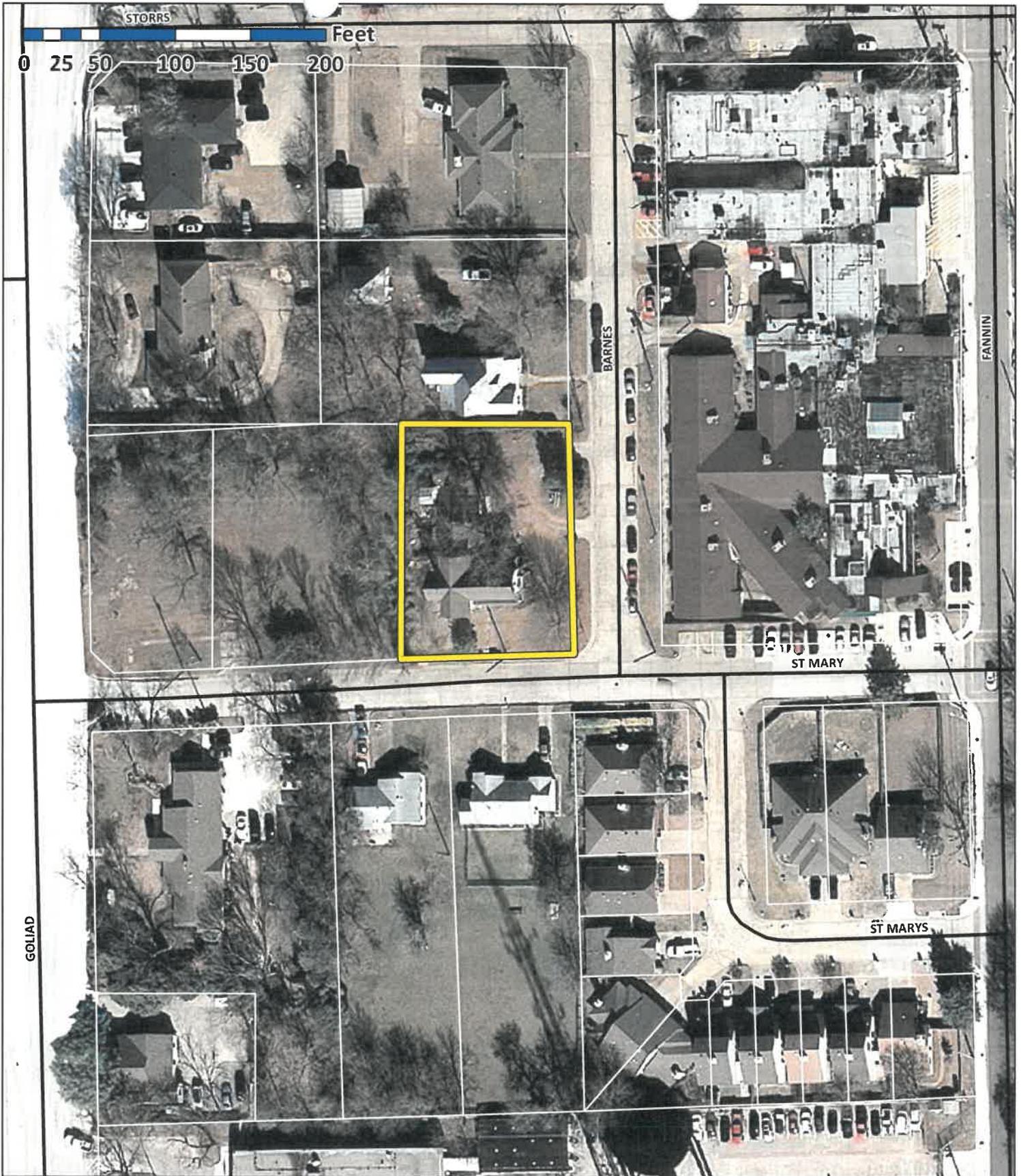
#### **RECOMMENDATIONS:**

On January 16, 2014, the Historic Preservation Advisory Board approved the request of a COA for the garage and secondary living unit, rear driveway and reconstructed front walkway with staff recommendations and to include an additional condition that the new front driveway be a ribbon driveway that extends a minimum of seventy feet from the front property line towards the garage prior to pouring a standard drive for maneuvering and parking purposes.

Should the request be approved, staff would offer the following conditions:

- 1) The applicant will be required to obtain a building permit from the Building Inspections Department prior to the commencement of any work on the subject property;
- 2) The detached garage/accessory structure shall comply with the submitted site plan and building elevations;
- 3) The detached garage/accessory structure shall not exceed an overall height of 32-ft;
- 4) The area of the detached garage shall not exceed 900 sq. ft.;
- 5) The second floor guest quarters/secondary living area shall not exceed 30% of the area of the main structure (i.e. 821.4 sq. ft.);
- 6) The guest quarters/secondary living unit shall be ancillary to the primary use and only one such unit shall be provided;

- 7) The detached garage/accessory structure may not be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance;
- 8) The accessory structure is subject to administrative review in the event that the subject property is sold, conveyed to another party, subdivided or re-platted;
- 9) The City Council reserves the right to review the SUP granted herein upon the expiration of one (1) year from the date hereof;
- 10) Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



## City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Reference No.	Last Name	Name	Legal Description	Address 1	Address 2	Address 3	City	State	Zip
5061-0001-0004-00-0R		MOORE GLEN & JACKIE	ST MARYS PLACE, BLOCK 1, LOT 4		2026 SUNNY CIR		ROCKWALL	TX	75032
3140-080C-0000-00-0R		MERRITT P CRAIG JR	B F BOYDSTON, BLOCK 80C		504 BARNES ST		ROCKWALL	TX	75087
3140-080A-0000-00-0R	LAKEPOINTE PHOTOGRAPHY	WAY FAMILY MANAGEMENT LLC	B F BOYDSTON, BLOCK 80A		8441 S FM 549		ROCKWALL	TX	75032
3140-0117-000A-00-0R		GRANDSTAFF DEANNA	B F BOYDSTON, BLOCK 117, LOT A		8128 MONTERRA VILLA TRL	APT 3016	FT WORTH	TX	76177
3140-0079-0000-00-0R		MIGNEAULT WILLIAM H & MELINDA	B F BOYDSTON, BLOCK 79, ACRES .500		188 RIDGEMONT DR		FORNEY	TX	75126
5061-0002-0001-00-0R		GREEN MAUREEN & MICKEY R	ST MARYS PLACE, BLOCK 2, LOT 1		945 BREEZY HILL LN		ROCKWALL	TX	75087
5061-0002-0002-00-0R		GREEN MAUREEN & MICKEY R	B F BOYDSTON, BLOCK 80B		945 BREEZY HILL LN		ROCKWALL	TX	75087
3140-080B-0000-00-0R		PEOPLES BILLY W	B F BOYDSTON, BLOCK 117, LOT E		PO BOX 35		ROCKWALL	TX	75013
3140-0117-000E-00-0R		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT D, ACRES 0.471	DAVID L BOND TRUSTEE JULIANA L BOND TAX EXEMPT TRUST	1122 SURREY LANE		ALLEN	TX	75013
3140-0117-000D-00-0R		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT D, ACRES 0.471	DAVID L BOND TRUSTEE JULIANA L BOND TAX EXEMPT TRUST	1122 SURREY LANE		ALLEN	TX	75013
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3205-000A-0001-00-0R	ROCKWALL NURSING CENTER	CAMPBELL W E	W E CAMPBELL, BLOCK A, LOT 1, ACRES 1.814	C/O RW SCC, LLC	206 STORRS ST		ROCKWALL	TX	75087
3140-0078-0000-00-0R		MERRITT CRAIG	B F BOYDSTON, BLOCK 7B, ACRES .500		504 BARNES ST		ROCKWALL	TX	75087
3140-0117-000C-00-0R	JOUR SALON & SPA	MCCORD SHANNON	B F BOYDSTON, BLOCK 117, LOT C		501 S GOLIAD ST		ROCKWALL	TX	75087



**NOTICE OF PUBLIC HEARING  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2014-003: 109 St. Mary's Remodel**

*Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 2/11/2014 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 2/17/2014 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087**

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **2/17/2014** to ensure they are included in the information provided to the City Council.

Sincerely,

**Robert LaCroix, AICP**  
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2014-003: 109 St. Mary's Remodel**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*No objection, but I would like to know where on the property the structure will be built. I can't see that online.*

Name: *Todd W. White, St. Joseph Building, LLC*

Address: *503 South Goliad, Rockwall, TX 75087*

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



**NOTICE OF PUBLIC HEARING**  
**CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**  
 PHONE: (972) 771-7745  
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Sincerely,

Robert LaCroix, AICP  
 Director of Planning & Zoning

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PLEASE RETURN THE BELOW FORM

**Case No. Z2014-003: 109 St. Mary's Remodel**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.



Name: **WAY FAMILY MGT. LLC**  
 Address: **8144 S. F.M. 649 HEATH TX 75032**

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

January 02, 2014

Historic Preservation Advisory Board,

We have submitted a list of projects we would like to complete on our home located at 109 St. Marys Street. Our requests are based upon improving the aesthetics and proper functionality of the property. Our primary purpose is to add a garage and two driveways that would coordinate with the style of the property. We currently have two dirt path driveways that enter the property from Barnes Lane. They are both frequently blocked by visitors or staff of the nursing home that is across from the property. We are restoring this property for our family to enjoy and to contribute positively to our Rockwall community. We are honored to be a part of such a rich history. Thank you for considering our requests.

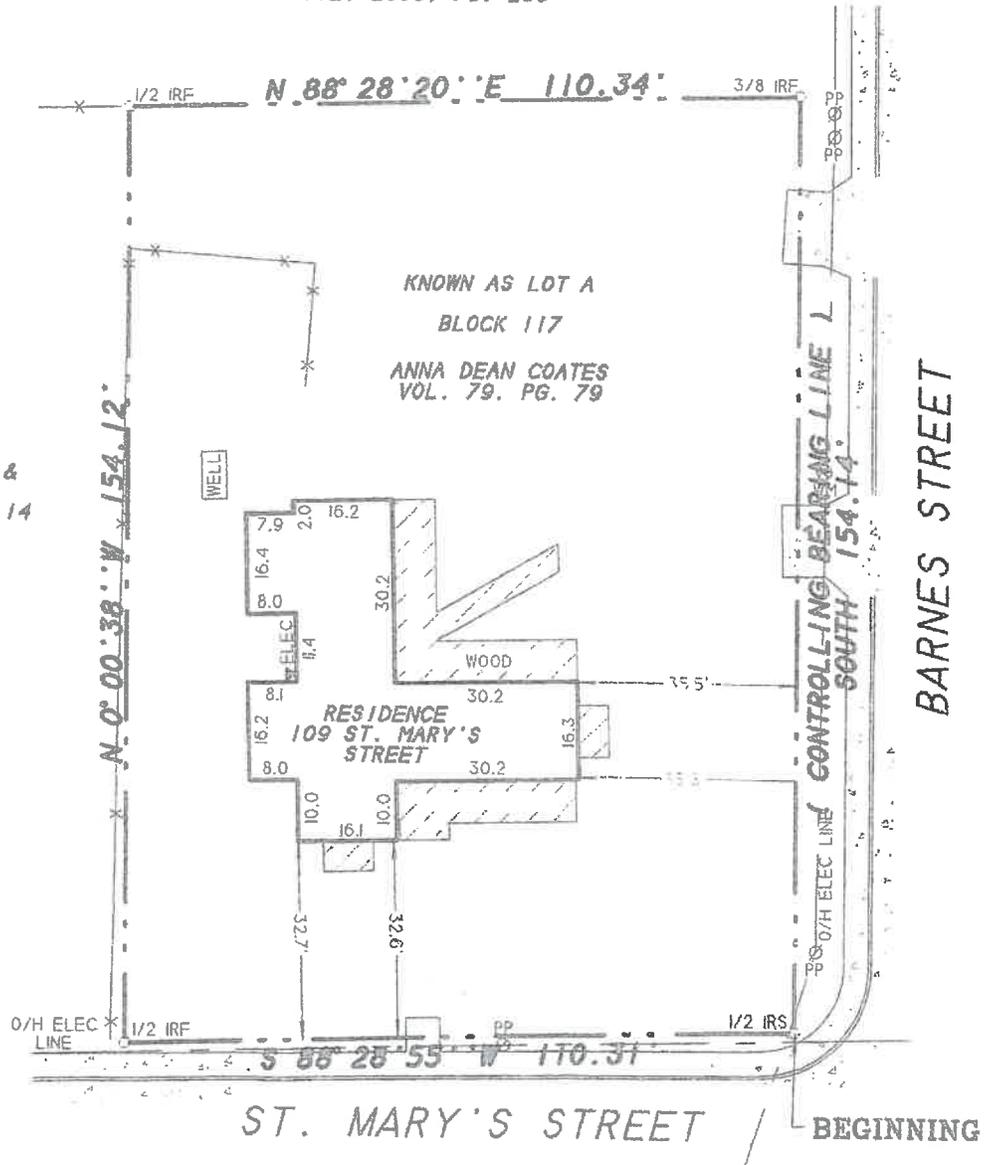
Sincerely,

Charlie & Ginni Rickerson



WILLIAM H. MIGNEALT  
VOL. 2933, PG. 260

NAN L. SMARTT &  
JULIA BOND  
VOL. 879, PG. 14



SURVEY ACCEPTED BY:

\_\_\_\_\_ DATE \_\_\_\_\_

\_\_\_\_\_ DATE \_\_\_\_\_

DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14, City of Rockwall, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Anna Dean Coates to Richard D. Jordan and Wilma D. Jordan, dated May 5, 1967 and being recorded in Volume 79, Page 79 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the intersection of the North right-of-way line of St. Mary's Street with the West right-of-way line of Barnes Street at the Southeast corner of said Jordan tract;

THENCE S. 88 deg. 28 min. 55 sec. W. along the North right-of-way line of St. Mary's Street, a distance of 110.31 feet to a 1/2" iron rod found for corner;

THENCE N. 00 deg. 00 min. 38 sec. W. a distance of 154.12 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 28 min. 20 sec. E. a distance of 110.34 feet to a 3/8" iron rod found for corner in the West right-of-way line of Barnes Street;

THENCE SOUTH (Controlling bearing line) along said right-of-way line, a distance of 154.14 feet to the POINT OF BEGINNING and containing 0.39 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for AMERICAN TITLE COMPANY, LEHMAN BROTHERS BANK, and DEANNA GRANDSTAFF at 109 ST. MARY'S STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 12th day of December, 2005.

  
 Harold D. Fetty III, R.P.L.S. No. 5034



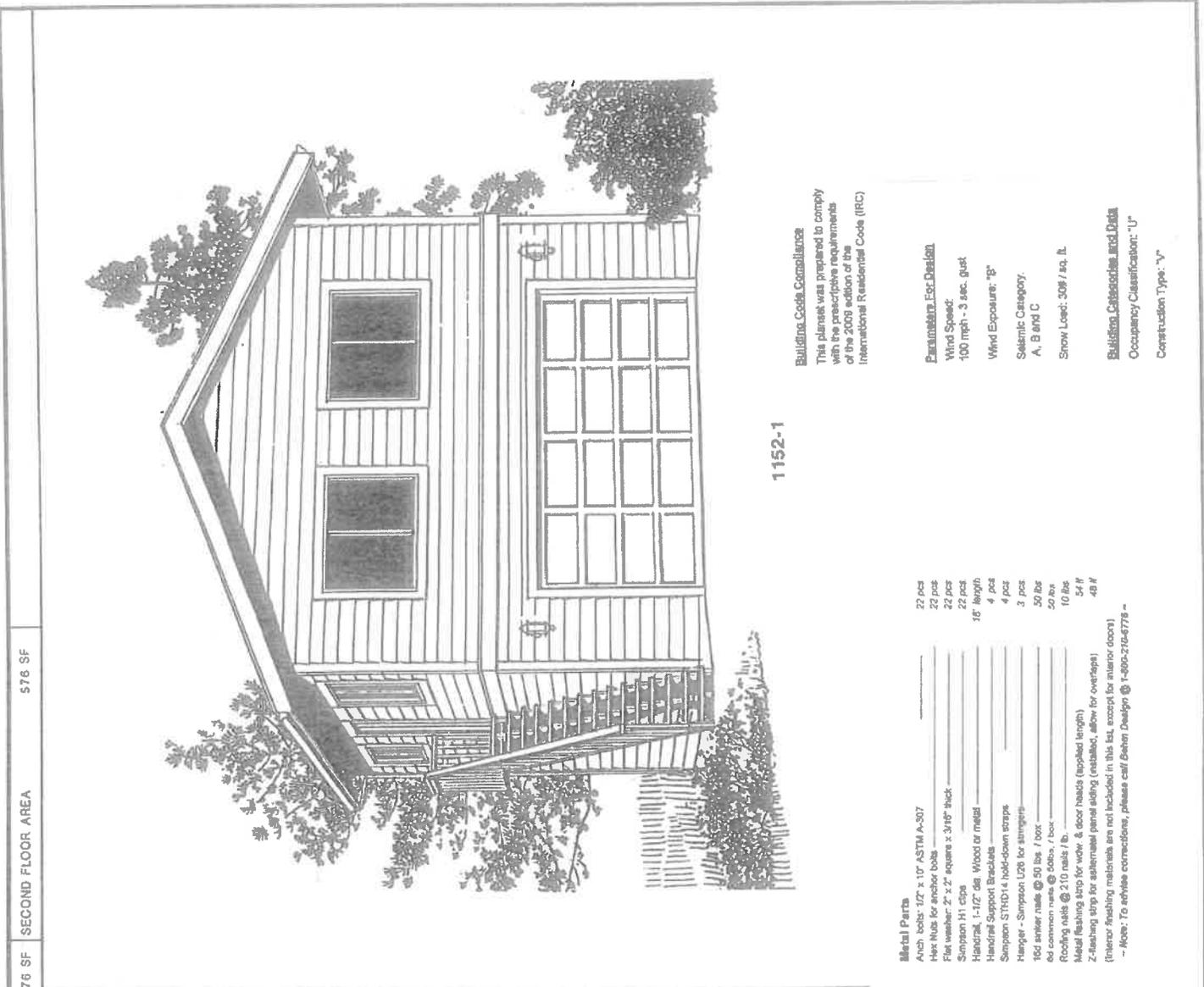
SYMBOL LEGEND				
⊙ TV	⊙ GAS	⊙ TEL	⊙ FH	⊙ PP
TELEPHONE TABLE NUMBER	GAS METER	PHONE NUMBER	FIRE HYDRANT	POWER POLE
▲ ELEC	⊙ TU ELEC	⊙ WH	⊙ 1/2" INF	⊙ INF
ELECTRIC METER	BOX SUBSTATION	WATER TOWER	1/2" AND 3/4" SCHEDULE (505.05)	1/2" INF
-X- PRICE	⊙ A/C	⊙ LP	⊙ LIGHT POLE	⊙ ROADWAY
	⊙ A/C UNIT	⊙ LP	⊙ LIGHT POLE	⊙ ROADWAY

**R.S.C.I.**  
 ROCKWALL SURVEYING CO., INC.

**LAND SURVEYING**

SURVEY DATE DECEMBER 12, 2005  
 SCALE 1" = 30' FILE# 20052148  
 CLIENT GRANDSTAFF GF# 17582-RW05





GROSS FLOOR AREA: 1152 SF | FIRST FLOOR AREA (GARAGE): 576 SF | SECOND FLOOR AREA 576 SF  
 GRADE TO RIDGE HEIGHT: 22' - 8"

**Building Materials List for Plan #1152-1**  
 \*Local building code approval substitutions may be made to this list -  
 Verify all construction methods and materials can require modification  
 of this list. Every attempt is made for greatest accuracy, but typographical  
 or human error is possible. Quantities verification by the materials supplier  
 is recommended before materials package is finalized and/or shipped.

**Concrete & Reinforcements For Stemwall/Footing Foundation**

Poured-in-place concrete	(see 111.5 by)	
#4 Reinforcing Steel Bar	548 #	28 - 20' pcr
W8 x 6 - vert. 4 x 4 wire mesh	500 #	126 ft. 4' rod
<b>Rough Framing</b>		
2 x 6 x 92-1/2" HF/DF "stud" exterior wall framing		180 pcr.
2 x 6 HF/DF ND 2 x 6 wall sole plate material		96 #
2 x 4 x 96" utility grade interior wall framing		65 pcr.
2 x 4 utility grade interior wall plates		128 #
2 x 6 x 96" utility grade interior wall framing		10 pcr.
2 x 6 utility grade interior wall plates		24 #
2 x 6 HF/DF No. 2 for ext. wall top plates		384 #
2 x 4 HF/DF No. 2 lockouts		48 #
2 x 5 HF/DF No. 2 pressure-treated muatl (bottom plate)		96 #
4 x 6 x 92-1/2" HF/DF No. 2 "king stud" material (for bracket support)		2 pcr.
4 x 4 x 96" HF/DF No. 2 support bracket material		3 pcr.
2 x 6 DF No. 1 header material	8' length	17 pcr.
5 1/2 x 8 1/4 LVL garage door header 2650Fb2 0E	18' length	1 pcr.
18" LP 32 second floor joists	23' - 8 3/4" length	19 pcr.
10" x 1'-10" back LPI rim joist material		48 #
3/4" T & G CD APA Plywood, ext. gus floor	4 x 8 sheet	18 sheets
2 x 6 HF/DF pressure treated landing joists	8' length	1 pcr.
2 x 8 HF/DF pressure treated landing joists	8' length	3 pcr.
2 x 12 HF No. 2 Stair Stringer	16' length	30 pcr.
2 x 2 cedar or treated wood for stair tread & landing	8' length	26 pcr.
2 x 2 cedar cap for guardrails	8' length	3 pcr.
1 x 4 cedar trim for guardrail	8' length	3 pcr.
2 x 4 x 22-1/2" steel joists w/ increased vent holes		13 pcr.
Roof Trusses: 4 - 12 pitch, 24'-0" span, including (2) ends		24 pcr.
<b>Sheathing Materials</b>		
7/16" o.s.b. Wall Sheathing	4 x 8 sheets	25 sheets
Vapor Barrier	4 x 8 sheets	53 sheets
Roof 15# bituminous felt paper in 36" wide roll		300 #
Wall 7# bituminous felt paper in 40" wide roll		680 #
Floor 005' black polyethylene membrane		576 sf
<b>Sliding Materials</b>		
8" insulated o.s.b. siding boards with 1" lap	1500 sf of soled area	
(interior siding) Insulated 7/16" o.s.b. panel siding	4 x 8 sheets	28 sheets
(exterior siding) Insulated 7/16" o.s.b. panel siding	4 x 10 sheets	24 sheets
Trim: 54 x 4	8' length	8 pcr.
Trim: 54 x 4	8' length	32 pcr.
Trim: 54 x 4	10' length	2 pcr.
Flasol: 1 x 6		52 #
Rakeboard: 2 x 6	16' length	4 pcr.
<b>Roofing Materials</b>		
Composition Roofing Shingles		731 sf
Roofvent material		24 #
<b>Windows and Doors</b>		
4068 interior bypass door assembly		2 ea
2608 interior swing door assembly		2 ea
2668 interior bi-fold door assembly		1 ea
2468 interior swing door assembly		2 ea
6040 slider window		2 ea
6030 slider window		1 ea
5040 slider window		2 ea
5038 slider window		1 ea
3030 slider window		2 ea
3089 - exterior door assembly		1 ea
18'-0" x 7'-0" sectional garage door assembly		

**Building Code Compliance**  
 This planset was prepared to comply with the prescriptive requirements of the 2008 edition of the International Residential Code (IRC)

**Parameters, Etc. Detail**  
 Wind Speed: 100 mph - 3 sec. gust  
 Wind Exposure: "B"  
 Seismic Category: A, B and C  
 Snow Load: 30# / sq. ft.

**Building Categories and Data**  
 Occupancy Classification: "U"  
 Construction Type: "V"

**Metal Parts**

Anch bolts: 1/2" x 10" ASTM A-307	22 pcr.
Hex Nuts for anchor bolts	22 pcr.
Flat washer: 2" x 2" square x 3/16" thick	22 pcr.
Simpson H1 clips	18' length
Handrail, 1-1/2" dia. Wood or metal	4 pcr.
Handrail Support Brackets	4 pcr.
Simpson STD14 hold-down straps	3 pcr.
Hanger - Simpson L26 for strappers	50 lbs
164 roller made @ 80 lbs / foot	50 lbs
64 roller made @ 40 lbs / foot	10 lbs
Rolling walk @ 210 lbs / ft.	34 #
2 - flashing stop for asphalt/stone panel siding (install, allow for overlaps)	48 #

(Interior finishing materials are not included in this list, except for minor doors)  
 - Note: To advise corrections, please call Behm Design @ 1-800-210-6778 -





# CITY OF ROCKWALL CITY COUNCIL MEMO

**AGENDA DATE:** 02/17/2014

**APPLICANT:** Charlie Rickerson

**AGENDA ITEM:** Z2014-003; Detached Garage with Secondary Living Unit

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## **SUMMARY:**

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a *Landmarked Property*, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

## **DISCUSSION:**

The applicant, Charlie Rickerson, is requesting approval of a Specific Use Permit (SUP) for the construction of a detached garage that will include a guest quarters/secondary living unit. The property is located at 109 St. Mary's St., zoned Single Family (SF-7) District, is recognized locally as a *Landmarked Property*, and was constructed in 1888. The *Folk Victorian* styled home is also known as the *Jordan House*. In keeping with the historic integrity of the property, the detached garage (accessory structure) will be composed primarily of a beveled (horizontal) six (6) inch wood siding, a steep sloped gabled roof with a staggered "shake" wall surface pattern on the façade, and decorative windows with the cornice and lintel matching the primary structures appearance. The garage door for the building will have the appearance of a carriage styled door, providing a historically relevant quality to the structure.

The proposed accessory structure will be a two (2) story structure with an overall square footage of approximately 1,152 sq. ft. and an overall height of 30.8 feet. The lower level of the accessory structure will consist of a detached garage that will be approximately 576 sq. ft. in area. The Unified Development Code (UDC) allows for one (1) detached garage in a residential district as long as it does not exceed 900 sq. ft. in area or fifteen (15) feet in height, provided that it is located on the same lot as the residential use and that the exterior cladding contains the same materials, excluding glass, as found on the main structure and is generally in the same proportion. The area of the proposed accessory structure does not exceed the maximum square footage allowed; however, it does exceed the maximum height of fifteen (15) feet, therefore requires an SUP.

In addition, the proposed accessory structure will provide a "Guest Quarters/Secondary Living Unit" to be located on the second floor. The applicant has submitted proposed floor plans for the accessory structure indicating the upstairs living space to be approximately 576 sq. ft., thereby not exceeding the maximum allowable area of 30% of the main structure (2738 sq. ft. X 30% = 821.4 sq. ft.). Under the Permissible Uses Section of the Unified Development Code

(UDC), a guest quarters/secondary living unit requires approval of an SUP with the following conditions:

- Guest quarters or secondary living units may be allowed on a property in a residential zoning district provided it is ancillary to the primary use and that only one such facility is provided.
- The area of such quarters shall not exceed 30% of the area of the main structure.
- No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance.

The Rickerson's have recently been approved for a Certificate of Appropriateness (COA) by the Historic Preservation Advisory Board (HPAB) that allows for the construction of the accessory building (with approval of an SUP) and restoration of the primary structure based on their goal of maintaining the historical integrity of the home. Although the intent of the applicant is to provide an accessory structure that is compatible in height, materials, color, design and style to the primary structure, the SUP remains a discretionary action for the Planning and Zoning Commission and City Council.

### **NOTIFICATION:**

A public notice has been published in the Rockwall County News, on the City's web-site, and a sign has been posted on the property. Also, notices have been mailed to fifteen (15) property owners within 200-ft of the subject property as required by law. At time of this report, staff has received two (2) response "in favor of," and none "opposed to" the request.

### **RECOMMENDATIONS:**

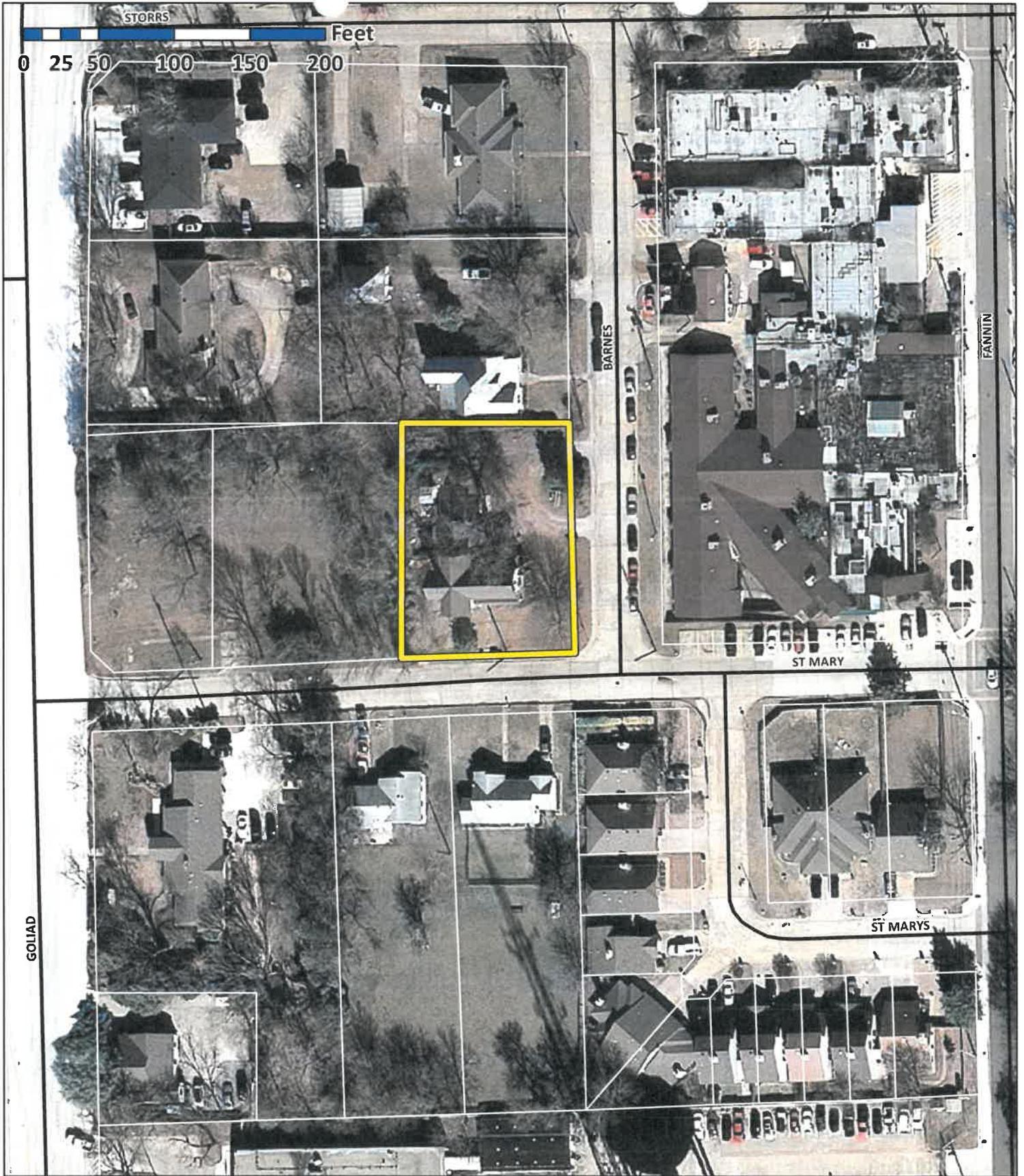
On January 16, 2014, the Historic Preservation Advisory Board approved the request of a COA for the garage and secondary living unit, rear driveway and reconstructed front walkway with staff recommendations and to include an additional condition that the new front driveway be a ribbon driveway that extends a minimum of seventy feet from the front property line towards the garage prior to pouring a standard drive for maneuvering and parking purposes.

Should the request be approved, staff would offer the following conditions:

- 1) The applicant will be required to obtain a building permit from the Building Inspections Department prior to the commencement of any work on the subject property;
- 2) The detached garage/accessory structure shall comply with the submitted site plan and building elevations;
- 3) The detached garage/accessory structure shall not exceed an overall height of 32-ft;
- 4) The area of the detached garage shall not exceed 900 sq. ft.;
- 5) The second floor guest quarters/secondary living area shall not exceed 30% of the area of the main structure (i.e. 821.4 sq. ft.);
- 6) The guest quarters/secondary living unit shall be ancillary to the primary use and only one such unit shall be provided;

- 7) The detached garage/accessory structure may not be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance;
- 8) The accessory structure is subject to administrative review in the event that the subject property is sold, conveyed to another party, subdivided or re-platted;
- 9) The City Council reserves the right to review the SUP granted herein upon the expiration of one (1) year from the date hereof;
- 10) Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

On February 11, 2014, the Planning and Zoning Commission recommended approval of the Specific Use Permit request with staff conditions by a vote of 5 to 1 (Lyons - against & Minth - absent).



## City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

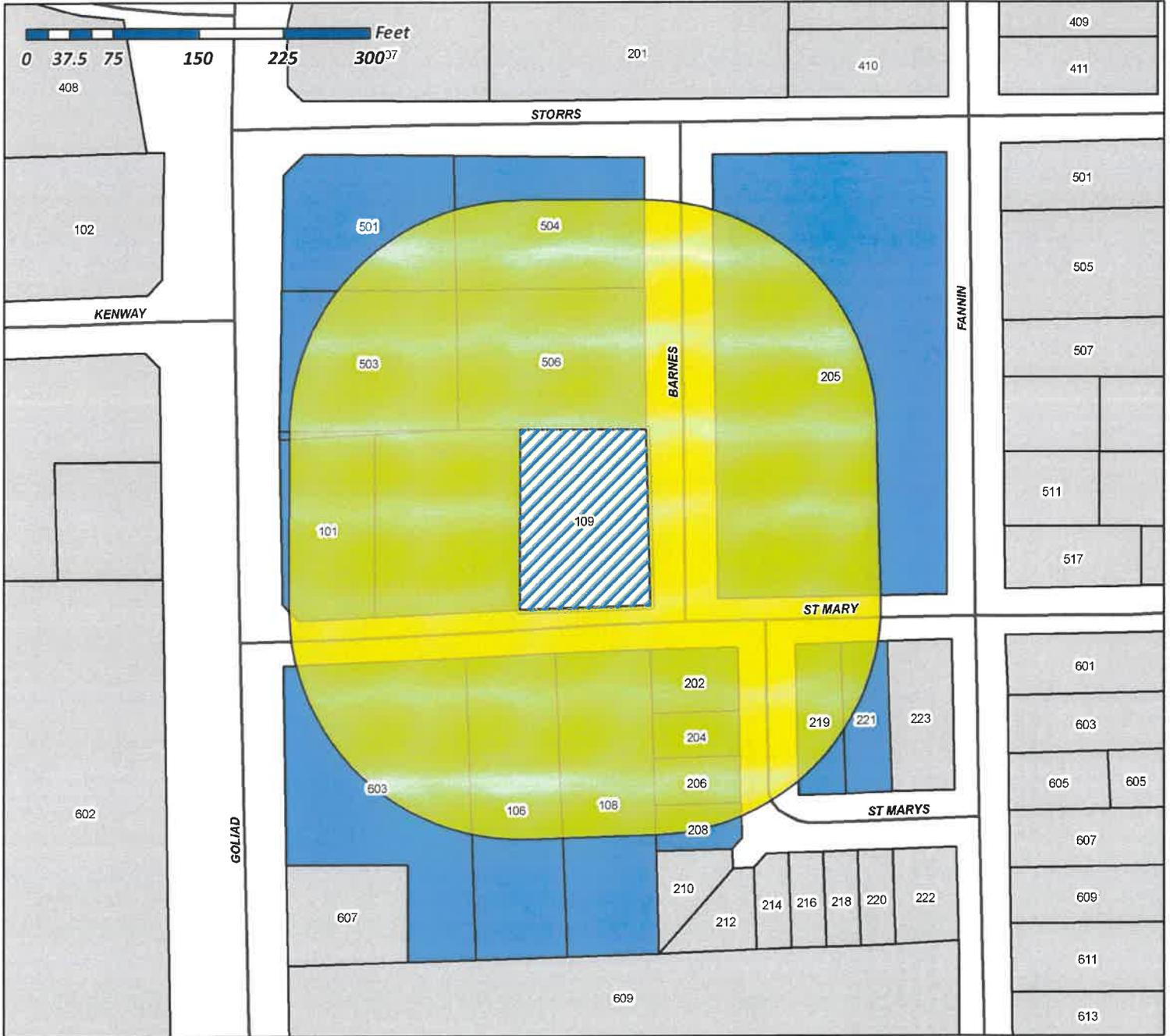




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2014-003  
**Case Name:** 109 St. Mary's Remodel  
**Case Type:** Specific Use Permit  
**Zoning:** SF-7  
**Case Address:** 109 St. Mary's



**Date Created:** 1/24/2014

**For Questions on this Case Call (972) 771-7745**

Reference No.	Last Name	Name	Legal Description	Address 1	Address 2	Address 3	City	State	Zip
5061-0001-0004-00-0R		MOORE GLEN & JACKIE	ST MARYS PLACE, BLOCK 1, LOT 4		2026 SUNNY CIR		ROCKWALL	TX	75032
3140-080C-0000-00-0R		MERRITT P CRAIG JR	B F BOYDSTON, BLOCK 80C		504 BARNES ST		ROCKWALL	TX	75087
3140-080A-0000-00-0R	LAWPOINTE PHOTOGRAPHY	WAY FAMILY MANAGEMENT LLC	B F BOYDSTON, BLOCK 80A		8441 S FM 549		ROCKWALL	TX	75032
3140-0117-000A-00-0R		GRANDSTAFF DEANNA	B F BOYDSTON, BLOCK 117, LOT A		8128 MONTERRA VILLA TRL	APT 3016	FT WORTH	TX	76177
3140-0079-0000-00-0R		MIGNEAULT WILLIAM H & MELINDA	B F BOYDSTON, BLOCK 79, ACRES .500		188 RIDGEMONT DR		FORNEY	TX	75126
5061-0002-0001-00-0R		GREEN MAUREEN & MICKY R	ST MARYS PLACE, BLOCK 2, LOT 1		945 BREEZY HILL LN		ROCKWALL	TX	75087
5061-0002-0002-00-0R		GREEN MAUREEN & MICKY R	ST MARYS PLACE, BLOCK 2, LOT 2		945 BREEZY HILL LN		ROCKWALL	TX	75087
3140-080B-0000-00-0R		PEOPLES BILLY W	B F BOYDSTON, BLOCK 80B		PO BOX 35		ROCKWALL	TX	75087
3140-0117-000E-00-0R		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT E	DAVID L BOND TRUSTEE JULIANA L BOND TAX EXEMPT TRUST		1122 SURREY LANE	ALLEN	TX	75013
3140-0117-000D-00-0R		BOND DAVID L AND LOUIS ANNE BOND AND	B F BOYDSTON, BLOCK 117, LOT D, ACRES 0.471	DAVID L BOND TRUSTEE JULIANA L BOND TAX EXEMPT TRUST		1122 SURREY LANE	ALLEN	TX	75013
5061-0001-0001-00-0R		RICKARDS MICHAELA ETUX	ST MARYS PLACE, BLOCK 1, LOT 1		202 SAINT MARYS PL		ROCKWALL	TX	75087
5061-0001-0002-00-0R		VEGA JOHN & PAM S	ST MARYS PLACE, BLOCK 1, LOT 2		205 TUPELO DR		ROCKWALL	TX	75087
5061-0001-0003-00-0R		MORKEN PETER & GAY ANDERSON	ST MARYS PLACE, BLOCK 1, LOT 3		206 SAINT MARYS PL		ROCKWALL	TX	75087
3239-000A-0001-00-0R	ABANDONED ROW	SAINT JOSEPH BUILDING LLC	CARABAJAL ADDITION, BLOCK A, LOT 1	GILMA L MORKEN LIFE ESTATE	503 SOUTH GOLIAD		ROCKWALL	TX	75087
3205-000A-0001-00-0R		CAMPBELL W E	W E CAMPBELL, BLOCK A, LOT 1, ACRES 1.814	C/O RW SCC, LLC	206 STORRS ST		ROCKWALL	TX	75087
3140-0078-0000-00-0R		MERRITT CRAIG	B F BOYDSTON, BLOCK 78, ACRES .500		504 BARNES ST		ROCKWALL	TX	75087
3140-0117-000C-00-0R	JOUR SALON & SPA	MCCORD SHANNON	B F BOYDSTON, BLOCK 117, LOT C		501 S GOLIAD ST		ROCKWALL	TX	75087



**NOTICE OF PUBLIC HEARING  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2014-003: 109 St. Mary's Remodel**

*Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 2/11/2014 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 2/17/2014 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087**

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **2/17/2014** to ensure they are included in the information provided to the City Council.

Sincerely,

**Robert LaCroix, AICP**  
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2014-003: 109 St. Mary's Remodel**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*No objection, but I would like to know where on the property the structure will be built. I can't see that online.*

Name: *Todd W White, St. Joseph Building, LLC*  
Address: *503 South Goliad, Rockwall, TX 75087*

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



# NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2014-003: 109 St. Mary's Remodel**

Hold a public hearing to discuss and consider a request by Charlie Rickerson for the approval of a Specific Use Permit to allow a detached garage with guest quarters/secondary living unit that will exceed the maximum permissible height for an accessory structure on a 0.40-acre parcel of land identified as Lot A, Block 117, B. F. Boydston Addition, Rockwall, Rockwall County, Texas, also identified as a Landmarked Property, zoned Single Family 7 (SF-7) District, located at 109 St. Mary's Street, and take any action necessary.

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----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2014-003: 109 St. Mary's Remodel**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.



Name: **WAY FAMILY MGT. LLC**  
Address: **8441 S. FM. 649 HEATH TX 75032**

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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

January 02, 2014

Historic Preservation Advisory Board,

We have submitted a list of projects we would like to complete on our home located at 109 St. Marys Street. Our requests are based upon improving the aesthetics and proper functionality of the property. Our primary purpose is to add a garage and two driveways that would coordinate with the style of the property. We currently have two dirt path driveways that enter the property from Barnes Lane. They are both frequently blocked by visitors or staff of the nursing home that is across from the property. We are restoring this property for our family to enjoy and to contribute positively to our Rockwall community. We are honored to be a part of such a rich history. Thank you for considering our requests.

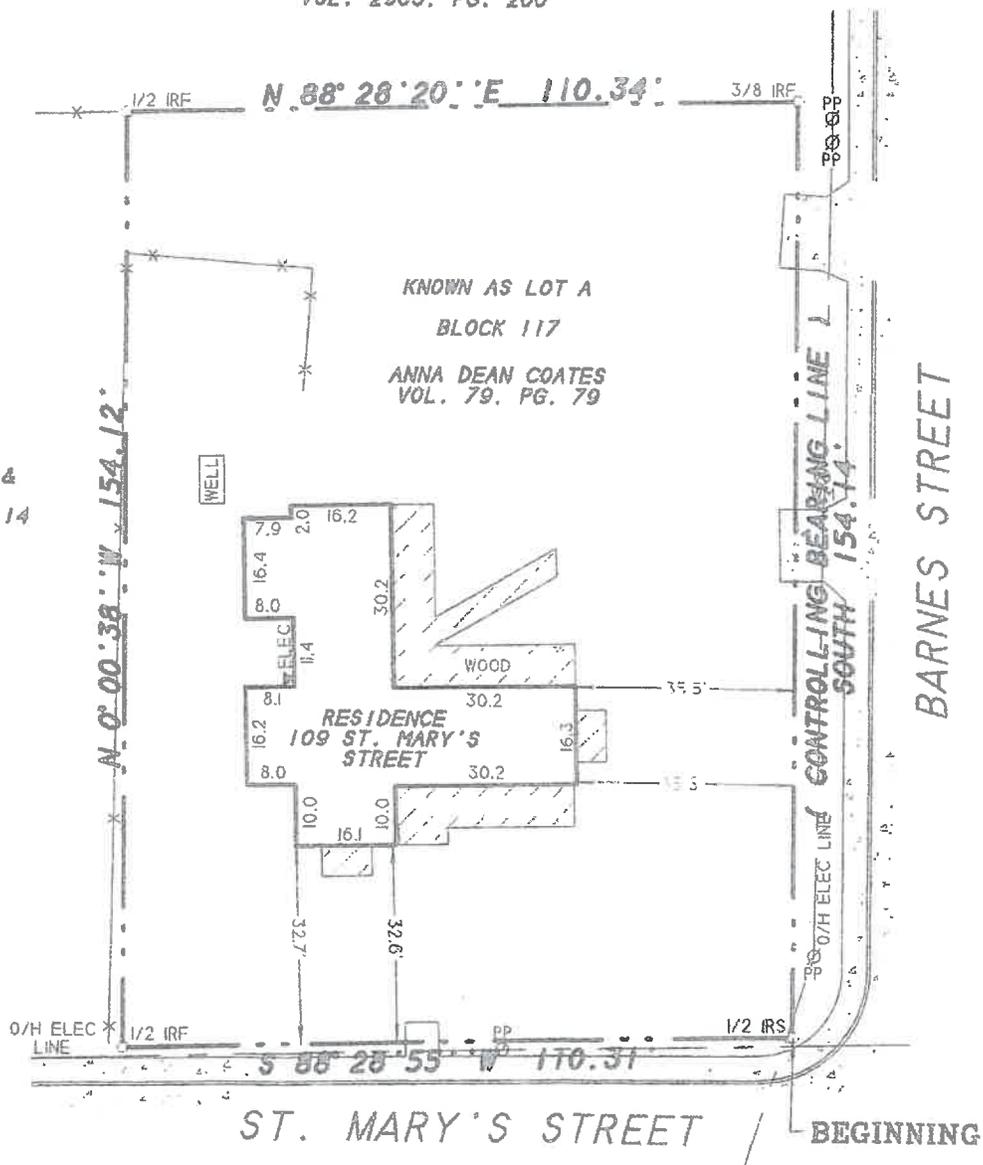
Sincerely,

Charlie & Ginni Rickerson

WILLIAM H. MIGNEALT  
VOL. 2933, PG. 260



NAN L. SMARTT &  
JULIA BOND  
VOL. 879, PG. 14



SURVEY ACCEPTED BY:

\_\_\_\_\_ DATE \_\_\_\_\_

\_\_\_\_\_ DATE \_\_\_\_\_





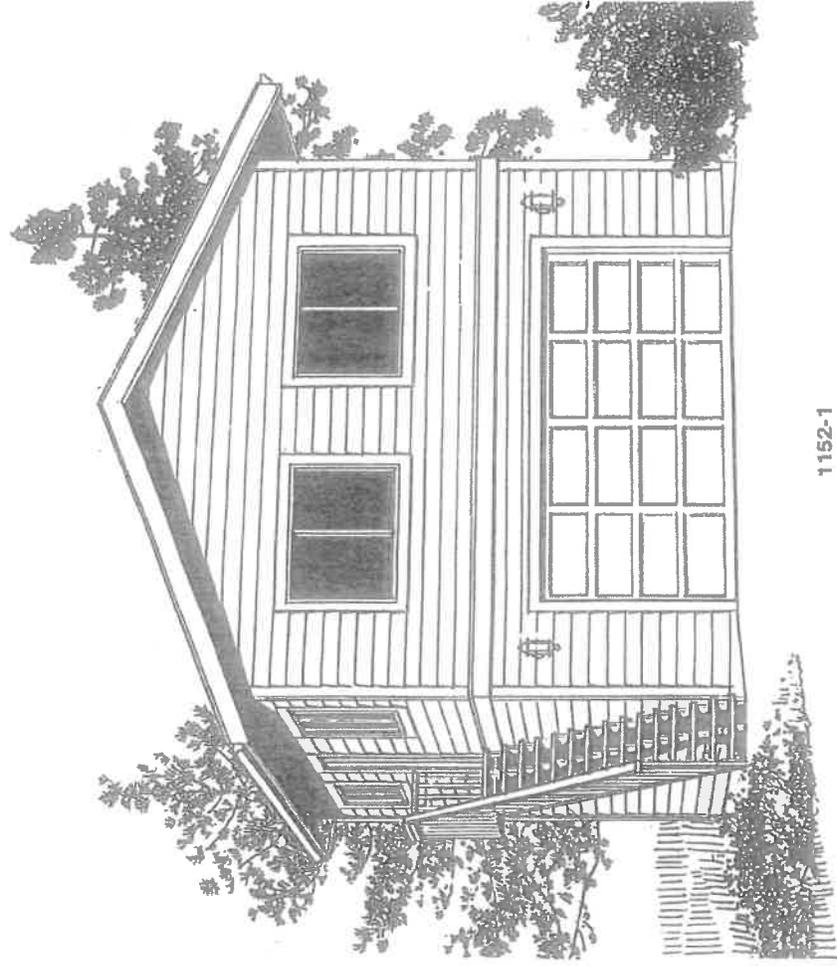
Shabe

GRADE TO RIDGE HEIGHT: 22' - 8"  
GROSS FLOOR AREA: 1152 SF | FIRST FLOOR AREA (GARAGE): 576 SF | SECOND FLOOR AREA: 576 SF

**Building Materials List for Plan #1152-1**

- Local building code approved substitutions may be made to this list -  
- Variations in construction methods and materials can require modification of this list. Every attempt is made for greatest accuracy, but typographical or human error is possible. Quantities verification by the materials supplier is recommended before materials purchase is finalized and/or shipped.

Item Description	Quantity	Unit
Concrete & Reinforcements For Stemwall/Footing Foundation		
Poured-in-place concrete (min.) 11.5 cy		
#4 Reinforcing Steel Bar	568 lf	28 - 20' pcs
w/8" x 6" w/ 4 x 1.4 w mesh	508 sf	128 lf, 4' roll
Rough Framing		
2 x 6 x 10-1/2" HFDF "saw" exterior wall framing	180 pcs	
2 x 6 HFDF NO. 2 ext wall sole plate material	96 lf	
2 x 4 x 8" utility grade interior wall framing	65 pcs	
2 x 4 utility grade interior wall studs	128 lf	
2 x 8 x 8" utility grade interior wall studs	10 pcs	
2 x 8 solid grade exterior wall studs	24 lf	
2 x 8 HFDF No. 2 for ext wall top plates	354 lf	
2 x 4 HFDF No. 2 for inside	48 lf	
2 x 6 HFDF No. 2 pressure-treated miscell. (bottom plate)	96 lf	
4 x 4 x 8-1/2" HFDF No. 2 "long stud" material (for bracket support)	2 pcs	
4 x 4 x 8" HFDF No. 2 support bracket material	3 pcs	
2 x 6 DF No. 1 header material	17 pcs	8' length
5 1/2 x 9 1/4 LVL garage door header 2660F02.0E	7 pcs	8' length
18" LPA 32 second floor joists	19 pcs	23' - 2 3/4" length
18" x 1-1/8" block LPI rim joint material	48 lf	
3/4" T & G C-D APA Plywood, ext. glue floor	4 x 8 sheet	
2 x 6 HFDF pressure treated landing joists	1 pc	
2 x 8 HFDF pressure treated landing joists	8' length	
2 x 12 HF No. 2 Stair Stringer	3 pcs	
2 x 4 cedar or treated wood for stair tread & landing	18' length	
2 x 2 cedar pockets for guardrails	8' length	
2 x 4 cedar cap for guardrails	26 pcs	
1 x 4 cedar trim for guardrails	3 pcs	
2 x 4 x 2-1/2" vene boards w/ screened vent holes	13 pcs	8' length
26 pcs		
Sheathing Materials		
15/32" 5-ply C-D APA, ext. glue P 1 2400 Roof Sh	25 sheets	4 x 8 sheets
7/16" o.s.b. Wall Sheathing	53 sheets	4 x 8 sheets
Vapor Barrier		
Roof 15# bituminous felt paper in 36" wide roll	300 lf	
Wall 7# bituminous felt paper in 48" wide roll	60 lf	
Floor 10# black polyethylene membrane	576 sf	
Sliding Materials		
8" treated o.s.b. siding boards with 1" lap	1500 sf	of roof area
(alternate siding) treated 7/16" o.s.b. panel siding	20 sheets	
(alternate siding) untreated 7/16" o.s.b. panel siding	4 x 8 sheets	
Trim 5/4 x 4 (use 1 x 4 trims for alt. siding)	24 sheets	
Trim 5/4 x 2	8 pcs	5' length
Trim 5/4 x 4	32 pcs	8' length
Fascia: 1 x 6	2 pcs	10' length
Roofboard 2 x 6	52 lf	
Roofing Materials		
Compression Roofing Shingles	4 pcs	16' length
Roofing material	731 sf	of roof area
24 lf		
Windows and Doors		
4088 interior bypass door assembly	2 ea	
2028 interior swing door assembly	2 ea	
2028 interior bi-fold door assembly	1 ea	
2400 interior swing door assembly	2 ea	
6000 slider window	2 ea	
6000 slider window	2 ea	
5000 slider window	1 ea	
5035 slider window	2 ea	
3035 slider window	1 ea	
3068 slider window	2 ea	
16'-0" x 7'-0" sectional garage door assembly	1 ea	



1152-1

**Building Code Compliance**  
This plan set was prepared to comply with the prescriptive requirements of the 2009 edition of the International Residential Code (IRC)

**Parameters For Design**  
Wind Speed: 100 mph - 3 sec. gust  
Wind Exposure: 'B'  
Seismic Category: A, B and C  
Snow Load: 30# / sq. ft.

**Building, Occupancy and Data**  
Building Classification: 'U'  
Construction Type: 'U'

**Metal Parts**

Anchor bolts: 1/2" x 10" ASTM A-307	22 pcs
Flue Nuts for anchor bolts	22 pcs
Flue washer: 2" x 2" square x 3/16" thick	22 pcs
Simpson H1 clips	22 pcs
Handrail, 1-1/2" Dia. Wood or metal	16' length
Handrail Support Bracket	4 pcs
Simpson SH1D 14 hold-down straps	4 pcs
Hanger - Simpson U28 for stringers	3 pcs
100 anchor nails @ 90 lbs. / box	50 lbs
6d common nails @ 50 lbs. / box	50 lbs
Roofing nails @ 210 nails / lb	10 lbs
Z-flashing strip for vents, & door heads (prepped length)	54 lf
Z-flashing strip for exterior panel siding (prepped, allow for overlaps)	48 lf

(Minor finishing materials are not included in this list, except for interior doors)  
- Note: To advise corrections, please call Behm Design @ 1-800-210-6776 -





CITY OF ROCKWALL

ORDINANCE NO. 14-

SPECIFIC USE PERMIT NO. S-

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT ALLOWING FOR A DETACHED GARAGE WITH GUEST QUARTERS/SECONDARY LIVING UNIT, EXCEEDING THE MAXIMUM PERMISSIBLE HEIGHT OF 15-FT. FOR AN ACCESSORY STRUCTURE, ON A 0.40-ACRE PARCEL OF LAND IDENTIFIED AS LOT A, BLOCK 117, B.F. BOYDSTUN ADDITION, LOCATED AT 109 ST. MARY'S STREET, AND FURTHER DESCRIBED IN EXHIBIT "A" ATTACHED HERETO, AND ZONED (SF-7) SINGLE-FAMILY RESIDENTIAL DISTRICT; CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Charlie Rickerson for a Specific Use Permit (SUP) within the (SF-7) Single-Family Residential district allowing for a "detached garage with guest quarters/secondary living unit" exceeding the maximum permissible height 15-ft. for an accessory structure, on a parcel of land located at 109 St. Mary's Street, being Lot A, Block 117, B.F. Boydston Addition, as further described in Exhibit "A", City of Rockwall, Rockwall County, Texas, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for a "detached garage with guest quarters/secondary living unit" exceeding the maximum permissible height of 15-ft. for an accessory structure within the (SF-7) Single Family Residential District as stipulated by the Unified Development Code [Ordinance no. 04-38] on the *Subject Property*; and

**Section 2.** That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) and as set forth in the Unified Development Code [Ordinance No. 04-38] as heretofore amended, and as may be amended in the future, and shall be subject to the additional conditions and compliance standards;

## 2.1 Operational Conditions

The following conditions pertain to the operation of a "detached garage with guest quarters/secondary living unit" on the *Subject Property*, and conformance to these operational conditions is required for continued operations;

1. The applicant will be required to obtain a building permit from the Building Inspections Department prior to the commencement of any work on the subject property;
2. The detached garage / accessory structure shall comply with the approved site plan (Exhibit "A") and building elevations contained in the Certificate of Appropriateness (COA) as approved by the Historic Preservation Advisory Board on January 16, 2014;
3. The detached garage / accessory structure shall not exceed an overall height of 32 feet;
4. The area of the detached garage shall not exceed 900 sq. ft.;
5. The second floor "guest quarters/secondary living unit" area shall not exceed 30% of the area of the main structure (i.e.821.4 sq. ft.);
6. The "guest quarters/secondary living unit" shall be ancillary to the primary use and only one such unit shall be provided;
7. The detached garage/accessory structure may not be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance;
8. The accessory structure is subject to administrative review in the event that the subject property is sold, conveyed to another party, subdivided or re-platted;
9. The City Council reserves the right to review the SUP granted herein upon the expiration of one (1) year from the date hereof;
10. Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of

the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

**Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this \_\_\_ day of \_\_\_\_\_, 2014.**

\_\_\_\_\_  
David Sweet, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Ashberry, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1st Reading: \_\_\_\_\_

2nd Reading: \_\_\_\_\_





March 10, 2014

**ATTN:**

Charlie Rickerson  
109 St. Mary's Street,  
ROCKWALL, TX 75087

**RE: SUP ZONING (Z2014-003), 109 St. Mary's Remodel**

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by City Council on 03/03/2014 via Ordinance No. 14-10. The following is a record of all recommendations, voting records and conditions of approval:

*On January 16, 2014, the Historic Preservation Advisory Board approved the request of a COA for the garage and secondary living unit, rear driveway and reconstructed front walkway with staff recommendations and to include an additional condition that the new front driveway be a ribbon driveway that extends a minimum of seventy feet from the front property line towards the garage prior to pouring a standard drive for maneuvering and parking purposes.*

*Should the request be approved, staff would offer the following conditions:*

- 1) The applicant will be required to obtain a building permit from the Building Inspections Department prior to the commencement of any work on the subject property;*
- 2) The detached garage/accessory structure shall comply with the submitted site plan and building elevations;*
- 3) The detached garage/accessory structure shall not exceed an overall height of 32-ft;*
- 4) The area of the detached garage shall not exceed 900 sq. ft.;*
- 5) The second floor guest quarters/secondary living area shall not exceed 30% of the area of the main structure (i.e. 821.4 sq. ft.);*
- 6) The guest quarters/secondary living unit shall be ancillary to the primary use and only one such unit shall be provided;*
- 7) The detached garage/accessory structure may not be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance;*
- 8) The accessory structure is subject to administrative review in the event that the subject property is sold, conveyed to another party, subdivided or re-platted;*
- 9) The City Council reserves the right to review the SUP granted herein upon the expiration of one (1) year from the date hereof;*



10) Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

On February 11, 2014, the Planning and Zoning Commission recommended approval of the Specific Use Permit request with staff conditions by a vote of 5 to 1 (Lyons - against & Minth -absent).

On February 17, 2014, the City Council approved the Specific Use Permit request with staff conditions by a vote of 6 to 0 (Council Member Lewis absent). 1st Reading.

On March 3, 2014, the City Council approved the Specific Use Permit request with staff conditions by a vote of 7 to 0. 2nd Reading.

Please contact the City of Rockwall Planning staff at (972) 771-7745 with any questions or concerns regarding this matter.

Sincerely,



**David Gonzales, Planner**  
Planning & Zoning Department  
City of Rockwall, TX

CITY OF ROCKWALL

ORDINANCE NO. 14-10

SPECIFIC USE PERMIT NO. S-119

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT ALLOWING FOR A DETACHED GARAGE WITH GUEST QUARTERS/SECONDARY LIVING UNIT, EXCEEDING THE MAXIMUM PERMISSIBLE HEIGHT OF 15-FT. FOR AN ACCESSORY STRUCTURE, ON A 0.40-ACRE PARCEL OF LAND IDENTIFIED AS LOT A, BLOCK 117, B.F. BOYDSTUN ADDITION, LOCATED AT 109 ST. MARY'S STREET, AND FURTHER DESCRIBED IN EXHIBIT "A" ATTACHED HERETO, AND ZONED (SF-7) SINGLE-FAMILY RESIDENTIAL DISTRICT; CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Charlie Rickerson for a Specific Use Permit (SUP) within the (SF-7) Single-Family Residential district allowing for a "detached garage with guest quarters/secondary living unit" exceeding the maximum permissible height 15-ft. for an accessory structure, on a parcel of land located at 109 St. Mary's Street, being Lot A, Block 117, B.F. Boydston Addition, as further described in Exhibit "A", City of Rockwall, Rockwall County, Texas, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for a "detached garage with guest quarters/secondary living unit" exceeding the maximum permissible height of 15-ft. for an accessory structure within the (SF-7) Single Family Residential District as stipulated by the Unified Development Code [Ordinance no. 04-38] on the *Subject Property*; and

**Section 2.** That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) and as set forth in the Unified Development Code [Ordinance No. 04-38] as heretofore amended, and as may be amended in the future, and shall be subject to the additional conditions and compliance standards;

## 2.1 Operational Conditions

The following conditions pertain to the operation of a "detached garage with guest quarters/secondary living unit" on the *Subject Property*, and conformance to these operational conditions is required for continued operations;

1. The applicant will be required to obtain a building permit from the Building Inspections Department prior to the commencement of any work on the subject property;
2. The detached garage / accessory structure shall comply with the approved site plan (Exhibit "A") and building elevations contained in the Certificate of Appropriateness (COA) as approved by the Historic Preservation Advisory Board on January 16, 2014;
3. The detached garage / accessory structure shall not exceed an overall height of 32 feet;
4. The area of the detached garage shall not exceed 900 sq. ft.;
5. The second floor "guest quarters/secondary living unit" area shall not exceed 30% of the area of the main structure (i.e.821.4 sq. ft.);
6. The "guest quarters/secondary living unit" shall be ancillary to the primary use and only one such unit shall be provided;
7. The detached garage/accessory structure may not be sold or conveyed separately without meeting the requirements of the zoning district and the Subdivision Ordinance;
8. The accessory structure is subject to administrative review in the event that the subject property is sold, conveyed to another party, subdivided or re-platted;
9. The City Council reserves the right to review the SUP granted herein upon the expiration of one (1) year from the date hereof;
10. Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

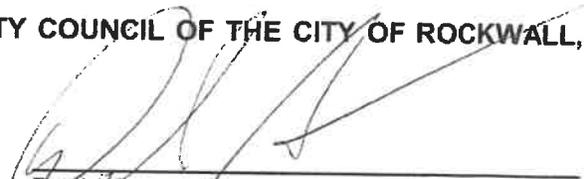
**Section 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it

would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

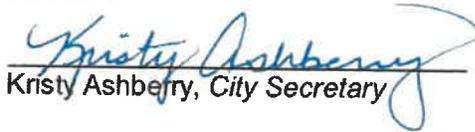
**Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 3<sup>rd</sup> day of February, 2014.**

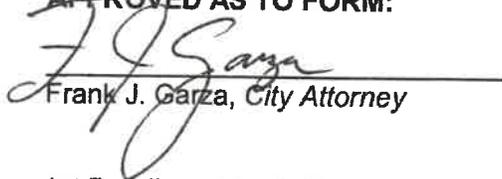
  
\_\_\_\_\_  
David Sweet, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Ashberry, City Secretary



**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney

1st Reading: 02-17-14

2nd Reading: 03-03-14

