



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22019-004 P&Z DATE _____ CC DATE _____

APPROVED/DENIED ARB DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# _____)
- ☐ APPLICATIONS
- ☐ RECIEPT
- ☐ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE _____
 - ☐ CABINET # _____
 - ☐ SLIDE # _____

NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING

PLANNING CASE NO.

2018-004

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
☐ Final Plat (\$300.00 + \$20.00 Acre)¹
☐ Replat (\$300.00 + \$20.00 Acre)¹
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address

706 STILLWATER

Subdivision

Lot

Block

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

- ☐ **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]☐ Owner

Jim & Kelley Matthews

☐ Applicant

Contact Person

Jim MATTHEWS

Contact Person

Address

706 STILLWATER

Address

City, State & Zip

Rockwall 75087

City, State & Zip

Phone

214-502-7685

Phone

E-Mail

choiceheatandair@AOL.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

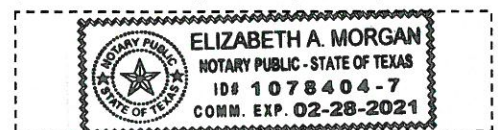
Before me, the undersigned authority, on this day personally appeared Jim Matthews [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 300.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of Feb, 20 18. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of Feb., 20 18.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas



My Commission Expires

02-28-21



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

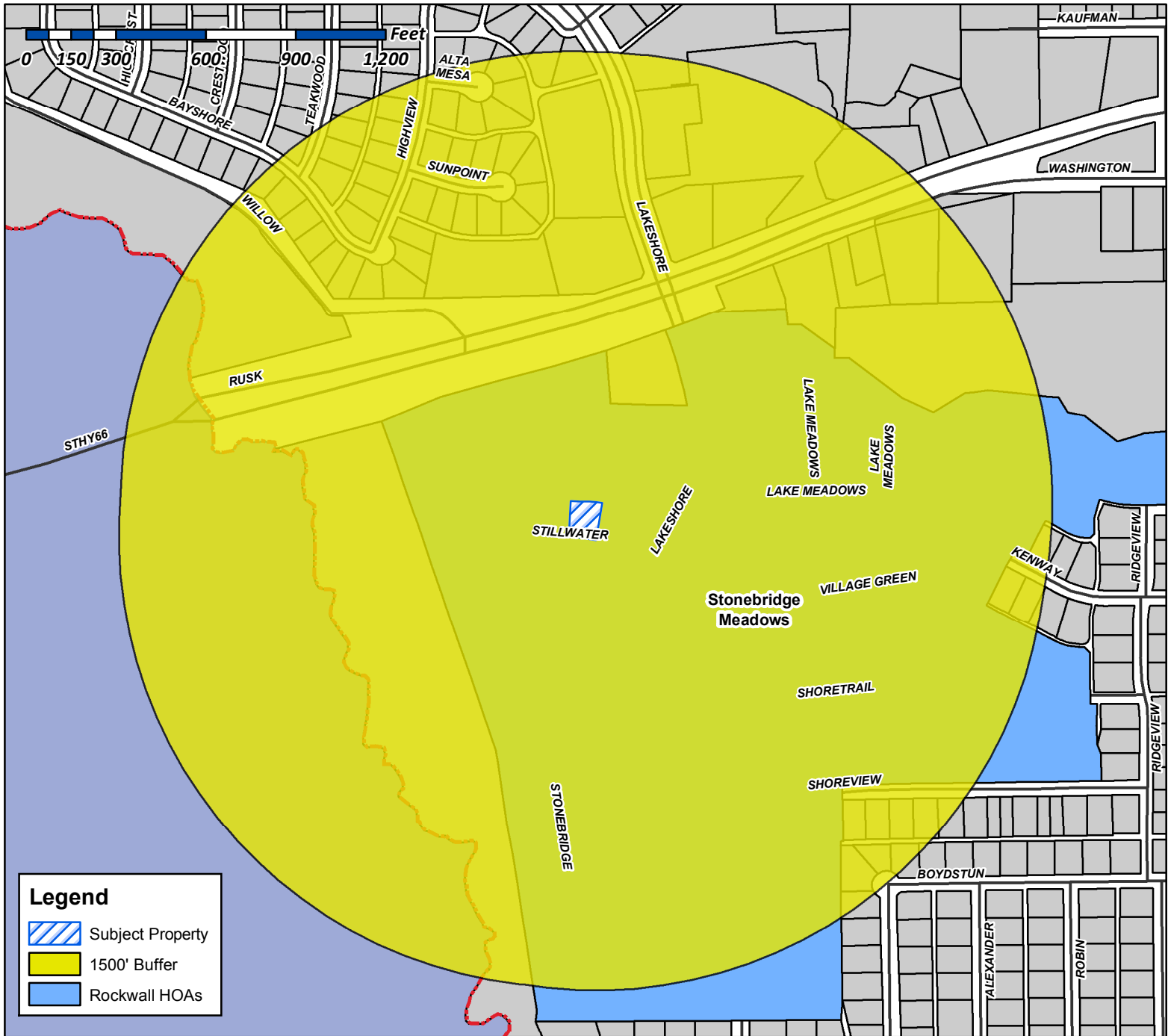




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

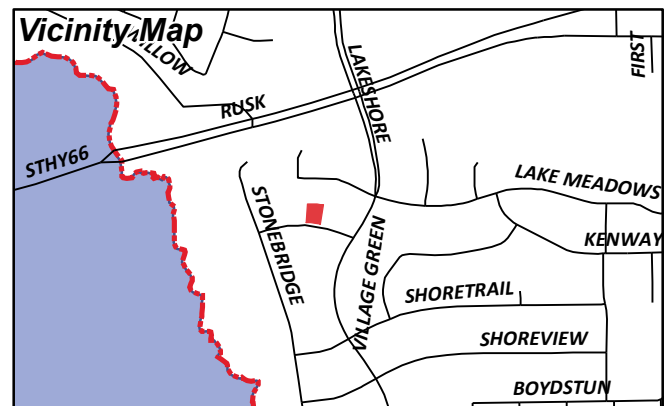
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2018-004
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: SF-10 District
Case Address: 706 Stillwater Drive

Date Created: 02/19/2018

For Questions on this Case Call (972) 771-7745

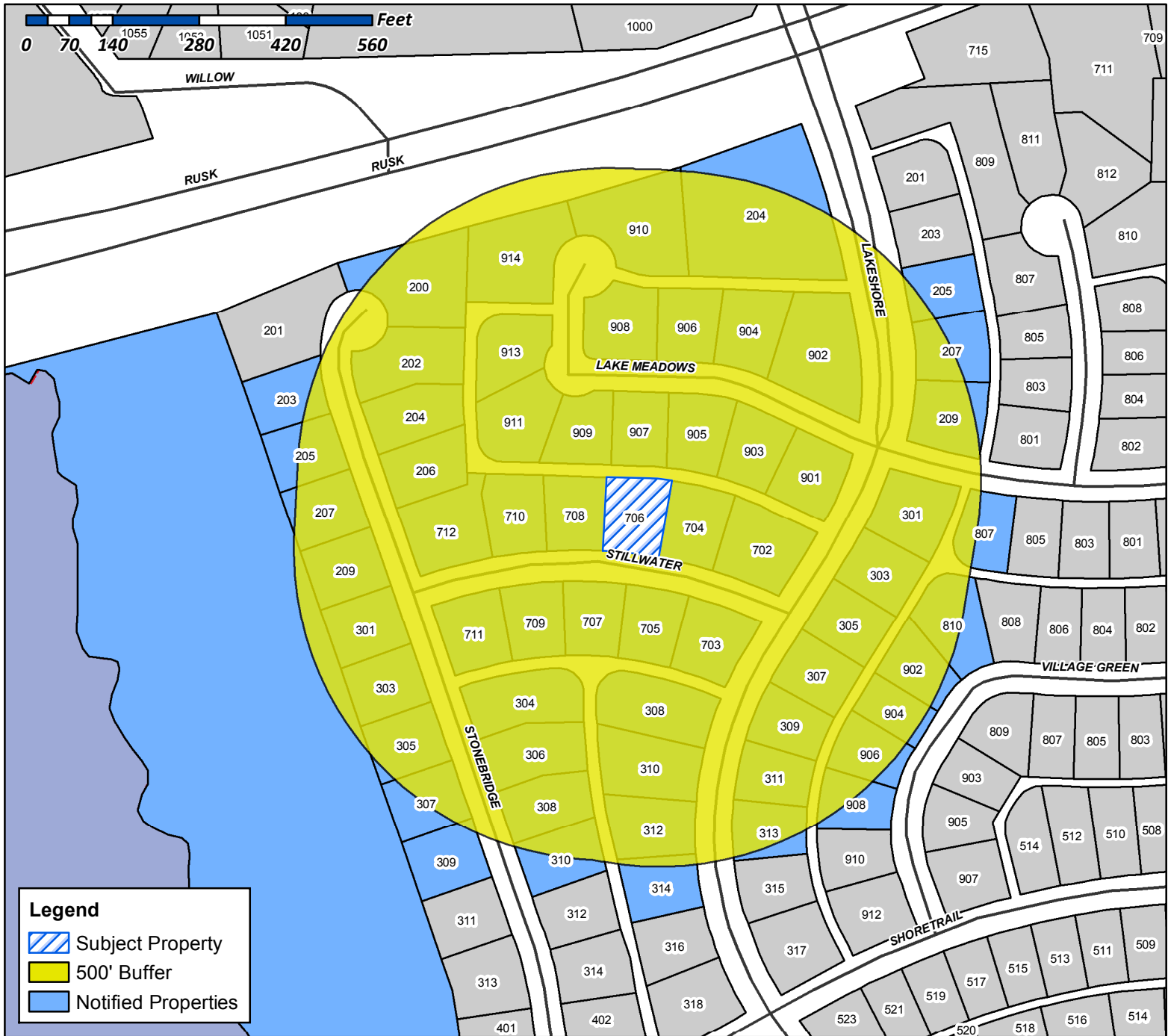




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



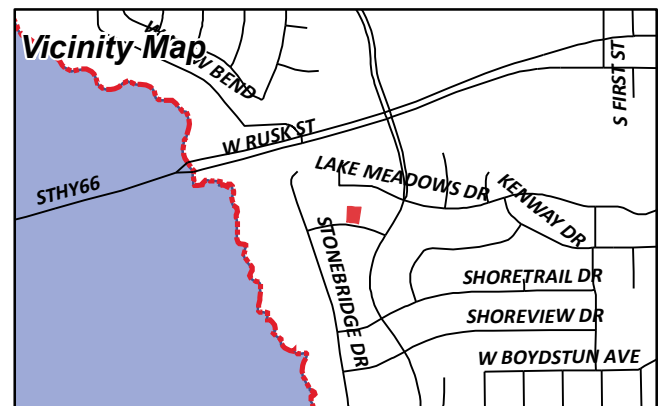
Legend

- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2018-004
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: SF-10 District
Case Address: 706 Stillwater Drive

Date Created: 02/19/2018

For Questions on this Case Call (972) 771-7745



HARRISON CLIFFORD JR
1650 S JOHN KING BLVD #3801
ROCKWALL, TX 75032

STORMS STEWART M
1938 S LAKESHORE DR
ROCKWALL, TX 75087

HADDOCK VICKIE L ETAL
200 STONEBRIDGE DR
ROCKWALL, TX 75087

HERRIDGE KENNETH & JANICE
202 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GARRETT DAVID L AND CYNTHIA B
203 STONEBRIDGE DR
ROCKWALL, TX 75087

ASI GYMNASTICS PROPERTY RO LLC
204 S LAKESHORE DR
ROCKWALL, TX 75087

STEVENS WILLIAM T & LINDA
204 STONEBRIDGE DR
ROCKWALL, TX 75087

DUNCAN KEITH M & PATRICIA A
205 S LAKESHORE DR
ROCKWALL, TX 75087

SPRADLING LARRY P & SHIRLEY J
205 STONEBRIDGE DR
ROCKWALL, TX 75087

MORRIS J NEIL AND MICHELLE KIZER
206 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
207 STONEBRIDGE DR
ROCKWALL, TX 75087

VINES GREGORY STEVEN
207 SOUTH LAKESHORE DR
ROCKWALL, TX 75087

GAINES WILLIAM C & KELLEY A
209 SOUTH LAKESHORE
ROCKWALL, TX 75087

CONFIDENTIAL
209 STONEBRIDGE DR
ROCKWALL, TX 75087

KRATZ WILLIAM
2265 GARDEN CREST DR
ROCKWALL, TX 75087

DICKEY CLYDE E & FELITA
26 ENSIS RD
HILTON HEAD, SC 29928

HERNANDEZ PAUL GARACIA AND DOMINGA G
301 S LAKESHORE DR
ROCKWALL, TX 75087

MILLER TRACI AND
0
301 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GARDINER GARY F & VICKIE
303 S LAKESHORE DR
ROCKWALL, TX 75087

BLAHA JAN & ROBERT
303 STONEBRIDGE DR
ROCKWALL, TX 75087

DORSEY KIPPER L & LINDA O
304 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
305 LAKESHORE DR
ROCKWALL, TX 75087

CAIN T D ETUX
305 STONEBRIDGE DR
ROCKWALL, TX 75087

WILKERSON CASSANDRA A
306 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
307 LAKESHORE DR
ROCKWALL, TX 75087

POTTER MICHAEL C
307 STONEBRIDGE DR
ROCKWALL, TX 75087

RAHMANDAR JULIUS LIEM
308 S LAKESHORE DR
ROCKWALL, TX 75087

CUMMINGS LORI LYNN MALLOY & JOHN LEE
308 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GRAMENTINE SUSAN E
309 S LAKESHORE DR
ROCKWALL, TX 75087

HUTCHINS HAROLD CLYDE & KAREN
309 STONEBRIDGE DR
ROCKWALL, TX 75087

LEWIS MARTHA JEAN
310 S LAKESHORE DR
ROCKWALL, TX 75087

DEAPEN ALICIA & RICHARD
310 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

CRUES VERNON D & GERALDINE A
311 S LAKESHORE DR
ROCKWALL, TX 75087

DEGELIA JASPER & TEDDIE
312 S LAKESHORE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
313 LAKESHORE DR
ROCKWALL, TX 75087

WITWER WILLIAM F AND LISA C
314 S LAKESHORE DR
ROCKWALL, TX 75087

SMITH GARLAND KENT
575 BREEZY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
702 STILLWATER DR
ROCKWALL, TX 75087

BARNES GERALD D & LINDA C
703 STILLWATER DR
ROCKWALL, TX 75087

ALSTON ROBERT M & MARY P
704 STILLWATER DR
ROCKWALL, TX 75087

GARDENHIRE DONA GENE SPELCE
705 STILLWATER DR
ROCKWALL, TX 75087

MATTHEWS JAMES D AND KELLEY M
706 STILLWATER DR
ROCKWALL, TX 75087

UMBARGER IMOGENE T
707 STILLWATER DR
ROCKWALL, TX 75087

KEATING WILLIAM F
708 STILLWATER DR
ROCKWALL, TX 75087

CURRENT RESIDENT
709 STILLWATER DR
ROCKWALL, TX 75087

GUSTAFSON MARION
710 STILLWATER DR
ROCKWALL, TX 75087

WELLS PATRICK S & RHONDA C
711 STILLWATER DR
ROCKWALL, TX 75087

KEEFER CLAUD PAUL SR AND JEWEL TINDALL
KEEFER
712 STILLWATER DR
ROCKWALL, TX 75087

LARUE ANDREW T
807 LAKE MEADOWS DR
ROCKWALL, TX 75087

HOWARD KAREN &
0
810 VILLAGE GREEN DR
ROCKWALL, TX 75087

CUTBUSH DAVID & WENDY
901 LAKE MEADOWS DR
ROCKWALL, TX 75087

WALKER TOMMY H AND SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

EQUITY TRUST COMPANY CUSTODIAN
0
902 VILLAGE GREEN DR
ROCKWALL, TX 75087

METZGER TAMMY AND TIMOTHY
903 LAKE MEADOWS DR
ROCKWALL, TX 75087

SHERRIN NOEL & LOIS
904 LAKE MEADOWS DR
ROCKWALL, TX 75087

CONFIDENTIAL
904 VILLAGE GREEN DR
ROCKWALL, TX 75087

BOWENS BILLY NORRIS
905 LAKE MEADOWS DR
ROCKWALL, TX 75087

VUCKOVIC ZLATAN & JOANNE M
906 LAKE MEADOWS DR
ROCKWALL, TX 75087

ROUTEN DANIEL C & KRISTI P
906 VILLAGE GREEN DR
ROCKWALL, TX 75087

SAMFORD BRIAN S & LISA E
907 LAKE MEADOWS DR
ROCKWALL, TX 75087

WHITE JACOB A & PRISELDA B
908 LAKE MEADOWS DR
ROCKWALL, TX 75087

ORLOWSKI RAYMOND & BARBARA
908 VILLAGE GREEN DR
ROCKWALL, TX 75087

JENSEN LEE ROBERT & SUSAN MARY
909 LAKE MEADOWS DR
ROCKWALL, TX 75087

COOK WILLIAM F
910 LAKE MEADOWS DR
ROCKWALL, TX 75087

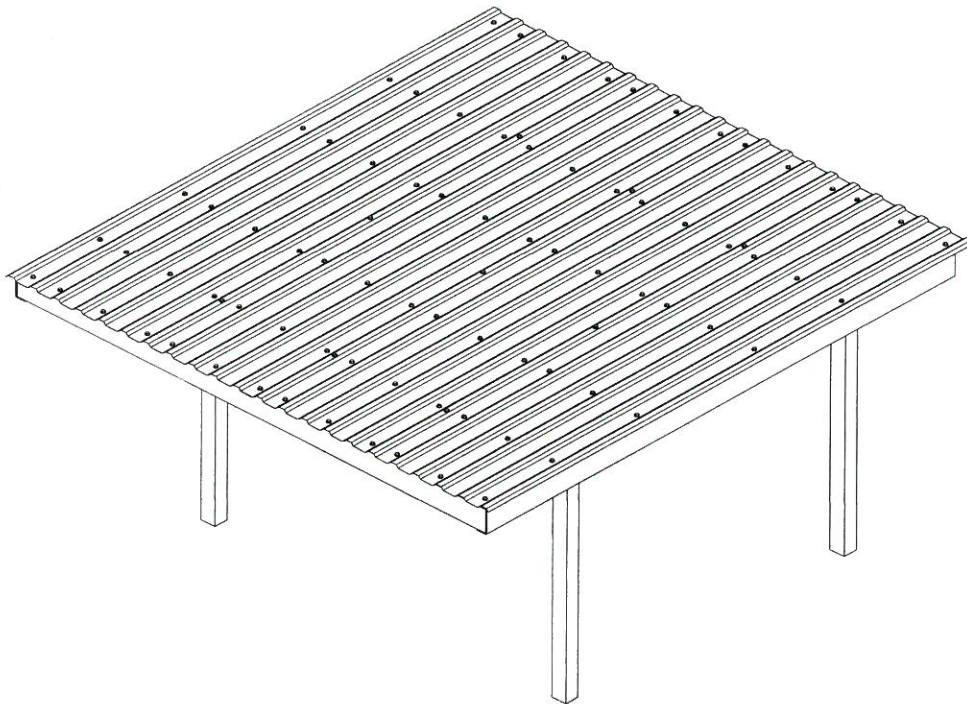
CUMMINGS DANIEL DEE ET UX
911 LAKE MEADOWS DR
ROCKWALL, TX 75087

BROWNE MARK
913 LAKE MEADOWS DRIVE
ROCKWALL, TX 75087

YBARRA LEOPOLD AND SONIA
914 LAKE MEADOWS DR
ROCKWALL, TX 75087

DOUGLAS LEE DENDY LIFE ESTATE AND
0
DOUGLAS KEITH DENDY AND RANDY LEE DENDY
0
TERRELL, TX 75160

706 Stillwater



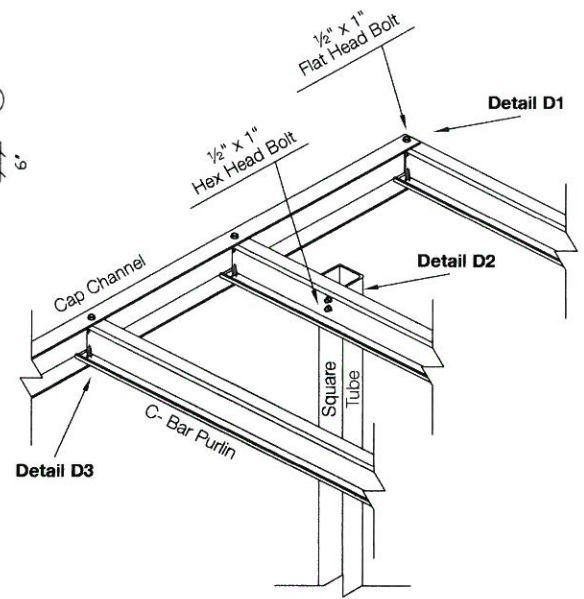
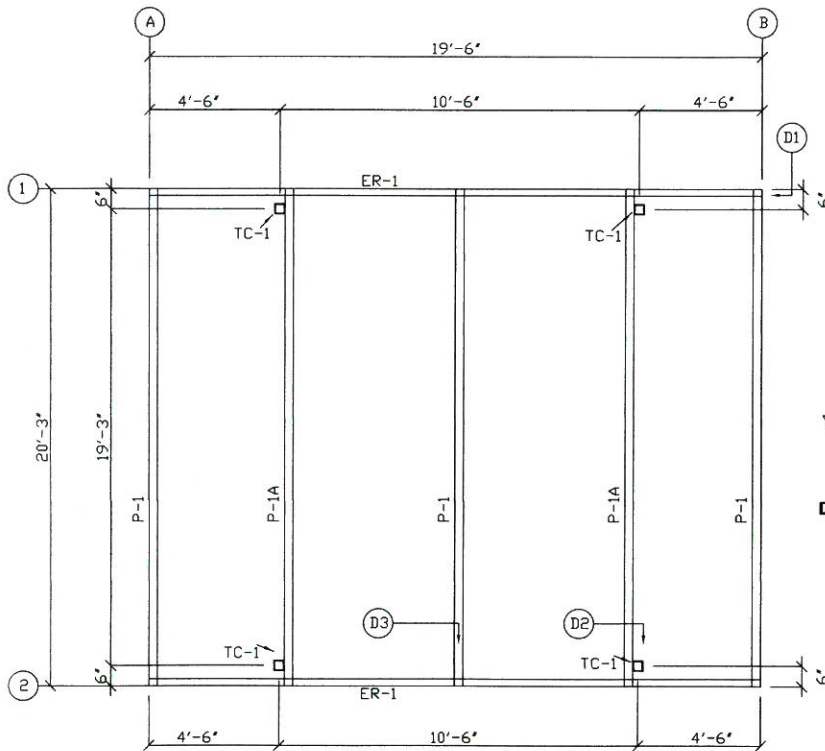
20x20 Carport Instructions

Mueller carports are not engineered structures and do not meet any specific building code criteria.

877-2- MUELLER • www.muellerinc.com



NOTE: Carport kits are not engineered.



List of Materials			
MARK	QTY	DESCRIPTION	LENGTH
P-1	3	8" x 2½" C-BAR	20'-2½"
P-1A	2	8" x 2½" C-BAR "PU"	20'-2½"
ER-1	2	8" x 2 CAP CHANNEL	19'-6"
TC-1	4	4" x 4" SQUARE TUBE	10'-0"
	8	BOLT - HEX HEAD	½" x 1"
	20	BOLT - FLAT HEAD	½" x 1"
(4)		(4" x 4" x 12' OPTIONAL)	

NOTE: Sheets are to hang off the low side.

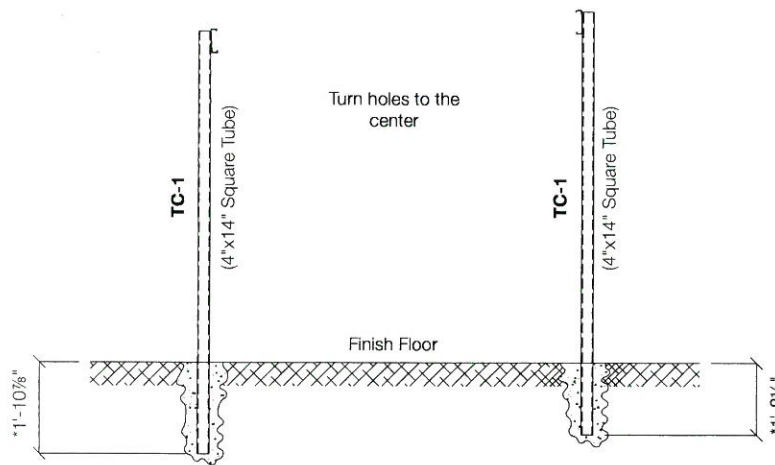
MUELLER, INC.
METAL BUILDINGS, ROOFING & COMPONENTS

877-2- MUELLER
www.muellerinc.com

ALL INSTRUCTIONS MUST BE READ PRIOR TO INSTALLATION

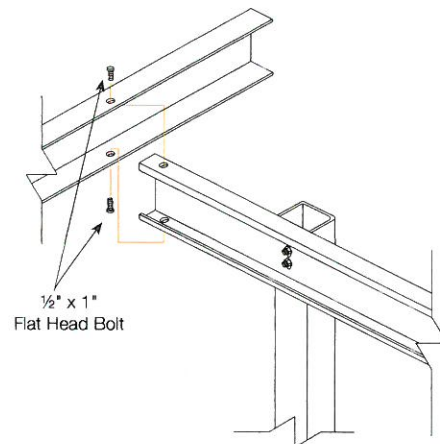
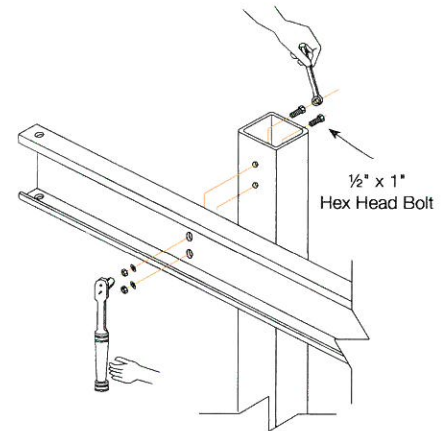
SET COLUMNS

Spacing and elevation of the columns are critical to the proper installation of the Mueller carport. The columns must be square, plumb and set at the exact dimensions shown on the drawings. Depending on the direction of the watershed, the high side columns must be $2\frac{5}{8}$ " taller than the low side columns to achieve the appropriate pitch. Particular attention should be paid to direction of the pre-punched holes in the top of the columns as shown in the framing drawings (**Holes in column must face to the center of the carport**). Pack a small amount of dirt around each column to temporarily hold them. Do not apply concrete at this time. Time and care should be taken on column installation, as this will directly affect the appearance and ease of installation on the rest of the carport.



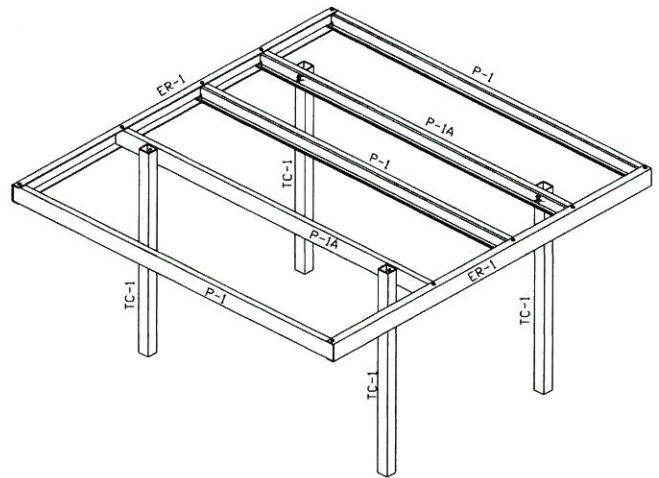
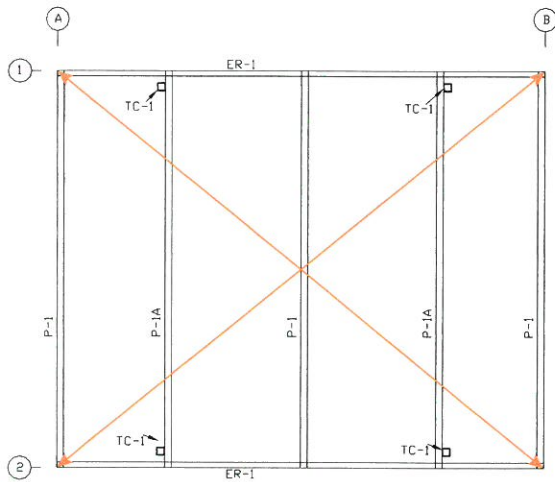
FRAMING

- 1** Turn open face of purlin to the center of carport. Align pre-punched holes in column and purlin (P-1A) and attach with $\frac{1}{2}$ " Hex Head bolts as shown.
- 2** Repeat step 1 at all columns as shown in framing details.
- 3** Install both cap channels (ER-1) as shown in the framing detail. End of cap channel should be 4'-6" from center of column. Making sure the purlins (P-1A) are inserted as deep as possible into the cap channels. Attach with bolts as shown.
- 4** Center purlin (P-1) is installed according to dimensions shown on drawing, and attached with bolts as shown. Turn open face of purlin either direction.
- 5** Install the high side (P-1) and low side (P-1) purlins with the open face of purlin pointed towards the center of the carport. Insert the purlins as far as possible into the cap channel (ER-1) and flush with the end of cap channel to form and outside corner and attach with Flat Head bolts as shown.



CROSS SQUARE THE FRAME (EXAMPLE)

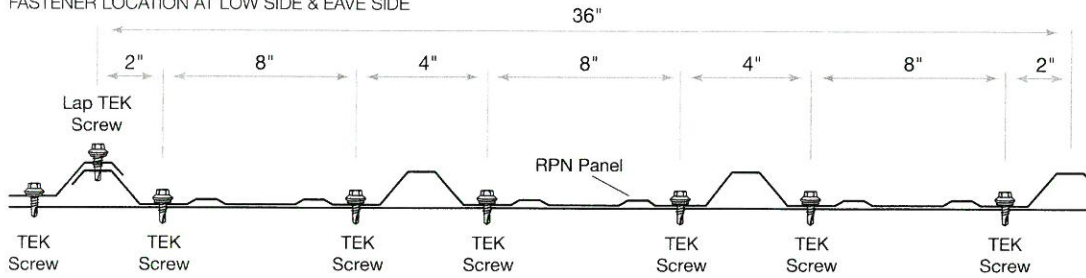
Measure the frame corner to corner diagonally making sure both dimensions are the same. If not, pull the frame square before starting sheeting. Commonly used tools are come-a-longs and ratchet straps. Squaring the frame is critical to make the sheets run true on the frame and will affect appearance and ease of installation. Re-check level on both P-1A purlins running column to column then add concrete and allow to dry.



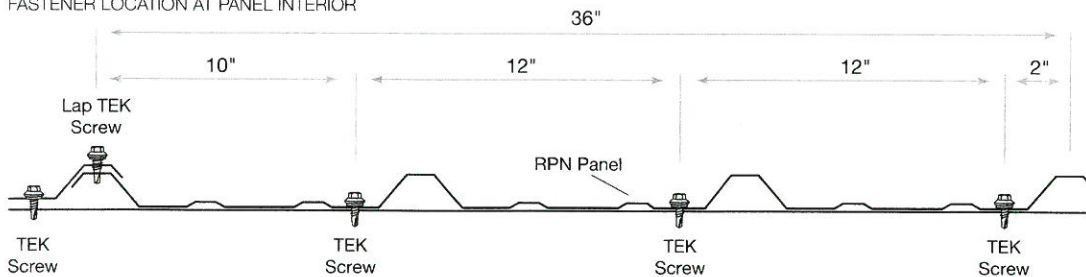
ROOF SHEETS

- 1** Place the first roof sheet flush with the outside of the cap channel (ER-1). Overhang the high and low side purlins equal distances, approximately 3". Optional trim package requires the roof sheets to be applied flush with the high side purlin and all overhang is to go to the low side purlin, approximately 6".
- 2** Attach sheets to purlin using screw patterns shown in drawings.
- 3** Repeat steps 1 & 2 until all sheets are applied.
- 4** Lap screws are applied on 30" centers as shown in drawings.

FASTENER LOCATION AT LOW SIDE & EAVE SIDE



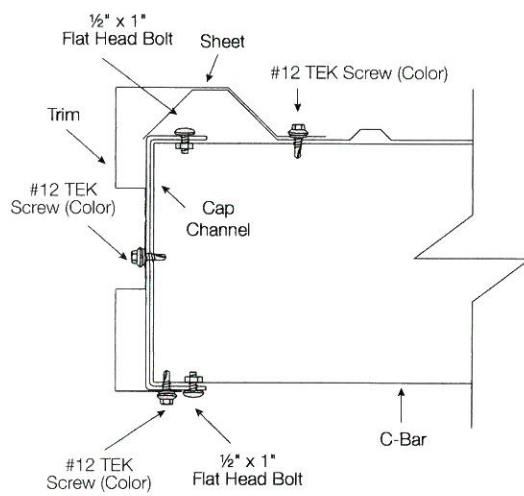
FASTENER LOCATION AT PANEL INTERIOR



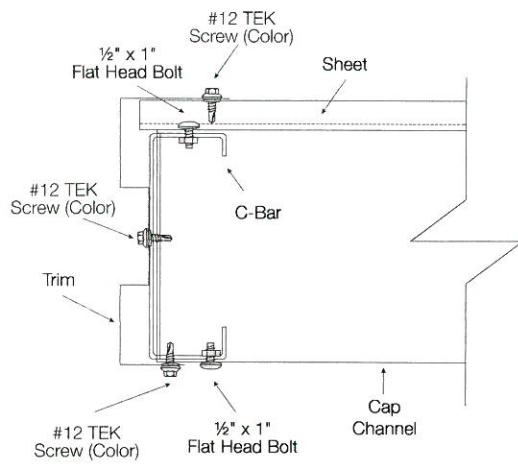
OPTIONAL TRIM PACKAGE

Apply as shown in trim drawings.

RAKE TRIM

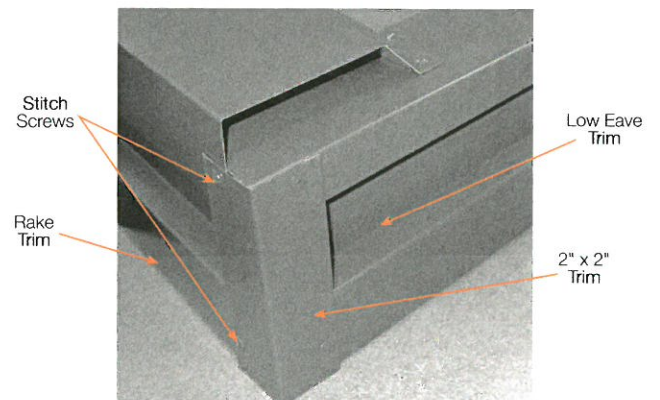
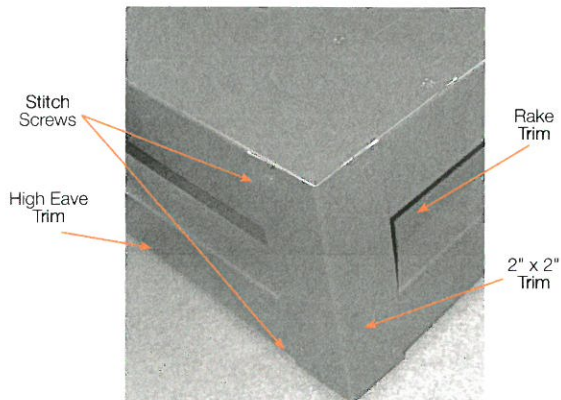
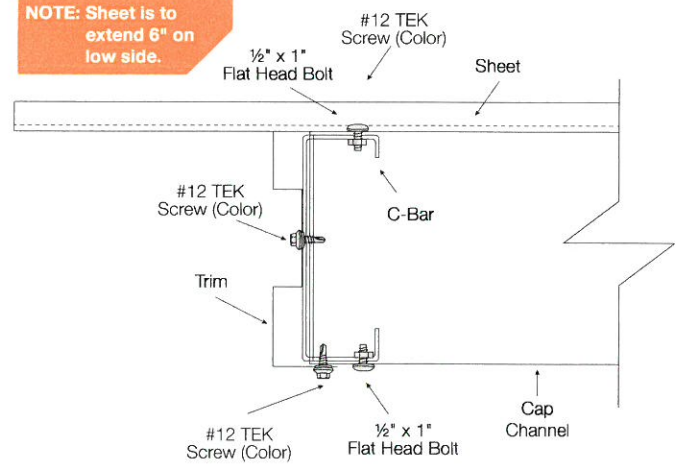


HIGH EAVE RAKE



LOW EAVE RAKE

NOTE: Sheet is to extend 6" on low side.



2/23/2018

City of Rockwall

Project Plan Review History



Project Number Z2018-004	Owner Matthews, James D and Kelly M	Applied 2/16/2018 LM
Project Name SUP for 706 Stillwater	Applicant JIM AND KELLEY MATTHEWS	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status P&Z HEARING		Status 2/22/2018 RM

Site Address	City, State Zip	Zoning
706 STILLWATER DR	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
STONEBRIDGE MEADOWS 5	33	A	33	5110-000A-0033-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	2/16/2018	2/23/2018	2/23/2018	7	APPROVED	
ENGINEERING (2/21/2018 12:46 PM AW) Need a site plan for location of the carport	Amy Williams	2/16/2018	2/23/2018	2/21/2018	5	COMMENTS	See Comments
FIRE	Ariana Hargrove	2/16/2018	2/23/2018	2/23/2018	7	APPROVED	
PLANNING	Ryan Miller	2/16/2018	2/23/2018	2/22/2018	6	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2018-004; SUP for a Carport at 706 Stillwater Drive						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a Specific Use Permit (SUP) for a carport on a 0.254-acre tract of land identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, and addressed as 706 Stillwater Drive.						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.						
M.3 For reference, include the case number (Z2018-004) in the lower right hand corner of all pages on future submittals.						
M.4 Please review the attached draft ordinance prior to the February 27, 2018 Planning & Zoning Commission meeting.						
I.5 According to the Unified Development Code (UDC), carports on residential lots in a Single Family 10 (SF-10) District are subject to the following requirements:						
1) The carport must be open on at least two (2) sides.						
2) The carport must be located a minimum of 20-feet behind the front façade of the primary structure and be architecturally integrated into the main residential structure.						
3) The carport must meet the garage setback adjacent to an alley (i.e. a minimum of ten [10] feet).						
4) The carport must meet the minimum side yard setbacks.						
I.6 Carports not conforming to these requirements shall require a Specific Use Permit (SUP).						
I.7 In this case, the applicant has constructed a 400 SF, metal carport that does not meet the same setbacks as the garage (i.e. staff has measured the setback and determined that it is located within seven [7] to eight [8] feet of the rear property line). In addition, the carport is contiguous to the primary structure and is not architecturally integrated into the home.						
M.8 Staff has included the following operational conditions in the attached Specific Use Permit (SUP) ordinance:						
1) The carport shall maintain conformance to the approved site plan and building elevations depicted in Exhibits 'A' & 'B' of the Specific Use Permit (SUP) ordinance.						
2) The carport shall not exceed a maximum size of 400 square feet.						
3) The accessory building shall not exceed a maximum overall height of nine (9) feet.						
4) The carport is subject to administrative review in the event that the Subject Property is sold, conveyed or altered in any manner.						
I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 6, 2018; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 13, 2018 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on February 27, 2018.						
I.10 The projected City Council meeting dates for this case will be March 19, 2018 [1st Reading] & April 2, 2018 [2nd Reading].						



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

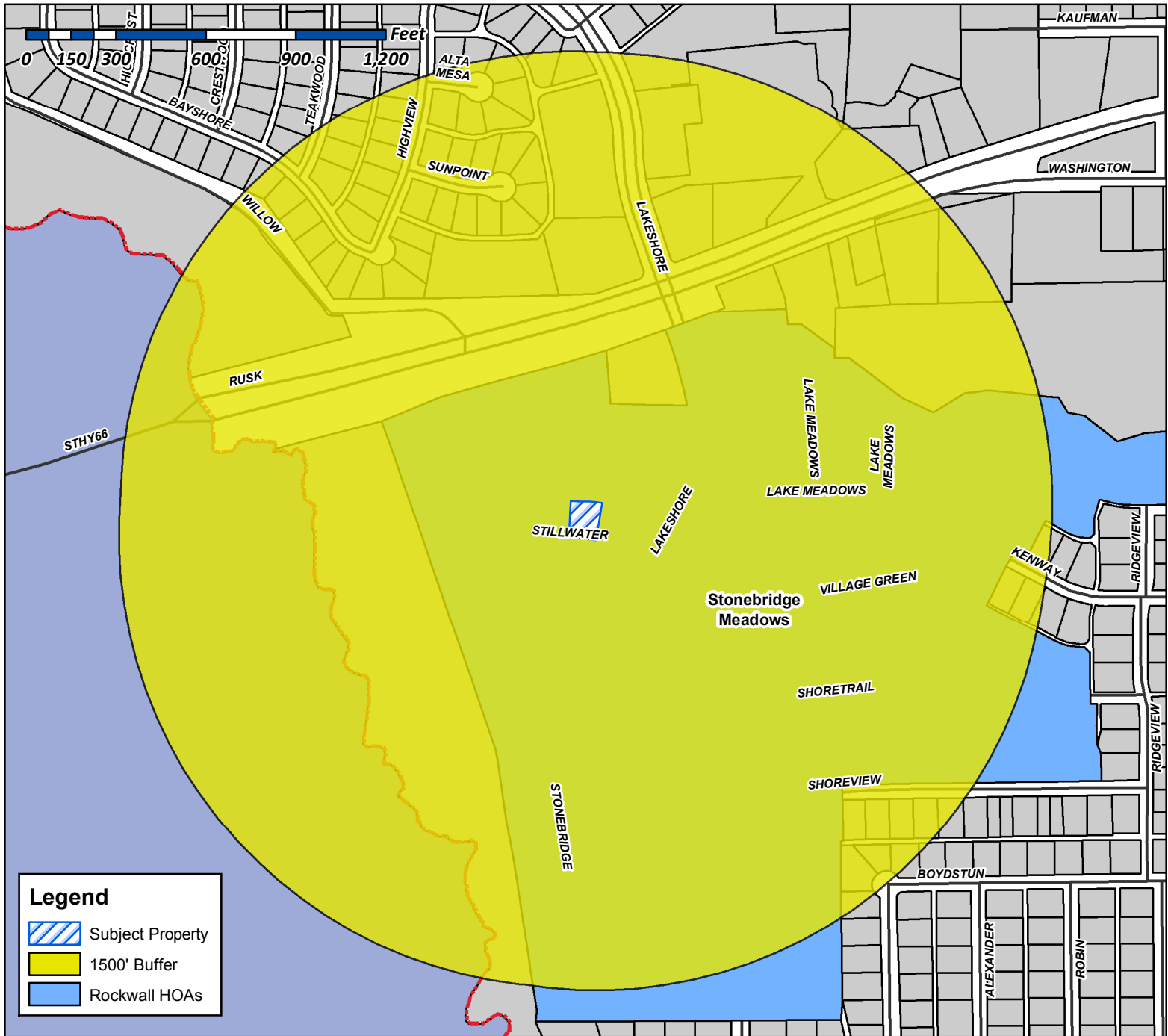




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

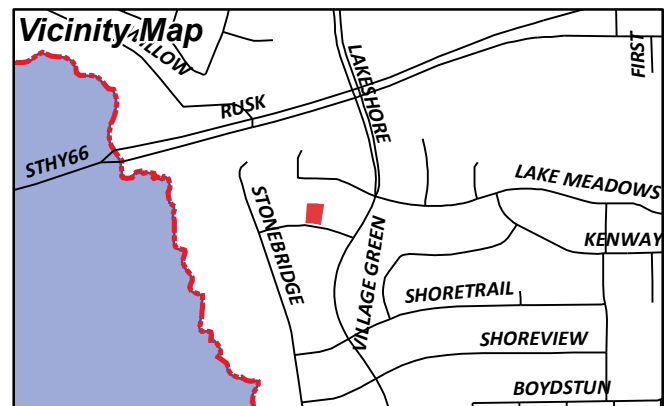
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2018-004
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: SF-10 District
Case Address: 706 Stillwater Drive

Date Created: 02/19/2018

For Questions on this Case Call (972) 771-7745

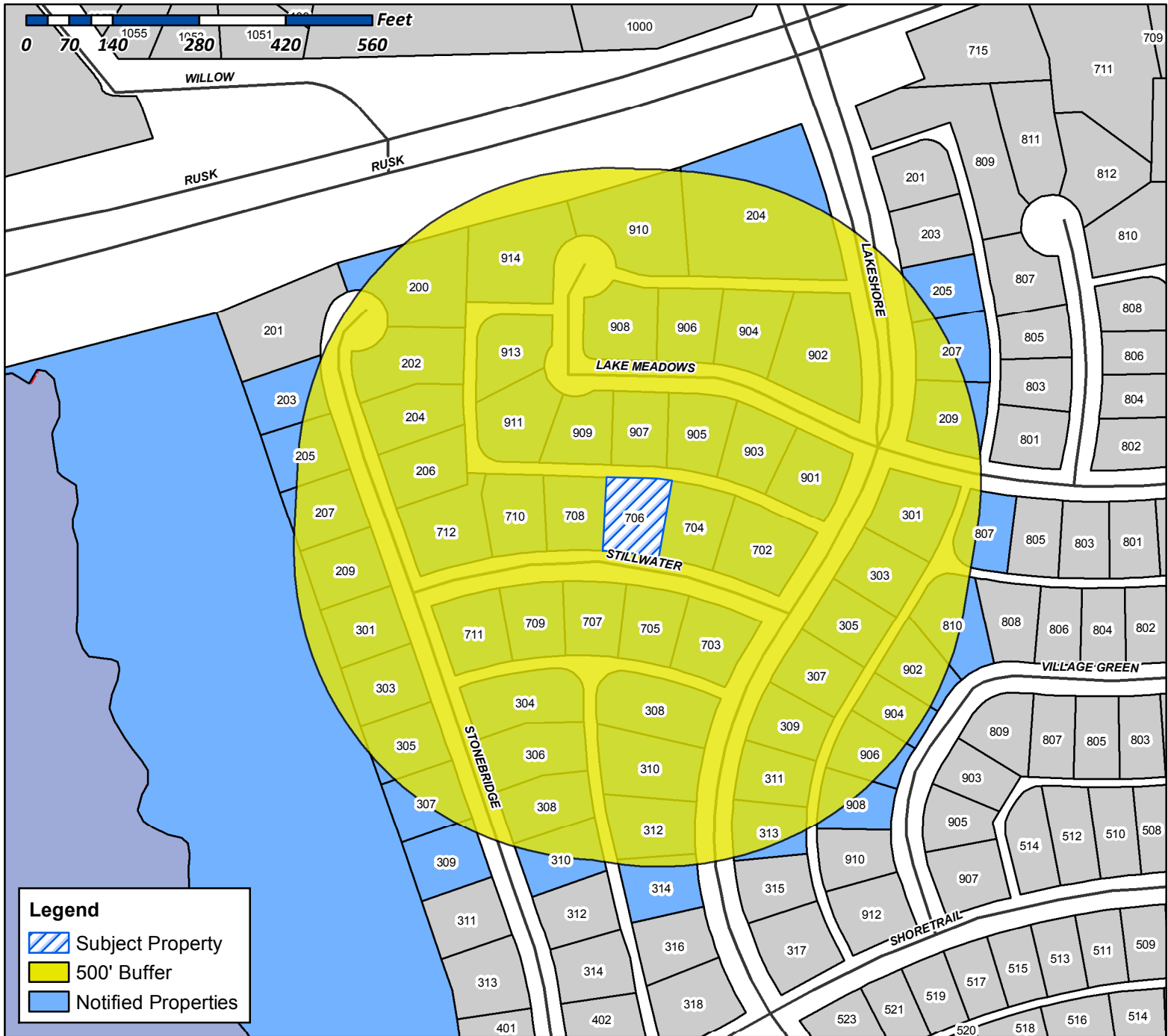




City of Rockwall

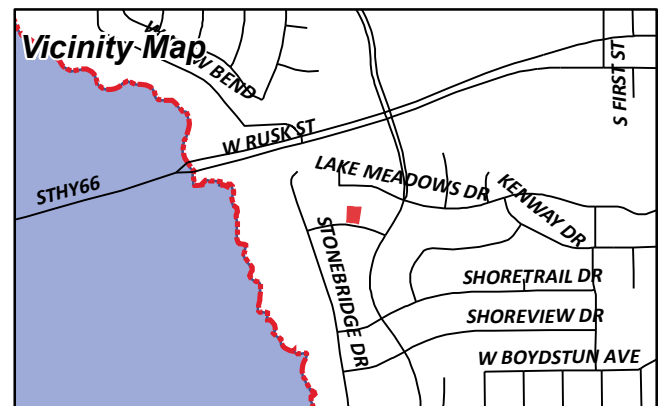
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2018-004
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: SF-10 District
Case Address: 706 Stillwater Drive

Date Created: 02/19/2018
For Questions on this Case Call (972) 771-7745



HARRISON CLIFFORD JR
1650 S JOHN KING BLVD #3801
ROCKWALL, TX 75032

STORMS STEWART M
1938 S LAKESHORE DR
ROCKWALL, TX 75087

HADDOCK VICKIE L ETAL
200 STONEBRIDGE DR
ROCKWALL, TX 75087

HERRIDGE KENNETH & JANICE
202 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GARRETT DAVID L AND CYNTHIA B
203 STONEBRIDGE DR
ROCKWALL, TX 75087

ASI GYMNASTICS PROPERTY RO LLC
204 S LAKESHORE DR
ROCKWALL, TX 75087

STEVENS WILLIAM T & LINDA
204 STONEBRIDGE DR
ROCKWALL, TX 75087

DUNCAN KEITH M & PATRICIA A
205 S LAKESHORE DR
ROCKWALL, TX 75087

SPRADLING LARRY P & SHIRLEY J
205 STONEBRIDGE DR
ROCKWALL, TX 75087

MORRIS J NEIL AND MICHELLE KIZER
206 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
207 STONEBRIDGE DR
ROCKWALL, TX 75087

VINES GREGORY STEVEN
207 SOUTH LAKESHORE DR
ROCKWALL, TX 75087

GAINES WILLIAM C & KELLEY A
209 SOUTH LAKESHORE
ROCKWALL, TX 75087

CONFIDENTIAL
209 STONEBRIDGE DR
ROCKWALL, TX 75087

KRATZ WILLIAM
2265 GARDEN CREST DR
ROCKWALL, TX 75087

DICKEY CLYDE E & FELITA
26 ENSIS RD
HILTON HEAD, SC 29928

HERNANDEZ PAUL GARACIA AND DOMINGA G
301 S LAKESHORE DR
ROCKWALL, TX 75087

MILLER TRACI AND
0
301 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GARDINER GARY F & VICKIE
303 S LAKESHORE DR
ROCKWALL, TX 75087

BLAHA JAN & ROBERT
303 STONEBRIDGE DR
ROCKWALL, TX 75087

DORSEY KIPPER L & LINDA O
304 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
305 LAKESHORE DR
ROCKWALL, TX 75087

CAIN T D ETUX
305 STONEBRIDGE DR
ROCKWALL, TX 75087

WILKERSON CASSANDRA A
306 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
307 LAKESHORE DR
ROCKWALL, TX 75087

POTTER MICHAEL C
307 STONEBRIDGE DR
ROCKWALL, TX 75087

RAHMANDAR JULIUS LIEM
308 S LAKESHORE DR
ROCKWALL, TX 75087

CUMMINGS LORI LYNN MALLOY & JOHN LEE
308 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GRAMENTINE SUSAN E
309 S LAKESHORE DR
ROCKWALL, TX 75087

HUTCHINS HAROLD CLYDE & KAREN
309 STONEBRIDGE DR
ROCKWALL, TX 75087

LEWIS MARTHA JEAN
310 S LAKESHORE DR
ROCKWALL, TX 75087

DEAPEN ALICIA & RICHARD
310 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

CRUES VERNON D & GERALDINE A
311 S LAKESHORE DR
ROCKWALL, TX 75087

DEGELIA JASPER & TEDDIE
312 S LAKESHORE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
313 LAKESHORE DR
ROCKWALL, TX 75087

WITWER WILLIAM F AND LISA C
314 S LAKESHORE DR
ROCKWALL, TX 75087

SMITH GARLAND KENT
575 BREEZY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
702 STILLWATER DR
ROCKWALL, TX 75087

BARNES GERALD D & LINDA C
703 STILLWATER DR
ROCKWALL, TX 75087

ALSTON ROBERT M & MARY P
704 STILLWATER DR
ROCKWALL, TX 75087

GARDENHIRE DONA GENE SPELCE
705 STILLWATER DR
ROCKWALL, TX 75087

MATTHEWS JAMES D AND KELLEY M
706 STILLWATER DR
ROCKWALL, TX 75087

UMBARGER IMOGENE T
707 STILLWATER DR
ROCKWALL, TX 75087

KEATING WILLIAM F
708 STILLWATER DR
ROCKWALL, TX 75087

CURRENT RESIDENT
709 STILLWATER DR
ROCKWALL, TX 75087

GUSTAFSON MARION
710 STILLWATER DR
ROCKWALL, TX 75087

WELLS PATRICK S & RHONDA C
711 STILLWATER DR
ROCKWALL, TX 75087

KEEFER CLAUD PAUL SR AND JEWEL TINDALL
KEEFER
712 STILLWATER DR
ROCKWALL, TX 75087

LARUE ANDREW T
807 LAKE MEADOWS DR
ROCKWALL, TX 75087

HOWARD KAREN &
0
810 VILLAGE GREEN DR
ROCKWALL, TX 75087

CUTBUSH DAVID & WENDY
901 LAKE MEADOWS DR
ROCKWALL, TX 75087

WALKER TOMMY H AND SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

EQUITY TRUST COMPANY CUSTODIAN
0
902 VILLAGE GREEN DR
ROCKWALL, TX 75087

METZGER TAMMY AND TIMOTHY
903 LAKE MEADOWS DR
ROCKWALL, TX 75087

SHERRIN NOEL & LOIS
904 LAKE MEADOWS DR
ROCKWALL, TX 75087

CONFIDENTIAL
904 VILLAGE GREEN DR
ROCKWALL, TX 75087

BOWENS BILLY NORRIS
905 LAKE MEADOWS DR
ROCKWALL, TX 75087

VUCKOVIC ZLATAN & JOANNE M
906 LAKE MEADOWS DR
ROCKWALL, TX 75087

ROUTEN DANIEL C & KRISTI P
906 VILLAGE GREEN DR
ROCKWALL, TX 75087

SAMFORD BRIAN S & LISA E
907 LAKE MEADOWS DR
ROCKWALL, TX 75087

WHITE JACOB A & PRISELDA B
908 LAKE MEADOWS DR
ROCKWALL, TX 75087

ORLOWSKI RAYMOND & BARBARA
908 VILLAGE GREEN DR
ROCKWALL, TX 75087

JENSEN LEE ROBERT & SUSAN MARY
909 LAKE MEADOWS DR
ROCKWALL, TX 75087

COOK WILLIAM F
910 LAKE MEADOWS DR
ROCKWALL, TX 75087

CUMMINGS DANIEL DEE ET UX
911 LAKE MEADOWS DR
ROCKWALL, TX 75087

BROWNE MARK
913 LAKE MEADOWS DRIVE
ROCKWALL, TX 75087

YBARRA LEOPOLD AND SONIA
914 LAKE MEADOWS DR
ROCKWALL, TX 75087

DOUGLAS LEE DENDY LIFE ESTATE AND
0
DOUGLAS KEITH DENDY AND RANDY LEE DENDY
0
TERRELL, TX 75160



Choice Heat and A.com





CITY OF ROCKWALL

BUILDING PERMITS

BUILDING INSPECTION DEPT.

385 S. Goliad St.,

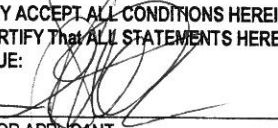
Rockwall, TX 75087

Phone #: (972) 771-7709

Permit #

BLD2018-0383

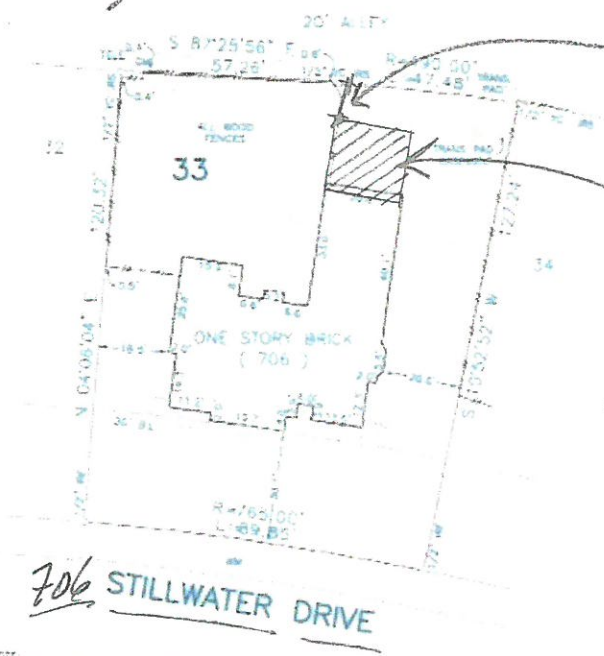
To schedule an inspection go to: www.rockwall.com/buildinginspections/inspectionreq.asp

CONSTRUCTION ADDRESS 706 Stillwater		TYPE OF PERMIT car port						
SUBDIVISION		ZONING	LOT	BLOCK				
BUILDING OWNER Jim Kelley	MAIL ADDRESS Matthews	CITY, STATE, ZIP 706 Stillwater Rm 75087	PHONE # 214 502 7685					
PERSON TO BE CONTACTED REGARDING PERMIT Jim	E-MAIL ADDRESS choiceheatandair@Apc.com	PHONE # 214 502 7685						
EMAIL ADDRESS FOR INSPECTION REPORT choiceheatandair@Apc.com								
GENERAL CONTRACTOR Jim Matthews	MAIL ADDRESS 706 Stillwater	CITY, STATE, ZIP Rm 75087	PHONE # 214-502-7685					
ELECTRICAL CONTRACTOR	MAIL ADDRESS	CITY, STATE, ZIP	PHONE #					
PLUMBING CONTRACTOR	MAIL ADDRESS	CITY, STATE, ZIP	PHONE #					
MECHANICAL CONTRACTOR	MAIL ADDRESS	CITY, STATE, ZIP	PHONE #					
BUILDING INFORMATION								
1st floor SF	2nd floor SF	Garage	Covered Porch	Covered Patio	Total SF	Height	Lot Size	Plan #:
Permit Description: 20x28, Mueller, car port								
NOTICE TO APPLICANT: THIS PERMIT IS ISSUED ON THE BASIS OF INFORMATION FURNISHED IN THIS APPLICATION AND ON ANY SUBMITTED PLANS, AND IS SUBJECT TO THE PROVISIONS IN ADDITION, REQUIREMENTS OF THE CITY OF ROCKWALL CODE OF ORDINANCES AND ANY OTHER APPLICABLE ORDINANCE. THIS PERMIT IS ISSUED ONLY FOR THE PURPOSE OF ALLOWING CONSTRUCTION OF A BUILDING OR STRUCTURE CONFORMING TO THE CODES AND ORDINANCES OF THE CITY, REGARDLESS OF INFORMATION AND/OR PLANS SUBMITTED.								
SCOPE OF PERMIT: FOR NEW BUILDINGS AND FOR ADDITIONS TO EXISTING BUILDINGS, THIS PERMIT AUTHORIZES STRUCTURAL, PLUMBING, ELECTRICAL, MECHANICAL, AND WORK TO BE PERFORMED IN THE CONSTRUCTION OF THE BUILDING OR STRUCTURE AT THIS ADDRESS, IF DONE AT THE SAME TIME OF INITIAL CONSTRUCTION. NO SEPARATE SUBCONTRACTOR PERMITS ARE NEEDED FOR THOSE TRADES. HOWEVER, THE PERMIT HOLDER IS REQUIRED TO USE ONLY SUBCONTRACTORS LICENSES, REGISTERED, OR BONDED BY THE CITY OF ROCKWALL WHERE SUCH REQUIREMENT IS APPLICABLE.								
I HEREBY ACCEPT ALL CONDITIONS HEREIN ABOVE MENTIONED AND CERTIFY THAT ALL STATEMENTS HEREIN RECORDED BY ME ARE TRUE:  AGENT OR APPLICANT 2-14-18 (DATE) Subject property is _____ or is not _____ within the flood hazard area. Required lowest floor elevation is _____					ESTIMATED VALUE: \$2,000			
CITY APPROVAL (DATE)					Building Permit \$ _____ Water Meter Deposit \$ _____ Meter Installation \$ _____ Sewer Service \$ _____ Water Impact Fees \$ _____ Sewer Impact Fees \$ _____ Siren Fee \$ _____ Contractor Registration \$ _____ Certificate of Occupancy \$ _____ Total Fees \$ _____			

DECEASED PROPERTY
 VOLUME 76 PAGE 414
 VOLUME 43 PAGE 430
 VOLUME 76 PAGE 500



TITLE AND ABSTRACT WORK FURNISHED BY ROCKWALL COUNTY RECORDS



SURVEYOR'S NOTE:
 PERMANENT CONTROL TAKEN FROM OPPOSITE THE WEST LINE
 OF LOT 12, BLOCK A, OF THE SWEET PINE PLAT OF
 STILLWATER WARD, BASE SET AS RECORDED IN
 CARNETT A, BOOK 588, PAGE 100, ROCKWALL COUNTY,
 TEXAS.

The plat herein is true, correct, and accurate representation of the property as determined by
 survey, the lines and dimensions of said property being as indicated by the plat, the size, location
 and type of building and improvements are as shown, all improvements being within the boundaries
 of the property, set back from property lines the distance indicated, or visible and apparent easements.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN

Scale: 1" = 30'
 Date: 3/24/2015
 C. F. No: 201503552
 Job No: 92777
 Drawn by: CW

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
 ROCKWALL COUNTY ABSTRACT
 USE OF THIS SURVEY FOR ANY OTHER PURPOSE
 OR OTHER PARTIES SHALL BE AT THEIR RISK AND
 UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS
 FOR ANY LOSS RESULTING THEREFROM.



MUST BE LOCATED
 20' OFF PROPERTY
 LINE FROM ALLEY !

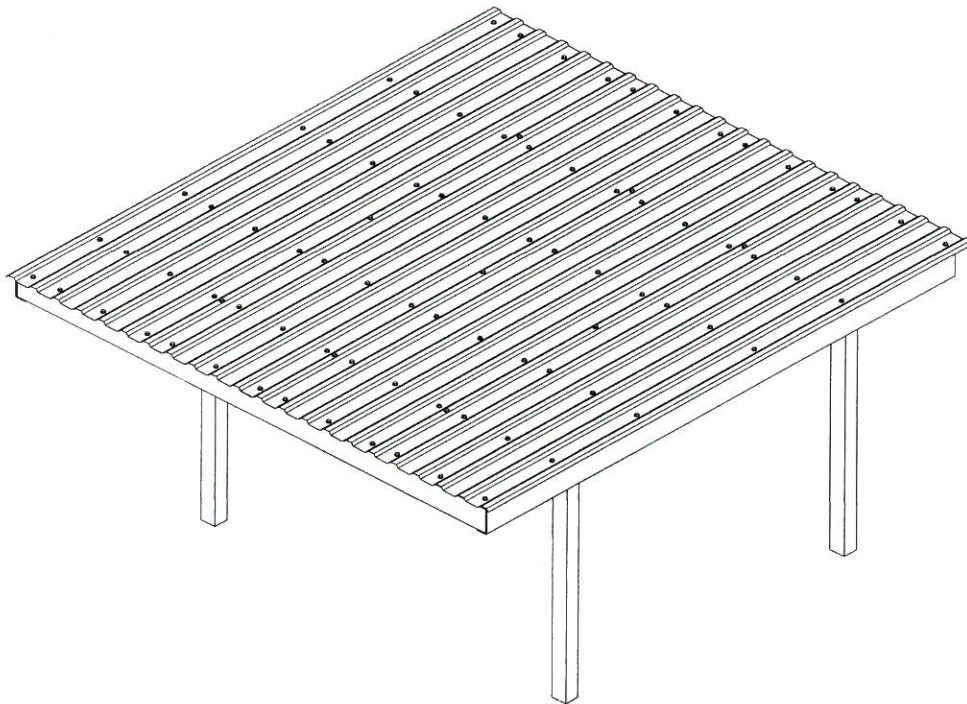
10' off
 property line
 from alley

20x20
 "Mueller"
 20x20 Carport

pq 3: optional
 base plate attach
 for exist concrete

w/ 5/8" epoxy
 drive anchors

706 Stillwater



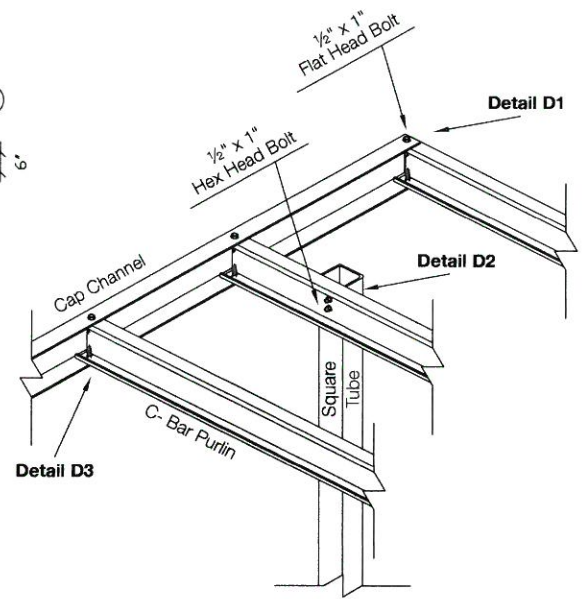
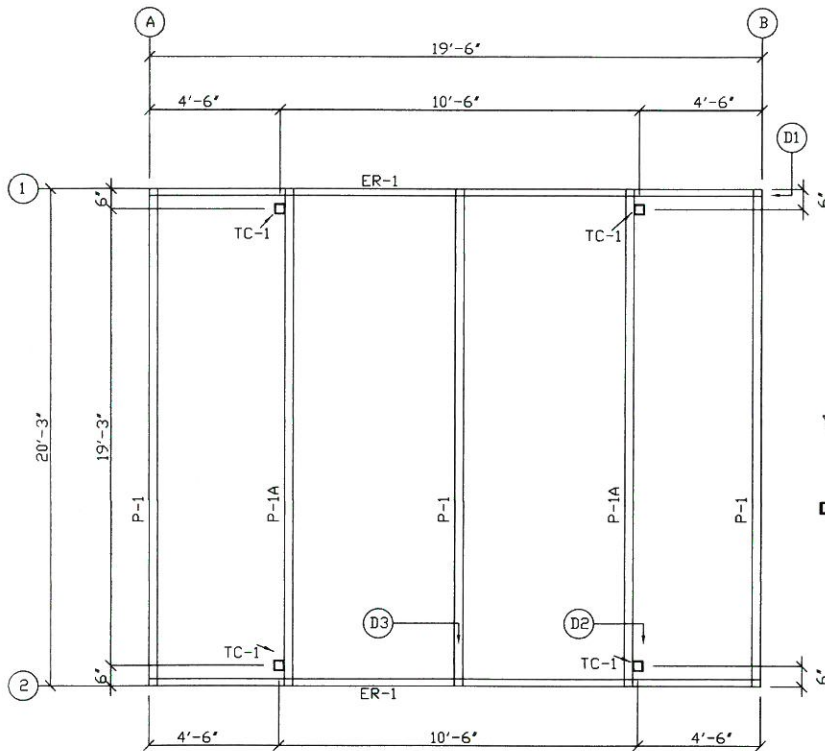
20x20 Carport Instructions

Mueller carports are not engineered structures and do not meet any specific building code criteria.

877-2- MUELLER • www.muellerinc.com



NOTE: Carport kits are not engineered.



List of Materials			
MARK	QTY	DESCRIPTION	LENGTH
P-1	3	8" x 2½" C-BAR	20'-2½"
P-1A	2	8" x 2½" C-BAR "PU"	20'-2½"
ER-1	2	8" x 2 CAP CHANNEL	19'-6"
TC-1	4	4" x 4" SQUARE TUBE	10'-0"
	8	BOLT - HEX HEAD	½" x 1"
	20	BOLT - FLAT HEAD	½" x 1"
(4)		(4" x 4" x 12' OPTIONAL)	

NOTE: Sheets are to hang off the low side.

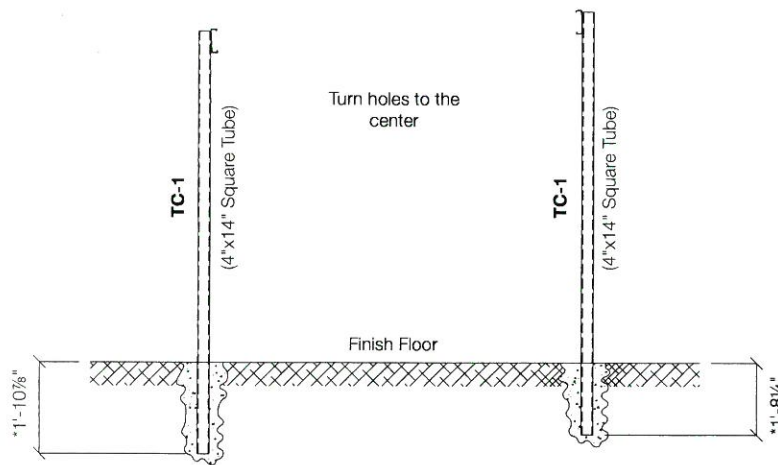
MUELLER, INC.
METAL BUILDINGS, ROOFING & COMPONENTS

877-2- MUELLER
www.muellerinc.com

ALL INSTRUCTIONS MUST BE READ PRIOR TO INSTALLATION

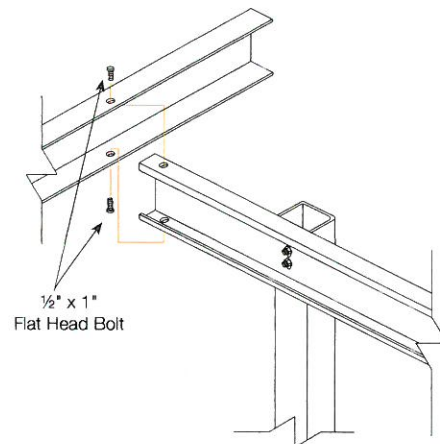
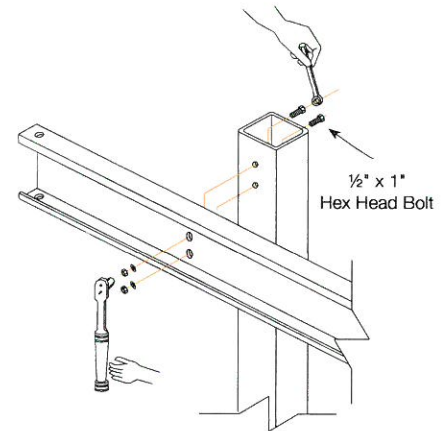
SET COLUMNS

Spacing and elevation of the columns are critical to the proper installation of the Mueller carport. The columns must be square, plumb and set at the exact dimensions shown on the drawings. Depending on the direction of the watershed, the high side columns must be 2 5/8" taller than the low side columns to achieve the appropriate pitch. Particular attention should be paid to direction of the pre-punched holes in the top of the columns as shown in the framing drawings (**Holes in column must face to the center of the carport**). Pack a small amount of dirt around each column to temporarily hold them. Do not apply concrete at this time. Time and care should be taken on column installation, as this will directly affect the appearance and ease of installation on the rest of the carport.



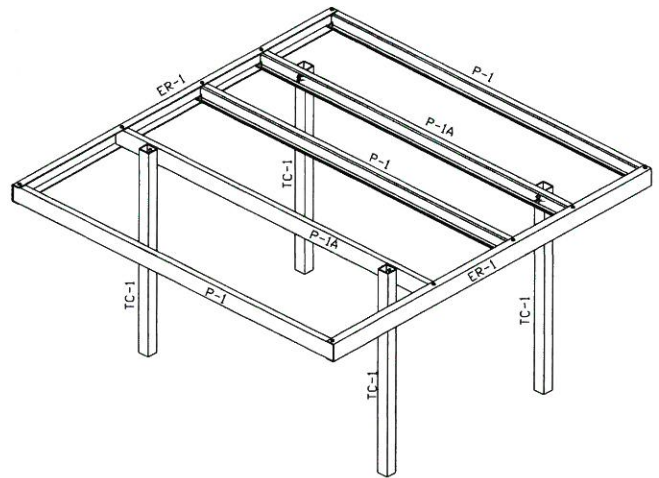
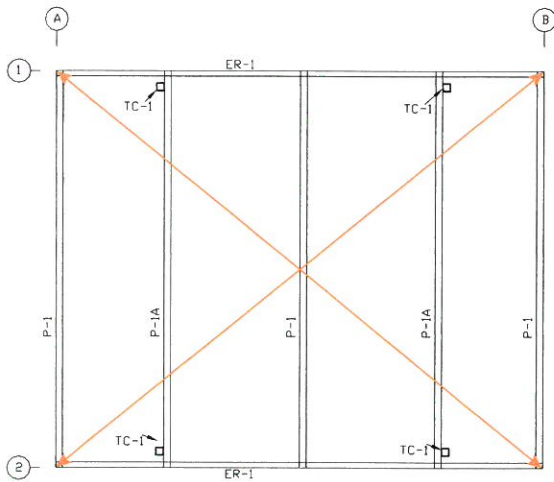
FRAMING

- 1** Turn open face of purlin to the center of carport. Align pre-punched holes in column and purlin (P-1A) and attach with $\frac{1}{2}$ " Hex Head bolts as shown.
- 2** Repeat step 1 at all columns as shown in framing details.
- 3** Install both cap channels (ER-1) as shown in the framing detail. End of cap channel should be 4'-6" from center of column. Making sure the purlins (P-1A) are inserted as deep as possible into the cap channels. Attach with bolts as shown.
- 4** Center purlin (P-1) is installed according to dimensions shown on drawing, and attached with bolts as shown. Turn open face of purlin either direction.
- 5** Install the high side (P-1) and low side (P-1) purlins with the open face of purlin pointed towards the center of the carport. Insert the purlins as far as possible into the cap channel (ER-1) and flush with the end of cap channel to form and outside corner and attach with Flat Head bolts as shown.



CROSS SQUARE THE FRAME (EXAMPLE)

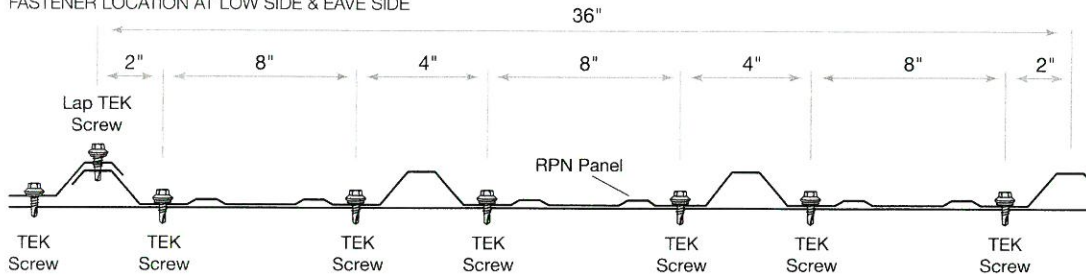
Measure the frame corner to corner diagonally making sure both dimensions are the same. If not, pull the frame square before starting sheeting. Commonly used tools are come-a-longs and ratchet straps. Squaring the frame is critical to make the sheets run true on the frame and will affect appearance and ease of installation. Re-check level on both P-1A purlins running column to column then add concrete and allow to dry.



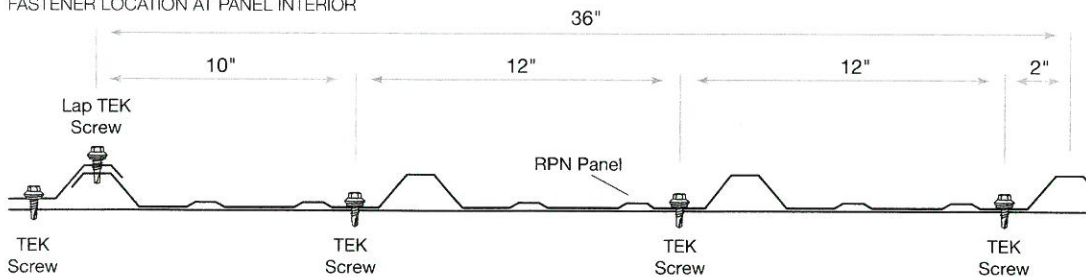
ROOF SHEETS

- 1** Place the first roof sheet flush with the outside of the cap channel (ER-1). Overhang the high and low side purlins equal distances, approximately 3". Optional trim package requires the roof sheets to be applied flush with the high side purlin and all overhang is to go to the low side purlin, approximately 6".
- 2** Attach sheets to purlin using screw patterns shown in drawings.
- 3** Repeat steps 1 & 2 until all sheets are applied.
- 4** Lap screws are applied on 30" centers as shown in drawings.

FASTENER LOCATION AT LOW SIDE & EAVE SIDE



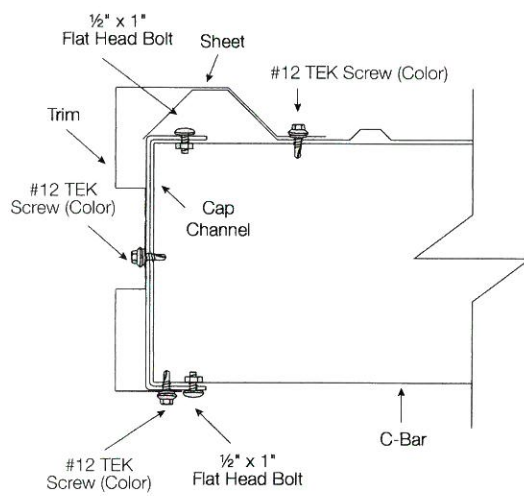
FASTENER LOCATION AT PANEL INTERIOR



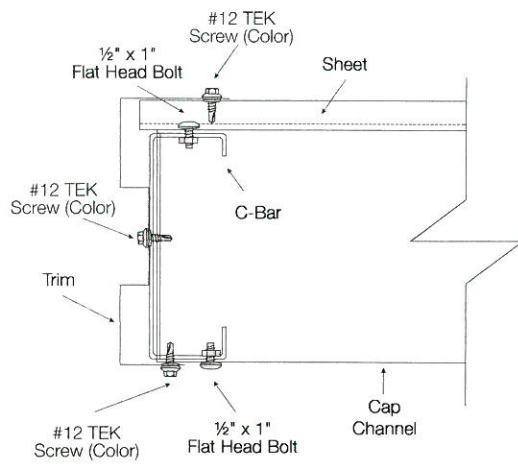
OPTIONAL TRIM PACKAGE

Apply as shown in trim drawings.

RAKE TRIM

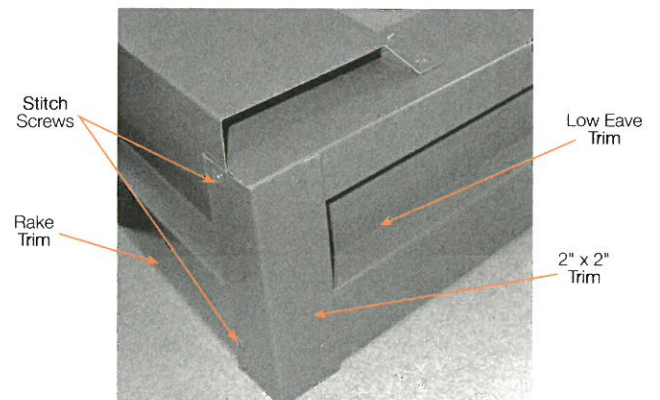
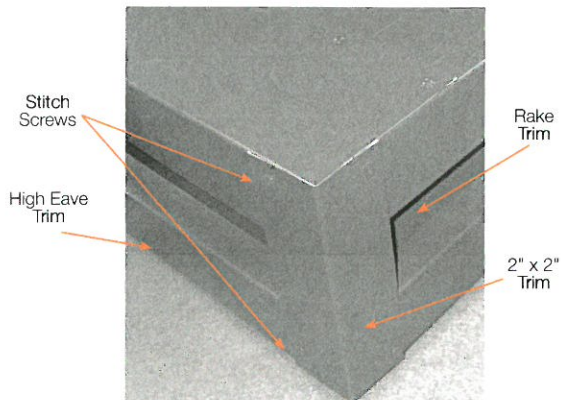
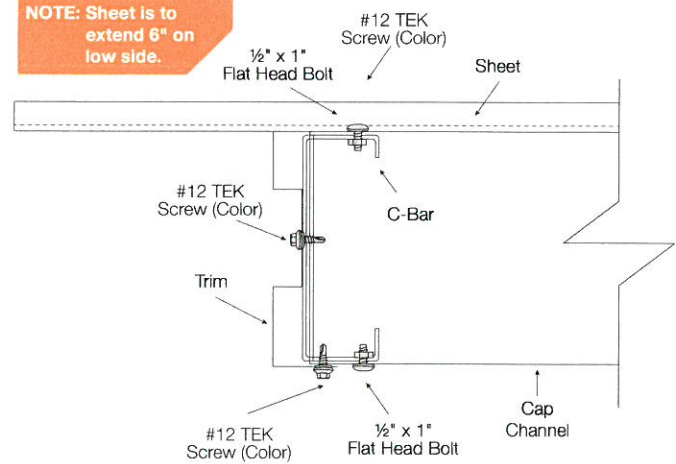


HIGH EAVE RAKE



LOW EAVE RAKE

NOTE: Sheet is to extend 6" on low side.



CITY OF ROCKWALL

ORDINANCE NO. 18-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A CARPORT THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON A 0.254-ACRE PARCEL OF LAND ZONED SINGLE FAMILY 10 (SF-10) DISTRICT AND IDENTIFIED AS LOT 33, BLOCK A, STONEBRIDGE MEADOWS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Jim and Kelly Matthews for the approval of a Specific Use Permit (SUP) for the purpose of allowing a previously constructed carport that does not meet the minimum requirements, situated for a 0.254-acre parcel of land, zoned Single Family 10 (SF-10) District, and being identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, addressed as 706 Stillwater Drive, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit allowing for the establishment of a carport that does not meet the minimum setback requirements for a garage in a Single Family 10 (SF-10) District as stipulated by *Article IV, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Section 3.4, Single-Family 10 (SF-10) District*, of *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a carport on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- 2) The carport shall not exceed a maximum size of 400 square feet.
- 3) The accessory building shall not exceed a maximum overall height of nine (9) feet.
- 4) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code [Ordinance No. 04-38] will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code [Ordinance No. 04-38], the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code [Ordinance No. 04-38].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF APRIL, 2018.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 19, 2018

2nd Reading: April 2, 2018

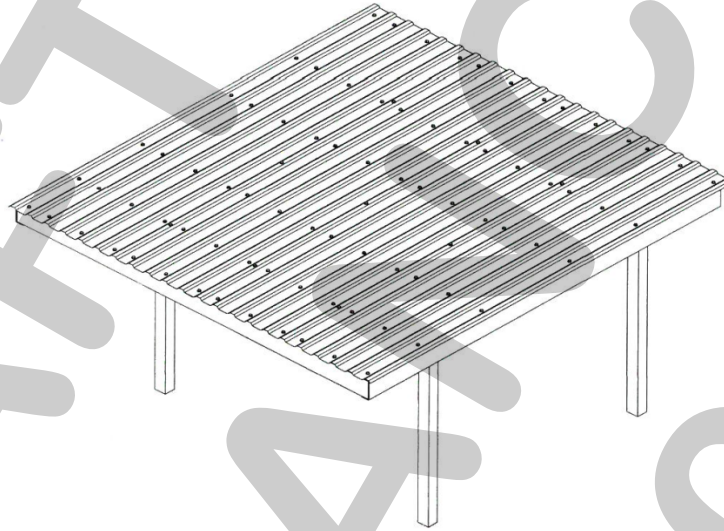
Exhibit 'A':
Legal Description and Property Location

Address: 706 Stillwater Drive

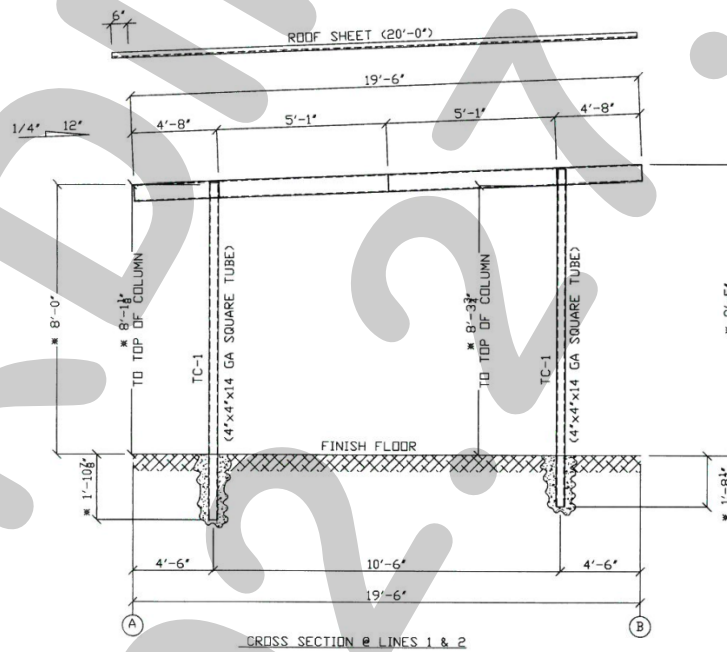
Legal Description: Lot 33, Block A, Stonebridge Meadows Addition



Exhibit 'B':
Building Elevations



NOTE: Carport kits are not engineered.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 03/13/2018

APPLICANT: Jim & Kelly Matthews

AGENDA ITEM: Z2018-004; SUP for a Carport at 706 Stillwater Drive

SUMMARY:

Hold a public hearing to discuss and consider a request by Jim & Kelly Matthews for the approval of a Specific Use Permit (SUP) for a carport on a 0.254-acre tract of land identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 706 Stillwater Drive, and take any action necessary.

PURPOSE AND CHARACTERISTICS OF THE REQUEST:

On February 2, 2018, the Neighborhood Improvement Services (NIS) Department initiated a code compliance case (*i.e.* CE2018-0281) for the construction of a carport without a building permit on the *subject property* at 706 Stillwater Drive. At that time, the homeowner was instructed to submit an application for a building permit, and did so on February 14, 2018. Upon inspection of the carport it was determined that the carport did not meet the minimum standards stipulated by the Unified Development Code (UDC), and the homeowner was instructed to submit for a Specific Use Permit (SUP) through the Planning and Zoning Department.

The carport is a 20-foot by 20-foot (*or 400 SF*) metal structure that is set on wooden post and has one sheet of R-Panel (*estimated to be two [2] feet by ten [10] feet*) extending from the roof, down each side of the structure. The structure is listed as being between eight (8) feet and eight and one-half (8½) feet tall. According to Article VI, *Permissible Uses*, of the UDC, carports in residential districts must be [1] open on at least two (2) sides, [2] be situated 20-feet behind the front façade of the primary structure, [3] meet the same setbacks as a garage when adjacent to an alley, and [4] when visible from a public street be constructed of materials matching those of the primary residential structure. In this case, the constructed carport does not meet the minimum setbacks for a carport in this district. According to the UDC, garages are required to be a minimum of 20-feet from public right-of-way. In addition, the minimum building setback in a Single Family 10 (SF-10) District is ten (10) feet. Staff has measured the rear setback of the constructed carport and determined that the structure is approximately eight (8) feet from the rear property line. This means that the carport encroaches the garage setback by approximately 12-feet and the minimum building setback by two (2) feet. The UDC, does allow the City Council to consider non-conforming carports on a discretionary basis through a SUP.

Staff should point out that only one (1) carport has been permitted through a building permit in the Stonebridge subdivision as indicated in the City's building permit tracking software, and that this carport met all the requirements and did not require a SUP; however, seven (7) carports exists within the notification area. Six (6) of the seven (7) carports were built between 2001 and 2005 (*i.e. as determined by aerials*), with the remaining carport being constructed in 2012. The current carport ordinance was adopted in 2006 by *Ordinance No. 06-14*. Staff has provided images of the unpermitted carports and a map showing their locations in the attached packet.

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are as follows:

- North:* Directly north of the subject property is the remainder of Stonebridge Meadows, Phase 5, which is zoned Single Family 10 (SF-10) District and consists of 72 single-family residential lots. Beyond this is W. Rusk Street [*SH-66*], which is identified as a P6D (*principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the Comprehensive Plan.
- South:* Directly south of the subject property is the remainder of Stonebridge Meadows, Phase 5, which is zoned Single Family 10 (SF-10) District and consists of 72 single-family residential lots. Beyond this is Stonebridge Meadows, Phase 1, which is zoned Single Family 10 (SF-10) District and consists of 40 single-family residential lots.
- East:* Directly east of the subject property is S. Lakeshore Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is the remainder of Stonebridge Meadows, Phase 5, which is zoned Single Family 10 (SF-10) District and consists of 72 single-family residential lots. East of this is Stone Bridge, Phase 4, which is zoned Single Family 7 (SF-7) District and consists of 71 single-family residential lots.
- West:* Directly west of the subject property is the remainder of Stonebridge Meadows, Phase 5, which is zoned Single Family 10 (SF-10) District and consists of 72 single-family residential lots. Beyond this is the corporate boundaries of the City of Rockwall followed by the *Lake Ray Hubbard Takeline* and Lake Ray Hubbard. These areas are located within the City of Dallas.

NOTIFICATION:

On February 27, 2018, staff mailed 68 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stonebridge Meadows Homeowner's Associations (HOA's), which is the only HOA/Neighborhood Organization that is within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property as required by the UDC. At the time this report was drafted, staff had received two (2) notices and one (1) email in opposition to this request and two (2) notices in favor of the request.

RECOMMENDATIONS:

Should the Planning and Zoning Commission choose to approve the applicant's request, staff would offer the following conditions of approval:

- 1) The carport shall be subject to the following operational conditions, which are contained in the SUP ordinance:
 - (a) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of the SUP ordinance.
 - (b) The carport shall not exceed a maximum size of 400 SF.
 - (c) The accessory building shall not exceed a maximum overall height of nine (9) feet.
 - (d) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

- 2) Any construction or building necessary to complete this request must conform to the requirements set forth by the *UDC*, the *International Building Code*, the *Rockwall Municipal Code of Ordinances*, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

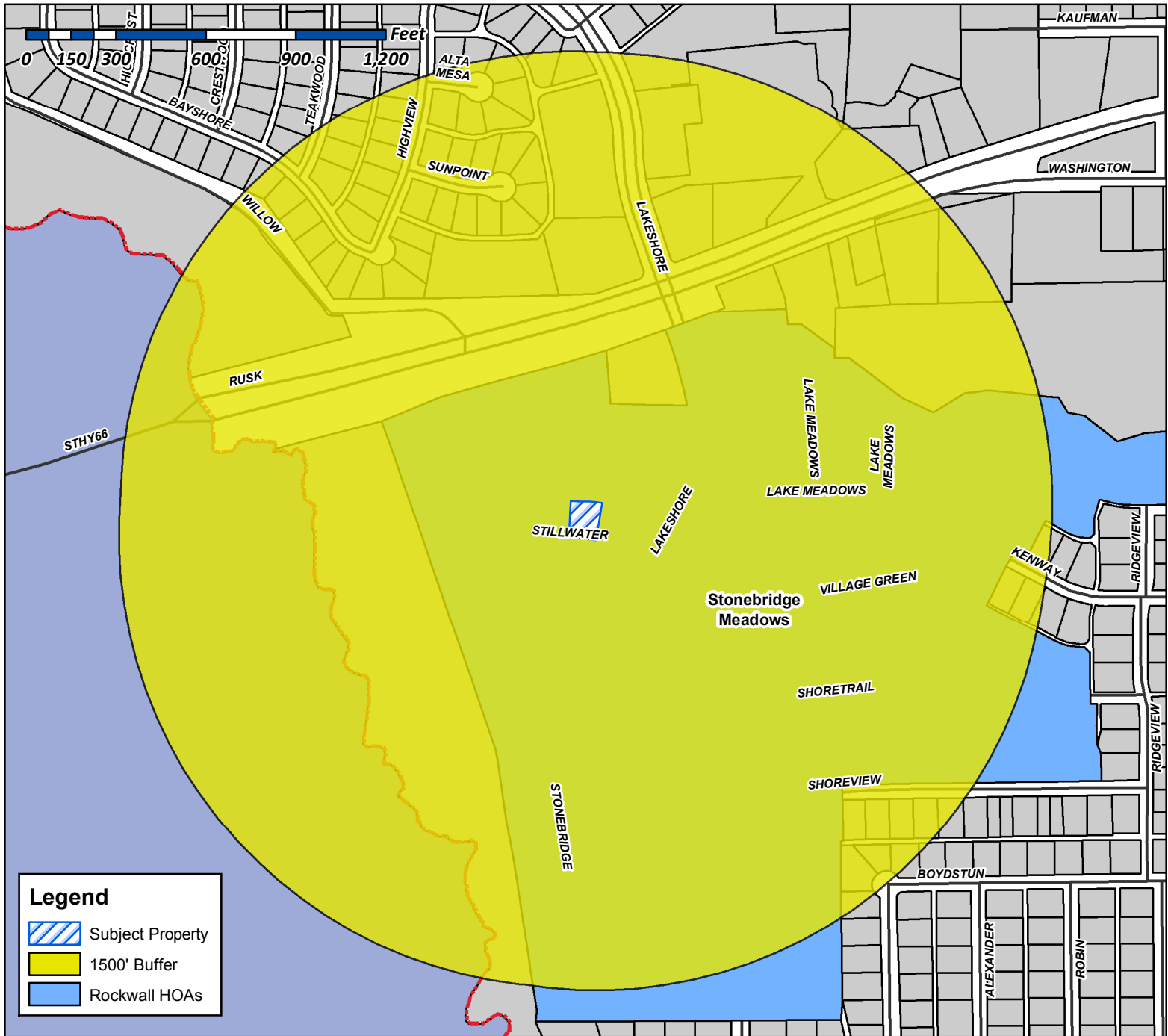




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

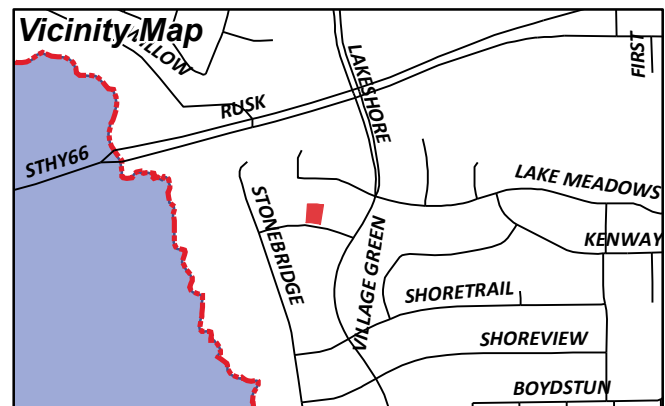
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2018-004
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: SF-10 District
Case Address: 706 Stillwater Drive

Date Created: 02/19/2018

For Questions on this Case Call (972) 771-7745



From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)
Subject: Neighborhood Notification Program: Notice of zoning request
Date: Wednesday, February 28, 2018 3:54:56 PM
Attachments: [PUBLIC NOTICE.pdf](#)

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request will be published in the Rockwall Herald Banner **March 2, 2018**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

Z2018-004- Hold a public hearing to discuss and consider a request by Jim & Kelly Matthews for the approval of a Specific Use Permit (SUP) for a carport on a 0.254-acre tract of land identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 706 Stillwater Drive, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

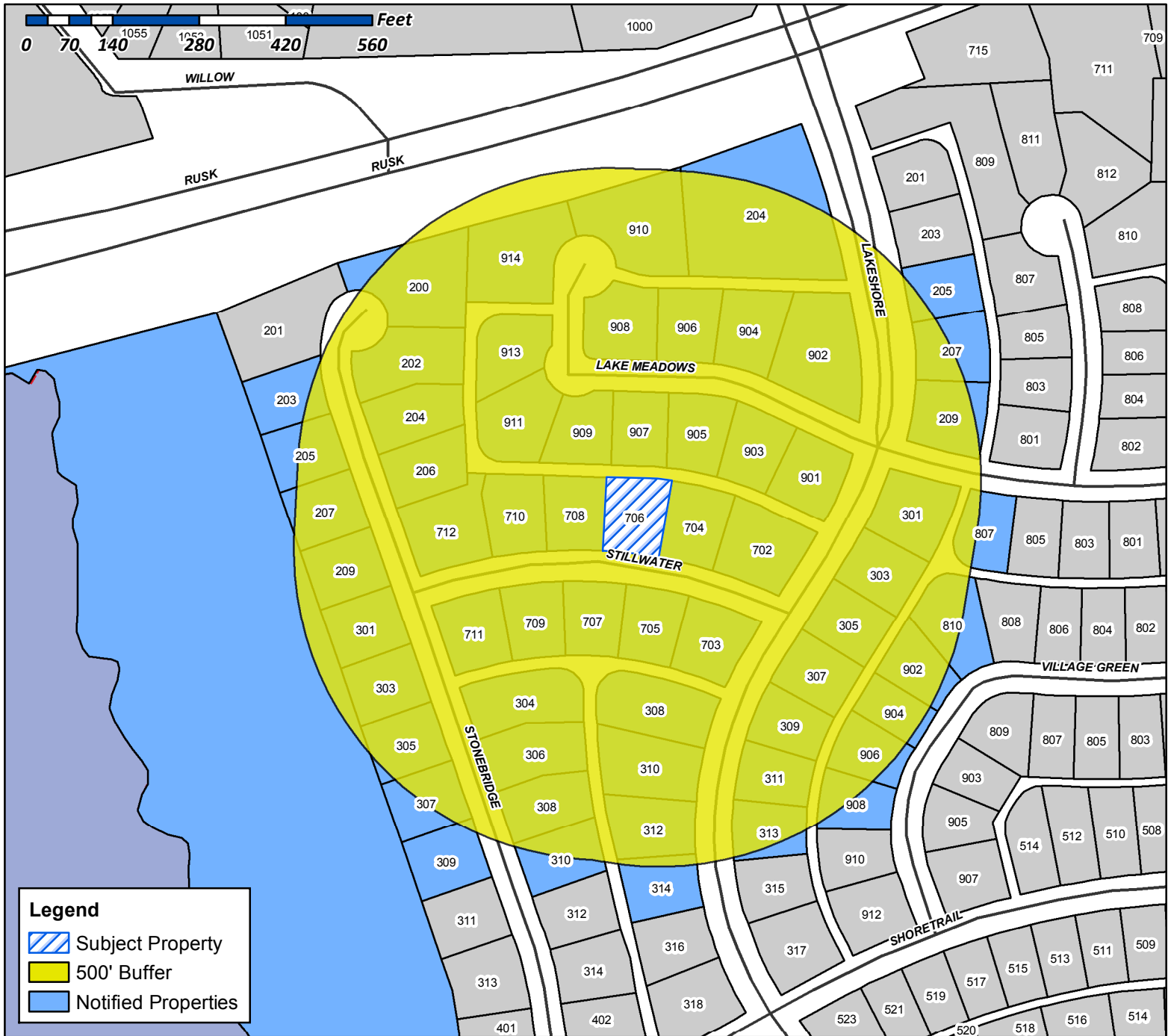
Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com>



City of Rockwall

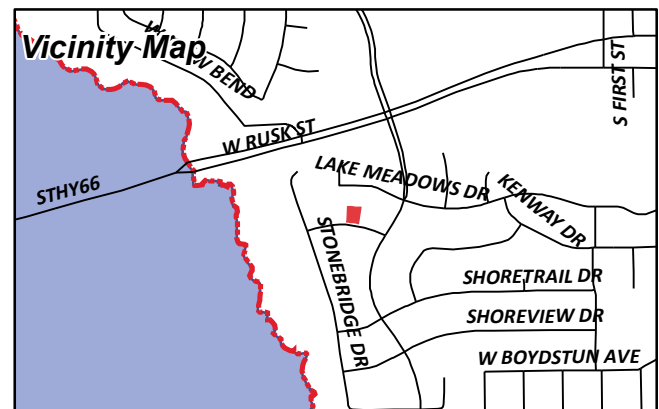
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2018-004
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: SF-10 District
Case Address: 706 Stillwater Drive

Date Created: 02/19/2018
For Questions on this Case Call (972) 771-7745



HARRISON CLIFFORD JR
1650 S JOHN KING BLVD #3801
ROCKWALL, TX 75032

STORMS STEWART M
1938 S LAKESHORE DR
ROCKWALL, TX 75087

HADDOCK VICKIE L ETAL
200 STONEBRIDGE DR
ROCKWALL, TX 75087

HERRIDGE KENNETH & JANICE
202 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GARRETT DAVID L AND CYNTHIA B
203 STONEBRIDGE DR
ROCKWALL, TX 75087

ASI GYMNASTICS PROPERTY RO LLC
204 S LAKESHORE DR
ROCKWALL, TX 75087

STEVENS WILLIAM T & LINDA
204 STONEBRIDGE DR
ROCKWALL, TX 75087

DUNCAN KEITH M & PATRICIA A
205 S LAKESHORE DR
ROCKWALL, TX 75087

SPRADLING LARRY P & SHIRLEY J
205 STONEBRIDGE DR
ROCKWALL, TX 75087

MORRIS J NEIL AND MICHELLE KIZER
206 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
207 STONEBRIDGE DR
ROCKWALL, TX 75087

VINES GREGORY STEVEN
207 SOUTH LAKESHORE DR
ROCKWALL, TX 75087

GAINES WILLIAM C & KELLEY A
209 SOUTH LAKESHORE
ROCKWALL, TX 75087

CONFIDENTIAL
209 STONEBRIDGE DR
ROCKWALL, TX 75087

KRATZ WILLIAM
2265 GARDEN CREST DR
ROCKWALL, TX 75087

DICKEY CLYDE E & FELITA
26 ENSIS RD
HILTON HEAD, SC 29928

HERNANDEZ PAUL GARACIA AND DOMINGA G
301 S LAKESHORE DR
ROCKWALL, TX 75087

MILLER TRACI AND
0
301 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GARDINER GARY F & VICKIE
303 S LAKESHORE DR
ROCKWALL, TX 75087

BLAHA JAN & ROBERT
303 STONEBRIDGE DR
ROCKWALL, TX 75087

DORSEY KIPPER L & LINDA O
304 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
305 LAKESHORE DR
ROCKWALL, TX 75087

CAIN T D ETUX
305 STONEBRIDGE DR
ROCKWALL, TX 75087

WILKERSON CASSANDRA A
306 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
307 LAKESHORE DR
ROCKWALL, TX 75087

POTTER MICHAEL C
307 STONEBRIDGE DR
ROCKWALL, TX 75087

RAHMANDAR JULIUS LIEM
308 S LAKESHORE DR
ROCKWALL, TX 75087

CUMMINGS LORI LYNN MALLOY & JOHN LEE
308 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GRAMENTINE SUSAN E
309 S LAKESHORE DR
ROCKWALL, TX 75087

HUTCHINS HAROLD CLYDE & KAREN
309 STONEBRIDGE DR
ROCKWALL, TX 75087

LEWIS MARTHA JEAN
310 S LAKESHORE DR
ROCKWALL, TX 75087

DEAPEN ALICIA & RICHARD
310 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

CRUES VERNON D & GERALDINE A
311 S LAKESHORE DR
ROCKWALL, TX 75087

DEGELIA JASPER & TEDDIE
312 S LAKESHORE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
313 LAKESHORE DR
ROCKWALL, TX 75087

WITWER WILLIAM F AND LISA C
314 S LAKESHORE DR
ROCKWALL, TX 75087

SMITH GARLAND KENT
575 BREEZY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
702 STILLWATER DR
ROCKWALL, TX 75087

BARNES GERALD D & LINDA C
703 STILLWATER DR
ROCKWALL, TX 75087

ALSTON ROBERT M & MARY P
704 STILLWATER DR
ROCKWALL, TX 75087

GARDENHIRE DONA GENE SPELCE
705 STILLWATER DR
ROCKWALL, TX 75087

MATTHEWS JAMES D AND KELLEY M
706 STILLWATER DR
ROCKWALL, TX 75087

UMBARGER IMOGENE T
707 STILLWATER DR
ROCKWALL, TX 75087

KEATING WILLIAM F
708 STILLWATER DR
ROCKWALL, TX 75087

CURRENT RESIDENT
709 STILLWATER DR
ROCKWALL, TX 75087

GUSTAFSON MARION
710 STILLWATER DR
ROCKWALL, TX 75087

WELLS PATRICK S & RHONDA C
711 STILLWATER DR
ROCKWALL, TX 75087

KEEFER CLAUD PAUL SR AND JEWEL TINDALL
KEEFER
712 STILLWATER DR
ROCKWALL, TX 75087

LARUE ANDREW T
807 LAKE MEADOWS DR
ROCKWALL, TX 75087

HOWARD KAREN &
O
810 VILLAGE GREEN DR
ROCKWALL, TX 75087

CUTBUSH DAVID & WENDY
901 LAKE MEADOWS DR
ROCKWALL, TX 75087

WALKER TOMMY H AND SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

EQUITY TRUST COMPANY CUSTODIAN
O
902 VILLAGE GREEN DR
ROCKWALL, TX 75087

METZGER TAMMY AND TIMOTHY
903 LAKE MEADOWS DR
ROCKWALL, TX 75087

SHERRIN NOEL & LOIS
904 LAKE MEADOWS DR
ROCKWALL, TX 75087

CONFIDENTIAL
904 VILLAGE GREEN DR
ROCKWALL, TX 75087

BOWENS BILLY NORRIS
905 LAKE MEADOWS DR
ROCKWALL, TX 75087

VUCKOVIC ZLATAN & JOANNE M
906 LAKE MEADOWS DR
ROCKWALL, TX 75087

ROUTEN DANIEL C & KRISTI P
906 VILLAGE GREEN DR
ROCKWALL, TX 75087

SAMFORD BRIAN S & LISA E
907 LAKE MEADOWS DR
ROCKWALL, TX 75087

WHITE JACOB A & PRISELDA B
908 LAKE MEADOWS DR
ROCKWALL, TX 75087

ORLOWSKI RAYMOND & BARBARA
908 VILLAGE GREEN DR
ROCKWALL, TX 75087

JENSEN LEE ROBERT & SUSAN MARY
909 LAKE MEADOWS DR
ROCKWALL, TX 75087

COOK WILLIAM F
910 LAKE MEADOWS DR
ROCKWALL, TX 75087

CUMMINGS DANIEL DEE ET UX
911 LAKE MEADOWS DR
ROCKWALL, TX 75087

BROWNE MARK
913 LAKE MEADOWS DRIVE
ROCKWALL, TX 75087

YBARRA LEOPOLD AND SONIA
914 LAKE MEADOWS DR
ROCKWALL, TX 75087

DOUGLAS LEE DENDY LIFE ESTATE AND
0
DOUGLAS KEITH DENDY AND RANDY LEE DENDY
0
TERRELL, TX 75160

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW:
Date: Tuesday, March 06, 2018 4:24:05 PM

From: Shirley Spradling [mailto:shirleyspradling@hotmail.com]
Sent: Tuesday, March 06, 2018 3:42 PM
To: Planning
Subject:

Sent from Windows Mail

Ryan Miller.... Rockwall Planning and Zoning Dept.

We are opposed to changing our neighborhood to carports that typically accumulate junk and lower the value of our homes. We have noticed that several carports have been built recently in our area and we can't believe that the City even considers carports unless it is for medical reasons. Please decline this request and have the carport removed since it has already been built. How many other carports have been built without a permit and are still standing? What happened to the city inspectors that at one time drove around and found these violations????? Maybe it's time to revisit this procedure and keep our neighborhoods within the codes that were established for a good reason.

WE OPPOSE THIS REQUEST

Case No. Z2018-004 SUP for 706 Stillwater

Larry & Shirley Spradling

205 STONEBRIDGE DR.

ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2018-004: SUP for 706 Stillwater

Hold a public hearing to discuss and consider a request by Jim & Kelly Matthews for the approval of a Specific Use Permit (SUP) for a carport on a 0.254-acre tract of land identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 706 Stillwater Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/19/2018** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2018-004: SUP for 706 Stillwater

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

*Tastefully done - Does NOT detract from
neighborhood*

Name:

Cynthia Garrett

Address:

203 Stonebridge Dr.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

This is not a "Carport" neighborhood. I see five (FIVE) driveways out my back kitchen and den windows. Can you imagine how trashy it would look if everyone erected a carport over their driveway?? It's bad enough I already have

Name:

Linda Dorsey

Address:

304 Stonebridge Dr, Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

to look at a trailer 3/4 of the year, however, they tell me he was "Grandfathered in". Also there's another trailer at the end of my alley and it looks just horrible. The old saying goes "What you do for one you have to do for all and for this I say absolutely not. If they want a Carport they need

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748

reason



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745

EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2018-004: SUP for 706 Stillwater

Hold a public hearing to discuss and consider a request by Jim & Kelly Matthews for the approval of a Specific Use Permit (SUP) for a carport on a 0.254-acre tract of land identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 706 Stillwater Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/19/2018** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2018-004: SUP for 706 Stillwater

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Susan Tramentine

Address:

309 S. Lakeshore Dr.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2018-004: SUP for 706 Stillwater

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

THE HOUSE ON MY RIGHT HAS A CARPORT AND IT
DOESN'T BOTHER ME SO I DON'T OBJECT TO
SOMEONE ELSE'S.

Name:

TEDDIE DEBELIA Jeddie Debelia

Address:

312 S. LAKE SHORE DR. ROCKWALL, TX. 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE







CITY OF ROCKWALL

BUILDING PERMITS BUILDING INSPECTION DEPT.

385 S. Goliad St.,
Rockwall, TX 75087

Phone #: (972) 771-7709

Permit #

BLD2018-0383

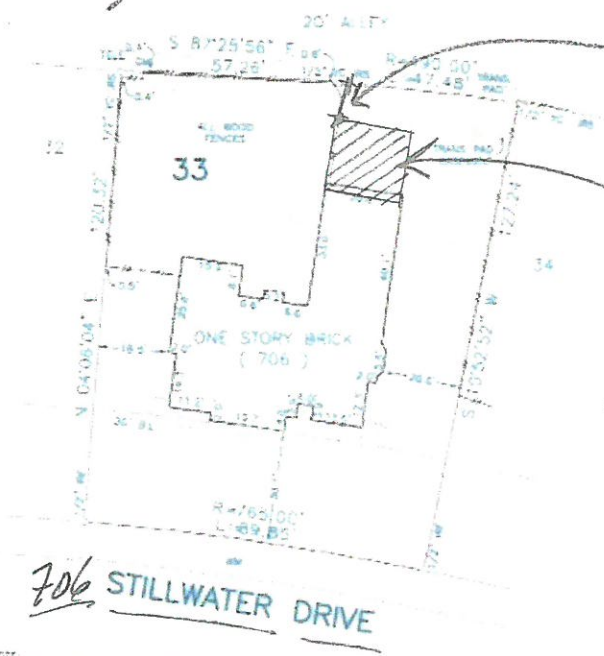
To schedule an inspection go to: www.rockwall.com/buildinginspections/inspectionreq.asp

CONSTRUCTION ADDRESS <u>706 Stillwater</u>		TYPE OF PERMIT <u>car port</u>						
SUBDIVISION		ZONING	LOT	BLOCK				
BUILDING OWNER <u>Jim Kelley</u>	MAIL ADDRESS <u>Matthews</u>	CITY, STATE, ZIP <u>75087</u>	PHONE # <u>214 502 7685</u>					
PERSON TO BE CONTACTED REGARDING PERMIT <u>Jim</u>	E-MAIL ADDRESS <u>choiceheatandair@Apc.com</u>	PHONE # <u>214 502 7685</u>						
EMAIL ADDRESS FOR INSPECTION REPORT <u>choiceheatandair@Apc.com</u>								
GENERAL CONTRACTOR <u>Jim Matthews</u>	MAIL ADDRESS <u>706 Stillwater</u>	CITY, STATE, ZIP <u>RW 75087</u>	PHONE # <u>214-502-7685</u>					
ELECTRICAL CONTRACTOR	MAIL ADDRESS	CITY, STATE, ZIP	PHONE #					
PLUMBING CONTRACTOR	MAIL ADDRESS	CITY, STATE, ZIP	PHONE #					
MECHANICAL CONTRACTOR	MAIL ADDRESS	CITY, STATE, ZIP	PHONE #					
BUILDING INFORMATION								
1 st floor SF	2 nd floor SF	Garage	Covered Porch	Covered Patio	Total SF	Height	Lot Size	Plan #:
Permit Description: <u>20x28, Mueller, car port</u>								
NOTICE TO APPLICANT: THIS PERMIT IS ISSUED ON THE BASIS OF INFORMATION FURNISHED IN THIS APPLICATION AND ON ANY SUBMITTED PLANS, AND IS SUBJECT TO THE PROVISIONS IN ADDITION, REQUIREMENTS OF THE CITY OF ROCKWALL CODE OF ORDINANCES AND ANY OTHER APPLICABLE ORDINANCE. THIS PERMIT IS ISSUED ONLY FOR THE PURPOSE OF ALLOWING CONSTRUCTION OF A BUILDING OR STRUCTURE CONFORMING TO THE CODES AND ORDINANCES OF THE CITY, REGARDLESS OF INFORMATION AND/OR PLANS SUBMITTED.								
SCOPE OF PERMIT: FOR NEW BUILDINGS AND FOR ADDITIONS TO EXISTING BUILDINGS, THIS PERMIT AUTHORIZES STRUCTURAL, PLUMBING, ELECTRICAL, MECHANICAL, AND WORK TO BE PERFORMED IN THE CONSTRUCTION OF THE BUILDING OR STRUCTURE AT THIS ADDRESS, IF DONE AT THE SAME TIME OF INITIAL CONSTRUCTION. NO SEPARATE SUBCONTRACTOR PERMITS ARE NEEDED FOR THOSE TRADES. HOWEVER, THE PERMIT HOLDER IS REQUIRED TO USE ONLY SUBCONTRACTORS LICENSES, REGISTERED, OR BONDED BY THE CITY OF ROCKWALL WHERE SUCH REQUIREMENT IS APPLICABLE.								
I HEREBY ACCEPT ALL CONDITIONS HEREIN ABOVE MENTIONED AND CERTIFY THAT ALL STATEMENTS HEREIN RECORDED BY ME ARE TRUE: <u>[Signature]</u> AGENT OR APPLICANT <u>2-14-18</u> (DATE) Subject property is _____ or is not _____ within the flood hazard area. Required lowest floor elevation is _____					ESTIMATED VALUE: <u>\$2,000</u>			
CITY APPROVAL (DATE)					Building Permit \$ _____ Water Meter Deposit \$ _____ Meter Installation \$ _____ Sewer Service \$ _____ Water Impact Fees \$ _____ Sewer Impact Fees \$ _____ Siren Fee \$ _____ Contractor Registration \$ _____ Certificate of Occupancy \$ _____ Total Fees \$ _____			

DECEASED PROPERTY
 VOLUME 76 PAGE 414
 VOLUME 43 PAGE 430
 VOLUME 76 PAGE 500



TITLE AND ABSTRACTING WORK FURNISHED BY: ROCKWALL COUNTY RECORDS



SURVEYOR'S NOTE:
 SURVEYOR'S CONTROL TAKEN FROM OFFSET TO THE WEST LINE
 OF LOT 12, BLOCK A, OF THE SUBDIVISION PLAT OF
 STILLWATER WOODS, BASED UPON AS RECORDED IN
 CARNETT A, BLOCK 108, PLAT 1080000, ROCKWALL COUNTY,
 TEXAS.

The plat herein is true, correct, and accurate representation of the property as determined by
 survey, the lines and dimensions of said property being as indicated by the plat, the size, location
 and type of building and improvements are as shown, all improvements being within the boundaries
 of the property, set back from property lines the distance indicated, or visible and apparent easements.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS EXCEPT AS SHOWN

Scale: 1" = 30'
 Date: 3/24/2015
 C. F. No: 201503562
 Job No: 92777
 Drawn by: CW

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
 ROCKWALL COUNTY ABSTRACT
 USE OF THIS SURVEY FOR ANY OTHER PURPOSE
 OR OTHER PARTIES SHALL BE AT THEIR RISK AND
 UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS
 FOR ANY LOSS RESULTING THEREFROM.



MUST BE Located
 20' OFF Property
 LINE From Alley !

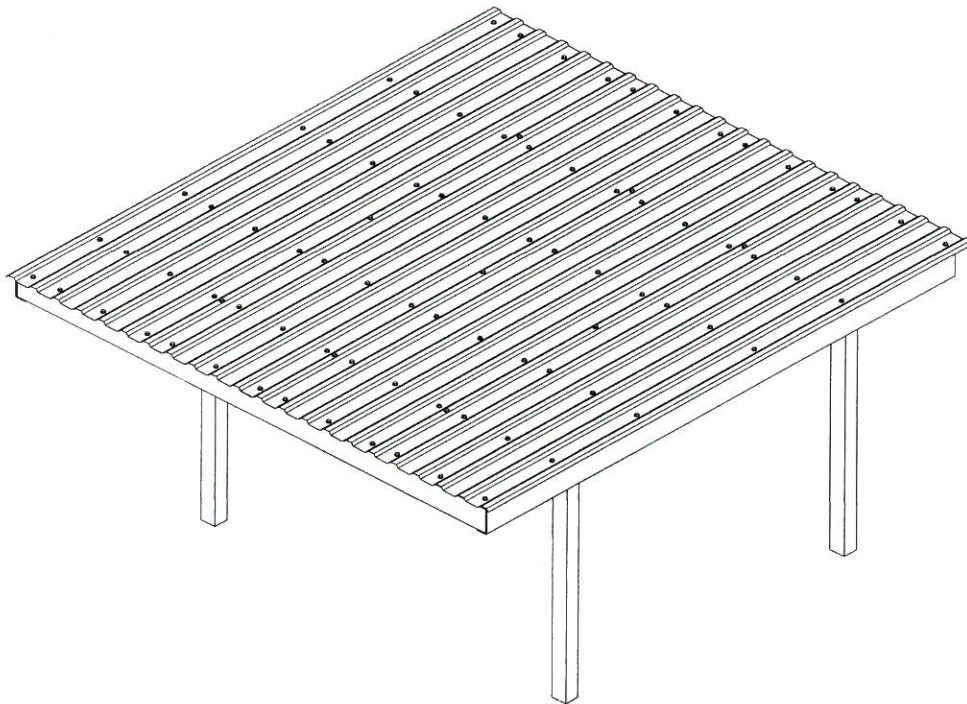
10' off
 property line
 from alley

20x20
 "Mueller"
 20x20 Carport

pq 3: optional
 base plate attach
 for exist concrete

w/ 5/8" epoxy
 drive anchors

706 Stillwater



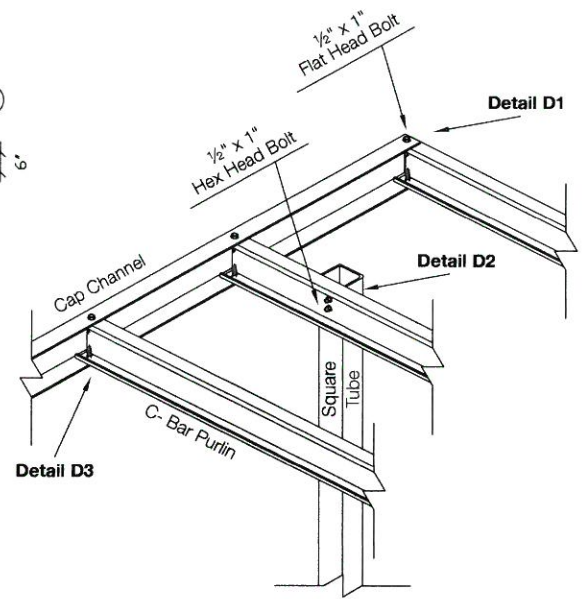
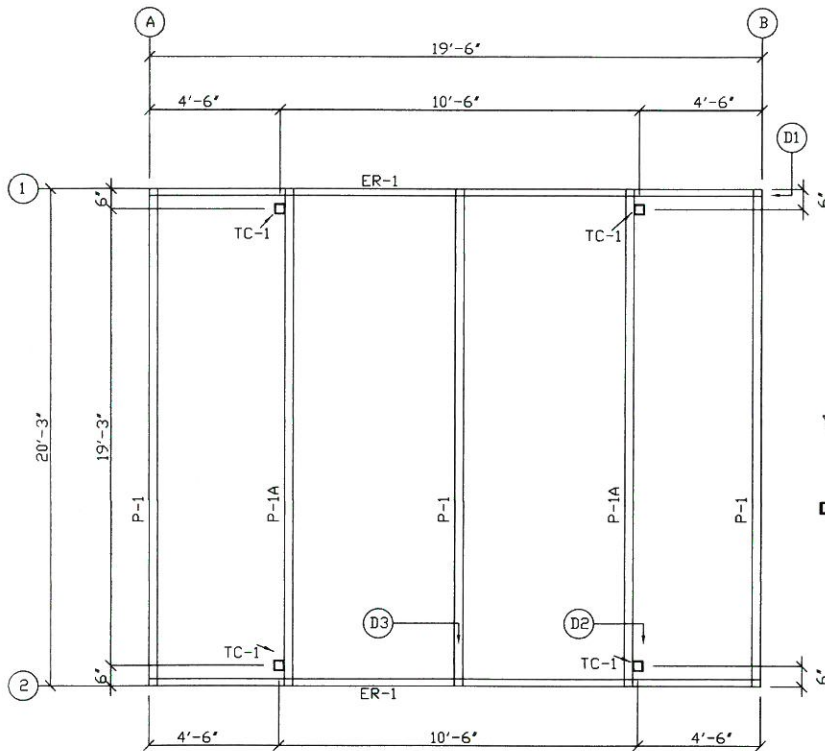
20x20 Carport Instructions

Mueller carports are not engineered structures and do not meet any specific building code criteria.

877-2- MUELLER • www.muellerinc.com



NOTE: Carport kits are not engineered.



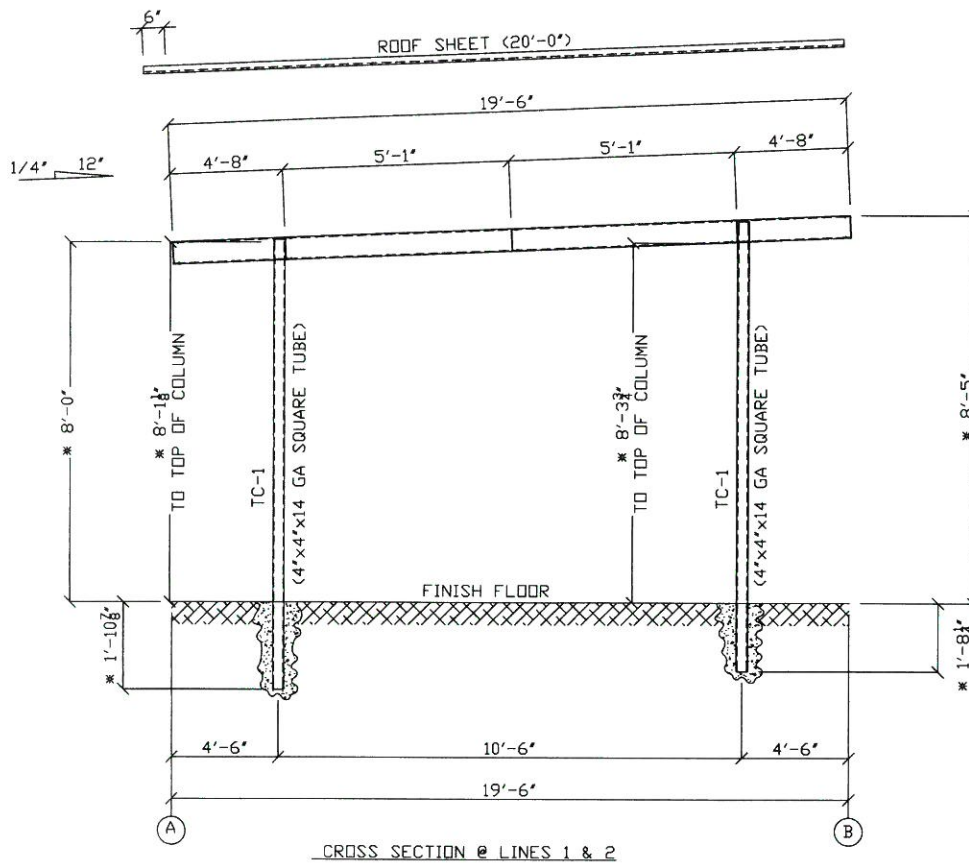
List of Materials			
MARK	QTY	DESCRIPTION	LENGTH
P-1	3	8" x 2½" C-BAR	20'-2½"
P-1A	2	8" x 2½" C-BAR "PU"	20'-2½"
ER-1	2	8" x 2 CAP CHANNEL	19'-6"
TC-1	4	4" x 4" SQUARE TUBE	10'-0"
	8	BOLT - HEX HEAD	½" x 1"
	20	BOLT - FLAT HEAD	½" x 1"
(4)		(4" x 4" x 12' OPTIONAL)	

NOTE: Sheets are to hang off the low side.

MUELLER, INC.
METAL BUILDINGS, ROOFING & COMPONENTS

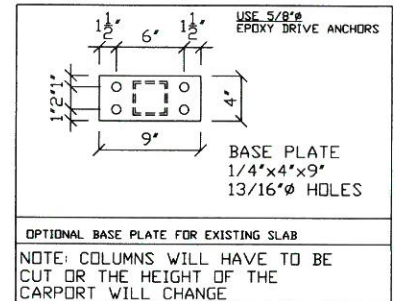
877-2- MUELLER
www.muellerinc.com

NOTE: Carport kits are not engineered.



CROSS SECTION @ LINES 1 & 2

* DIMENSION VARIES DEPENDING ON EAVE HEIGHT AND COLUMN RECESSON



NOTE: 12" columns optional. Add 2' to all height dimensions.

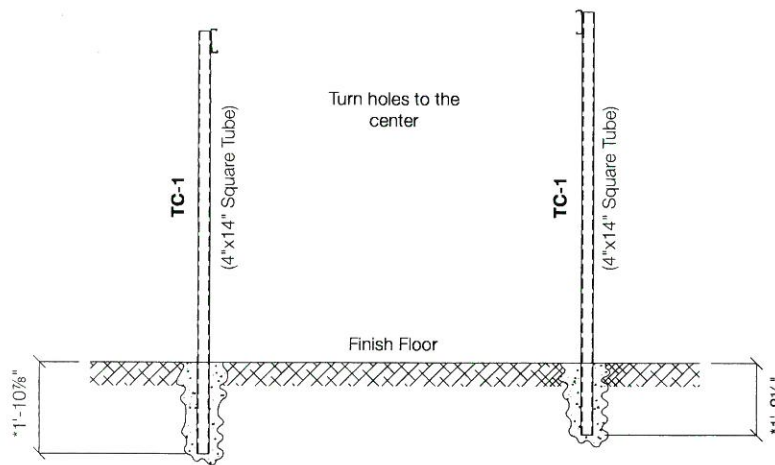
MUELLER, INC.
METAL BUILDINGS, ROOFING & COMPONENTS

877-2- MUELLER
www.muellerinc.com

ALL INSTRUCTIONS MUST BE READ PRIOR TO INSTALLATION

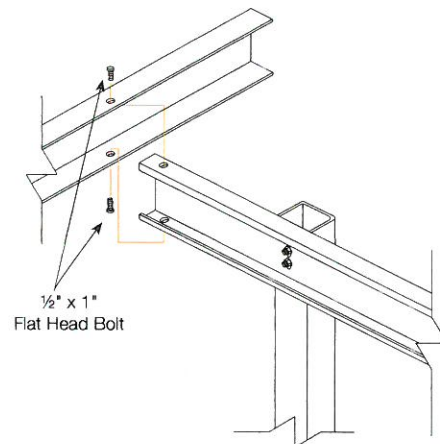
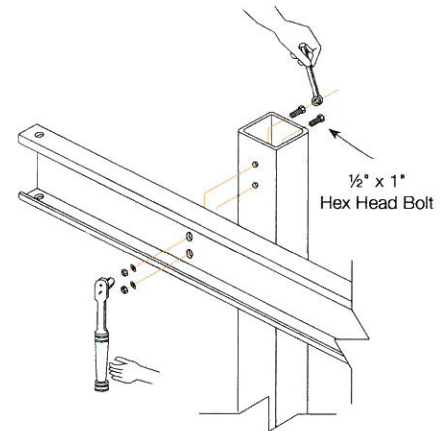
SET COLUMNS

Spacing and elevation of the columns are critical to the proper installation of the Mueller carport. The columns must be square, plumb and set at the exact dimensions shown on the drawings. Depending on the direction of the watershed, the high side columns must be 2 5/8" taller than the low side columns to achieve the appropriate pitch. Particular attention should be paid to direction of the pre-punched holes in the top of the columns as shown in the framing drawings (**Holes in column must face to the center of the carport**). Pack a small amount of dirt around each column to temporarily hold them. Do not apply concrete at this time. Time and care should be taken on column installation, as this will directly affect the appearance and ease of installation on the rest of the carport.



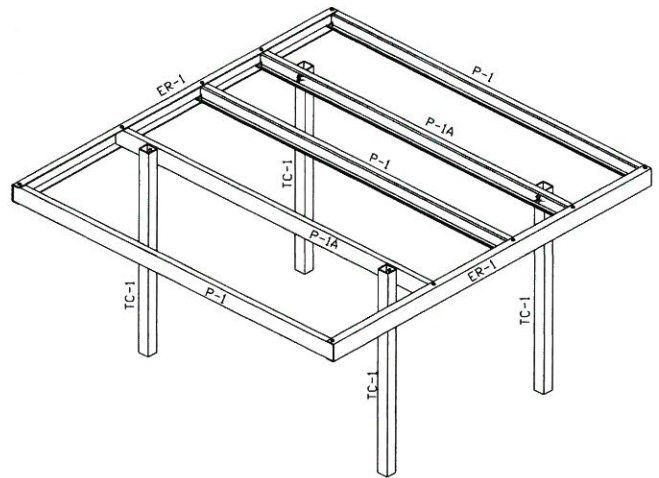
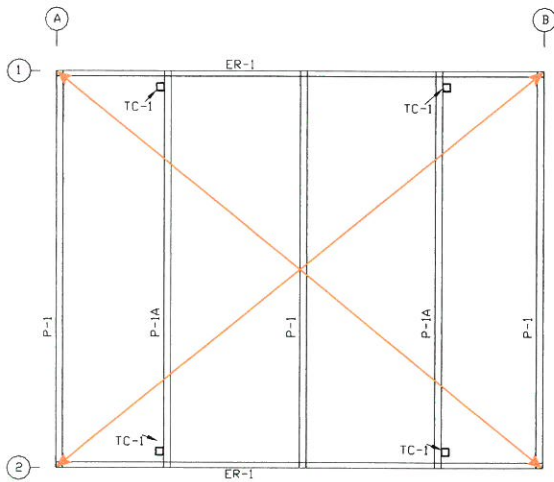
FRAMING

- 1** Turn open face of purlin to the center of carport. Align pre-punched holes in column and purlin (P-1A) and attach with $\frac{1}{2}$ " Hex Head bolts as shown.
- 2** Repeat step 1 at all columns as shown in framing details.
- 3** Install both cap channels (ER-1) as shown in the framing detail. End of cap channel should be 4'-6" from center of column. Making sure the purlins (P-1A) are inserted as deep as possible into the cap channels. Attach with bolts as shown.
- 4** Center purlin (P-1) is installed according to dimensions shown on drawing, and attached with bolts as shown. Turn open face of purlin either direction.
- 5** Install the high side (P-1) and low side (P-1) purlins with the open face of purlin pointed towards the center of the carport. Insert the purlins as far as possible into the cap channel (ER-1) and flush with the end of cap channel to form and outside corner and attach with Flat Head bolts as shown.



CROSS SQUARE THE FRAME (EXAMPLE)

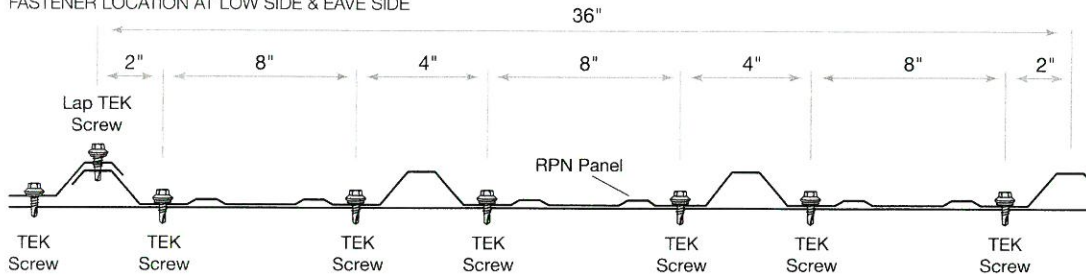
Measure the frame corner to corner diagonally making sure both dimensions are the same. If not, pull the frame square before starting sheeting. Commonly used tools are come-a-longs and ratchet straps. Squaring the frame is critical to make the sheets run true on the frame and will affect appearance and ease of installation. Re-check level on both P-1A purlins running column to column then add concrete and allow to dry.



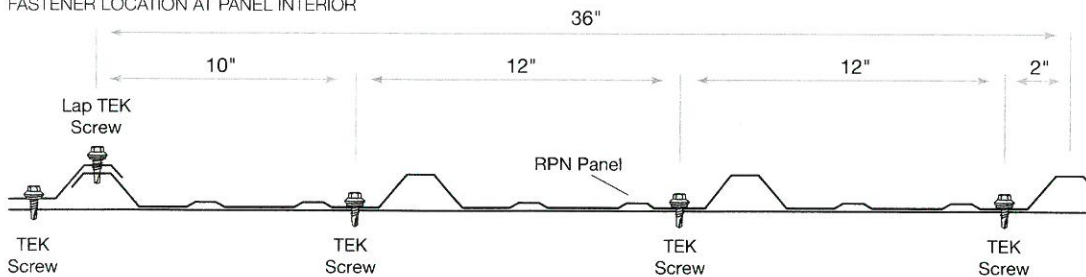
ROOF SHEETS

- 1** Place the first roof sheet flush with the outside of the cap channel (ER-1). Overhang the high and low side purlins equal distances, approximately 3". Optional trim package requires the roof sheets to be applied flush with the high side purlin and all overhang is to go to the low side purlin, approximately 6".
- 2** Attach sheets to purlin using screw patterns shown in drawings.
- 3** Repeat steps 1 & 2 until all sheets are applied.
- 4** Lap screws are applied on 30" centers as shown in drawings.

FASTENER LOCATION AT LOW SIDE & EAVE SIDE



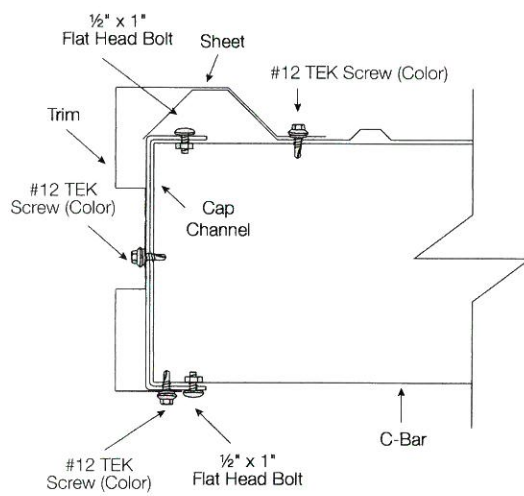
FASTENER LOCATION AT PANEL INTERIOR



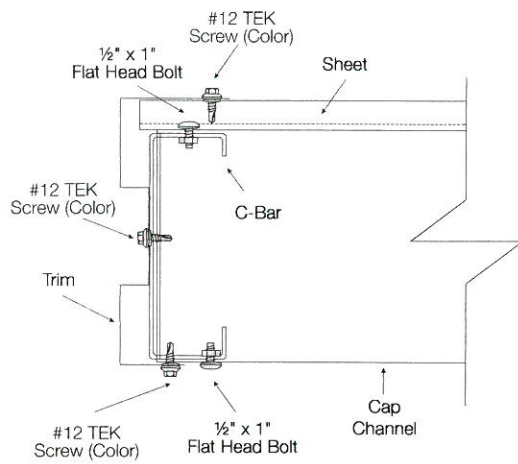
OPTIONAL TRIM PACKAGE

Apply as shown in trim drawings.

RAKE TRIM

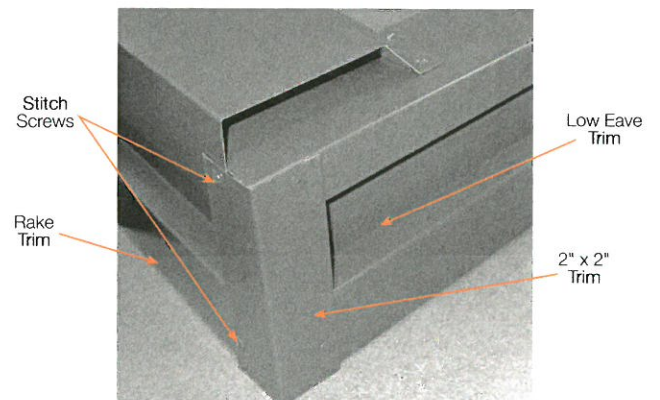
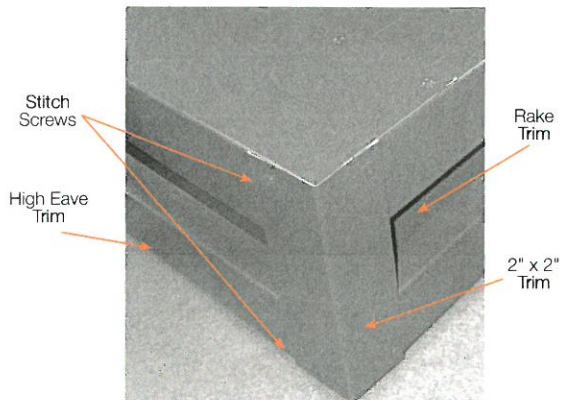
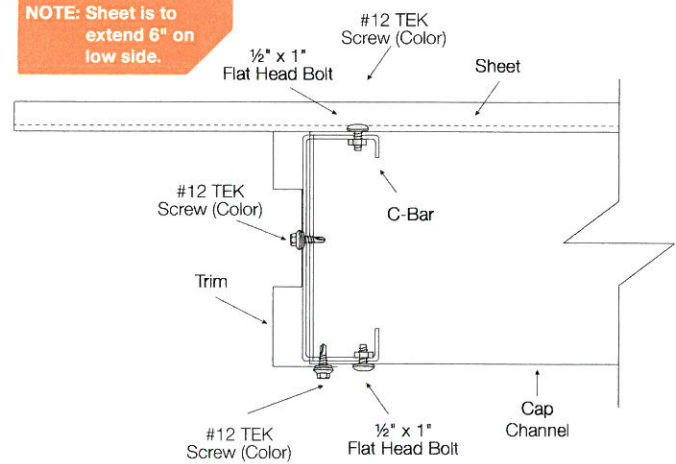


HIGH EAVE RAKE



LOW EAVE RAKE

NOTE: Sheet is to extend 6" on low side.

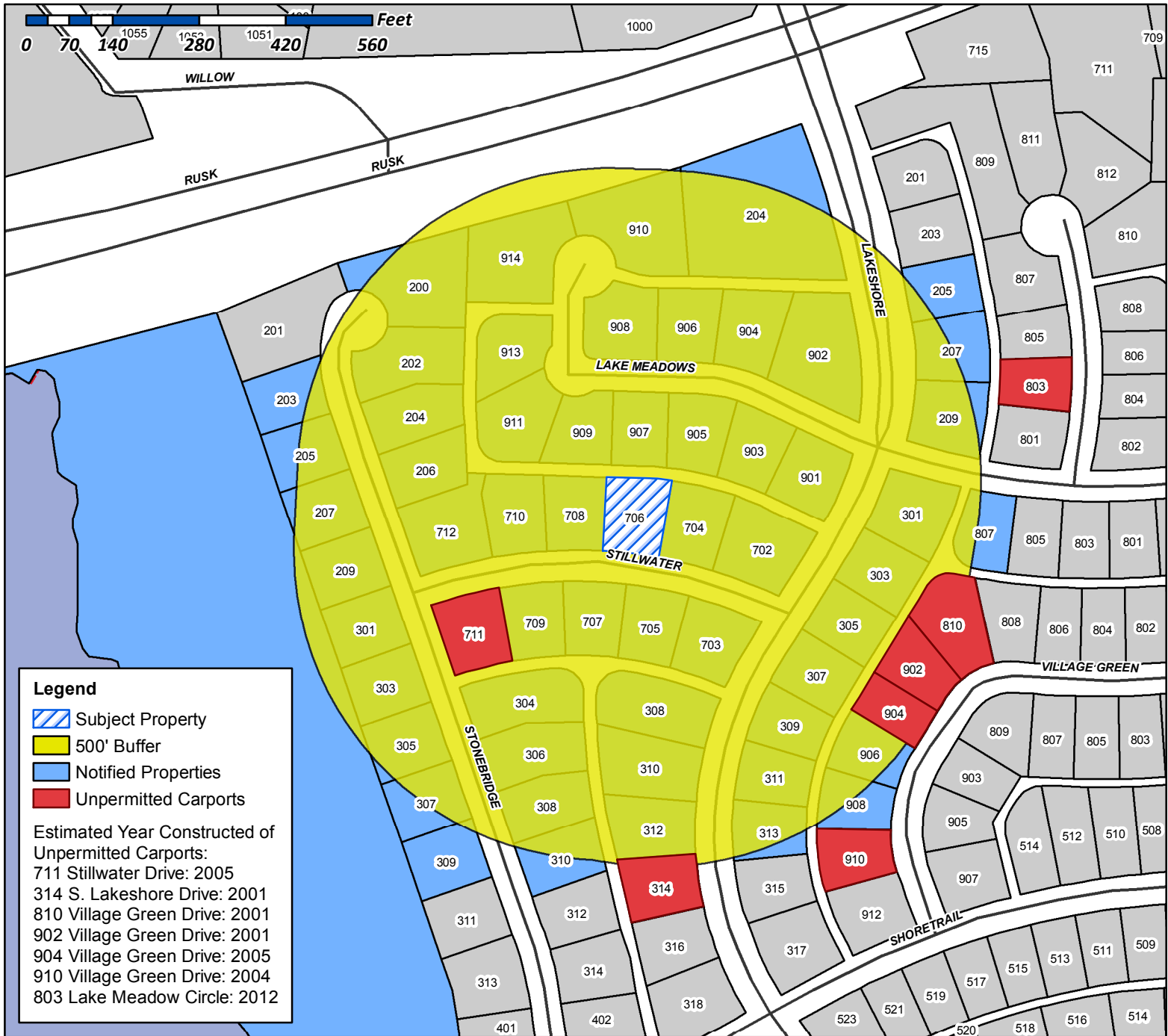




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

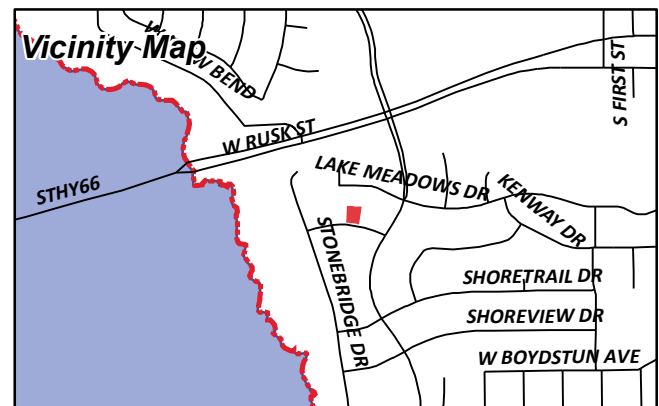
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2018-004
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: SF-10 District
Case Address: 706 Stillwater Drive

Date Created: 03/08/2018

For Questions on this Case Call (972) 771-7745





902 Village green



906 Village Green



910 Village Green



314 Lakeshore



711 Stillwater



903 Lake Meadows Cir

CITY OF ROCKWALL

ORDINANCE NO. 18-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A CARPORT THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON A 0.254-ACRE PARCEL OF LAND ZONED SINGLE FAMILY 10 (SF-10) DISTRICT AND IDENTIFIED AS LOT 33, BLOCK A, STONEBRIDGE MEADOWS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Jim and Kelly Matthews for the approval of a Specific Use Permit (SUP) for the purpose of allowing a previously constructed carport that does not meet the minimum requirements, situated for a 0.254-acre parcel of land, zoned Single Family 10 (SF-10) District, and being identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, addressed as 706 Stillwater Drive, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit allowing for the establishment of a carport that does not meet the minimum setback requirements for a garage in a Single Family 10 (SF-10) District as stipulated by *Article IV, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Section 3.4, Single-Family 10 (SF-10) District*, of *Article V, District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a carport on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- 2) The carport shall not exceed a maximum size of 400 square feet.
- 3) The accessory building shall not exceed a maximum overall height of nine (9) feet.
- 4) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code [Ordinance No. 04-38] will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code [Ordinance No. 04-38], the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code [Ordinance No. 04-38].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF APRIL, 2018.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 19, 2018

2nd Reading: April 2, 2018

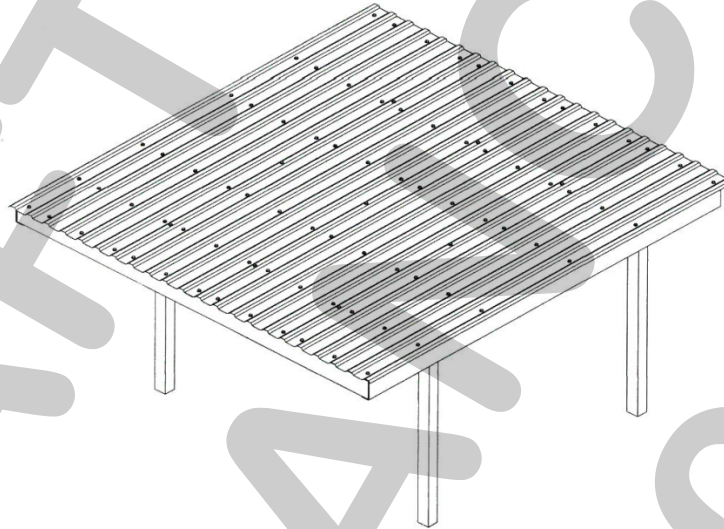
Exhibit 'A':
Legal Description and Property Location

Address: 706 Stillwater Drive

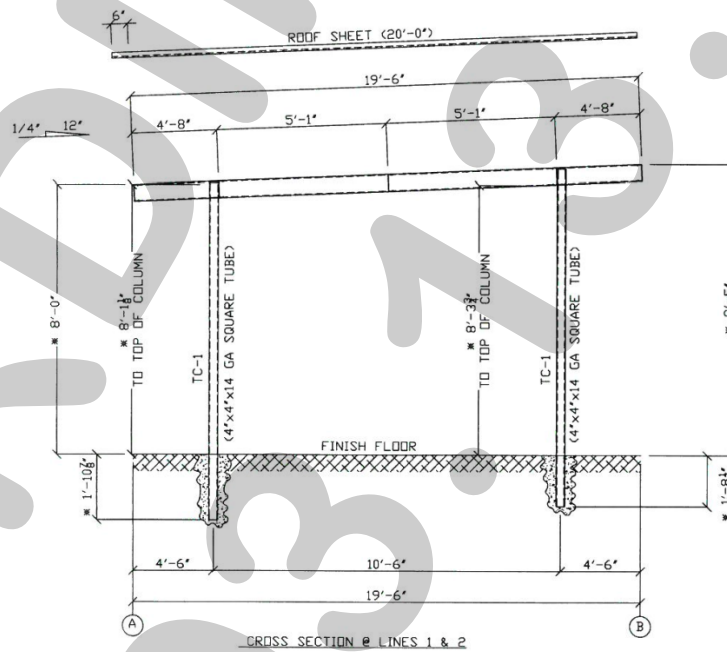
Legal Description: Lot 33, Block A, Stonebridge Meadows Addition



Exhibit 'B':
Building Elevations



NOTE: Carport kits are not engineered.



CITY OF ROCKWALL

CITY COUNCIL MEMO

AGENDA DATE: 03/19/2018

APPLICANT: Jim & Kelly Matthews

AGENDA ITEM: Z2018-004; SUP for a Carport at 706 Stillwater Drive

SUMMARY:

Hold a public hearing to discuss and consider a request by Jim & Kelly Matthews for the approval of a Specific Use Permit (SUP) for a carport on a 0.254-acre tract of land identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 706 Stillwater Drive, and take any action necessary.

PURPOSE AND CHARACTERISTICS OF THE REQUEST:

On February 2, 2018, the Neighborhood Improvement Services (NIS) Department initiated a code compliance case (*i.e.* CE2018-0281) for the construction of a carport without a building permit on the *subject property* at 706 Stillwater Drive. At that time, the homeowner was instructed to submit an application for a building permit, and did so on February 14, 2018. Upon inspection of the carport it was determined that the carport did not meet the minimum standards stipulated by the Unified Development Code (UDC), and the homeowner was instructed to submit for a Specific Use Permit (SUP) through the Planning and Zoning Department.

The carport is a 20-foot by 20-foot (*or 400 SF*) metal structure that is set on wooden post and has one sheet of R-Panel (*estimated to be two [2] feet by ten [10] feet*) extending from the roof, down each side of the structure. The structure is listed as being between eight (8) feet and eight and one-half (8½) feet tall. According to Article VI, *Permissible Uses*, of the UDC, carports in residential districts must be [1] open on at least two (2) sides, [2] be situated 20-feet behind the front façade of the primary structure, [3] meet the same setbacks as a garage when adjacent to an alley, and [4] when visible from a public street be constructed of materials matching those of the primary residential structure. In this case, the constructed carport does not meet the minimum setbacks for a carport in this district. According to the UDC, garages are required to be a minimum of 20-feet from public right-of-way. In addition, the minimum building setback in a Single Family 10 (SF-10) District is ten (10) feet. Staff has measured the rear setback of the constructed carport and determined that the structure is approximately eight (8) feet from the rear property line. This means that the carport encroaches the garage setback by approximately 12-feet and the minimum building setback by two (2) feet. The UDC, does allow the City Council to consider non-conforming carports on a discretionary basis through a SUP.

Staff should point out that only one (1) carport has been permitted through a building permit in the Stonebridge subdivision as indicated in the City's building permit tracking software, and that this carport met all the requirements and did not require a SUP; however, seven (7) carports exist within the notification area. Six (6) of the seven (7) carports were built between 2001 and 2005 (*i.e. as determined by aerials*), with the remaining carport being constructed in 2012. The current carport ordinance was adopted in 2006 by *Ordinance No. 06-14*. Staff has provided images of the unpermitted carports and a map showing their locations in the attached packet.

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are as follows:

- North:* Directly north of the subject property is the remainder of Stonebridge Meadows, Phase 5, which is zoned Single Family 10 (SF-10) District and consists of 72 single-family residential lots. Beyond this is W. Rusk Street [*SH-66*], which is identified as a P6D (*principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the Comprehensive Plan.
- South:* Directly south of the subject property is the remainder of Stonebridge Meadows, Phase 5, which is zoned Single Family 10 (SF-10) District and consists of 72 single-family residential lots. Beyond this is Stonebridge Meadows, Phase 1, which is zoned Single Family 10 (SF-10) District and consists of 40 single-family residential lots.
- East:* Directly east of the subject property is S. Lakeshore Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is the remainder of Stonebridge Meadows, Phase 5, which is zoned Single Family 10 (SF-10) District and consists of 72 single-family residential lots. East of this is Stone Bridge, Phase 4, which is zoned Single Family 7 (SF-7) District and consists of 71 single-family residential lots.
- West:* Directly west of the subject property is the remainder of Stonebridge Meadows, Phase 5, which is zoned Single Family 10 (SF-10) District and consists of 72 single-family residential lots. Beyond this is the corporate boundaries of the City of Rockwall followed by the *Lake Ray Hubbard Takeline* and Lake Ray Hubbard. These areas are located within the City of Dallas.

NOTIFICATION:

On February 27, 2018, staff mailed 68 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stonebridge Meadows Homeowner's Associations (HOA's), which is the only HOA/Neighborhood Organization that is within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property as required by the UDC. At the time this report was drafted, staff had received one (1) notice and two (2) emails in opposition to this request and three (3) notices and one (1) email in favor of this request.

RECOMMENDATIONS:

Should the City Council choose to approve the applicant's request, staff would offer the following conditions of approval:

- 1) The carport shall be subject to the following operational conditions, which are contained in the SUP ordinance:
 - (a) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of the SUP ordinance.
 - (b) The carport shall not exceed a maximum size of 400 SF.
 - (c) The accessory building shall not exceed a maximum overall height of nine (9) feet.
 - (d) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

- 2) Any construction or building necessary to complete this request must conform to the requirements set forth by the *UDC*, the *International Building Code*, the *Rockwall Municipal Code of Ordinances*, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

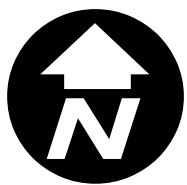
On March 13, 2018, the Planning and Zoning Commission approved a motion to recommend approval of the applicant's request by a vote of 4-1, with Commissioner Logan dissenting and Chairman Lyons and Commissioner Trowbridge absent.



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

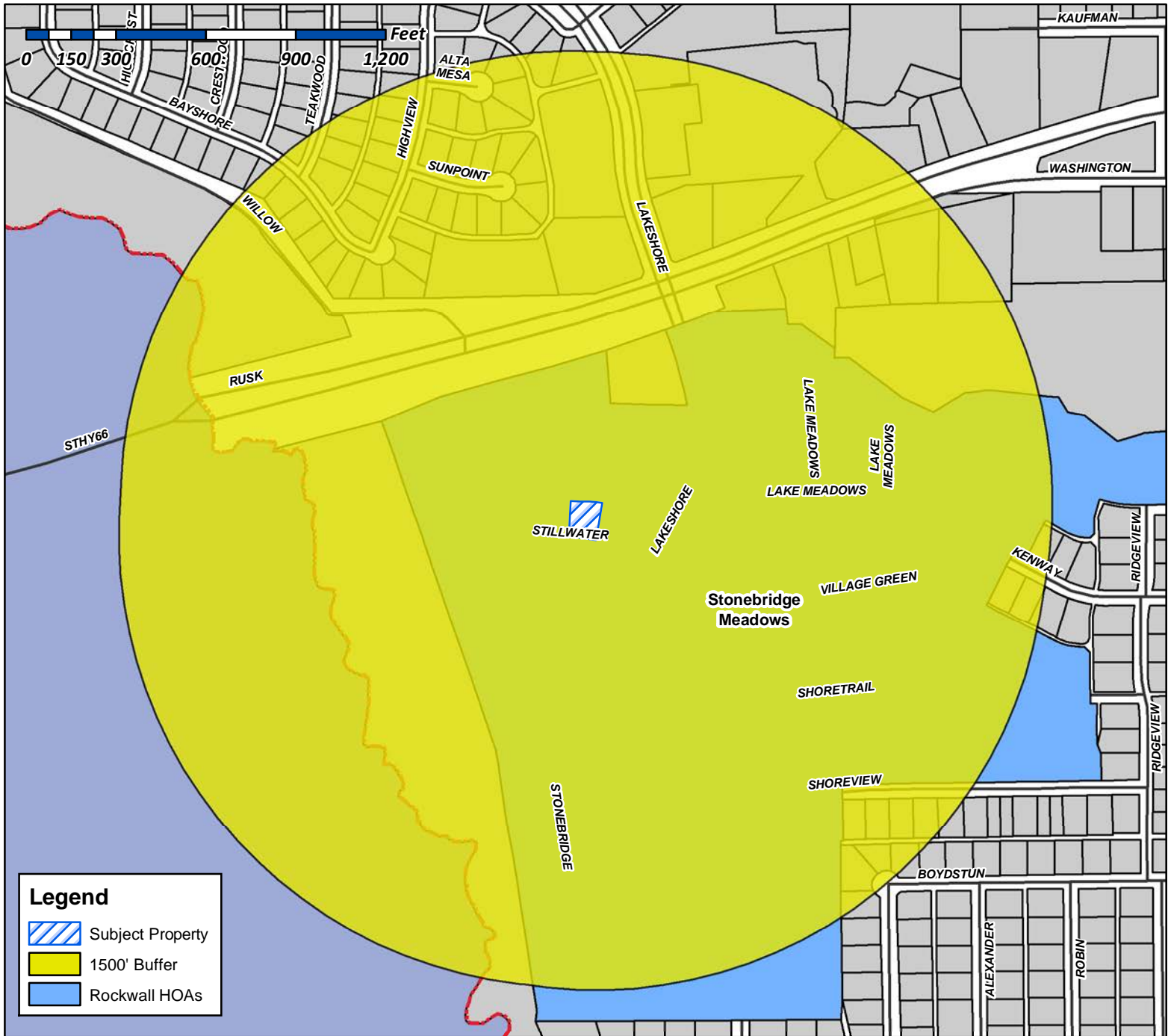
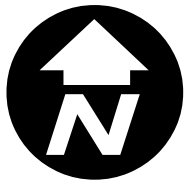




City of Rockwall

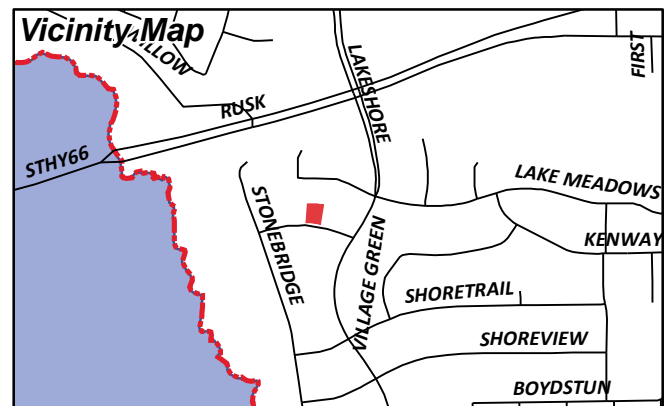
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2018-004
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: SF-10 District
Case Address: 706 Stillwater Drive

Date Created: 02/19/2018
For Questions on this Case Call (972) 771-7745



From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)
Subject: Neighborhood Notification Program: Notice of zoning request
Date: Wednesday, February 28, 2018 3:54:56 PM
Attachments: [PUBLIC NOTICE.pdf](#)

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request will be published in the Rockwall Herald Banner **March 2, 2018**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

Z2018-004- Hold a public hearing to discuss and consider a request by Jim & Kelly Matthews for the approval of a Specific Use Permit (SUP) for a carport on a 0.254-acre tract of land identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 706 Stillwater Drive, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

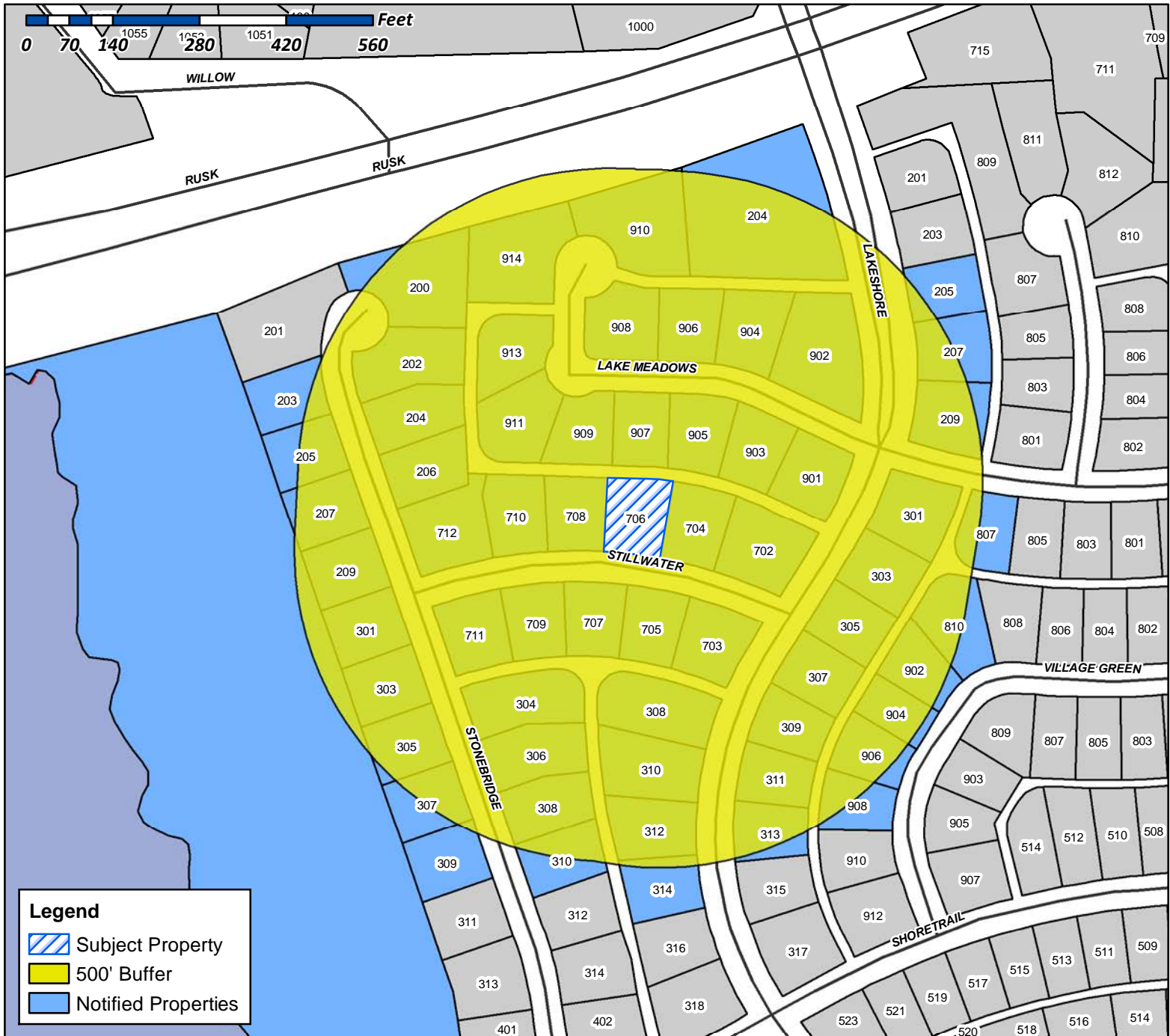
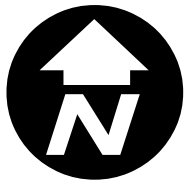
Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com>



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

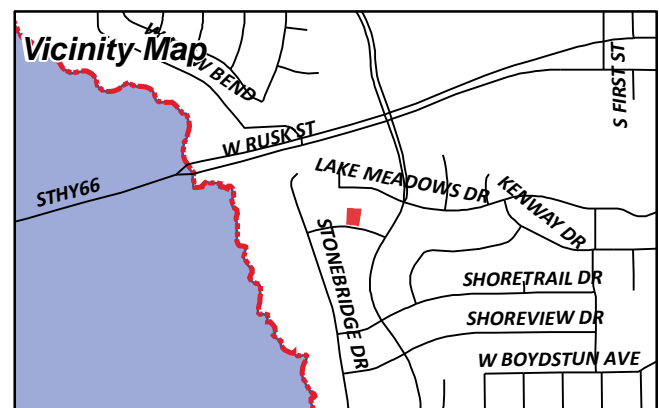
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2018-004
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: SF-10 District
Case Address: 706 Stillwater Drive

Date Created: 02/19/2018

For Questions on this Case Call (972) 771-7745



HARRISON CLIFFORD JR
1650 S JOHN KING BLVD #3801
ROCKWALL, TX 75032

STORMS STEWART M
1938 S LAKESHORE DR
ROCKWALL, TX 75087

HADDOCK VICKIE L ETAL
200 STONEBRIDGE DR
ROCKWALL, TX 75087

HERRIDGE KENNETH & JANICE
202 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GARRETT DAVID L AND CYNTHIA B
203 STONEBRIDGE DR
ROCKWALL, TX 75087

ASI GYMNASTICS PROPERTY RO LLC
204 S LAKESHORE DR
ROCKWALL, TX 75087

STEVENS WILLIAM T & LINDA
204 STONEBRIDGE DR
ROCKWALL, TX 75087

DUNCAN KEITH M & PATRICIA A
205 S LAKESHORE DR
ROCKWALL, TX 75087

SPRADLING LARRY P & SHIRLEY J
205 STONEBRIDGE DR
ROCKWALL, TX 75087

MORRIS J NEIL AND MICHELLE KIZER
206 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
207 STONEBRIDGE DR
ROCKWALL, TX 75087

VINES GREGORY STEVEN
207 SOUTH LAKESHORE DR
ROCKWALL, TX 75087

GAINES WILLIAM C & KELLEY A
209 SOUTH LAKESHORE
ROCKWALL, TX 75087

CONFIDENTIAL
209 STONEBRIDGE DR
ROCKWALL, TX 75087

KRATZ WILLIAM
2265 GARDEN CREST DR
ROCKWALL, TX 75087

DICKEY CLYDE E & FELITA
26 ENSIS RD
HILTON HEAD, SC 29928

HERNANDEZ PAUL GARACIA AND DOMINGA G
301 S LAKESHORE DR
ROCKWALL, TX 75087

MILLER TRACI AND
0
301 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GARDINER GARY F & VICKIE
303 S LAKESHORE DR
ROCKWALL, TX 75087

BLAHA JAN & ROBERT
303 STONEBRIDGE DR
ROCKWALL, TX 75087

DORSEY KIPPER L & LINDA O
304 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
305 LAKESHORE DR
ROCKWALL, TX 75087

CAIN T D ETUX
305 STONEBRIDGE DR
ROCKWALL, TX 75087

WILKERSON CASSANDRA A
306 STONEBRIDGE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
307 LAKESHORE DR
ROCKWALL, TX 75087

POTTER MICHAEL C
307 STONEBRIDGE DR
ROCKWALL, TX 75087

RAHMANDAR JULIUS LIEM
308 S LAKESHORE DR
ROCKWALL, TX 75087

CUMMINGS LORI LYNN MALLOY & JOHN LEE
308 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

GRAMENTINE SUSAN E
309 S LAKESHORE DR
ROCKWALL, TX 75087

HUTCHINS HAROLD CLYDE & KAREN
309 STONEBRIDGE DR
ROCKWALL, TX 75087

LEWIS MARTHA JEAN
310 S LAKESHORE DR
ROCKWALL, TX 75087

DEAPEN ALICIA & RICHARD
310 STONEBRIDGE DRIVE
ROCKWALL, TX 75087

CRUES VERNON D & GERALDINE A
311 S LAKESHORE DR
ROCKWALL, TX 75087

DEGELIA JASPER & TEDDIE
312 S LAKESHORE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
313 LAKESHORE DR
ROCKWALL, TX 75087

WITWER WILLIAM F AND LISA C
314 S LAKESHORE DR
ROCKWALL, TX 75087

SMITH GARLAND KENT
575 BREEZY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
702 STILLWATER DR
ROCKWALL, TX 75087

BARNES GERALD D & LINDA C
703 STILLWATER DR
ROCKWALL, TX 75087

ALSTON ROBERT M & MARY P
704 STILLWATER DR
ROCKWALL, TX 75087

GARDENHIRE DONA GENE SPELCE
705 STILLWATER DR
ROCKWALL, TX 75087

MATTHEWS JAMES D AND KELLEY M
706 STILLWATER DR
ROCKWALL, TX 75087

UMBARGER IMOGENE T
707 STILLWATER DR
ROCKWALL, TX 75087

KEATING WILLIAM F
708 STILLWATER DR
ROCKWALL, TX 75087

CURRENT RESIDENT
709 STILLWATER DR
ROCKWALL, TX 75087

GUSTAFSON MARION
710 STILLWATER DR
ROCKWALL, TX 75087

WELLS PATRICK S & RHONDA C
711 STILLWATER DR
ROCKWALL, TX 75087

KEEFER CLAUD PAUL SR AND JEWEL TINDALL
KEEFER
712 STILLWATER DR
ROCKWALL, TX 75087

LARUE ANDREW T
807 LAKE MEADOWS DR
ROCKWALL, TX 75087

HOWARD KAREN &
O
810 VILLAGE GREEN DR
ROCKWALL, TX 75087

CUTBUSH DAVID & WENDY
901 LAKE MEADOWS DR
ROCKWALL, TX 75087

WALKER TOMMY H AND SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

EQUITY TRUST COMPANY CUSTODIAN
O
902 VILLAGE GREEN DR
ROCKWALL, TX 75087

METZGER TAMMY AND TIMOTHY
903 LAKE MEADOWS DR
ROCKWALL, TX 75087

SHERRIN NOEL & LOIS
904 LAKE MEADOWS DR
ROCKWALL, TX 75087

CONFIDENTIAL
904 VILLAGE GREEN DR
ROCKWALL, TX 75087

BOWENS BILLY NORRIS
905 LAKE MEADOWS DR
ROCKWALL, TX 75087

VUCKOVIC ZLATAN & JOANNE M
906 LAKE MEADOWS DR
ROCKWALL, TX 75087

ROUTEN DANIEL C & KRISTI P
906 VILLAGE GREEN DR
ROCKWALL, TX 75087

SAMFORD BRIAN S & LISA E
907 LAKE MEADOWS DR
ROCKWALL, TX 75087

WHITE JACOB A & PRISELDA B
908 LAKE MEADOWS DR
ROCKWALL, TX 75087

ORLOWSKI RAYMOND & BARBARA
908 VILLAGE GREEN DR
ROCKWALL, TX 75087

JENSEN LEE ROBERT & SUSAN MARY
909 LAKE MEADOWS DR
ROCKWALL, TX 75087

COOK WILLIAM F
910 LAKE MEADOWS DR
ROCKWALL, TX 75087

CUMMINGS DANIEL DEE ET UX
911 LAKE MEADOWS DR
ROCKWALL, TX 75087

BROWNE MARK
913 LAKE MEADOWS DRIVE
ROCKWALL, TX 75087

YBARRA LEOPOLD AND SONIA
914 LAKE MEADOWS DR
ROCKWALL, TX 75087

DOUGLAS LEE DENDY LIFE ESTATE AND
0
DOUGLAS KEITH DENDY AND RANDY LEE DENDY
0
TERRELL, TX 75160

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW:
Date: Tuesday, March 06, 2018 4:24:05 PM

From: Shirley Spradling [mailto:shirleyspradling@hotmail.com]
Sent: Tuesday, March 06, 2018 3:42 PM
To: Planning
Subject:

Sent from Windows Mail

Ryan Miller.... Rockwall Planning and Zoning Dept.

We are opposed to changing our neighborhood to carports that typically accumulate junk and lower the value of our homes. We have noticed that several carports have been built recently in our area and we can't believe that the City even considers carports unless it is for medical reasons. Please decline this request and have the carport removed since it has already been built. How many other carports have been built without a permit and are still standing? What happened to the city inspectors that at one time drove around and found these violations????? Maybe it's time to revisit this procedure and keep our neighborhoods within the codes that were established for a good reason.

WE OPPOSE THIS REQUEST

Case No. Z2018-004 SUP for 706 Stillwater

Larry & Shirley Spradling

205 STONEBRIDGE DR.

ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2018-004: SUP for 706 Stillwater

Hold a public hearing to discuss and consider a request by Jim & Kelly Matthews for the approval of a Specific Use Permit (SUP) for a carport on a 0.254-acre tract of land identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 706 Stillwater Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/19/2018** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2018-004: SUP for 706 Stillwater

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

*Tastefully done - Does NOT detract from
neighborhood*

Name: *Cynthia Garrett*
Address: *203 Stonebridge Dr.*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

This is not a "Carport" neighborhood. I see five (FIVE) driveways out my back Kitchen and den windows. Can you imagine how trashy it would look if everyone erected a carport over their driveway?? It's bad enough I already have

Name:

Linda Dorsey

Address:

304 Stonebridge Dr, Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

to look at a trailer 3/4 of the year, however, they tell me he was "Grandfathered in". Also there's another trailer at the end of my alley and it looks just horrible. The old saying goes "What you do for one you have to do for all and for this I say absolutely not. If they want a Carport they need

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748

reason



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745

EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2018-004: SUP for 706 Stillwater

Hold a public hearing to discuss and consider a request by Jim & Kelly Matthews for the approval of a Specific Use Permit (SUP) for a carport on a 0.254-acre tract of land identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 706 Stillwater Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/19/2018** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2018-004: SUP for 706 Stillwater

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name: Susan Tramentine
Address: 309 S. Lakeshore Dr.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2018-004: SUP for 706 Stillwater

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

THE HOUSE ON MY RIGHT HAS A CARPORT AND IT
DOESN'T BOTHER ME SO I DON'T OBJECT TO
SOMEONE ELSE'S.

Name:

TEDDIE DEBELIA Jeddie Debelia

Address:

312 S. LAKE SHORE DR. ROCKWALL, TX. 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Subject: Case No. Z2018-004: SUP for 706 Stillwater

From: Mary Alston [REDACTED]

Date: 3/9/2018 3:16 PM

To: "PLANNING "@ROCKWALL.COM

RE: Case No. Z2018-004: SUP for 706 Stillwater

TO: Ryan Miller, Rockwall Planning and Zoning Dept.

FROM: Mary Alston, 704 Stillwater Dr, Rockwall TX 75087

Mr. Miller:

I would like to offer my comments in writing regarding request for SUP approval by Jim and Kelly Matthews at 706 Stillwater Dr.

- Yesterday I spoke with Kelly Matthews.
- This morning my husband, Bob Alston, spoke with planning coordinator Laura Morales and a supervisor for clarification of the issues. This is his understanding of the situation:
 - Carports are allowed in Rockwall. Permits are required for construction.
 - Per ordinance, structure set-back is 20' from rear property line. The carport as built is 12' too long.
 - A carport of this length on this particular property would require a SUP, applied for and approved before obtaining a permit to construct.
 - No permits were applied for.
- I do not object to the carport. It was completed 6 months ago. I cannot see that it poses any sort of hazard.
- I do find it aggressive to seek approval after construction.
- Again, I do not object to the carport, but I heartily disapprove of the "forgiveness vs. permission" method by which it is being approved.

Yours truly,

Mary Alston

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Case No. Z2018-004: SUP for 706 Stillwater
Date: Wednesday, March 14, 2018 8:38:45 AM

From: buzz@buzzharrison.com [REDACTED]
Sent: Tuesday, March 13, 2018 6:49 PM
To: Planning
Subject: Case No. Z2018-004: SUP for 706 Stillwater

My name is Cliff "Buzz" Harrison and I live at 702 Stillwater Drive, Rockwall, TX 75087. I am writing to you today to voice my opinion on case number Z2018-004: SUP for 706 Stillwater.

I am in FAVOR of the request for Jim and Kelly Matthews to maintain their carport located at 702 Stillwater. I know that Mr. Matthews did not obtain a permit prior to erecting the carport, but the carport does not detract from the neighborhood and is no displeasing to the eye. I support the Matthews' request for the zoning change. I have personally inspected the carport and I do not feel it is too close to the alley. I also feel the carport is constructed well (from steel posts and beams) and is very secure. Mr. Matthews, in my opinion, has the right to retain this carport with no further action on his part.

Thank you.

Buzz Harrison
972-961-6887



FX4

TACLB 021634E

F150

Choice Heat and A/c .com





CITY OF ROCKWALL

BUILDING PERMITS

BUILDING INSPECTION DEPT.

385 S. Goliad St.,

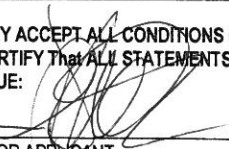
Rockwall, TX 75087

Phone #: (972) 771-7709

Permit #

BLD2018-0383

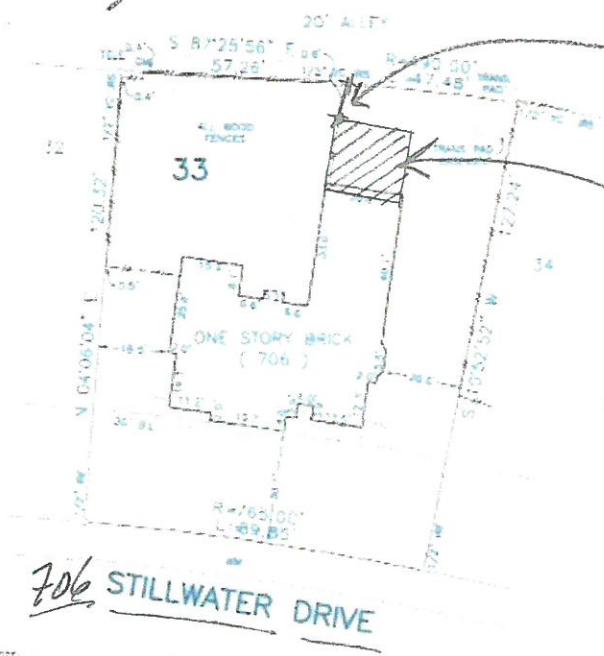
To schedule an inspection go to: www.rockwall.com/buildinginspections/inspectionreq.asp

CONSTRUCTION ADDRESS 706 Stillwater		TYPE OF PERMIT car port						
SUBDIVISION		ZONING	LOT	BLOCK				
BUILDING OWNER Jim Kelley	MAIL ADDRESS Matthews	CITY, STATE, ZIP 706 Stillwater Rm 75087	PHONE # 214 502 7685					
PERSON TO BE CONTACTED REGARDING PERMIT Jim	E-MAIL ADDRESS choiceheatandair@Apc.com	PHONE # 214 502 7685						
EMAIL ADDRESS FOR INSPECTION REPORT choiceheatandair@Apc.com								
GENERAL CONTRACTOR Jim Matthews	MAIL ADDRESS 706 Stillwater	CITY, STATE, ZIP Rm 75087	PHONE # 214-502-7685					
ELECTRICAL CONTRACTOR	MAIL ADDRESS	CITY, STATE, ZIP	PHONE #					
PLUMBING CONTRACTOR	MAIL ADDRESS	CITY, STATE, ZIP	PHONE #					
MECHANICAL CONTRACTOR	MAIL ADDRESS	CITY, STATE, ZIP	PHONE #					
BUILDING INFORMATION								
1 st floor SF	2 nd floor SF	Garage	Covered Porch	Covered Patio	Total SF	Height	Lot Size	Plan #:
Permit Description: 20x20, Mueller, car port								
NOTICE TO APPLICANT: THIS PERMIT IS ISSUED ON THE BASIS OF INFORMATION FURNISHED IN THIS APPLICATION AND ON ANY SUBMITTED PLANS, AND IS SUBJECT TO THE PROVISIONS IN ADDITION, REQUIREMENTS OF THE CITY OF ROCKWALL CODE OF ORDINANCES AND ANY OTHER APPLICABLE ORDINANCE. THIS PERMIT IS ISSUED ONLY FOR THE PURPOSE OF ALLOWING CONSTRUCTION OF A BUILDING OR STRUCTURE CONFORMING TO THE CODES AND ORDINANCES OF THE CITY, REGARDLESS OF INFORMATION AND/OR PLANS SUBMITTED.								
SCOPE OF PERMIT: FOR NEW BUILDINGS AND FOR ADDITIONS TO EXISTING BUILDINGS, THIS PERMIT AUTHORIZES STRUCTURAL, PLUMBING, ELECTRICAL, MECHANICAL, AND WORK TO BE PERFORMED IN THE CONSTRUCTION OF THE BUILDING OR STRUCTURE AT THIS ADDRESS, IF DONE AT THE SAME TIME OF INITIAL CONSTRUCTION. NO SEPARATE SUBCONTRACTOR PERMITS ARE NEEDED FOR THOSE TRADES. HOWEVER, THE PERMIT HOLDER IS REQUIRED TO USE ONLY SUBCONTRACTORS LICENSES, REGISTERED, OR BONDED BY THE CITY OF ROCKWALL WHERE SUCH REQUIREMENT IS APPLICABLE.								
I HEREBY ACCEPT ALL CONDITIONS HEREIN ABOVE MENTIONED AND CERTIFY THAT ALL STATEMENTS HEREIN RECORDED BY ME ARE TRUE:  AGENT OR APPLICANT 2-14-18 (DATE) Subject property is _____ or is not _____ within the flood hazard area. Required lowest floor elevation is _____					ESTIMATED VALUE: \$2,000 -			
CITY APPROVAL (DATE)					Building Permit \$ _____ Water Meter Deposit \$ _____ Meter Installation \$ _____ Sewer Service \$ _____ Water Impact Fees \$ _____ Sewer Impact Fees \$ _____ Siren Fee \$ _____ Contractor Registration \$ _____ Certificate of Occupancy \$ _____ Total Fees \$ _____			

DECEASED PROPERTY
 VOLUME 76 PAGE 414
 VOLUME 43 PAGE 430
 VOLUME 76 PAGE 500



TITLE AND ABSTRACT WORK FURNISHED BY ROCKWALL COUNTY RECORDS



SURVEYOR'S NOTE:
 PERMANENT CONTROL TAKEN FROM OPPOSITE THE WEST LINE
 OF LOT 12, BLOCK A, OF THE SWEET PINE PLAT OF
 STILLWATER WARD, BASE RUN AS RECORDED IN
 CARNETT A, BLOCK 108, MEAT HOOKS, ROCKWALL COUNTY,
 TEXAS.

The plat herein is true, correct, and accurate representation of the property as determined by
 survey, the lines and dimensions of said property being as indicated by the plat, the size, location
 and type of building and improvements are as shown, all improvements being within the boundaries
 of the property, set back from property lines the distance indicated, or visible and apparent easements.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN

Scale: 1" = 30'
 Date: 3/24/2015
 C. F. No: 201503552
 Job No: 92777
 Drawn by: CW

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
 ROCKWALL COUNTY ABSTRACT
 USE OF THIS SURVEY FOR ANY OTHER PURPOSE
 OR OTHER PARTIES SHALL BE AT THEIR RISK AND
 UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS
 FOR ANY LOSS RESULTING THEREFROM.



MUST BE LOCATED
 20' OFF PROPERTY
 LINE FROM ALLEY !

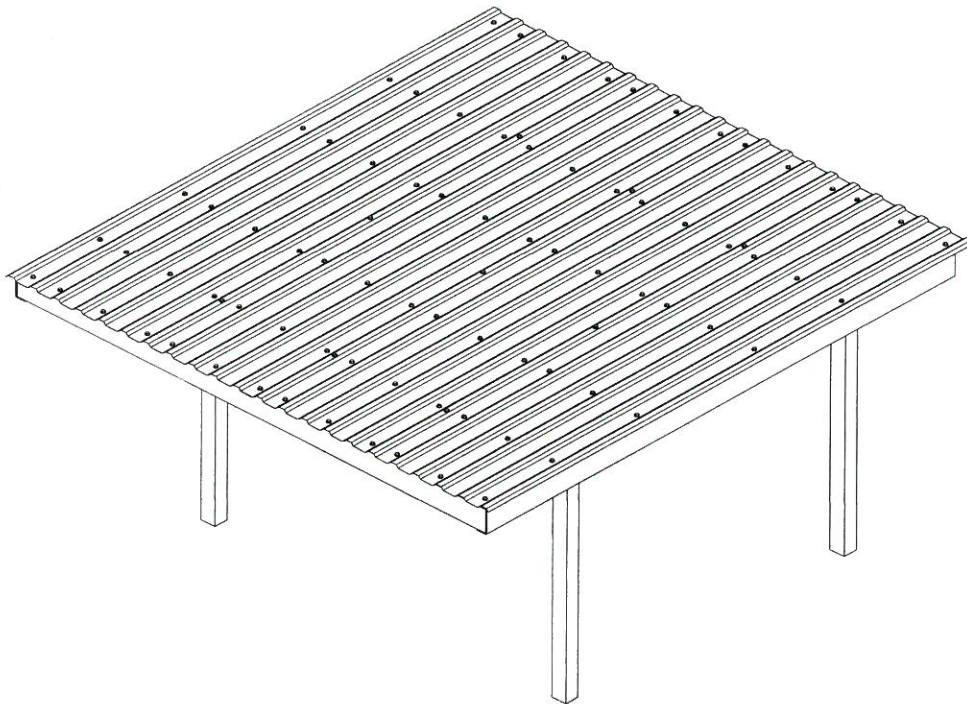
10' off
 property line
 from alley

20x20
 "Mueller"
 20x20 Carport

pq 3: optional
 base plate attach
 for exist concrete

w/ 5/8" epoxy
 drive anchors

706 Stillwater



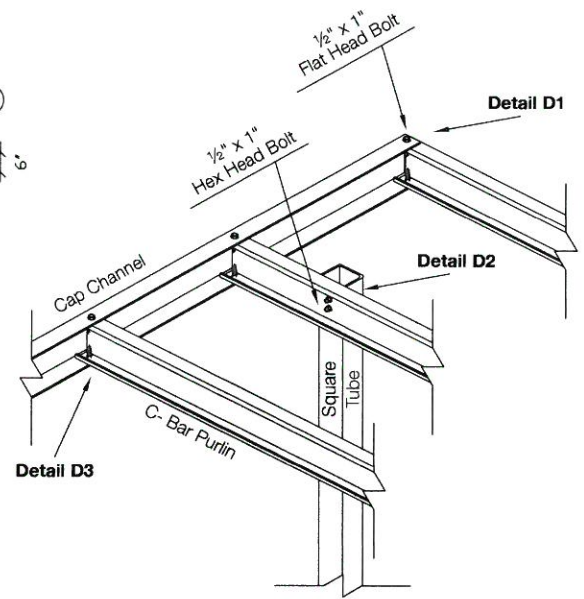
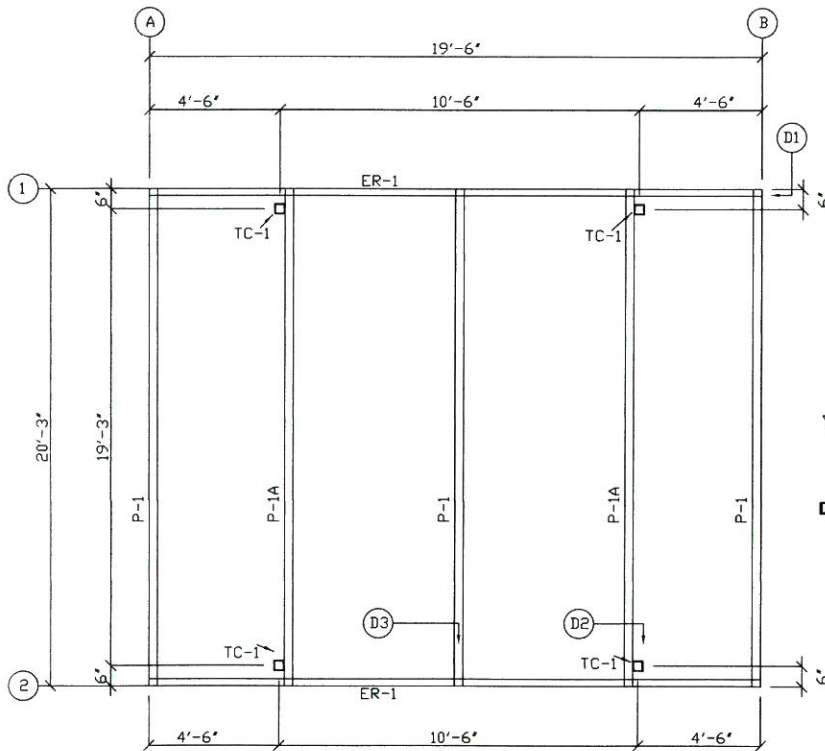
20x20 Carport Instructions

Mueller carports are not engineered structures and do not meet any specific building code criteria.

877-2- MUELLER • www.muellerinc.com



NOTE: Carport kits are not engineered.



List of Materials			
MARK	QTY	DESCRIPTION	LENGTH
P-1	3	8" x 2½" C-BAR	20'-2½"
P-1A	2	8" x 2½" C-BAR "PU"	20'-2½"
ER-1	2	8" x 2 CAP CHANNEL	19'-6"
TC-1	4	4" x 4" SQUARE TUBE	10'-0"
	8	BOLT - HEX HEAD	½" x 1"
	20	BOLT - FLAT HEAD	½" x 1"
(4)		(4" x 4" x 12' OPTIONAL)	

NOTE: Sheets are to hang off the low side.

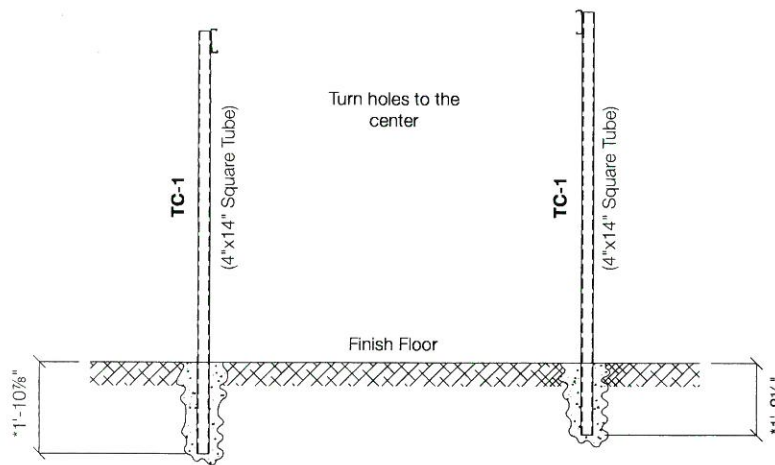
MUELLER, INC.
METAL BUILDINGS, ROOFING & COMPONENTS

877-2- MUELLER
www.muellerinc.com

ALL INSTRUCTIONS MUST BE READ PRIOR TO INSTALLATION

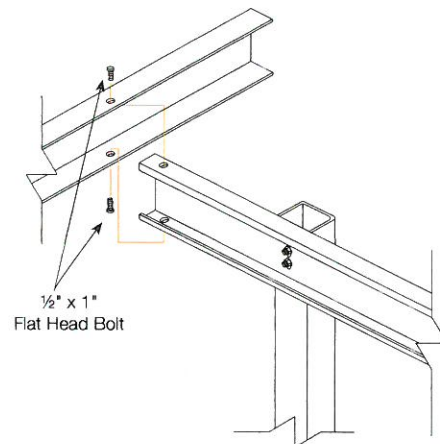
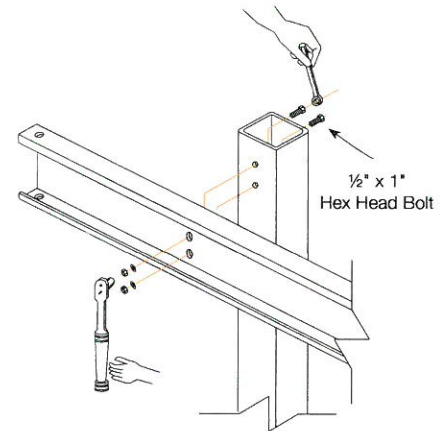
SET COLUMNS

Spacing and elevation of the columns are critical to the proper installation of the Mueller carport. The columns must be square, plumb and set at the exact dimensions shown on the drawings. Depending on the direction of the watershed, the high side columns must be 2 5/8" taller than the low side columns to achieve the appropriate pitch. Particular attention should be paid to direction of the pre-punched holes in the top of the columns as shown in the framing drawings (**Holes in column must face to the center of the carport**). Pack a small amount of dirt around each column to temporarily hold them. Do not apply concrete at this time. Time and care should be taken on column installation, as this will directly affect the appearance and ease of installation on the rest of the carport.



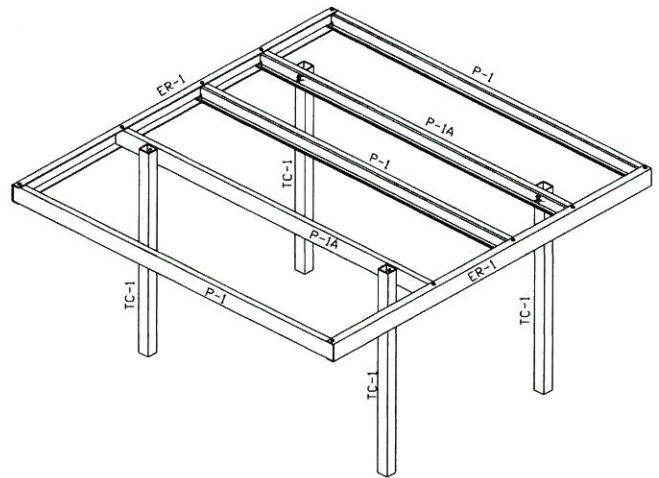
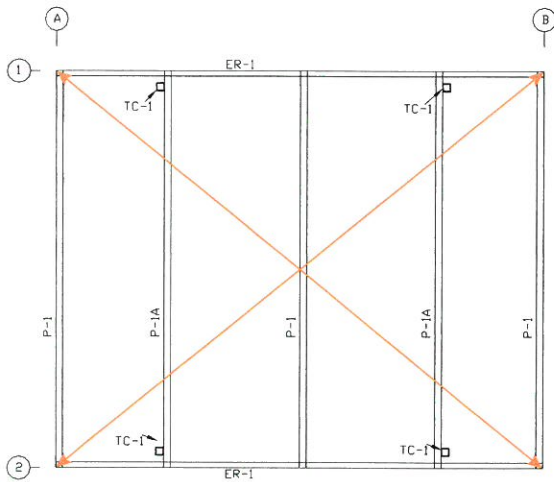
FRAMING

- 1** Turn open face of purlin to the center of carport. Align pre-punched holes in column and purlin (P-1A) and attach with $\frac{1}{2}$ " Hex Head bolts as shown.
- 2** Repeat step 1 at all columns as shown in framing details.
- 3** Install both cap channels (ER-1) as shown in the framing detail. End of cap channel should be 4'-6" from center of column. Making sure the purlins (P-1A) are inserted as deep as possible into the cap channels. Attach with bolts as shown.
- 4** Center purlin (P-1) is installed according to dimensions shown on drawing, and attached with bolts as shown. Turn open face of purlin either direction.
- 5** Install the high side (P-1) and low side (P-1) purlins with the open face of purlin pointed towards the center of the carport. Insert the purlins as far as possible into the cap channel (ER-1) and flush with the end of cap channel to form and outside corner and attach with Flat Head bolts as shown.



CROSS SQUARE THE FRAME (EXAMPLE)

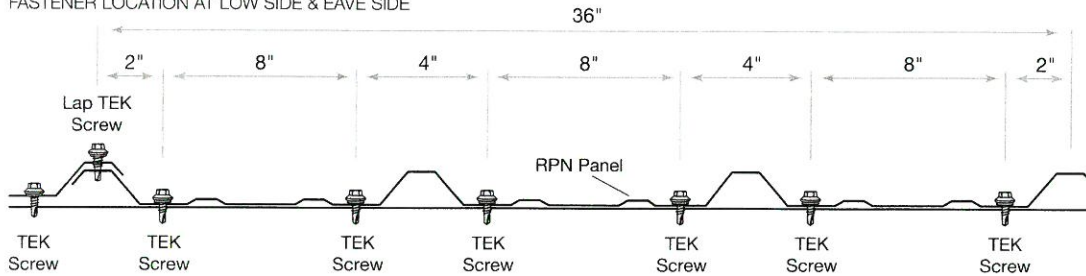
Measure the frame corner to corner diagonally making sure both dimensions are the same. If not, pull the frame square before starting sheeting. Commonly used tools are come-a-longs and ratchet straps. Squaring the frame is critical to make the sheets run true on the frame and will affect appearance and ease of installation. Re-check level on both P-1A purlins running column to column then add concrete and allow to dry.



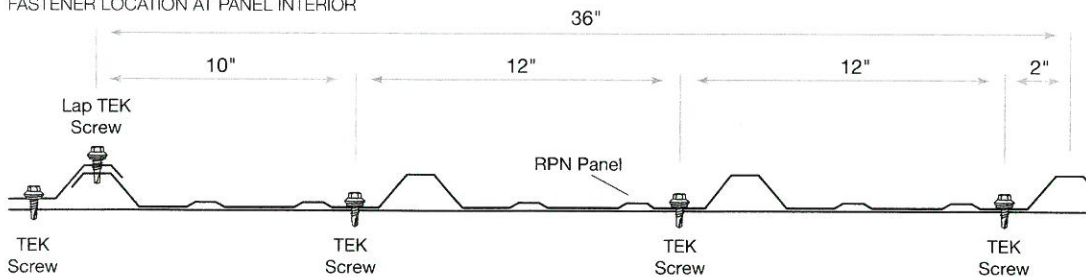
ROOF SHEETS

- 1** Place the first roof sheet flush with the outside of the cap channel (ER-1). Overhang the high and low side purlins equal distances, approximately 3". Optional trim package requires the roof sheets to be applied flush with the high side purlin and all overhang is to go to the low side purlin, approximately 6".
- 2** Attach sheets to purlin using screw patterns shown in drawings.
- 3** Repeat steps 1 & 2 until all sheets are applied.
- 4** Lap screws are applied on 30" centers as shown in drawings.

FASTENER LOCATION AT LOW SIDE & EAVE SIDE



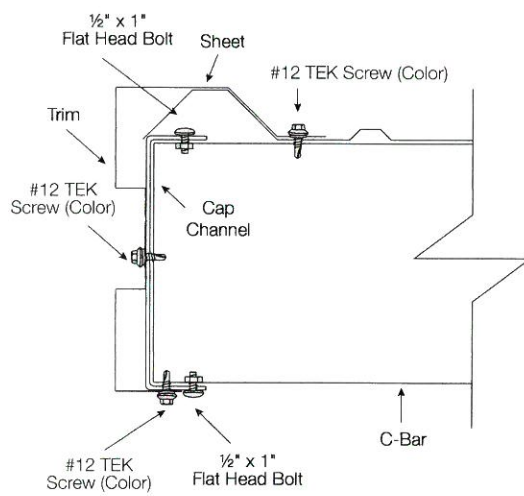
FASTENER LOCATION AT PANEL INTERIOR



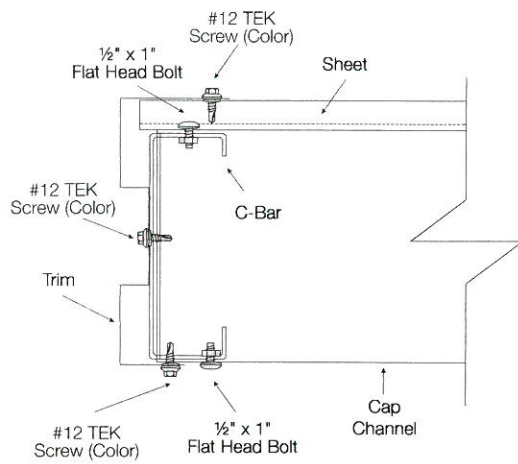
OPTIONAL TRIM PACKAGE

Apply as shown in trim drawings.

RAKE TRIM

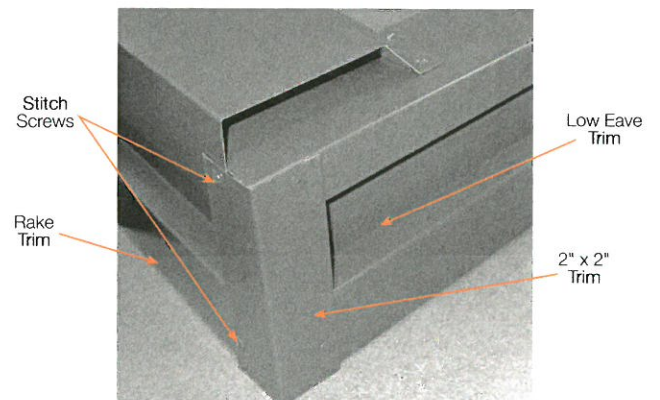
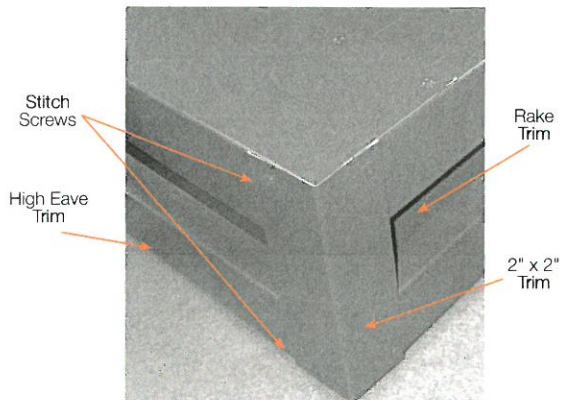
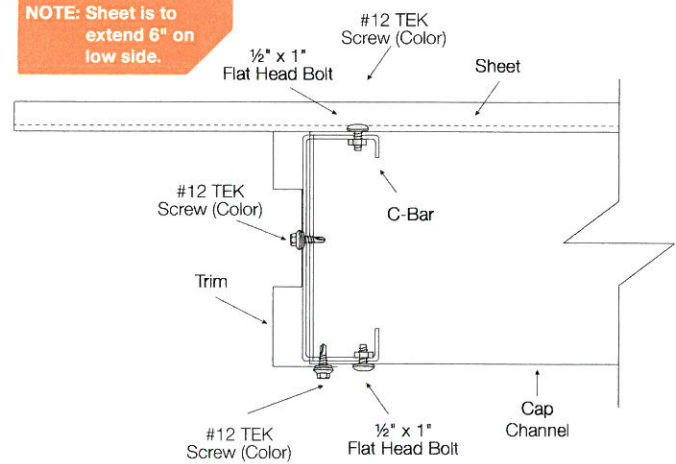


HIGH EAVE RAKE



LOW EAVE RAKE

NOTE: Sheet is to extend 6" on low side.

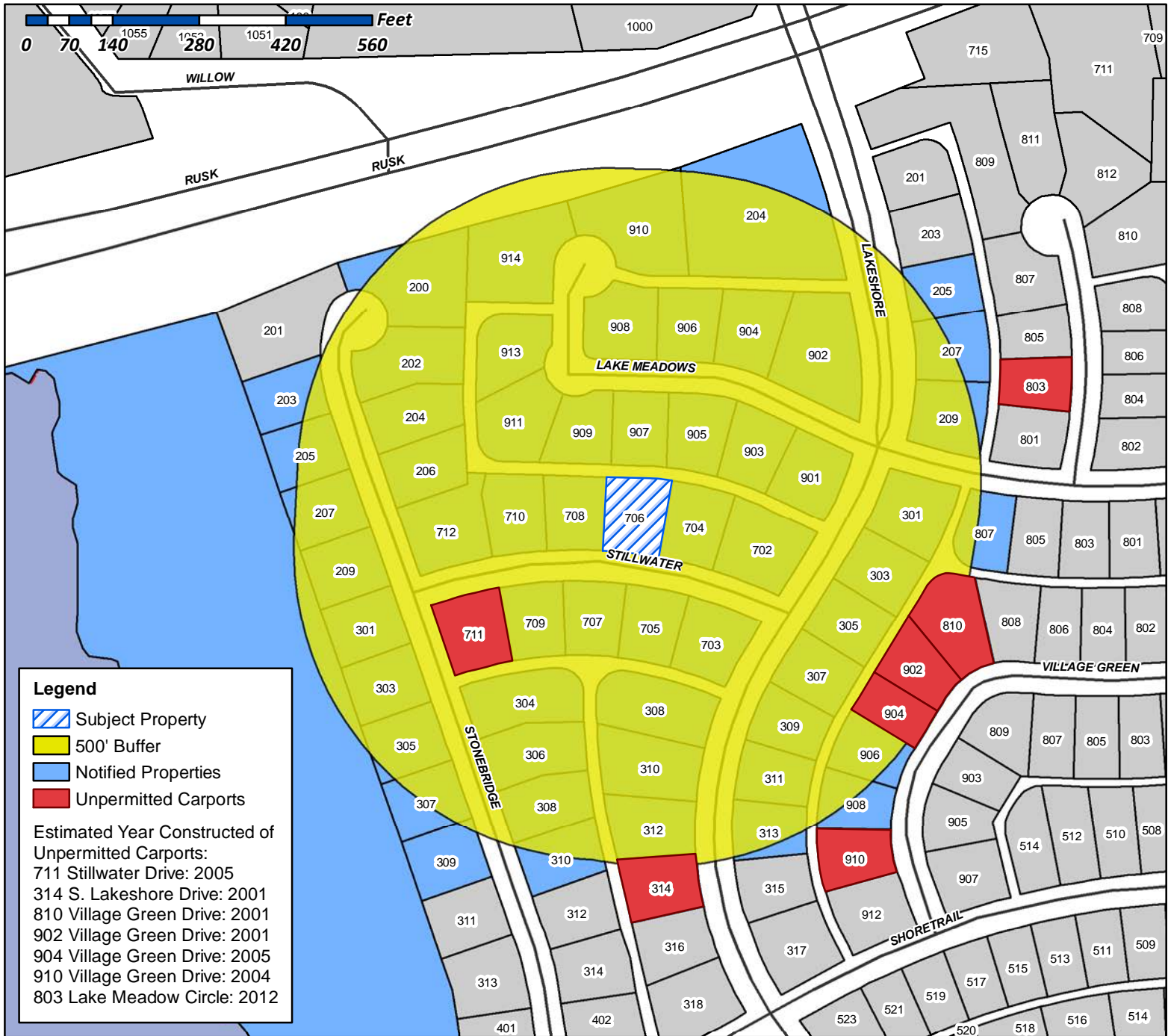
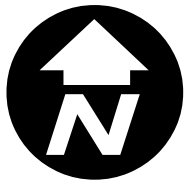




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

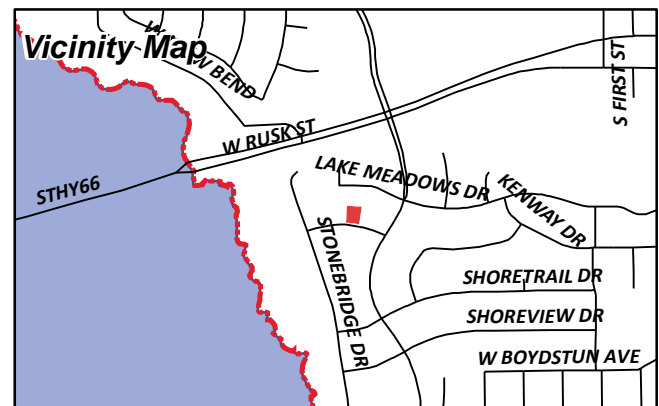
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2018-004
Case Name: SUP for a Carport
Case Type: Zoning
Zoning: SF-10 District
Case Address: 706 Stillwater Drive

Date Created: 03/08/2018

For Questions on this Case Call (972) 771-7745





902 Village green



906 Village Green



910 Village Green



314 Lakeshore



711 Stillwater



903 Lake Meadows Cir

CITY OF ROCKWALL

ORDINANCE NO. 18-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A CARPORT THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON A 0.254-ACRE PARCEL OF LAND ZONED SINGLE FAMILY 10 (SF-10) DISTRICT AND IDENTIFIED AS LOT 33, BLOCK A, STONEBRIDGE MEADOWS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Jim and Kelly Matthews for the approval of a Specific Use Permit (SUP) for the purpose of allowing a previously constructed carport that does not meet the minimum requirements, situated for a 0.254-acre parcel of land, zoned Single Family 10 (SF-10) District, and being identified as Lot 33, Block A, Stonebridge Meadows Addition, City of Rockwall, Rockwall County, Texas, addressed as 706 Stillwater Drive, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit allowing for the establishment of a carport that does not meet the minimum setback requirements for a garage in a Single Family 10 (SF-10) District as stipulated by *Article IV, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Section 3.4, Single-Family 10 (SF-10) District*, of *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a carport on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- 2) The carport shall not exceed a maximum size of 400 square feet.
- 3) The accessory building shall not exceed a maximum overall height of nine (9) feet.
- 4) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code [Ordinance No. 04-38] will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code [Ordinance No. 04-38], the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code [Ordinance No. 04-38].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF APRIL, 2018.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 19, 2018

2nd Reading: April 2, 2018

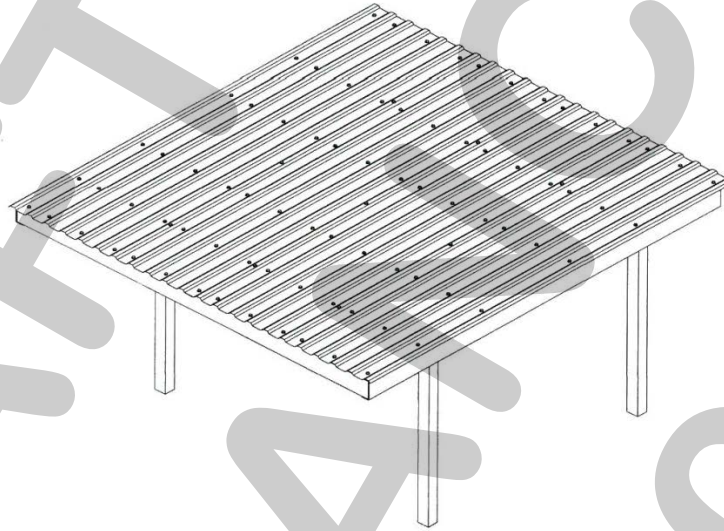
Exhibit 'A':
Legal Description and Property Location

Address: 706 Stillwater Drive

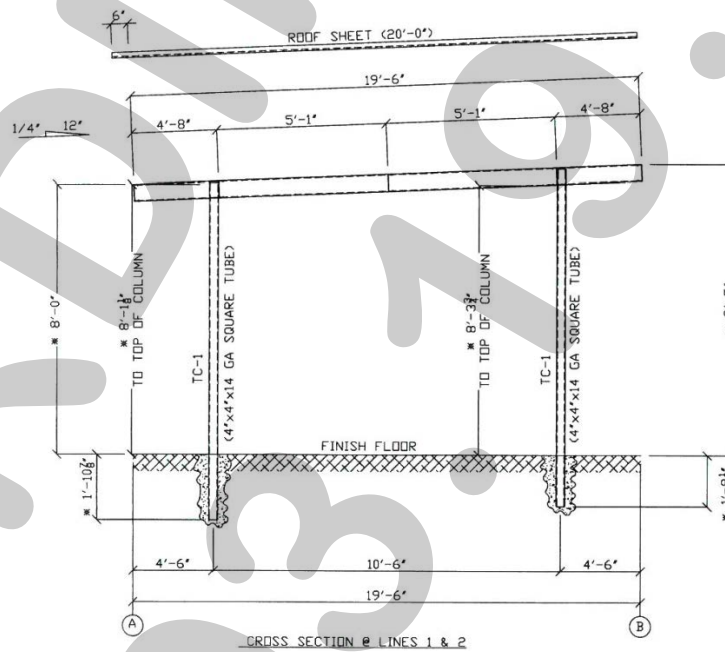
Legal Description: Lot 33, Block A, Stonebridge Meadows Addition



Exhibit 'B':
Building Elevations



NOTE: Carport kits are not engineered.





CITY OF ROCKWALL

BUILDING PERMITS BUILDING INSPECTION DEPT.

385 S. Goliad St.,
Rockwall, TX 75087

Phone #: (972) 771-7709

Permit #

BLD2018-0383

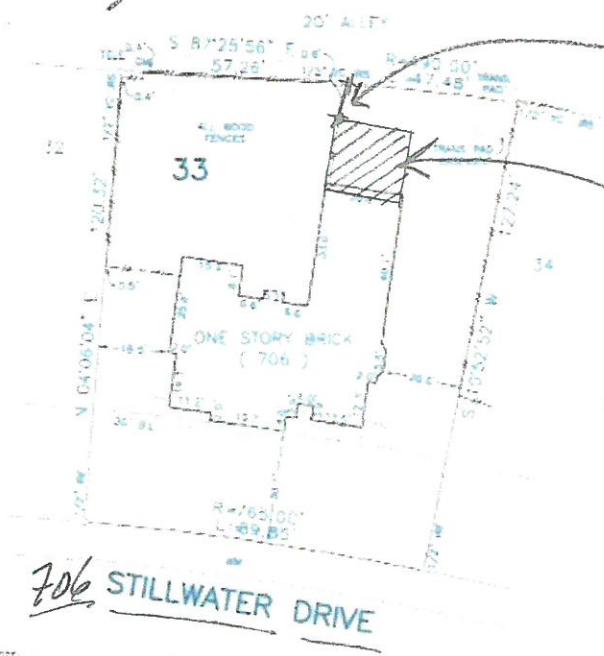
To schedule an inspection go to: www.rockwall.com/buildinginspections/inspectionreq.asp

CONSTRUCTION ADDRESS <u>706 Stillwater</u>				TYPE OF PERMIT <u>car port</u>													
SUBDIVISION				ZONING		LOT		BLOCK									
BUILDING OWNER <u>Jim Kelley</u>		MAIL ADDRESS <u>Matthews</u>		CITY, STATE, ZIP <u>706 Stillwater Rm 75087</u>		PHONE # <u>214 502 7685</u>											
PERSON TO BE CONTACTED REGARDING PERMIT <u>Jim</u>		E-MAIL ADDRESS <u>choiceheatandair@Apc.com</u>		CITY, STATE, ZIP <u>706 Stillwater Rm 75087</u>		PHONE # <u>214 502 7685</u>											
EMAIL ADDRESS FOR INSPECTION REPORT <u>choiceheatandair@Apc.com</u>																	
GENERAL CONTRACTOR <u>Jim Matthews</u>		MAIL ADDRESS <u>706 Stillwater</u>		CITY, STATE, ZIP <u>Rm 75087</u>		PHONE # <u>214-502-7685</u>											
ELECTRICAL CONTRACTOR		MAIL ADDRESS		CITY, STATE, ZIP		PHONE #											
PLUMBING CONTRACTOR		MAIL ADDRESS		CITY, STATE, ZIP		PHONE #											
MECHANICAL CONTRACTOR		MAIL ADDRESS		CITY, STATE, ZIP		PHONE #											
BUILDING INFORMATION																	
1st floor SF		2nd floor SF		Garage		Covered Porch		Covered Patio		Total SF		Height		Lot Size		Plan #:	
Permit Description: <u>20x20, Mueller, car port</u>																	
NOTICE TO APPLICANT: THIS PERMIT IS ISSUED ON THE BASIS OF INFORMATION FURNISHED IN THIS APPLICATION AND ON ANY SUBMITTED PLANS, AND IS SUBJECT TO THE PROVISIONS IN ADDITION, REQUIREMENTS OF THE CITY OF ROCKWALL CODE OF ORDINANCES AND ANY OTHER APPLICABLE ORDINANCE. THIS PERMIT IS ISSUED ONLY FOR THE PURPOSE OF ALLOWING CONSTRUCTION OF A BUILDING OR STRUCTURE CONFORMING TO THE CODES AND ORDINANCES OF THE CITY, REGARDLESS OF INFORMATION AND/OR PLANS SUBMITTED.																	
SCOPE OF PERMIT: FOR NEW BUILDINGS AND FOR ADDITIONS TO EXISTING BUILDINGS, THIS PERMIT AUTHORIZES STRUCTURAL, PLUMBING, ELECTRICAL, MECHANICAL, AND WORK TO BE PERFORMED IN THE CONSTRUCTION OF THE BUILDING OR STRUCTURE AT THIS ADDRESS, IF DONE AT THE SAME TIME OF INITIAL CONSTRUCTION. NO SEPARATE SUBCONTRACTOR PERMITS ARE NEEDED FOR THOSE TRADES. HOWEVER, THE PERMIT HOLDER IS REQUIRED TO USE ONLY SUBCONTRACTORS LICENSES, REGISTERED, OR BONDED BY THE CITY OF ROCKWALL WHERE SUCH REQUIREMENT IS APPLICABLE.																	
I HEREBY ACCEPT ALL CONDITIONS HEREIN ABOVE MENTIONED AND CERTIFY THAT ALL STATEMENTS HEREIN RECORDED BY ME ARE TRUE: <u>[Signature]</u> AGENT OR APPLICANT <u>2-14-18</u> (DATE) Subject property is _____ or is not _____ within the flood hazard area. Required lowest floor elevation is _____										ESTIMATED VALUE: <u>\$2,000</u>							
CITY APPROVAL (DATE)										Building Permit \$ _____ Water Meter Deposit \$ _____ Meter Installation \$ _____ Sewer Service \$ _____ Water Impact Fees \$ _____ Sewer Impact Fees \$ _____ Siren Fee \$ _____ Contractor Registration \$ _____ Certificate of Occupancy \$ _____ Total Fees \$ _____							

DECEASED PROPERTY
 VOLUME 76 PAGE 414
 VOLUME 43 PAGE 430
 VOLUME 76 PAGE 500



TITLE AND ABSTRACT WORK FURNISHED BY ROCKWALL COUNTY RECORDS



SURVEYOR'S NOTE:
 PERMANENT CONTROL TAKEN FROM CORNER OF THE WEST LINE
 OF LOT 12, BLOCK A, OF THE SWEET PINE PLAT OF
 STILLWATER WARD, BASE RUN AS RECORDED IN
 CARNETT A, BOOK 108, PAGE 100, ROCKWALL COUNTY,
 TEXAS.

The plat herein is true, correct, and accurate representation of the property as determined by
 survey, the lines and dimensions of said property being as indicated by the plat, the size, location
 and type of building and improvements are as shown, all improvements being within the boundaries
 of the property, set back from property lines the distance indicated, or visible and apparent easements.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN

Scale: 1" = 30'
 Date: 3/24/2015
 C. F. No: 201503552
 Job No: 92777
 Drawn by: CW

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
 ROCKWALL COUNTY ABSTRACT
 OFF OF THIS SURVEY FOR ANY OTHER PURPOSE
 OR OTHER PARTIES SHALL BE AT THEIR RISK AND
 UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS
 FOR ANY LOSS RESULTING THEREFROM.



MUST BE LOCATED
 20' OFF PROPERTY
 LINE FROM ALLEY !

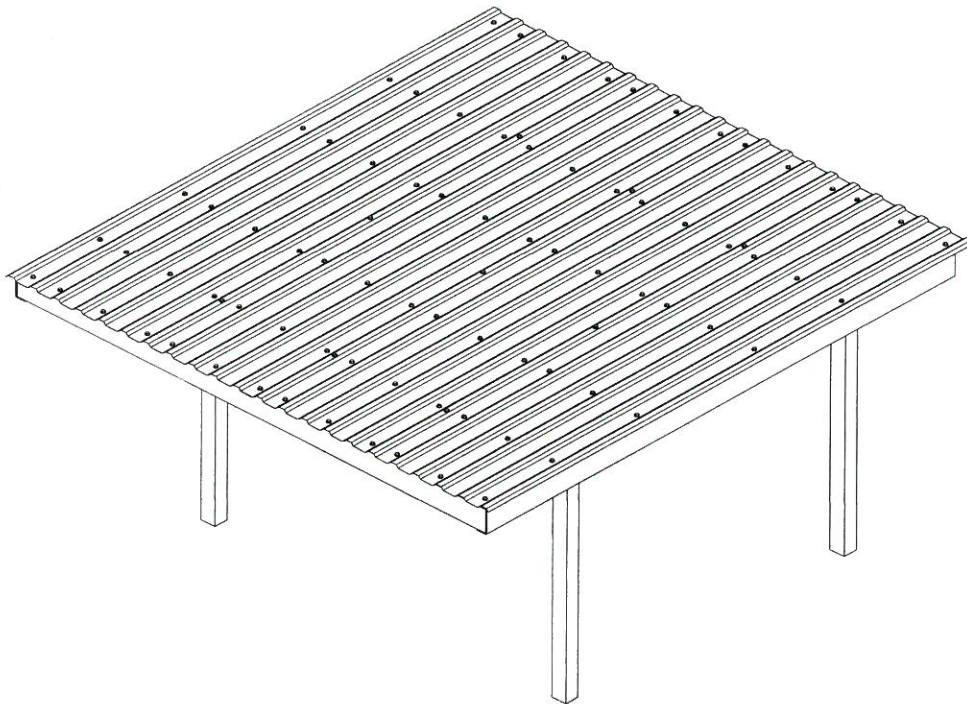
10' off
 property line
 from alley

20x20
 "Mueller"
 20x20 Carport

pq 3: optional
 base plate attach
 for exist concrete

w/ 5/8" epoxy
 drive anchors

706 Stillwater



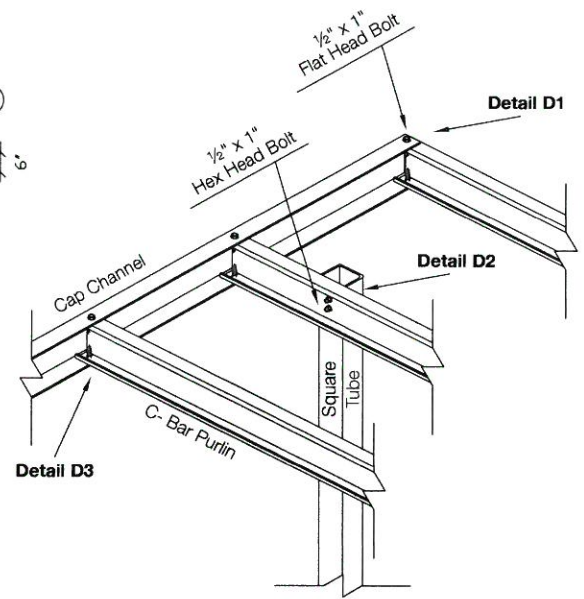
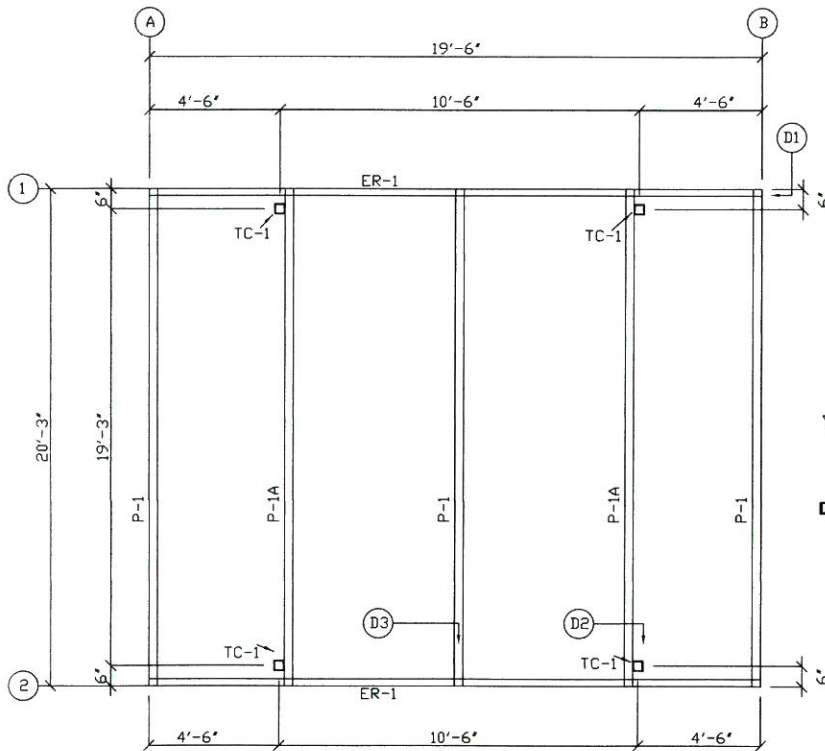
20x20 Carport Instructions

Mueller carports are not engineered structures and do not meet any specific building code criteria.

877-2- MUELLER • www.muellerinc.com



NOTE: Carport kits are not engineered.



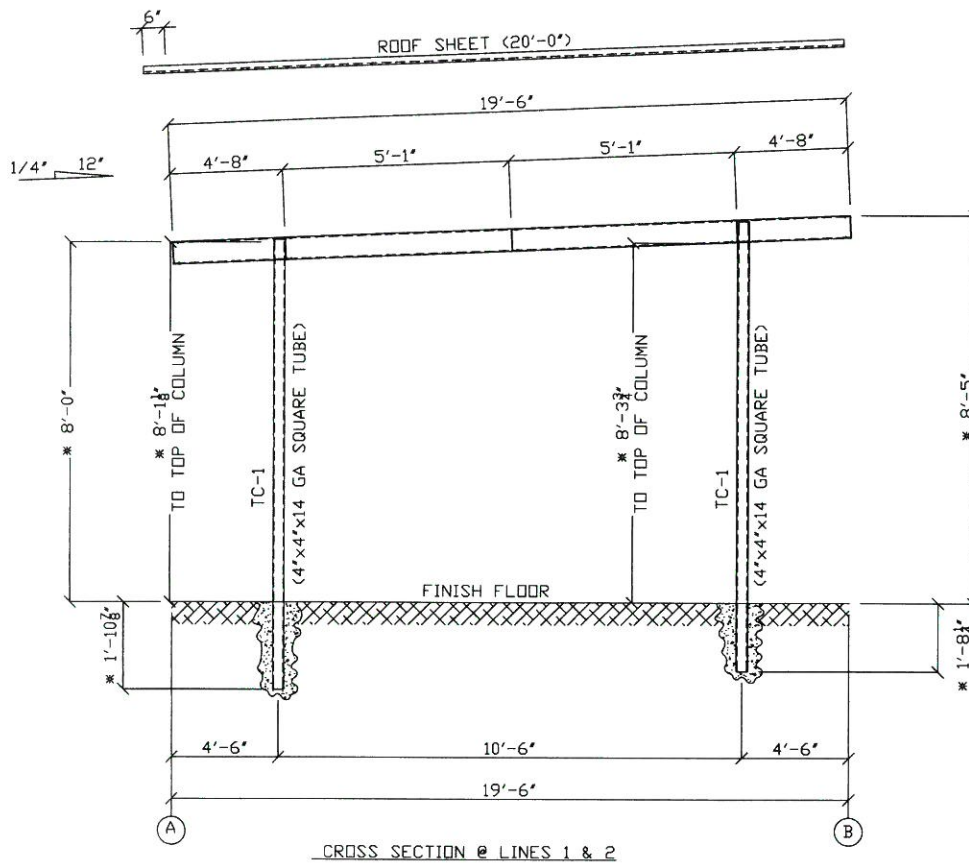
List of Materials			
MARK	QTY	DESCRIPTION	LENGTH
P-1	3	8" x 2½" C-BAR	20'-2½"
P-1A	2	8" x 2½" C-BAR "PU"	20'-2½"
ER-1	2	8" x 2 CAP CHANNEL	19'-6"
TC-1	4	4" x 4" SQUARE TUBE	10'-0"
	8	BOLT - HEX HEAD	½" x 1"
	20	BOLT - FLAT HEAD	½" x 1"
(4)		(4" x 4" x 12' OPTIONAL)	

NOTE: Sheets are to hang off the low side.

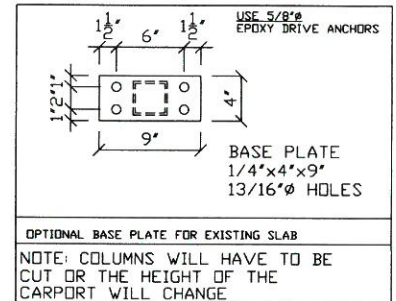
MUELLER, INC.
METAL BUILDINGS, ROOFING & COMPONENTS

877-2- MUELLER
www.muellerinc.com

NOTE: Carport kits are not engineered.



* DIMENSION VARIES DEPENDING ON EAVE HEIGHT AND COLUMN RECESSON



NOTE: 12' columns optional. Add 2' to all height dimensions.

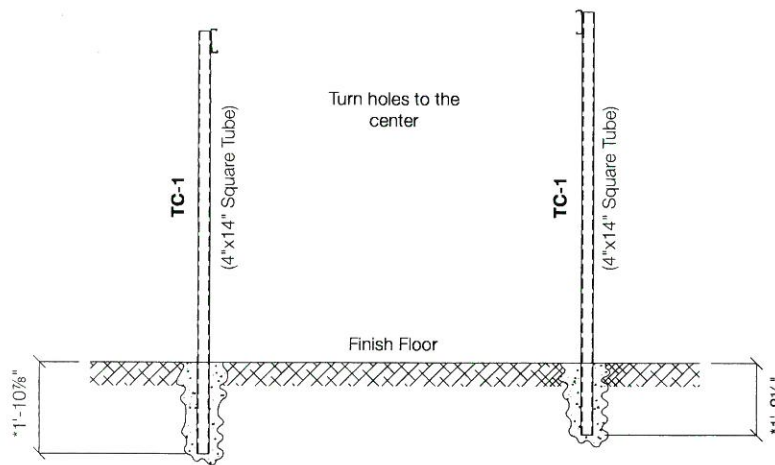


877-2- MUELLER
www.muellerinc.com

ALL INSTRUCTIONS MUST BE READ PRIOR TO INSTALLATION

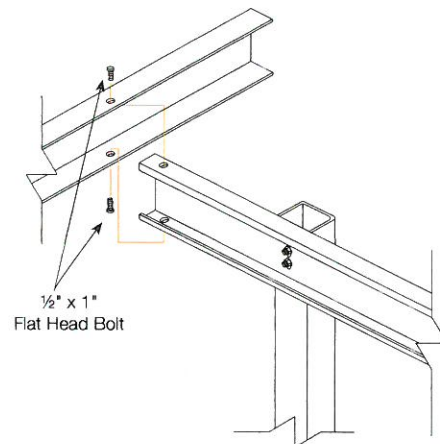
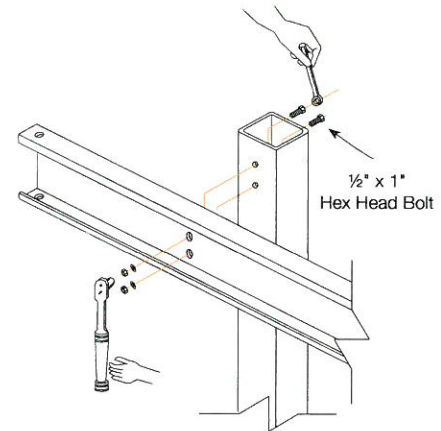
SET COLUMNS

Spacing and elevation of the columns are critical to the proper installation of the Mueller carport. The columns must be square, plumb and set at the exact dimensions shown on the drawings. Depending on the direction of the watershed, the high side columns must be 2 5/8" taller than the low side columns to achieve the appropriate pitch. Particular attention should be paid to direction of the pre-punched holes in the top of the columns as shown in the framing drawings (**Holes in column must face to the center of the carport**). Pack a small amount of dirt around each column to temporarily hold them. Do not apply concrete at this time. Time and care should be taken on column installation, as this will directly affect the appearance and ease of installation on the rest of the carport.



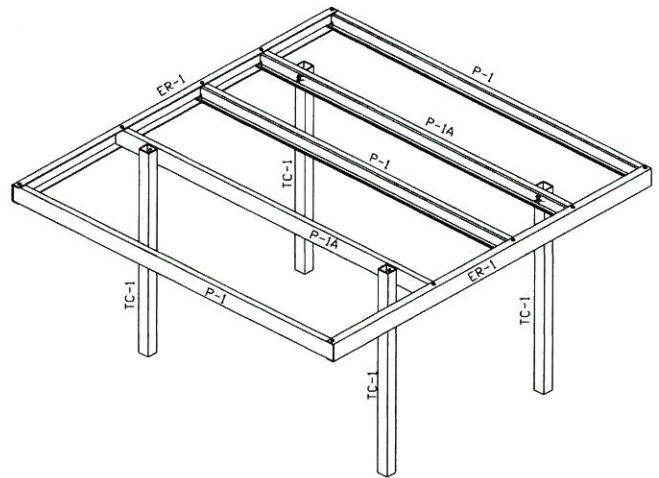
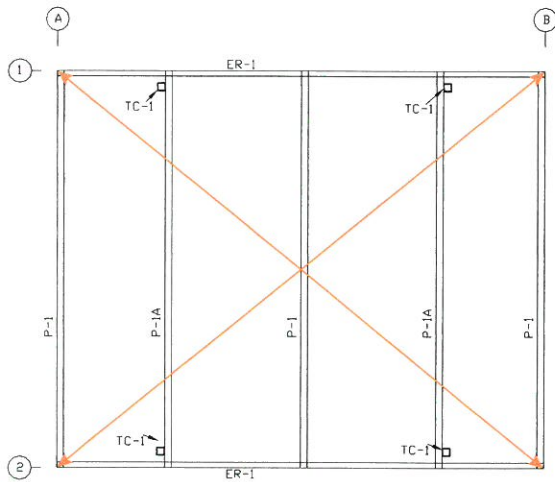
FRAMING

- 1** Turn open face of purlin to the center of carport. Align pre-punched holes in column and purlin (P-1A) and attach with $\frac{1}{2}$ " Hex Head bolts as shown.
- 2** Repeat step 1 at all columns as shown in framing details.
- 3** Install both cap channels (ER-1) as shown in the framing detail. End of cap channel should be 4'-6" from center of column. Making sure the purlins (P-1A) are inserted as deep as possible into the cap channels. Attach with bolts as shown.
- 4** Center purlin (P-1) is installed according to dimensions shown on drawing, and attached with bolts as shown. Turn open face of purlin either direction.
- 5** Install the high side (P-1) and low side (P-1) purlins with the open face of purlin pointed towards the center of the carport. Insert the purlins as far as possible into the cap channel (ER-1) and flush with the end of cap channel to form and outside corner and attach with Flat Head bolts as shown.



CROSS SQUARE THE FRAME (EXAMPLE)

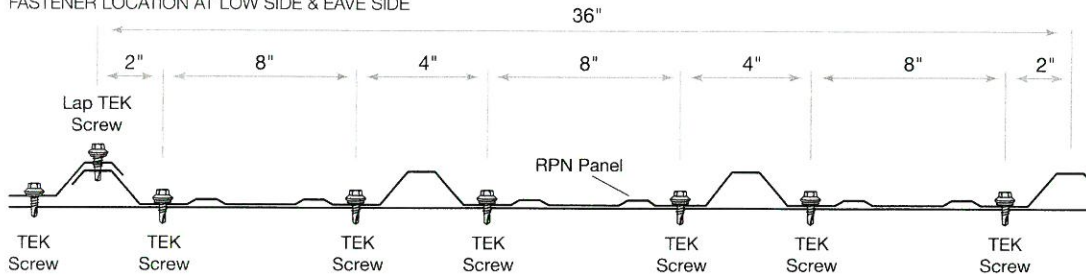
Measure the frame corner to corner diagonally making sure both dimensions are the same. If not, pull the frame square before starting sheeting. Commonly used tools are come-a-longs and ratchet straps. Squaring the frame is critical to make the sheets run true on the frame and will affect appearance and ease of installation. Re-check level on both P-1A purlins running column to column then add concrete and allow to dry.



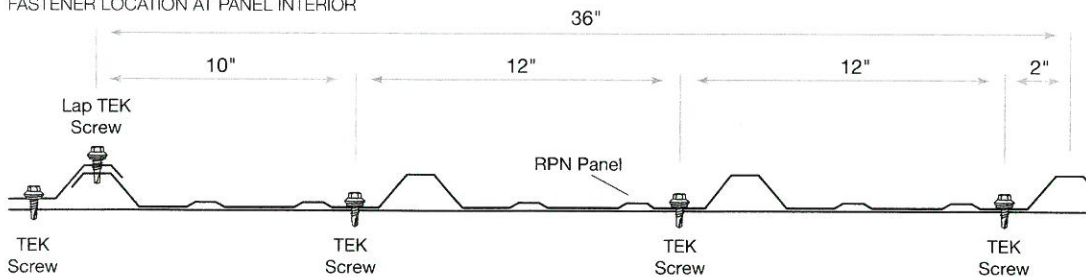
ROOF SHEETS

- 1** Place the first roof sheet flush with the outside of the cap channel (ER-1). Overhang the high and low side purlins equal distances, approximately 3". Optional trim package requires the roof sheets to be applied flush with the high side purlin and all overhang is to go to the low side purlin, approximately 6".
- 2** Attach sheets to purlin using screw patterns shown in drawings.
- 3** Repeat steps 1 & 2 until all sheets are applied.
- 4** Lap screws are applied on 30" centers as shown in drawings.

FASTENER LOCATION AT LOW SIDE & EAVE SIDE



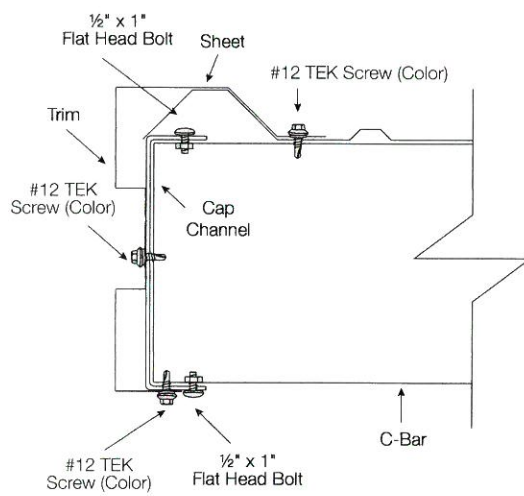
FASTENER LOCATION AT PANEL INTERIOR



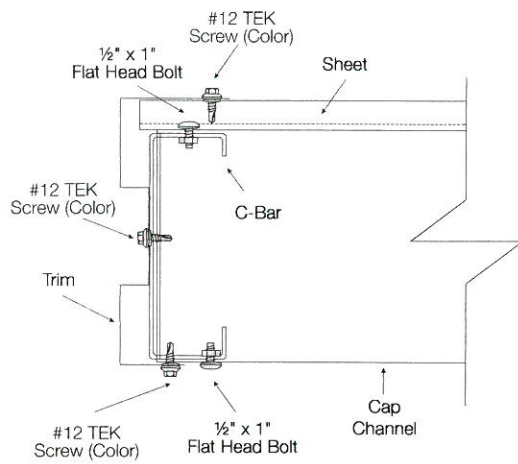
OPTIONAL TRIM PACKAGE

Apply as shown in trim drawings.

RAKE TRIM

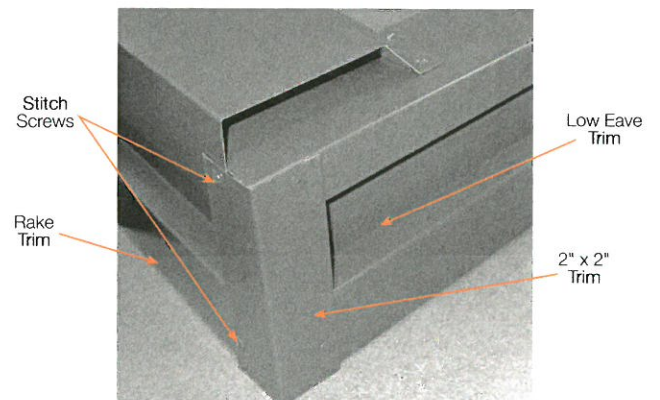
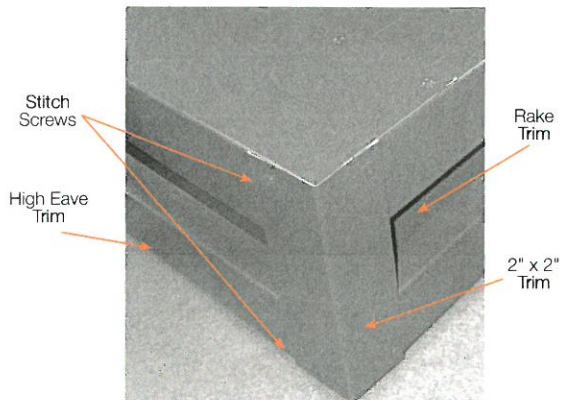
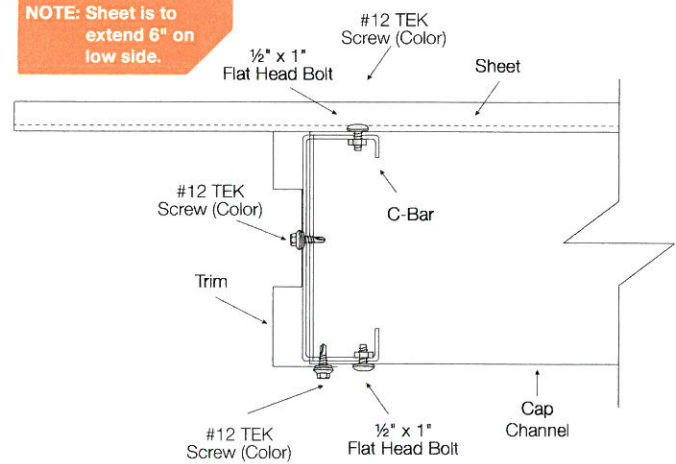


HIGH EAVE RAKE



LOW EAVE RAKE

NOTE: Sheet is to extend 6" on low side.





902 Village green



906 Village Green



910 Village Green



314 Lakeshore



711 Stillwater



903 Lake Meadows Cir



