



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # 2009-005 P&Z DATE \_\_\_\_\_ CC DATE \_\_\_\_\_ APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input type="checkbox"/> APPLICATIONS
<input type="checkbox"/> RECEIPT
<input type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22019-005

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

## PROPERTY INFORMATION [PLEASE PRINT]

Address 5565 South FM 549, Rockwall, TX

Subdivision n/a

Lot

n/a

Block

n/a

General Location +/-264 ac Tract bound by FM 549, SH 205, Travis Ln, & Wylie Ln

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG

Current Use Single Family & Equestrian

Proposed Zoning PD

Proposed Use Single Family & Public Park

Acreage

264.510

Lots [Current]

5

Lots [Proposed]

545

**Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Applicant

Contact Person

Contact Person

Address

Address

City, State & Zip

City, State & Zip

Phone

Phone

E-Mail

E-Mail

Donahue Development Corp.

Kent Donahue

15443 Knoll Trail #130

Dallas, Texas 75248

214-354-7881

Kent@donahuedevelopment.com

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Kent Donahue [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 4167.65, to cover the cost of this application, has been paid to the City of Rockwall on this the 15<sup>th</sup> day of March, 20 19. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

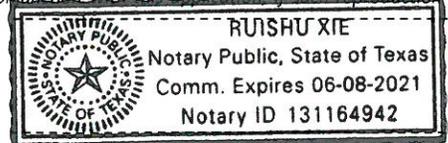
Given under my hand and seal of office on this the 14<sup>th</sup> day of March, 20 19.

Owner's/Applicant's Signature

*Kent Donahue*

Notary Public in and for the State of Texas

Ruishu Xie



My Commission Expires

06-08-2021



**DEVELOPMENT REVIEW COMMITTEE (DRC)  
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 3/15/2019

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 03/22/2019. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 3/26/2019 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 3/26/2019 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number: Z2019-005**  
**Project Name: Heritage Park**  
**Project Type: ZONING**  
**Applicant Name: DONAHUE DEVELOPMENT CORP**  
**Owner Name: ROCKWALL, HIGHGATE LTD**  
**Project Description:**



# RECEIPT

Project Number: Z2019-005  
Job Address: HWY205  
ROCKWALL, TX 75032

Receipt Number: B84423

Printed: 3/18/2019 11:40 am

Fee Description	Account Number	Fee Amount
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ZONING

01-4280

\$ 4,167.65

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**Total Fees Paid:**

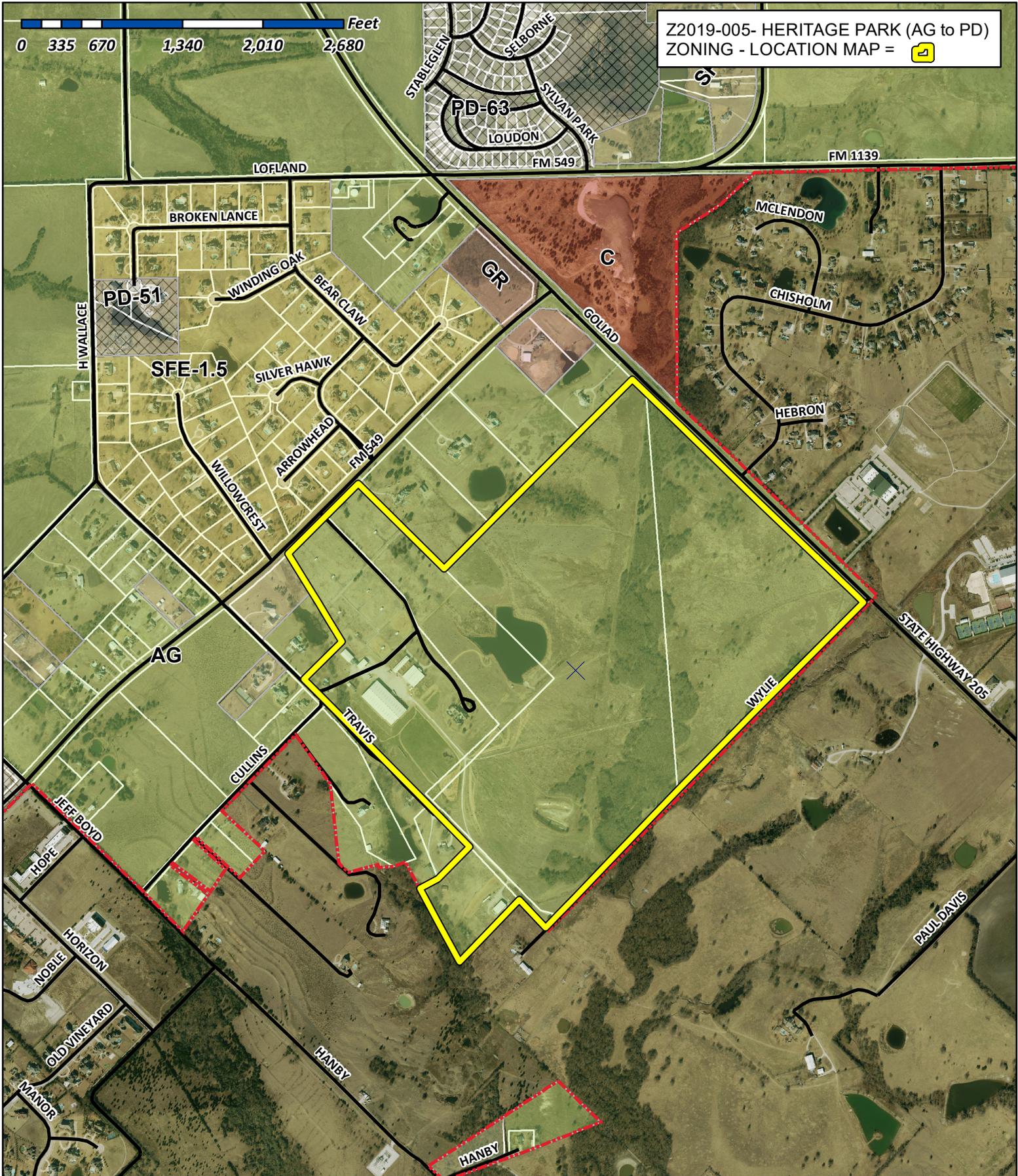
**\$ 4,167.65**

Date Paid: 3/18/2019 12:00:00AM

Paid By: H.G. PARKS LLC

Pay Method: CHECK 1025

Received By: LM



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

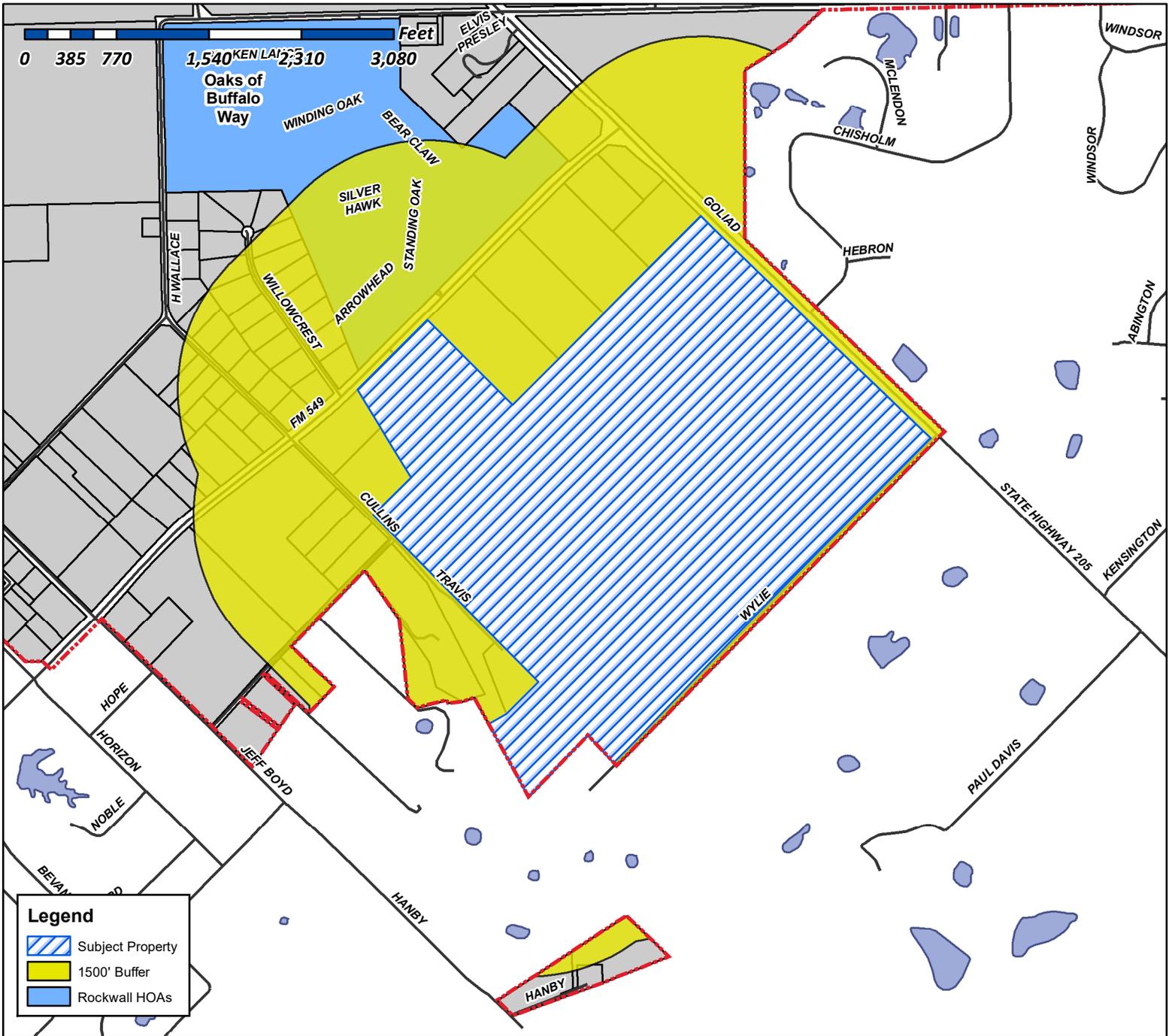
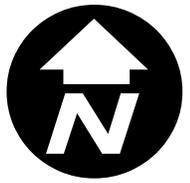




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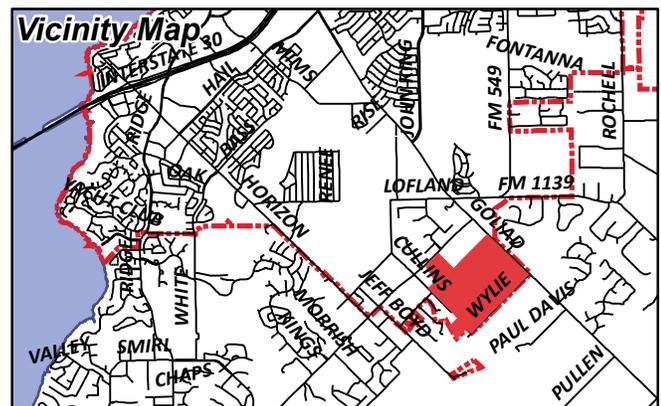
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**Case Number:** Z2019-005  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SWC of FM-549 & SH-205

**Date Created:** 3/15/2019

**For Questions on this Case Call (972) 771-7745**

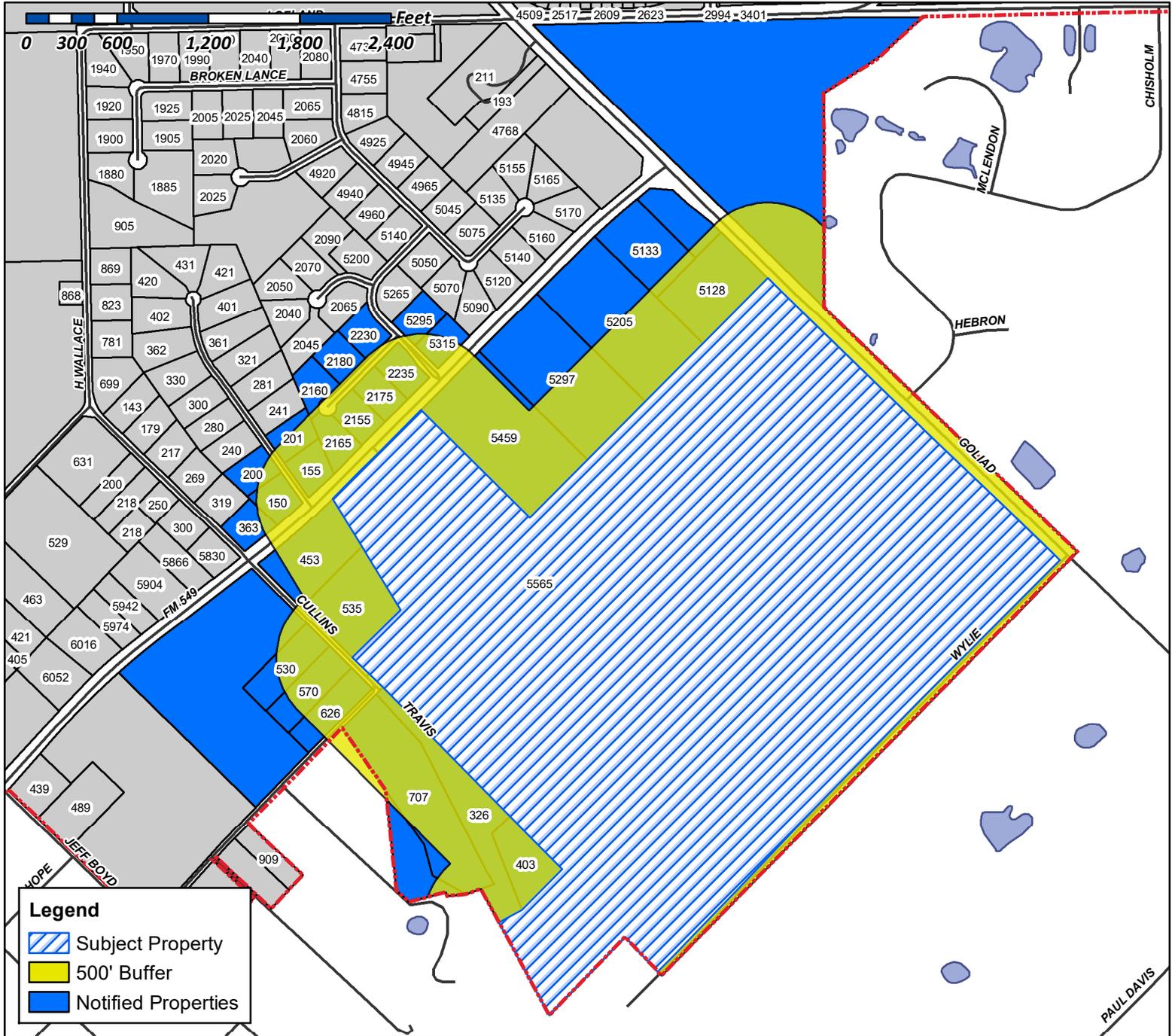




# City of Rockwall

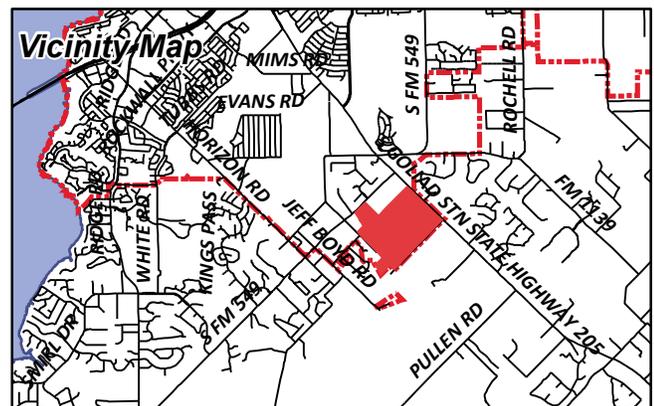
Planning & Zoning Department  
385 S. Goliad Street  
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ROCKWALL HIGHGATE LTD  
C/O SCOTT ASBURY  
13155 NOEL RD # 900  
DALLAS, TX 75240

RANEY GARY T  
150 WILLOWCREST DRIVE  
ROCKWALL, TX 75032

HADDOCK HOWARD J & JOAN W TRUSTEES  
HADDOCK FAMILY LIVING TRUST  
155 WILLOWCREST  
ROCKWALL, TX 75032

CONFIDENTIAL  
200 WILLOWCREST  
ROCKWALL, TX 75032

MUELLER JOHN HERMAN AND MELANIE KAY  
ANN BEAR-MUELLER  
201 WILLOWCREST LN  
ROCKWALL, TX 75032

RUCKER ROY LYDELL AND MONIFA  
2155 ARROWHEAD CT  
ROCKWALL, TX 75032

GRAHAM M TODD AND SHANNA R  
2160 ARROWHEAD COURT  
ROCKWALL, TX 75032

FLEMING KATHI  
2165 ARROWHEAD CT  
ROCKWALL, TX 75032

BURZAI EDWARD C & MARCIA Y  
2175 ARROWHEAD CT  
ROCKWALL, TX 75032

GREEN JACKIE & TAMI  
2180 ARROWHEAD CT  
ROCKWALL, TX 75032

RUMMEL STEVEN DAVID AND JANET L  
2230 ARROWHEAD CT  
ROCKWALL, TX 75032

JOHNSON BILLY RAY & JENNIFER REINHARDT  
2235 ARROWHEAD CT  
ROCKWALL, TX 75032

ROCKWALL 205 INVESTORS LLC  
2701 SUNSET RIDGE SUITE 607  
ROCKWALL, TX 75032

101 HUBBARD DR LLC  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

CURRENT RESIDENT  
326 CULLINS RD  
ROCKWALL, TX 75032

LEE SHERRIE  
363 CULLINS RD  
ROCKWALL, TX 75032

TRAVIS ALAN D  
403 TRAVIS LN  
ROCKWALL, TX 75032

TRAVIS ALAN D  
403 TRAVIS LN  
ROCKWALL, TX 75032

PRICE BOBBY DALE & BRETТА JEAN  
453 CULLINS RD  
ROCKWALL, TX 75032

ZEB MOHIUDIN DR &  
NASREEN ZEB  
5128 S STATE HIGHWAY 205  
ROCKWALL, TX 75032

CURRENT RESIDENT  
5133 S FM549  
ROCKWALL, TX 75032

BLACKWOOD SCOTT W & GLENITA G  
5205 S FM 549  
ROCKWALL, TX 75032

HEAGNEY SCOTT AND LISA  
5295 STANDING OAK LN  
ROCKWALL, TX 75032

KESSLER JAMES AND ANGELA  
5297 SOUTH FM 549  
ROCKWALL, TX 75032

HOPE LESLIE AND DARYL  
530 CULLINS RD  
ROCKWALL, TX 75032

RENTA LARRY J & VICKI  
5315 STANDING OAK LN  
ROCKWALL, TX 75032

WILSON BRET A & LESLIE  
535 CULLINS RD  
ROCKWALL, TX 75032

BARRICK CODY ANDREW  
5459 S. FM 549  
ROCKWALL, TX 75032

CURRENT RESIDENT  
5565 S FM549  
ROCKWALL, TX 75032

WESTRUP CAROLE LYNN  
570 CULLINS RD  
ROCKWALL, TX 75032

POPE TONY W & KARREN L  
626 E CULLINS ROAD  
ROCKWALL, TX 75032

BYRD GARY ETUX  
707 CULLINS RD  
ROCKWALL, TX 75032



Civil Engineering  
Surveying  
Water Resources Management  
Construction Management  
Environmental Consulting  
Land Planning

March 15, 2019

City of Rockwall  
Planning Department  
385 S Goliad  
Rockwall, TX 75087

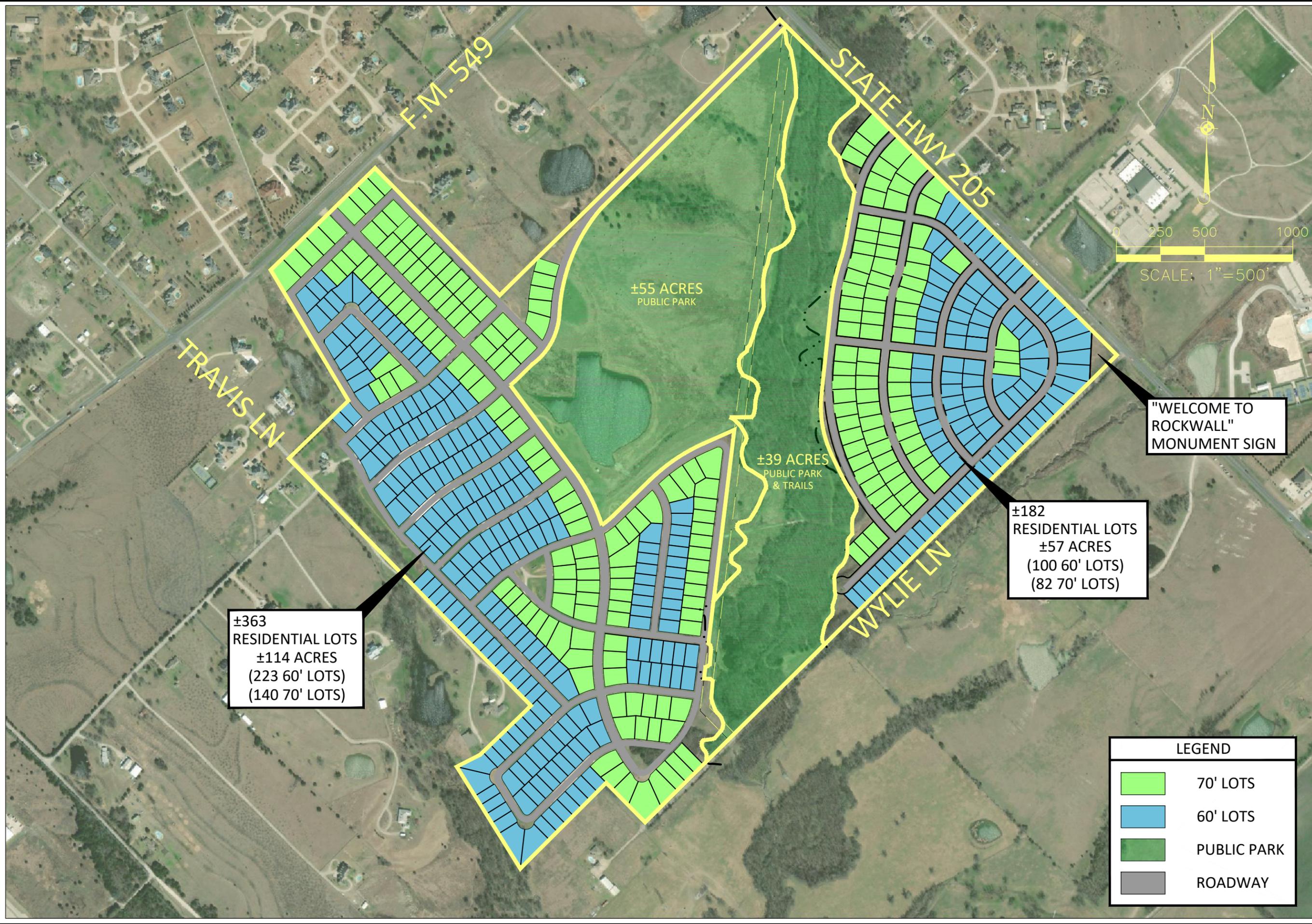
RE: Proposed +/-545 Lot Residential PD & Regional Park  
Located @ South Corner of FM 549 & SH 205

Dear Staff,

The subject development will consist of +/-545 single family lots and a +/-94 Acre Regional Park located on a 264.5 acre tract. The Concept Plan included with this submittal is representative of our vision of the development. Our team is currently working with the City's Parks Department on general programming for the Regional Park to identify a yearly maintenance budget as requested by Council. The proposed Park area within the flood plain is currently accessible via existing equestrian trails paralleling the creek. Please feel free to contact us if you have any questions regarding our project or application.

Thank you,

  
Brian Bridgewater, P.E.  
Manhard Consulting



**HERITAGE PARK - ZONING CONCEPT PLAN**  
**SOUTHWEST CORNER OF F.M. 549 & S.H. 205**  
**ROCKWALL, ROCKWALL COUNTY, TEXAS**

DRAWN BY: **TRB**      RELEASE DATE: **03/15/2019**      SCALE: **1" = 500'**      CODE: **611.011.001**

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**Manhard**  
**CONSULTING**

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243 ph: 972.972.4250 manhard.com  
 Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
 Construction Managers | Environmental Scientists | Landscape Architects | Planners  
 Texas Board of Professional Engineers Registration No. F-18141

**Development Standards.**

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the Permissible Use Charts contained in Article IV, Permissible Uses, of the Unified Development Code (UDC), are allowed on the Subject Property.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit B and stated in Table 1 below. Allowances for changes to the quantity and locations of each lot type are permitted in conformance with the requirements listed below;

Table 1: Lot Composition

Lot Type	Minimum Lot Size	Minimum Lot Size	Dwelling Units	Dwelling %
A	60' x 120'	7,200	323	60%
B	70' x 130'	9,100	222	40%
Total Acreage – 265 acres			545 total Units (2.1 per acre)	

3. *Density and Dimensional Requirements.* The maximum permissible density for the Subject Property shall not exceed 2.1 dwelling units per gross acre of land. All lots shall conform to the standards depicted in Table 2 below and generally conform to Exhibit F of this ordinance.

Table 2: Lot Dimensional Requirements

Minimum Lot Width (1)	60'	70'
Minimum Lot Depth	120'	130'
Minimum Lot Area	7,200 SF	9,100 SF
Minimum Front Yard Setback (2) & (5)	20'	20'
Minimum Side Yard Setback	5'	5'
Minimum Side Yard Setback (Adjacent to Street) (2) & (5)	10'	10'
Maximum Height (3)	30'	30'
Minimum Rear Yard Setback (4)	20'	20'
Minimum Area / Dwelling Unit	2,000 SF	2,300 SF
Maximum Lot Coverage	65%	65%
Permitted Encroachment into Required Setbacks	Allowed	Allowed

General Notes:

- (1) The minimum lot width shall be measured at the Front Yard Building Setback
- (2) The location of the Front Yard Building Setback as measured from the front property line
- (3) The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single family home.
- (4) As measured from the rear yard property line
- (5) Porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks

4. *Building Standard.* All development shall adhere to the following building standards:

- (a) **Masonry Requirement.** The minimum masonry requirement for the exterior facades of all buildings shall be 90%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, stucco, cast stone, and cementaceous fiberboard horizontal lap-siding (e.g. HardiBoard or Hardy Plank).
- (b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
- (c) **Garage Orientation.** Garages may be oriented toward the street in a front entry configuration; however, the front façade of the garage must be situated a minimum of ten (10) feet behind the front façade of the primary structure or porch structure. In addition the following architectural elements must be included on all front entry homes:
  - 1) Divided bay garage doors
  - 2) Carriage style hardware and lighting
  - 3) Cedar clad garage doors
  - 4) Driveways must be constructed with ornamental stamped concrete brick pavers.

5. *Anti-Monotony Restrictions.* The development shall adhere to the following anti-monotony restrictions:

- (A) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least five (5) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
  - 1) Number of stories
  - 2) Permitted encroachment type and layout
  - 3) Roof type and layout
  - 4) Articulation of the front façade
- (B) Permitted encroachment (Porches) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (C) Each phase of the subdivision will allow for a maximum four (4) compatible roof Colors. All roof shingles shall be an architectural or dimensional shingle.

6. *Fencing Standards.* All individual residential fencing and walls shall be architecturally compatible with the design, materials, and colors of the primary structure on the same lot and meet the following standards:

- (A) No front yard fences allowed
- (B) *Corner Lots.* Corner lots shall utilize a wood fence that extends no further than the back (rear) corner of the house. The fence shall be a minimum of six (6) feet tall. The fence shall be located a minimum of five (5) feet from the sidewalk's edge.
- (C) *Rear Yard Fences.* Rear yard fences shall not extend forward, towards the front of the house, beyond the back (rear) corner of the house.
- (D) *Wood Fences.* All wood fences shall be constructed of a standard fencing material (minimum of ½" thickness or better; spruce fencing will not be allowed), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be stained and sealed with all pickets being placed on the "public side" facing the street. All wood fences shall be smooth-finished, free of burs and splinters, and be a maximum of six (6) feet in height.
- (E) *Wrought Iron/Tubular Steel.* Lots located along the perimeter of roadways, abutting open space, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (F) *Solid Fences (including wood fences).* All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

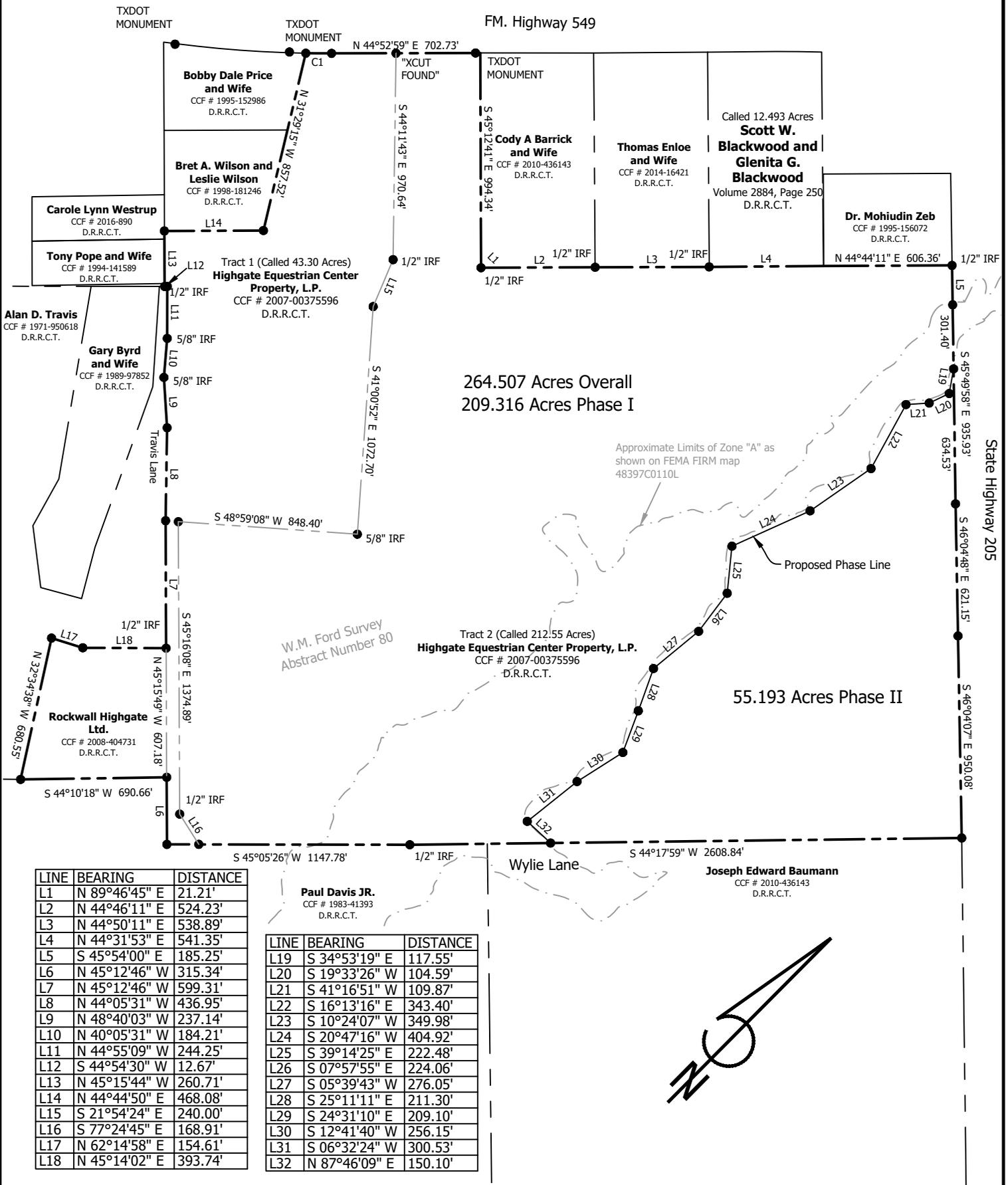
7. *Landscape and Hardscape Standards.*

- (A) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All canopy/shade trees planted within this development shall be a minimum of four (4) caliper inches in size and all accent/ornamental/under story trees shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within the subdivision:
  - (1) Canopy/shade trees. Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.
  - (2) Accent/ornamental/under story trees. Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (B) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

- (1) *Landscape Buffer and Sidewalks (FM 549)*. A minimum of a 20 foot landscape buffer shall be provided along the frontage of FM 549 (outside of the required right-of-way dedication) and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30 inches and a maximum height of 48 inches. In addition, at least one canopy tree shall be planted per 50 feet of linear frontage. A minimum of a five (5) foot sidewalk shall be required along FM 549.
- (2) *Landscape Buffer (SH 205)*. A minimum of a 20 foot landscape buffer shall be provided along the frontage of SH 205 (outside of the required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30 inches and a maximum height of 48 inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100 feet of linear frontage.
- (C) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.
- (D) *Street Trees and Hardscape*. Street tree and hardscape plans indicating the location of all sidewalk and trails shall be reviewed and approved with the PD Site Plan.
- (E) *Lighting*. Light poles shall not exceed 20 feet in total height. All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (F) *Sidewalks*. At a maximum, all sidewalks adjacent to a street shall begin two (2) feet behind the right-of-way line and be five (5) feet in overall width.
- (G) *Open Space*. The development shall consist of a minimum of 35 % open space and generally conform with the Open Space Plan contained in Exhibit \_\_\_ of this ordinance.
- (H) *Neighborhood signage*. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan.

- (I) *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood open space and common areas, irrigation, landscaping, screening fences associated with this development.
  
- (J) *Variances*. The variance procedures and standards for approval that are set forth in The Unified Development Code shall apply to any application for variances to this ordinance.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	121.99'	5796.43'	1°12'21"	N 45°17'37" E	121.99'



**EXHIBIT SHOWING**  
**264.507 Acres of land situated in the W.M. Survey, Abstract Number 80, Rockwall County, Texas.**

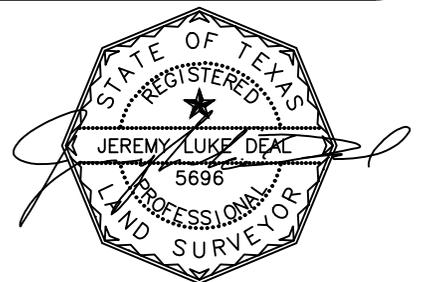
Project Number: 180164      Date: February 18, 2019  
 Revised Date:  
 Revision Notes:

Sheet 1 of 4



**REALSEARCH OF TEXAS, LLC**

P.O. Box 1006, Godley, Texas 76044  
 Ph. 817-937-2655, jdeal@realsearch.org, www.realsearch.org  
 "Thou shalt not remove thy neighbor's landmark" Deut. 19:14  
 TBPLS Firm Registration # 10158200      TBPE Firm Registration # 17968



SCALE : 1" = 600'



## LEGAL DESCRIPTION (OVERALL)

BEING a 264.507 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southeast corner of said called 212.55 acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along the northwest line of said Wylie Lane, a distance of 2608.84 feet, to a 1/2" iron rod found;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said northwest line, a distance of 1147.78 feet, to the southwest corner of said called 43.30 acre tract,;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said East right-of-way line, a distance of 935.93 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 48 Seconds East, continuing along said East right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 07 Seconds East, continuing along said East right-of-way line, a distance of 950.08 feet, to the POINT OF BEGINNING, and containing 264.507 acres of land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 2 of 4



**REALSEARCH OF TEXAS, LLC**

P.O. Box 1006, Godley, Texas 76044

Ph. 817-937-2655, [jdeal@realsearch.org](mailto:jdeal@realsearch.org), [www.realsearch.org](http://www.realsearch.org)

"Thou shalt not remove thy neighbor's landmark" Deut. 19:14

TBPLS Firm Registration # 10158200

TBPE Firm Registration # 17968

## LEGAL DESCRIPTION (PHASE I)

BEING a 209.316 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southwest corner of said called 43.30 acre tract, being on the northwest line of Wylie Lane;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to a point for corner;

THENCE Southwesterly, departing said West right-of-way line and over and across said called 212.55 acre tract, the following calls:

South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;

South 19 Degrees 33 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;

South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;

South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;

South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;

South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;

South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;

South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;

South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;

South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;

South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;

South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;

South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;

North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along said North line, a distance of 665.41 feet, to a point for corner;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said North line, a distance of 1147.78 feet, to the POINT OF BEGINNING, and containing 209.316 acres of land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 3 of 4



### REALSEARCH OF TEXAS, LLC

P.O. Box 1006, Godley, Texas 76044

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"Thou shalt not remove thy neighbor's landmark" Deut. 19:14

TBPLS Firm Registration # 10158200

TBPE Firm Registration # 17968



## LEGAL DESCRIPTION (PHASE II)

BEING a 55.193 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron rod found at the northernmost corner of said called 212.55 acre tract, same being the easternmost corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas, and being on the southwest right-of-way line of State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said southwest right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to the POINT OF BEGINNING;

THENCE Southwesterly, departing said southwest right-of-way line and over and across said called 212.55 acre tract, the following calls:

South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;

South 19 Degrees 33 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;

South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;

South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;

South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;

South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;

South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;

South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;

South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;

South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;

South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;

South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;

South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;

North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE North 44 Degrees 17 Minutes 59 Seconds East, along the North line of said Wylie Lane, a distance of 2608.84 feet, to a point for corner at the intersection of said North line and the southwest right-of-way line of said State Highway No. 205;

THENCE North 46 Degrees 04 Minutes 07 Seconds East, departing said North line and along the said southwest right-of-way line, a distance of 950.08 feet, to a point for corner;

THENCE North 46 Degrees 04 Minutes 48 Seconds West, continuing along said southwest right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE North 45 Degrees 49 Minutes 58 Seconds West, continuing along said southwest right-of-way line, a distance of 634.53 feet, to the POINT OF BEGINNING, and containing 55.193 acres or land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 4 of 4



### REALSEARCH OF TEXAS, LLC

P.O. Box 1006, Godley, Texas 76044

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TBPLS Firm Registration # 10158200

TBPE Firm Registration # 17968

## City of Rockwall Project Plan Review History



<b>Project Number</b> Z2019-005	<b>Owner</b> ROCKWALL, HIGHGATE LTD	<b>Applied</b> 3/15/2019 LM
<b>Project Name</b> Heritage Park	<b>Applicant</b> DONAHUE DEVELOPMENT CORP	<b>Approved</b>
<b>Type</b> ZONING		<b>Closed</b>
<b>Subtype</b> PD		<b>Expired</b>
<b>Status</b> NEED REVISIONS		<b>Status</b> 3/20/2019 RM

<b>Site Address</b> HWY205	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
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<b>Subdivision</b>	<b>Tract</b> 17-15	<b>Block</b>	<b>Lot No</b> 17-15	<b>Parcel No</b> 0080-0000-0017-15-OR	<b>General Plan</b>
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/19/2019	3/26/2019	3/19/2019		APPROVED	
ENGINEERING (3/22/2019 11:51 AM SH) - 4% Engineering Inspection Fees - Impact Fees - Min Easement is 20' wide - TXDOT permit required and TIA. - NTMWD approval of crossing required. - FEMA flood study required. Review fees apply. - Must detain if increasing flow to the floodplain and water surface elevation off property increases. - Wetlands study required for the ponds. - 12" water line must be placed from SH 205 and Lofland through the site. See attached sheets. - Long Branch Lift Station Construction required. - Construct 24' of Cullens road or ESCROW at 115%. - Reserve 4-lane thoroughfare for FM 549. - SH 205 to be a future 6-lane roadway. - 50' ROW for all residential streets. - All roadway adjacent to parks to be 41' Back-to-back of curb with additional ROW. - Erosion Hazard Setback Required. - Upgrade Lift Stations FM 3097 #1 and #2. - Lift Station pro-rata = \$432.74/acre - Need to meet TxDOT roadway/driveway spacing requirements - ROW dedication along Travis/Cullins must be 30' from Centerline. - Must meet all Rockwall Standards of Design and Construction	Sarah Hager	3/15/2019	3/22/2019	3/22/2019	7	APPROVED	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE	Kevin Clark	3/15/2019	3/22/2019	3/22/2019	7	APPROVED	
PLANNING	Ryan Miller	3/15/2019	3/22/2019	3/20/2019	5	COMMENTS	See Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2019-005; Zoning Change (AG to PD) for Heritage Park Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land use: on a 264.510-acre tract of land identified as Tracts 17-13 [50.0-acres], 17-4 [26.452-acres], 17-15 [134.33-acres], 17-16 [43.6-acres], & 40-8 [8.79-acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the east side of SH-205 (S. Goliad Street) south of the intersection of SH-205 and FM-549, and take any action necessary.						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.						
M.3 For reference, include the case number (Z2019-005) in the lower right hand corner of all pages on future submittals.						
I.4 According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the Southwest Residential District, and according to the Future Land Use Map contained within this document the subject property is designated for Low Density Residential land uses. The proposed zoning request does conform to this designation and appears to conform to the district strategies for the Southwest Residential District; however, zoning does remain a discretionary decision for the City Council.						
I.5 The OURHometown Vision 2040 Comprehensive Plan stipulates various goals for residential developments. The following aspects of the applicant's proposal do not conform to the stated goals of the City's plan, and could be revised -- per staff's recommendations -- to bring the project closer to conformance with the plan:						
(1) CH. 1; Section 2.02; Goal #2   Policy #1 (Page 1-2). Where residential uses are proposed through a Planned Development District that abuts an existing residential development, the proposed lots should be the same or a compatible size as the existing lots or be buffered by open space, trails, sidewalks, natural screening, or a roadway.						
(2) CH. 1; Section 2.02; Goal #2   Policy #3 (Page 1-2). Existing development patterns and surrounding conditions (e.g. lot size, architectural style, public improvements, etc.) should be considered in conjunction with this Comprehensive Plan to determine the appropriate zoning designation for a property.						
(3) CH. 8; Section 2.02; Goal #1   Policy #2 (Page 8-2). Large residential developments and master planned communities should require differing residential home types, lot sizes and land uses in the overall development plan.						
(4) CH. 8; Section 2.02; Goal #1   Policy #4 (Page 8-2). Developments should be encouraged to provide a mixture of lot sizes throughout each phase to ensure that maximum value accrues for all properties. This is particularly important in developments that propose clusters of smaller lots.						
(5) CH. 8; Section 2.02; Goal #1   Policy #5 (Page 8-2). Residential developments should be designed so that smaller residential lots/units are located in the closest proximity to a park and/or open space. This will maximize the value of these lots/units, and allow the open spaces to off-set smaller lot/unit sizes.						
(6) CH. 8; Section 2.03; Goal #1   Policy #5 (Page 8-3). Design neighborhoods utilizing the Housing Tree Model (i.e. a method of laying out single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision).						
(7) CH. 8; Section 2.03; Goal #3   Policy #4 (Page 8-4). Require a larger separation between homes to make neighborhoods feel more spacious. This separation should be no less than 12-feet (i.e. six [6] foot side yard building setback) and should be scaled to the height of the home.						
Based on these goals, staff would make the following recommendations to the applicant:						
(1) Provide a larger lot type (e.g. 80-foot lot type) adjacent to FM-549 and SH-205.						
(2) Locate the 60-foot type adjacent to the parkland and open spaces, as opposed to the 70-foot lot type.						
(3) Mix the 60-foot and 70-foot lot types as opposed to creating homogenous pods or clusters of one lot type.						
(4) Change the side yard setback for the 70-foot lot type from five (5) feet to six (6) feet.						
M.6 Please review the attached draft ordinance prior to the March 26, 2019 Planning & Zoning Commission meeting, and provide staff with your markups by April 2, 2019. In reviewing the draft ordinance, please pay close attention to staff's suggestions, which differ from the applicant's submitted development standards. Specifically, staff has made changes to the following sections in the draft ordinance:						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(1) Masonry Materials. The masonry materials have been changed to better reflect the material requirements permitted by the Unified Development Code (UDC), and which have been approved by the City Council in previous zoning cases.						
(2) Garage Orientation. The garage orientation wording has been modified. Staff would recommend that the applicant provide picture examples of the proposed upgraded finishes to better convey the intent of this section.						
(3) Anti-Monotony. The anti-monotony standards were drafted in accordance with Planned Development District 63 (PD-63). These standards were similar to what was outlined in the applicant's submitted development standards.						
(4) Fencing. Staff used common language included in the majority of the City's other Planned Development Districts in the fence standards section. This differs slightly from what was outline in the applicant's submittal.						
(5) Landscape Buffers. Based on past zoning cases approved by the City Council, staff recommends that the applicant consider increasing the landscape buffers along FM-549 and SH-205 to 50-feet to allow for larger berms and buffers to be incorporated adjacent to lots backing to these major roadways. In addition, landscaping standards similar to the landscaping standards for residential properties in the SH-205 By-Pass Overlay (SH-205 BY OV) District (i.e. John King Boulevard) should be incorporated for noise attenuation. As an alternative, the plan could be amended to reorient these homes to face onto a slip street that runs parallel to these roadways.						
I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 2, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 9, 2019 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on March 26, 2019.						
I.8 The projected City Council meeting dates for this case will be April 15, 2019 [1st Reading] & May 6, 2019 [2nd Reading].						



- 4% Engineering Inspection Fees
- Impact Fees
- Min Easement is 20' wide
- TXDOT permit required and TIA.
- NTMWD approval of crossing required.
- FEMA flood study required. Review fees apply.
- Must detain if increasing flow to the floodplain and water surface elevation off property increases.
- Wetlands study required for the ponds.
- 12" water line must be placed from SH 205 and Lofland through the site. See attached sheets.
- Long Branch Lift Station Construction required.
- Construct 24' of Cullens road or ESCROW at 115%.
- Reserve 4-lane thoroughfare for FM 549.
- SH 205 to be a future 6-lane roadway.
- 50' ROW for all residential streets.
- All roadway adjacent to parks to be 41' Back-to-back of curb with additional ROW.
- Erosion Hazard Setback Required.
- Upgrade Lift Stations FM 3097 #1 and #2.
- Lift Station pro-rata = \$432.74/acre
- Need to meet TxDOT roadway/driveway spacing requirements
- ROW dedication along Travis/Cullins must be 30' from Centerline.
- Must meet all Rockwall Standards of Design and Construction

LEGEND	
	70' LOTS
	60' LOTS
	PUBLIC PARK
	ROADWAY

30' ROW Dedication for Travis/Cullins from Centerline

±363  
RESIDENTIAL LOTS  
±114 ACRES  
(223 60' LOTS)  
(140 70' LOTS)

±182  
RESIDENTIAL LOTS  
±57 ACRES  
(100 60' LOTS)  
(82 70' LOTS)

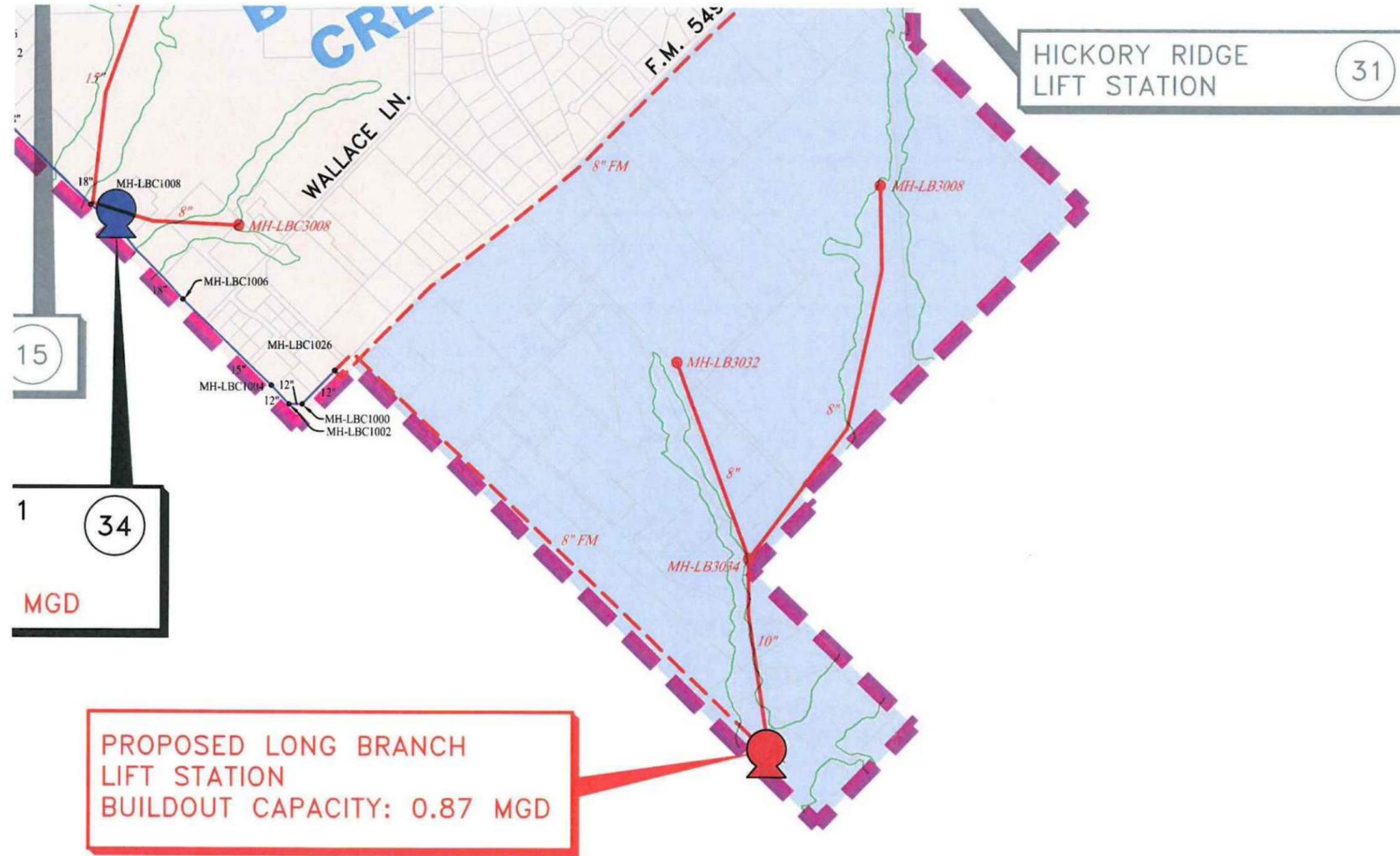


**CITY OF ROCKWALL, TEXAS  
WASTEWATER COLLECTION SYSTEM  
MASTER PLAN**

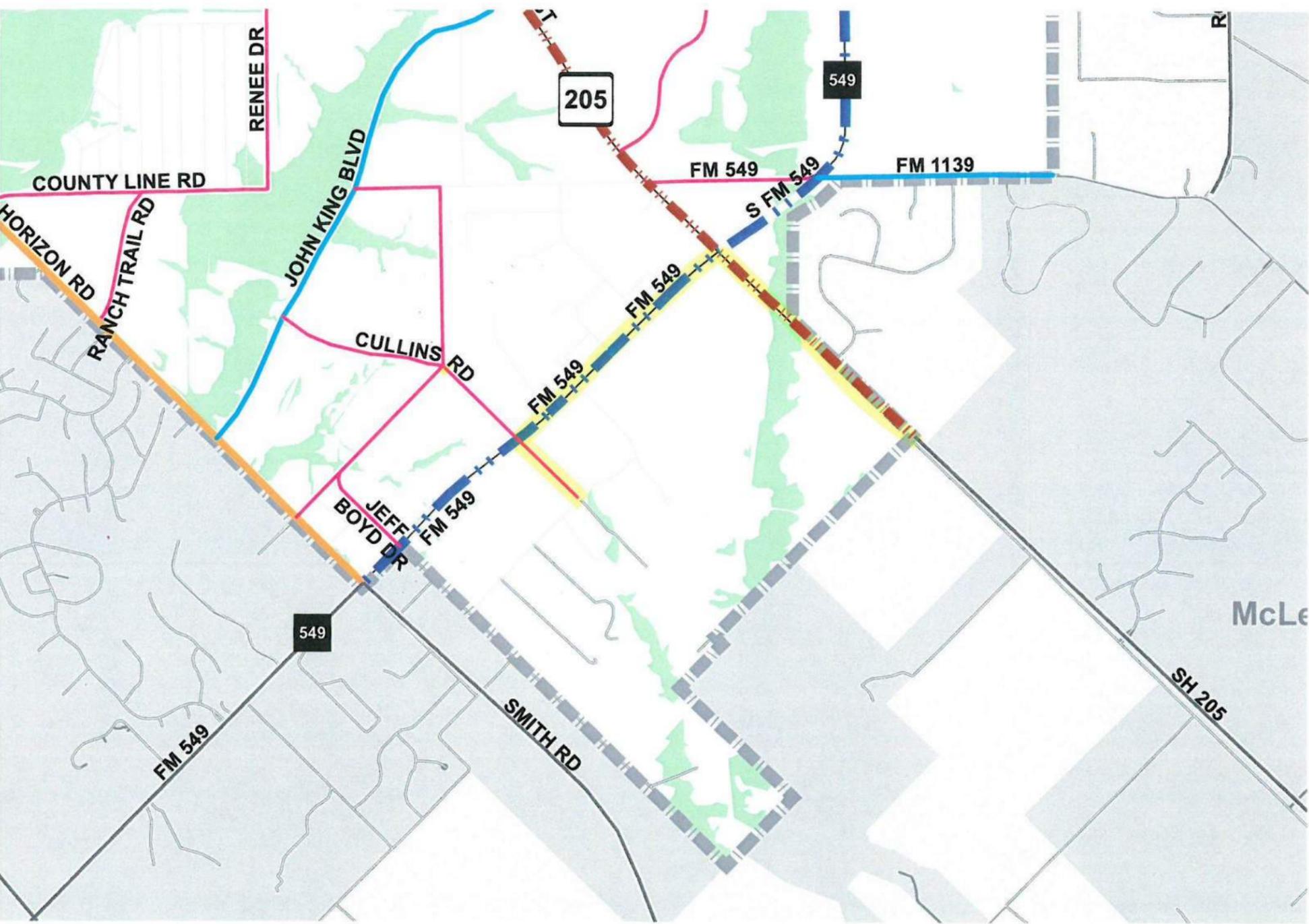
HIRKHOFF, HENDRICKS & CARTER, L.L.P.  
PROFESSIONAL ENGINEERS  
JUNE 2014  
REVISED NOVEMBER 2016

**LEGEND**

EXISTING PARCELS	
EXISTING FLOOD PLAIN	
EXISTING MANHOLE & NUMBER	MH7001 ●
NTMWD MANHOLE & NUMBER	MH7001 ●
EXISTING MANHOLE & NUMBER (TO BE ABANDONED)	MH7001 ●
PROPOSED MANHOLE & NUMBER	MH-LW100 ●
EXISTING GRAVITY SANITARY SEWER PIPE & SIZE	12"
EXISTING FORCE MAIN & SIZE	12"
EXISTING NTMWD SANITARY SEWER PIPE & SIZE	12"
EXISTING NTMWD FORCE MAIN & SIZE	12"
EXISTING SANITARY SEWER PIPE & SIZE (TO BE ABANDONED)	12"
EXISTING FORCE MAIN & SIZE (TO BE ABANDONED)	12"
PROPOSED GRAVITY SANITARY SEWER PIPE & SIZE	12"
PROPOSED FORCE MAIN & SIZE	12"
PLANNING BOUNDARY AND E.T.J. BOUNDARY	
WASTEWATER TREATMENT PLANT BASIN DIVIDE	
EXISTING LIFT STATION	
EXISTING LIFT STATION (TO BE ABANDONED)	
PROPOSED LIFT STATION	
NTMWD WASTEWATER TREATMENT PLANT	



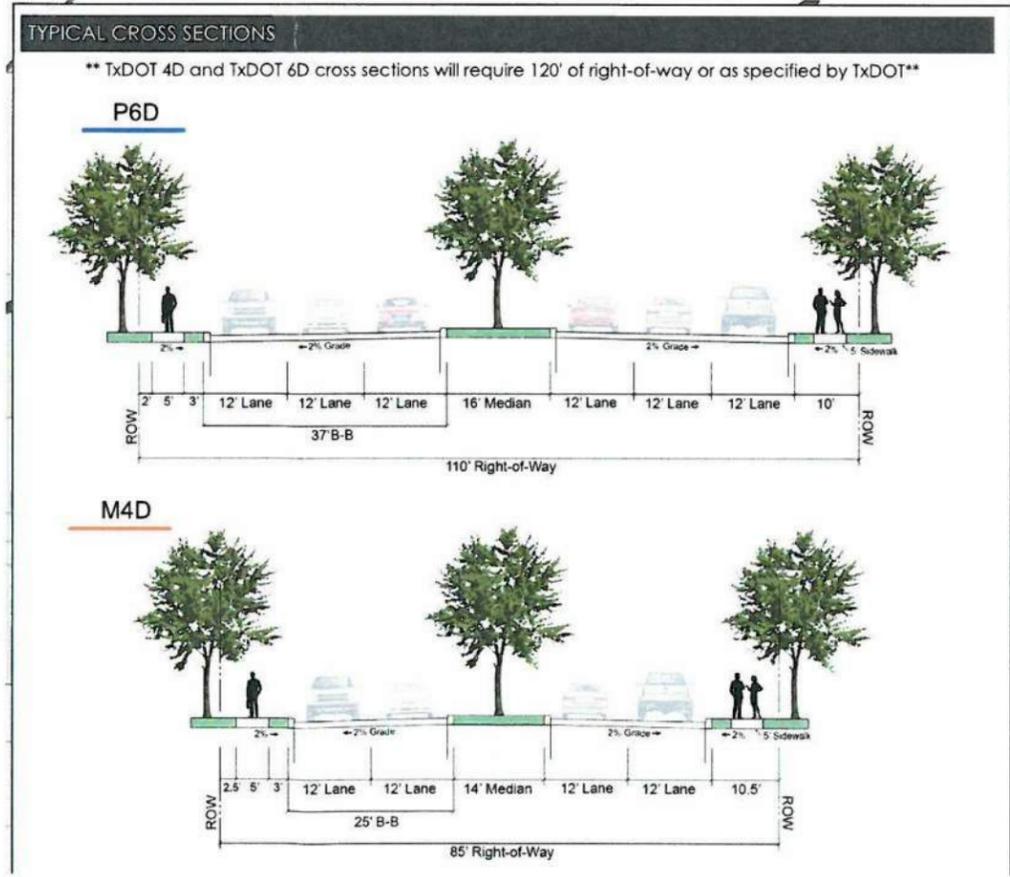
# City of Rockwall Thoroughfare Plan



ROADWAY CLASS	MAP LEGEND
P6D	Planning Boundary
M4D	Lake
M4U	Open Space
M4U-M	
Minor Collector	
P3U	
TxDOT 4D	
TxDOT 6D	
Outer Loop	
I.H. 30	

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

For more information please visit <http://www.rockwall.com/Planning/> or call (972) 771-7745





**CITY OF ROCKWALL, TEXAS  
WATER DISTRIBUTION SYSTEM  
MASTER PLAN**

BIRKHOFF, HENDRICKS & CARTER, L.L.P.  
PROFESSIONAL ENGINEERS  
11111 W. STATE ST., SUITE 100  
ROCKWALL, TEXAS 75087  
JUNE 2014

**LEGEND**

**CREEKS**

**JUNCTION NODE & NO.**

**2013 EXISTING WATER LINE NO. & SIZE**

**EXISTING WATER LINE NO. & SIZE  
(CLOSED IN MODEL FOR BUILDOUT  
PRESSURE DIVIDES)**

**EXISTING WATER LINE NO. & SIZE  
(TO BE ABANDONED IN FUTURE)**

**BUILDOUT PROPOSED WATER LINE  
NO. & SIZE**

**EXISTING NTMWD SUPPLY LINE**

**PLANNING BOUNDARY**

**EXISTING PUMP STATION**

**PROPOSED PUMP STATION**

**PROPOSED PRESSURE REDUCING VALVE**

**EXISTING ELEVATED STORAGE TANK**

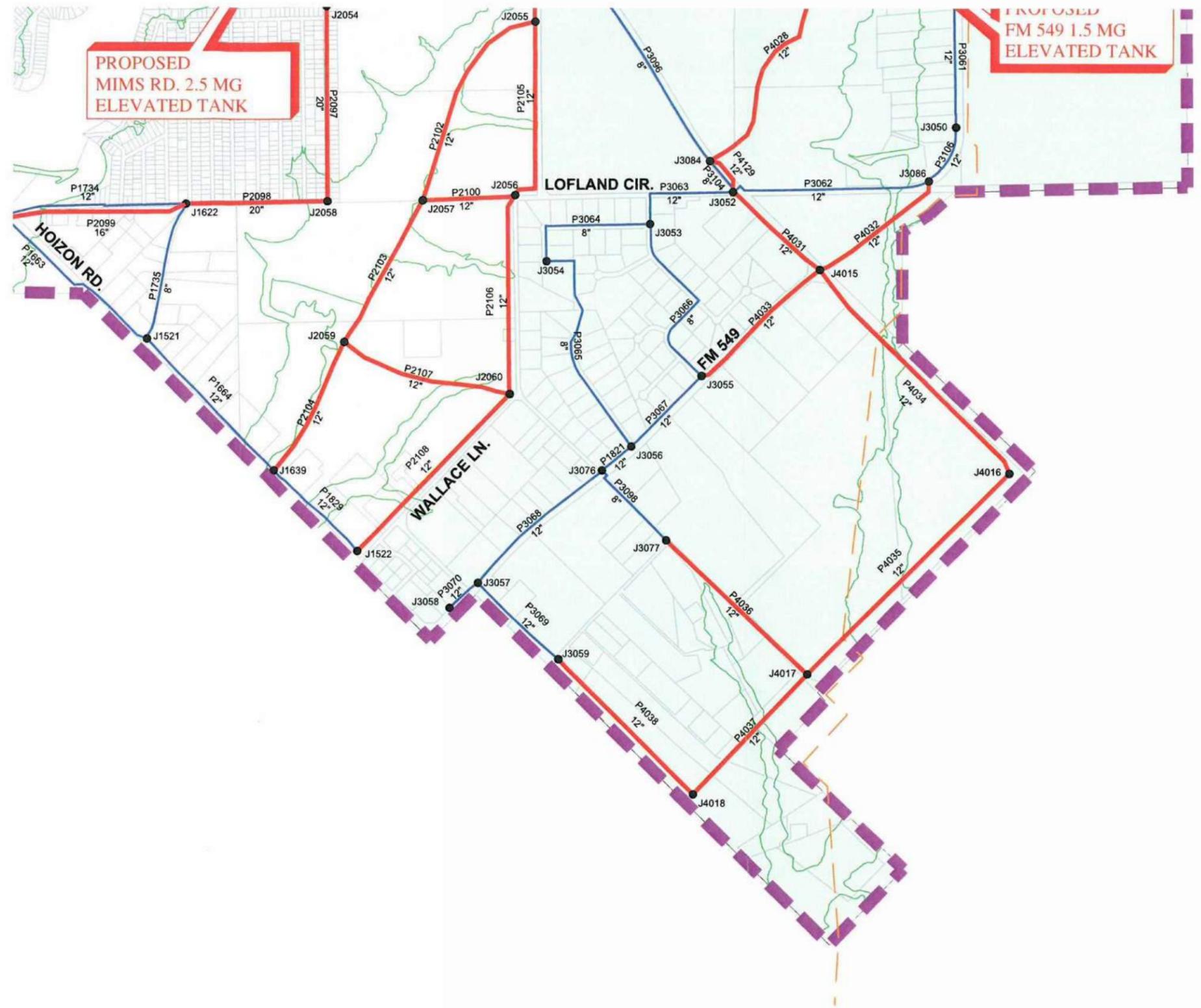
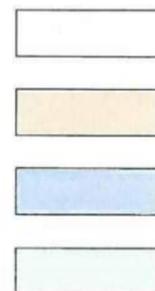
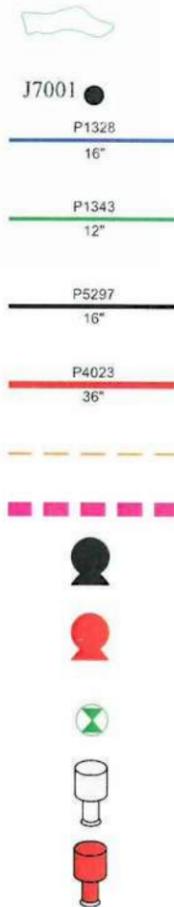
**PROPOSED ELEVATED STORAGE TANK**

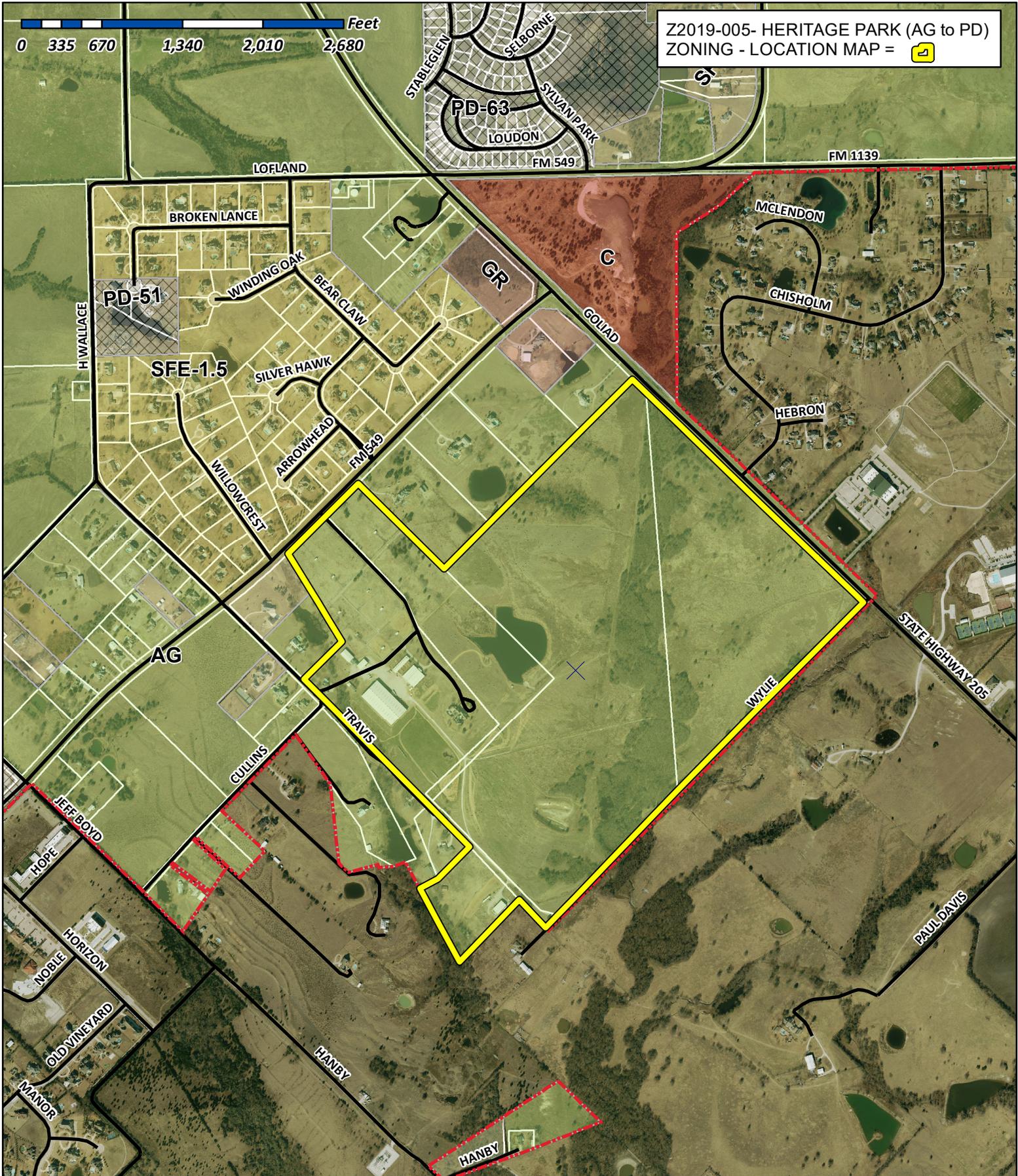
**698.75 SERVICE AREA BOUNDARY  
(AT BUILDOUT)**

**717 SERVICE AREA BOUNDARY  
(AT BUILDOUT)**

**740 SERVICE AREA BOUNDARY  
(AT BUILDOUT)**

**780 SERVICE AREA BOUNDARY  
(AT BUILDOUT)**

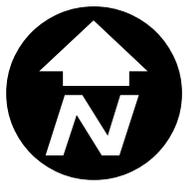




# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

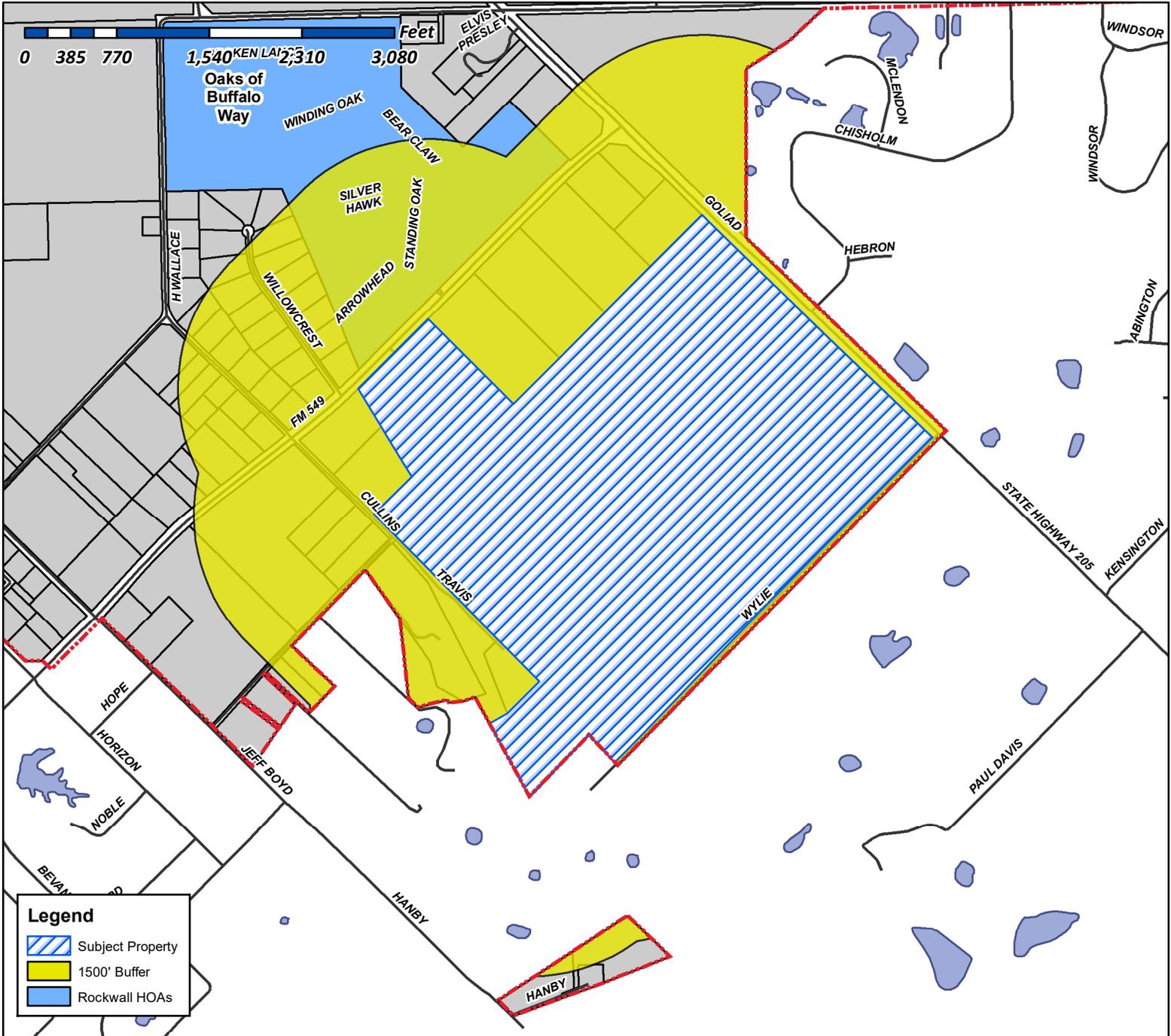




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

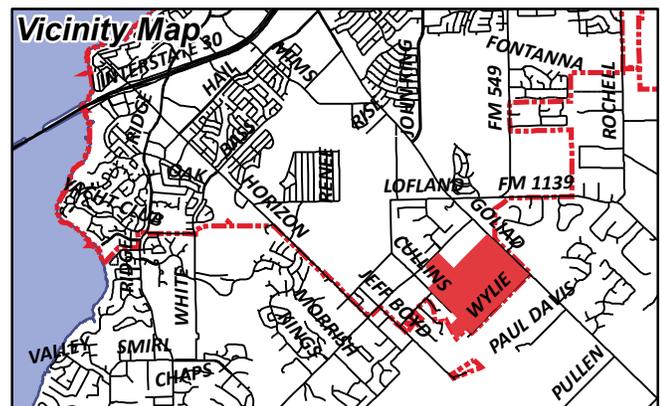
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2019-005  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SWC of FM-549 & SH-205

**Date Created:** 3/15/2019

**For Questions on this Case Call** (972) 771-7745



**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Friday, March 22, 2019 2:17:00 PM  
**Attachments:** [PUBLIC NOTICE.PDF](#)  
[HOA Notification Map \(03.15.2019\).pdf](#)

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To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner **March 22, 2019**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 4/9/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday 4/15/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at

<https://sites.google.com/site/rockwallplanning/development/development-cases>

**Z2019-005- Hold a public hearing to discuss and consider a request by Kent Donahue of Donahue Development Corporation on behalf of the owner Rockwall Highgate LTD for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses on a 264.510-acre tract of land identified as Tracts 17-13 [50.0-acres], 17-14 [26.452-acres], 17-15 [134.33-acres], 17-16 [43.6-acres], & 40-8 [8.79-acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the east side of SH-205 (S. Goliad Street) south of the intersection of SH-205 and FM-549, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[lmorales@rockwall.com](mailto:lmorales@rockwall.com) | <http://www.rockwall.com/planning/>



ROCKWALL HIGHGATE LTD  
C/O SCOTT ASBURY  
13155 NOEL RD # 900  
DALLAS, TX 75240

RANEY GARY T  
150 WILLOWCREST DRIVE  
ROCKWALL, TX 75032

HADDOCK HOWARD J & JOAN W TRUSTEES  
HADDOCK FAMILY LIVING TRUST  
155 WILLOWCREST  
ROCKWALL, TX 75032

CONFIDENTIAL  
200 WILLOWCREST  
ROCKWALL, TX 75032

MUELLER JOHN HERMAN AND MELANIE KAY  
ANN BEAR-MUELLER  
201 WILLOWCREST LN  
ROCKWALL, TX 75032

RUCKER ROY LYDELL AND MONIFA  
2155 ARROWHEAD CT  
ROCKWALL, TX 75032

GRAHAM M TODD AND SHANNA R  
2160 ARROWHEAD COURT  
ROCKWALL, TX 75032

FLEMING KATHI  
2165 ARROWHEAD CT  
ROCKWALL, TX 75032

BURZAIR EDWARD C & MARCIA Y  
2175 ARROWHEAD CT  
ROCKWALL, TX 75032

GREEN JACKIE & TAMI  
2180 ARROWHEAD CT  
ROCKWALL, TX 75032

RUMMEL STEVEN DAVID AND JANET L  
2230 ARROWHEAD CT  
ROCKWALL, TX 75032

JOHNSON BILLY RAY & JENNIFER REINHARDT  
2235 ARROWHEAD CT  
ROCKWALL, TX 75032

ROCKWALL 205 INVESTORS LLC  
2701 SUNSET RIDGE SUITE 607  
ROCKWALL, TX 75032

101 HUBBARD DR LLC  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

CURRENT RESIDENT  
326 CULLINS RD  
ROCKWALL, TX 75032

LEE SHERRIE  
363 CULLINS RD  
ROCKWALL, TX 75032

TRAVIS ALAN D  
403 TRAVIS LN  
ROCKWALL, TX 75032

TRAVIS ALAN D  
403 TRAVIS LN  
ROCKWALL, TX 75032

PRICE BOBBY DALE & BRETТА JEAN  
453 CULLINS RD  
ROCKWALL, TX 75032

ZEB MOHIUDIN DR &  
NASREEN ZEB  
5128 S STATE HIGHWAY 205  
ROCKWALL, TX 75032

CURRENT RESIDENT  
5133 S FM549  
ROCKWALL, TX 75032

BLACKWOOD SCOTT W & GLENITA G  
5205 S FM 549  
ROCKWALL, TX 75032

HEAGNEY SCOTT AND LISA  
5295 STANDING OAK LN  
ROCKWALL, TX 75032

KESSLER JAMES AND ANGELA  
5297 SOUTH FM 549  
ROCKWALL, TX 75032

HOPE LESLIE AND DARYL  
530 CULLINS RD  
ROCKWALL, TX 75032

RENTA LARRY J & VICKI  
5315 STANDING OAK LN  
ROCKWALL, TX 75032

WILSON BRET A & LESLIE  
535 CULLINS RD  
ROCKWALL, TX 75032

BARRICK CODY ANDREW  
5459 S. FM 549  
ROCKWALL, TX 75032

CURRENT RESIDENT  
5565 S FM549  
ROCKWALL, TX 75032

WESTRUP CAROLE LYNN  
570 CULLINS RD  
ROCKWALL, TX 75032

POPE TONY W & KARREN L  
626 E CULLINS ROAD  
ROCKWALL, TX 75032

BYRD GARY ETUX  
707 CULLINS RD  
ROCKWALL, TX 75032



Civil Engineering  
Surveying  
Water Resources Management  
Construction Management  
Environmental Consulting  
Land Planning

March 15, 2019

City of Rockwall  
Planning Department  
385 S Goliad  
Rockwall, TX 75087

RE: Proposed +/-545 Lot Residential PD & Regional Park  
Located @ South Corner of FM 549 & SH 205

Dear Staff,

The subject development will consist of +/-545 single family lots and a +/-94 Acre Regional Park located on a 264.5 acre tract. The Concept Plan included with this submittal is representative of our vision of the development. Our team is currently working with the City's Parks Department on general programming for the Regional Park to identify a yearly maintenance budget as requested by Council. The proposed Park area within the flood plain is currently accessible via existing equestrian trails paralleling the creek. Please feel free to contact us if you have any questions regarding our project or application.

Thank you,

  
Brian Bridgewater, P.E.  
Manhard Consulting

**Development Standards.**

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the Permissible Use Charts contained in Article IV, Permissible Uses, of the Unified Development Code (UDC), are allowed on the Subject Property.
  
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit B and stated in Table 1 below. Allowances for changes to the quantity and locations of each lot type are permitted in conformance with the requirements listed below;

Table 1: Lot Composition

Lot Type	Minimum Lot Size	Minimum Lot Size	Dwelling Units	Dwelling %
A	60' x 120'	7,200	323	60%
B	70' x 130'	9,100	222	40%
Total Acreage – 265 acres			545 total Units (2.1 per acre)	

3. *Density and Dimensional Requirements.* The maximum permissible density for the Subject Property shall not exceed 2.1 dwelling units per gross acre of land. All lots shall conform to the standards depicted in Table 2 below and generally conform to Exhibit F of this ordinance.

Table 2: Lot Dimensional Requirements

Minimum Lot Width (1)	60'	70'
Minimum Lot Depth	120'	130'
Minimum Lot Area	7,200 SF	9,100 SF
Minimum Front Yard Setback (2) & (5)	20'	20'
Minimum Side Yard Setback	5'	5'
Minimum Side Yard Setback (Adjacent to Street) (2) & (5)	10'	10'
Maximum Height (3)	30'	30'
Minimum Rear Yard Setback (4)	20'	20'
Minimum Area / Dwelling Unit	2,000 SF	2,300 SF
Maximum Lot Coverage	65%	65%
Permitted Encroachment into Required Setbacks	Allowed	Allowed

General Notes:

- (1) The minimum lot width shall be measured at the Front Yard Building Setback
- (2) The location of the Front Yard Building Setback as measured from the front property line
- (3) The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single family home.
- (4) As measured from the rear yard property line
- (5) Porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks

4. *Building Standard.* All development shall adhere to the following building standards:

- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior facades of all buildings shall be 90%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, stucco, cast stone, and cementaceous fiberboard horizontal lap-siding (e.g. HardiBoard or Hardy Plank).
- (b) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation.* Garages may be oriented toward the street in a front entry configuration; however, the front façade of the garage must be situated a minimum of ten (10) feet behind the front façade of the primary structure or porch structure. In addition the following architectural elements must be included on all front entry homes:
  - 1) Divided bay garage doors
  - 2) Carriage style hardware and lighting
  - 3) Cedar clad garage doors
  - 4) Driveways must be constructed with ornamental stamped concrete brick pavers.

5. *Anti-Monotony Restrictions.* The development shall adhere to the following anti-monotony restrictions:

- (A) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least five (5) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
  - 1) Number of stories
  - 2) Permitted encroachment type and layout
  - 3) Roof type and layout
  - 4) Articulation of the front façade
- (B) Permitted encroachment (Porches) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (C) Each phase of the subdivision will allow for a maximum four (4) compatible roof Colors. All roof shingles shall be an architectural or dimensional shingle.

6. *Fencing Standards.* All individual residential fencing and walls shall be architecturally compatible with the design, materials, and colors of the primary structure on the same lot and meet the following standards:

- (A) No front yard fences allowed
- (B) *Corner Lots.* Corner lots shall utilize a wood fence that extends no further than the back (rear) corner of the house. The fence shall be a minimum of six (6) feet tall. The fence shall be located a minimum of five (5) feet from the sidewalk's edge.
- (C) *Rear Yard Fences.* Rear yard fences shall not extend forward, towards the front of the house, beyond the back (rear) corner of the house.
- (D) *Wood Fences.* All wood fences shall be constructed of a standard fencing material (minimum of ½" thickness or better; spruce fencing will not be allowed), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be stained and sealed with all pickets being placed on the "public side" facing the street. All wood fences shall be smooth-finished, free of burs and splinters, and be a maximum of six (6) feet in height.
- (E) *Wrought Iron/Tubular Steel.* Lots located along the perimeter of roadways, abutting open space, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (F) *Solid Fences (including wood fences).* All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

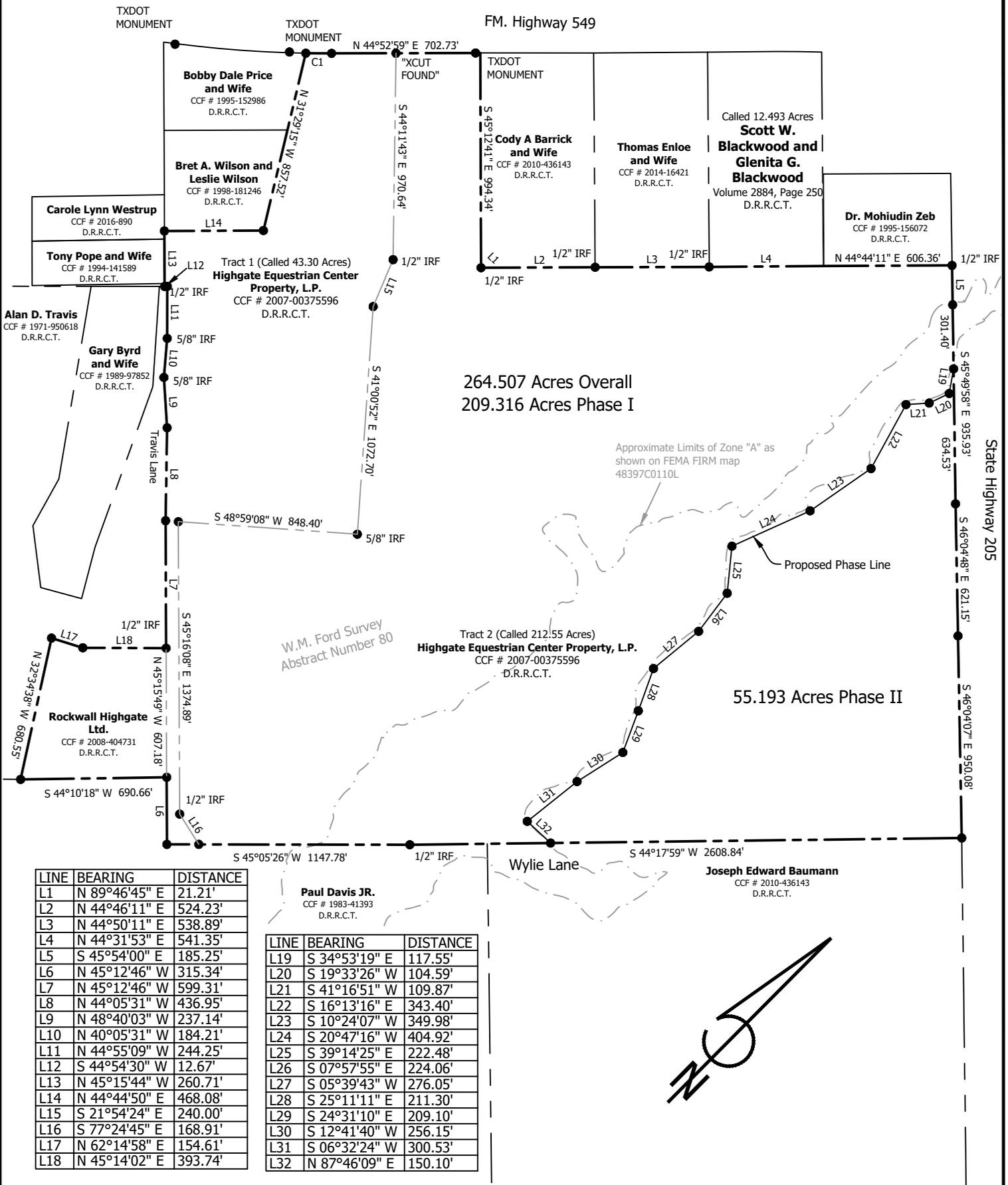
7. *Landscape and Hardscape Standards.*

- (A) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All canopy/shade trees planted within this development shall be a minimum of four (4) caliper inches in size and all accent/ornamental/under story trees shall be a minimum of four (4) feet in total height. The following tree species are approved for planting within the subdivision:
  - (1) Canopy/shade trees. Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak.
  - (2) Accent/ornamental/under story trees. Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (B) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).

- (1) *Landscape Buffer and Sidewalks (FM 549)*. A minimum of a 20 foot landscape buffer shall be provided along the frontage of FM 549 (outside of the required right-of-way dedication) and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30 inches and a maximum height of 48 inches. In addition, at least one canopy tree shall be planted per 50 feet of linear frontage. A minimum of a five (5) foot sidewalk shall be required along FM 549.
- (2) *Landscape Buffer (SH 205)*. A minimum of a 20 foot landscape buffer shall be provided along the frontage of SH 205 (outside of the required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30 inches and a maximum height of 48 inches. In addition, at least three (3) canopy trees and four (4) accent trees shall be planted per 100 feet of linear frontage.
- (C) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association.
- (D) *Street Trees and Hardscape*. Street tree and hardscape plans indicating the location of all sidewalk and trails shall be reviewed and approved with the PD Site Plan.
- (E) *Lighting*. Light poles shall not exceed 20 feet in total height. All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (F) *Sidewalks*. At a maximum, all sidewalks adjacent to a street shall begin two (2) feet behind the right-of-way line and be five (5) feet in overall width.
- (G) *Open Space*. The development shall consist of a minimum of 35 % open space and generally conform with the Open Space Plan contained in Exhibit \_\_\_ of this ordinance.
- (H) *Neighborhood signage*. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan.

- (I) *Homeowner's Association (HOA)*. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood open space and common areas, irrigation, landscaping, screening fences associated with this development.
  
- (J) *Variances*. The variance procedures and standards for approval that are set forth in The Unified Development Code shall apply to any application for variances to this ordinance.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	121.99'	5796.43'	1°12'21"	N 45°17'37" E	121.99'



**EXHIBIT SHOWING**  
**264.507 Acres of land situated in the W.M. Survey, Abstract Number 80, Rockwall County, Texas.**

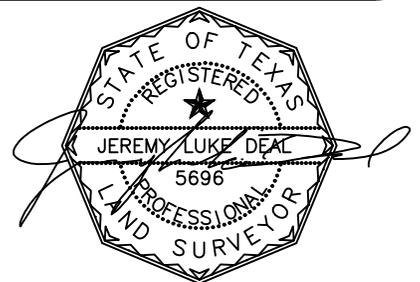
Project Number: 180164      Date: February 18, 2019  
Revised Date:  
Revision Notes:

Sheet 1 of 4



**REALSEARCH OF TEXAS, LLC**

P.O. Box 1006, Godley, Texas 76044  
Ph. 817-937-2655, jdeal@realsearch.org, www.realsearch.org  
"Thou shalt not remove thy neighbor's landmark" Deut. 19:14  
TBPLS Firm Registration # 10158200      TBPE Firm Registration # 17968



SCALE : 1" = 600'



## LEGAL DESCRIPTION (OVERALL)

BEING a 264.507 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southeast corner of said called 212.55 acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along the northwest line of said Wylie Lane, a distance of 2608.84 feet, to a 1/2" iron rod found;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said northwest line, a distance of 1147.78 feet, to the southwest corner of said called 43.30 acre tract,;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said East right-of-way line, a distance of 935.93 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 48 Seconds East, continuing along said East right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 07 Seconds East, continuing along said East right-of-way line, a distance of 950.08 feet, to the POINT OF BEGINNING, and containing 264.507 acres of land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 2 of 4



**REALSEARCH OF TEXAS, LLC**

P.O. Box 1006, Godley, Texas 76044

Ph. 817-937-2655, [jdeal@realsearch.org](mailto:jdeal@realsearch.org), [www.realsearch.org](http://www.realsearch.org)

"Thou shalt not remove thy neighbor's landmark" Deut. 19:14

TBPLS Firm Registration # 10158200

TBPE Firm Registration # 17968

## LEGAL DESCRIPTION (PHASE I)

BEING a 209.316 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southwest corner of said called 43.30 acre tract, being on the northwest line of Wylie Lane;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to a point for corner;

THENCE Southwesterly, departing said West right-of-way line and over and across said called 212.55 acre tract, the following calls:

South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;

South 19 Degrees 33 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;

South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;

South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;

South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;

South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;

South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;

South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;

South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;

South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;

South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;

South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;

South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;

North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along said North line, a distance of 665.41 feet, to a point for corner;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said North line, a distance of 1147.78 feet, to the POINT OF BEGINNING, and containing 209.316 acres of land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 3 of 4



### REALSEARCH OF TEXAS, LLC

P.O. Box 1006, Godley, Texas 76044

Ph. 817-937-2655, [jdeal@realsearch.org](mailto:jdeal@realsearch.org), [www.realsearch.org](http://www.realsearch.org)

"Thou shalt not remove thy neighbor's landmark" Deut. 19:14

TBPLS Firm Registration # 10158200

TBPE Firm Registration # 17968



## LEGAL DESCRIPTION (PHASE II)

BEING a 55.193 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron rod found at the northernmost corner of said called 212.55 acre tract, same being the easternmost corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas, and being on the southwest right-of-way line of State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said southwest right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to the POINT OF BEGINNING;

THENCE Southwesterly, departing said southwest right-of-way line and over and across said called 212.55 acre tract, the following calls:

South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;

South 19 Degrees 33 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;

South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;

South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;

South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;

South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;

South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;

South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;

South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;

South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;

South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;

South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;

South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;

North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE North 44 Degrees 17 Minutes 59 Seconds East, along the North line of said Wylie Lane, a distance of 2608.84 feet, to a point for corner at the intersection of said North line and the southwest right-of-way line of said State Highway No. 205;

THENCE North 46 Degrees 04 Minutes 07 Seconds East, departing said North line and along the said southwest right-of-way line, a distance of 950.08 feet, to a point for corner;

THENCE North 46 Degrees 04 Minutes 48 Seconds West, continuing along said southwest right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE North 45 Degrees 49 Minutes 58 Seconds West, continuing along said southwest right-of-way line, a distance of 634.53 feet, to the POINT OF BEGINNING, and containing 55.193 acres or land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 4 of 4



### REALSEARCH OF TEXAS, LLC

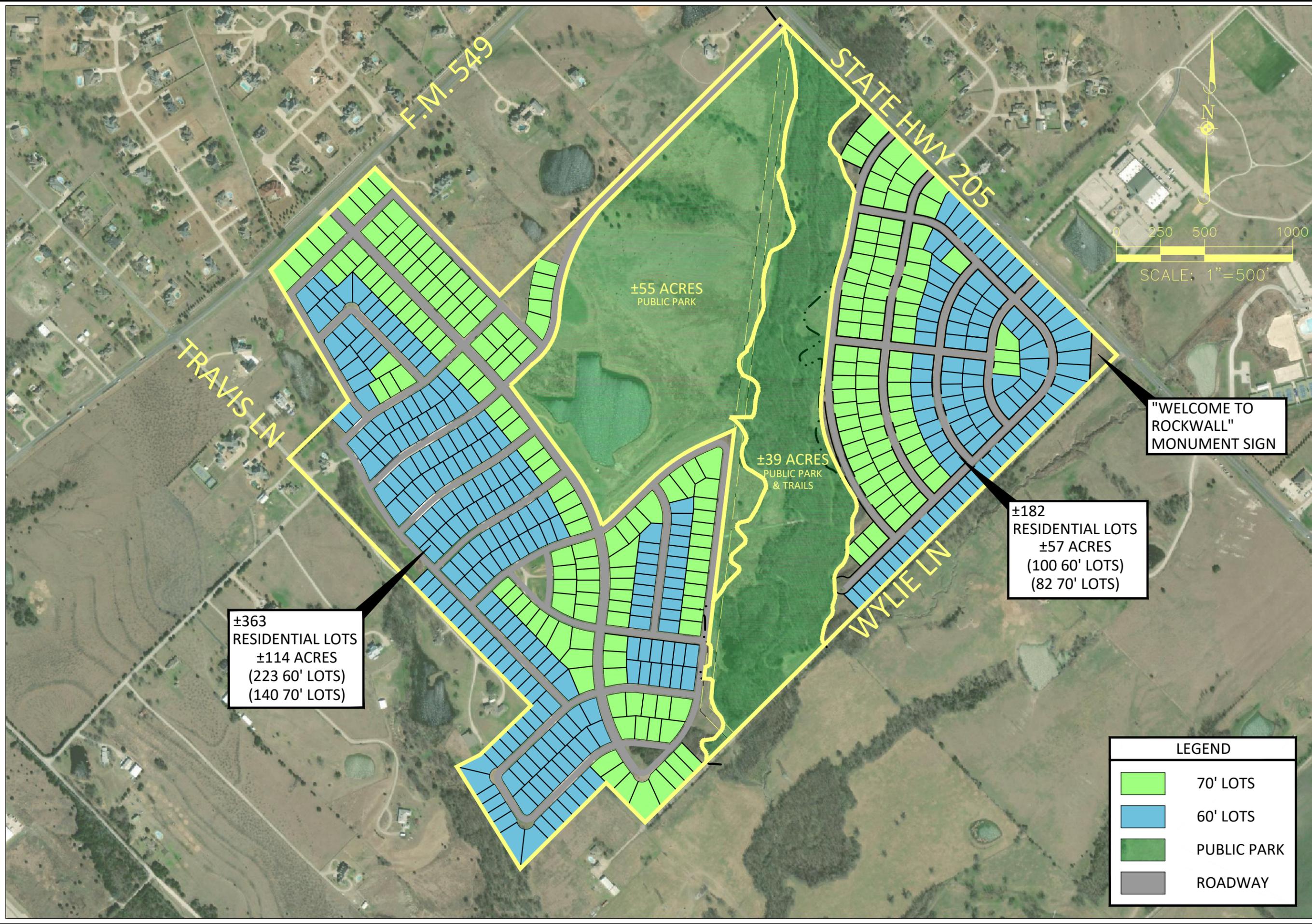
P.O. Box 1006, Godley, Texas 76044

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**HERITAGE PARK - ZONING CONCEPT PLAN**  
**SOUTHWEST CORNER OF F.M. 549 & S.H. 205**  
**ROCKWALL, ROCKWALL COUNTY, TEXAS**

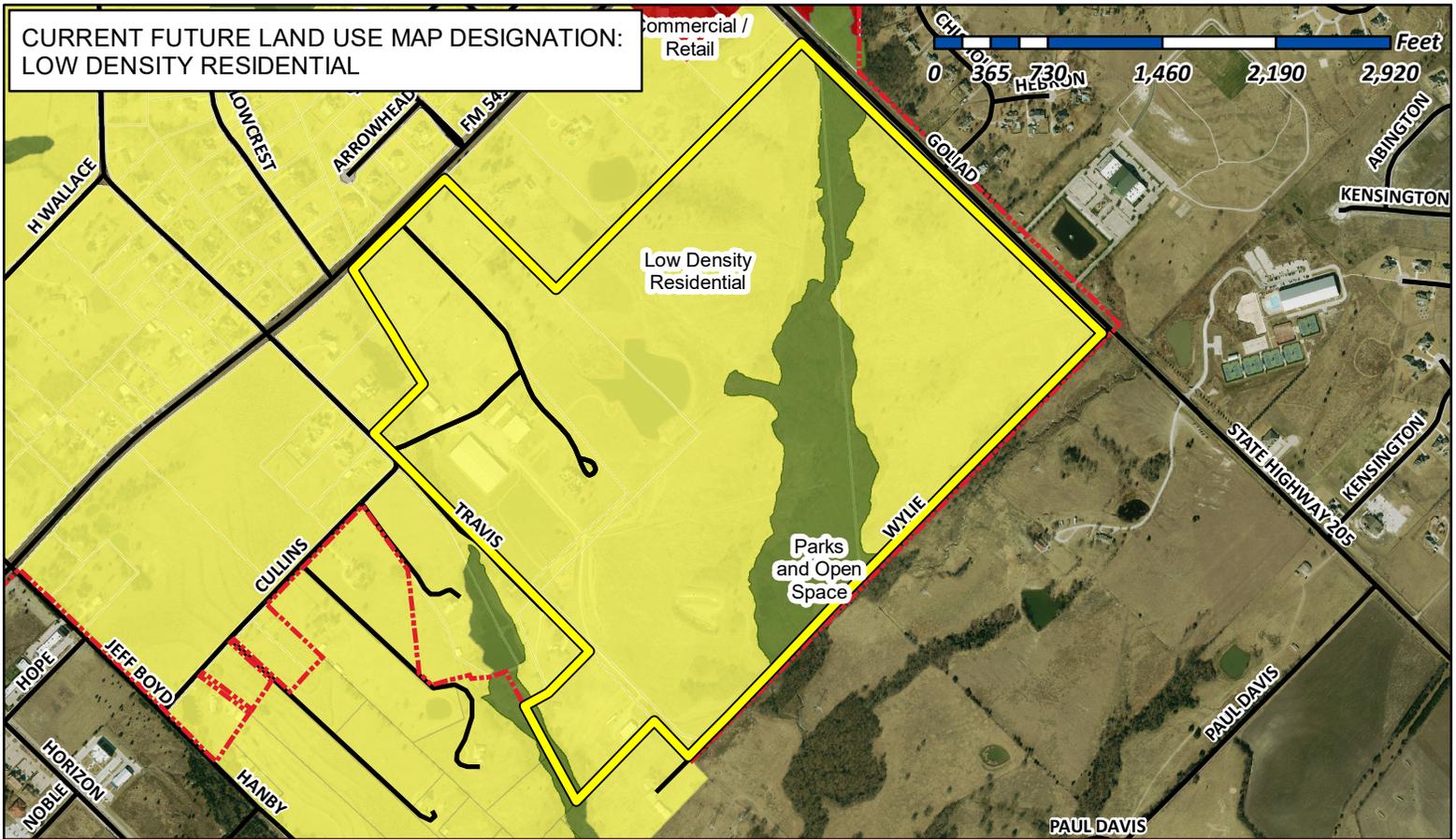
DRAWN BY: **TRB**      RELEASE DATE: **03/15/2019**      SCALE: **1" = 500'**      CODE: **611.011.001**

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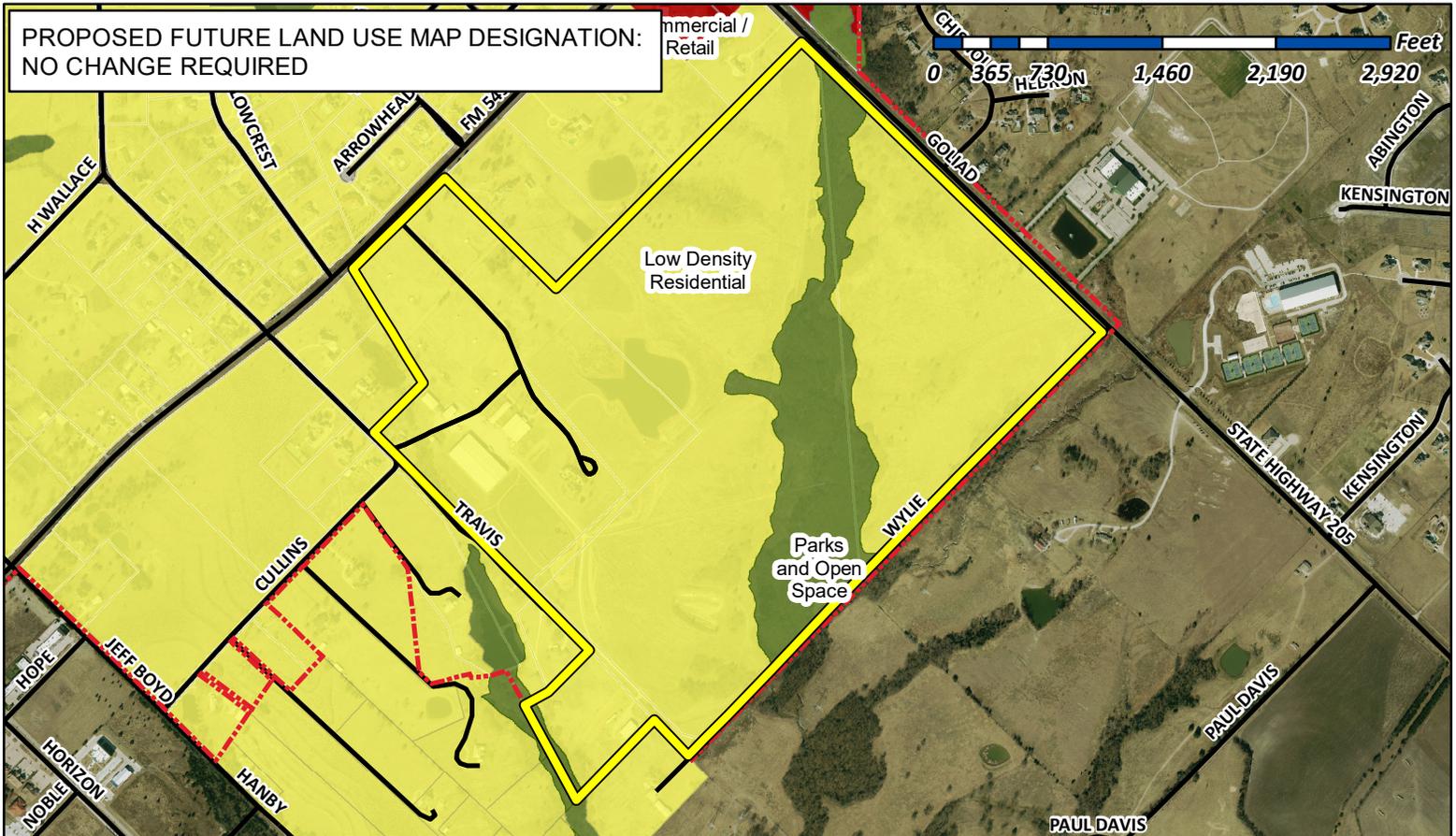
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CONSULTING™

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 Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
 Construction Managers | Environmental Scientists | Landscape Architects | Planners  
 Texas Board of Professional Engineers Registration No. F-18141

CURRENT FUTURE LAND USE MAP DESIGNATION:  
LOW DENSITY RESIDENTIAL



PROPOSED FUTURE LAND USE MAP DESIGNATION:  
NO CHANGE REQUIRED



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



# 18 SOUTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

## DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

2 **Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

3 **Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

4 **Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



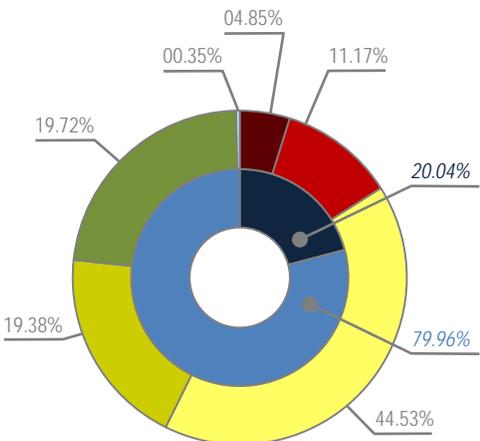
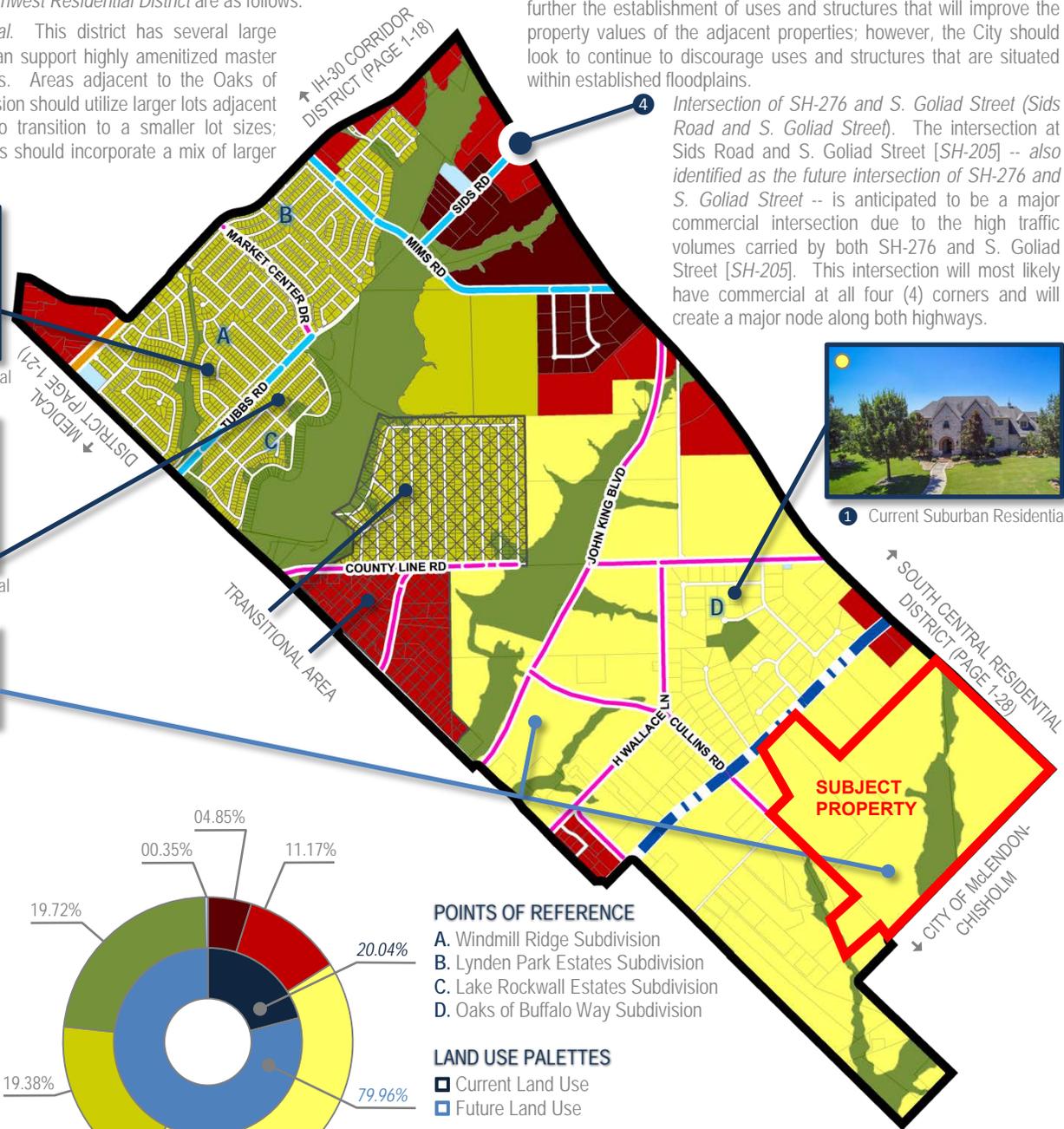
1 Current Suburban Residential



1 Current Suburban Residential



1 Future Suburban Residential



### POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

### LAND USE PALETTES

- Current Land Use
- Future Land Use

COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES

BUILD OUT	4,251
% OF ROCKWALL	10.95%
CURRENT	2,190
	188
	7,437

COMMERCIAL	20.04%
RESIDENTIAL	79.96%
MIXED USE	0.00%
MINOR COLLECTOR	
M4D	
M4U	
TXDOT 4D	

# FISCAL IMPACT ANALYSIS TOOL

**ASSUMPTIONS:** (1) All values are based on the Appraised Value and not the Market Value; (2) All Agricultural (AG) District land is assumed to be residential under Current Zoning and zoned in accordance to the Future Land Use Map under Current Zoning at Build Out.

**DISCLAIMER:** The information provided below is not a reasonable basis for the approval or denial of any zoning case. This is a general tool that is meant to assist elected and appointed officials in the understanding the potential fiscal impacts of a zoning request, and to track conformance to the Comprehensive Plan's targeted land use ratios of 80% residential to 20% commercial land use, which is intended to yield a 67% residential value to 33% commercial value.

**SUMMARY OF METHODOLOGY:** The methods used in this study are based on a rough fiscal impact analysis, and involve reducing the City's land values down to a per square footage cost to estimate potential impact on existing property value. The cost of service model is constructed around the City's current fiscal year costs versus the percentage of land area that is currently residential and non-residential. A per capita multiplier and average cost method were used to estimate sales tax.

**CASE NO.:** Z2019-005

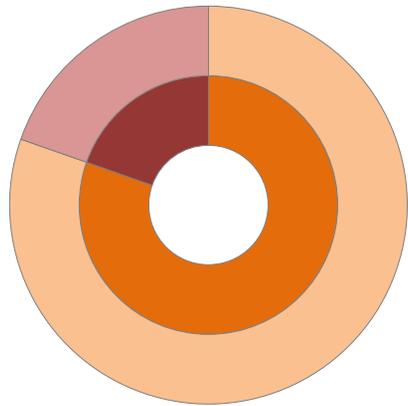
**CASE NAME:** Zoning Change (AG to PD) for Heritage Park

ZONING MAP



	PRESENT				PROPOSED				CHANGE				GOAL		
	LAND USE		LAND VALUE		LAND USE		LAND VALUE		LAND USE		LAND VALUE		ACREAGE	VALUE	DIFFERENCE
	ACRES	%	EST. PROP. VALUE	%	ACRES	%	EST. PROP. VALUE	%	CH. ACRES	% CHANGE	CHANGE IN VALUE	% CHANGE			
RESIDENTIAL	10,932.42	75.48%	\$ 4,084,912,315.77	75.90%	10,932.42	75.48%	4,358,226,434.86	77.06%	-	0.00%	273,314,119.09	5.08%	80%	67%	-10.06%
NON-RESIDENTIAL	3,552.00	24.52%	\$ 1,297,389,588.23	24.10%	3,552.00	24.52%	1,297,389,588.23	22.94%	-	0.00%	-	0.00%	20%	33%	-10.06%
	14,484.42	100.00%	\$ 5,382,301,904.00	100.00%	14,484.42	100.00%	5,655,616,023.09	100.00%			273,314,119.09	5.08%	100%	100%	
OPEN SPACE	2,487.57		\$ 380,531,381.26		2,487.57		\$ 381,558,120.00								
TOTAL	16,971.99		\$ 5,762,833,285.26		16,971.99		\$ 6,037,174,143.09								

PRESENT	
ACRES	%
RESIDENTIAL	19,687.93 80.37%
NON-RESIDENTIAL	4,809.14 19.63%
TOTAL	24,497.07 100.00%
OPEN SPACE	6,114.49
TOTAL	30,611.56
PROPOSED	
ACRES	%
RESIDENTIAL	19,687.93 80.37%
NON-RESIDENTIAL	4,809.14 19.63%
TOTAL	24,497.07 100.00%
OPEN SPACE	6,114.49
TOTAL	30,611.56
CHANGE	
ACRES	%
RESIDENTIAL	- 0.00%
NON-RESIDENTIAL	- 0.00%



FUTURE LAND USE MAP

## ESTIMATED COST/REVENUES

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
<b>BENCHMARKS</b>				
Residential Value	\$ 7,453,690.00	\$ 159,668,944.44	\$ 273,314,119.09	\$ 113,645,174.65
Non-Residential Value	\$ -	\$ -	\$ -	\$ -
Residential Acreage	264.51	264.51	264.51	\$ -
Non-Residential Acreage	-	-	-	\$ -
<b>ANNUAL REVENUES</b>				
Residential Revenues	\$ 29,971.29	\$ 642,405.12	\$ 1,106,099.73	\$ 463,694.61
Non-Residential Revenues	\$ -	\$ -	\$ -	\$ -
Direct Sales Tax Increase	\$ 28,561.94	\$ -	\$ -	\$ -
Indirect Sales Tax Increase	\$ -	\$ 89,426.38	\$ 243,463.32	\$ 154,036.94
Total Revenues	\$ 58,533.22	\$ 731,831.50	\$ 1,349,563.05	\$ 617,731.54
<b>ANNUAL EXPENDITURES</b>				
Cost of Community Service for Residential	\$ -	\$ (1,438,287.51)	\$ (3,584,932.10)	\$ (2,146,644.59)
Cost of Community Service for Non-Residential	\$ -	\$ -	\$ -	\$ -
Total Estimated Expenditures	\$ -	\$ (1,438,287.51)	\$ (3,584,932.10)	\$ (2,146,644.59)
<b>EST. ANN. COST/REVENUES</b>	<b>\$ 58,533.22</b>	<b>\$ (706,456.01)</b>	<b>\$ (2,235,369.06)</b>	<b>\$ (1,528,913.05)</b>
<b>OTHER BENCHMARKS</b>				
Additional Citizens Added to Population		614	1,531	917
Estimated Non-Resident Consumers in City		-	-	-

**NOTES:** The subject property has an agricultural exemption, which would heavily reduce the current estimated annual cost/revenues. It should also be pointed out that the model will always show residential property as running a deficit due to the community cost of service associated with residential land uses.

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 7 (SF-7) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 264.510-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 17-13, 17-14, 17-15, 17-16 & 40-8 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kent Donahue of Donahue Development Corporation on behalf of Rockwall Highgate, LTD for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses, on a 264.510-acre tract of land identified as Tracts 17-13 [50.00-Acres], 17-14 [26.452-Acres], 17-15 [134.33-Acres], 17-16 [43.60-Acres], & 40-8 [8.79-Acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas and more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, depicted in Exhibit 'C' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'C', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in Exhibit 'D' of this ordinance, attached

hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. An *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and an *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 7.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a

penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 8.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 9.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 10.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF MAY, 2019.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2019

2<sup>nd</sup> Reading: May 6, 2019

**Exhibit 'B':**  
*Legal Description and Survey*

*BEING* a 264.61-acre tract of land situated in the W. M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30-acre tract of land (*Tract 1*) and a called 212.55-acre tract of land (*Tract 2*) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's *File Number 2007-375596*, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, LTD., recorded in County Clerk's *File Number 2008-404731*, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

*BEGINNING* at the Southeast corner of said called 212.55-acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;  
*THENCE* South 44 Degrees 31 Minutes 24 Seconds West, along the northwest line of said Wylie Lane, a distance of 2609.49 feet, to a point for corner;

*THENCE* South 45 Degrees 18 Minutes 48 Seconds West, continuing along said northwest line, a distance of 1,147.99 feet, to the southwest corner of said called 43.30-acre tract;

*THENCE* North 45 Degrees 02 Minutes 31 Seconds West, departing said northwest line, and along the southwest line of said called 212.55-acre tract, a distance of 315.56-feet, to the easternmost corner of said called Rockwall Highgate tract;

*THENCE* South 44 Degrees 22 Minutes 37 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66-feet, to the southernmost corner of said Rockwall Highgate tract;

*THENCE* North 32 Degrees 22 Minutes 19 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55-feet, to the northwest corner of said Rockwall Highgate tract;

*THENCE* North 62 Degrees 32 Minutes 45 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 110.73-feet;

*THENCE* North 62 Degrees 13 Minutes 29 Seconds East, continuing along said northwest line, a distance of 43.88-feet;

*THENCE* North 45 Degrees 26 Minutes 21 Seconds East, continuing along said North line, a distance of 393.74-feet, to the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30-acre tract and being on the northeast line of Travis Lane;

*THENCE* Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls: North 45 Degrees 00 Minutes 29 Seconds West, a distance of 599.06-feet, to a point for corner;

North 43 Degrees 53 Minutes 14 Seconds West, a distance of 436.95-feet, to a point for corner;  
North 48 Degrees 27 Minutes 46 Seconds West, a distance of 237.14-feet, to a point for corner;  
North 39 Degrees 48 Minutes 03 Seconds West, a distance of 184.23-feet, to a point for corner;  
North 44 Degrees 40 Minutes 42 Seconds West, a distance of 244.69-feet, to a point for corner;  
South 45 Degrees 08 Minutes 57 Seconds West, a distance of 12.69-feet, to a point for corner;

North 45 Degrees 01 Minutes 43 Seconds West, a distance of 260.06-feet, to the lower northwest corner of said called 43.30-acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's *File Number 1998- 181246*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 58 Minutes 51 Seconds East, departing said East line and along the lower North line of said called 43.30-acre tract, being common with the South line of said Wilson tract, a distance of 467.61-feet, to the southeast corner of said Wilson tract;

**Exhibit 'B':**  
*Legal Description and Survey*

North 31 Degrees 15 Minutes 14 Seconds West, departing said common line and along the upper West line of said called 43.30-acre tract, a distance of 857.52-feet, to the northwest corner of said called 43.30-acre tract, being on the South right-of-way line of FM Highway No. 549;

*THENCE* North 45 Degrees 31 Minutes 38 Seconds East, a long said South right-of-way line, a distance of 121.99-feet, to a point for corner;

North 45 Degrees 00 Minutes 31 Seconds East, continuing a long said South right-of-way line, a distance of 703.71-feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's *File Number 2010-436143*, Deed Records, Rockwall County, Texas;

*THENCE* South 45 Degrees 05 Minutes 09 Seconds East, departing said South right-of-way line and along the upper East line of said called 2 12.55-acre tract, being common with the West line of said Barrick tract, a distance of 995.00-feet, to a point for corner;

*THENCE* South 86 Degrees 43 Minutes 47 Seconds East, continuing along said common line, a distance of 21.21-feet, to a point for corner;

*THENCE* North 44 Degrees 53 Minutes 41 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said Barrick tract, a distance of 524.11-feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's *File Number 2014-16421*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 59 Minutes 41 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said Enloe tract, a distance of 539.08-feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493-acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in *Volume 2884, Page 250*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 44 Minutes 22 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said called 12.493-acre tract, a distance of 541.09-feet, to the southeast corner of said called 12.493-acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's *File Number 1995-156072*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 56 Minutes 40 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said Zeb tract, a distance of 606.32-feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

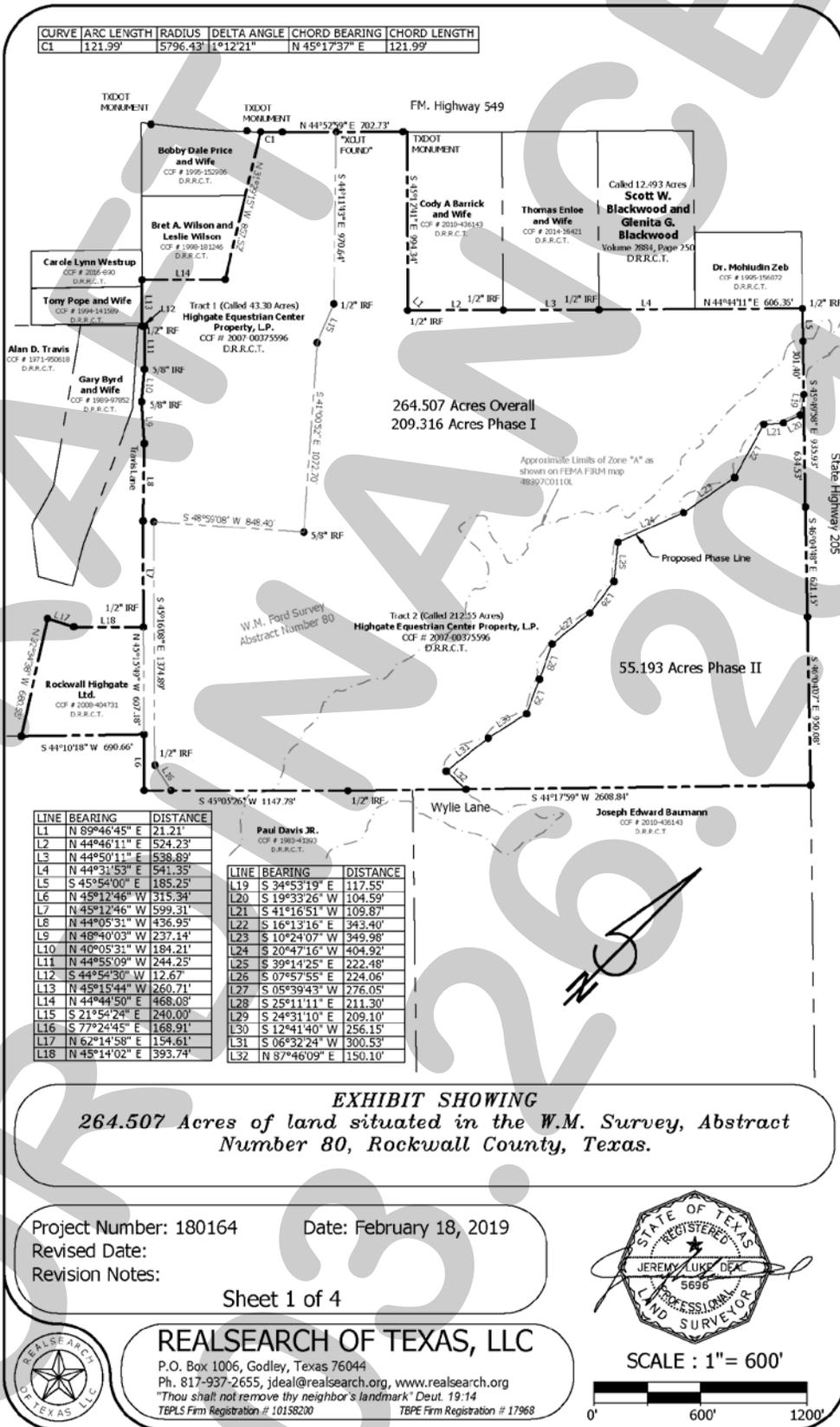
*THENCE* South 45 Degrees 37 Minutes 13 Seconds East, departing said common line and along said West right-of-way line, a distance of 1,121.18-feet, to a point for corner;

*THENCE* South 45 Degrees 51 Minutes 23 Seconds East, continuing along said East right-of-way line, a distance of 621.15-feet, to a point for corner;

*THENCE* South 45 Degrees 50 Minutes 42 Seconds East, continuing a long said East right-of-way line, a distance of 951.25-feet, to the *POINT OF BEGINNING*, and containing 264.61-acres of land, more or less.

# Exhibit 'B': Legal Description and Survey

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	121.39'	5796.43'	1°12'21"	N 45°17'37" E	121.99'

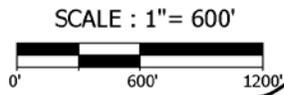


**EXHIBIT SHOWING**  
264.507 Acres of land situated in the W.M. Survey, Abstract Number 80, Rockwall County, Texas.

Project Number: 180164      Date: February 18, 2019  
 Revised Date:  
 Revision Notes:  
 Sheet 1 of 4



**REALSEARCH OF TEXAS, LLC**  
 P.O. Box 1006, Godley, Texas 76044  
 Ph. 817-937-2655, jdeal@realsearch.org, www.realsearch.org  
 "Thou shalt not remove thy neighbor's landmark" Deut. 19:14  
 TBPLS Firm Registration # 10158200      TBPE Firm Registration # 17968



**Exhibit 'B':**  
**Legal Description and Survey**

**LEGAL DESCRIPTION (OVERALL)**

BEING a 264.507 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southeast corner of said called 212.55 acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along the northwest line of said Wylie Lane, a distance of 2608.84 feet, to a 1/2" iron rod found;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said northwest line, a distance of 1147.78 feet, to the southwest corner of said called 43.30 acre tract;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 660.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 194.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barick tract, a distance of 524.23 feet, to the southeast corner of said Barick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said East right-of-way line, a distance of 935.93 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 48 Seconds East, continuing along said East right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 07 Seconds East, continuing along said East right-of-way line, a distance of 950.08 feet, to the POINT OF BEGINNING, and containing 264.507 acres of land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 2 of 4



**REALSEARCH OF TEXAS, LLC**

P.O. Box 1006, Godley, Texas 76044

Ph. 817-937-2655, jdeal@realsearch.org, www.realsearch.org

"Thou shalt not remove thy neighbor's landmark" Deut. 19:14

TBPLS Firm Registration #: 10158200

TBPE Firm Registration #: 17968

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**Exhibit 'B':**  
**Legal Description and Survey**

**LEGAL DESCRIPTION (PHASE I)**

BEING a 209.316 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southwest corner of said called 43.30 acre tract, being on the northwest line of Wylie Lane;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

- North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;
- North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;
- North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;
- North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;
- North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;
- South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;
- North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2834, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to a point for corner;

THENCE Southwesterly, departing said West right-of-way line and over and across said called 212.55 acre tract, the following calls:

- South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;
- South 19 Degrees 38 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;
- South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;
- South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;
- South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;
- South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;
- South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;
- South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;
- South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;
- South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;
- South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;
- South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;
- South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;
- North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along said North line, a distance of 665.41 feet, to a point for corner;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said North line, a distance of 1147.78 feet, to the POINT OF BEGINNING, and containing 209.316 acres of land, more or less.

Project Number: 180164  
Revised Date:  
Revision Notes:

Date: February 18, 2019

Sheet 3 of 4



**REALSEARCH OF TEXAS, LLC**

P.O. Box 1006, Godley, Texas 76044  
Ph. 817-937-2655, jdeal@realsearch.org, www.realsearch.org  
*"Thou shalt not remove thy neighbor's landmark" Deut. 19:14*  
TBPLS Firm Registration #: 10158200 TBPE Firm Registration #: 17968



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**Exhibit 'B':**  
**Legal Description and Survey**

LEGAL DESCRIPTION (PHASE II)

BEING a 55.193 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron rod found at the northernmost corner of said called 212.55 acre tract, same being the easternmost corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas, and being on the southwest right-of-way line of State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said southwest right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to the POINT OF BEGINNING;

THENCE Southwesterly, departing said southwest right-of-way line and over and across said called 212.55 acre tract, the following calls:

South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;

South 19 Degrees 33 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;

South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;

South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;

South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;

South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;

South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;

South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;

South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;

South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;

South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;

South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;

South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;

North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE North 44 Degrees 17 Minutes 59 Seconds East, along the North line of said Wylie Lane, a distance of 2608.84 feet, to a point for corner at the intersection of said North line and the southwest right-of-way line of said State Highway No. 205;

THENCE North 46 Degrees 04 Minutes 07 Seconds East, departing said North line and along the said southwest right-of-way line, a distance of 950.08 feet, to a point for corner;

THENCE North 46 Degrees 04 Minutes 48 Seconds West, continuing along said southwest right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE North 45 Degrees 49 Minutes 58 Seconds West, continuing along said southwest right-of-way line, a distance of 634.53 feet, to the POINT OF BEGINNING, and containing 55.193 acres or land, more or less.

Project Number: 180164  
Revised Date:  
Revision Notes:

Date: February 18, 2019

Sheet 4 of 4



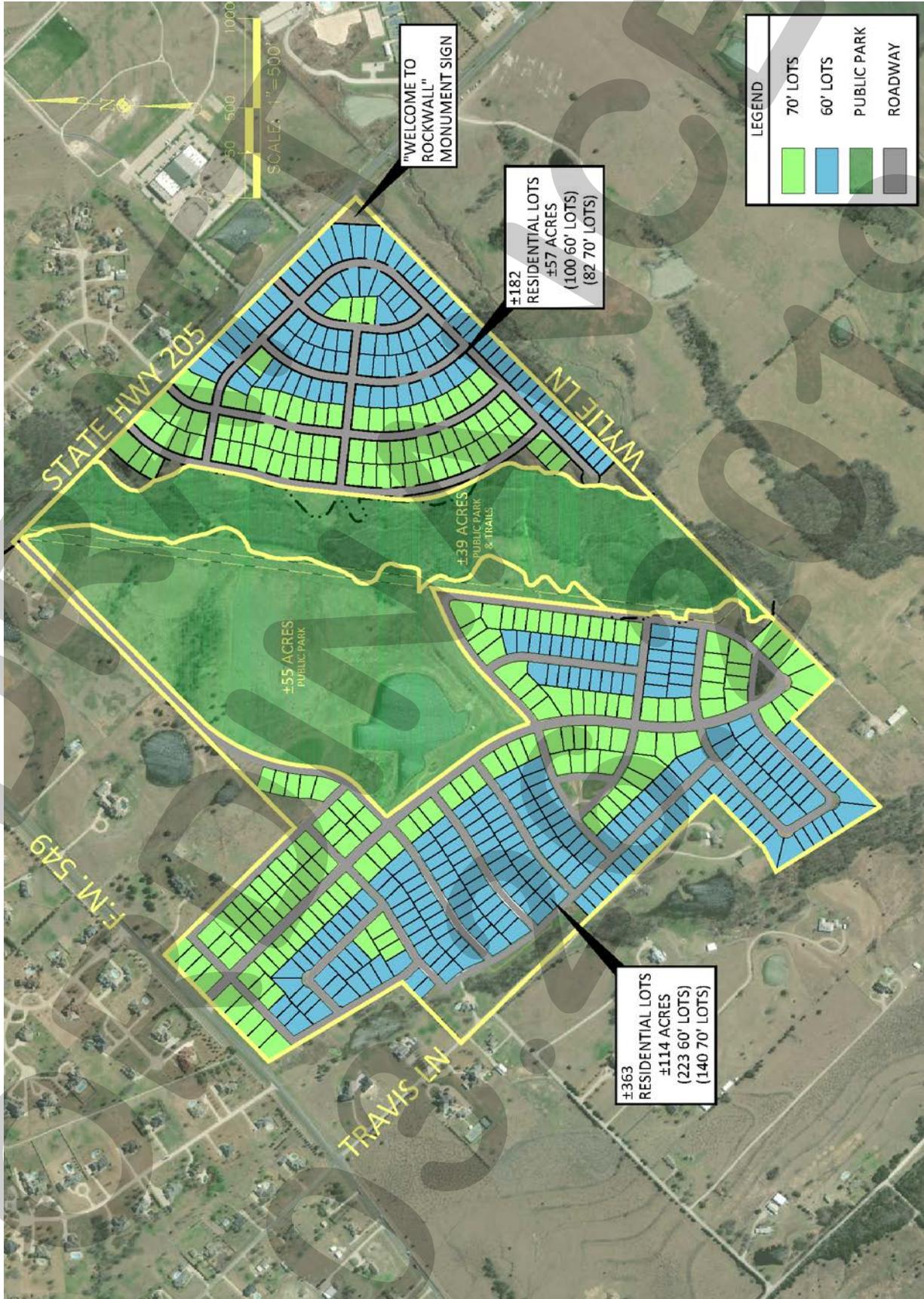
**REALSEARCH OF TEXAS, LLC**

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Ph. 817-937-2655, [jdeal@realsearch.org](mailto:jdeal@realsearch.org), [www.realsearch.org](http://www.realsearch.org)  
*"Thou shalt not remove thy neighbor's landmark" Deut. 19:14*  
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**Exhibit 'C':  
Concept Plan**



**Exhibit 'D':  
Density and Development Standards**

**Density and Development Standards.**

1. *Permitted Uses.* Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,200 SF	323	59.27%
B	70' x 130'	9,100 SF	222	40.73%
<i>Maximum Permitted Units:</i>			545	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article V, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.10 dwelling units per gross acre of land; however, in no case should the proposed development exceed 545 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	A	B
<i>Minimum Lot Width</i> <sup>(1)</sup>	60'	70'
<i>Minimum Lot Depth</i>	120'	130'
<i>Minimum Lot Area</i>	7,200 SF	9,100 SF
<i>Minimum Front Yard Setback</i> <sup>(2) &amp; (5)</sup>	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2) &amp; (5)</sup>	10'	10'
<i>Minimum Length of Driveway Pavement</i>	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	20'	20'
<i>Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]</i>	2,000 SF	2,300 SF
<i>Maximum Lot Coverage</i>	65%	65%

General Notes:

1. The minimum lot width shall be measured at the *Front Yard Building Setback*.
2. The location of the *Front Yard Building Setback* as measured from the front property line.
3. The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
4. As measured from the rear yard property line.
5. Porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*.

4. *Building Standards.* All development shall adhere to the following building standards:

(a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%, with front façades being 100% masonry. For the

**Exhibit 'D':**

*Density and Development Standards*

purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted through a Specific Use Permit (SUP) only. Siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible from any major thoroughfare (i.e. *John King Boulevard* and *Horizon Road* on Exhibit 'B' of this ordinance).

- (b) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation.* Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a flat, front entry configuration (i.e. *even with the front façade of the primary structure*). Garages utilizing a *traditional swing* (or *j-swing*) are permitted to have a second garage door facing the street behind the front façade of the primary structure. Garages configured in a flat, front entry configuration shall be setback a minimum of ten (10) feet from the front façade of the primary structure. All garage doors shall be required to have upgraded finishes that consist of the following:
  - (1) *Divided Garage Bay Doors*
  - (2) *Carriage Style Hardware and Lighting Elements*
  - (3) *Cedar Clad Garage Doors*

In addition, all driveways must be constructed with ornamental stamped concreted and/or brick pavers. All garage configurations not conforming to this section shall meet the requirements of Article VI, *Parking and Loading*, of the Unified Development Code (UDC).

- 5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see the illustration below).

Table 3 : Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	60' x 120'	(1), (2), (3)
B	70' x 130'	(1), (2), (3)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-549 or SH-205 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

**Exhibit 'D':**  
*Density and Development Standards*

- (a) Number of Stories
  - (b) Permitted Encroachment Type and Layout
  - (c) Roof Type and Layout
  - (d) Articulation of the Front Façade
- (3) Permitted encroachment (*i.e. porches*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

*Illustration 1: Properties line up on the opposite side of the street. Where RED is the subject property.*



*Illustration 2: Properties do not line up on opposite side of the street. Where RED is the subject property.*



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

- (a) **Front Yard Fences.** Front yard fences shall be prohibited.

**Exhibit 'D':**  
*Density and Development Standards*

- (b) *Wood Fences.* All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters.
- (c) *Wrought Iron/Tubular Steel.* Lots located along the perimeter of roadways (*i.e. SH-205, FM-549 and Wylie Lane*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) *Corner Lots.* Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) *Solid Fences (including Wood Fences).* All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

**7. Landscape and Hardscape Standards.**

- (1) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless specifically provided below. The following tree species are approved for planting within this subdivision:
  - (a) *Canopy/Shade Trees.* Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Allen Elm, Chinese Pistachio, Shumard Oak, Sycamore, Live Oak and Burr Oak.
  - (b) *Accent/Ornamental/Under-Story Trees.* Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
  - (a) *Landscape Buffer and Sidewalks (FM-549).* A minimum of a 50-foot landscape buffer shall be provided along FM-549 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.
  - (b) *Landscape Buffer and Sidewalks (SH-205).* A minimum of a 50-foot landscape buffer shall be provided along SH-205 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or

## Exhibit 'D':

### *Density and Development Standards*

shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.

- (c) *Landscape Buffers (All Other Roadways)*. A minimum of a 10-foot landscape buffer shall be provided along roadways (*outside of and beyond any required right-of-way dedication*), and shall incorporate one (1) canopy tree per 50-feet of linear frontage.
- (3) *Street Trees*. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (4) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (5) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
8. *Street*. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
9. *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
10. *Sidewalks*. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
11. *Buried Utilities*. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
12. *Open Space*. The development shall consist of a minimum of 30% open space (*or a minimum of 79.353-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (*including landscape buffers*) shall be maintained by the Homeowner's Association (HOA).

**Exhibit 'D':**  
*Density and Development Standards*

13. *Neighborhood Signage and Enhancements.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
14. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), irrigation, landscaping, screening fences and neighborhood signage associated with this development.
15. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** April 9, 2019  
**APPLICANT:** Kent Donahue, *Donahue Development Corporation*  
**CASE NUMBER:** Z2019-005; *Zoning Change (AG to PD) for Heritage Park*

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### **SUMMARY**

Hold a public hearing to discuss and consider a request by Kent Donahue of Donahue Development Corporation on behalf of the owner Rockwall Highgate LTD for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses on a 264.510-acre tract of land identified as Tracts 17-13 [50.0-acres], 17-14 [26.452-acres], 17-15 [134.33-acres], 17-16 [43.6-acres], & 40-8 [8.79-acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the east side of SH-205 (S. Goliad Street) south of the intersection of SH-205 and FM-549, and take any action necessary.

### **BACKGROUND**

The subject property is a 264.51-acre tract of land that was annexed into the City on November 4, 2010 by *Ordinance No. 10-27*. At the time of annexation, the subject property was zoned as an Agricultural (AG) District, and no changes to this designation have been approved since its adoption. According to the Rockwall Central Appraisal District (RCAD), there is an existing 8,567 SF single-family home, a 1,568 SF mobile home, an ~61,200 SF metal building, and various other commercial buildings currently situated on the property. The subject property is currently being operated as a residence and equestrian center.

### **PURPOSE**

On March 15, 2019, the applicant -- *Kent Donahue of Donahue Development Corporation* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 7 (SF-7) District land uses. Specifically, the applicant was proposing to entitle the subject property for a 545-lot residential subdivision that will incorporate lots that range in size from 60' x 120' (*i.e. 7,200 SF minimum*) to 70' x 130' (*i.e. 9,100 SF minimum*), and have approximately 94.00-acres of open space and public parkland. The Planned Development District would be subject to Single-Family 7 (SF-7) District land uses and development standards (*unless specifically indicated in the Planned Development District ordinance*). In conjunction with this zoning request, the applicant has also submitted a petition for a Public Improvement District (PID), which the City Council will hold a public hearing for on April 15, 2019 prior to the public hearing for this zoning case.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located between FM-549, SH-205 (S. Goliad Street), Travis Lane, and Wylie Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is FM-549, which is identified as a TXDOT4D (*Texas Department of Transportation [TXDOT] roadway, four [4] lane, divided roadway*) on the Master Thoroughfare Plan. Beyond this thoroughfare is the Oaks of Buffalo Way and Willowcrest

Estates Subdivisions, which consist of 91 single-family residential lots. These subdivisions are zoned Single Family Estate 1.5 (SFE-1.5) District and Planned Development District 51 (PD-51) for single-family estate land uses.

South: Directly south of the subject property are the corporate limits of the City of Rockwall, and the corporate limits of the City of McLendon-Chisholm. Beyond this are two (2) vacant tracts of land situated within the City of McLendon-Chisholm and its Extraterritorial Jurisdiction (ETJ).

East: Directly east of the subject property is SH-205 (*S. Goliad Street*), which is identified as a TXDOT4D (*Texas Department of Transportation [TXDOT] roadway, four [4] lane, divided roadway*) on the Master Thoroughfare Plan. Beyond this roadway are the corporate limits of the City of Rockwall, followed by a single-family subdivision situated within McLendon-Chisholm's Extraterritorial Jurisdiction (ETJ).

West: Directly west of the subject property is Travis Lane, which is identified as an R2U (*residential, two [2] lane, undivided roadways*) on the City's Master Thoroughfare Plan. Beyond this are several residential properties zoned Agricultural (AG) District.

### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 264.51-acre subject property will consist of 545 single-family residential lots that will be broken down into two (2) lot types (*i.e. 60' x 120' & 70' x 130'*). Specifically, the development will incorporate 323, 60' x 120' (*i.e. 7,200 SF*) lots and 222, 70' x 130' (*i.e. 9,100 SF*) lots, and have an overall average lot size of 7,973.94 SF. The proposed minimum area of each dwelling unit (*i.e. air-conditioned space*) will vary based on the lot size and range from a minimum of 2,000 SF to 2,300 SF. The proposed housing product will exceed the City's minimum masonry and anti-monotony requirements, and will allow both *traditional swing (i.e. j-swing)* and *front entry garages (i.e. setback a minimum of ten [10] feet from the front façade of the primary structure)*. The overall proposed density for the development will be 2.10 dwelling units per acre.

In addition to the 545 residential lots, the concept plan also depicts the incorporation of a ~94.00-acre public park with trails. Approximately 39.00-acres of this area will be situated within the floodplain. Located within the remaining ~55.00-acres of parkland (*i.e. the area outside of the floodplain*) is a pond that is shaped like the State of Texas. The applicant is proposing to create a unique amenity around that pond that will break down the area adjacent to the pond into small areas representing the various ecoregions for the State of Texas (*i.e. Hills & Highlands, Prairies & Plains, Coastal Waters, and Woods & Streams*). The ecoregions will incorporate hardscape and landscape features that are reflective of these areas, and integrate amenities and play structures (*e.g. kayak launch, playground equipment, pavilions, etc.*) into each small area plan to increase the utility of the public park. It should also be noted that the applicant will incorporate parking areas to support the regional park.

Another proposal by the applicant was to construct *Gateway Monumentation Signage* adjacent to the City's corporate boundaries on SH-205 (*S. Goliad Street*). In response to this proposal staff has included images of the monumentation signage that was approved for the SH-66 entryway (*approved with Case No. SP2018-001*), and included the statement that "(t)he proposed signage shall be similar to or better than the City's existing gateway monumentation signage ..." This will be reviewed by the Architectural Review Board for recommendation to the Planning and Zoning Commission as part of the PD Site Plan; however, the City Council shall have the final approval authority for the proposed signage. Based on the applicant's request for a Public Improvement District (PID) staff has required that if the applicant's request is approved the park/trail system and gateway monumentation signage shall be constructed with the first phase of the development.

The proposed Planned Development District will be subject to the land uses and requirements stipulated for the Single Family 7 (SF-7) District unless specifically called out in the Planned

Development District ordinance. A summary of the proposed development standards for each lot type is as follows:

<i>Lot Type (see Concept Plan) ►</i>	<b>A</b>	<b>B</b>
<i>Minimum Lot Width <sup>(1)</sup></i>	60'	70'
<i>Minimum Lot Depth</i>	120'	130'
<i>Minimum Lot Area</i>	7,200 SF	9,100 SF
<i>Minimum Front Yard Setback <sup>(2) &amp; (5)</sup></i>	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street) <sup>(2) &amp; (5)</sup></i>	10'	10'
<i>Minimum Length of Driveway Pavement</i>	20'	20'
<i>Maximum Height <sup>(3)</sup></i>	36'	36'
<i>Minimum Rear Yard Setback <sup>(4)</sup></i>	20'	20'
<i>Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]</i>	2,000 SF	2,300 SF
<i>Maximum Lot Coverage</i>	65%	65%

General Notes:

- <sup>1</sup>: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- <sup>2</sup>: The location of the *Front Yard Building Setback* as measured from the front property line.
- <sup>3</sup>: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- <sup>4</sup>: As measured from the rear yard property line.
- <sup>5</sup>: Porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*.

**INFRASTRUCTURE**

Based on the applicant’s concept plan and proposed density, the following infrastructure is required to be constructed to provide adequate public services to the proposed development:

Water Improvements: The Water Distribution Master Plan indicates that a 12-inch waterline will need to be constructed along S. Goliad Street (SH-205), Wylie Lane, and connect to the existing eight (8) inch water line located along Travis Lane.

Wastewater Improvements: The Wastewater Collection System Master Plan shows that the applicant will be responsible for the construction of the Long Branch lift station (*location on the subject property to be determined at the time of civil engineering*), which will be located south of the subject property. This will require full upgrades -- *including appurtenances* -- to the ultimate capacity of lift stations #1 & #2 along FM-3097. In addition, the applicant will be required to pay a \$432.74 per acre pro-rata fee for the wastewater improvements that were previously installed.

Roadways: According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan, Cullins Road is required to be a *Minor Collector*, which requires a 60-foot right-of-way with a 41-foot *back-to-back* street. The applicant only has a small adjacency to the roadway and has the option of [1] constructing 24-feet of the roadway or [2] escrowing their required portion of the roadway at 115%. In addition, a 30-foot right-of-way dedication -- *as measured from the centerline* -- will be required for Travis Lane and Cullins Road, and additional future right-of-way for FM-549 may be required to be reserved at the time of final plat. All residential streets are required to be in a 50-foot right-of-way with a 29-foot *back-to-back* street, and all roadways adjacent to the proposed park will be required to be a 41-foot *back-to-back* street.

In addition, the applicant will be required to perform a Traffic Impact Analysis (TIA) for the Texas Department of Transportation (TXDOT), a wetlands study for the existing ponds, and a FEMA flood study.

## **CONFORMANCE WITH THE CITY'S CODES**

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC) and the Engineering Department's *Standards of Design and Construction* Manual in the following ways:

- ☑ The Engineering Department's *Standards of Design and Construction* Manual stipulates that, "(A)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete ..."; however, the code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." (*Section 2.11; Page 14*)
- ☑ The Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages, unless it is a *J-Swing [or traditional swing]* garage where the garage door is perpendicular to the street."

In lieu of alleyways, the applicant is proposing to allow both *traditional swing* and *recessed front entry* garages. All *recessed front entry* garages shall be required to be setback a minimum of ten (10) feet from the front façade of the primary structure. As a compensatory measure for not meeting the required 20-foot setback stipulated by the UDC for *recessed front entry garages*, the applicant is requiring that all garage doors be required to incorporate upgraded finishes (*e.g. divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors, or a similar alternative*) and all driveways be constructed with ornamental stamped concrete and/or brick pavers. Staff has incorporated this language into the draft ordinance. By approving the proposed case, the City Council would be waiving these requirements.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Southwest Residential District* and is designated for *Low Density Residential* land uses. The plan defines *Low Density Residential* land uses as "... residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ..." In addition, the Comprehensive Plan defines increased amenity as, "... developments that provide some of the following: (1) open space beyond the required 20%, (2) a golf course and/or other comparable recreation facilities, (3) amenity/recreation facilities, (4) school site integration, (5) dedication or development of park land beyond the required park land dedication, (6) additional development of trails, (7) other amenities deemed appropriate by the City Council." In this case the applicant is proposing a total density of 2.10 units per acre, and is proposing to build an ~55.00-acre regional park with an additional ~39.00-acres of public trails and open space. The proposed amenities do appear to justify the requested density; however, the density in this case remains a discretionary decision for the City Council.

Additionally, staff has reviewed the plan against the policies and guidelines contained in the OURHometown Vision 2040 Comprehensive Plan, and has made the following recommendations to the applicant concerning how the *Concept Plan* could be changed to better conform with the Comprehensive Plan:

- (1) Increase the size of the lots adjacent to FM-549 and SH-205. According to the Comprehensive Plan, neighborhoods should be designed, "utilizing the Housing Tree Model (*i.e. a method of laying out single family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision*)."
- (2) Locate the 60' x 120' lot product adjacent to the park land and open spaces in lieu of constructing the 70' x 130' lot product adjacent to these areas. According to the Comprehensive Plan,

“(r)esidential developments should be designed so that smaller residential lots/units are located in the closest proximity to a park and/or open space. This will maximize the value of these lots/units, and allow the open spaces to off-set smaller lot/unit sizes.” (CH. 8; Sec. 2.02; 1-4 | Page 8-2)

- (3) Mix the 60’ x 120’ and 70’ x 130’ lot product as opposed to creating homogenous pods or cluster of one (1) lot type. According to the Comprehensive Plan, “(d)velopment should be encourage to provide a mixture of lot sizes throughout each phase to ensure that the maximum value accrues for all properties. This is particularly important in developments that propose clusters of smaller lots.” (CH. 8; Sec. 2.02; 1-5 | Page 8-2)
- (4) Change the side-yard setbacks for all lots from five (5) feet to six (6) feet. According to the Comprehensive Plan, residential lots should incorporate “... a larger separation between homes to make neighborhoods feel more spacious. This separation should be no less than 12-feet (*i.e. six [6] foot side yard building setback*) and should be scaled to the height of the home.” (CH. 8; Sec. 2.03; 3-4 | Page 8-4)

The applicant has stated that based on his research, he does not feel that adhering to the above recommendations will add value to the project, and has chosen to leave the concept plan as originally submitted. The approval of the applicant’s request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 7 (SF-7) District land uses remains a discretionary decision for the City Council.

## **NOTIFICATIONS**

On March 25, 2019, staff mailed 32 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Oaks of Buffalo Way Homeowner’s Associations (HOA), which is the only HOA/Neighborhood Organization that is within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following opposition to this case:

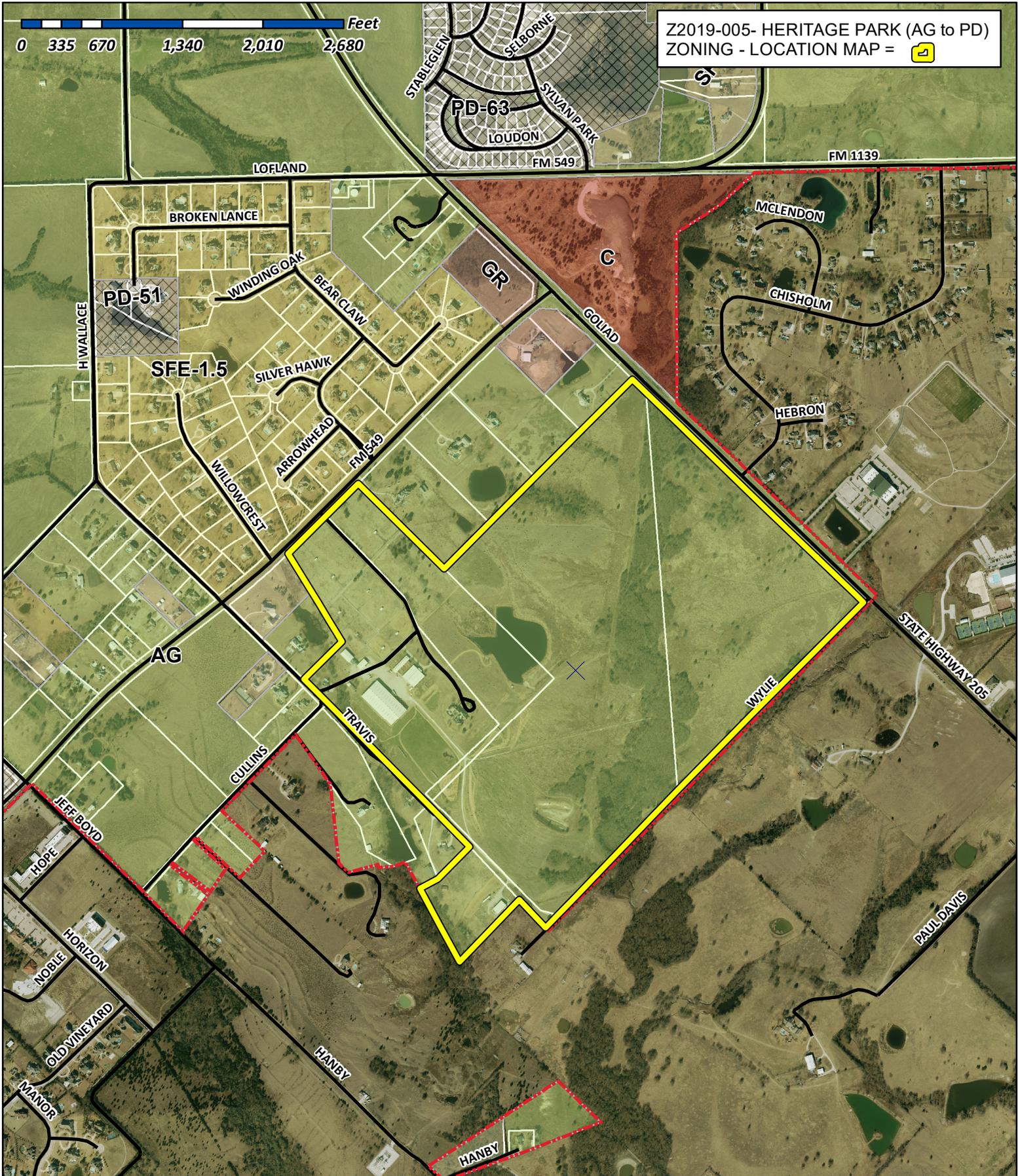
- (1) Nine (9) notices or emails from eight (8) property owners that are City of Rockwall residents inside the notification area.
- (2) Five (5) emails from City of Rockwall residents outside of the notification area.
- (3) Four (4) emails from Rockwall County residents in the City of Rockwall’s Extraterritorial Jurisdiction (ETJ).
- (4) Nine (9) emails from residents in Rockwall County in McLendon-Chisholm’s Extraterritorial Jurisdiction (ETJ).
- (5) Two (2) emails from residents of the City of Heath.
- (6) One (1) email from a resident in Rockwall County in the City of Wylie.
- (7) One (1) email from a resident in Garland.

Despite the opposition -- *and the Planning and Zoning Commission’s pending recommendation for this case --*, the City Council will be required to have  $\frac{3}{4}$ -majority vote to approve the case due to a minimum 20% of the land area within 200-feet of the subject property being in opposition to the applicant’s request. According to Section 8.4, *Protest of Proposed Change in Zoning*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC), “(w)henever such written protest is signed by the owners of 20 percent or more of the area of the lots or land included in such zoning change, or of the lots or land immediately adjoining the same and within the above mentioned 200-foot radius ... such change in zoning shall require a favorable vote of three-fourths of all eligible members of the City Council.” Staff has included a *For & Against Map* in the attached packet for the Planning and Zoning Commission’s review.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 7 (SF-7) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance;
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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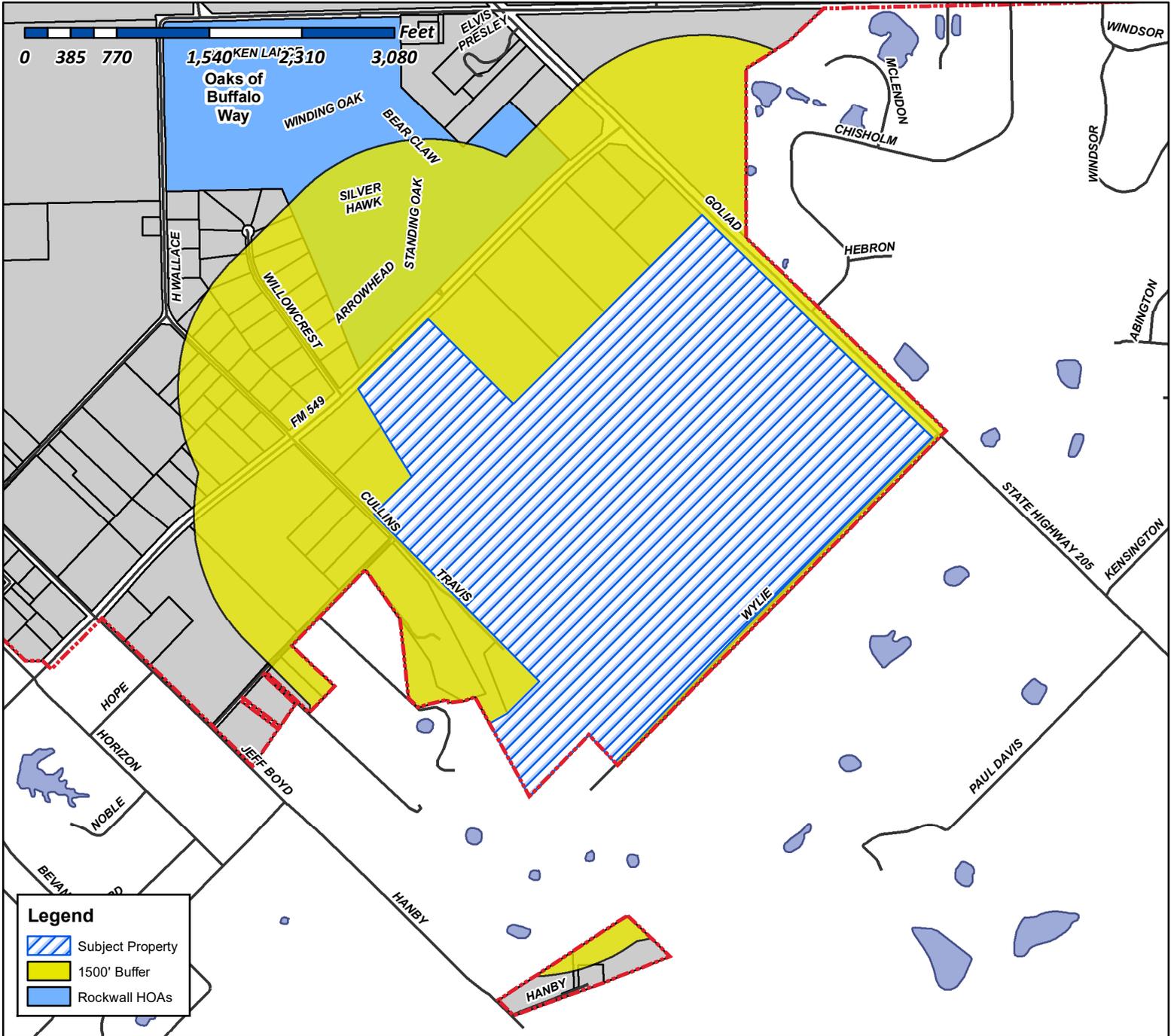
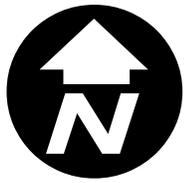




# City of Rockwall

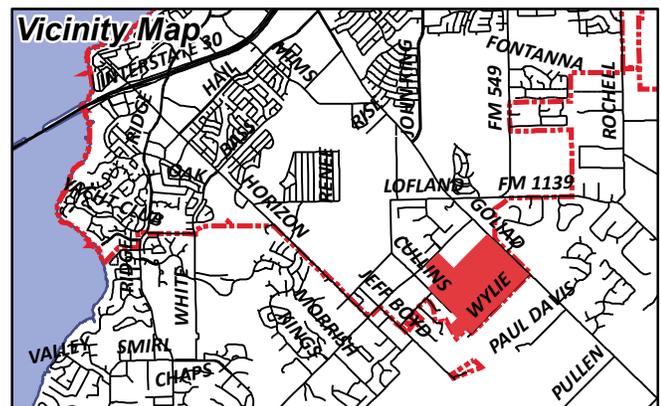
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2019-005  
**Case Name:** Zoning Change (AG to PD)  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** SWC of FM-549 & SH-205

**Date Created:** 3/15/2019  
**For Questions on this Case Call** (972) 771-7745



**From:** [Morales, Laura](#)  
**To:** [REDACTED]  
**Cc:** [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)  
**Subject:** Neighborhood Notification Program: Notice of zoning request  
**Date:** Friday, March 22, 2019 2:17:00 PM  
**Attachments:** [PUBLIC NOTICE.PDF](#)  
[HOA Notification Map \(03.15.2019\).pdf](#)

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To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner **March 22, 2019**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 4/9/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday 4/15/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at

<https://sites.google.com/site/rockwallplanning/development/development-cases>

**Z2019-005- Hold a public hearing to discuss and consider a request by Kent Donahue of Donahue Development Corporation on behalf of the owner Rockwall Highgate LTD for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses on a 264.510-acre tract of land identified as Tracts 17-13 [50.0-acres], 17-14 [26.452-acres], 17-15 [134.33-acres], 17-16 [43.6-acres], & 40-8 [8.79-acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the east side of SH-205 (S. Goliad Street) south of the intersection of SH-205 and FM-549, and take any action necessary.**

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

*Laura Morales*

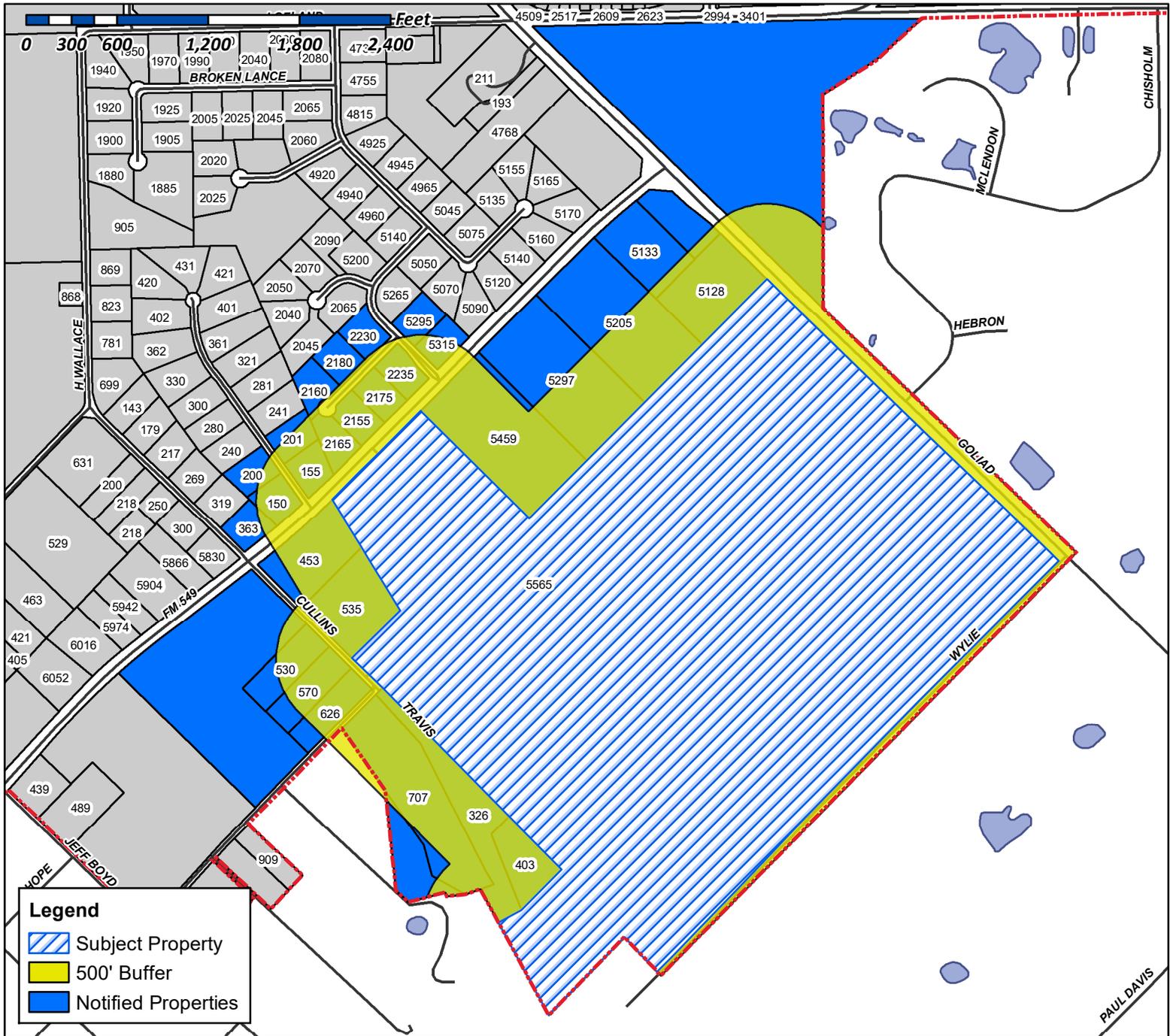
Planning & Zoning Coordinator  
City of Rockwall Planning & Zoning Department  
972-771-7745 | 972-772-6438  
[lmorales@rockwall.com](mailto:lmorales@rockwall.com) | <http://www.rockwall.com/planning/>



# City of Rockwall

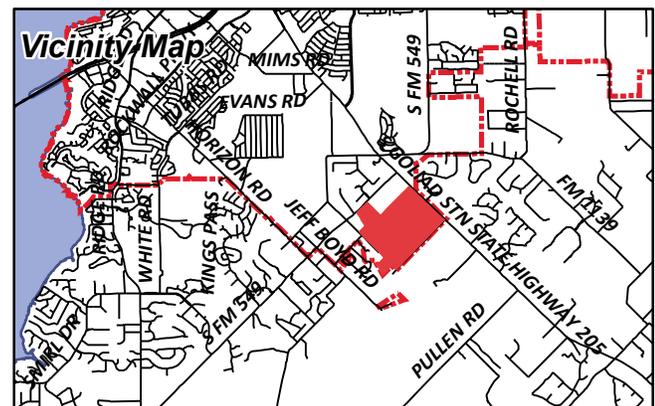
Planning & Zoning Department  
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**Case Number:** Z2019-005  
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**Case Address:** SWC of FM-549 & SH-205

**Date Created:** 3/15/2019  
 For Questions on this Case Call (972) 771-7745



ROCKWALL HIGHGATE LTD  
C/O SCOTT ASBURY  
13155 NOEL RD # 900  
DALLAS, TX 75240

RANEY GARY T  
150 WILLOWCREST DRIVE  
ROCKWALL, TX 75032

HADDOCK HOWARD J & JOAN W TRUSTEES  
HADDOCK FAMILY LIVING TRUST  
155 WILLOWCREST  
ROCKWALL, TX 75032

CONFIDENTIAL  
200 WILLOWCREST  
ROCKWALL, TX 75032

MUELLER JOHN HERMAN AND MELANIE KAY  
ANN BEAR-MUELLER  
201 WILLOWCREST LN  
ROCKWALL, TX 75032

RUCKER ROY LYDELL AND MONIFA  
2155 ARROWHEAD CT  
ROCKWALL, TX 75032

GRAHAM M TODD AND SHANNA R  
2160 ARROWHEAD COURT  
ROCKWALL, TX 75032

FLEMING KATHI  
2165 ARROWHEAD CT  
ROCKWALL, TX 75032

BURZAI EDWARD C & MARCIA Y  
2175 ARROWHEAD CT  
ROCKWALL, TX 75032

GREEN JACKIE & TAMI  
2180 ARROWHEAD CT  
ROCKWALL, TX 75032

RUMMEL STEVEN DAVID AND JANET L  
2230 ARROWHEAD CT  
ROCKWALL, TX 75032

JOHNSON BILLY RAY & JENNIFER REINHARDT  
2235 ARROWHEAD CT  
ROCKWALL, TX 75032

ROCKWALL 205 INVESTORS LLC  
2701 SUNSET RIDGE SUITE 607  
ROCKWALL, TX 75032

101 HUBBARD DR LLC  
2701 SUNSET RIDGE DR SUITE 610  
ROCKWALL, TX 75032

CURRENT RESIDENT  
326 CULLINS RD  
ROCKWALL, TX 75032

LEE SHERRIE  
363 CULLINS RD  
ROCKWALL, TX 75032

TRAVIS ALAN D  
403 TRAVIS LN  
ROCKWALL, TX 75032

TRAVIS ALAN D  
403 TRAVIS LN  
ROCKWALL, TX 75032

PRICE BOBBY DALE & BRETТА JEAN  
453 CULLINS RD  
ROCKWALL, TX 75032

ZEB MOHIUDIN DR &  
NASREEN ZEB  
5128 S STATE HIGHWAY 205  
ROCKWALL, TX 75032

CURRENT RESIDENT  
5133 S FM549  
ROCKWALL, TX 75032

BLACKWOOD SCOTT W & GLENITA G  
5205 S FM 549  
ROCKWALL, TX 75032

HEAGNEY SCOTT AND LISA  
5295 STANDING OAK LN  
ROCKWALL, TX 75032

KESSLER JAMES AND ANGELA  
5297 SOUTH FM 549  
ROCKWALL, TX 75032

HOPE LESLIE AND DARYL  
530 CULLINS RD  
ROCKWALL, TX 75032

RENTA LARRY J & VICKI  
5315 STANDING OAK LN  
ROCKWALL, TX 75032

WILSON BRET A & LESLIE  
535 CULLINS RD  
ROCKWALL, TX 75032

BARRICK CODY ANDREW  
5459 S. FM 549  
ROCKWALL, TX 75032

CURRENT RESIDENT  
5565 S FM549  
ROCKWALL, TX 75032

WESTRUP CAROLE LYNN  
570 CULLINS RD  
ROCKWALL, TX 75032

POPE TONY W & KARREN L  
626 E CULLINS ROAD  
ROCKWALL, TX 75032

BYRD GARY ETUX  
707 CULLINS RD  
ROCKWALL, TX 75032

## Miller, Ryan

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**From:** hjhaddock@classicnet.net  
**Sent:** Monday, April 1, 2019 11:06 AM  
**To:** Miller, Ryan  
**Subject:** Heritage Park Rezoning Request  
**Attachments:** Zoning Commission - April , 2019.docx; Planning Commission Statement.doc

Ryan: As we discussed this morning, I have included a list of questions that I have developed after reviewing the documents submitted by the applicant. Those questions do not imply in any way my endorsement of this request but are only for consideration by the Board.

I have also attached additional comments that I would like to present to the Board on April 6.

This project is unacceptable as proposed for our neighborhood. Thanks for your consideration. Please confirm your receipt of this e-mail,

Howard and Joan Haddock



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Planning and Zoning Presentation  
Highgate LTD  
Case Z2019-005  
Rezoning Request for Heritage Park  
April, 2019

My name is Howard Haddock.

My wife Joan and I live at 155 Willowcrest which is directly across HWY - 549 from the proposed development.

It has been almost 8 years ago to the day that we stood before this board in response to a similar request for developing this property by changing the zoning from Agriculture to Planned Development

The current proposal is almost identical to that submitted in 2011.

After retiring, we looked for over two years to find a suitable location so that we could be closer to some of our grandchildren.

Our criteria for finding a new home were narrowed down to our present location based on the neighborhood, the quality of the homes and the large single dwelling homes on spacious lots in a rural setting.

Part of that decision was the fact that we felt that City and County Government were proactive, forward thinking and fully aware of the special place that was Rockwall.

Further we saw a Planning Board that was willing to protect Rockwall residences and the future for our area. It is a bright future as long as we maintain our standards.

We have looked at the change request, the details of this proposal and are very disappointed, in fact stunned that we again need to come before this board to raise our objection to this plan. Attached to this statement is a specific list of questions and concerns that should be considered by this board before rendering its decision.

We recognize and support growth and economic opportunities for Rockwall and encourage others to join our community. However, that welcome should be consistent with our existing community standards and neighborhood values already in place.

As you look at the fact that we will be adding 545 homes on postage stamp lots of 60 and 70 feet with depth of 120 or 130 feet and homes in the 2000 to 2300 square foot range that is clearly not consistent with current standards or expectations. Placing 2.1 homes/acre is a far cry from existing conditions in the area.

Furthermore looking at the roads and access to these homes creates a massive traffic situation as we project adding close to 1000 cars to the area. One of those entry/exit points is on the just completed upgrade to SH-549 directly across from our location.

If you look at the current traffic on SH- 549 and SH-205 during the morning and dinner time hours you will find traffic backed up at the intersection by

between ¼ mile and ½ miles on both roads. It is unacceptable now! Can you imagine the conditions when this project is completed? Add to that the significantly increased travel of school busses throughout the day as students travel between Heath high schools and the newly opened Academy and you will find the traffic conditions totally unsatisfactory.

However above and beyond the obvious issues of traffic, schools, property values and safety, the overriding issue to be considered must be the future of Rockwall and Rockwall County. What type of City do we want to be as we compete here in North Texas. So far, we are a destination location because of our standards, values and our quality of life. That would dramatically change were this project to go forward.

We urge the board to reject this project as proposed. While doing so we recognize that Rockwall will grow and if this property is to be developed, it should meet the current standards in lot size, home square footages a real estate value. Certainly the current residence and the city should welcome growth consistent with our core values.

If this property is to be developed lets do so with the values that are consistent with current standards. This proposal is clearly not!

Howard and Joan Haddock  
155 Willowcrest  
Rockwall, Texas.

**Specific Questions**  
**Heritage Park**  
**April, 2019**

- Has there been a traffic study done to determine the impact on our roads and highway safety?
- Looking at the types of homes existing in the area, how could such a proposal even be considered?
- Do you consider frontal garages to be consistent with the area?
- Home orientation on these lots including setbacks should be consistent with the current area standards. Are they?
- Fencing regulations being proposed do not appear to be well enough defined to meet area expectations. Need more specifics.
- What would be the configuration on those houses immediately adjacent to SH-549. Will the set back from the highway be enough to meet current area standards?
- What landscaping enhancements are being considered so as to not detract from the current area?
- City services like sewer will be required. Do you plan to provide those services to existing neighborhoods?
- Has there been any consideration to installing a full line of trees to shield the neighborhood from the street?
- The parks and trial concept masquerades (or allows) for the tract home concept. Is that a proper standard to circumvent the zoning regulations.
- Are non brick homes acceptable in the area?

## Miller, Ryan

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**From:** Planning  
**Sent:** Wednesday, April 3, 2019 1:59 PM  
**To:** Miller, Ryan  
**Subject:** FW: Case No. Z2019-005: Heritage Park

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**From:** bret@wilsoninvestmentservices.com [mailto:bret@wilsoninvestmentservices.com]  
**Sent:** Wednesday, April 3, 2019 12:23 PM  
**To:** Planning  
**Subject:** Case No. Z2019-005: Heritage Park

We are Bret and Leslie Wilson and we live at 535 Cullins Road. As one of the homeowners that is adjacent to this property, my wife and I oppose this zoning change.

The immediate area surrounding Highgate Ranch was developed before the City of Rockwall annexed it into the city limits, so the houses were built on a minimum of 1.5 acre and up to 10 acre lot sizes. This includes all the homes that border the ranch, the homes on FM 549 from Hwy 205 to Horizon Road, The Oaks of Buffalo Way, Willowcrest, Long Branch, and the houses along Cullins Road. The SF-7 designation does not conform to the already existing lot sizes in the immediate area. This does not promote the welfare of the community in the immediate vicinity of the ranch, nor is it a compatible use of the land (with 60 to 70 foot lots) when compared to all of its neighbors.

I recognize that eventually this property will be developed. We are simply asking that it be developed in a way that is compatible with its neighbors. The current plan that the developer is proposing shows a lack of respect for the already existing homeowners in this area. Please vote no on this zoning change proposal.

Thank you.

Bret A Wilson



A Registered Investment Advisory Firm

[www.wilsoninvestmentservices.com](http://www.wilsoninvestmentservices.com)

Office Address:  
535 Cullins Road  
Rockwall, TX 75032  
Mailing Address:  
3021 Ridge Road Ste. A37  
Rockwall, TX 75032  
972-772-9599

## Miller, Ryan

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**From:** Planning  
**Sent:** Thursday, April 4, 2019 11:11 AM  
**To:** Miller, Ryan  
**Subject:** FW: Case 22019-005: Heritage Park

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**From:** Bretta Price [mailto:[bprice@keatax.com](mailto:bprice@keatax.com)]  
**Sent:** Thursday, April 4, 2019 11:01 AM  
**To:** Planning  
**Subject:** Case 22019-005: Heritage Park

Dear Mr. Miller,

I would like to relay my opposition to the zoning request for Case 22019-005: Heritage Park. We are located at 453 Cullins Road, Rockwall TX 75032. Our property is 5.5 acres and backs up to the current equestrian facility.

We need to keep the integrity of the houses that are already established in the area. The Oaks of Buffalo Way and Willowcrest have 1.5 to 3 Acre lots per house. I propose we stay with something in that range.

If you have further questions or would like to discuss, please contact me at 214-476-4745.

Sincerely,

Bretta Price  
453 Cullins Rd.  
Rockwall TX 75032



### BRETTA PRICE

KE Andrews

 469.298.1594

 469.298.1595

 [bprice@keatax.com](mailto:bprice@keatax.com)

 [www.keatax.com](http://www.keatax.com)



# NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Case No. Z2019-005: Heritage Park**

Hold a public hearing to discuss and consider a request by Kent Donahue of Donahue Development Corporation on behalf of the owner Rockwall Highgate LTD for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses on a 264.510-acre tract of land identified as Tracts 17-13 [50.0-acres], 17-4 [26.452-acres], 17-15 [134.33-acres], 17-16 [43.6-acres], & 40-8 [8.79-acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the east side of SH-205 (S. Goliad Street) south of the intersection of SH-205 and FM-549, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 4/9/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 4/15/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **4/15/2019** to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:  
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2019-005: Heritage Park**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

My husband and I are opposed to this request as it does not use the land in conformity with the City's original plan for this area. We live on 3 acres. Our neighbors across the street both have 6 acres. Neighbors along 549 are on 12 acres. Putting cookie cutter homes in 60'-70' lots will ruin this area.

Name: Leslie + Daryl Hope  
Address: 530 Cullins Rd.

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

## Miller, Ryan

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**From:** Planning  
**Sent:** Thursday, April 4, 2019 11:09 AM  
**To:** Miller, Ryan  
**Subject:** FW: Case No. Z2019-005: Heritage Park

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**From:** Leslie Wilson [mailto:leslieporterwilson@gmail.com]  
**Sent:** Thursday, April 4, 2019 10:38 AM  
**To:** Planning  
**Cc:** Leslie Wilson  
**Subject:** Re: Case No. Z2019-005: Heritage Park

I'm Leslie Wilson. I've lived at 535 Cullins Road for 22 years. We back up to Highgate Ranch, the area proposed for a zoning change to SF7 as part of Case No. Z2019-005: Heritage Park.

I am OPPOSED to the zoning change request because of the density of the homes.

The other homes/subdivisions in the area—The Oaks of Buffalo Way, Willowcrest Estates, Cullins Road (north and south of FM 549), Jeff Boyd Circle, Longbranch, Wallace Road, etc. are all much larger lots and homes. We realize this property is more likely than not going to be developed (even though we've enjoyed it as AG for two decades), but we think it should be more in keeping with the other development in the area, which is not small homes on small lots, as projected in the SF7 proposed designation.

Additional reasons:

- There's not enough infrastructure (particularly in terms of roads—SH 205 and FM 549) for this many homes and the resulting traffic.
- There's not enough room at Pullen and Springer (and Cain and RHHS) for students to attend school without increases to already-crowded classroom size.
- I also don't think the City of Rockwall should work with Kent Donahue, Donahue Development Corporation. He did such a poor job with the Bayview Project in Rowlett, and I don't think he brings integrity or the best interest of Rockwall.

Thanks for letting me voice my opposition. I definitely plan to attend the P & Z meeting on Tuesday night.

Kind regards,  
Leslie Wilson

## Miller, Ryan

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**From:** Planning  
**Sent:** Thursday, April 4, 2019 1:31 PM  
**To:** Miller, Ryan  
**Subject:** FW: Opose Z2019-005 Heritage Park

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**From:** Ward Fam [mailto:jprrij@charter.net]  
**Sent:** Thursday, April 4, 2019 12:43 PM  
**To:** Planning  
**Subject:** Opose Z2019-005 Heritage Park

I oppose Z2019-005 Heritage Park. There is no way the current roads can handle this much traffic. I live in the Oaks Of Buffalo Way and it takes me sometimes 20 minutes to get into my neighborhood from sitting at the light on 205 with miles of traffic. Try driving down 205 in the mornings or in the afternoons. It is ridiculous how many lights I sit at due to traffic. Some days it backs up to Hacienda Car Wash.

I heard that this is the same company that left Rowlett in such a big mess and now is in a lawsuit with the city of Rowlett. Now Rowlett is paying for those tacky apartments that will be falling apart in a matter of years. Not a very good business decision for Rockwall. If you want more growth get some good builders in here and build another Kings Bridge . We want big houses on these lots not small ones that will bring down our home values.

Thank you,  
Pam Ward  
4920 Bear Claw Lane  
Rockwall, TX 75032

# ROCKWALL COUNTY (MCLENDON-CHISHOLM'S ETJ)

**Miller, Ryan**

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**From:** Planning  
**Sent:** Thursday, April 4, 2019 11:10 AM  
**To:** Miller, Ryan  
**Subject:** FW: New neighborhood

-----Original Message-----

**From:** Ron Twedell [mailto:txlawn@charter.net]  
**Sent:** Thursday, April 4, 2019 10:50 AM  
**To:** Planning <planning@rockwall.com>  
**Subject:** New neighborhood

We would like to state that we are totally against the proposed neighborhood south of 549 & west of 205 This message is from Ron Twedell. I'm sending this to represent the Oaks of Buffalo Way Beighborhood Which is 53 home owners

Sent from my iPhone

## Miller, Ryan

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**From:** Planning  
**Sent:** Thursday, April 4, 2019 3:05 PM  
**To:** Miller, Ryan  
**Subject:** FW: Case no. Z2019-005: Heritage Park

**From:** Carole Westrup [mailto:clwestrup@gmail.com]  
**Sent:** Thursday, April 4, 2019 3:04 PM  
**To:** Planning  
**Subject:** Case no. Z2019-005: Heritage Park

Dear Ryan Miller,

My name is Carole Westrup and I own the property at 570 Cullins Rd, Rockwall, TX 75032. I received the notice regarding the request to re-zone the property located off of 549 that extends from Cullins/Travis to Goliad/205.

I strongly OPPOSE the request to re-zone this property from agricultural use to planned development.

The area surrounding the target property is still one of the few areas of Rockwall that maintains a semblance of country atmosphere and space. As you are probably aware, the current homes and neighborhoods within the buffer area are mostly 3,000 sqft homes with lot sizes that start at 1.5 acres. A planned development of homes with any lot size less than 1.5 acres would negatively impact the value and marketability of all of the homes in the buffer area and destroy the equine country atmosphere we currently enjoy.

Lastly, is this the same developer that was responsible for the "Cabo-inspired lagoon" and destination type of development promised to our neighbors in Rowlett? I think we know what is happening with that project.... This is not the right time, developer or proposal for this property or our community.

Please feel free to contact me by phone or email if you have any questions.

Sincerely,  
Carole Westrup

[clwestrup@gmail.com](mailto:clwestrup@gmail.com)

972-365-0181

# CITY OF WYLIE

**Miller, Ryan**

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**From:** Jami Scoggins Smith <jscoggins1977@gmail.com>  
**Sent:** Thursday, April 4, 2019 3:38 PM  
**To:** Miller, Ryan  
**Subject:** Kent Donahue/ Highgate Ranch rezone

I am writing in hopes that this email will suffice as a strong "PLEASE DON'T!!!" from a resident of Rockwall County when considering to approve this home development. The roads are overcrowded already and Rockwall county is becoming an traffic MESS with dangerous roadways. Please do not approve this, please.

Thanks you,  
Jami Scoggins  
214-497-4441

# MCLENDON-CHISHOLM

**Miller, Ryan**

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**From:** Planning  
**Sent:** Thursday, April 4, 2019 4:33 PM  
**To:** Miller, Ryan  
**Subject:** FW: Rezoning

-----Original Message-----

From: THOMAS HRITZ [mailto:hritz@hritz.com]  
Sent: Thursday, April 4, 2019 3:53 PM  
To: Planning <planning@rockwall.com>  
Subject: Rezoning

I am sending this email to strongly protest the imminent rezoning. The infrastructure(roads) is totally inadequate for a development of this size. Anyone who lives south of this rezoning will be impacted mightily by the increased traffic. Keep the size of the lots closer to one acre like most other homes in the area. I am. It trying to stop progress but to protest the bottleneck that would occur on the 205 if this rezoning for small lots is allowed.

Thomas Hritz  
Tom@hritz.com

Sent from my iPad

# ROCKWALL COUNTY

**Miller, Ryan**

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**From:** Aaron Bruning <aaron.bruning@aon.com>  
**Sent:** Thursday, April 4, 2019 8:41 PM  
**To:** Planning  
**Subject:** Reference Case No. Z2019-005: Heritage Park. OPPOSITION

Mr. Ryan Miller,

I am a homeowner per my address and information below. I am located directly adjacent to this proposed development on the Hwy 205 side.

I am OPPOSED to this development as the homes are too tiny which will devalue our property values and because there is insufficient roadways aka Hwy 205 to handle more traffic. Hwy 205 is in terrible condition and cannot keep up with the growth feeding traffic into it. Our traffic backs up for over a mile now at traffic lights during peak times. This roadway over congestion and roadway which is only a two lane roadway without drive-able shoulders creates a significant emergency response risk for getting fire, EMT and other emergency services access to us in the time of emergencies. We have already been experiencing these delays with the increases in traffic accidents and fatalities as one example. There are other large developments in the immediate vicinity and region feeding our roads an ever growing traffic load already hence our access from emergency services is of an utmost concern from this development and a heavy concentration of homes and highway traffic it will add.

Please DO NOT allow this development to proceed. Thank you.

Sincerely,

**Aaron Bruning**  
**2002 Chisholm Trail (Longbranch subdivision)**  
**Rockwall, TX 75032**  
**214-675-7229 mobile phone**

## Miller, Ryan

---

**From:** Cris T <ozzie2400@gmail.com>  
**Sent:** Thursday, April 4, 2019 9:53 PM  
**To:** Planning  
**Subject:** Heritage Park

Aztlan Torres  
1470 Madison Dr.  
Rockwall, Texas 75032

Case number z2019-005: Heritage Park

I am opposed to the request. It will make an already poor traffic situation much worse on 205 and even I30. Rockwall is known for beautiful neighborhoods, not fast tracked housing developments with homes on top of one another. Leave that for Frisco and Fate. I moved here for a more quiet, small town feel.

Sincerely,  
Aztlan Torres

# CITY OF HEATH

## Miller, Ryan

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**From:** Bruce Wilder <bdwilder@sbcglobal.net>  
**Sent:** Thursday, April 4, 2019 9:12 PM  
**To:** Miller, Ryan  
**Subject:** Heritage Park z2019-005

I am opposed to the sale and rezoning of the property. All homes should be like others in the area on 1-3 acres. In addition, the developer is Kent Donahue, the dishonest developer from the waterfront development on I-30 and Dalrock in Rowlett!!!

Brenda Wilder  
2 Cove Creek Court  
Heath, TX 75032  
Sent from my iPhone

## Miller, Ryan

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**From:** Cody Barrick <barrickca@gmail.com>  
**Sent:** Thursday, April 4, 2019 9:16 PM  
**To:** Planning  
**Subject:** z2019-005 Heritage Park

Mr. Ryan Miller,

My name is Cody Barrick. My wife, Amy Barrick, and I reside at:

5459 S. FM 549  
Rockwall, TX 75032

We would like to register our OPPOSITION to the Z2019-005 Heritage Park proposal.

The proposed density of the homes and lot sizes is wholly inconsistent with the area. The area currently has homes with 2-5 acre lots. Heritage Parks proposal will decrease home values in the area and wholly changes the aesthetic of the immediate community. The density will overburden the two lane roads on 205 and FM549. The traffic at the light at 205 and 549 already backs up terribly in all directions during the mornings and afternoons.

The proposal impacts my property very directly and very negatively. While we can concede that the property may be developed one day, it should be done so in a manner that is consistent with the area - custom to semi-custom homes on multi-acre lots. The recent developments along 549 towards Heath are a good example.

It is also my understanding that the developer is the same developer that is being sued by the city of Rowlett for the Bayside fiasco.

I pray that the concerns of the community directly impacted by this proposal will be heeded.

Thank you,  
Cody Barrick

Sent from my iPhone

## Miller, Ryan

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**From:** David Schoen <david.l.schoen@gmail.com>  
**Sent:** Friday, April 5, 2019 7:27 AM  
**To:** Miller, Ryan  
**Subject:** Z2019-005

Mr Miller,

I'm writing this email to formally express opposition to this zoning request.

As a Rockwallian who lives off of 205 ( 2844 Deer ridge drive - Hickory Ridge ) this development will add to the daily traffic tomfoolery that occurs on south 205 when the road goes from 3 lanes into one. Traffic is already bad, only to get worse with this development.

I know 205 is not a city problem, but a Txdot problem. This does not alleviate the issue but the road **must** be widened first.

I plan on attending the planning & zoning meeting on 4-9 to verbally express my opposition.

Just FYI, there is a considerable opposition to this development and expect to have a decently full meeting to discuss this matter.

Looking forward to the meeting.

Best regards,

David

David Schoen  
817-913-0036

## Miller, Ryan

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**From:** Guy White <whiteguysf@hotmail.com>  
**Sent:** Thursday, April 4, 2019 8:54 PM  
**To:** Planning  
**Subject:** Case Number - Z2019-005 Heritage Park

Mr. Miller,

My name is Guy White, I reside at 5711 Yacht Club Dr at Chandlers Landing in Rockwall.

I'm sending this email because of my concern over the recent proposed zoning plan (ref Z2019-005).

My overall concern is that I purchased my house in this area for the explicit purpose of avoiding overpopulated areas (such as the Dallas proper area) as well as benefitting from better school districts and not fighting increased traffic.

This proposal is contradictory to everything that I moved to Rockwall for.

Allow me to explain my position.

1) By creating a housing development which accommodates over 500 houses equals an increase in total population.

This can be looked at as a great thing since it brings more tax dollars and revenue to an area; however, what this also equals is overpopulated schools, roads and facilities/amenities in the local area as well. The housing itself, depending on prices, will encourage a certain type of resident. I'm not saying that anyone has to be at a certain social status to live in Rockwall, but we would see an increase in the commuter population which will equal an increase in the transient population which could lead to increases in crime, accidents and strain on public services.

2) By creating this housing development, you are encroaching on natural resources of which Rockwall has only certain amounts.

When I was stationed in Hawaii there was one simple truth about land...they weren't making anymore of it. This does not necessarily hold true for the great state of Texas but it does hold true for Rockwall county. As I'm sure you are aware, Rockwall county is the smallest county in the state and therefore contains only limited amounts of land. This development is in total contradiction to land conservation within the county.

I get it, this development equals jobs and equals money for the investors involved. Heres a better idea, if you want to invest in the Rockwall area, there are many local businesses and companies that could benefit from investors. Have you considered land in or around Forney?

I've never been a person to stop the flow of progress but in this case I feel it is my place to speak my peace on this matter.

Rockwall is a very up and coming city but in the opinion of this citizen, I don't believe that it would benefit from a housing development with over 500 homes living on top of one another.

Please take these thoughts into consideration and please feel free to contact me with any questions regarding this email.

Thank you,

Guy White

# ROCKWALL COUNTY (MCLENDON-CHISHOLM'S ETJ)

**Miller, Ryan**

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**From:** hollyco812 <hollyco812@aol.com>  
**Sent:** Thursday, April 4, 2019 9:44 PM  
**To:** Planning  
**Subject:** C/O Ryan Miller

I am 100% opposed to the proposed development on 205 and 549. Reference number Z2019-005.

The road infrastructure isnt ready for added construction traffic. And it will not be ready in the near future for the ridiculous amount of homes wanting to be shoved in there.

What happened to the 1 acre homes? There is a desire for that kind of living. The old say, "if you build it, they will come", still rings true. Please stop allowing cookie cutter homes being crammed into this beautiful town. Space, large green yards, beautiful homes, MORE BUSINESS; that is what is needed.

Thank you for your time.

-Holly Belt  
10 Windsor Drive  
Rockwall 75032

Sent via the Samsung Galaxy S8, an AT&T 4G LTE smartphone

# ROCKWALL COUNTY (MCLENDON-CHISHOLM'S ETJ)

**Miller, Ryan**

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**From:** Ray Newcomb <borborigmi@yahoo.com>  
**Sent:** Thursday, April 4, 2019 9:05 PM  
**To:** Planning; Miller, Ryan  
**Subject:** Case Z2019-005: Heritage Park

Mr Miller,

Please note our opposition to this request.

Current traffic on 205 into Rockwall in the morning rush hour is almost a nightmare. I'm unsure of infrastructure requirements, but it appears this is going to be a high-density development - and I doubt the needed infrastructure will be in place prior to completion of the development. Usable obviously, but probably less than ideal.

Suggestion to have appropriate parties spend an hour or two some weekday morning to watch the traffic flow. It's obviously somewhat worse when school is in session, but just totally unpleasant at all 'rush hour' times. Spend another couple of hours between 5 and 7pm weekdays. See how long it takes to get from John King past the 549 intersection.

Imagine the traffic issues that emergency vehicles would have to contend with in the event of major accidents, property fires, or medical situations.

Certain comments have been stated about the developer being out of his element (or in over his head) with references to the public issues that Rowlett is having with their master planned development at Bayside. It's unknown how accurate those references are. But anyone that has voting input towards approval should ask for and obtain the answer.

It's also been stated the developer has indicated sales prices of 400-500k for these homes. It would really be interesting to see how that figure was arrived at. Just does not seem plausible to me based on the minimal acreage per home. I'm not a realtor, but compare that figure to others in the vicinity that actually have some land - not just 60-70' lot lines. Smelling the fish yet?

Do some real homework before approving developments that are detrimental to those of us that will have to live with poor decisions, or suffer property loss of value.

We're sure that a lot of folks will attend the next open sessions for discussion on the matter to voice opposition.

We're just putting this in writing. Although we are not in the city limits, there will be many voting taxpayers watching.

Ramon and Joyce Newcomb  
2217 McClendon Dr  
Rockwall, Tx 75032

972.771.6015

# ROCKWALL COUNTY (MCLENDON-CHISHOLM'S ETJ)

**Miller, Ryan**

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**From:** Ramirez, Tammy <Tammy.Ramirez@Avnet.com>  
**Sent:** Thursday, April 4, 2019 9:11 PM  
**To:** Planning  
**Subject:** Reference case # Z2018-005: Heritage Park

**Importance:** High

Tammy & Joel Ramirez  
2044 Chisholm Trail  
Rockwall, Tx. 75032

We are opposed to this subdivision zoning request due to the high volume of traffic on 205 and 549. We live in Longbranch community and currently have a hard time getting in and out of our neighborhood.

**Tammy Ramirez**  
[tammy.ramirez@avnet.com](mailto:tammy.ramirez@avnet.com)  
Senior Account Manager



3101 East President George Bush Hwy  
Suite 250  
Richardson, Tx. 75082  
O 214.553.6860  
M 972.567.3621  
F 214.553.6836  
[avnet.com](http://avnet.com)

# ROCKWALL COUNTY (MCLENDON-CHISHOLM'S ETJ)

**Miller, Ryan**

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**From:** Thomas Cosby <tcosby12@me.com>  
**Sent:** Friday, April 5, 2019 6:50 AM  
**To:** Planning  
**Subject:** Reference Case No. Z2019-005: Heritage Park. OPPOSITION

Mr. Ryan Miller,

I am a homeowner at 2025 Chisholm Trail, which is located directly across from the proposed neighborhood. I am OPPOSED to developing this neighborhood at this time, because the city/county does not have the infrastructure to support it. Highway 205 and Highway 549 are heavily overloaded many hours of the day with traffic backups that last for over a mile. The highways also does not have shoulders, so this impedes emergency vehicles from being able to respond in a timely manner.

I have also been told that the developer has defaulted on other engagements that have resulted in lawsuits.

Please DO NOT allow the development of this neighborhood to proceed until the infrastructure is in place to support it.

Sincerely,  
Thomas Cosby  
2025 Chisholm Trail  
Rockwall, TX. 75032  
214-240-7479

# ROCKWALL COUNTY

**Miller, Ryan**

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**From:** Ed Kohorst <edkohorst@valueworksinc.com>  
**Sent:** Friday, April 5, 2019 10:10 AM  
**To:** Miller, Ryan  
**Subject:** Proposed development on 549, 205, Cullins Road and Wylie lane

Dear Mr. Miller,

I am writing to express our opposition to the proposed housing development to what is currently Black Star properties bordering 549, 205, Cullins Road and Wylie Lane.

Viewing the drawings of the proposed development it appears that this acreage will be saturated with what looks to be high density HUD style homes.

As I am sure you know, the existing homes in this area are generally valued at a range of \$800k up to \$1,000,000. And the addition of 545 low income homes will greatly impact the value of neighboring properties.

Not only will property values suffer but the quality of our schools and the amenities we enjoy will deteriorate as the infrastructure struggles to accommodate additional mass.

When we purchased our property in 1995, the covenants required that any additional properties be at a minimum of 12 acres.

Now we see individual lots for 60 and 70ft., a violation of that requirement.

I appreciate your taking the time to read our objection. And we will be present at the April 9<sup>th</sup> meeting.

Thanks.

Sincerely,  
Ed Kohorst

Ed Kohorst  
Principal  
Value Works, Inc.

831 Cullins Road  
Rockwall, Texas 75032  
[edkohorst@valueworksinc.com](mailto:edkohorst@valueworksinc.com)  
[www.valueworksinc.com](http://www.valueworksinc.com)



# CITY OF HEATH

**Miller, Ryan**

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**From:** Planning  
**Sent:** Friday, April 5, 2019 8:33 AM  
**To:** Miller, Ryan  
**Subject:** FW: Opposed to Z2019-005

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**From:** MartyAllen [mailto:martyallen0902@gmail.com]  
**Sent:** Friday, April 5, 2019 8:21 AM  
**To:** Planning  
**Subject:** Opposed to Z2019-005

To Ryan Miller  
Rockwall Planning and Zoning

From: John and Marty Allen  
100 Skyline Circle, Heath 75032

Re: Case No. Z2019-005

We are opposed to the development of Case No. Z2019-005 for the following reasons:

1. It does not follow the guidelines for density set out for the area
2. The developer does not have a good track record (i.e. Bayview catastrophe)
3. Infrastructure is not set up to handle the number of people this development would bring.

Sent from [Mail](#) for Windows 10

# ROCKWALL COUNTY (MCLENDON-CHISHOLM'S ETJ)

**Miller, Ryan**

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**From:** Rob & Detra Scheele <scheele4@gmail.com>  
**Sent:** Friday, April 5, 2019 10:34 AM  
**To:** Planning  
**Subject:** Case No. Z2019-005: Heritage Park (opposition)

Hello,

I would like to share that I am OPPOSED to the above referenced case that P&Z will be considering next Tuesday. My opposition is based on the following:

- Development inconsistent with the surrounding areas
- Inadequate support services and infrastructure to accommodate this dense of population

Thank you for your service and dedication to our community and assistance in helping all of us ensure that Rockwall continues to be a desirable place to live.

Regards,  
Rob Scheele  
2200 Chisholm Trail  
Rockwall, TX 75032

## Miller, Ryan

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**From:** Planning  
**Sent:** Friday, April 5, 2019 8:29 AM  
**To:** Miller, Ryan  
**Subject:** FW: Case No. Z2019-005: Heritage Park  
**Attachments:** Opposition Form.pdf

**Importance:** High

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**From:** Scott Blackwood [mailto:glentech@netportusa.com]  
**Sent:** Friday, April 5, 2019 8:25 AM  
**To:** Planning  
**Subject:** Case No. Z2019-005: Heritage Park  
**Importance:** High

Dear Sirs:

My opposition to your Notice of Zoning Change, Case Z2019-005 (Heritage Park), is attached.

Thank you.  
Scott Blackwood  
5205 South FM 549  
Rockwall, TX 75032  
972-768-4835

Sent from [Mail](#) for Windows 10

# CITY OF GARLAND

## Miller, Ryan

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**From:** Cynthia Jansky <cbacon@frontier.com>  
**Sent:** Friday, April 5, 2019 11:51 AM  
**To:** Planning; Miller, Ryan  
**Subject:** Case No. Z2019-005: Heritage Park

Cynthia Bacon  
1713 Charleston Drive  
Garland, TX 75040

Case No. Z2019-005: Heritage Park

OPPOSED to the request and subsequent over crowding of the area - its not in keeping with the development in the area and not enough room on surrounding roads for the additional traffic it would generate.

# ROCKWALL COUNTY (MCLENDON-CHISHOLM'S ETJ)

**Miller, Ryan**

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**From:** Taylor Bearden <bearden.taylor@yahoo.com>  
**Sent:** Friday, April 5, 2019 12:05 PM  
**To:** Miller, Ryan  
**Subject:** No to New development of 550 houses

Dear Mr. Miller:

As a resident of Longbranch, which is directly across from the proposed development I strongly disagree with adding 550 in such a small area.

There have been many wrecks at this spot on 205 with the turn-ins and the hill.

Please let me know where I need to oppose this.

Thank you.

Taylor Kannady

[Sent from Yahoo Mail on Android](#)

Case No. Z2019-005: Heritage Park

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

The tiny houses are going to have a big impact on the value of our house. We strongly condemn this action, not favorable for any of us

Name:

Dr & Mrs Dr Mohiddin A. ZEB

Address:

5128 - S. 205 Rockwell 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# ROCKWALL COUNTY

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2019-005: Heritage Park

Hold a public hearing to discuss and consider a request by Kent Donahue of Donahue Development Corporation on behalf of the owner Rockwall Highgate LTD for the approval of a zoning change from an Agricultural (AG) District to a Planned Development: District for Single Family 7 (SF-7) District land uses on a 264.510-acre tract of land identified as Tracts 17-13 [50.0-acres], 17-4 [26.452-acres], 17-15 [134.33-acres], 17-16 [43.6-acres], & 40-8 [8.79-acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the east side of SH-205 (S. Goliad Street) south of the intersection of SH-205 and FM-549, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, 4/9/2019 at 6:00 p.m., and the City Council will hold a public hearing on Monday, 4/15/2019 at 6:00 p.m. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 4/15/2019 to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:  
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2019-005: Heritage Park

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: Jerry + Sherry Woods  
Address: 863 Cullins Road  
Rockwall, TX

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and filed by the municipal clerk...

① The lot sizes are too small they need to be at least an acre lot size. The houses around the ranch development are all on "over an acre" lot. Most are 6 acre up lots.

② The traffic congestion on all 3 roads - Hwy 549, Hwy 205, and Cullins Rd. (over)

# ROCKWALL COUNTY

**Miller, Ryan**

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**From:** Planning  
**Sent:** Friday, April 5, 2019 1:01 PM  
**To:** Miller, Ryan  
**Subject:** FW: Ryan Miller/ Proposed 205/549 site

-----Original Message-----

From: Amy White [mailto:crafta29@yahoo.com]  
Sent: Friday, April 5, 2019 11:55 AM  
To: Planning <planning@rockwall.com>  
Subject: Ryan Miller/ Proposed 205/549 site

Dear Mr. Miller,

I will keep this short and to the point, please please do not give into the notion that the building of 500+ houses is remotely a logical idea, this is detrimental to this area!! We all moved to this side of town to get away from the “cookie cutter” homes and infrastructure that goes with it!!! I could go on and on but until you come drive my kids to and from school every morning and see the traffic nightmares that already exist maybe they will realize what a mistake it would be, we will have enough to deal with when they begin to widen the 205!!! Keep this area green!!!!

Amy White

Sent from my iPhone

## Miller, Ryan

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**From:** Planning  
**Sent:** Friday, April 5, 2019 2:17 PM  
**To:** Miller, Ryan  
**Subject:** FW: OPPOSING Case No Z2019-005 Heritage Park

-----Original Message-----

From: Debbie Wilhelm [mailto:debbiewilhelm25@yahoo.com]  
Sent: Friday, April 5, 2019 12:01 PM  
To: Planning <planning@rockwall.com>  
Subject: OPPOSING Case No Z2019-005 Heritage Park

I am writing to say that I oppose Case No Z2019-2005 Heritage Park for a few reasons:

First and perhaps most importantly, this builder/developer has already proven to not keep his word, to not be trustworthy and to not build what is best for a city/community! Even though this proposal looks nothing like the Bayside mess in Rowlett... We still don't need to take any risks such as that with our beloved city!!

In addition, there is no place for a SF7 in that area!! It is already entirely too congested and unable to handle it's current flow of traffic. But, even if that were to be rectified, the development in that area should stay true to what is already there... acreage lots! I would love to see it stand in 1+ acre lots, but absolutely no less than .5acre lots.

We have something extremely special in/about Rockwall... let us keep it that way as we go forward and continue to develop. Let us not lose sight of this beautiful city and over build/overpopulate.... especially with a builder/developer who has already proven himself to not do what is best for a community.

Thank you for listening to your citizens!

Debbie Wilhelm  
Fathom Realty  
214-598-7953

# ROCKWALL COUNTY (MCLENDON-CHISHOLM'S ETJ)

**Miller, Ryan**

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**From:** Planning  
**Sent:** Friday, April 5, 2019 2:18 PM  
**To:** Miller, Ryan  
**Subject:** FW: Case No. Z2019-005 Heritage Park

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**From:** Margaret Kannady [mailto:deraldkannady@yahoo.com]  
**Sent:** Friday, April 5, 2019 12:25 PM  
**To:** Planning  
**Subject:** RE: Case No. Z2019-005 Heritage Park

Attn: Ryan Miller, Director of Planning

Dear Mr. Miller:

My name is Derald W. Kannady and I live at 2109 Chisholm Trail in Rockwall. I moved to this location in April of 1996.

I would like to offer my strong opposition to Case No. Z2019-005, Heritage Park. The lot sizes of this development do not conform to the surrounding developments (1-5 acre lots) which will tremendously decrease my property value. I moved to Rockwall from Garland in 1996 to get away from these types of neighborhoods. Research shows that homes this size typically become rental properties after being sold and purchased twice, which I do not think is a good thing for any of the residents in this area.

Sincerely,  
Derald W. Kannady

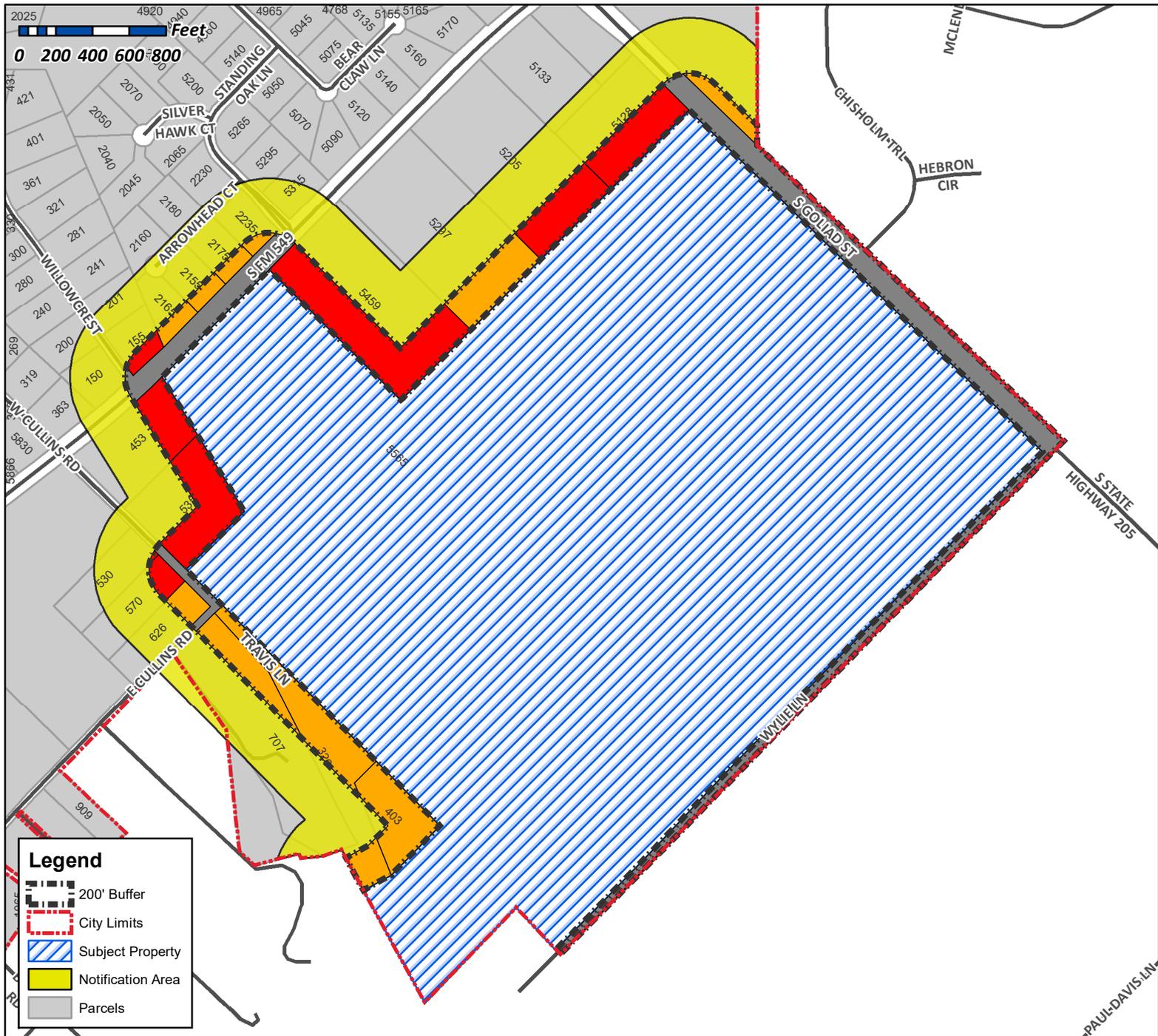
Sent from [Mail](#) for Windows 10



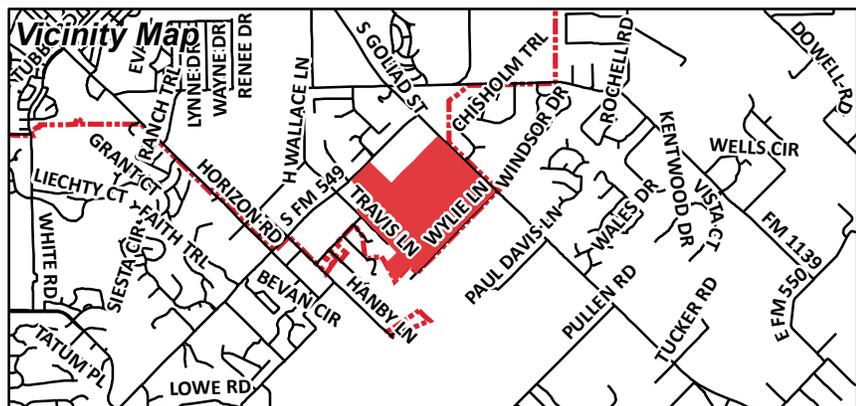
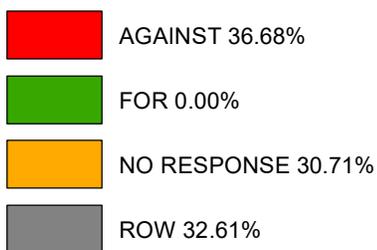
# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



## Z2019-005 - HERITAGE PARK (AG to PD)



**Date Created: 4/5/2019**

**For Questions on this Case Call (972) 771-7745**



Civil Engineering  
Surveying  
Water Resources Management  
Construction Management  
Environmental Consulting  
Land Planning

March 15, 2019

City of Rockwall  
Planning Department  
385 S Goliad  
Rockwall, TX 75087

RE: Proposed +/-545 Lot Residential PD & Regional Park  
Located @ South Corner of FM 549 & SH 205

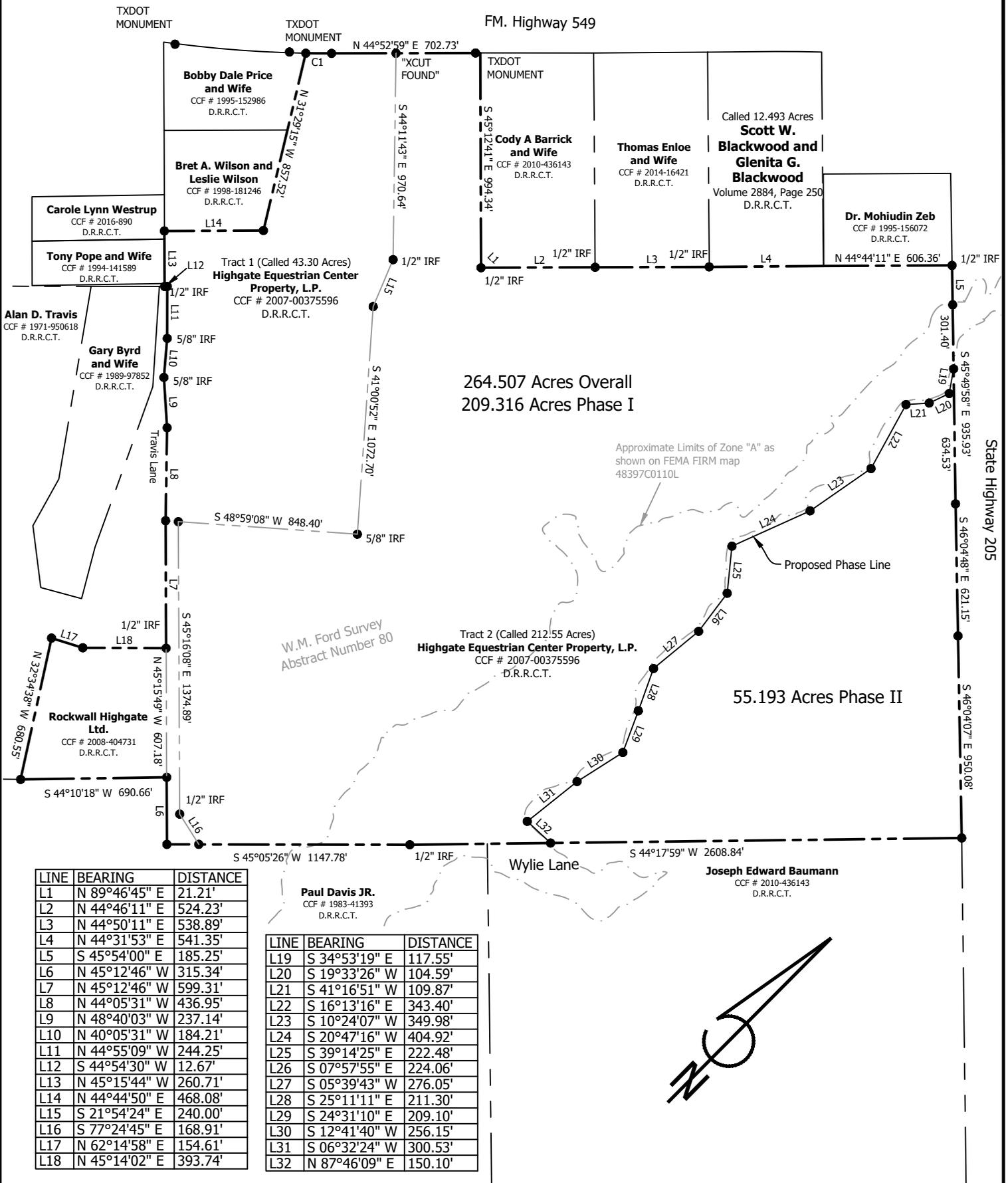
Dear Staff,

The subject development will consist of +/-545 single family lots and a +/-94 Acre Regional Park located on a 264.5 acre tract. The Concept Plan included with this submittal is representative of our vision of the development. Our team is currently working with the City's Parks Department on general programming for the Regional Park to identify a yearly maintenance budget as requested by Council. The proposed Park area within the flood plain is currently accessible via existing equestrian trails paralleling the creek. Please feel free to contact us if you have any questions regarding our project or application.

Thank you,

  
Brian Bridgewater, P.E.  
Manhard Consulting

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	121.99'	5796.43'	1°12'21"	N 45°17'37" E	121.99'



**EXHIBIT SHOWING**  
**264.507 Acres of land situated in the W.M. Survey, Abstract Number 80, Rockwall County, Texas.**

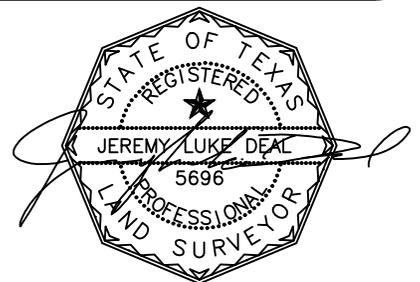
Project Number: 180164      Date: February 18, 2019  
Revised Date:  
Revision Notes:

Sheet 1 of 4



**REALSEARCH OF TEXAS, LLC**

P.O. Box 1006, Godley, Texas 76044  
Ph. 817-937-2655, jdeal@realsearch.org, www.realsearch.org  
"Thou shalt not remove thy neighbor's landmark" Deut. 19:14  
TBPLS Firm Registration # 10158200      TBPE Firm Registration # 17968



SCALE : 1" = 600'



## LEGAL DESCRIPTION (OVERALL)

BEING a 264.507 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southeast corner of said called 212.55 acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along the northwest line of said Wylie Lane, a distance of 2608.84 feet, to a 1/2" iron rod found;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said northwest line, a distance of 1147.78 feet, to the southwest corner of said called 43.30 acre tract,;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said East right-of-way line, a distance of 935.93 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 48 Seconds East, continuing along said East right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 07 Seconds East, continuing along said East right-of-way line, a distance of 950.08 feet, to the POINT OF BEGINNING, and containing 264.507 acres of land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 2 of 4



**REALSEARCH OF TEXAS, LLC**

P.O. Box 1006, Godley, Texas 76044

Ph. 817-937-2655, [jdeal@realsearch.org](mailto:jdeal@realsearch.org), [www.realsearch.org](http://www.realsearch.org)

"Thou shalt not remove thy neighbor's landmark" Deut. 19:14

TBPLS Firm Registration # 10158200

TBPE Firm Registration # 17968

## LEGAL DESCRIPTION (PHASE I)

BEING a 209.316 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southwest corner of said called 43.30 acre tract, being on the northwest line of Wylie Lane;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to a point for corner;

THENCE Southwesterly, departing said West right-of-way line and over and across said called 212.55 acre tract, the following calls:

South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;

South 19 Degrees 33 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;

South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;

South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;

South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;

South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;

South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;

South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;

South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;

South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;

South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;

South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;

South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;

North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along said North line, a distance of 665.41 feet, to a point for corner;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said North line, a distance of 1147.78 feet, to the POINT OF BEGINNING, and containing 209.316 acres of land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 3 of 4



### REALSEARCH OF TEXAS, LLC

P.O. Box 1006, Godley, Texas 76044

Ph. 817-937-2655, [jdeal@realsearch.org](mailto:jdeal@realsearch.org), [www.realsearch.org](http://www.realsearch.org)

"Thou shalt not remove thy neighbor's landmark" Deut. 19:14

TBPLS Firm Registration # 10158200

TBPE Firm Registration # 17968



## LEGAL DESCRIPTION (PHASE II)

BEING a 55.193 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron rod found at the northernmost corner of said called 212.55 acre tract, same being the easternmost corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas, and being on the southwest right-of-way line of State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said southwest right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to the POINT OF BEGINNING;

THENCE Southwesterly, departing said southwest right-of-way line and over and across said called 212.55 acre tract, the following calls:

South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;

South 19 Degrees 33 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;

South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;

South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;

South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;

South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;

South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;

South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;

South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;

South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;

South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;

South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;

South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;

North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE North 44 Degrees 17 Minutes 59 Seconds East, along the North line of said Wylie Lane, a distance of 2608.84 feet, to a point for corner at the intersection of said North line and the southwest right-of-way line of said State Highway No. 205;

THENCE North 46 Degrees 04 Minutes 07 Seconds East, departing said North line and along the said southwest right-of-way line, a distance of 950.08 feet, to a point for corner;

THENCE North 46 Degrees 04 Minutes 48 Seconds West, continuing along said southwest right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE North 45 Degrees 49 Minutes 58 Seconds West, continuing along said southwest right-of-way line, a distance of 634.53 feet, to the POINT OF BEGINNING, and containing 55.193 acres or land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 4 of 4



### REALSEARCH OF TEXAS, LLC

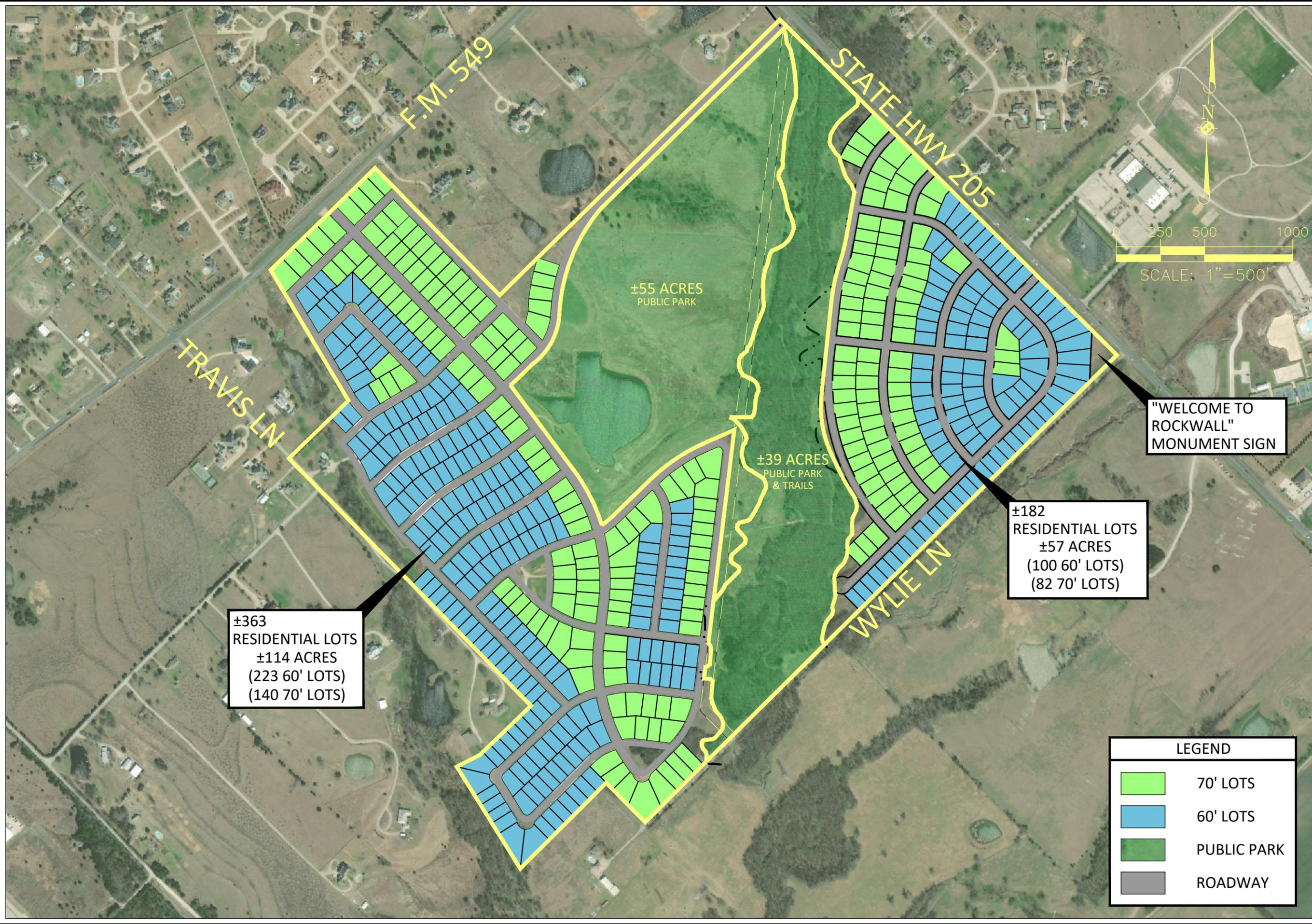
P.O. Box 1006, Godley, Texas 76044

Ph. 817-937-2655, [jdeal@realsearch.org](mailto:jdeal@realsearch.org), [www.realsearch.org](http://www.realsearch.org)

"Thou shalt not remove thy neighbor's landmark" Deut. 19:14

TBPLS Firm Registration # 10158200

TBPE Firm Registration # 17968



**HERITAGE PARK - ZONING CONCEPT PLAN**  
**SOUTHWEST CORNER OF F.M. 549 & S.H. 205**  
**ROCKWALL, ROCKWALL COUNTY, TEXAS**

DRAWN BY: **TRB**      RELEASE DATE: **03/15/2019**      SCALE: **1" = 500'**      CODE: **611.011.001**

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**Manhard**  
**CONSULTING**

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243 ph: 972.972.4250 manhard.com  
 Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
 Construction Managers | Environmental Scientists | Landscape Architects | Planners  
 Texas Board of Professional Engineers Registration No. F-18141



# 18 SOUTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

## DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

2 **Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

3 **Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

4 **Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



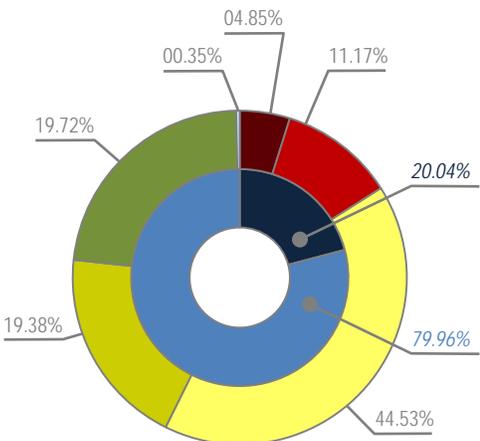
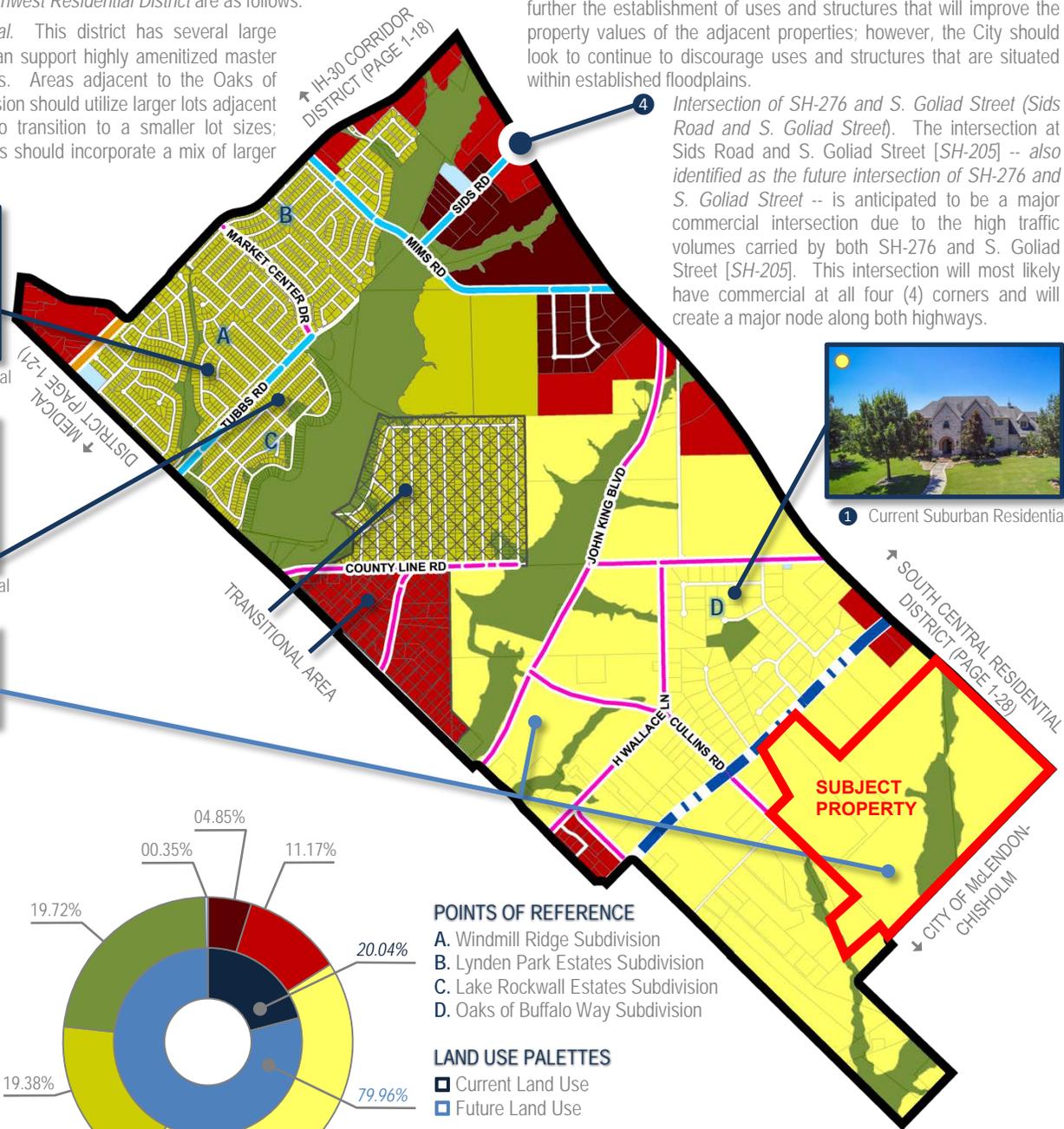
1 Current Suburban Residential



1 Current Suburban Residential



1 Future Suburban Residential



### POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

### LAND USE PALETTES

- Current Land Use
- Future Land Use

COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES

BUILD OUT	4,251
% OF ROCKWALL	10.95%
	10.34%
	12.49%
CURRENT	2,190
	188
	7,437

COMMERCIAL	20.04%
RESIDENTIAL	79.96%
MIXED USE	0.00%
MINOR COLLECTOR	
M4D	
M4U	
TXDOT 4D	

# FISCAL IMPACT ANALYSIS TOOL

**ASSUMPTIONS:** (1) All values are based on the Appraised Value and not the Market Value; (2) All Agricultural (AG) District land is assumed to be residential under Current Zoning and zoned in accordance to the Future Land Use Map under Current Zoning at Build Out.

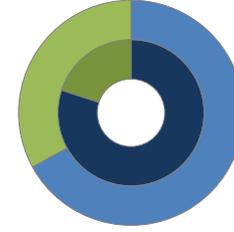
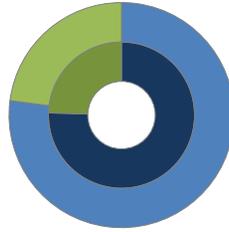
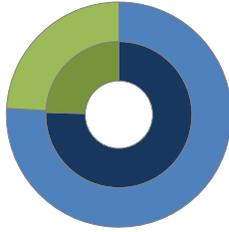
**DISCLAIMER:** The information provided below is not a reasonable basis for the approval or denial of any zoning case. This is a general tool that is meant to assist elected and appointed officials in the understanding the potential fiscal impacts of a zoning request, and to track conformance to the Comprehensive Plan's targeted land use ratios of 80% residential to 20% commercial land use, which is intended to yield a 67% residential value to 33% commercial value.

**SUMMARY OF METHODOLOGY:** The methods used in this study are based on a rough fiscal impact analysis, and involve reducing the City's land values down to a per square footage cost to estimate potential impact on existing property value. The cost of service model is constructed around the City's current fiscal year costs versus the percentage of land area that is currently residential and non-residential. A per capita multiplier and average cost method were used to estimate sales tax.

**CASE NO.:** Z2019-005

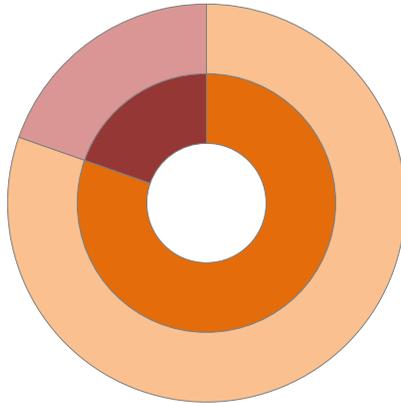
**CASE NAME:** Zoning Change (AG to PD) for Heritage Park

ZONING MAP



	PRESENT				PROPOSED				CHANGE				GOAL		
	LAND USE		LAND VALUE		LAND USE		LAND VALUE		LAND USE		LAND VALUE		ACREAGE	VALUE	DIFFERENCE
	ACRES	%	EST. PROP. VALUE	%	ACRES	%	EST. PROP. VALUE	%	CH. ACRES	% CHANGE	CHANGE IN VALUE	% CHANGE			
RESIDENTIAL	10,932.42	75.48%	\$ 4,084,912,315.77	75.90%	10,932.42	75.48%	4,358,226,434.86	77.06%	-	0.00%	273,314,119.09	5.08%	80%	67%	-10.06%
NON-RESIDENTIAL	3,552.00	24.52%	\$ 1,297,389,588.23	24.10%	3,552.00	24.52%	1,297,389,588.23	22.94%	-	0.00%	-	0.00%	20%	33%	-10.06%
	14,484.42	100.00%	\$ 5,382,301,904.00	100.00%	14,484.42	100.00%	5,655,616,023.09	100.00%			273,314,119.09	5.08%	100%	100%	
OPEN SPACE	2,487.57		\$ 380,531,381.26		2,487.57		\$ 381,558,120.00								
TOTAL	16,971.99		\$ 5,762,833,285.26		16,971.99		\$ 6,037,174,143.09								

PRESENT	
ACRES	%
RESIDENTIAL	19,687.93 80.37%
NON-RESIDENTIAL	4,809.14 19.63%
TOTAL	24,497.07 100.00%
OPEN SPACE	6,114.49
TOTAL	30,611.56
PROPOSED	
ACRES	%
RESIDENTIAL	19,687.93 80.37%
NON-RESIDENTIAL	4,809.14 19.63%
TOTAL	24,497.07 100.00%
OPEN SPACE	6,114.49
TOTAL	30,611.56
CHANGE	
ACRES	%
RESIDENTIAL	- 0.00%
NON-RESIDENTIAL	- 0.00%



FUTURE LAND USE MAP

## ESTIMATED COST/REVENUES

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
<b>BENCHMARKS</b>				
Residential Value	\$ 7,453,690.00	\$ 159,668,944.44	\$ 273,314,119.09	\$ 113,645,174.65
Non-Residential Value	\$ -	\$ -	\$ -	\$ -
Residential Acreage	264.51	264.51	264.51	-
Non-Residential Acreage	-	-	-	-
<b>ANNUAL REVENUES</b>				
Residential Revenues	\$ 29,971.29	\$ 642,405.12	\$ 1,106,099.73	\$ 463,694.61
Non-Residential Revenues	\$ -	\$ -	\$ -	\$ -
Direct Sales Tax Increase	\$ 28,561.94	\$ -	\$ -	\$ -
Indirect Sales Tax Increase	\$ -	\$ 89,426.38	\$ 243,463.32	\$ 154,036.94
Total Revenues	\$ 58,533.22	\$ 731,831.50	\$ 1,349,563.05	\$ 617,731.54
<b>ANNUAL EXPENDITURES</b>				
Cost of Community Service for Residential	\$ -	\$ (1,438,287.51)	\$ (3,584,932.10)	\$ (2,146,644.59)
Cost of Community Service for Non-Residential	\$ -	\$ -	\$ -	\$ -
Total Estimated Expenditures	\$ -	\$ (1,438,287.51)	\$ (3,584,932.10)	\$ (2,146,644.59)
<b>EST. ANN. COST/REVENUES</b>				
	\$ 58,533.22	\$ (706,456.01)	\$ (2,235,369.06)	\$ (1,528,913.05)
<b>OTHER BENCHMARKS</b>				
Additional Citizens Added to Population		614	1,531	917
Estimated Non-Resident Consumers in City		-	-	-

**NOTES:** The subject property has an agricultural exemption, which would heavily reduce the current estimated annual cost/revenues. It should also be pointed out that the model will always show residential property as running a deficit due to the community cost of service associated with residential land uses.

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 7 (SF-7) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 264.510-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 17-13, 17-14, 17-15, 17-16 & 40-8 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Kent Donahue of Donahue Development Corporation on behalf of Rockwall Highgate, LTD for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) District land uses, on a 264.510-acre tract of land identified as Tracts 17-13 [50.00-Acres], 17-14 [26.452-Acres], 17-15 [134.33-Acres], 17-16 [43.60-Acres], & 40-8 [8.79-Acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas and more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, depicted in Exhibit 'C' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'C', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Public Park* on the *Subject Property* shall generally be in accordance with the *Public Park Concept Plan*, depicted in Exhibit 'D' of this ordinance,

attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 4.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 5.** That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

**SECTION 6.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 6(b) through 6(g) below*), shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Master Parks and Open Space Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. An *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and an *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 7.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 8.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 9.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 10.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>TH</sup> DAY OF MAY, 2019.**

\_\_\_\_\_  
Jim Pruitt, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 15, 2019

2<sup>nd</sup> Reading: May 6, 2019

**Exhibit 'B':**  
*Legal Description and Survey*

*BEING* a 264.61-acre tract of land situated in the W. M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30-acre tract of land (*Tract 1*) and a called 212.55-acre tract of land (*Tract 2*) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's *File Number 2007-375596*, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, LTD., recorded in County Clerk's *File Number 2008-404731*, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

*BEGINNING* at the Southeast corner of said called 212.55-acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;  
*THENCE* South 44 Degrees 31Minutes 24 Seconds West, along the northwest line of said Wylie Lane, a distance of 2609.49 feet, to a point for corner;

*THENCE* South 45 Degrees 18 Minutes 48 Seconds West, continuing along said northwest line, a distance of 1,147.99 feet, to the southwest corner of said called 43.30-acre tract;

*THENCE* North 45 Degrees 02 Minutes 31 Seconds West, departing said northwest line, and along the southwest line of said called 212.55-acre tract, a distance of 315.56-feet, to the easternmost corner of said called Rockwall Highgate tract;

*THENCE* South 44 Degrees 22 Minutes 37 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66-feet, to the southernmost corner of said Rockwall Highgate tract;

*THENCE* North 32 Degrees 22 Minutes 19 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55-feet, to the northwest corner of said Rockwall Highgate tract;

*THENCE* North 62 Degrees 32 Minutes 45 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 110.73-feet;

*THENCE* North 62 Degrees 13 Minutes 29 Seconds East, continuing along said northwest line, a distance of 43.88-feet;

*THENCE* North 45 Degrees 26 Minutes 21 Seconds East, continuing along said North line, a distance of 393.74-feet, to the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30-acre tract and being on the northeast line of Travis Lane;

*THENCE* Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls: North 45 Degrees 00 Minutes 29 Seconds West, a distance of 599.06-feet, to a point for corner;

North 43 Degrees 53 Minutes 14 Seconds West, a distance of 436.95-feet, to a point for corner;  
North 48 Degrees 27 Minutes 46 Seconds West, a distance of 237.14-feet, to a point for corner;  
North 39 Degrees 48 Minutes 03 Seconds West, a distance of 184.23-feet, to a point for corner;  
North 44 Degrees 40 Minutes 42 Seconds West, a distance of 244.69-feet, to a point for corner;  
South 45 Degrees 08 Minutes 57 Seconds West, a distance of 12.69-feet, to a point for corner;

North 45 Degrees 01 Minutes 43 Seconds West, a distance of 260.06-feet, to the lower northwest corner of said called 43.30-acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's *File Number 1998- 181246*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 58 Minutes 51 Seconds East, departing said East line and along the lower North line of said called 43.30-acre tract, being common with the South line of said Wilson tract, a distance of 467.61-feet, to the southeast corner of said Wilson tract;

**Exhibit 'B':**  
*Legal Description and Survey*

North 31 Degrees 15 Minutes 14 Seconds West, departing said common line and along the upper West line of said called 43.30-acre tract, a distance of 857.52-feet, to the northwest corner of said called 43.30-acre tract, being on the South right-of-way line of FM Highway No. 549;

*THENCE* North 45 Degrees 31 Minutes 38 Seconds East, a long said South right-of-way line, a distance of 121.99-feet, to a point for corner;

North 45 Degrees 00 Minutes 31 Seconds East, continuing a long said South right-of-way line, a distance of 703.71-feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's *File Number 2010-436143*, Deed Records, Rockwall County, Texas;

*THENCE* South 45 Degrees 05 Minutes 09 Seconds East, departing said South right-of-way line and along the upper East line of said called 2 12.55-acre tract, being common with the West line of said Barrick tract, a distance of 995.00-feet, to a point for corner;

*THENCE* South 86 Degrees 43 Minutes 47 Seconds East, continuing along said common line, a distance of 21.21-feet, to a point for corner;

*THENCE* North 44 Degrees 53 Minutes 41 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said Barrick tract, a distance of 524.11-feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's *File Number 2014-16421*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 59 Minutes 41 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said Enloe tract, a distance of 539.08-feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493-acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in *Volume 2884, Page 250*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 44 Minutes 22 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said called 12.493-acre tract, a distance of 541.09-feet, to the southeast corner of said called 12.493-acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's *File Number 1995-156072*, Deed Records, Rockwall County, Texas;

*THENCE* North 44 Degrees 56 Minutes 40 Seconds East, departing said common line and along the lower North line of said called 212.55-acre tract, being common with the South line of said Zeb tract, a distance of 606.32-feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

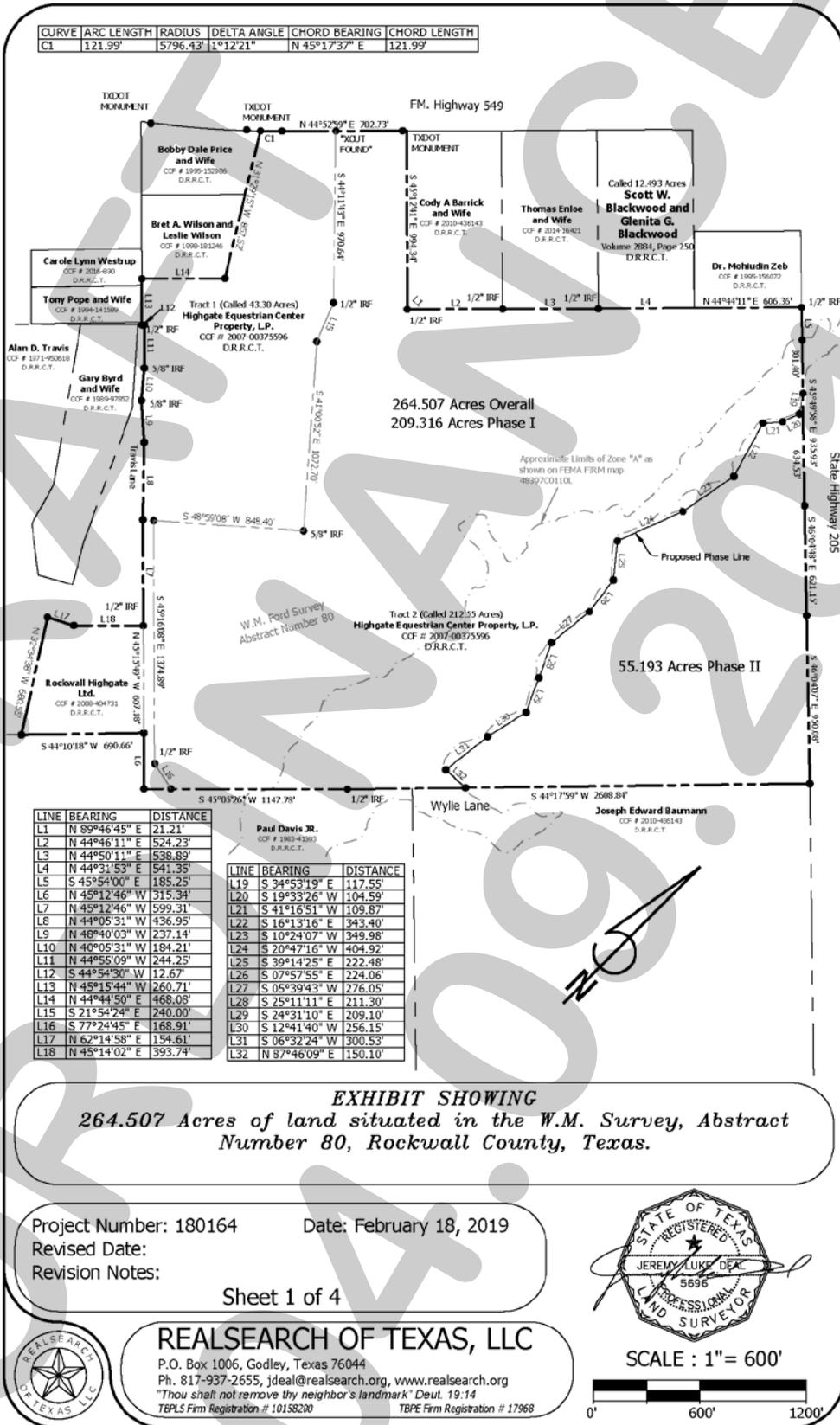
*THENCE* South 45 Degrees 37 Minutes 13 Seconds East, departing said common line and along said West right-of-way line, a distance of 1,121.18-feet, to a point for corner;

*THENCE* South 45 Degrees 51 Minutes 23 Seconds East, continuing along said East right-of-way line, a distance of 621.15-feet, to a point for corner;

*THENCE* South 45 Degrees 50 Minutes 42 Seconds East, continuing a long said East right-of-way line, a distance of 951.25-feet, to the *POINT OF BEGINNING*, and containing 264.61-acres of land, more or less.

# Exhibit 'B': Legal Description and Survey

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	121.99'	5796.43'	1°12'21"	N 45°17'37" E	121.99'

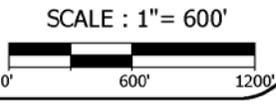


**EXHIBIT SHOWING**  
264.507 Acres of land situated in the W.M. Survey, Abstract Number 80, Rockwall County, Texas.

Project Number: 180164      Date: February 18, 2019  
 Revised Date:  
 Revision Notes:  
 Sheet 1 of 4



**REALSEARCH OF TEXAS, LLC**  
 P.O. Box 1006, Godley, Texas 76044  
 Ph. 817-937-2655, jdeal@realsearch.org, www.realsearch.org  
 "Thou shalt not remove thy neighbor's landmark" Deut. 19:14  
 TBPLS Firm Registration # 10158200      TBPE Firm Registration # 17968



**Exhibit 'B':**  
**Legal Description and Survey**

**LEGAL DESCRIPTION (OVERALL)**

BEING a 264.507 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being all of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southeast corner of said called 212.55 acre tract, being at the intersection of the southwest right-of-way line of State Highway No. 205, and the northwest line of Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along the northwest line of said Wylie Lane, a distance of 2608.84 feet, to a 1/2" iron rod found;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said northwest line, a distance of 1147.78 feet, to the southwest corner of said called 43.30 acre tract;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 660.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;

North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;

North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;

North 40 Degrees 05 Minutes 31 Seconds West, a distance of 194.21 feet, to a 5/8" iron rod found;

North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;

South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;

North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barick tract, a distance of 524.23 feet, to the southeast corner of said Barick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2884, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said East right-of-way line, a distance of 935.93 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 48 Seconds East, continuing along said East right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE South 46 Degrees 04 Minutes 07 Seconds East, continuing along said East right-of-way line, a distance of 950.08 feet, to the POINT OF BEGINNING, and containing 264.507 acres of land, more or less.

Project Number: 180164

Date: February 18, 2019

Revised Date:

Revision Notes:

Sheet 2 of 4



**REALSEARCH OF TEXAS, LLC**

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"Thou shalt not remove thy neighbor's landmark" Deut. 19:14

TBPLS Firm Registration #: 10158200

TBPE Firm Registration #: 17968

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**Exhibit 'B':**  
**Legal Description and Survey**

**LEGAL DESCRIPTION (PHASE I)**

BEING a 209.316 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 43.30 acre tract of land (Tract 1) and a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being all of that certain tract of land described by deed to Rockwall Highgate, Ltd., recorded in County Clerk's File Number 2008-404731, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the Southwest corner of said called 43.30 acre tract, being on the northwest line of Wylie Lane;

THENCE North 45 Degrees 12 Minutes 46 Seconds West, departing said northwest line, and along the southwest line of said called 212.55 acre tract, a distance of 315.34 feet, to the easternmost corner of said called Rockwall Highgate tract;

THENCE South 44 Degrees 10 Minutes 18 Seconds West, departing said West line and along the southeast line of said Rockwall Highgate tract, a distance of 690.66 feet, to the southernmost corner of said Rockwall Highgate tract;

THENCE North 32 Degrees 34 Minutes 38 Seconds West, departing said southeast line and along the West line of Rockwall Highgate tract, a distance of 680.55 feet, to the northwest corner of said Rockwall Highgate tract;

THENCE North 62 Degrees 14 Minutes 58 Seconds East, departing said West line and along the northwest line of said Rockwall Highgate tract, a distance of 154.61 feet;

THENCE North 45 Degrees 14 Minutes 02 Seconds East, continuing along said northwest line, a distance of 393.74 feet, to a 1/2" iron rod found at the northernmost corner of said Rockwall Highgate tract, being on the southwest line of said called 43.30 acre tract and being on the northeast line of Travis Lane;

THENCE Northerly, departing said North line and along the northeast line of said Travis Lane, the following calls:

- North 45 Degrees 12 Minutes 46 Seconds West, a distance of 599.31 feet, to a point for corner;
- North 44 Degrees 05 Minutes 31 Seconds West, a distance of 436.95 feet, to a point for corner;
- North 48 Degrees 40 Minutes 03 Seconds West, a distance of 237.14 feet, to a 5/8" iron rod found;
- North 40 Degrees 05 Minutes 31 Seconds West, a distance of 184.21 feet, to a 5/8" iron rod found;
- North 44 Degrees 55 Minutes 09 Seconds West, a distance of 244.25 feet, to a 5/8" iron rod found;
- South 44 Degrees 54 Minutes 30 Seconds West, a distance of 12.67 feet, to a point for corner;
- North 45 Degrees 15 Minutes 44 Seconds West, a distance of 260.71 feet, to the lower northwest corner of said called 43.30 acre tract, same being the southwest corner of a that certain tract of land described by deed to Bret A. Wilson and Leslie Wilson, recorded in County Clerk's File Number 1998-181246, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 50 Seconds East, departing said East line and along the lower North line of said called 43.30 acre tract, being common with the South line of said Wilson tract, a distance of 468.08 feet, to the southeast corner of said Wilson tract;

North 31 Degrees 29 Minutes 15 Seconds West, departing said common line and along the upper West line of said called 43.30 acre tract, a distance of 857.52 feet, to the northwest corner of said called 43.30 acre tract, being on the South right-of-way line of F.M. Highway No. 549 and being at the beginning of a non-tangent curve to the left;

THENCE 121.99 feet, along said South right-of-way line and with said curve to the left, having a radius of 5796.43 feet, through a central angle of 01 Degrees 12 Minutes 21 Seconds, whose long chord bears North 45 Degrees 17 Minutes 37 Seconds East, a chord length of 121.99 feet, to a point for corner;

THENCE North 44 Degrees 52 Minutes 59 Seconds East, continuing along said South right-of-way line, a distance of 702.73 feet, to the upper northeast corner of said called 212.55 acre tract, same being the northwest corner of that certain tract of land described by deed to Cody A. Barrick and Wife, recorded in County Clerk's File Number 2010-436143, Deed Records, Rockwall County, Texas;

THENCE South 45 Degrees 12 Minutes 41 Seconds East, departing said South right-of-way line and along the upper East line of said called 212.55 acre tract, being common with the West line of said Barrick tract, a distance of 994.34 feet, to a point for corner;

THENCE North 89 Degrees 46 Minutes 45 Seconds East, continuing along said common line, a distance of 21.21 feet, to a point for corner;

THENCE North 44 Degrees 46 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Barrick tract, a distance of 524.23 feet, to the southeast corner of said Barrick tract, same being the southwest corner of that certain tract of land described by deed to Thomas Enloe and Wife, recorded in County Clerk's File Number 2014-16421, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 50 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Enloe tract, a distance of 538.89 feet, to the southeast corner of said Enloe tract, same being the southwest corner of a called 12.493 acre tract of land described by deed to Scott W. Blackwood and Glenita G. Blackwood, recorded in Volume 2834, Page 250, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 31 Minutes 53 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said called 12.493 acre tract, a distance of 541.35 feet, to the southeast corner of said called 12.493 acre tract, same being the southwest corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas;

THENCE North 44 Degrees 44 Minutes 11 Seconds East, departing said common line and along the lower North line of said called 212.55 acre tract, being common with the South line of said Zeb tract, a distance of 606.36 feet, to the southeast corner of said Zeb tract, being on the West right-of-way line of said State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said West right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to a point for corner;

THENCE Southwesterly, departing said West right-of-way line and over and across said called 212.55 acre tract, the following calls:

- South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;
- South 19 Degrees 38 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;
- South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;
- South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;
- South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;
- South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;
- South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;
- South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;
- South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;
- South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;
- South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;
- South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;
- South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;
- North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE South 44 Degrees 17 Minutes 59 Seconds West, along said North line, a distance of 665.41 feet, to a point for corner;

THENCE South 45 Degrees 05 Minutes 26 Seconds West, continuing along said North line, a distance of 1147.78 feet, to the POINT OF BEGINNING, and containing 209.316 acres of land, more or less.

Project Number: 180164  
Revised Date:  
Revision Notes:

Date: February 18, 2019

Sheet 3 of 4



**REALSEARCH OF TEXAS, LLC**

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TBPLS Firm Registration #: 10158200 TBPE Firm Registration #: 17968



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**Exhibit 'B':**  
**Legal Description and Survey**

**LEGAL DESCRIPTION (PHASE II)**

BEING a 55.193 acre tract of land situated in the W.M. Ford Survey, Abstract Number 80, Rockwall County, Texas, and being a portion of a called 212.55 acre tract of land (Tract 2) described by deed to Highgate Equestrian Center Property, L.P., recorded in County Clerk's File Number 2007-375596, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron rod found at the northernmost corner of said called 212.55 acre tract, same being the easternmost corner of that certain tract of land described by deed to Dr. Mohiudin Zeb, recorded in County Clerk's File Number 1995-156072, Deed Records, Rockwall County, Texas, and being on the southwest right-of-way line of State Highway No. 205;

THENCE South 45 Degrees 54 Minutes 00 Seconds East, departing said common line and along said southwest right-of-way line, a distance of 185.25 feet, to a point for corner;

THENCE South 45 Degrees 49 Minutes 58 Seconds East, continuing along said southwest right-of-way line, a distance of 301.40 feet, to the POINT OF BEGINNING;

THENCE Southwesterly, departing said southwest right-of-way line and over and across said called 212.55 acre tract, the following calls:

South 34 Degrees 53 Minutes 19 Seconds East, a distance of 117.55 feet, to a point for corner;

South 19 Degrees 33 Minutes 26 Seconds West, a distance of 104.59 feet, to a point for corner;

South 41 Degrees 16 Minutes 51 Seconds West, a distance of 109.87 feet, to a point for corner;

South 16 Degrees 13 Minutes 16 Seconds East, a distance of 343.40 feet, to a point for corner;

South 10 Degrees 24 Minutes 07 Seconds West, a distance of 349.98 feet, to a point for corner;

South 20 Degrees 47 Minutes 16 Seconds West, a distance of 404.92 feet, to a point for corner;

South 39 Degrees 14 Minutes 25 Seconds East, a distance of 222.48 feet, to a point for corner;

South 07 Degrees 57 Minutes 55 Seconds East, a distance of 224.06 feet, to a point for corner;

South 05 Degrees 39 Minutes 43 Seconds West, a distance of 276.05 feet, to a point for corner;

South 25 Degrees 11 Minutes 11 Seconds East, a distance of 211.30 feet, to a point for corner;

South 24 Degrees 31 Minutes 10 Seconds East, a distance of 209.10 feet, to a point for corner;

South 12 Degrees 41 Minutes 40 Seconds West, a distance of 256.15 feet, to a point for corner;

South 06 Degrees 32 Minutes 24 Seconds West, a distance of 300.53 feet, to a point for corner;

North 87 Degrees 46 Minutes 09 Seconds East, a distance of 150.10 feet, to a point for corner, being on the North line of said Wylie Lane;

THENCE North 44 Degrees 17 Minutes 59 Seconds East, along the North line of said Wylie Lane, a distance of 2608.84 feet, to a point for corner at the intersection of said North line and the southwest right-of-way line of said State Highway No. 205;

THENCE North 46 Degrees 04 Minutes 07 Seconds East, departing said North line and along the said southwest right-of-way line, a distance of 950.08 feet, to a point for corner;

THENCE North 46 Degrees 04 Minutes 48 Seconds West, continuing along said southwest right-of-way line, a distance of 621.15 feet, to a point for corner;

THENCE North 45 Degrees 49 Minutes 58 Seconds West, continuing along said southwest right-of-way line, a distance of 634.53 feet, to the POINT OF BEGINNING, and containing 55.193 acres or land, more or less.

Project Number: 180164  
Revised Date:  
Revision Notes:

Date: February 18, 2019

Sheet 4 of 4



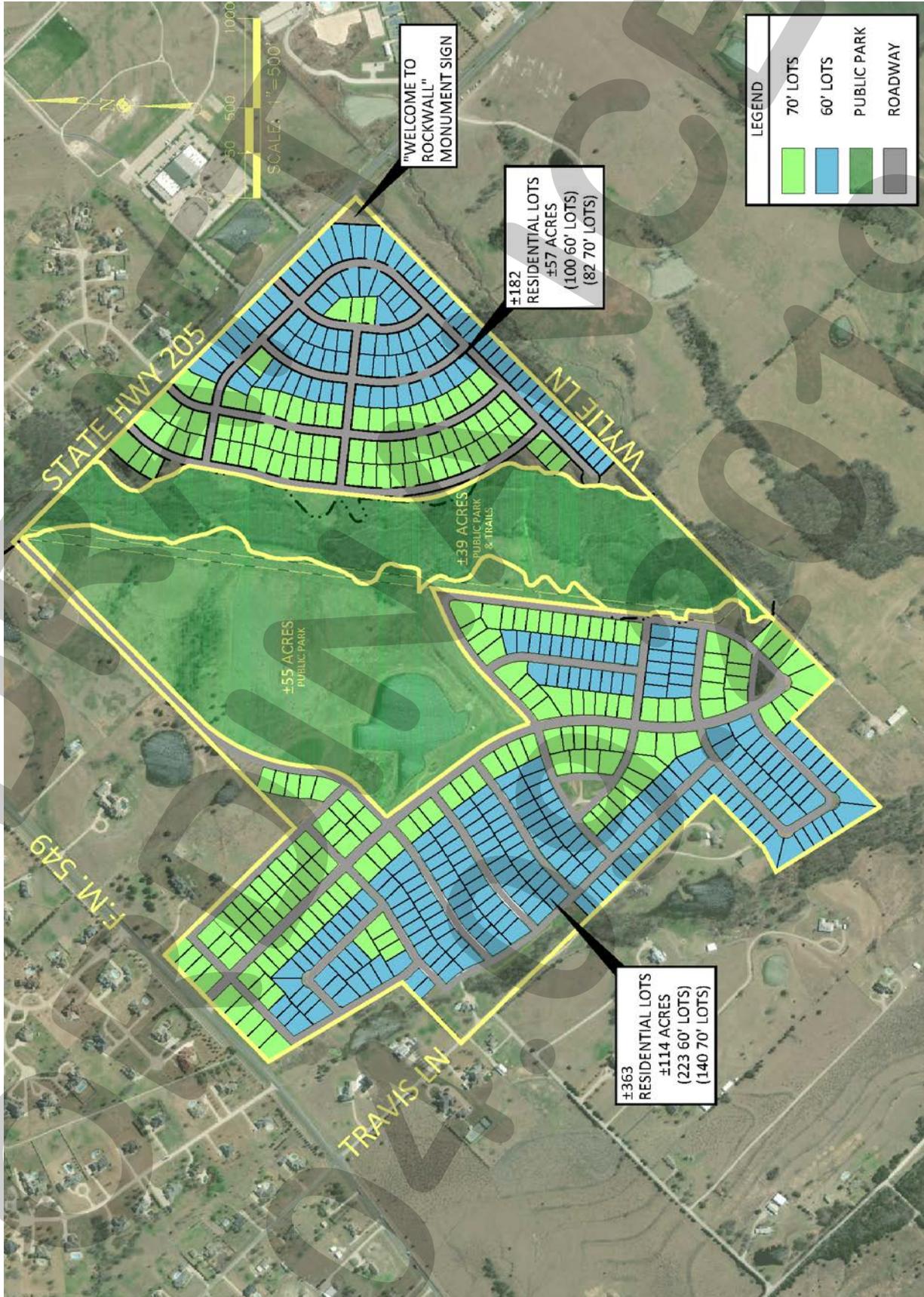
**REALSEARCH OF TEXAS, LLC**

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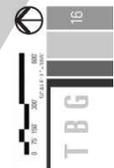


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**Exhibit 'C':  
Concept Plan**



**Exhibit 'D':**  
*Public Park Concept Plan*



**HERITAGE PARK / PARK MASTER PLAN**

Exhibit 'D':  
Public Park Concept Plan



**Exhibit 'E':  
Density and Development Standards**

**Density and Development Standards.**

1. *Permitted Uses.* Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Lot Composition and Layout.* The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,200 SF	323	59.27%
B	70' x 130'	9,100 SF	222	40.73%
<i>Maximum Permitted Units:</i>			545	100.00%

3. *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article V, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.10 dwelling units per gross acre of land; however, in no case should the proposed development exceed 545 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	A	B
<i>Minimum Lot Width</i> <sup>(1)</sup>	60'	70'
<i>Minimum Lot Depth</i>	120'	130'
<i>Minimum Lot Area</i>	7,200 SF	9,100 SF
<i>Minimum Front Yard Setback</i> <sup>(2) &amp; (5)</sup>	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> <sup>(2) &amp; (5)</sup>	10'	10'
<i>Minimum Length of Driveway Pavement</i>	20'	20'
<i>Maximum Height</i> <sup>(3)</sup>	36'	36'
<i>Minimum Rear Yard Setback</i> <sup>(4)</sup>	20'	20'
<i>Minimum Area/Dwelling Unit (SF) [Air Conditioned Space]</i>	2,000 SF	2,300 SF
<i>Maximum Lot Coverage</i>	65%	65%

General Notes:

1. The minimum lot width shall be measured at the *Front Yard Building Setback*.
2. The location of the *Front Yard Building Setback* as measured from the front property line.
3. The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
4. As measured from the rear yard property line.
5. Porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*.

4. *Building Standards.* All development shall adhere to the following building standards:

(a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 90%, with front façades being 100% masonry. For the

**Exhibit 'E':**  
*Density and Development Standards*

purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) may be used for up to 50% of the masonry requirement; however, stucco (i.e. *three [3] part stucco* or a *comparable -- to be determined by staff*) shall be permitted through a Specific Use Permit (SUP) only. Siding products (e.g. *HardiBoard* or *Hardy Plank*) shall not be visible from any major thoroughfare (i.e. *John King Boulevard* and *Horizon Road* on Exhibit 'B' of this ordinance).

- (b) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
  
- (c) *Garage Orientation.* Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a flat, front entry configuration (i.e. *even with the front façade of the primary structure*). Garages utilizing a *traditional swing* (or *j-swing*) are permitted to have a second garage door facing the street that is behind the front façade of the primary structure. Garages configured in a flat, front entry configuration shall be setback a minimum of ten (10) feet from the front façade of the primary structure. All garage doors shall be required to have upgraded finishes (e.g. *divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors, or a similar alternative -- to be approved by staff*) [examples of acceptable garage configurations are depicted in Figures 1 & 2]. In addition, all driveways must be constructed with ornamental stamped concreted and/or brick pavers. All garage configurations not conforming to this section shall meet the requirements of Article VI, *Parking and Loading*, of the Unified Development Code (UDC).

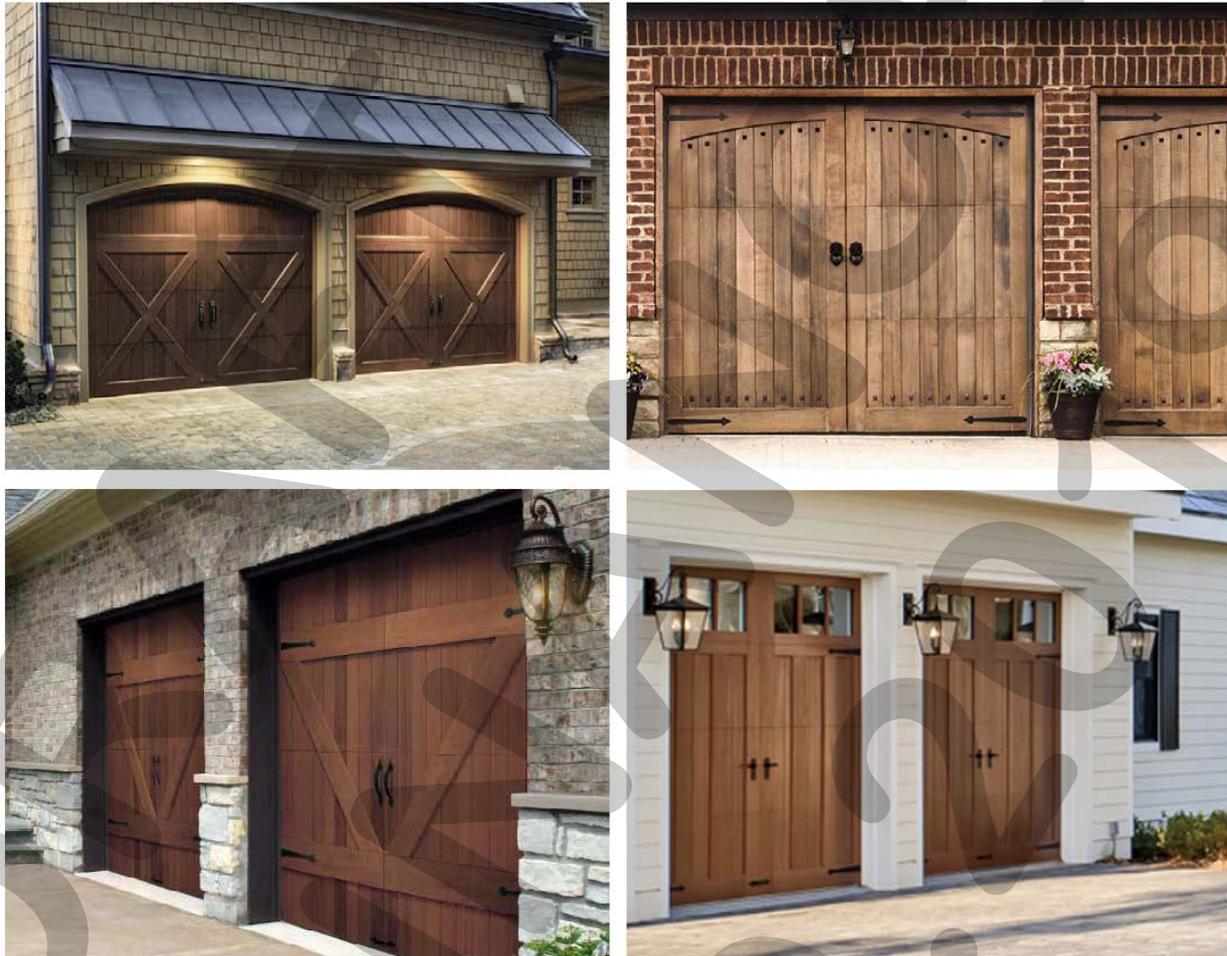
Figure 1. Examples of Upgraded Finishes



*Continued on Next Page ...*

**Exhibit 'E':**  
*Density and Development Standards*

*Figure 2. Examples of Acceptable Garage Enhancements*



5. *Anti-Monotony Restrictions.* The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see *Figures 3 & 4* below).

*Table 3 : Anti-Monotony Matrix*

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	60' x 120'	(1), (2), (3)
B	70' x 130'	(1), (2), (3)

- (1) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (2) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-549 or SH-205 shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

**Exhibit 'E':**  
*Density and Development Standards*

- (a) Number of Stories
  - (b) Permitted Encroachment Type and Layout
  - (c) Roof Type and Layout
  - (d) Articulation of the Front Façade
- (3) Permitted encroachment (*i.e. porches*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



6. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

- (a) **Front Yard Fences.** Front yard fences shall be prohibited.

**Exhibit 'E':**  
*Density and Development Standards*

- (b) *Wood Fences.* All wood fences shall be constructed of a standard fencing material (*minimum of ½" thickness or better; spruce fencing will not be allowed*), and use fasteners that are hot dipped galvanized or stainless steel. Wood fences facing onto a street shall be painted and/or stained and sealed with all pickets being placed on the *public side* facing the street. All wood fences shall be smooth-finished, free of burs and splinters.
- (c) *Wrought Iron/Tubular Steel.* Lots located along the perimeter of roadways (*i.e. SH-205, FM-549 and Wylie Lane*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) *Corner Lots.* Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) *Solid Fences (including Wood Fences).* All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

**7. Landscape and Hardscape Standards.**

- (1) *Landscape.* Landscaping shall be reviewed and approved with the PD Site Plan. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height unless specifically provided below. The following tree species are approved for planting within this subdivision:
  - (a) *Canopy/Shade Trees.* Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Allen Elm, Chinese Pistachio, Shumard Oak, Sycamore, Live Oak and Burr Oak.
  - (b) *Accent/Ornamental/Under-Story Trees.* Texas Redbud, Eve's Necklace, Mexican Plum, Downy Hawthorn, Crepe Myrtle, Texas Mountain Laurel, Vitex, and Desert Willow.
- (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
  - (a) *Landscape Buffer and Sidewalks (FM-549).* A minimum of a 30-foot landscape buffer shall be provided along FM-549 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.
  - (b) *Landscape Buffer and Sidewalks (SH-205).* A minimum of a 30-foot landscape buffer shall be provided along SH-205 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or

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shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.

(c) *Landscape Buffers (All Other Roadways)*. A minimum of a 10-foot landscape buffer shall be provided along roadways (*outside of and beyond any required right-of-way dedication*), and shall incorporate one (1) canopy tree per 50-feet of linear frontage.

(3) *Street Trees*. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

(4) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).

(5) *Hardscape*. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.

8. *Street*. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.

9. *Lighting*. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.

10. *Sidewalks*. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.

11. *Buried Utilities*. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

12. *Open Space*. The development shall consist of a minimum of 30% open space (*or a minimum of 79.353-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (*including landscape buffers*) shall be maintained by the Homeowner's Association (HOA).

**Exhibit 'E':**  
*Density and Development Standards*

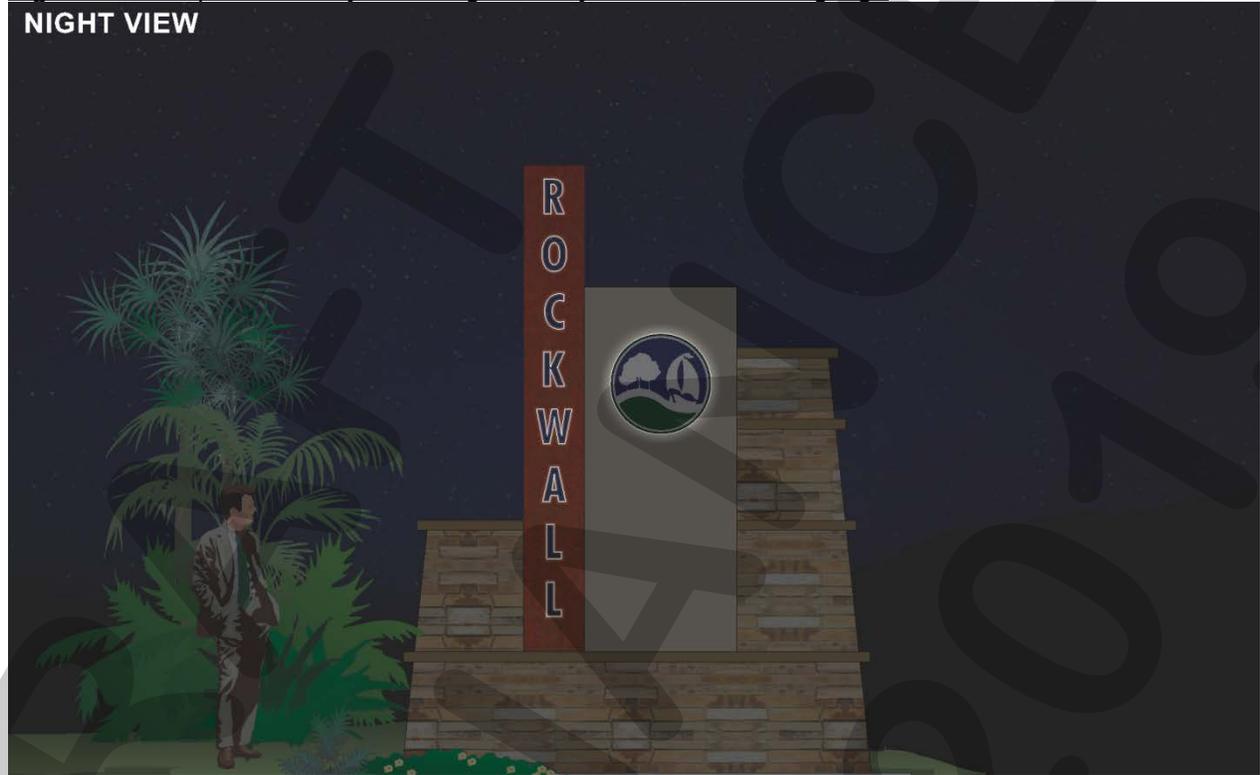
13. *Public Park.* The proposed ~94.00-acre public park shall generally conform to the *Public Park Concept Plan* depicted in *Exhibit 'D'* of this ordinance. This park shall be constructed with the first phase of the proposed development.
14. *Neighborhood Signage and Enhancements.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
15. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), irrigation, landscaping, screening fences and neighborhood signage associated with this development.
16. *Gateway Monumentation Signage.* Permanent City of Rockwall gateway monumentation signage shall be constructed at the southwest corner of the subject property as indicated on the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. The design for the signage shall be submitted with the *PD Site Plan*. The Architectural Review Board (ARB) shall review the proposed signage and make recommendations to the Planning and Zoning Commission, which shall consider the signage for recommendation to the City Council in conjunction with the *PD Site Plan*. The City Council shall have final approval authority for the proposed gateway monumentation signage. The proposed signage shall be similar to or better than the City's existing gateway monumentation signage, which is depicted in *Figures 5 & 6* below. The signage shall be required to be constructed with the first phase of the development.

Figure 5. Example of the City's Existing Gateway Monumentation Signage



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*Figure 6. Example of the City's Existing Gateway Monumentation Signage*



17. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

**From:** [Kent Donahue](#)  
**To:** [Miller, Ryan](#)  
**Subject:** Heritage Park  
**Date:** Tuesday, April 9, 2019 4:31:26 PM

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Ryan – Please allow this to serve as our intent to table the Heritage Park Zoning Request until the 4/30 PZ Meeting and the 5/20 City Council Meeting.

Please let me know if you have any questions.

Thank you for your assistance.

Kent Donahue

Donahue Development Corporation  
15443 Knoll Trail  
Suite 130  
Dallas, Texas 75248  
Cell: (214) 354-7881

**From:** [Kent Donahue](#)  
**To:** [Miller, Ryan](#)  
**Cc:** [Crowley, Rick](#)  
**Subject:** Heritage Park  
**Date:** Tuesday, April 16, 2019 9:54:56 AM

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Ryan – I am very disappointed in last night's PID hearing and the way that I have been treated in Rockwall. I am withdrawing the zoning request for Heritage Park. The landowner may resubmit at some point in the future but I will not be involved.

Kent Donahue

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