



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2019-052 P&Z DATE 12/30/19 CC DATE _____ APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION

- ☒ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# _____)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE _____
 - ☐ CABINET # _____
 - ☐ SLIDE # _____

NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2019-052

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

[Signature]
[Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
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Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 900 N. John King Blvd. Rockwall, TX 75087

Subdivision Ladera Rockwall Phase 1 Lot 1 Block A

General Location Corner of John King Blvd. & Highway 66

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Plan Development Current Use SF - 7

Proposed Zoning _____ Proposed Use _____

Acreage 37.80 Lots [Current] 0 Lots [Proposed] 122

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

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<input type="checkbox"/> Owner	<u>RW Ladera, LLC</u>	<input checked="" type="checkbox"/> Applicant	<u>Integrity Group, LLC</u>
Contact Person	<u>John Delin</u>	Contact Person	<u>David Hughes</u>
Address	<u>361 W. Byron Nelson Blvd. Ste 204</u>	Address	<u>361 W. Byron Nelson Blvd. Ste 204</u>
City, State & Zip	<u>Roanoke, TX 76262</u>	City, State & Zip	<u>Roanoke, TX 76262</u>
Phone	<u>817-932-0330</u>	Phone	<u>214-897-1883</u>
E-Mail	<u>John@integritygroups.com</u>	E-Mail	<u>davidh@integritygroups.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared John Delin [Owner] the undersigned, who stated the information on this application to be true and certified the following:

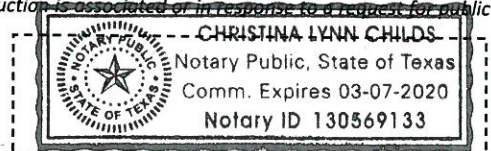
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 12th day of December, 20 12. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 12th day of December, 20 12.

Owner's Signature

Notary Public in and for the State of Texas

[Signature]



My Commission Expires 03/07/2020



RECEIPT

Project Number: SP2019-052
Job Address: 900 N JOHN KING BLVD
ROCKWALL, TX 75087

Receipt Number: B87729

Printed: 12/20/2019 2:33 pm

Fee Description	Account Number	Fee Amount
SITE PLANNING	01-4280	\$1,006.00

Total Fees Paid:

\$1,006.00

Date Paid: 12/20/2019 12:00:00AM

Paid By: David Hughes

Pay Method: CHECK 6195

Received By: AG



DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

Phone: (972) 771-7745

Email: Planning@Rockwall.com

External Review: Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 12/16/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, . Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on at 2:00 p.m. The Planning and Zoning Commission work session will be held on at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: SP2019-052
Project Name: Ladera Amenity Center
Project Type: SITE PLAN
Applicant Name: SCOTT MOMMER
Owner Name: Ladera Rockwall,
Project Description:



DEVELOPMENT APPLICATION

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Planning and Zoning Department
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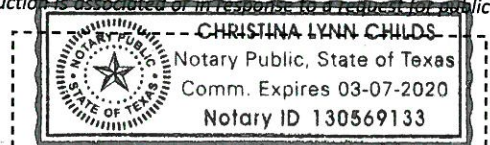
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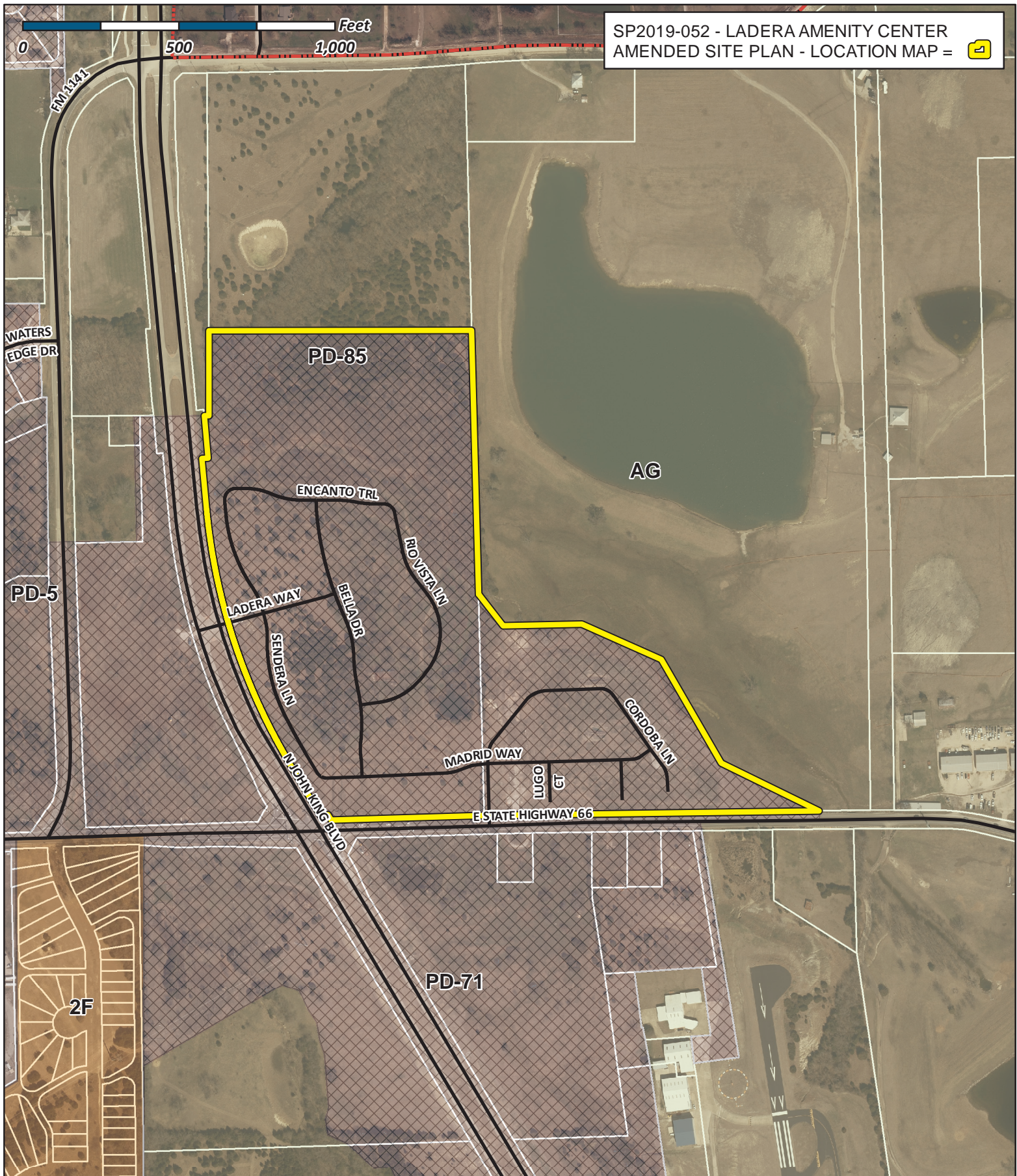
Owner's Signature

Notary Public in and for the State of Texas

[Handwritten signature]



My Commission Expires 03/07/20






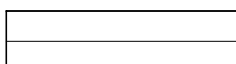


City of Rockwall

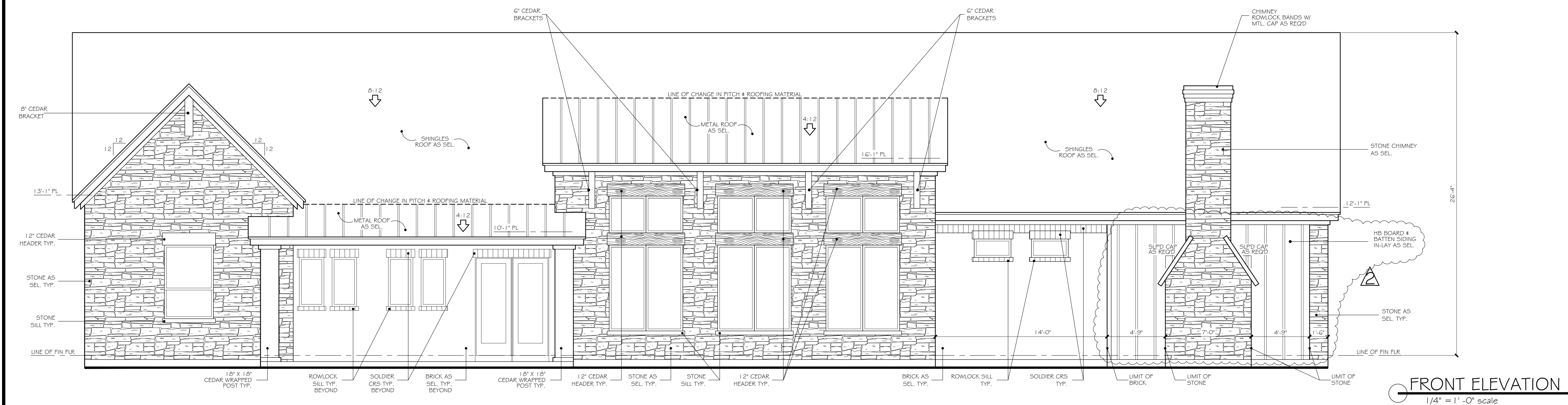
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





EXTERIOR MATERIALS LEGEND	
	BRICK AS SELECTED
	STONE AS SELECTED
	VERTICAL HB SIDING AS SEL.
	HORIZONTAL HB SIDING AS SEL.
	COMPOSITE SHINGLE ROOF
	METAL ROOF AS SELECTED



NOTES:

1. Any discrepancies must be brought to the architects' attention for revision prior to the start of construction.
2. Refer to all local codes for plumbing, mechanical, & electrical requirements.
3. Builder to verify all notes & dimensions prior to construction.

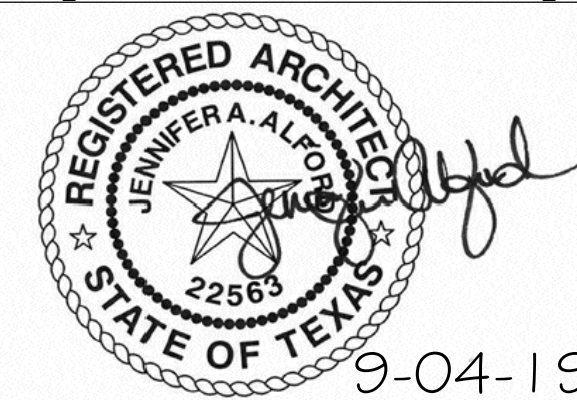
CLAUSE

DATE: MAY 3, 2019

Cross Timbers Architects assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify dimensions, compliance with all governing codes & ordinances & incorporate site conditions. Only a qualified designer, architect, or structural engineer is permitted to alter these plans. These plans shall remain the property of Cross Timbers Architects & are not to be reused or reproduced without written permission.

REVISIONS:
A SEPTEMBER 4, 2019

**CROSS
TIMBERS
ARCHITECTS**
4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 255-3754



A CUSTOM PROJECT FOR:

LADERA ROCKWALL HUB

900 BELLA DRIVE

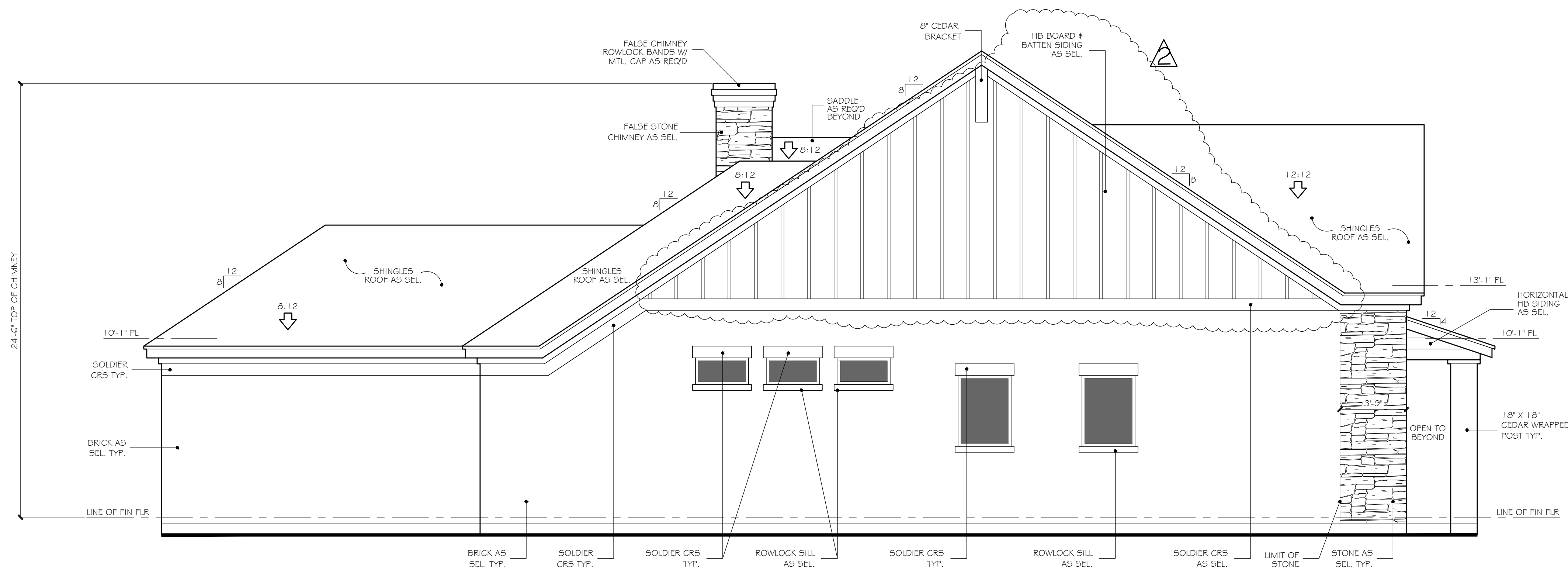
JOB #

| 8-07 |

SHEET

1

OF €

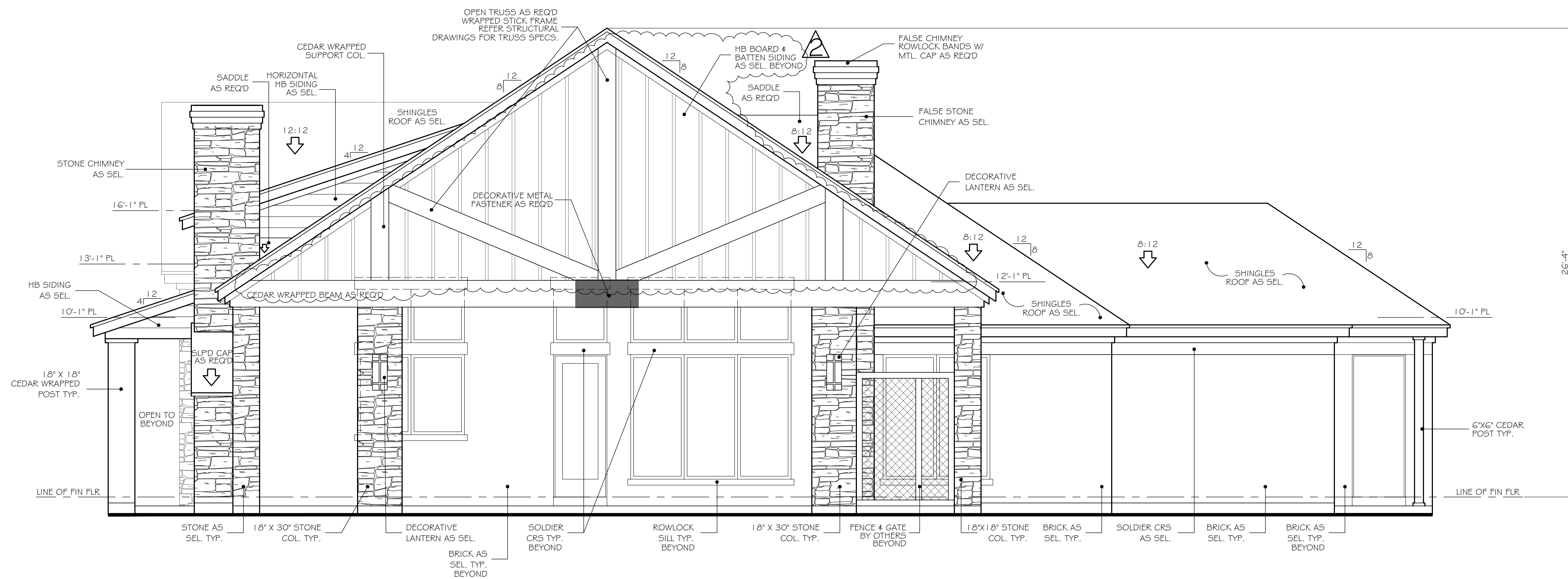


LEFT ELEVATION

1/4" = 1' -0" scale

EXTERIOR MATERIALS LEGEND

- BRICK AS SELECTED
- STONE AS SELECTED
- VERTICAL HB SIDING AS SEL.
- HORIZONTAL HB SIDING AS SEL.
- COMPOSITE SHINGLE ROOF
- METAL ROOF AS SELECTED



RIGHT ELEVATION

1/4" = 1' -0" scale

NOTES:

- Any discrepancies must be brought to the architects' attention for revision prior to the start of construction.
- Refer to all local codes for plumbing, mechanical, & electrical requirements.
- Builder to verify all notes & dimensions prior to construction.

NOTES:
PRIVACY GLASS
WINDOWS ON
THIS SIDE

CLAUSE

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DATE: MAY 3, 2019

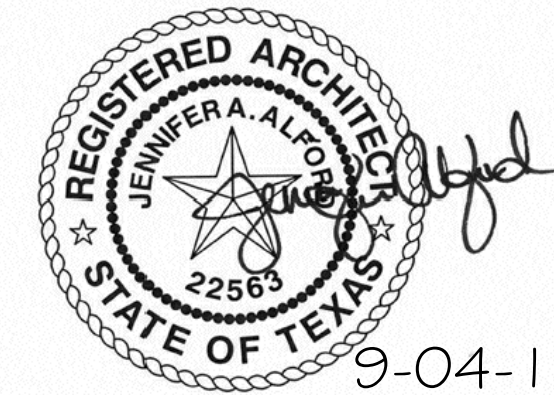
DRAWN BY: JA, AZ

REVISIONS: SEPTEMBER 4, 2019

Δ Δ Δ

**CROSS
TIMBERS
ARCHITECTS**

4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 355-7754



9-04-19

A CUSTOM PROJECT FOR:

LADERA ROCKWALL HUB

900 BELLA DRIVE

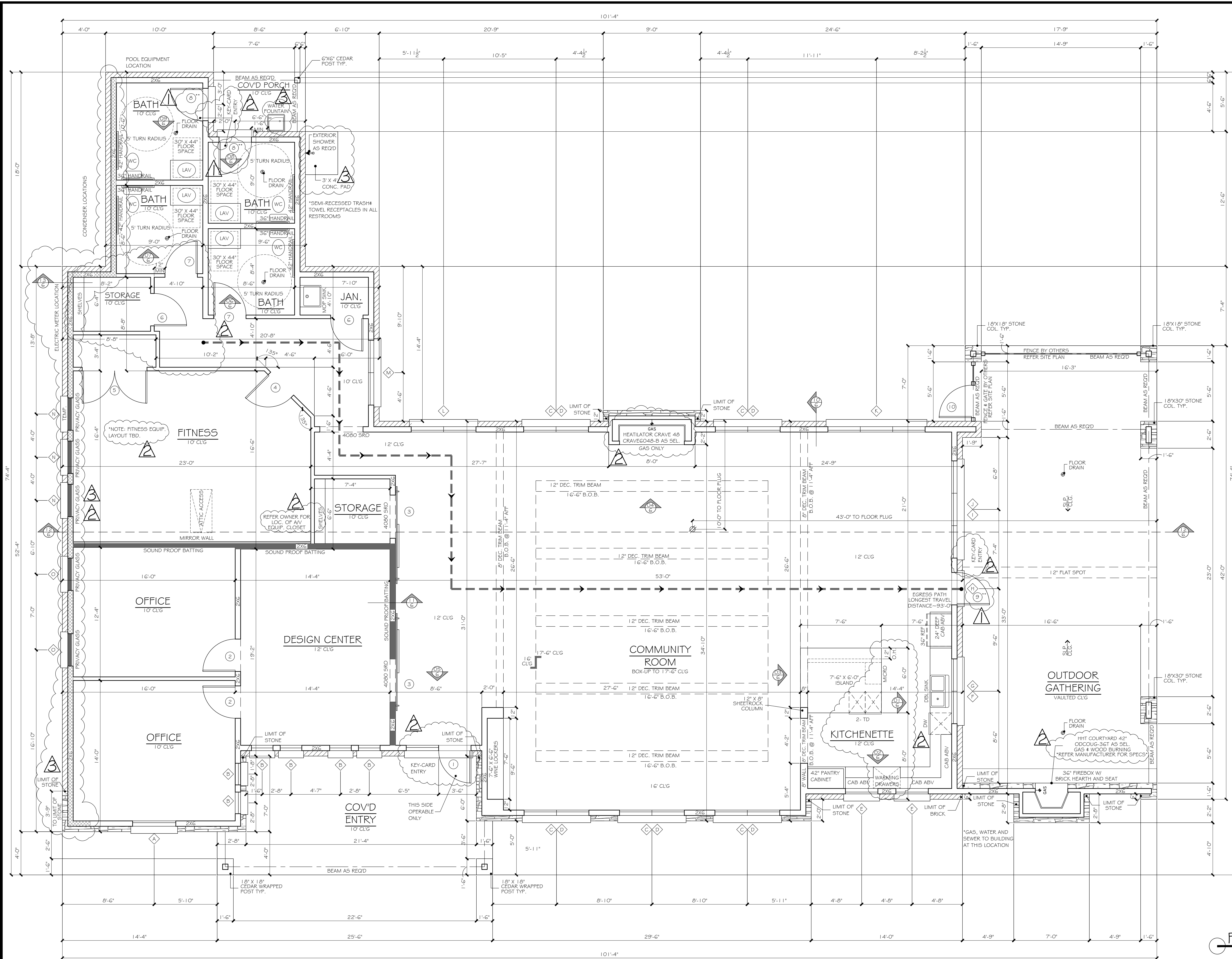
JOB #

18-071

SHEET

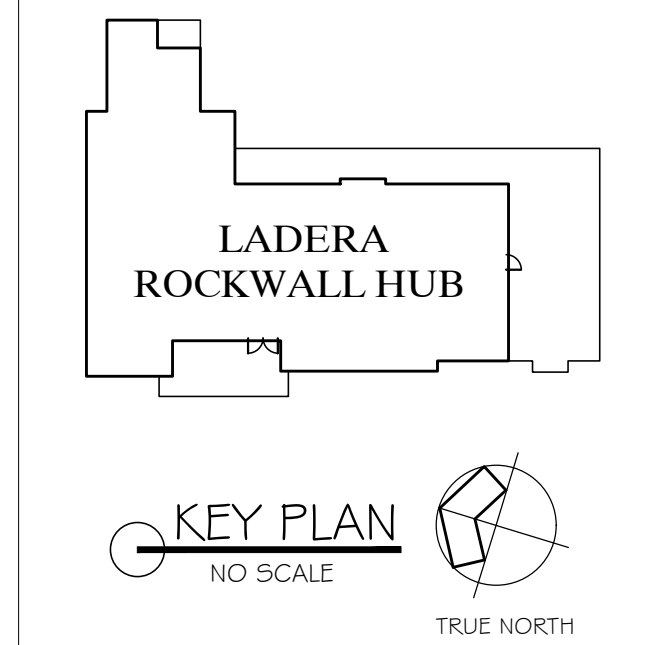
2

OF 6



- NOTES:**
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 2. Refer to all local codes for plumbing, mechanical, & electrical requirements.
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- FLOOR PLAN NOTES:**
1. All walls to be 2x4's @ 16" o.c. unless noted otherwise.
 2. Some closet space may be required for HVAC ducting. Refer HVAC contractor.
 3. Refer builder specific notes as required.
 4. All walls over 12' high to be 2x6's @ 16" o.c.
 5. Window sizes may vary due to type and manufacturer.



EXTERIOR MATERIALS LEGEND

[Pattern]	BRICK AS SELECTED
[Pattern]	STONE AS SELECTED
[Pattern]	1-HR. FIRE RATED WALL

****REFER SHEET 4 FOR DOOR & WINDOW SCHEDULE****

****WATER HEATERS TO BE LOCATED PER BUILDER****

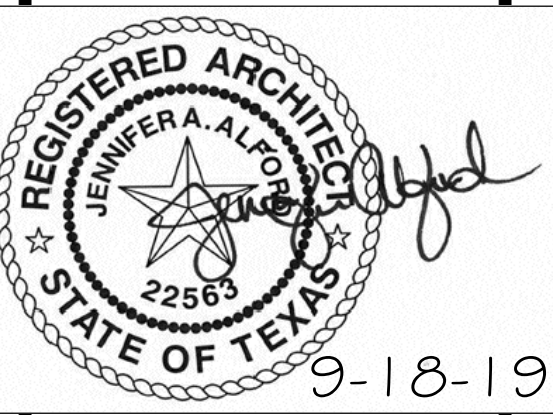
SQUARE FOOTAGE	
FIRST FLOOR	3651 S.F.
TOTAL A/C	3651 S.F.
OUTDOOR GATHERING	756 S.F.
COVERED PORCHES	300 S.F.
TOTAL SQ. FT.	4707 S.F.

FLOOR PLAN
1/4" = 1'-0" scale

CROSS TIMBERS ARCHITECTS

DATE: MAY 3, 2019
DRAWN BY: JA, AZ
REVISIONS: JUNE 5, 2019
SEPTEMBER 4, 2019
SEPTEMBER 18, 2019

4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 355-7754



LADERA ROCKWALL HUB

900 BELLA DRIVE

A CUSTOM PROJECT FOR:

JOB # 18-071

SHEET 3 OF 6



DESIGN CONCURRENCE

☐ APPROVED AS DESIGNED DATE: _____

☐ CHANGES AS REQUESTED DATE: _____

NAME: _____

TITLE: _____

CROSSING SLEEVE INFORMATION

ONCOR Conduit	REQUIRES	2 IN. SLEEVE
1 IN.	REQUIRES	4 IN. SLEEVE
2 IN.	REQUIRES	6 IN. SLEEVE
3 IN.	REQUIRES	10 IN. SLEEVE
4 IN.	REQUIRES	
6 IN.	REQUIRES	

If crossing sleeves are to be installed place sleeves at all street crossing, and any other location where open trenching might be hindered.

ELECTRICAL FACILITIES LEGEND

- PEDESTAL
- HAND HOLE
- STREET LIGHT
- TRANSFORMER PAD
- SWITCHGEAR PAD
- PULL BOX
- EXISTING ONCOR POLE
- PROPOSED ONCOR POLE
- DOWNGUY

PRIMARY CONDUIT	SIZE	SECONDARY CONDUIT
1 IN.		
2 IN.		
3 IN.		
4 IN.		
6 IN.		

EASEMENT LINE

ONCOR ELECTRIC DELIVERY DISTRIBUTION PROJECT MANAGEMENT AND DESIGN SERVICES

PROJ. NAME : Laredo Rockwall Phase 1

LOCATION : HWY 66 and John King Blvd Rockwall

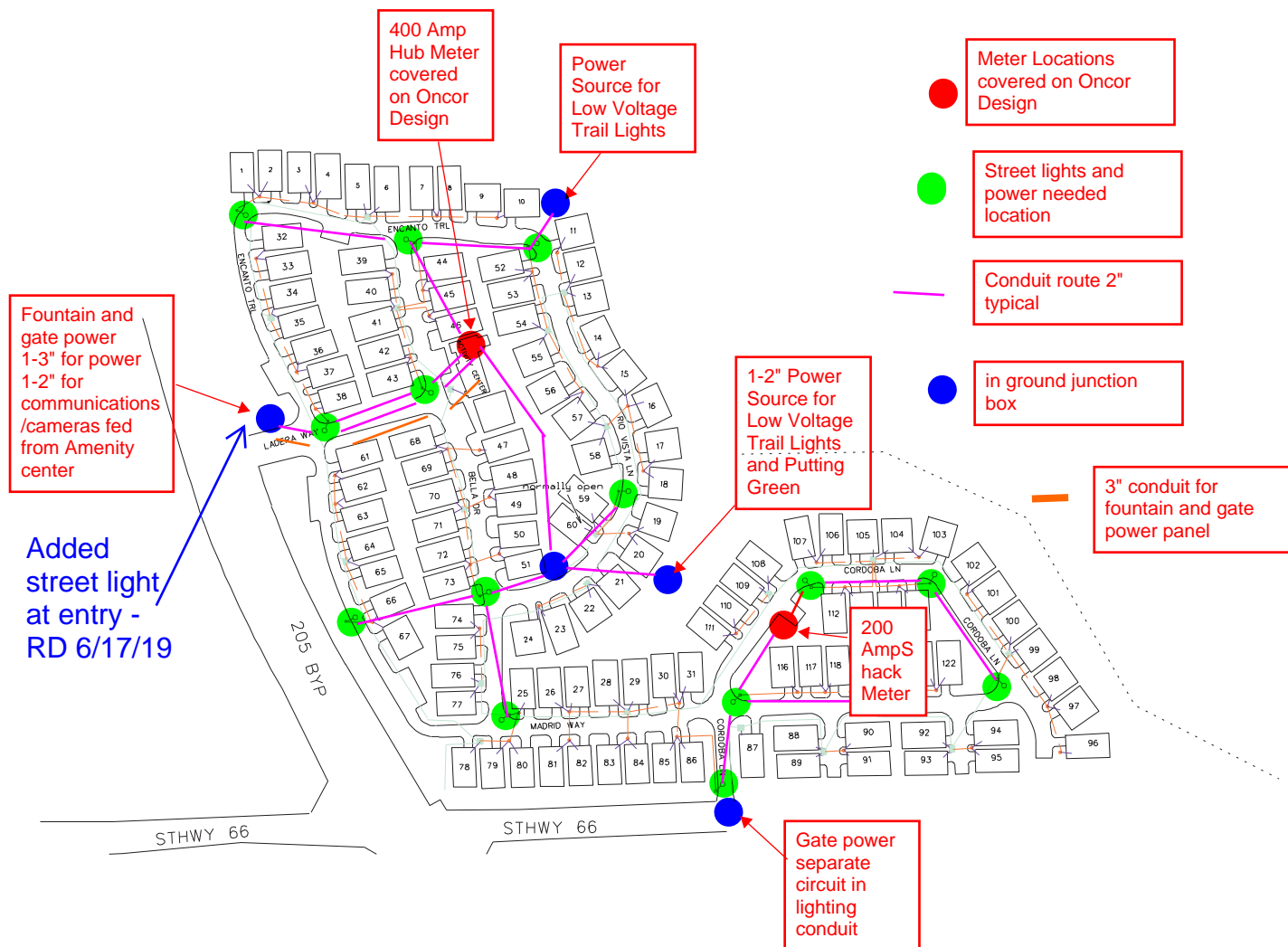
PROJ. MGR. : Austin Fenstermacher

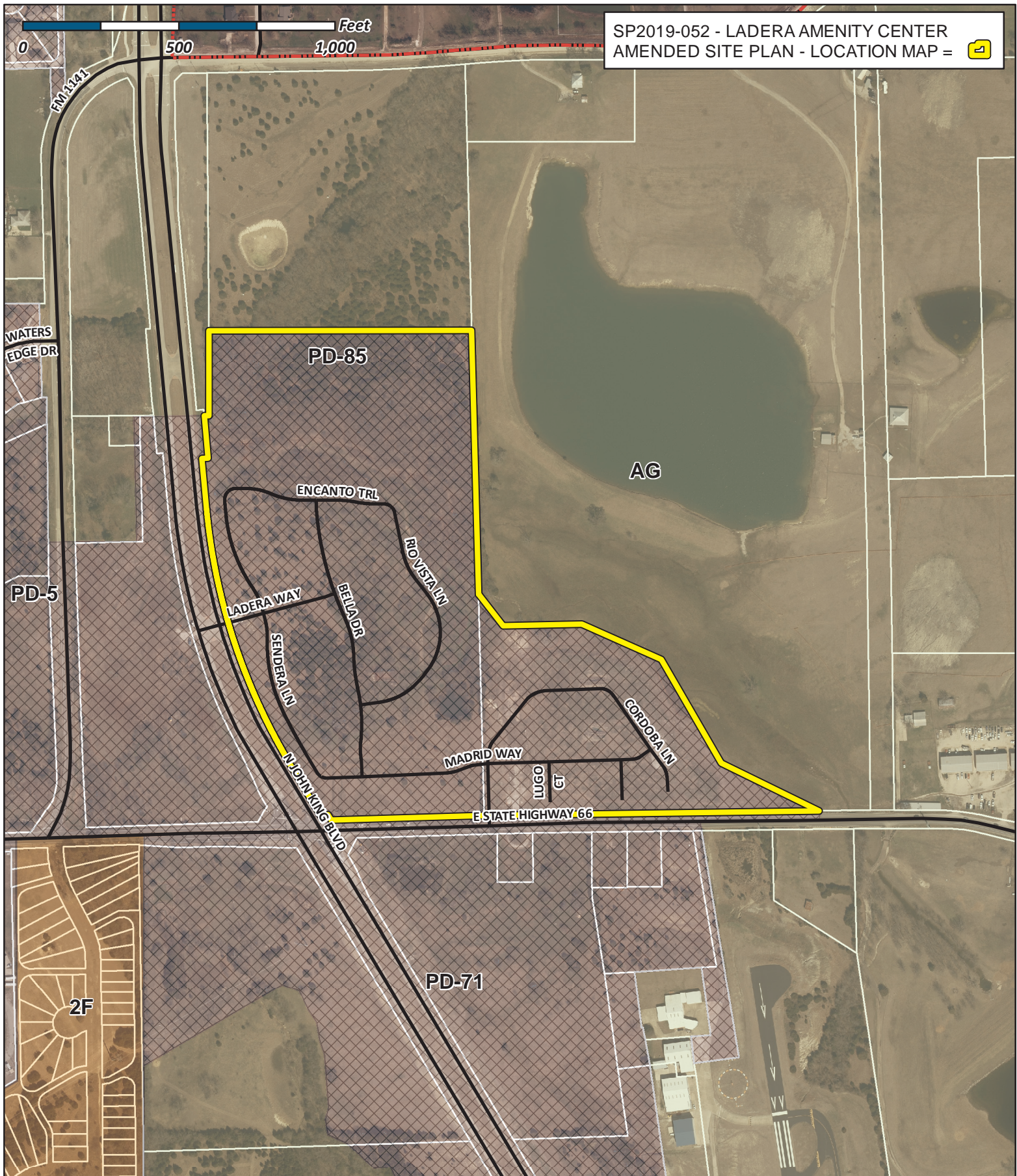
DESIGNER : Carlos Felipe Hailey

W/R # : 3437589

PLOT SCALE : 100 : 1

DATE : 01-28-2019





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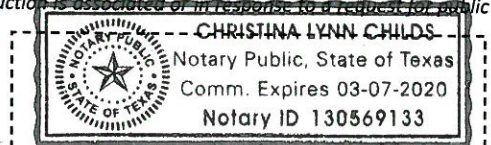
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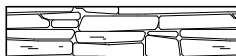

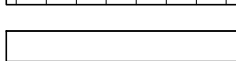
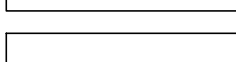
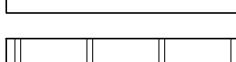
Notary Public in and for the State of Texas

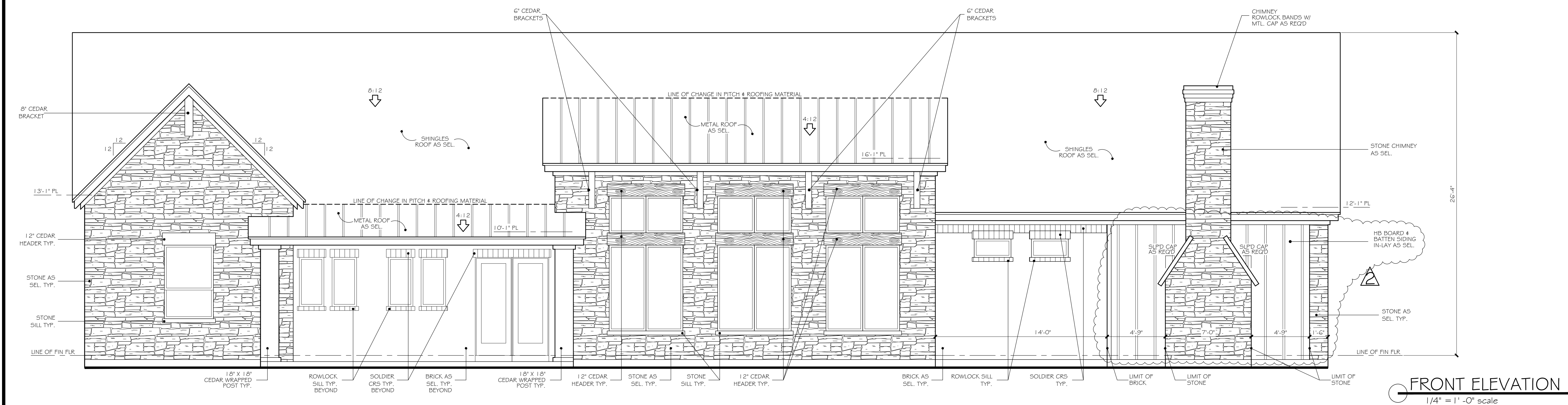
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My Commission Expires 03/07/20



EXTERIOR MATERIALS LEGEND	
	BRICK AS SELECTED
	STONE AS SELECTED
	VERTICAL HB SIDING AS SEL.
	HORIZONTAL HB SIDING AS SEL.
	COMPOSITE SHINGLE ROOF
	METAL ROOF AS SELECTED



NOTES:

1. Any discrepancies must be brought to the architects' attention for revision prior to the start of construction.
2. Refer to all local codes for plumbing, mechanical, & electrical requirements.
3. Builder to verify all notes & dimensions prior to construction.

CLAUSE

Cross Timbers Architects assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify dimensions, compliance with all governing codes & ordinances & incorporate site conditions. Only a qualified designer, architect, or structural engineer is permitted to alter these plans. These plans shall remain the property of Cross Timbers Architects & are not to be reused or reproduced without written permission.

DATE: MAY 2 2010

MAY 3,
DRAWN BY:

REVISIONS:

SEPTEMBER 4, 2019

△

**CROSS
TIMBERS
ARCHITECTS**

4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 355-7754

A CUSTOM PROJECT FOR:

LADERA ROCKWALL HUB

900 BELLA DRIVE

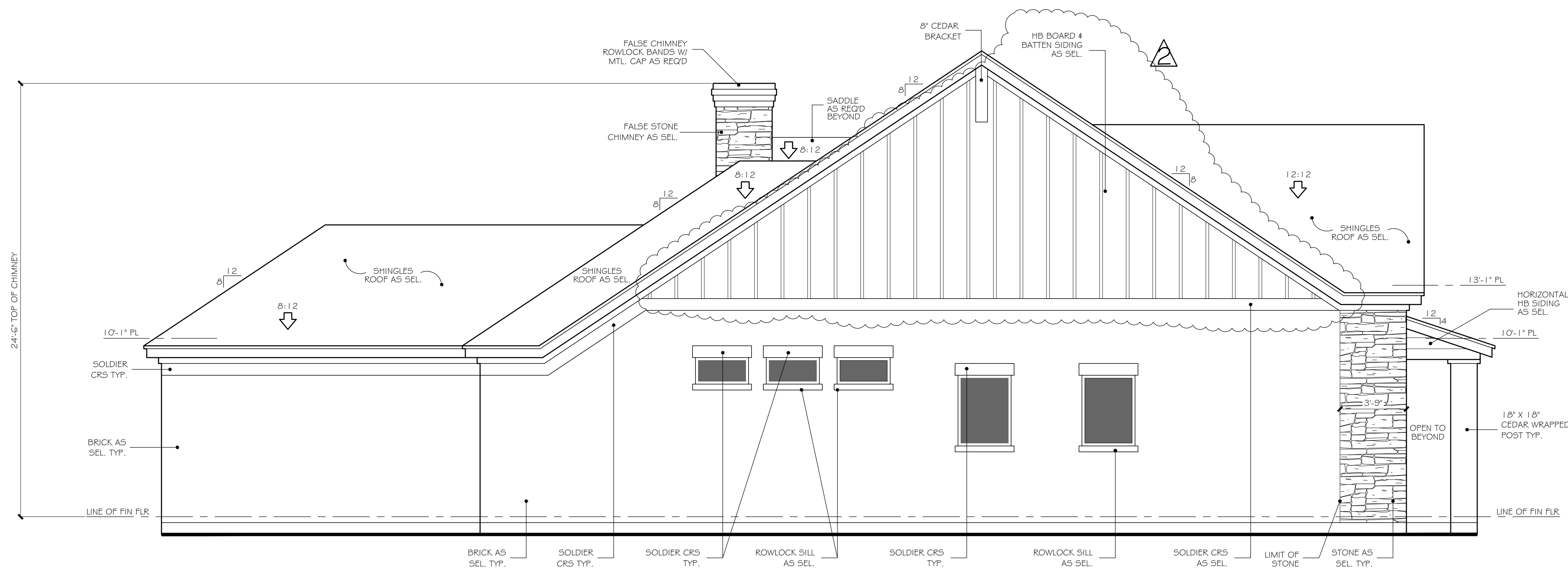
JOB #

| 8-07 |

SHEET

1

OF 6

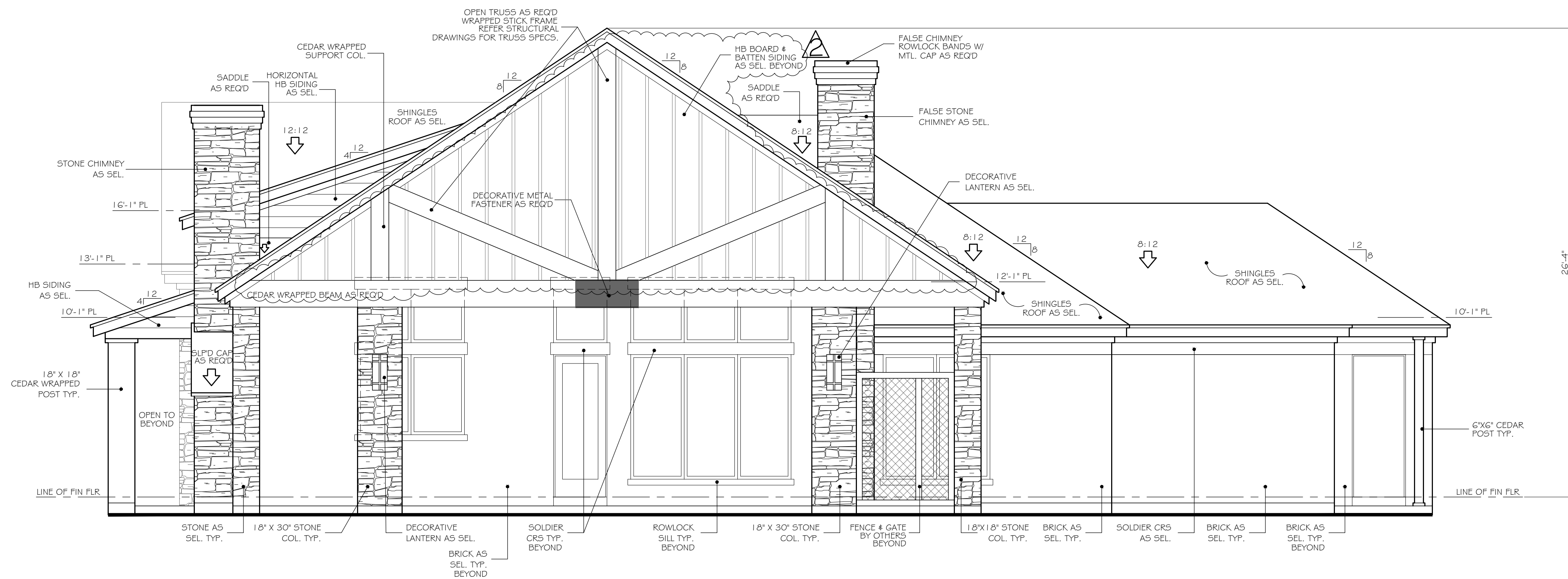


LEFT ELEVATION

1/4" = 1' -0" scale

EXTERIOR MATERIALS LEGEND

- BRICK AS SELECTED
- STONE AS SELECTED
- VERTICAL HB SIDING AS SEL.
- HORIZONTAL HB SIDING AS SEL.
- COMPOSITE SHINGLE ROOF
- METAL ROOF AS SELECTED



RIGHT ELEVATION

1/4" = 1' -0" scale

NOTES:

- Any discrepancies must be brought to the architects' attention for revision prior to the start of construction.
- Refer to all local codes for plumbing, mechanical, & electrical requirements.
- Builder to verify all notes & dimensions prior to construction.

NOTES:
PRIVACY GLASS
WINDOWS ON
THIS SIDE

CLAUSE

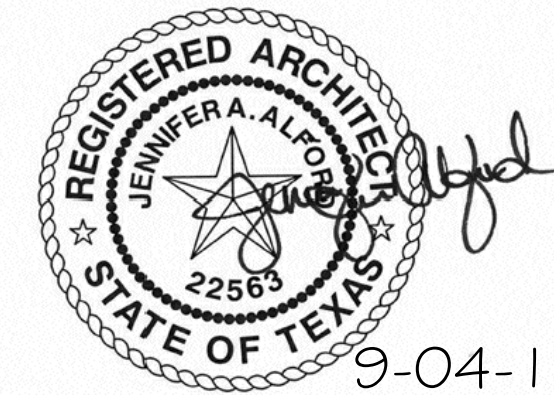
Cross Timbers Architects assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify dimensions, compliance with applicable codes, and that the plans incorporate site conditions. Only a qualified designer, architect, or structural engineer is permitted to alter these plans. These plans shall remain the property of Cross Timbers Architects and may not be reproduced without written permission.

DATE: MAY 3, 2019

DRAWN BY: JA, AZ

REVISIONS: SEPTEMBER 4, 2019

**CROSS
TIMBERS
ARCHITECTS**
4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 355-7754



9-04-19

A CUSTOM PROJECT FOR:

LADERA ROCKWALL HUB

900 BELLA DRIVE

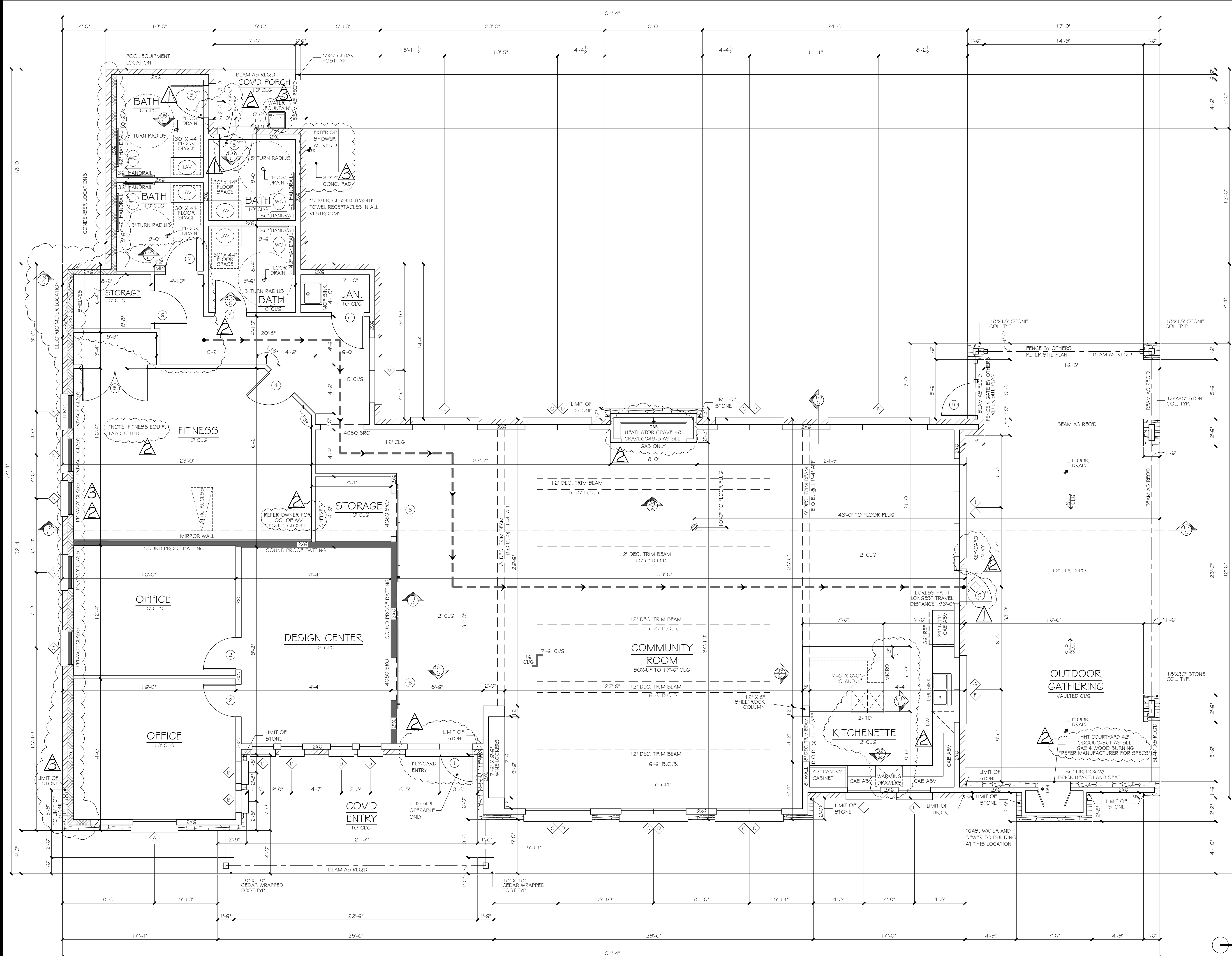
JOB #

18-071

SHEET

2

OF 6

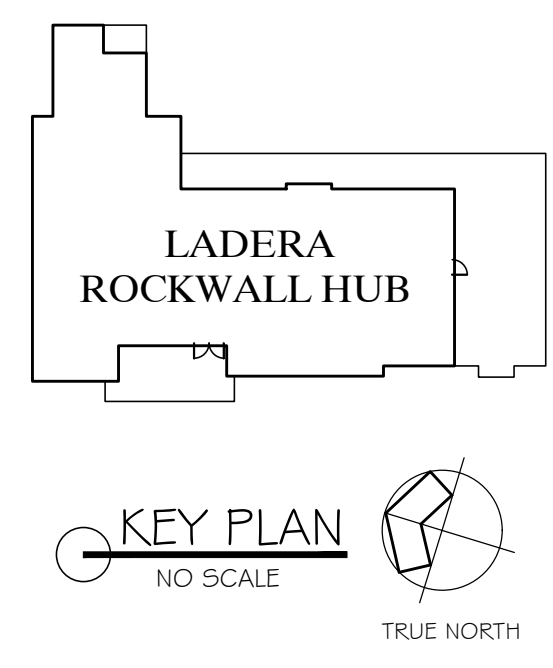


NOTES:

1. Any discrepancies must be brought to the architects' attention for revision prior to the start of construction.
2. Refer to all local codes for plumbing, mechanical, & electrical requirements.
3. Builder to verify all notes & dimensions prior to construction.

FLOOR PLAN NOTES:

1. All walls to be 2x4's @ 16" o.c. unless noted otherwise.
2. Some closet space may be required for HVAC ducting. Refer HVAC contractor.
3. Refer builder specific notes as required.
4. All walls over 12' high to be 2x6's @ 16" o.c.
5. Window sizes may vary due to type and manufacturer.



****REFER SHEET 4 FOR DOOR & WINDOW SCHEDULE****

EXTERIOR MATERIALS LEGEND	
	BRICK AS SELECTED
	STONE AS SELECTED
	1-HR. FIRE RATED WALL

****WATER HEATERS TO BE LOCATED PER BUILDER****

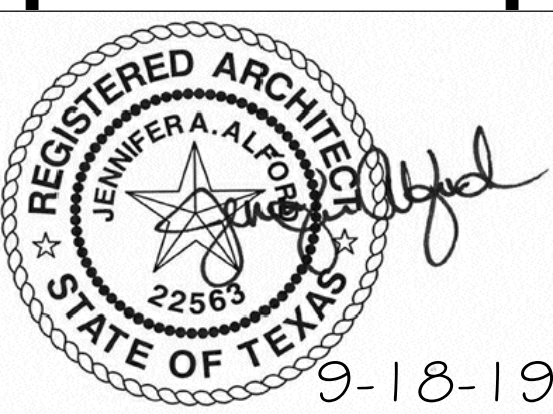
SQUARE FOOTAGE	
FIRST FLOOR	3651 S.F.
TOTAL A/C	3651 S.F.
OUTDOOR GATHERING	756 S.F.
COVERED PORCHES	300 S.F.
TOTAL SQ. FT.	4707 S.F.

FLOOR PLAN
1/4" = 1'-0" scale

CROSS TIMBERS ARCHITECTS

DATE: MAY 3, 2019
DRAWN BY: JA, AZ
REVISIONS: JUNE 5, 2019
SEPTEMBER 4, 2019
SEPTEMBER 18, 2019

4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 355-7754



A CUSTOM PROJECT FOR:

LADERA ROCKWALL HUB

900 BELLA DRIVE

JOB # 18-071

SHEET 3 OF 6



DESIGN CONCURRENCE

☐ APPROVED AS DESIGNED DATE: _____

☐ CHANGES AS REQUESTED DATE: _____

NAME: _____

TITLE: _____

CROSSING SLEEVE INFORMATION

ONCOR Conduit	REQUIRES	2 IN. SLEEVE
1 IN.	REQUIRES	4 IN. SLEEVE
2 IN.	REQUIRES	6 IN. SLEEVE
3 IN.	REQUIRES	10 IN. SLEEVE
4 IN.	REQUIRES	
6 IN.	REQUIRES	

If crossing sleeves are to be installed place sleeves at all street crossing, and any other location where open trenching might be hindered.

ELECTRICAL FACILITIES LEGEND

- PEDESTAL
- HAND HOLE
- STREET LIGHT
- TRANSFORMER PAD
- SWITCHGEAR PAD
- PULL BOX
- EXISTING ONCOR POLE
- PROPOSED ONCOR POLE
- DOWNGUY

PRIMARY CONDUIT	SIZE	SECONDARY CONDUIT
	1 IN.	-----
	2 IN.	-----
	3 IN.	-----
	4 IN.	-----
	6 IN.	-----

EASEMENT LINE

ONCOR ELECTRIC DELIVERY DISTRIBUTION PROJECT MANAGEMENT AND DESIGN SERVICES

PROJ. NAME : Laredo Rockwall Phase 1

LOCATION : HWY 66 and John King Blvd Rockwall

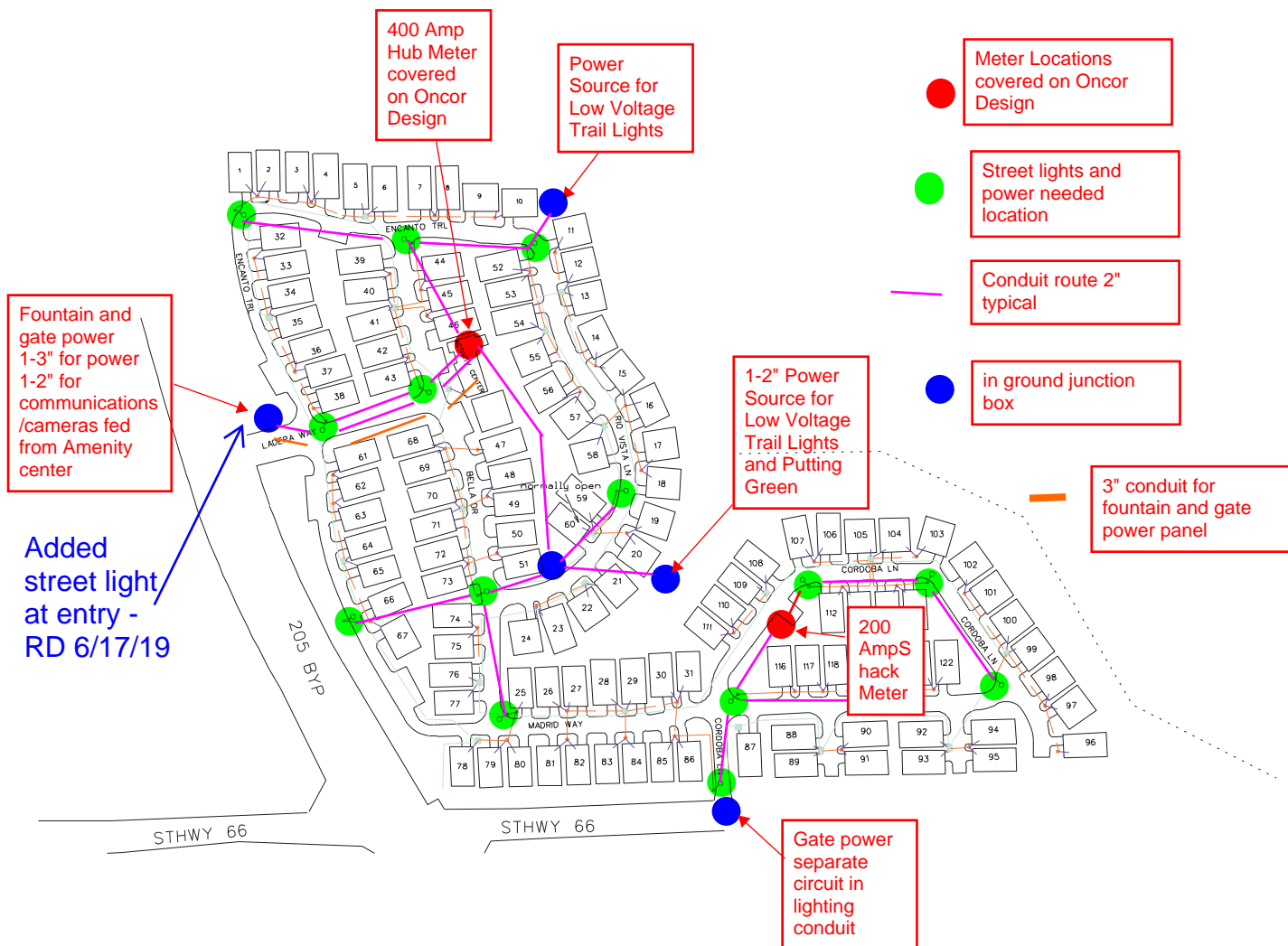
PROJ. MGR. : Austin Fenstermacher

DESIGNER : Carlos Felipe Hailey

W/R # : 3437589

PLOT SCALE : 100 : 1

DATE : 01-28-2019





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: January 14, 2020
APPLICANT: David Hughes; *Integrity Group, LLC*
CASE NUMBER: SP2019-052; *PD Site Plan for Lot 1, Block A, Ladera Rockwall Addition*

SUMMARY

Discuss and consider a request by David Hughes of Integrity Group, LLC on behalf of John Delin of RW Ladera, LLC for the approval of a site plan for an amenities center for the Ladera of Rockwall Subdivision being a 37.80-acre parcel of land identified as Lot 1, Block A, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

BACKGROUND

The majority of Planned Development District 85 (PD-85) was annexed into the City of Rockwall and zoned Agricultural (AG) District on March 16, 1998 by *Case No. A1998-001 (Ordinance No. 98-10)*. The remainder of the Planned Development District was annexed on March 2, 1960 by *Case No. A1960-001 (Ordinance No. 60-01)*. In 2007-2008, the City of Rockwall acquired a portion of this property for the future right-of-way for John King Boulevard. This divided the property into two (2) tracts of land, a 9.894-acre tract of land on the west side of John King Boulevard (*i.e. Tract 1*) and a 28.011-acre tract of land on the east side of John King Boulevard (*i.e. Tract 2, which is a portion of the subject property*). On October 16, 2017, the City Council approved Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] establishing limited General Retail (GR) District land uses on *Tract 1*, and Single-Family 7 (SF-7) District land uses for a single-family, age-restricted community on *Tract 2*. On August 6, 2018, the City Council approved an amendment to Planned Development District 85 (PD-85) [*i.e. Ordinance No. 18-32*] amending the concept plan and incorporating an additional 9.762-acres in the existing 37.932-acre single-family, age restricted development (*i.e. the subject property*). This amendment created a 47.694-acre Planned Development District (*i.e. PD-85*), and allowed an additional 38 single-family residential units, which increased the total number of units permitted on the subject property to 122 single-family units.

PURPOSE

On December 12, 2019, the applicant David Hughes of Integrity Group, LLC submitted an application requesting the approval of a PD site plan (*i.e. site plan, landscape and hardscape plan*) for the tract of land on the east side of John King Boulevard (*i.e. Tract 2*) for the purpose of developing an age-restricted master planned community consisting of 122 single-family homes that will be developed in a condominium regime (*i.e. the single-family homes will be individually owned but will be situated on a single lot owned and maintained by the homeowner's association*). The submitted site plan also includes building elevations and a site layout for the amenities center.

ADJACENT LAND USES AND ACCESS

The subject property is located on the east side of John King Boulevard, north of SH-66. A more detailed description of the adjacent land uses is as follows:

- North:** Directly north of the subject property is a vacant, 15.935-acre parcel of land zoned Agricultural (AG) District. Beyond this is FM-1141, which is identified as a M4D (*minor collector, four [4] lane, divided roadway*) on the City's *Master Thoroughfare Plan*. North of this thoroughfare is a single-family subdivision, which is situated outside the City's limits.
- South:** Directly south of the subject property is Williams Street (*i.e. current alignment of SH-66*), which is identified as a *Minor Collector* on the City's *Master Thoroughfare Plan*. Beyond this thoroughfare is a portion of a 28.8836-acre tract of land, which is vacant and zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses.
- East:** Directly east of the subject property is the remainder of the 65.274-acre tract of land (*i.e. less the 9.789-acres of land that was incorporated into Planned Development District 85 [PD-85]*) that is a portion of a larger 148.825-acre tract of land that is zoned Agricultural (AG) District. Situated on the property is an accessory building. Beyond this are various tracts of land zoned Agricultural (AG) District.
- West:** Directly west of the subject property is John King Boulevard, which is identified as a P6D (*principal arterial, six [6] lane, divided roadway*) on the City's *Master Thoroughfare Plan*. Beyond this is the 9.894-acre tract of land (*i.e. Tract 1*) that makes up the remainder of Planned Development District 85 (PD-85).

DENSITY AND DIMENSIONAL REQUIREMENTS

The Ladera Rockwall Addition is a master planned community that will be composed of 122 single-family residential homes that are age-restricted. The senior living community will consist of single-family homes setup in a condominium regime (*i.e. the single-family homes were individually owned but were situated on a single lot owned and maintained by the homeowner's association*). The 122 single-family lots will have minimum artificial lot sizes of: [1] 42' x 77', [2] 44.5' x 80', [3] 54' x 60' (or a minimum of 1,600 SF) and [4] 64' x 50' (or a minimum of 2,100 SF), and the development will have a gross residential density of 3.2 units per acre. The plan shows the addition of a five (5) foot trail system along the north side of SH-66 within in 20-foot landscape buffer and a ten (10) foot trail along the east side John King Boulevard (*i.e. on the western boundary of the subject property*) within a 50-foot landscape buffer. The trail system along John King Boulevard will include a trail enhancement situated at the entrance to the development. The addition of a pickle ball court, pool area, cabanas, fire pit, arbors, putting green, and primary and secondary activity centers are included with the site plan for the proposed development. The submitted site plan, landscape plan, and hardscape plan generally conform to the technical requirements contained within Planned Development District 85 (PD-85) and the Unified Development Code (UDC) for a property located within a PD-85. A summary of the density and dimensional requirements for the subject property are as follows:

Table 1.1 Condominium Lot Requirements

Minimum Lot Width	1,500'
Minimum Lot Depth	490'
Minimum Lot Area	28.0-Acres
Minimum Setback Adjacent to John King Boulevard	86'
Minimum Setback Adjacent to SH-66	20'
Minimum Setback Adjacent to the Eastern & Northern Property Lines	10'

Table 1.2 Artificial Lot Requirements

Minimum Setback from a Private Street ⁽¹⁾⁽²⁾⁽³⁾	15'
Minimum Side Yard Distance Between Units	6'
Minimum Side Yard Setback from a Private Street ⁽¹⁾⁽²⁾	10'
Minimum Rear Yard Distance Between Units	20'
Maximum Height	35'

General Notes:

¹: This setback shall be measured from the back of curb.

²: Variances of up to five (5) feet may be granted by the Director of Planning and Zoning on a case-by-case basis for artificial lots on curve-linear streets.

³: The minimum length of a driveway shall be 20-feet as measured from the edge of the approach to the garage door

Table 2.1 Housing Unit Breakdown

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	20	15.48%
2 & 3	42' x 77'	1,600 SF	31	59.52%
4	54' x 60'	1,600 SF	41	16.67%
5	64' x 50'	2,100 SF	6	08.33%
Total Units:			122	

TREESCAPE PLAN

On July 1, 2019, the City Council unanimously approved an *Alternative Tree Mitigation Settlement Agreement* in the amount of \$50,000.00 to be paid into the City's Tree Fund regarding 699.5 caliper inches being removed from the subject property and for the installation of an off-site sanitary sewer line for the development. The applicant, John Delin of R. W. Ladera, LLC, requested the *Alternative Tree Mitigation Settlement Agreement* in conjunction with the Ladera of Rockwall Addition for the purpose of offsetting a portion of the required tree mitigation. This balance will be required to be settled prior to the issuance of any houses on the property. This tree mitigation will need to be settled prior to the issuance of building permits.

CONFORMANCE WITH THE CITY'S CODES

Planned Development District 85 (PD-85) establishes density and dimensional requirements that regulate this development for the Single-Family 7 (SF-7) District land uses. Based on the site plan, which depicts the landscape, hardscape, and amenities plan the applicant is in conformance with PD-85 (*i.e. Ordinance No. 18-32*).

PARKS AND RECREATIONS BOARD RECOMMENDATION

On April 2, 2019, the Parks and Recreation Board approved a recommendation to accept the final plat as presented. It should be noted that the Parks and Recreation Board assessed park fees for Park District No. 8 for the 122 single-family residential lots in the amount of \$125,660.00 [*i.e. cash in lieu of land fees = \$51,854.00 & pro-rata equipment fees = \$63,806.00*]. In addition, the Parks and Recreation Board recommended the applicant provide a ten (10) foot concrete trail along the east side of John King Boulevard, and a five (5) foot concrete sidewalk along the north side of SH-66.

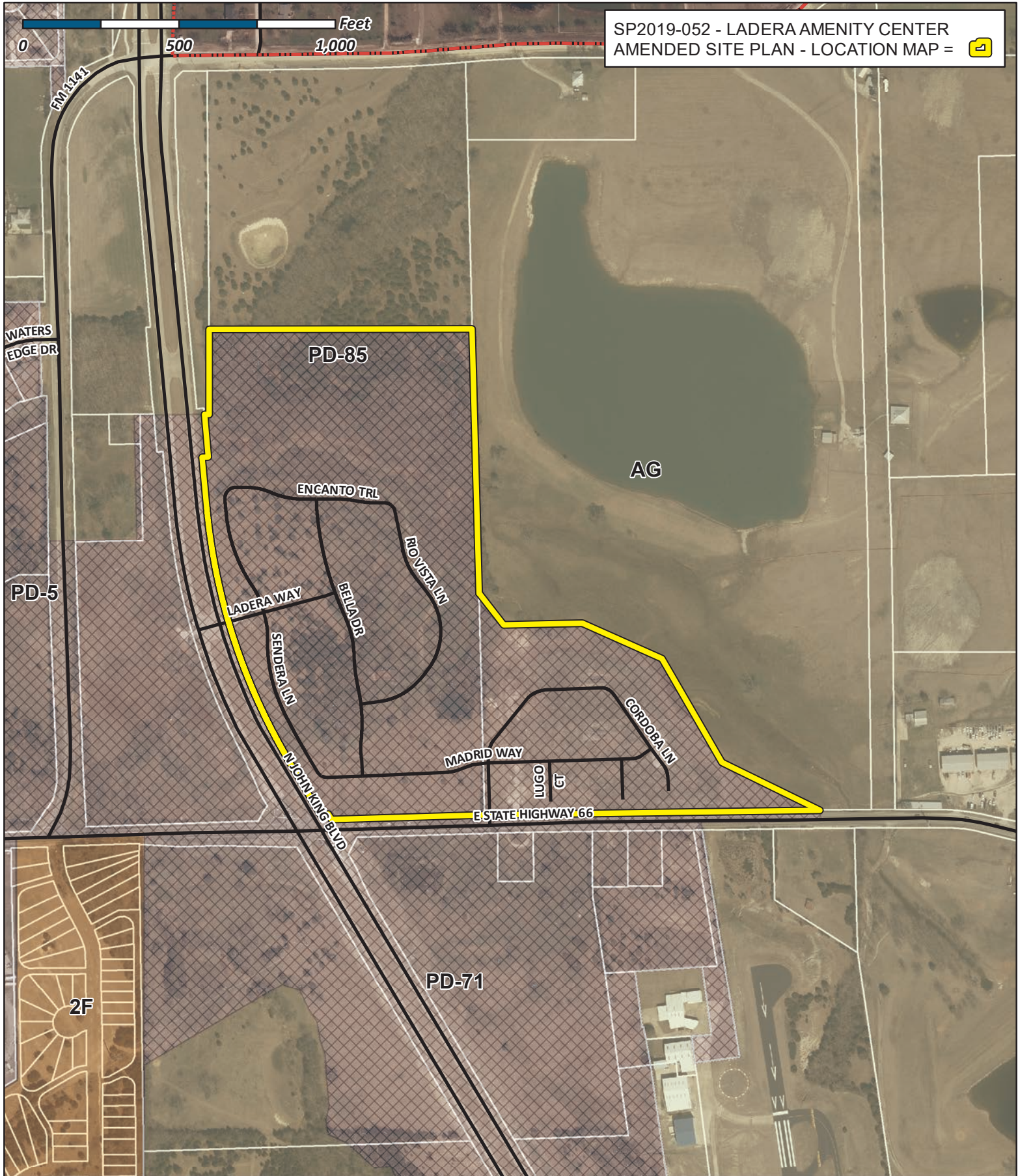
ARCHITECTURAL REVIEW BOARD (ARB)

On December 30, 2019, the Architectural Review Board (ARB) did not meet due to lack of a quorum; therefore, the ARB will provide the Planning and Zoning Commission with recommendations at the January 14, 2020 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the site plan for the *Ladera Rockwall Addition*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development No. 85 (PD-85) District ordinance (i.e. Ordinance No. 18-32)*;
- (2) The development shall be required to adhere to the recommendations made at the April 2, 2019 Parks and Recreations Board meeting as noted in staff's report; and,
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

[Handwritten signatures]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☒ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 900 N. John King Blvd. Rockwall, TX 75087

Subdivision Ladera Rockwall Phas 1 Lot 1 Block A

General Location Corner of John King Blvd. & Highway 66

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Plan Development Current Use SF - 7

Proposed Zoning _____ Proposed Use _____

Acreage 37.80 Lots [Current] 0 Lots [Proposed] 122

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>RW Ladera, LLC</u>	<input checked="" type="checkbox"/> Applicant <u>Integrity Group, LLC</u>
Contact Person <u>John Delin</u>	Contact Person <u>David Hughes</u>
Address <u>361 W. Byron Nelson Blvd. Ste 204</u>	Address <u>361 W. Byron Nelson Blvd. Ste 204</u>
City, State & Zip <u>Roanoke, TX 76262</u>	City, State & Zip <u>Roanoke, TX 76262</u>
Phone <u>817-932-0330</u>	Phone <u>214-897-1883</u>
E-Mail <u>John@integritygroups.com</u>	E-Mail <u>davidh@integritygroups.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared John Delin [Owner] the undersigned, who stated the information on this application to be true and certified the following:

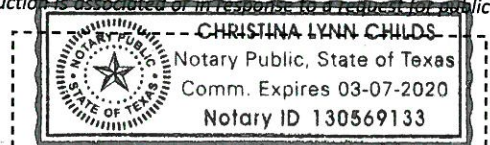
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 12th day of December, 20 12. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or intended to be used for public information."

Given under my hand and seal of office on this the 12th day of December, 20 12.

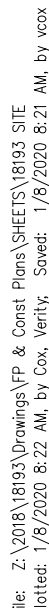
Owner's Signature

Notary Public in and for the State of Texas

[Handwritten signature]



My Commission Expires 03/07/20





The John R. McAdams
Company, Inc.
(DBA, G&A | McAdams)
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Roanoke, Texas 76262
940.240.1012
TBPE: 19762 TBPLS: 10194440
www.gacon.com
www.mcadamsco.com

LADERA ROCKWALL

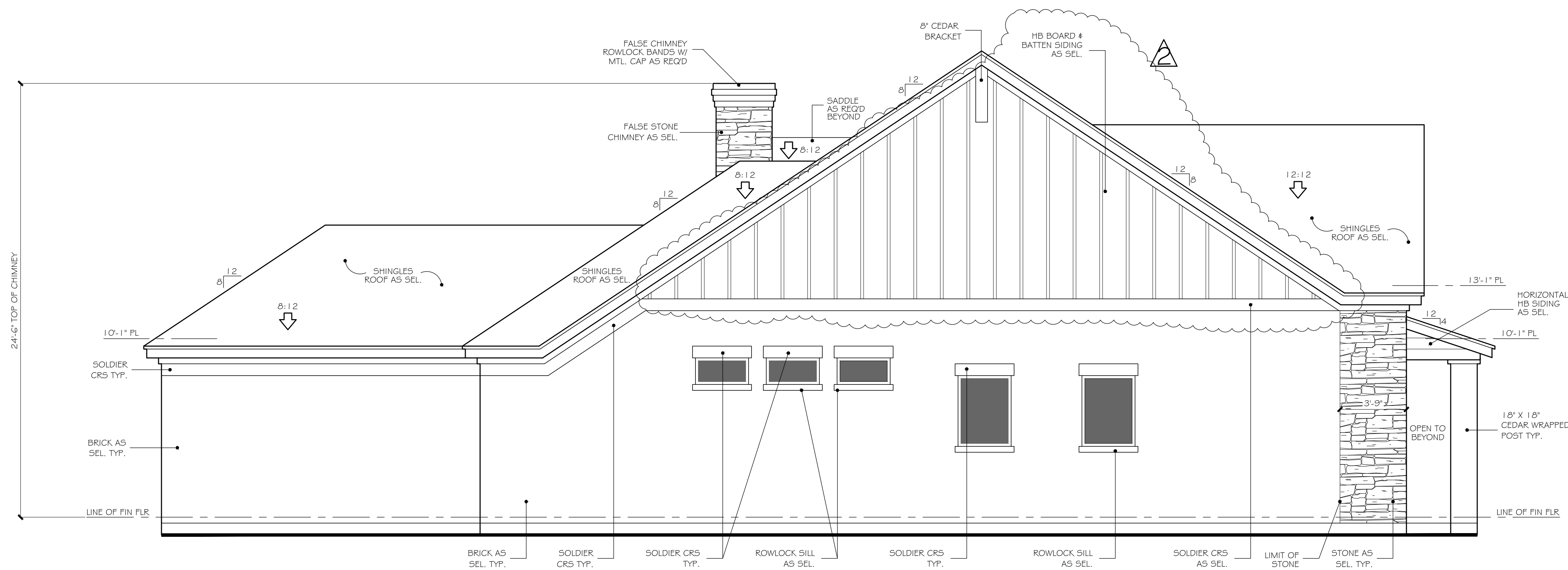
City of Rockwall
Rockwall County, Texas

70 0 70 140 210 Feet



G&A Job No. 17191 Date: July 25, 2019 By: XD
Z:\2017\17191\Drawings\PP & Const Plans\Sheets\17191 LS.dwg
This concept plan is intended for conceptual
developmental use and shall not be interpreted
as an official or submitted document. All aerial
and map images were obtained from best
available information. This plan is subject to
change.

CASE # SP2019-052

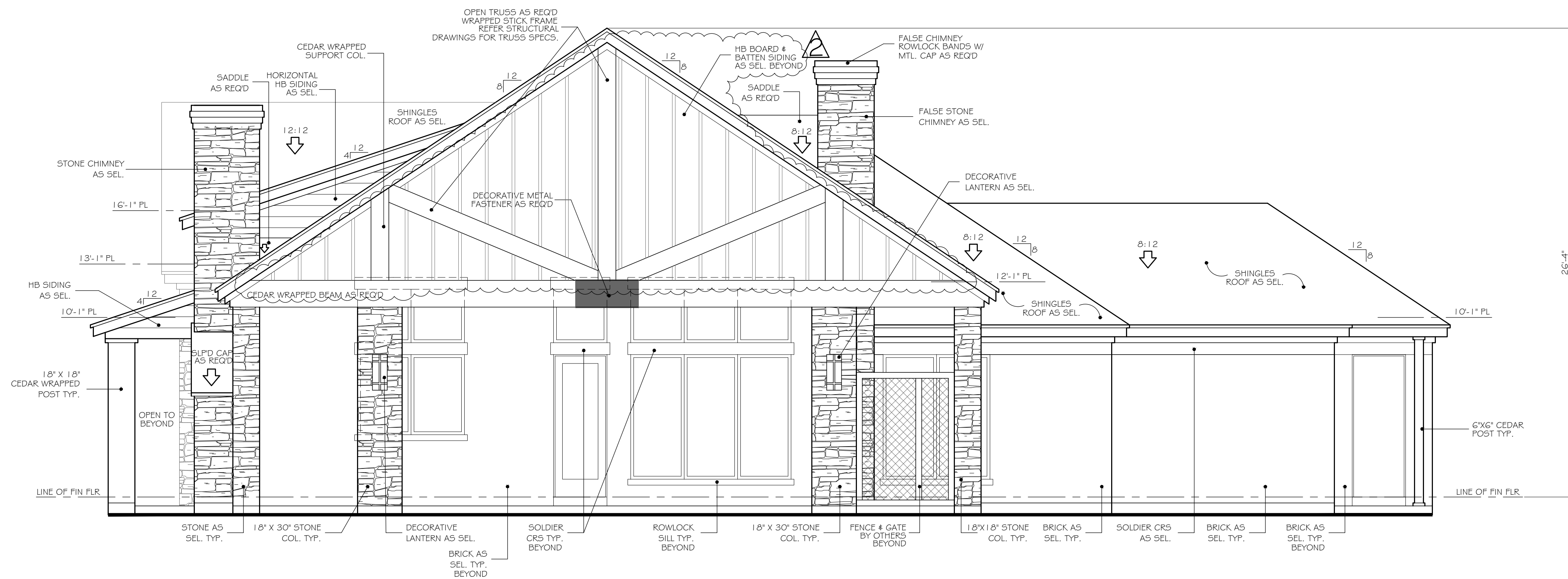


LEFT ELEVATION

1/4" = 1' -0" scale

EXTERIOR MATERIALS LEGEND

- BRICK AS SELECTED
- STONE AS SELECTED
- VERTICAL HB SIDING AS SEL.
- HORIZONTAL HB SIDING AS SEL.
- COMPOSITE SHINGLE ROOF
- METAL ROOF AS SELECTED



RIGHT ELEVATION

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NOTES:
PRIVACY GLASS
WINDOWS ON
THIS SIDE

CLAUSE

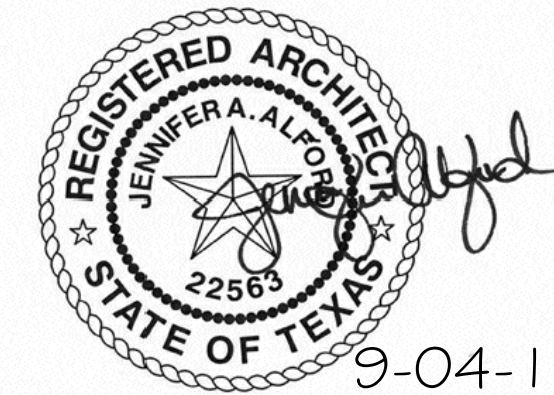
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DATE: MAY 3, 2019

DRAWN BY: JA, AZ

REVISIONS: SEPTEMBER 4, 2019

**CROSS
TIMBERS
ARCHITECTS**
4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 355-7754



9-04-19

A CUSTOM PROJECT FOR:

LADERA ROCKWALL HUB

900 BELLA DRIVE

JOB #

18-071

SHEET

2 OF 6

SIDING –
SW 7006
EXTRA WHITE

SMOKED
BUFF
LUEDERS

LANDMARK MAX
DEF -
WEATHERED
WOOD

TRIM –
SW 7069 IRON ORE

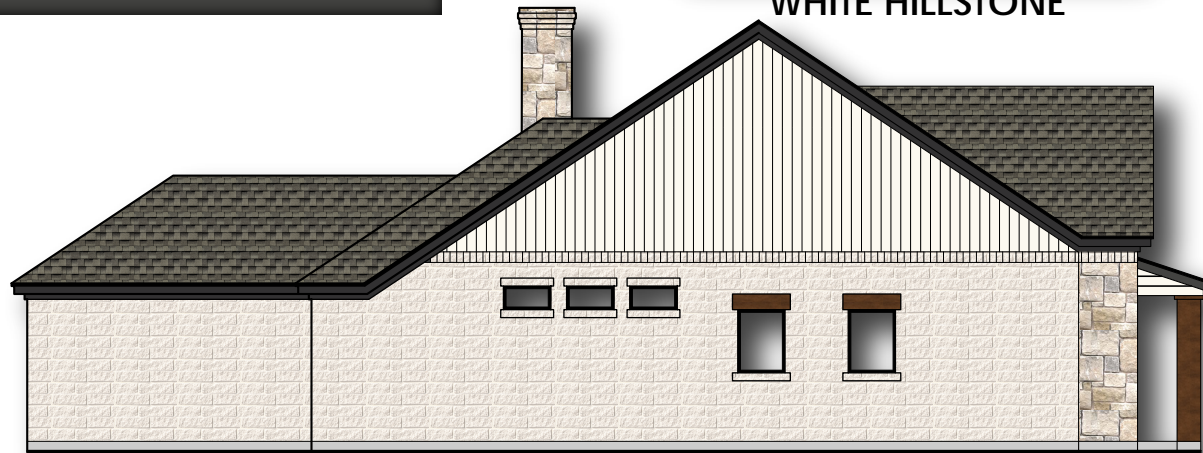


WHITE HILLSTONE



BLACK ALUMINUM
WINDOWS

SW 3524 CHESTNUT
STAINED CEDAR



LEFT ELEVATION



FRONT ELEVATION

CASE # SP2019-052

SIDING –
SW 7006
EXTRA WHITE

SMOKED
BUFF
LUEDERS

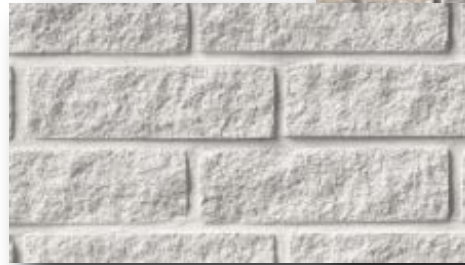


LANDMARK MAX
DEF -
WEATHERED
WOOD

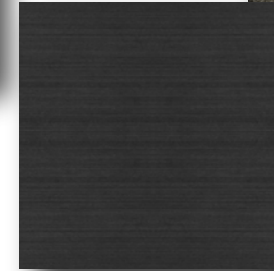


TRIM –
SW 7069 IRON ORE

WHITE HILLSTONE



BLACK ALUMINUM
WINDOWS



SW 3524 CHESTNUT
STAINED CEDAR

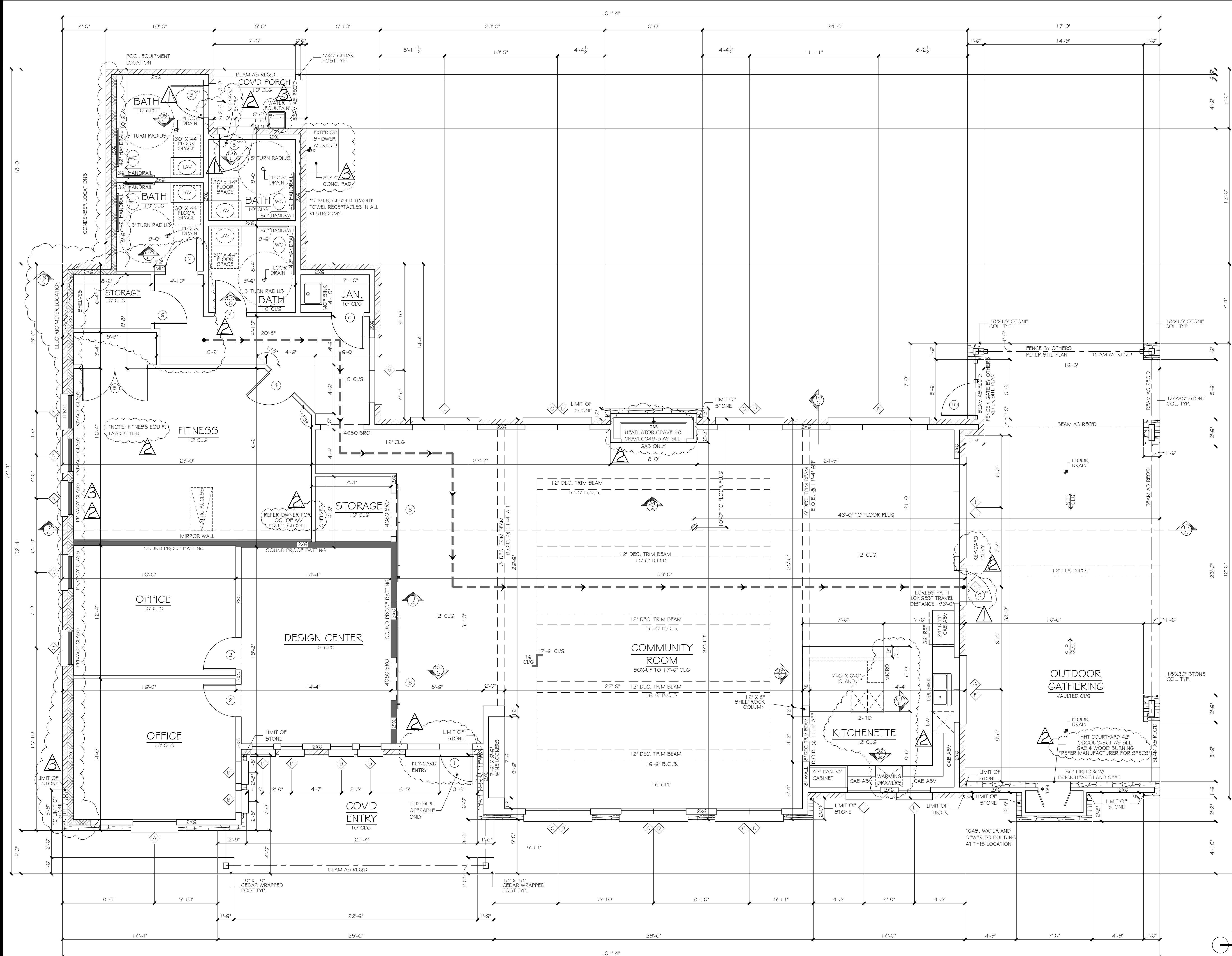


RIGHT ELEVATION



REAR ELEVATION

CASE # SP2019-052

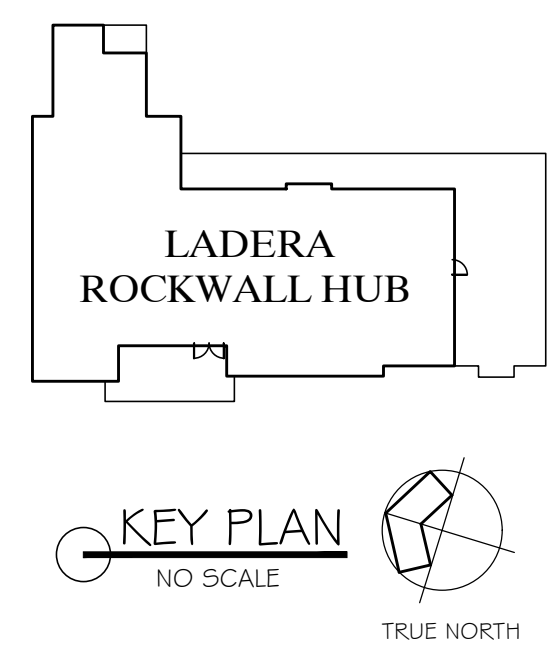


NOTES:

1. Any discrepancies must be brought to the architects' attention for revision prior to the start of construction.
2. Refer to all local codes for plumbing, mechanical, & electrical requirements.
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FLOOR PLAN NOTES:

1. All walls to be 2x4's @ 16" o.c. unless noted otherwise.
2. Some closet space may be required for HVAC ducting. Refer HVAC contractor.
3. Refer builder specific notes as required.
4. All walls over 12' high to be 2x6's @ 16" o.c.
5. Window sizes may vary due to type and manufacturer.



****REFER SHEET 4 FOR DOOR & WINDOW SCHEDULE****

EXTERIOR MATERIALS LEGEND	
	BRICK AS SELECTED
	STONE AS SELECTED
	1-HR. FIRE RATED WALL

****WATER HEATERS TO BE LOCATED PER BUILDER****

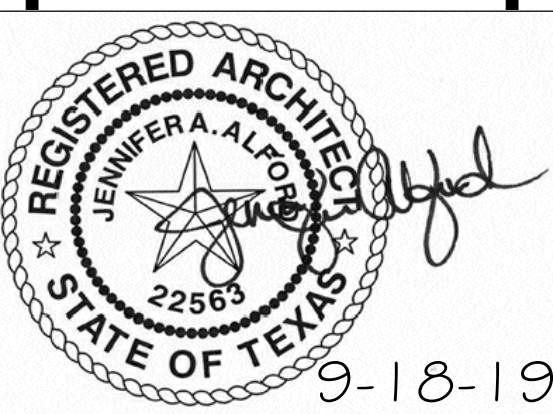
SQUARE FOOTAGE	
FIRST FLOOR	3651 S.F.
TOTAL A/C	3651 S.F.
OUTDOOR GATHERING	756 S.F.
COVERED PORCHES	300 S.F.
TOTAL SQ. FT.	4707 S.F.

FLOOR PLAN
1/4" = 1' - 0" scale

CROSS TIMBERS ARCHITECTS

DATE: MAY 3, 2019
DRAWN BY: JA, AZ
REVISIONS: JUNE 5, 2019
SEPTEMBER 4, 2019
SEPTEMBER 18, 2019

4315 WINDSOR CENTRE TRAIL STE # 200
FLOWER MOUND, TEXAS 75028
PHONE: (972) 355-7754



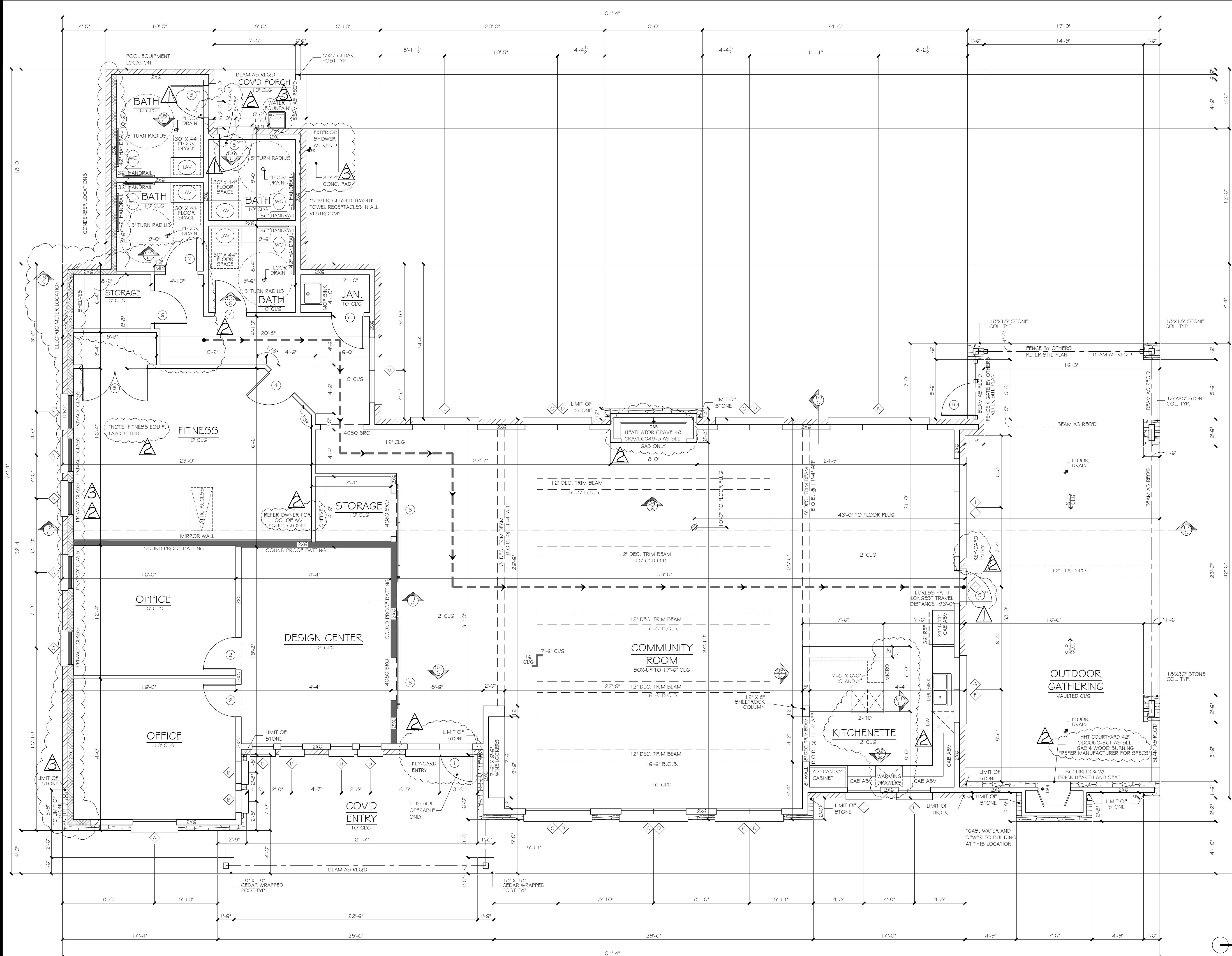
A CUSTOM PROJECT FOR:

LADERA ROCKWALL HUB

900 BELLA DRIVE

JOB # 18-071

SHEET 3 OF 6

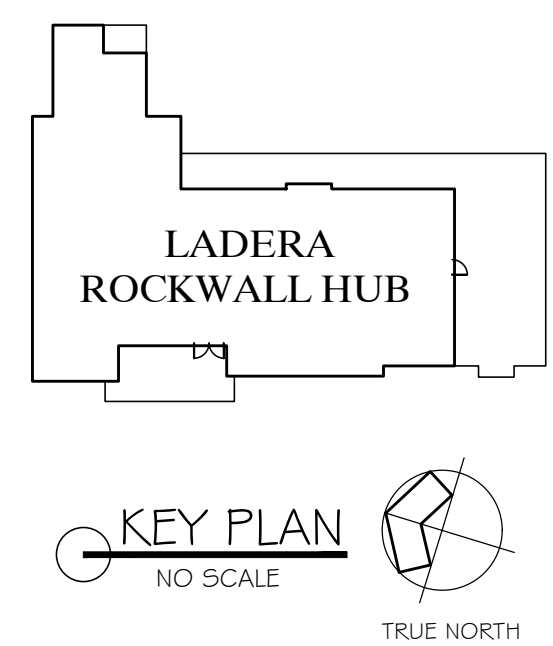


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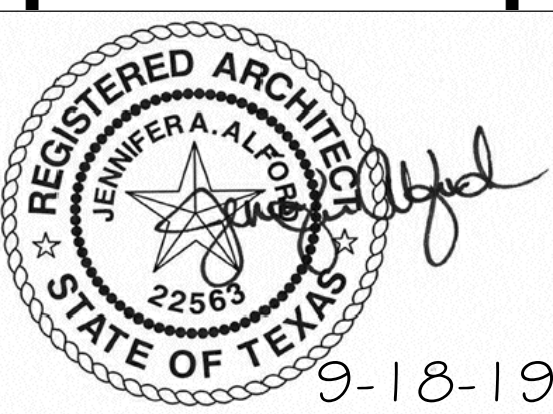
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A CUSTOM PROJECT FOR:

LADERA ROCKWALL HUB

900 BELLA DRIVE

JOB # 18-071

SHEET 3 OF 6



CASE # SP2019-052



January 21, 2020

TO: David Hughes
Integrity Group, LLC
361 W Byron Nelson Blvd., Suite 204
Roanoke, TX 76262

CC: John Delin
RW Ladera, LLC
361 W Byron Nelson Blvd., Suite 204
Roanoke, TX 76262

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2019-052; PD Site Plan for Lot 1, Block A, Ladera Rockwall Addition

David Hughes:

This letter serves to notify you that the above referenced site plan case, that you submitted for consideration by the City of Rockwall, was approved by the Planning and Zoning Commission on January 14, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development No. 85 (PD-85) District ordinance (i.e. Ordinance No. 18-32)*;
- (2) The development shall be required to adhere to the recommendations made at the April 2, 2019 Parks and Recreations Board meeting as noted in staff's report; and,
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On January 14, 2020, the Planning and Zoning Commission's motion to approve the site plan with staff conditions and the Architectural Review Board (ARB) recommendation was approved by a vote of 6-0, with Commissioner Logan absent.

Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding comments have been addressed. Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request at least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me at (972) 771-7745.

Sincerely,

David Gonzales, AICP
Planning and Zoning Manager