



## PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2019-009 P&Z DATE 4/30/19 CC DATE \_\_\_\_\_ APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

### SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

### PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# \_\_\_\_\_)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE \_\_\_\_\_
  - ☐ CABINET # \_\_\_\_\_
  - ☐ SLIDE # \_\_\_\_\_

NOTES: \_\_\_\_\_

ZONING MAP UPDATED \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ON

PLANNING &amp; ZONING CASE NO.

SP2019-009

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- ☐ Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>  
☐ Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>  
☐ Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>  
☐ Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>  
☐ Amending or Minor Plat (\$150.00)  
☐ Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- ☐ Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>  
☒ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>  
☐ Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>  
☐ PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

**Other Application Fees:**

- ☐ Tree Removal (\$75.00)

**Notes:**

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

**PROPERTY INFORMATION [PLEASE PRINT]**

Address 925 N Goliad, Rockwall, TX

Subdivision Isaac Pena Addition

Lot

1

Block

1

General Location West side of N Goliad

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

Current Zoning RO

Current Use

Residential

Proposed Zoning

Proposed Use

Professional Office

Acreage 1 Acre

Lots [Current]

1

Lots [Proposed]

1

- ☐ **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**☐ Owner☒ Applicant

Cari Foote &amp; Associates, PLLC

Contact Person

Contact Person

Cari Foote

Address

Address

203 S. Fannin Rd.

City, State &amp; Zip

City, State &amp; Zip

Rockwall, TX 75087

Phone

Phone

830-798-5884

E-Mail

E-Mail

cfoote@professionalcounseling.us

**NOTARY VERIFICATION [REQUIRED]**

Before me, the undersigned authority, on this day personally appeared Cari Foote [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 5 day of April, 20 19. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 5 day of April, 20 19.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas



My Commission Expires

02-28-21





## **DEVELOPMENT REVIEW COMMITTEE (DRC)**

### **CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

**External Review:** Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

**Internal Review:** Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

**From:** Planning & Zoning Department

**Date:** 4/9/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 04/19/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 4/30/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 4/30/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** SP2019-009  
**Project Name:** 925 N. Goliad Street  
**Project Type:** SITE PLAN  
**Applicant Name:** CARI FOOTE & ASSOCIATES, PLLC  
**Owner Name:** DONAHOE, JOHN M & KATHRINE E  
**Project Description:**



# RECEIPT

Project Number: SP2019-009  
Job Address: 925 N GOLIAD  
ROCKWALL, TX 75087

Receipt Number: B84907

Printed: 4/18/2019 9:15 am

Fee Description	Account Number	Fee Amount
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SITE PLANNING		
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	01-4280	
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		\$ 100.00
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**Total Fees Paid:**

**\$ 100.00**

Date Paid: 4/18/2019 12:00:00AM

Paid By: CARI FOOTE & ASSOCIATES, PLLC

Pay Method: CHECK 2256

Received By: LM



4/26/2019

## City of Rockwall

### Project Plan Review History



<b>Project Number</b>	SP2019-009	<b>Owner</b>	DONAHOE, JOHN M & KATHRINE E	<b>Applied</b>	4/8/2019	LM
<b>Project Name</b>	925 N. Goliad Street	<b>Applicant</b>	CARI FOOTE & ASSOCIATES, PLLC	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>	AMENDING			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
925 N GOLIAD	ROCKWALL, TX 75087	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
GARNER	1	A	1	4048-000A-0001-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING (4/10/2019 10:59 AM RMC) All commercial staircase require handrail on both side exteneding 1ft above top step and 1ft below the bottom step.	Russell McDowell	4/8/2019	4/15/2019	4/10/2019	2	APPROVED	
ENGINEERING (4/10/2019 2:29 PM SH) - Widen the driveway to avoid the switchback curve. - Show the hatching darker for the accessible loading space. - TXDOT permit required to remove the existing driveway. - Must show utility connections. - 4% engineering inspection fees. - Impact fees for upsizing the water meter, if needed.	Sarah Hager	4/8/2019	4/15/2019	4/10/2019	2	COMMENTS	
FIRE	Ariana Hargrove	4/8/2019	4/15/2019	4/12/2019	4	APPROVED	
GIS	Lance Singleton	4/8/2019	4/15/2019	4/18/2019	10	APPROVED	
PLANNING	Korey Brooks	4/8/2019	4/15/2019	4/25/2019	17	COMMENTS	Comments

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SP2019-009 Site Plan for 925 N. Goliad Street						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This is a request by Cari Foote of Cari Foote & Associates, PLLC for the approval of a site plan for an office building on a one (1) acre parcel of land identified as Lot 1, Block A, Isaac Pena Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated in the North Goliad Corridor Overlay (NGC OV) District, addressed as 925 N. Goliad Street.						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2019-009) in the lower right hand corner of all pages on future submittals.						
M.4 Please provide an updated site plan showing the landscaping requested by the Historic Preservation Advisory Board (HPAB). "The developer shall plant a thick vegetative screening utilizing a combination of accent trees, bushes and/or grasses adjacent to the ramp and the south property line; and the developer shall submit a revised landscape plan showing the location and landscape materials proposed for the landscape screening adjacent to the ramp and south property line."						
I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by May 7, 2019. The Planning and Zoning Worksession for this case is April 30, 2019 and the Planning and Zoning Meeting for this case is May 14, 2019.						
M.6 A representative is required to attend all meetings.						

04/03/2019



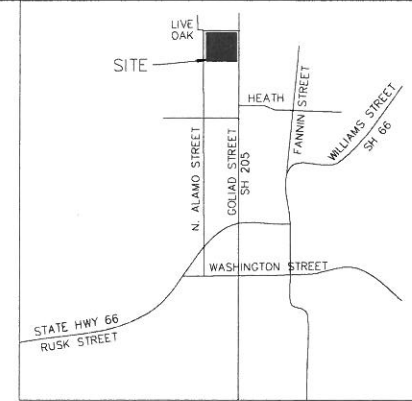
ERIC L. DAVIS ENGINEERING, INC.  
 E-3987  
 120 East Main Street  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail: eric@eldavisengineering.com

SITE PLAN  
 DESIGNED FOR  
 CARI FOOTE

PLANNING: SITE PLAN  
 ELD JOB NO.: 2069  
 ADDITION: ISAAC FENA ADDITION  
 ADDRESS: 925 N. GOLIAD ST.  
 LOT: 1 BLOCK: 1  
 CITY: ROCKWALL, TX

SCALE: 1"=20'

SHEET 01



VICINITY MAP  
 N.T.S.



GRAPHIC SCALE 1" = 20'

DEVELOPMENT SYNOPSIS

ZONING: PD 50  
 PROPOSED USE: OFFICE  
 PROPERTY AREA: 43,378 SF, 1.00 AC  
 BUILDING AREA: 1,900 SF  
 EX. PAVEMENT AREA: 4935 SF  
 PR. PAVEMENT AREA: 4962 SF  
 PARKING REQUIRED: 4 (1 ADA)  
 PARKING PROVIDED: 11 (1 ADA)

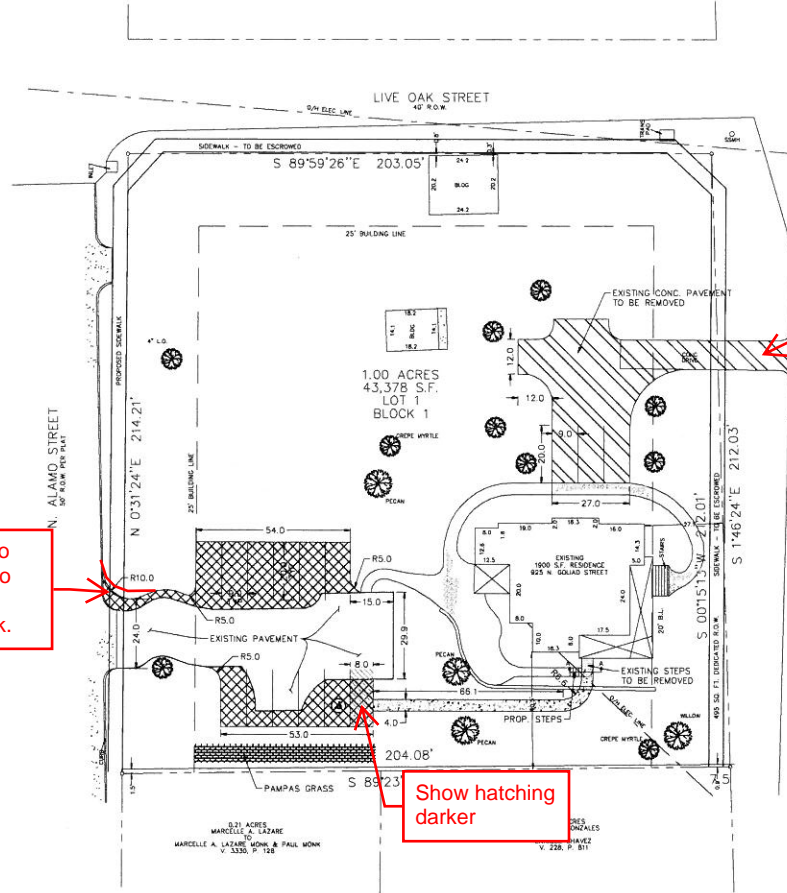
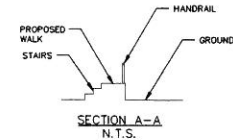
- DRIVE PAVEMENT ADDITION 2000 SF
- SIDEWALK PAVEMENT ADDITION 333 SF
- PAVEMENT REMOVAL 2306 SF

Pave out to this point to avoid the switchback.

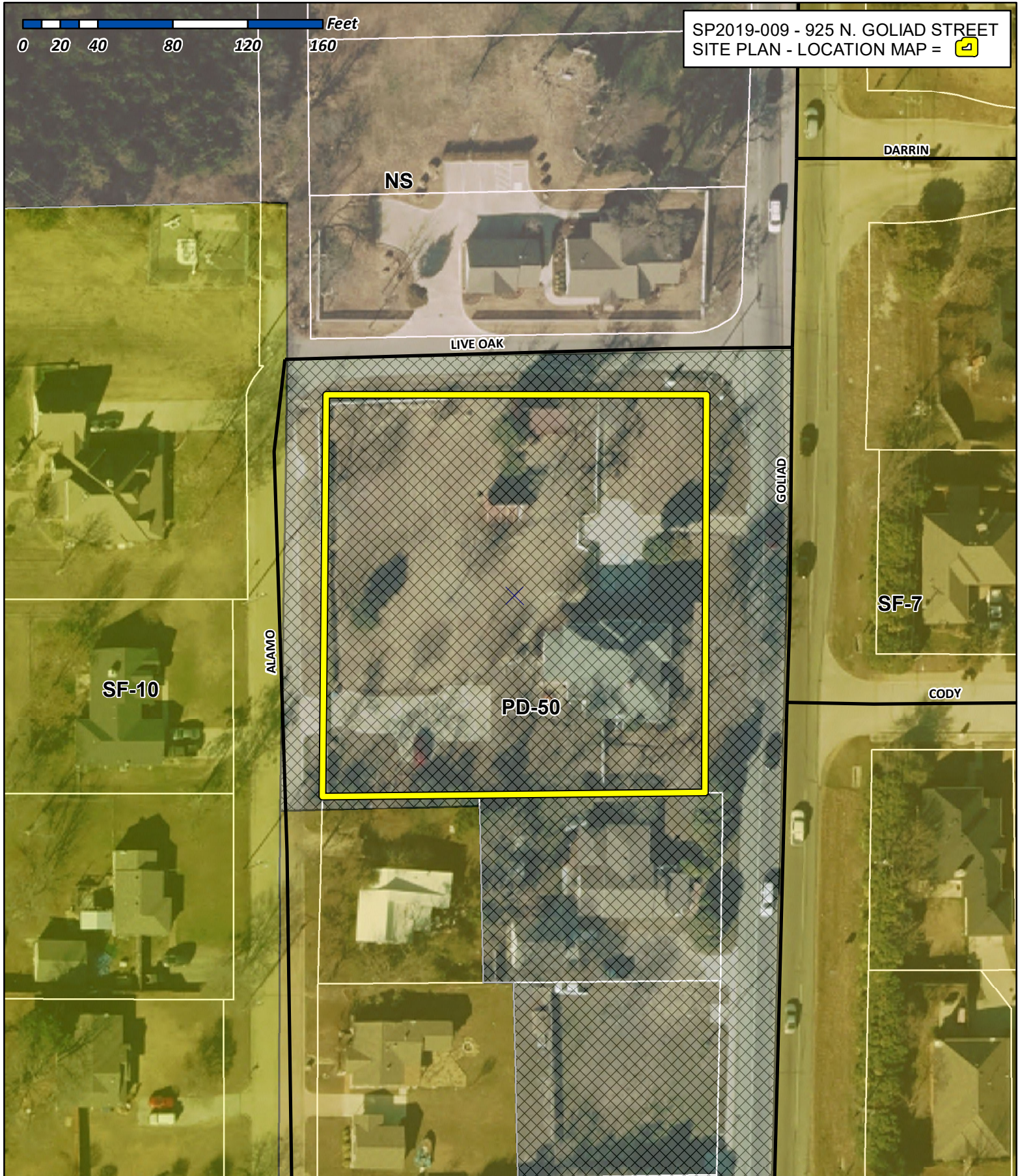
Show hatching darker

TxDOT permit required.

- Must show utility connections.
- 4% engineering inspection fees.
- Impact fees for upsizing the water meter, if needed.







## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**CARI FOOTE, M.A., LPC, LMFT & Associates, PLLC**

PO Box 1731  
Marble Falls, TX 78654  
O: 830-693-0530  
C: 830-798-5884  
F: 830-637-7438

203 S. Fannin Street  
Rockwall, TX 75087  
[cfoote@professionalcounseling.us](mailto:cfoote@professionalcounseling.us)

606 Avenue J  
Marble Falls, TX 78654  
[www.professionalcounseling.us](http://www.professionalcounseling.us)

4-5-19

City of Rockwall  
Historical Preservation Advisory Board &  
Planning & Zoning Board

Re: 925 N. Goliad, Rockwall, TX 75087

To Whom It May Concern:

I am currently under contract to purchase the Landmark Property known as the Cade House at 925 N. Goliad. It is currently used as residential property. The zoning is Commercial – Residential Office. I plan to convert the use to professional office use.

There will be no changes to the exterior other than –

- Adding a white metal handrail down the middle of the front steps
- Adding a black metal handrail down the middle of both sides of the rear steps
- Removing the concrete drive and parking in front and replacing with sod
- Adding parking in back and widening the back drive as indicated in site plan
- Adding Pampas grass along the south fence line to function as photometric screening grass to match the existing pampas grass at the back gate
- Building a handicap access from back parking with a sidewalk and raised sidewalk as needed due to grading. Sidewalk will enter the side of the front porch and the current side stairs. At the entrance to the stairs the existing architectural features the border the existing stairs will border the ramp and any needed rails along the walkway will be white vinyl rails that look like wood and match the exterior of the building.

There will be no interior changes other than to make the down stairs bath accessible and adding handrails to the stairs and doors to the dining room.

The submitted site plan includes photometric requirements, treescape plan (no changes needed to current trees), and elevations and site plan indicates existing landscaping. There will be no change other than adding sod to the area of removed concrete. Sidewalk along Alamo will be completed. Sidewalks along Live Oak and Goliad will be escrowed.

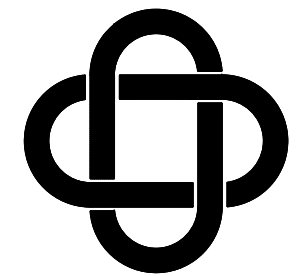
The amount of added paving is:

2000 SF of added drive paving  
333 SF of added sidewalk/ramp paving  
2333 SF Total Added

The amount of removed paving is: 2306 SF of removed front paving

Sincerely,

Cari Foote



ERIC L. DAVIS ENGINEERING, INC.  
F-3987  
120 East Main Street  
Forney, Texas 75126  
972/564-0592 Fax 972/564-6523  
E-Mail ericdavis@eldengineering.com

SITE PLAN  
DESIGNED FOR:

CARI FOOTE

PLAN: SITE PLAN

ELD JOB NO.: 2069

DRAWN BY: BW

FIRM REGISTRATION #: 3987

BUILDER: CARI FOOTE

ADDITION: ISAAC PENA ADDITION

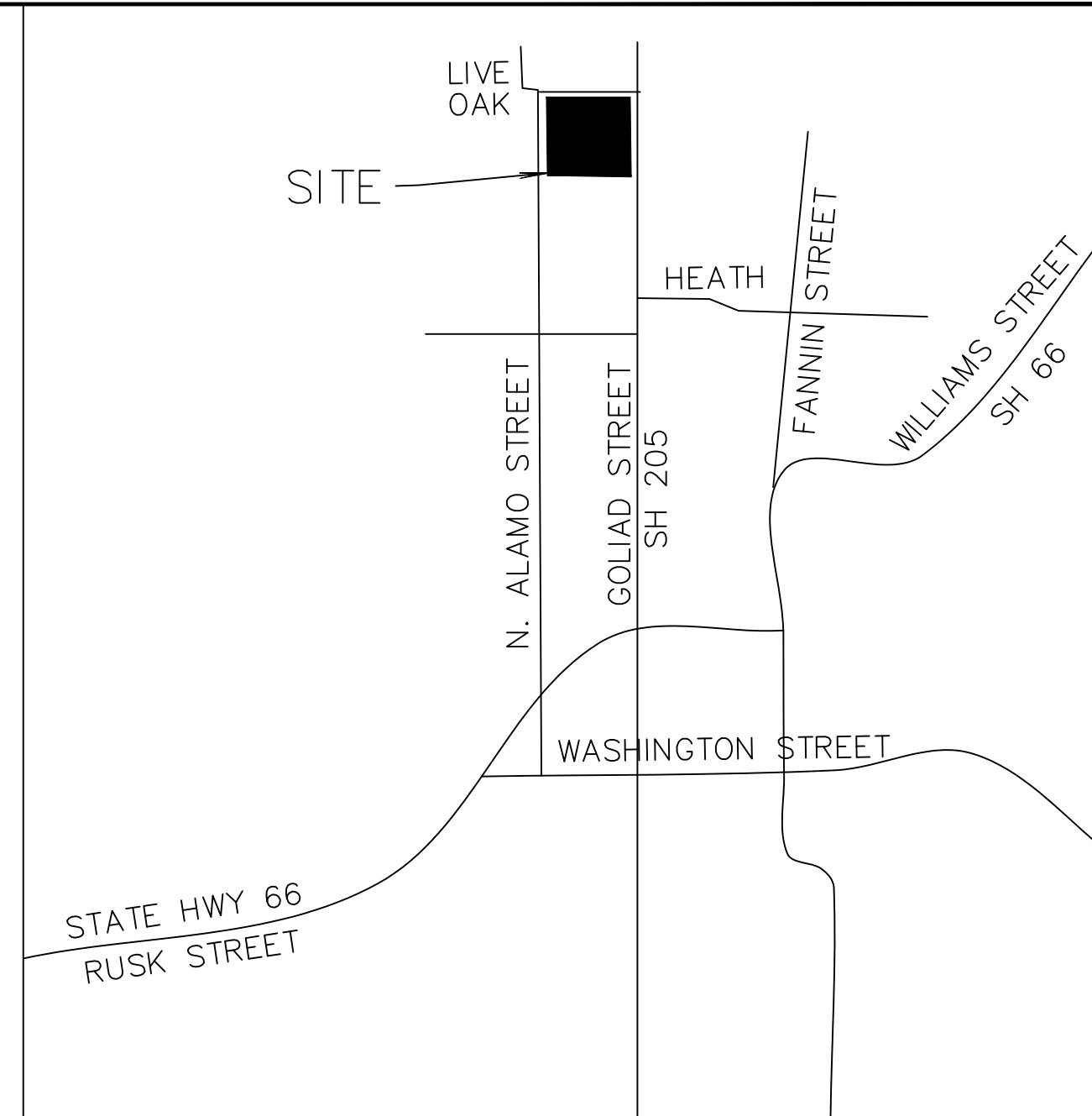
ADDRESS: 925 N. GOLIAD ST.

LOT: 1 BLOCK: 1

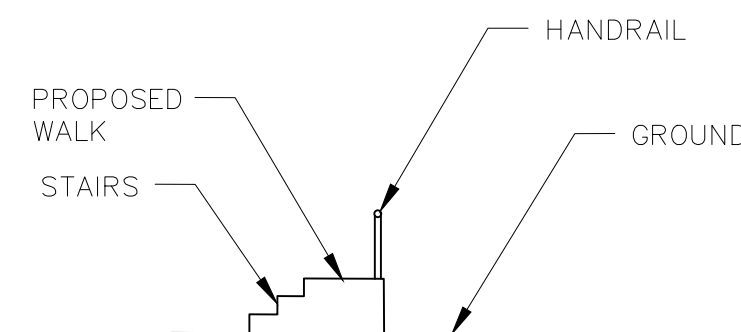
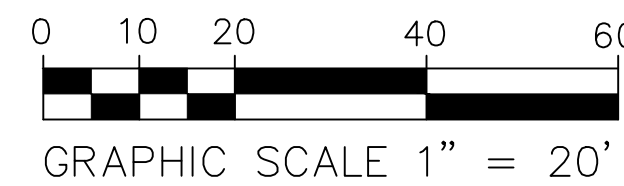
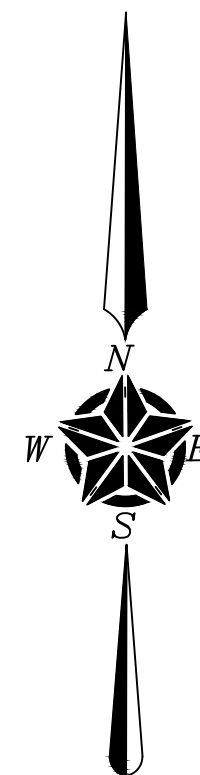
CITY: ROCKWALL, TX

SCALE: 1"=20'

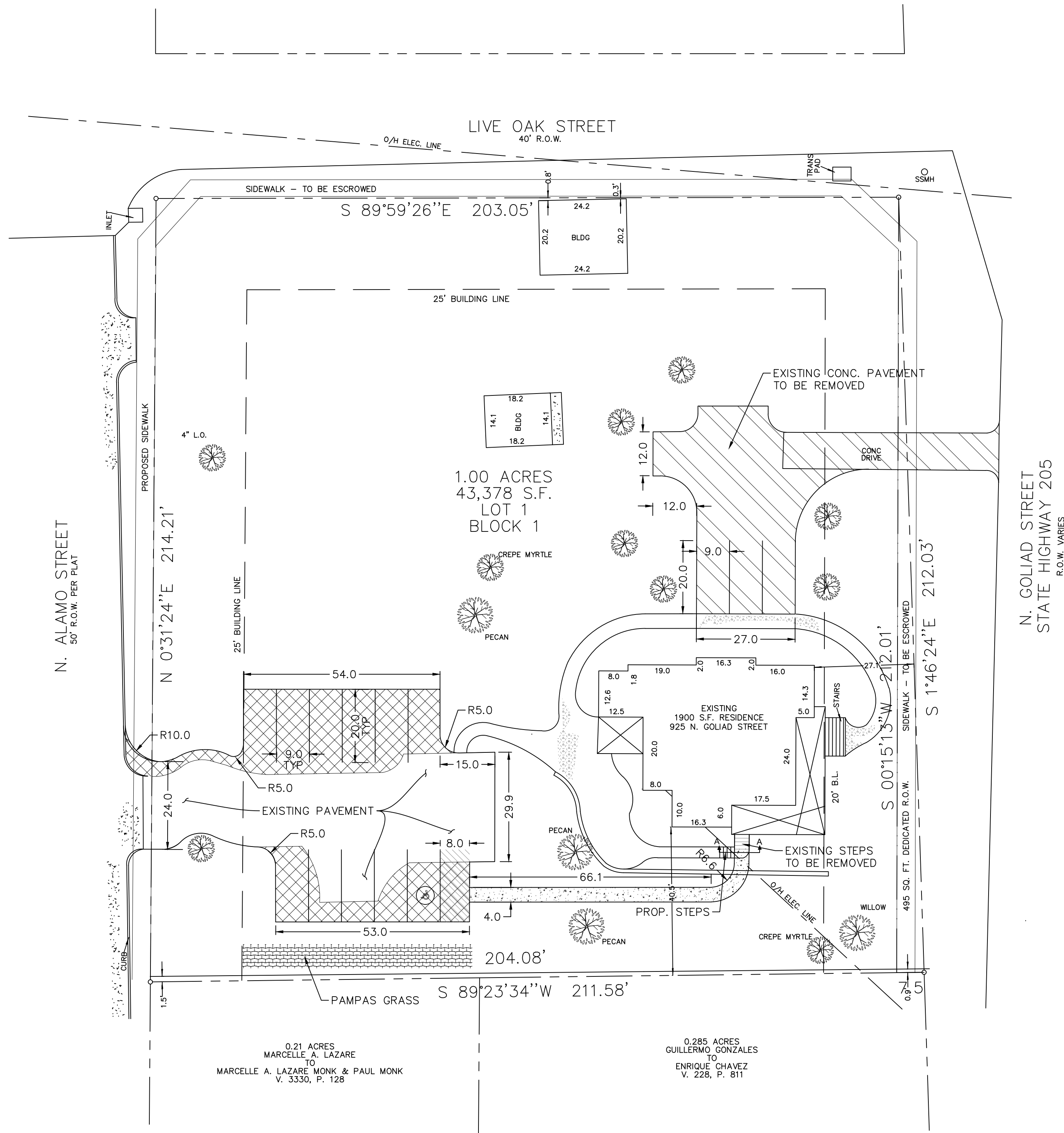
SHEET 01



VICINITY MAP  
N.T.S.



SECTION A-A  
N.T.S.



DEVELOPMENT SYNOPSIS

ZONING: PD 50  
PROPOSED USE: OFFICE  
PROPERTY AREA: 43,378 SF, 1.00 AC  
BUILDING AREA: 1,900 SF  
EX. PAVEMENT AREA: 4935 SF  
PR. PAVEMENT AREA: 4962 SF  
PARKING REQUIRED: 4 (1 ADA)  
PARKING PROVIDED: 11 (1 ADA)







**FRONT ELEVATION  
FACING EAST**





**SOUTHEAST ELEVATION**





**SOUTHWEST ELEVATION**





**NORTH ELEVATION**





**NORTHWEST ELEVATION**



# CHR

Continuous Handrail  
ALUMINUM



Railings for exterior front and back stairs - will be white



See Assembly  
1-2-3 Below



1-3/8" Handrail



Internal Connector



Collar Ring  
(to cover splice)



180° Elbow



Wall Return



Adjustable Elbow



Elbows  
(5°, 31°, 34°, and 36°)



90° Elbow



Inside Corner Mount  
(attaches to post)



Internal End Cap



Wall Mount



Extended  
Wall Mount



Wall-End  
Mount



90° Welded Elbow



Digger  
Specialties  
Inc.

diggerspecialties.com

April 2017



## Advantages:

- ADA Complaint
- Easy to install on any surface including existing railing and walls
- A variety of handrail lengths and accessories allow for a customized handrail
- Available in 12 Standard AAMA 2604 Powder Coated Colors
- Custom colors and AAMA 2605 Colors available
- Lifetime Limited Warranty



## Aluminum Continuous Handrail Colors



Satin Black



Black Fine Texture



Ninety Bronze



Bronze Fine Texture



White Fine Texture



Clay



Speckled Walnut



Sandy Shore



Gloss Beige

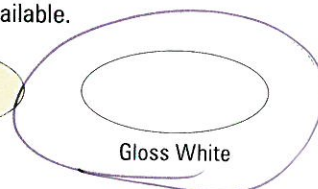


Chocolate



Silver

AAMA 2605 and Custom AAMA 2604 colors are available.



Gloss White


Colors shown are a close representation of the true color. Please consult actual samples for accurate powder coating colors.





**RAILING FOR HANDICAP  
RAILING IF NEEDED**



A photograph of a large clump of Pampas Grass (Cortaderia selloana) with several tall, feathery, yellowish-gold flower heads. The grass has long, thin, green blades that arch outwards. In the background, there is a dense green hedge. The text "Pampas Grass for Photometric Screening Along South Fence at Parking" is overlaid in the upper left quadrant of the image.

**Pampas Grass for Photometric  
Screening Along South Fence  
at Parking**

© American Meadows



# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	SP2019-009	<b>Owner</b>	DONAHOE, JOHN M & KATHRINE E	<b>Applied</b>	4/8/2019	LM
<b>Project Name</b>	925 N. Goliad Street	<b>Applicant</b>	CARI FOOTE & ASSOCIATES, PLLC	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>	AMENDING			<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
925 N GOLIAD	ROCKWALL, TX 75087	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
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04/03/2019



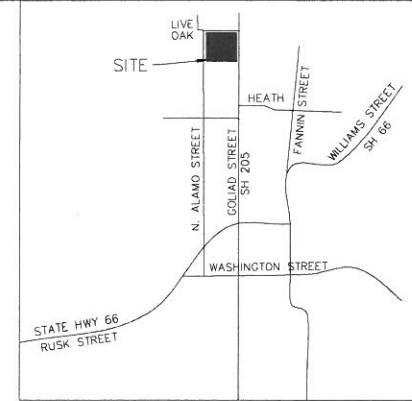
ERIC L. DAVIS ENGINEERING, INC.  
 E-3987  
 120 East Main Street  
 Forney, Texas 75126  
 972/564-0592 Fax 972/564-6523  
 E-Mail: eric@eldavisengineering.com

SITE PLAN  
 DESIGNED FOR  
 CARI FOOTE

PLANNING: SITE PLAN  
 ELD JOB NO.: 2069  
 ADDITION: ISAAC FENA ADDITION  
 ADDRESS: 925 N. GOLIAD ST.  
 LOT: 1 BLOCK: 1  
 CITY: ROCKWALL, TX  
 FIRM REGISTRATION #: 3987  
 DRAWN BY: BW

SCALE: 1"=20'

SHEET 01



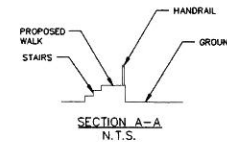
VICINITY MAP  
 N.T.S.



GRAPHIC SCALE 1" = 20'

TxDOT permit required.

- Must show utility connections.
- 4% engineering inspection fees.
- Impact fees for upsizing the water meter, if needed.



SECTION A-A  
 N.T.S.

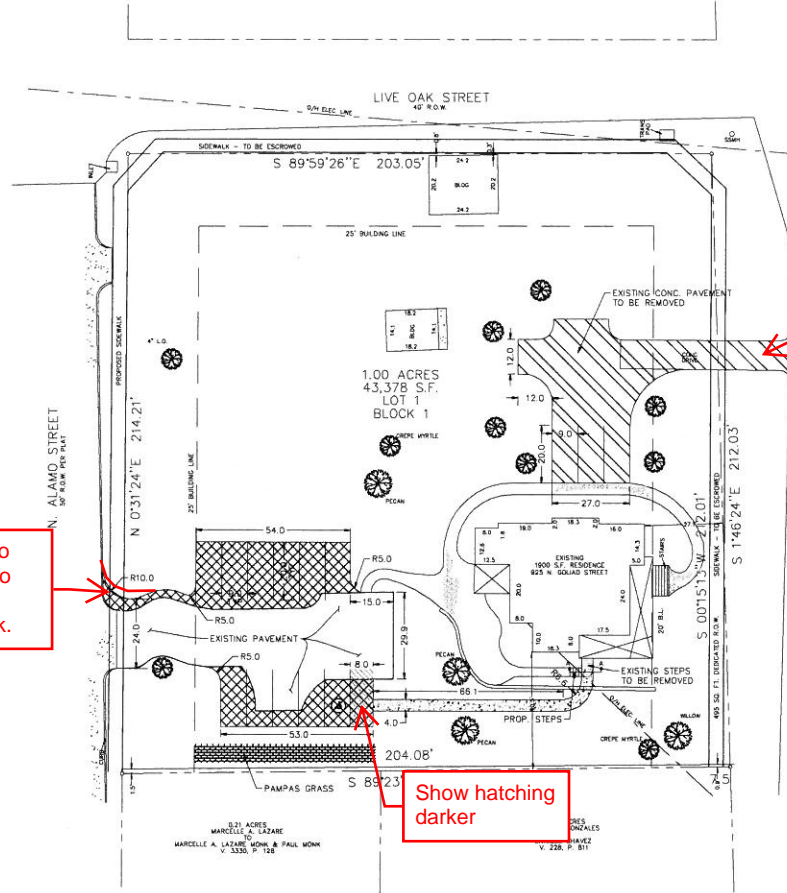
Show hatching darker

Pave out to this point to avoid the switchback.

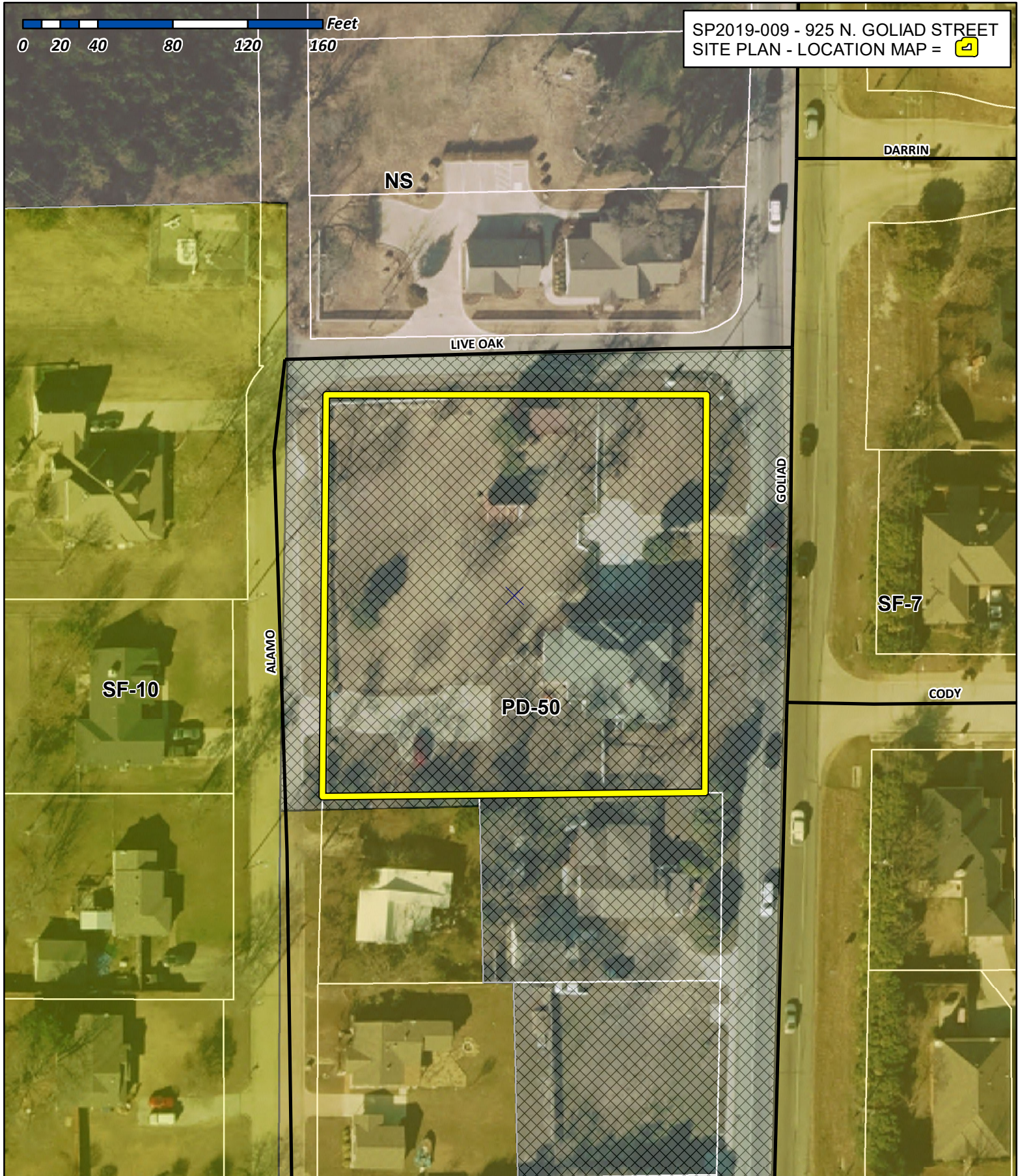
DEVELOPMENT SYNOPSIS

ZONING: PD 50  
 PROPOSED USE: OFFICE  
 PROPERTY AREA: 43,378 SF, 1.00 AC  
 BUILDING AREA: 1,900 SF  
 EX. PAVEMENT AREA: 4935 SF  
 PR. PAVEMENT AREA: 4962 SF  
 PARKING REQUIRED: 4 (1 ADA)  
 PARKING PROVIDED: 11 (1 ADA)

- DRIVE PAVEMENT ADDITION 2000 SF
- SIDEWALK PAVEMENT ADDITION 333 SF
- PAVEMENT REMOVAL 2306 SF







## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**CARI FOOTE, M.A., LPC, LMFT & Associates, PLLC**

PO Box 1731  
Marble Falls, TX 78654  
O: 830-693-0530  
C: 830-798-5884  
F: 830-637-7438

203 S. Fannin Street  
Rockwall, TX 75087  
[cfoote@professionalcounseling.us](mailto:cfoote@professionalcounseling.us)

606 Avenue J  
Marble Falls, TX 78654  
[www.professionalcounseling.us](http://www.professionalcounseling.us)

4-5-19

City of Rockwall  
Historical Preservation Advisory Board &  
Planning & Zoning Board

Re: 925 N. Goliad, Rockwall, TX 75087

To Whom It May Concern:

I am currently under contract to purchase the Landmark Property known as the Cade House at 925 N. Goliad. It is currently used as residential property. The zoning is Commercial – Residential Office. I plan to convert the use to professional office use.

There will be no changes to the exterior other than –

- Adding a white metal handrail down the middle of the front steps
- Adding a black metal handrail down the middle of both sides of the rear steps
- Removing the concrete drive and parking in front and replacing with sod
- Adding parking in back and widening the back drive as indicated in site plan
- Adding Pampas grass along the south fence line to function as photometric screening grass to match the existing pampas grass at the back gate
- Building a handicap access from back parking with a sidewalk and raised sidewalk as needed due to grading. Sidewalk will enter the side of the front porch and the current side stairs. At the entrance to the stairs the existing architectural features the border the existing stairs will border the ramp and any needed rails along the walkway will be white vinyl rails that look like wood and match the exterior of the building.

There will be no interior changes other than to make the down stairs bath accessible and adding handrails to the stairs and doors to the dining room.

The submitted site plan includes photometric requirements, treescape plan (no changes needed to current trees), and elevations and site plan indicates existing landscaping. There will be no change other than adding sod to the area of removed concrete. Sidewalk along Alamo will be completed. Sidewalks along Live Oak and Goliad will be escrowed.

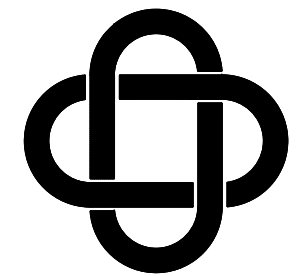
The amount of added paving is:

2000 SF of added drive paving  
333 SF of added sidewalk/ramp paving  
2333 SF Total Added

The amount of removed paving is: 2306 SF of removed front paving

Sincerely,

Cari Foote



ERIC L. DAVIS ENGINEERING, INC.  
F-3987  
120 East Main Street  
Forney, Texas 75126  
972/564-0592 Fax 972/564-6523  
E-Mail ericdavis@eldengineering.com

SITE PLAN  
DESIGNED FOR:

CARI FOOTE

PLAN: SITE PLAN

ELD JOB NO.: 2069

DRAWN BY: BW

FIRM REGISTRATION #: 3987

BUILDER: CARI FOOTE

ADDITION: ISAAC PENA ADDITION

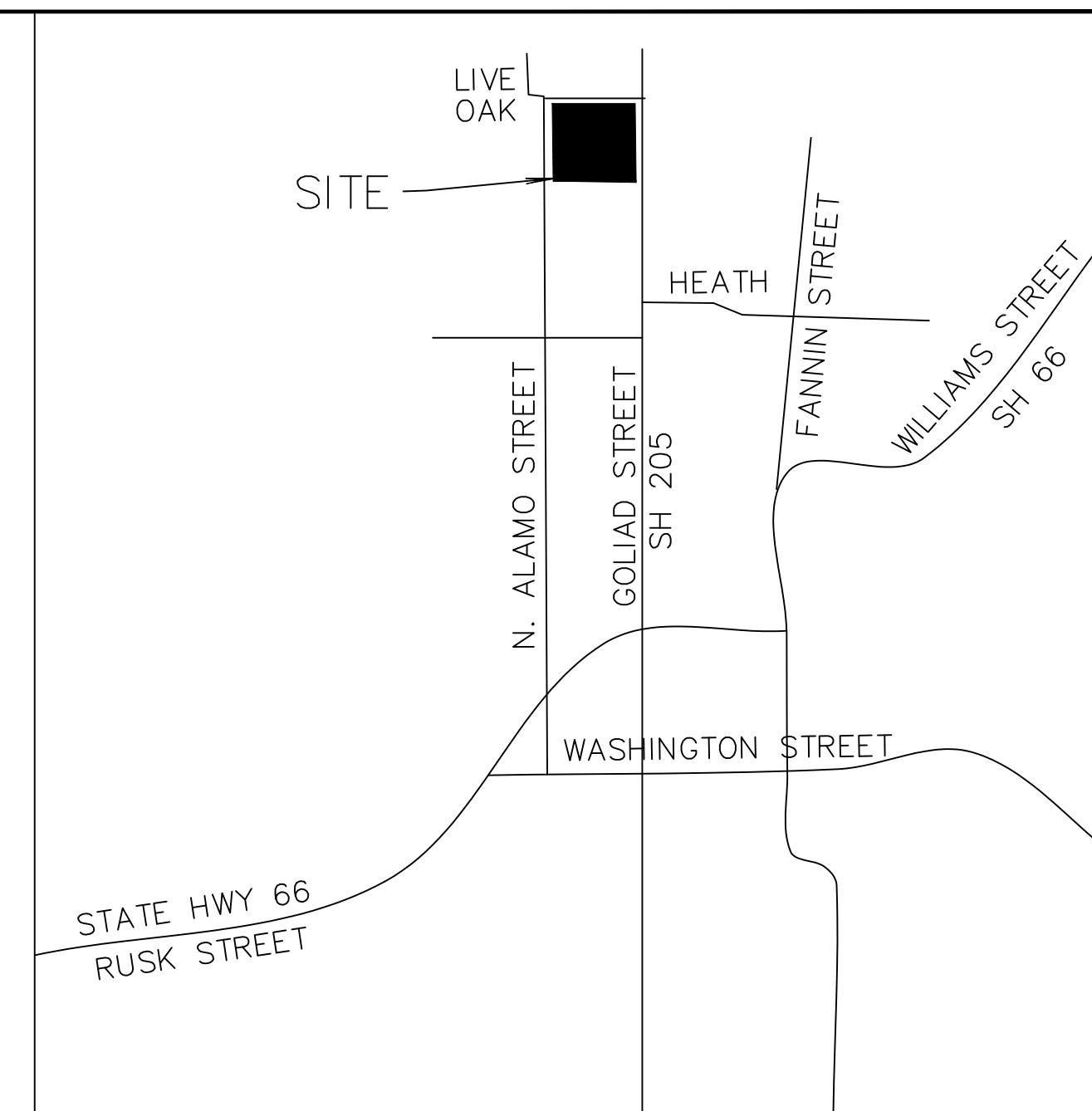
ADDRESS: 925 N. GOLIAD ST.

LOT: 1 BLOCK: 1

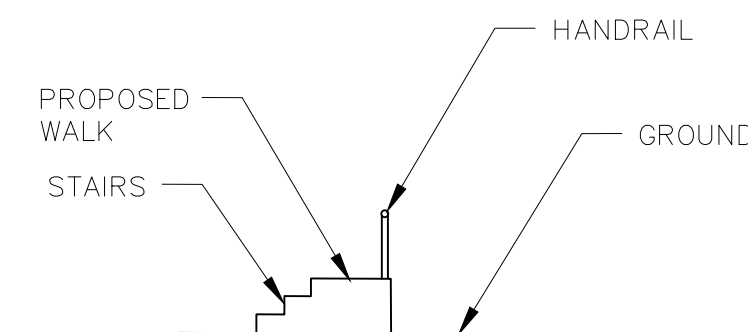
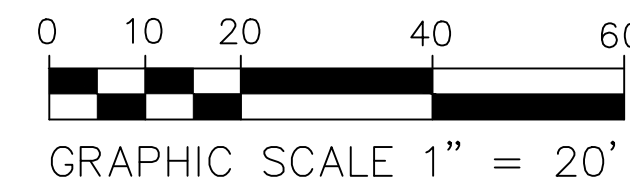
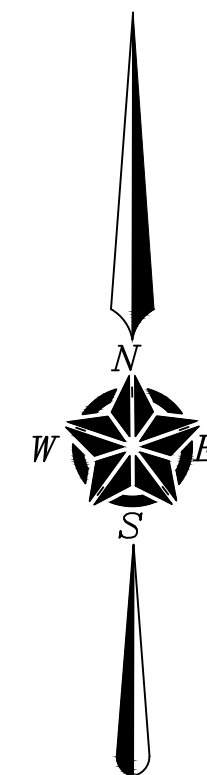
CITY: ROCKWALL, TX

SCALE: 1"=20'

SHEET 01



VICINITY MAP  
N.T.S.

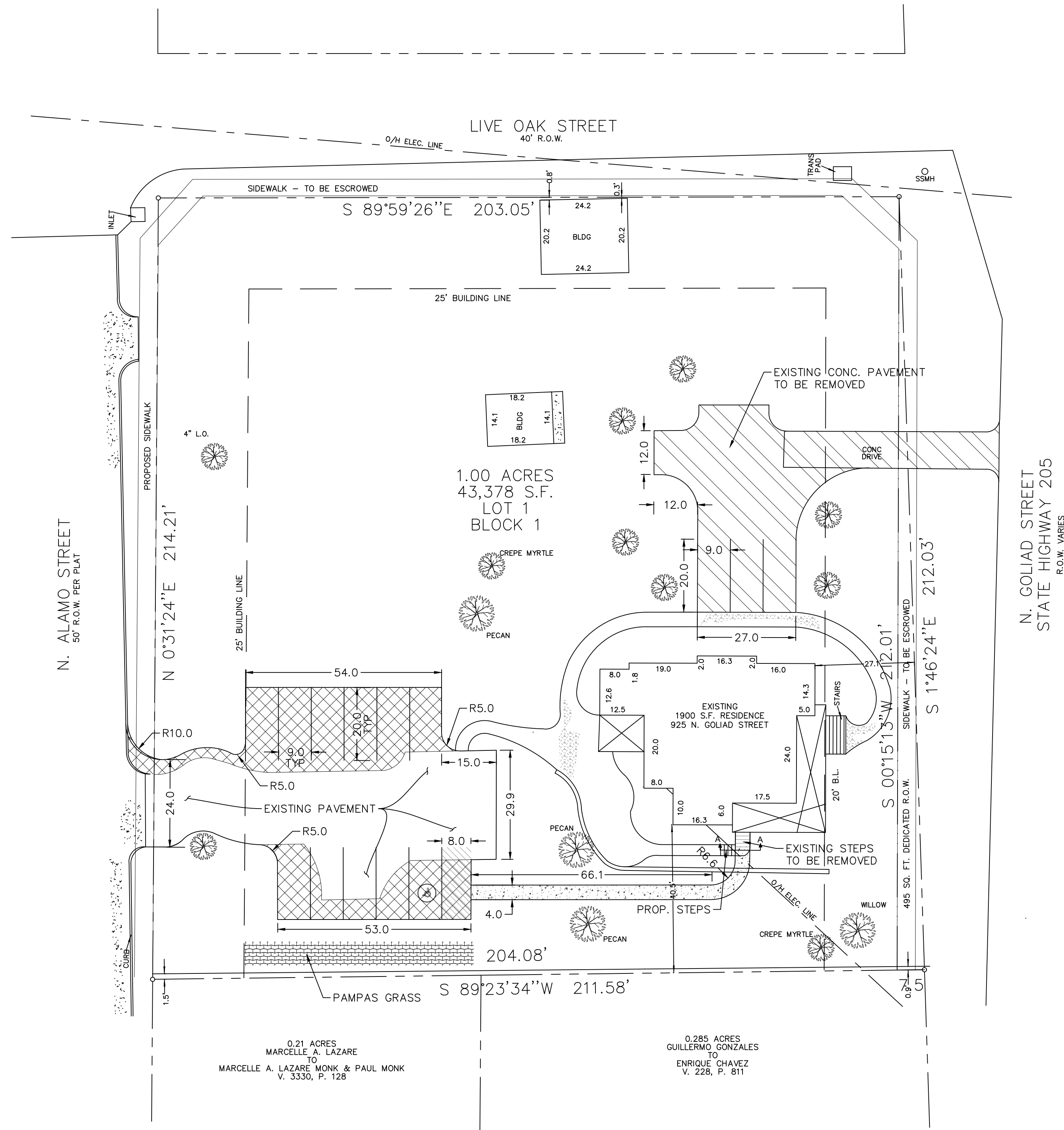


SECTION A-A  
N.T.S.

DEVELOPMENT SYNOPSIS

ZONING: PD 50  
PROPOSED USE: OFFICE  
PROPERTY AREA: 43,378 SF, 1.00 AC  
BUILDING AREA: 1,900 SF  
EX. PAVEMENT AREA: 4935 SF  
PR. PAVEMENT AREA: 4962 SF  
PARKING REQUIRED: 4 (1 ADA)  
PARKING PROVIDED: 11 (1 ADA)

- DRIVE PAVEMENT ADDITION  
2000 SF
- SIDEWALK PAVEMENT ADDITION  
333 SF
- PAVEMENT REMOVAL  
2306 SF



N. GOLIAD STREET  
STATE HIGHWAY 205  
R.O.W. VARIES





**FRONT ELEVATION  
FACING EAST**





**SOUTHEAST ELEVATION**





**SOUTHWEST ELEVATION**





**NORTH ELEVATION**





**NORTHWEST ELEVATION**



# CHR

Continuous Handrail  
ALUMINUM



Railings for exterior front and back stairs - will be white



See Assembly  
1-2-3 Below



1-3/8" Handrail



Internal Connector



Collar Ring  
(to cover splice)



180° Elbow



Wall Return



Adjustable Elbow



Elbows  
(5°, 31°, 34°, and 36°)



90° Elbow



Inside Corner Mount  
(attaches to post)



Internal End Cap



Wall Mount



Extended  
Wall Mount



Wall-End  
Mount



90° Welded Elbow



Digger  
Specialties  
Inc.

diggerspecialties.com

April 2017



## Advantages:

- ADA Complaint
- Easy to install on any surface including existing railing and walls
- A variety of handrail lengths and accessories allow for a customized handrail
- Available in 12 Standard AAMA 2604 Powder Coated Colors
- Custom colors and AAMA 2605 Colors available
- Lifetime Limited Warranty



## Aluminum Continuous Handrail Colors



Satin Black



Black Fine Texture



Ninety Bronze



Bronze Fine Texture



White Fine Texture



Clay



Speckled Walnut



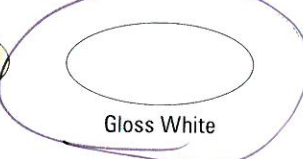
Sandy Shore



Gloss Beige



Chocolate



Gloss White



Silver

AAMA 2605 and Custom AAMA 2604 colors are available.


Colors shown are a close representation of the true color. Please consult actual samples for accurate powder coating colors.





**RAILING FOR HANDICAP  
RAILING IF NEEDED**



A photograph of a large clump of Pampas Grass (Cortaderia selloana) with several tall, feathery, yellowish-gold flower heads. The grass has long, thin, green blades that are arching outwards. In the background, there is a dense green hedge or shrubbery. The text "Pampas Grass for Photometric Screening Along South Fence at Parking" is overlaid in the upper left quadrant of the image.

**Pampas Grass for Photometric  
Screening Along South Fence  
at Parking**

© American Meadows





August 14, 2019

**ATTN: CARI FOOTE**  
CARI FOOTE & ASSOCIATES, PLLC  
203 S. FANNIN STREET,  
ROCKWALL, TX 75087

**RE: AMENDING SITE PLAN (SP2019-009), 925 N. Goliad Street**

Dear Applicant:

This letter serves to notify you that the above referenced case that you submitted before the City of Rockwall was approved by the City Council / Planning and Zoning Commission on 05/14/2019. The following is a record of all recommendations, voting records and conditions of approval:

*HISTORIC PRESERVATION ADVISORY BOARD (HPAB):*

*On April 18, 2019, the Historic Preservation Advisory Board (HPAB) reviewed the applicant's request a passed a motion to approve a Certificate of Appropriateness (COA) by a vote of 6-0 with Board Member Bowlin absent.*

*ARCHITECTURAL REVIEW BOARD (ARB):*

*On April 30, 2019, the Architectural Review Board's motion to recommend approval of the site plan passed by a vote of 5-0 with Board Members Tovar and Johnson absent.*

*CONDITIONS OF APPROVAL*

*If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to, then staff would propose the following conditions of approval:*

- (1) The developer shall plant a thick vegetative screening utilizing a combination of accent trees, bushes and/or grasses adjacent to the ramp and the south property line; and*
- (2) The developer shall submit a revised landscape plan showing the location and landscape materials proposed for the landscape screening adjacent to the ramp and south property line; and*
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.*

*PLANNING AND ZONING COMMISSION*

*On May 14, 2019, the Planning and Commission's motion to approve the applicant's request passed by a vote of 5-0 with Commissioners Logan and Moeller absent.*





For information about the procedures and required materials to file a plat, or for any other additional questions on this matter, please contact Planning staff at (972) 771-7745.

Sincerely,

**Korey Brooks, AICP**  
Senior Planner  
Planning & Zoning Department  
City of Rockwall, TX