



## PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2019-006 P&Z DATE 3/20/2019 CC DATE 4/9/2019 APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

### SITE PLAN APPLICATION

- ☒ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

### PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# \_\_\_\_\_)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE \_\_\_\_\_
  - ☐ CABINET # \_\_\_\_\_
  - ☐ SLIDE # \_\_\_\_\_

NOTES: \_\_\_\_\_

ZONING MAP UPDATED \_\_\_\_\_



## DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2019-004

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>  
☐ Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>  
☐ Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>  
☐ Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>  
☐ Amending or Minor Plat (\$150.00)  
☐ Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- ☒ Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>  
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>  
☐ Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>  
☐ PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- ☐ Tree Removal (\$75.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 995 I-30 East, Rockwall, TX 75087

Subdivision Rockwall Business Park East

Lot 10 Block

General Location Rockwall Plaza on I-30 East

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial (C) District

Current Use Retail, Restaurants, & Personal Services

Proposed Zoning Commercial (C) District

Proposed Use Retail, Restaurants, & Personal Services

Acreage

0.69±

Lots [Current]

1

Lots [Proposed]

1

- ☐ **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner Excel Rockwall, LLC C/O ShopCore Properties, L

☐ Applicant Kimley-Horn

Contact Person Steve Russell, CCIM

Contact Person Marla Mauricio

Address 233 S. Wacker Drive, #3400

Address 13455 Noel Rd. TWO

Galleria office tower Suite 700

City, State & Zip Chicago, IL 60606

City, State & Zip Dallas, TX 75240

Phone 3127985167

Phone marlamauricio@kimley-horn.com

E-Mail srussell@shopcore.com

E-Mail 972-731-2184

## NOTARY VERIFICATION [REQUIRED]

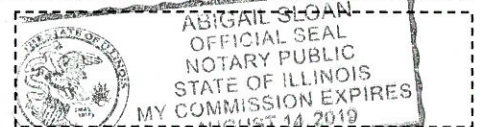
Before me, the undersigned authority, on this day personally appeared Steve Russell [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 250.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 4th day of March, 20 19. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 4th day of March, 20 19.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas



My Commission Expires





# DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

☐ PLAT TYPE.

- ☐ MINOR/AMENDING PLAT.
- ☐ MASTER PLAT.
- ☐ PRELIMINARY PLAT.
- ☐ FINAL PLAT.
- ☐ REPLAT.
- ☐ VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. Each set of plans should be folded into a *Tri-Fold* with the project title or identifier facing out.

☐ DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:

- ☐ ONE (1) PDF COPY OF THE PLAT
- ☐ ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

*\* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE*

- ☐ TREESCAPE PLAN [IF APPLICABLE].
- ☐ LANDSCAPE PLAN [IF APPLICABLE].
- ☐ APPLICATION AND APPLICATION FEE.

## SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

☒ PLAN SET. A plan set is composed of the following items:

- ☒ SITE PLAN.
- ☒ LANDSCAPE PLAN.
- ☒ TREESCAPE PLAN.
- ☒ PHOTOMETRIC PLAN.
- ☒ BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- ☒ BUILDING MATERIAL SAMPLE BOARD. See the *Material Sample Board Design Guidelines* in this development packet.
- ☒ APPLICATION AND APPLICATION FEE.

## ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- ☐ LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ☐ ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- ☐ LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- ☐ APPLICATION AND APPLICATION FEE.

**IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. WITHOUT A COMPLETE APPLICATION SUBMITTAL, THE CASE MAY NOT BE PROCESSED AND MAY NOT BE PLACED ON A PUBLIC HEARING AGENDA.**





# CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

CASE NUMBER:

REVIEWED BY:

OVERLAY DISTRICT:

REVIEW DATE:

## 1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				Per Application
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Photometric Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and/or Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	-
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") <b>folded</b> copies and one (1) PDF digital copy of each plan is required at the time of submittal.	-
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	-
Case Number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right hand corner below the title block of all sheets.	-
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right hand corner left of the title block.	-
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right hand corner left of the title block.	-
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	-
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1"=20', 1"=40', etc ... with a maximum of 1"=100'.	-
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	-
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	-
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	-
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-



## 2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	-
Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	-
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	-
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	-
Distance Between Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	-
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	-
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	-
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	-
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	-
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Fire Lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	-
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	-
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	-
Label all Adjacent Street Name	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Label all adjacent existing and proposed street names.	-
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	-
Median Breaks in Adjacent Streets	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		-

## 2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	-
Parking Table	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	-
Handicap Parking Spaces Shown	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. VI 5.4
Adequate Parking	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Reference Table 3 of Article VI.	Art. VI Table 3
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction ( <i>Check w/ the Engineering Department</i> ).	Art. VI 5.3.C
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer (Art. VI 6.5 <i>Loading Requirements</i> ).	Art. VI 6.4
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. VI 6
Type and Depth of Paving Material	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	Art. VI 3.2



## 2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
<b>NOTE:</b> All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				
Proposed or Existing Signage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	-

## 2.4 SITE PLAN: SCREENING

Requirements	✓= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Label the height and type of fence proposed or existing. All fencing shall conform to Chapter 10, Article XI of the Code of Ordinances.	Art. V 1.7
Utility Equipment Screening (Pad or Ground Mounted)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.5.3
Utility Equipment Screening (Roof Mounted)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	Art. V 1.5.3
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.5.4
Dumpster Screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	Art. V 1.5.2
Outside Storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	Art. V 1.5.1
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	Art. V 1.6

## 3.1 LANDSCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	Art. VIII 4.3
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district the percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	Art. VIII 5.12
Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	Art. VIII 4.3



Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	-
Location of Water Courses and Significant Drainage Features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	Art. VIII 4.3
Indicate all Landscape Buffers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	Art. VIII 5.1
Acceptable Landscape Materials:				Art. VIII 5.3
✓ Trees allowed in Street Landscape Buffers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Art. VIII 5.3.E
✓ Trees not allowed in Landscape Buffers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Art. VIII 5.3.F
Protected Trees (To Remain On Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3
Parking Lot Landscaping	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square included in the parking area, and the number and location of required off-street parking and loading spaces.	Art. VIII 5.9
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	Art. VIII 4.3
Identify Visibility Triangles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	
Street Trees	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	Art. VIII 5.7
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five feet from water, sewer and storm sewer lines.	Art. VIII 4.3
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	Art. VIII 5.5

#### 4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	-
Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	-
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. IX 3
Protected Trees (To Remain On Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3



Protected Trees (To be Removed from the Site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	Art. IX.3
Treescape Table	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	Art. IX.3

## 5.1 PHOTOMETRIC AND LIGHTING PLANS

N/A

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	-
Indicate Lighting Levels (in Foot Candles [FC])	<input type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	Art. VII 3.4
Adjacent Property with Common Lot Lines:				Art. VII 3.3
✓ Residential Use	<input type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	Art. VII 3.3.B
✓ Commercial Use	<input type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	Art. VII 3.3.C
Under-Canopy Lighting	<input type="checkbox"/>	<input type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 0.35 of one foot candle (with the exception below).	Art. VII 3.3.G.1
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	Art. VII 3.3.G.2
Lighting in Parking Areas	<input type="checkbox"/>	<input type="checkbox"/>	Parking areas are not to exceed a maintained average of 1.5 foot candles at ground level, and shall distribute not more than 0.2 of one foot candle of light upon any adjacent property.	Art. VI 3.4.A
Indicate all Exterior Lighting	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	-
Indicate the Mounting Height for all Proposed Light Fixtures	<input type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	Art. VII 3.3.D
Indicate the Wattage of all Light Sources	<input type="checkbox"/>	<input type="checkbox"/>	-	-
Proposed Light Fixtures	<input type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	-

## 6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE: Specific Zoning and Overlay Districts may have additional design and material requirements.</b>				
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	ALL SIDES APPLY
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	REFER TO SITE PLANS
90% Masonry Requirement	NOTE A: REFER TO EXTERIOR MATERIAL BREAKDOWN SCHEDULE ON THE ELEVATIONS		<b>For Buildings less than 25,000 Sq. Ft.:</b> Exterior walls should consist of 90% masonry materials excluding doors and windows. <b>For Buildings greater than 25,000 Sq. Ft.:</b> 90% of exterior walls shall consist of brick, stone, split faced CMU, plaster, stucco or a combination of.	Art. 4.1.A.1 Art. 4.1.D.2
Indicate Amount and Location of the 20% (of the 90%) Stone Requirement.	NOTE A, SEE ABOVE		Applies to facades that are visible from a public right-of-way and/or open space.	Art. 4.1.A.1
Indicate the Surface Area of Each Facade	NOTE A, SEE ABOVE		Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	-
Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	-
Indicate the Roofing Materials and Color	<input type="checkbox"/>	<input type="checkbox"/>	WHITE TPO ROOF MEMBRANE WITH 2% SLOPE. WILL BE SHOWN ON PERMIT PLANS.	-



Indicate Parapet Wall Height (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck.	
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	TO BE DEMONSTRATED WITH PERMIT PLANS. NEED TO COORDINATE WITH TENANT FOR LOCATIONS			d e
Indicate Any Additional Design Elements Proposed (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s) [H]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	Art. V 4.1.8.1
<b>Minimum Standards for Articulation:</b>				
Horizontal Articulation of Façades: Projecting Offset = 25% x (H) [Min. 5 Ft.] Length of Offset = 25% x (L) [Min. 15 Ft.] Distance Between* (L) = 3 x (H) [Max. 60 Ft.]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	...should occur every _____ feet* in between an offset that projects out from the wall at = (H) _____ REFER TO FLOOR PLAN AND ELEVATIONS is = (L) _____ x 25% = _____ (* Minimum distance between projections is 60')	Art. V 4.1.C.1.a
Vertical Articulation of Façades: Height Extension = 25% x (H) [Min. 5 Ft.] Length of Extension = 25% x (L) [Min. 15 Ft.] Distance Between* (L) = 3 x (H) [Max. 60 Ft.]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	...should occur every _____ feet in between the offset that extends above roof parapet at = (H) _____ REFER TO FLOOR PLAN AND ELEVATIONS extension is = (L) _____ x 25% = _____ (* Minimum distance between extensions is 60')	Art. V 4.1.C.1.b

## 6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE:</b> Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
<b>Minimum Standards for Articulation:</b>				
Horizontal Articulation of Façades: Projecting Offset = 25% x (H) [Min. 5 Ft.] Length of Offset = 25% x (L) [Min. 20 Ft.] Distance Between* (L) = 4 x (H) [Max. 80 Ft.]	<input type="checkbox"/>	<input type="checkbox"/>	...should occur every _____ feet* in between an offset that projects out from the wall at = (H) _____ x 25% = _____ The length of the offset is = (L) _____ x 25% = _____ (* Minimum distance between projections is 80')	Art. V 5.C.1.a
Vertical Articulation of Façades: Height Extension = 25% x (H) [Min. 5 Ft.] Length of Extension = 25% x (L) [Min. 20 Ft.] Distance Between* (L) = 4 x (H) [Max. 80 Ft.]	<input type="checkbox"/>	<input type="checkbox"/>	...should occur every _____ feet in between the offset that extends above roof parapet at = (H) _____ x 25% = _____ The length of the height extension is = (L) _____ x 25% = _____ (* Minimum distance between extensions is 80')	Art. V 5.C.1.b

☒ Pre-Development Meeting:

Date: 1 / 10 / 19

☒ Administrative Site Plan/Public Hearing Site Plan

1) Is the property located within an Overlay District or a Planned Development District? ☐ YES ☒ NO

2) If yes which Overlay District or Planned Development District? \_\_\_\_\_

3) Is the applicant requesting appeals? ☐ YES ☒ NO

4) If yes note the appeals: \_\_\_\_\_



☐ **Planning & Zoning Work Session (Packet Due \_\_\_\_ / \_\_\_\_ / \_\_\_\_):**

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

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☐ **DRC Meeting**

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

☐ **ARB Meeting**

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

☐ **Planning and Zoning Meeting (Packet Due \_\_\_\_ / \_\_\_\_ / \_\_\_\_):**

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

1<sup>st</sup> \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_

Vote: \_\_\_\_ For, \_\_\_\_ Against; \_\_\_\_ Abstaining, \_\_\_\_ Absent (\_\_\_\_\_).

☐ **City Council Meeting (Packet Due \_\_\_\_ / \_\_\_\_ / \_\_\_\_):**

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

1<sup>st</sup> \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_

Vote: \_\_\_\_ For, \_\_\_\_ Against; \_\_\_\_ Abstaining, \_\_\_\_ Absent (\_\_\_\_\_).

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**GENERAL NOTES:**

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**DEVELOPMENT REVIEW COMMITTEE (DRC)**  
**CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

**External Review:** Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

**Internal Review:** Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

**From:** Planning & Zoning Department

**Date:** 3/15/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 03/22/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 3/26/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 3/26/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** SP2019-006  
**Project Name:** Plaza at Rockwall  
**Project Type:** SITE PLAN  
**Applicant Name:** KIMLEY-HORN  
**Owner Name:** EXCEL, ROCKWALL LLC  
**Project Description:**





# RECEIPT

Project Number: SP2019-006

Job Address: E I-30 DR

ROCKWALL, TX 75087

Receipt Number: B84429

Printed: 3/18/2019 12:43 pm

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$ 250.00

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**Total Fees Paid:****\$ 250.00**

Date Paid: 3/18/2019 12:00:00AM

Paid By: SHOPCORE PROPERTIES, LP

Pay Method: CHECK 1220

Received By: LM



3/22/2019

## City of Rockwall

### Project Plan Review History



<b>Project Number</b> SP2019-006	<b>Owner</b> EXCEL, ROCKWALL LLC	<b>Applied</b> 2/27/2019 LM
<b>Project Name</b> Plaza at Rockwall	<b>Applicant</b> KIMLEY-HORN	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b> AMENDING		<b>Expired</b>
<b>Status</b> Staff Review		<b>Status</b>

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
1041 E INTERSTATE 30	Rockwall, TX 75032	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
ROCKWALL BUSINESS PARK EAST	11		11	4831-0000-0011-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	2/27/2019	3/6/2019	3/19/2019	20	APPROVED	
ENGINEERING (3/21/2019 4:29 PM SH) - 4% Engineering Fees - Impact Fees - Must replat to remove easements. - Walls 3' and over must be designed by an engineer. All retaining walls must be rock or stone face. No smooth concrete walls. - Show all utility relocations. - Where are you tying in the domestic meter? - Min 20' wide easements. - Must match existing drainage basins for Lot 10. - Dumpster to drain to an oil/water separator before going to the storm lines. - Include tree mitigation for trees in the breeze way. - Where the existing curbs are being cut, the cut must be 2' into the paving to prevent chipping later. - 3000psi (5.5 sack mix) 3600psi (6.5 sack mix) Rebar for concrete? - Must meet all City Standards of Design and Construction. - Note 4. on the landscape sheet should read, "No trees within 5' of utilities" - See mark up	Sarah Hager	2/27/2019	3/6/2019	3/21/2019	22	COMMENTS	
FIRE	Kevin Clark	2/27/2019	3/6/2019	3/22/2019	23	COMMENTS	See comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
<p>(3/22/2019 1:21 PM KC)</p> <p>Fire sprinkler protection required for all buildings exceeding 5,000ft2, A2 Occupancies with an occupant load over 99, occupancy used for the manufacture and/or storage of upholstered furniture or mattresses exceeds 2,500 ft2.</p> <p>Size and location of the underground water line servicing the fire sprinkler system shall be indicated on the plans.</p> <p>The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.</p> <p>Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.</p> <p>Exceptions:</p> <p>(i) For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet.</p> <p>(ii) For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet.</p> <p>Fire alarm sprinkler monitoring will be required for sprinkler system in shell building. Full fire alarm may be required depending on tenant and use of their space.</p>							
GIS	Lance Singleton	2/27/2019	3/6/2019	3/20/2019	21	APPROVED	See comments
<p>(3/20/2019 8:41 AM LS)</p> <p>Address assignment will be:</p> <p>1041 E INTERSTATE 30, ROCKWALL, TX 75032</p> <p>All suites should follow a #110,120,130 or similar scheme. No letters.</p>							
PLANNING	Korey Brooks	2/27/2019	3/6/2019	3/21/2019	22	COMMENTS	Comments

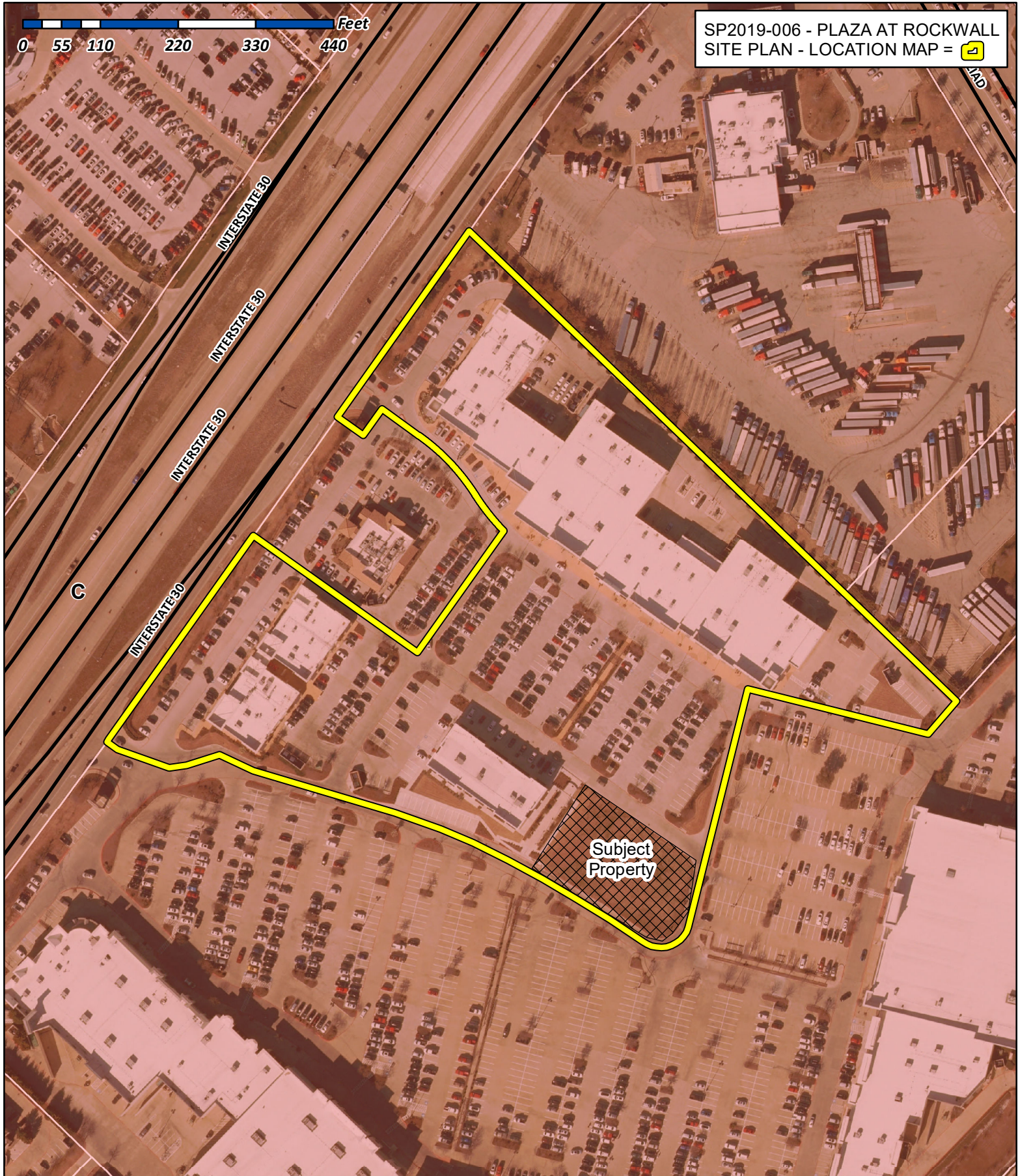


Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-006 Site Plan for Rockwall Plaza: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
<ol style="list-style-type: none"> <li>1. This is a request by Marla Mauricio of Kimley-Horn and Associates, Inc. on behalf of Steve Russell of Excel Rockwall, LLC (ShopCore Properties, LLC) for the approval of a site plan for a commercial retail building on a 0.69-acre portion of a larger 11.125-acre parcel of land being identified as Lot 11, Block A, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1041 E. IH-30</li> <li>2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</li> <li>3. For reference, include the case number (SP2019-006) in the lower right hand corner of all pages on future submittals.</li> <li>4. Site Plan. Please indicate patio on site plan and use a different line-weight. It appears to be an extension of the building as drawn.</li> <li>5. Site Plan. Please dimension the projections (length and width).</li> <li>6. Site Plan. Please note, this will need a variance to horizontal articulation in order to match existing buildings.</li> <li>7. Site Plan. Please provide note that the dumpster enclosure shall be 8-feet tall, constructed of same masonry as the building, and have a self-latching opaque gate.</li> <li>8. Site Plan. The site plan seems to show two retaining walls within close proximity. What is the distance between the two walls and how will that area be maintained?</li> <li>9. Site Plan. Is it possible to provide some type of beautification to the alley between the buildings (since that area was originally supposed to be a park)? Previous variances were approved due to the agreement of the park area.</li> <li>10. Site Plan. Please change "Property Description" table to Site Data Table and provide on each sheet—Also, please provide the additional highlighted information. The lower left corner of the title block of each sheet should be the project information.</li> <li>11. Site Plan. Please try to show more of the adjacent properties (in greyscale) and label.</li> <li>12. Landscape Plan. Please provide the proposed park area v.s. existing approved park area and list any amenities above and beyond the approved plan.</li> <li>13. Landscape Plan. Please provide site data table as shown on site plan.</li> <li>14. Landscape Plan. Please try to show more of the adjacent properties (in greyscale) and label.</li> <li>15. Landscape Plan. Will there be any fencing on the patio and park areas?</li> <li>16. Floor Plan. Please note that the floor plan is not reviewed during this phase so it does not need to be provided.</li> <li>17. Building Elevations. Please provide site data table.</li> <li>18. Building Elevations. Please subtract the windows from the exterior building material percentages.</li> <li>19. Building Elevations. Please indicate roof-mounted equipment and indicate how it will be screened.</li> <li>20. Building Elevations. Is the "textured concrete" stucco? If so, please indicate. Also, will this be a tilt-up wall? This requires a variance.</li> <li>21. Building Elevations. Please match existing building with regard to exterior building materials (it appears that you are matching, based on your legend).</li> <li>22. Building Elevations. Please note that this will need a variance to vertical articulation.</li> <li>23. Building Elevations. Please provide a sheet showing the dumpster enclosure elevations.</li> <li>24. A rendering of the park would be very helpful since it deviates substantially from the approved park.</li> <li>25. Photometric Plans. Please provide cut sheets for fixtures. Also will the fixtures be the same as on the adjacent building?</li> <li>26. The Architectural Review Board (ARB) meeting for this case will be held on March 26, 2019 at 5:00 p.m.</li> <li>27. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 2, 2019. The Planning and Zoning Worksession for this case will be March 26, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be April 9, 2019</li> </ol>						
Police Department	Police Department	3/22/2019	3/29/2019	3/22/2019	COMMENTS	Comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Considerations:						
<ul style="list-style-type: none"> <li>Bollards at or near the front of business to prevent a vehicle from intentionally or accidentally entering the front of the business. The bollards aesthetic(s) would be dictated by the business and city code(s).</li> <li>Assuming there are exterior receptacles (dumpsters and recycle) at the location. Receptacle Locations (Areas outside of the business) should be secured to prevent opportunities for criminal activity (Savaging). Prevention would include locking barriers (fencing) around receptacles and lighting to determine any criminals. The lower portion of fencing should be raised from the ground with enough clearance so that approaching employees would be capable of seeing if anyone is inside receptacle holding area prior to entering.</li> <li>Lighting around the rear of business should be within specifications dictated by city code and provide enough illumination to discourage anyone who does not have business at the location to leave the area.</li> <li>Soft, ground wash (Base of trees upward) lighting along rear tree lines to eliminate dark areas which could conceal someone.</li> </ul>						

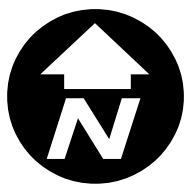




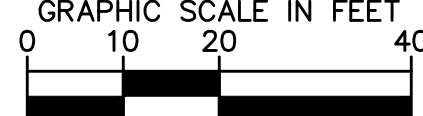
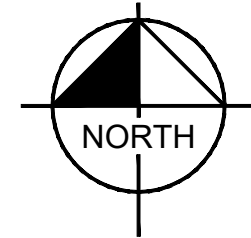
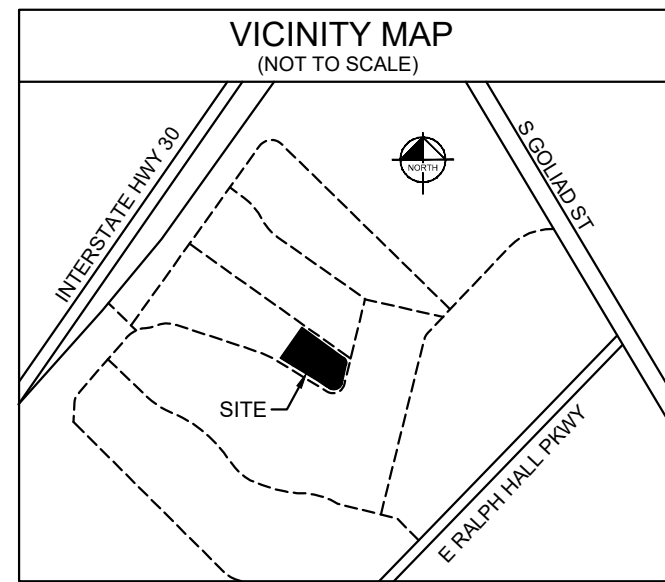
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)






The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







**LEGEND**

-  PROPOSED SIDEWALK PAVEMENT  
(4" THICK / 3,000 PSI)
-  PROPOSED CONCRETE PAVEMENT  
(6" THICK / 3,600 PSI)
-  PROPOSED PAVERS  
REF. LSCP ARCH PLANS FOR DETAILS
-  FULL DEPTH SAWCUT
-  PARKING STALL COUNT
-  WATER METER

SITE DATA	
CURRENT LAND USE	C - Commercial
PROPOSED LAND USE	C - Commercial
TOTAL LOT AREA	±30,200 SF
	±0.7 AC
SITE PERIMETER	±170 LF
BUILDING SQUARE FOOTAGE	9,835 SF
BUILDING HEIGHT	27.5 FT

1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADII DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADII ARE 2' UNLESS OTHERWISE NOTED.
2. ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
3. PARKING STUDY IS NOT REQUIRED PER CITY OF ROCKWALL PER PRE-DEVELOPMENT MEETING ON 1/10/2019. ADDITIONAL PARKING IS NOT REQUIRED DUE TO SHOPPING CENTER BEING OVER PARKED.



Know what's **below**.  
Call before you dig.

## BENCHMARKS

**BM1#1** (CITY OF ROCKWALL MOUNDMENT (RESET R005#-1)) A CONCRETE MOUNDMENT WITH BRASS CAP FOUND IN THE CENTER MEDIAN OF SUMMIT RIDGE DRIVE AT ITS INTERSECTION WITH F.M. HWY. NO. 740. ELEV=576.83

**BM2** SQUARE CUT WITH "X" CUT SET ON THE WEST CORNER OF A CONCRETE CURB LOCATED ON THE NORTHWEST CORNER OF A PARKING LOT, APPROXIMATELY 100' FEET EAST/NEAST FROM THE CENTER OF THE EAST BOUND SERVICE ROAD OF HJ 30 AND 270' FEET SOUTHWEST FROM THE CENTER OF THE NORTHWESTMOST ENTRANCE TO PLAZA OF ROCKWALL. ELEV=552.28

**BM3#3** "X" CUT SET ON THE NORTHWEST CORNER OF A CONCRETE MEDIAN LOCATED ON THE SOUTH SIDE OF A ACCESS DRIVE, 460' FEET SOUTHEAST FROM THE CENTER OF ENTRANCE DRIVE FROM THE EAST BOUND SERVICE ROAD OF HJ 30 AND 480' FEET NORTHWEST FROM THE CENTER ENTRANCE DRIVE FROM RALPH HALL PARKWAY. ELEV=545.15

**BM4#4** "X" CUT SET ON THE NORTHWEST CORNER OF A CONCRETE MEDIAN LOCATED ON THE EAST SIDE OF A ACCESS DRIVE, 487' FEET SOUTHEAST FROM THE CENTER OF ENTRANCE DRIVE FROM THE EAST BOUND SERVICE ROAD OF HJ 30 AND 460' FEET NORTHWEST FROM THE CENTER ENTRANCE DRIVE FROM RALPH HALL PARKWAY.

**CAUTION!!**

CONTRACTOR IS TO VERIFY  
PRESENCE AND EXACT  
LOCATION OF ALL UTILITIES  
PRIOR TO CONSTRUCTION.

## DEVELOPER:

**SHOPCORE PROPERTIES**  
233 S. WACKER DR. SUITE 3400  
CHICAGO, IL 60606  
PH. (312) 798-5151  
CONTACT: STEVE RUSSELL

CASE NUMBER: SP2019-XXXX

# ROCKWALL PLAZA

LOT 11, ROCKWALL BUSINESS PARK  
EAST SUBDIVISION  
995 INTERSTATE HWY 30  
ROCKWALL, TX

# SITE PLAN

SHEET NUMBER  
SP

[illegible]

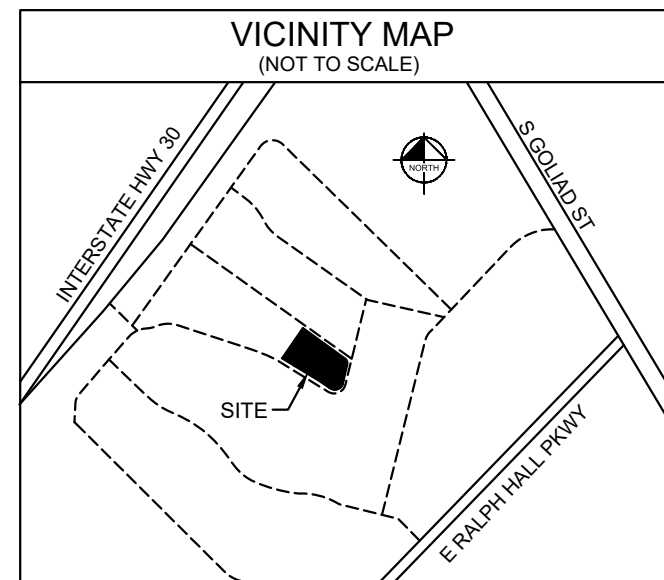
# Kimley»»Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
TEXAS REGISTERED ENGINEERING FIRM F-928

**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction or permit purposes  
**Kimley»Horn**  
Engineer: SARAH E. SCOTT, P.E.  
P.E. No. 113285 Date 03/15/2019

PROJECT No. 064526800
DATE: MARCH 2019
SCALE: AS SHOWN
DESIGNED BY: MM
DRAWN BY: RNI
CHECKED BY: SES





City of Rockwall - Site Data	
Current Land Use	C-Commercial
Proposed Land Use	C-Commercial
Total Lot Area	+/- 30,200 SF
	+/- 0.7 acres
Site Perimeter	+/- 170 LF
Building Square Footage	9,835 SF
Building Height	27.5 FT

A compass rose with a circle in the center. The word "NORTH" is written inside the circle. A vertical line passes through the center, and a horizontal line passes through the center. A diagonal line from the center to the top-left edge of the circle forms a right-angled triangle with the horizontal line, and this triangle is shaded black. Below the compass rose is a graphic scale labeled "GRAPHIC SCALE IN FEET". The scale has markings at 0, 10, 20, and 40. The segment between 0 and 10 is black, 10 and 20 is white, and 20 and 40 is black.



**811** Know what's **below.**  
Call before you dig.

CONTRACTOR IS TO VERIFY  
PRESENCE AND EXACT  
LOCATION OF ALL UTILITIES  
PRIOR TO CONSTRUCTION.

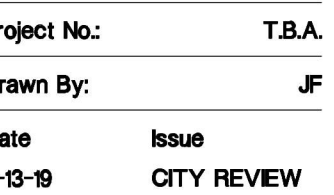
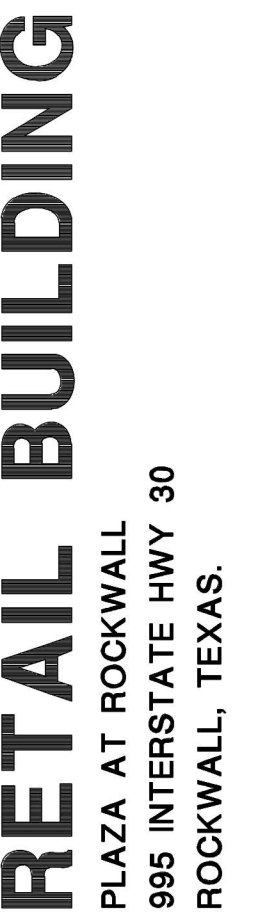
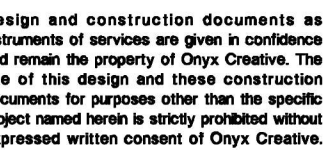
**LANDSCAPE ARCHITECT:**  
**KIMLEY-HORN & ASSOCIATES**  
13455 NOEL RD, TWO GALLERIA TOWER  
STE 700  
DALLAS, TX 75240  
PH. (972) 770-1300  
CONTACT: PATRICK B. HART, PLA

CASE NUMBER: SP2019-XXXX



MATERIAL	SYMBOL	DESCRIPTION	MODEL / COLOR
EIFS	EIFS-1	EIFS CORNICE / MOLDINGS	PAINT TO MATCH SHER WILLIAMS #6112 BISCUIT
	EIFS-2	EIFS SILL WITH ROUNDED END, 4" HIGH	PAINT TO MATCH SHER WILLIAMS #6112 BISCUIT
CONCRETE TILT WALL	CONG-1	ACRYLIC TEXTURED CONG. TILT WALL	SAND FINISH, COLOR TO MATCH DRYVIT #434A CHLOE
	CONG-3	ACRYLIC TEXTURED CONG. TILT WALL	SAND FINISH, DRYVIT -MATCH S.W. #0007 DECOROUS AMBER
STONE TILE	ST-1	STONE TILE	NATURAL LIMESTONE TILE, "LIEDERS" (ROCK FACE) 12" X 24", 1 1/4" THICKNESS, OVER MORTAR SETTING BE MORTARED JOINTS
	ST-2	STONE WATER TABLE SILL	NATURAL LIMESTONE "LIEDERS" (ROCK FACE) WATER TABLE SILL, 2" HIGH
STOREFRONT	SF-1	1" INSULATING CLEAR GLASS IN CLEAR ANODIZED FRAMING. GLAZING SPEC. Product ID: Pk, SHG Q-41 (C)	
	SF-2	1/4" SPANDREL GLASS IN CLEAR ANODIZED FRAMING	
STEEL TUBE AWNING	AWN	12" X 4" STEEL TUBE AWNING, PAINT BARK BRONZE (SEMI-GLOSS)	

MATERIAL	STONE	TEXT. CONC.	EIFS	CLEAR STORY GLAZING
NORTH ELEVATION	60 %	33 %	1 %	
SOUTH ELEVATION	39 %	30 %	1 %	30 %
WEST ELEVATION	31 %	33 %	1 %	35 %
EAST ELEVATION	29 %	32 %	1 %	38 %
SOUTHWEST ELEVATION	25 %	36 %	1 %	38 %







# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2019  
**APPLICANT:** Marla Mauricio; *Kimley-Horn and Associates, Inc.*  
**CASE NUMBER:** SP2019-006; *Plaza at Rockwall*

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### **SUMMARY**

Discuss and consider a request by Marla Mauricio of Kimley-Horn and Associates, Inc. on behalf of Steve Russell of Excel Rockwall, LLC (ShopCore Properties, LLC) for the approval of a site plan for a commercial retail building on a 0.69-acre portion of a larger 11.125-acre parcel of land being identified as Lot 11, Block A, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1041 E. IH-30, and take any action necessary.

### **BACKGROUND**

The subject property was annexed in 1981 [*Ordinance No. 81-33*] and was later zoned Commercial (C) District. The property is situated within the IH-30 Overlay (IH-30 OV) District, is addressed as 1041 E. IH-30, and is occupied with an existing multi-tenant shopping center. On June 8, 2010, the Planning and Zoning Commission approved a site plan [*Case No. SP2010-007*] for a multi-tenant shopping center that contained several buildings (*i.e. Rockwall Plaza, Phase II*). At that time, the developer was seeking several variances. As a compensatory measure to offset the requested variances, the developer proposed providing a large park area between Buildings 16 and 17 (*i.e. between the existing adjacent building and the proposed building*). Staff should note, Building 16 was 9,600 SF and Building 17 was 8,800 SF. The park area was approximately 6,600 SF at the time of that request. The City Council approved the associated variances and park area on June 21, 2010. In 2013, staff approved an administrative site plan [*Case No. SP2013-003*] for a commercial retail building (*i.e. the adjacent building*) on an approximately 1.7095-acre portion of the subject property. As part of that request, the applicant increased Buildings 16 and 17 to be 11,500 SF each (*i.e. Building 16 was 1,900 SF larger and Building 17 was 2,700 SF larger than originally requested*). As a result, the park area decreased in size to approximately 4,000 SF. Building 16 was later constructed; however Building 17 was never constructed.

### **PURPOSE**

The applicant is requesting approval of a site plan for a commercial retail building (*i.e. Building 17 on the site plan approved in 2013*), which will be approximately 9,835 SF. As part of this request, the park will be relocated adjacent to the east façade of the proposed commercial retail building (*i.e. the park area will no longer be between the two buildings as originally intended*). The existing park area has been reduced in size and resembles an alley. The proposed building will utilize the same design scheme, building materials, and colors as the adjacent commercial retail buildings and will have one (1) retail space and two (2) restaurant with outdoor dining areas.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located 1041 E. IH-30. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a restaurant (*i.e. Olive Garden*) and other commercial retail businesses within the Rockwall Plaza Shopping Center (*e.g. Freebirds, Firehouse Subs, Sweet Frog*). Beyond this is IH-30, which is identified as a TxDOT roadway on the City's Master Thoroughfare Plan. Following this are two (2) automotive dealers (*i.e. Rockwall Ford and Rockwall Honda*), two (2) hotels (*i.e. Best Western and Wood Spring Suites*), and a shopping center with several commercial retail businesses (*e.g. T-Mobile, Hobby Lobby, Batteries Plus*). These areas are zoned Commercial (C) District.

South: Directly south of the subject property are several businesses within the Rockwall Plaza Shopping Center (*e.g. J.C. Penney, Dicks Sporting Goods, and Staples*). Following this is Ralph Hall Parkway, which is identified as a M4D (*major collector, four [4]-lane divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a medical office building (*i.e. Rockwall Medical Center*), an assisted living facility (*i.e. Rock Ridge Assisted Living*), and a single-family residential subdivision (*i.e. Flagstone Estates Subdivision*). These areas are zoned Commercial (C) District and Planned Development District 54 (PD-54) for Single-Family 10 (SF-10) and Commercial (C) District land uses.

East: Directly east of the subject property are several commercial retail businesses (*e.g. Home Goods, Jo-Ann Fabric and Crafts, and Versona Accessories*) followed by SH-205 [S. Goliad Street], which is identified as a TxDOT roadway on the City's Master Thoroughfare Plan. Beyond this are several restaurants and commercial retail businesses (*e.g. Soulman's Barbeque, Rosa's Café, and Race-Track*). These areas are zoned Commercial (C) District.

West: Directly west of the subject property are several commercial retail businesses (*e.g. Verizon, Zales, and Mattress Firm*) followed by IH-30, which is identified as a TxDOT roadway on the City's Master Thoroughfare Plan. Beyond this is a Rockwall Independent School District (RISD) athletic field, two (2) automotive dealerships (*i.e. Rockwall Chrysler and Heritage Buick-GMC*), and a furniture store (*i.e. Rooms to Go*). Beyond this is a high school (*i.e. Rockwall High School*) and a multi-family residential development (*i.e. Legends on the Lake*). These areas are zoned Commercial (C) and Multi-Family 14 (MF-14) Districts.

## **DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), the proposed use (*i.e. a commercial retail building*) is permitted by-right in a Commercial (C) District and will not require any additional approvals. With the exception of the variances being requested the submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District and situated within the IH-30 Overlay (IH-30 OV) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>43,560 SF</i>	<i>X=484,605 SF: In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>200 Feet</i>	<i>X=886.42-Feet: In Conformance</i>
<i>Minimum Lot Depth</i>	<i>200 Feet</i>	<i>X=958-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>X=25-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet: In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X~ 27-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X&gt;60%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X=25-60; Not in Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20%</i>	<i>X=25-60%; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X=28%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X&gt;85%; In Conformance</i>



## **TREESCAPE PLAN**

The applicant has submitted a landscape plan showing a total of 40 caliper-inches of primary protected trees (*i.e. Live Oak trees*) being removed in order to develop the site. The trees range in size from four (4) caliper-inches to seven (7) caliper-inches and removal of the trees requires approval from the Planning and Zoning Commission. According to Subsection 5, *Tree Mitigation Requirements*, of Article IX, *Tree Preservation*, of the Unified Development Code (UDC), primary protected trees measuring four (4) inches through 24 inches DBH shall be replaced on an inch-for-inch basis. The applicant has submitted a landscape plan showing the tree mitigation being satisfied by planting 63 caliper-inches of trees on site.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The OurHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the IH-30 Corridor District. This district is the primary retail corridor for the City of Rockwall and is about 55% developed. In addition, this corridor serves as the western gateway for both the City and County of Rockwall. Land uses within the corridor include retail, personal services, medical, and industrial land uses, which contribute to the high per capita sales tax for the City of Rockwall. The vision for this district is that it will continue to remain the City's primary retail corridor in the future. A goal in the Comprehensive Plan regarding non-residential development is to create distinctive destinations by incorporating central greenspaces that are well landscaped, functional, and connected from all points of the development. Non-residential policies in the Comprehensive Plan encourage the incorporation of pedestrian elements such as benches and trash receptacles. In this case, the proposed building will house retail land uses and incorporate a park area with landscaping, benches, trellises, and a water feature. Based on the proposed land use and the incorporation of pedestrian elements, the applicant's request appears to conform to the vision of the IH-30 Corridor District and the goals and policies of non-residential development outlined in the Comprehensive Plan.

## **CONFORMANCE WITH THE CITY'S CODES**

The proposed commercial retail building utilizes secondary materials on the façade (*i.e. tilt-up wall*) and the material will be textured with an acrylic treatment to give the appearance of stucco. The proposed building will match the adjacent commercial retail buildings with regard to design, architectural elements, building materials, and color. Additionally, the applicant is proposing to exceed the minimum 20% stone requirement by utilizing between 25-60% natural stone on each façade. The building will incorporate spandrel glass and steel awnings on the side and rear façades, which will match the front façade and give the appearance storefront glass on all façades. While the applicant is requesting variances to the secondary materials and building articulation requirements, it should be pointed out that these variances are necessary in order to match the adjacent buildings. In addition approval of these variances do not appear to have a negative impact on the subject property or surrounding developments. The proposed site plan shows the existing park area being decreased in width; however, the applicant is proposing to provide lighting and tree wells in the alley that will be between the two buildings as a result of moving the park area. These improvements seem to allow the alley to continue to serve as a pedestrian pathway from the rear of the buildings to the front of the buildings. With the exception of the variances requested, the request seems to generally conform to the requirement of the Unified Development Code (UDC). The applicant is relocating the existing signage to the new park area, which appears to be larger than the existing park area, which will and incorporate additional amenities. Although the proposed park area is being relocated, it seems to provide increased amenities, and the overall plan appears to generally conform to the intent of the original approval.

## **VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT**

Based on the information submitted by the applicant, staff has identified the following variances to the requirements of the Unified Development Code (UDC):

### **(1) Masonry and Materials Composition**

- (a) *Secondary Materials.* According to Subsection 6.02.C, *Architectural Standards*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), each exterior wall of a building's façade shall consist of a minimum 90% primary materials and a maximum of ten (10) % secondary materials. Primary materials shall include stone, brick, glass curtain wall, glass block, tile, and custom concrete masonry units (CMU's). Materials that are not deemed primary materials are considered to be secondary materials. In this case, the applicant is proposing to utilize between 30-36% concrete tilt-up wall treated with an acrylic texture. Since this exceeds the maximum allowable amount of secondary materials, a variance is required.

### **(2) Building Articulation**

- (a) *Primary Building Façades.* According to Subsection 4.01.C, *Building Articulation*, of Section 4, *Commercial (C) Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), primary building façades shall not exceed a wall length of three (3) times the wall height without a secondary entryway or projecting architectural element that is a minimum of 25% of the wall's length, and projects a minimum of 25% of the wall's height. Additionally, the minimum width of the architectural element shall extend a minimum of twice the required wall projection and have a minimum projection height of 25% of the wall's height above the top of the wall. In this case, the maximum wall length is 66-feet and shall include an architectural element that projects 5½-feet, is 11-feet wide, and 5½-feet in height. The applicant is providing architectural elements that meet the minimum width; however, the architectural elements do not meet the minimum projection depth or height. The depth of the architectural elements is approximately two (2) feet and the height is approximately four (4) feet. Since this does not meet the minimum requirements, a variance is required.

These variances are discretionary decisions for the Planning and Zoning Commission and require approval by a  $\frac{3}{4}$  majority vote of all Commissioners present with a minimum of four (4) votes in the affirmative. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department that provides justification for the exception being requested.

## **ARCHITECTURAL REVIEW BOARD (ARB):**

On March 26, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and requested that the applicant finish the inside of the parapets, and provide tree wells and lighting elements in the new alley (*i.e. the existing park area*). Additionally, the Architectural Review Board (ARB) requested a rendering of the proposed park area and alley. The applicant has submitted revised building elevations for the Architectural Review Board (ARB) to review and forward a recommendation to the Planning and Zoning Commission at the April 9, 2019 Planning and Zoning Commission meeting.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's request, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit;



- (2) The park area and alley shall include the amenities indicated on the submitted landscape plan and renderings;
- (3) The existing signage shall be relocated to the park area as indicated on the submitted landscape plan and renderings; and
- (4) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	SP2019-006	<b>Owner</b>	EXCEL, ROCKWALL LLC	<b>Applied</b>	2/27/2019	LM
<b>Project Name</b>	Plaza at Rockwall	<b>Applicant</b>	KIMLEY-HORN	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>	AMENDING			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
1041 E INTERSTATE 30	Rockwall, TX 75032	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
ROCKWALL BUSINESS PARK EAST	11		11	4831-0000-0011-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	2/27/2019	3/6/2019	3/19/2019	20	APPROVED	
ENGINEERING (3/21/2019 4:29 PM SH) - 4% Engineering Fees - Impact Fees - Must replat to remove easements. - Walls 3' and over must be designed by an engineer. All retaining walls must be rock or stone face. No smooth concrete walls. - Show all utility relocations. - Where are you tying in the domestic meter? - Min 20' wide easements. - Must match existing drainage basins for Lot 10. - Dumpster to drain to an oil/water separator before going to the storm lines. - Include tree mitigation for trees in the breeze way. - Where the existing curbs are being cut, the cut must be 2' into the paving to prevent chipping later. - 3000psi (5.5 sack mix) 3600psi (6.5 sack mix) Rebar for concrete? - Must meet all City Standards of Design and Construction. - Note 4. on the landscape sheet should read, "No trees within 5' of utilities" - See mark up	Sarah Hager	2/27/2019	3/6/2019	3/21/2019	22	COMMENTS	
FIRE	Kevin Clark	2/27/2019	3/6/2019	3/22/2019	23	COMMENTS	See comments



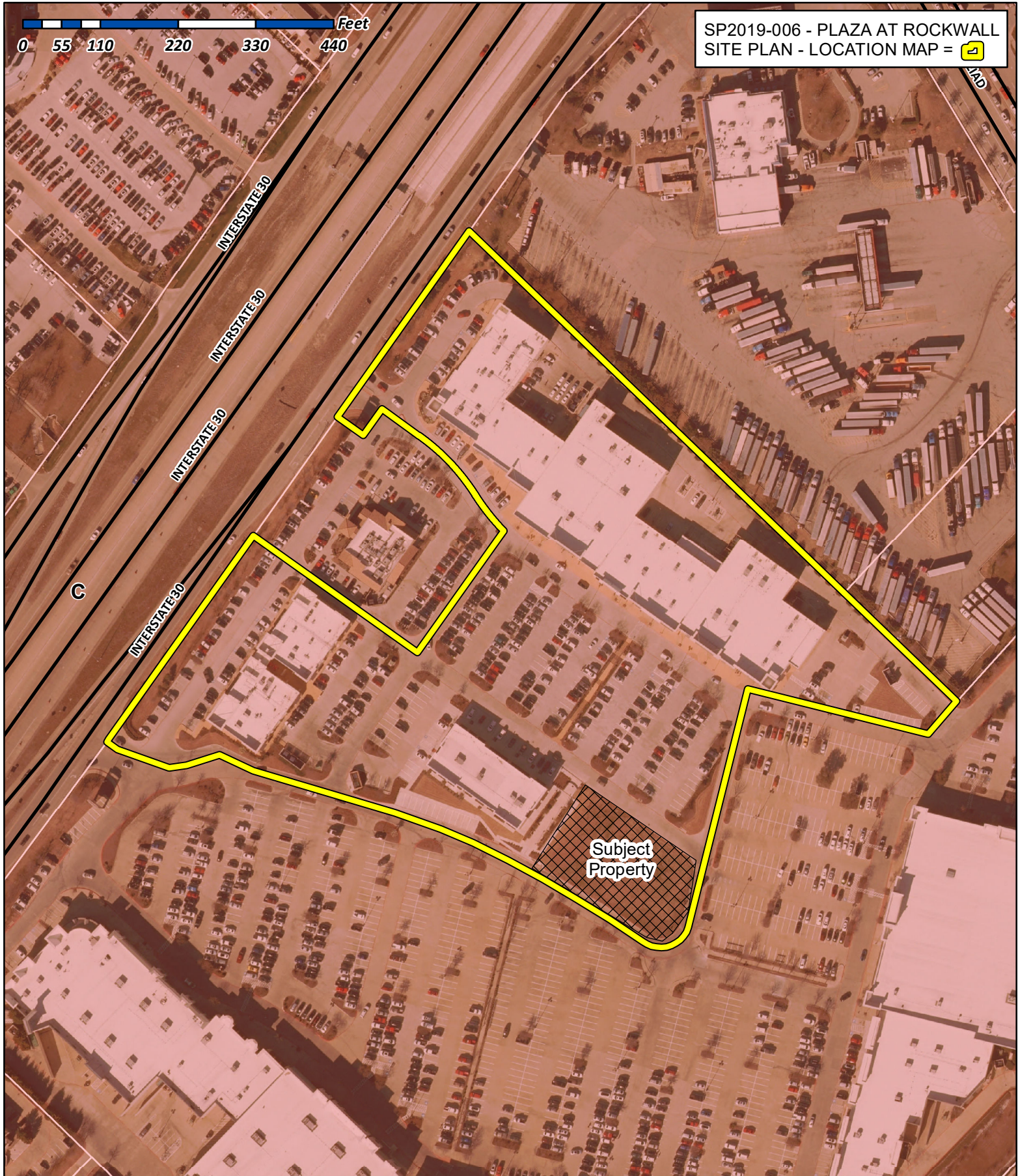
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
<p>(3/22/2019 1:21 PM KC)</p> <p>Fire sprinkler protection required for all buildings exceeding 5,000ft2, A2 Occupancies with an occupant load over 99, occupancy used for the manufacture and/or storage of upholstered furniture or mattresses exceeds 2,500 ft2.</p> <p>Size and location of the underground water line servicing the fire sprinkler system shall be indicated on the plans.</p> <p>The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.</p> <p>Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.</p> <p>Exceptions:</p> <p>(i) For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet.</p> <p>(ii) For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet.</p> <p>Fire alarm sprinkler monitoring will be required for sprinkler system in shell building. Full fire alarm may be required depending on tenant and use of their space.</p>							
GIS	Lance Singleton	2/27/2019	3/6/2019	3/20/2019	21	APPROVED	See comments
<p>(3/20/2019 8:41 AM LS)</p> <p>Address assignment will be:</p> <p>1041 E INTERSTATE 30, ROCKWALL, TX 75032</p> <p>All suites should follow a #110,120,130 or similar scheme. No letters.</p>							
PLANNING	Korey Brooks	2/27/2019	3/6/2019	3/21/2019	22	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-006 Site Plan for Rockwall Plaza: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
<ol style="list-style-type: none"> <li>1. This is a request by Marla Mauricio of Kimley-Horn and Associates, Inc. on behalf of Steve Russell of Excel Rockwall, LLC (ShopCore Properties, LLC) for the approval of a site plan for a commercial retail building on a 0.69-acre portion of a larger 11.125-acre parcel of land being identified as Lot 11, Block A, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1041 E. IH-30</li> <li>2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</li> <li>3. For reference, include the case number (SP2019-006) in the lower right hand corner of all pages on future submittals.</li> <li>4. Site Plan. Please indicate patio on site plan and use a different line-weight. It appears to be an extension of the building as drawn.</li> <li>5. Site Plan. Please dimension the projections (length and width).</li> <li>6. Site Plan. Please note, this will need a variance to horizontal articulation in order to match existing buildings.</li> <li>7. Site Plan. Please provide note that the dumpster enclosure shall be 8-feet tall, constructed of same masonry as the building, and have a self-latching opaque gate.</li> <li>8. Site Plan. The site plan seems to show two retaining walls within close proximity. What is the distance between the two walls and how will that area be maintained?</li> <li>9. Site Plan. Is it possible to provide some type of beautification to the alley between the buildings (since that area was originally supposed to be a park)? Previous variances were approved due to the agreement of the park area.</li> <li>10. Site Plan. Please change "Property Description" table to Site Data Table and provide on each sheet—Also, please provide the additional highlighted information. The lower left corner of the title block of each sheet should be the project information.</li> <li>11. Site Plan. Please try to show more of the adjacent properties (in greyscale) and label.</li> <li>12. Landscape Plan. Please provide the proposed park area v.s. existing approved park area and list any amenities above and beyond the approved plan.</li> <li>13. Landscape Plan. Please provide site data table as shown on site plan.</li> <li>14. Landscape Plan. Please try to show more of the adjacent properties (in greyscale) and label.</li> <li>15. Landscape Plan. Will there be any fencing on the patio and park areas?</li> <li>16. Floor Plan. Please note that the floor plan is not reviewed during this phase so it does not need to be provided.</li> <li>17. Building Elevations. Please provide site data table.</li> <li>18. Building Elevations. Please subtract the windows from the exterior building material percentages.</li> <li>19. Building Elevations. Please indicate roof-mounted equipment and indicate how it will be screened.</li> <li>20. Building Elevations. Is the "textured concrete" stucco? If so, please indicate. Also, will this be a tilt-up wall? This requires a variance.</li> <li>21. Building Elevations. Please match existing building with regard to exterior building materials (it appears that you are matching, based on your legend).</li> <li>22. Building Elevations. Please note that this will need a variance to vertical articulation.</li> <li>23. Building Elevations. Please provide a sheet showing the dumpster enclosure elevations.</li> <li>24. A rendering of the park would be very helpful since it deviates substantially from the approved park.</li> <li>25. Photometric Plans. Please provide cut sheets for fixtures. Also will the fixtures be the same as on the adjacent building?</li> <li>26. The Architectural Review Board (ARB) meeting for this case will be held on March 26, 2019 at 5:00 p.m.</li> <li>27. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 2, 2019. The Planning and Zoning Worksession for this case will be March 26, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be April 9, 2019</li> </ol>						
Police Department	Police Department	3/22/2019	3/29/2019	3/22/2019	COMMENTS	Comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Considerations:						
<ul style="list-style-type: none"> <li>Bollards at or near the front of business to prevent a vehicle from intentionally or accidentally entering the front of the business. The bollards aesthetic(s) would be dictated by the business and city code(s).</li> <li>Assuming there are exterior receptacles (dumpsters and recycle) at the location. Receptacle Locations (Areas outside of the business) should be secured to prevent opportunities for criminal activity (Savaging). Prevention would include locking barriers (fencing) around receptacles and lighting to determine any criminals. The lower portion of fencing should be raised from the ground with enough clearance so that approaching employees would be capable of seeing if anyone is inside receptacle holding area prior to entering.</li> <li>Lighting around the rear of business should be within specifications dictated by city code and provide enough illumination to discourage anyone who does not have business at the location to leave the area.</li> <li>Soft, ground wash (Base of trees upward) lighting along rear tree lines to eliminate dark areas which could conceal someone.</li> </ul>						





## City of Rockwall

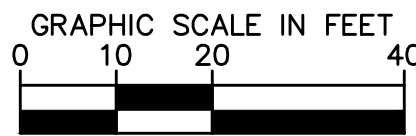
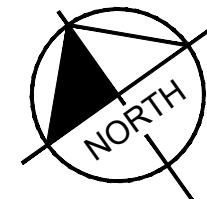
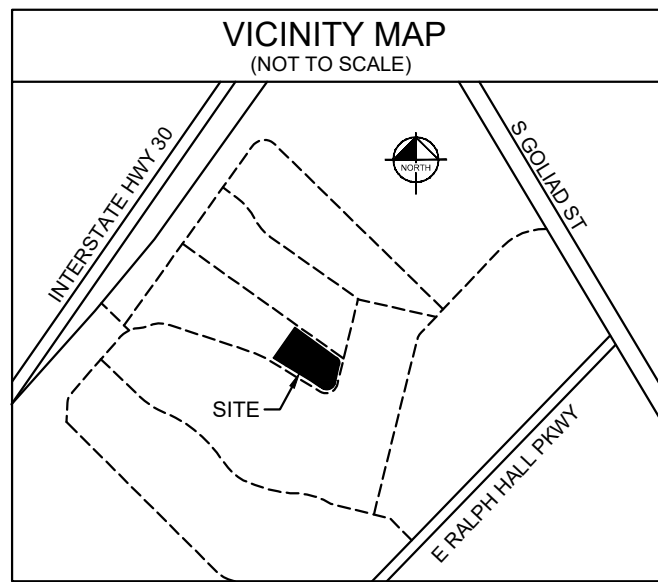
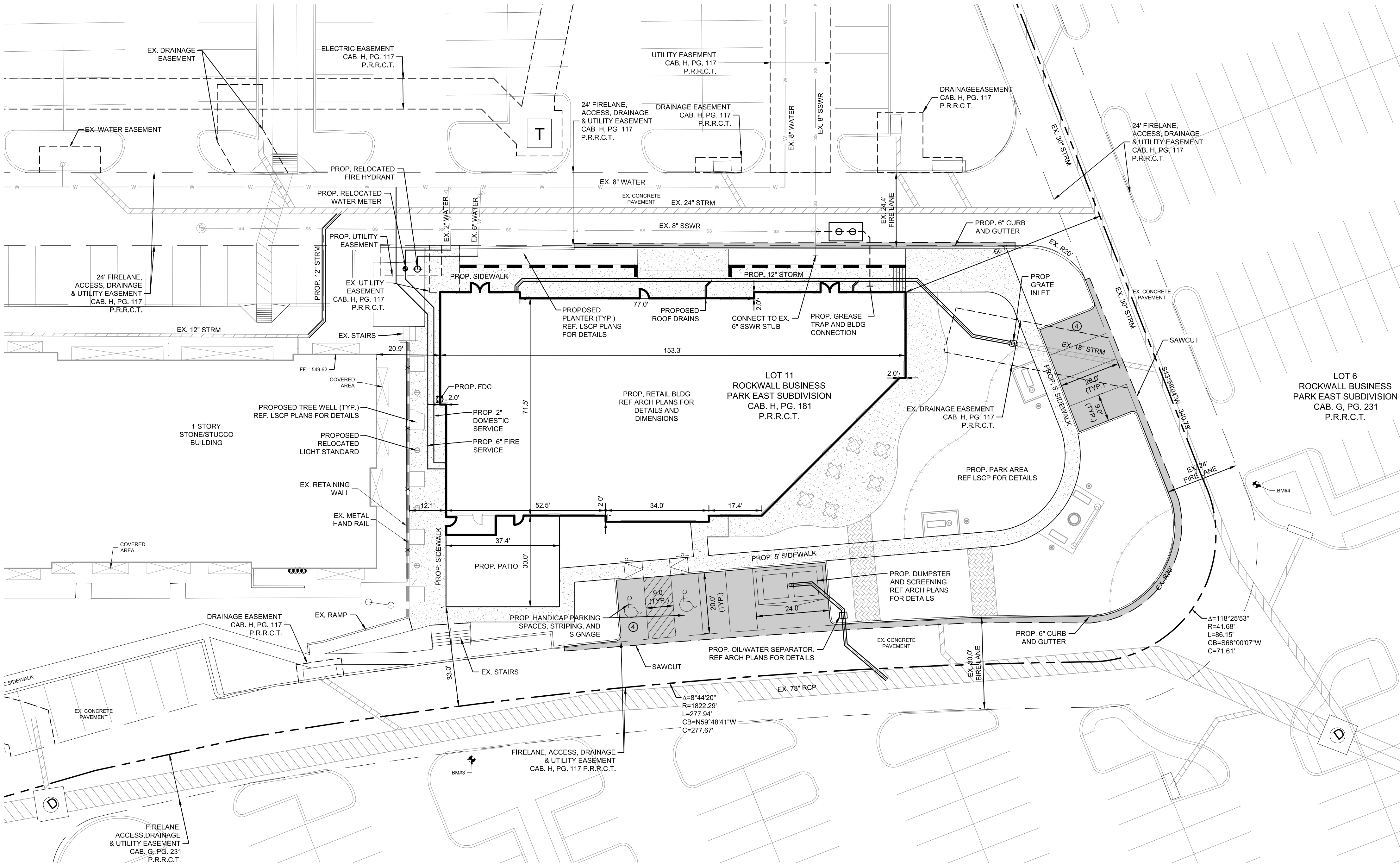
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





IMAGES  
XREFS  
XREF+survey-XREF+site-XREF+2d+3d-XREF+shop-XREF+utility  
PLOTTED BY  
MWA/LEE, RACHIEL 4/10/2019 8:06 AM  
LAST SAVED  
4/10/2019 8:05 AM  
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



LEGEND	
	PROPOSED 3,600 PSI 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.W.
	PROPOSED 3,600 PSI 5" CONCRETE PAVEMENT WITH #3 BARS AT 18" O.C.W.
	PROPOSED PAVERS REF. LSCP ARCH PLANS FOR DETAILS
	FULL DEPTH SAWCUT
	PARKING STALL COUNT
	WATER METER

SITE DATA TABLE	
CURRENT LAND USE	C - COMMERCIAL
PROPOSED LAND USE	C - COMMERCIAL
TOTAL LOT AREA	±30,200 SF
SITE PERIMETER	±170 LF
BUILDING SQUARE FOOTAGE	9,835 SF
BUILDING HEIGHT	27.5 FT

- SITE NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADIUS DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADII ARE 2' UNLESS OTHERWISE NOTED.
  - ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
  - PARKING STUDY IS NOT REQUIRED PER CITY OF ROCKWALL PER PRE-DEVELOPMENT MEETING ON 1/10/2019. ADDITIONAL PARKING IS NOT REQUIRED DUE TO SHOPPING CENTER BEING OVER PARKED.
  - DUMPSTER ENCLOSURE SHALL BE 8' TALL CONSTRUCTED OF THE SAME MASONRY AS THE BUILDING. THE ENCLOSURE SHALL HAVE A SELF-LATCHING OPAQUE GATE. REFERENCE ARCHITECT PLANS FOR DETAILS.

#### BENCHMARKS

BM#1 (CITY OF ROCKWALL MONUMENT (RESET R005-1)) A CONCRETE MONUMENT WITH BRASS CAP FOUND IN THE CENTER MEDIAN OF SUMMIT RIDGE DRIVE AT ITS INTERSECTION WITH F.M. HWY. NO. 740. ELEV=578.63
BM#2 SQUARE CUT WITH "X" CUT SET ON THE WEST CORNER OF A CONCRETE CURB INLET LOCATED ON THE NORTHWEST SIDE OF A PARKING LOT APPROXIMATELY 60 FEET SOUTHEAST FROM THE CENTER OF THE EAST BOUND SERVICE ROAD OF IH 30 AND 270 FEET SOUTHWEST FROM THE CENTER OF THE NORTHERNMOST ENTRANCE TO PLAZA OF ROCKWALL. ELEV=562.98
BM#3 "X" CUT SET ON THE NORTHWEST CORNER OF A CONCRETE MEDIAN LOCATED ON THE SOUTH SIDE OF A ACCESS DRIVE, ±810 FEET SOUTHEAST FROM THE CENTER OF ENTRANCE DRIVE FROM THE EAST BOUND SERVICE ROAD OF IH 30 AND ±800 FEET NORTHWEST FROM THE CENTER ENTRANCE DRIVE FROM RALPH HALL PARKWAY. ELEV=543.15
BM#4 "X" CUT SET ON THE NORTHWEST CORNER OF A CONCRETE MEDIAN LOCATED ON THE EAST SIDE OF A ACCESS DRIVE, ±875 FEET SOUTHEAST FROM THE CENTER OF ENTRANCE DRIVE FROM THE EAST BOUND SERVICE ROAD OF IH 30 AND ±800 FEET NORTHWEST FROM THE CENTER ENTRANCE DRIVE FROM RALPH HALL PARKWAY. ELEV=539.11



Know what's below.  
Call before you dig.



**DEVELOPER:**  
**SHOPCORE PROPERTIES**  
233 S. WACKER DR. SUITE 3400  
CHICAGO, IL 60606  
PH. (312) 798-5151  
CONTACT: STEVE RUSSELL

CASE NUMBER: SP2019-006

**Kimley»Horn**

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
PHONE: 972.770.3800 FAX: 972.263.8890  
TEXAS REGISTERED ENGINEERING FIRM F-428

FOR REVIEW ONLY  
Not for construction or permit purposes.  
**Kimley»Horn**  
Engineer: SARAH E. SCOTT, P.E.  
P.E. No. 113285 Date: 03/15/2019

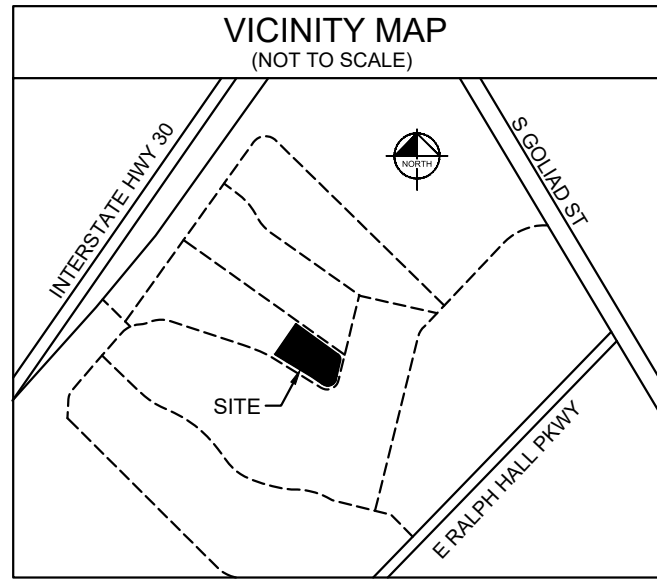
PROJECT No.	DATE	SCALE	DESIGNED BY	MM	RNI	CHECKED BY	SES
064226800	MARCH 2019	AS SHOWN					

**ROCKWALL PLAZA**  
LOT 11, ROCKWALL BUSINESS PARK  
EAST SUBDIVISION  
1041 E INTERSTATE HWY 30  
ROCKWALL, TX

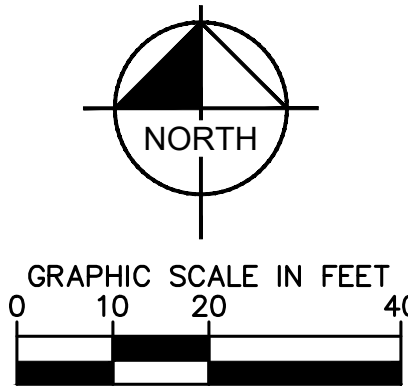
**SITE PLAN**

SHEET NUMBER  
**C-03**





<b>TREE INCHES BEING REMOVED</b>	
TOTAL TREE INCHES BEING REMOVED [NOT REQUIRING MITIGATION]	0"
TOTAL TREE INCHES BEING REMOVED [REQUIRING MITIGATION]	40.2"
TOTAL TREE INCHES BEING REMOVED	40.2"
TOTAL REPLACEMENT TREE INCHES	63"
*Ref. Sheet LP 1.01 for Replacement trees	

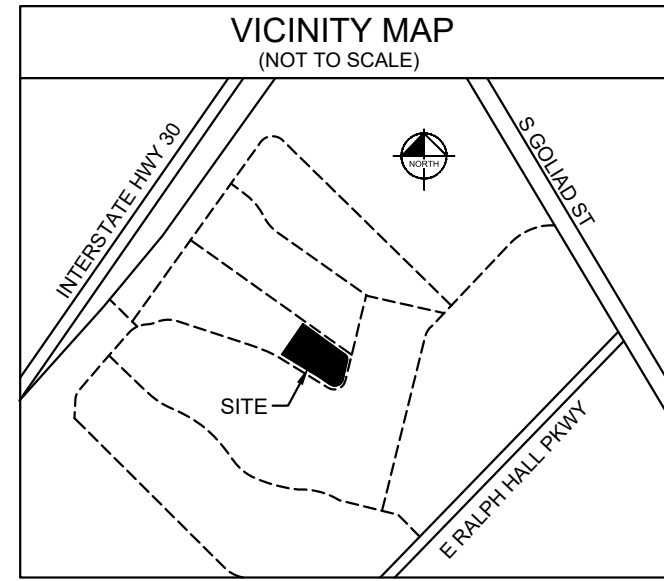


**CAUTION!!**

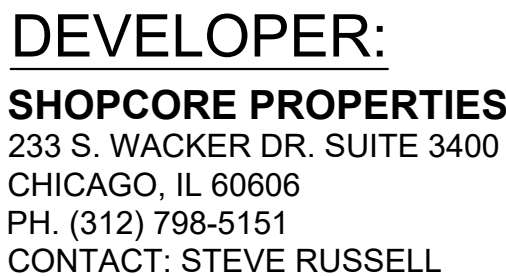
CONTRACTOR IS TO VERIFY  
PRESENCE AND EXACT  
LOCATION OF ALL UTILITIES  
PRIOR TO CONSTRUCTION.

**LANDSCAPE ARCHITECT:**  
**KIMLEY-HORN & ASSOCIATES**  
13455 NOEL RD, TWO GALLERIA TOWER  
STE 700  
DALLAS, TX 75240  
PH. (972) 770-1300  
CONTACT: PATRICK B. HART, PLA

CASE NUMBER: SP2019-006



Current Land Use	C-Commercial
Proposed Land Use	C-Commercial
Total Lot Area	+/- 30,200 SF
	+/- 0.7 acres
Site Perimeter	+/- 170 LF
Building Square Footage	9,835 SF
Building Height	27.5 FT
Previously approved Park Area (SP213-003)	+/- 0.07 acres
Proposed Park Area	+/- 0.25 acres



CASE NUMBER: SP2019-006

[illegible]

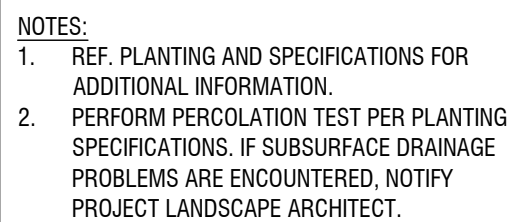
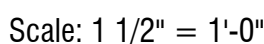
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
TEXAS REGISTERED ENGINEERING FIRM E-928

PROJECT No. 064526800	DATE: APR	SCALE: ASS	DESIGNED BY:	DRAWN BY:	CHECKED BY:
--------------------------	-----------	------------	--------------	-----------	-------------

**ROCKWALL PLAZA**  
LOT 11, ROCKWALL BUSINESS PARK  
EAST SUBDIVISION  
995 INTERSTATE HWY 30  
ROCKWALL, TX

# LANDSCAPE PLAN

SHEET NUMBER  
LP 1.01





FINISH LEGEND

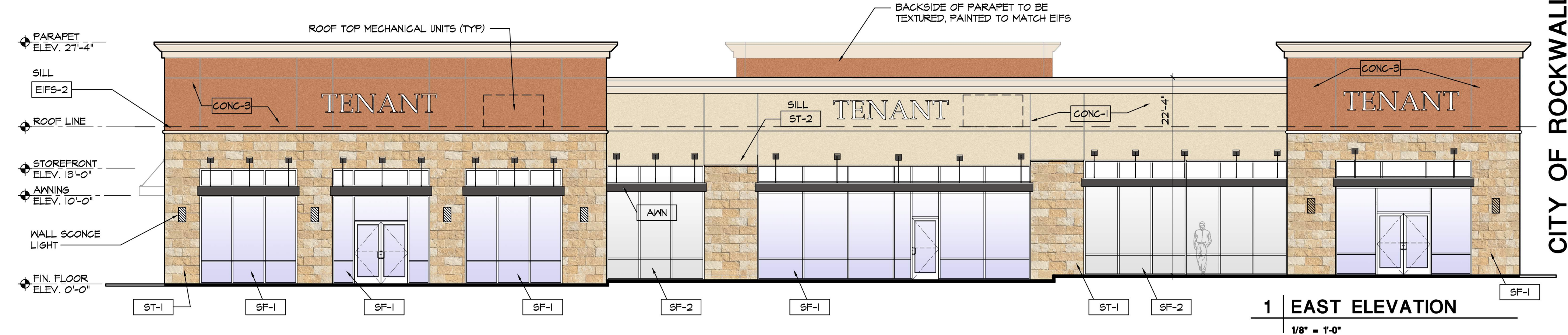
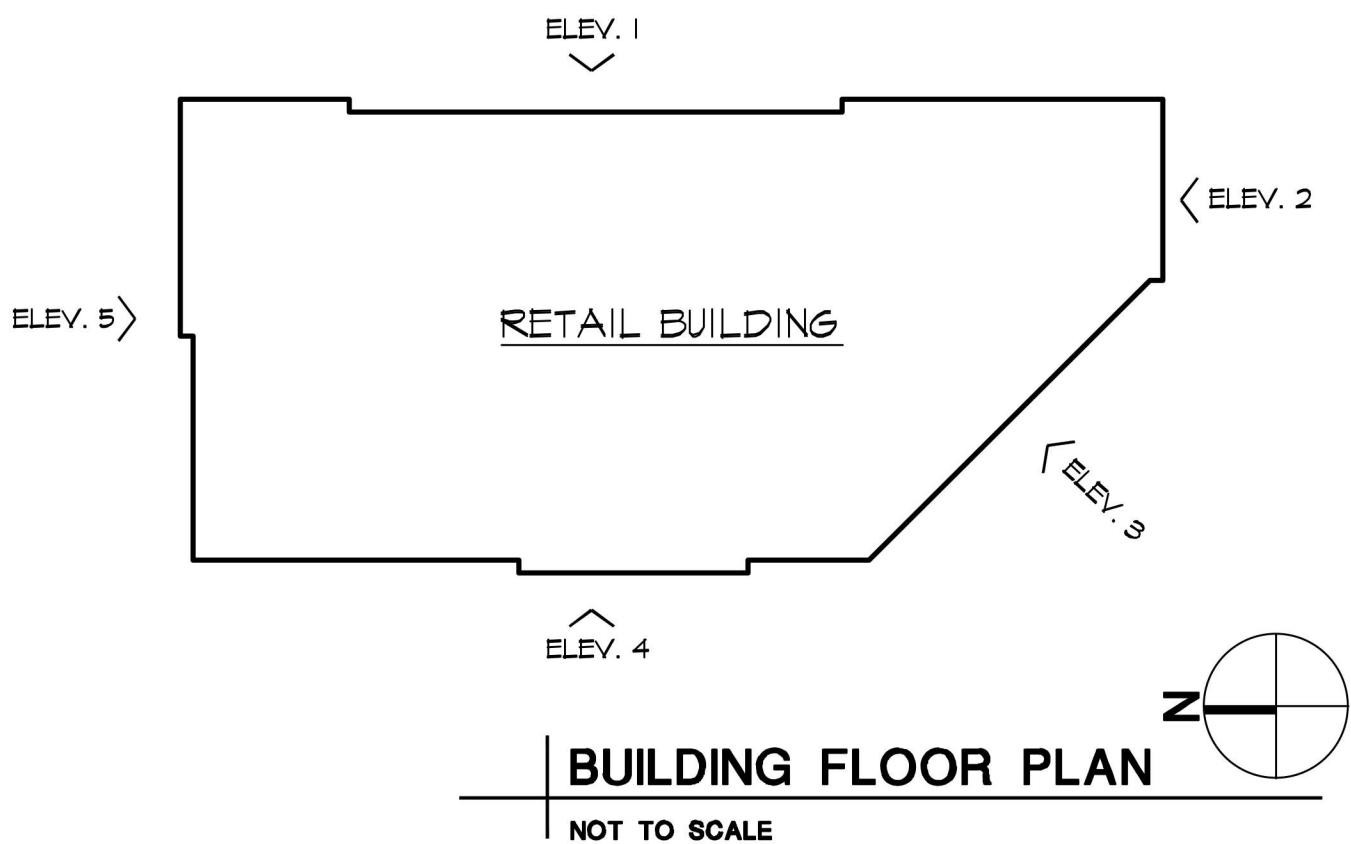
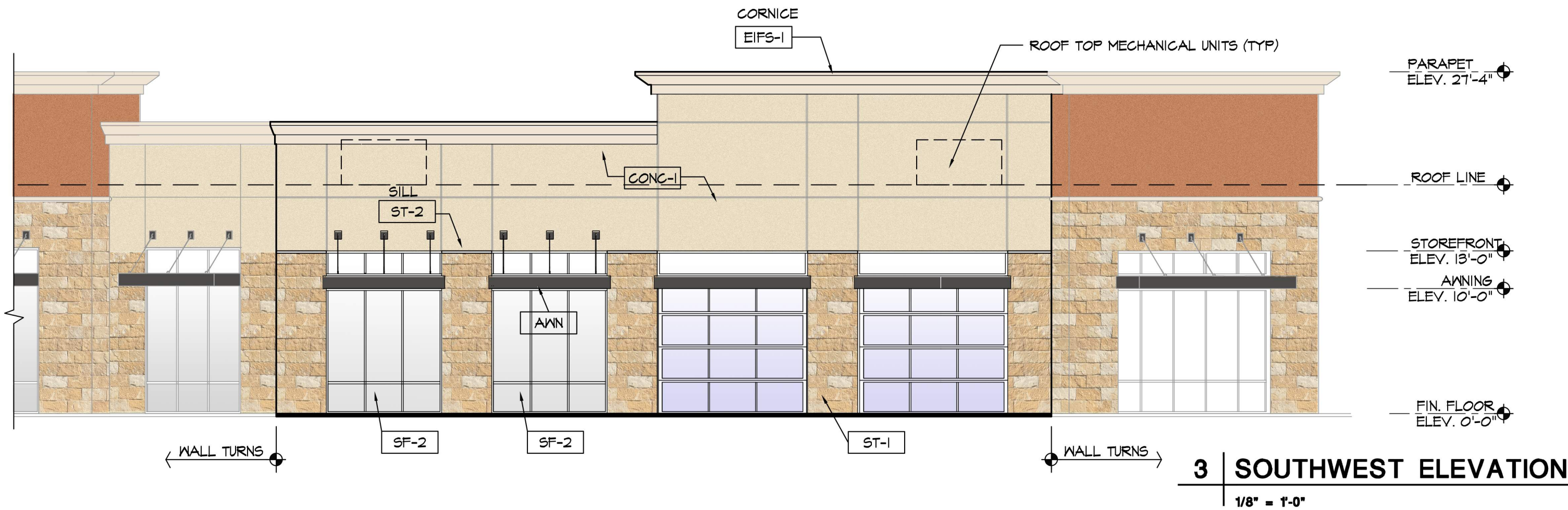
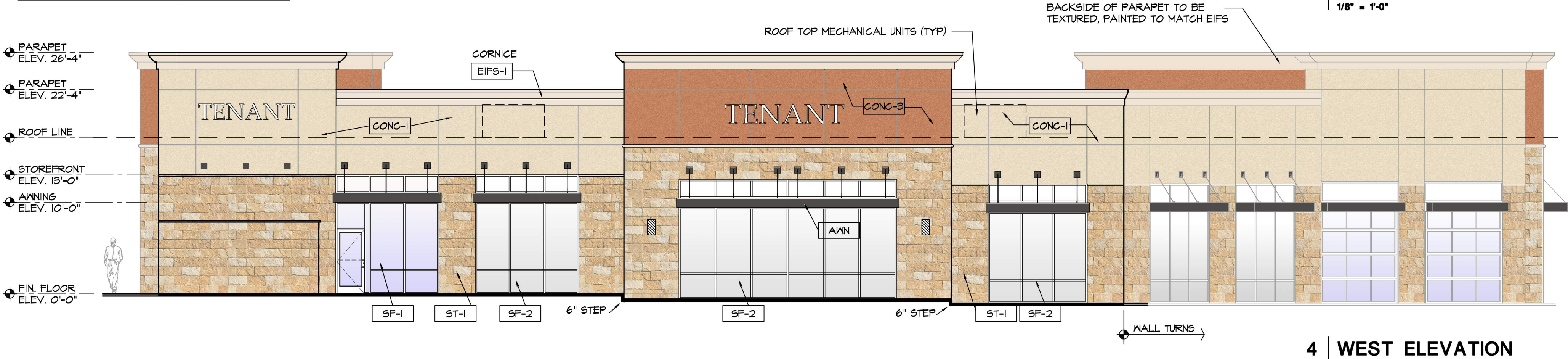
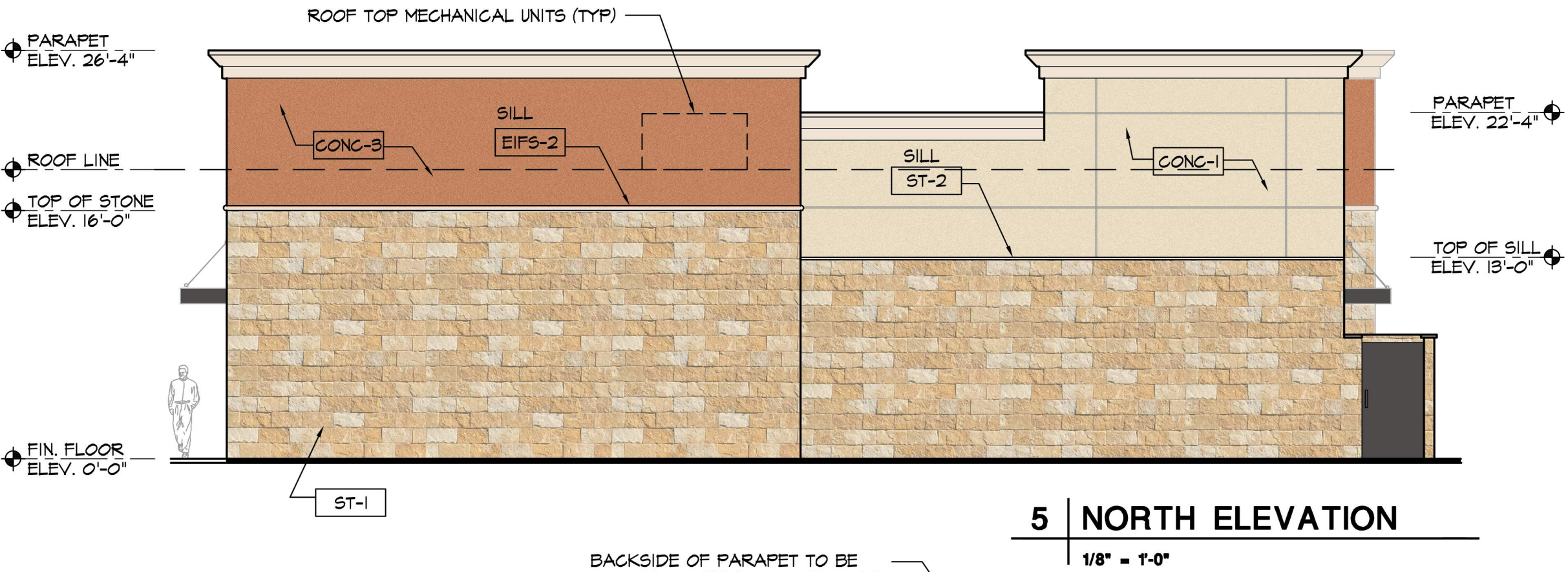
MATERIAL	SYMBOL	DESCRIPTION	MODEL / COLOR
EIFS	EIFS-1	EIFS CORNICE / MOLDINGS	PAINT TO MATCH SHER. WILLIAMS #6112 BISCUIT
	EIFS-2	EIFS SILL WITH ROUNDED END, 4" HIGH	PAINT TO MATCH SHER. WILLIAMS #6112 BISCUIT
CONCRETE TILT WALL	CONC-1	ACRYLIC TEXTURED CONC. TILT WALL	SAND FINISH, COLOR TO MATCH DRYVIT #434A CHLOE
	CONC-3	ACRYLIC TEXTURED CONC. TILT WALL	SAND FINISH, DRYVIT -MATCH S.W. #0001 DECOROUS AMBER
STONE TILE	ST-1	STONE TILE	NATURAL LIMESTONE TILE, "LIEDERS" (ROCK FACE) 12" X 24", 1 1/4" THICKNESS, OVER MORTAR SETTING BED, MORTARED JOINTS
	ST-2	STONE WATER TABLE SILL	NATURAL LIMESTONE "LIEDERS" (ROCK FACE) WATER TABLE SILL, 2" HIGH
STOREFRONT	SF-1	1" INSULATING CLEAR GLASS IN CLEAR ANODIZED FRAMING, GLAZING SPEC. Product ID: FIK, SHGC 0.41 (G)	
	SF-2	1/4" SPANDREL GLASS IN CLEAR ANODIZED FRAMING	
STEEL TUBE AWNING	AWN	12" X 4" STEEL TUBE AWNING, PAINT BARK BRONZE (SEMI-GLOSS)	

EXTERIOR MATERIAL BREAKDOWN

MATERIAL	STONE	TEXT. CONC.	EIFS	CLEAR STORY GLAZING
NORTH ELEVATION	60 %	33 %	1 %	
SOUTH ELEVATION	39 %	30 %	1 %	30 %
WEST ELEVATION	31 %	33 %	1 %	35 %
EAST ELEVATION	29 %	32 %	1 %	38 %
SOUTHWEST ELEVATION	25 %	36 %	1 %	38 %

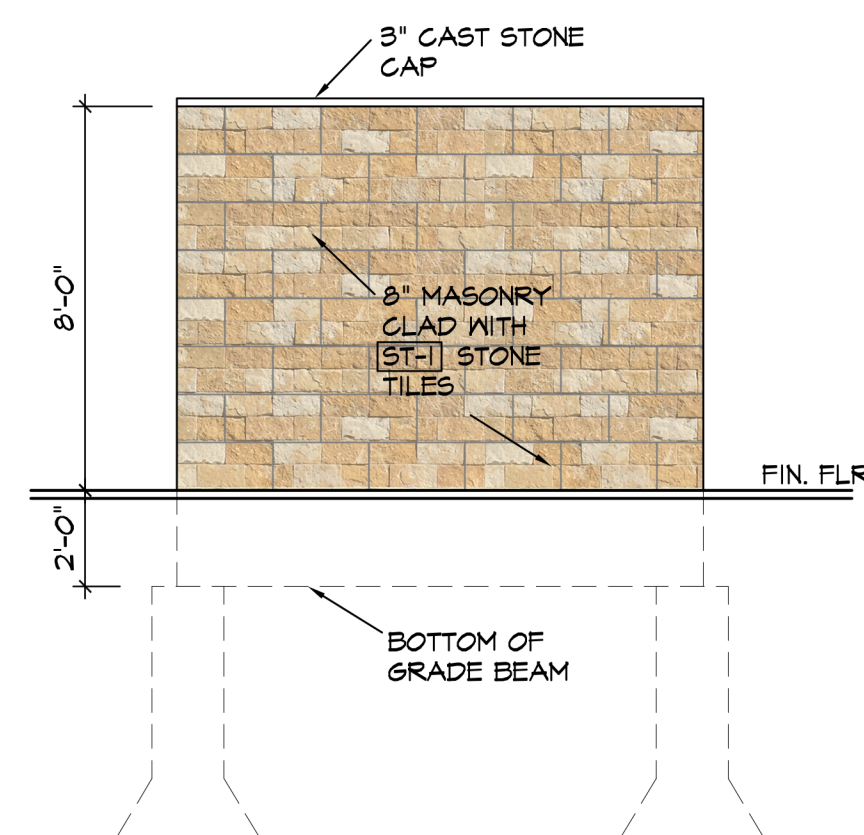
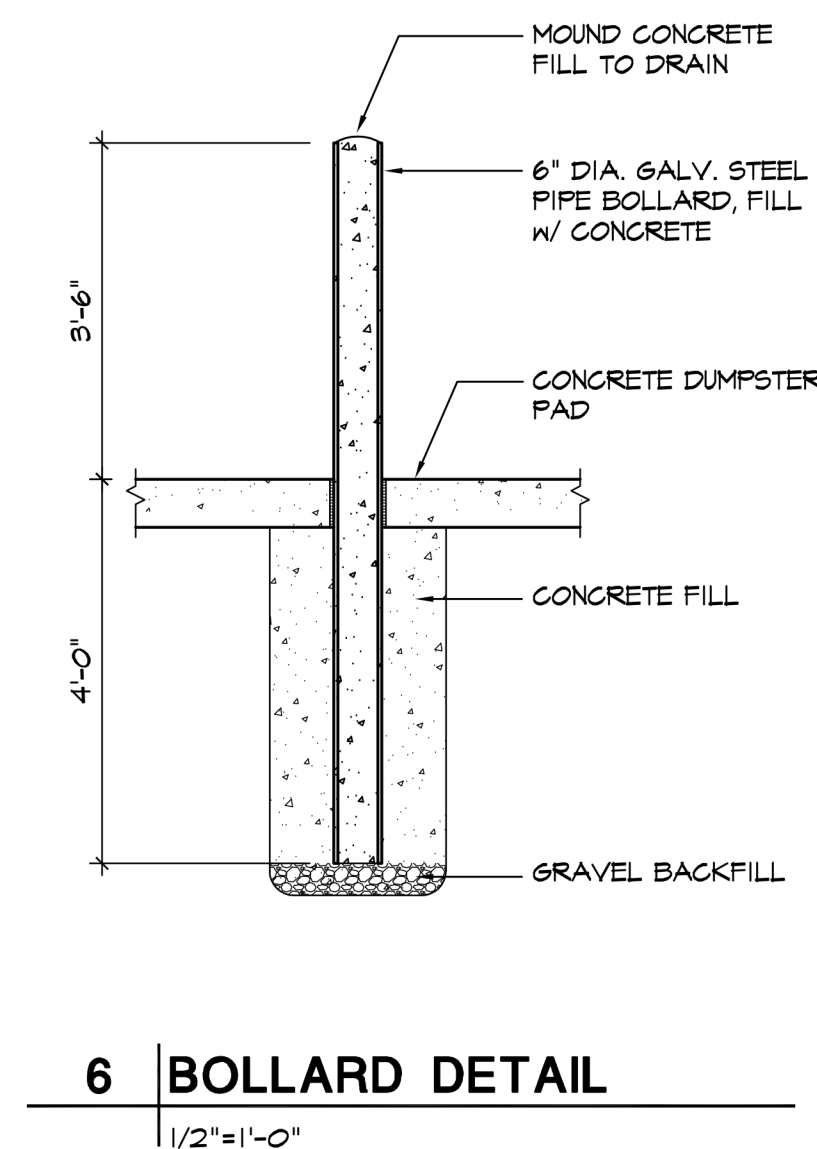
SITE DATA

CURRENT LAND USE	C- COMMERCIAL
PROPOSED LAND USE	C- COMMERCIAL
TOTAL LOT AREA	+/- 30,200 SFF
SITE PERIMETER	+/- 0.7 AC
BUILDING SQUARE FOOTAGE	9,835 SF
BUILDING HEIGHT	21.5 FT

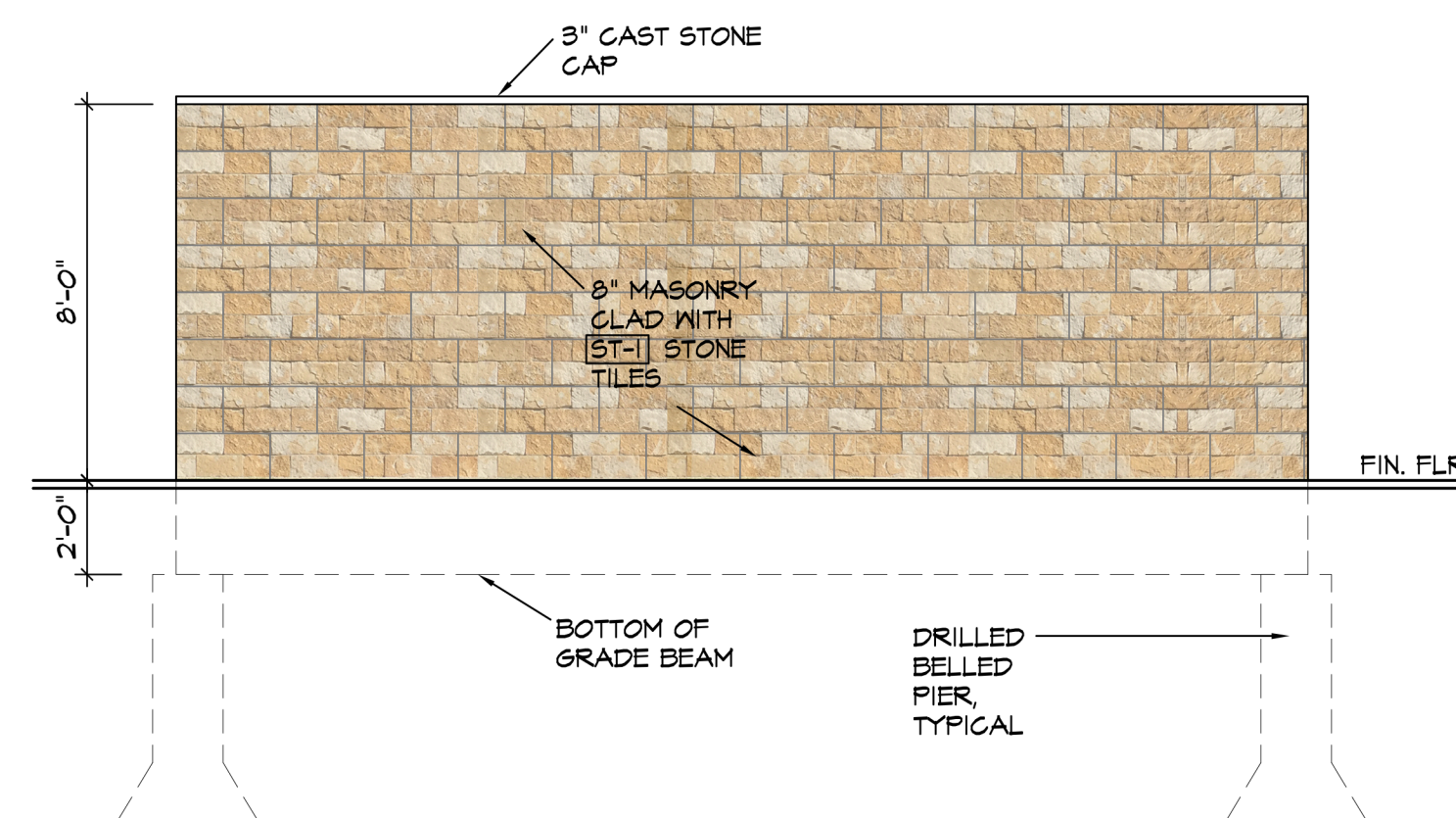




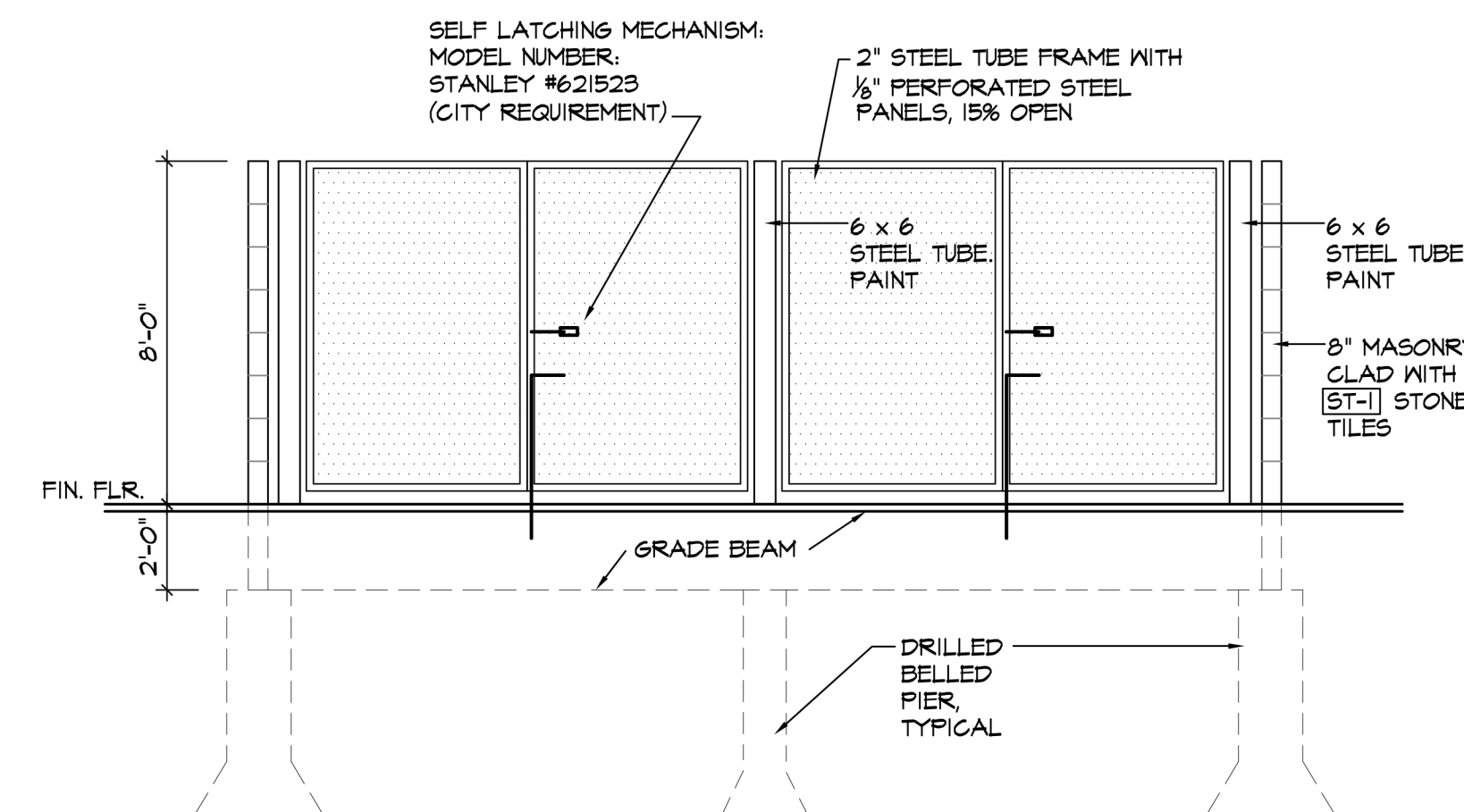
FINISH LEGEND			
MATERIAL	SYMBOL	DESCRIPTION	MODEL / COLOR
STONE TILE	ST-I	STONE TILE	NATURAL LIMESTONE TILE. "LUEDERS" (ROCK FACE) 12" X 24", 1 1/2" THICKNESS. OVER MORTAR SETTING BED. MORTARED JOINTS



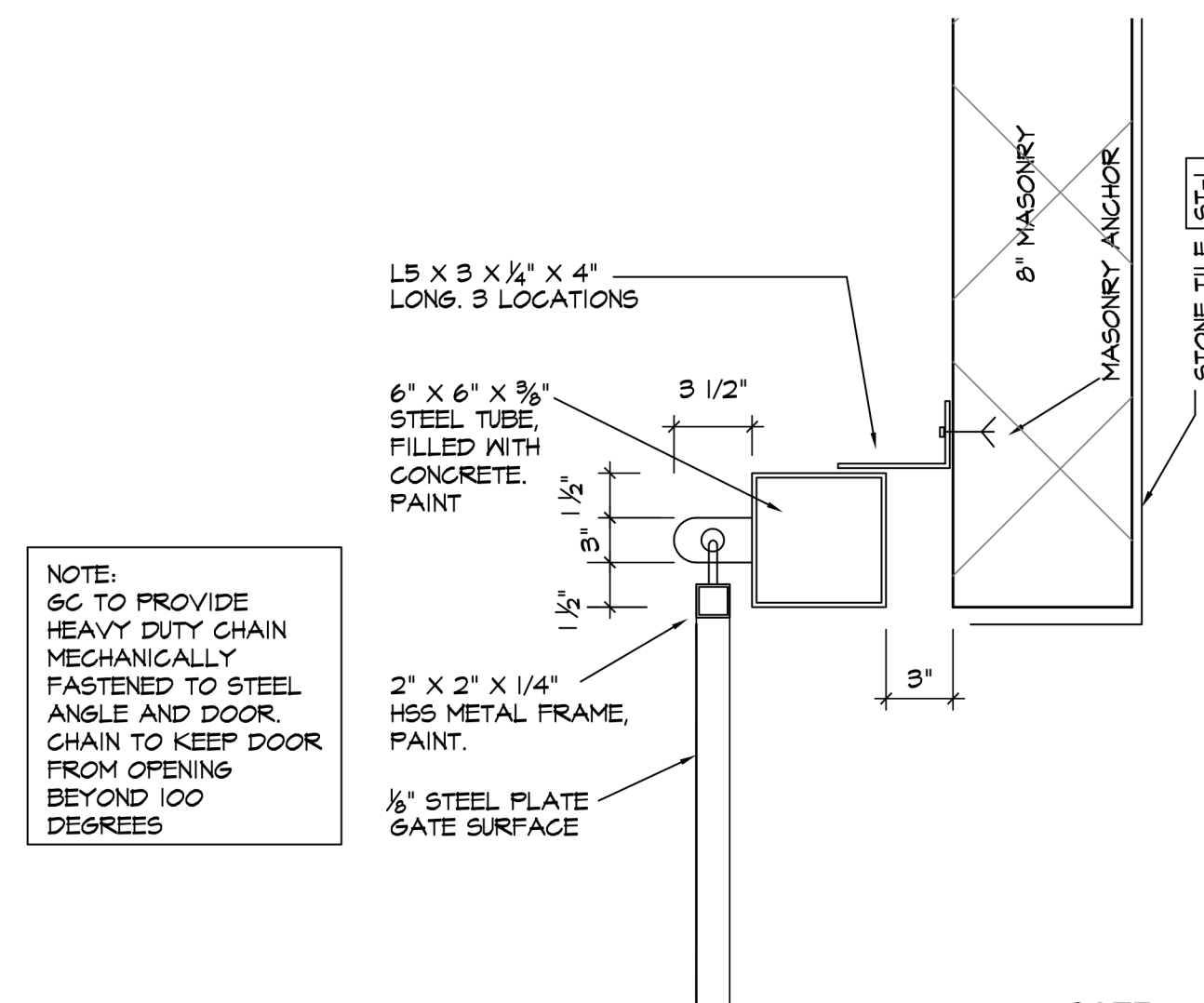
5 | SIDE  
ELEVATION



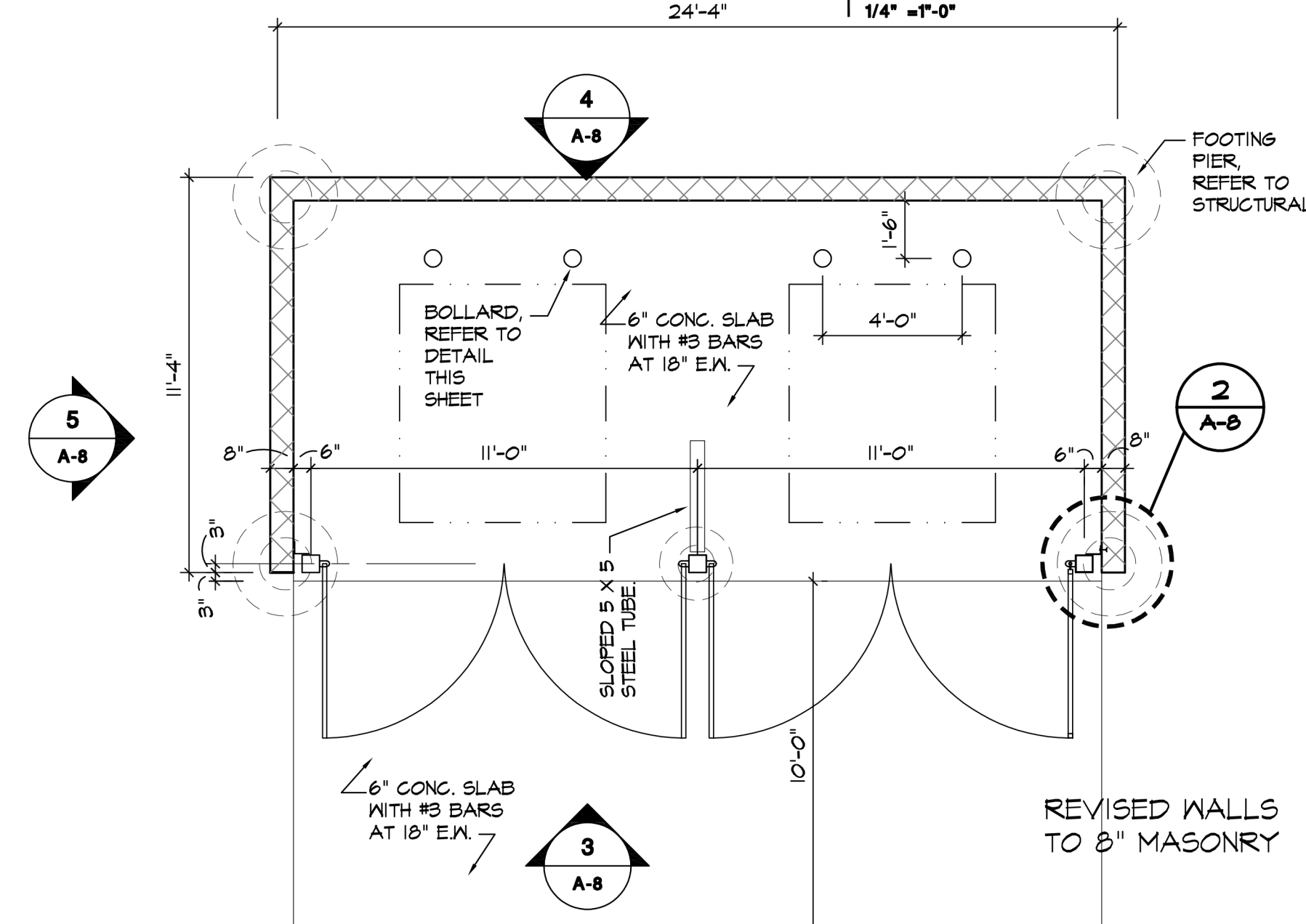
4 | REAR  
ELEVATION  
1/4" = 1'-0"



### 3 | FRONT ELEVATION



2	GATE DETAIL
	1 1/2" = 1'-0"



1	DUMPSTER ENCLOSURE PLAN 1/4" = 1'-0"
---	--





CITY OF ROCKWALL CASE # SP2019-006

onyx|creative  
25001 Emory Road, Suite 400  
Cleveland, Ohio 44128  
216.223.5100 onyxcreative.com

**RETAIL BUILDING**  
PLAZA AT ROCKWALL  
1041 INTERSTATE HWY. 30  
ROCKWALL, TEXAS.

Project No.:	T.B.A.
Drawn By:	JF
Date:	4-03-19
Issue:	CITY REVIEW

VIEW 1.1





CITY OF ROCKWALL CASE # SP2019-006

VIEW 1.2

**RETAIL BUILDING**  
PLAZA AT ROCKWALL  
1041 INTERSTATE HWY 30  
ROCKWALL, TEXAS

Project No:	TBA
Drawn By:	J
Date	Issue
4-03-19	CITY REVIEW





CITY OF ROCKWALL CASE # SP2019-006

VIEW 1.3

**RETAIL BUILDING**  
PLAZA AT ROCKWALL  
1041 INTERSTATE HWY 30  
ROCKWALL, TEXAS.

Project No:	T.B.A.
Drawn By:	JF
Date	Issue
4-03-19	CITY REVIEW





CITY OF ROCKWALL CASE # SP2019-006

VIEW 1.4

**RETAIL BUILDING**  
PLAZA AT ROCKWALL  
1041 INTERSTATE HWY 30  
ROCKWALL, TEXAS.

Project No:	T.B.A.
Drawn By:	JF
Date	Issue
4-03-19	CITY REVIEW

**onyx|creative**  
25001 Emory Road, Suite 400  
Cleveland, Ohio 44128  
216.223.5100 onyxcreative.com





CITY OF ROCKWALL CASE # SP2019-006

**RETAIL BUILDING**  
PLAZA AT ROCKWALL  
1041 INTERSTATE HWY 30  
ROCKWALL, TEXAS.

Project No:	T.B.A
Drawn By:	JF
Date	Issue
4-03-19	CITY REVIEW

**onyx|creative**  
25001 Emory Road, Suite 400  
Cleveland, Ohio 44128  
216.223.5200 onyxcreative.com









CITY OF ROCKWALL CASE # SP2019-006

**RETAIL BUILDING**  
PLAZA AT ROCKWALL  
1041 INTERSTATE HWY 30  
ROCKWALL, TEXAS

Project No:	T.B.A.
Drawn By:	JF
Date	Issue
4-03-19	CITY REVIEW

onyx|creative  
25001 Emory Road, Suite 400  
Cleveland, Ohio 44128  
216.223.5100 onyxcreative.com

VIEW 1.7





CITY OF ROCKWALL CASE # SP2019-006

**RETAIL BUILDING**  
PLAZA AT ROCKWALL  
1041 INTERSTATE HWY. 30  
ROCKWALL, TEXAS.

Project No:	T.B.A.
Drawn By:	JF
Date:	Issue
4-03-19	CITY REVIEW

onyx|creative  
25001 Emory Road, Suite 400  
Cleveland, Ohio 44128  
216.223.5100 onyxcreative.com









CITY OF ROCKWALL CASE # SP2019-006

Project No:	T.B.A.
Drawn By:	JF
Date	Issue
4-03-19	CITY REVIEW

**RETAIL BUILDING**  
PLAZA AT ROCKWALL  
1041 INTERSTATE HWY. 30  
ROCKWALL, TEXAS.

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25001 Emory Road, Suite 400  
Cleveland, Ohio 44128  
216.223.5100 onyxcreative.com

VIEW 1.10





CITY OF ROCKWALL CASE # SP2019-006

**RETAIL BUILDING**  
PLAZA AT ROCKWALL  
1041 INTERSTATE HWY. 30  
ROCKWALL, TEXAS.

Project No:	T.B.A.
Drawn By:	JF
Date	Issue
4-03-19	CITY REVIEW

onyx|creative  
25001 Emory Road, Suite 400  
Cleveland, Ohio 44128  
216.223.5100 onyxcreative.com





May 2, 2019

**ATTN: MARLA MAURICIO**  
KIMLEY-HORN  
13455 NOEL ROAD TWO, SUITE 700  
Dallas, TX 75240

**RE: AMENDING SITE PLAN (SP2019-006), Plaza at Rockwall**

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the Planning and Zoning Commission on 04/09/2019. The following is a record of all recommendations, voting records and conditions of approval:

*ARCHITECTURAL REVIEW BOARD (ARB):*

*On March 26, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and requested that the applicant finish the inside of the parapets, and provide tree wells and lighting elements in the new alley (i.e. the existing park area). Additionally, the Architectural Review Board (ARB) requested a rendering of the proposed park area and alley. The applicant has submitted revised building elevations for the Architectural Review Board (ARB) to review and forward a recommendation to the Planning and Zoning Commission at the April 9, 2019 Planning and Zoning Commission meeting.*

*CONDITIONS OF APPROVAL*

*If the Planning and Zoning Commission chooses to approve the applicant's request, then staff would propose the following conditions of approval:*

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit;*
- (2) The park area and alley shall include the amenities indicated on the submitted landscape plan and renderings;*
- (3) The existing signage shall be relocated to the park area as indicated on the submitted landscape plan and renderings; and*
- (4) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*





**PLANNING AND ZONING COMMISSION:**

*On April 9, 2019, the Planning and Zoning Commission's motion to approve the site plan with staff's Conditions of Approval passed by a vote of 7-0.*

For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

**Korey Brooks, AICP**

Senior Planner

Planning & Zoning Department

City of Rockwall, TX