



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

2008-010

P&Z CASE # _____ P&Z DATE _____ CC DATE _____

APPROVED/DENIED ARB DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# _____)
- ☐ APPLICATIONS
- ☐ RECEIPT
- ☐ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE _____
 - ☐ CABINET # _____
 - ☐ SLIDE # _____

NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22018-010

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

[Signature]
[Signature]

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
☐ Final Plat (\$300.00 + \$20.00 Acre)¹
☐ Replat (\$300.00 + \$20.00 Acre)¹
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
☒ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address 6271 FM 3097

Subdivision N/A

Lot

N/A

Block

N/A

General Location TRACT BOUND BY HORIZON ROAD, H. WALLACE LANE, AND COUNTY LINE ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Agriculture (Ag) District

Current Use AG

Proposed Zoning PD-PLANNED DEVELOPMENT

Proposed Use SINGLE-FAMILY RESIDENTIAL

Acreage 262.06

Lots [Current]

N/A

Lots [Proposed]

650

- ☐ **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]☐ Owner WALLACE LAND PARTNERS LP☒ Applicant JACOBS ENGINEERING INC

Contact Person MIKE WALLACE

Contact Person KEVIN KESSLER, PE

Address 6271 FM 3097

Address 1999 BRYAN ST.

SUITE 1200

City, State & Zip ROCKWALL, TX 75032

City, State & Zip DALLAS, TX 75201

Phone

Phone 2149208106

E-Mail

E-Mail kevin.kessler@jacobs.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Michael H. Wallace [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 200.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 20th day of December, 20 17. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application if it is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of December, 20 17.

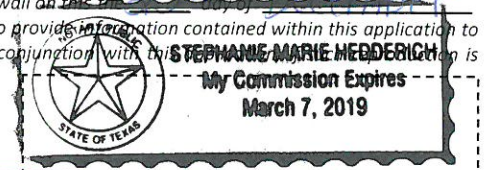
Owner's/Applicant's Signature

Michael H. Wallace

Notary Public in and for the State of Texas

Stephane Marie Hedderich

My Commission Expires

3/7/2019



RECEIPT

Project Number: Z2018-010
Job Address: WALLACE LN
ROCKWALL, TX 75032

Receipt Number: B77993

Printed: 2/19/2018 11:27 am

Fee Description	Account Number	Fee Amount
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ZONING

01-4280

\$ 4,130.90

Total Fees Paid:

\$ 4,130.90

Date Paid: 2/19/2018 12:00:00AM

Paid By: DUSTIN A. DAVIDSON

Pay Method: CHECK 1003

Received By: LM



DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

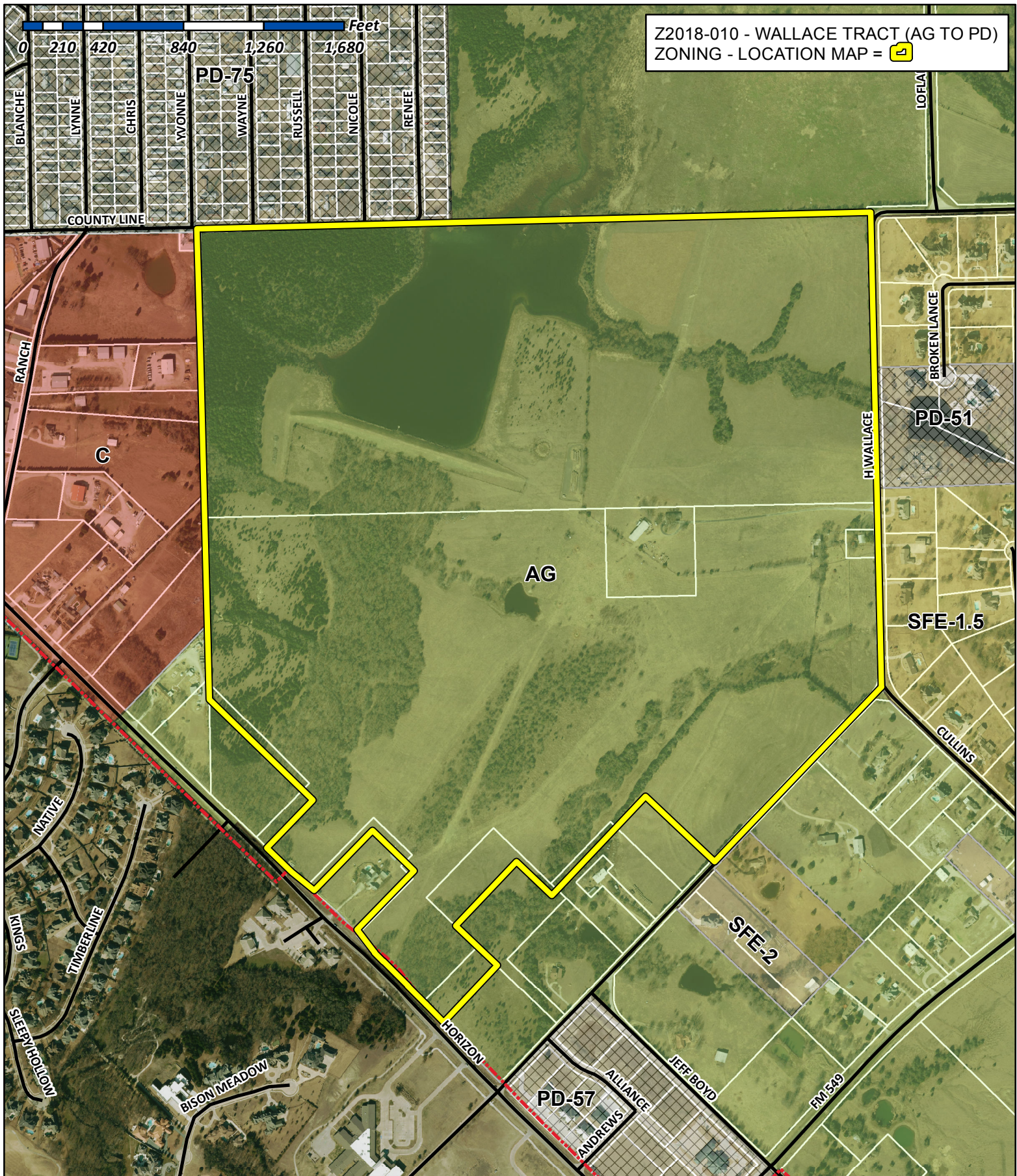
Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 2/19/2018

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 02/23/2018. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 2/27/2018 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 2/27/2018 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: Z2018-010
Project Name: Wallace Tract (AG to PD)
Project Type: ZONING
Applicant Name: JACOBS ENGINEERING
Owner Name: WALLACE, MICHAEL
Project Description:



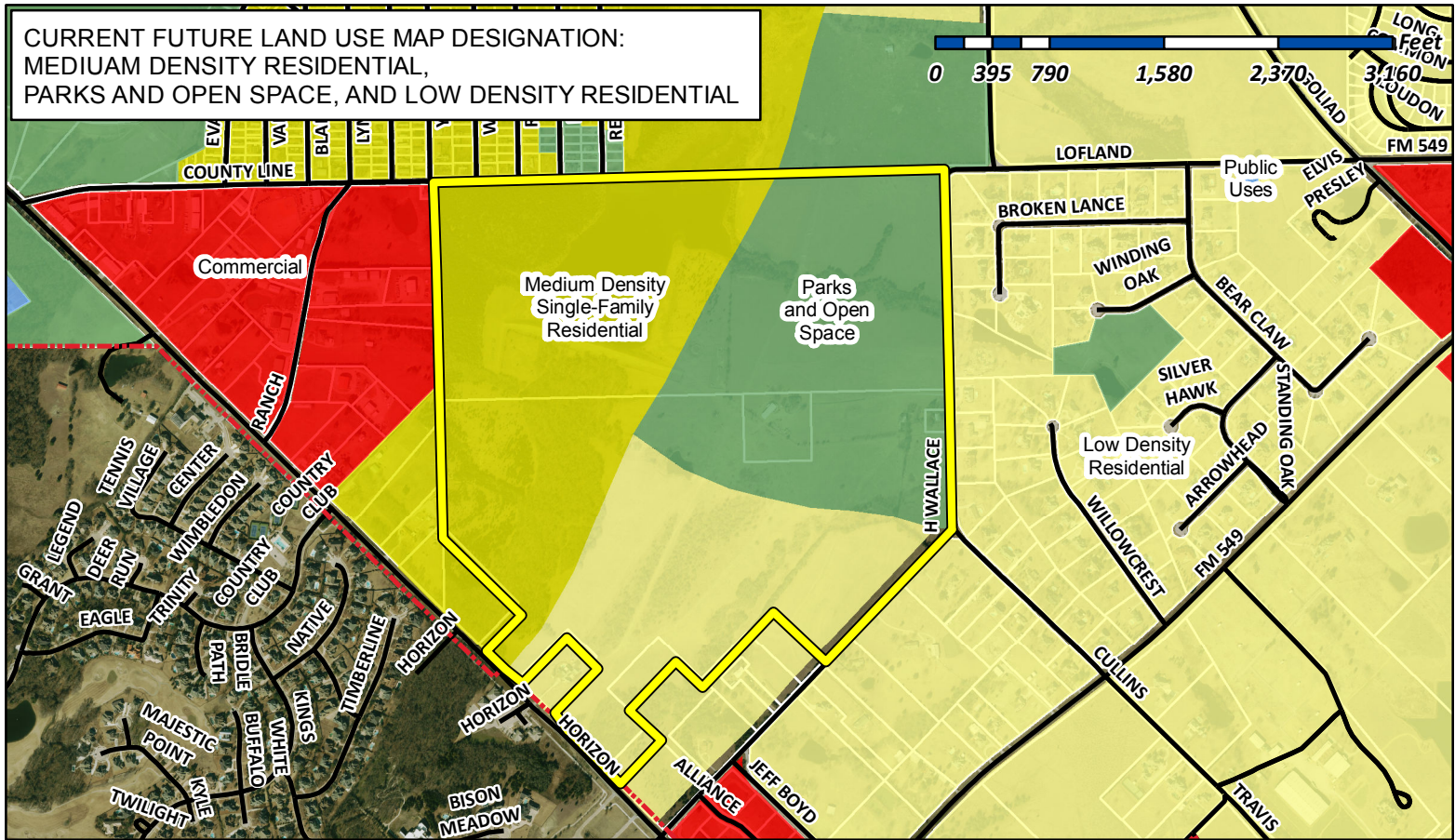
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

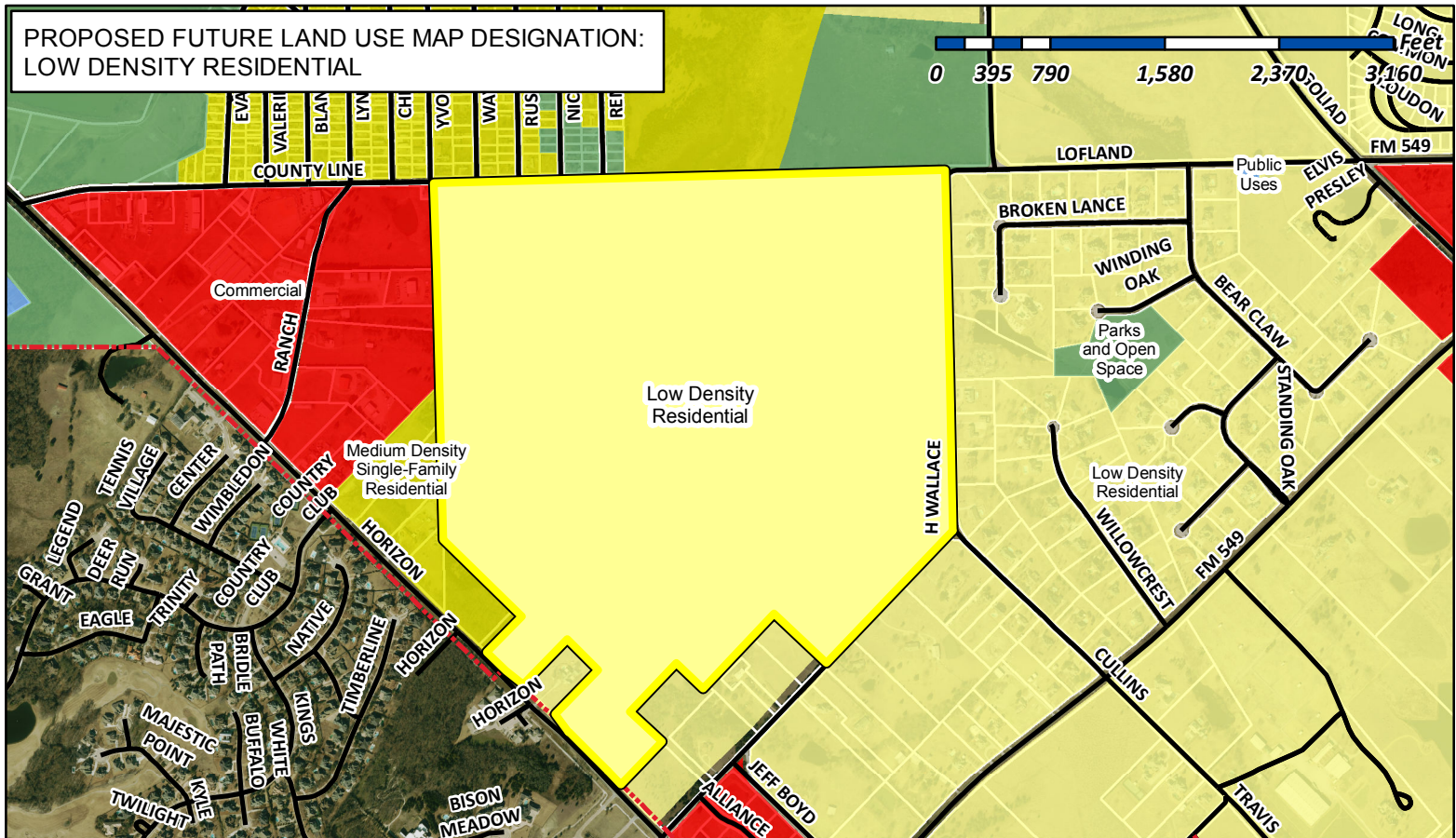
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CURRENT FUTURE LAND USE MAP DESIGNATION:
MEDIUM DENSITY RESIDENTIAL,
PARKS AND OPEN SPACE, AND LOW DENSITY RESIDENTIAL



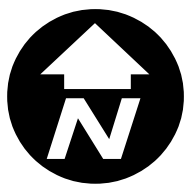
PROPOSED FUTURE LAND USE MAP DESIGNATION:
LOW DENSITY RESIDENTIAL



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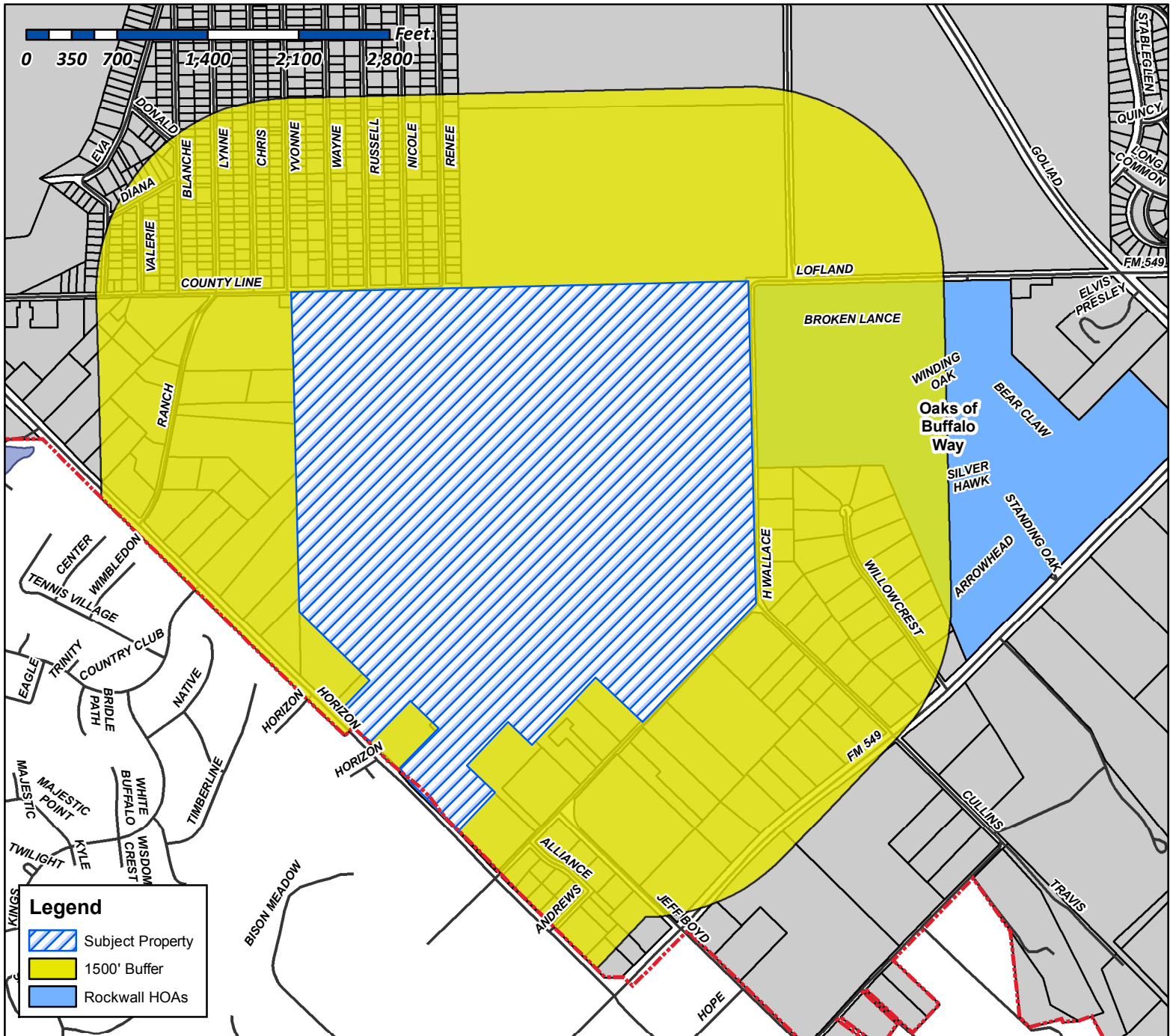
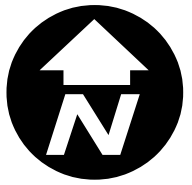




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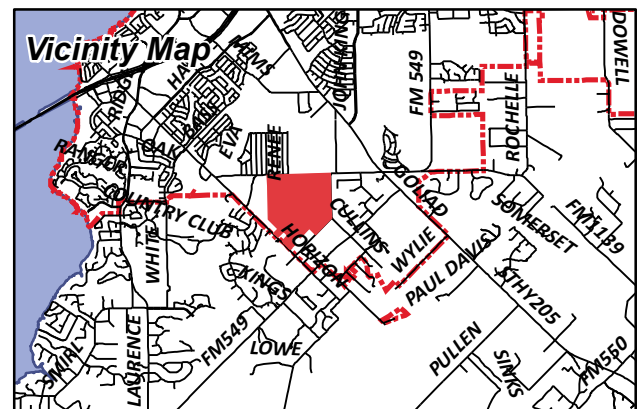
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Case Number: Z2018-010
Case Name: Wallace Tract (AG to PD)
Case Type: Zoning
Zoning: AG
Case Address: Tract Bound by Horizon Road
H Wallace Lane and County Line Road

Date Created: 02/19/2018

For Questions on this Case Call (972) 771-7745

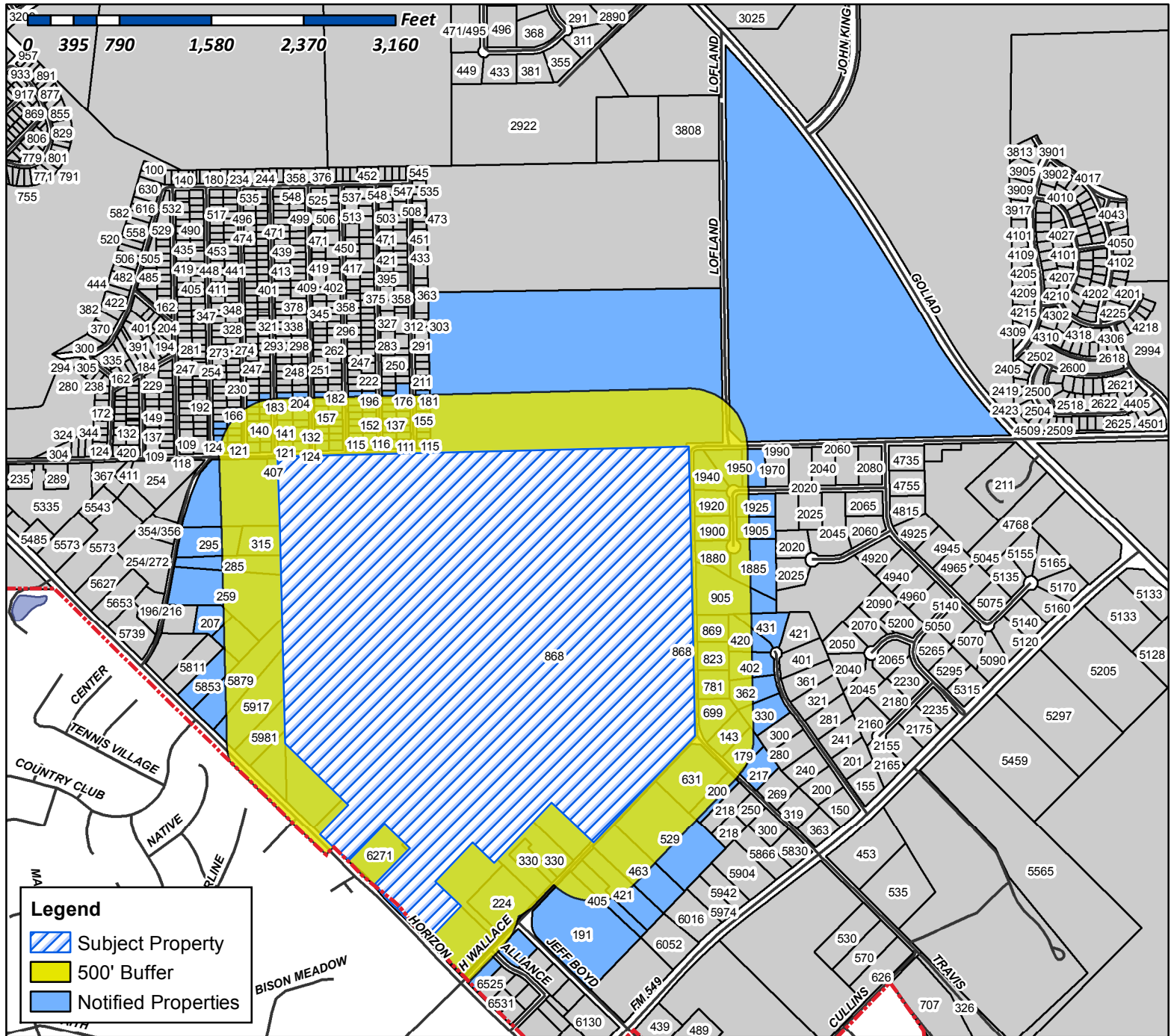
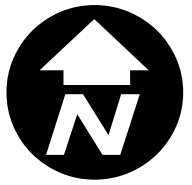




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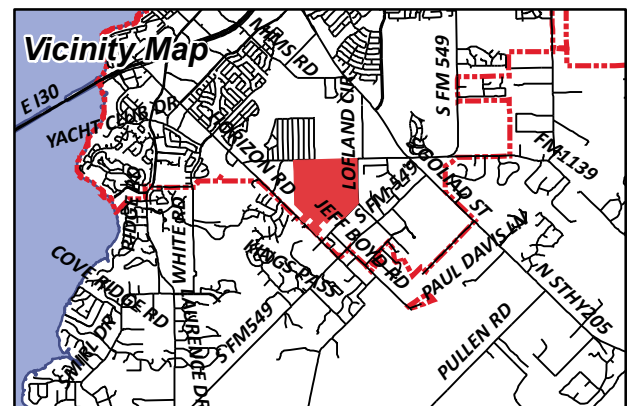
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H Wallace Lane and County Line Road

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For Questions on this Case Call (972) 771-7745



LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

TAYLOR CLIFF AND SHEENA
106 YORKSHIRE DR
HEATH, TX 75032

ARCHIBALD L D & CARLA R REVOCABLE
LIVING TRUST
1100 SW MCKINNEY ST LOT 179
RICE, TX 75155

SERRANO RAMON AND LORENA AMAYA
111 NICOLE DR
ROCKWALL, TX 75032

LUECKE PATRICIA L MRS
1110 OAKMONT DR
RICHARDSON, TX 75081

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 WAYNE DR
ROCKWALL, TX 75032

DIAZ CARLOS O &
YOVANA M CHAVEZ
115 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
116 NICOLE
ROCKWALL, TX 75032

CURRENT RESIDENT
116 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
118 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

CURRENT RESIDENT
121 LYNNE DR
ROCKWALL, TX 75032

PARTIDA EDUARDO A AND IRMA
121 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
124 YVONNE DR
ROCKWALL, TX 75032

DE SANTIAGO OSCAR MANUEL ACOSTA
124 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
125 WAYNE DR
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

VASQUEZ FRANSISCO
125 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
127 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
128 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
130 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
130 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
131 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
132 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
133 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
135 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
137 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
139 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

IBARRA MATEO CASTRO
140 NICOLE DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
142 RUSSELL DR
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 WAYNE DR
ROCKWALL, TX 75032

PINKSTON RONALD L & KAREN L
143 CULLINS RD
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
149 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
150 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
152 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
154 RENEE DR
ROCKWALL, TX 75032

MARQUEZ FELIX C
154 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
155 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
155 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
157 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
157 WAYNE DR
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO
158 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 NICOLE DR
ROCKWALL, TX 75032

FIDGER BRIAN
C/O LIGHTHOUSE REALTY
1592 NORTH HILLS DR
ROCKWALL, TX 75087

JTS ALLIANCE INC
16 MEADOWLAKE DR
HEATH, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA
162 RENEE DR
ROCKWALL, TX 75032

AGUILLON JOSE LUIS
163 BASS RD
ROCKWALL, TX 75032

CURRENT RESIDENT
164 NICOLE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
167 RUSSELL DR
ROCKWALL, TX 75032

VASQUEZ JESUS
167 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
168 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
169 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
171 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
172 YVONNE DR
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
176 NICOLE DR
ROCKWALL, TX 75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX 75032

NAYLOR DAVID A AND SARAH R
179 CULLINS
ROCKWALL, TX 75032

CURRENT RESIDENT
180 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
181 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
181 RUSSELL DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
182 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ FELICITAS
183 NICOLE DR
ROCKWALL, TX 75032

YANEZ FERNANDO AND
JUAN A YANEZ
183 YVONNE
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL
GELLY DELROSARIO
186 NICOLE DR
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R
186 NICOLE DR
ROCKWALL, TX 75032

BRECHEN DAN & KAREN
1880 BROKEN LANCE LN
ROCKWALL, TX 75032

POLLOCK MICHAEL
1885 BROKEN LANCE LN
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

LYON ROBERT CHARLES
1900 BROKEN LANCE LANE
ROCKWALL, TX 75032

WALKER WILLIAM G JR & TRACY L
1905 BROKEN LANCE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
191 RENEE DR
ROCKWALL, TX 75032

HUNT JACKSON W JR
191 JEFF BOYD RD
ROCKWALL, TX 75032

WESTMORELAND WILBUR A &
KERI L
1920 BROKEN LANCE LN
ROCKWALL, TX 75032

AVILA LUZ MARIA
1924 DEVONSHIRE
GARLAND, TX 75041

SAFIEDDINE RABIH AND LAURIE ANN BARAKAT
1925 BROKEN LANCE LN
ROCKWALL, TX 75032

HUFF BILLY AND CHRISTA
193 RUSSELL DR
ROCKWALL, TX 75032

HUFF BILLY AND CHRISTA
193 RUSSELL DR
ROCKWALL, TX 75032

CARMONA JOSE
194 RENEE DRIVE
ROCKWALL, TX 75032

BADER MARKUS AND KIMBERLY
1940 BROKEN LANCE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
195 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
195 WAYNE DR
ROCKWALL, TX 75032

PODLESKI GREGG T & MARIANNE
1950 BROKEN LANCE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
196 NICOLE DR
ROCKWALL, TX 75032

BENGE TRACY L & JAY D
1970 BROKEN LANCE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
198 RUSSELL DR
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX
20 CALLE DEL SOL
SAN JUAN, PR 00901

RAMIREZ RUBIN & MARTHA
200 CHAMBERLAIN DR
FATE, TX 75189

LAMBE ROBERT J & DONNA
200 CULLINS RD
ROCKWALL, TX 75032

CROWN CASTLE TOWERS 09 LLC
2000 CORPORATE DRIVE
CANONSBURG, PA 15317

MEZA FRANCISCO J AND YOLANDA S
2004 MIDLAKE
ROCKWALL, TX 75032

YANEZ JUAN
201 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
204 WAYNE DR
ROCKWALL, TX 75032

MEDINA MARIA V AND
MARITZA ALONSO
204 YVONNE
ROCKWALL, TX 75032

2-W BROTHERS LLC
207 RANCH TRL
ROCKWALL, TX 75032

THRASH LEFTY & MARTHA
217 CULLINS RD
ROCKWALL, TX 75032

DAVID B RENO II & PATRICIA J RENO REVOCABLE
LIVING TRUST
218 RUSSELL DRIVE
ROCKWALL, TX 75032

MORTON MARGARET ANNE WALLACE
224 H WALLACE LN
ROCKWALL, TX 75032

ACKERT MARY J MRS
2241 HIGHWOOD DR
DALLAS, TX 75228

MCMULLEN KENNETH & SANDRA A
259 RANCH TRL
ROCKWALL, TX 75032

JIMENEZ RICARDO
2847 TANGLEGLEN DR
ROCKWALL, TX 75032

CURRENT RESIDENT
285 RANCH TRL
ROCKWALL, TX 75032

CURRENT RESIDENT
295 RANCH TRAIL
ROCKWALL, TX 75032

EPIC ROCKWALL VENTURES LLC
315 RANCH TR
ROCKWALL, TX 75032

WALLACE DONALD J & CATHERINE
330 H WALLACE LN
ROCKWALL, TX 75032

WALLACE DONALD J
330 H WALLACE LN
ROCKWALL, TX 75032

ADAMS JEFFREY BLAKE & CATHY
330 WILLOWCREST
ROCKWALL, TX 75032

HARDIN DENNIS & JOLYNN JONES
34 LAKEWAY DR
HEATH, TX 75032

CONTRERAS JUANA
353 CHRIS DR
ROCKWALL, TX 75032

BAUGHER JAMES M AND
MARY BETH BAUGHER
362 WILLOWCREST
ROCKWALL, TX 75032

MOREAU KIMBERLYN G & STEPHEN M
402 WILLOWCREST
ROCKWALL, TX 75032

KRECEK JANETTE C
405 H WALLACE LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
407 RANCH TRAIL
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR AND
DIANA DOMINGUEZ
420 LYNNE DR
ROCKWALL, TX 75032

MILLER JASON D & JANITH L
420 WILLOWCREST
ROCKWALL, TX 75032

INGHAM JULIE A AND MARK A
421 H WALLACE LN
ROCKWALL, TX 75032

DRCE TRUST
4219 ASHMONT CT
DALLAS, TX 75287

SWAIN BRENT MERRICK
431 WILLOWCREST
ROCKWALL, TX 75032

CLEM MILFORD
433 THISTLE DR
GARLAND, TX 75043

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

WILCK PAUL J JR
463 H WALLACE LN
ROCKWALL, TX 75032

MORENO NOE
474 BASS RD
ROCKWALL, TX 75032

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

MCCOSH GORDON ETUX
529 H WALLACE LN
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST DRIVE CT
GOLDEN, CO 80403

CURRENT RESIDENT
5853 FM3097
ROCKWALL, TX 75032

MCCOY SHIREE DAY
5879 FM 3097
ROCKWALL, TX 75032

CURRENT RESIDENT
5917 FM3097
ROCKWALL, TX 75032

BINDER CARL JR
5981 FM 3097
ROCKWALL, TX 75032

SHEPHERD PLACE HOMES INC
620 ROWLETT RD
GARLAND, TX 75043

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

WALLACE JOHN H JR
6271 HORIZON RD
ROCKWALL, TX 75032

WALLACE MICHAEL
6271 HORIZON ROAD
ROCKWALL, TX 75032

LATHAM REX K ET UX
631 H WALLACE LN
ROCKWALL, TX 75032

STEVENS DWAYNE ETUX
699 H WALLACE LN
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR
ROCKWALL, TX 75087

ACUNA NINFA
703 T L TOWNSEND DR
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ
703 T L TOWNSEND DR
ROCKWALL, TX 75087

CANIZALES ELIDA VILLAREAL
760 COUNTY LINE RD
ROCKWALL, TX 75032

ESPARZA NORA
7723 GLENMERE TRAIL
SACHSE, TX 75048

GREGG RODNEY P
781 H WALLACE LN
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

DANIELS COREY L & CAROL A
808 RENEE DR
ROCKWALL, TX 75032

MERRITT PAUL C & LOUISE
823 H WALLACE LN
ROCKWALL, TX 75032

WOODHILL DENTAL SPECIALTIES I LLC
8355 WALNUT HILL LN SUITE 100
DALLAS, TX 75237

CURRENT RESIDENT
868 H WALLACE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
868 WALLACE LN
ROCKWALL, TX 75032

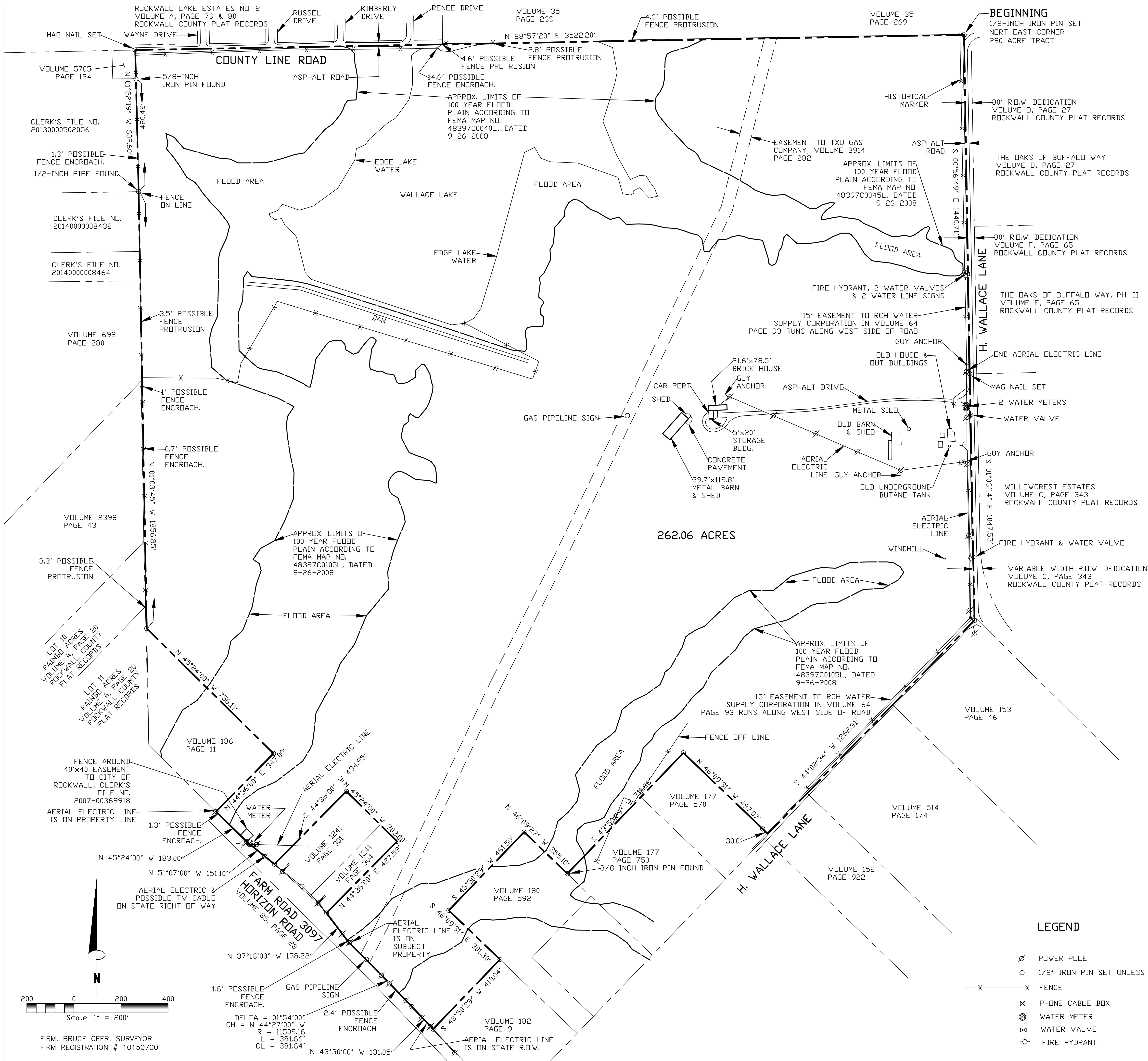
KINNEY DAVID D & DIANA S
869 H WALLACE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
905 H WALLACE LN
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

GLEASON DIANE
PO BOX 824312
DALLAS, TX 75382



DESCRIPTION 262.06 ACRES

SITUATED in Rockwall County, Texas, in the W. W. Ford survey, abstract no. 80, being a survey of part of the 290 acre tract described in a deed from J. O. Wallace and wife, Mary E. Wallace to J. H. Wallace, dated September 19, 1947, recorded in volume 42, page 616 of the Rockwall County deed records, being described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron pin set at the northeast corner of said 290 acre tract, at the extension of H. Wallace Lane from the south and east; same being the northwest corner of The Oaks of Buffalo Way, Phase I, recorded in volume D, page 27 of the Rockwall County plat records;

THENCE southerly with said H. Wallace Lane as follows:

South 00°58'49" East, with the west line of said The Oaks of Buffalo Way, Phase I, passing the west-southwest corner of said The Oaks of Buffalo Way, Phase I and the northwest corner of The Oaks of Buffalo Way, Phase II recorded in volume F, page 65 of the Rockwall County plat records at 814.17 feet and continuing with the west line of said The Oaks of Buffalo Way, Phase II, in all 1440.71 feet to a mag nail set;

South 01°08'14" East, with the west line of Willowcrest Estates, recorded in volume C, page 343 of the Rockwall County plat records, 1047.55 feet to a mag nail set;

THENCE South 44°02'34" West, 1262.91 feet to a 1/2-inch iron pin set;

THENCE North 48°09'31" West, with the northeast line of the 3.00 acre tract recorded in volume 177, page 570, 497.07 feet to a 1/2-inch iron pin set at the north corner of said 3.00 acre tract;

THENCE South 43°50'29" West, with the northwest line of said 3.00 acre tract, passing the west corner of said 3.00 acre tract and the north corner of the 5.17 acre tract at 281.36 feet and continuing with the northwest line of said 5.17 acre tract, in all, 711.86 feet to a 3/8-inch iron pin found at the west corner of said 5.17 acre tract; same being in the northwest line of the 5.00 acre tract recorded in volume 160, page 692;

THENCE North 48°09'27" West, with the northeast line of said 5.00 acre tract, 255.10 feet to a 1/2-inch iron pin set at the north corner of said 5.00 acre tract;

THENCE South 43°50'29" West, with the northwest line of said 5.00 acre tract, 461.50 feet to a 1/2-inch iron pin set at the west corner of said 5.00 acre tract;

THENCE South 48°09'31" East, with the southwest line of said 5.00 acre tract, 301.30 feet to a 1/2-inch iron pin set at the north corner of the 5.00 acre tract recorded in volume 182, page 9;

THENCE South 43°50'29" West, with the northwest line of the last mentioned 5.00 acre tract, 410.04 feet to a 1/2-inch iron pin set in the northeast right-of-way line of Farm Road 3097 (Horizon Road);

THENCE in a northwest direction with the northeast right-of-way line of said Farm Road 3097 (Horizon Road) as follows:

North 43°30'00" West, 131.05 feet to a 1/2-inch iron pin set at the P.C. of a curve to the left;

With said curve to the left, a radius of 11509.16 feet, an arc length of 381.66 feet, a central angle of 01°54'00", a chord direction of North 44°27'00" West and a chord length of 381.64 feet to a 1/2-inch iron pin set;

THENCE North 37°16'00" West, 158.22 feet to a 1/2-inch iron pin set at the south corner of the 1.00 acre tract recorded in volume 1241, page 304;

THENCE North 44°36'00" East, with the southeast line of said 1.00 acre tract, 427.59 feet to a 1/2-inch iron pin set at the east corner of said 1.00 acre tract;

THENCE North 45°24'00" West, with the northeast line of said 1.00 acre tract, passing the north corner of said 1.00 acre tract and the east corner of the 1.954 acre tract recorded in volume 1241, page 301 at 103.00 feet and continuing with the northeast line of said 1.954 acre tract, in all, 303.00 feet to a 1/2-inch iron pin set at the north corner of said 1.954 acre tract;

THENCE South 44°36'00" West, with the northwest line of said 1.954 acre tract, 434.95 feet to a 1/2-inch iron pin set at the west corner of said 1.954 acre tract; same being in the northeast right-of-way line of said Farm Road 3097 (Horizon Road);

THENCE in a northwest direction with the northeast right-of-way line of said Farm Road 3097 (Horizon Road) as follows:

North 51°07'00" West, 151.10 feet to a 1/2-inch iron pin set;

North 45°24'00" West, 183.00 feet to a 1/2-inch iron pin set in the southeast line of the 5.00 acre tract recorded in volume 166, page 11;

THENCE North 44°36'00" East, with the southeast line of last mentioned 5.00 acre tract, 347.00 feet to a 1/2-inch iron pin set at the east corner of said last mentioned 5.00 acre tract;

THENCE North 45°24'00" West, with the northeast line of said last mentioned 5.00 acre tract, 756.11 feet to a 1/2-inch iron pin set;

THENCE North 01°03'45" West, 1856.85 feet to a 1/2-inch pipe found at the northeast corner of the 2.04 acre tract recorded as clerk's file no. 2014000008432 and the southeast corner of the 9.76 acre tract recorded as clerk's file no. 20130000502056;

THENCE North 01°22'19" West, with the east line of said 9.76 acre tract, passing a 5/8-inch iron pin found the east-northeast corner of said 9.76 acre tract at 480.42 feet and continuing with the east line of the 10 acre tract recorded in volume 5705, page 124, in all, 602.60 feet to a mag nail set at the northwest corner of said 290 acre tract, in the center of County Line Road (east-west paved road);

THENCE North 88°57'20" East, with the north line of said 290 acre tract and with said County Line Road, passing the end of said County Line Road at approximately 1151 feet and continuing in all, 3522.20 feet to the PLACE OF BEGINNING and containing 262.06 acres.

Office work completed on January 22, 2016

Bruce Geer

Bruce Geer, Registered Professional Land Surveyor, No. 4117
1101 W. University Drive (U. S. Highway 380)
McKinney, Texas 75069
972-562-3959
972-542-5751-fax

According to FEMA maps no. 48397C0040L, 48397C0105L and 48397C0045L, all dated 9-26-2008, part of the above described tract of land is in the 100 year flood plain.

Bearing base and controlling monuments: Bearings seen on right-of-way deed in volume 85, page 28 and used calculated line between a bent concrete marker found on northeast right-of-way line of Farm Road 3097 at station 134+17.23 and concrete right-of-way marker found on said northeast right-of-way line at station 70+00. Right-of-way map is on file at the TxDOT Dallas District office.

25 foot wide easements to Lone Star Gas Company in volume 76, page 514 and volume 76, page 516 apply to the above described tract. Exact location of easements were not mentioned in said easement documents.

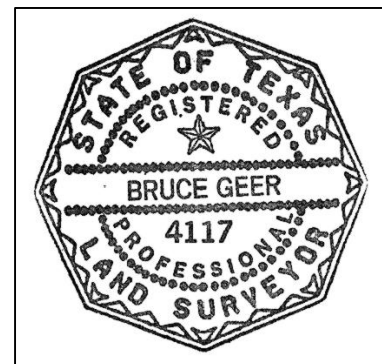
Easement to Kaufman-Van Zandt Conservation District in volume 51, page 101 applies to the above described tract of land. Easement states 25.3 acres are in the permanent pool and 36 acres are in the flood pool. Exact location of this easement is not mentioned in said easement document.

Easement to Texas Utilities Electric Company in volume 1414, page 238 does not apply to the above described tract of land.

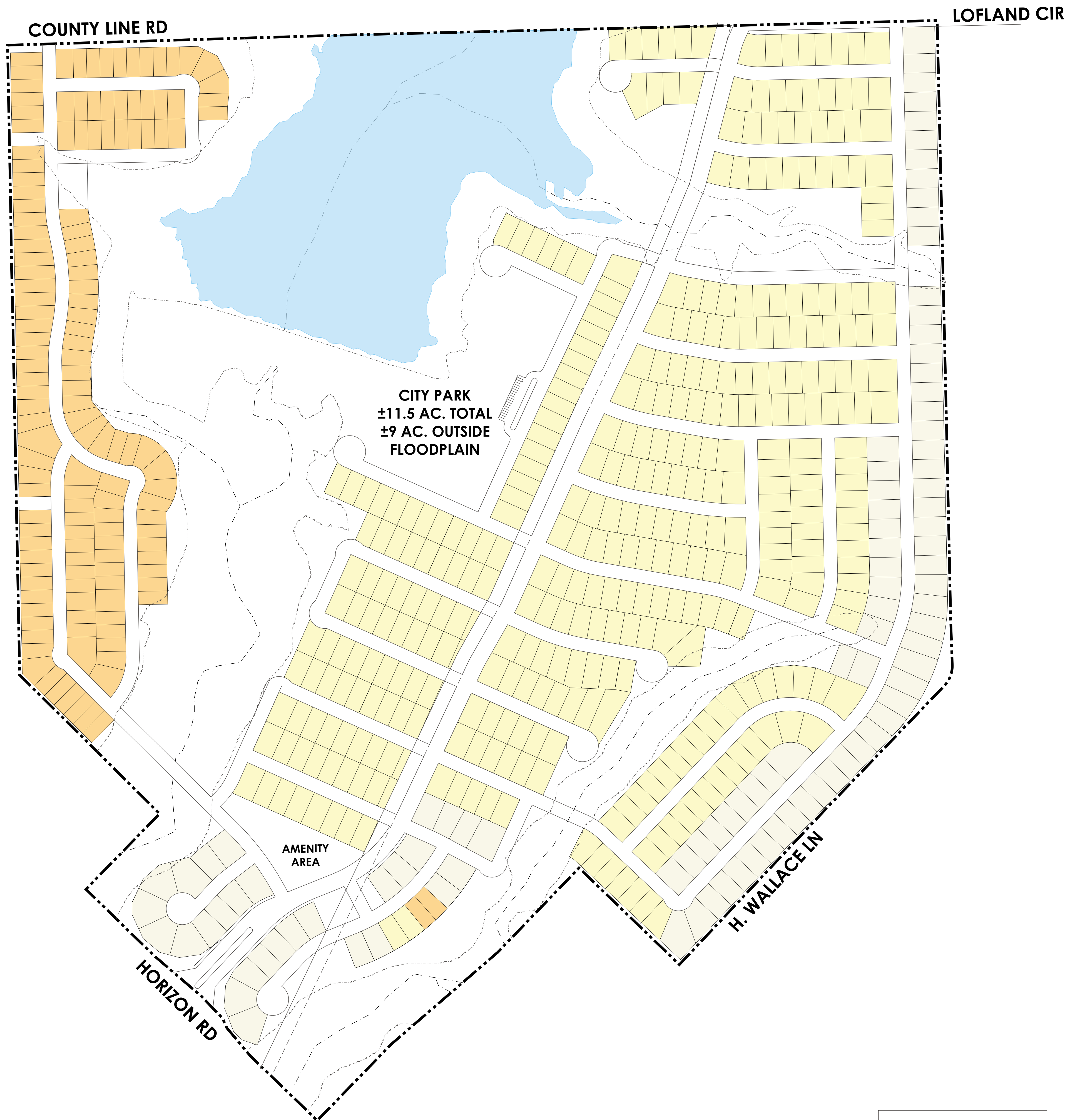
Blanket easement to Farmers Electric Cooperative, Inc. in volume 3756, page 15 applies to the above described tract of land. Easement becomes 20 feet in width when overhead or underground lines are installed.

LEGEND

- POWER POLE
- 1/2" IRON PIN SET UNLESS OTHERWISE NOTED
- FENCE
- PHONE CABLE BOX
- WATER METER
- WATER VALVE
- FIRE HYDRANT



262.06 ACRES
W. W. FORD SURVEY
ABSTRACT NO. 80
CITY OF ROCKWALL
ROCKWALL COUNTY
TEXAS



LOT TYPE

- | | |
|--|---|
| | A |
| | B |
| | C |

ZONING CONCEPT PLAN

Wallace Tract Concept

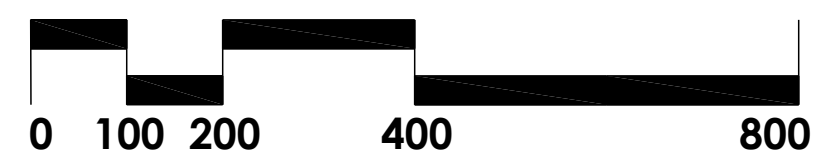
Rockwall, Texas

February 16, 2017

Drawing name: \\dallf02\Projects\NAI\SLD\WFXO7000\700 CADD\709 Planning_Landscape\Planning\Wallace Tract PD_Concept_02.13.2018.dwg

Plotted on: Feb 16, 2018 - 8:18am

JACOBS



NOTE: This plan is diagrammatic only and is intended to show potential configuration. This plan is only conceptual and is not based upon a detailed survey of existing site conditions such as property limits, subsurface conditions, limits of trees, topography, utilities, easements, etc. February 16, 2018

February 16, 2018

Ryan Miller
City of Rockwall
385 S Goliad
Rockwall, Texas 75087



Re: Wallace Tract – Proposed PD Zoning – Separate Applicant Requests

Dear Ryan,

Hines is hereby requesting a zoning change on the property bound by Wallace Lane, Horizon Road, County Line Road, and Lofland Circle. The purpose of this request is to create a Planned Development (PD) for a proposed single-family, master-planned community. Please find the zoning change application and PD Development Standards along with the proposed Concept Plan in this submittal.

Hines is a privately owned global real estate investment firm founded in 1957 with a presence in 201 cities in 21 countries. Hines has approximately \$100 billion of assets under management, including \$54.5 billion for which Hines provides fiduciary investment management services, and \$45.5 billion for which Hines provides third-party property-level services. The firm has 113 developments currently underway around the world. Historically, Hines has developed, redeveloped or acquired 1,262 properties, totaling over 414 million square feet. The firm's current property and asset management portfolio includes 529 properties, representing over 213 million square feet. With extensive experience in investments across the risk spectrum and all property types, and a pioneering commitment to sustainability, Hines is one of the largest and most-respected real estate organizations in the world. Visit www.hines.com for more information.

In addition to the single-family related items discussed in the PD, Hines has several separate requests, detailed below:

Wallace Lane:

Hines is proposing access to the community through a combination of Horizon and County Line roads (see the enclosed access point exhibit for reference). The project will therefore not add any traffic to the existing Wallace Lane. The other adjacent property that utilizes Wallace Lane, The Oaks at Buffalo Way, has been developed as large lot single-family and is currently the highest and best use for that property. Hines is proposing that the Rockwall Major Thoroughfare plan be amended to call for no expansion to the existing Wallace Lane to reflect the road's sparsely traveled status.

Future Water Line Reimbursement:

As part of the single-family development, Hines will install an off-site water line to connect to the existing water infrastructure along Highway 205 when project phasing demands deem the improvements necessary. The proposed water line will provide capacity to the Wallace Tract as well as other future developments along the path of the line. Discussions with City of Rockwall staff have affirmed that a pro rata reimbursement

as repayment to Hines or its assigns will be disbursed at the time the benefited properties develop. Hines is requesting that the City put in place a reimbursement agreement that will last 10 years with subsequent 10 year extensions to be exercised at Hines or its assigns discretion and details the reimbursement amounts Hines can expect.

City Park Dedication:

Following successful zoning, Hines intends to present to the City of Rockwall Parks Board the plan to dedicate +/- 11 acres for a City of Rockwall Regional Park and an additional amount of open space to be utilized for the City to seek additional grant funding. The park will be dedicated during the platting of the adjacent phase. The City of Rockwall will maintain the Regional Park while the Association created by Hines will maintain the project's internal private park improvements.

Please contact me with any questions.

Sincerely,

Hines Interests Limited Partnership,
a Delaware limited partnership,
its sole Member

By: Hines Holding, Inc.,
a Texas corporation,
its General Partner


DD

By: _____
Name: Robert W. Witte
Title: Senior Managing Director

Access Point Exhibit

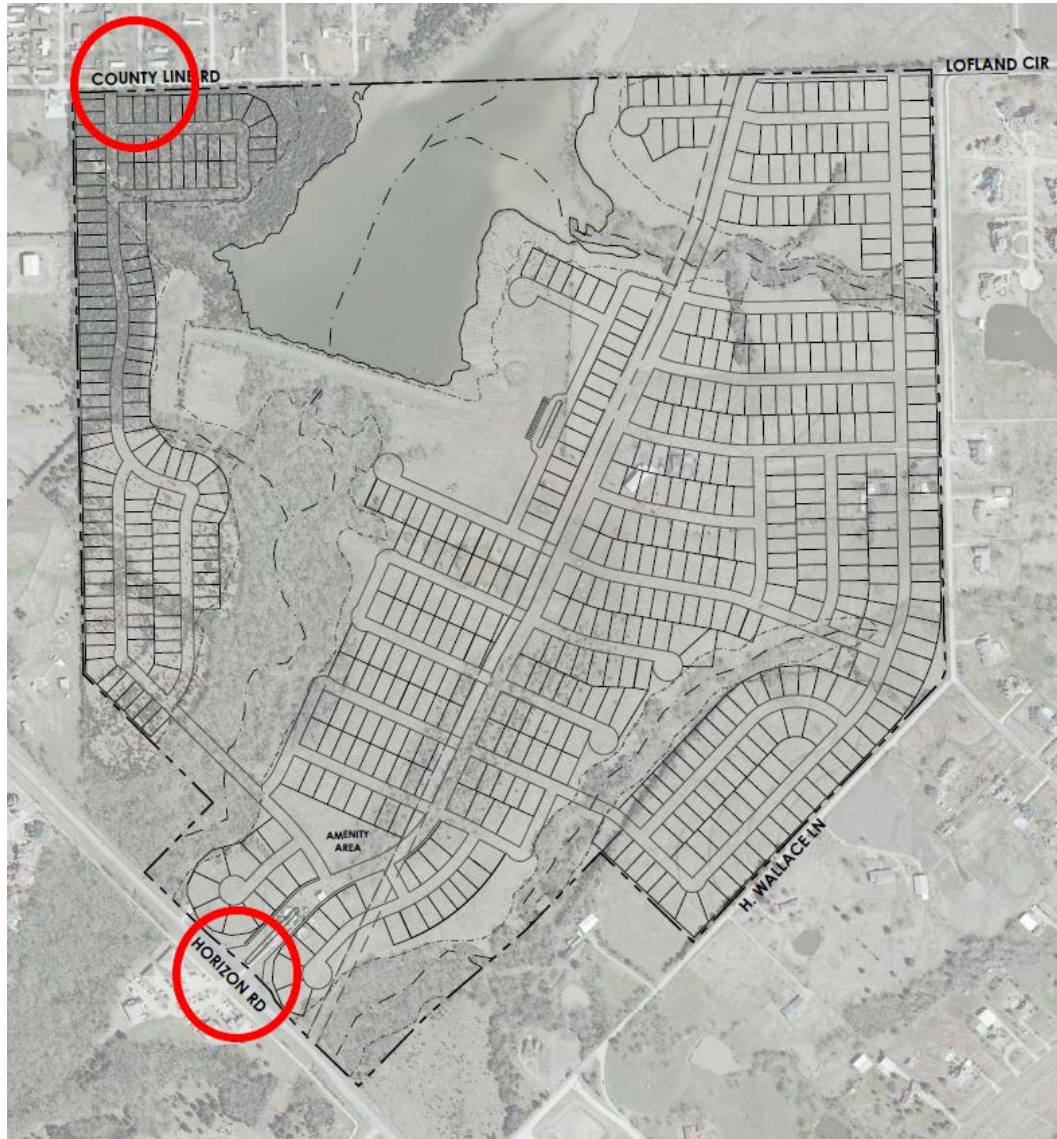


Exhibit B Wallace Tract:
PD Development Standards

A. GENERAL REQUIREMENTS

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted with the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit 'B' and stated in Table 1, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Maximum Dwelling Units (#)
A	60' x 120'	7,200 SF	385
B	70' x 120'	8,400 SF	110
C	50' x 110'	5,500 SF	150

Maximum Permitted Units: 645

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article V, *District Development Standards*, of the Unified Development Code (UDC), are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.50 dwelling units per gross acre of land; however, in no case should the proposed development exceed 645 units. All lots shall conform to the standards depicted in Table 2, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see PD Concept Plan)▶	A	B	C
Minimum Lot Width/Frontage ⁽¹⁾	60'	70'	50'
Minimum Lot Depth	120	120	110
Minimum Lot Area	7,200 SF	8,400 SF	5,500 SF
Minimum Front Yard Setback ⁽²⁾	20	20	20
Minimum Side Yard Setback	5	5	5
Minimum Side Yard Setback (Adjacent to the Street) ⁽²⁾	15	15	15
Minimum Length of Driveway Pavement	20	20	20
Maximum Height ⁽³⁾	36	36	36
Minimum Rear Yard Setback ⁽⁴⁾	15	15	15
Garage Orientation	Front or J-Swing	Front or J-Swing	Front
Maximum of Front Entry Garages Permitted	70% or 270 lots	70% or 270 lots	100% or 150 lots
Minimum Area / Dwelling Unit (SF) ⁽⁵⁾	2,200	2,500	2,000
Maximum Lot Coverage	65%	65%	50'

General Notes:

1. The minimum lot width shall be measured at the *Front Yard Building Setback*.
2. The location of the *Front Yard Building Setback* as measured from the front property line.
3. The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
4. As measured from the rear yard property line.
5. A minimum of 25% of Lot Type C must have a *Front Yard Setback* of 25'
6. Up to 25% of Lot Type C can be less than 2,000 SF but greater than 1,800 SF.
7. Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally,

Exhibit B Wallace Tract:
PD Development Standards

the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.

4. **Building Standards.** All development shall adhere to the following building standards:

- a) **Masonry Requirement.** The minimum masonry requirement for the exterior facades of a building shall be 90%, where 100% of front elevation shall be masonry with exception of above roof line and architectural façade features). No visible siding adjacent to major thoroughfare allowed. Hardie Board or similar cementaceous material may be used on up to 50% of the total masonry requirement.
- b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have minimum of a 4:12 roof pitch. Rear elevation may have 6:12 roof pitch.
- c) **Garage Orientation and Driveway Standards.** Garages may be oriented toward the street in a front entry configuration; however, the front façade of the garage door must be situated equal to or behind the front façade of the primary structure. Swing, Traditional Swing, or J-Swing garages are permitted to have a second garage door facing the street. All garage doors are required to be upgraded finish with examples to include "Carriage House Collection" by Overhead Door Corporation or approved alternate. All driveways are required to include upgraded finish, treatment, or materials. No standard broom-finish concrete driveways are allowed.

5. **Anti-Monotony Restrictions.** The development shall adhere to an *Anti-Monotony rule*.

- a) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties.
- b) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and three (3) intervening homes of differing appearance on the opposite side of the street. The rear elevation of the homes backing to open spaces or to an adjacent thoroughfare shall not repeat without at least four (4) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - i. Number of Stories
 - ii. Permitted Encroachment Type and Layout
 - iii. Roof Type and Layout
 - iv. Articulation of the Front Façade

*****NOTE*** Please insert the monotony chart from Z2015-016: Discovery Lakes (AG to PO), Ordinance No. 15-24**

- c) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural composition.
6. **Fencing Standards.** All individual residential fences and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards.

Exhibit B Wallace Tract:
PD Development Standards

- a) *Wood Fences.* All wood fences shall be constructed of board-on-board Cedar and stained a consistent medium-brown.
- b) *Decorative Metal Fencing.* Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a tubular steel fence or decorative metal fence.
- c) *Corner Lots.* Corner lots fences (i.e. adjacent to the street) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. Fencing shall be setback from the side property line adjacent to the street a minimum of five (5) feet.
- d) *Solid Fences (including Wood Fences).* All solid fences shall incorporate a decorative top rail or cap into the design of the fence.

7. *Landscape and Hardscape Standards.*

- a) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan, All Canopy/Shade Trees planted within this development, unless specifically provided by this PD Ordinance, shall be a minimum of three (3) caliper inches in size and all *Accent/Ornamental/Under-story Trees* shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within this PD development:
 - i. *Canopy/Shade Trees.* Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Burk Elm, Allen Elm, Chinese Pistachio, Shumard Oak, Sycamore, Live Oak, and Burr Oak.
 - ii. *Accent/Ornamental/Under-Story Trees.* Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- b) *Landscape Buffers.* All landscape buffers and plantings located within buffers shall be maintained by the Homeowner's Association (HOA). A minimum of a 20-foot landscape buffer shall be provided along the frontage of Horizon Road and a minimum 10-foot landscape buffer shall be provided along the frontage of H. Wallace Lane and County Line Road (outside of and beyond any required right-of-way dedication).
- c) *Streetscape Landscape.* Prior to issuance of a Certificate of Occupancy, yards for all single-family lots in the District shall be landscaped with large canopy Trees.
 - i. Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - ii. Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two additional trees of same caliper shall be planted in the side yard facing the street.
 - iii. For purposes of this section only, the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

Exhibit B Wallace Tract:
PD Development Standards

- d) *Street Trees.* Street Trees shall generally be planted in conformance with the PD Concept Plan as depicted in this ordinance. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of a 14' vertical clearance height for any trees overhanging a public roadway. All street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm sewer lines.
 - e) *Irrigation Requirements.* Irrigation shall be installed for required landscaping located within improved common areas, landscape buffers and/or open space lawn areas. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association. Landscape Irrigation will not be required in Native/Natural areas near the NRCS lake dam, overflow structure, and floodplain areas proposed to be left undisturbed.
 - f) *Hardscape.* Hardscape plans indicating the location of sidewalks and trails shall be reviewed and approved with the PD Site Plan.
- 8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City Street standards.
 - 9. *Curbing.* Within certain lot types "A, B, & C" "roll up, lay down curbing" may be incorporated in an effort to minimize frequent curb cuts and maximize streetscape continuity, as approved by the City of Rockwall (Engineering Department) with approval of the final plat application.
 - 10. *Lighting.* Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures should be directed downward and be positioned to contain all light within the development area.
 - 11. *Sidewalks.* At a minimum, all sidewalks located on lay down curb section streets shall begin four (4) feet behind the back of curb and be at a minimum of five (5) feet in overall width.
 - 12. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*i.e. 3-phase lines*), or additional lines that are added to existing poles, may be above ground if located along the perimeter of the *Subject Property*. The Developer shall not be required to re-locate existing overhead power lines along the perimeter of the *Subject Property*. Temporary power lines constructed across the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
 - 13. *Open Space.* The development shall consist of a minimum 20% open space (including any park land dedicated to the City of Rockwall), and generally conform to the PD Concept Plan contained in this ordinance. Existing floodplain shall only count up to 10% of the required 20%. All open space areas shall be maintained by the Homeowner's Association (HOA).

Exhibit B Wallace Tract:
PD Development Standards

Developer shall provide within the Subject Property enhanced landscaping areas within the Subject Property (generally depicted below). Final design will be determined at development.



14. **Neighborhood Signage.** Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision, in general conformance to the signage shown below. Final design and location of entry features shall be reviewed and approved with the PD Site Plan.

Exhibit B Wallace Tract:
PD Development Standards



15. Amenity Center. The development shall include a fully established turfed and irrigated private Amenity Center as generally depicted in the PD Concept Plan and below. The final design of the Amenity Center will be determined with the Planned Development Site Plan. This area shall incorporate the following improvements:

- a) Upgraded Playground facilities
- b) Covered Shade Structure
- c) Swimming pool & accessory uses
- d) Picnic Area
- e) Benches
- f) Landscaping features including upgraded planting beds, Canopy Trees, and Ornamental Trees



16. *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the

Exhibit B Wallace Tract:
PD Development Standards

Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, screening fences associated with this development.

17. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

DRAFT

Exhibit B Wallace Tract:
PD Development Standards

Sample Images:

Enhanced Garage:



Enhanced Driveway Finish Options:

Aggregate Finish



Masonry Banding



Exhibit B Wallace Tract:
PD Development Standards

Stamped Color Concrete



Rock Salt Finish Concrete



DRAFT

2/23/2018

City of Rockwall
Project Plan Review History



Project Number	Z2018-010	Owner	WALLACE, MICHAEL	Applied	2/16/2018	LM
Project Name	Wallace Tract (AG to PD)	Applicant	JACOBS ENGINEERING	Approved		
Type	ZONING			Closed		
Subtype	PD			Expired		
Status	P&Z HEARING			Status	2/22/2018	RM

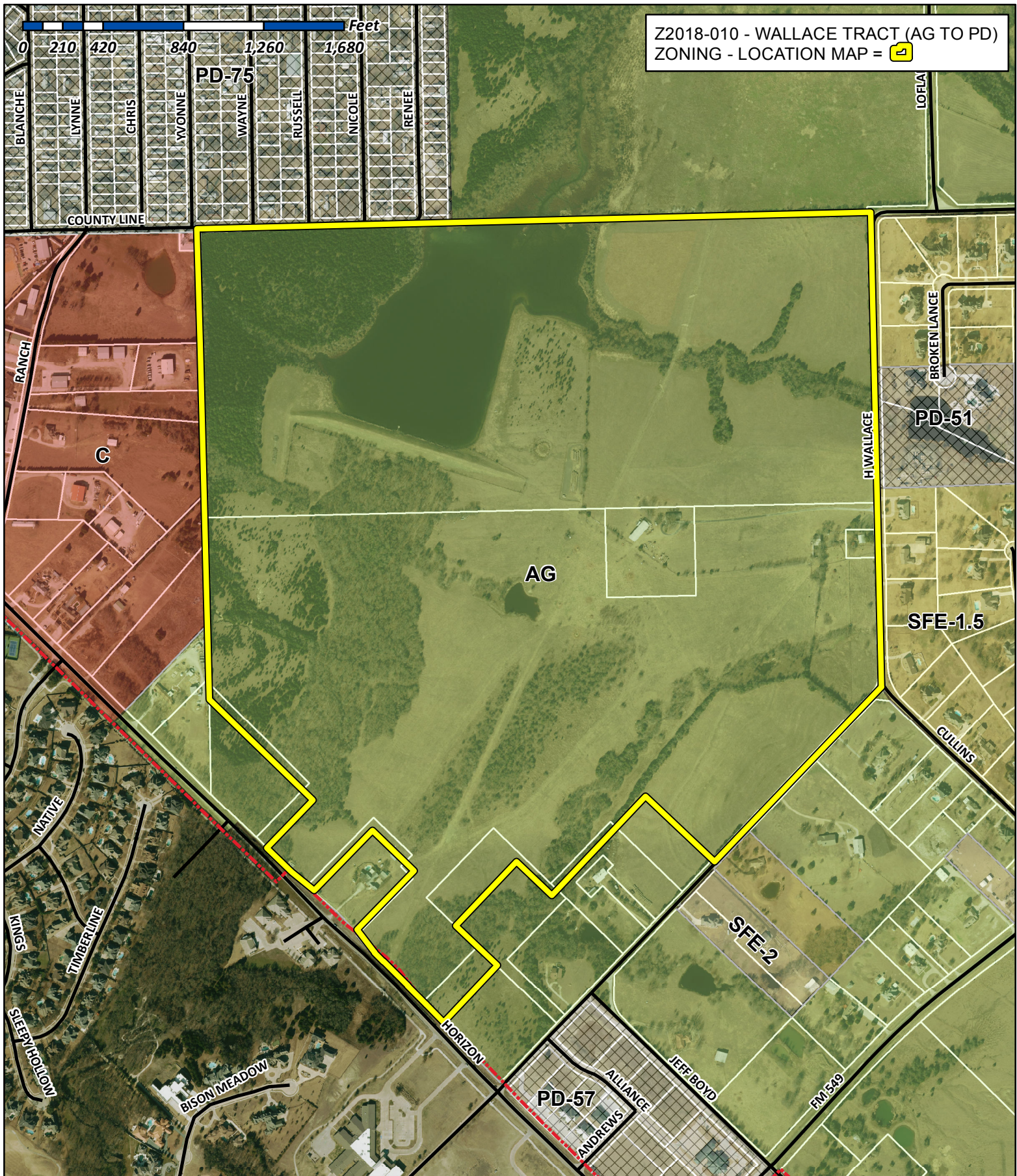
Site Address	City, State Zip					
WALLACE LN	ROCKWALL, TX 75032					Zoning
Subdivision	Tract	Block	Lot No	Parcel No		General Plan
RAINBOW ACRES	44-01	NULL	44-01	0080-0000-0044-01-OR		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	2/21/2018	2/28/2018	2/21/2018		APPROVED	
ENGINEERING	Amy Williams	2/16/2018	2/23/2018	2/21/2018	5	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(2/21/2018 11:24 AM AW) Get written permission from the NRCS to build in the Wallace Lake easement All roadways adjacent to the park to be 60' right-of-way and 41' back of curb to back of curb (B-B) street section Dedicate right-of-way equal to 60' from the centerline of Horizon TIA will be required for Horizon Dedicate 10' of right-of-way the entire length of Wallace Lane and build a minimum of 24' curbed street section with 5' sidewalks and any drainage needed Dedicate 60' right-of-way for Cullins and John King through the site and build 41' B-B with all drainage and utilities Dedicate 30' right-of-way for Lofland Circle and building a minimum of 24' curbed street section with 5' sidewalks and drainage Dedicate right-of-way for County Line and build a 5' sidewalk for all property adjacent to County Line Construct 12" sewer line from County Line to the FM 3097 lift station Construct 12" water line along John King, Lofland Circle, and Cullins Road extension through the site. Construct 12" water line along the entire length of Wallace Lane from Horizon to SH 205 Sewer pro-rata due of \$432.74/acre Full upgrades of two FM 3097 lift stations to ultimate conditions (wet wells, pumps, electrical, etc.) Flood study will require a retainer of \$5,000 to start the review. Any additional monies will be billed to the engineer/developer. If there are any credits to the flood study review/information, those monies will be refunded to the engineer/developer. 4% engineering inspection fees Impact fees will be required FEMA approved LOMR will be required prior to Engineering acceptance of the development and no building permits will be release until the LOMR is approved by FEMA. Development Standards All streets will have a standard curb...no roll up curbs Any trees planted in the right-of-way shall be planted a minimum of 5' from any utility and will require a root barrier All sidewalks are to be 2' inside the right-of-way and are a minimum of 5' wide All driveway "finishes" shall not extend into the right-of-way and will stop prior to the driveway approach All new utilities shall be underground no matter the size or cost effectiveness.						
FIRE	Kevin Clark	2/16/2018	2/23/2018	2/23/2018	7 APPROVED	
PLANNING	Ryan Miller	2/16/2018	2/23/2018	2/22/2018	6 COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2018-010; Zoning Change (AG to PD) for the Wallace Tract						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097].						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmler@rockwall.com.						
M.3 For reference, include the case number (Z2018-010) in the lower right hand corner of all pages on future submittals.						
I.4 The Future Land Use Map contained within the City's Comprehensive Plan indicates that the subject property is designated as Medium Density Residential, Low Density Residential and Open Space. The proposed zoning does conform to this designation; however, due to the location of the Open Space designation, the City Council will need to amend the Future Land Use Map to reflect a Low Density Residential designation for the entire property.						
I.5 The City's Master Thoroughfare Plan (MTP) indicates John King Boulevard as a MAU and County Line Road, Wallace Lane and Cullins Road as Minor Collectors. These roadways are not depicted on the applicant's plans and will require the City Council to amend the Master Thoroughfare Plan (MTP) in order to approve the zoning.						
I.6 The City's Parkland Dedication Ordinance requires a minimum of contiguous 11-acres outside of the floodplain to constitute dedication as a Neighborhood Park. The 11.5-acres of proposed parkland dedication only has nine (9) acres of land outside of the floodplain. This will require discretionary approval of the Parks Board.						
M.7 Since the proposed park area does not meet the City's minimum standards and will require discretionary approval please removed the words "City Park" from the concept plan.						
M.8 The City's Comprehensive Plan and Planned Development standards contained in the Unified Development Code (UDC) require a minimum of 20% open space (with floodplain only counting at a ratio of 0.5-acres per one [1] acre dedicated as open space). Please indicate the total amount of open space being provided with this development.						
M.9 The City's Comprehensive Plan states that there should be a Neighborhood Oriented Park Ratio of at least one (1) acre of parkland for every 20 residential lots. Please indicated conformance to this ratio.						
I.10 The City's Comprehensive Plan states that homes should be single loaded on to open space. Consider re-orienting some of the lots on the interior to face towards the open space as opposed to siding onto the open space. In addition, the primary street running north/south could utilize in a boulevard design to increase the green space and to increase conformity to the Comprehensive Plan.						
M.11 The City's Comprehensive Plan states that lots less than 12,000 SF should be no further than 800-feet from a public park or open space. Please provide an exhibit demonstrating conformance to the 800-foot rule.						
I.12 The City's Comprehensive Plan calls for cul-de-sacs to be utilized only where it is absolutely necessary for the design of a residential subdivision. The purpose of this is to create an interconnected street pattern that offers flexibility of routes. Please look to reduce the use of cul-de-sacs in the design of the subdivision.						
I.13 The City's Comprehensive Plan states that all residential lots less than 16,000 SF in size should be served by an alleyway. In addition, the City's Engineering Standards of Design Manual requires alleyways with all new residential development. This will be required to be waived by the City Council.						
M.14 The Unified Development Code (UDC) does not permit "flat, front entry garages". Consider reducing the amount of "flat, front entry garages" to less than 30% of the total number of garages. In lieu of "flat, front entry garages", consider utilizing garages that are a minimum of 20-feet behind the front façade of the home or J-Swing garages (also referred to as Traditional Swing garages). At a minimum, lots utilizing a "flat, front entry garage" should be setback a minimum of 25-feet from public right-of-way to allow for sufficient room for off-street parking.						
I.15 The proposed Anti-Monotony Standards are the minimum standards. Consider the Anti-Monotony Standards approved with PD-63 [Ordinance No. 14-49].						
M.16 Based on the submitted concept plan please make the following technical corrections for clarity:						
1) Please label all streets (i.e. Street A, Street B, etc.) for reference.						
2) Under the legend for lot types, please indicate the product type.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.17						Please note that the pro-rata for the proposed water line will be handled after the installation of the water line and will not be incorporated into the zoning process.
I.18						Based on the submittal, the following items will require special consideration from the City Council:
						1) Changes to the Master Thoroughfare Plan (MTP).
						2) The proposed garage standards (i.e. amount of flat, front entry product proposed).
						3) Lay down curbs differ from the street cross section permitted by the Engineering Standards of Design and will require City Council approval.
M.19						Please provide digital copies of all pictures depicted in the ordinance in a .png or .jpg format.
M.20						Please provide a copy of the legal description in .docx format.
M.21						Please review the attached draft ordinance prior to the February 27, 2018 Planning & Zoning Commission meeting.
I.22						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 6, 2018; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 13, 2018 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on February 27, 2018.
I.23						The projected City Council meeting dates for this case will be March 19, 2018 [1st Reading] & April 2, 2018 [2nd Reading].



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

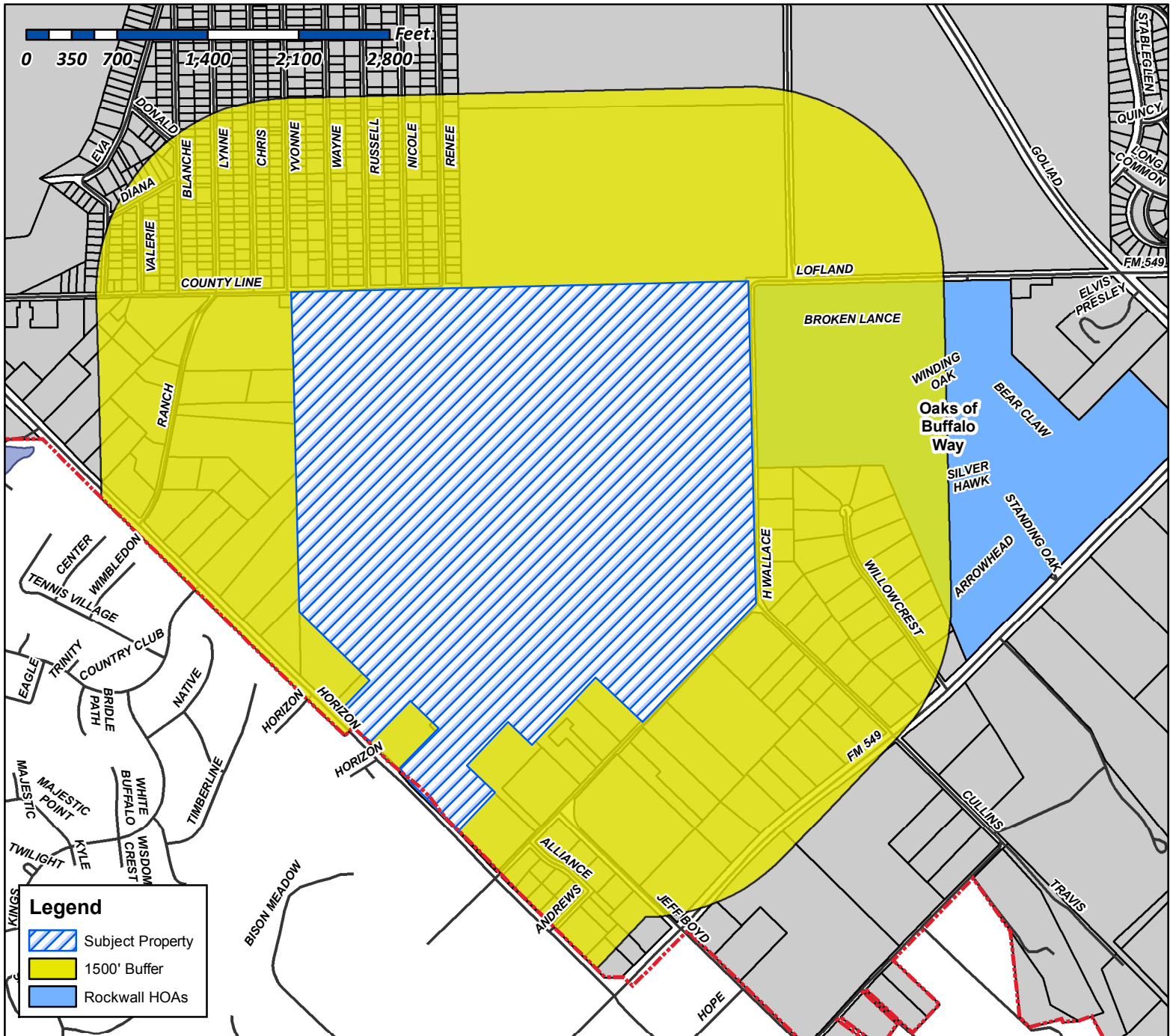
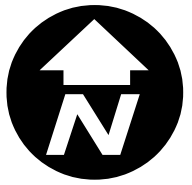




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Planning & Zoning Department
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(W): www.rockwall.com

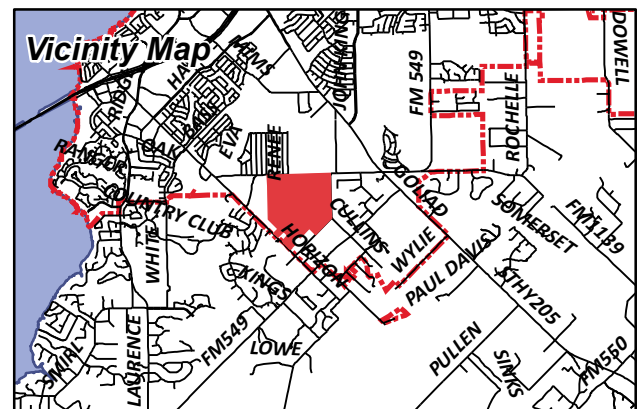
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Case Number: Z2018-010
Case Name: Wallace Tract (AG to PD)
Case Type: Zoning
Zoning: AG
Case Address: Tract Bound by Horizon Road
H Wallace Lane and County Line Road

Date Created: 02/19/2018

For Questions on this Case Call (972) 771-7745

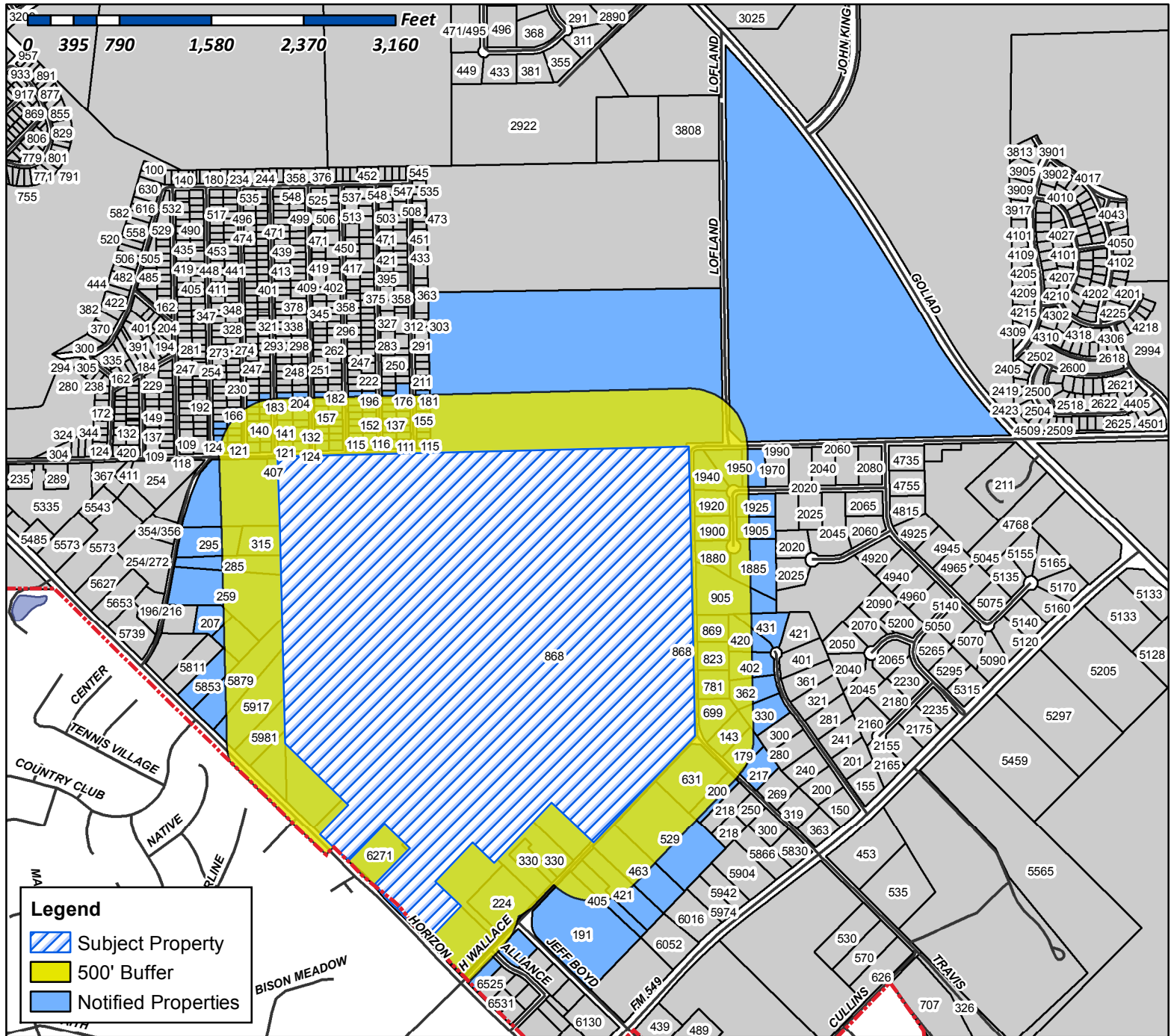
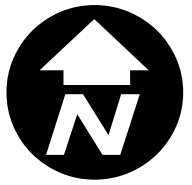




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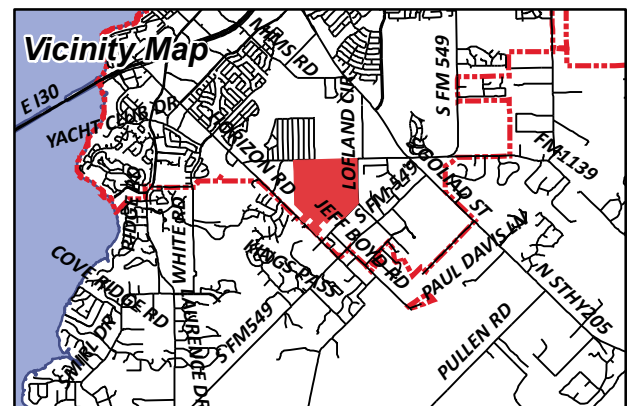
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For Questions on this Case Call (972) 771-7745



LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

TAYLOR CLIFF AND SHEENA
106 YORKSHIRE DR
HEATH, TX 75032

ARCHIBALD L D & CARLA R REVOCABLE
LIVING TRUST
1100 SW MCKINNEY ST LOT 179
RICE, TX 75155

SERRANO RAMON AND LORENA AMAYA
111 NICOLE DR
ROCKWALL, TX 75032

LUECKE PATRICIA L MRS
1110 OAKMONT DR
RICHARDSON, TX 75081

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 WAYNE DR
ROCKWALL, TX 75032

DIAZ CARLOS O &
YOVANA M CHAVEZ
115 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
116 NICOLE
ROCKWALL, TX 75032

CURRENT RESIDENT
116 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
118 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

CURRENT RESIDENT
121 LYNNE DR
ROCKWALL, TX 75032

PARTIDA EDUARDO A AND IRMA
121 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
124 YVONNE DR
ROCKWALL, TX 75032

DE SANTIAGO OSCAR MANUEL ACOSTA
124 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
125 WAYNE DR
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

VASQUEZ FRANSISCO
125 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
127 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
128 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
130 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
130 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
131 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
132 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
133 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
135 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
137 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
139 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

IBARRA MATEO CASTRO
140 NICOLE DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
142 RUSSELL DR
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 WAYNE DR
ROCKWALL, TX 75032

PINKSTON RONALD L & KAREN L
143 CULLINS RD
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
149 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
150 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
152 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
154 RENEE DR
ROCKWALL, TX 75032

MARQUEZ FELIX C
154 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
155 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
155 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
157 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
157 WAYNE DR
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO
158 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 NICOLE DR
ROCKWALL, TX 75032

FIDGER BRIAN
C/O LIGHTHOUSE REALTY
1592 NORTH HILLS DR
ROCKWALL, TX 75087

JTS ALLIANCE INC
16 MEADOWLAKE DR
HEATH, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA
162 RENEE DR
ROCKWALL, TX 75032

AGUILLON JOSE LUIS
163 BASS RD
ROCKWALL, TX 75032

CURRENT RESIDENT
164 NICOLE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
167 RUSSELL DR
ROCKWALL, TX 75032

VASQUEZ JESUS
167 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
168 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
169 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
171 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
172 YVONNE DR
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
176 NICOLE DR
ROCKWALL, TX 75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX 75032

NAYLOR DAVID A AND SARAH R
179 CULLINS
ROCKWALL, TX 75032

CURRENT RESIDENT
180 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
181 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
181 RUSSELL DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
182 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ FELICITAS
183 NICOLE DR
ROCKWALL, TX 75032

YANEZ FERNANDO AND
JUAN A YANEZ
183 YVONNE
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL
GELLY DELROSARIO
186 NICOLE DR
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R
186 NICOLE DR
ROCKWALL, TX 75032

BRECHEN DAN & KAREN
1880 BROKEN LANCE LN
ROCKWALL, TX 75032

POLLOCK MICHAEL
1885 BROKEN LANCE LN
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

LYON ROBERT CHARLES
1900 BROKEN LANCE LANE
ROCKWALL, TX 75032

WALKER WILLIAM G JR & TRACY L
1905 BROKEN LANCE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
191 RENEE DR
ROCKWALL, TX 75032

HUNT JACKSON W JR
191 JEFF BOYD RD
ROCKWALL, TX 75032

WESTMORELAND WILBUR A & KERI L 1920 BROKEN LANCE LN ROCKWALL, TX 75032	AVILA LUZ MARIA 1924 DEVONSHIRE GARLAND, TX 75041	SAFIEDDINE RABIH AND LAURIE ANN BARAKAT 1925 BROKEN LANCE LN ROCKWALL, TX 75032
HUFF BILLY AND CHRISTA 193 RUSSELL DR ROCKWALL, TX 75032	HUFF BILLY AND CHRISTA 193 RUSSELL DR ROCKWALL, TX 75032	CARMONA JOSE 194 RENEE DRIVE ROCKWALL, TX 75032
BADER MARKUS AND KIMBERLY 1940 BROKEN LANCE LN ROCKWALL, TX 75032	CURRENT RESIDENT 195 NICOLE DR ROCKWALL, TX 75032	CURRENT RESIDENT 195 WAYNE DR ROCKWALL, TX 75032
PODLESKI GREGG T & MARIANNE 1950 BROKEN LANCE LN ROCKWALL, TX 75032	CURRENT RESIDENT 196 NICOLE DR ROCKWALL, TX 75032	BENGE TRACY L & JAY D 1970 BROKEN LANCE LN ROCKWALL, TX 75032
CURRENT RESIDENT 198 RUSSELL DR ROCKWALL, TX 75032	THOMPSON WILLIAM R ETUX 20 CALLE DEL SOL SAN JUAN, PR 00901	RAMIREZ RUBIN & MARTHA 200 CHAMBERLAIN DR FATE, TX 75189
LAMBE ROBERT J & DONNA 200 CULLINS RD ROCKWALL, TX 75032	CROWN CASTLE TOWERS 09 LLC 2000 CORPORATE DRIVE CANONSBURG, PA 15317	MEZA FRANCISCO J AND YOLANDA S 2004 MIDLAKE ROCKWALL, TX 75032
YANEZ JUAN 201 YVONNE DR ROCKWALL, TX 75032	CURRENT RESIDENT 204 WAYNE DR ROCKWALL, TX 75032	MEDINA MARIA V AND MARITZA ALONSO 204 YVONNE ROCKWALL, TX 75032
2-W BROTHERS LLC 207 RANCH TRL ROCKWALL, TX 75032	THRASH LEFTY & MARTHA 217 CULLINS RD ROCKWALL, TX 75032	DAVID B RENO II & PATRICIA J RENO REVOCABLE LIVING TRUST 218 RUSSELL DRIVE ROCKWALL, TX 75032
MORTON MARGARET ANNE WALLACE 224 H WALLACE LN ROCKWALL, TX 75032	ACKERT MARY J MRS 2241 HIGHWOOD DR DALLAS, TX 75228	MCMULLEN KENNETH & SANDRA A 259 RANCH TRL ROCKWALL, TX 75032
JIMENEZ RICARDO 2847 TANGLEGLEN DR ROCKWALL, TX 75032	CURRENT RESIDENT 285 RANCH TRL ROCKWALL, TX 75032	CURRENT RESIDENT 295 RANCH TRAIL ROCKWALL, TX 75032

EPIC ROCKWALL VENTURES LLC
315 RANCH TR
ROCKWALL, TX 75032

WALLACE DONALD J & CATHERINE
330 H WALLACE LN
ROCKWALL, TX 75032

WALLACE DONALD J
330 H WALLACE LN
ROCKWALL, TX 75032

ADAMS JEFFREY BLAKE & CATHY
330 WILLOWCREST
ROCKWALL, TX 75032

HARDIN DENNIS & JOLYNN JONES
34 LAKEWAY DR
HEATH, TX 75032

CONTRERAS JUANA
353 CHRIS DR
ROCKWALL, TX 75032

BAUGHER JAMES M AND
MARY BETH BAUGHER
362 WILLOWCREST
ROCKWALL, TX 75032

MOREAU KIMBERLYN G & STEPHEN M
402 WILLOWCREST
ROCKWALL, TX 75032

KRECEK JANETTE C
405 H WALLACE LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
407 RANCH TRAIL
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR AND
DIANA DOMINGUEZ
420 LYNNE DR
ROCKWALL, TX 75032

MILLER JASON D & JANITH L
420 WILLOWCREST
ROCKWALL, TX 75032

INGHAM JULIE A AND MARK A
421 H WALLACE LN
ROCKWALL, TX 75032

DRCE TRUST
4219 ASHMONT CT
DALLAS, TX 75287

SWAIN BRENT MERRICK
431 WILLOWCREST
ROCKWALL, TX 75032

CLEM MILFORD
433 THISTLE DR
GARLAND, TX 75043

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

WILCK PAUL J JR
463 H WALLACE LN
ROCKWALL, TX 75032

MORENO NOE
474 BASS RD
ROCKWALL, TX 75032

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

MCCOSH GORDON ETUX
529 H WALLACE LN
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST DRIVE CT
GOLDEN, CO 80403

CURRENT RESIDENT
5853 FM3097
ROCKWALL, TX 75032

MCCOY SHIREE DAY
5879 FM 3097
ROCKWALL, TX 75032

CURRENT RESIDENT
5917 FM3097
ROCKWALL, TX 75032

BINDER CARL JR
5981 FM 3097
ROCKWALL, TX 75032

SHEPHERD PLACE HOMES INC
620 ROWLETT RD
GARLAND, TX 75043

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

WALLACE JOHN H JR
6271 HORIZON RD
ROCKWALL, TX 75032

WALLACE MICHAEL
6271 HORIZON ROAD
ROCKWALL, TX 75032

LATHAM REX K ET UX
631 H WALLACE LN
ROCKWALL, TX 75032

STEVENS DWAYNE ETUX
699 H WALLACE LN
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR
ROCKWALL, TX 75087

ACUNA NINFA
703 T L TOWNSEND DR
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ
703 T L TOWNSEND DR
ROCKWALL, TX 75087

CANIZALES ELIDA VILLAREAL
760 COUNTY LINE RD
ROCKWALL, TX 75032

ESPARZA NORA
7723 GLENMERE TRAIL
SACHSE, TX 75048

GREGG RODNEY P
781 H WALLACE LN
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

DANIELS COREY L & CAROL A
808 RENEE DR
ROCKWALL, TX 75032

MERRITT PAUL C & LOUISE
823 H WALLACE LN
ROCKWALL, TX 75032

WOODHILL DENTAL SPECIALTIES I LLC
8355 WALNUT HILL LN SUITE 100
DALLAS, TX 75237

CURRENT RESIDENT
868 H WALLACE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
868 WALLACE LN
ROCKWALL, TX 75032

KINNEY DAVID D & DIANA S
869 H WALLACE LN
ROCKWALL, TX 75032

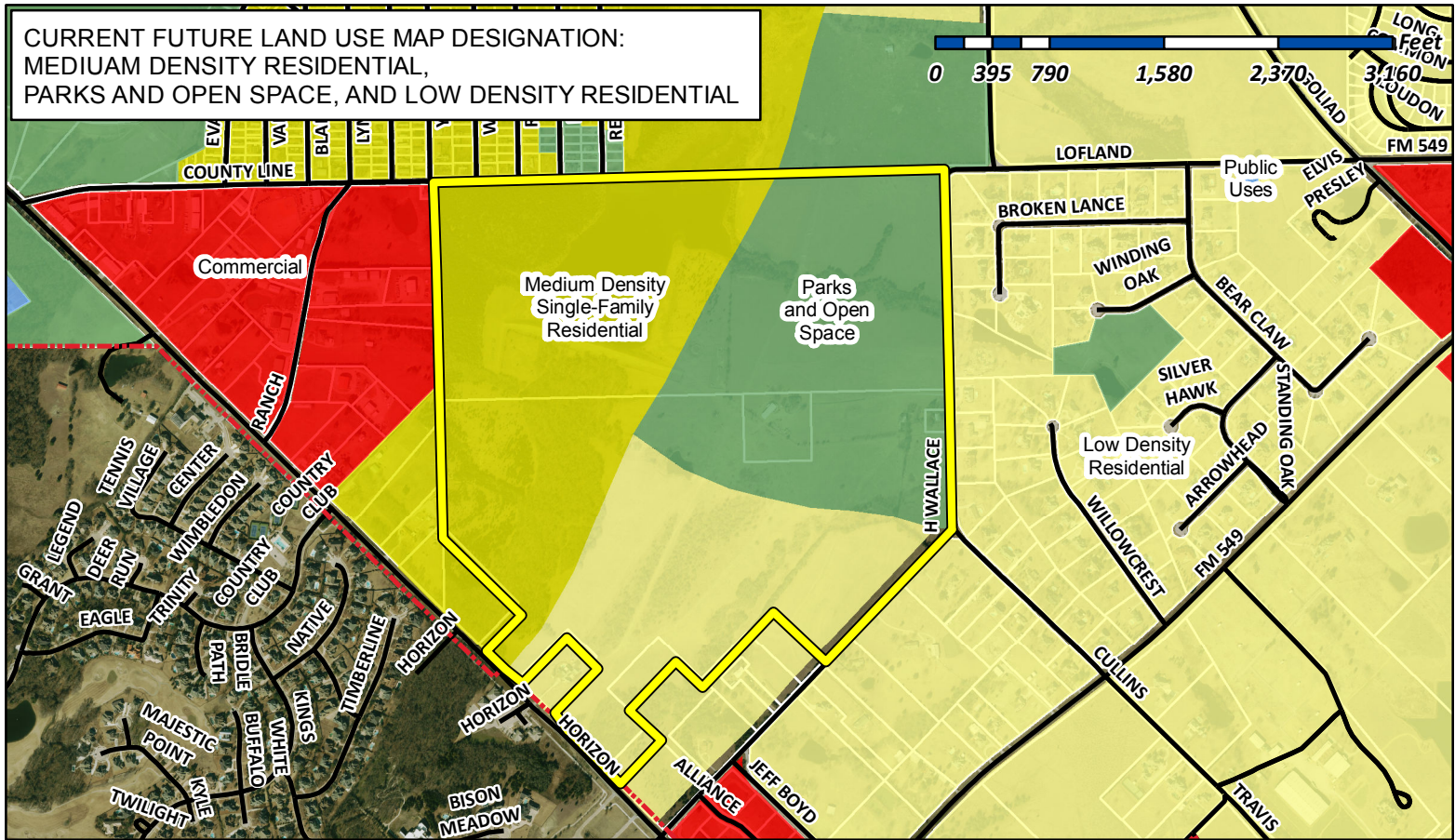
CURRENT RESIDENT
905 H WALLACE LN
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474

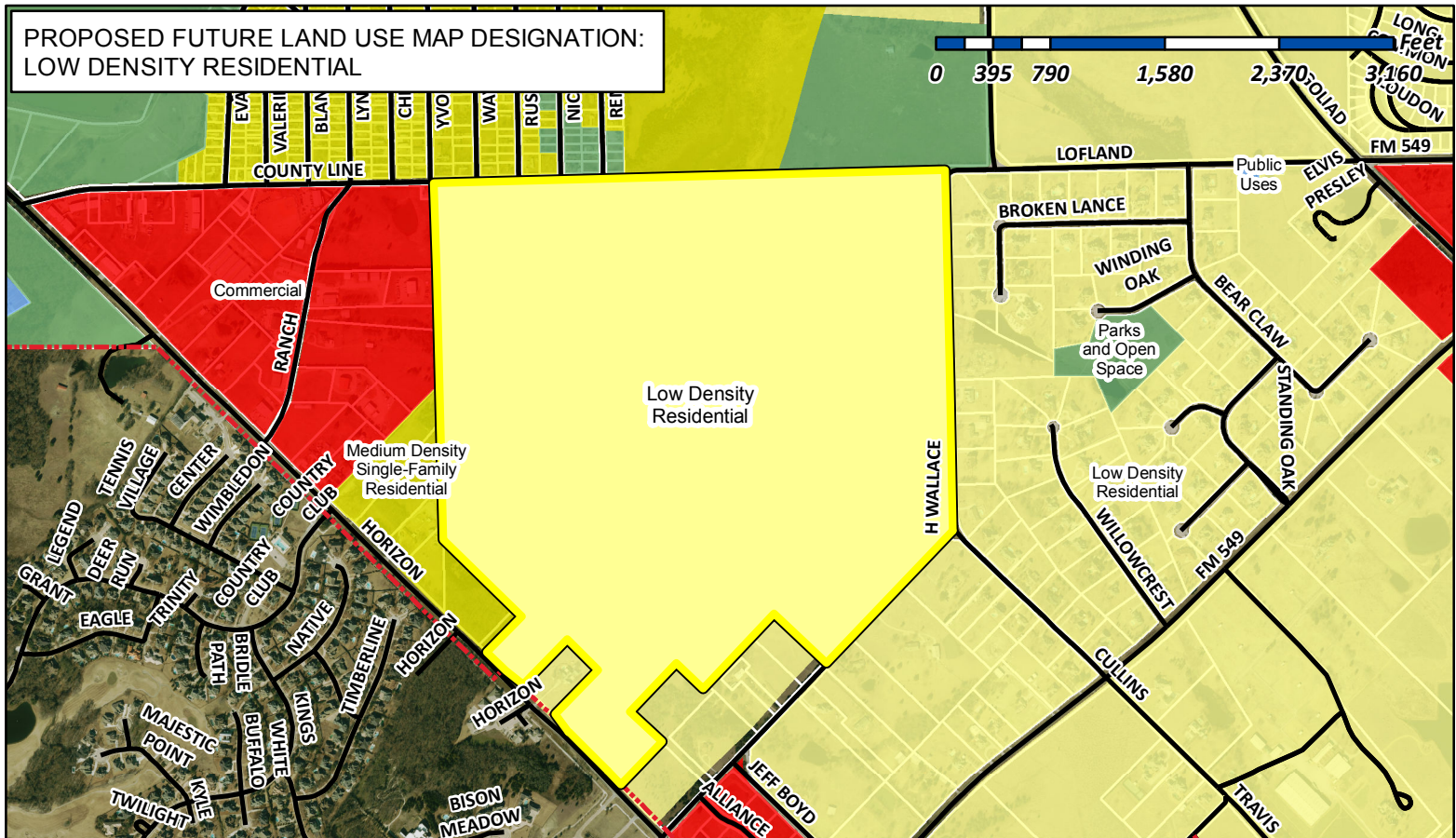
ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

GLEASON DIANE
PO BOX 824312
DALLAS, TX 75382

CURRENT FUTURE LAND USE MAP DESIGNATION:
MEDIUM DENSITY RESIDENTIAL,
PARKS AND OPEN SPACE, AND LOW DENSITY RESIDENTIAL



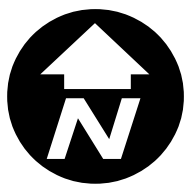
PROPOSED FUTURE LAND USE MAP DESIGNATION:
LOW DENSITY RESIDENTIAL

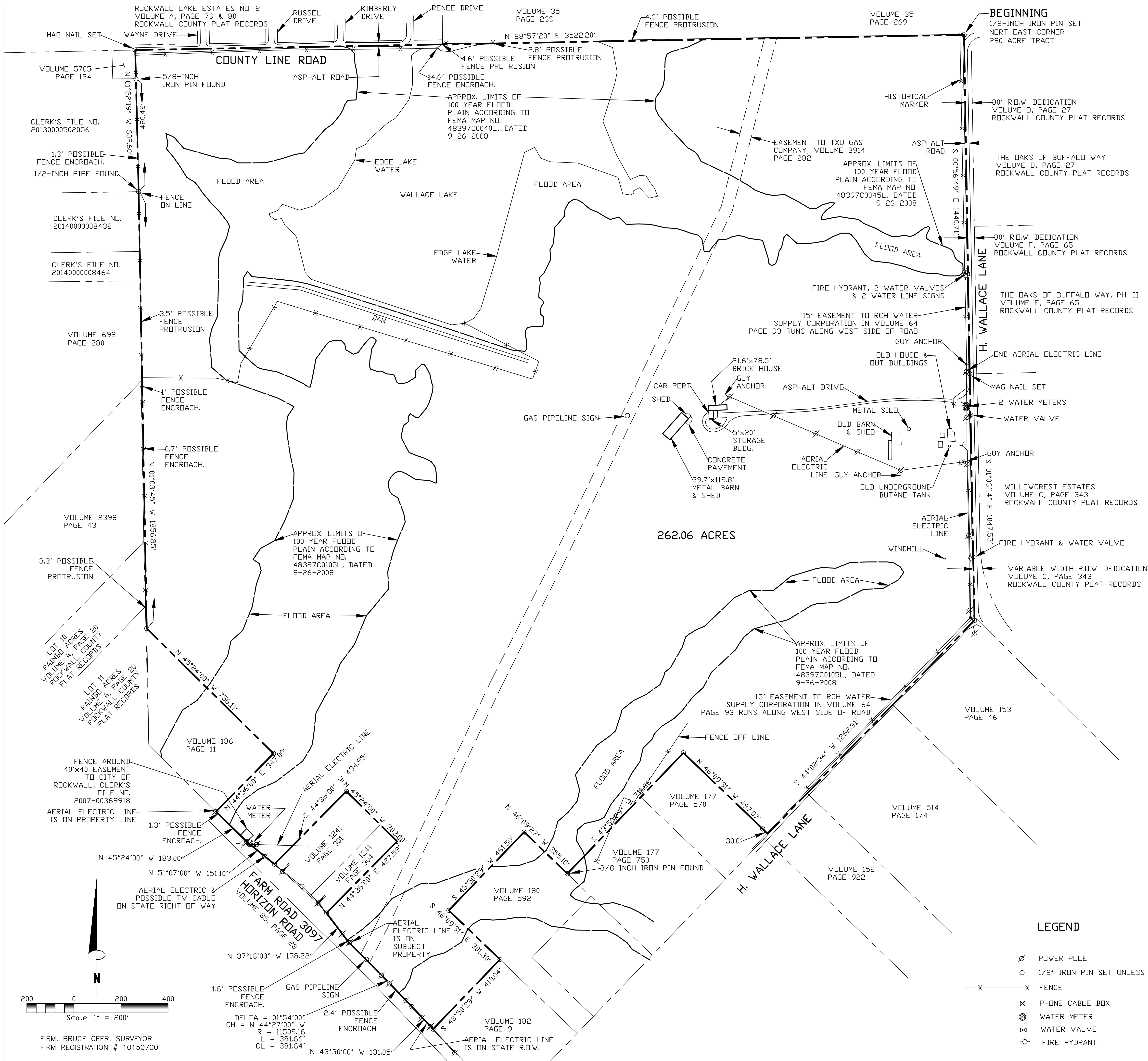


City of Rockwall

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(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DESCRIPTION 262.06 ACRES

SITUATED in Rockwall County, Texas, in the W. W. Ford survey, abstract no. 80, being a survey of part of the 290 acre tract described in a deed from J. O. Wallace and wife, Mary E. Wallace to J. H. Wallace, dated September 19, 1947, recorded in volume 42, page 616 of the Rockwall County deed records, being described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron pin set at the northeast corner of said 290 acre tract, at the extension of H. Wallace Lane from the south and east; same being the northwest corner of The Oaks of Buffalo Way, Phase I, recorded in volume D, page 27 of the Rockwall County plat records;

THENCE southerly with said H. Wallace Lane as follows:

South 00°58'49" East, with the west line of said The Oaks of Buffalo Way, Phase I, passing the west-southwest corner of said The Oaks of Buffalo Way, Phase I and the northwest corner of The Oaks of Buffalo Way, Phase II recorded in volume F, page 65 of the Rockwall County plat records at 814.17 feet and continuing with the west line of said The Oaks of Buffalo Way, Phase II, in all 1440.71 feet to a mag nail set;

South 01°08'14" East, with the west line of Willowcrest Estates, recorded in volume C, page 343 of the Rockwall County plat records, 1047.55 feet to a mag nail set;

THENCE South 44°02'34" West, 1262.91 feet to a 1/2-inch iron pin set;

THENCE North 48°09'31" West, with the northeast line of the 3.00 acre tract recorded in volume 177, page 570, 497.07 feet to a 1/2-inch iron pin set at the north corner of said 3.00 acre tract;

THENCE South 43°50'29" West, with the northwest line of said 3.00 acre tract, passing the west corner of said 3.00 acre tract and the north corner of the 5.17 acre tract at 281.36 feet and continuing with the northwest line of said 5.17 acre tract, in all, 711.86 feet to a 3/8-inch iron pin found at the west corner of said 5.17 acre tract; same being in the northwest line of the 5.00 acre tract recorded in volume 160, page 692;

THENCE North 48°09'27" West, with the northeast line of said 5.00 acre tract, 255.10 feet to a 1/2-inch iron pin set at the north corner of said 5.00 acre tract;

THENCE South 43°50'29" West, with the northwest line of said 5.00 acre tract, 461.50 feet to a 1/2-inch iron pin set at the west corner of said 5.00 acre tract;

THENCE South 48°09'31" East, with the southwest line of said 5.00 acre tract, 301.30 feet to a 1/2-inch iron pin set at the north corner of the 5.00 acre tract recorded in volume 182, page 9;

THENCE South 43°50'29" West, with the northwest line of the last mentioned 5.00 acre tract, 410.04 feet to a 1/2-inch iron pin set in the northeast right-of-way line of Farm Road 3097 (Horizon Road);

THENCE in a northwest direction with the northeast right-of-way line of said Farm Road 3097 (Horizon Road) as follows:

North 43°30'00" West, 131.05 feet to a 1/2-inch iron pin set at the P.C. of a curve to the left;

With said curve to the left, a radius of 11509.16 feet, an arc length of 381.66 feet, a central angle of 01°54'00", a chord direction of North 44°27'00" West and a chord length of 381.64 feet to a 1/2-inch iron pin set;

THENCE North 37°16'00" West, 158.22 feet to a 1/2-inch iron pin set at the south corner of the 1.00 acre tract recorded in volume 1241, page 304;

THENCE North 44°36'00" East, with the southeast line of said 1.00 acre tract, 427.59 feet to a 1/2-inch iron pin set at the east corner of said 1.00 acre tract;

THENCE North 45°24'00" West, with the northeast line of said 1.00 acre tract, passing the north corner of said 1.00 acre tract and the east corner of the 1.954 acre tract recorded in volume 1241, page 301 at 103.00 feet and continuing with the northeast line of said 1.954 acre tract, in all, 303.00 feet to a 1/2-inch iron pin set at the north corner of said 1.954 acre tract;

THENCE South 44°36'00" West, with the northwest line of said 1.954 acre tract, 434.95 feet to a 1/2-inch iron pin set at the west corner of said 1.954 acre tract; same being in the northeast right-of-way line of said Farm Road 3097 (Horizon Road);

THENCE in a northwest direction with the northeast right-of-way line of said Farm Road 3097 (Horizon Road) as follows:

North 51°07'00" West, 151.10 feet to a 1/2-inch iron pin set;

North 45°24'00" West, 183.00 feet to a 1/2-inch iron pin set in the southeast line of the 5.00 acre tract recorded in volume 166, page 11;

THENCE North 44°36'00" East, with the southeast line of last mentioned 5.00 acre tract, 347.00 feet to a 1/2-inch iron pin set at the east corner of said last mentioned 5.00 acre tract;

THENCE North 45°24'00" West, with the northeast line of said last mentioned 5.00 acre tract, 756.11 feet to a 1/2-inch iron pin set;

THENCE North 01°03'45" West, 1856.85 feet to a 1/2-inch pipe found at the northeast corner of the 2.04 acre tract recorded as clerk's file no. 2014000008432 and the southeast corner of the 9.76 acre tract recorded as clerk's file no. 20130000502056;

THENCE North 01°22'19" West, with the east line of said 9.76 acre tract, passing a 5/8-inch iron pin found the east-northeast corner of said 9.76 acre tract at 480.42 feet and continuing with the east line of the 10 acre tract recorded in volume 5705, page 124, in all, 602.60 feet to a mag nail set at the northwest corner of said 290 acre tract, in the center of County Line Road (east-west paved road);

THENCE North 88°57'20" East, with the north line of said 290 acre tract and with said County Line Road, passing the end of said County Line Road at approximately 1151 feet and continuing in all, 3522.20 feet to the PLACE OF BEGINNING and containing 262.06 acres.

Office work completed on January 22, 2016

Bruce Geer

Bruce Geer, Registered Professional Land Surveyor, No. 4117
1101 W. University Drive (U. S. Highway 380)
McKinney, Texas 75069
972-562-3959
972-542-5751-fax

According to FEMA maps no. 48397C0040L, 48397C0105L and 48397C0045L, all dated 9-26-2008, part of the above described tract of land is in the 100 year flood plain.

Bearing base and controlling monuments: Bearings seen on right-of-way deed in volume 85, page 28 and used calculated line between a bent concrete marker found on northeast right-of-way line of Farm Road 3097 at station 134+17.23 and concrete right-of-way marker found on said northeast right-of-way line at station 70+00. Right-of-way map is on file at the TxDOT Dallas District office.

25 foot wide easements to Lone Star Gas Company in volume 76, page 514 and volume 76, page 516 apply to the above described tract. Exact location of easements were not mentioned in said easement documents.

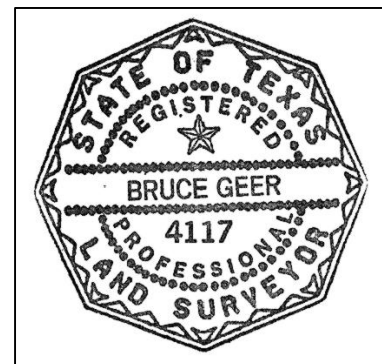
Easement to Kaufman-Van Zandt Conservation District in volume 51, page 101 applies to the above described tract of land. Easement states 25.3 acres are in the permanent pool and 36 acres are in the flood pool. Exact location of this easement is not mentioned in said easement document.

Easement to Texas Utilities Electric Company in volume 1414, page 238 does not apply to the above described tract of land.

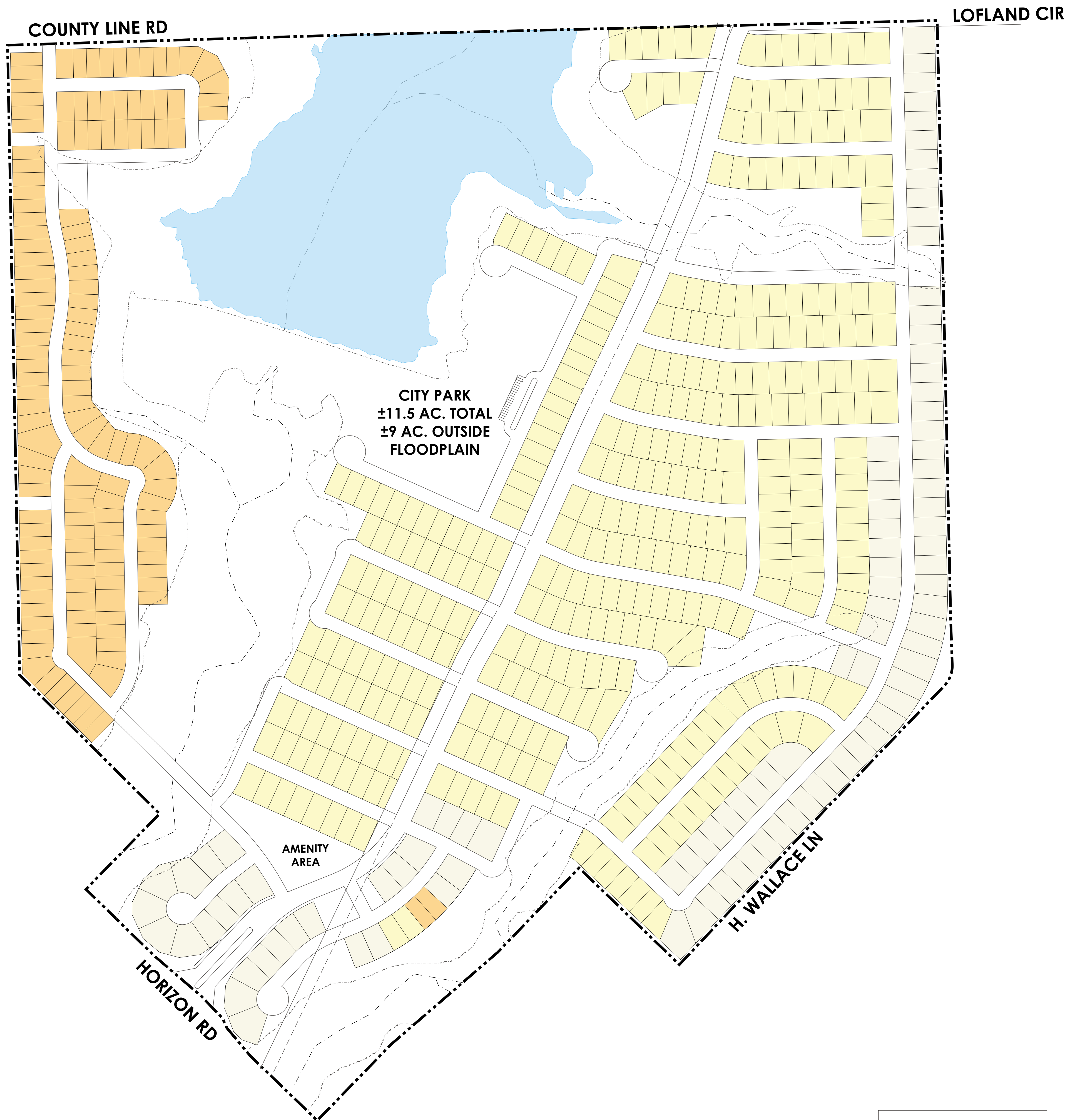
Blanket easement to Farmers Electric Cooperative, Inc. in volume 3756, page 15 applies to the above described tract of land. Easement becomes 20 feet in width when overhead or underground lines are installed.

LEGEND

- ⊗ POWER POLE
- 1/2" IRON PIN SET UNLESS OTHERWISE NOTED
- FENCE
- ⊗ PHONE CABLE BOX
- ⊗ WATER METER
- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT



262.06 ACRES
W. W. FORD SURVEY
ABSTRACT NO. 80
CITY OF ROCKWALL
ROCKWALL COUNTY
TEXAS



LOT TYPE

- | | |
|--|---|
| | A |
| | B |
| | C |

ZONING CONCEPT PLAN

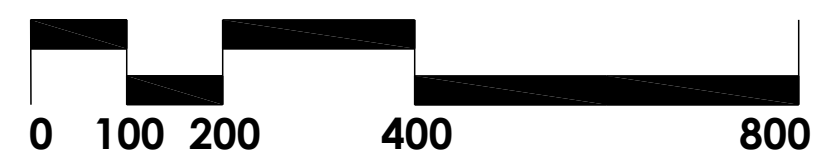
Wallace Tract Concept

Rockwall, Texas

February 16, 2017

Drawing name: \\dallf02\Projects\NAI\SLD\WFXO7000\700 CADD\709 Planning_Landscape\Planning\Wallace Tract PD_Concept_02.13.2018.dwg
Plotted on: Feb 16, 2018 - 8:18am

JACOBS



NOTE: This plan is diagrammatic only and is intended to show potential configuration. This plan is only conceptual and is not based upon a detailed survey of existing site conditions such as property limits, subsurface conditions, limits of trees, topography, utilities, easements, etc. February 16, 2018

February 16, 2018

Ryan Miller
City of Rockwall
385 S Goliad
Rockwall, Texas 75087



Re: Wallace Tract – Proposed PD Zoning – Separate Applicant Requests

Dear Ryan,

Hines is hereby requesting a zoning change on the property bound by Wallace Lane, Horizon Road, County Line Road, and Lofland Circle. The purpose of this request is to create a Planned Development (PD) for a proposed single-family, master-planned community. Please find the zoning change application and PD Development Standards along with the proposed Concept Plan in this submittal.

Hines is a privately owned global real estate investment firm founded in 1957 with a presence in 201 cities in 21 countries. Hines has approximately \$100 billion of assets under management, including \$54.5 billion for which Hines provides fiduciary investment management services, and \$45.5 billion for which Hines provides third-party property-level services. The firm has 113 developments currently underway around the world. Historically, Hines has developed, redeveloped or acquired 1,262 properties, totaling over 414 million square feet. The firm's current property and asset management portfolio includes 529 properties, representing over 213 million square feet. With extensive experience in investments across the risk spectrum and all property types, and a pioneering commitment to sustainability, Hines is one of the largest and most-respected real estate organizations in the world. Visit www.hines.com for more information.

In addition to the single-family related items discussed in the PD, Hines has several separate requests, detailed below:

Wallace Lane:

Hines is proposing access to the community through a combination of Horizon and County Line roads (see the enclosed access point exhibit for reference). The project will therefore not add any traffic to the existing Wallace Lane. The other adjacent property that utilizes Wallace Lane, The Oaks at Buffalo Way, has been developed as large lot single-family and is currently the highest and best use for that property. Hines is proposing that the Rockwall Major Thoroughfare plan be amended to call for no expansion to the existing Wallace Lane to reflect the road's sparsely traveled status.

Future Water Line Reimbursement:

As part of the single-family development, Hines will install an off-site water line to connect to the existing water infrastructure along Highway 205 when project phasing demands deem the improvements necessary. The proposed water line will provide capacity to the Wallace Tract as well as other future developments along the path of the line. Discussions with City of Rockwall staff have affirmed that a pro rata reimbursement

as repayment to Hines or its assigns will be disbursed at the time the benefited properties develop. Hines is requesting that the City put in place a reimbursement agreement that will last 10 years with subsequent 10 year extensions to be exercised at Hines or its assigns discretion and details the reimbursement amounts Hines can expect.

City Park Dedication:

Following successful zoning, Hines intends to present to the City of Rockwall Parks Board the plan to dedicate +/- 11 acres for a City of Rockwall Regional Park and an additional amount of open space to be utilized for the City to seek additional grant funding. The park will be dedicated during the platting of the adjacent phase. The City of Rockwall will maintain the Regional Park while the Association created by Hines will maintain the project's internal private park improvements.

Please contact me with any questions.

Sincerely,

Hines Interests Limited Partnership,
a Delaware limited partnership,
its sole Member

By: Hines Holding, Inc.,
a Texas corporation,
its General Partner


DD

By: _____
Name: Robert W. Witte
Title: Senior Managing Director

Access Point Exhibit

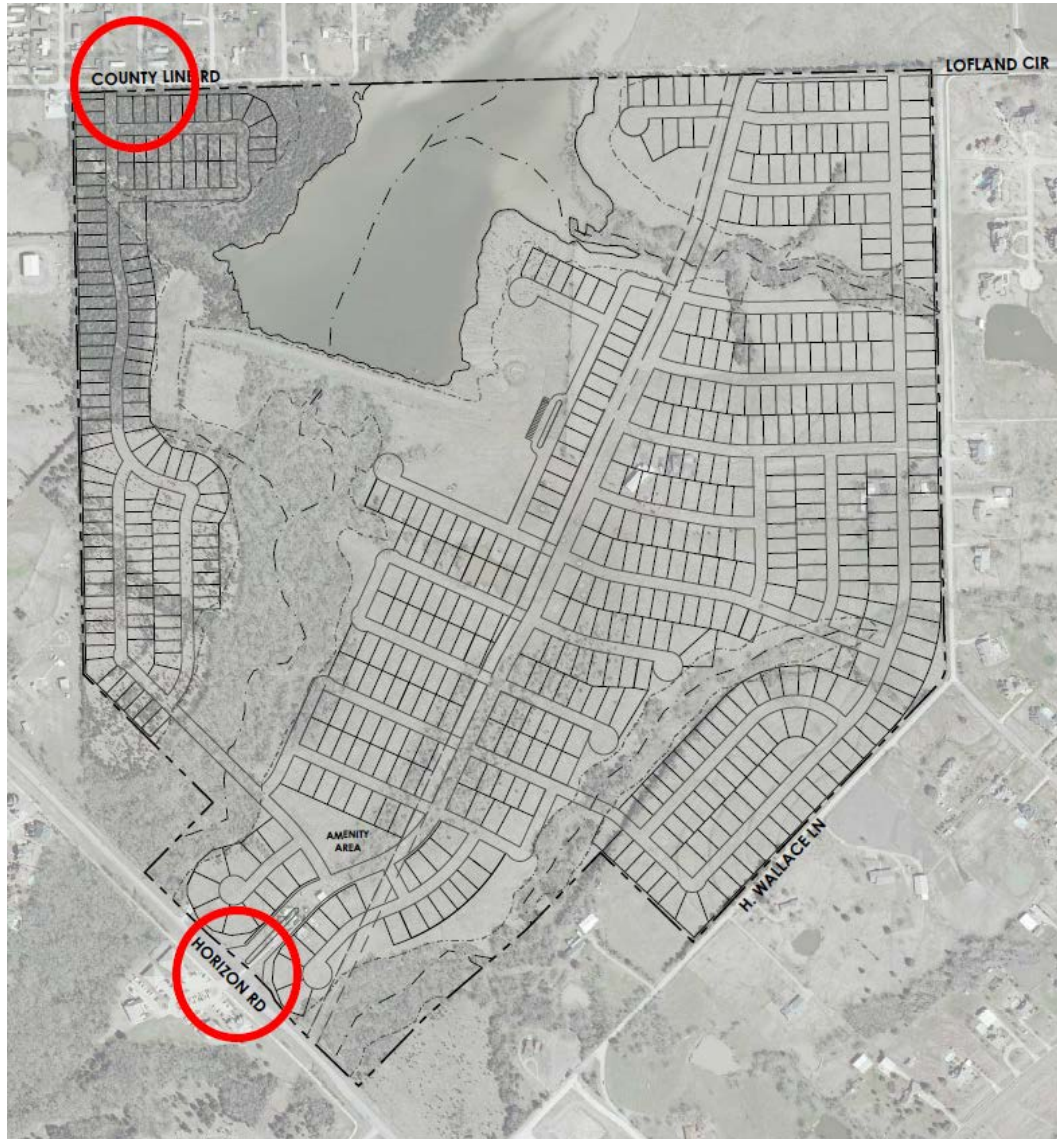


Exhibit B Wallace Tract:
PD Development Standards

A. GENERAL REQUIREMENTS

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted with the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit 'B' and stated in Table 1, which is as follows:

Table 1: Lot Composition

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Maximum Dwelling Units (#)</i>
A	60' x 120'	7,200 SF	385
B	70' x 120'	8,400 SF	110
C	50' x 110'	5,500 SF	150

Maximum Permitted Units: 645

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article V, *District Development Standards*, of the Unified Development Code (UDC), are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.50 dwelling units per gross acre of land; however, in no case should the proposed development exceed 645 units. All lots shall conform to the standards depicted in Table 2, which are as follows:

Table 2: Lot Dimensional Requirements

<i>Lot Type (see PD Concept Plan)▶</i>	A	B	C
<i>Minimum Lot Width/Frontage⁽¹⁾</i>	60'	70'	50'
<i>Minimum Lot Depth</i>	120	120	110
<i>Minimum Lot Area</i>	7,200 SF	8,400 SF	5,500 SF
<i>Minimum Front Yard Setback⁽²⁾</i>	20	20	20
<i>Minimum Side Yard Setback</i>	5	5	5
<i>Minimum Side Yard Setback (Adjacent to the Street)⁽²⁾</i>	15	15	15
<i>Minimum Length of Driveway Pavement</i>	20	20	20
<i>Maximum Height⁽³⁾</i>	36	36	36
<i>Minimum Rear Yard Setback⁽⁴⁾</i>	15	15	15
<i>Garage Orientation</i>	Front or J-Swing	Front or J-Swing	Front
<i>Maximum of Front Entry Garages Permitted</i>	70% or 270 lots	70% or 270 lots	100% or 150 lots
<i>Minimum Area / Dwelling Unit (SF)⁽⁵⁾</i>	2,200	2,500	2,000
<i>Maximum Lot Coverage</i>	65%	65%	50'

General Notes:

1. The minimum lot width shall be measured at the *Front Yard Building Setback*.
2. The location of the *Front Yard Building Setback* as measured from the front property line.
3. The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
4. As measured from the rear yard property line.
5. A minimum of 25% of Lot Type C must have a *Front Yard Setback* of 25'.
6. Up to 25% of Lot Type C can be less than 2,000 SF but greater than 1,800 SF.
7. Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally,

Exhibit B Wallace Tract:
PD Development Standards

the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.

4. **Building Standards.** All development shall adhere to the following building standards:

- a) **Masonry Requirement.** The minimum masonry requirement for the exterior facades of a building shall be 90%, where 100% of front elevation shall be masonry with exception of above roof line and architectural façade features). No visible siding adjacent to major thoroughfare allowed. Hardie Board or similar cementaceous material may be used on up to 50% of the total masonry requirement.
- b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have minimum of a 4:12 roof pitch. Rear elevation may have 6:12 roof pitch.
- c) **Garage Orientation and Driveway Standards.** Garages may be oriented toward the street in a front entry configuration; however, the front façade of the garage door must be situated equal to or behind the front façade of the primary structure. Swing, Traditional Swing, or J-Swing garages are permitted to have a second garage door facing the street. All garage doors are required to be upgraded finish with examples to include "Carriage House Collection" by Overhead Door Corporation or approved alternate. All driveways are required to include upgraded finish, treatment, or materials. No standard broom-finish concrete driveways are allowed.

5. **Anti-Monotony Restrictions.** The development shall adhere to an *Anti-Monotony rule*.

- a) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties.
- b) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and three (3) intervening homes of differing appearance on the opposite side of the street. The rear elevation of the homes backing to open spaces or to an adjacent thoroughfare shall not repeat without at least four (4) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - i. Number of Stories
 - ii. Permitted Encroachment Type and Layout
 - iii. Roof Type and Layout
 - iv. Articulation of the Front Façade

*****NOTE*** Please insert the monotony chart from Z2015-016: Discovery Lakes (AG to PO), Ordinance No. 15-24**

- c) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural composition.
6. **Fencing Standards.** All individual residential fences and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards.

Exhibit B Wallace Tract:
PD Development Standards

- a) *Wood Fences.* All wood fences shall be constructed of board-on-board Cedar and stained a consistent medium-brown.
- b) *Decorative Metal Fencing.* Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a tubular steel fence or decorative metal fence.
- c) *Corner Lots.* Corner lots fences (i.e. adjacent to the street) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. Fencing shall be setback from the side property line adjacent to the street a minimum of five (5) feet.
- d) *Solid Fences (including Wood Fences).* All solid fences shall incorporate a decorative top rail or cap into the design of the fence.

7. *Landscape and Hardscape Standards.*

- a) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan, All Canopy/Shade Trees planted within this development, unless specifically provided by this PD Ordinance, shall be a minimum of three (3) caliper inches in size and all Accent/Ornamental/Under-story Trees shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within this PD development:
 - i. *Canopy/Shade Trees.* Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Burk Elm, Allen Elm, Chinese Pistachio, Shumard Oak, Sycamore, Live Oak, and Burr Oak.
 - ii. *Accent/Ornamental/Under-Story Trees.* Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- b) *Landscape Buffers.* All landscape buffers and plantings located within buffers shall be maintained by the Homeowner's Association (HOA). A minimum of a 20-foot landscape buffer shall be provided along the frontage of Horizon Road and a minimum 10-foot landscape buffer shall be provided along the frontage of H. Wallace Lane and County Line Road (outside of and beyond any required right-of-way dedication).
- c) *Streetscape Landscape.* Prior to issuance of a Certificate of Occupancy, yards for all single-family lots in the District shall be landscaped with large canopy Trees.
 - i. Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - ii. Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two additional trees of same caliper shall be planted in the side yard facing the street.
 - iii. For purposes of this section only, the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

Exhibit B Wallace Tract:
PD Development Standards

- d) *Street Trees.* Street Trees shall generally be planted in conformance with the PD Concept Plan as depicted in this ordinance. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of a 14' vertical clearance height for any trees overhanging a public roadway. All street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm sewer lines.
 - e) *Irrigation Requirements.* Irrigation shall be installed for required landscaping located within improved common areas, landscape buffers and/or open space lawn areas. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association. Landscape Irrigation will not be required in Native/Natural areas near the NRCS lake dam, overflow structure, and floodplain areas proposed to be left undisturbed.
 - f) *Hardscape.* Hardscape plans indicating the location of sidewalks and trails shall be reviewed and approved with the PD Site Plan.
- 8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City Street standards.
 - 9. *Curbing.* Within certain lot types "A, B, & C" "roll up, lay down curbing" may be incorporated in an effort to minimize frequent curb cuts and maximize streetscape continuity, as approved by the City of Rockwall (Engineering Department) with approval of the final plat application.
 - 10. *Lighting.* Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures should be directed downward and be positioned to contain all light within the development area.
 - 11. *Sidewalks.* At a minimum, all sidewalks located on lay down curb section streets shall begin four (4) feet behind the back of curb and be at a minimum of five (5) feet in overall width.
 - 12. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*i.e. 3-phase lines*), or additional lines that are added to existing poles, may be above ground if located along the perimeter of the *Subject Property*. The Developer shall not be required to re-locate existing overhead power lines along the perimeter of the *Subject Property*. Temporary power lines constructed across the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
 - 13. *Open Space.* The development shall consist of a minimum 20% open space (including any park land dedicated to the City of Rockwall), and generally conform to the PD Concept Plan contained in this ordinance. Existing floodplain shall only count up to 10% of the required 20%. All open space areas shall be maintained by the Homeowner's Association (HOA).

Exhibit B Wallace Tract:
PD Development Standards

Developer shall provide within the Subject Property enhanced landscaping areas within the Subject Property (generally depicted below). Final design will be determined at development.



14. **Neighborhood Signage.** Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision, in general conformance to the signage shown below. Final design and location of entry features shall be reviewed and approved with the PD Site Plan.

Exhibit B Wallace Tract:
PD Development Standards



15. Amenity Center. The development shall include a fully established turfed and irrigated private Amenity Center as generally depicted in the PD Concept Plan and below. The final design of the Amenity Center will be determined with the Planned Development Site Plan. This area shall incorporate the following improvements:

- a) Upgraded Playground facilities
- b) Covered Shade Structure
- c) Swimming pool & accessory uses
- d) Picnic Area
- e) Benches
- f) Landscaping features including upgraded planting beds, Canopy Trees, and Ornamental Trees



16. *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the

Exhibit B Wallace Tract:
PD Development Standards

Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, screening fences associated with this development.

17. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

DRAFT

Exhibit B Wallace Tract:
PD Development Standards

Sample Images:

Enhanced Garage:



Enhanced Driveway Finish Options:

Aggregate Finish



Masonry Banding



Exhibit B Wallace Tract:
PD Development Standards

Stamped Color Concrete



Rock Salt Finish Concrete



DRAFT

CITY OF ROCKWALL

ORDINANCE NO. 18-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 7 (SF-7) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 262.06-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 43, 43-01, 44 & 44-01 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses, on a 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a

condition of approval of the amended zoning classification for the *Subject Property*,

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* An *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and an *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and

each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 9. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 10. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF APRIL, 2018.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

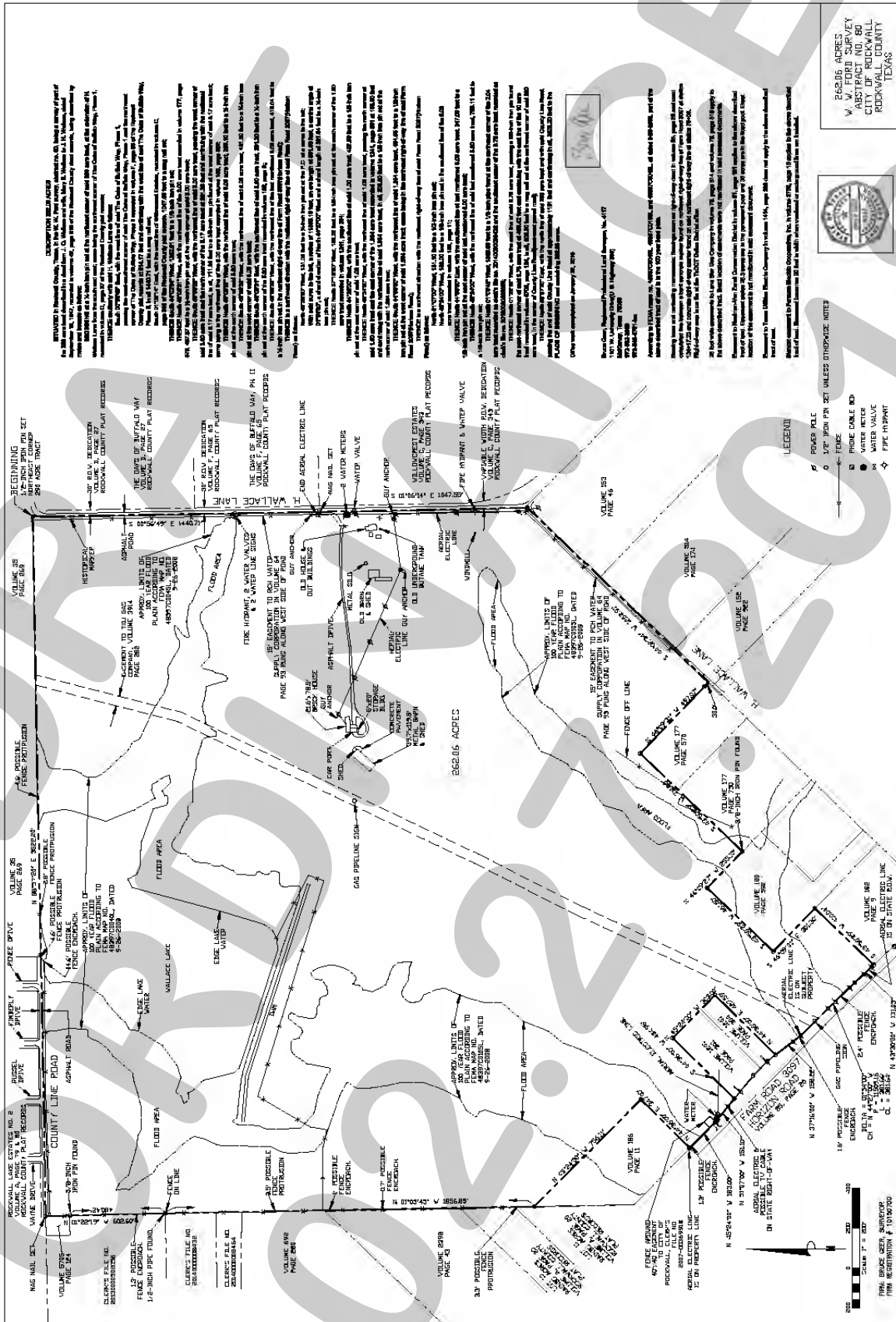
Frank J. Garza, *City Attorney*

1st Reading: March 19, 2018

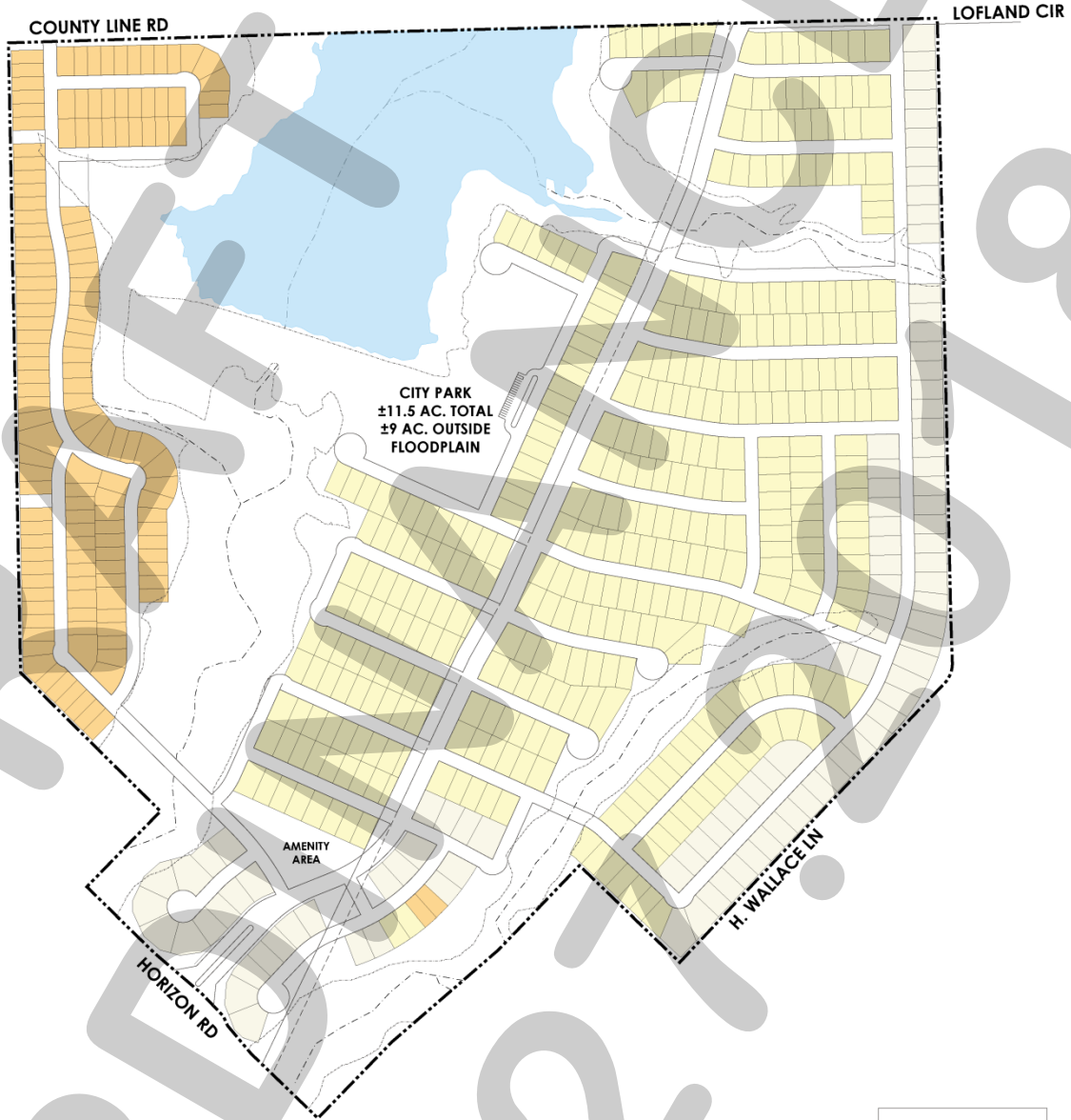
2nd Reading: April 2, 2018




LEGAL DESCRIPTION

Exhibit 'B': Survey



**Exhibit 'C':
Concept Plan**



LOT TYPE	
	A
	B
	C

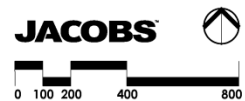
ZONING CONCEPT PLAN

Wallace Tract Concept

Rockwall, Texas

February 16, 2017

Drawing name: \\usf02\Projects\JAA\3D\WFA\07000\700 CADD\709 Planning_Landscape\Planning\Wallace Tract_PD_Concept_02.13.2018.dwg
Plotted on: Feb 16, 2018 - 8:16am



NOTE: This plan is diagrammatic only and is intended to show potential configuration. This plan is only conceptual and is not based upon a detailed survey of existing site conditions such as property lines, subsurface conditions, limits of trees, topography, utilities, easements, etc. February 16, 2018

Exhibit 'D':
Density and Development Standards

Density and Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,200 SF	385	59.69%
B	70' x 120'	8,400 SF	110	17.05%
C	50' x 110'	5,500 SF	150	23.26%
Maximum Permitted Units:			645	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article V, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.50 dwelling units per gross acre of land; however, in no case should the proposed development exceed 645 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B	C
Minimum Lot Width ⁽¹⁾	60'	70'	50'
Minimum Lot Depth	120'	120'	110'
Minimum Lot Area	7,200 SF	8,400 SF	5,500 SF
Minimum Front Yard Setback ^{(2), (4) & (5)}	20'	20'	20'
Minimum Side Yard Setback	5'	5'	5'
Minimum Side Yard Setback (Adjacent to a Street)	15'	15'	15'
Minimum Length of Driveway Pavement	20'	20'	20'
Maximum Height ⁽³⁾	36'	36'	36'
Minimum Rear Yard Setback	15'	15'	15'
Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]	2,200 SF	2,500 SF	2,000 SF
Garage Orientation	J-Swing or Front	J-Swing or Front	J-Swing or Front
Maximum Number of Front Entry Garages Permitted	270	270	150
Maximum Lot Coverage	65%	65%	65%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: Front entry garages shall have a minimum setback of 25-feet.
- ⁵: Lots fronting onto a curvilinear street or cul-de-sac may have the lot width reduced by up to 20% (as measured from the front property line) provided that the lot width is met at the front building line.

Exhibit 'D':
Density and Development Standards

4. **Building Standards.** All development shall adhere to the following building standards:

- (a) **Masonry Requirement.** The minimum masonry requirement for the exterior façades of all buildings shall be 90%, with front façades being 100% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) shall be permitted through a Specific Use Permit (SUP) only. Siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible from any major thoroughfare (i.e. *Streets* on Exhibit 'B' of this ordinance).
- (b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch. Rear elevations may have a 6:12 roof pitch.
- (c) **Garage Orientation.** Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a flat, front entry configuration (i.e. *even with the front façade of the primary structure*) in accordance with the requirements established in *Table 2: Lot Dimensional Requirements* of this ordinance. Garages utilizing a *traditional swing* (or *j-swing*) are permitted to have a second garage door facing the street behind the front façade of the primary structure. All garage doors shall be required to have upgraded finishes (e.g. *Carriage House Collection* by the *Overhead Door Corporation* or a *similar alternative -- to be approved by staff*) [an example of an enhanced garage is depicted in *Figure 1*]. All garage configurations not conforming to this section shall meet the requirements of Article VI, *Parking and Loading*, of the Unified Development Code (UDC).

Figure 1: *Enhanced Garage Example*

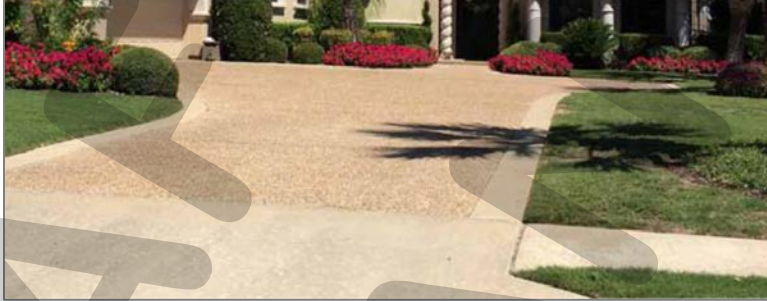


Exhibit 'D':
Density and Development Standards

- (d) *Driveways.* All driveways are required to incorporate upgraded finishes, treatments or materials [examples of *upgraded finishes, treatments or materials* is depicted in *Figure 2*]. No standard broom-finished concrete driveways shall be permitted; however, all upgraded finishes, treatments or materials shall be terminated at the property line.

Figure 2: *Enhanced Driveway Examples*

Aggregate Finish



Masonry Banding



Stamped Color Concrete



Rock Salt Finished Concrete



Exhibit 'D':
Density and Development Standards

5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3 : Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	60' x 120'	(1), (2), (3)
B	70' x 120'	(1), (2), (3)
C	50' x 110'	(1), (2), (3)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or adjacent thoroughfare shall not repeat without at least four (4) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
- (3) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Continued on Next Page ...

Exhibit 'D':
Density and Development Standards

Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.

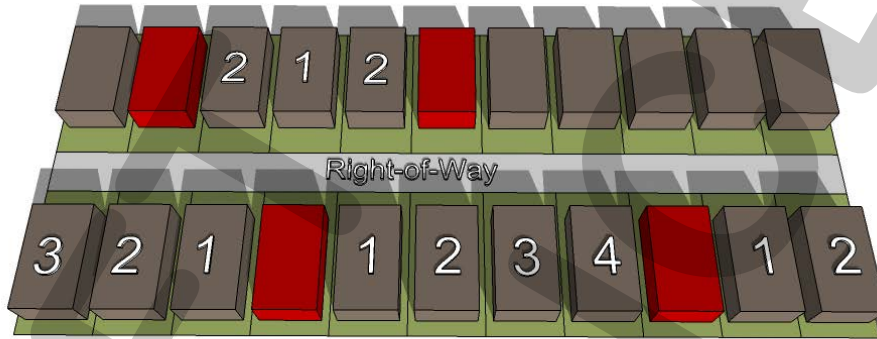


Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Wood Fences.** All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters.
 - (b) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (c) **Corner Lots.** Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (d) **Solid Fences (including Wood Fences).** All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

Exhibit 'D':
Density and Development Standards

7. Landscape and Hardscape Standards.

- (1) *Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless specifically provided below. The following tree species are approved for planting within this subdivision:
- (a) *Canopy/Shade Trees*. Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Allen Elm, Chinese Pistachio, Shumard Oak, Sycamore, Live Oak and Burr Oak.
 - (b) *Accent/Ornamental/Under-Story Trees*. Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (2) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (a) *Landscape Buffer and Sidewalks (Horizon Road)*. A minimum of a 20-foot landscape buffer shall be provided along Horizon Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.
 - (b) *Landscape Buffers (Wallace Lane)*. A minimum of a 10-foot landscape buffer shall be provided along Horizon Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate one (1) canopy tree per 20-feet of linear frontage.
 - (c) *Landscape Buffers (Internal Subdivision)*. A minimum of a 10-foot landscape buffer shall be provided along Horizon Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate one (1) canopy tree per 50-feet of linear frontage.
- (3) *Streetscape Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), all residential, single-family lots situated within the proposed subdivision shall be landscaped with canopy trees in the following sizes and proportions:
- (i) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - (ii) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two (2), three (3) inch caliper trees shall be planted in the side yard facing the street.

Note: For the purposes of this section only [i.e. Section 7(3)], the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

Exhibit 'D':
Density and Development Standards

- (4) *Street Trees.* The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines.
- (5) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA). Landscape irrigation will not be required in *Native/Natural* areas near the NRCS lake dam, overflow structure and floodplain areas proposed to be left undisturbed.
- (6) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
9. *Curbing.* Lay down curbing may be incorporated on street sections that are approved by the City of Rockwall Engineering Department and City Council, and shall be required to be indicated on the *Preliminary Plat*.
10. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
11. *Sidewalks.* All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
12. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
13. *Open Space.* The development shall consist of a minimum of 20% open space (or -acres), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (*including landscape buffers*) shall be maintained by the Homeowner's Association (HOA).
14. *Neighborhood Signage and Enhancements.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision in

Exhibit 'D':
Density and Development Standards

general conformance to the signage depicted in *Figure 3*. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.

Figure 3: *Neighborhood Signage*



The developer shall provide enhanced landscaping areas within the *Subject Property* as generally depicted in *Figure 4*. The final design of these areas shall be provided on the *PD Site Plan*.

Figure 4: *Landscaping Enhancement Areas*



Exhibit 'D':
Density and Development Standards

15. *Drainage Standards.* The development shall comply with existing drainage standards including the permissible spread of water in the streets and permissible gutter flow through intersections as outlined in the City of Rockwall's *Standards of Design and Construction*. The proposed drainage areas, flow patterns, and storm drain system that will be constructed shall be based on the City's drainage criteria and be identified on a *Conceptual Drainage Plan*, which shall be submitted with the *Civil Plans* at the time of *Engineering* submittal. The *Conceptual Drainage Plan* shall be reviewed and approved by the Engineering Department in compliance with engineering standards.
16. *Amenity Center.* The development shall include a fully established turfed and irrigated private *Amenity Center* as general depicted in *Exhibit 'C'* of this ordinance and as depicted in *Figure 5*. The final design of the *Amenity Center* will be determined with the *PD Site Plan*. In addition, this area shall incorporate the following improvements:
- (a) Upgraded Playground Facilities
 - (b) Covered Shade Structure
 - (c) Swimming Pool
 - (d) Picnic Area
 - (e) Benches
 - (f) Landscaping Features (*including upgraded planting beds, canopy trees and ornamental trees*)

Figure 5: *Amenity Center Layout*



17. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open

Exhibit 'D':
Density and Development Standards

space and common areas (*including drainage facilities*), irrigation, landscaping, amenity center, screening fences and neighborhood signage associated with this development.

18. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 03/13/2018

APPLICANT: Kevin Kessler, PE; *Jacobs Engineering, Inc.*

AGENDA ITEM: **Z2018-010**; *Zoning Change (AG to PD) for the Wallace Tract*

SUMMARY:

Hold a public hearing to discuss and consider a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

BACKGROUND:

The subject property is a 262.06-acre tract of land that is generally located at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and which is commonly referred to as the *Wallace Tract*. A 1,000-foot strip of this property -- *fronting along Horizon Road [FM-3097]* -- was annexed into the City of Rockwall on May 17, 2004 by *Ordinance No. 04-38 [Case No. A2004-001]*. The remainder of the property was annexed on February 18, 2008 by *Ordinance No. 08-13 [Case No. A2008-001]*. At the time of annexation, the subject property was zoned as an Agricultural (AG) District. No portion of the subject property has been rezoned since the property was annexed. According to the Rockwall County Appraisal District (RCAD), the subject property currently has a 1,940 SF single-family home (*i.e. 1,140 SF house with an 800 SF carport*) and a 4,000 SF barn. The remainder of the subject property is currently vacant. At the northeast corner of the subject property, is approximately 40.0-acres of Blackland Prairie, which is an ecological region of natural prairie land that extends through *North Texas*.

PURPOSE:

On March 16, 2018, the applicant -- *Kevin Kessler, PE with Jacobs Engineering, Inc.* -- submitted an application requesting to establish a Planned Development District on the subject property. Specifically, the applicant was proposing to entitle the subject property for a 645 lot residential subdivision that will incorporate lots that range in size from 50' x 110' to 70' x 120', and have an overall density of 2.50 dwelling units per acre. The Planned Development District would be subject to Single Family 7 (SF-7) District land uses and development standards (*unless specifically indicated in the Planned Development District ordinance*).

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this thoroughfare is the eastside of the Lake Rockwall Estates subdivision, which is zoned Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] for Single Family 7

(SF-7) District land uses. Adjacent to this property on the eastside of Lake Rockwall Estates is an 84.0-acre vacant tract of land being a portion of a larger 144.0-acre tract of land identified as Tract 3 of the J. R. Johnson Survey, Abstract No. 128. This property is zoned Agricultural (AG) District.

South: Directly south of the subject property is Horizon Road [FM-3097], which is designated as a M4D (*i.e. minor collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is the City's corporate boundaries followed by the City of Heath. On the eastside, south of the subject property is H. Wallace Lane, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this are several residential land uses zoned Agricultural (AG) and Single Family Estate 1.5 & 2.0 (SFE-1.5 & SFE-2.0) Districts. In addition, there are several office buildings zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses. These uses are a part of the Alliance Addition.

East: Directly east of the subject property is H. Wallace Lane, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this are the Oaks of Buffalo Way and Willowcrest Estates Subdivisions, which consist of 91 single-family residential lots. These subdivisions are zoned Single Family Estate 1.5 (SFE-1.5) District and Planned Development District 51 (PD-51) for single-family estate land uses.

West: Directly west of the subject property are several non-residential properties zoned Commercial (C) District. Beyond this is Ranch Trail Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan.

CHARACTERISTICS OF THE REQUEST:

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 262.06-acre subject property will consist of 645 single-family residential lots that will be broken down into three (3) lot types (*i.e. 50' x 110', 60' x 120' and 70' x 120'*). Specifically, the development will incorporate 150, 50' x 110' (*i.e. 5,500 SF*) lots, 385, 60' x 120' (*i.e. 7,200 SF*) lots and 110, 70' x 120' (*i.e. 8,400 SF*) lots, and have an overall average lot size of ~7,000 SF. The proposed minimum area of each dwelling unit (*i.e. air-conditioned space*) will vary based on the lot size and range from 2,000 SF to 2,500 SF. The overall proposed density for the development will be 2.50 dwelling units per acre.

The proposed housing product will meet the City's minimum masonry requirements and anti-monotony standards, and will incorporate a mixture of *traditional swing (i.e. j-swing)* and *flat front entry* garages. Specifically, the applicant is proposing to incorporate 100% *flat front entry* garages for the 50' x 110' lot product and 70% *flat front entry* garages on the remaining product types. This departs from the City's minimum standards and will require discretionary approval from the City Council. With this being said, staff should note that the applicant has incorporated language into the Planned Development District ordinance that would require homes to incorporate an enhanced garage door and driveway finish. Examples of these have been provided in the attached Planned Development District ordinance.

The concept plan also depicts the inclusion of a 22.00-acre park that consists of 13.00-acres of land outside of the floodplain and nine (9) acres of floodplain. This does meet the City's minimum neighborhood park requirements -- *which requires a minimum dedication of 11.00-acres of land outside of the floodplain* --, but will require discretionary approval by the City Council, pending recommendation by the Parks and Recreation Board, along with the *Master Plat/Open Space Master Plan*. It should be noted that the concept plan also depicts a dedicated parking lot adjacent to the parkland. Overall, the proposed development will incorporate approximately 73.25-acres or 27.95% open space (*i.e. 77.50-acres of floodplain calculated at a 1.0:0.5 ratio or 38.75-acres of land and 34.50-acres of non-floodplain land*). In addition, the concept plan indicates the incorporation of an

amenity center and the applicant has provided a layout for the amenity center lot. The applicant has also provided staff with a map showing areas that are anticipated to incorporate enhanced landscape elements, and incorporated language into the Planned Development District ordinance stating that these areas will be designed at the time of *PD Site Plan*. The amenity center layout and map of enhanced landscape areas have been incorporated into the Planned Development District ordinance.

The Planned Development District will be subject to the land uses and requirements stipulated for the Single Family 7 (SF-7) District unless specifically called out in the Planned Development District ordinance. A summary of the proposed development standards for each lot type is as follows:

<i>Lot Type (see Concept Plan) ►</i>	A	B	C
<i>Minimum Lot Width ⁽¹⁾</i>	60'	70'	50'
<i>Minimum Lot Depth</i>	120'	120'	110'
<i>Minimum Lot Area</i>	7,200 SF	8,400 SF	5,500 SF
<i>Minimum Front Yard Setback ^{(2), (4) & (5)}</i>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i>	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height ⁽³⁾</i>	36'	36'	36'
<i>Minimum Rear Yard Setback</i>	15'	15'	15'
<i>Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]</i>	2,200 SF	2,500 SF	2,000 SF
<i>Garage Orientation</i>	<i>J-Swing or Front</i>	<i>J-Swing or Front</i>	<i>J-Swing or Front</i>
<i>Maximum Number of Front Entry Garages Permitted</i>	270	77	150
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: A minimum of 50% of the front entry garages for *Lot Type C* shall have a minimum setback of 25-feet.
- ⁵: Lots fronting onto a curvilinear street or cul-de-sac may have the lot width reduced by up to 20% (*as measured from the front property line*) provided that the lot width is met at the front building line.

INFRASTRUCTURE:

Based on the applicant's submittal the following infrastructure is required:

Water Improvements

The Water Distribution Master Plan indicates that a 12-inch waterline will need to be constructed along John King Boulevard, Lofland Circle and Cullins Road. In addition, a 12-inch waterline will need to be constructed along H. Wallace Lane from Horizon Road [FM-3097] to S. Goliad Street [SH-205]. Any portion of this line that is off-site and oversized will be eligible for pro-rata facilities agreement.

Sewer Improvements

The Wastewater Collection System Master Plan indicates that a 12-inch sewer line will need to be installed from County Line Road to Horizon Road [FM-3097]. This will also require full upgrades -- *including appurtenances* -- to the ultimate capacity of the two (2) downstream, existing lift stations. In addition, the applicant will be required to pay a \$432.74 per acre pro-rata fee for improvements installed previously.

Roadways

The Master Thoroughfare Plan contained in the Comprehensive Plan indicates that certain roadways will need to be upgraded with this development. Specifically, the applicant would be responsible for the dedication of right-of-way and proportional improvements of the following roadways:

- (1) H. Wallace Lane is identified on the Master Thoroughfare Plan as a *Minor Collector*, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible for 24-feet of this roadway along the subject property's frontage along the existing H. Wallace Lane.
- (2) John King Boulevard is identified as a M4U (*i.e. minor collector, [4] lane, undivided roadway*) on the Master Thoroughfare Plan, which requires a minimum of a 65-foot right-of-way with a 45-foot, *back-to-back* roadway. The applicant is responsible for 100% of this roadway (*i.e. dedication and construction*) through the subject property.
- (3) Cullins Road is identified as a *Minor Collector* on the Master Thoroughfare Plan, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible for 100% of this roadway (*i.e. dedication and construction*) through the subject property extending from John King Boulevard to H. Wallace Lane.
- (4) County Line Road is identified as a *Minor Collector* on the Master Thoroughfare Plan, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible for 24-feet of this roadway (*i.e. dedication and construction*) adjacent to this roadway.
- (5) Lofland Circle is identified as a *Minor Collector* on the Master Thoroughfare Plan, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible for 24-feet of this roadway (*i.e. dedication and construction*) adjacent to this roadway.
- (6) Horizon Road [FM-3097] is identified as M4D (*minor collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan, which requires a minimum of an 85-foot right-of-way with two (2), 25-foot *back-to-back* streets and a 14-foot median. The applicant is only responsible for the 85-feet of right-of-way; however, staff is requesting that the applicant reserve additional right-of-way up to 120-feet (*i.e. 60-feet from the centerline*) for future TXDOT roadway expansion. Staff has added this as a condition of approval.

The applicant has submitted a letter requesting that the City Council amend the Master Thoroughfare Plan to, "...call for no expansion to the existing Wallace Lane to reflect the road's sparsely traveled status." They also point out that they have oriented their development so that it will not take access from H. Wallace Lane. The concept plan does show the provision of John King Boulevard; however, it is unclear if this roadway will be built to the M4U (*i.e. minor collector, [4] lane, undivided roadway*) standards required by the current Master Thoroughfare Plan. Recently staff has looked into the possibility of reducing the section of John King Boulevard, from S. Goliad Street [SH-205] to Horizon Road [FM-3097], from a M4U to a *Minor Collector* and will be proposing this change with the future revisions to the Master Thoroughfare Plan; however, this has not been proposed to the City Council and will require their discretionary approval before this change is incorporated into the plan. With regard to County Line Road and Lofland Circle, the applicant indicated at the February 27, 2018 Planning and Zoning Commission Work Session meeting that the development will be dedicating the necessary right-of-way for these roadways, but is not proposing to improve these right-of-ways. Staff should note that the City is currently in the acquisition of right-of-way phase of improving County Line Road and that the improvements to this roadway were included in the budget for this Capital Improvements Project (CIP) (*with the exception of the sidewalk which will be the applicant's responsibility at the time of construction*). In addition, the concept plan does not show the incorporation of Cullins Road. Based on this information the City Council will need to [1] waive the improvements to County Line Road and Lofland Circle, and [2] amend the Master Thoroughfare Plan to remove H. Wallace Lane and Cullins Road and [3] reduce the designation of John King Boulevard (*from S. Goliad Street [SH-205] to Horizon Road [FM-3097]*) to a *Minor Collector*. These changes are discretionary for the City Council.

CONFORMANCE WITH THE CODES:

While the proposed Planned Development District does conform to many of the City's code requirements, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code

(UDC), Municipal Code of Ordinances and the Engineering Department's *Standards of Design and Construction* Manual in the following ways:

- ☑ According to the Engineering Department's *Standards of Design and Construction* Manual, "(t)he City Council may waive the residential alley requirement upon determination by the Council, if it is in the best interest of the City." (*Section 2.11; Page 14*) In addition, the Unified Development Code (UDC) requires that all garages that are accessible from the street be configured in a *traditional swing (i.e. j-swing)* or *recessed front entry* garage format (*i.e. the garage is setback a minimum of 20-feet from the front façade of the primary structure*). In lieu of alleyways, the applicant is proposing *flat front entry* garages on 100% of the 50' x 110' lots and 70% on the remaining lot types (*i.e. 270, 60' x 70' lots and 77, 70' x 120' lots*). The remainder of the garages will be either *traditional swing (i.e. j-swing)* or *recessed front entry* product type. It should be noted that the applicant is requiring the use of upgraded garage doors and driveways, and examples of these have been incorporated into the Planned Development District ordinance. This could help offset the use of the *flat front entry* garages; however, this remains a discretionary decision for the City Council.
- ☑ The *Typical Thoroughfare Cross Sections* depicted in *Figure 2.1.B (Page 8)* of the Engineering Department's *Standards of Design and Construction* Manual require a minimum of a six (6) inch curb on all minor collector and residential street cross sections. The applicant is proposing a street cross section that incorporates a *Lay Down Curb (also referred to as a Roll Up Curb)*. This will require discretionary approval by the City Council. Staff should note that when *Lay Down* or *Roll Up Curbs* are utilized it shrinks the space for City utilities by one (1) foot on either side of the roadway (*i.e. two [2] feet overall*).

By approving the proposed Planned Development District, the City Council is waiving these standards.

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The zoning proposal conforms to the majority of the policies and guidelines contained in the Comprehensive Plan; however, in reviewing the proposed concept plan staff has identified the following items and made the following suggestions to the applicant concerning how to bring the request closer into conformance with the Comprehensive Plan:

- (1) *All residential lots which are 16,000 SF or less should be served by an alley [Land Use Policies; #9(b)].*

In lieu of alleyways, the applicant is proposing a mixture of *flat front entry* and *traditional swing* garages. Specifically, the applicant is proposing that 100% of the 50' x 110' lots be *flat front entry* garages and 75% of the 60' x 120' lots and 70' x 120' lots be *flat front entry* garages. In response to this staff has suggested that the applicant consider reducing the *flat front entry* product type to 30% or less of the overall garages, and consider all *flat front entry* garages incorporate a minimum of a 25-foot front yard setback to ensure that vehicles parked in the driveways will not encroach into public right-of-way. In the applicant's comments, the applicant has agreed to require a 25-foot front yard building setback on 50% of the 50, x 110' lots. The remainder of the 50' x 110' lots and other *flat front entry* product types would incorporate a 20-foot front yard building setback. This has been incorporated into the Planned Development District ordinance.

- (2) *Single-family lots adjacent to open space should be front loaded for the purpose of maximizing the value of the adjacent single-family homes, preserving view corridors along the streetscapes, and to better optimize the use of open space within the development [Resolution 07-03; 1.d.vii & 1.d.x].*

The applicant has stated that they have amended the concept plan to incorporate more front loaded homes (*i.e. single loaded streets*).

- (3) *Increased street connectivity for safety and access can be achieved by removing unnecessary cul-de-sacs [Transportation Section; Pages 50-55/John King Boulevard Design Concept Plan; Section 5].*

The applicant has stated that they have reduced the number of cul-de-sacs depicted on the concept plan by 30% from the original submittal.

Future Land Use Map and Proposed Density

The applicant's proposed residential density falls within the Low Density Residential land use designation, which according to the Comprehensive Plan, "(l)ow density residential [*land use designation*] is defined as less than two (2) units per acre; however, a density up to two and one-half (2.5) units per gross acre may be allowed within a residential Planned Development District that includes the dedication and/or development of additional amenities exceeding the minimum standards for residential Planned Developments." The additional amenities are described as: [1] parks and open space, [2] golf course, [3] neighborhood amenity/recreation center, [4] integration of schools into the community fabric, [5] development of trails and parks in floodplains, and [6] development of municipal parks and recreation facilities.

In this case, the applicant is proposing a density of 2.50 dwelling units per gross acre, which requires additional amenities to justify the increased ½-unit per acre density. The proposed concept plan does show the provision of a [1] neighborhood amenity/recreation center, [2] additional dedication of open space (*i.e. 27.95% or 73.25-acres*), and [3] the dedication of a public park; however, as mentioned previously the public park will require a future discretionary decision of the City Council at the time of *Master Plat/Open Space Master Plan*. These provisions may constitute an increased amenity and warrant the increase in density; however, this is discretionary to the City Council.

In addition, the Future Land Use Map contained within the Comprehensive Plan, designates the subject property for Low Density Residential, Medium Density Residential, and Parks and Open Space land uses. Staff has verified that the subject property has been designated under these land use categories since the 2012 Comprehensive Plan Update. The proposed zoning change does conform to the Future Land Use Map; however, it does necessitate a change to the map to adjust the Parks and Open Space and Medium Density Residential land use designations. Should the City Council choose to approve the applicant's request staff has included a condition of approval that would amend the Future Land Use Map to reflect this change.

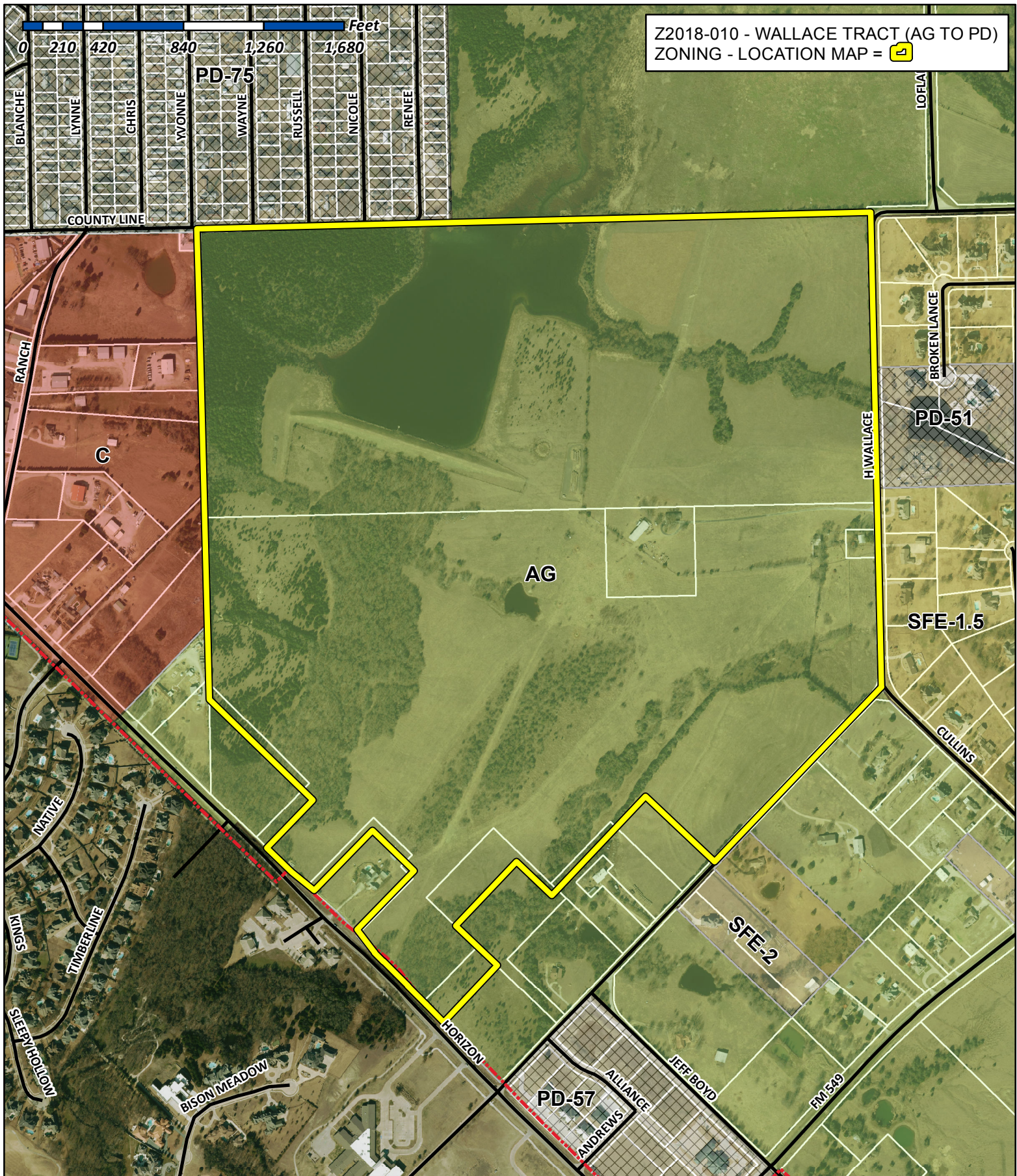
NOTIFICATION:

On February 27, 2018, staff mailed 170 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Oaks of Buffalo Way Homeowner's Associations (HOA), which is the only HOA/Neighborhood Organization that is within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property as required by the UDC. At the time this report was drafted, staff had received one (1) email in opposition and one (1) notice in support of the request.

RECOMMENDATIONS:

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses, then staff would propose the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance;
- 2) At the time of final plat the applicant will be required to put any additional right-of-way for Horizon Road -- *up to 120-feet (i.e. 60-feet from the centerline)* -- into a reserve to ensure sufficient right-of-way provision for TXDOT expansion;
- 3) Amend the Master Thoroughfare Plan in the Comprehensive Plan to remove H. Wallace Lane and Cullins Road, and reduce the designation of John King Boulevard -- *from S. Goliad Street [SH-205] to Horizon Road [FM-3097]* -- to a *Minor Collector*;
- 4) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of portions of the subject property from Parks and Open Space and Medium Density Residential designation to a Low Density Residential designation; and,
- 5) Any construction resulting from the approval of this *zoning change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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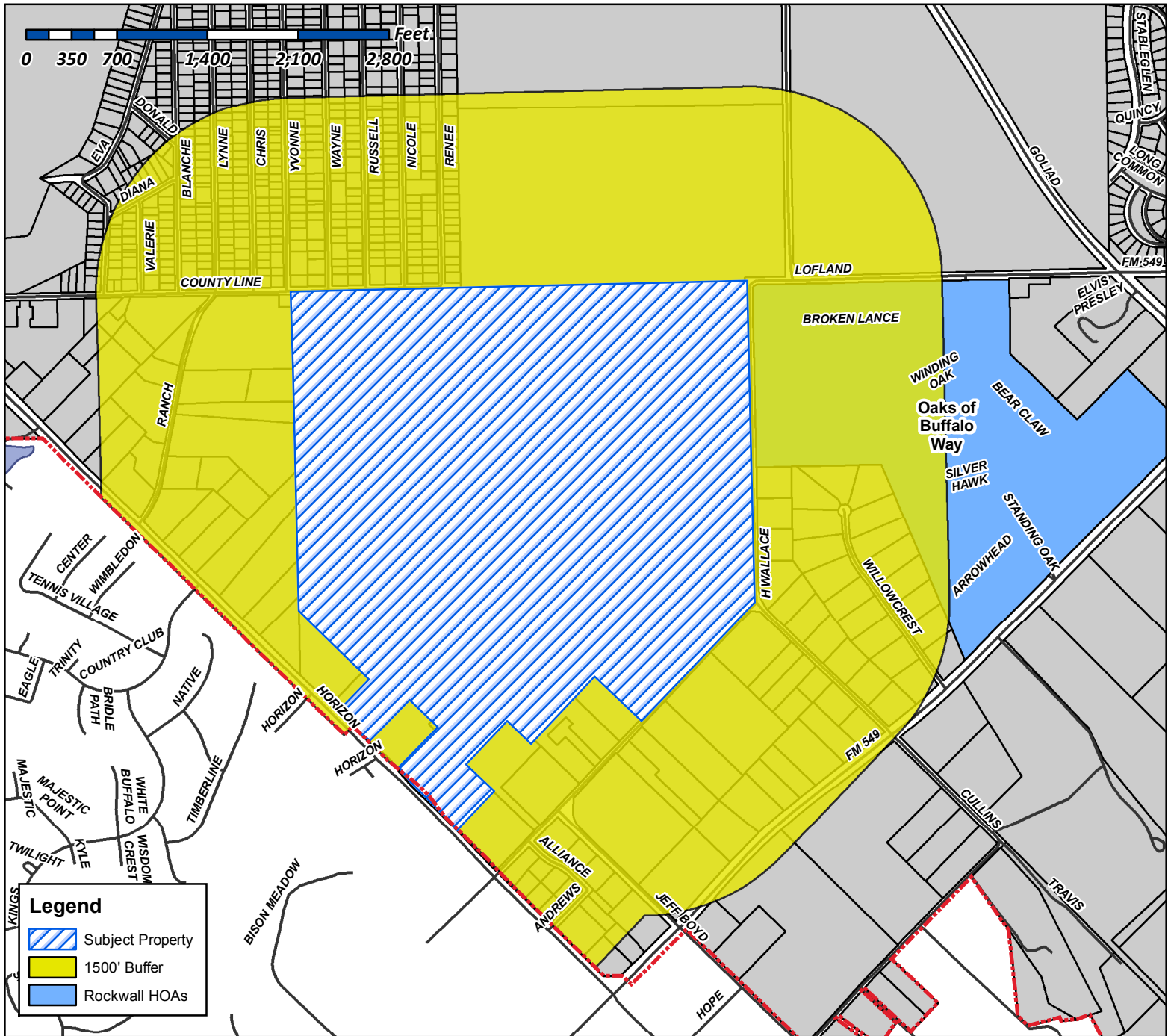
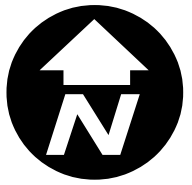




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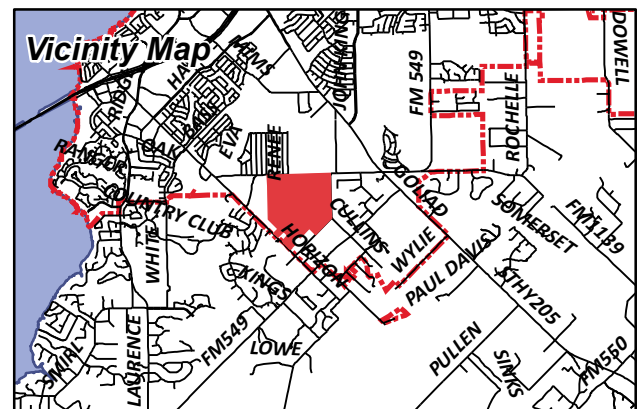
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Case Number: Z2018-010
Case Name: Wallace Tract (AG to PD)
Case Type: Zoning
Zoning: AG
Case Address: Tract Bound by Horizon Road
H Wallace Lane and County Line Road

Date Created: 02/19/2018

For Questions on this Case Call (972) 771-7745



From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)
Subject: Neighborhood Notification Program: Notice of zoning request
Date: Wednesday, February 28, 2018 4:12:33 PM
Attachments: [PUBLIC NOTICE.pdf](#)

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request will be published in the Rockwall Herald Banner **March 2, 2018**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

Z2018-010- Hold a public hearing to discuss and consider a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

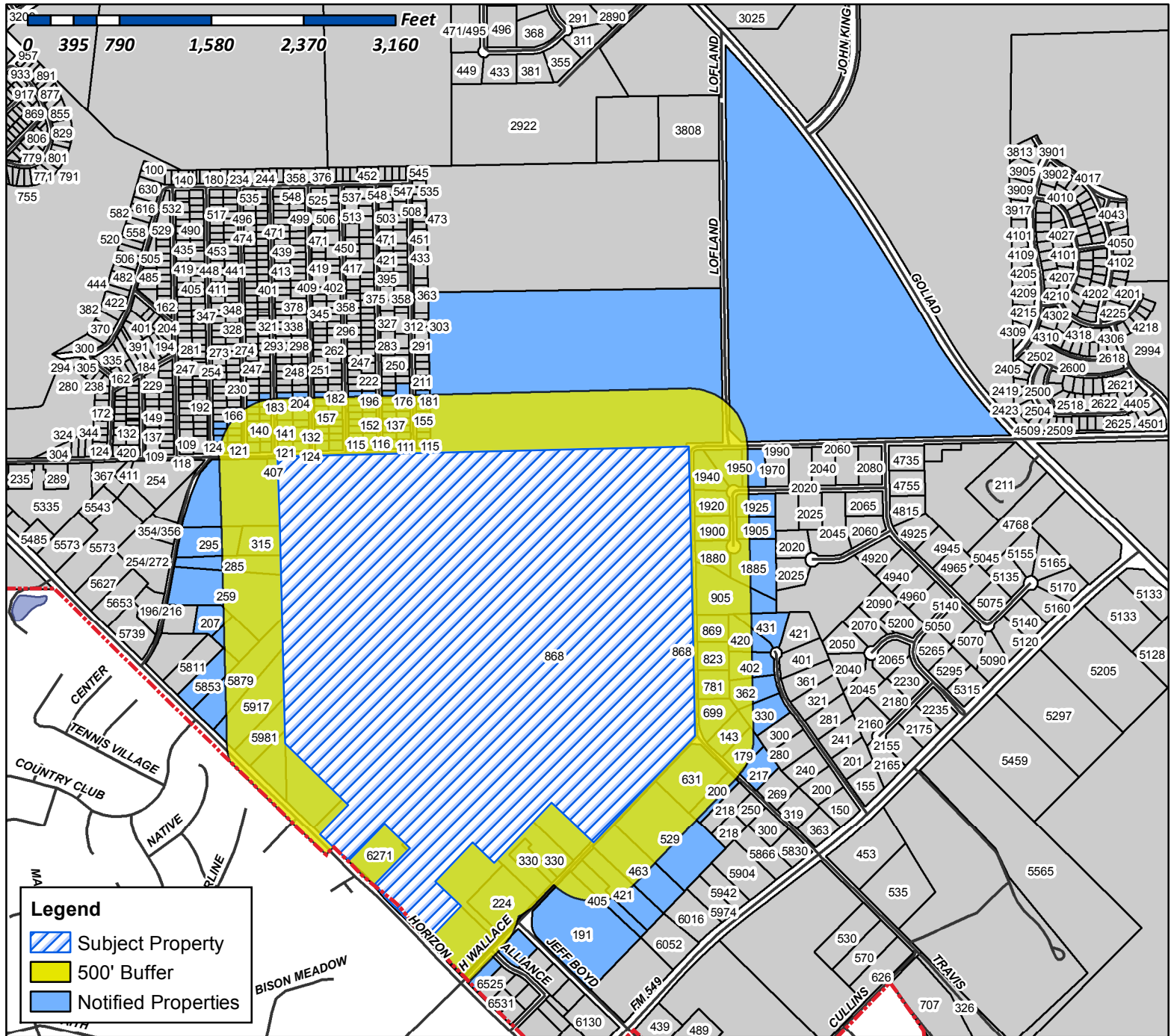
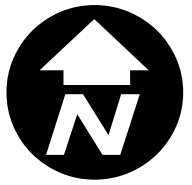
Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com>



City of Rockwall

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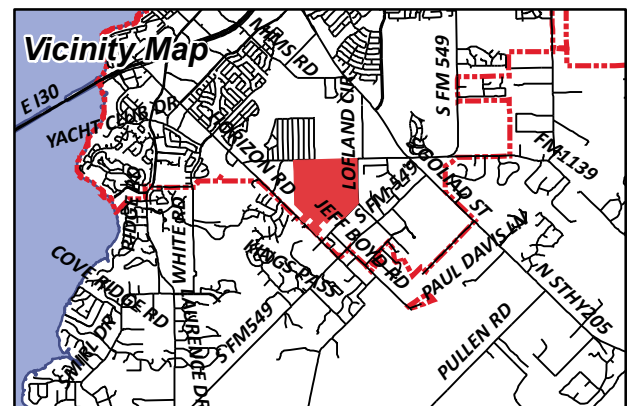
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LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

TAYLOR CLIFF AND SHEENA
106 YORKSHIRE DR
HEATH, TX 75032

ARCHIBALD L D & CARLA R REVOCABLE
LIVING TRUST
1100 SW MCKINNEY ST LOT 179
RICE, TX 75155

SERRANO RAMON AND LORENA AMAYA
111 NICOLE DR
ROCKWALL, TX 75032

LUECKE PATRICIA L MRS
1110 OAKMONT DR
RICHARDSON, TX 75081

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 WAYNE DR
ROCKWALL, TX 75032

DIAZ CARLOS O &
YOVANA M CHAVEZ
115 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
116 NICOLE
ROCKWALL, TX 75032

CURRENT RESIDENT
116 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
118 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

CURRENT RESIDENT
121 LYNNE DR
ROCKWALL, TX 75032

PARTIDA EDUARDO A AND IRMA
121 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
124 YVONNE DR
ROCKWALL, TX 75032

DE SANTIAGO OSCAR MANUEL ACOSTA
124 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
125 WAYNE DR
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

VASQUEZ FRANSISCO
125 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
127 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
128 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
130 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
130 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
131 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
132 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
133 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
135 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
137 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
139 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

IBARRA MATEO CASTRO
140 NICOLE DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
142 RUSSELL DR
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 WAYNE DR
ROCKWALL, TX 75032

PINKSTON RONALD L & KAREN L
143 CULLINS RD
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
149 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
150 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
152 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
154 RENEE DR
ROCKWALL, TX 75032

MARQUEZ FELIX C
154 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
155 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
155 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
157 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
157 WAYNE DR
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO
158 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 NICOLE DR
ROCKWALL, TX 75032

FIDGER BRIAN
C/O LIGHTHOUSE REALTY
1592 NORTH HILLS DR
ROCKWALL, TX 75087

JTS ALLIANCE INC
16 MEADOWLAKE DR
HEATH, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA
162 RENEE DR
ROCKWALL, TX 75032

AGUILLON JOSE LUIS
163 BASS RD
ROCKWALL, TX 75032

CURRENT RESIDENT
164 NICOLE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
167 RUSSELL DR
ROCKWALL, TX 75032

VASQUEZ JESUS
167 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
168 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
169 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
171 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
172 YVONNE DR
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
176 NICOLE DR
ROCKWALL, TX 75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX 75032

NAYLOR DAVID A AND SARAH R
179 CULLINS
ROCKWALL, TX 75032

CURRENT RESIDENT
180 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
181 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
181 RUSSELL DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
182 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ FELICITAS
183 NICOLE DR
ROCKWALL, TX 75032

YANEZ FERNANDO AND
JUAN A YANEZ
183 YVONNE
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL
GELLY DELROSARIO
186 NICOLE DR
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R
186 NICOLE DR
ROCKWALL, TX 75032

BRECHEN DAN & KAREN
1880 BROKEN LANCE LN
ROCKWALL, TX 75032

POLLOCK MICHAEL
1885 BROKEN LANCE LN
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

LYON ROBERT CHARLES
1900 BROKEN LANCE LANE
ROCKWALL, TX 75032

WALKER WILLIAM G JR & TRACY L
1905 BROKEN LANCE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
191 RENEE DR
ROCKWALL, TX 75032

HUNT JACKSON W JR
191 JEFF BOYD RD
ROCKWALL, TX 75032

WESTMORELAND WILBUR A & KERI L 1920 BROKEN LANCE LN ROCKWALL, TX 75032	AVILA LUZ MARIA 1924 DEVONSHIRE GARLAND, TX 75041	SAFIEDDINE RABIH AND LAURIE ANN BARAKAT 1925 BROKEN LANCE LN ROCKWALL, TX 75032
HUFF BILLY AND CHRISTA 193 RUSSELL DR ROCKWALL, TX 75032	HUFF BILLY AND CHRISTA 193 RUSSELL DR ROCKWALL, TX 75032	CARMONA JOSE 194 RENEE DRIVE ROCKWALL, TX 75032
BADER MARKUS AND KIMBERLY 1940 BROKEN LANCE LN ROCKWALL, TX 75032	CURRENT RESIDENT 195 NICOLE DR ROCKWALL, TX 75032	CURRENT RESIDENT 195 WAYNE DR ROCKWALL, TX 75032
PODLESKI GREGG T & MARIANNE 1950 BROKEN LANCE LN ROCKWALL, TX 75032	CURRENT RESIDENT 196 NICOLE DR ROCKWALL, TX 75032	BENGE TRACY L & JAY D 1970 BROKEN LANCE LN ROCKWALL, TX 75032
CURRENT RESIDENT 198 RUSSELL DR ROCKWALL, TX 75032	THOMPSON WILLIAM R ETUX 20 CALLE DEL SOL SAN JUAN, PR 00901	RAMIREZ RUBIN & MARTHA 200 CHAMBERLAIN DR FATE, TX 75189
LAMBE ROBERT J & DONNA 200 CULLINS RD ROCKWALL, TX 75032	CROWN CASTLE TOWERS 09 LLC 2000 CORPORATE DRIVE CANONSBURG, PA 15317	MEZA FRANCISCO J AND YOLANDA S 2004 MIDLAKE ROCKWALL, TX 75032
YANEZ JUAN 201 YVONNE DR ROCKWALL, TX 75032	CURRENT RESIDENT 204 WAYNE DR ROCKWALL, TX 75032	MEDINA MARIA V AND MARITZA ALONSO 204 YVONNE ROCKWALL, TX 75032
2-W BROTHERS LLC 207 RANCH TRL ROCKWALL, TX 75032	THRASH LEFTY & MARTHA 217 CULLINS RD ROCKWALL, TX 75032	DAVID B RENO II & PATRICIA J RENO REVOCABLE LIVING TRUST 218 RUSSELL DRIVE ROCKWALL, TX 75032
MORTON MARGARET ANNE WALLACE 224 H WALLACE LN ROCKWALL, TX 75032	ACKERT MARY J MRS 2241 HIGHWOOD DR DALLAS, TX 75228	MCMULLEN KENNETH & SANDRA A 259 RANCH TRL ROCKWALL, TX 75032
JIMENEZ RICARDO 2847 TANGLEGLEN DR ROCKWALL, TX 75032	CURRENT RESIDENT 285 RANCH TRL ROCKWALL, TX 75032	CURRENT RESIDENT 295 RANCH TRAIL ROCKWALL, TX 75032

EPIC ROCKWALL VENTURES LLC
315 RANCH TR
ROCKWALL, TX 75032

WALLACE DONALD J & CATHERINE
330 H WALLACE LN
ROCKWALL, TX 75032

WALLACE DONALD J
330 H WALLACE LN
ROCKWALL, TX 75032

ADAMS JEFFREY BLAKE & CATHY
330 WILLOWCREST
ROCKWALL, TX 75032

HARDIN DENNIS & JOLYNN JONES
34 LAKEWAY DR
HEATH, TX 75032

CONTRERAS JUANA
353 CHRIS DR
ROCKWALL, TX 75032

BAUGHER JAMES M AND
MARY BETH BAUGHER
362 WILLOWCREST
ROCKWALL, TX 75032

MOREAU KIMBERLYN G & STEPHEN M
402 WILLOWCREST
ROCKWALL, TX 75032

KRECEK JANETTE C
405 H WALLACE LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
407 RANCH TRAIL
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR AND
DIANA DOMINGUEZ
420 LYNNE DR
ROCKWALL, TX 75032

MILLER JASON D & JANITH L
420 WILLOWCREST
ROCKWALL, TX 75032

INGHAM JULIE A AND MARK A
421 H WALLACE LN
ROCKWALL, TX 75032

DRCE TRUST
4219 ASHMONT CT
DALLAS, TX 75287

SWAIN BRENT MERRICK
431 WILLOWCREST
ROCKWALL, TX 75032

CLEM MILFORD
433 THISTLE DR
GARLAND, TX 75043

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

WILCK PAUL J JR
463 H WALLACE LN
ROCKWALL, TX 75032

MORENO NOE
474 BASS RD
ROCKWALL, TX 75032

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

MCCOSH GORDON ETUX
529 H WALLACE LN
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST DRIVE CT
GOLDEN, CO 80403

CURRENT RESIDENT
5853 FM3097
ROCKWALL, TX 75032

MCCOY SHIREE DAY
5879 FM 3097
ROCKWALL, TX 75032

CURRENT RESIDENT
5917 FM3097
ROCKWALL, TX 75032

BINDER CARL JR
5981 FM 3097
ROCKWALL, TX 75032

SHEPHERD PLACE HOMES INC
620 ROWLETT RD
GARLAND, TX 75043

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

WALLACE JOHN H JR
6271 HORIZON RD
ROCKWALL, TX 75032

WALLACE MICHAEL
6271 HORIZON ROAD
ROCKWALL, TX 75032

LATHAM REX K ET UX
631 H WALLACE LN
ROCKWALL, TX 75032

STEVENS DWAYNE ETUX
699 H WALLACE LN
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR
ROCKWALL, TX 75087

ACUNA NINFA
703 T L TOWNSEND DR
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ
703 T L TOWNSEND DR
ROCKWALL, TX 75087

CANIZALES ELIDA VILLAREAL
760 COUNTY LINE RD
ROCKWALL, TX 75032

ESPARZA NORA
7723 GLENMERE TRAIL
SACHSE, TX 75048

GREGG RODNEY P
781 H WALLACE LN
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

DANIELS COREY L & CAROL A
808 RENEE DR
ROCKWALL, TX 75032

MERRITT PAUL C & LOUISE
823 H WALLACE LN
ROCKWALL, TX 75032

WOODHILL DENTAL SPECIALTIES I LLC
8355 WALNUT HILL LN SUITE 100
DALLAS, TX 75237

CURRENT RESIDENT
868 H WALLACE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
868 WALLACE LN
ROCKWALL, TX 75032

KINNEY DAVID D & DIANA S
869 H WALLACE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
905 H WALLACE LN
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

GLEASON DIANE
PO BOX 824312
DALLAS, TX 75382

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Z2018-0010
Date: Monday, March 05, 2018 8:41:58 AM

From: Matt Scott [REDACTED]
Sent: Thursday, March 01, 2018 10:19 AM
To: Daniels, Bennie; Fowler, Kevin; Pruitt, Jim; Hohenshelt, John; Townsend, Mike; Lewis, Dennis; Townsend, Mike; Macalik, Dana; markmoeller@rockwall.com; jonathanlyons@rockwall.com; patricktrowbridge@rockwall.com; anniefishman@rockwall.com; ericchodun@rockwall.com; jerrywelch@rockwall.com; traceylogan@rockwall.com
Cc: Bob Cotti; Tim McCallum; Tim McCallum; Margo Nielsen; mpollock.synergy@outlook.com; oaksofbwpres1@gmail.com; Jesse Ladd; jladd@chansenmediagroup.com; Marc Clark; Jeffrey & Allyson Minth; Planning; Crowley, Rick; Smith, Mary; Griggs, Brad
Subject: Z2018-0010

Dear Mayor and Council, Chairman and Commissioners-

My name is Matt Scott, I live at [4925 Bear Claw Lane](#), and I am writing concerning the proposed change from agricultural to plan development of what is referred to as the Wallace tract. I am strongly opposed.

With the exception of Commissioner Moeller, I do not know whether any of you were involved in city government at the time the Wallace tract was annexed into the city. I was on the city council at the time of the annexation. For several nights, the council heard from every living member of the Wallace family, as they berated us for even considering annexing this property. We were told that they would never develop the property. We were told that we were taking their property. We were told that we were taking advantage of the fact that their father had passed.

In essence, we were told that we should not annex this property because they had no plans to ever—I repeat ever—develop this property. The council knew this was a false promise when it was made, which is why we proceeded with the annexation. But for this reason alone, the council should deny this proposed zoning change.

Beyond this, the council should deny the requested zoning change because the area in question simply cannot handle a development of this size at this time. SH 205, from John King to FM 549, is still a two lane road. It can take up to 30 minutes to get from SH 205 at John King through the two traffic lights at Lofland Road and FM 549, because of traffic.

FM 549, from SH 205 westward, is still a two lane road. And finally, Horizon Road, from FM 549 to County Line Road, is still a two lane road. These are the three major roads that surround the Wallace tract. None of these roads have immediate plans for expansion, and none of them can handle the existing traffic, let alone the traffic that would be added by this plan development.

As it stands now, the David Weekly development at the corner of FM 549 and SH 205 will seriously tax the roads as it is. But the inability of these major roads to handle increased traffic is nothing compared to how ill-equipped the secondary roads in this area are to handle more traffic.

Lofland Road is a black-topped road that is not even a two lane road. This road is treacherous. It is not wide enough to safely accommodate more than one vehicle traveling on it. Furthermore, the road has two sharp 90° turns. Right now, this road is in desperate need of repairs as the weather routinely tears up the asphalt.

Likewise, Wallace Lane from Lofland Road to Horizon Road is a black-topped road that is not even two lane. In fact, Wallace Lane is worse than Lofland Road and is nearly impassable when more than one car is on it.

The remaining roads in the area are also completely unsuited for a development the size of this proposed planned development.

None of these roads that would be required to support traffic for this planned development are in any way suitable. They are not suitable to the existing traffic, let alone those associated with this planned development.

I would like to invite each of you to come visit me and I will drive you on these roads so you can see what I see every day. Adding a development of this size would be a disaster for those of us who already live in the area.

I know at some point in time, this property will develop. That is why we annexed it. But until such time as the major thoroughfares are expanded to handle the additional traffic, not to mention improvement of the smaller roads, this planned development simply does not make sense. And when it does develop, it needs to be acre or acre and a half lots to match the surrounding areas and to reduce congestion.

Finally, please consider the adverse impact such a dense development would have on Pullen Elementary. Pullen is already at capacity (as is Cain Middle School). Pullen has already been expanded once. A development such as the one being considered would require either a second expansion at Pullen, perhaps another elementary school, or both. And I do not know how Cain would handle the increased student load.

Because of spring break, I will not be able to come to the P&Z meeting when this proposal is considered. I will be able to attend, and plan to attend, the Council meeting when this proposal is considered. In the meantime, if I can provide any additional information or answer any

questions you might have, I welcome that opportunity. You can email me at mrscott44@icloud.com or call me at (469) 371-8016.

Thank you for your time.

Respectfully,

Matt Scott



RECEIVED
NOTICE OF PUBLIC HEARING
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

MAR 05 2018

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2018-010: Wallace Tract (AG to PD)

Hold a public hearing to discuss and consider a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/19/2018** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2018-010: Wallace Tract (AG to PD)

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

Name:

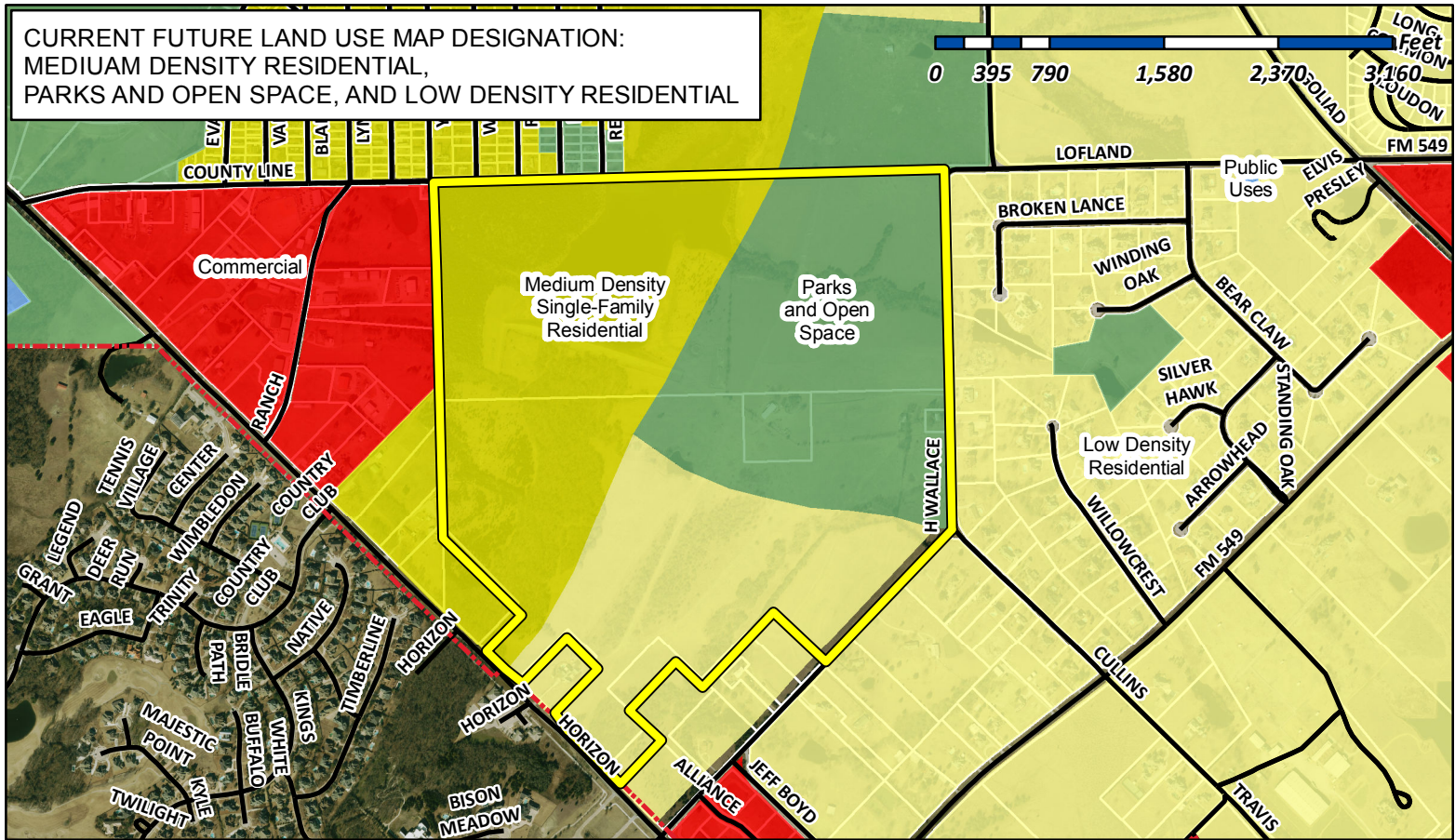
Address:

Robbie Lee Hall, VP Shepherd Place Home Dr.
116 Nicole, Rockwall, Texas 75082

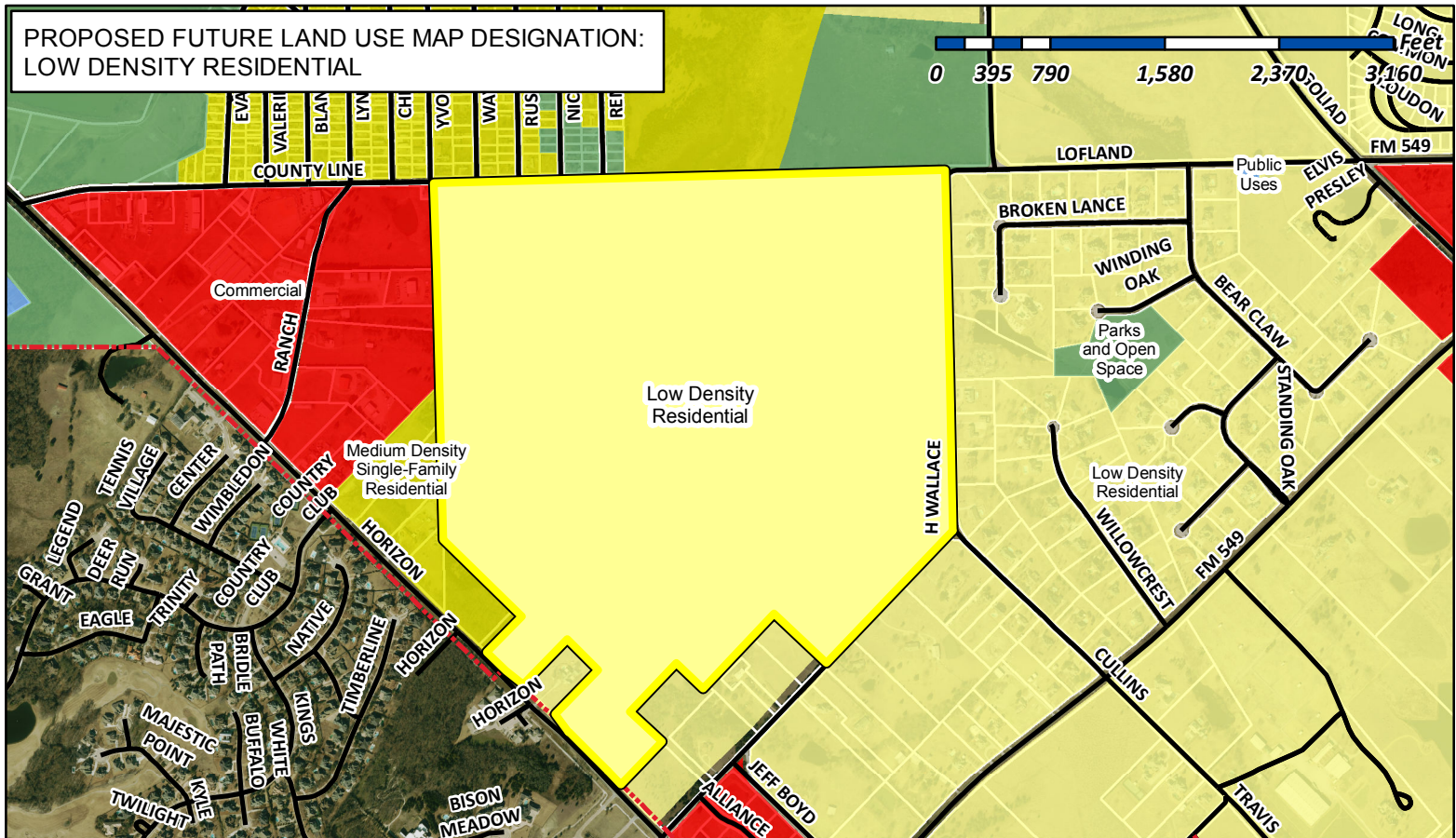
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CURRENT FUTURE LAND USE MAP DESIGNATION:
MEDIUM DENSITY RESIDENTIAL,
PARKS AND OPEN SPACE, AND LOW DENSITY RESIDENTIAL



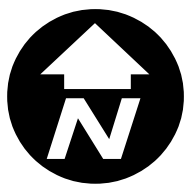
PROPOSED FUTURE LAND USE MAP DESIGNATION:
LOW DENSITY RESIDENTIAL

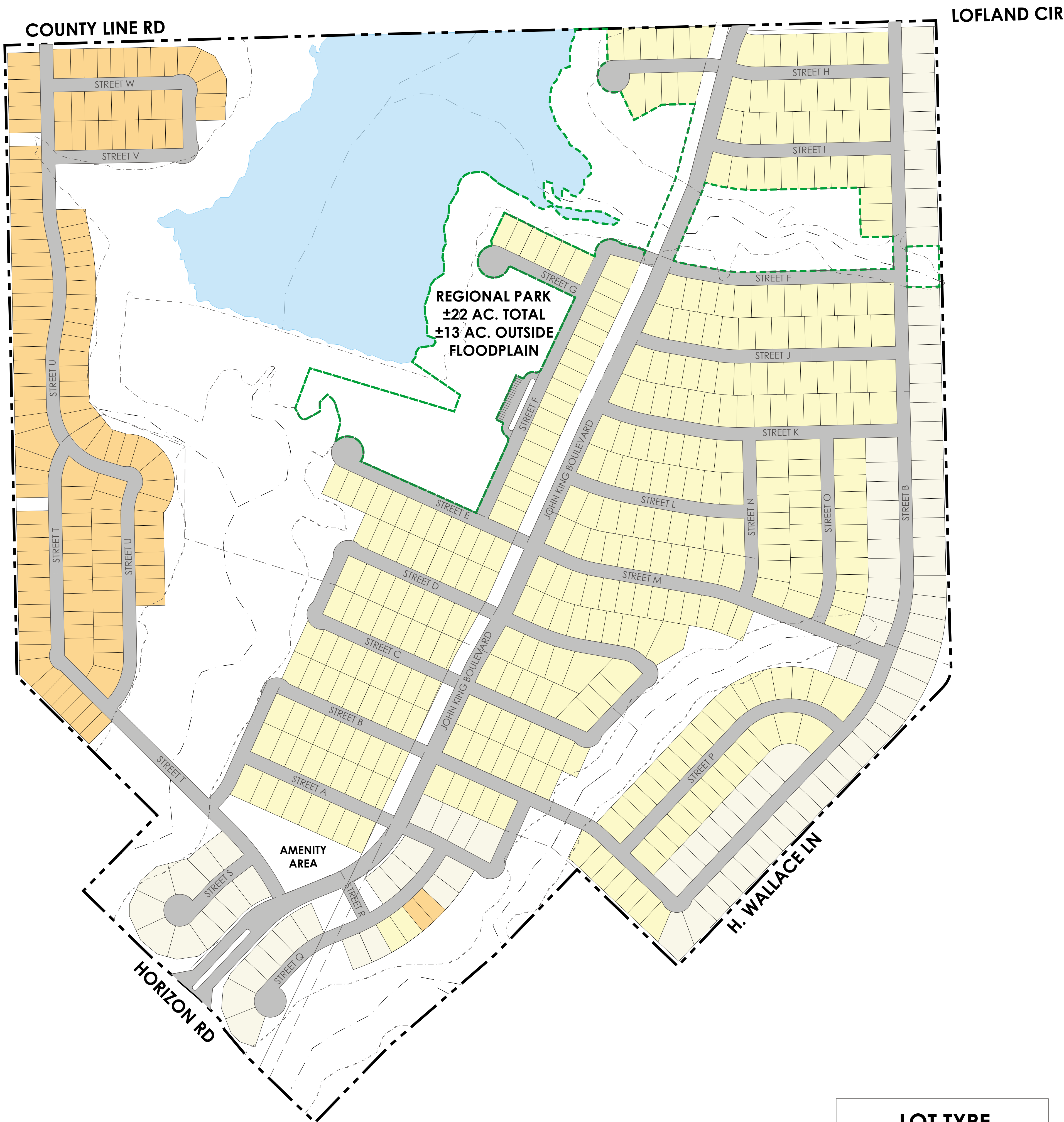


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOT TYPE		
	A	60' x 120'
	B	70' x 120'
	C	50' x 110'

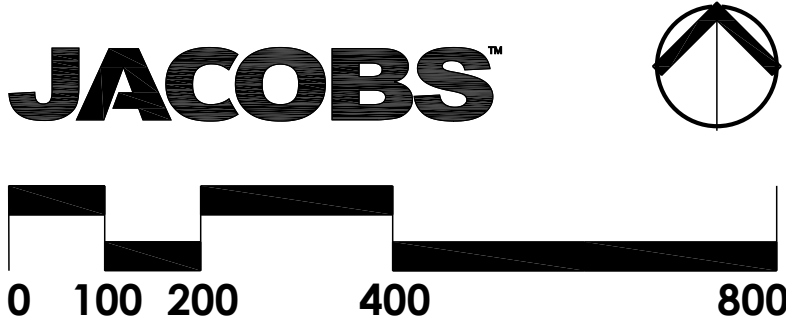
ZONING CONCEPT PLAN

Wallace Tract Concept

Rockwall, Texas

March 07, 2018

Drawing name: \\dallf02\Projects\NAI\SLD\WFXO7000\700 CADD\709 Planning_Landscape\Planning\Wallace Tract PD_Concept_03.07.2018.dwg
Plotted on: Mar 07, 2018 - 8:18am



NOTE: This plan is diagrammatic only and is intended to show potential configuration. This plan is only conceptual and is not based upon a detailed survey of existing site conditions such as property limits, subsurface conditions, limits of trees, topography, utilities, easements, etc. March 07, 2018



Parks and Open Space



Wallace Tract

Rockwall, Texas

March 07, 2018

Drawing name: \\dall02\Projects\NAISLD\WFO7000\700 CADD\709 Planning_Landscape\Planning\Wallace Tract PD_Concept_03.07.2018.dwg
Plotted on: Mar 07, 2018 - 8:42am

JACOBS



NOTE: This plan is diagrammatic only and is intended to show potential configuration. This plan is only conceptual and is not based upon a detailed survey of existing site conditions such as property limits, subsurface conditions, limits of trees, topography, utilities, easements, etc. March 07, 2018

February 16, 2018

Ryan Miller
City of Rockwall
385 S Goliad
Rockwall, Texas 75087



Re: Wallace Tract – Proposed PD Zoning – Separate Applicant Requests

Dear Ryan,

Hines is hereby requesting a zoning change on the property bound by Wallace Lane, Horizon Road, County Line Road, and Lofland Circle. The purpose of this request is to create a Planned Development (PD) for a proposed single-family, master-planned community. Please find the zoning change application and PD Development Standards along with the proposed Concept Plan in this submittal.

Hines is a privately owned global real estate investment firm founded in 1957 with a presence in 201 cities in 21 countries. Hines has approximately \$100 billion of assets under management, including \$54.5 billion for which Hines provides fiduciary investment management services, and \$45.5 billion for which Hines provides third-party property-level services. The firm has 113 developments currently underway around the world. Historically, Hines has developed, redeveloped or acquired 1,262 properties, totaling over 414 million square feet. The firm's current property and asset management portfolio includes 529 properties, representing over 213 million square feet. With extensive experience in investments across the risk spectrum and all property types, and a pioneering commitment to sustainability, Hines is one of the largest and most-respected real estate organizations in the world. Visit www.hines.com for more information.

In addition to the single-family related items discussed in the PD, Hines has several separate requests, detailed below:

Wallace Lane:

Hines is proposing access to the community through a combination of Horizon and County Line roads (see the enclosed access point exhibit for reference). The project will therefore not add any traffic to the existing Wallace Lane. The other adjacent property that utilizes Wallace Lane, The Oaks at Buffalo Way, has been developed as large lot single-family and is currently the highest and best use for that property. Hines is proposing that the Rockwall Major Thoroughfare plan be amended to call for no expansion to the existing Wallace Lane to reflect the road's sparsely traveled status.

Future Water Line Reimbursement:

As part of the single-family development, Hines will install an off-site water line to connect to the existing water infrastructure along Highway 205 when project phasing demands deem the improvements necessary. The proposed water line will provide capacity to the Wallace Tract as well as other future developments along the path of the line. Discussions with City of Rockwall staff have affirmed that a pro rata reimbursement

as repayment to Hines or its assigns will be disbursed at the time the benefited properties develop. Hines is requesting that the City put in place a reimbursement agreement that will last 10 years with subsequent 10 year extensions to be exercised at Hines or its assigns discretion and details the reimbursement amounts Hines can expect.

City Park Dedication:

Following successful zoning, Hines intends to present to the City of Rockwall Parks Board the plan to dedicate +/- 11 acres for a City of Rockwall Regional Park and an additional amount of open space to be utilized for the City to seek additional grant funding. The park will be dedicated during the platting of the adjacent phase. The City of Rockwall will maintain the Regional Park while the Association created by Hines will maintain the project's internal private park improvements.

Please contact me with any questions.

Sincerely,

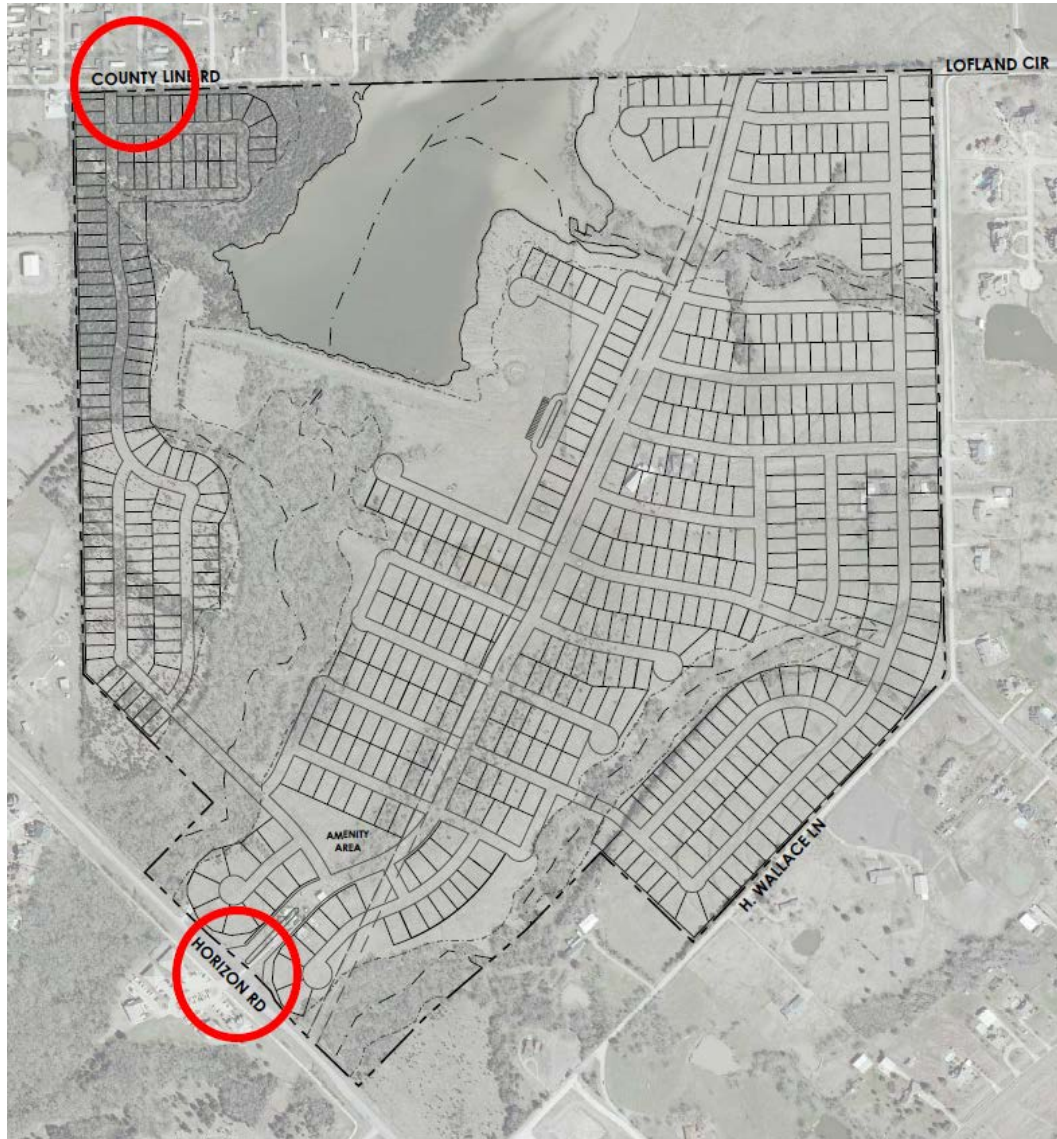
Hines Interests Limited Partnership,
a Delaware limited partnership,
its sole Member

By: Hines Holding, Inc.,
a Texas corporation,
its General Partner


DD

By: _____
Name: Robert W. Witte
Title: Senior Managing Director

Access Point Exhibit





1999 Bryan Street, Suite 1200
Dallas, Texas 75201
United States
T +1.214.583.8500
F +1.214.638.0447
www.jacobs.com

March 6, 2018

City of Rockwall
Mr. Ryan Miller, AICP
Director of Planning
385 S. Goliad
Rockwall, Texas 75087

Project Name: Wallace Tract
Project Number: WFXO7000

Subject: Comment Response Letter

Dear Mr. Miller:

Jacobs Engineering Group Inc. (Jacobs) is in receipt of the comments, dated February 16, 2018, on the Wallace Tract and offers the following responses:

(2/21/2018 11:24 AM AW)

1. Get written permission from the NRCS to build in the Wallace Lake easement
Response: ***Comment acknowledged. Easement information has been acquired and final permission anticipated prior to formal platting process.***
2. All roadways adjacent to the park to be 60' right-of-way and 41' back of curb to back of curb (B-B) street section
Response: ***Comment acknowledged.***
3. Dedicate right-of-way equal to 60' from the centerline of Horizon
Response: ***Comment acknowledged.***
4. TIA will be required for Horizon
Response: ***Comment acknowledged. TIA will be prepared per TxDOT standards and provided to the City of Rockwall for review.***
5. Dedicate 10' of right-of-way the entire length of Wallace Lane and build a minimum of 24' curbed street section with 5' sidewalks and any drainage needed
Response: ***Comment acknowledged regarding right-of-way dedication. However, we respectfully request a MTP change to remove request of paving construction due to the lack of proposed connection to Wallace Lane.***



March 6, 2018

Subject: Comment Response Letter

6. Dedicate 60' right-of-way for Cullins and John King through the site and build 41' B-B with all drainage and utilities

Response: *Comment acknowledged regarding John King (north-south collector). However, we respectfully request a MTP change to remove request of paving construction and additional right-of-way dedication for Cullins.*

7. Dedicate 30' right-of-way for Lofland Circle and building a minimum of 24' curbed street section with 5' sidewalks and drainage

Response: *Comment acknowledged regarding right-of-way dedication. However, we respectfully request a MTP change to remove request of paving construction for Lofland Circle between north-south collector and Wallace Lane.*

8. Dedicate right-of-way for County Line and build a 5' sidewalk for all property adjacent to County Line

Response: *Comment acknowledged.*

9. Construct 12" sewer line from County Line to the FM 3097 lift station

Response: *Comment acknowledged. Improvements will be proposed as project phasing progresses.*

10. Construct 12" water line along John King, Lofland Circle, and Cullins Road extension through the site.

Response: *Comment acknowledged.*

11. Construct 12" water line along the entire length of Wallace Lane from Horizon to SH 205

Response: *Comment acknowledged.*

12. Sewer pro-rata due of \$432.74/acre

Response: *Comment acknowledged.*

13. Full upgrades of two FM 3097 lift stations to ultimate conditions (wet wells, pumps, electrical, etc.)

Response: *Comment acknowledged.*

14. Flood study will require a retainer of \$5,000 to start the review. Any additional monies will be billed to the engineer/developer. If there are any credits to the flood study review/information, those monies will be refunded to the engineer/developer.

Response: *Comment acknowledged.*

15. 4% engineering inspection fees

Response: *Comment acknowledged.*

16. Impact fees will be required

Response: *Comment acknowledged. However, we request impact fees credits for any oversized waterlines (from 8" to 12") or offsite extensions for sanitary sewer to adjacent properties.*



March 6, 2018

Subject: Comment Response Letter

17. FEMA approved LOMR will be required prior to Engineering acceptance of the development and no building permits will be release until the LOMR is approved by FEMA.

Response: *Comment acknowledged with the assumption the building permit hold only applies to areas located within a FEMA Zone A hazard area.*

Development Standards

18. All streets will have a standard curb...no roll up curbs

Response: *By this comment response letter, we respectfully request a waiver to the standard curb requirement. A rollover or "rollup" curb minimizes future driveway cuts causing potential differential settlement in the public streets as well as adds to the overall aesthetic appearance of the community.*

19. Any trees planted in the right-of-way shall be planted a minimum of 5' from any utility and will require a root barrier

Response: *Comment acknowledged.*

20. All sidewalks are to be 2' inside the right-of-way and are a minimum of 5' wide

Response: *Comment acknowledged assuming this refers to standard builder-installed sidewalk. Some developer-installed sidewalks may meander into landscape buffer or adjacent easements. Is this acceptable?*

21. All driveway "finishes" shall not extend into the right-of-way and will stop prior to the driveway approach

Response: *Comment acknowledged.*

22. All new utilities shall be underground no matter the size or cost effectiveness.

Response: *Comment acknowledged.*

Z2018-010; Zoning Change (AG to PD) for the Wallace Tract

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097].

Response: *Comment acknowledged. Please refer to attached legal description for reference.*

- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

Response: *Comment acknowledged.*

March 6, 2018

Subject: Comment Response Letter

M.3 For reference, include the case number (Z2018-010) in the lower right hand corner of all pages on future submittals.

Response: *Comment acknowledged.*

I.4 The Future Land Use Map contained within the City's Comprehensive Plan indicates that the subject property is designated as Medium Density Residential, Low Density Residential and Open Space. The proposed zoning does conform to this designation; however, due to the location of the Open Space designation, the City Council will need to amend the Future Land Use Map to reflect a Low Density Residential designation for the entire property.

Response: *Comment acknowledged.*

I.5 The City's Master Thoroughfare Plan (MTP) indicates John King Boulevard as a M4U and County Line Road, Wallace Lane and Cullins Road as Minor Collectors. These roadways are not depicted on the applicant's plans and will require the City Council to amend the Master Thoroughfare Plan (MTP) in order to approve the zoning.

Response: *Comment acknowledged. We respectfully request an amendment to the MTP as proposed.*

I.6 The City's Parkland Dedication Ordinance requires a minimum of contiguous 11-acres outside of the floodplain to constitute dedication as a Neighborhood Park. The 11.5-acres of proposed parkland dedication only has nine (9) acres of land outside of the floodplain. This will require discretionary approval of the Parks Board.

Response: *Plan revised to indicate additional Parkland Dedication beyond initial submittal. Total acreage expected to be +/-112 acres with no less than 28 acres outside of the floodplain.*

M.7 Since the proposed park area does not meet the City's minimum standards and will require discretionary approval please removed the words "City Park" from the concept plan.

Response: *Referenced as "Regional Park" on revised Concept Plan and total area increased to meet the City's minimum standard.*

M.8 The City's Comprehensive Plan and Planned Development standards contained in the Unified Development Code (UDC) require a minimum of 20% open space (with floodplain only counting at a ratio of 0.5-acres per one [1] acre dedicated as open space). Please indicate the total amount of open space being provided with this development.

Response: *Comment acknowledged. Please reference below "concept" chart. Exact final acreages subject to change, but will meet minimum 20% requirement of total open space with "out of floodplain" areas to meet minimum 10% of overall project.*

Park Area	± Acres
Amenity Center	2
Regional Park Area Out of Floodplain	13
Regional Park Area In Floodplain	9
Open Space Out of Floodplain	19.5
Open Space In Floodplain	39.5
NRCS Lake and Dam Area	29
Total:	112

March 6, 2018

Subject: Comment Response Letter

- M.9 The City's Comprehensive Plan states that there should be a Neighborhood Oriented Park Ratio of at least one (1) acre of parkland for every 20 residential lots. Please indicated conformance to this ratio.

Response: *With a maximum allowable 645 lots, this equates to a required 32.25 acres. The proposed concept plan has park and open space area in excess of 100 acres by the previous comment response.*

- I.10 The City's Comprehensive Plan states that homes should be single loaded on to open space. Consider re-orienting some of the lots on the interior to face towards the open space as opposed to siding onto the open space. In addition, the primary street running north/south could utilize in a boulevard design to increase the green space and to increase conformity to the Comprehensive Plan.

Response: *Several evaluations were considered upon receiving this comment. The proposed concept plan indicates several areas with single loaded streets open to the floodplain and open space areas. We believe this combination of single loaded streets in addition to lots backing directly to open space provide an appropriate balance of community feel and premium lot diversity. The primary street running north south has an extra-large landscape buffer on the western side utilizing an existing gas line easement. This alignment of the collector street is utilized to maintain an open corridor feel without the higher speeds associated with a boulevard section.*

- M.11 The City's Comprehensive Plan states that lots less than 12,000 SF should be no further than 800-feet from a public park or open space. Please provide an exhibit demonstrating conformance to the 800-foot rule.

Response: *Comment acknowledged. Refer to attached "800' Rule" exhibit attached demonstrating conformance to this requirement.*

- I.12 The City's Comprehensive Plan calls for cul-de-sacs to be utilized only where it is absolutely necessary for the design of a residential subdivision. The purpose of this is to create an interconnected street pattern that offers flexibility of routes. Please look to reduce the use of cul-de-sacs in the design of the subdivision.

Response: *Comment acknowledged. Plan adjustments were made to remove multiple cul-de-sacs, reducing the overall cul-de-sacs proposed by nearly 30%.*

- I.13 The City's Comprehensive Plan states that all residential lots less than 16,000 SF in size should be served by an alleyway. In addition, the City's Engineering Standards of Design Manual requires alleyways with all new residential development. This will be required to be waived by the City Council.

Response: *We respectfully request waiver of the alley requirement on this proposed development.*

March 6, 2018

Subject: Comment Response Letter

M.14 The Unified Development Code (UDC) does not permit “flat, front entry garages”. Consider reducing the amount of “flat, front entry garages” to less than 30% of the total number of garages. In lieu of “flat, front entry garages”, consider utilizing garages that are a minimum of 20-feet behind the front façade of the home or J-Swing garages (also referred to as Traditional Swing garages). At a minimum, lots utilizing a “flat, front entry garage” should be setback a minimum of 25-feet from public right-of-way to allow for sufficient room for off-street parking.

Response: *The 50' wide lots along the western boundary are defined by a 20' front yard setback. By this response, we propose to reduce the number of lots with a 20' setback from 75% to a total of 50% of the overall allowed 50' lots. Generally, the initial requested comment would be acceptable; however, the existing Wallace Lake emergency spillway would cause a physical constraint to additional lot depth in this area. Therefore, we request some consideration to retain at least 50% of the lots in this area to a 20' building setback. The proposed PD requires upgraded driveway finishes and garage doors to enhance the aesthetic appear for the overall development.*

I.15 The proposed Anti-Monotony Standards are the minimum standards. Consider the Anti-Monotony Standards approved with PD-63 [Ordinance No. 14-49].

Response: *Consideration of the approved PD-63 was evaluated; however, we believe the proposed anti-monotony standards consistent with the requirements of the Planned Development Regulations to be appropriate for this project.*

M.16 Based on the submitted concept plan please make the following technical corrections for clarity:

- 1) Please label all streets (i.e. Street A, Street B, etc.) for reference.
- 2) Under the legend for lot types, please indicate the product type.

Response: *Comment acknowledged. Refer to updated exhibits.*

I.17 Please note that the pro-rata for the proposed water line will be handled after the installation of the water line and will not be incorporated into the zoning process.

Response: *Comment acknowledged. However, please provide some indication on how the pro-rata fee is defined and logistical process of agreement approvals.*

I.18 Based on the submittal, the following items will require special consideration from the City Council:

- 1) Changes to the Master Thoroughfare Plan (MTP).
- 2) The proposed garage standards (i.e. amount of flat, front entry product proposed).
- 3) Lay down curbs differ from the street cross section permitted by the Engineering Standards of Design and will require City Council approval.

Response: *Comment acknowledged.*



March 6, 2018

Subject: Comment Response Letter

M.19 Please provide digital copies of all pictures depicted in the ordinance in a .png or .jpg format.

Response: *Comment acknowledged.*

M.20 Please provide a copy of the legal description in .docx format.

Response: *Comment acknowledged.*

M.21 Please review the attached draft ordinance prior to the February 27, 2018 Planning & Zoning Commission meeting.

Response: *Comment acknowledged.*

I.22 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 6, 2018; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 13, 2018 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on February 27, 2018.

Response: *Comment acknowledged.*

I.23 The projected City Council meeting dates for this case will be March 19, 2018 [1st Reading] & April 2, 2018 [2nd Reading].

Response: *Comment acknowledged.*

We appreciate this opportunity to respond to your comments. Please contact me if you need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Kevin C. Kessler".

Kevin C. Kessler, P.E.

Project Manager

214.920.8106

Kevin.Kessler@Jacobs.com

KCK/shb

CITY OF ROCKWALL

ORDINANCE NO. 18-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 7 (SF-7) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 262.06-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 43, 43-01, 44 & 44-01 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses, on a 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a

condition of approval of the amended zoning classification for the *Subject Property*,

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* An *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and an *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and

each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 9. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 10. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF APRIL, 2018.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 19, 2018

2nd Reading: April 2, 2018

Exhibit 'B':
Legal Description and Survey

SITUATED in Rockwall County, Texas in the W.W. Ford Survey, abstract no. 80, being a survey of part of the 290 acre tract described in a deed from J. O. Wallace and wife, Mary E. Wallace to J.H. Wallace, dated September 19, 1947, recorded in volume 42, page 616 of the Rockwall County deed records, being described by metes and bounds as follows:

BEGINNING at a ½ –inch iron pin set at the northeast corner of said 290 acre tract, at the extension of H. Wallace Lane from the south and east; same being the northwest corner of The Oaks of Buffalo Way, Phase I,

THENCE southerly with said H. Wallace Lane as follows:

South 00°56'49" East, with the west line of said The Oaks of Buffalo Way, Phase I, passing the west-southeast corner of said The Oaks of Buffalo Way, Phase I and the northwest corner of the Oaks of Buffalo Way, Phase II recorded in volume F, page 65 of the Rockwall County plat records at 814.17 feet and continuing with the west line of said The Oaks of Buffalo Way, Phase II, in all 1440.71 feet to a mag nail set;

South 01°06'14" East, with the west line of Willowcrest Estates, recorded in volume C, page 343 of the Rockwall County plat records, 1047.55 feet to a mag nail set;

THENCE South 44°02'34" West, 1262.91 feet to a ½ –inch iron pin set;

THENCE North 46°09'31" West, with the northeast line of the 3.00 acre tract recorded in volume 177, page 570, 497.07 feet to a ½-inch iron pin set at the north corner of said 3.00 acre tract;

THEN South 43°50'29" West, with the northwest line of said 3.00 acre tract, passing the west corner of said 3.00 acre tract and the north corner of the 5.17 acre tract at 261.36 feet and continuing with the northwest line of said 5.17 acre tract, in all, 711.86 feet to a 3/8-inch iron pin found at the west corner of said 5.17 acre tract; same being in the northwest line of the 5.00 acre tract recorded in volume 180, page 592;

THENCE North 46°09'27" West, with the northeast line of said 5.00 acre tract, 255.10 feet to a ½ inch iron pin set at the north corner of said 5.00 acre tract;

THENCE South 43°50'29" West, with the northwest line of said 5.00 acre tract, 461.50 feet to a ½-inch iron pin set at the west corner of said 5.00 acre tract;

THENCE South 46°09'31" East, with the southwest line of said 5.00 acre tract 3.01 feet to a ½–inch iron pin set at the north corner of the 5.00 acre tract recorded in volume 182, page 9;

THENCE South 43°50'29" West, with the northwest line of the last mentioned 5.00 acre tract, 410.04 feet to a ½-inch iron pin set in the northeast right-of-way line of Farm Road 3097(Horizon Road);

262.06 ACRES
M. W. FORD SURVEY
ABSTRACT NO. 80
CITY OF ROCKWALL
ROCKWALL COUNTY
TEXAS



City of Rockwall, Texas

**Exhibit 'C':
Concept Plan**

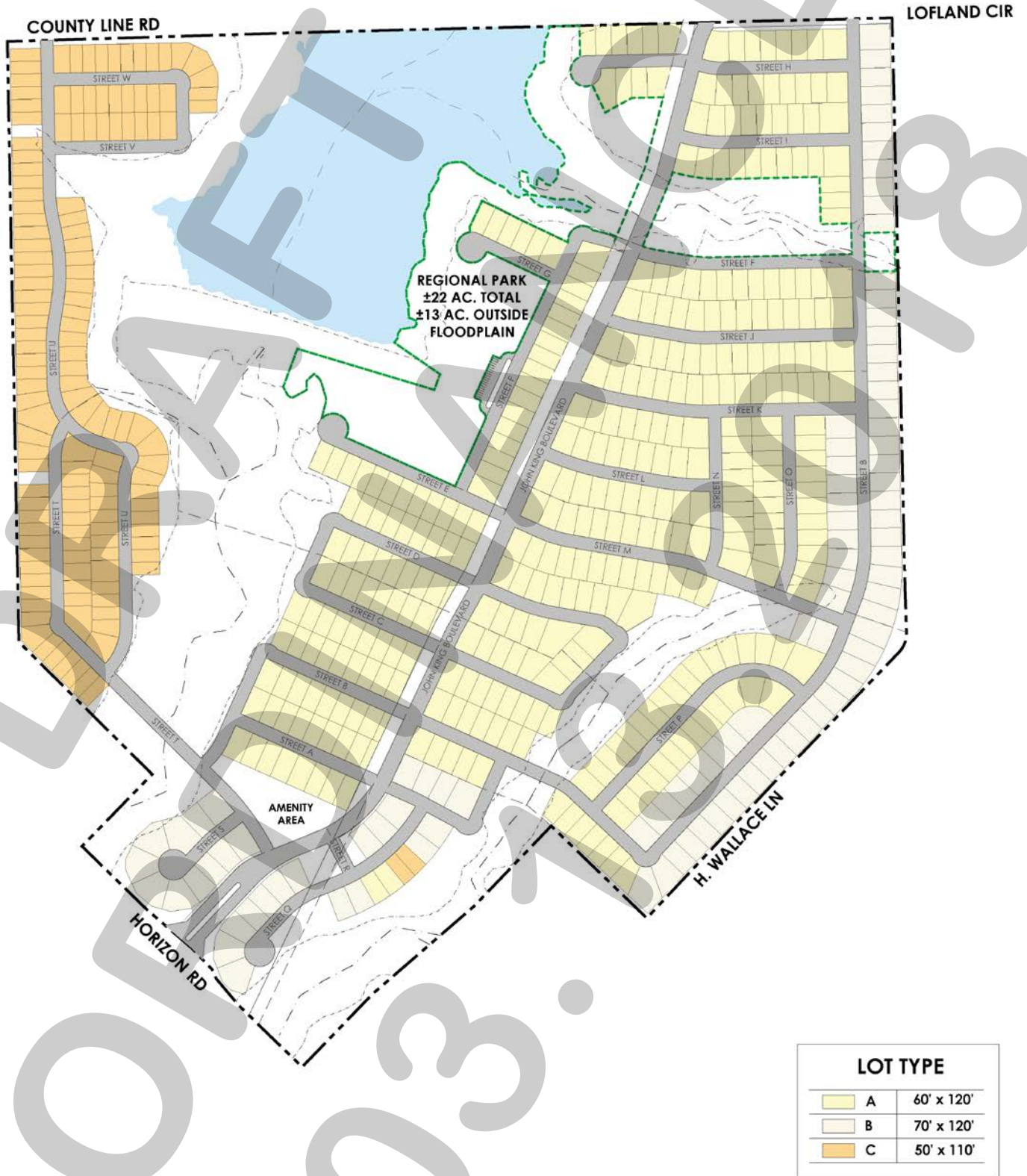


Exhibit 'D':
Density and Development Standards

Density and Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,200 SF	385	59.69%
B	70' x 120'	8,400 SF	110	17.05%
C	50' x 110'	5,500 SF	150	23.26%
Maximum Permitted Units:			645	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article V, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.50 dwelling units per gross acre of land; however, in no case should the proposed development exceed 645 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B	C
Minimum Lot Width ⁽¹⁾	60'	70'	50'
Minimum Lot Depth	120'	120'	110'
Minimum Lot Area	7,200 SF	8,400 SF	5,500 SF
Minimum Front Yard Setback ^{(2), (4) & (5)}	20'	20'	20'
Minimum Side Yard Setback	5'	5'	5'
Minimum Side Yard Setback (Adjacent to a Street)	15'	15'	15'
Minimum Length of Driveway Pavement	20'	20'	20'
Maximum Height ⁽³⁾	36'	36'	36'
Minimum Rear Yard Setback	15'	15'	15'
Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]	2,200 SF	2,500 SF	2,000 SF
Garage Orientation	J-Swing or Front	J-Swing or Front	J-Swing or Front
Maximum Number of Front Entry Garages Permitted	270	77	150
Maximum Lot Coverage	65%	65%	65%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: A minimum of 50% of the front entry garages for *Lot Type C* shall have a minimum setback of 25-feet.
- ⁵: Lots fronting onto a curvilinear street or cul-de-sac may have the lot width reduced by up to 20% (as measured from the front property line) provided that the lot width is met at the front building line.

Exhibit 'D':
Density and Development Standards

4. **Building Standards.** All development shall adhere to the following building standards:

- (a) **Masonry Requirement.** The minimum masonry requirement for the exterior façades of all buildings shall be 90%, with front façades being 100% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) shall be permitted through a Specific Use Permit (SUP) only. Siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible from any major thoroughfare (i.e. *John King Boulevard* and *Horizon Road* on Exhibit 'B' of this ordinance).
- (b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch. Rear elevations may have a 6:12 roof pitch.
- (c) **Garage Orientation.** Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a flat, front entry configuration (i.e. *even with the front façade of the primary structure*) in accordance with the requirements established in *Table 2: Lot Dimensional Requirements* of this ordinance. Garages utilizing a *traditional swing* (or *j-swing*) are permitted to have a second garage door facing the street behind the front façade of the primary structure. All garage doors shall be required to have upgraded finishes (e.g. *Carriage House Collection* by the *Overhead Door Corporation* or a *similar alternative -- to be approved by staff*) [an example of an enhanced garage is depicted in *Figure 1*]. All garage configurations not conforming to this section shall meet the requirements of Article VI, *Parking and Loading*, of the Unified Development Code (UDC).

Figure 1: *Enhanced Garage Example*

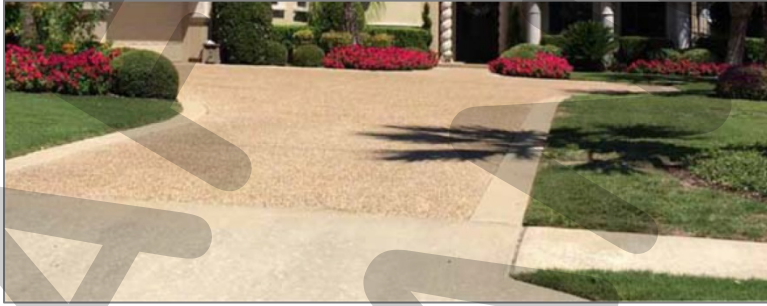


Exhibit 'D':
Density and Development Standards

- (d) *Driveways.* All driveways are required to incorporate upgraded finishes, treatments or materials [examples of upgraded finishes, treatments or materials is depicted in Figure 2]. No standard broom-finished concrete driveways shall be permitted; however, all upgraded finishes, treatments or materials shall be terminated at the property line.

Figure 2: *Enhanced Driveway Examples*

Aggregate Finish



Masonry Banding



Stamped Color Concrete



Rock Salt Finished Concrete



Exhibit 'D':
Density and Development Standards

5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3 : Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	60' x 120'	(1), (2), (3)
B	70' x 120'	(1), (2), (3)
C	50' x 110'	(1), (2), (3)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or adjacent thoroughfare shall not repeat without at least four (4) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
- (3) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Continued on Next Page ...

Exhibit 'D':
Density and Development Standards

Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.

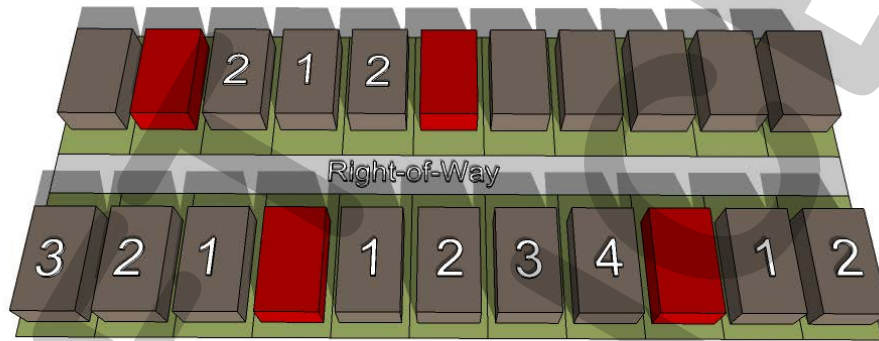


Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Wood Fences.** All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters.
 - (b) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (c) **Corner Lots.** Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (d) **Solid Fences (including Wood Fences).** All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

Exhibit 'D':
Density and Development Standards

7. Landscape and Hardscape Standards.

- (1) *Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless specifically provided below. The following tree species are approved for planting within this subdivision:
- (a) *Canopy/Shade Trees*. Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Allen Elm, Chinese Pistachio, Shumard Oak, Sycamore, Live Oak and Burr Oak.
 - (b) *Accent/Ornamental/Under-Story Trees*. Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (2) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (a) *Landscape Buffer and Sidewalks (Horizon Road)*. A minimum of a 20-foot landscape buffer shall be provided along Horizon Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.
 - (b) *Landscape Buffers (Wallace Lane)*. A minimum of a 10-foot landscape buffer shall be provided along Horizon Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate one (1) canopy tree per 20-feet of linear frontage.
 - (c) *Landscape Buffers (John King Boulevard)*. A minimum of a 10-foot landscape buffer shall be provided along John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate one (1) canopy tree per 50-feet of linear frontage.
- (3) *Streetscape Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), all residential, single-family lots situated within the proposed subdivision shall be landscaped with canopy trees in the following sizes and proportions:
- (i) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - (ii) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two (2), three (3) inch caliper trees shall be planted in the side yard facing the street.

Note: For the purposes of this section only [i.e. Section 7(3)], the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

Exhibit 'D':
Density and Development Standards

- (4) *Street Trees.* The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines.
- (5) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA). Landscape irrigation will not be required in *Native/Natural* areas near the NRCS lake dam, overflow structure and floodplain areas proposed to be left undisturbed.
- (6) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
9. *Curbing.* Lay down curbing may be incorporated on street sections that are approved by the City of Rockwall Engineering Department and City Council, and shall be required to be indicated on the *Preliminary Plat*.
10. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
11. *Sidewalks.* All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
12. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
13. *Open Space.* The development shall consist of a minimum of 20% open space (*or a minimum of 52.412-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (*including landscape buffers*) shall be maintained by the Homeowner's Association (HOA).
14. *Neighborhood Signage and Enhancements.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision in

Exhibit 'D':
Density and Development Standards

general conformance to the signage depicted in *Figure 3*. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.

Figure 3: *Neighborhood Signage*



The developer shall provide enhanced landscaping areas within the *Subject Property* as generally depicted in *Figure 4*. The final design of these areas shall be provided on the *PD Site Plan*.

Figure 4: *Landscaping Enhancement Areas*



Exhibit 'D':
Density and Development Standards

15. *Drainage Standards.* The development shall comply with existing drainage standards including the permissible spread of water in the streets and permissible gutter flow through intersections as outlined in the City of Rockwall's *Standards of Design and Construction*. The proposed drainage areas, flow patterns, and storm drain system that will be constructed shall be based on the City's drainage criteria and be identified on a *Conceptual Drainage Plan*, which shall be submitted with the *Civil Plans* at the time of *Engineering* submittal. The *Conceptual Drainage Plan* shall be reviewed and approved by the Engineering Department in compliance with engineering standards.
16. *Amenity Center.* The development shall include a fully established turfed and irrigated private *Amenity Center* as general depicted in *Exhibit 'C'* of this ordinance and as depicted in *Figure 5*. The final design of the *Amenity Center* will be determined with the *PD Site Plan*. In addition, this area shall incorporate the following improvements:
- (a) Upgraded Playground Facilities
 - (b) Covered Shade Structure
 - (c) Swimming Pool
 - (d) Picnic Area
 - (e) Benches
 - (f) Landscaping Features (*including upgraded planting beds, canopy trees and ornamental trees*)

Figure 5: *Amenity Center Layout*



17. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open

Exhibit 'D':

Density and Development Standards

space and common areas (*including drainage facilities*), irrigation, landscaping, amenity center, screening fences and neighborhood signage associated with this development.

18. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

CITY OF ROCKWALL

CITY COUNCIL MEMO

AGENDA DATE: 03/19/2018

APPLICANT: Kevin Kessler, PE; *Jacobs Engineering, Inc.*

AGENDA ITEM: **Z2018-010**; *Zoning Change (AG to PD) for the Wallace Tract*

SUMMARY:

Hold a public hearing to discuss and consider a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

BACKGROUND:

The subject property is a 262.06-acre tract of land that is generally located at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and which is commonly referred to as the *Wallace Tract*. A 1,000-foot strip of this property -- *fronting along Horizon Road [FM-3097]* -- was annexed into the City of Rockwall on May 17, 2004 by *Ordinance No. 04-38 [Case No. A2004-001]*. The remainder of the property was annexed on February 18, 2008 by *Ordinance No. 08-13 [Case No. A2008-001]*. At the time of annexation, the subject property was zoned as an Agricultural (AG) District. No portion of the subject property has been rezoned since the property was annexed. According to the Rockwall County Appraisal District (RCAD), the subject property currently has a 1,940 SF single-family home (*i.e. 1,140 SF house with an 800 SF carport*) and a 4,000 SF barn. The remainder of the subject property is currently vacant. At the northeast corner of the subject property, is approximately 40.0-acres of Blackland Prairie, which is an ecological region of natural prairie land that extends through *North Texas*.

PURPOSE:

On March 16, 2018, the applicant -- *Kevin Kessler, PE with Jacobs Engineering, Inc.* -- submitted an application requesting to establish a Planned Development District on the subject property. Specifically, the applicant was proposing to entitle the subject property for a 645 lot residential subdivision that will incorporate lots that range in size from 50' x 110' to 70' x 120', and have an overall density of 2.50 dwelling units per acre. The Planned Development District would be subject to Single Family 7 (SF-7) District land uses and development standards (*unless specifically indicated in the Planned Development District ordinance*).

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this thoroughfare is the eastside of the Lake Rockwall Estates subdivision, which is zoned Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] for Single Family 7

(SF-7) District land uses. Adjacent to this property on the eastside of Lake Rockwall Estates is an 84.0-acre vacant tract of land being a portion of a larger 144.0-acre tract of land identified as Tract 3 of the J. R. Johnson Survey, Abstract No. 128. This property is zoned Agricultural (AG) District.

South: Directly south of the subject property is Horizon Road [FM-3097], which is designated as a M4D (*i.e. minor collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is the City's corporate boundaries followed by the City of Heath. On the eastside, south of the subject property is H. Wallace Lane, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this are several residential land uses zoned Agricultural (AG) and Single Family Estate 1.5 & 2.0 (SFE-1.5 & SFE-2.0) Districts. In addition, there are several office buildings zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses. These uses are a part of the Alliance Addition.

East: Directly east of the subject property is H. Wallace Lane, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this are the Oaks of Buffalo Way and Willowcrest Estates Subdivisions, which consist of 91 single-family residential lots. These subdivisions are zoned Single Family Estate 1.5 (SFE-1.5) District and Planned Development District 51 (PD-51) for single-family estate land uses.

West: Directly west of the subject property are several non-residential properties zoned Commercial (C) District. Beyond this is Ranch Trail Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan.

CHARACTERISTICS OF THE REQUEST:

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 262.06-acre subject property will consist of 645 single-family residential lots that will be broken down into three (3) lot types (*i.e. 50' x 110', 60' x 120' and 70' x 120'*). Specifically, the development will incorporate 150, 50' x 110' (*i.e. 5,500 SF*) lots, 385, 60' x 120' (*i.e. 7,200 SF*) lots and 110, 70' x 120' (*i.e. 8,400 SF*) lots, and have an overall average lot size of ~7,000 SF. The proposed minimum area of each dwelling unit (*i.e. air-conditioned space*) will vary based on the lot size and range from 2,000 SF to 2,500 SF. The overall proposed density for the development will be 2.50 dwelling units per acre.

The proposed housing product will meet the City's minimum masonry requirements and anti-monotony standards, and will incorporate a mixture of *traditional swing (i.e. j-swing)* and *flat front entry* garages. Specifically, the applicant is proposing to incorporate 100% *flat front entry* garages for the 50' x 110' lot product and 70% *flat front entry* garages on the remaining product types. This departs from the City's minimum standards and will require discretionary approval from the City Council. With this being said, staff should note that the applicant has incorporated language into the Planned Development District ordinance that would require homes to incorporate an enhanced garage door and driveway finish. Examples of these have been provided in the attached Planned Development District ordinance.

The concept plan also depicts the inclusion of a 22.00-acre park that consists of 13.00-acres of land outside of the floodplain and nine (9) acres of floodplain. This does meet the City's minimum neighborhood park requirements -- *which requires a minimum dedication of 11.00-acres of land outside of the floodplain* --, but will require discretionary approval by the City Council, pending recommendation by the Parks and Recreation Board, along with the *Master Plat/Open Space Master Plan*. It should be noted that the concept plan also depicts a dedicated parking lot adjacent to the parkland. Overall, the proposed development will incorporate approximately 73.25-acres or 27.95% open space (*i.e. 77.50-acres of floodplain calculated at a 1.0:0.5 ratio or 38.75-acres of land and 34.50-acres of non-floodplain land*). In addition, the concept plan indicates the incorporation of an

amenity center and the applicant has provided a layout for the amenity center lot. The applicant has also provided staff with a map showing areas that are anticipated to incorporate enhanced landscape elements, and incorporated language into the Planned Development District ordinance stating that these areas will be designed at the time of *PD Site Plan*. The amenity center layout and map of enhanced landscape areas have been incorporated into the Planned Development District ordinance.

The Planned Development District will be subject to the land uses and requirements stipulated for the Single Family 7 (SF-7) District unless specifically called out in the Planned Development District ordinance. A summary of the proposed development standards for each lot type is as follows:

<i>Lot Type (see Concept Plan) ►</i>	A	B	C
<i>Minimum Lot Width ⁽¹⁾</i>	60'	70'	50'
<i>Minimum Lot Depth</i>	120'	120'	110'
<i>Minimum Lot Area</i>	7,200 SF	8,400 SF	5,500 SF
<i>Minimum Front Yard Setback ^{(2), (4) & (5)}</i>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i>	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height ⁽³⁾</i>	36'	36'	36'
<i>Minimum Rear Yard Setback</i>	15'	15'	15'
<i>Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]</i>	2,200 SF	2,500 SF	2,000 SF
<i>Garage Orientation</i>	<i>J-Swing or Front</i>	<i>J-Swing or Front</i>	<i>J-Swing or Front</i>
<i>Maximum Number of Front Entry Garages Permitted</i>	270	77	150
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: A minimum of 50% of the front entry garages for *Lot Type C* shall have a minimum setback of 25-feet.
- ⁵: Lots fronting onto a curvilinear street or cul-de-sac may have the lot width reduced by up to 20% (*as measured from the front property line*) provided that the lot width is met at the front building line.

INFRASTRUCTURE:

Based on the applicant's submittal the following infrastructure is required:

Water Improvements

The Water Distribution Master Plan indicates that a 12-inch waterline will need to be constructed along John King Boulevard, Lofland Circle and Cullins Road. In addition, a 12-inch waterline will need to be constructed along H. Wallace Lane from Horizon Road [FM-3097] to S. Goliad Street [SH-205]. Any portion of this line that is off-site and oversized will be eligible for pro-rata facilities agreement.

Sewer Improvements

The Wastewater Collection System Master Plan indicates that a 12-inch sewer line will need to be installed from County Line Road to Horizon Road [FM-3097]. This will also require full upgrades -- *including appurtenances* -- to the ultimate capacity of the two (2) downstream, existing lift stations. In addition, the applicant will be required to pay a \$432.74 per acre pro-rata fee for improvements installed previously.

Roadways

The Master Thoroughfare Plan contained in the Comprehensive Plan indicates that certain roadways will need to be upgraded with this development. Specifically, the applicant would be responsible for the dedication of right-of-way and proportional improvements of the following roadways:

- (1) H. Wallace Lane is identified on the Master Thoroughfare Plan as a *Minor Collector*, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible for 24-feet of this roadway along the subject property's frontage along the existing H. Wallace Lane.
- (2) John King Boulevard is identified as a M4U (*i.e. minor collector, [4] lane, undivided roadway*) on the Master Thoroughfare Plan, which requires a minimum of a 65-foot right-of-way with a 45-foot, *back-to-back* roadway. The applicant is responsible for 100% of this roadway (*i.e. dedication and construction*) through the subject property.
- (3) Cullins Road is identified as a *Minor Collector* on the Master Thoroughfare Plan, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible for 100% of this roadway (*i.e. dedication and construction*) through the subject property extending from John King Boulevard to H. Wallace Lane.
- (4) County Line Road is identified as a *Minor Collector* on the Master Thoroughfare Plan, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible for 24-feet of this roadway (*i.e. dedication and construction*) adjacent to this roadway.
- (5) Lofland Circle is identified as a *Minor Collector* on the Master Thoroughfare Plan, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible for 24-feet of this roadway (*i.e. dedication and construction*) adjacent to this roadway.
- (6) Horizon Road [FM-3097] is identified as M4D (*minor collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan, which requires a minimum of an 85-foot right-of-way with two (2), 25-foot *back-to-back* streets and a 14-foot median. The applicant is only responsible for the 85-feet of right-of-way; however, staff is requesting that the applicant reserve additional right-of-way up to 120-feet (*i.e. 60-feet from the centerline*) for future TXDOT roadway expansion. Staff has added this as a condition of approval.

The applicant has submitted a letter requesting that the City Council amend the Master Thoroughfare Plan to, "...call for no expansion to the existing Wallace Lane to reflect the road's sparsely traveled status." They also point out that they have oriented their development so that it will not take access from H. Wallace Lane. The concept plan does show the provision of John King Boulevard; however, it is unclear if this roadway will be built to the M4U (*i.e. minor collector, [4] lane, undivided roadway*) standards required by the current Master Thoroughfare Plan. Recently staff has looked into the possibility of reducing the section of John King Boulevard, from S. Goliad Street [SH-205] to Horizon Road [FM-3097], from a M4U to a *Minor Collector* and will be proposing this change with the future revisions to the Master Thoroughfare Plan; however, this has not been proposed to the City Council and will require their discretionary approval before this change is incorporated into the plan. With regard to County Line Road and Lofland Circle, the applicant indicated at the February 27, 2018 Planning and Zoning Commission Work Session meeting that the development will be dedicating the necessary right-of-way for these roadways, but is not proposing to improve these right-of-ways. Staff should note that the City is currently in the acquisition of right-of-way phase of improving County Line Road and that the improvements to this roadway were included in the budget for this Capital Improvements Project (CIP) (*with the exception of the sidewalk which will be the applicant's responsibility at the time of construction*). In addition, the concept plan does not show the incorporation of Cullins Road. Based on this information the City Council will need to [1] waive the improvements to County Line Road and Lofland Circle, and [2] amend the Master Thoroughfare Plan to remove H. Wallace Lane and Cullins Road and [3] reduce the designation of John King Boulevard (*from S. Goliad Street [SH-205] to Horizon Road [FM-3097]*) to a *Minor Collector*. These changes are discretionary for the City Council.

CONFORMANCE WITH THE CODES:

While the proposed Planned Development District does conform to many of the City's code requirements, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code

(UDC), Municipal Code of Ordinances and the Engineering Department's *Standards of Design and Construction* Manual in the following ways:

- ☑ According to the Engineering Department's *Standards of Design and Construction* Manual, "(t)he City Council may waive the residential alley requirement upon determination by the Council, if it is in the best interest of the City." (*Section 2.11; Page 14*) In addition, the Unified Development Code (UDC) requires that all garages that are accessible from the street be configured in a *traditional swing (i.e. j-swing)* or *recessed front entry* garage format (*i.e. the garage is setback a minimum of 20-feet from the front façade of the primary structure*). In lieu of alleyways, the applicant is proposing *flat front entry* garages on 100% of the 50' x 110' lots and 70% on the remaining lot types (*i.e. 270, 60' x 70' lots and 77, 70' x 120' lots*). The remainder of the garages will be either *traditional swing (i.e. j-swing)* or *recessed front entry* product type. It should be noted that the applicant is requiring the use of upgraded garage doors and driveways, and examples of these have been incorporated into the Planned Development District ordinance. This could help offset the use of the *flat front entry* garages; however, this remains a discretionary decision for the City Council.
- ☑ The *Typical Thoroughfare Cross Sections* depicted in *Figure 2.1.B (Page 8)* of the Engineering Department's *Standards of Design and Construction* Manual require a minimum of a six (6) inch curb on all minor collector and residential street cross sections. The applicant is proposing a street cross section that incorporates a *Lay Down Curb (also referred to as a Roll Up Curb)*. This will require discretionary approval by the City Council. Staff should note that when *Lay Down* or *Roll Up Curbs* are utilized it shrinks the space for City utilities by one (1) foot on either side of the roadway (*i.e. two [2] feet overall*).

By approving the proposed Planned Development District, the City Council is waiving these standards.

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The zoning proposal generally conforms to the majority of the residential policies and guidelines contained in the Comprehensive Plan; however, in reviewing the proposed concept plan staff has identified the following items and made the following suggestions to the applicant concerning how to bring the request closer into conformance with the Comprehensive Plan:

- (1) *All residential lots which are 16,000 SF or less should be served by an alley [Land Use Policies; #9(b)].*

In lieu of alleyways, the applicant is proposing a mixture of *flat front entry* and *traditional swing* garages. Specifically, the applicant is proposing that 100% of the 50' x 110' lots be *flat front entry* garages and 75% of the 60' x 120' lots and 70' x 120' lots be *flat front entry* garages. In response to this staff has suggested that the applicant consider reducing the *flat front entry* product type to 30% or less of the overall garages, and consider all *flat front entry* garages incorporate a minimum of a 25-foot front yard setback to ensure that vehicles parked in the driveways will not encroach into public right-of-way. In the applicant's comments, the applicant has agreed to require a 25-foot front yard building setback on 50% of the 50, x 110' lots. The remainder of the 50' x 110' lots and other *flat front entry* product types would incorporate a 20-foot front yard building setback. This has been incorporated into the Planned Development District ordinance.

- (2) *Single-family lots adjacent to open space should be front loaded for the purpose of maximizing the value of the adjacent single-family homes, preserving view corridors along the streetscapes, and to better optimize the use of open space within the development [Resolution 07-03; 1.d.vii & 1.d.x].*

The applicant has stated that they have amended the concept plan to incorporate more front loaded homes (*i.e. single loaded streets*).

- (3) *Increased street connectivity for safety and access can be achieved by removing unnecessary cul-de-sacs [Transportation Section; Pages 50-55/John King Boulevard Design Concept Plan; Section 5].*

The applicant has stated that they have reduced the number of cul-de-sacs depicted on the concept plan by 30% from the original submittal.

Future Land Use Map and Proposed Density

The applicant's proposed residential density falls within the Low Density Residential land use designation, which according to the Comprehensive Plan, "(l)ow density residential [*land use designation*] is defined as less than two (2) units per acre; however, a density up to two and one-half (2.5) units per gross acre may be allowed within a residential Planned Development District that includes the dedication and/or development of additional amenities exceeding the minimum standards for residential Planned Developments." The additional amenities are described as: [1] parks and open space, [2] golf course, [3] neighborhood amenity/recreation center, [4] integration of schools into the community fabric, [5] development of trails and parks in floodplains, and [6] development of municipal parks and recreation facilities.

In this case, the applicant is proposing a density of 2.50 dwelling units per gross acre, which requires additional amenities to justify the increased ½-unit per acre density. The proposed concept plan does show the provision of a [1] neighborhood amenity/recreation center, [2] additional dedication of open space (*i.e. 27.95% or 73.25-acres*), and [3] the dedication of a public park; however, as mentioned previously the public park will require a future discretionary decision of the City Council at the time of *Master Plat/Open Space Master Plan*. These provisions may constitute an increased amenity and warrant the increase in density; however, this is discretionary to the City Council.

In addition, the Future Land Use Map contained within the Comprehensive Plan, designates the subject property for Low Density Residential, Medium Density Residential, and Parks and Open Space land uses. Staff has verified that the subject property has been designated under these land use categories since the 2012 Comprehensive Plan Update. The proposed zoning change does conform to the Future Land Use Map; however, it does necessitate a change to the map to adjust the Parks and Open Space and Medium Density Residential land use designations. Should the City Council choose to approve the applicant's request staff has included a condition of approval that would amend the Future Land Use Map to reflect this change.

NOTIFICATION:

On February 27, 2018, staff mailed 170 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Oaks of Buffalo Way Homeowner's Associations (HOA), which is the only HOA/Neighborhood Organization that is within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property as required by the UDC. At the time this report was drafted, staff had received 29 notices and eight (8) emails in opposition and one (1) notice in support of the request.

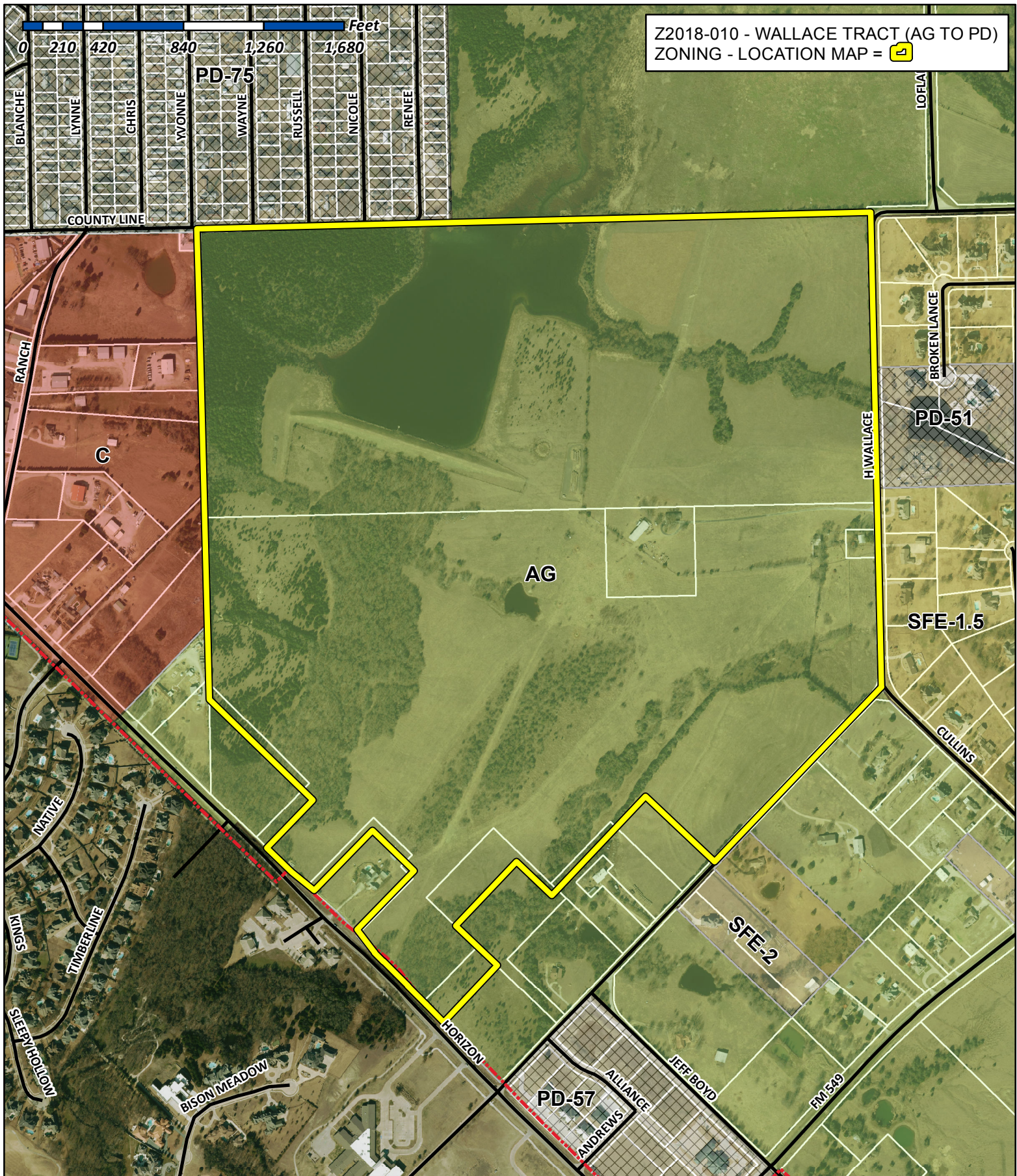
RECOMMENDATIONS:

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses, then staff would propose the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance;
- 2) At the time of final plat the applicant will be required to put any additional right-of-way for Horizon Road -- *up to 120-feet (i.e. 60-feet from the centerline)* -- into a reserve to ensure sufficient right-of-way provision for TXDOT expansion;
- 3) Amend the Master Thoroughfare Plan in the Comprehensive Plan to remove H. Wallace Lane and Cullins Road, and reduce the designation of John King Boulevard -- *from S. Goliad Street [SH-205] to Horizon Road [FM-3097]* -- to a *Minor Collector*;
- 4) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of portions of the subject property from *Parks and Open Space* and *Medium Density Residential* designation to a *Low Density Residential* designation; and,
- 5) Any construction resulting from the approval of this *zoning change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On March 13, 2018, the Planning and Zoning Commission approved a motion to recommend denial of the applicant's request by a vote of 4-1, with Commissioner Fishman dissenting and Chairman Lyons and Commissioner Trowbridge absent. According to Section 8.4, *Protest of Proposed Change in Zoning*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC), "(i)f such change [*zoning change*] is recommended for denial by the Planning and Zoning Commission, such change in zoning shall require a favorable vote of three-fourths ($\frac{3}{4}$) of all eligible member of the City Council."



City of Rockwall

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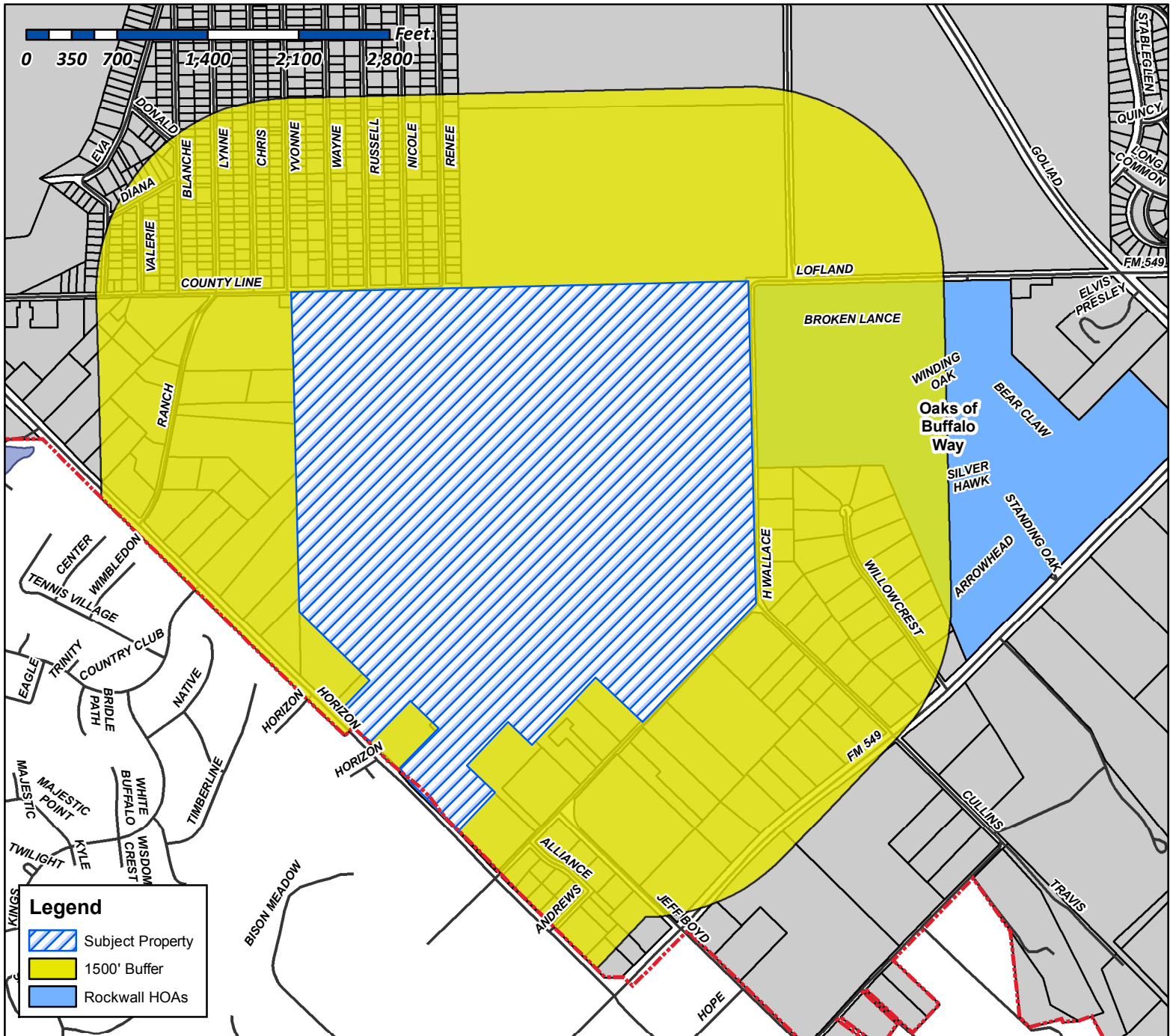
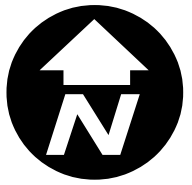




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Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

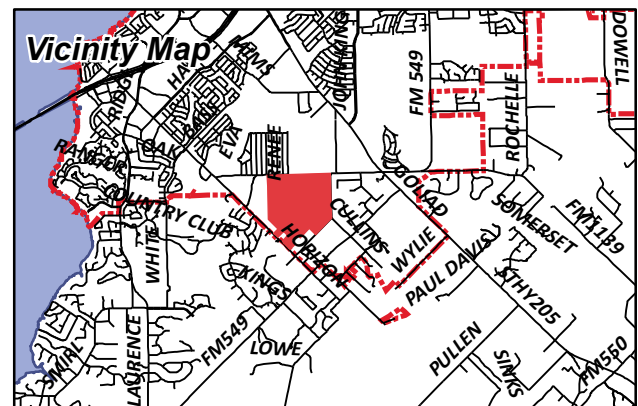
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2018-010
Case Name: Wallace Tract (AG to PD)
Case Type: Zoning
Zoning: AG
Case Address: Tract Bound by Horizon Road
H Wallace Lane and County Line Road

Date Created: 02/19/2018

For Questions on this Case Call (972) 771-7745



From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)
Subject: Neighborhood Notification Program: Notice of zoning request
Date: Wednesday, February 28, 2018 4:12:33 PM
Attachments: [PUBLIC NOTICE.pdf](#)

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request will be published in the Rockwall Herald Banner **March 2, 2018**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <https://sites.google.com/site/rockwallplanning/development-cases>

Z2018-010- Hold a public hearing to discuss and consider a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

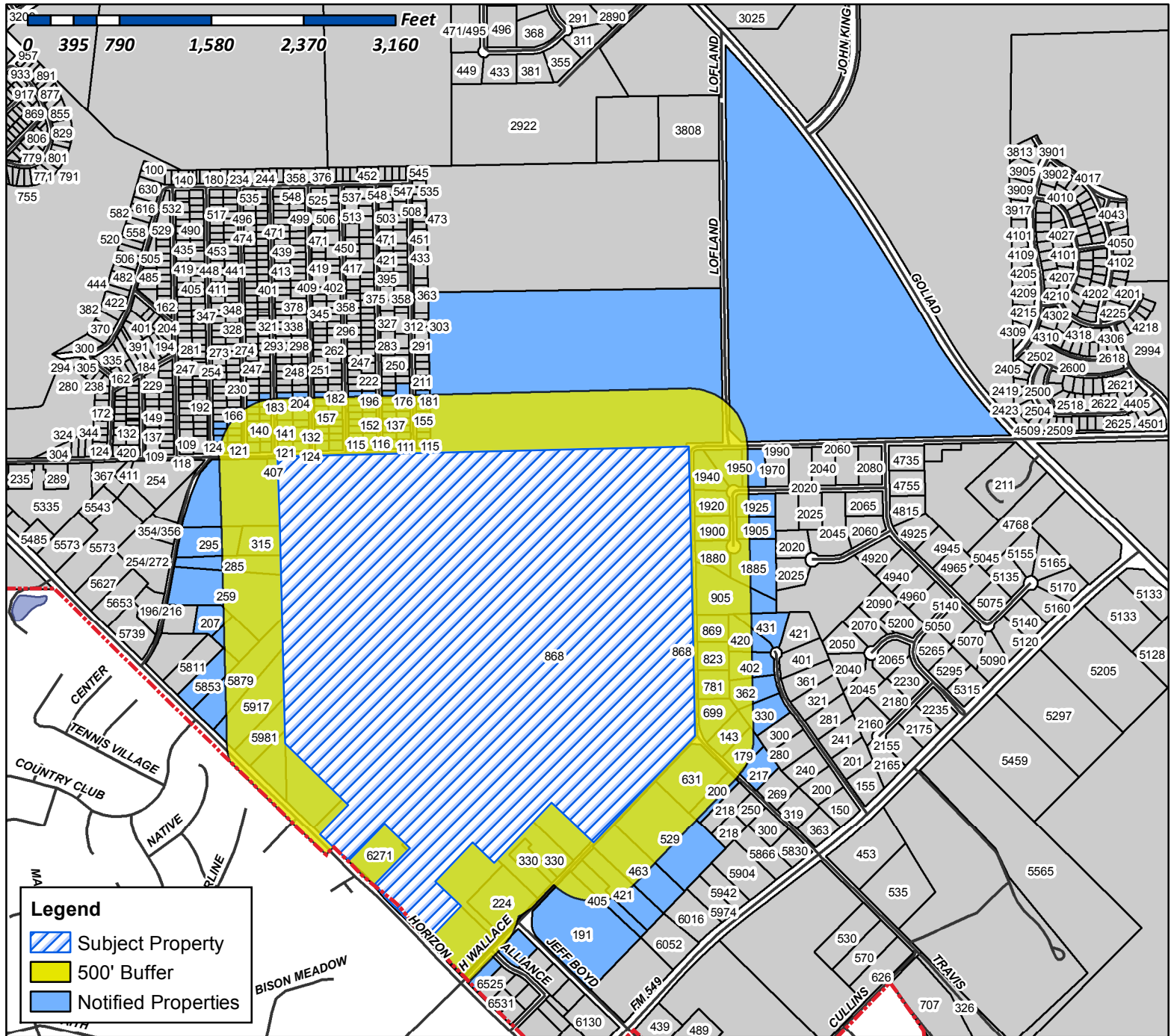
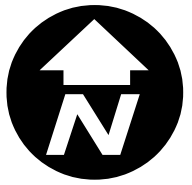
Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
Lmorales@rockwall.com | <http://www.rockwall.com>



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

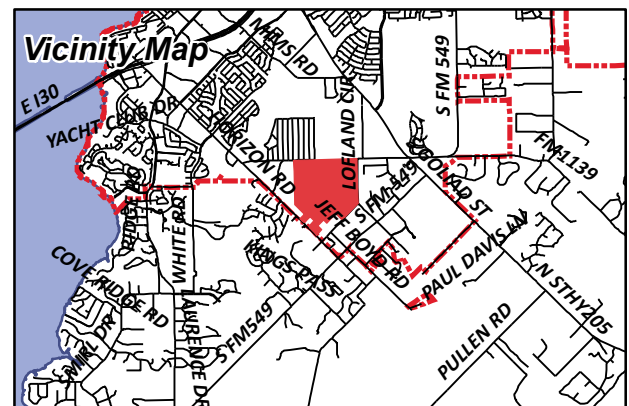
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Zoning: AG
Case Address: Tract Bound by Horizon Road
H Wallace Lane and County Line Road

Date Created: 02/19/2018

For Questions on this Case Call (972) 771-7745



LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

TAYLOR CLIFF AND SHEENA
106 YORKSHIRE DR
HEATH, TX 75032

ARCHIBALD L D & CARLA R REVOCABLE
LIVING TRUST
1100 SW MCKINNEY ST LOT 179
RICE, TX 75155

SERRANO RAMON AND LORENA AMAYA
111 NICOLE DR
ROCKWALL, TX 75032

LUECKE PATRICIA L MRS
1110 OAKMONT DR
RICHARDSON, TX 75081

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
115 WAYNE DR
ROCKWALL, TX 75032

DIAZ CARLOS O &
YOVANA M CHAVEZ
115 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
116 NICOLE
ROCKWALL, TX 75032

CURRENT RESIDENT
116 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
118 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

CURRENT RESIDENT
121 LYNNE DR
ROCKWALL, TX 75032

PARTIDA EDUARDO A AND IRMA
121 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
124 YVONNE DR
ROCKWALL, TX 75032

DE SANTIAGO OSCAR MANUEL ACOSTA
124 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
125 WAYNE DR
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

VASQUEZ FRANSISCO
125 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
127 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
128 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
130 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
130 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
131 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
132 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
133 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
135 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
137 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
139 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

IBARRA MATEO CASTRO
140 NICOLE DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
142 RUSSELL DR
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
143 WAYNE DR
ROCKWALL, TX 75032

PINKSTON RONALD L & KAREN L
143 CULLINS RD
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
149 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
150 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
152 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
154 RENEE DR
ROCKWALL, TX 75032

MARQUEZ FELIX C
154 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
155 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
155 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
157 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
157 WAYNE DR
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO
158 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 NICOLE DR
ROCKWALL, TX 75032

FIDGER BRIAN
C/O LIGHTHOUSE REALTY
1592 NORTH HILLS DR
ROCKWALL, TX 75087

JTS ALLIANCE INC
16 MEADOWLAKE DR
HEATH, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA
162 RENEE DR
ROCKWALL, TX 75032

AGUILLON JOSE LUIS
163 BASS RD
ROCKWALL, TX 75032

CURRENT RESIDENT
164 NICOLE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
167 RUSSELL DR
ROCKWALL, TX 75032

VASQUEZ JESUS
167 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
168 RUSSELL DR
ROCKWALL, TX 75032

CURRENT RESIDENT
169 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
171 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
172 YVONNE DR
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
176 NICOLE DR
ROCKWALL, TX 75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX 75032

NAYLOR DAVID A AND SARAH R
179 CULLINS
ROCKWALL, TX 75032

CURRENT RESIDENT
180 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
181 RENEE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
181 RUSSELL DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
182 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ FELICITAS
183 NICOLE DR
ROCKWALL, TX 75032

YANEZ FERNANDO AND
JUAN A YANEZ
183 YVONNE
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL
GELLY DELROSARIO
186 NICOLE DR
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R
186 NICOLE DR
ROCKWALL, TX 75032

BRECHEN DAN & KAREN
1880 BROKEN LANCE LN
ROCKWALL, TX 75032

POLLOCK MICHAEL
1885 BROKEN LANCE LN
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

LYON ROBERT CHARLES
1900 BROKEN LANCE LANE
ROCKWALL, TX 75032

WALKER WILLIAM G JR & TRACY L
1905 BROKEN LANCE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
191 RENEE DR
ROCKWALL, TX 75032

HUNT JACKSON W JR
191 JEFF BOYD RD
ROCKWALL, TX 75032

WESTMORELAND WILBUR A &
KERI L
1920 BROKEN LANCE LN
ROCKWALL, TX 75032

AVILA LUZ MARIA
1924 DEVONSHIRE
GARLAND, TX 75041

SAFIEDDINE RABIH AND LAURIE ANN BARAKAT
1925 BROKEN LANCE LN
ROCKWALL, TX 75032

HUFF BILLY AND CHRISTA
193 RUSSELL DR
ROCKWALL, TX 75032

HUFF BILLY AND CHRISTA
193 RUSSELL DR
ROCKWALL, TX 75032

CARMONA JOSE
194 RENEE DRIVE
ROCKWALL, TX 75032

BADER MARKUS AND KIMBERLY
1940 BROKEN LANCE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
195 NICOLE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
195 WAYNE DR
ROCKWALL, TX 75032

PODLESKI GREGG T & MARIANNE
1950 BROKEN LANCE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
196 NICOLE DR
ROCKWALL, TX 75032

BENGE TRACY L & JAY D
1970 BROKEN LANCE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
198 RUSSELL DR
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX
20 CALLE DEL SOL
SAN JUAN, PR 00901

RAMIREZ RUBIN & MARTHA
200 CHAMBERLAIN DR
FATE, TX 75189

LAMBE ROBERT J & DONNA
200 CULLINS RD
ROCKWALL, TX 75032

CROWN CASTLE TOWERS 09 LLC
2000 CORPORATE DRIVE
CANONSBURG, PA 15317

MEZA FRANCISCO J AND YOLANDA S
2004 MIDLAKE
ROCKWALL, TX 75032

YANEZ JUAN
201 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
204 WAYNE DR
ROCKWALL, TX 75032

MEDINA MARIA V AND
MARITZA ALONSO
204 YVONNE
ROCKWALL, TX 75032

2-W BROTHERS LLC
207 RANCH TRL
ROCKWALL, TX 75032

THRASH LEFTY & MARTHA
217 CULLINS RD
ROCKWALL, TX 75032

DAVID B RENO II & PATRICIA J RENO REVOCABLE
LIVING TRUST
218 RUSSELL DRIVE
ROCKWALL, TX 75032

MORTON MARGARET ANNE WALLACE
224 H WALLACE LN
ROCKWALL, TX 75032

ACKERT MARY J MRS
2241 HIGHWOOD DR
DALLAS, TX 75228

MCMULLEN KENNETH & SANDRA A
259 RANCH TRL
ROCKWALL, TX 75032

JIMENEZ RICARDO
2847 TANGLEGLEN DR
ROCKWALL, TX 75032

CURRENT RESIDENT
285 RANCH TRL
ROCKWALL, TX 75032

CURRENT RESIDENT
295 RANCH TRAIL
ROCKWALL, TX 75032

EPIC ROCKWALL VENTURES LLC
315 RANCH TR
ROCKWALL, TX 75032

WALLACE DONALD J & CATHERINE
330 H WALLACE LN
ROCKWALL, TX 75032

WALLACE DONALD J
330 H WALLACE LN
ROCKWALL, TX 75032

ADAMS JEFFREY BLAKE & CATHY
330 WILLOWCREST
ROCKWALL, TX 75032

HARDIN DENNIS & JOLYNN JONES
34 LAKEWAY DR
HEATH, TX 75032

CONTRERAS JUANA
353 CHRIS DR
ROCKWALL, TX 75032

BAUGHER JAMES M AND
MARY BETH BAUGHER
362 WILLOWCREST
ROCKWALL, TX 75032

MOREAU KIMBERLYN G & STEPHEN M
402 WILLOWCREST
ROCKWALL, TX 75032

KRECEK JANETTE C
405 H WALLACE LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
407 RANCH TRAIL
ROCKWALL, TX 75032

OLGUIN CIRILO
412 CHRIS DR
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR AND
DIANA DOMINGUEZ
420 LYNNE DR
ROCKWALL, TX 75032

MILLER JASON D & JANITH L
420 WILLOWCREST
ROCKWALL, TX 75032

INGHAM JULIE A AND MARK A
421 H WALLACE LN
ROCKWALL, TX 75032

DRCE TRUST
4219 ASHMONT CT
DALLAS, TX 75287

SWAIN BRENT MERRICK
431 WILLOWCREST
ROCKWALL, TX 75032

CLEM MILFORD
433 THISTLE DR
GARLAND, TX 75043

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

WILCK PAUL J JR
463 H WALLACE LN
ROCKWALL, TX 75032

MORENO NOE
474 BASS RD
ROCKWALL, TX 75032

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

MCCOSH GORDON ETUX
529 H WALLACE LN
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST DRIVE CT
GOLDEN, CO 80403

CURRENT RESIDENT
5853 FM3097
ROCKWALL, TX 75032

MCCOY SHIREE DAY
5879 FM 3097
ROCKWALL, TX 75032

CURRENT RESIDENT
5917 FM3097
ROCKWALL, TX 75032

BINDER CARL JR
5981 FM 3097
ROCKWALL, TX 75032

SHEPHERD PLACE HOMES INC
620 ROWLETT RD
GARLAND, TX 75043

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

WALLACE JOHN H JR
6271 HORIZON RD
ROCKWALL, TX 75032

WALLACE MICHAEL
6271 HORIZON ROAD
ROCKWALL, TX 75032

LATHAM REX K ET UX
631 H WALLACE LN
ROCKWALL, TX 75032

STEVENS DWAYNE ETUX
699 H WALLACE LN
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
703 T L TOWNSEND DR
ROCKWALL, TX 75087

ACUNA NINFA
703 T L TOWNSEND DR
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ
703 T L TOWNSEND DR
ROCKWALL, TX 75087

CANIZALES ELIDA VILLAREAL
760 COUNTY LINE RD
ROCKWALL, TX 75032

ESPARZA NORA
7723 GLENMERE TRAIL
SACHSE, TX 75048

GREGG RODNEY P
781 H WALLACE LN
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

DANIELS COREY L & CAROL A
808 RENEE DR
ROCKWALL, TX 75032

MERRITT PAUL C & LOUISE
823 H WALLACE LN
ROCKWALL, TX 75032

WOODHILL DENTAL SPECIALTIES I LLC
8355 WALNUT HILL LN SUITE 100
DALLAS, TX 75237

CURRENT RESIDENT
868 H WALLACE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
868 WALLACE LN
ROCKWALL, TX 75032

KINNEY DAVID D & DIANA S
869 H WALLACE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
905 H WALLACE LN
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

GLEASON DIANE
PO BOX 824312
DALLAS, TX 75382

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Z2018-0010
Date: Monday, March 05, 2018 8:41:58 AM

From: Matt Scott [REDACTED]
Sent: Thursday, March 01, 2018 10:19 AM
To: Daniels, Bennie; Fowler, Kevin; Pruitt, Jim; Hohenshelt, John; Townsend, Mike; Lewis, Dennis; Townsend, Mike; Macalik, Dana; markmoeller@rockwall.com; jonathanlyons@rockwall.com; patricktrowbridge@rockwall.com; anniefishman@rockwall.com; ericchodun@rockwall.com; jerrywelch@rockwall.com; traceylogan@rockwall.com
Cc: Bob Cotti; Tim McCallum; Tim McCallum; Margo Nielsen; mpollock.synergy@outlook.com; oaksofbwpres1@gmail.com; Jesse Ladd; jladd@chansenmediagroup.com; Marc Clark; Jeffrey & Allyson Minth; Planning; Crowley, Rick; Smith, Mary; Griggs, Brad
Subject: Z2018-0010

Dear Mayor and Council, Chairman and Commissioners-

My name is Matt Scott, I live at [4925 Bear Claw Lane](#), and I am writing concerning the proposed change from agricultural to plan development of what is referred to as the Wallace tract. I am strongly opposed.

With the exception of Commissioner Moeller, I do not know whether any of you were involved in city government at the time the Wallace tract was annexed into the city. I was on the city council at the time of the annexation. For several nights, the council heard from every living member of the Wallace family, as they berated us for even considering annexing this property. We were told that they would never develop the property. We were told that we were taking their property. We were told that we were taking advantage of the fact that their father had passed.

In essence, we were told that we should not annex this property because they had no plans to ever—I repeat ever—develop this property. The council knew this was a false promise when it was made, which is why we proceeded with the annexation. But for this reason alone, the council should deny this proposed zoning change.

Beyond this, the council should deny the requested zoning change because the area in question simply cannot handle a development of this size at this time. SH 205, from John King to FM 549, is still a two lane road. It can take up to 30 minutes to get from SH 205 at John King through the two traffic lights at Lofland Road and FM 549, because of traffic.

FM 549, from SH 205 westward, is still a two lane road. And finally, Horizon Road, from FM 549 to County Line Road, is still a two lane road. These are the three major roads that surround the Wallace tract. None of these roads have immediate plans for expansion, and none of them can handle the existing traffic, let alone the traffic that would be added by this plan development.

As it stands now, the David Weekly development at the corner of FM 549 and SH 205 will seriously tax the roads as it is. But the inability of these major roads to handle increased traffic is nothing compared to how ill-equipped the secondary roads in this area are to handle more traffic.

Lofland Road is a black-topped road that is not even a two lane road. This road is treacherous. It is not wide enough to safely accommodate more than one vehicle traveling on it. Furthermore, the road has two sharp 90° turns. Right now, this road is in desperate need of repairs as the weather routinely tears up the asphalt.

Likewise, Wallace Lane from Lofland Road to Horizon Road is a black-topped road that is not even two lane. In fact, Wallace Lane is worse than Lofland Road and is nearly impassable when more than one car is on it.

The remaining roads in the area are also completely unsuited for a development the size of this proposed planned development.

None of these roads that would be required to support traffic for this planned development are in any way suitable. They are not suitable to the existing traffic, let alone those associated with this planned development.

I would like to invite each of you to come visit me and I will drive you on these roads so you can see what I see every day. Adding a development of this size would be a disaster for those of us who already live in the area.

I know at some point in time, this property will develop. That is why we annexed it. But until such time as the major thoroughfares are expanded to handle the additional traffic, not to mention improvement of the smaller roads, this planned development simply does not make sense. And when it does develop, it needs to be acre or acre and a half lots to match the surrounding areas and to reduce congestion.

Finally, please consider the adverse impact such a dense development would have on Pullen Elementary. Pullen is already at capacity (as is Cain Middle School). Pullen has already been expanded once. A development such as the one being considered would require either a second expansion at Pullen, perhaps another elementary school, or both. And I do not know how Cain would handle the increased student load.

Because of spring break, I will not be able to come to the P&Z meeting when this proposal is considered. I will be able to attend, and plan to attend, the Council meeting when this proposal is considered. In the meantime, if I can provide any additional information or answer any

questions you might have, I welcome that opportunity. You can email me at mrscott44@icloud.com or call me at (469) 371-8016.

Thank you for your time.

Respectfully,

Matt Scott



RECEIVED
NOTICE OF PUBLIC HEARING
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

MAR 05 2018

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2018-010: Wallace Tract (AG to PD)

Hold a public hearing to discuss and consider a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/19/2018** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2018-010: Wallace Tract (AG to PD)

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Robbie Lee Hall, VP Shepherd Plaw & Sons, Inc.
116 Nicole, Rockwall, Texas 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NOTICE OF PUBLIC HEARING
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2018-010: Wallace Tract (AG to PD)

Hold a public hearing to discuss and consider a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

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Case No. Z2018-010: Wallace Tract (AG to PD)

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

See attached correspondence

Name:

Cliff E. Taylor

Address:

905 H Wallace Lane, Rockwall TX 75082

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**CLIFF I. TAYLOR
905 H WALLACE LANE
ROCKWALL, TX 75032**

March 12, 2018

VIA ELECTRONIC MAIL

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

RE: Case No. Z2018-010: Wallace Tract (AG to PD)

Dear Mr. Miller:

My name is Cliff Taylor. I live at 905 H Wallace Lane, Rockwall, Texas 75032. I write with respect to the above referenced proposal to re-zone the property referred to as the "Wallace Tract" from "Agricultural" to "Planned Development". I am strongly opposed to the proposed re-zoning. I respectfully request that the proposed re-zoning of the Wallace Tract be denied with prejudice consistent with Article XI, Section 11.1B(4) of the Comprehensive Zoning Ordinance ([Ordinance No. 83-23], as amended, the "***Existing Ordinance***"), because (a) the proposed re-zoning is inconsistent with the City of Rockwall's March 5, 2012 Comprehensive Plan (the "***Comprehensive Plan***"), and (b) Hines has provided no evidence that the proposed re-zoning is in compliance with the requirements of applicable Texas law.

Texas Local Government Code, Section 211.004(a) provides that zoning regulations must be in accordance with a comprehensive plan and be consistent with specific objectives. More particularly, Section 211.004(a) provides as follows:

(a) Zoning regulations must be adopted ***in accordance with a comprehensive plan*** and must be designed to:

- (1) Lessen congestion in the streets;
- (2) Secure safety from fire, panic, and other dangers;
- (3) Promote health and the general welfare;
- (4) Provide adequate light and air;
- (5) Prevent the overcrowding of land;
- (6) Avoid undue concentration of population; or
- (7) Facilitate the adequate provision of transportation, water, sewers, schools, parks and other public requirements.

Tex. Local Gov't Code, § 211.004(a) (emphasis added).

As an initial matter, the proposed re-zoning of the Wallace Tract is *not* consistent with the Comprehensive Plan. The Comprehensive Plan expressly provides that it is the policy of the plan to “[e]nsure preservation of the Wallace Preserve, a rare remnant of native Blackland Prairie, as an important natural and historical landscape feature.” (Comprehensive Plan at p. 43). Clearly, any amendment to the Existing Ordinance to allow for the development of the Wallace Tract cannot be reconciled with the Comprehensive Plan’s policy to preserve the very land to be developed. The current zoning of the Wallace Tract as “Agricultural” is consistent with the best use of the property as determined by our city planners.¹ Any proposed re-zoning that is inconsistent with this use must be denied with prejudice.

Furthermore, Hines has provided no evidence or analysis indicating that the proposed re-zoning to provide for a planned development (the “*Hines Development*”) would be in compliance with the objectives identified in Local Government Code, Section 211.004(a). Absent such evidence and analysis, the proposed re-zoning must be denied.

For instance, the surrounding roadways are completely unsuited for a development the size of the Hines Development. The representation by Hines that “[t]he project will . . . not add any traffic to the existing Wallace Lane” and its characterization of Wallace Lane as “sparsely traveled”² is self-serving, unsupported by data, and inconsistent with reality. Wallace Lane is a one-lane blacktop road that is, in large part, in a state of disrepair. This road has seen increasing traffic as motorists seek to bypass the congestion already prevalent on SH205 and Horizon. The increasing traffic on Wallace Lane is a safety hazard, given the condition of the roadway and the fact that the road is nearly impassable when more than one car is on it. The other surrounding roads (FM 549, SH205, and Horizon Road) are similarly already overtaxed and experience significant congestion. To my knowledge, there are no plans for the expansion of these roads. The proposed re-zoning of the Wallace Tract should be denied, because Hines has failed to provide any credible evidence or analysis showing that the Hines Development will not negatively affect the traffic patterns of or exacerbate the congestion on the surrounding roadways.

Similarly, Hines has also failed to provide credible evidence and analysis showing that the Hines Development would not have a negative impact on the already overburdened school system. Cain Middle School and Pullen Elementary are both at capacity. Yet no plan has been submitted to accommodate the increased student population that would result from the Hines Development. To avoid overcrowding in the area schools, provision must be made for the expansion of these schools, the addition of new schools, and/or the adjustment of the existing attendance zones. Hines has provided no information as to how this may be accomplished. Absent a suitable plan to accommodate the increased student population in the area, the proposed

¹ Notably, Section 2.1 of the Existing Ordinance provides that “it is the intent of this district that agricultural land be held in that use for as long as practical and reasonable.” (Existing Ordinance at p. 14).

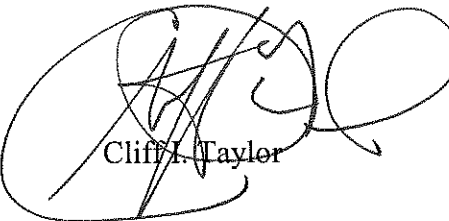
² Hines February 16, 2018 Correspondence to Ryan Miller.

re-zoning of the Wallace Tract must be denied. Furthermore, in the event such a plan entails the expansion of existing schools or the creation of new schools, then the budgetary issues arising out of such a plan should be subject to public hearing. Likewise, in the event such a plan contemplates the adjustment of existing attendance zones, the affected portions of the community should be given an opportunity to be heard on the matter.³

Even if the proposed re-zoning of the Wallace Tract was compliant with the Comprehensive Plan and applicable Texas law—which it is not—numerous additional problems exist with respect to the Hines proposal. The proposal is entirely too vague with respect to specific lot sizes, the requisite square footage of the homes to be constructed in the development, and other matters. Such vagueness would provide Hines with too much discretion as to material matters that concern the surrounding community. Furthermore, the proposed lot sizes for the Hines Development lots bordering H Wallace Lane are not in conformity with the adjacent lot sizes in the Oaks of Buffalo Way neighborhood. All these ancillary issues, however, need not be addressed until such time as Hines can provide this community with proper analyses and objective evidence that the proposed Hines Development can be constructed consistent with the Comprehensive Plan and the zoning ordinance requirements under applicable law. Hines' current proposal grossly fails to do so.

For these reasons, I request that the proposed re-zoning of the Wallace Tract be denied with prejudice consistent with Article XI, Section 11.1B(4) of the Existing Ordinance.

Regards,



Cliff Taylor

³ Many of the residents in Rockwall have strong opinions about where their children attend school and even purchase property based on this consideration.



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

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Sincerely,

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Director of Planning & Zoning

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Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

I would like the request denied with prejudice. The proposed housing density does not fit well with our area. Light pollution and traffic increase makes an ongoing problem worse. We moved here to enjoy a rural setting, not live in a crowded area.

Name: *Michael D. Guerra*

Address: *2025 Broken Lance Lane*

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From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Case # Z2018-010 Wallace Tract (ag to pd)
Date: Monday, March 12, 2018 8:35:34 AM

From: Larry Renta [REDACTED]
Sent: Sunday, March 11, 2018 4:39 PM
To: Planning
Subject: Case # Z2018-010 Wallace Tract (ag to pd)

I am opposed to the request zoning changes for the below reasons:

Overcrowding of schools
Over Population increase in such a small area
Traffic
Decrease of home values in immediate area
Increase of already extremely high taxes we already have
Road construction

Vicki & Larry Renta
5315 Standing Oak Lane
Rockwall, Texas 75032

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Case No. 22018-010: Wallace Tract (AG to PD)
Date: Monday, March 12, 2018 8:34:33 AM

From: Lisa Renfroe [mailto:lisarenfroe@charter.net]
Sent: Sunday, March 11, 2018 7:11 PM
To: Planning
Subject: Case No. 22018-010: Wallace Tract (AG to PD)

I am opposed to the request for the reasons listed below.

1. Density of homes. (Far to great)
2. Additional traffic – estimated at 1400 cars when completed.
3. Have signs been out and in the right timeframe and areas for notice. This does not affect just those living in the 500' buffer it goes way beyond that.
4. Clarification of current future land map vs proposed future land use map.
5. Lighting mentioned in plan for neighborhood is not LED and as such will create issues for surrounding neighborhoods.
6. Schools cannot accommodate the additional students that this development would create.
7. Loss of value to existing homes due to the smaller footprint and significant density.

Lisa Renfroe
2005 Broken Lance Lane
Rockwall, TX 75032



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

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Director of Planning & Zoning

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6. LOSS OF TAX REVENUE FROM PROPERTY VALUE DECLINE.
5. THIS WHOLE PROCESS WAS RUSHED & HURRIED.
1. TRAFFIC CONGESTION IS ALREADY TERRIBLE IN ROCKWALL. 2. THE SCHOOL CROWDING THIS WILL CREATE WILL BE BURDENSOME ON THE ISD FOR YEARS TO COME. 3. REDUCTION OF EXISTING GREEN SPACE/PARKS IS NOT THE DIRECTION THE CITY SHOULD MOVE TOWARDS.
4. CITY SERVICES ARE STRAINED ALREADY. 5. PUBLISHED INFO STILL SAYS "LOW DENSITY."

Name: GREGORY DELK Gregory S Delk

Address: 2020 BROKEN LANCE LN. ROCKWALL 75032

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Road safety and traffic congestion on Horizon Rd, County Line Rd, Wallace Ln + Lefland Cir.
All schools are full. Location for a school is not provided. Density does not match. We recommend ~~1.5~~ ^{1.5} acre lots. Timing of meetings was bad since several people are out of town due to Spring Break. Denied with prejudice.

Name: Randy Heinrich

Address: 4945 Bear Claw Ln Rockwall, TX 75032

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- ☐ I am in favor of the request for the reasons listed below.
- ☒ I am opposed to the request for the reasons listed below.

Name:

Rabih Safieddine

Address:

1925 Broken Lance Ln Rockwall TX 75082

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☒ I am opposed to the request for the reasons listed below.

4. THAT SMALL OF LOTS & HOUSES
DO NOT GO WITH WHAT IS AROUND
THAT ACREAGE.
5. SAFETY

1. OUR PROPERTY VALUE WILL GO WAY DOWN.
2. TRAFFIC IS ALREADY REAL BAD AROUND THIS AREA.
3. THIS NOTICE WAS RUSHED & KEPT REAL QUIET & VOTING TAKING PLACE WHEN A LOT OF PEOPLE ARE OUT OF TOWN ON SPRING-BREAK.

Name: SANDRA DELK, Sandra Delk
Address: 2020 BROKEN LANCE LANE, ROCKWALL, TX 75032

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From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: CASE No. Z2018-010:Wallace Tract (AG to PD)
Date: Monday, March 12, 2018 9:06:31 AM

From: Alan BENNETT [REDACTED]
Sent: Monday, March 12, 2018 9:02 AM
To: Planning
Subject: CASE No. Z2018-010:Wallace Tract (AG to PD)

Dear Mr. Miller:

I am opposed to the request for rezoning for the following reasons:

1. Density of homes. (Far to great)
2. Additional traffic – estimated at 1400 cars when completed.
3. Have signs been out and in the right timeframe and areas for notice.
4. Clarification of current future land map vs proposed future land use map. (included)
5. Lighting mentioned in plan for neighborhood is not LED and as such will create issues for surrounding neighborhoods.
6. Schools cannot accommodate the additional students that this development would create.
7. Loss of value to existing homes due to the smaller footprint and significant density.

Respectfully,
Alan Bennett
5265 Standing Oak Lane
Rockwall, TX 75032
859-626-2744



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Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

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Director of Planning & Zoning

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Case No. Z2018-010: Wallace Tract (AG to PD)

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

This area cannot handle the increased traffic with such a high density development. Also, this type of development with smaller homes on small lots is not conducive to the existing neighborhoods in place.

Name: Shari Callahan

Address: 2040 Silver Hawk Ct. Rockwall, TX 75032

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CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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☒ I am opposed to the request for the reasons listed below.

*Will reduce value of homes
Safety for children*

Name: *ASIM USMAN*

Address: *5140 BEAR CLAW LN, ROCKWALL TX 75082*

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From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Case No. Z2018-010 (Wallace Tract)
Date: Monday, March 12, 2018 1:06:00 PM
Attachments: [Future Land Use Map.pdf](#)

From: Rister Family [REDACTED]
Sent: Monday, March 12, 2018 12:07 PM
To: Planning
Subject: Case No. Z2018-010 (Wallace Tract)

I am OPPOSED to the request for the reasons listed below:

1. The proposed planned density change exceeds the capacity of the surrounding infrastructure. The vehicular traffic on the portion of Horizon that would abut the development is already at capacity, especially while school is in session. During drop off and pickup times of the two schools, cars are literally stopped and parked on Horizon and people are driving in the turn lanes to circumvent the parked traffic. Horizon cannot handle an additional estimated 1400 cars coming and going.
2. The schools to which the children would attend cannot handle the proposed planned density of the development.
3. There are already an estimated 400 plus zero lot line (or substantially similar) houses being constructed within 3 miles of the proposed planned development, including Rockwall Downes and the development by DR Horton on 549 and 205. Those developments will add additional traffic on the nearby roads, including Horizon, Lofland Circle and Wallace Lane, the latter two of which are barely driveable (and a serious safety risk) as they currently exists. Plus, the children from those developments will have to attend school increasing the burden on the schools.
4. As evidenced by recent flooding, building homes near a flood plain should be avoided.
5. Rockwall does not need more zero lot line homes crammed into a small area.
6. It is unclear whether sufficient notice was provided of the proposed change.
7. The submitted Wallace Zoning Concept Plan appears to contradict both the current future land use map designation as well as the proposed future land use map designation.

For the foregoing reasons, I would request the planning and zoning commission and city council deny the request with prejudice.

Christine Rister
4815 Bear Claw Lane (Oaks of Buffalo Way)
Rockwall, Texas 75032



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☒ I am opposed to the request for the reasons listed below. **-STRONGLY OPPOSED, SHOULD BE A PARK!**

- 1-PROPOSED REQUEST NOT CONSISTENT WITH ROCKWALL COMPREHENSIVE PLAN
- 2- PROPOSED LOT SIZES NOT CONSISTENT WITH OUR NEIGHBORHOOD COMMUNITY
- 3- LOT SIZES & HOUSE SIZES NOT CONSISTENT WITH LOCAL POPULATION DENSITIES
- 4- IMPACT ON ROADS, SCHOOLS, FIRE, POLICE, QUALITY OF LIFE = NEGATIVE

Name: **DANIEL J. EVERTS** 5- ETC, ETC, ETC.

Address: **2080 BROKEN LANCE LN, ROCKWALL, TX 75082**

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☒ I am opposed to the request for the reasons listed below.

Name:

Address:


2020 winding oak Rockwall TX 75032

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Property values will decline.
DENSITY too high - Does NOT align with existing
NO school to support
INFRASTRUCTURE cannot support - Traffic
Builder not showing use of "green" materials

Name: Michael Pollard
Address: 1885 Broken Lane Ln Rockwall TX

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Name:

Edward Burzair

Address:

2175 Arrowhead Ct. Rockwall TX 75032

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EXISTING STREET CAN'T HANDLE MORE TRAFFIC, EXISTING SCHOOLS
CAN'T HANDLE MORE STUDENTS.

Name: JEFFREY MINTH

Address: 5045 BEARCLAW LANE ROCKWALL, TEXAS 75082

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I WANT THIS DENIED w/ PREJUDICE.

- ③ SAFETY - / ~~REASON~~
- ② SCHOOLS - LACK OF FACILITIES
- ① REASON #1 = I DON'T WANT HEAVY DENSE HOMES BEHIND OUR HOME
- ④ TRAFFIC will be UNEXCEPTABLE.
- ⑤ LOSS OF VALUE. (Like Kind Homes)
- ⑥ INADEQUATE HOMES.

Name: *W. A. WESTMORELAND*

Address: *1920 BROKEN LANCE LN. ROCKWALL TX 75082*

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Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748

- ⑥ THE AREA to be Developed is a Flood Plane
- ⑦ It also a HISTORICAL DESIGNATION.



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Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

Name:

Ewan Harrod

Address:

4960 Bear Claw Lane, Rockwall, TX 75082

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Hold a public hearing to discuss and consider a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

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Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

Too dense
Public safety concerns
Schools - where when
Traffic - what a mess
Name: Robert Lyon
Address: 1900 Broken Lake Lane

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PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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☒ I am opposed to the request for the reasons listed below.

Name: **ROBERT HANVEY**
Address: **2090 SILVER HAWK COURT, ROCKWALL, TX 75087**

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☒ I am opposed to the request for the reasons listed below.

DENSITY

Name:

JAMES LEE

Address:

2065 SILVER HAWK CT

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☒ I am opposed to the request for the reasons listed below.

1. property value

Name: Billy Ray + Jennifer Johnson
Address: 2238 Arrowhead Ct. Rockwall, TX 75082

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Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748



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☒ I am opposed to the request for the reasons listed below.

TRAFFIC, PROPERTY VALUES

Name:

JAMES + KIM HOLLOMAN

Address:

2065 BROKEN LANCE LN, ROCKWALL 75032

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From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Case No. Z2018-010: Wallace Tract (AG to PD)
Date: Tuesday, March 13, 2018 8:38:02 AM

From: M Bader [REDACTED]
Sent: Monday, March 12, 2018 8:48 PM
To: Planning
Subject: Case No. Z2018-010: Wallace Tract (AG to PD)

To whom it may concern and Ryan Miller,

We have been notified that the City of Rockwall Planning and Zoning Commission and the City Council are considering a zoning change bordering our property.

As an interested property owner, I am **OPPOSED** to the request for zoning change based on the following:

1. High density homes in the tract would impact our property causing significant devaluation.
2. Cause serious concerns for public safety in regard to increased potential for crime as well as impact police, fire and EMS response with already depleted resources.
3. Our current school system cannot absorb the large influx of children which will accompany that many homes.
4. The current infrastructure in the surroundings cannot accommodate the increased traffic.

Markus and Kim Bader
1940 Broken Lance Lane
Rockwall, TX 75032

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Wallace Re-Zoning
Date: Tuesday, March 13, 2018 8:38:34 AM

From: Dan Brecheen [mailto:dan@Westwoodplastics.com]
Sent: Monday, March 12, 2018 4:28 PM
To: Planning
Subject: Wallace Re-Zoning

Ryan,

My name is Dan Brecheen and I live at 1880 Broken Lance Ln. I am writing to voice my opposition to the proposed Wallace re-zoning and planned high-density housing development.

This part of Rockwall is not prepared for a development of this magnitude as it relates to roads, schools, traffic and public safety. As a resident of the Oaks of Buffalo Way, the impact of this development would be staggering to our property values and would also negatively impact anyone traveling on 549, Horizon, Wallace Ln. and 205 which are congested already.

We would hope that any future development of that property would include estate sized lots and homes comparable to the homes in the Oaks of Buffalo Way and Willowcrest.

My wife and I will attend the P&Z meeting tomorrow night and we hope this proposal will be denied.

Thank you for your consideration.

Sincerely,

Dan Brecheen
214-695-2923



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Director of Planning & Zoning

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P&Z signs were not posted in a timely manner. It's the week of Spring Break. It will bring in too much traffic to this already populated area. This is dangerous now. The schools are already to capacity & there is no more room. Traffic is impossible now on Horizon & Wallace Lane. Density of home is far too large of an amount to put on this site. Lighting is not LED for this area which will be problematic for my neighborhood. Home values will go down due to these smaller homes being built.

Name:

Joe & Pamela Ward

Address:

4920 Bearclaw Lane, Rockwall, TX 75087

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1. TRAFFIC - OVERALL CONGESTION - HORIZON, 205
2. INFRASTRUCTURE - THESE RESIDENTS WOULD USE WALLACE LN.
3. WHICH IS ALREADY GREATLY OVERLOADED AND IS FALLING APART.
3. WOULD LOWER PROPERTY VALUES FOR ADJACENT ESTATE RESIDENCES

Name: DAN BRECHEN

Address: 1880 BROKEN LAKE LN. ROCKWALL TX 75082

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CONNECTING STREETS CAN NOT SUSTAIN
ADDITIONAL TRAFFIC A NEW DEVELOPMENT
WILL BRING.

Name: **TRACY WALKER**
Address: **1905 BROKEN LANCE LN ROCKWALL 75032**

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☒ I am opposed to the request for the reasons listed below.

TRAFFIC ISSUES, WHAT VALUE/
ARE THE HOMES? WILL IT AFFECT
OUR VALUE? William Wallace
Name: William Wallace
Address: 1905 BROOKER LANE, ROCKWALL

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- 1) Increase in home density will create extreme problems for RWISD in terms of classrooms and class size.
- (2) The small size of proposed lots + homes will decrease the value of near by housing developments.

Name:

BERT CURTIS

Address:

2040 BROKEN LANCE Lane, Rockwall

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- (1) Decrease home values in nearby homes
- (2) Huge impact on Rockwall ISD in terms of schools, classrooms.
- (3) Lot size should be one acre or more not $\frac{1}{3}$ of an acre.

Name: Chris Curtis

Address: 4735 Bear Claw, Rockwall, TX, 75032

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1. I am sincerely opposed to proposed developments on the land around Wallace Lake. This area should only be used as a park and recreational area since we need to preserve the natural beauty of this land. So many areas are being developed for housing and the open land will be lost forever.

2. The city services of police, fire and water are already stretched and this is another financial burden on the city.

Name:

Pamela S. Curtis

Address:

2040 Broken Lance Lane 75032

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1.) IF INFRASTRUCTURE NOT ABLE TO MAINTAIN SUCH
 LARGE DEVELOPMENT, ROADS ALREADY TO CAPACITY,
 SCHOOLS CAN AND WOULD BE FILLED TO CAPACITY. DEVELOPMENT
 NOT GOOD FOR THE CITY OF ROCKWALL UNTIL INFRASTRUCTURE
 COMPLETED.

Name: GREGG T. PROESKI

Address: 1950 BROKEN LANCE LANE ROCKWALL TX
75150

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745

EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2018-010: Wallace Tract (AG to PD)

Hold a public hearing to discuss and consider a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/13/2018 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/19/2018 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/19/2018** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2018-010: Wallace Tract (AG to PD)

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

I do not see how the existing schools and roads can support such high density development. The stormwater runoff from additional houses, roads, driveways etc will exacerbate the flooding in LRE (Lake Rockwall Estates). This property is also listed as a Rockwall Historic Site.

Name: Steve & Janet Kummel

Address: 2230 Arrowhead of Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Planning](#)
To: [Miller, Ryan](#)
Subject: FW: Case No. Z2018-010: Wallace Tract (AG to PD)
Date: Tuesday, March 13, 2018 3:41:23 PM

From: Jesse Ladd [REDACTED]
Sent: Monday, March 12, 2018 4:32 PM
To: Planning
Subject: Case No. Z2018-010: Wallace Tract (AG to PD)

Mr. Miller,

My name is Jesse Ladd, I live at 2045 Broken Lance Lane, and I am opposed to the application for the proposed development plan on the Wallace Tract.

As requested, I am listing my reasons for disapproval:

Traffic - the council should deny the requested zoning change because the area CAN NOT handle the additional traffic this development will bring. The current infrastructure is not suitable in any manner for any additional traffic.

Schools - the council should deny the requested zoning change because the schools CAN NOT accommodate the additional students this development will bring. Pullen Elementary and Cain Middle School are not in a position to handle the increased student load this type of dense development creates.

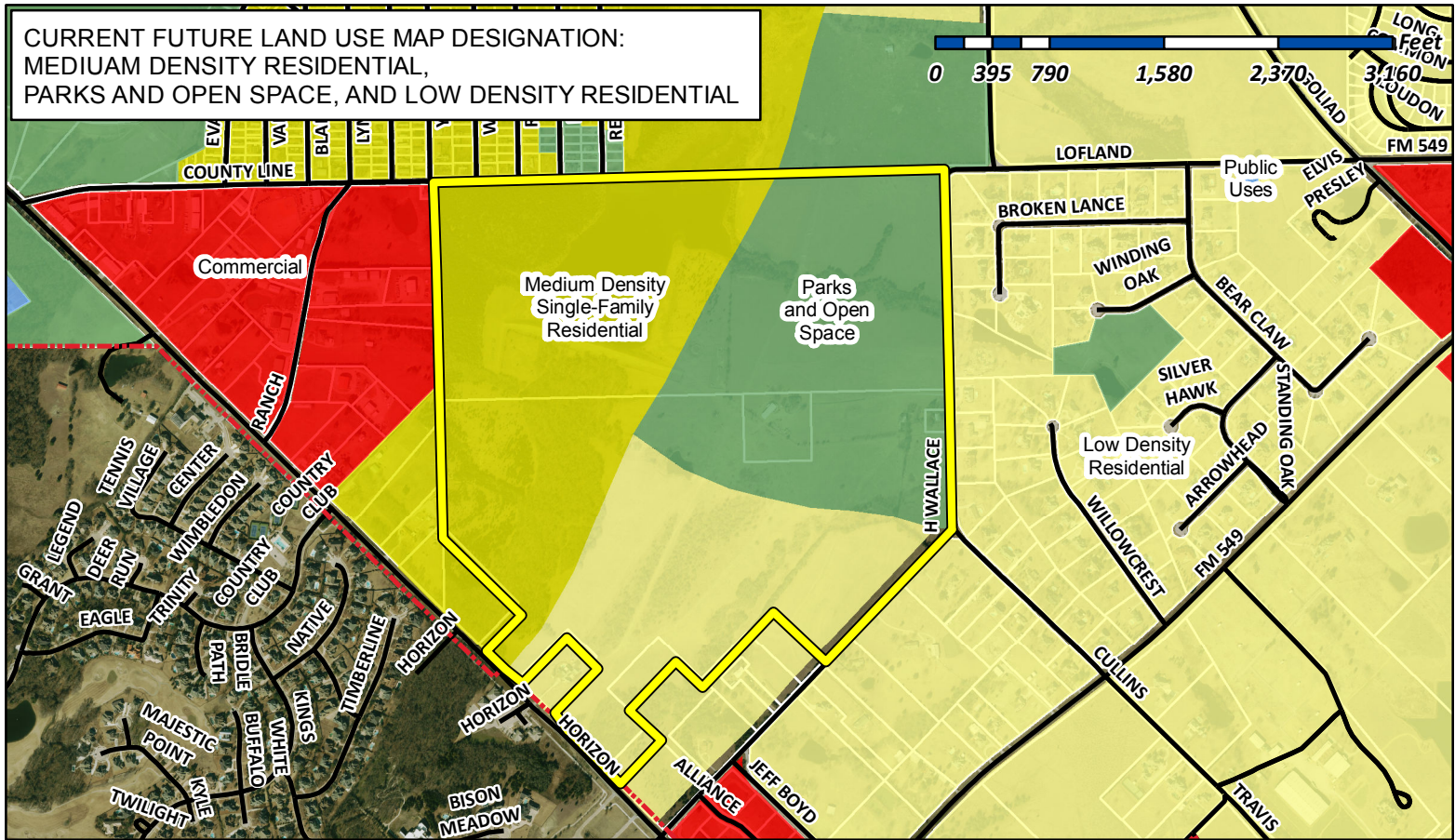
Home Values - the council should deny the requested zoning change because the proposed development would substantially decrease the home values surrounding the development. This proposed development is bordered on the south and on the east with homes built on 1 to 5 acre lots.

I hope the council remains committed to protecting the home values of the neighborhoods that are long standing and present the city in its best light.

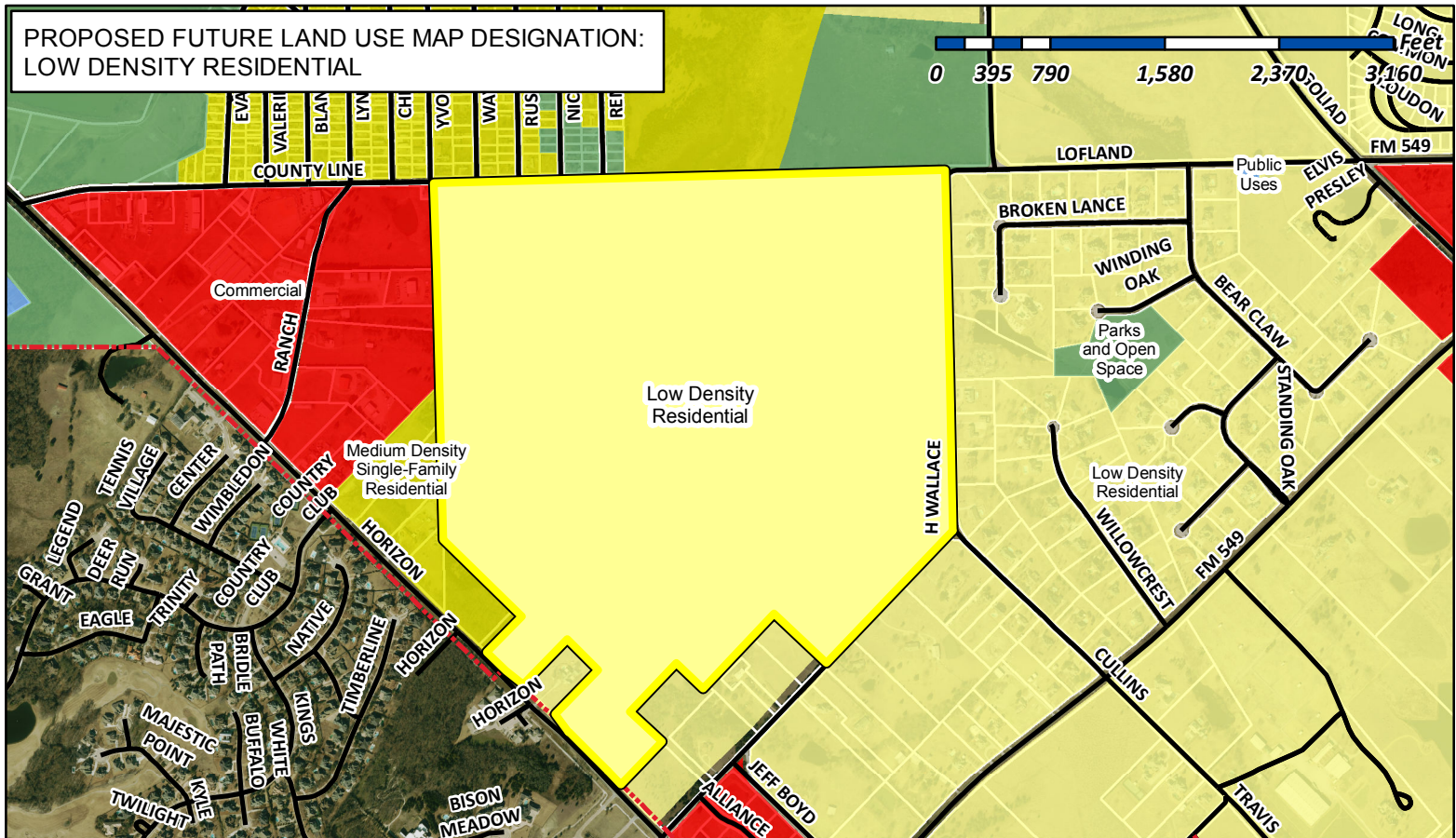
Respectfully,

Jesse Ladd

CURRENT FUTURE LAND USE MAP DESIGNATION:
MEDIUM DENSITY RESIDENTIAL,
PARKS AND OPEN SPACE, AND LOW DENSITY RESIDENTIAL



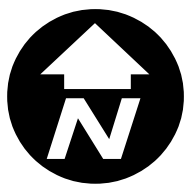
PROPOSED FUTURE LAND USE MAP DESIGNATION:
LOW DENSITY RESIDENTIAL

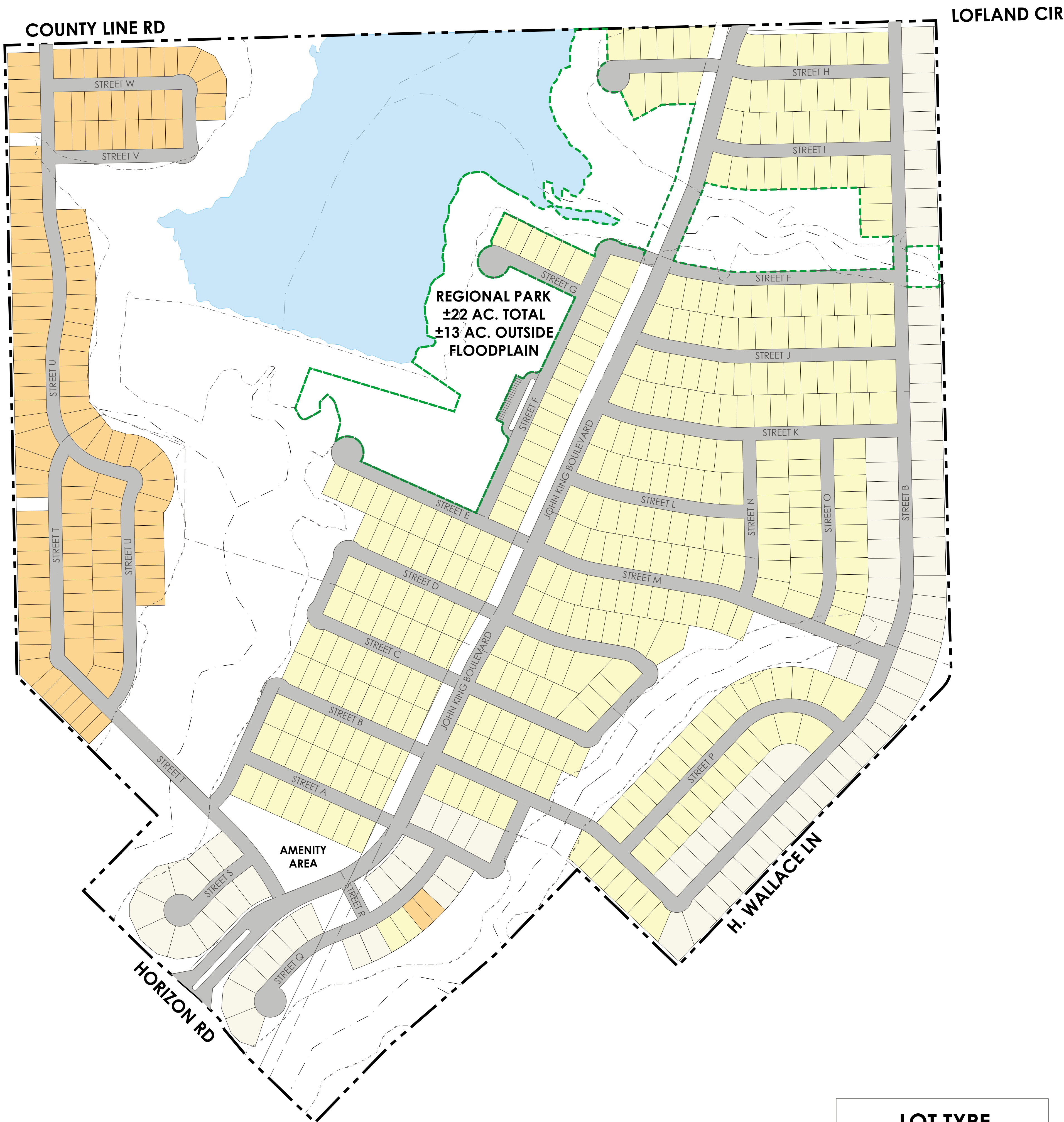


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOT TYPE		
	A	60' x 120'
	B	70' x 120'
	C	50' x 110'

ZONING CONCEPT PLAN

Wallace Tract Concept

Rockwall, Texas

March 07, 2018

Drawing name: \\dallf02\Projects\NAI\SLD\WFXO7000\700 CADD\709 Planning_Landscape\Planning\Wallace Tract PD_Concept_03.07.2018.dwg
Plotted on: Mar 07, 2018 - 8:18am

NOTE: This plan is diagrammatic only and is intended to show potential configuration. This plan is only conceptual and is not based upon a detailed survey of existing site conditions such as property limits, subsurface conditions, limits of trees, topography, utilities, easements, etc. March 07, 2018



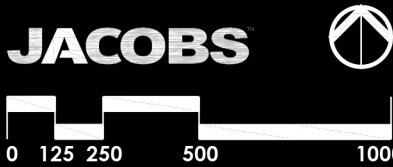
Parks and Open Space

Wallace Tract

Rockwall, Texas

March 07, 2018

Drawing name: \\dall02\Projects\NAISLD\WFO7000\700 CADD\709 Planning_Landscape\Planning\Wallace Tract PD_Concept_03.07.2018.dwg
Plotted on: Mar 07, 2018 - 8:42am



NOTE: This plan is diagrammatic only and is intended to show potential configuration. This plan is only conceptual and is not based upon a detailed survey of existing site conditions such as property limits, subsurface conditions, limits of trees, topography, utilities, easements, etc. March 07, 2018

February 16, 2018

Ryan Miller
City of Rockwall
385 S Goliad
Rockwall, Texas 75087



Re: Wallace Tract – Proposed PD Zoning – Separate Applicant Requests

Dear Ryan,

Hines is hereby requesting a zoning change on the property bound by Wallace Lane, Horizon Road, County Line Road, and Lofland Circle. The purpose of this request is to create a Planned Development (PD) for a proposed single-family, master-planned community. Please find the zoning change application and PD Development Standards along with the proposed Concept Plan in this submittal.

Hines is a privately owned global real estate investment firm founded in 1957 with a presence in 201 cities in 21 countries. Hines has approximately \$100 billion of assets under management, including \$54.5 billion for which Hines provides fiduciary investment management services, and \$45.5 billion for which Hines provides third-party property-level services. The firm has 113 developments currently underway around the world. Historically, Hines has developed, redeveloped or acquired 1,262 properties, totaling over 414 million square feet. The firm's current property and asset management portfolio includes 529 properties, representing over 213 million square feet. With extensive experience in investments across the risk spectrum and all property types, and a pioneering commitment to sustainability, Hines is one of the largest and most-respected real estate organizations in the world. Visit www.hines.com for more information.

In addition to the single-family related items discussed in the PD, Hines has several separate requests, detailed below:

Wallace Lane:

Hines is proposing access to the community through a combination of Horizon and County Line roads (see the enclosed access point exhibit for reference). The project will therefore not add any traffic to the existing Wallace Lane. The other adjacent property that utilizes Wallace Lane, The Oaks at Buffalo Way, has been developed as large lot single-family and is currently the highest and best use for that property. Hines is proposing that the Rockwall Major Thoroughfare plan be amended to call for no expansion to the existing Wallace Lane to reflect the road's sparsely traveled status.

Future Water Line Reimbursement:

As part of the single-family development, Hines will install an off-site water line to connect to the existing water infrastructure along Highway 205 when project phasing demands deem the improvements necessary. The proposed water line will provide capacity to the Wallace Tract as well as other future developments along the path of the line. Discussions with City of Rockwall staff have affirmed that a pro rata reimbursement

as repayment to Hines or its assigns will be disbursed at the time the benefited properties develop. Hines is requesting that the City put in place a reimbursement agreement that will last 10 years with subsequent 10 year extensions to be exercised at Hines or its assigns discretion and details the reimbursement amounts Hines can expect.

City Park Dedication:

Following successful zoning, Hines intends to present to the City of Rockwall Parks Board the plan to dedicate +/- 11 acres for a City of Rockwall Regional Park and an additional amount of open space to be utilized for the City to seek additional grant funding. The park will be dedicated during the platting of the adjacent phase. The City of Rockwall will maintain the Regional Park while the Association created by Hines will maintain the project's internal private park improvements.

Please contact me with any questions.

Sincerely,

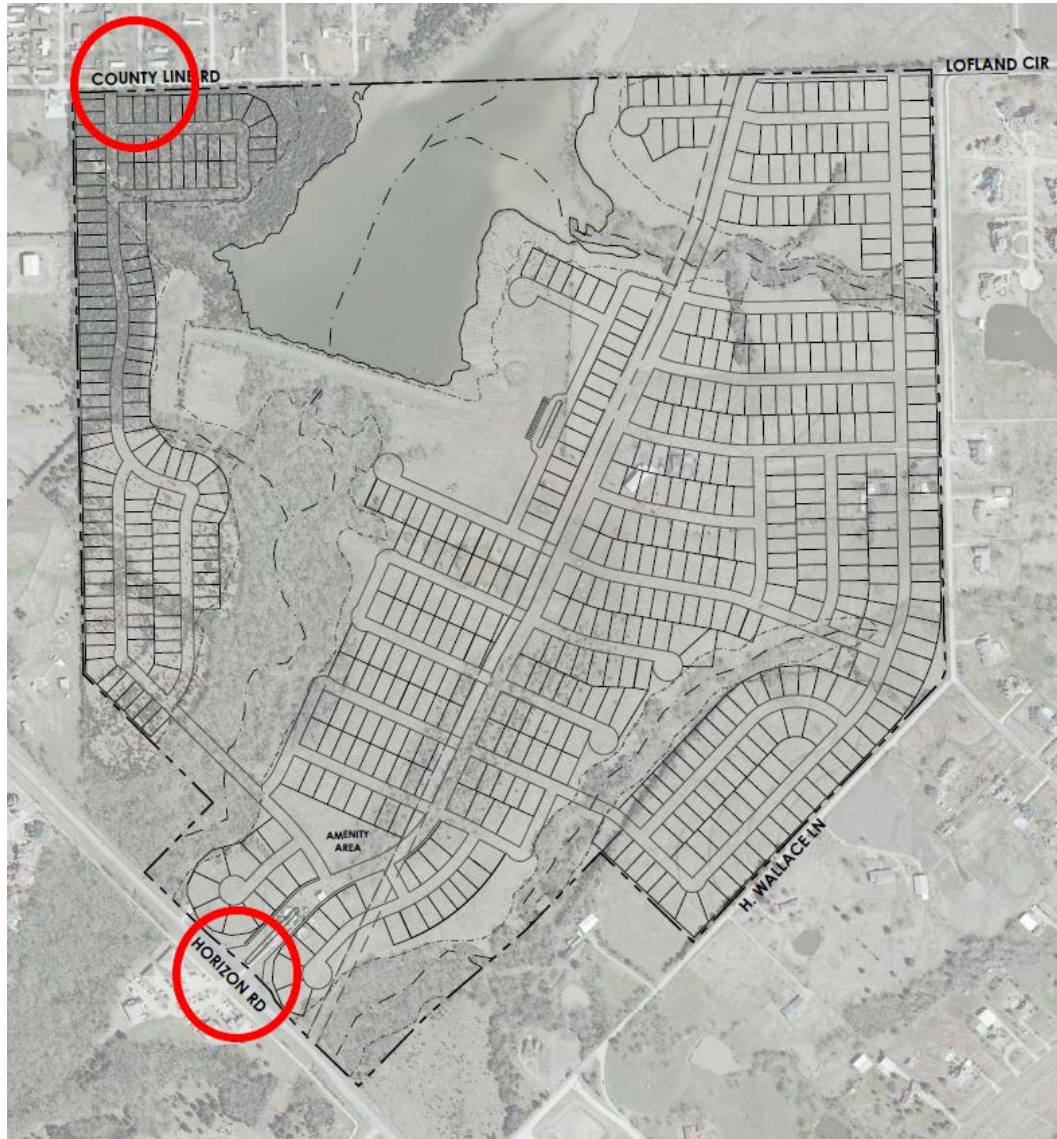
Hines Interests Limited Partnership,
a Delaware limited partnership,
its sole Member

By: Hines Holding, Inc.,
a Texas corporation,
its General Partner


DD

By: _____
Name: Robert W. Witte
Title: Senior Managing Director

Access Point Exhibit





1999 Bryan Street, Suite 1200
Dallas, Texas 75201
United States
T +1.214.583.8500
F +1.214.638.0447
www.jacobs.com

March 6, 2018

City of Rockwall
Mr. Ryan Miller, AICP
Director of Planning
385 S. Goliad
Rockwall, Texas 75087

Project Name: Wallace Tract
Project Number: WFXO7000

Subject: Comment Response Letter

Dear Mr. Miller:

Jacobs Engineering Group Inc. (Jacobs) is in receipt of the comments, dated February 16, 2018, on the Wallace Tract and offers the following responses:

(2/21/2018 11:24 AM AW)

1. Get written permission from the NRCS to build in the Wallace Lake easement
Response: ***Comment acknowledged. Easement information has been acquired and final permission anticipated prior to formal platting process.***
2. All roadways adjacent to the park to be 60' right-of-way and 41' back of curb to back of curb (B-B) street section
Response: ***Comment acknowledged.***
3. Dedicate right-of-way equal to 60' from the centerline of Horizon
Response: ***Comment acknowledged.***
4. TIA will be required for Horizon
Response: ***Comment acknowledged. TIA will be prepared per TxDOT standards and provided to the City of Rockwall for review.***
5. Dedicate 10' of right-of-way the entire length of Wallace Lane and build a minimum of 24' curbed street section with 5' sidewalks and any drainage needed
Response: ***Comment acknowledged regarding right-of-way dedication. However, we respectfully request a MTP change to remove request of paving construction due to the lack of proposed connection to Wallace Lane.***



March 6, 2018

Subject: Comment Response Letter

6. Dedicate 60' right-of-way for Cullins and John King through the site and build 41' B-B with all drainage and utilities

Response: *Comment acknowledged regarding John King (north-south collector). However, we respectfully request a MTP change to remove request of paving construction and additional right-of-way dedication for Cullins.*

7. Dedicate 30' right-of-way for Lofland Circle and building a minimum of 24' curbed street section with 5' sidewalks and drainage

Response: *Comment acknowledged regarding right-of-way dedication. However, we respectfully request a MTP change to remove request of paving construction for Lofland Circle between north-south collector and Wallace Lane.*

8. Dedicate right-of-way for County Line and build a 5' sidewalk for all property adjacent to County Line

Response: *Comment acknowledged.*

9. Construct 12" sewer line from County Line to the FM 3097 lift station

Response: *Comment acknowledged. Improvements will be proposed as project phasing progresses.*

10. Construct 12" water line along John King, Lofland Circle, and Cullins Road extension through the site.

Response: *Comment acknowledged.*

11. Construct 12" water line along the entire length of Wallace Lane from Horizon to SH 205

Response: *Comment acknowledged.*

12. Sewer pro-rata due of \$432.74/acre

Response: *Comment acknowledged.*

13. Full upgrades of two FM 3097 lift stations to ultimate conditions (wet wells, pumps, electrical, etc.)

Response: *Comment acknowledged.*

14. Flood study will require a retainer of \$5,000 to start the review. Any additional monies will be billed to the engineer/developer. If there are any credits to the flood study review/information, those monies will be refunded to the engineer/developer.

Response: *Comment acknowledged.*

15. 4% engineering inspection fees

Response: *Comment acknowledged.*

16. Impact fees will be required

Response: *Comment acknowledged. However, we request impact fees credits for any oversized waterlines (from 8" to 12") or offsite extensions for sanitary sewer to adjacent properties.*



March 6, 2018

Subject: Comment Response Letter

17. FEMA approved LOMR will be required prior to Engineering acceptance of the development and no building permits will be release until the LOMR is approved by FEMA.

Response: *Comment acknowledged with the assumption the building permit hold only applies to areas located within a FEMA Zone A hazard area.*

Development Standards

18. All streets will have a standard curb...no roll up curbs

Response: *By this comment response letter, we respectfully request a waiver to the standard curb requirement. A rollover or "rollup" curb minimizes future driveway cuts causing potential differential settlement in the public streets as well as adds to the overall aesthetic appearance of the community.*

19. Any trees planted in the right-of-way shall be planted a minimum of 5' from any utility and will require a root barrier

Response: *Comment acknowledged.*

20. All sidewalks are to be 2' inside the right-of-way and are a minimum of 5' wide

Response: *Comment acknowledged assuming this refers to standard builder-installed sidewalk. Some developer-installed sidewalks may meander into landscape buffer or adjacent easements. Is this acceptable?*

21. All driveway "finishes" shall not extend into the right-of-way and will stop prior to the driveway approach

Response: *Comment acknowledged.*

22. All new utilities shall be underground no matter the size or cost effectiveness.

Response: *Comment acknowledged.*

Z2018-010; Zoning Change (AG to PD) for the Wallace Tract

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a zoning change from Agricultural (AG) District to Planned Development District for Single Family 7 (SF-7) District land uses on 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally situated at the northwest corner of the intersection of H. Wallace Lane and Horizon Road [FM-3097].

Response: *Comment acknowledged. Please refer to attached legal description for reference.*

- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

Response: *Comment acknowledged.*

March 6, 2018

Subject: Comment Response Letter

M.3 For reference, include the case number (Z2018-010) in the lower right hand corner of all pages on future submittals.

Response: **Comment acknowledged.**

I.4 The Future Land Use Map contained within the City's Comprehensive Plan indicates that the subject property is designated as Medium Density Residential, Low Density Residential and Open Space. The proposed zoning does conform to this designation; however, due to the location of the Open Space designation, the City Council will need to amend the Future Land Use Map to reflect a Low Density Residential designation for the entire property.

Response: **Comment acknowledged.**

I.5 The City's Master Thoroughfare Plan (MTP) indicates John King Boulevard as a M4U and County Line Road, Wallace Lane and Cullins Road as Minor Collectors. These roadways are not depicted on the applicant's plans and will require the City Council to amend the Master Thoroughfare Plan (MTP) in order to approve the zoning.

Response: **Comment acknowledged. We respectfully request an amendment to the MTP as proposed.**

I.6 The City's Parkland Dedication Ordinance requires a minimum of contiguous 11-acres outside of the floodplain to constitute dedication as a Neighborhood Park. The 11.5-acres of proposed parkland dedication only has nine (9) acres of land outside of the floodplain. This will require discretionary approval of the Parks Board.

Response: **Plan revised to indicate additional Parkland Dedication beyond initial submittal. Total acreage expected to be +/-112 acres with no less than 28 acres outside of the floodplain.**

M.7 Since the proposed park area does not meet the City's minimum standards and will require discretionary approval please removed the words "City Park" from the concept plan.

Response: **Referenced as "Regional Park" on revised Concept Plan and total area increased to meet the City's minimum standard.**

M.8 The City's Comprehensive Plan and Planned Development standards contained in the Unified Development Code (UDC) require a minimum of 20% open space (with floodplain only counting at a ratio of 0.5-acres per one [1] acre dedicated as open space). Please indicate the total amount of open space being provided with this development.

Response: **Comment acknowledged. Please reference below "concept" chart. Exact final acreages subject to change, but will meet minimum 20% requirement of total open space with "out of floodplain" areas to meet minimum 10% of overall project.**

Park Area	± Acres
Amenity Center	2
Regional Park Area Out of Floodplain	13
Regional Park Area In Floodplain	9
Open Space Out of Floodplain	19.5
Open Space In Floodplain	39.5
NRCS Lake and Dam Area	29
Total:	112

March 6, 2018

Subject: Comment Response Letter

- M.9 The City's Comprehensive Plan states that there should be a Neighborhood Oriented Park Ratio of at least one (1) acre of parkland for every 20 residential lots. Please indicated conformance to this ratio.

Response: *With a maximum allowable 645 lots, this equates to a required 32.25 acres. The proposed concept plan has park and open space area in excess of 100 acres by the previous comment response.*

- I.10 The City's Comprehensive Plan states that homes should be single loaded on to open space. Consider re-orienting some of the lots on the interior to face towards the open space as opposed to siding onto the open space. In addition, the primary street running north/south could utilize in a boulevard design to increase the green space and to increase conformity to the Comprehensive Plan.

Response: *Several evaluations were considered upon receiving this comment. The proposed concept plan indicates several areas with single loaded streets open to the floodplain and open space areas. We believe this combination of single loaded streets in addition to lots backing directly to open space provide an appropriate balance of community feel and premium lot diversity. The primary street running north south has an extra-large landscape buffer on the western side utilizing an existing gas line easement. This alignment of the collector street is utilized to maintain an open corridor feel without the higher speeds associated with a boulevard section.*

- M.11 The City's Comprehensive Plan states that lots less than 12,000 SF should be no further than 800-feet from a public park or open space. Please provide an exhibit demonstrating conformance to the 800-foot rule.

Response: *Comment acknowledged. Refer to attached "800' Rule" exhibit attached demonstrating conformance to this requirement.*

- I.12 The City's Comprehensive Plan calls for cul-de-sacs to be utilized only where it is absolutely necessary for the design of a residential subdivision. The purpose of this is to create an interconnected street pattern that offers flexibility of routes. Please look to reduce the use of cul-de-sacs in the design of the subdivision.

Response: *Comment acknowledged. Plan adjustments were made to remove multiple cul-de-sacs, reducing the overall cul-de-sacs proposed by nearly 30%.*

- I.13 The City's Comprehensive Plan states that all residential lots less than 16,000 SF in size should be served by an alleyway. In addition, the City's Engineering Standards of Design Manual requires alleyways with all new residential development. This will be required to be waived by the City Council.

Response: *We respectfully request waiver of the alley requirement on this proposed development.*

March 6, 2018

Subject: Comment Response Letter

M.14 The Unified Development Code (UDC) does not permit “flat, front entry garages”. Consider reducing the amount of “flat, front entry garages” to less than 30% of the total number of garages. In lieu of “flat, front entry garages”, consider utilizing garages that are a minimum of 20-feet behind the front façade of the home or J-Swing garages (also referred to as Traditional Swing garages). At a minimum, lots utilizing a “flat, front entry garage” should be setback a minimum of 25-feet from public right-of-way to allow for sufficient room for off-street parking.

Response: *The 50' wide lots along the western boundary are defined by a 20' front yard setback. By this response, we propose to reduce the number of lots with a 20' setback from 75% to a total of 50% of the overall allowed 50' lots. Generally, the initial requested comment would be acceptable; however, the existing Wallace Lake emergency spillway would cause a physical constraint to additional lot depth in this area. Therefore, we request some consideration to retain at least 50% of the lots in this area to a 20' building setback. The proposed PD requires upgraded driveway finishes and garage doors to enhance the aesthetic appear for the overall development.*

I.15 The proposed Anti-Monotony Standards are the minimum standards. Consider the Anti-Monotony Standards approved with PD-63 [Ordinance No. 14-49].

Response: *Consideration of the approved PD-63 was evaluated; however, we believe the proposed anti-monotony standards consistent with the requirements of the Planned Development Regulations to be appropriate for this project.*

M.16 Based on the submitted concept plan please make the following technical corrections for clarity:

- 1) Please label all streets (i.e. Street A, Street B, etc.) for reference.
- 2) Under the legend for lot types, please indicate the product type.

Response: *Comment acknowledged. Refer to updated exhibits.*

I.17 Please note that the pro-rata for the proposed water line will be handled after the installation of the water line and will not be incorporated into the zoning process.

Response: *Comment acknowledged. However, please provide some indication on how the pro-rata fee is defined and logistical process of agreement approvals.*

I.18 Based on the submittal, the following items will require special consideration from the City Council:

- 1) Changes to the Master Thoroughfare Plan (MTP).
- 2) The proposed garage standards (i.e. amount of flat, front entry product proposed).
- 3) Lay down curbs differ from the street cross section permitted by the Engineering Standards of Design and will require City Council approval.

Response: *Comment acknowledged.*



March 6, 2018

Subject: Comment Response Letter

M.19 Please provide digital copies of all pictures depicted in the ordinance in a .png or .jpg format.

Response: *Comment acknowledged.*

M.20 Please provide a copy of the legal description in .docx format.

Response: *Comment acknowledged.*

M.21 Please review the attached draft ordinance prior to the February 27, 2018 Planning & Zoning Commission meeting.

Response: *Comment acknowledged.*

I.22 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 6, 2018; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 13, 2018 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on February 27, 2018.

Response: *Comment acknowledged.*

I.23 The projected City Council meeting dates for this case will be March 19, 2018 [1st Reading] & April 2, 2018 [2nd Reading].

Response: *Comment acknowledged.*

We appreciate this opportunity to respond to your comments. Please contact me if you need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Kevin C. Kessler".

Kevin C. Kessler, P.E.

Project Manager

214.920.8106

Kevin.Kessler@Jacobs.com

KCK/shb

CITY OF ROCKWALL

ORDINANCE NO. 18-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 7 (SF-7) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 262.06-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 43, 43-01, 44 & 44-01 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Kessler, PE of Jacobs Engineering, Inc. on behalf of Mike Wallace of Wallace Partners, LP for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses, on a 262.06-acre tract of land identified as Tracts 43, 43-01, 44 & 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a

condition of approval of the amended zoning classification for the *Subject Property*,

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* An *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and an *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 7. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and

each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 8. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 9. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 10. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF APRIL, 2018.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 19, 2018

2nd Reading: April 2, 2018

Exhibit 'B':
Legal Description and Survey

SITUATED in Rockwall County, Texas in the W.W. Ford Survey, abstract no. 80, being a survey of part of the 290 acre tract described in a deed from J. O. Wallace and wife, Mary E. Wallace to J.H. Wallace, dated September 19, 1947, recorded in volume 42, page 616 of the Rockwall County deed records, being described by metes and bounds as follows:

BEGINNING at a ½ –inch iron pin set at the northeast corner of said 290 acre tract, at the extension of H. Wallace Lane from the south and east; same being the northwest corner of The Oaks of Buffalo Way, Phase I,

THENCE southerly with said H. Wallace Lane as follows:

South 00°56'49" East, with the west line of said The Oaks of Buffalo Way, Phase I, passing the west-southeast corner of said The Oaks of Buffalo Way, Phase I and the northwest corner of the Oaks of Buffalo Way, Phase II recorded in volume F, page 65 of the Rockwall County plat records at 814.17 feet and continuing with the west line of said The Oaks of Buffalo Way, Phase II, in all 1440.71 feet to a mag nail set;

South 01°06'14" East, with the west line of Willowcrest Estates, recorded in volume C, page 343 of the Rockwall County plat records, 1047.55 feet to a mag nail set;

THENCE South 44°02'34" West, 1262.91 feet to a ½ –inch iron pin set;

THENCE North 46°09'31" West, with the northeast line of the 3.00 acre tract recorded in volume 177, page 570, 497.07 feet to a ½-inch iron pin set at the north corner of said 3.00 acre tract;

THEN South 43°50'29" West, with the northwest line of said 3.00 acre tract, passing the west corner of said 3.00 acre tract and the north corner of the 5.17 acre tract at 261.36 feet and continuing with the northwest line of said 5.17 acre tract, in all, 711.86 feet to a 3/8-inch iron pin found at the west corner of said 5.17 acre tract; same being in the northwest line of the 5.00 acre tract recorded in volume 180, page 592;

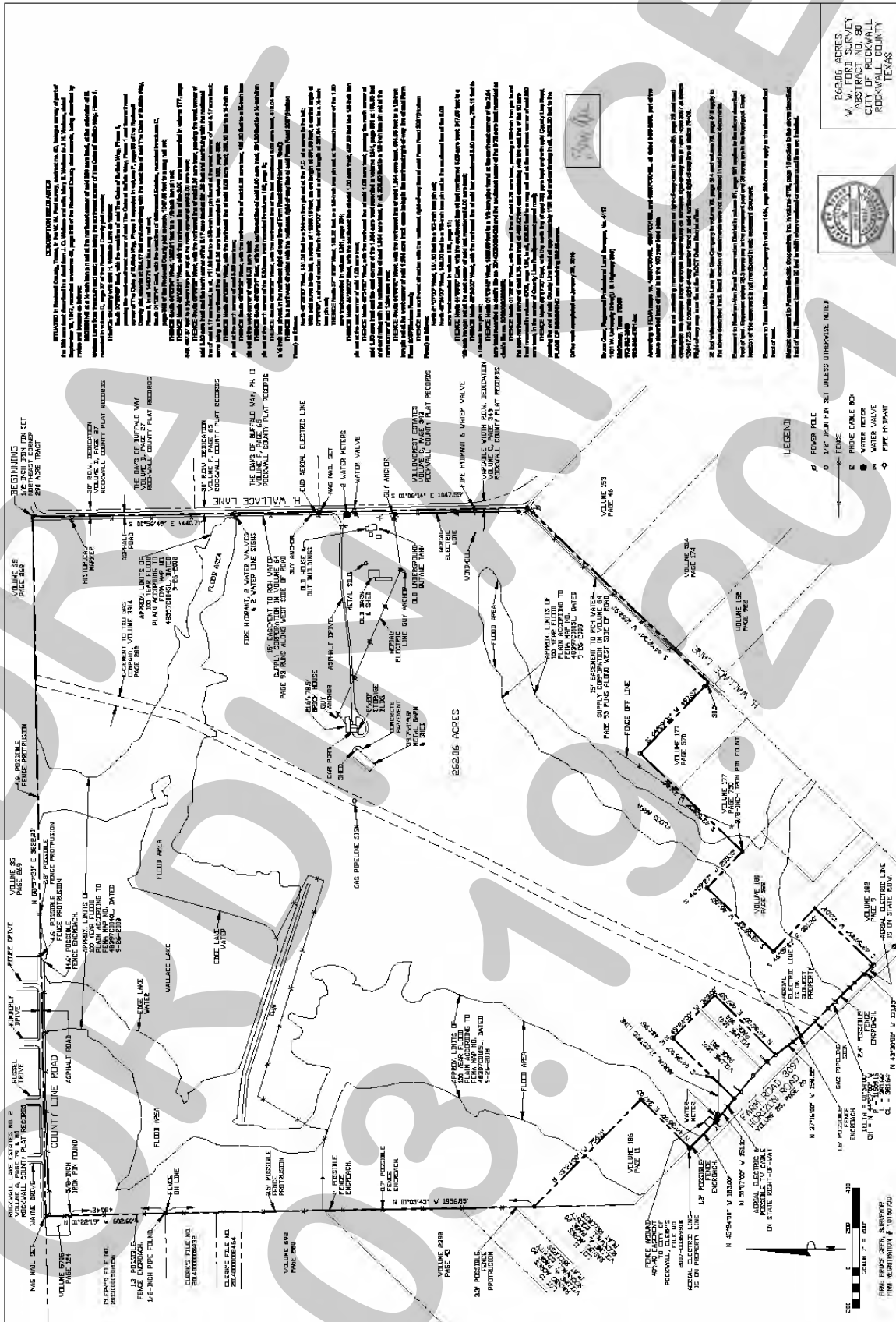
THENCE North 46°09'27" West, with the northeast line of said 5.00 acre tract, 255.10 feet to a ½ inch iron pin set at the north corner of said 5.00 acre tract;

THENCE South 43°50'29" West, with the northwest line of said 5.00 acre tract, 461.50 feet to a ½-inch iron pin set at the west corner of said 5.00 acre tract;

THENCE South 46°09'31" East, with the southwest line of said 5.00 acre tract 3.01 feet to a ½–inch iron pin set at the north corner of the 5.00 acre tract recorded in volume 182, page 9;

THENCE South 43°50'29" West, with the northwest line of the last mentioned 5.00 acre tract, 410.04 feet to a ½-inch iron pin set in the northeast right-of-way line of Farm Road 3097(Horizon Road);

Exhibit 'B': Legal Description and Survey



**Exhibit 'C':
Concept Plan**

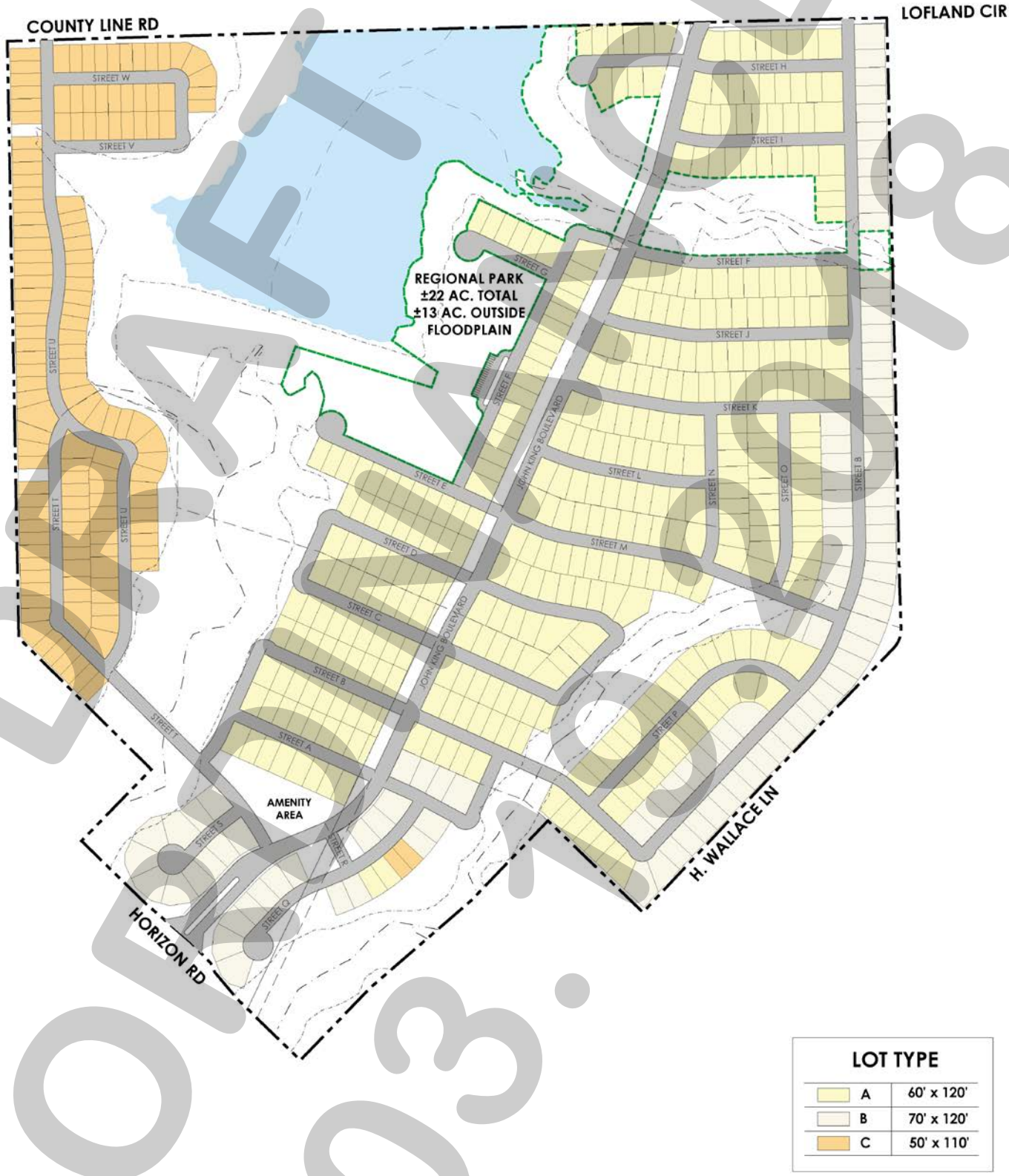


Exhibit 'D':
Density and Development Standards

Density and Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,200 SF	385	59.69%
B	70' x 120'	8,400 SF	110	17.05%
C	50' x 110'	5,500 SF	150	23.26%
Maximum Permitted Units:			645	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article V, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.50 dwelling units per gross acre of land; however, in no case should the proposed development exceed 645 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ►	A	B	C
Minimum Lot Width ⁽¹⁾	60'	70'	50'
Minimum Lot Depth	120'	120'	110'
Minimum Lot Area	7,200 SF	8,400 SF	5,500 SF
Minimum Front Yard Setback ^{(2), (4) & (5)}	20'	20'	20'
Minimum Side Yard Setback	5'	5'	5'
Minimum Side Yard Setback (Adjacent to a Street)	15'	15'	15'
Minimum Length of Driveway Pavement	20'	20'	20'
Maximum Height ⁽³⁾	36'	36'	36'
Minimum Rear Yard Setback	15'	15'	15'
Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]	2,200 SF	2,500 SF	2,000 SF
Garage Orientation	J-Swing or Front	J-Swing or Front	J-Swing or Front
Maximum Number of Front Entry Garages Permitted	270	77	150
Maximum Lot Coverage	65%	65%	65%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: A minimum of 50% of the front entry garages for *Lot Type C* shall have a minimum setback of 25-feet.
- ⁵: Lots fronting onto a curvilinear street or cul-de-sac may have the lot width reduced by up to 20% (as measured from the front property line) provided that the lot width is met at the front building line.

Exhibit 'D':
Density and Development Standards

4. **Building Standards.** All development shall adhere to the following building standards:

- (a) **Masonry Requirement.** The minimum masonry requirement for the exterior façades of all buildings shall be 90%, with front façades being 100% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) shall be permitted through a Specific Use Permit (SUP) only. Siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible from any major thoroughfare (i.e. *John King Boulevard and Horizon Road on Exhibit 'B' of this ordinance*).
- (b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have a minimum of a 4:12 roof pitch. Rear elevations may have a 6:12 roof pitch.
- (c) **Garage Orientation.** Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a flat, front entry configuration (i.e. *even with the front façade of the primary structure*) in accordance with the requirements established in *Table 2: Lot Dimensional Requirements* of this ordinance. Garages utilizing a *traditional swing* (or *j-swing*) are permitted to have a second garage door facing the street behind the front façade of the primary structure. All garage doors shall be required to have upgraded finishes (e.g. *Carriage House Collection by the Overhead Door Corporation* or a *similar alternative -- to be approved by staff*) [an example of an enhanced garage is depicted in *Figure 1*]. All garage configurations not conforming to this section shall meet the requirements of Article VI, *Parking and Loading*, of the Unified Development Code (UDC).

Figure 1: *Enhanced Garage Example*

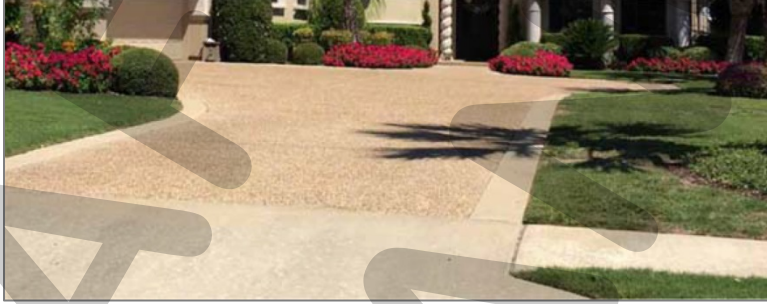


Exhibit 'D':
Density and Development Standards

- (d) *Driveways.* All driveways are required to incorporate upgraded finishes, treatments or materials [examples of upgraded finishes, treatments or materials is depicted in Figure 2]. No standard broom-finished concrete driveways shall be permitted; however, all upgraded finishes, treatments or materials shall be terminated at the property line.

Figure 2: *Enhanced Driveway Examples*

Aggregate Finish



Masonry Banding



Stamped Color Concrete



Rock Salt Finished Concrete



Exhibit 'D':
Density and Development Standards

5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3 : Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	60' x 120'	(1), (2), (3)
B	70' x 120'	(1), (2), (3)
C	50' x 110'	(1), (2), (3)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or adjacent thoroughfare shall not repeat without at least four (4) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
- (a) Number of Stories
 - (b) Permitted Encroachment Type and Layout
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
- (3) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Continued on Next Page ...

Exhibit 'D':
Density and Development Standards

Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.

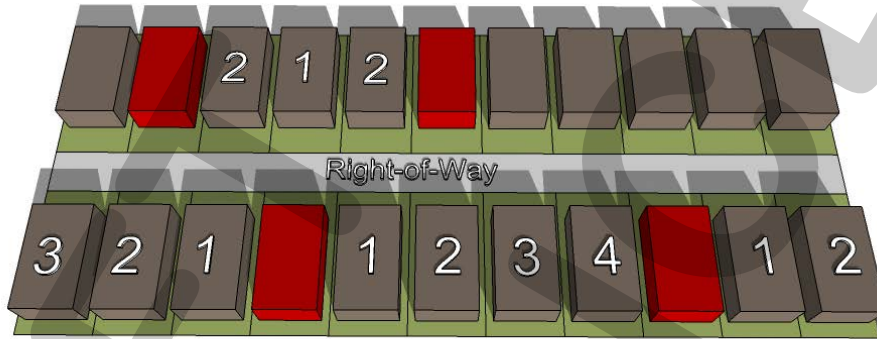


Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Wood Fences.** All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters.
 - (b) **Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (c) **Corner Lots.** Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (d) **Solid Fences (including Wood Fences).** All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

Exhibit 'D':
Density and Development Standards

7. Landscape and Hardscape Standards.

- (1) *Landscape*. Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless specifically provided below. The following tree species are approved for planting within this subdivision:
- (a) *Canopy/Shade Trees*. Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Allen Elm, Chinese Pistachio, Shumard Oak, Sycamore, Live Oak and Burr Oak.
 - (b) *Accent/Ornamental/Under-Story Trees*. Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (2) *Landscape Buffers*. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
- (a) *Landscape Buffer and Sidewalks (Horizon Road)*. A minimum of a 20-foot landscape buffer shall be provided along Horizon Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.
 - (b) *Landscape Buffers (Wallace Lane)*. A minimum of a 10-foot landscape buffer shall be provided along Horizon Road (*outside of and beyond any required right-of-way dedication*), and shall incorporate one (1) canopy tree per 20-feet of linear frontage.
 - (c) *Landscape Buffers (John King Boulevard)*. A minimum of a 10-foot landscape buffer shall be provided along John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate one (1) canopy tree per 50-feet of linear frontage.
- (3) *Streetscape Landscaping*. Prior to the issuance of a Certificate of Occupancy (CO), all residential, single-family lots situated within the proposed subdivision shall be landscaped with canopy trees in the following sizes and proportions:
- (i) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - (ii) Two (2), three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two (2), three (3) inch caliper trees shall be planted in the side yard facing the street.

Note: For the purposes of this section only [i.e. Section 7(3)], the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

Exhibit 'D':
Density and Development Standards

- (4) *Street Trees.* The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-feet vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines.
- (5) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA). Landscape irrigation will not be required in *Native/Natural* areas near the NRCS lake dam, overflow structure and floodplain areas proposed to be left undisturbed.
- (6) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
9. *Curbing.* Lay down curbing may be incorporated on street sections that are approved by the City of Rockwall Engineering Department and City Council, and shall be required to be indicated on the *Preliminary Plat*.
10. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
11. *Sidewalks.* All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
12. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. The Developer shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
13. *Open Space.* The development shall consist of a minimum of 20% open space (*or a minimum of 52.412-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (*including landscape buffers*) shall be maintained by the Homeowner's Association (HOA).
14. *Neighborhood Signage and Enhancements.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision in

Exhibit 'D':
Density and Development Standards

general conformance to the signage depicted in *Figure 3*. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.

Figure 3: *Neighborhood Signage*



The developer shall provide enhanced landscaping areas within the *Subject Property* as generally depicted in *Figure 4*. The final design of these areas shall be provided on the *PD Site Plan*.

Figure 4: *Landscaping Enhancement Areas*



Exhibit 'D':
Density and Development Standards

15. *Drainage Standards.* The development shall comply with existing drainage standards including the permissible spread of water in the streets and permissible gutter flow through intersections as outlined in the City of Rockwall's *Standards of Design and Construction*. The proposed drainage areas, flow patterns, and storm drain system that will be constructed shall be based on the City's drainage criteria and be identified on a *Conceptual Drainage Plan*, which shall be submitted with the *Civil Plans* at the time of *Engineering* submittal. The *Conceptual Drainage Plan* shall be reviewed and approved by the Engineering Department in compliance with engineering standards.
16. *Amenity Center.* The development shall include a fully established turfed and irrigated private *Amenity Center* as general depicted in *Exhibit 'C'* of this ordinance and as depicted in *Figure 5*. The final design of the *Amenity Center* will be determined with the *PD Site Plan*. In addition, this area shall incorporate the following improvements:
- (a) Upgraded Playground Facilities
 - (b) Covered Shade Structure
 - (c) Swimming Pool
 - (d) Picnic Area
 - (e) Benches
 - (f) Landscaping Features (*including upgraded planting beds, canopy trees and ornamental trees*)

Figure 5: *Amenity Center Layout*



17. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open

Exhibit 'D':
Density and Development Standards

space and common areas (*including drainage facilities*), irrigation, landscaping, amenity center, screening fences and neighborhood signage associated with this development.

18. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

February 16, 2018

Ryan Miller
City of Rockwall
385 S Goliad
Rockwall, Texas 75087



Re: Wallace Tract – Proposed PD Zoning – Separate Applicant Requests

Dear Ryan,

Hines is hereby requesting a zoning change on the property bound by Wallace Lane, Horizon Road, County Line Road, and Lofland Circle. The purpose of this request is to create a Planned Development (PD) for a proposed single-family, master-planned community. Please find the zoning change application and PD Development Standards along with the proposed Concept Plan in this submittal.

Hines is a privately owned global real estate investment firm founded in 1957 with a presence in 201 cities in 21 countries. Hines has approximately \$100 billion of assets under management, including \$54.5 billion for which Hines provides fiduciary investment management services, and \$45.5 billion for which Hines provides third-party property-level services. The firm has 113 developments currently underway around the world. Historically, Hines has developed, redeveloped or acquired 1,262 properties, totaling over 414 million square feet. The firm's current property and asset management portfolio includes 529 properties, representing over 213 million square feet. With extensive experience in investments across the risk spectrum and all property types, and a pioneering commitment to sustainability, Hines is one of the largest and most-respected real estate organizations in the world. Visit www.hines.com for more information.

In addition to the single-family related items discussed in the PD, Hines has several separate requests, detailed below:

Wallace Lane:

Hines is proposing access to the community through a combination of Horizon and County Line roads (see the enclosed access point exhibit for reference). The project will therefore not add any traffic to the existing Wallace Lane. The other adjacent property that utilizes Wallace Lane, The Oaks at Buffalo Way, has been developed as large lot single-family and is currently the highest and best use for that property. Hines is proposing that the Rockwall Major Thoroughfare plan be amended to call for no expansion to the existing Wallace Lane to reflect the road's sparsely traveled status.

Future Water Line Reimbursement:

As part of the single-family development, Hines will install an off-site water line to connect to the existing water infrastructure along Highway 205 when project phasing demands deem the improvements necessary. The proposed water line will provide capacity to the Wallace Tract as well as other future developments along the path of the line. Discussions with City of Rockwall staff have affirmed that a pro rata reimbursement

as repayment to Hines or its assigns will be disbursed at the time the benefited properties develop. Hines is requesting that the City put in place a reimbursement agreement that will last 10 years with subsequent 10 year extensions to be exercised at Hines or its assigns discretion and details the reimbursement amounts Hines can expect.

City Park Dedication:

Following successful zoning, Hines intends to present to the City of Rockwall Parks Board the plan to dedicate +/- 11 acres for a City of Rockwall Regional Park and an additional amount of open space to be utilized for the City to seek additional grant funding. The park will be dedicated during the platting of the adjacent phase. The City of Rockwall will maintain the Regional Park while the Association created by Hines will maintain the project's internal private park improvements.

Please contact me with any questions.

Sincerely,

Hines Interests Limited Partnership,
a Delaware limited partnership,
its sole Member

By: Hines Holding, Inc.,
a Texas corporation,
its General Partner


DD

By: _____
Name: Robert W. Witte
Title: Senior Managing Director

From: [Mike Wallace](#)
To: [Miller, Ryan](#)
Subject: Zoning Case # Z2018-010 Wallace Tract
Date: Friday, March 16, 2018 11:22:26 AM

To: City of Rockwall Administration and City Council

As the acting Agent for Wallace Land Partners LLP., and as the Applicant for this zoning case, I officially tender our request to withdraw this zoning case without prejudice or vote on it by the City Council of Rockwall, Texas.

We wished that the Planning Commission would have allowed us to table the case last Tuesday evening, as we requested, but they failed to do so and the plan was rejected. That evening we heard from our neighbors, objecting to our plan, and although we had tried to contact the homeowners associations adjacent to us prior to the P&Z meeting, we were unsuccessful in doing so. We value the feelings and opinions of all people, and wish our neighbors to be supportive of our future plans.

By your favor of allowing us to withdraw this application, re-visit the concerns of our neighbors, and attempt to address concerns, we will endeavor to reach a consensus of agreement while using best practices in conforming to the City Development Standards.

Thank you in advance.
Mike Wallace
Wallace Land Partners, LLP.

Sent from [Mail](#) for Windows 10



CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Brad Griggs, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: March 19, 2018

SUBJECT: Z2018-010; *Wallace Tract (AG to PD)*

The owner of the property, Mike Wallace of Wallace Land Partners, LLP, has requested that *Case No. Z2018-010* be withdrawn and the case be removed from the March 19, 2018 City Council meeting agenda. According to Section 5, *Application Withdrawal*, of the Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC), any case that has been published in the paper and notifications of a public hearing sent out must be placed on the public hearing agenda and acted upon by the applicable body. This means that the City Council will need to take action to approve the applicant's request to withdraw the case. If the City Council does not accept the applicant's request, the City Council will not be required to take any action on the withdraw request and the case will proceed as advertised.

Exhibit 'A': Applicant's Letter

From: [Mike Wallace](#)
To: [Miller, Ryan](#)
Subject: Zoning Case # Z2018-010 Wallace Tract
Date: Friday, March 16, 2018 11:22:26 AM

To: City of Rockwall Administration and City Council

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Thank you in advance.
Mike Wallace
Wallace Land Partners, LLP.

Sent from [Mail](#) for Windows 10



Access Point Exhibit

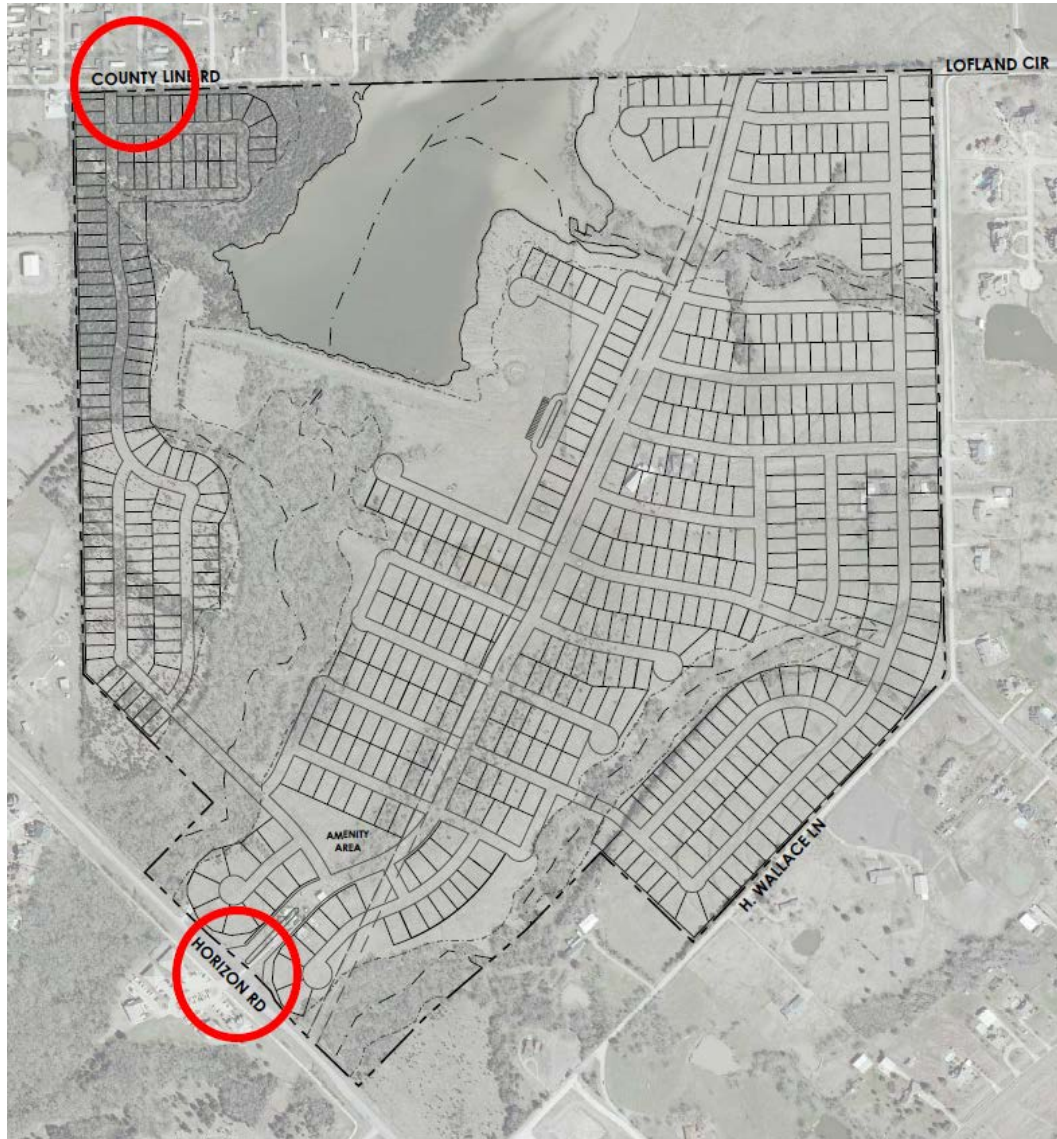


Exhibit B Wallace Tract:
PD Development Standards

A. GENERAL REQUIREMENTS

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted with the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit 'B' and stated in Table 1, which is as follows:

Table 1: Lot Composition

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Maximum Dwelling Units (#)</i>
A	60' x 120'	7,200 SF	385
B	70' x 120'	8,400 SF	110
C	50' x 110'	5,500 SF	150

Maximum Permitted Units: 645

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article V, *District Development Standards*, of the Unified Development Code (UDC), are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.50 dwelling units per gross acre of land; however, in no case should the proposed development exceed 645 units. All lots shall conform to the standards depicted in Table 2, which are as follows:

Table 2: Lot Dimensional Requirements

<i>Lot Type (see PD Concept Plan)▶</i>	A	B	C
<i>Minimum Lot Width/Frontage⁽¹⁾</i>	60'	70'	50'
<i>Minimum Lot Depth</i>	120	120	110
<i>Minimum Lot Area</i>	7,200 SF	8,400 SF	5,500 SF
<i>Minimum Front Yard Setback⁽²⁾</i>	20	20	20
<i>Minimum Side Yard Setback</i>	5	5	5
<i>Minimum Side Yard Setback (Adjacent to the Street)⁽²⁾</i>	15	15	15
<i>Minimum Length of Driveway Pavement</i>	20	20	20
<i>Maximum Height⁽³⁾</i>	36	36	36
<i>Minimum Rear Yard Setback⁽⁴⁾</i>	15	15	15
<i>Garage Orientation</i>	Front or J-Swing	Front or J-Swing	Front
<i>Maximum of Front Entry Garages Permitted</i>	70% or 270 lots	70% or 270 lots	100% or 150 lots
<i>Minimum Area / Dwelling Unit (SF)⁽⁵⁾</i>	2,200	2,500	2,000
<i>Maximum Lot Coverage</i>	65%	65%	50'

General Notes:

1. The minimum lot width shall be measured at the *Front Yard Building Setback*.
2. The location of the *Front Yard Building Setback* as measured from the front property line.
3. The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
4. As measured from the rear yard property line.
5. A minimum of 25% of Lot Type C must have a *Front Yard Setback* of 25'
6. Up to 25% of Lot Type C can be less than 2,000 SF but greater than 1,800 SF.
7. Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally,

Exhibit B Wallace Tract:
PD Development Standards

the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.

4. **Building Standards.** All development shall adhere to the following building standards:

- a) **Masonry Requirement.** The minimum masonry requirement for the exterior facades of a building shall be 90%, where 100% of front elevation shall be masonry with exception of above roof line and architectural façade features). No visible siding adjacent to major thoroughfare allowed. Hardie Board or similar cementaceous material may be used on up to 50% of the total masonry requirement.
- b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of sunrooms and porches, which shall have minimum of a 4:12 roof pitch. Rear elevation may have 6:12 roof pitch.
- c) **Garage Orientation and Driveway Standards.** Garages may be oriented toward the street in a front entry configuration; however, the front façade of the garage door must be situated equal to or behind the front façade of the primary structure. Swing, Traditional Swing, or J-Swing garages are permitted to have a second garage door facing the street. All garage doors are required to be upgraded finish with examples to include "Carriage House Collection" by Overhead Door Corporation or approved alternate. All driveways are required to include upgraded finish, treatment, or materials. No standard broom-finish concrete driveways are allowed.

5. **Anti-Monotony Restrictions.** The development shall adhere to an *Anti-Monotony rule*.

- a) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties.
- b) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and three (3) intervening homes of differing appearance on the opposite side of the street. The rear elevation of the homes backing to open spaces or to an adjacent thoroughfare shall not repeat without at least four (4) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - i. Number of Stories
 - ii. Permitted Encroachment Type and Layout
 - iii. Roof Type and Layout
 - iv. Articulation of the Front Façade

*****NOTE*** Please insert the monotony chart from Z2015-016: Discovery Lakes (AG to PO), Ordinance No. 15-24**

- c) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural composition.
6. **Fencing Standards.** All individual residential fences and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards.

Exhibit B Wallace Tract:
PD Development Standards

- a) *Wood Fences.* All wood fences shall be constructed of board-on-board Cedar and stained a consistent medium-brown.
- b) *Decorative Metal Fencing.* Lots located along the perimeter of roadways, abutting open spaces, greenbelts and parks shall be required to install a tubular steel fence or decorative metal fence.
- c) *Corner Lots.* Corner lots fences (i.e. adjacent to the street) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. Fencing shall be setback from the side property line adjacent to the street a minimum of five (5) feet.
- d) *Solid Fences (including Wood Fences).* All solid fences shall incorporate a decorative top rail or cap into the design of the fence.

7. *Landscape and Hardscape Standards.*

- a) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan, All Canopy/Shade Trees planted within this development, unless specifically provided by this PD Ordinance, shall be a minimum of three (3) caliper inches in size and all Accent/Ornamental/Under-story Trees shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within this PD development:
 - i. *Canopy/Shade Trees.* Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Burk Elm, Allen Elm, Chinese Pistachio, Shumard Oak, Sycamore, Live Oak, and Burr Oak.
 - ii. *Accent/Ornamental/Under-Story Trees.* Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- b) *Landscape Buffers.* All landscape buffers and plantings located within buffers shall be maintained by the Homeowner's Association (HOA). A minimum of a 20-foot landscape buffer shall be provided along the frontage of Horizon Road and a minimum 10-foot landscape buffer shall be provided along the frontage of H. Wallace Lane and County Line Road (outside of and beyond any required right-of-way dedication).
- c) *Streetscape Landscape.* Prior to issuance of a Certificate of Occupancy, yards for all single-family lots in the District shall be landscaped with large canopy Trees.
 - i. Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of an interior lot.
 - ii. Two minimum three (3) inch trees measured six (6) inches above the root ball shall be planted in the front yard of a corner lot and two additional trees of same caliper shall be planted in the side yard facing the street.
 - iii. For purposes of this section only, the term "front yard" includes the area within the dedicated right-of-way for a parkway immediately adjoining the front yard of the lot.

Exhibit B Wallace Tract:
PD Development Standards

- d) *Street Trees.* Street Trees shall generally be planted in conformance with the PD Concept Plan as depicted in this ordinance. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of a 14' vertical clearance height for any trees overhanging a public roadway. All street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm sewer lines.
 - e) *Irrigation Requirements.* Irrigation shall be installed for required landscaping located within improved common areas, landscape buffers and/or open space lawn areas. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association. Landscape Irrigation will not be required in Native/Natural areas near the NRCS lake dam, overflow structure, and floodplain areas proposed to be left undisturbed.
 - f) *Hardscape.* Hardscape plans indicating the location of sidewalks and trails shall be reviewed and approved with the PD Site Plan.
- 8. *Street.* All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City Street standards.
 - 9. *Curbing.* Within certain lot types "A, B, & C" "roll up, lay down curbing" may be incorporated in an effort to minimize frequent curb cuts and maximize streetscape continuity, as approved by the City of Rockwall (Engineering Department) with approval of the final plat application.
 - 10. *Lighting.* Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures should be directed downward and be positioned to contain all light within the development area.
 - 11. *Sidewalks.* At a minimum, all sidewalks located on lay down curb section streets shall begin four (4) feet behind the back of curb and be at a minimum of five (5) feet in overall width.
 - 12. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*i.e. 3-phase lines*), or additional lines that are added to existing poles, may be above ground if located along the perimeter of the *Subject Property*. The Developer shall not be required to re-locate existing overhead power lines along the perimeter of the *Subject Property*. Temporary power lines constructed across the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
 - 13. *Open Space.* The development shall consist of a minimum 20% open space (including any park land dedicated to the City of Rockwall), and generally conform to the PD Concept Plan contained in this ordinance. Existing floodplain shall only count up to 10% of the required 20%. All open space areas shall be maintained by the Homeowner's Association (HOA).

Exhibit B Wallace Tract:
PD Development Standards

Developer shall provide within the Subject Property enhanced landscaping areas within the Subject Property (generally depicted below). Final design will be determined at development.



14. **Neighborhood Signage.** Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision, in general conformance to the signage shown below. Final design and location of entry features shall be reviewed and approved with the PD Site Plan.

Exhibit B Wallace Tract:
PD Development Standards



15. Amenity Center. The development shall include a fully established turfed and irrigated private Amenity Center as generally depicted in the PD Concept Plan and below. The final design of the Amenity Center will be determined with the Planned Development Site Plan. This area shall incorporate the following improvements:

- a) Upgraded Playground facilities
- b) Covered Shade Structure
- c) Swimming pool & accessory uses
- d) Picnic Area
- e) Benches
- f) Landscaping features including upgraded planting beds, Canopy Trees, and Ornamental Trees



16. *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the

Exhibit B Wallace Tract:
PD Development Standards

Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, screening fences associated with this development.

17. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

DRAFT

Exhibit B Wallace Tract:
PD Development Standards

Sample Images:

Enhanced Garage:



Enhanced Driveway Finish Options:

Aggregate Finish



Masonry Banding



Exhibit B Wallace Tract:
PD Development Standards

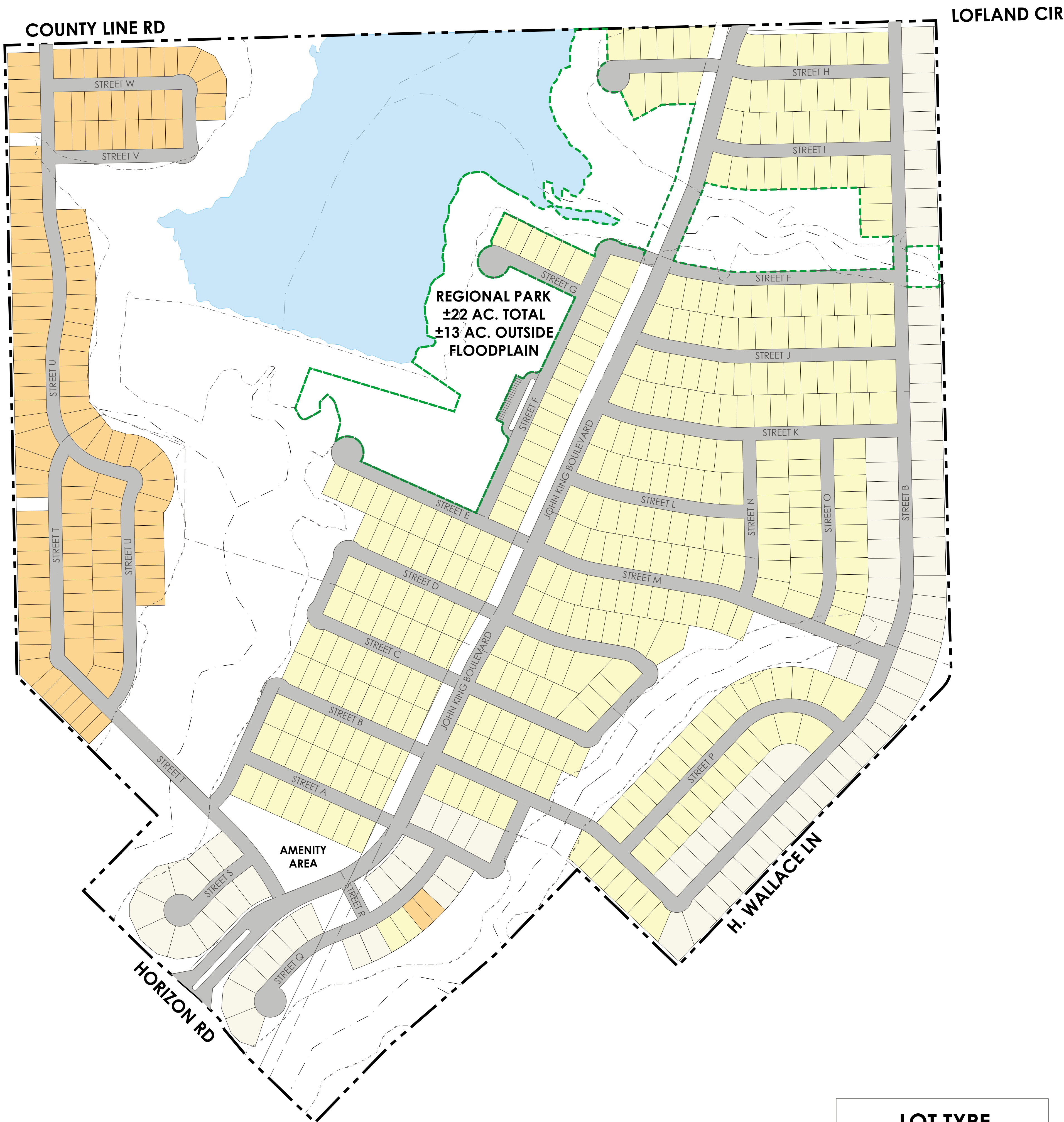
Stamped Color Concrete



Rock Salt Finish Concrete



DRAFT



LOT TYPE		
	A	60' x 120'
	B	70' x 120'
	C	50' x 110'



ZONING CONCEPT PLAN

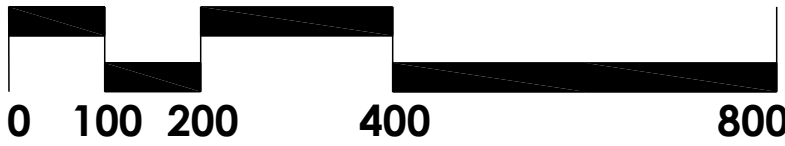
Wallace Tract Concept

Rockwall, Texas

March 07, 2018

Drawing name: \\dallf02\Projects\NAI\SLD\WFXO7000\700 CADD\709 Planning_Landscape\Planning\Wallace Tract PD_Concept_03.07.2018.dwg
Plotted on: Mar 07, 2018 - 8:18am





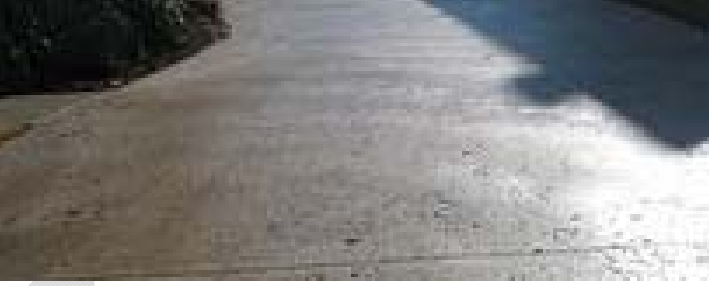
0 100 200 400 800

NOTE: This plan is diagrammatic only and is intended to show potential configuration. This plan is only conceptual and is not based upon a detailed survey of existing site conditions such as property limits, subsurface conditions, limits of trees, topography, utilities, easements, etc. March 07, 2018

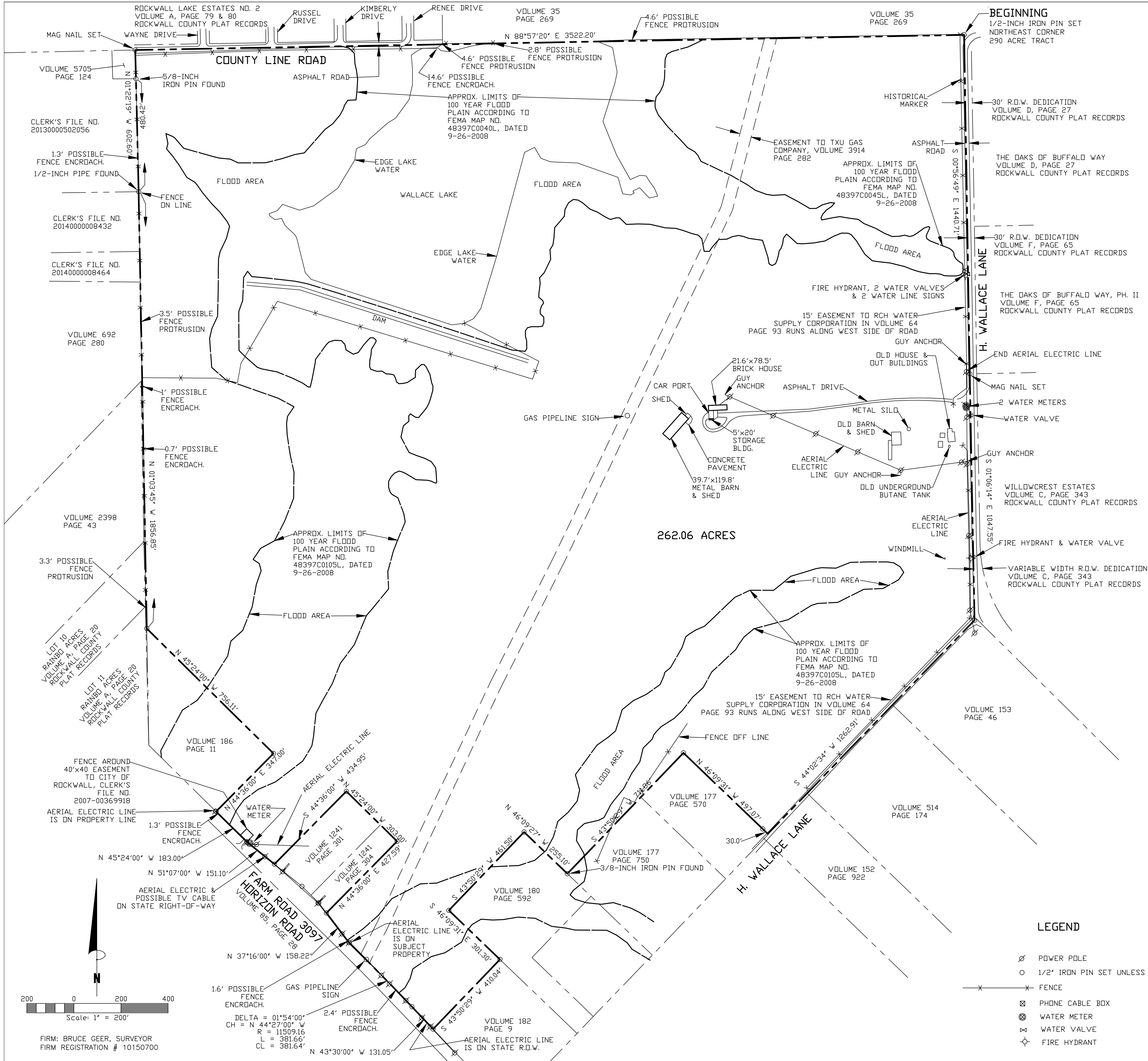












DESCRIPTION 262.06 ACRES

SITUATED in Rockwall County, Texas, in the W. W. Ford survey, abstract no. 80, being a survey of part of the 290 acre tract described in a deed from J. O. Wallace and wife, Mary E. Wallace to J. H. Wallace, dated September 19, 1947, recorded in volume 42, page 616 of the Rockwall County deed records, being described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron pin set at the northeast corner of said 290 acre tract, at the extension of H. Wallace Lane from the south and east; same being the northwest corner of The Oaks of Buffalo Way, Phase I, recorded in volume D, page 27 of the Rockwall County plat records;

THENCE southerly with said H. Wallace Lane as follows:

South 00°58'49" East, with the west line of said The Oaks of Buffalo Way, Phase I, passing the west-southwest corner of said The Oaks of Buffalo Way, Phase I and the northwest corner of The Oaks of Buffalo Way, Phase II recorded in volume F, page 65 of the Rockwall County plat records at 814.17 feet and continuing with the west line of said The Oaks of Buffalo Way, Phase II, in all 1440.71 feet to a mag nail set;

South 01°08'14" East, with the west line of Willowcrest Estates, recorded in volume C, page 343 of the Rockwall County plat records, 1047.55 feet to a mag nail set;

THENCE South 44°02'34" West, 1262.91 feet to a 1/2-inch iron pin set;

THENCE North 48°09'31" West, with the northeast line of the 3.00 acre tract recorded in volume 177, page 570, 497.07 feet to a 1/2-inch iron pin set at the north corner of said 3.00 acre tract;

THENCE South 43°50'29" West, with the northwest line of said 3.00 acre tract, passing the west corner of said 3.00 acre tract and the north corner of the 5.17 acre tract at 281.36 feet and continuing with the northwest line of said 5.17 acre tract, in all, 711.86 feet to a 3/8-inch iron pin found at the west corner of said 5.17 acre tract; same being in the northwest line of the 5.00 acre tract recorded in volume 160, page 692;

THENCE North 48°09'27" West, with the northeast line of said 5.00 acre tract, 255.10 feet to a 1/2-inch iron pin set at the north corner of said 5.00 acre tract;

THENCE South 43°50'29" West, with the northwest line of said 5.00 acre tract, 461.50 feet to a 1/2-inch iron pin set at the west corner of said 5.00 acre tract;

THENCE South 48°09'31" East, with the southwest line of said 5.00 acre tract, 301.30 feet to a 1/2-inch iron pin set at the north corner of the 5.00 acre tract recorded in volume 182, page 9;

THENCE South 43°50'29" West, with the northwest line of the last mentioned 5.00 acre tract, 410.04 feet to a 1/2-inch iron pin set in the northeast right-of-way line of Farm Road 3097 (Horizon Road);

THENCE in a northwest direction with the northeast right-of-way line of said Farm Road 3097 (Horizon Road) as follows:

North 43°30'00" West, 131.05 feet to a 1/2-inch iron pin set at the P.C. of a curve to the left;

With said curve to the left, a radius of 11509.16 feet, an arc length of 381.66 feet, a central angle of 01°54'00", a chord direction of North 44°27'00" West and a chord length of 381.64 feet to a 1/2-inch iron pin set;

THENCE North 37°16'00" West, 158.22 feet to a 1/2-inch iron pin set at the south corner of the 1.00 acre tract recorded in volume 1241, page 304;

THENCE North 44°36'00" East, with the southeast line of said 1.00 acre tract, 427.59 feet to a 1/2-inch iron pin set at the east corner of said 1.00 acre tract;

THENCE North 45°24'00" West, with the northeast line of said 1.00 acre tract, passing the north corner of said 1.00 acre tract and the east corner of the 1.954 acre tract recorded in volume 1241, page 301 at 103.00 feet and continuing with the northeast line of said 1.954 acre tract, in all, 303.00 feet to a 1/2-inch iron pin set at the north corner of said 1.954 acre tract;

THENCE South 44°36'00" West, with the northwest line of said 1.954 acre tract, 434.95 feet to a 1/2-inch iron pin set at the west corner of said 1.954 acre tract; same being in the northeast right-of-way line of said Farm Road 3097 (Horizon Road);

THENCE in a northwest direction with the northeast right-of-way line of said Farm Road 3097 (Horizon Road) as follows:

North 51°07'00" West, 151.10 feet to a 1/2-inch iron pin set;

North 45°24'00" West, 183.00 feet to a 1/2-inch iron pin set in the southeast line of the 5.00 acre tract recorded in volume 166, page 11;

THENCE North 44°36'00" East, with the southeast line of last mentioned 5.00 acre tract, 347.00 feet to a 1/2-inch iron pin set at the east corner of said last mentioned 5.00 acre tract;

THENCE North 45°24'00" West, with the northeast line of said last mentioned 5.00 acre tract, 756.11 feet to a 1/2-inch iron pin set;

THENCE North 01°03'45" West, 1856.85 feet to a 1/2-inch pipe found at the northeast corner of the 2.04 acre tract recorded as clerk's file no. 2014000008432 and the southeast corner of the 9.76 acre tract recorded as clerk's file no. 20130000502056;

THENCE North 01°22'19" West, with the east line of said 9.76 acre tract, passing a 5/8-inch iron pin found the east-northeast corner of said 9.76 acre tract at 480.42 feet and continuing with the east line of the 10 acre tract recorded in volume 5705, page 124, in all, 602.60 feet to a mag nail set at the northwest corner of said 290 acre tract, in the center of County Line Road (east-west paved road);

THENCE North 88°57'20" East, with the north line of said 290 acre tract and with said County Line Road, passing the end of said County Line Road at approximately 1151 feet and continuing in all, 3522.20 feet to the PLACE OF BEGINNING and containing 262.06 acres.

Office work completed on January 22, 2016

Bruce Geer

Bruce Geer, Registered Professional Land Surveyor, No. 4117
1101 W. University Drive (U. S. Highway 380)
McKinney, Texas 75069
972-562-3959
972-542-5751-fax

According to FEMA maps no. 48397C0040L, 48397C0105L and 48397C0045L, all dated 9-26-2008, part of the above described tract of land is in the 100 year flood plain.

Bearing base and controlling monuments: Bearings seen on right-of-way deed in volume 85, page 28 and used calculated line between a bent concrete marker found on northeast right-of-way line of Farm Road 3097 at station 134+17.23 and concrete right-of-way marker found on said northeast right-of-way line at station 70+00. Right-of-way map is on file at the TxDOT Dallas District office.

25 foot wide easements to Lone Star Gas Company in volume 76, page 514 and volume 76, page 516 apply to the above described tract. Exact location of easements were not mentioned in said easement documents.

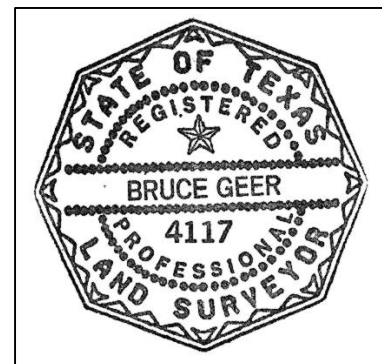
Easement to Kaufman-Van Zandt Conservation District in volume 51, page 101 applies to the above described tract of land. Easement states 25.3 acres are in the permanent pool and 36 acres are in the flood pool. Exact location of this easement is not mentioned in said easement document.

Easement to Texas Utilities Electric Company in volume 1414, page 238 does not apply to the above described tract of land.

Blanket easement to Farmers Electric Cooperative, Inc. in volume 3756, page 15 applies to the above described tract of land. Easement becomes 20 feet in width when overhead or underground lines are installed.

LEGEND

- POWER POLE
- 1/2" IRON PIN SET UNLESS OTHERWISE NOTED
- FENCE
- PHONE CABLE BOX
- WATER METER
- WATER VALVE
- FIRE HYDRANT



262.06 ACRES
W. W. FORD SURVEY
ABSTRACT NO. 80
CITY OF ROCKWALL
ROCKWALL COUNTY
TEXAS