



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # P2020-005 P&Z DATE 01/28/2020 CC DATE 02/18/2020 APPROVED/DENIED  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

## ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

## SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

## PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# \_\_\_\_\_)
- ☐ APPLICATIONS
- ☐ RECEIPT
- ☐ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE \_\_\_\_\_
  - ☐ CABINET # \_\_\_\_\_
  - ☐ SLIDE # \_\_\_\_\_

NOTES: \_\_\_\_\_

ZONING MAP UPDATED \_\_\_\_\_





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2020-085

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>  
☒ Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>  
☐ Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>  
☐ Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>  
☐ Amending or Minor Plat (\$150.00)  
☐ Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>  
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>  
☐ Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>  
☐ PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- ☐ Tree Removal (\$75.00)  
☐ Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address NWC of SH 205 & Sids Rd

Subdivision Rockwall Hospital Addition (9.01 Ac.)  
& ABS A0145, JD MCFARLAND, Tract 18 (31.03 Ac.)

Lot

1

Block

A

General Location NWC of SH 205 & Sids Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Commercial

Current Use Vacant

Proposed Zoning Commercial

Proposed Use Commercial Mixed Use

Acreage 39.53

Lots [Current] 2

Lots [Proposed] 7

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner Howell MTN RE LLC

☒ Applicant Triangle Engineering LLC

Contact Person Gene Cooper

Contact Person Kevin Patel

Address 2560 Technology Dr  
Suite 100

Address 1784 W. McDermott Dr.  
Suite 110

City, State & Zip Plano, TX 75074

City, State & Zip Allen, TX 75013

Phone 512-698-9494

Phone 469-213-1707

E-Mail Doug@viaductdev.com

E-Mail kpatel@triangle-engr.com

## NOTARY VERIFICATION [REQUIRED]

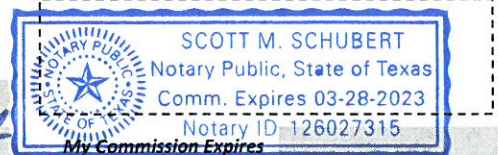
Before me, the undersigned authority, on this day personally appeared Gene Cooper [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$\_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 17 day of January, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 9th day of January 2020

Owner's Signature

Notary Public in and for the State of Texas







# DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

☒ **PLAT TYPE.**

- ☐ MINOR/AMENDING PLAT.
- ☐ MASTER PLAT.
- ☒ PRELIMINARY PLAT.
- ☐ FINAL PLAT.
- ☐ REPLAT.
- ☐ VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

☒ **DIGITAL COPY OF THE PLAT.** The following is required with all plat submittals:

- ☒ ONE (1) PDF COPY OF THE PLAT
- ☒ ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

*\* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE*

- ☐ TREESCAPE PLAN [IF APPLICABLE].
- ☐ LANDSCAPE PLAN [IF APPLICABLE].
- ☒ APPLICATION AND APPLICATION FEE.

## SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

☐ **PLAN SET.** A plan set is composed of the following items:

- ☐ SITE PLAN.
- ☐ LANDSCAPE PLAN.
- ☐ TREESCAPE PLAN.
- ☐ PHOTOMETRIC PLAN.
- ☐ BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- ☐ **BUILDING MATERIAL SAMPLE BOARD.** See the *Material Sample Board Design Guidelines* in this development packet.
- ☐ **VARIANCE REQUEST LETTER.** The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- ☐ APPLICATION AND APPLICATION FEE.

## ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- ☐ **LEGAL DESCRIPTION.** A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ☐ **ZONING EXHIBIT OR CONCEPT PLAN.** A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- ☐ **LETTER OF EXPLANATION.** A letter from the applicant or property owner explaining the purpose of the zoning application.
- ☐ APPLICATION AND APPLICATION FEE.

**IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.**





# CHECKLIST FOR PLAT SUBMITTALS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## Case Type:

- |  |  |
|--|--|
| <input type="checkbox"/> Minor/Amending Plat | <input type="checkbox"/> Replat                      |
| <input type="checkbox"/> Final Plat          | <input checked="" type="checkbox"/> Preliminary Plat |
| <input type="checkbox"/> Master Plat         | <input type="checkbox"/> Vacation Plat               |

## Case Number

## Reviewed By:

## Review Date:

**NOTES:** The requirements listed below are based on the case type, which is indicated in the '[ ]' below the requirement description. On the checklist below a Replat, Minor Subdivision Plat, and Vacation Plat would be required to meet all the same requirements as a Final Plat.

Requirements	✓ = OK	N/A	Comments
Case Number [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	The case number will be provided by staff and placed in the lower right-hand corner of all new submittals.
Items Necessary for Plat Review:			
✓ Plat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	[Final Plat, Preliminary Plat & Master Plat]
✓ Treescape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Landscape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Plat Reinstatement Request	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Check w/ Planning Staff
Submittal Requirements [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (18" x 24") <b>folded</b> copies and one (1) PDF digital copy of each plat is required at the time of submittal.
Engineering Information [Final Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide accurate plat dimensions with all engineering information necessary to reproduce the plat on the ground. <b>ENGINEERING SUBMITTAL AND APPROVAL REQUIRED PRIOR TO SUBMITTING AN APPLICATION FOR FINAL PLAT.</b>
Title Block:			
Type of Plat [Master, Preliminary, Final or Replat]			
Subdivision Name (Proposed or Approved)			
Lot / Block Designation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the title block information in the lower right-hand corner.
Number of Lots (Proposed)			
Total Acreage			
City, State, County			
Owner, Developer, and/or Surveyor/Engineer (Name/Address/Phone Number/Date of Preparation) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	This includes the names and addresses of the sub dividers, record owner, land planner, engineer and/or surveyor. The date of plat preparation should also be put in the lower right-hand corner.
Survey Monuments/State Plane Coordinates [Final Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).
Vicinity Map [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A Vicinity Map should show the boundaries of the proposed subdivision relative to the rest of the city.
North Point [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.
Numeric and Graphic Scale [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plats should be drawn to an Engineering Scale of 1"=50', 1"=100', etc...
Subdivision (Boundary, Acreage, and Square Footage) [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the subdivision boundary lines, and acreage and square footage. For Master Plats provide a schematic layout of the entire tract to be subdivided, any remainder tracts and its relationship to adjacent property and existing adjoining developments.
Lot and Block (Designation, Width, Depth and Area) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identification of each lot and block by number or letter. For each lot indicate the square footage and acreage or provide a calculation sheet. Also provide a lot count.
Dwelling Units/Population Density [Master Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the proposed number of dwelling units and population densities.
Building Setbacks [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the building lines where adjacent to a street.
Easements [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all existing and proposed easements relative to the site and include the type, purpose and width.



City Limits <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of the City Limits, contiguous or within the platting area.
Utilities (P)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed utilities. Include the size and type of each.
Property Lines <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide all the proposed and platted property lines.
Streets <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all proposed and existing streets with the proposed or approved names. For Master Plats indicate the existing arterials and collector streets to serve the land to be platted consistent with the Thoroughfare Plan or proposed amendments.
Right-Of-Way and Centerline <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the right-of-way width and street centerline for each street both within and adjacent to the development.
Additional Right-Of-Way <i>[Final Plat &amp; Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and dimensions of any proposed right-of-way dedication.
Corner Clips <i>[Final Plat &amp; Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing and proposed corner clips and any subsequent dedication.
Median Openings <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Locate and identify existing and/or proposed median openings and left turn channelization.
Topographical Contours <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Topographical information and physical features to include contours at 2-foot intervals.
Flood Elevations <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show 100-Year & 50-Year floodplain and floodway boundaries (if applicable).
Drainage Areas <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Show all drainage areas and all proposed storm drainages areas with sizes if applicable.
Wooded Areas <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the boundaries of all adjacent wooded areas.
Zoning and Land Use Information <i>[Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all proposed land uses, and existing and proposed zoning classifications. For Master Plats indicate the proposed major categories of land use.
Existing Man-Made Features <i>[Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all significant man-made features such as railroad, roads, buildings, utilities or other physical structures as shown on USGS topographic maps, utility company records and city records when such features affect the plans.
Parks and Open Space <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input type="checkbox"/>	Identify the dimensions, names and description of all parks and open spaces, both existing and proposed. For Master Plats also indicate schools and other public uses as consistent with those shown in the comprehensive plan.
Proposed Improvements <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate how the proposed improvements would relate to those in the surrounding area.
Water Sources <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate water sources inside the city limits or in the extraterritorial jurisdiction (ETJ).
Sewage Disposal <i>[Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate sewage disposal method inside the city limits or in the extraterritorial jurisdiction (ETJ).
Adjacent Properties <i>[Final Plat &amp; Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page.
Phasing Plan <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Designation of each phase of development within the subdivision, the order of development, and a schedule for the development of each phase of the master plan.
Dedication <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the boundary lines, dimensions and descriptions, of spaces to be dedicated for public use of the inhabitants of the development.
Statement of Service <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development.
Standard Plat Wording <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the appropriate plat wording provided in the application packet that details the designation of the entity responsible for the operation and maintenance of any commonly held property and a waiver releasing the city of such responsibility, a waiver releasing the City for damages in establishment or alteration of grade.
Legal Description <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Place the Legal Description (Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the application packet.
Storm Drainage Improvements Statement <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the appropriate statement of developer responsibility for storm drainage improvements found in the application packet.



Dedication Language <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the instrument of dedication or adoption signed by the owners, which is provided in the application packet.
Seal/Signature <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Required to have the seal and signature of surveyor responsible for the surveying the development and/or the preparation of the plat.
Public Improvement Statement <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proved the appropriate statement indicating that no building permits will be issued until all public improvements are accepted by the City as provided in the application packet.
Plat Approval Signatures <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a space for signatures attesting approval of the plat.
Compliance with Preliminary Plat <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Does the plat comply with all the special requirements developed in the preliminary plat review?
Review Plans with Franchise Utility Companies <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Review the proposed plans and plat with electric, gas, cable and phone companies.



## Polyline Report

Fri Jan 17 08:51:14 2020

Northing	Easting	Bearing	Distance
7015851.736	2598576.338		
		N 45°50'39" W	239.170
7016018.345	2598404.746		
		N 45°50'24" W	1018.056
7016727.588	2597674.395		
		N 44°02'25" E	981.142
7017432.884	2598356.449		
		S 46°18'59" E	355.860
7017187.100	2598613.795		
		N 13°30'14" E	387.200
7017563.595	2598704.210		
		S 46°00'37" E	528.190
7017196.752	2599084.224		
		S 31°03'19" E	476.760
7016788.326	2599330.168		
		S 43°46'25" W	10.426
7016780.797	2599322.955		
		S 31°10'20" E	363.022
7016470.190	2599510.860		
		S 06°30'28" W	48.020
7016422.479	2599505.417		
		S 43°47'29" W	226.500
7016258.977	2599348.671		
		S 34°42'42" W	336.990
7015981.962	2599156.774		
		S 43°47'05" W	50.150
7015945.756	2599122.072		
		N 45°33'29" W	326.360
7016174.269	2598889.064		
		S 44°06'56" W	449.250
7015851.736	2598576.338		

Closure Error Distance&gt; 0.00000

Total Distance&gt; 5797.097

Polyline Area: 1721721 sq ft, 39.5253 acres



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		N 45°33'29" W	326.360
7016174.269	2598889.064		
		S 44°06'56" W	449.250
7015851.736	2598576.338		

Closure Error Distance&gt; 0.00000

Total Distance&gt; 5797.097

Polyline Area: 1721721 sq ft, 39.5253 acres



**DEVELOPMENT REVIEW COMMITTEE (DRC)**  
**CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 1/17/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, . Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on at 2:00 p.m. The Planning and Zoning Commission work session will be held on at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** P2020-005  
**Project Name:** 276 ROCKWALL ADDITION  
**Project Type:** PLAT  
**Applicant Name:** KEVIN PATEL  
**Owner Name:** GENE COOPER  
**Project Description:**





# RECEIPT

Project Number: P2020-005

Job Address:

,

Receipt Number: B87950

Printed: 1/21/2020 10:23 am

Fee Description	Account Number	Fee Amount
PLATTING	01-4280	\$800.60

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**Total Fees Paid:**

**\$800.60**

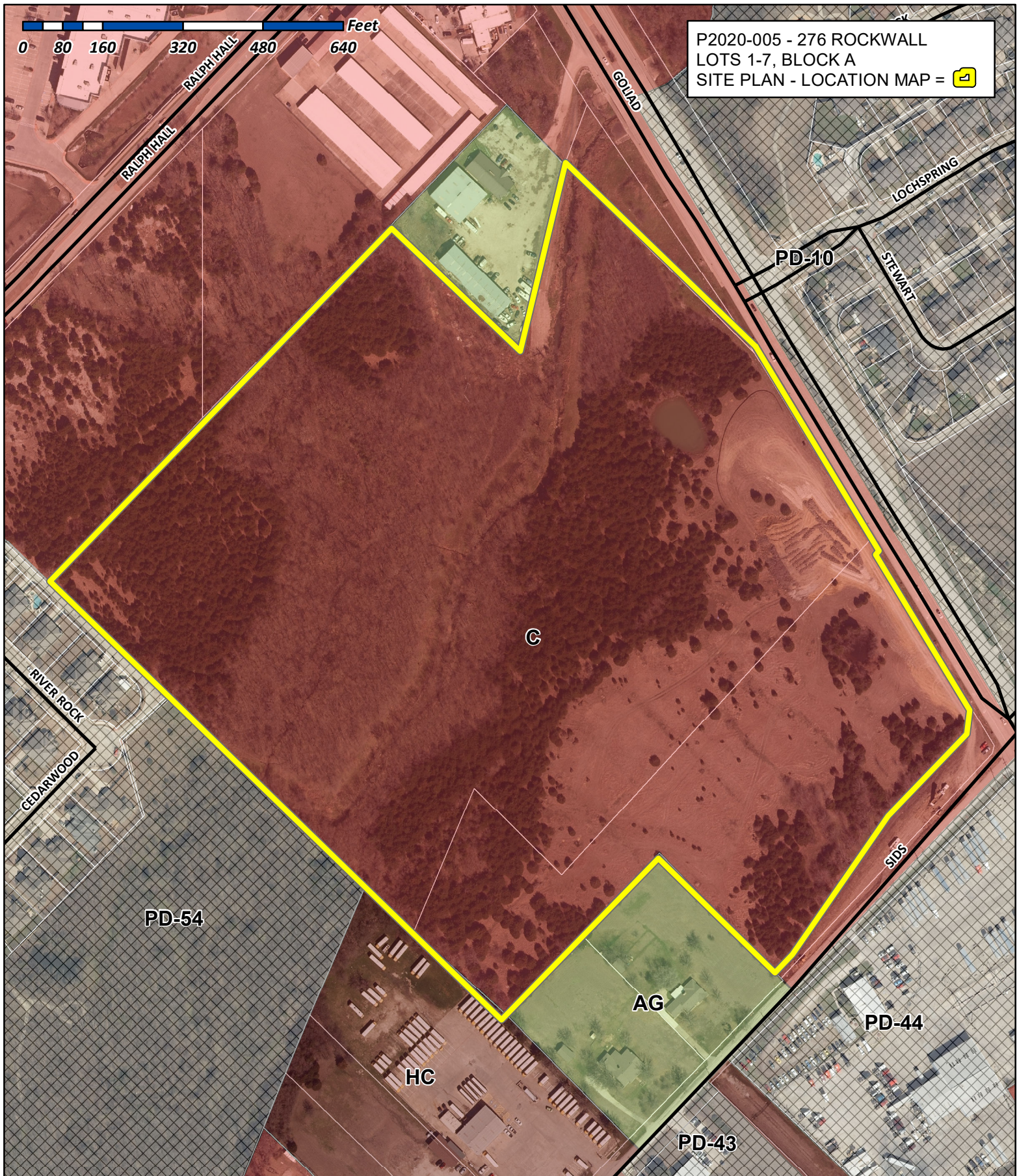
Date Paid: 1/21/2020 12:00:00AM

Paid By: KEVIN PATEL

Pay Method: CHECK 27675

Received By: AG





## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LINE AND CURVE  
TABLES ON PAGE 3

LEGEND

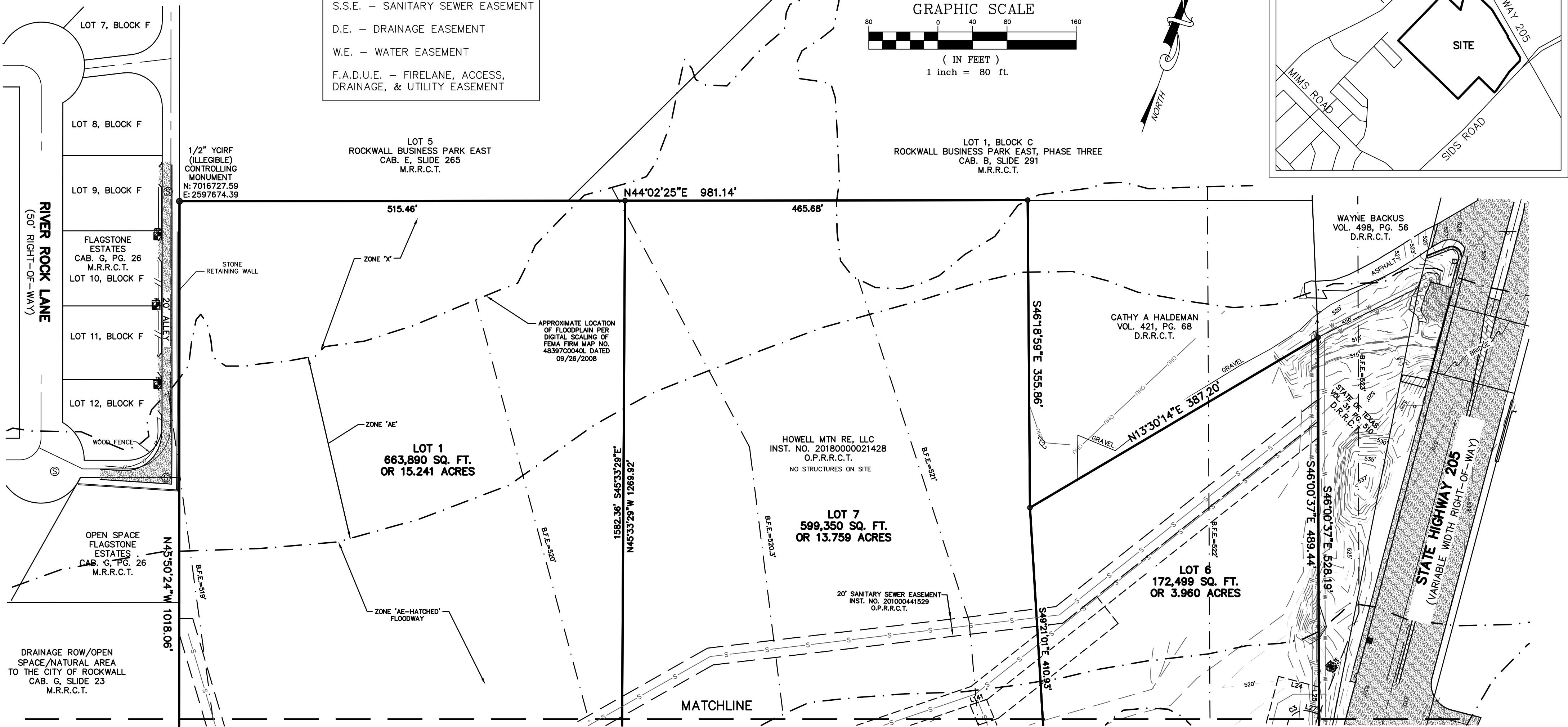
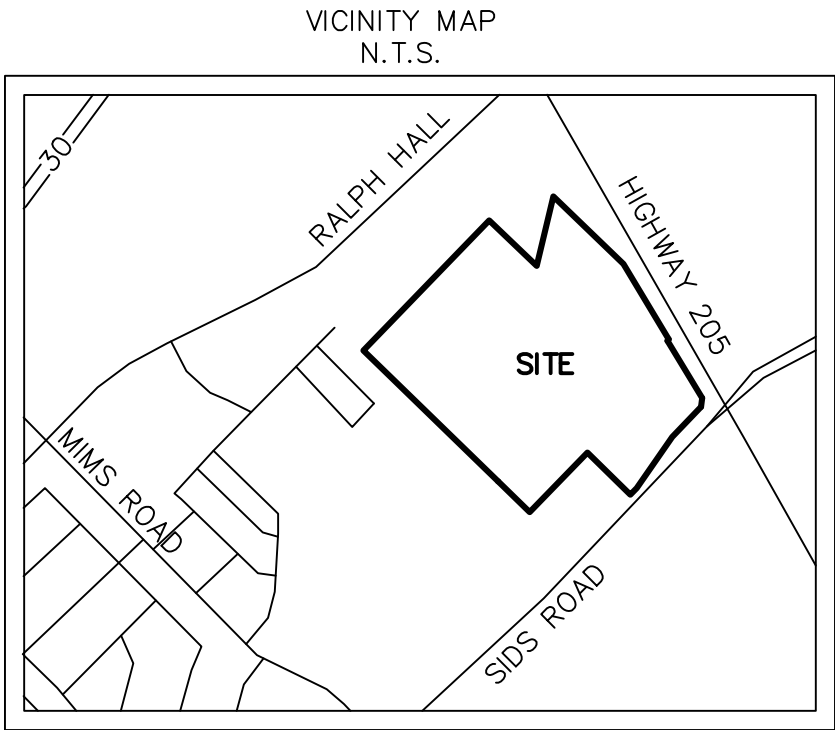
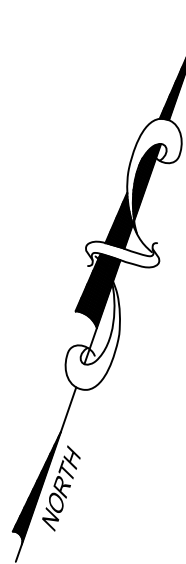
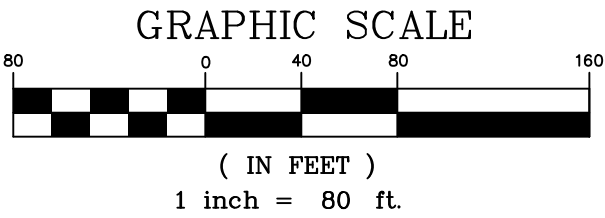
D.P.D.E. — DETENTION POND &  
DRAINAGE EASEMENT

S.S.E. — SANITARY SEWER EASEMENT

D.E. — DRAINAGE EASEMENT

W.E. — WATER EASEMENT

F.A.D.U.E. — FIRELANE, ACCESS,  
DRAINAGE, & UTILITY EASEMENT



NOTES:

1. IRF — Iron Rod Found
2. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
3. O.P.R.R.T. — Official Public Records, Rockwall County, Texas.
4. D.R.R.C.T. — Deed Records, Rockwall County, Texas.
5. M.R.R.C.T. — Map Records, Rockwall County, Texas.
6. CAB. — Cabinet
7. PG. — PAGE
8. INST — INSTRUMENT
9. NO. — NUMBER
10. This is an above-ground survey. The underground utilities, if shown, are based on information provided by the various utility companies and these locations should be considered approximate. There may be additional underground utilities not shown on this drawing.
11. Bearings of lines shown hereon refer to Grid North of the Texas Coordinate System of 1983 (North Central Zone 4202; NAD83 (2011) Epoch 2010) as derived locally from Western Data Systems Continuously Operating Reference Stations (CORS) via Real Time Kinematic (RTK) Methods.
12. All property corners monumented with 1/2 inch iron rod with "Peiser & Mankin SURV" red plastic cap set, unless otherwise noted.
13. All easements per Rockwall Hospital Addition recorded in Cabinet E, Page 133, Map Records, Rockwall County, Texas, except the 15' utility and sidewalk easement are abandoned by this plat, as shown hereon.
14. On site underground utilities are proposed and shown per Site Plan provided by Triangle Engineering LLC.

LEGEND			
	GAS METER		FIRE HYDRANT
	IRR. CONTROL VALVE		WATER METER
	TELEPHONE PEDESTAL		FUEL PORT
	POWER POLE		WATER VALVE
	DOWN GUY		TRANSFORMER PAD
	S.S. MANHOLE		ELECTRIC METER
	CLEAN OUT		STORM DRAIN MANHOLE
	SIGN		LIGHT POLE
	TYPICAL FENCE		CONCRETE
	BOLLARD		VAULT
	TRAFFIC SIGNAL POLE		

PRELIMINARY PLAT  
276 ROCKWALL ADDITION  
LOTS 1–7, BLOCK A  
BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

ENGINEER:

KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469–331–8566  
KPATEL@TRIANGLE-ENGR.COM

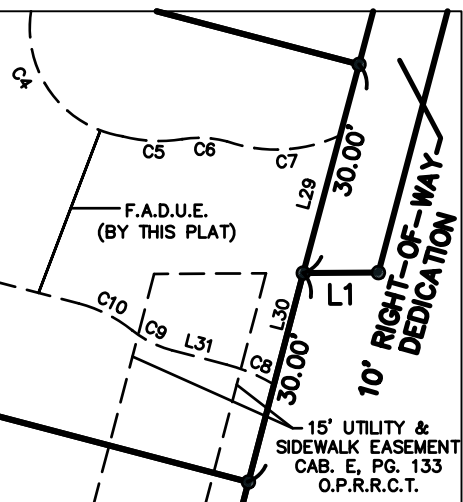
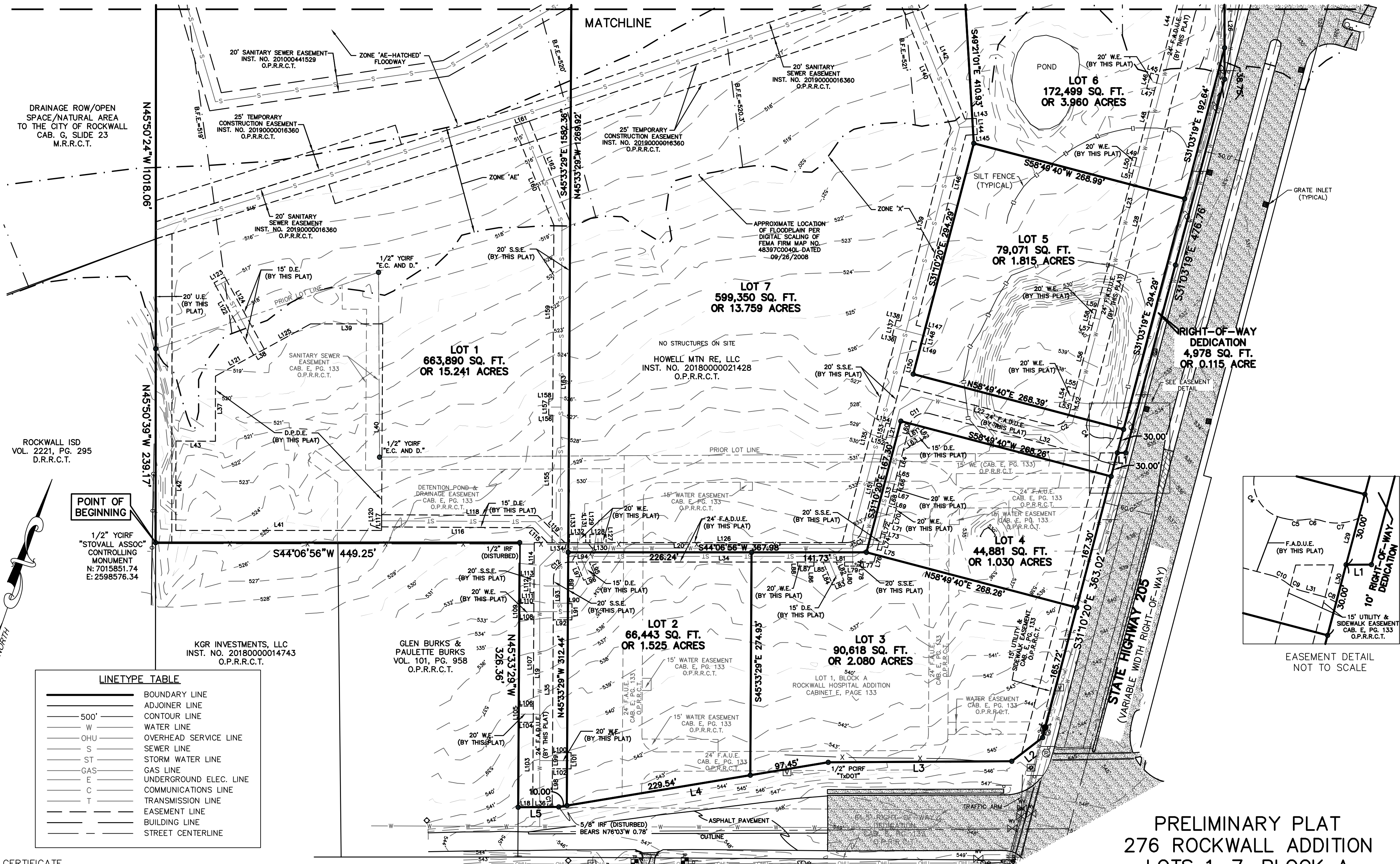
OWNER:

HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972–245–7960  
GCOOPER@COOPERGENCON.COM

CASE NO. P\_\_\_\_\_

JOB NO.: 19–0904	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE: 01/15/2020	www.peisersurveying.com		1
REV:	1604 HART STREET SOUTH LAKE, TEXAS 76092 817–481–1806 (O)		OF
SCALE: 1" = 80'	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE		4
DRAWN: J.B.W.	tmankin@peisersurveying.com FIRM No. 100999–00		Member Since 1977

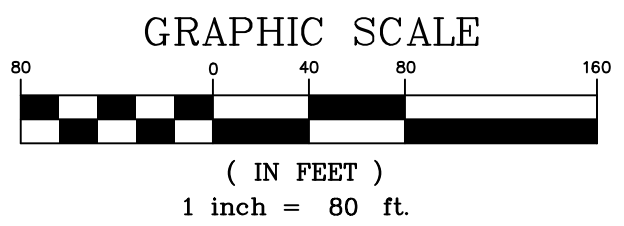




**PRELIMINARY PLAT  
276 ROCKWALL ADDITION  
LOTS 1-7, BLOCK A**

BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

**FLOOD CERTIFICATE**  
As determined by the FLOOD INSURANCE RATE MAPS for Rockwall County, a portion of the subject property does appear to lie within a Special Flood Hazard Area (100 Year Flood), Map date 09/26/2008 Community Panel No. 48397C0040L subject lot is located in Zone 'X', 'A' & 'AE'.  
If this site is not within an identified flood hazard area, this Flood Statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This Flood Statement shall not create liability on the part of the Surveyor.



**LEGEND**  
D.P.D.E. - DETENTION POND & DRAINAGE EASEMENT  
S.S.E. - SANITARY SEWER EASEMENT  
D.E. - DRAINAGE EASEMENT  
W.E. - WATER EASEMENT  
F.A.D.U.E. - FIRELANE, ACCESS, DRAINAGE, & UTILITY EASEMENT

**LINE AND CURVE  
TABLES ON PAGE 3**

**ENGINEER:**  
KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

**OWNER:**  
HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

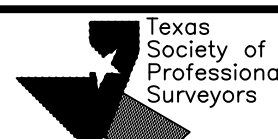
**CASE NO. P**

**JOB NO.:** 19-0904  
**DATE:** 01/15/2020  
**REV:**  
**SCALE:** 1" = 80'  
**DRAWN:** J.B.W.

**PEISER & MANKIN SURVEYING, LLC**  
[www.peisersurveying.com](http://www.peisersurveying.com)

1604 HART STREET  
SOUTH LAKE, TEXAS 76092  
817-481-1806 (O)

COMMERCIAL  
RESIDENTIAL  
BOUNDARIES  
TOPOGRAPHY  
MORTGAGE



tmankin@peisersurveying.com FIRM No. 100999-00 Member Since 1977

**SHEET**  
2  
OF  
4



LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 43°46'25" W	10.43'	L83	S 21°36'56" W	15.00'
L2	S 06°30'28" W	48.02'	L84	N 68°23'04" W	30.59'
L3	S 43°47'29" W	226.50'	L85	S 44°06'56" W	11.39'
L4	S 34°42'42" W	336.99'	L86	S 45°53'04" E	5.00'
L5	S 43°47'05" W	50.15'	L87	S 44°06'56" W	20.00'
L6	S 45°09'29" W	52.35'	L88	N 45°53'04" W	5.00'
L7	S 34°42'42" W	10.22'	L89	S 45°33'29" E	51.18'
L8	N 31°09'22" W	27.77'	L90	N 44°26'31" E	5.00'
L9	N 58°50'38" E	243.39'	L91	S 45°33'29" E	20.00'
L10	S 58°50'38" W	193.31'	L92	S 44°26'31" W	23.00'
L11	S 45°06'15" W	51.52'	L93	N 45°33'29" W	51.28'
L12	S 31°09'22" E	150.44'	L94	N 44°06'56" E	7.95'
L13	N 13°07'58" E	128.65'	L95	S 68°23'04" E	18.08'
L14	N 08°19'58" E	47.49'	L96	S 21°36'56" W	15.00'
L15	N 20°07'18" E	41.44'	L97	N 68°23'04" W	24.29'
L16	N 58°50'38" E	145.00'	L98	N 45°33'29" W	39.70'
L17	N 59°45'42" E	24.06'	L99	N 45°33'29" W	20.00'
L18	N 43°47'05" E	18.00'	L100	N 44°26'31" E	23.00'
L19	N 45°33'29" W	326.26'	L101	S 45°33'29" E	20.00'
L20	N 44°06'56" E	385.23'	L102	S 44°26'31" W	23.00'
L21	N 31°10'20" W	184.62'	L103	N 45°33'29" W	104.53'
L22	N 58°49'40" E	190.39'	L104	S 44°26'31" W	18.00'
L23	N 31°03'19" W	566.94'	L105	N 45°33'29" W	20.00'
L24	N 58°49'40" E	48.12'	L106	N 44°26'31" E	18.00'
L25	S 46°00'37" E	31.03'	L107	N 45°33'29" W	106.69'
L26	N 46°00'37" W	53.76'	L108	S 44°26'31" W	18.00'
L27	S 58°49'40" W	12.17'	L109	N 45°33'29" W	20.00'
L28	S 31°03'19" E	521.91'	L110	N 44°26'31" E	18.00'
L29	S 30°56'07" E	19.80'	L111	S 44°26'31" W	5.00'
L30	S 31°10'20" E	16.01'	L112	N 45°33'29" W	20.00'
L31	S 58°49'40" W	7.87'	L113	N 44°26'31" E	5.00'
L32	S 58°49'40" W	207.18'	L114	N 45°39'07" W	41.80'
L33	S 31°10'20" E	174.56'	L115	S 89°06'56" W	25.89'
L34	S 44°06'56" W	375.41'	L116	S 44°26'31" W	186.55'
L35	S 45°33'29" E	274.77'	L117	N 45°33'29" W	15.00'
L36	S 43°47'05" W	25.44'	L118	N 44°26'31" E	192.72'
L37	N 45°50'39" W	80.41'	L119	N 89°06'56" E	47.06'
L38	N 15°23'01" E	133.90'	L120	S 45°33'29" E	4.37'
L39	N 44°06'56" E	88.96'	L121	N 15°23'01" E	53.78'
L40	S 45°33'29" E	254.77'	L122	N 74°36'59" W	101.71'
L41	S 44°06'56" W	253.81'	L123	N 15°23'01" E	15.00'
L42	N 45°50'39" W	110.27'	L124	S 74°36'59" E	101.71'
L43	N 44°26'31" E	48.75'	L125	S 15°23'01" W	65.13'
L44	S 31°03'19" E	135.24'	L126	S 44°06'56" W	291.32'
L45	S 58°56'41" W	10.00'	L127	N 45°53'04" W	10.00'
L46	S 31°03'19" E	20.00'	L128	S 44°06'56" W	20.00'
L47	N 58°56'41" E	10.00'	L129	S 45°53'04" E	10.00'
L48	S 31°03'19" E	85.80'	L130	S 44°06'56" W	5.19'
L49	S 58°56'41" W	5.00'	L131	N 45°53'04" W	10.00'
L50	S 31°03'19" E	20.00'	L132	S 44°06'56" W	20.00'
L51	N 58°56'41" E	5.00'	L133	S 45°53'04" E	10.00'
L52	N 31°03'19" W	11.70'	L134	S 44°06'56" W	5.79'
L53	S 58°56'41" W	10.00'	L135	N 31°10'20" W	262.51'
L54	N 31°03'19" W	20.00'	L136	S 58°49'40" W	5.00'
L55	N 58°56'41" E	10.00'	L137	N 31°10'20" W	20.00'
L56	N 31°03'19" W	80.09'	L138	N 58°51'16" E	5.00'
L57	S 58°56'41" W	5.00'	L139	N 31°10'20" W	246.22'
L58	N 31°03'19" W	20.00'	L140	N 67°55'28" W	175.74'
L59	N 58°56'41" E	5.00'	L141	N 25°21'15" E	20.03'
L60	S 31°10'20" E	11.22'	L142	S 67°55'28" E	170.73'
L61	N 13°49'40" E	15.04'	L143	N 40°38'59" E	14.20'
L62	S 76°10'20" E	15.00'	L144	S 49°21'01" E	20.00'
L63	S 13°49'40" W	30.04'	L145	S 40°38'59" W	14.15'
L64	S 31°11'39" E	31.79'	L146	S 31°10'20" E	242.30'
L65	N 58°56'41" E	5.00'	L147	N 58°48'04" E	17.00'
L66	S 31°03'19" E	20.00'	L148	S 31°10'20" E	20.01'
L67	S 58°56'41" W	5.00'	L149	S 58°49'40" W	17.00'
L68	S 31°17'49" E	18.75'	L150	S 31°10'20" E	57.21'
L69	N 58°56'41" E	10.00'	L151	N 31°09'51" W	115.79'
L70	S 31°03'19" E	20.00'	L152	S 58°43'27" W	5.00'
L71	S 58°56'41" W	10.00'	L153	S 31°16'33" W	20.00'
L72	S 31°16'44" E	15.37'	L154	N 58°43'27" E	5.00'
L73	N 58°49'40" E	5.00'	L155	N 45°33'29" W	157.16'
L74	S 31°10'20" E	20.00'	L156	S 44°06'56" W	5.00'
L75	S 58°49'40" W	5.00'	L157	N 45°33'29" W	20.00'
L76	S 31°10'20" E	16.23'	L158	N 44°06'56" E	5.00'
L77	S 44°06'56" W	16.22'	L159	N 45°33'29" W	214.41'
L78	S 45°53'04" E	5.00'	L160	N 67°55'28" W	131.75'
L79	S 44°06'56" W	20.00'	L161	N 25°57'49" E	20.05'
L80	N 45°53'04" W	5.00'	L162	S 67°55'28" E	134.35'
L81	S 44°06'56" W	10.27'	L163	S 45°33'29" E	395.41'
L82	S 68°23'04" E	24.37'			

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	26.28'	20.00'	075°17'16"	N 06°28'18" E	24.43'
C2	31.38'	20.00'	089°52'59"	N 13°53'11" E	28.26'
C3	31.38'	20.00'	089°52'59"	S 13°53'11" W	28.26'
C4	25.38'	15.22'	095°32'08"	S 79°21'08" E	22.54'
C5	8.34'	20.00'	023°53'44"	N 46°52'48" E	8.28'
C6	6.26'	15.00'	023°53'44"	N 46°52'48" E	6.21'
C7	16.13'	20.92'	044°10'46"	N 41°04'25" E	15.74'
C8	7.13'	25.00'	016°20'28"	S 66°59'54" W	7.11'
C9	6.26'	14.99'	023°54'35"	S 70°46'32" W	6.21'
C10	8.34'	20.00'	023°53'44"	S 70°46'32" W	8.28'
C11	31.42'	20.00'	090°00'00"	S 13°49'40" W	28.28'
C12	31.30'	20.00'	089°40'25"	S 00°43'17" E	28.20'
C13	7.63'	20.00'	021°52'02"	S 56°29'30" E	7.59'

PRELIMINARY PLAT  
276 ROCKWALL ADDITION  
LOTS 1–7, BLOCK A  
BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

ENGINEER:  
  
KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469–331–8566  
KPATEL@TRIANGLE-ENGR.COM

OWNER:  
  
HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972–245–7960  
GCOOPER@COOPERGENCON.COM

CASE NO. P\_\_\_\_\_–\_\_\_\_\_

JOB NO.: 19–0904	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE: 01/15/2020	www.peisersurveying.com		
REV:			
DRAWN: J.B.W.		1604 HART STREET SOUTHLAKE, TEXAS 76092 817–481–1806 (O)  COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	3 OF 4
	tmankin@peisersurveying.com FIRM No. 100999–00		Member Since 1977

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **276 ROCKWALL ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **276 ROCKWALL ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.

7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this \_\_\_\_\_ day of \_\_\_\_\_, 2020

HOWELL MTN RE, LLC

By: GENE COOPER

STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_:  
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Gene Cooper, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

NOTARY PUBLIC in and for the STATE OF TEXAS

RECOMMENDED FOR FINAL APPROVAL

Planning & Zoning Commission, Chairman      Date \_\_\_\_\_

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Mayor, City of Rockwall      City Secretary      City Engineer

OWNER'S CERTIFICATION  
WHEREAS HOWELL MTN RE, LLC, is the sole owner of that certain tract of land conveyed to Howell MTN RE, LLC, by deed recorded in Instrument Number 20180000021428, Official Public Records, Rockwall County, Texas, and being a portion of Lot 1, Block A, Rockwall Hospital Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Page 133, Map Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with "Stovall Assoc" yellow cap found for the most southerly corner of said Howell tract, same being the most southerly corner of said Lot 1, same being in the northeasterly line of that certain tract of land conveyed to Rockwall ISD, by deed recorded in Volume 2221, Page 295, Deed Records, Rockwall County, Texas, same being the west corner of that certain tract of land conveyed to KGR Investments, LLC, by deed recorded in Instrument Number 20180000014743, said Official Public Records;

THENCE North 45 deg. 50 min. 39 sec. West, along the common line of said Howell tract and said Rockwall ISD tract, a distance of 239.17 feet to a 1/2 inch iron rod with "Peiser & Mankin SURV" red plastic cap set (hereinafter referred to as 1/2 inch iron rod set) for the most westerly corner of said Lot 1;

THENCE North 45 deg. 50 min. 24 sec. West, along the common line of said Howell tract and said Rockwall ISD plat, passing the north corner of said Rockwall ISD tract, same being the east corner of a Drainage ROW/Open Space/Natural Area to The City of Rockwall per plat recorded in Cabinet G, Slide 23, aforesaid Map Records, and continuing along the common line of said Howell tract and said Drainage ROW, passing the north corner of said Drainage ROW, same being the east corner of Flagstone Estates, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet G, Page 26, said Map Records, and continuing along the common line of said Howell tract and said Flagstone Estates, a total distance of 1018.06 feet to a 1/2 inch iron rod with illegible yellow cap found for the west corner of said Howell tract, same being the south corner of Lot 5, Rockwall Business Park East, an addition to, the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Page 265, said Map Records;

THENCE North 44 deg. 02 min. 25 sec. East, along the common line of said Howell tract and said Lot 5, passing the east corner of said Lot 5, same being the south corner of Lot 1, Block C, Rockwall Business Park East, Phase Three, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 291, said Map Records, Rockwall County, Texas, and continuing along the common line of said Howell tract and said Lot 1, Block C, a total distance of 981.14 feet to a 1/2 inch iron rod set for a north corner of said Howell tract, same being the west corner of that certain tract of land conveyed to Cathy A. Haldeman, by deed recorded in Volume 421, Page 68, aforesaid Deed Records;

THENCE along the common line of said Howell tract and said Haldeman tract as follows:  
South 46 deg. 18 min. 59 sec. East, a distance of 355.86 feet to a 1/2 inch iron rod set for corner, same being the south corner of said Haldeman tract;  
North 13 deg. 30 min. 14 sec. East, a distance of 387.20 feet to a 1/2 inch iron rod set for the most easterly north corner of said Howell tract, same being the east corner of said Haldeman tract, same being the south corner of that certain tract of land conveyed to Wayne Backus, by deed recorded in Volume 498, Page 56, said Deed Records, same being the west corner of that certain tract of land conveyed to State of Texas, by deed recorded in Volume 31, Page 510, said Deed Records;

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE  
1/15/2020  
Timothy R. Mankin      Date  
Registered Professional Land Surveyor, No. 6122

ENGINEER:  
KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

OWNER:  
HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

THENCE South 46 deg. 00 min. 37 sec. East, along the common line of said Howell tract and said State of Texas tract, a distance of 528.19 feet to a 1/2 inch iron rod set for corner, same being in the southwesterly right-of-way line of State Highway 205 (variable width right-of-way);

THENCE South 31 deg. 03 min. 19 sec. East, along the common line of said Howell tract and said State Highway 205, a distance of 476.76 feet to a 1/2 inch iron rod set for corner;

THENCE South 43 deg. 46 min. 25 sec. West, continuing along the common line of said Howell tract and said State Highway 205, a distance of 10.43 feet to a 1/2 inch iron rod set for corner, same being the north corner of aforesaid Lot 1, Block A;

THENCE South 31 deg. 10 min. 20 sec. East, continuing along the common line of said Howell tract and said State Highway 205, a distance of 363.02 feet to a 1/2 inch iron rod set for an east corner of said Howell tract, same being the north end of a corner clip in the intersection of said State Highway 205 and Sids Road (variable width right-of-way);

THENCE South 06 deg. 30 min. 28 sec. West, along the common line of said Howell tract and said corner clip, a distance of 48.02 feet, to a 1/2 inch iron rod set for the south end of said corner clip;

THENCE along the common line of said Howell tract and said Sids Road as follows:  
South 43 deg. 47 min. 29 sec. West, a distance of 226.50 feet to a 1/2 inch iron rod with pink "TXDOT" plastic cap found for angle point;  
South 34 deg. 42 min. 42 sec. West, a distance of 336.99 feet to a 1/2 inch iron rod set from which a disturbed 5/8 inch iron rod found bears North 76 deg. 03 min. West, 0.78 feet;  
South 43 deg. 47 min. 05 sec. West, a distance of 50.15 feet to a 1/2 inch iron rod set for the south corner of said Howell tract, same being in a south line of aforesaid Lot 1, Block A, same being in the northeast line of that certain tract of land conveyed to Glen Burks & Paulette Burks, by deed recorded in Volume 101, Page 958, aforesaid Deed Records;

THENCE along the common line of said Howell tract and said Burks tract as follows:  
North 45 deg. 33 min. 29 sec. West, a distance of 326.36 feet to a 1/2 inch iron rod found for corner, same being the north corner of said Burks tract;  
South 44 deg. 06 min. 56 sec. West, passing the west corner of said Burks tract, same being the north corner of aforesaid KGR tract, and continuing along the common line of said Howell tract and said KGR tract, a total distance of 449.25 feet to the POINT OF BEGINNING and containing 39.525 acres of computed land, more or less.

PRELIMINARY PLAT  
276 ROCKWALL ADDITION  
LOTS 1-7, BLOCK A  
BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

CASE NO. P _____		
JOB NO.: 19-0904	PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	SHEET 4 OF 4
DATE: 01/15/2020		
REV:		
DRAWN: J.B.W.	 1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O) COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE Member Since 1977	



## Polyline Report

Fri Jan 17 08:51:14 2020

Northing	Easting	Bearing	Distance
7015851.736	2598576.338		
	N 45°50'39" W	239.170	
7016018.345	2598404.746		
	N 45°50'24" W	1018.056	
7016727.588	2597674.395		
	N 44°02'25" E	981.142	
7017432.884	2598356.449		
	S 46°18'59" E	355.860	
7017187.100	2598613.795		
	N 13°30'14" E	387.200	
7017563.595	2598704.210		
	S 46°00'37" E	528.190	
7017196.752	2599084.224		
	S 31°03'19" E	476.760	
7016788.326	2599330.168		
	S 43°46'25" W	10.426	
7016780.797	2599322.955		
	S 31°10'20" E	363.022	
7016470.190	2599510.860		
	S 06°30'28" W	48.020	
7016422.479	2599505.417		
	S 43°47'29" W	226.500	
7016258.977	2599348.671		
	S 34°42'42" W	336.990	
7015981.962	2599156.774		
	S 43°47'05" W	50.150	
7015945.756	2599122.072		
	N 45°33'29" W	326.360	
7016174.269	2598889.064		
	S 44°06'56" W	449.250	
7015851.736	2598576.338		

Closure Error Distance&gt; 0.00000

Total Distance&gt; 5797.097

Polyline Area: 1721721 sq ft, 39.5253 acres



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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**TO:** Planning and Zoning Commission  
**DATE:** January 28, 2020  
**APPLICANT:** Kevin Patel; *Triangle Engineering, LLC*  
**CASE NUMBER:** P2020-005; *Lots 1-7, Block A, 276 Rockwall Addition*

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### **SUMMARY**

Consider a request by Kevin Patel of Triangle Engineering, LLC on behalf of Gene Cooper of Howell MTN RE, LLC for the approval of a preliminary plat for a 39.53-acre tract of land identified as Lot 1, Block A, Rockwall Hospital Addition and Tract 18 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, located at the northwest corner of the intersection of SH-276 and SH-205, and take any action necessary.

### **PLAT INFORMATION**

- ☒ The applicant is requesting approval of a preliminary plat for a 39.53-acre tract of land (*i.e. Lot 1, Block A, Rockwall Hospital Addition*), which depicts the subject property being subdivided into seven (7) lots (*i.e. Lots 1-7, Block A, 276 Rockwall Addition*). The preliminary plat also shows a preliminary layout for the fire lane, public access, utility, and drainage and detention easements necessary to develop the subject property.
- ☒ The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☒ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☒ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the preliminary plat for *Lots 1-7, Block A, 276 Rockwall Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

1/24/2020

**City of Rockwall**  
**Project Plan Review History**



<b>Project Number</b>	P2020-005	<b>Owner</b>	GENE COOPER			<b>Applied</b>	1/17/2020	AG
<b>Project Name</b>	276 ROCKWALL ADDITION	<b>Applicant</b>	KEVIN PATEL			<b>Approved</b>		
<b>Type</b>	PLAT					<b>Closed</b>		
<b>Subtype</b>	PRELIMINARY					<b>Expired</b>		
<b>Status</b>	Staff Review					<b>Status</b>		
<b>Site Address</b>		<b>City, State Zip</b>				<b>Zoning</b>		
<b>Subdivision</b>		<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING Elevation	Russell McDowell	1/17/2020	1/24/2020	1/21/2020	4	APPROVED	
ENGINEERING	Sarah Johnston	1/17/2020	1/24/2020	1/24/2020	7	COMMENTS	

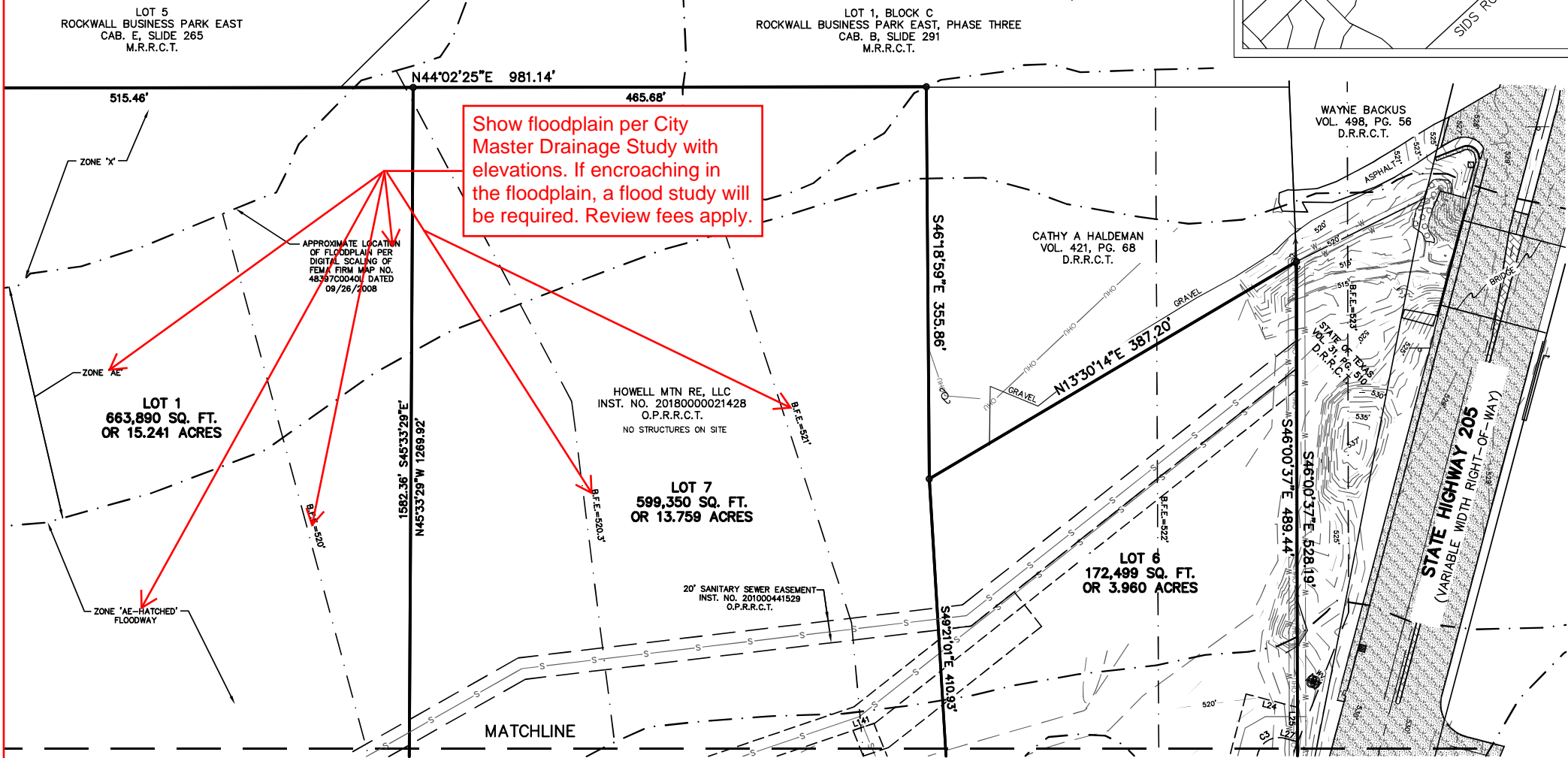


Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(1/24/2020 1:36 PM SJ) M - Minimum easement width is 20'. Standards of Design 5.1.3 M - Water, sewer, and public storm lines must be centered in a 20' Min. Easement. If two lines are running parallel, there must be 10' of spacing for a 30' easement total. Standards of Design 5.1.3 M - No utility lines in the detention easement. Standards of Design 5.1.3 M - Cannot detain in the 100-year floodplain. Detention outfall to be above the 100-year WSEL for Buffalo Creek Standards of Design Sect 3. M - Must dedicate ROW for Sids Rd (65' ROW, 32.5' from the existing CL) if not already done so. Must build half of Sids road. Master Thoroughfare Plan M - Must include a 10' utility easement along all street frontage. Standards of Design Section 5. M - 60' Minimum lot frontage. Verify that the flag lots are at least 60' wide. M - Sids Road must be constructed with concrete, not asphalt. Master Thoroughfare Plan M - Show floodplain per City Master Drainage Study with elevations. If encroaching in the floodplain, a flood study will be required. Review fees apply.  The following is for your information for engineering review. I - Sewer Pro-rata: \$22.56/acre. I - Sidewalk for existing sidewalk down SH205 Pro-rata: \$17.50/LF I - Must have detention. If 20 acres or more are draining to the detention pond, the Unit Hydrograph Method must be used. Review fees apply. Standards of Design Sect 3. I - Driveway spacing on Sids must be per Standards of Design Section 2.6. I - Driveway spacing on SH205 must be per TXDOT standards. TXDOT Permit required. I - 4% Engineering fees I - Impact fees I - Engineering Review fees apply. I - Water, sewer, and public storm lines must be centered in a 20' Min. Easement. If two lines are running parallel, there must be 10' of spacing for a 30' easement total. Standards of Design 5.1.3 I - Retaining walls 3' and over must be engineered. I - All retaining walls to be rock or stone face. No smooth concrete walls. I - No walls in easements, including detention. I - No trees within 5' of utilities for public utilities less than 10". Trees must be 10' away from public utilities 10" or greater. I - Parking against the building and nose-to-nose must be 20'x9'. Other parking must be 18'x9' with 2' clear overhang. I - Fire lane 20' radius if the building is 36' or less. If taller than 36', then the fire lane radius is 30'. I - May need to fire sprinkle the buildings based on use. I - Dumpster area to drain to oil/water separator then storm lines. I - Must meet all City Standards of Design and Construction.						
FIRE	Ariana Hargrove	1/17/2020	1/24/2020	1/23/2020	6	APPROVED
GIS	Lance Singleton	1/17/2020	1/24/2020	1/21/2020	4	APPROVED
PLANNING	Korey Brooks	1/17/2020	1/24/2020	1/24/2020	7	COMMENTS
						Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>P2020-005; Lots 1-7, Block A, 276 Rockwall Addition</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <p>I.1 This is consider a request by Kevin Patel of Triangle Engineering LLC on behalf of Gene Cooper of Howell MTN RE, LLC for the approval of a preliminary plat for a 39.53-acre tract of land identified as Lot 1, Block A, Rockwall Hospital Addition and Tract 18 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, located at the northwest corner of the intersection of SH-276 and SH-205.</p> <p>I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (P2020-005) in the lower right-hand corner of all pages on future submittals.</p> <p>I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).</p> <p>M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:</p> <ol style="list-style-type: none"> <li>1) Please provide prelim drainage plan and prelim storm and sanitary sewer plans</li> <li>2) Please show and label front setbacks</li> <li>3) Please show centerline of Sids Road.</li> <li>4) Since this is a prelim plat, please remove dedication language.</li> </ol> <p>I.6 Please note that failure to address all comments provided by staff by5:00 PM on February 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p> <p>I.7 The Planning &amp; Zoning Meeting January 28, 2020.</p> <p>I.8 The City Council Meeting for this case is February 3, 2020.</p>						

I - Sewer Pro-rata: \$22.56/acre.  
I - Sidewalk for existing sidewalk down SH 205 Pro-rata: \$17.50/LF  
M - Minimum easement width is 20'.  
M - No utility lines in the detention easement.  
M - Water, sewer, and public storm lines must be centered in a 20' Min. Easement. If two lines are running parallel, there must be 10' of spacing for a 30' easement total.  
I - 4% Engineering fees  
I - Impact fees  
I - Engineering Review fees apply.  
I - Retaining walls 3' and over must be engineered.  
I - All retaining walls to be rock or stone face. No smooth concrete walls.  
I - No walls in easements, including detention.  
I - No trees within 5' of utilities for public utilities less than 10". Trees must be 10' away from public utilities 10" or greater.  
I - Parking against the building and nose-to-nose must be 20'x9'. Other parking must be 18'x9' with 2' clear overhang.  
I - Fire lane 20' radius if the building is 36' or less. If taller than 36', then the fire lane radius is 30'.  
I - May need to fire sprinkle the building based on use.  
I - Dumpster area to drain to oil/water separator then storm lines.  
I - Full panel replacement for water line taps.  
I - Must meet all City Standards of Design and Construction.

LEGEND	
D.P.D.E. — DETENTION POND & DRAINAGE EASEMENT	
S.S.E. — SANITARY SEWER EASEMENT	
D.E. — DRAINAGE EASEMENT	
W.E. — WATER EASEMENT	
F.A.D.U.E. — FIRELANE, ACCESS, DRAINAGE, & UTILITY EASEMENT	



and bounds is a violation of city subdivisions ordinance withholding of utilities and building certificates. y, Texas.

LEGEND			
	GAS METER		FIRE HYDRANT
	IRR. CONTROL VALVE		WATER METER
	TELEPHONE PEDESTAL		FUEL PORT
	POWER POLE		WATER VALVE
	DOWN GUY		TRANSFORMER PAD
	S.S. MANHOLE		ELECTRIC METER
	CLEAN OUT		STORM DRAIN MANHOLE
	SIGN		LIGHT POLE
	TYPICAL FENCE		CONCRETE
	BOLLARD		VAULT
	TRAFFIC SIGNAL POLE		

PRELIMINARY PLAT  
276 ROCKWALL ADDITION  
LOTS 1-7, BLOCK A

BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

9. NO. — NUMBER  
10. This is an above-ground survey. The underground utilities, if shown, are based on information provided by the various utility companies and these locations should be considered approximate. There may be additional underground utilities not shown on this drawing.  
11. Bearings of lines shown hereon refer to Grid North of the Texas Coordinate System of 1983 (North Central Zone 4202; NAD83 (2011) Epoch 2010) as derived locally from Western Data Systems Continuously Operating Reference Stations (CORS) via Real Time Kinematic (RTK) Methods.  
12. All property corners monumented with 1/2 inch iron rod with "Peiser & Mankin SURV" red plastic cap set, unless otherwise noted.  
13. All easements per Rockwall Hospital Addition recorded in Cabinet E, Page 133, Map Records, Rockwall County, Texas, except the 15' utility and sidewalk easement are abandoned by this plat, as shown hereon.  
14. On site underground utilities are proposed and shown per Site Plan provided by Triangle Engineering LLC.

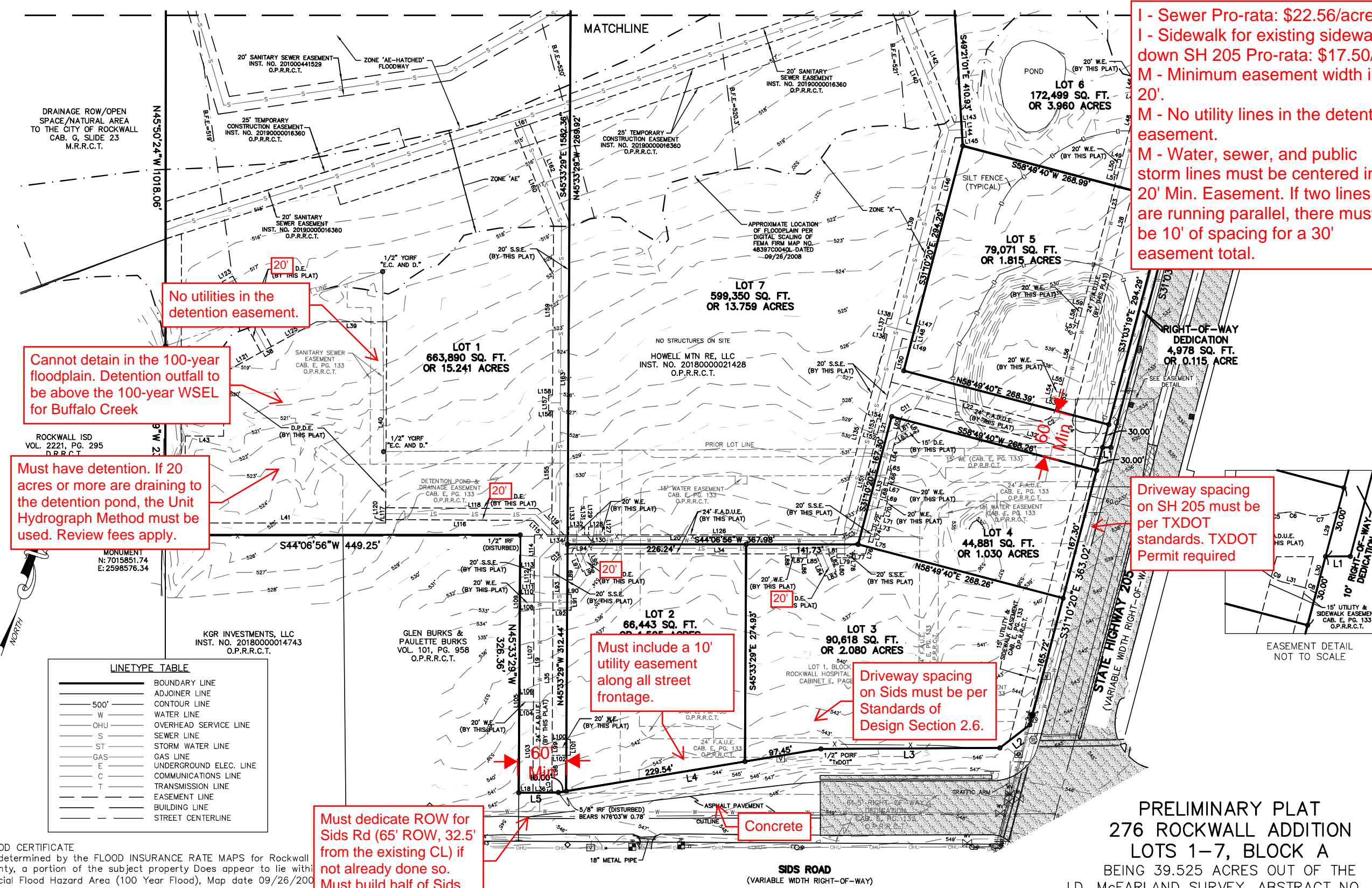
ENGINEER:  
KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

OWNER:  
HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

CASE NO. P \_\_\_\_\_

JOB NO.: 19-0904	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE: 01/15/2020 REV:	www.peisersurveying.com		
SCALE: 1" = 80'		1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	1
DRAWN: J.B.W.	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE		OF
	tmankin@peisersurveying.com FIRM No. 100999-00		4
	Member Since 1977		





I - Sewer Pro-rata: \$22.56/acre.  
I - Sidewalk for existing sidewalk down SH 205 Pro-rata: \$17.50/LF  
M - Minimum easement width is 20'.  
M - No utility lines in the detention easement.  
M - Water, sewer, and public storm lines must be centered in a 20' Min. Easement. If two lines are running parallel, there must be 10' of spacing for a 30' easement total.

No utilities in the detention easement.

Cannot detain in the 100-year floodplain. Detention outfall to be above the 100-year WSEL for Buffalo Creek

Must have detention. If 20 acres or more are draining to the detention pond, the Unit Hydrograph Method must be used. Review fees apply.

Driveway spacing on SH 205 must be per TXDOT standards. TXDOT Permit required

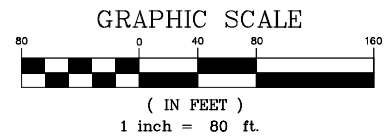
Must include a 10' utility easement along all street frontage.

Driveway spacing on Sids must be per Standards of Design Section 2.6.

Must dedicate ROW for Sids Rd (65' ROW, 32.5' from the existing CL) if not already done so. Must build half of Sids road.

LINETYPE TABLE	
—	BOUNDARY LINE
—	ADJOINER LINE
—	CONTOUR LINE
—	WATER LINE
—	OVERHEAD SERVICE LINE
—	SEWER LINE
—	STORM WATER LINE
—	GAS LINE
—	UNDERGROUND ELEC. LINE
—	COMMUNICATIONS LINE
—	TRANSMISSION LINE
—	EASEMENT LINE
—	BUILDING LINE
—	STREET CENTERLINE

FLOOD CERTIFICATE  
As determined by the FLOOD INSURANCE RATE MAPS for Rockwall County, a portion of the subject property Does appear to lie within Special Flood Hazard Area (100 Year Flood), Map date 09/26/200 Community Panel No. 48397C0040L subject lot is located in Zone 'A' & 'AE'.  
If this site is not within an identified flood hazard area, this Flood Statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This Flood Statement shall not create liability on the part of the Surveyor.



D.P.D.E. - DETENTION POND & DRAINAGE EASEMENT  
S.S.E. - SANITARY SEWER EASEMENT  
D.E. - DRAINAGE EASEMENT  
W.E. - WATER EASEMENT  
F.A.D.U.E. - FIRELANE, ACCESS, DRAINAGE, & UTILITY EASEMENT

LINE AND CURVE TABLES ON PAGE 3

ENGINEER:  
KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDEMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

OWNER:  
HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

PRELIMINARY PLAT  
276 ROCKWALL ADDITION  
LOTS 1-7, BLOCK A  
BEING 39.525 ACRES OUT OF THE  
J.D. MCFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

CASE NO. P		PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com		SHEET
JOB NO.: 19-0904	DATE: 01/15/2020		1604 HART STREET SOUTH LAKE, TEXAS 76092 817-481-1806 (O)	2
REV:	SCALE: 1" = 80'			OF
DRAWN: J.B.W.	tmarkin@peisersurveying.com			4
FIRM No. 100999-00		Member Since 1977		

LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 43°46'25" W	10.43'	L83	S 21°36'56" W	15.00'
L2	S 06°30'28" W	48.02'	L84	N 68°23'04" W	30.59'
L3	S 43°47'29" W	226.50'	L85	S 44°06'56" W	11.39'
L4	S 34°42'42" W	336.99'	L86	S 45°53'04" E	5.00'
L5	S 43°47'05" W	50.15'	L87	S 44°06'56" W	20.00'
L6	S 45°09'29" W	52.35'	L88	N 45°53'04" W	5.00'
L7	S 34°42'42" W	10.22'	L89	S 45°33'29" E	51.18'
L8	N 31°09'22" W	27.77'	L90	N 44°26'31" E	5.00'
L9	N 58°50'38" E	243.39'	L91	S 45°33'29" E	20.00'
L10	S 58°50'38" W	193.31'	L92	S 44°26'31" W	23.00'
L11	S 45°06'15" W	51.52'	L93	N 45°33'29" W	51.28'
L12	S 31°09'22" E	150.44'	L94	N 44°06'56" E	7.95'
L13	N 13°07'58" E	128.65'	L95	S 68°23'04" E	18.08'
L14	N 08°19'58" E	47.49'	L96	S 21°36'56" W	15.00'
L15	N 20°07'18" E	41.44'	L97	N 68°23'04" W	24.29'
L16	N 58°50'38" E	145.00'	L98	N 45°33'29" W	39.70'
L17	N 59°45'42" E	24.06'	L99	N 45°33'29" W	20.00'
L18	N 43°47'05" E	18.00'	L100	N 44°26'31" E	23.00'
L19	N 45°33'29" W	326.26'	L101	S 45°33'29" E	20.00'
L20	N 44°06'56" E	385.23'	L102	S 44°26'31" W	23.00'
L21	N 31°10'20" W	184.62'	L103	N 45°33'29" W	104.53'
L22	N 58°49'40" E	190.39'	L104	S 44°26'31" W	18.00'
L23	N 31°03'19" W	566.94'	L105	N 45°33'29" W	20.00'
L24	N 58°49'40" E	48.12'	L106	N 44°26'31" E	18.00'
L25	S 46°00'37" E	31.03'	L107	N 45°33'29" W	106.69'
L26	N 46°00'37" W	53.76'	L108	S 44°26'31" W	18.00'
L27	S 58°49'40" W	12.17'	L109	N 45°33'29" W	20.00'
L28	S 31°03'19" E	521.91'	L110	N 44°26'31" E	18.00'
L29	S 30°56'07" E	19.80'	L111	S 44°26'31" W	5.00'
L30	S 31°10'20" E	16.01'	L112	N 45°33'29" W	20.00'
L31	S 58°49'40" W	7.87'	L113	N 44°26'31" E	5.00'
L32	S 58°49'40" W	207.18'	L114	N 45°39'07" W	41.80'
L33	S 31°10'20" E	174.56'	L115	S 89°06'56" W	25.89'
L34	S 44°06'56" W	375.41'	L116	S 44°26'31" W	186.55'
L35	S 45°33'29" E	274.77'	L117	N 45°33'29" W	15.00'
L36	S 43°47'05" W	25.44'	L118	N 44°26'31" E	192.72'
L37	N 45°50'39" W	80.41'	L119	N 89°06'56" E	47.06'
L38	N 15°23'01" E	133.90'	L120	S 45°33'29" E	4.37'
L39	N 44°06'56" E	68.96'	L121	N 15°23'01" E	53.78'
L40	S 45°33'29" E	254.77'	L122	N 74°36'59" W	101.71'
L41	S 44°06'56" W	253.81'	L123	N 15°23'01" E	15.00'
L42	N 45°50'39" W	110.27'	L124	S 74°36'59" E	101.71'
L43	N 44°26'31" E	48.75'	L125	S 15°23'01" W	65.13'
L44	S 31°03'19" E	135.24'	L126	S 44°06'56" W	291.32'
L45	S 58°56'41" W	10.00'	L127	N 45°53'04" W	10.00'
L46	S 31°03'19" E	20.00'	L128	S 44°06'56" W	20.00'
L47	N 58°56'41" E	10.00'	L129	S 45°53'04" E	10.00'
L48	S 31°03'19" E	85.80'	L130	S 44°06'56" W	5.19'
L49	S 58°56'41" W	5.00'	L131	N 45°53'04" W	10.00'
L50	S 31°03'19" E	20.00'	L132	S 44°06'56" W	20.00'
L51	N 58°56'41" E	5.00'	L133	S 45°53'04" E	10.00'
L52	N 31°03'19" W	11.70'	L134	S 44°06'56" W	5.79'
L53	S 58°56'41" W	10.00'	L135	N 31°10'20" W	262.51'
L54	N 31°03'19" W	20.00'	L136	S 58°49'40" W	5.00'
L55	N 58°56'41" E	10.00'	L137	N 31°10'20" W	20.00'
L56	N 31°03'19" W	80.09'	L138	N 58°51'16" E	5.00'
L57	S 58°56'41" W	5.00'	L139	N 31°10'20" W	246.22'
L58	N 31°03'19" W	20.00'	L140	N 67°55'28" W	175.74'
L59	N 58°56'41" E	5.00'	L141	N 25°21'15" E	20.03'
L60	S 31°10'20" E	11.22'	L142	S 67°55'28" E	170.73'
L61	N 13°49'40" E	15.04'	L143	N 40°38'59" E	14.20'
L62	S 76°10'20" E	15.00'	L144	S 49°21'01" E	20.00'
L63	S 13°49'40" W	30.04'	L145	S 40°38'59" W	14.15'
L64	S 31°11'39" E	31.79'	L146	S 31°10'20" E	242.30'
L65	N 58°56'41" E	5.00'	L147	N 58°48'04" E	17.00'
L66	S 31°03'19" E	20.00'	L148	S 31°10'20" E	20.01'
L67	S 58°56'41" W	5.00'	L149	S 58°49'40" W	17.00'
L68	S 31°17'49" E	18.75'	L150	S 31°10'20" E	57.21'
L69	N 58°56'41" E	10.00'	L151	N 31°09'51" W	115.79'
L70	S 31°03'19" E	20.00'	L152	S 58°43'27" W	5.00'
L71	S 58°56'41" W	10.00'	L153	N 31°16'33" W	20.00'
L72	S 31°16'44" E	15.37'	L154	N 58°43'27" E	5.00'
L73	N 58°49'40" E	5.00'	L155	N 45°33'29" W	157.16'
L74	S 31°10'20" E	20.00'	L156	S 44°06'56" W	5.00'
L75	S 58°49'40" W	5.00'	L157	N 45°33'29" W	20.00'
L76	S 31°10'20" E	16.23'	L158	N 44°06'56" E	5.00'
L77	S 44°06'56" W	16.22'	L159	N 45°33'29" W	214.41'
L78	S 45°53'04" E	5.00'	L160	N 67°55'28" W	131.75'
L79	S 44°06'56" W	20.00'	L161	N 25°57'49" E	20.05'
L80	N 45°53'04" W	5.00'	L162	S 67°55'28" E	134.35'
L81	S 44°06'56" W	10.27'	L163	S 45°33'29" E	395.41'
L82	S 68°23'04" E	24.37'			

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	26.28'	20.00'	075°17'16"	N 06°28'18" E	24.43'
C2	31.38'	20.00'	089°52'59"	N 13°53'11" E	28.26'
C3	31.38'	20.00'	089°52'59"	S 13°53'11" W	28.26'
C4	25.38'	15.22'	095°32'08"	S 79°21'08" E	22.54'
C5	8.34'	20.00'	023°53'44"	N 46°52'48" E	8.28'
C6	6.26'	15.00'	023°53'44"	N 46°52'48" E	6.21'
C7	16.13'	20.92'	044°10'46"	N 41°04'25" E	15.74'
C8	7.13'	25.00'	016°20'28"	S 66°59'54" W	7.11'
C9	6.26'	14.99'	023°54'35"	S 70°46'32" W	6.21'
C10	8.34'	20.00'	023°53'44"	S 70°46'32" W	8.28'
C11	31.42'	20.00'	090°00'00"	S 13°49'40" W	28.28'
C12	31.30'	20.00'	089°40'25"	S 00°43'17" E	28.20'
C13	7.63'	20.00'	021°52'02"	S 56°29'30" E	7.59'

PRELIMINARY PLAT  
276 ROCKWALL ADDITION  
LOTS 1-7, BLOCK A  
BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

ENGINEER:  
  
KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

OWNER:  
  
HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

CASE NO. P\_\_\_\_\_-\_\_\_\_

JOB NO.: 19-0904	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE: 01/15/2020	www.peisersurveying.com		
REV:		1604 HART STREET SOUTH LAKE, TEXAS 76092 817-481-1806 (O)	3
DRAWN: J.B.W.	tmankin@peisersurveying.com	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE  Member Since 1977	OF 4
FIRM No. 100999-00			

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **276 ROCKWALL ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **276 ROCKWALL ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this \_\_\_\_\_ day of \_\_\_\_\_, 2020

HOWELL MTN RE, LLC

By: GENE COOPER

STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_:

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Gene Cooper, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

NOTARY PUBLIC in and for the STATE OF TEXAS

RECOMMENDED FOR FINAL APPROVAL

Planning & Zoning Commission, Chairman      Date \_\_\_\_\_

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Mayor, City of Rockwall

City Secretary

City Engineer

OWNER'S CERTIFICATION

WHEREAS HOWELL MTN RE, LLC, is the sole owner of that certain tract of land conveyed to Howell MTN RE, LLC, by deed recorded in Instrument Number 20180000021428, Official Public Records, Rockwall County, Texas, and being a portion of Lot 1, Block A, Rockwall Hospital Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Page 133, Map Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with "Stovall Assoc" yellow cap found for the most southerly corner of said Howell tract, same being the most southerly corner of said Lot 1, same being in the northeasterly line of that certain tract of land conveyed to Rockwall ISD, by deed recorded in Volume 2221, Page 295, Deed Records, Rockwall County, Texas, same being the west corner of that certain tract of land conveyed to KGR Investments, LLC, by deed recorded in Instrument Number 20180000014743, said Official Public Records;

THENCE North 45 deg. 50 min. 39 sec. West, along the common line of said Howell tract and said Rockwall ISD tract, a distance of 239.17 feet to a 1/2 inch iron rod with "Peiser & Mankin SURV" red plastic cap set (hereinafter referred to as 1/2 inch iron rod set) for the most westerly corner of said Lot 1;

THENCE North 45 deg. 50 min. 24 sec. West, along the common line of said Howell tract and said Rockwall ISD plat, passing the north corner of said Rockwall ISD tract, same being the east corner of a Drainage ROW/Open Space/Natural Area to The City of Rockwall per plat recorded in Cabinet G, Slide 23, aforesaid Map Records, and continuing along the common line of said Howell tract and said Drainage ROW, passing the north corner of said Drainage ROW, same being the east corner of Flagstone Estates, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet G, Page 26, said Map Records, and continuing along the common line of said Howell tract and said Flagstone Estates, a total distance of 1018.06 feet to a 1/2 inch iron rod with illegible yellow cap found for the west corner of said Howell tract, same being the south corner of Lot 5, Rockwall Business Park East, an addition to, the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Page 265, said Map Records;

THENCE North 44 deg. 02 min. 25 sec. East, along the common line of said Howell tract and said Lot 5, passing the east corner of said Lot 5, same being the south corner of Lot 1, Block C, Rockwall Business Park East, Phase Three, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 291, said Map Records, Rockwall County, Texas, and continuing along the common line of said Howell tract and said Lot 1, Block C, a total distance of 981.14 feet to a 1/2 inch iron rod set for a north corner of said Howell tract, same being the west corner of that certain tract of land conveyed to Cathy A. Haldeman, by deed recorded in Volume 421, Page 68, aforesaid Deed Records;

THENCE along the common line of said Howell tract and said Haldeman tract as follows: South 46 deg. 18 min. 59 sec. East, a distance of 355.86 feet to a 1/2 inch iron rod set for corner, same being the south corner of said Haldeman tract; North 13 deg. 30 min. 14 sec. East, a distance of 387.20 feet to a 1/2 inch iron rod set for the most easterly north corner of said Howell tract, same being the east corner of said Haldeman tract, same being the south corner of that certain tract of land conveyed to Wayne Backus, by deed recorded in Volume 498, Page 56, said Deed Records, same being the west corner of that certain tract of land conveyed to State of Texas, by deed recorded in Volume 31, Page 510, said Deed Records;

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

**PRELIMINARY, THIS DOCUMENT SHALL  
NOT BE RECORDED FOR ANY PURPOSE  
1/15/2020**

Timothy R. Mankin  
Registered Professional Land Surveyor, No. 6122

Date \_\_\_\_\_

ENGINEER:

KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

OWNER:

HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

THENCE South 46 deg. 00 min. 37 sec. East, along the common line of said Howell tract and said State of Texas tract, a distance of 528.19 feet to a 1/2 inch iron rod set for corner, same being in the southwesterly right-of-way line of State Highway 205 (variable width right-of-way);

THENCE South 31 deg. 03 min. 19 sec. East, along the common line of said Howell tract and said State Highway 205, a distance of 476.76 feet to a 1/2 inch iron rod set for corner;

THENCE South 43 deg. 46 min. 25 sec. West, continuing along the common line of said Howell tract and said State Highway 205, a distance of 10.43 feet to a 1/2 inch iron rod set for corner, same being the north corner of aforesaid Lot 1, Block A;

THENCE South 31 deg. 10 min. 20 sec. East, continuing along the common line of said Howell tract and said State Highway 205, a distance of 363.02 feet to a 1/2 inch iron rod set for an east corner of said Howell tract, same being the north end of a corner clip in the intersection of said State Highway 205 and Sids Road (variable width right-of-way);

THENCE South 06 deg. 30 min. 28 sec. West, along the common line of said Howell tract and said corner clip, a distance of 48.02 feet, to a 1/2 inch iron rod set for the south end of said corner clip;

THENCE along the common line of said Howell tract and said Sids Road as follows:

South 43 deg. 47 min. 29 sec. West, a distance of 226.50 feet to a 1/2 inch iron rod with pink "TXDOT" plastic cap found for angle point;

South 34 deg. 42 min. 42 sec. West, a distance of 336.99 feet to a 1/2 inch iron rod set from which a disturbed 5/8 inch iron rod found bears North 76 deg. 03 min. West, 0.78 feet;

South 43 deg. 47 min. 05 sec. West, a distance of 50.15 feet to a 1/2 inch iron rod set for the south corner of said Howell tract, same being in a south line of aforesaid Lot 1, Block A, same being in the northeast line of that certain tract of land conveyed to Glen Burks & Paulette Burks, by deed recorded in Volume 101, Page 958, aforesaid Deed Records;

THENCE along the common line of said Howell tract and said Burks tract as follows:

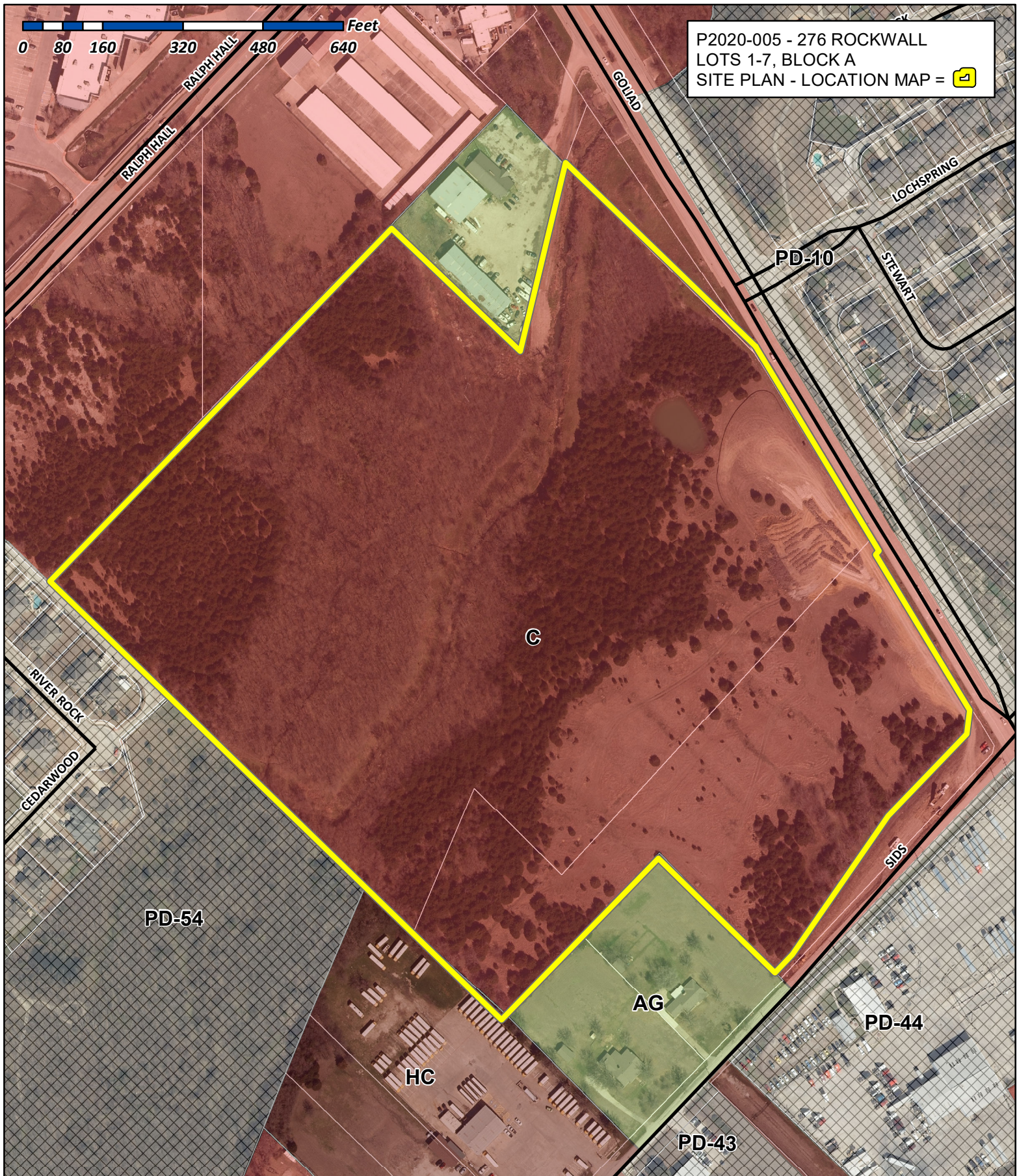
North 45 deg. 33 min. 29 sec. West, a distance of 326.36 feet to a 1/2 inch iron rod found for corner, same being the north corner of said Burks tract; South 44 deg. 06 min. 56 sec. West, passing the west corner of said Burks tract, same being the north corner of aforesaid KGR tract, and continuing along the common line of said Howell tract and said KGR tract, a total distance of 449.25 feet to the POINT OF BEGINNING and containing 39.525 acres of computed land, more or less.

**PRELIMINARY PLAT  
276 ROCKWALL ADDITION  
LOTS 1-7, BLOCK A**  
BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

CASE NO. P \_\_\_\_\_ - \_\_\_\_\_

JOB NO.: 19-0904	<b>PEISER &amp; MANKIN SURVEYING, LLC</b>		SHEET
DATE: 01/15/2020 REV:	<b>www.peisersurveying.com</b>		
DRAWN: J.B.W.		1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	4 OF 4
		COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE Member Since 1977	
tmankin@peisersurveying.com		FIRM No. 100999-00	





## City of Rockwall

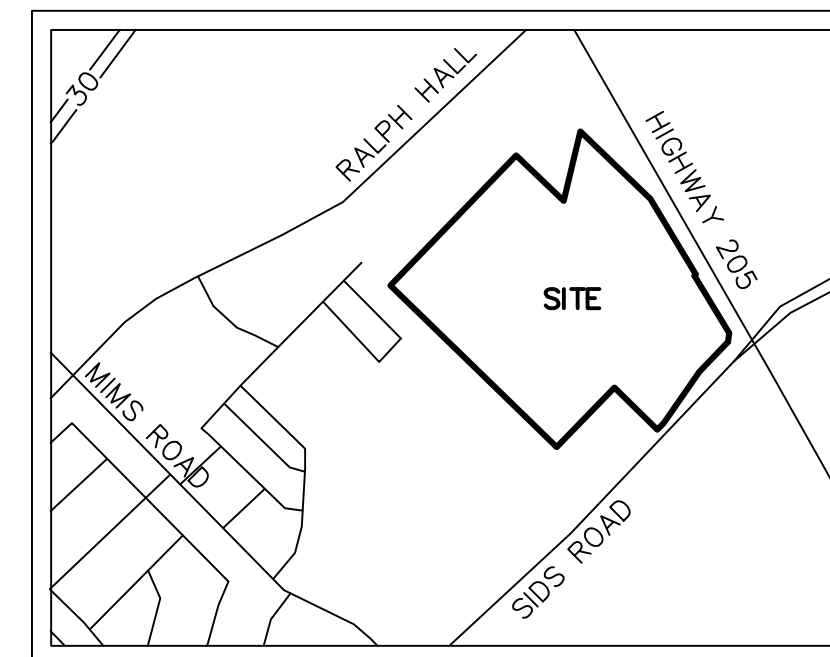
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





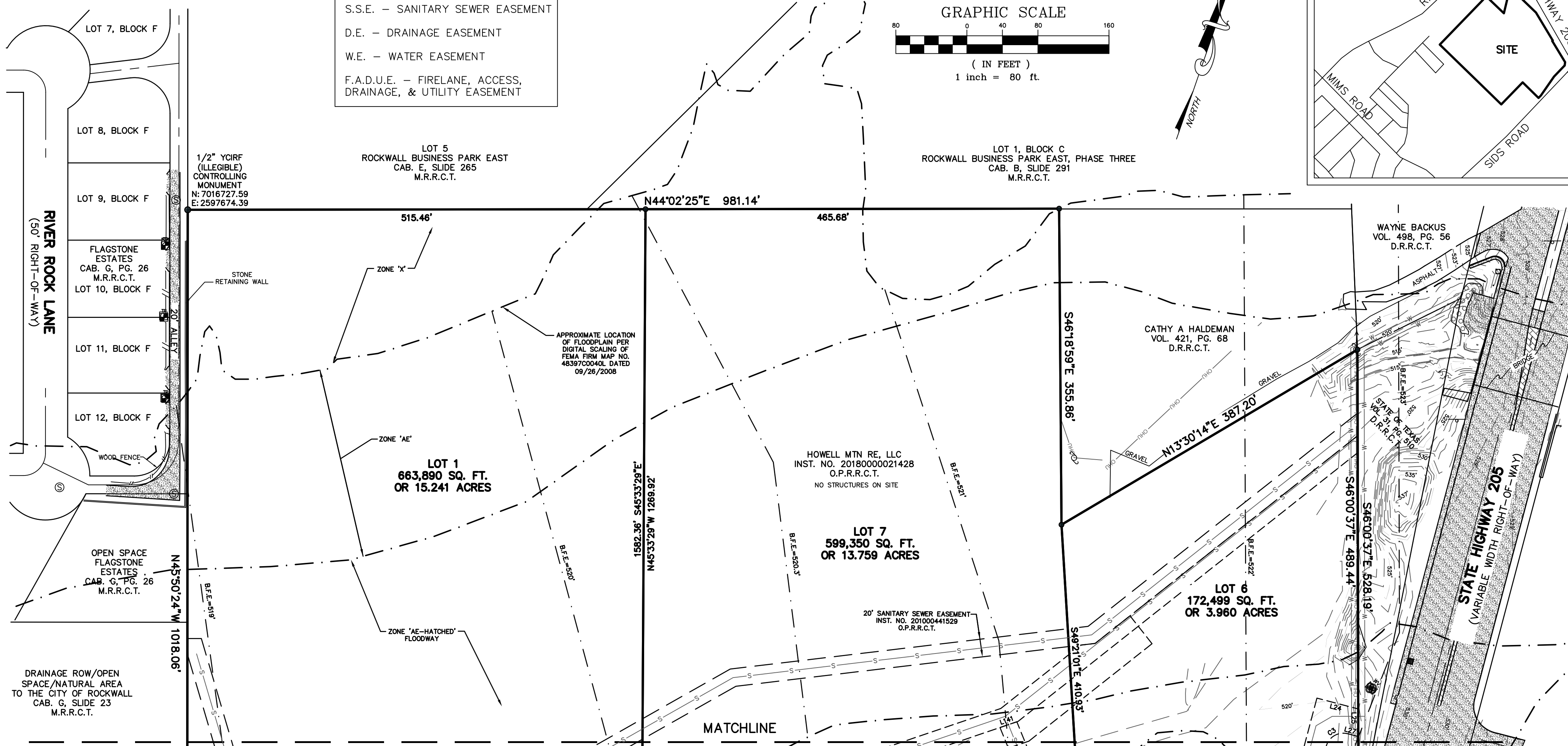
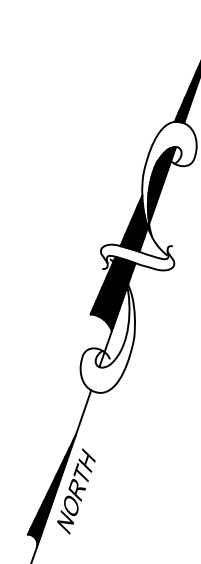
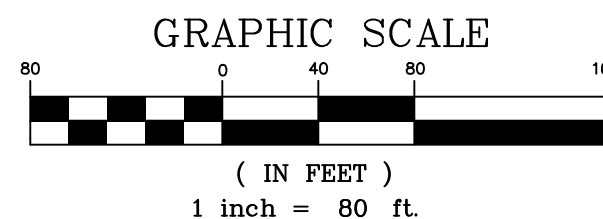
VICINITY MAP  
N.T.S.



LINE AND CURVE  
TABLES ON PAGE 3

#### LEGEND

D.P.D.E. — DETENTION POND &  
DRAINAGE EASEMENT  
  
S.S.E. — SANITARY SEWER EASEMENT  
  
D.E. — DRAINAGE EASEMENT  
  
W.E. — WATER EASEMENT  
  
F.A.D.U.E. — FIRELANE, ACCESS,  
DRAINAGE, & UTILITY EASEMENT



#### NOTES:

1. IRF — Iron Rod Found
2. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
3. O.P.R.R.T. — Official Public Records, Rockwall County, Texas.
4. D.R.R.C.T. — Deed Records, Rockwall County, Texas.
5. M.R.R.C.T. — Map Records, Rockwall County, Texas.
6. CAB. — Cabinet
7. PG. — PAGE
8. INST — INSTRUMENT
9. NO. — NUMBER
10. This is an above-ground survey. The underground utilities, if shown, are based on information provided by the various utility companies and these locations should be considered approximate. There may be additional underground utilities not shown on this drawing.
11. Bearings of lines shown hereon refer to Grid North of the Texas Coordinate System of 1983 (North Central Zone 4202; NAD83 (2011) Epoch 2010) as derived locally from Western Data Systems Continuously Operating Reference Stations (CORS) via Real Time Kinematic (RTK) Methods.
12. All property corners monumented with 1/2 inch iron rod with "Peiser & Mankin SURV" red plastic cap set, unless otherwise noted.
13. All easements per Rockwall Hospital Addition recorded in Cabinet E, Page 133, Map Records, Rockwall County, Texas, except the 15' utility and sidewalk easement are abandoned by this plat, as shown hereon.
14. On site underground utilities are proposed and shown per Site Plan provided by Triangle Engineering LLC.

#### LEGEND

	GAS METER		FIRE HYDRANT		SIGN
	IRR. CONTROL VALVE		WATER METER		LIGHT POLE
	TELEPHONE PEDESTAL		FUEL PORT		TYPICAL FENCE
	POWER POLE		WATER VALVE		CONCRETE
	DOWN GUY		TRANSFORMER PAD		BOLLARD
	S.S. MANHOLE		ELECTRIC METER		VAULT
	CLEAN OUT		STORM DRAIN MANHOLE		TRAFFIC SIGNAL POLE

## PRELIMINARY PLAT 276 ROCKWALL ADDITION LOTS 1-7, BLOCK A

BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

ENGINEER:

KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

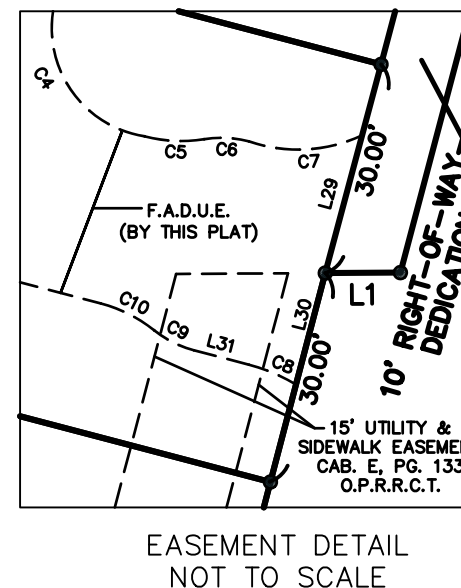
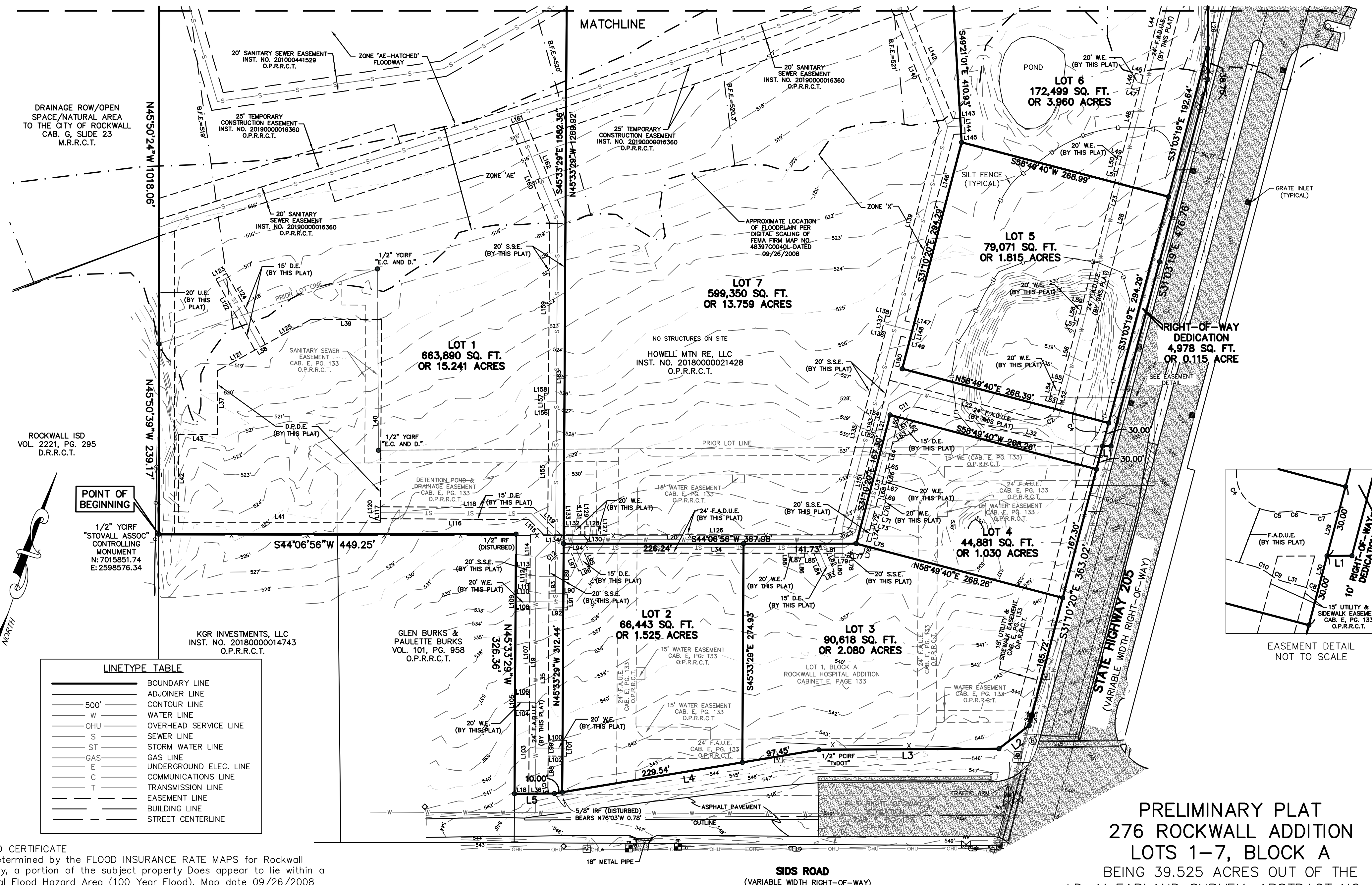
OWNER:

HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

CASE NO. P\_\_\_\_\_

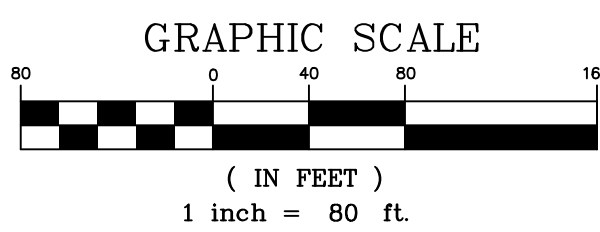
JOB NO.: 19-0904	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE: 01/15/2020	www.peisersurveying.com		1
REV:	1604 HART STREET SOUTH LAKE, TEXAS 76092 817-481-1806 (O)		OF
SCALE: 1" = 80'	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE		4
DRAWN: J.B.W.	tmankin@peisersurveying.com FIRM No. 100999-00		Member Since 1977





**PRELIMINARY PLAT**  
**276 ROCKWALL ADDITION**  
**LOTS 1-7, BLOCK A**  
 BEING 39.525 ACRES OUT OF THE  
 J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 JANUARY 2020

**FLOOD CERTIFICATE**  
 As determined by the FLOOD INSURANCE RATE MAPS for Rockwall County, a portion of the subject property does appear to lie within a Special Flood Hazard Area (100 Year Flood), Map date 09/26/2008 Community Panel No. 48397C0040L subject lot is located in Zone 'X', 'A' & 'AE'.  
 If this site is not within an identified flood hazard area, this Flood Statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This Flood Statement shall not create liability on the part of the Surveyor.



**LEGEND**  
 D.P.D.E. - DETENTION POND & DRAINAGE EASEMENT  
 S.S.E. - SANITARY SEWER EASEMENT  
 D.E. - DRAINAGE EASEMENT  
 W.E. - WATER EASEMENT  
 F.A.D.U.E. - FIRELANE, ACCESS, DRAINAGE, & UTILITY EASEMENT

LINE AND CURVE  
 TABLES ON PAGE 3

**ENGINEER:**  
 KEVIN PATEL  
 TRIANGLE ENGINEERING  
 1784 W MCDERMOTT DRIVE  
 SUITE 110  
 ALLEN, TEXAS 75013  
 469-331-8566  
 KPATEL@TRIANGLE-ENGR.COM

**OWNER:**  
 HOWELL MTN RE, LLC  
 2560 TECHNOLOGY STE 100  
 PLANO, TX 75074  
 972-245-7960  
 GCOOPER@COOPERGENCON.COM

CASE NO. P-----		<b>PEISER &amp; MANKIN SURVEYING, LLC</b>		SHEET 2 OF 4
JOB NO.: 19-0904	DATE: 01/15/2020	www.peisersurveying.com		
REV:		1604 HART STREET SOUTH LAKE, TEXAS 76092 817-481-1806 (O)	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	Texas Society of Professional Surveyors Member Since 1977
SCALE: 1" = 80'		tmankin@peisersurveying.com FIRM No. 100999-00		
DRAWN: J.B.W.				



LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 43°46'25" W	10.43'	L83	S 21°36'56" W	15.00'
L2	S 06°30'28" W	48.02'	L84	N 68°23'04" W	30.59'
L3	S 43°47'29" W	226.50'	L85	S 44°06'56" W	11.39'
L4	S 34°42'42" W	336.99'	L86	S 45°53'04" E	5.00'
L5	S 43°47'05" W	50.15'	L87	S 44°06'56" W	20.00'
L6	S 45°09'29" W	52.35'	L88	N 45°53'04" W	5.00'
L7	S 34°42'42" W	10.22'	L89	S 45°33'29" E	51.18'
L8	N 31°09'22" W	27.77'	L90	N 44°26'31" E	5.00'
L9	N 58°50'38" E	243.39'	L91	S 45°33'29" E	20.00'
L10	S 58°50'38" W	193.31'	L92	S 44°26'31" W	23.00'
L11	S 45°06'15" W	51.52'	L93	N 45°33'29" W	51.28'
L12	S 31°09'22" E	150.44'	L94	N 44°06'56" E	7.95'
L13	N 13°07'58" E	128.65'	L95	S 68°23'04" E	18.08'
L14	N 08°19'58" E	47.49'	L96	S 21°36'56" W	15.00'
L15	N 20°07'18" E	41.44'	L97	N 68°23'04" W	24.29'
L16	N 58°50'38" E	145.00'	L98	N 45°33'29" W	39.70'
L17	N 59°45'42" E	24.06'	L99	N 45°33'29" W	20.00'
L18	N 43°47'05" E	18.00'	L100	N 44°26'31" E	23.00'
L19	N 45°33'29" W	326.26'	L101	S 45°33'29" E	20.00'
L20	N 44°06'56" E	385.23'	L102	S 44°26'31" W	23.00'
L21	N 31°10'20" W	184.62'	L103	N 45°33'29" W	104.53'
L22	N 58°49'40" E	190.39'	L104	S 44°26'31" W	18.00'
L23	N 31°03'19" W	566.94'	L105	N 45°33'29" W	20.00'
L24	N 58°49'40" E	48.12'	L106	N 44°26'31" E	18.00'
L25	S 46°00'37" E	31.03'	L107	N 45°33'29" W	106.69'
L26	N 46°00'37" W	53.76'	L108	S 44°26'31" W	18.00'
L27	S 58°49'40" W	12.17'	L109	N 45°33'29" W	20.00'
L28	S 31°03'19" E	521.91'	L110	N 44°26'31" E	18.00'
L29	S 30°56'07" E	19.80'	L111	S 44°26'31" W	5.00'
L30	S 31°10'20" E	16.01'	L112	N 45°33'29" W	20.00'
L31	S 58°49'40" W	7.87'	L113	N 44°26'31" E	5.00'
L32	S 58°49'40" W	207.18'	L114	N 45°39'07" W	41.80'
L33	S 31°10'20" E	174.56'	L115	S 89°06'56" W	25.89'
L34	S 44°06'56" W	375.41'	L116	S 44°26'31" W	186.55'
L35	S 45°33'29" E	274.77'	L117	N 45°33'29" W	15.00'
L36	S 43°47'05" W	25.44'	L118	N 44°26'31" E	192.72'
L37	N 45°50'39" W	80.41'	L119	N 89°06'56" E	47.06'
L38	N 15°23'01" E	133.90'	L120	S 45°33'29" E	4.37'
L39	N 44°06'56" E	88.96'	L121	N 15°23'01" E	53.78'
L40	S 45°33'29" E	254.77'	L122	N 74°36'59" W	101.71'
L41	S 44°06'56" W	253.81'	L123	N 15°23'01" E	15.00'
L42	N 45°50'39" W	110.27'	L124	S 74°36'59" E	101.71'
L43	N 44°26'31" E	48.75'	L125	S 15°23'01" W	65.13'
L44	S 31°03'19" E	135.24'	L126	S 44°06'56" W	291.32'
L45	S 58°56'41" W	10.00'	L127	N 45°53'04" W	10.00'
L46	S 31°03'19" E	20.00'	L128	S 44°06'56" W	20.00'
L47	N 58°56'41" E	10.00'	L129	S 45°53'04" E	10.00'
L48	S 31°03'19" E	85.80'	L130	S 44°06'56" W	5.19'
L49	S 58°56'41" W	5.00'	L131	N 45°53'04" W	10.00'
L50	S 31°03'19" E	20.00'	L132	S 44°06'56" W	20.00'
L51	N 58°56'41" E	5.00'	L133	S 45°53'04" E	10.00'
L52	N 31°03'19" W	11.70'	L134	S 44°06'56" W	5.79'
L53	S 58°56'41" W	10.00'	L135	N 31°10'20" W	262.51'
L54	N 31°03'19" W	20.00'	L136	S 58°49'40" W	5.00'
L55	N 58°56'41" E	10.00'	L137	N 31°10'20" W	20.00'
L56	N 31°03'19" W	80.09'	L138	N 58°51'16" E	5.00'
L57	S 58°56'41" W	5.00'	L139	N 31°10'20" W	246.22'
L58	N 31°03'19" W	20.00'	L140	N 67°55'28" W	175.74'
L59	N 58°56'41" E	5.00'	L141	N 25°21'15" E	20.03'
L60	S 31°10'20" E	11.22'	L142	S 67°55'28" E	170.73'
L61	N 13°49'40" E	15.04'	L143	N 40°38'59" E	14.20'
L62	S 76°10'20" E	15.00'	L144	S 49°21'01" E	20.00'
L63	S 13°49'40" W	30.04'	L145	S 40°38'59" W	14.15'
L64	S 31°11'39" E	31.79'	L146	S 31°10'20" E	242.30'
L65	N 58°56'41" E	5.00'	L147	N 58°48'04" E	17.00'
L66	S 31°03'19" E	20.00'	L148	S 31°10'20" E	20.01'
L67	S 58°56'41" W	5.00'	L149	S 58°49'40" W	17.00'
L68	S 31°17'49" E	18.75'	L150	S 31°10'20" E	57.21'
L69	N 58°56'41" E	10.00'	L151	N 31°09'51" W	115.79'
L70	S 31°03'19" E	20.00'	L152	S 58°43'27" W	5.00'
L71	S 58°56'41" W	10.00'	L153	S 31°16'33" W	20.00'
L72	S 31°16'44" E	15.37'	L154	N 58°43'27" E	5.00'
L73	N 58°49'40" E	5.00'	L155	N 45°33'29" W	157.16'
L74	S 31°10'20" E	20.00'	L156	S 44°06'56" W	5.00'
L75	S 58°49'40" W	5.00'	L157	N 45°33'29" W	20.00'
L76	S 31°10'20" E	16.23'	L158	N 44°06'56" E	5.00'
L77	S 44°06'56" W	16.22'	L159	N 45°33'29" W	214.41'
L78	S 45°53'04" E	5.00'	L160	N 67°55'28" W	131.75'
L79	S 44°06'56" W	20.00'	L161	N 25°57'49" E	20.05'
L80	N 45°53'04" W	5.00'	L162	S 67°55'28" E	134.35'
L81	S 44°06'56" W	10.27'	L163	S 45°33'29" E	395.41'
L82	S 68°23'04" E	24.37'			

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	26.28'	20.00'	075°17'16"	N 06°28'18" E	24.43'
C2	31.38'	20.00'	089°52'59"	N 13°53'11" E	28.26'
C3	31.38'	20.00'	089°52'59"	S 13°53'11" W	28.26'
C4	25.38'	15.22'	095°32'08"	S 79°21'08" E	22.54'
C5	8.34'	20.00'	023°53'44"	N 46°52'48" E	8.28'
C6	6.26'	15.00'	023°53'44"	N 46°52'48" E	6.21'
C7	16.13'	20.92'	044°10'46"	N 41°04'25" E	15.74'
C8	7.13'	25.00'	016°20'28"	S 66°59'54" W	7.11'
C9	6.26'	14.99'	023°54'35"	S 70°46'32" W	6.21'
C10	8.34'	20.00'	023°53'44"	S 70°46'32" W	8.28'
C11	31.42'	20.00'	090°00'00"	S 13°49'40" W	28.28'
C12	31.30'	20.00'	089°40'25"	S 00°43'17" E	28.20'
C13	7.63'	20.00'	021°52'02"	S 56°29'30" E	7.59'

PRELIMINARY PLAT  
276 ROCKWALL ADDITION  
LOTS 1–7, BLOCK A  
BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

ENGINEER:

KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

OWNER:

HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

CASE NO. P\_\_\_\_\_

JOB NO.: 19-0904	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE: 01/15/2020	www.peisersurveying.com		
REV:		1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)	3
		COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	OF
DRAWN: J.B.W.	tmankin@peisersurveying.com	FIRM No. 100999-00	4
		Member Since 1977	

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **276 ROCKWALL ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **276 ROCKWALL ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.

7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this \_\_\_\_\_ day of \_\_\_\_\_, 2020

HOWELL MTN RE, LLC

By: GENE COOPER

STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_:  
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Gene Cooper, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

NOTARY PUBLIC in and for the STATE OF TEXAS

RECOMMENDED FOR FINAL APPROVAL

Planning & Zoning Commission, Chairman      Date \_\_\_\_\_

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Mayor, City of Rockwall      City Secretary      City Engineer

OWNER'S CERTIFICATION  
WHEREAS HOWELL MTN RE, LLC, is the sole owner of that certain tract of land conveyed to Howell MTN RE, LLC, by deed recorded in Instrument Number 20180000021428, Official Public Records, Rockwall County, Texas, and being a portion of Lot 1, Block A, Rockwall Hospital Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Page 133, Map Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with "Stovall Assoc" yellow cap found for the most southerly corner of said Howell tract, same being the most southerly corner of said Lot 1, same being in the northeasterly line of that certain tract of land conveyed to Rockwall ISD, by deed recorded in Volume 2221, Page 295, Deed Records, Rockwall County, Texas, same being the west corner of that certain tract of land conveyed to KGR Investments, LLC, by deed recorded in Instrument Number 20180000014743, said Official Public Records;

THENCE North 45 deg. 50 min. 39 sec. West, along the common line of said Howell tract and said Rockwall ISD tract, a distance of 239.17 feet to a 1/2 inch iron rod with "Peiser & Mankin SURV" red plastic cap set (hereinafter referred to as 1/2 inch iron rod set) for the most westerly corner of said Lot 1;

THENCE North 45 deg. 50 min. 24 sec. West, along the common line of said Howell tract and said Rockwall ISD plat, passing the north corner of said Rockwall ISD tract, same being the east corner of a Drainage ROW/Open Space/Natural Area to The City of Rockwall per plat recorded in Cabinet G, Slide 23, aforesaid Map Records, and continuing along the common line of said Howell tract and said Drainage ROW, passing the north corner of said Drainage ROW, same being the east corner of Flagstone Estates, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet G, Page 26, said Map Records, and continuing along the common line of said Howell tract and said Flagstone Estates, a total distance of 1018.06 feet to a 1/2 inch iron rod with illegible yellow cap found for the west corner of said Howell tract, same being the south corner of Lot 5, Rockwall Business Park East, an addition to, the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Page 265, said Map Records;

THENCE North 44 deg. 02 min. 25 sec. East, along the common line of said Howell tract and said Lot 5, passing the east corner of said Lot 5, same being the south corner of Lot 1, Block C, Rockwall Business Park East, Phase Three, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 291, said Map Records, Rockwall County, Texas, and continuing along the common line of said Howell tract and said Lot 1, Block C, a total distance of 981.14 feet to a 1/2 inch iron rod set for a north corner of said Howell tract, same being the west corner of that certain tract of land conveyed to Cathy A. Haldeman, by deed recorded in Volume 421, Page 68, aforesaid Deed Records;

THENCE along the common line of said Howell tract and said Haldeman tract as follows:  
South 46 deg. 18 min. 59 sec. East, a distance of 355.86 feet to a 1/2 inch iron rod set for corner, same being the south corner of said Haldeman tract;  
North 13 deg. 30 min. 14 sec. East, a distance of 387.20 feet to a 1/2 inch iron rod set for the most easterly north corner of said Howell tract, same being the east corner of said Haldeman tract, same being the south corner of that certain tract of land conveyed to Wayne Backus, by deed recorded in Volume 498, Page 56, said Deed Records, same being the west corner of that certain tract of land conveyed to State of Texas, by deed recorded in Volume 31, Page 510, said Deed Records;

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE  
1/15/2020  
Timothy R. Mankin      Date  
Registered Professional Land Surveyor, No. 6122

ENGINEER:  
KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

OWNER:  
HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

CASE NO. P _____		
JOB NO.: 19-0904	PEISER & MANKIN SURVEYING, LLC www.peisersurveying.com	SHEET 4 OF 4
DATE: 01/15/2020 REV:		
DRAWN: J.B.W.	<div><div></div><div>1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)</div><div>COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE</div><div>Texas Society of Professional Surveyors Member Since 1977</div></div>	

## Polyline Report

Fri Jan 17 08:51:14 2020

Northing	Easting	Bearing	Distance
7015851.736	2598576.338		
		N 45°50'39" W	239.170
7016018.345	2598404.746		
		N 45°50'24" W	1018.056
7016727.588	2597674.395		
		N 44°02'25" E	981.142
7017432.884	2598356.449		
		S 46°18'59" E	355.860
7017187.100	2598613.795		
		N 13°30'14" E	387.200
7017563.595	2598704.210		
		S 46°00'37" E	528.190
7017196.752	2599084.224		
		S 31°03'19" E	476.760
7016788.326	2599330.168		
		S 43°46'25" W	10.426
7016780.797	2599322.955		
		S 31°10'20" E	363.022
7016470.190	2599510.860		
		S 06°30'28" W	48.020
7016422.479	2599505.417		
		S 43°47'29" W	226.500
7016258.977	2599348.671		
		S 34°42'42" W	336.990
7015981.962	2599156.774		
		S 43°47'05" W	50.150
7015945.756	2599122.072		
		N 45°33'29" W	326.360
7016174.269	2598889.064		
		S 44°06'56" W	449.250
7015851.736	2598576.338		

Closure Error Distance&gt; 0.00000

Total Distance&gt; 5797.097

Polyline Area: 1721721 sq ft, 39.5253 acres





# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Mayor and City Council  
**DATE:** February 3, 2020  
**APPLICANT:** Kevin Patel; *Triangle Engineering, LLC*  
**CASE NUMBER:** P2020-005; *Lots 1-7, Block A, 276 Rockwall Addition*

---

### **SUMMARY**

Consider a request by Kevin Patel of Triangle Engineering, LLC on behalf of Gene Cooper of Howell MTN RE, LLC for the approval of a preliminary plat for a 39.53-acre tract of land identified as Lot 1, Block A, Rockwall Hospital Addition and Tract 18 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, located at the northwest corner of the intersection of SH-276 and SH-205, and take any action necessary.

### **PLAT INFORMATION**

- ☒ The applicant is requesting approval of a preliminary plat for a 39.53-acre tract of land (*i.e. Lot 1, Block A, Rockwall Hospital Addition*), which depicts the subject property being subdivided into seven (7) lots (*i.e. Lots 1-7, Block A, 276 Rockwall Addition*). The preliminary plat also shows a preliminary layout for the fire lane, public access, utility, and drainage and detention easements necessary to develop the subject property.
- ☒ The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for preliminary plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☒ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☒ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

### **CONDITIONS OF APPROVAL**

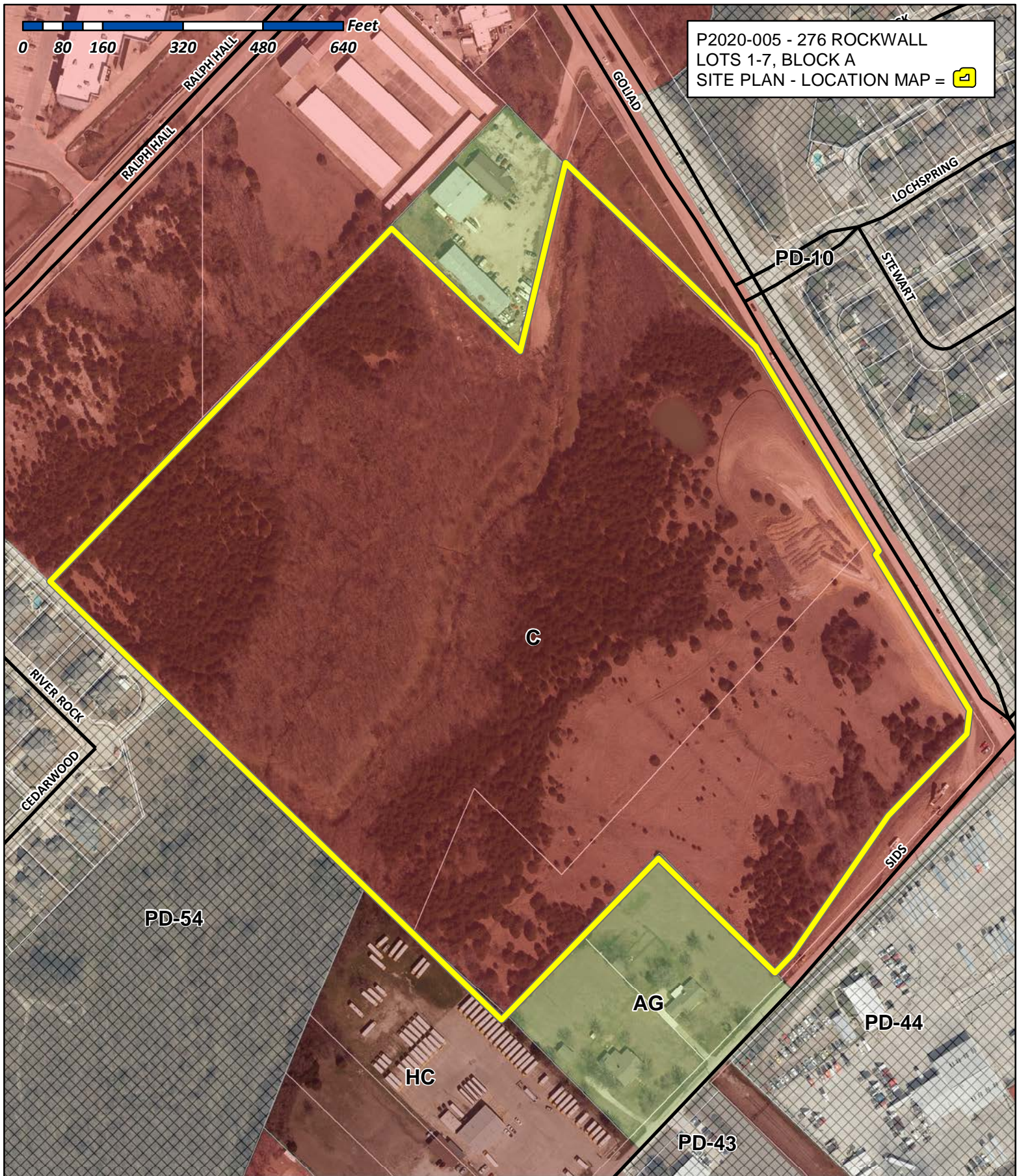
If the City Council chooses to approve the preliminary plat for *Lots 1-7, Block A, 276 Rockwall Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## **PLANNING AND ZONING COMMISSION**

On January 28, 2020, the Planning and Zoning Commission's motion to recommend approval of the applicant's request with staff's conditions of approval passed by a vote of 5-0 with Commissioners Fishman and Moeller absent.





## City of Rockwall

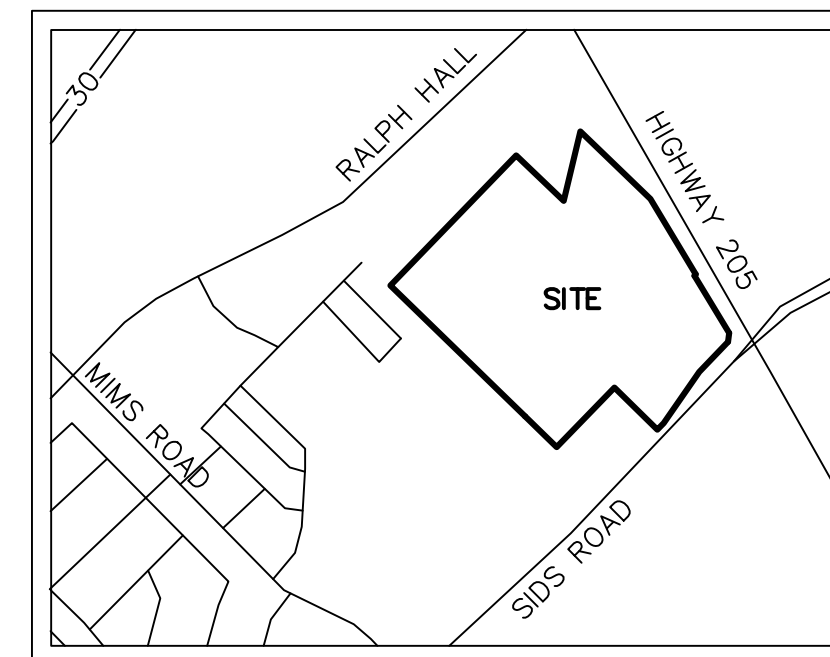
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





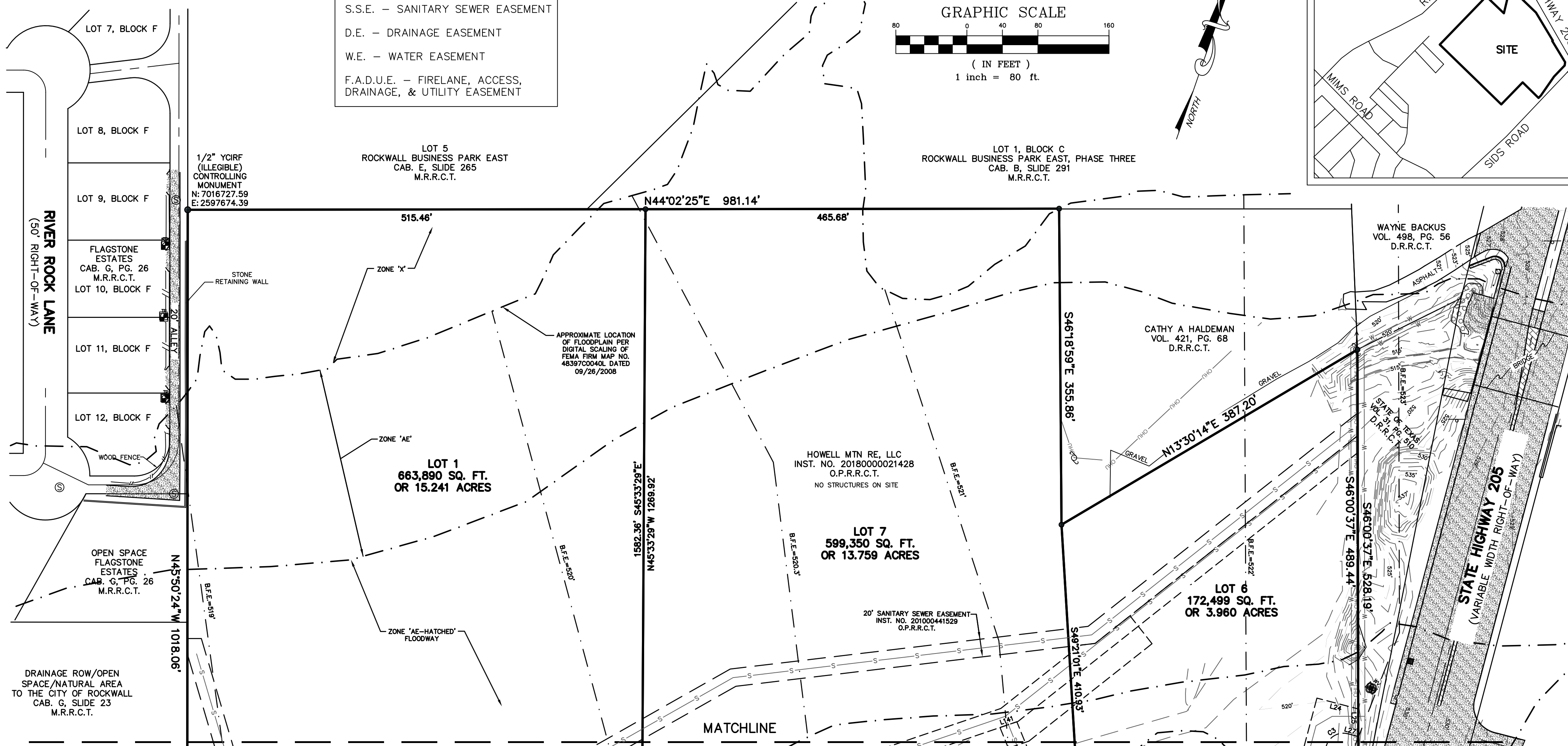
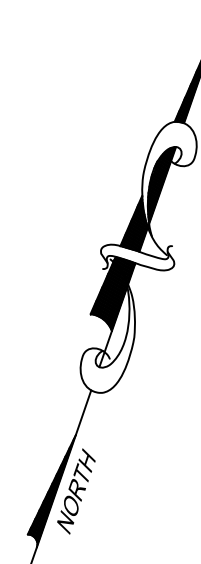
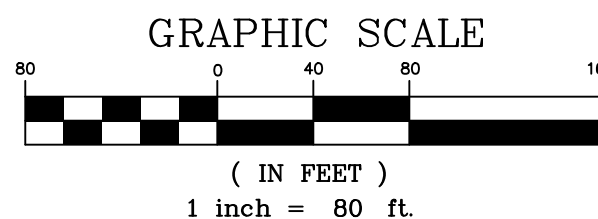
VICINITY MAP  
N.T.S.



LINE AND CURVE  
TABLES ON PAGE 3

#### LEGEND

D.P.D.E. — DETENTION POND &  
DRAINAGE EASEMENT  
  
S.S.E. — SANITARY SEWER EASEMENT  
  
D.E. — DRAINAGE EASEMENT  
  
W.E. — WATER EASEMENT  
  
F.A.D.U.E. — FIRELANE, ACCESS,  
DRAINAGE, & UTILITY EASEMENT



#### NOTES:

1. IRF — Iron Rod Found
2. Notice: Selling a portion of this addition by metes and bounds is a violation of city subdivisions ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
3. O.P.R.R.T. — Official Public Records, Rockwall County, Texas.
4. D.R.R.C.T. — Deed Records, Rockwall County, Texas.
5. M.R.R.C.T. — Map Records, Rockwall County, Texas.
6. CAB. — Cabinet
7. PG. — PAGE
8. INST — INSTRUMENT
9. NO. — NUMBER
10. This is an above-ground survey. The underground utilities, if shown, are based on information provided by the various utility companies and these locations should be considered approximate. There may be additional underground utilities not shown on this drawing.
11. Bearings of lines shown hereon refer to Grid North of the Texas Coordinate System of 1983 (North Central Zone 4202; NAD83 (2011) Epoch 2010) as derived locally from Western Data Systems Continuously Operating Reference Stations (CORS) via Real Time Kinematic (RTK) Methods.
12. All property corners monumented with 1/2 inch iron rod with "Peiser & Mankin SURV" red plastic cap set, unless otherwise noted.
13. All easements per Rockwall Hospital Addition recorded in Cabinet E, Page 133, Map Records, Rockwall County, Texas, except the 15' utility and sidewalk easement are abandoned by this plat, as shown hereon.
14. On site underground utilities are proposed and shown per Site Plan provided by Triangle Engineering LLC.

#### LEGEND

	GAS METER		FIRE HYDRANT		SIGN
	IRR. CONTROL VALVE		WATER METER		LIGHT POLE
	TELEPHONE PEDESTAL		FUEL PORT		TYPICAL FENCE
	POWER POLE		WATER VALVE		CONCRETE
	DOWN GUY		TRANSFORMER PAD		BOLLARD
	S.S. MANHOLE		ELECTRIC METER		VAULT
	CLEAN OUT		STORM DRAIN MANHOLE		TRAFFIC SIGNAL POLE

## PRELIMINARY PLAT 276 ROCKWALL ADDITION LOTS 1-7, BLOCK A

BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

ENGINEER:

KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

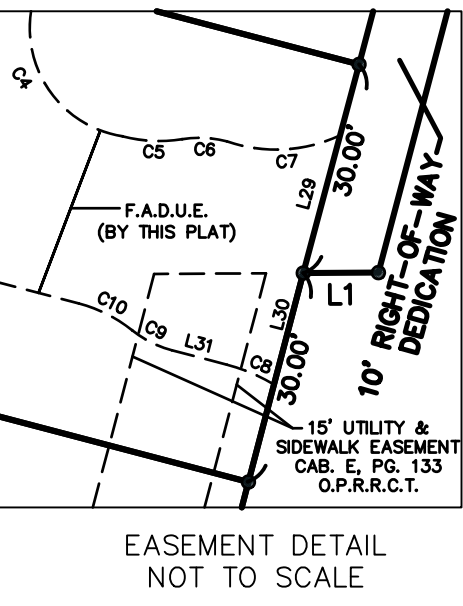
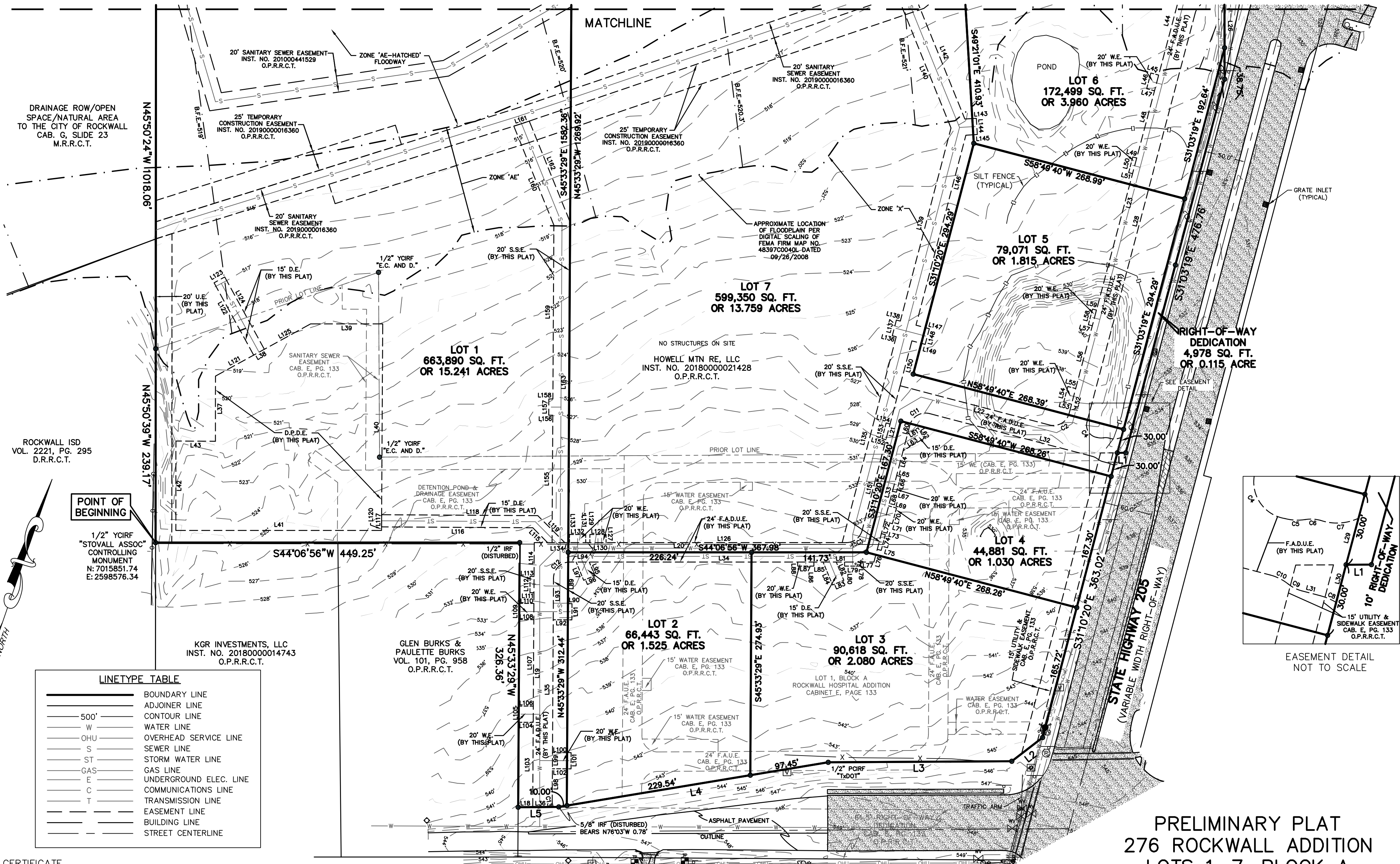
OWNER:

HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

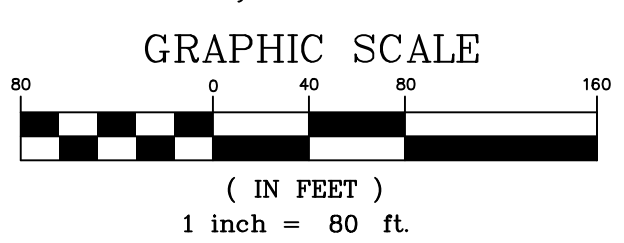
CASE NO. P\_\_\_\_\_

JOB NO.: 19-0904	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE: 01/15/2020	www.peisersurveying.com		1
REV:	1604 HART STREET SOUTH LAKE, TEXAS 76092 817-481-1806 (O)		OF
SCALE: 1" = 80'	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE		4
DRAWN: J.B.W.	tmankin@peisersurveying.com FIRM No. 100999-00		Member Since 1977





**FLOOD CERTIFICATE**  
As determined by the FLOOD INSURANCE RATE MAPS for Rockwall County, a portion of the subject property does appear to lie within a Special Flood Hazard Area (100 Year Flood), Map date 09/26/2008 Community Panel No. 48397C0040L subject lot is located in Zone 'X', 'A' & 'AE'.  
If this site is not within an identified flood hazard area, this Flood Statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This Flood Statement shall not create liability on the part of the Surveyor.



**LEGEND**  
D.P.D.E. - DETENTION POND & DRAINAGE EASEMENT  
S.S.E. - SANITARY SEWER EASEMENT  
D.E. - DRAINAGE EASEMENT  
W.E. - WATER EASEMENT  
F.A.D.U.E. - FIRELANE, ACCESS, DRAINAGE, & UTILITY EASEMENT

**LINE AND CURVE TABLES ON PAGE 3**

**ENGINEER:**  
KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

**OWNER:**  
HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

**PRELIMINARY PLAT**  
**276 ROCKWALL ADDITION**  
**LOTS 1-7, BLOCK A**  
BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

CASE NO. P-----		<b>PEISER &amp; MANKIN SURVEYING, LLC</b> www.peisersurveying.com		SHEET 2 OF 4
JOB NO.: 19-0904	DATE: 01/15/2020	REV:		
SCALE: 1" = 80'		DRAWN: J.B.W.		
FIRM No. 100999-00		Member Since 1977		

1604 HART STREET  
SOUTH LAKE, TEXAS 76092  
817-481-1806 (O)

COMMERCIAL  
RESIDENTIAL  
BOUNDARIES  
TOPOGRAPHY  
MORTGAGE

TEXAS  
SOCIETY OF  
PROFESSIONAL  
SURVEYORS



LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 43°46'25" W	10.43'	L83	S 21°36'56" W	15.00'
L2	S 06°30'28" W	48.02'	L84	N 68°23'04" W	30.59'
L3	S 43°47'29" W	226.50'	L85	S 44°06'56" W	11.39'
L4	S 34°42'42" W	336.99'	L86	S 45°53'04" E	5.00'
L5	S 43°47'05" W	50.15'	L87	S 44°06'56" W	20.00'
L6	S 45°09'29" W	52.35'	L88	N 45°53'04" W	5.00'
L7	S 34°42'42" W	10.22'	L89	S 45°33'29" E	51.18'
L8	N 31°09'22" W	27.77'	L90	N 44°26'31" E	5.00'
L9	N 58°50'38" E	243.39'	L91	S 45°33'29" E	20.00'
L10	S 58°50'38" W	193.31'	L92	S 44°26'31" W	23.00'
L11	S 45°06'15" W	51.52'	L93	N 45°33'29" W	51.28'
L12	S 31°09'22" E	150.44'	L94	N 44°06'56" E	7.95'
L13	N 13°07'58" E	128.65'	L95	S 68°23'04" E	18.08'
L14	N 08°19'58" E	47.49'	L96	S 21°36'56" W	15.00'
L15	N 20°07'18" E	41.44'	L97	N 68°23'04" W	24.29'
L16	N 58°50'38" E	145.00'	L98	N 45°33'29" W	39.70'
L17	N 59°45'42" E	24.06'	L99	N 45°33'29" W	20.00'
L18	N 43°47'05" E	18.00'	L100	N 44°26'31" E	23.00'
L19	N 45°33'29" W	326.26'	L101	S 45°33'29" E	20.00'
L20	N 44°06'56" E	385.23'	L102	S 44°26'31" W	23.00'
L21	N 31°10'20" W	184.62'	L103	N 45°33'29" W	104.53'
L22	N 58°49'40" E	190.39'	L104	S 44°26'31" W	18.00'
L23	N 31°03'19" W	566.94'	L105	N 45°33'29" W	20.00'
L24	N 58°49'40" E	48.12'	L106	N 44°26'31" E	18.00'
L25	S 46°00'37" E	31.03'	L107	N 45°33'29" W	106.69'
L26	N 46°00'37" W	53.76'	L108	S 44°26'31" W	18.00'
L27	S 58°49'40" W	12.17'	L109	N 45°33'29" W	20.00'
L28	S 31°03'19" E	521.91'	L110	N 44°26'31" E	18.00'
L29	S 30°56'07" E	19.80'	L111	S 44°26'31" W	5.00'
L30	S 31°10'20" E	16.01'	L112	N 45°33'29" W	20.00'
L31	S 58°49'40" W	7.87'	L113	N 44°26'31" E	5.00'
L32	S 58°49'40" W	207.18'	L114	N 45°39'07" W	41.80'
L33	S 31°10'20" E	174.56'	L115	S 89°06'56" W	25.89'
L34	S 44°06'56" W	375.41'	L116	S 44°26'31" W	186.55'
L35	S 45°33'29" E	274.77'	L117	N 45°33'29" W	15.00'
L36	S 43°47'05" W	25.44'	L118	N 44°26'31" E	192.72'
L37	N 45°50'39" W	80.41'	L119	N 89°06'56" E	47.06'
L38	N 15°23'01" E	133.90'	L120	S 45°33'29" E	4.37'
L39	N 44°06'56" E	88.96'	L121	N 15°23'01" E	53.78'
L40	S 45°33'29" E	254.77'	L122	N 74°36'59" W	101.71'
L41	S 44°06'56" W	253.81'	L123	N 15°23'01" E	15.00'
L42	N 45°50'39" W	110.27'	L124	S 74°36'59" E	101.71'
L43	N 44°26'31" E	48.75'	L125	S 15°23'01" W	65.13'
L44	S 31°03'19" E	135.24'	L126	S 44°06'56" W	291.32'
L45	S 58°56'41" W	10.00'	L127	N 45°53'04" W	10.00'
L46	S 31°03'19" E	20.00'	L128	S 44°06'56" W	20.00'
L47	N 58°56'41" E	10.00'	L129	S 45°53'04" E	10.00'
L48	S 31°03'19" E	85.80'	L130	S 44°06'56" W	5.19'
L49	S 58°56'41" W	5.00'	L131	N 45°53'04" W	10.00'
L50	S 31°03'19" E	20.00'	L132	S 44°06'56" W	20.00'
L51	N 58°56'41" E	5.00'	L133	S 45°53'04" E	10.00'
L52	N 31°03'19" W	11.70'	L134	S 44°06'56" W	5.79'
L53	S 58°56'41" W	10.00'	L135	N 31°10'20" W	262.51'
L54	N 31°03'19" W	20.00'	L136	S 58°49'40" W	5.00'
L55	N 58°56'41" E	10.00'	L137	N 31°10'20" W	20.00'
L56	N 31°03'19" W	80.09'	L138	N 58°51'16" E	5.00'
L57	S 58°56'41" W	5.00'	L139	N 31°10'20" W	246.22'
L58	N 31°03'19" W	20.00'	L140	N 67°55'28" W	175.74'
L59	N 58°56'41" E	5.00'	L141	N 25°21'15" E	20.03'
L60	S 31°10'20" E	11.22'	L142	S 67°55'28" E	170.73'
L61	N 13°49'40" E	15.04'	L143	N 40°38'59" E	14.20'
L62	S 76°10'20" E	15.00'	L144	S 49°21'01" E	20.00'
L63	S 13°49'40" W	30.04'	L145	S 40°38'59" W	14.15'
L64	S 31°11'39" E	31.79'	L146	S 31°10'20" E	242.30'
L65	N 58°56'41" E	5.00'	L147	N 58°48'04" E	17.00'
L66	S 31°03'19" E	20.00'	L148	S 31°10'20" E	20.01'
L67	S 58°56'41" W	5.00'	L149	S 58°49'40" W	17.00'
L68	S 31°17'49" E	18.75'	L150	S 31°10'20" E	57.21'
L69	N 58°56'41" E	10.00'	L151	N 31°09'51" W	115.79'
L70	S 31°03'19" E	20.00'	L152	S 58°43'27" W	5.00'
L71	S 58°56'41" W	10.00'	L153	N 31°16'33" W	20.00'
L72	S 31°16'44" E	15.37'	L154	N 58°43'27" E	5.00'
L73	N 58°49'40" E	5.00'	L155	N 45°33'29" W	157.16'
L74	S 31°10'20" E	20.00'	L156	S 44°06'56" W	5.00'
L75	S 58°49'40" W	5.00'	L157	N 45°33'29" W	20.00'
L76	S 31°10'20" E	16.23'	L158	N 44°06'56" E	5.00'
L77	S 44°06'56" W	16.22'	L159	N 45°33'29" W	214.41'
L78	S 45°53'04" E	5.00'	L160	N 67°55'28" W	131.75'
L79	S 44°06'56" W	20.00'	L161	N 25°57'49" E	20.05'
L80	N 45°53'04" W	5.00'	L162	S 67°55'28" E	134.35'
L81	S 44°06'56" W	10.27'	L163	S 45°33'29" E	395.41'
L82	S 68°23'04" E	24.37'			

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	26.28'	20.00'	075°17'16"	N 06°28'18" E	24.43'
C2	31.38'	20.00'	089°52'59"	N 13°53'11" E	28.26'
C3	31.38'	20.00'	089°52'59"	S 13°53'11" W	28.26'
C4	25.38'	15.22'	095°32'08"	S 79°21'08" E	22.54'
C5	8.34'	20.00'	023°53'44"	N 46°52'48" E	8.28'
C6	6.26'	15.00'	023°53'44"	N 46°52'48" E	6.21'
C7	16.13'	20.92'	044°10'46"	N 41°04'25" E	15.74'
C8	7.13'	25.00'	016°20'28"	S 66°59'54" W	7.11'
C9	6.26'	14.99'	023°54'35"	S 70°46'32" W	6.21'
C10	8.34'	20.00'	023°53'44"	S 70°46'32" W	8.28'
C11	31.42'	20.00'	090°00'00"	S 13°49'40" W	28.28'
C12	31.30'	20.00'	089°40'25"	S 00°43'17" E	28.20'
C13	7.63'	20.00'	021°52'02"	S 56°29'30" E	7.59'

PRELIMINARY PLAT  
276 ROCKWALL ADDITION  
LOTS 1–7, BLOCK A  
BEING 39.525 ACRES OUT OF THE  
J.D. McFARLAND SURVEY, ABSTRACT NO. 145  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 2020

ENGINEER:

KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

OWNER:

HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

CASE NO. P\_\_\_\_\_-\_\_\_\_

JOB NO.: 19-0904	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE: 01/15/2020	www.peisersurveying.com		
REV:			
DRAWN: J.B.W.		1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)  COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE	3 OF 4
	tmankin@peisersurveying.com	FIRM No. 100999-00	Member Since 1977

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **276 ROCKWALL ADDITION** subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **276 ROCKWALL ADDITION** subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. All detention/drainage systems to be maintained, repaired, and replaced by property owner.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall. I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS MY HAND, this \_\_\_\_\_ day of \_\_\_\_\_, 2020

HOWELL MTN RE, LLC

By: GENE COOPER

STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_:  
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Gene Cooper, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

NOTARY PUBLIC in and for the STATE OF TEXAS

RECOMMENDED FOR FINAL APPROVAL

Planning & Zoning Commission, Chairman      Date \_\_\_\_\_

APPROVED:  
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Mayor, City of Rockwall      City Secretary      City Engineer

OWNER'S CERTIFICATION  
WHEREAS HOWELL MTN RE, LLC, is the sole owner of that certain tract of land conveyed to Howell MTN RE, LLC, by deed recorded in Instrument Number 20180000021428, Official Public Records, Rockwall County, Texas, and being a portion of Lot 1, Block A, Rockwall Hospital Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Page 133, Map Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with "Stovall Assoc" yellow cap found for the most southerly corner of said Howell tract, same being the most southerly corner of said Lot 1, same being in the northeasterly line of that certain tract of land conveyed to Rockwall ISD, by deed recorded in Volume 2221, Page 295, Deed Records, Rockwall County, Texas, same being the west corner of that certain tract of land conveyed to KGR Investments, LLC, by deed recorded in Instrument Number 20180000014743, said Official Public Records;

THENCE North 45 deg. 50 min. 39 sec. West, along the common line of said Howell tract and said Rockwall ISD tract, a distance of 239.17 feet to a 1/2 inch iron rod with "Peiser & Mankin SURV" red plastic cap set (hereinafter referred to as 1/2 inch iron rod set) for the most westerly corner of said Lot 1;

THENCE North 45 deg. 50 min. 24 sec. West, along the common line of said Howell tract and said Rockwall ISD plat, passing the north corner of said Rockwall ISD tract, same being the east corner of a Drainage ROW/Open Space/Natural Area to The City of Rockwall per plat recorded in Cabinet G, Slide 23, aforesaid Map Records, and continuing along the common line of said Howell tract and said Drainage ROW, passing the north corner of said Drainage ROW, same being the east corner of Flagstone Estates, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet G, Page 26, said Map Records, and continuing along the common line of said Howell tract and said Flagstone Estates, a total distance of 1018.06 feet to a 1/2 inch iron rod with illegible yellow cap found for the west corner of said Howell tract, same being the south corner of Lot 5, Rockwall Business Park East, an addition to, the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet E, Page 265, said Map Records;

THENCE North 44 deg. 02 min. 25 sec. East, along the common line of said Howell tract and said Lot 5, passing the east corner of said Lot 5, same being the south corner of Lot 1, Block C, Rockwall Business Park East, Phase Three, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 291, said Map Records, Rockwall County, Texas, and continuing along the common line of said Howell tract and said Lot 1, Block C, a total distance of 981.14 feet to a 1/2 inch iron rod set for a north corner of said Howell tract, same being the west corner of that certain tract of land conveyed to Cathy A. Haldeman, by deed recorded in Volume 421, Page 68, aforesaid Deed Records;

THENCE along the common line of said Howell tract and said Haldeman tract as follows:  
South 46 deg. 18 min. 59 sec. East, a distance of 355.86 feet to a 1/2 inch iron rod set for corner, same being the south corner of said Haldeman tract;  
North 13 deg. 30 min. 14 sec. East, a distance of 387.20 feet to a 1/2 inch iron rod set for the most easterly north corner of said Howell tract, same being the east corner of said Haldeman tract, same being the south corner of that certain tract of land conveyed to Wayne Backus, by deed recorded in Volume 498, Page 56, said Deed Records, same being the west corner of that certain tract of land conveyed to State of Texas, by deed recorded in Volume 31, Page 510, said Deed Records;

SURVEYOR'S CERTIFICATE

I, Timothy R. Mankin, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Rockwall, Texas.

**PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE**  
**1/15/2020**

Timothy R. Mankin  
Registered Professional Land Surveyor, No. 6122

Date \_\_\_\_\_

ENGINEER:

KEVIN PATEL  
TRIANGLE ENGINEERING  
1784 W MCDERMOTT DRIVE  
SUITE 110  
ALLEN, TEXAS 75013  
469-331-8566  
KPATEL@TRIANGLE-ENGR.COM

OWNER:

HOWELL MTN RE, LLC  
2560 TECHNOLOGY STE 100  
PLANO, TX 75074  
972-245-7960  
GCOOPER@COOPERGENCON.COM

CASE NO. P \_\_\_\_\_

JOB NO.: 19-0904	<b>PEISER &amp; MANKIN SURVEYING, LLC</b> <b>www.peisersurveying.com</b>		SHEET
DATE: 01/15/2020	 <div>1604 HART STREET SOUTHLAKE, TEXAS 76092 817-481-1806 (O)</div> <div>COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE</div> <div>Texas Society of Professional Surveyors</div>		4
REV:			4
DRAWN: J.B.W.	tmankin@peisersurveying.com	FIRM No. 100999-00	Member Since 1977

## Polyline Report

Fri Jan 17 08:51:14 2020

Northing	Easting	Bearing	Distance
7015851.736	2598576.338		
		N 45°50'39" W	239.170
7016018.345	2598404.746		
		N 45°50'24" W	1018.056
7016727.588	2597674.395		
		N 44°02'25" E	981.142
7017432.884	2598356.449		
		S 46°18'59" E	355.860
7017187.100	2598613.795		
		N 13°30'14" E	387.200
7017563.595	2598704.210		
		S 46°00'37" E	528.190
7017196.752	2599084.224		
		S 31°03'19" E	476.760
7016788.326	2599330.168		
		S 43°46'25" W	10.426
7016780.797	2599322.955		
		S 31°10'20" E	363.022
7016470.190	2599510.860		
		S 06°30'28" W	48.020
7016422.479	2599505.417		
		S 43°47'29" W	226.500
7016258.977	2599348.671		
		S 34°42'42" W	336.990
7015981.962	2599156.774		
		S 43°47'05" W	50.150
7015945.756	2599122.072		
		N 45°33'29" W	326.360
7016174.269	2598889.064		
		S 44°06'56" W	449.250
7015851.736	2598576.338		

Closure Error Distance&gt; 0.00000

Total Distance&gt; 5797.097

Polyline Area: 1721721 sq ft, 39.5253 acres



## Lee, Henry

---

**From:** Deependra Sapkota <DSapkota@triangle-engr.com>  
**Sent:** Friday, January 17, 2020 1:14 PM  
**To:** Gonzales, David; Williams, Amy  
**Cc:** Johnston, Sarah; Kevin Patel; Doug Galloway; jessica@peisersurveying.com  
**Subject:** RE: NWC of SH 205 & Sids Rd  
**Attachments:** Development Application & Checklists.pdf; Preliminary Plat-276 Rockwall Addition, Block A, Lots 1-7.pdf; Survey-Closure Report.txt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

David  
Good Afternoon Sir

Please find attached pfd of the Preliminary Plat Submittal for the referenced project.  
I am on my way to make the Hard Copy Submittal. I will also include a CD for digital submittal.

Thank you very much

Sincerely,  
Deep Sapkota, EIT  
Assistant Project Manager

Planning | Civil Engineering | Construction Management  
1784 W. McDermott Drive | Suite 110 | Allen, TX 75013  
P: 469.331.8566-Ext-106 | F: 469.213.7145 | E: dsapkota@triangle-engr.com | W: www.triangle-engr.com

-----Original Message-----

From: Gonzales, David <DGonzales@rockwall.com>  
Sent: Wednesday, January 15, 2020 5:49 PM  
To: Deependra Sapkota <DSapkota@triangle-engr.com>; Williams, Amy <AWilliams@rockwall.com>  
Cc: Johnston, Sarah <SJohnston@rockwall.com>; Kevin Patel <KPatel@triangle-engr.com>; Doug Galloway <dgalloway@cooperengencon.com>; jessica@peisersurveying.com  
Subject: RE: NWC of SH 205 & Sids Rd

Yes, although a portion of the site appears to have been platted and this will change, you will need to preliminary plat the entire site. At the time plat, those easements would be abandoned.

DAVID GONZALES, AICP  
PLANNING & ZONING MANAGER  
PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6488 OFFICE  
DGONZALES@ROCKWALL.COM  
385 S. GOLIAD STREET • ROCKWALL, TX 75087

-----Original Message-----

From: Deependra Sapkota [mailto:DSapkota@triangle-engr.com]

Sent: Wednesday, January 15, 2020 4:29 PM

To: Williams, Amy <AWilliams@rockwall.com>

Cc: Gonzales, David <DGonzales@rockwall.com>; Johnston, Sarah <SJohnston@rockwall.com>; Kevin Patel <KPatel@triangle-engr.com>; Doug Galloway <dgalloway@cooperengencon.com>; jessica@peisersurveying.com

Subject: RE: NWC of SH 205 & Sids Rd

Hello David / Amy

Please find attached Survey of the Property that has a platted portion with existing Easements that needs to be abandoned by new Plat.

Just Confirming we are required to submit a Preliminary Plat and not a Replat.

Looking forward for your response.

Thank you

Sincerely,

Deep Sapkota, EIT

Assistant Project Manager

Planning | Civil Engineering | Construction Management

1784 W. McDermott Drive | Suite 110 | Allen, TX 75013

P: 469.331.8566-Ext-106 | F: 469.213.7145 | E: dsapkota@triangle-engr.com | W: www.triangle-engr.com

-----Original Message-----

From: Williams, Amy <AWilliams@rockwall.com>

Sent: Monday, January 13, 2020 4:56 PM

To: Deependra Sapkota <DSapkota@triangle-engr.com>

Cc: Gonzales, David <DGonzales@rockwall.com>; Johnston, Sarah <SJohnston@rockwall.com>; Kevin Patel <KPatel@triangle-engr.com>; Doug Galloway <dgalloway@cooperengencon.com>

Subject: Re: NWC of SH 205 & Sids Rd

You will need to show preliminary water lines, sewer lines, and approx location of the detention pond. But not engineered on the preliminary plat.

Amy Williams

On Jan 13, 2020, at 11:18 AM, Deependra Sapkota <DSapkota@triangle-engr.com> wrote:

Thank you Sir

Sincerely,  
Deep Sapkota, EIT  
Assistant Project Manager

<image006.png>

Planning | Civil Engineering | Construction Management  
1784 W. McDermott Drive | Suite 110 | Allen, TX 75013  
P: 469.331.8566-Ext-106 | F: 469.213.7145 | E: dsapkota@triangle-engr.com<mailto:dsapkota@triangle-engr.com> | W:  
www.triangle-engr.com<http://www.triangle-engr.com/>

From: Gonzales, David <DGonzales@rockwall.com>  
Sent: Monday, January 13, 2020 11:17 AM  
To: Deependra Sapkota <DSapkota@triangle-engr.com>; Johnston, Sarah <SJohnston@rockwall.com>; Kevin Patel <KPatel@triangle-engr.com>  
Cc: Doug Galloway <dgalloway@cooperengencon.com>; Williams, Amy <AWilliams@rockwall.com>  
Subject: RE: NWC of SH 205 & Sids Rd

That is correct, you would not submit any engineering plans with this submittal.

<image010.jpg>  
David Gonzales, AICP  
planning & zoning manager  
Planning & Zoning Division • City of Rockwall  
972.772.6488 Office  
dgonzales@rockwall.com<mailto:dgonzales@rockwall.com>  
385 S. Goliad Street • Rockwall, TX 75087

<image011.png>

helpful links | City of Rockwall Website<http://www.rockwall.com/> | Planning & Zoning Division  
Website<http://www.rockwall.com/Planning/index.asp> | Municipal Code  
Website<http://library.municode.com/index.aspx?clientID=14830&stateID=43&statename=Texas>  
GIS Division Website<http://www.rockwall.com/gis/index.asp> | City of Rockwall Interactive  
Maps<http://gis.rockwall.com/flexviewers/Rockwall\_iMap/index.html> | MAIN STREET  
DIVISION<http://mainstreet.rockwall.com/index.asp>  
<image012.png>

From: Deependra Sapkota [mailto:DSapkota@triangle-engr.com]  
Sent: Monday, January 13, 2020 10:58 AM  
To: Gonzales, David <DGonzales@rockwall.com<mailto:DGonzales@rockwall.com>>; Johnston, Sarah <SJohnston@rockwall.com<mailto:SJohnston@rockwall.com>>; Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>  
Cc: Doug Galloway <dgalloway@cooperengencon.com<mailto:dgalloway@cooperengencon.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Subject: RE: NWC of SH 205 & Sids Rd

David  
Good Morning



Just wanted to confirm that we are not required to submit any other engineering Plans like Utility Plan or Drainage Plan with Preliminary Plat Submittal.

Thank you

Sincerely,  
Deep Sapkota, EIT  
Assistant Project Manager

<image006.png>

Planning | Civil Engineering | Construction Management  
1784 W. McDermott Drive | Suite 110 | Allen, TX 75013  
P: 469.331.8566-Ext-106 | F: 469.213.7145 | E: dsapkota@triangle-engr.com<mailto:dsapkota@triangle-engr.com> | W:  
www.triangle-engr.com<http://www.triangle-engr.com/>

From: Gonzales, David <DGonzales@rockwall.com<mailto:DGonzales@rockwall.com>>  
Sent: Monday, January 13, 2020 9:45 AM  
To: Deependra Sapkota <DSapkota@triangle-engr.com<mailto:DSapkota@triangle-engr.com>>; Johnston, Sarah <SJohnston@rockwall.com<mailto:SJohnston@rockwall.com>>; Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>  
Cc: Doug Galloway <dgalloway@cooperengencon.com<mailto:dgalloway@cooperengencon.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Subject: RE: NWC of SH 205 & Sids Rd

The link provided earlier has the entire plat submittal requirements. Please refer to the application package your submittal requirements.

<image013.jpg>  
David Gonzales, AICP  
planning & zoning manager  
Planning & Zoning Division • City of Rockwall  
972.772.6488 Office  
dgonzales@rockwall.com<mailto:dgonzales@rockwall.com>  
385 S. Goliad Street • Rockwall, TX 75087

<image011.png>

helpful links | City of Rockwall Website<http://www.rockwall.com/> | Planning & Zoning Division Website<http://www.rockwall.com/Planning/index.asp> | Municipal Code Website<http://library.municode.com/index.aspx?clientID=14830&stateID=43&statename=Texas> GIS Division Website<http://www.rockwall.com/gis/index.asp> | City of Rockwall Interactive Maps<http://gis.rockwall.com/flexviewers/Rockwall\_iMap/index.html> | MAIN STREET DIVISION<http://mainstreet.rockwall.com/index.asp>  
<image012.png>

From: Deependra Sapkota [mailto:DSapkota@triangle-engr.com]  
Sent: Friday, January 10, 2020 10:32 AM

To: Gonzales, David <DGonzales@rockwall.com<mailto:DGonzales@rockwall.com>>; Johnston, Sarah <SJohnston@rockwall.com<mailto:SJohnston@rockwall.com>>; Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>  
Cc: Doug Galloway <dgalloway@cooperengencon.com<mailto:dgalloway@cooperengencon.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Subject: RE: NWC of SH 205 & Sids Rd

<image014.png>

David  
Good Morning

Could you please confirm the attached checked items for Preliminary Plat Submittal for the referenced Project.  
Thank you Sir

Sincerely,  
Deep Sapkota, EIT  
Assistant Project Manager

<image006.png>

Planning | Civil Engineering | Construction Management  
1784 W. McDermott Drive | Suite 110 | Allen, TX 75013  
P: 469.331.8566-Ext-106 | F: 469.213.7145 | E: dsapkota@triangle-engr.com<mailto:dsapkota@triangle-engr.com> | W:  
www.triangle-engr.com<http://www.triangle-engr.com/>

From: Gonzales, David <DGonzales@rockwall.com<mailto:DGonzales@rockwall.com>>  
Sent: Friday, January 3, 2020 12:11 PM  
To: Deependra Sapkota <DSapkota@triangle-engr.com<mailto:DSapkota@triangle-engr.com>>; Johnston, Sarah <SJohnston@rockwall.com<mailto:SJohnston@rockwall.com>>; Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>  
Cc: Doug Galloway <dgalloway@cooperengencon.com<mailto:dgalloway@cooperengencon.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Subject: RE: NWC of SH 205 & Sids Rd

You're welcome.

<image015.jpg>  
David Gonzales, AICP  
planning & zoning manager  
Planning & Zoning Division • City of Rockwall  
972.772.6488 Office  
dgonzales@rockwall.com<mailto:dgonzales@rockwall.com>  
385 S. Goliad Street • Rockwall, TX 75087

<image011.png>

helpful links | City of Rockwall Website<http://www.rockwall.com/> | Planning & Zoning Division  
Website<http://www.rockwall.com/Planning/index.asp> | Municipal Code  
Website<http://library.municode.com/index.aspx?clientID=14830&stateID=43&statename=Texas>



GIS Division Website<<http://www.rockwall.com/gis/index.asp>> | City of Rockwall Interactive  
Maps<[http://gis.rockwall.com/flexviewers/Rockwall\\_iMap/index.html](http://gis.rockwall.com/flexviewers/Rockwall_iMap/index.html)> | MAIN STREET  
DIVISION<<http://mainstreet.rockwall.com/index.asp>>  
<image012.png>

From: Deependra Sapkota [mailto:DSapkota@triangle-engr.com]  
Sent: Friday, January 3, 2020 12:10 PM  
To: Gonzales, David <DGonzales@rockwall.com<mailto:DGonzales@rockwall.com>>; Johnston, Sarah  
<SJohnston@rockwall.com<mailto:SJohnston@rockwall.com>>; Kevin Patel <KPatel@triangle-  
engr.com<mailto:KPatel@triangle-engr.com>>  
Cc: Doug Galloway <dalloway@coopergencon.com<mailto:dalloway@coopergencon.com>>; Williams, Amy  
<AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Subject: RE: NWC of SH 205 & Sids Rd

Thank You Sir

From: Gonzales, David <DGonzales@rockwall.com<mailto:DGonzales@rockwall.com>>  
Sent: Friday, January 3, 2020 12:08 PM  
To: Deependra Sapkota <DSapkota@triangle-engr.com<mailto:DSapkota@triangle-engr.com>>; Johnston, Sarah  
<SJohnston@rockwall.com<mailto:SJohnston@rockwall.com>>; Kevin Patel <KPatel@triangle-  
engr.com<mailto:KPatel@triangle-engr.com>>  
Cc: Doug Galloway <dalloway@coopergencon.com<mailto:dalloway@coopergencon.com>>; Williams, Amy  
<AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Subject: RE: NWC of SH 205 & Sids Rd

Deependra,

This will require submittal and approval of a preliminary plat for the site. Once the preliminary plat has been approved, you may then submit your civil engineering plans. Our next submittal deadline is January 17, 2020. Please see the link provided for our development application and schedule.

Let me know if you have any additional questions.

Thank you,

[http://www.rockwall.com/pz/Planning/Documents/Development%20Application%20\(Complete\).pdf](http://www.rockwall.com/pz/Planning/Documents/Development%20Application%20(Complete).pdf) – development application

<image016.jpg>  
David Gonzales, AICP  
planning & zoning manager  
Planning & Zoning Division • City of Rockwall  
972.772.6488 Office  
dgonzales@rockwall.com<mailto:dgonzales@rockwall.com>  
385 S. Goliad Street • Rockwall, TX 75087

<image011.png>

helpful links | City of Rockwall Website<<http://www.rockwall.com/>> | Planning & Zoning Division Website<<http://www.rockwall.com/Planning/index.asp>> | Municipal Code Website<<http://library.municode.com/index.aspx?clientId=14830&stateID=43&statename=Texas>> GIS Division Website<<http://www.rockwall.com/gis/index.asp>> | City of Rockwall Interactive Maps<[http://gis.rockwall.com/flexviewers/Rockwall\\_iMap/index.html](http://gis.rockwall.com/flexviewers/Rockwall_iMap/index.html)> | MAIN STREET DIVISION<<http://mainstreet.rockwall.com/index.asp>>  
<image012.png>

From: Deependra Sapkota [mailto:DSapkota@triangle-engr.com]  
Sent: Friday, January 3, 2020 9:42 AM  
To: Gonzales, David <DGonzales@rockwall.com<mailto:DGonzales@rockwall.com>>; Johnston, Sarah <SJohnston@rockwall.com<mailto:SJohnston@rockwall.com>>; Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>  
Cc: Doug Galloway <dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Subject: RE: NWC of SH 205 & Sids Rd

David  
Good Morning Sir

As we discussed about the Commercial Mixed Use Pad Site Development for the referenced project, attached is the Site/Pad Layout with access and utilities serviced to all lots.

Since we will not be designing the individual lots for the building, parking, landscape at this point, do we need to go through the Site Plan Approval process or we can directly go to engineering plans approval.

Please help us understand the process.  
Thank you

Sincerely,  
Deep Sapkota, EIT  
Assistant Project Manager

<image006.png>

Planning | Civil Engineering | Construction Management  
1784 W. McDermott Drive | Suite 110 | Allen, TX 75013  
P: 469.331.8566-Ext-106 | F: 469.213.7145 | E: dsapkota@triangle-engr.com<mailto:dsapkota@triangle-engr.com> | W: www.triangle-engr.com<<http://www.triangle-engr.com/>>

From: Gonzales, David <DGonzales@rockwall.com<mailto:DGonzales@rockwall.com>>  
Sent: Monday, September 23, 2019 11:31 AM  
To: Johnston, Sarah <SJohnston@rockwall.com<mailto:SJohnston@rockwall.com>>; Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>  
Cc: Doug Galloway <dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Subject: RE: Fill Permit on Goliad and Sids

Kevin,



Please see the link below to the City's website for a development application submittal. Within this link is a check list that explains all requirements when submitting an application (i.e. preliminary plat, plat, site plan, zoning, etc.). Also, the front page is the development calendar that has the required submittal date for an application(s). Please note that due to changes in state law, we will not accept applications before or after the submittal date(s) listed on this schedule. Any application received before or after this posted date will not be accepted. Additionally, any application submitted that does not have all of the required documents as outlined in our development application packet will not be accepted either (i.e. incomplete applications will not be processed).

[http://www.rockwall.com/pz/Planning/Documents/Development%20Application%20\(Complete\).pdf](http://www.rockwall.com/pz/Planning/Documents/Development%20Application%20(Complete).pdf) Development Application Packet

If you have any questions, please do not hesitate to contact staff.

Thank you,

<image017.jpg>

David Gonzales, AICP  
planning & zoning manager  
Planning & Zoning Division • City of Rockwall  
972.772.6488 Office  
[dgonzales@rockwall.com](mailto:dgonzales@rockwall.com)<<mailto:dgonzales@rockwall.com>>  
385 S. Goliad Street • Rockwall, TX 75087

<image011.png>

helpful links | City of Rockwall Website<<http://www.rockwall.com/>> | Planning & Zoning Division Website<<http://www.rockwall.com/Planning/index.asp>> | Municipal Code Website<<http://library.municode.com/index.aspx?clientId=14830&stateID=43&statename=Texas>> GIS Division Website<<http://www.rockwall.com/gis/index.asp>> | City of Rockwall Interactive Maps<[http://gis.rockwall.com/flexviewers/Rockwall\\_iMap/index.html](http://gis.rockwall.com/flexviewers/Rockwall_iMap/index.html)> | MAIN STREET DIVISION<<http://mainstreet.rockwall.com/index.asp>>  
<image012.png>

From: Johnston, Sarah

Sent: Thursday, September 19, 2019 11:25 AM

To: 'Kevin Patel' <[KPatel@triangle-engr.com](mailto:KPatel@triangle-engr.com)><<mailto:KPatel@triangle-engr.com>>>; Gonzales, David <[DGonzales@rockwall.com](mailto:DGonzales@rockwall.com)><<mailto:DGonzales@rockwall.com>>>

Cc: Doug Galloway <[dgalloway@coopergencon.com](mailto:dgalloway@coopergencon.com)><<mailto:dgalloway@coopergencon.com>>>; Williams, Amy <[AWilliams@rockwall.com](mailto:AWilliams@rockwall.com)><<mailto:AWilliams@rockwall.com>>>

Subject: RE: Fill Permit on Goliad and Sids

Kevin,

Both the preliminary plat and the site plan must be submitted by November 15. If the preliminary plat is ready for the October 18 deadline, you should submit it then. David will be able to explain the items he needs for both of these submittals.

You will need the preliminary plat, the site plan, and the early grading permit (including flood study approval, drainage calculations, erosion control, and grading) to be approved before any grading will be allowed on-site. Since full

engineering release would only add utilities on top of the early grading permit, it would be more time efficient to get a full engineering release.

Please be aware that we now have engineering review fees. We will also not take a review without the proper studies submitted with it. In your case, we will need the traffic impact analysis, the geotechnical report, and the first flood study submittal along with any fees.

If your process through the Planning or Engineering departments gets delayed or goes dormant for 3 weeks or more, the permit will be revoked and all of the dirt will need to be removed from the site immediately. There will be no more extensions.

Thank you,  
Sarah Johnston

Sarah Johnston, E.I.T.  
Public Works – Engineering Division  
City of Rockwall  
385 S. Goliad  
Rockwall, TX 75087  
972-771-7746  
972-771-7748 (fax)

Please note that my last name has changed. My new email is  
sjohnston@rockwall.com<mailto:sjohnston@rockwall.com>.

From: Kevin Patel [mailto:KPatel@triangle-engr.com]  
Sent: Thursday, September 19, 2019 10:19 AM  
To: Johnston, Sarah <SJohnston@rockwall.com<mailto:SJohnston@rockwall.com>>; Gonzales, David <DGonzales@rockwall.com<mailto:DGonzales@rockwall.com>>  
Cc: Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>; Doug Galloway <dgalloway@cooperengencon.com<mailto:dgalloway@cooperengencon.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Subject: RE: Fill Permit on Goliad and Sids

Sarah/David

Good Morning. Is there anyway you can confirm items required along with the Preliminary Plat? Also what items do we required to complete rough Grading Permit?

Please advise.

Thanks

Sincerely,  
Kevin Patel, P.E.  
President

<image006.png>  
Planning | Civil Engineering | Construction Management  
1784 W. McDermott Drive | Suite 110 | Allen, TX 75013



O: 469.331.8566 | C: 214.609.9271 | F: 469.213.7145 | E: kpatel@triangle-engr.com<mailto:kpatel@triangle-engr.com>  
| W: www.triangle-engr.com<http://www.triangle-engr.com/>

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<image018.jpg>

Do You Need to Print? Save Paper, Save Trees, Save the Planet.

From: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>  
Sent: Tuesday, September 10, 2019 2:43 PM  
To: Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Cc: Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>; Doug Galloway <dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>  
Subject: RE: Fill Permit on Goliad and Sids

Kevin,

You have until November 15, 2019 to submit your Site Plan. . If your process through the Planning or Engineering departments gets delayed or goes dormant for 3 weeks or more, the permit will be revoked and all of the dirt will need to be removed from the site immediately. There will be no more extensions.

Thank you,  
Sarah Hager

Sarah Hager, E.I.T.  
Public Works – Engineering Division  
City of Rockwall  
385 S. Goliad  
Rockwall, TX 75087  
972-771-7746  
972-771-7748 (fax)

From: Kevin Patel [mailto:KPatel@triangle-engr.com]  
Sent: Wednesday, September 4, 2019 3:33 PM  
To: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Cc: Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>; Doug Galloway <dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>  
Subject: RE: Fill Permit on Goliad and Sids

Sarah/Amy

Good Afternoon. I appreciate for the prompt response. Per new Surveyors contract, he will be able to deliver survey by 10/08. Best of my judgement, Surveyor will have to spend at least 3 weeks on ground and one week for the drafting. This is a large tract with lots of trees and creek. Please see if you can help us to extend further.

Thanks for your help in advance.

Thanks

Sincerely,  
Kevin Patel, P.E.  
President

<image006.png>

Planning | Civil Engineering | Construction Management

1784 W. McDermott Drive | Suite 110 | Allen, TX 75013

O: 469.331.8566 | C: 214.609.9271 | F: 469.213.7145 | E: kpatel@triangle-engr.com<mailto:kpatel@triangle-engr.com>

| W: www.triangle-engr.com<http://www.triangle-engr.com/>

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<image018.jpg>

Do You Need to Print? Save Paper, Save Trees, Save the Planet.

From: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>

Sent: Wednesday, September 4, 2019 1:28 PM

To: Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>; Williams, Amy

<AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>

Cc: Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>; Doug Galloway

<dgalloway@cooperengencon.com<mailto:dgalloway@cooperengencon.com>>

Subject: RE: Fill Permit on Goliad and Sids

Kevin,

You have until October 12, 2019 to submit your site plan. If your process through the Planning or Engineering departments gets delayed or goes dormant for 3 weeks or more, the permit will be revoked and all of the dirt will need to be removed from the site immediately.

Thank you,  
Sarah Hager

Sarah Hager, E.I.T.  
Public Works – Engineering Division  
City of Rockwall  
385 S. Goliad  
Rockwall, TX 75087  
972-771-7746

From: Kevin Patel [mailto:KPatel@triangle-engr.com]  
Sent: Tuesday, September 3, 2019 4:10 PM  
To: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Cc: Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>; Doug Galloway <dgalloway@cooperengencon.com<mailto:dgalloway@cooperengencon.com>>  
Subject: RE: Fill Permit on Goliad and Sids

Sarah/Amy

Hope all is well. We are aware that the 09/13 deadline approaching, however Developer (Doug Galloway) have had hard time getting anything from the surveyor (AJ Beford) who did the original survey. See attached email. Therefore he has let him go and hire new surveyor to perform work. Please see attached email approving proposal for the new surveyor.. As soon as we have the survey, I will need three to four weeks to complete plans. Therefore we are requesting to give us some relief on the submittal deadline.

Please let us know your availability to have a call or meet in person to discuss.

Thanks

Sincerely,  
Kevin Patel, P.E.  
President

<image006.png>

Planning | Civil Engineering | Construction Management

1784 W. McDermott Drive | Suite 110 | Allen, TX 75013

O: 469.331.8566 | C: 214.609.9271 | F: 469.213.7145 | E: kpatel@triangle-engr.com<mailto:kpatel@triangle-engr.com>  
| W: www.triangle-engr.com<http://www.triangle-engr.com/>

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<image018.jpg>

Do You Need to Print? Save Paper, Save Trees, Save the Planet.

From: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>  
Sent: Monday, August 5, 2019 11:06 AM  
To: 'Paul Douglas' <pdouglas@cooperengencon.com<mailto:pdouglas@cooperengencon.com>>; Doug Galloway <dgalloway@cooperengencon.com<mailto:dgalloway@cooperengencon.com>>  
Cc: Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>; Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>



Subject: RE: Fill Permit on Goliad and Sids

Paul,

Please find the attached approved fill permit extension. Please be aware that there are various deadlines that must be met with this job to keep the permit active. I have included them below for your reference.

- \* Receive a new fill permit with the updated site plan. (August 2)
- \* Place erosion protection (silt fence) around the entire stock pile. (August 9)
- \* No new dirt is allowed on site. No dumping signs placed on site. (August 9)
- \* Clear out all of the trash and trash dirt. (August 16)
- \* You have until the September 13 deadline to submit a site plan to the Planning Department. (September 13)
- \* If your process through the Planning or Engineering departments gets delayed or goes dormant for 3 weeks or more, the permit will be revoked and all of the dirt will need to be removed from the site immediately.

Thank you,  
Sarah Hager

Sarah Hager, E.I.T.  
Public Works – Engineering Division  
City of Rockwall  
385 S. Goliad  
Rockwall, TX 75087  
972-771-7746  
972-771-7748 (fax)

From: Paul Douglas [mailto:pdouglas@coopergencon.com]  
Sent: Monday, August 5, 2019 9:28 AM  
To: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>; Doug Galloway <dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>  
Cc: Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>; Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>  
Subject: RE: Fill Permit on Goliad and Sids

I will resend. Silt was noted on all sides of consolidated spoils.

Thank you,

Paul Douglas  
Cooper General Contractors  
2560 Technology Dr., Suite 100  
Plano, TX. 75074  
(972)245-7960 (O)  
(469)814-8469 (D)  
(972)880-9599 (C)  
pdouglas@coopergencon.com<mailto:pdouglas@coopergencon.com>

From: Hager, Sarah [mailto:SHager@rockwall.com]  
Sent: Monday, August 05, 2019 9:24 AM  
To: Paul Douglas <pdouglas@coopergencon.com<mailto:pdouglas@coopergencon.com>>; Doug Galloway <dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>  
Cc: Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>; Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>  
Subject: RE: Fill Permit on Goliad and Sids

Paul,

There must have been a problem with the link because it only showed two lines of "silt" on the drawing. I will need an updated drawing since you are technically working without a permit at this point.

Thank you,  
Sarah Hager

Sarah Hager, E.I.T.  
Public Works – Engineering Division  
City of Rockwall  
385 S. Goliad  
Rockwall, TX 75087  
972-771-7746  
972-771-7748 (fax)

From: Paul Douglas [mailto:pdouglas@coopergencon.com]  
Sent: Friday, August 2, 2019 5:01 PM  
To: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>; Doug Galloway <dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>  
Cc: Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>; Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>  
Subject: RE: Fill Permit on Goliad and Sids

Sarah,

I resent the site plan denoting where the stock pile will be reconsolidated and enclosed with additional silt fence.

Doug Galloway is part of Gotrocks who owns the property, so tht is Doug's signature on owner line.

I've also left you a VM.

Thank you,

Paul Douglas  
Cooper General Contractors  
2560 Technology Dr., Suite 100  
Plano, TX. 75074  
(972)245-7960 (O)  
(469)814-8469 (D)

(972)880-9599 (C)  
pdouglas@coopergencon.com<mailto:pdouglas@coopergencon.com>

From: Hager, Sarah [mailto:SHager@rockwall.com]  
Sent: Friday, August 02, 2019 4:42 PM  
To: Doug Galloway <dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>  
Cc: Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>; Paul Douglas <pdouglas@coopergencon.com<mailto:pdouglas@coopergencon.com>>; Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>  
Subject: RE: Fill Permit on Goliad and Sids

Doug,

I need the name of the property owner included near their signature. Also, the site plan does not show where the stockpile is on site.

Thank you,  
Sarah Hager

Sarah Hager, E.I.T.  
Public Works – Engineering Division  
City of Rockwall  
385 S. Goliad  
Rockwall, TX 75087  
972-771-7746  
972-771-7748 (fax)

From: Doug Galloway [mailto:dgalloway@coopergencon.com]  
Sent: Friday, August 2, 2019 3:44 PM  
To: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>  
Cc: Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>; Paul Douglas <pdouglas@coopergencon.com<mailto:pdouglas@coopergencon.com>>; Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>  
Subject: Re: Fill Permit on Goliad and Sids

Sarah,

Paul just submitted this to you directly, please confirm when you can. Also, see attached “No Dumping” signs posted today.

Clean up and additional silt pics will be sent as those are completed next week. Thanks for working with us on this.

Thanks,

Doug Galloway - Director of Brand Services Cooper General Contractors  
2560 Technology Dr. Ste 100  
Plano, Tx 75074  
Main - (972) 245-7960



Direct - (469) 249-9279

Mobile - (512) 698-9494

<image019.jpg>

<image020.jpg>

On Aug 2, 2019, at 2:39 PM, Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>> wrote:

Doug,

You have until the end of the day to get a fill permit approved.

Thank you,  
Sarah Hager

Sarah Hager, E.I.T.  
Public Works – Engineering Division  
City of Rockwall  
385 S. Goliad  
Rockwall, TX 75087  
972-771-7746  
972-771-7748 (fax)

From: Hager, Sarah  
Sent: Tuesday, July 30, 2019 3:59 PM  
To: 'Kevin Patel' <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>; Williams, Amy <AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Cc: Paul Douglas <pdouglas@cooperengencon.com<mailto:pdouglas@cooperengencon.com>>; Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>; 'Doug Galloway' <dgalloway@cooperengencon.com<mailto:dgalloway@cooperengencon.com>>  
Subject: RE: Fill Permit on Goliad and Sids

Kevin,

Your permit expires on Thursday. You have known about this deadline since the permit was issued six months ago. Since you are working to get a permit for the proposed property, we will consider allowing an extension of the fill permit if you follow all of the points below. The deadline for each item is given in red.

- Receive a new fill permit with the updated site plan. (August 2)
- Place erosion protection (silt fence) around the entire stock pile. (August 9)
- No new dirt is allowed on site. No dumping signs placed on site. (August 9)
- Clear out all of the trash and trash dirt. (August 16)
- You have until the September 13 deadline to submit a site plan to the Planning Department. (September 13)
- If your process through the Planning or Engineering departments gets delayed or goes dormant for 3 weeks or more, the permit will be revoked and all of the dirt will need to be removed from the site immediately.

Thank you,  
Sarah Hager

Sarah Hager, E.I.T.  
Public Works – Engineering Division  
City of Rockwall

385 S. Goliad  
Rockwall, TX 75087  
972-771-7746  
972-771-7748 (fax)

From: Kevin Patel [mailto:KPatel@triangle-engr.com]  
Sent: Monday, July 29, 2019 7:08 AM  
To: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>; Williams, Amy  
<AWilliams@rockwall.com<mailto:AWilliams@rockwall.com>>  
Cc: Paul Douglas <pdouglas@coopergencon.com<mailto:pdouglas@coopergencon.com>>; Salazar, Steve  
<SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>; 'Doug Galloway'  
<dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>  
Subject: RE: Fill Permit on Goliad and Sids

Sarah/Amy

Good Morning. It was good to see you guys last week. Doug has retain us to provide engineering services on this project. We will get Preliminary Plat started as soon as we have the survey. Doug is working to get the preliminary survey. Since this tract being large and there are so many trees on this site, its taking longer than expected time to complete survey. We are expecting survey anytime. Once we have the survey, we will need approximately 4 weeks to complete associated engineering plans and Preliminary Plat. I would appreciate if you could allow extension to submit plans by end of August instead of end of July. Upon approval for the plans, Doug will complete rough grading.

Please feel free to contact me if you have any question.

Thanks

Sincerely,  
Kevin Patel, P.E.  
President

<image001.png>

Planning | Civil Engineering | Construction Management  
1784 W. McDermott Drive | Suite 110 | Allen, TX 75013

O: 469.331.8566 | C: 214.609.9271 | F: 469.213.7145 | E: kpatel@triangle-engr.com<mailto:kpatel@triangle-engr.com>  
| W: www.triangle-engr.com<http://www.triangle-engr.com/>

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<image002.jpg> Do You Need to Print? Save Paper, Save Trees, Save the Planet.

From: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>

Sent: Tuesday, June 18, 2019 5:16 PM

To: 'Doug Galloway' <dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>

Cc: Paul Douglas <pdouglas@coopergencon.com<mailto:pdouglas@coopergencon.com>>; Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>; Kevin Patel <KPatel@triangle-engr.com<mailto:KPatel@triangle-engr.com>>

Subject: RE: Fill Permit on Goliad and Sids

Doug,

I still have not heard anything on the fill permit on Goliad near Sids Road. Be aware that you have until August 1 to remove all the dirt or get a grading plan approved for the site.

Thank you,  
Sarah Hager

Sarah Hager, E.I.T.  
Public Works – Engineering Division  
City of Rockwall  
385 S. Goliad  
Rockwall, TX 75087  
972-771-7746  
972-771-7748 (fax)

From: Doug Galloway [mailto:dgalloway@coopergencon.com]

Sent: Tuesday, June 4, 2019 2:12 PM

To: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>

Cc: Paul Douglas <pdouglas@coopergencon.com<mailto:pdouglas@coopergencon.com>>; Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>; Kevin Patel <kpatel@triangle-engr.com<mailto:kpatel@triangle-engr.com>>

Subject: Re: Fill Permit on Goliad and Sids

Thanks Sarah, Im almost positive we stopped using it, but sounds like word has gotten out about it. I'll look to that asap, as we as the updated site plan.

Thanks,

Doug Galloway - Director of Brand Services Cooper General Contractors  
2560 Technology Dr. Ste 100  
Plano, Tx 75074  
Main - (972) 245-7960  
Direct - (469) 249-9279  
Mobile - (512) 698-9494

On Jun 4, 2019, at 1:35 PM, Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>> wrote:

Doug,

If you choose to grade the dirt out, I will need to review a grading only plan set. This will be reviewed just like all other engineering reviews. You must have the plans approved and we will hold a pre-construction meeting before the work can be done. This process may take more than the two months you have left on the fill permit. It depends on how quick your engineer can get us the plans and how many reviews we have ahead of yours.



Since you are not currently abiding by the fill permit you have, you need to get me a new site plan as soon as possible. It has come to my attention that you are still having dirt delivered to the site even though you have not gotten me the items I need. If this continues, I will pull the permit and issue a "stop work" order for the site.

Thank you,

Sarah Hager

Sarah Hager, E.I.T.

Public Works – Engineering Division

City of Rockwall

385 S. Goliad

Rockwall, TX 75087

972-771-7746

972-771-7748 (fax)

From: Doug Galloway [mailto:dgalloway@coopergencon.com]

Sent: Tuesday, June 4, 2019 11:48 AM

To: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>

Cc: Paul Douglas <pdouglas@coopergencon.com<mailto:pdouglas@coopergencon.com>>; Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>

Subject: Re: Fill Permit on Goliad and Sids

Importance: High

Sarah,

We talked briefly at the recent pre-dev, but here is a more formal update, with a few questions.

1. We are working on a site plan so we can put the dirt reasonably where we need it.

2. We received our wetlands report a few days ago, both ponds on site are not jurisdictional waters (as we all hoped) and outside the floor plain, do you have any issue grading across them at this time?

If you can tell me the drop dead date we need to have a machine out there, I can work backwards with out team to get things done.

Thanks,

Doug Galloway - Director of Brand Services Cooper General Contractors

2560 Technology Dr. Ste 100

Plano, Tx 75074

Main - (972) 245-7960

Direct - (469) 249-9279

Mobile - (512) 698-9494

On Jun 4, 2019, at 11:40 AM, Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>> wrote:

Paul,

It has been a month and I have not had any update on the fill permit at Goliad and Sids. Where are you at with this?

Thank you,

Sarah Hager

Sarah Hager, E.I.T.

Public Works – Engineering Division

City of Rockwall

385 S. Goliad

Rockwall, TX 75087

972-771-7746

972-771-7748 (fax)

From: Paul Douglas [mailto:pdouglas@coopergencon.com]

Sent: Wednesday, May 1, 2019 8:41 AM

To: Hager, Sarah <SHager@rockwall.com<mailto:SHager@rockwall.com>>

Cc: Salazar, Steve <SSalazar@rockwall.com<mailto:SSalazar@rockwall.com>>; Doug Galloway <dgalloway@coopergencon.com<mailto:dgalloway@coopergencon.com>>

Subject: RE: Fill Permit on Goliad and Sids

Importance: High

Sarah,

We are in the process of addressing this issue. Steve called me late last week and gave me a heads up that we needed an updated plan soon.

Thank you,

Paul Douglas

Cooper General Contractors

2560 Technology Dr., Suite 100

Plano, TX. 75074

(972)245-7960 (O)

(469)814-8469 (D)

(972)880-9599 (C)

pdouglas@coopergencon.com<mailto:pdouglas@coopergencon.com>

From: Hager, Sarah [mailto:SHager@rockwall.com]

Sent: Wednesday, May 01, 2019 8:37 AM

To: Paul Douglas

Cc: Salazar, Steve

Subject: Fill Permit on Goliad and Sids

Paul,

It has come to my attention that the stockpile of dirt that you had permitted as part of a fill permit on South Goliad near Sids Dr. has become much larger than the area we agreed to on the permit. You need to send in a new permit and explain what you plan to do with the dirt that has been stockpiled. If you plan to grade it out on the site, I will need to see an engineered grading plan. If you plan to remove all of the dirt, you will need to do that before the permit expires on August 1st. If you do not contact me soon about updating the documentation, corrective actions will be taken.

Thank you,

Sarah Hager

Sarah Hager, E.I.T.

Public Works – Engineering Division

City of Rockwall

385 S. Goliad

Rockwall, TX 75087

972-771-7746

972-771-7748 (fax)

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February 4, 2020

TO: Kevin Patel  
Triangle Engineering, LLC  
1784 McDermott Drive, Suite 110  
Allen, TX 75013

CC: Gene Cooper  
Howell RE, LLC  
2560 Technology Drive, Suite 100  
Plano, TX 75074

FROM: Korey M. Brooks, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: P2020-005; Lots 1-7, Block A, 276 Rockwall Addition

Kevin:

This letter serves to notify you that the above referenced platting case, that you submitted for consideration by the City of Rockwall, was approved by the City Council on February 3, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On January 28, 2020, the Planning and Zoning Commission's motion to recommend approval of the applicant's request with staff's conditions of approval passed by a vote of 5-0 with Commissioners Fishman and Moeller absent.

City Council

On February 3, 2020, the City Council's motion to approve the applicant's request with staff's conditions of approval passed by a vote of 7-0.

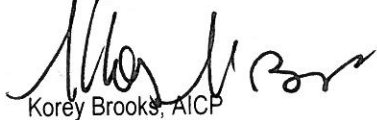
Prior to submitting the required materials for filing, please send or submit a physical or digital copy of the plat to allow staff to ensure that all outstanding comments have been addressed. Once staff has verified all comments have been addressed you will be required to submit -- at a minimum -- the following:

- (1) Two (2) sets of mylar copies of the plat.
- (2) One (1) tax certificate for each property being platted that demonstrates that the current years taxes have been paid.
- (3) A check for \$234.00 for the filing fees made out to the *Rockwall County Clerk's Office*.

Please note that the filling fee amount above is only an estimate and that filing fees are subject to change based on the requirements of the *Rockwall County Clerk's Office*. In addition, if you are submitting mylars between September 1<sup>st</sup> and December 31<sup>st</sup>, you will be required to submit the current year's tax receipt showing that all assessed taxes have been paid. If taxes have not been assessed on the property being platted, a letter from the *Rockwall County Clerk's Office* and an additional \$4.00 filing fee will be required to be submitted to staff.

All plats must be submitted to the City with the required filing fees and tax certificates a minimum of 180-days from the approval date. Failure to miss this deadline, will result in the plat being expired in accordance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read 'Korey Brooks', is written over the printed name.

Korey Brooks, AICP  
Senior Planner