



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # P2020-040 P&Z DATE 10/13/20 CC DATE 10/19/20 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

PLATTING APPLICATION

- ☐ MASTER PLAT
- ☒ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# _____)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE _____
 - ☐ CABINET # _____
 - ☐ SLIDE # _____

NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-040

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
☒ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ (200+36.42*15=\$746.30)
☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
☐ Replat (\$300.00 + \$20.00 Acre) ¹
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre) ¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
☐ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	none		
Subdivision	Discovery Lakes, Phase 1	Lot	Block
General Location	36.42 Acres out of the 307 Acre Tract near the NE corner of SH 276 and Rochelle Road		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-78		Current Use	None	
Proposed Zoning	PD-78		Proposed Use	Single Family Residential	
Acreage	36.42	Lots [Current]	1	Lots [Proposed]	31

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.
Contact Person	Nick DiGiuseppe	Contact Person	Cameron Slown
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013
Phone	972-960-9941	Phone	817-889-5050
E-Mail	southbrookinvestments@outlook.com	E-Mail	cslown@tnpinc.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Nick DiGiuseppe [Owner] the undersigned, who stated the information on this application to be true and certified the following:

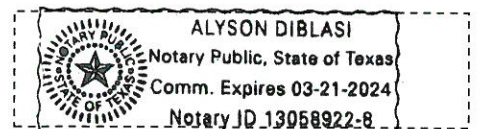
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$746.30, to cover the cost of this application, has been paid to the City of Rockwall on this the 17th day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17th day of September, 20 20.

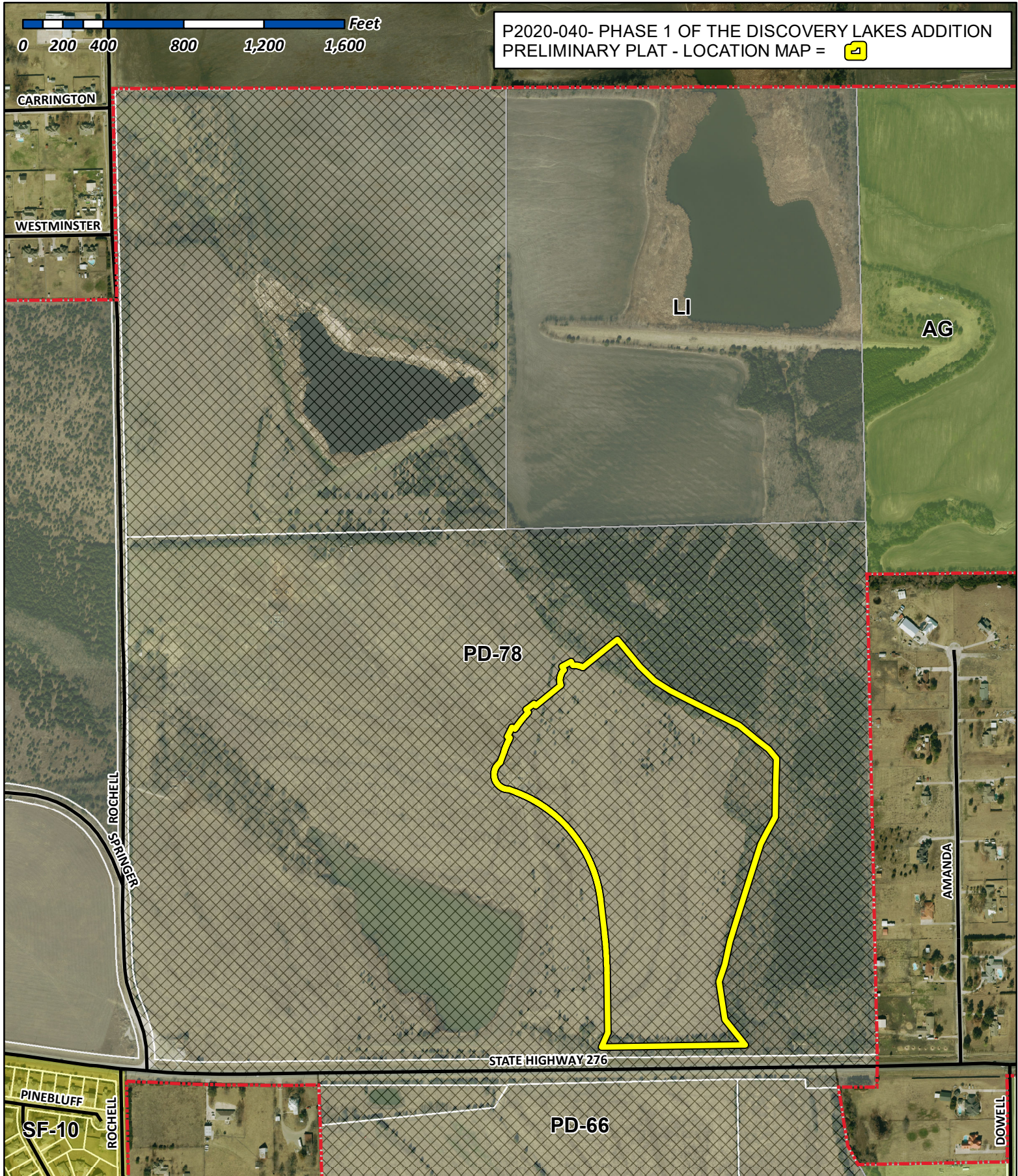
Owner's Signature

Notary Public in and for the State of Texas

Alyson DiBlasi



My Commission Expires 03-21-2024



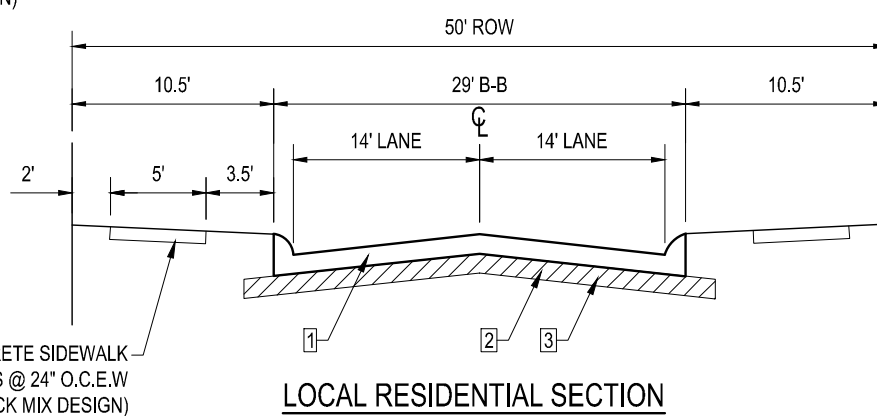
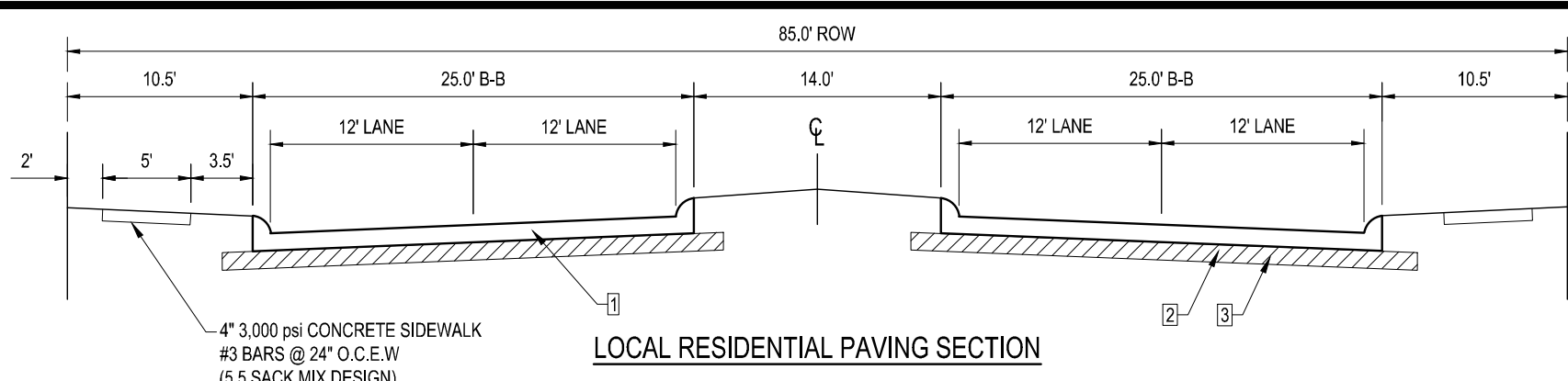
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Drawing: P:\PROJECTS\SBD20370\CAD\PRELIMINARY DESIGN\Sheets\SBD20370-PRE-PLAT.dwg at Sep 18, 2020-1:26pm by gshoner



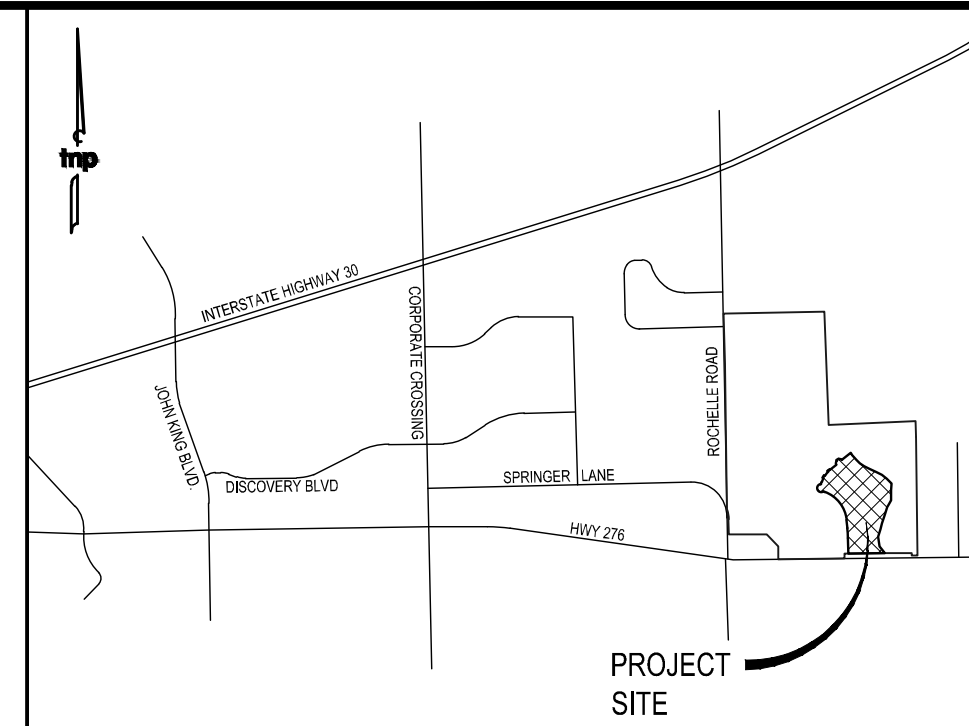
NOTES:
1. ALL CONSTRUCTION JOINTS & REBAR TO BE IN CONFORMANCE WITH THE CITY OF ROCKWALL SPECIFICATIONS AND STANDARDS.

- 6"-3600 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 3 BARS @ 24" ON CENTERS BOTH WAYS. MIN. 6 SACK FOR MACHINE PLACED MIN. 6 1/2 SACK FOR HAND PLACED
- WHERE THE PLASTICITY INDEX OF THE NATURAL SOIL IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6" SHALL BE REQUIRED.
- SUBGRADE SHALL BE 6" THICK AND COMPACTED TO A DENSITY NOT LESS THAN 95% AT 0%-4% OF OPTIMUM MOISTURE CONTENT.

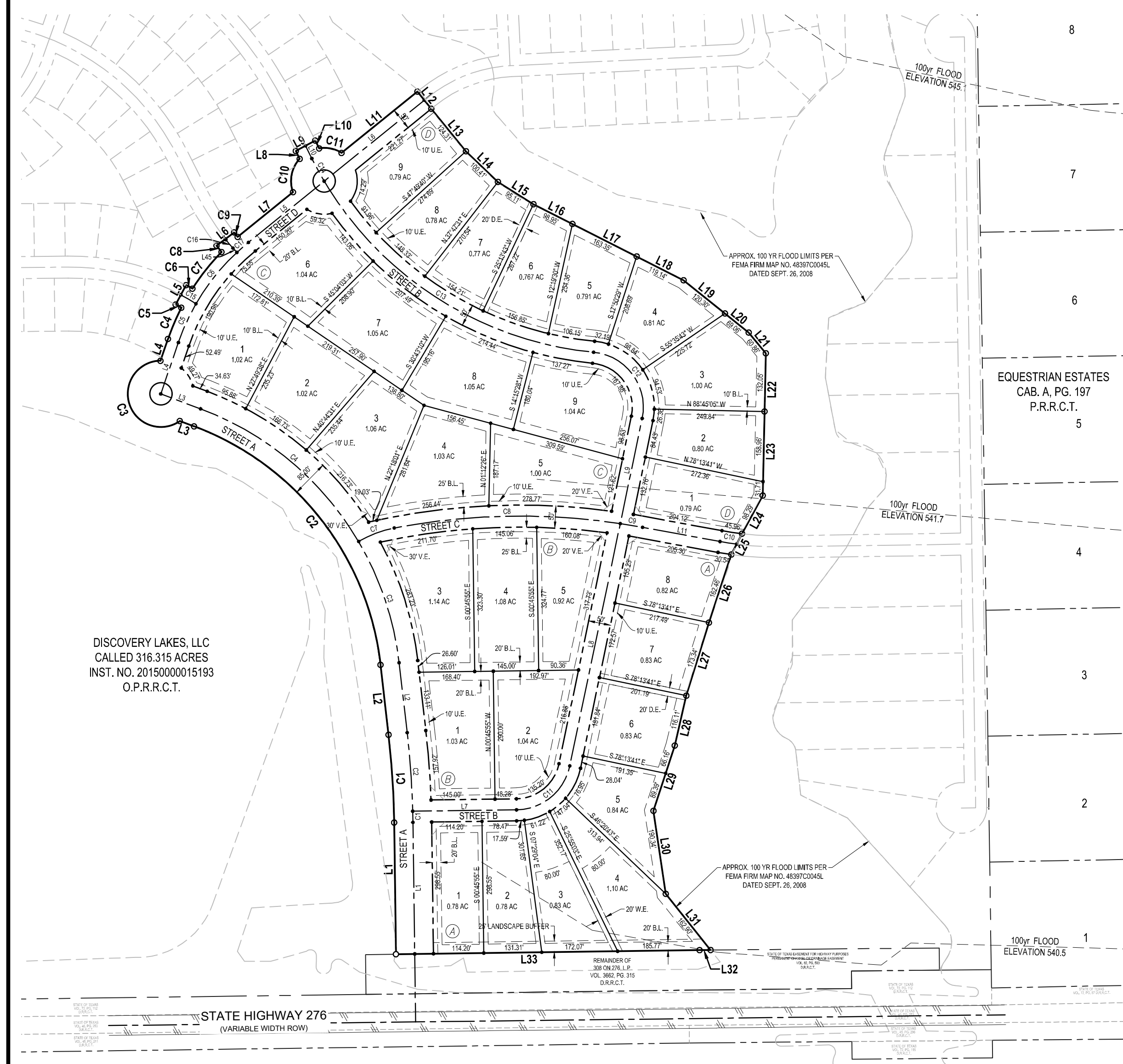
BOUNDARY LINE TABLE		
LINE #	BEARING	LENGTH
L1	N00°45'55"W	298.42
L2	N06°34'23"W	159.71
L3	N69°28'25"W	34.63
L4	N18°53'58"E	52.49
L5	N28°21'33"E	50.00
L6	N52°57'47"E	50.00
L7	N51°02'57"E	161.37
L8	N26°30'25"W	20.00
L9	N61°45'29"E	50.02
L10	S26°30'25"E	20.00
L11	N51°02'57"E	221.27
L12	S38°57'03"E	50.00
L13	S39°13'45"E	124.31
L14	S46°12'41"E	100.41
L15	S57°49'57"E	95.11
L16	S63°08'31"E	98.95
L17	S63°08'31"E	163.35

BOUNDARY LINE TABLE		
LINE #	BEARING	LENGTH
L18	S63°08'31"E	119.14
L19	S51°14'19"E	120.30
L20	S51°14'19"E	69.06
L21	S39°31'46"E	60.86
L22	S01°14'55"W	132.05
L23	S01°14'55"W	158.96
L24	S28°27'00"W	96.29
L25	S27°15'07"W	53.17
L26	N18°13'31"E	162.46
L27	N17°10'03"E	173.34
L28	N13°02'35"E	116.11
L29	N18°04'38"E	89.39
L30	N08°25'52"W	190.34
L31	N38°34'29"W	162.90
L32	S89°29'06"W	25.00
L33	S89°14'07"W	688.35

BOUNDARY CURVE TABLE					
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1967.50	5°48'28"	199.44	N 03°40'08" W	199.35
C2	657.50	62°54'02"	721.82	N 38°01'24" W	686.11
C3	75.00	214°23'01"	280.63	N 17°45'49" W	143.30
C4	520.84	8°28'11"	76.99	N 23°06'02" E	76.92
C5	500.00	1°41'50"	14.81	N 60°47'28" W	14.81
C6	550.00	1°42'58"	16.47	S 60°46'54" E	16.47
C7	503.20	12°05'31"	106.20	N 38°26'50" E	106.00
C8	800.00	1°18'35"	18.29	N 37°41'30" W	18.29
C9	750.00	0°59'45"	13.04	S 37°32'05" E	13.04
C10	75.00	61°45'28"	80.84	N 11°23'57" E	76.98
C11	75.00	40°20'22"	52.80	S 78°35'30" E	51.72

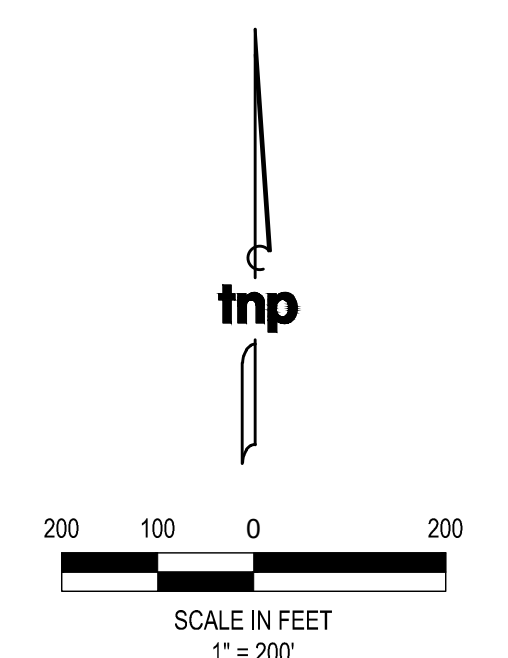


VICINITY MAP
N.T.S.



CENTERLINE LINE TABLE		
LINE #	LENGTH	BEARING
L1	298.42	N00°45'55"W
L2	159.71	N06°34'23"W
L3	96.43	N69°28'25"W
L4	123.20	N18°53'58"E
L5	220.91	N51°02'57"E
L6	291.98	N51°02'57"E
L7	235.32	N89°14'05"E
L8	561.29	N11°46'19"E
L9	243.60	N11°46'19"E
L10	32.19	S26°30'25"E
L11	178.52	S79°35'02"E
L45	13.20	S42°54'31"E

CENTERLINE CURVE TABLE					
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2043.92	0°42'16"	25.13	N 01°07'13" W	25.13
C2	2002.49	5°08'38"	178.82	N 04°01'40" W	178.56
C3	700.00	23°52'32"	291.70	N 18°30'39" W	289.59
C4	700.00	39°01'30"	476.78	N 49°57'40" W	467.62
C5	500.00	11°03'58"	96.57	N 24°25'58" E	96.42
C6	500.00	17°07'35"	149.46	N 38°31'41" E	148.90
C7	250.00	19°54'26"	86.86	N 69°14'35" E	86.43
C8	1525.00	19°20'58"	515.01	N 88°52'17" E	512.56
C9	1525.00	1°55'29"	51.23	S 80°29'30" E	51.22
C10	725.00	3°01'22"	38.25	N 81°05'43" W	38.25
C11	125.00	77°27'46"	169.00	N 50°30'12" E	156.42
C12	125.00	96°13'37"	209.93	N 36°20'29" E	186.12
C13	800.00	53°45'20"	750.57	N 57°34'38" W	723.34
C14	800.00	4°11'32"	58.54	N 28°36'12" W	58.52
C15	525.00	4°21'38"	39.95	N 59°27'35" W	39.94
C16	250.00	5°43'53"	25.01	S 40°02'35" E	25.00
C17	500.00	3°57'29"	34.54	N 49°04'13" E	34.53



COMPLIANCE WITH PD ORDINANCE 20-27		
	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	428 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 11,137 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 45 LOTS TYPE B: 165/428 = 39% OF TOTAL LOTS TYPE C: 218/428 = 51% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	1.39 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	102.9/307.18 = 33.5%

LEGEND
NTS - NOT TO SCALE
R.O.W. - RIGHT OF WAY
INST. - INSTRUMENT
CAB. - CABINET
VOL. - VOLUME
NO. - NUMBER
PG. - PAGE
SF - SQUARE FEET
AC - ACRES
B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
W.E. - WATER EASEMENT
U.E. - UTILITY EASEMENT
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
P.R.R.C.T.-PLAT RECORDS ROCKWALL COUNTY TEXAS

PRELIMINARY PLAT
Discovery Lakes Phase 1
LOT 1, BLOCK A
31 RESIDENTIAL LOTS
1,586,455.20 SQUARE FEET
36.42 ACRES GROSS

BEING A PORTION OF A TRACT OF LAND SITUATED IN THE M.E. HAWKINS SURVEY, ABSTRACT NO. 100 AND THE ROBERT K. BRISCOE SURVEY, ABSTRACT NO. 16 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS

OWNER
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

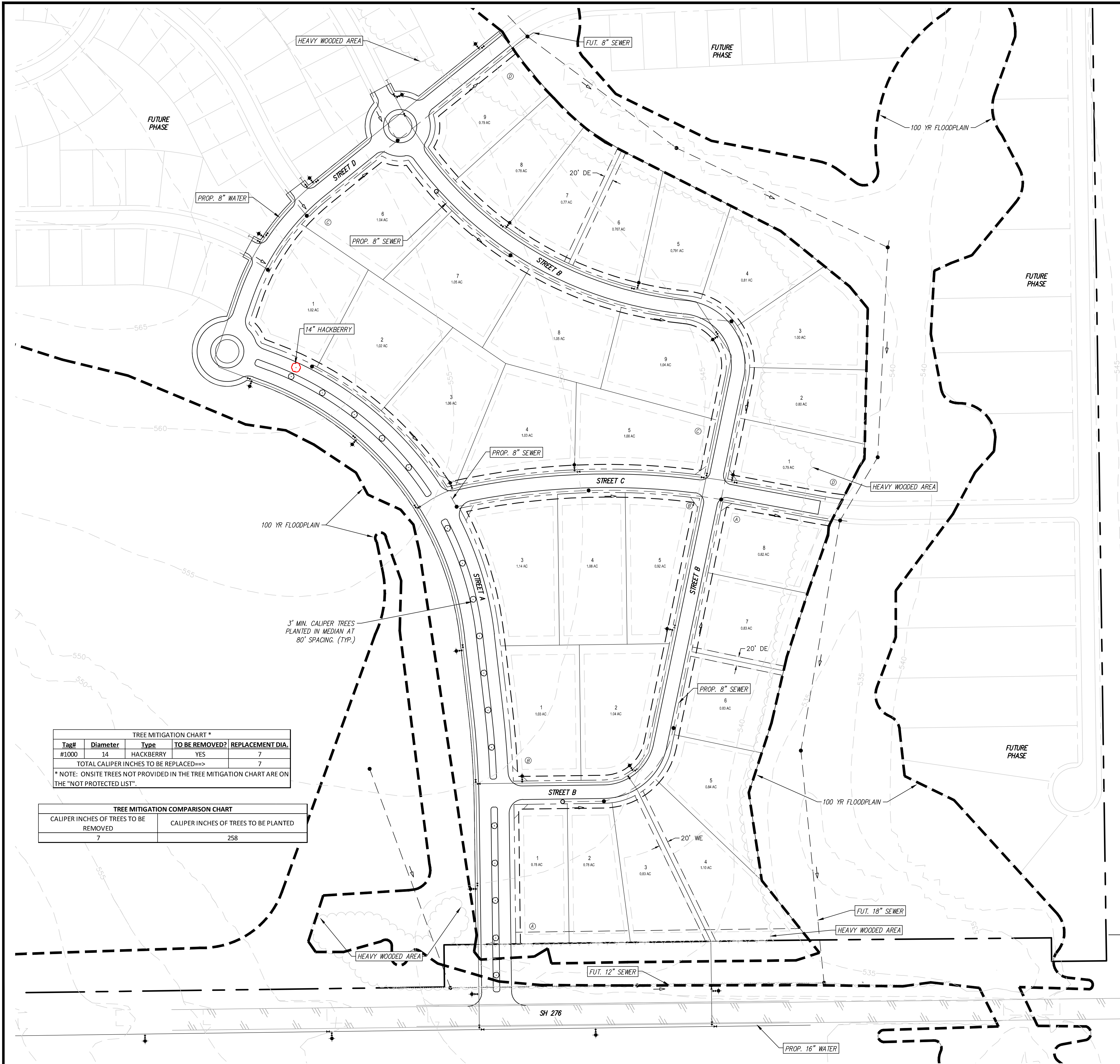
PROJECT INFORMATION
Project No.: SBD20370
Date: Sept. 18, 2020
Drawn By: GS9
Scale: 1"=100'
SHEET 1 of 1

SURVEYOR
TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnppinc.com
TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381
GBPE: PEF007431; TBAE: BR 2673



CASE NO. P_____

Drawing: P:\PROJECTS\SBD20370\CAD\PRELIMINARY DESIGN\Sheets\SBD20370-PRE-Treescape PLAN.dwg at Sep. 18, 2020 1:12pm by cshaw



TREE MITIGATION CHART *				
Tag#	Diameter	Type	TO BE REMOVED?	REPLACEMENT DIA.
#1000	14	HACKBERRY	YES	7
TOTAL CALIPER INCHES TO BE REPLACED==>				
* NOTE: ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".				

TREE MITIGATION COMPARISON CHART	
CALIPER INCHES OF TREES TO BE REMOVED	CALIPER INCHES OF TREES TO BE PLANTED
7	258

LEGEND

PROP. WATER LINE

PROP. FIRE HYDRANT ASSEMBLY

PROP. VALVE

PROP. SANITARY SEWER LINE

PROP. SANITARY SEWER MANHOLE

MAJOR CONTOUR

BUILDING SETBACKS

FLOOD PLAIN

TREE LINE

PROP. TREES

TREES TO BE REMOVED

TREE MITIGATION NOTE

1. THERE WILL BE A MINIMUM OF TWO, THREE INCH (3") CALIPER TREES PLANTED ON EACH RESIDENTIAL LOT. IN ADDITION TO TWO, THREE INCH (3") CALIPER TREES PLANTED IN EACH CORNER LOT FOR A SUM TOTAL OF (2*3*31=186") + (2*3*12=72) 258" TO BE PLANTED WITHIN PHASE 1 OF THE DEVELOPMENT. ALL TREES PLANTED ARE TO BE FROM THE LIST OF CANOPY AND ACCENT TREES PROVIDED IN ARTICLE 8, LANDSCAPE STANDARDS, OF THE UNIFIED DEVELOPMENT CODE (UDC).

2. EXISTING ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".

3. ALL LOT PADS WITHIN PHASE 1 ADJACENT TO THE FLOOD PLAIN WILL BE CUSTOM AND CONSTRUCTED BY THE BUILDER. DRAINAGE PLANS WILL BE DESIGNED TO PREVENT GRADING WITHIN THE HEAVY WOODED AREA.

Treescape Plan
31 Residential Lots

Discovery Lakes Phase 1

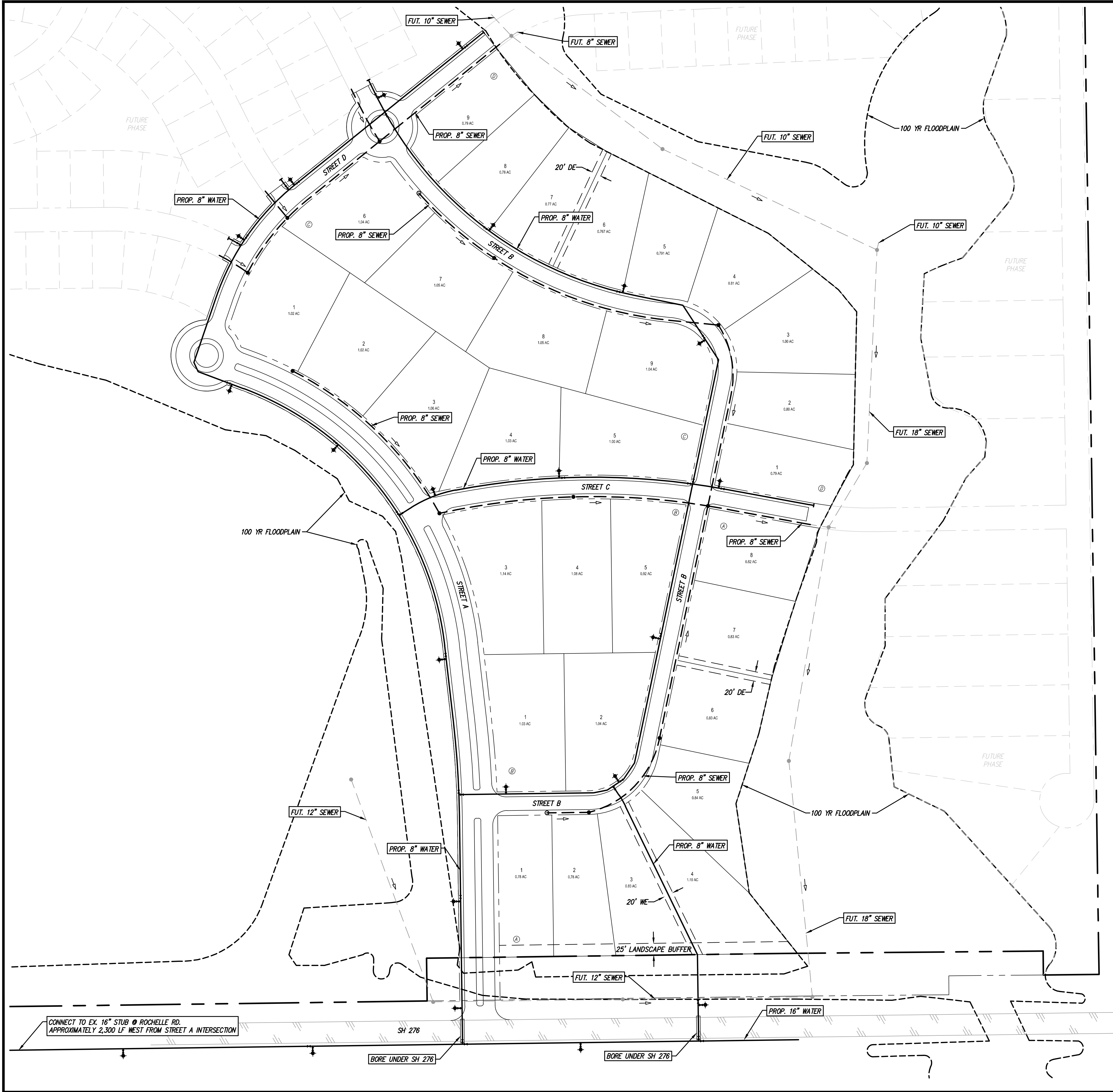
OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

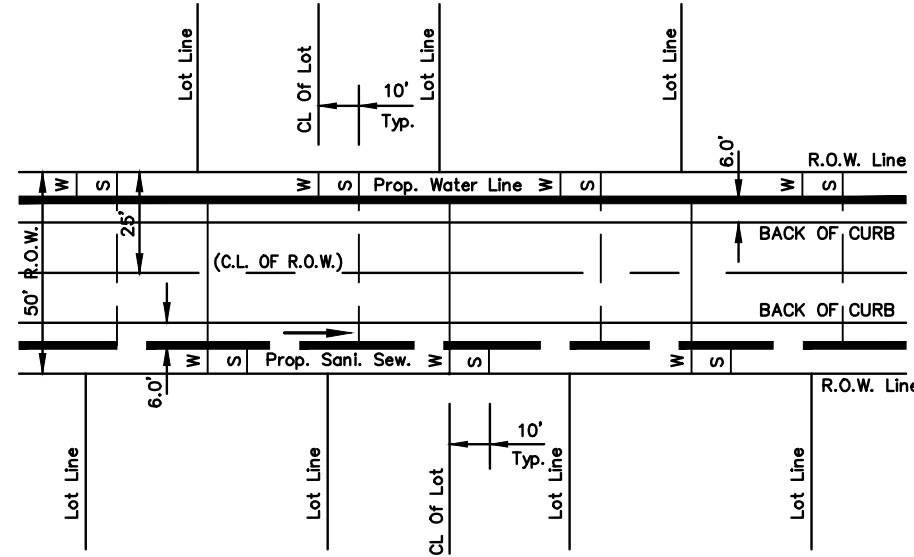
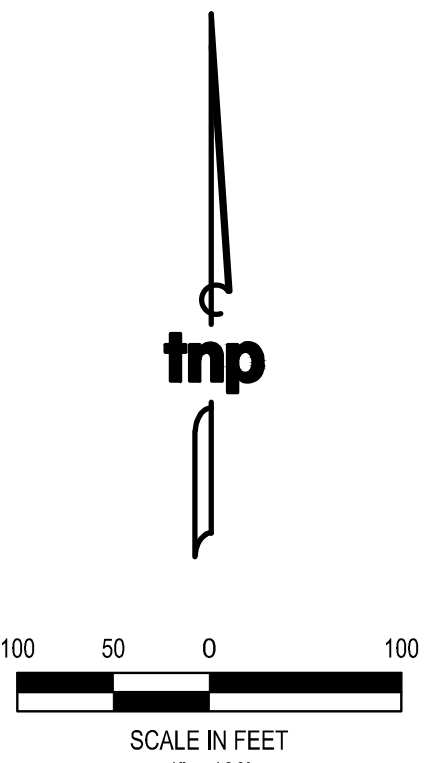


teague nall & perkins
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
TBPE Registration No. F-230
www.tnpinc.com

PROJECT INFORMATION
Project No.: SBD20370
Date: Sept. 18, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1



NOTE: PER PD-78 ALL TYPE A LOTS W/MIN 32,670 SF (0.75 AC.) SHALL HAVE TEMPORARY OSSF THAT CONFORM TO TCEQ STANDARDS. SANITARY SEWER MAINS, LATERALS AND LOT SERVICES WILL BE PROVIDED DURING CONSTRUCTION OF PHASE 1 AS SHOWN. ALL LOTS WILL DISCONNECT FROM OSSF AND CONNECT TO LOT SERVICES WHEN FUTURE OFFSITE SANITARY SEWER IS MADE AVAILABLE.



TYPICAL WATER & SEWER DETAIL
NT&

Preliminary Water & Sewer Plan
31 Residential Lots

Discovery Lakes Phase 1

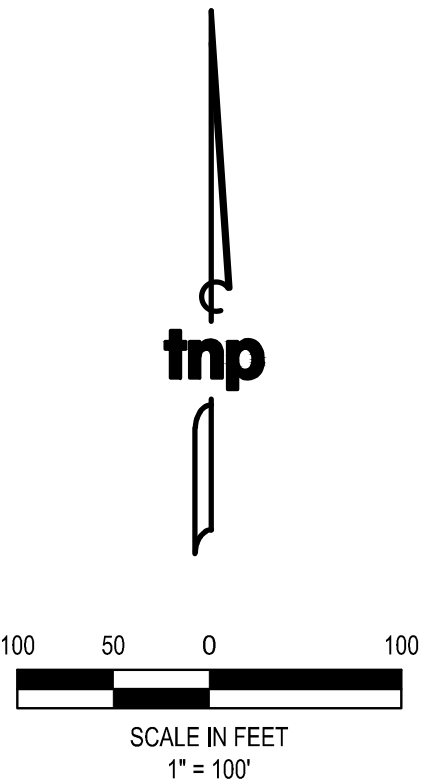
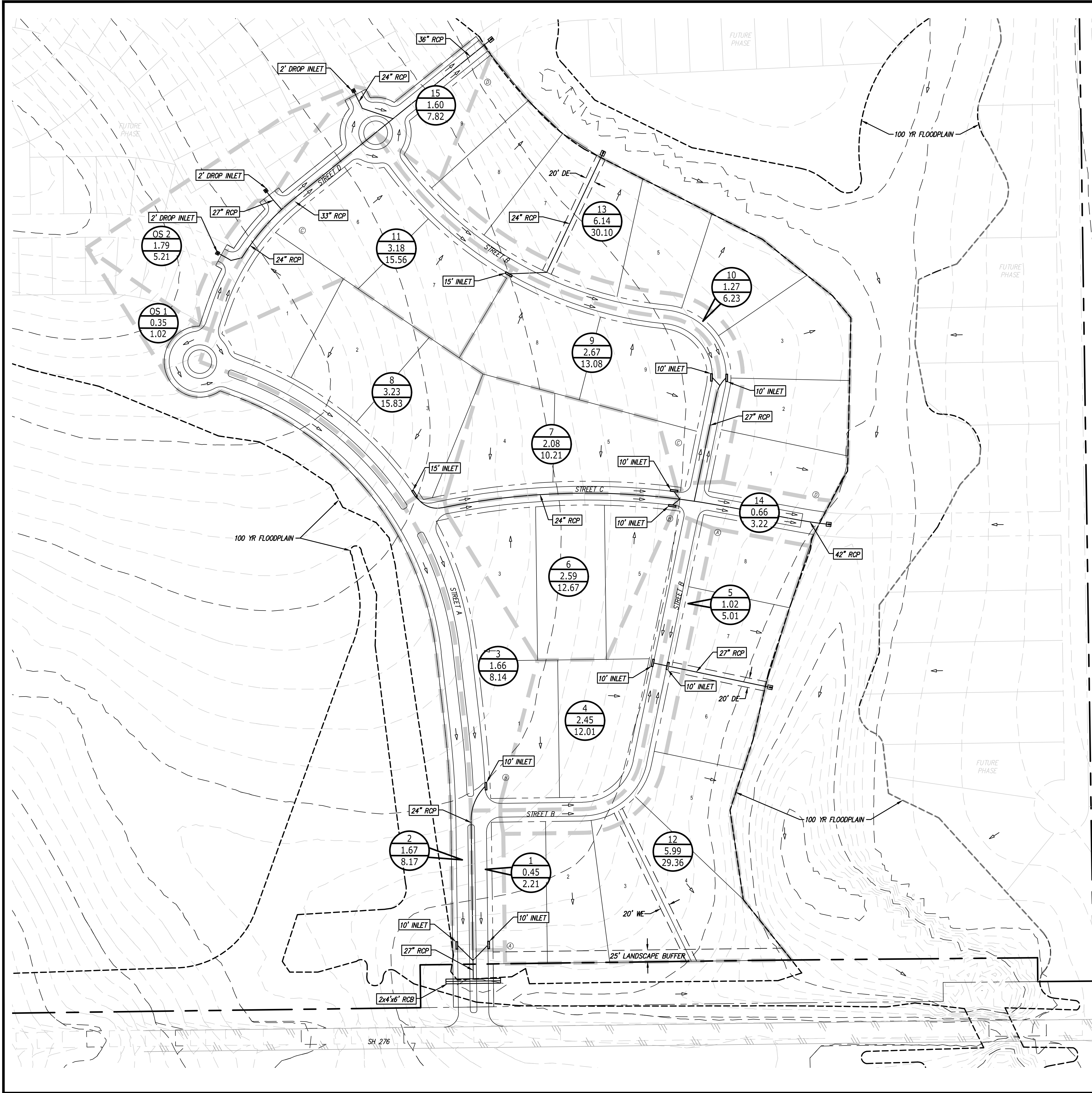
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Date: Sept. 18, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1



LEGEND

- DRAINAGE DIVIDE
- 100 YR FLOODPLAIN
- DRAINAGE AREA
- AREA, ACRES
- 100 YR RUNOFF, CFS
- FLOW DIRECTION
- EX CONTOURS

DRAINAGE AREA CALCULATIONS						
Drainage Area No.	Time of Conc. (min.)	Intensity I ₁₀₀ (in/hr)	Runoff Coefficient C	Area (ac.)	Q ₁₀₀ (cfs)	Remarks
1	10	9.80	0.50	0.45	2.21	FLOWS TO STORM INLET
2	10	9.80	0.50	1.67	8.17	FLOWS TO STORM INLET
3	10	9.80	0.50	1.66	8.14	FLOWS TO STORM INLET
4	10	9.80	0.50	2.45	12.01	FLOWS TO STORM INLET
5	10	9.80	0.50	1.02	5.01	FLOWS TO STORM INLET
6	10	9.80	0.50	2.59	12.67	FLOWS TO STORM INLET
7	10	9.80	0.50	2.08	10.21	FLOWS TO STORM INLET
8	10	9.80	0.50	3.23	15.83	FLOWS TO STORM INLET
9	10	9.80	0.50	2.67	13.08	FLOWS TO STORM INLET
10	10	9.80	0.50	1.27	6.23	FLOWS TO STORM INLET
11	10	9.80	0.50	3.18	15.56	FLOWS TO STORM INLET
12	10	9.80	0.50	5.99	29.36	FLOWS TO CREEK
13	10	9.80	0.50	6.14	30.10	FLOWS TO CREEK
14	10	9.80	0.50	1.57	7.71	FLOWS TO CREEK
15	10	9.80	0.50	1.60	7.82	FLOWS TO CREEK
OS 1	20	8.30	0.35	1.79	5.21	FLOWS TO DRAINAGE AREA 2
OS 2	20	8.30	0.35	0.35	1.02	FLOWS TO DROP INLETS
TOTAL				39.72	190.34	

Preliminary Drainage Area Map
31 Residential Lots

Discovery Lakes Phase 1

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PROJECT INFORMATION
Project No.: SBD20370
Date: Sept. 18, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/25/2020

PROJECT NUMBER: P2020-040
PROJECT NAME: Discovery Lakes, Phase I
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the northside of SH-276 east of the intersection of SH-276 and Rochelle Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	09/25/2020	Needs Review

09/25/2020: P2020-040; Preliminary Plat for the Phase 1 of the Discovery Lakes Subdivision
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the north side of SH-276 east of the intersection of SH-276 and Rochelle Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2020-040) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).

I.4 The preliminary plat shall conform to all standards and requirements of Planned Development District No. 78 (PD-78) for General Retail (GR) District and Single-Family 10 (SF-10) District, the Unified Development Code (UDC), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.

M.6 Correct title block by removing "Lot 1, Block A". [§01.02, Art. 11, UDC]

M.7 Identification of each lot and block by number or letter. For each lot indicate the square footage and acreage or provide a calculation sheet. Provide a table with indicating total SF for each lot. [§01.02, Art. 11, UDC]

M.8 Label the building lines where adjacent to a street. Provide a label for the 25-ft setback along street 'B' and along street 'A' where fronting onto a street. [§01.02, Art. 11, UDC]

I.9 Provide a label in the flood plain indicating "To Be Maintained by the HOA".

I.10 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.

M.11 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

I.12 This case will be on the Consent Agenda for both meetings. Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 29, 2020
- 2) Parks and Recreations Board meeting will be held on October 6, 2020
- 3) Planning & Zoning Regular meeting will be held on October 13, 2020
- 4) City Council meeting will be held on October 19, 2020

I.13 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission of Council may have regarding your request. All meetings will be held in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/24/2020	Needs Review

09/24/2020: M - Remove roundabout from plan. Should be standard four-way intersection with stop conditions.

M - Where is the erosion hazard set back along the flood plain?

M - What are these Circles? Separate lots. See markup.

M - Sidewalk and Visibility Easement Clip all corners.

M - 30' x 30' ROW Clip.

M - Water line not to go under traffic circle...must be traffic lane or parkway...not under landscape median.

I - Need to discuss the water line between lots 3 and 4 on Street B during engineering phase.

The following are general notes for the engineering process moving forward.

General Items:

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees apply.
- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- Must meet City of Rockwall Standards of Design.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.

Streets/Paving:

- All streets to be concrete. Min. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- Alleys to be 20' ROW, 12' wide paving.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Must verify there is 85' of dedicated ROW for Rochelle Rd. You must dedicate 42.5' from the CL.
- Discovery Blvd to be 65' ROW - 45' back-to back.
- Must meet driveway spacing requirements.
- All street trees if approved by Zoning shall have root barriers.
- All streets to be 1-ft above the 100 YR floodplain WSEL.

Water/Wastewater:

- Must have 8" sewer line minimum through the property.
- Must install a 18" and 10" gravity trunk sewer lines per WW Master plan.
- Must install Build Out size Lift Station and Force Main per WW Master Plan for Brushy Creek. Lift Station Includes wet well, valve vault, all size items, generator, electrical, SCADA, etc.
- Must loop 8" water line on site. No dead-end lines allowed.
- Per the Master Water Plan must install a 12" water line along Rochelle Rd and Discovery Blvd. Install 16" WL along SH 276.
- Dedicate 20' waterline easement for future 36" NTMWD water transmission line along Rochelle Rd. and SH 276.
- No trees within 10' of non-steel encased public utilities.

Drainage/Floodplain/Lakes:

- Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the floodplain elevation where adjacent.
- Master plan flood and detention study is required to delineate the floodplain 100-yr fully-developed boundary, erosion hazard setback and drainage easements. The master study shall show timing for each phase and when detention shall be provided for each phase. If not touching the flood plain, the City will hold the fully developed flood plain elevations. The floodplain boundary shall be delineated per the current on ground topographic survey. The property boundaries against the flood plain are subject to change based on the delineation of the floodplain, erosion hazard setback, and drainage easements per City Standards.
- Detention required for all commercial areas.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Area adjacent to SH 276 is WOTUS.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- No vertical walls are allowed in detention easements.
- Must have written permission release from NRCS regarding their easement around the lakes and possible construction encroachment.
- No trails on NRCS dam and within easements without permission.
- Must show and meet erosion hazard setback for all creeks/streams. Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.

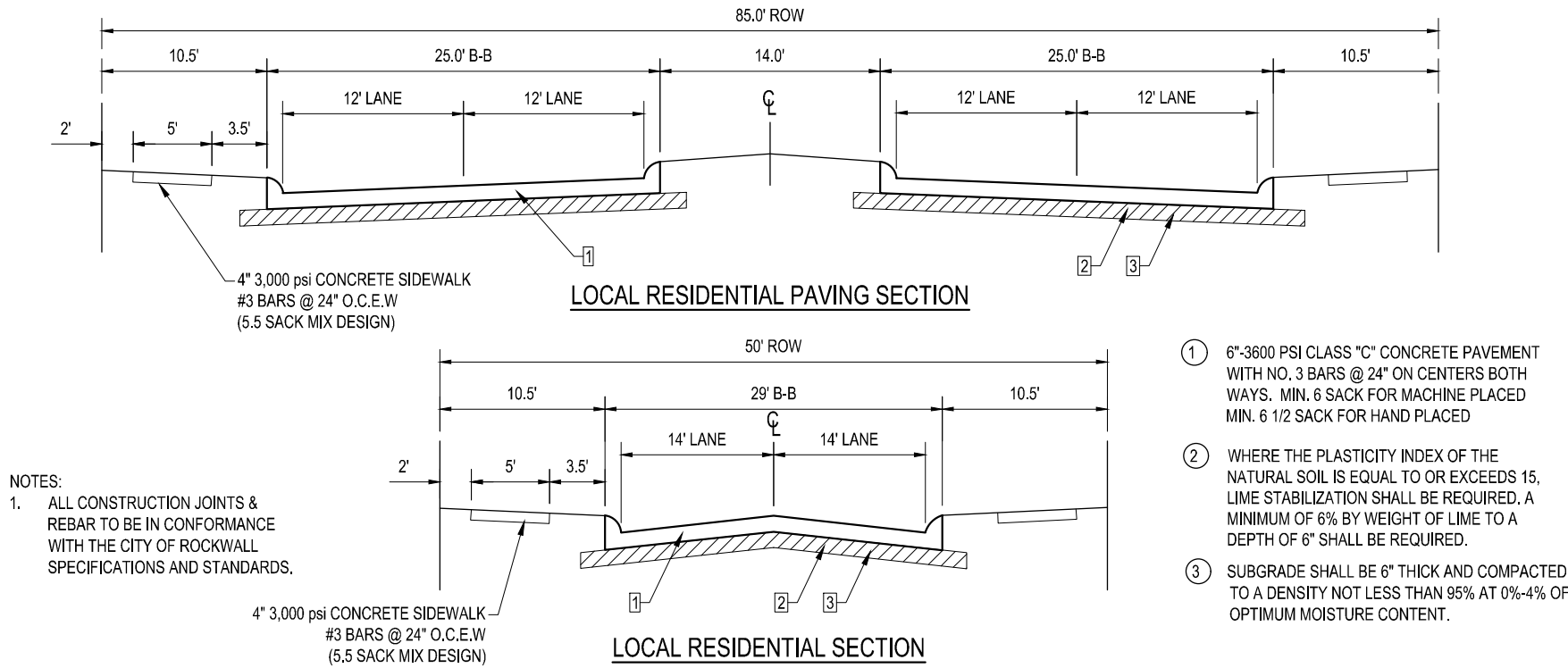
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/21/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/21/2020	Approved w/ Comments
09/21/2020: All fire code requirements shall be verified during the site civil plan process.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/21/2020	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	09/25/2020	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/21/2020	Approved w/ Comments
09/21/2020: 2020 Park Land Dedication Fee (Phase I) (P2020-040)			
Park District 30			
Cash In Lieu Of Land: \$383.00 x 31 lots = \$11,873.00			
Pro Rata Equipment Fees: \$363.00 x 31 lots = \$11,253.00			



LINE #	BEARING	LENGTH
L1	N00°45'55"W	298.42
L2	N06°34'23"W	159.71
L3	N69°28'25"W	34.63
L4	N18°53'58"E	52.49
L5	N28°21'37"E	50.00
L6	N52°57'41"E	50.00
L7	N51°02'57"E	161.37
L8	N28°30'25"W	20.00
L9	N61°45'29"E	50.02
L10	S26°30'28"E	20.00
L11	N51°02'57"E	221.27
L12	S38°57'03"E	50.00
L13	S39°13'45"E	124.31
L14	S46°12'41"E	100.41
L15	S57°49'57"E	95.11
L16	S63°08'31"E	98.95
L17	S63°08'31"E	163.35

BO	LINE #
	L18
	L19
	L20
	L21
	L22
	L23
	L24
	L25
	L26
	L27
	L28
	L29
	L30
	L31
	L32
	L33

General Items:

- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees apply.
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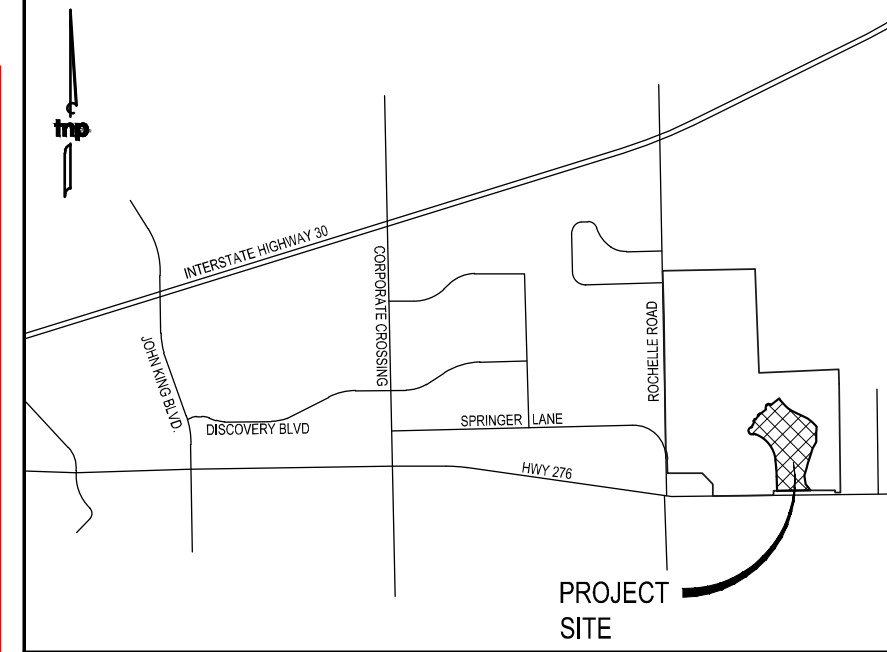
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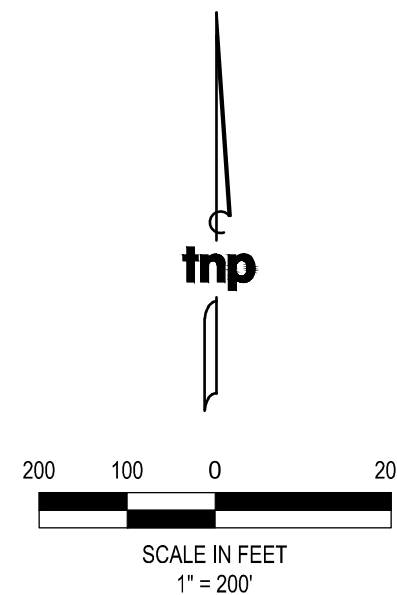
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VICINITY MAP
N.T.S.

HORD LENGTH
25.13'
178.56'
289.59'
467.62'
96.42'
148.90'
96.43'
512.56'
51.22'
38.25'
156.42'
186.12'
723.34'
58.52'
39.94'
25.00'
34.53'



LEGEND

NTS - NOT TO SCALE

R.O.W. - RIGHT OF WAY

INST. - INSTRUMENT

CAB. - CABINET

VOL. - VOLUME

NO. - NUMBER

PG. - PAGE

SF - SQUARE FEET

AC - ACRES

B.L. - BUILDING LINE

D.E. - DRAINAGE EASEMENT

W.E. - WATER EASEMENT

U.E. - UTILITY EASEMENT

O.P.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS

P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY TEXAS

PRELIMINARY PLAT

Discovery Lakes Phase 1

LOT 1, BLOCK A

31 RESIDENTIAL LOTS
1,586,455.20 SQUARE FEET
36.42 ACRES GROSS

BEING A PORTION OF A TRACT OF LAND SITUATED IN THE M.E. HAWKINS SURVEY, ABSTRACT NO. 100 AND THE ROBERT K. BRISCOE SURVEY, ABSTRACT NO. 16 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS

SURVEYOR

TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnppinc.com



TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381
GBPE: PEF007431; TBAE: BR 2673

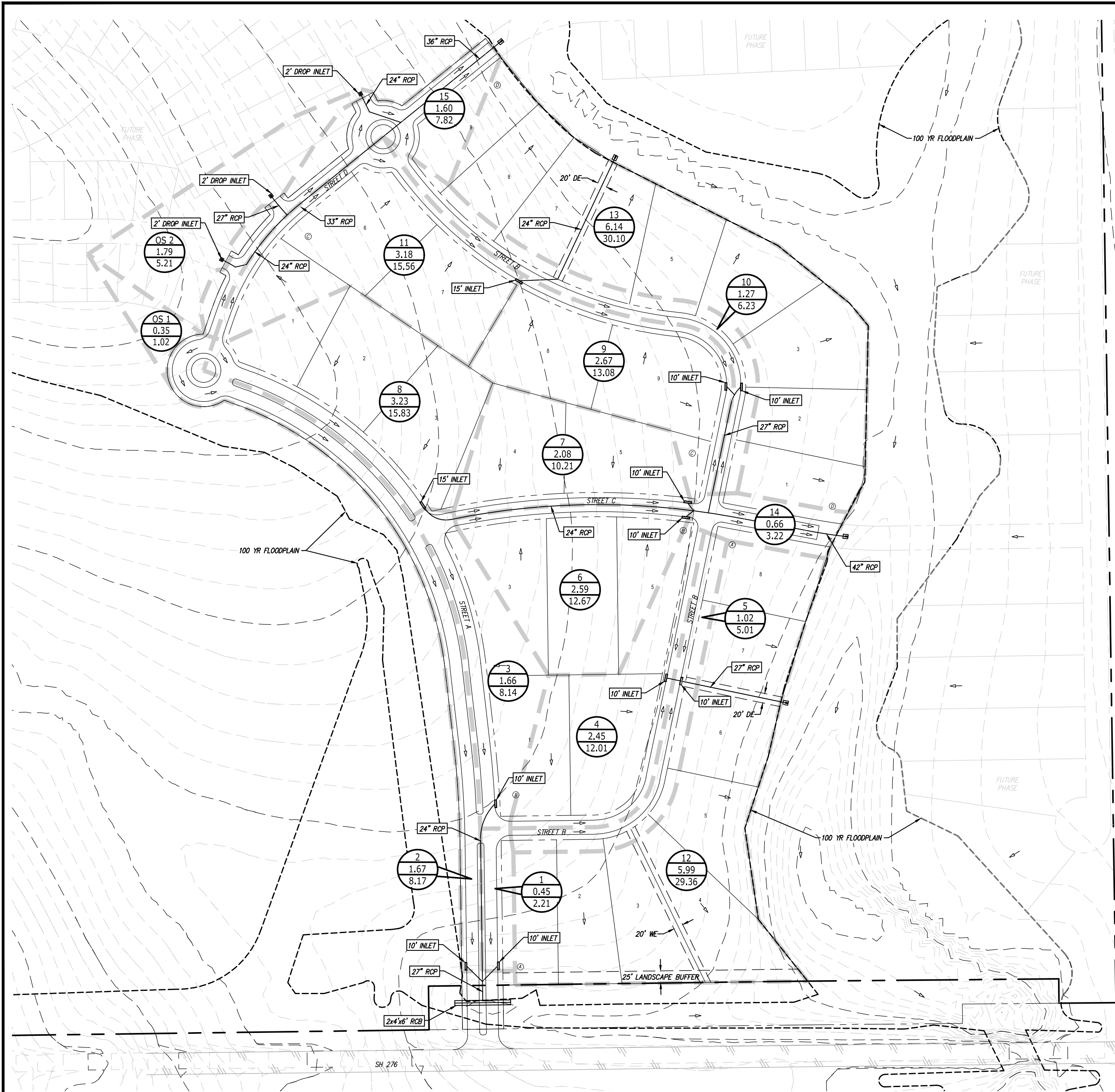
INFORMATION

DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

Project No.: SBD20370
Date: Sept. 18, 2020
Drawn By: GS9
Scale: 1"=100'

CASE NO. P _____

SHEET 1 of 1



Not Reviewed
To be reviewed at the
time of Engineering
Submittal

- LEGEND
- DRAINAGE DIVIDE
 - 100 YR FLOODPLAIN
 - DRAINAGE AREA
 - AREA, ACRES
 - 100 YR RUNOFF, CFS
 - FLOW DIRECTION
 - EX CONTOURS

DRAINAGE AREA CALCULATIONS						
Drainage Area No.	Time of Conc. (min.)	Intensity I ₁₀₀ (in/hr)	Runoff Coefficient C	Area (ac)	Q ₁₀₀ (cfs)	Remarks
1	10	9.80	0.50	0.45	2.21	FLOWS TO STORM INLET
2	10	9.80	0.50	1.67	8.17	FLOWS TO STORM INLET
3	10	9.80	0.50	1.66	8.14	FLOWS TO STORM INLET
4	10	9.80	0.50	2.45	12.01	FLOWS TO STORM INLET
5	10	9.80	0.50	1.02	5.01	FLOWS TO STORM INLET
6	10	9.80	0.50	2.59	12.67	FLOWS TO STORM INLET
7	10	9.80	0.50	2.08	10.21	FLOWS TO STORM INLET
8	10	9.80	0.50	3.23	15.83	FLOWS TO STORM INLET
9	10	9.80	0.50	2.67	13.08	FLOWS TO STORM INLET
10	10	9.80	0.50	1.27	6.23	FLOWS TO STORM INLET
11	10	9.80	0.50	3.18	15.56	FLOWS TO STORM INLET
12	10	9.80	0.50	5.99	29.36	FLOWS TO CREEK
13	10	9.80	0.50	6.14	30.10	FLOWS TO CREEK
14	10	9.80	0.50	1.57	7.71	FLOWS TO CREEK
15	10	9.80	0.50	1.60	7.82	FLOWS TO CREEK
OS 1	20	8.30	0.35	1.79	5.21	FLOWS TO DRAINAGE AREA 2
OS 2	20	8.30	0.35	0.35	1.02	FLOWS TO DROP INLETS
TOTAL				39.72	190.34	

Preliminary Drainage Area Map
31 Residential Lots

Discovery Lakes Phase 1

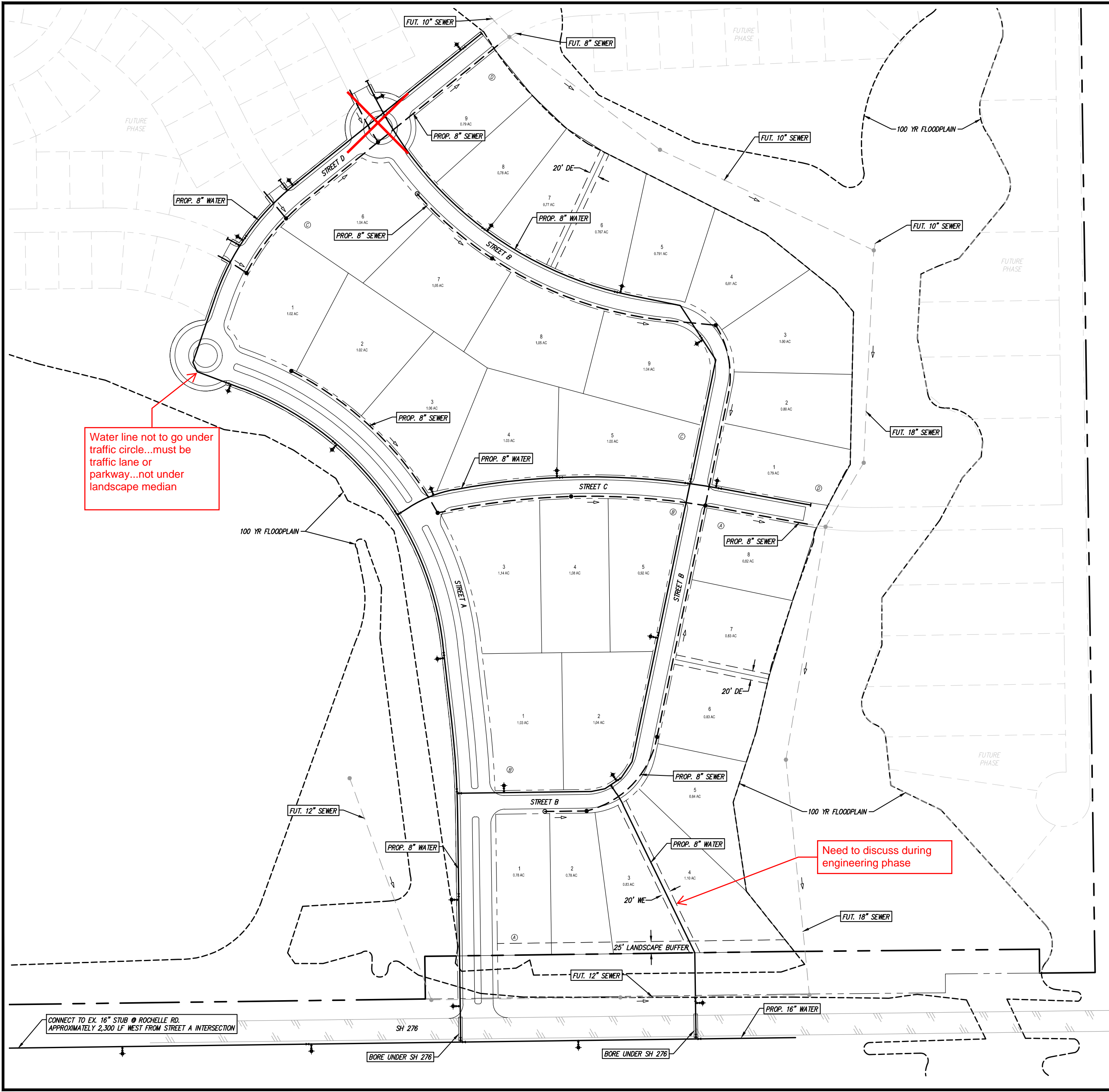
OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

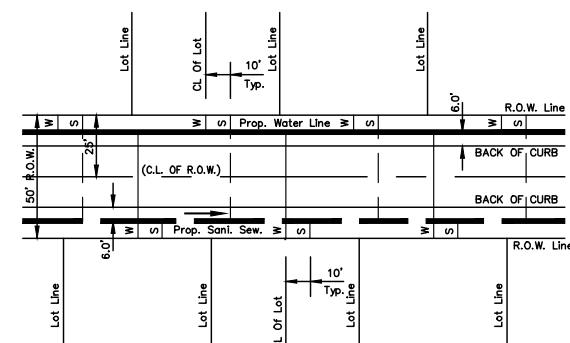
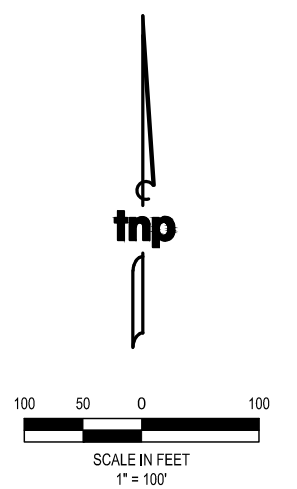


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PROJECT INFORMATION
Project No.: SBD20370
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Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1



NOTE: PER PD-78 ALL TYPE A LOTS W/ MIN 32,670 SF (0.75 AC.) SHALL HAVE TEMPORARY OSSF THAT CONFORM TO TCEQ STANDARDS. SANITARY SEWER MAINS, LATERALS AND LOT SERVICES WILL BE PROVIDED DURING CONSTRUCTION OF PHASE 1 AS SHOWN. ALL LOTS WILL DISCONNECT FROM OSSF AND CONNECT TO LOT SERVICES WHEN FUTURE OFFSITE SANITARY SEWER IS MADE AVAILABLE.



TYPICAL WATER & SEWER DETAIL
NT&P

Preliminary Water & Sewer Plan
31 Residential Lots

Discovery Lakes Phase 1

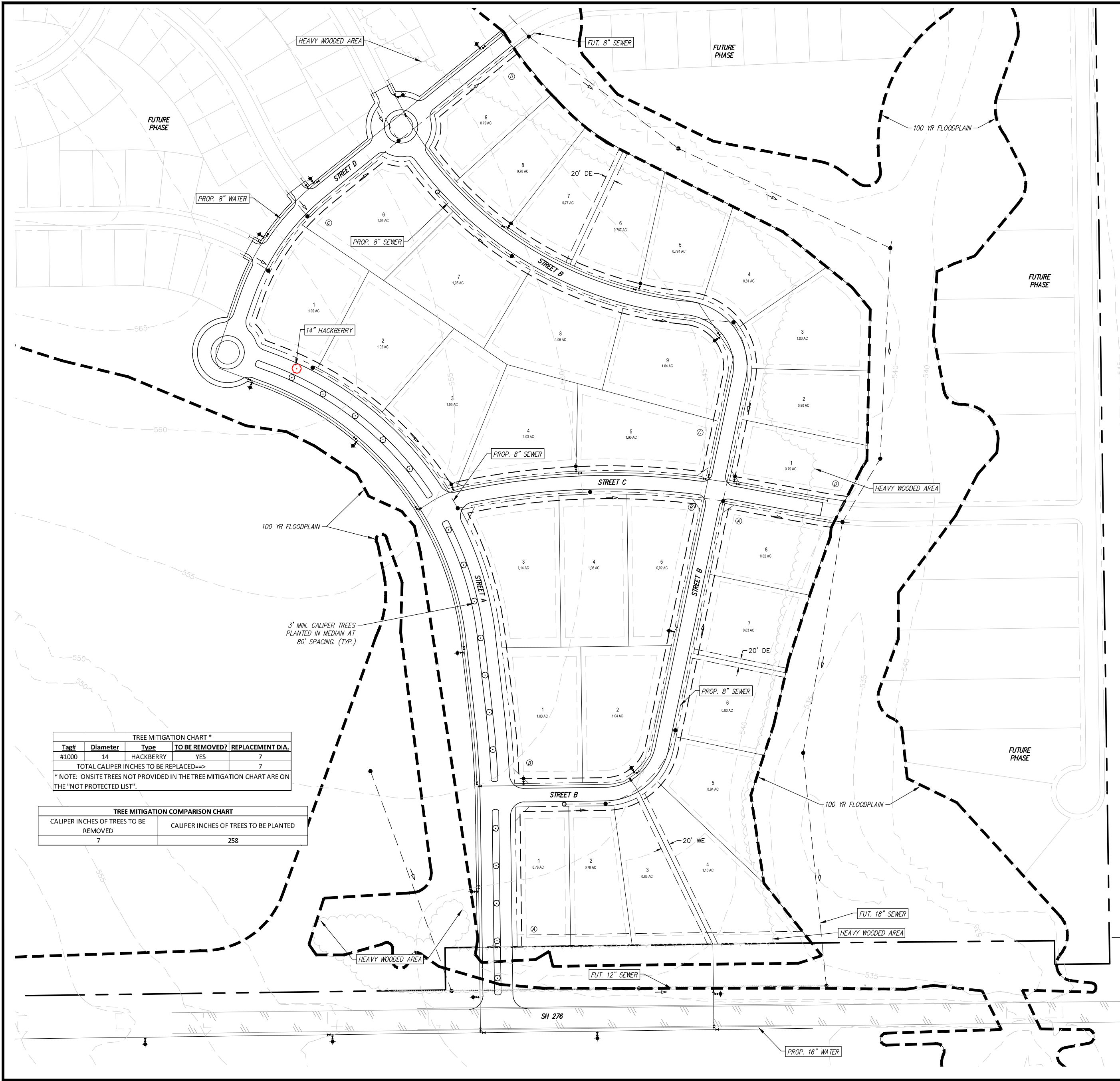
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PROJECT INFORMATION
Project No.: SBD20370
Date: Sept. 18, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1



TREE MITIGATION CHART *				
Tag#	Diameter	Type	TO BE REMOVED?	REPLACEMENT DIA.
#1000	14	HACKBERRY	YES	7
TOTAL CALIPER INCHES TO BE REPLACED==>				7

* NOTE: ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".

TREE MITIGATION COMPARISON CHART	
CALIPER INCHES OF TREES TO BE REMOVED	CALIPER INCHES OF TREES TO BE PLANTED
7	258

LEGEND

- PROP. WATER LINE
- ⊙ PROP. FIRE HYDRANT ASSEMBLY
- x PROP. VALVE
- PROP. SANITARY SEWER LINE
- PROP. SANITARY SEWER MANHOLE
- - - MAJOR CONTOUR
- - - BUILDING SETBACKS
- - - FLOOD PLAIN
- - - TREE LINE
- ⊙ PROP. TREES
- ⊙ TREES TO BE REMOVED

TREE MITIGATION NOTE

1. THERE WILL BE A MINIMUM OF TWO, THREE INCH (3") CALIPER TREES PLANTED ON EACH RESIDENTIAL LOT IN ADDITION TO TWO, THREE INCH (3") CALIPER TREES PLANTED IN EACH CORNER LOT FOR A SUM TOTAL OF (2*3*31+186") + (2*3*12+72) 258" TO BE PLANTED WITHIN PHASE 1 OF THE DEVELOPMENT. ALL TREES PLANTED ARE TO BE FROM THE LIST OF CANOPY AND ACCENT TREES PROVIDED IN ARTICLE 8, LANDSCAPE STANDARDS, OF THE UNIFIED DEVELOPMENT CODE (UDC).

2. EXISTING ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".

3. ALL LOT PADS WITHIN PHASE 1 ADJACENT TO THE FLOOD PLAIN WILL BE CUSTOM AND CONSTRUCTED BY THE BUILDER. DRAINAGE PLANS WILL BE DESIGNED TO PREVENT GRADING WITHIN THE HEAVY WOODED AREA.

Not Reviewed
To be reviewed at the
time of Engineering
Submittal

Treescape Plan
31 Residential Lots

Discovery Lakes Phase 1

OWNER:
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SHEET 1 of 1

Drawing: P:\PROJECTS\2020\07\04\PRELIMINARY DESIGN\SSW\SBD20370\PRE-TREESCAPE PLAN.dwg at Sep. 18, 2020 4:12pm by calvin



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-040

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
- ☒ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ (200+36.42*15=\$746.30)
- ☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
- ☐ Replat (\$300.00 + \$20.00 Acre) ¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre) ¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	none		
Subdivision	Discovery Lakes, Phase 1	Lot	Block
General Location	36.42 Acres out of the 307 Acre Tract near the NE corner of SH 276 and Rochelle Road		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-78	Current Use	None		
Proposed Zoning	PD-78	Proposed Use	Single Family Residential		
Acreage	36.42	Lots [Current]	1	Lots [Proposed]	31

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.
Contact Person	Nick DiGiuseppe	Contact Person	Cameron Slown
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013
Phone	972-960-9941	Phone	817-889-5050
E-Mail	southbrookinvestments@outlook.com	E-Mail	cslown@tnpinc.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Nick DiGiuseppe [Owner] the undersigned, who stated the information on this application to be true and certified the following:

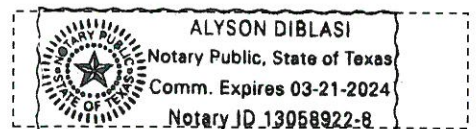
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$746.30, to cover the cost of this application, has been paid to the City of Rockwall on this the 17th day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17th day of September, 20 20.

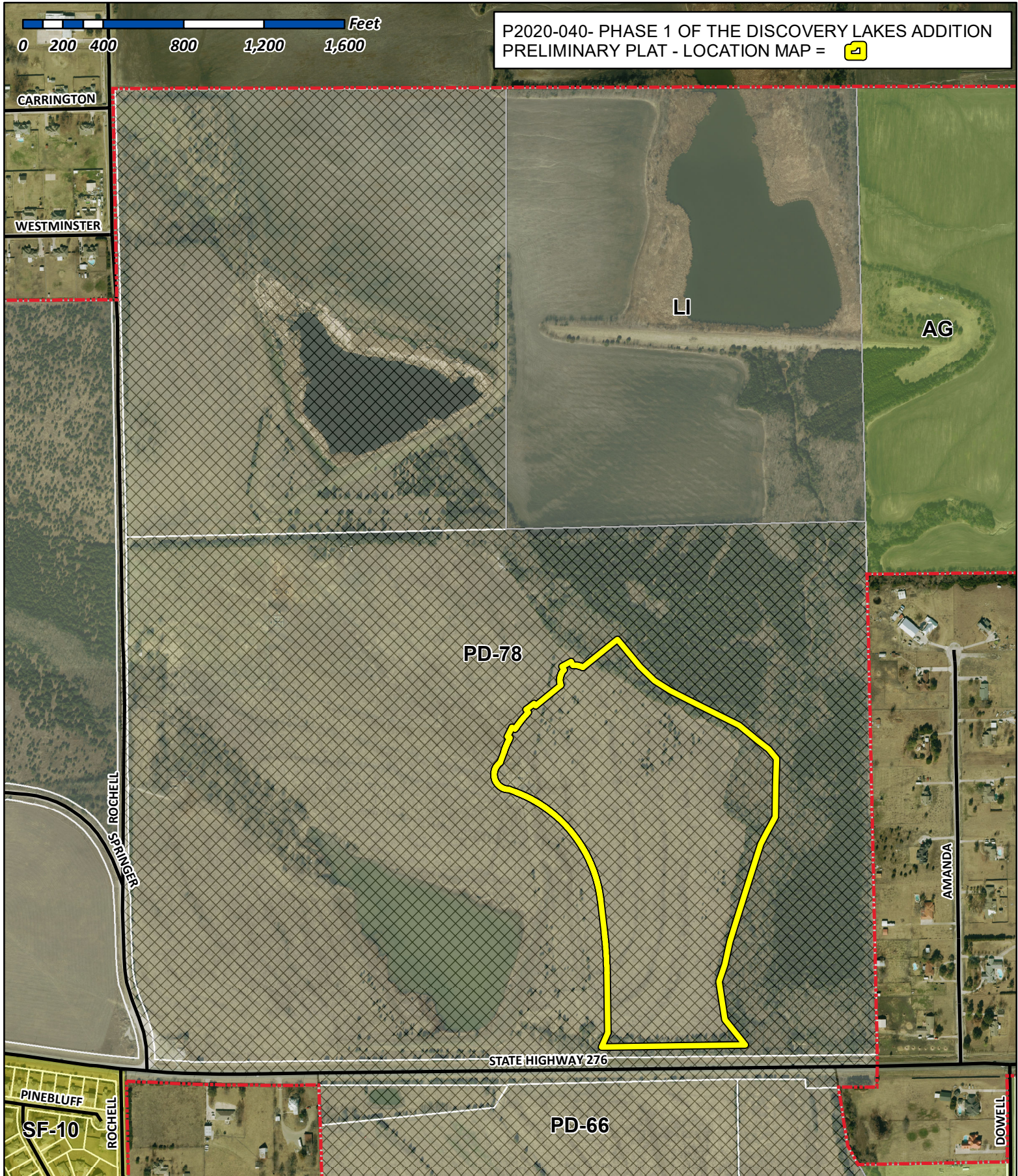
Owner's Signature

Notary Public in and for the State of Texas

Alyson DiBlasi



My Commission Expires 03-21-2024



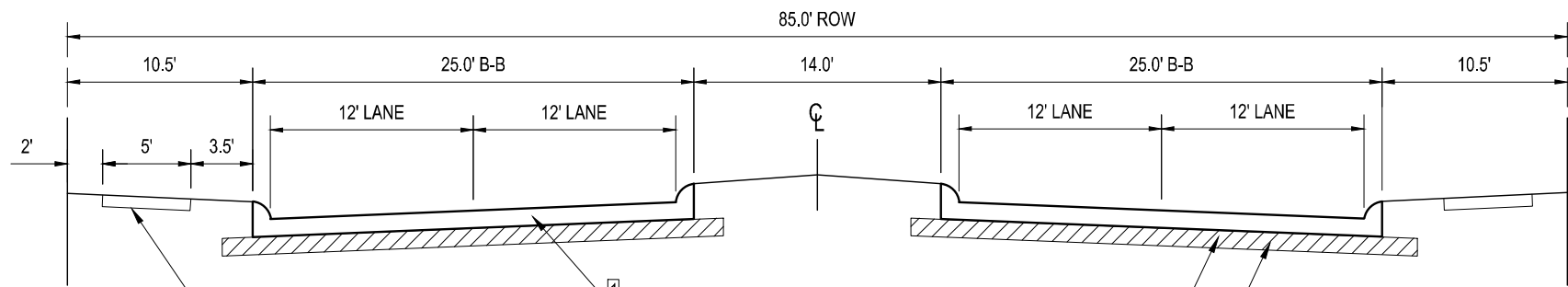
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

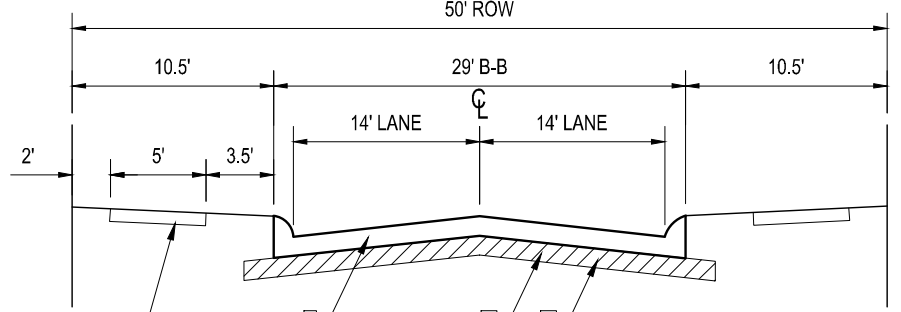
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LOCAL RESIDENTIAL PAVING SECTION



LOCAL RESIDENTIAL SECTION

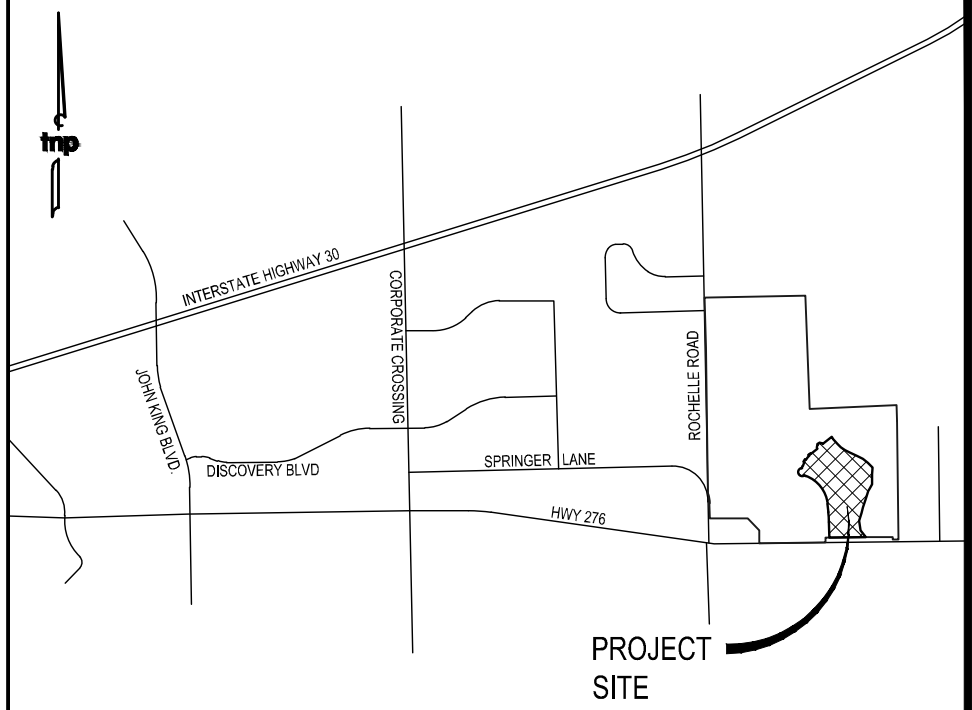
NOTES:
1. ALL CONSTRUCTION JOINTS & REBAR TO BE IN CONFORMANCE WITH THE CITY OF ROCKWALL SPECIFICATIONS AND STANDARDS.

- 6"-3600 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 3 BARS @ 24" ON CENTERS BOTH WAYS. MIN. 6 SACK FOR MACHINE PLACED MIN. 6 1/2 SACK FOR HAND PLACED
- WHERE THE PLASTICITY INDEX OF THE NATURAL SOIL IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6" SHALL BE REQUIRED.
- SUBGRADE SHALL BE 6" THICK AND COMPACTED TO A DENSITY NOT LESS THAN 95% AT 0%-4% OF OPTIMUM MOISTURE CONTENT.

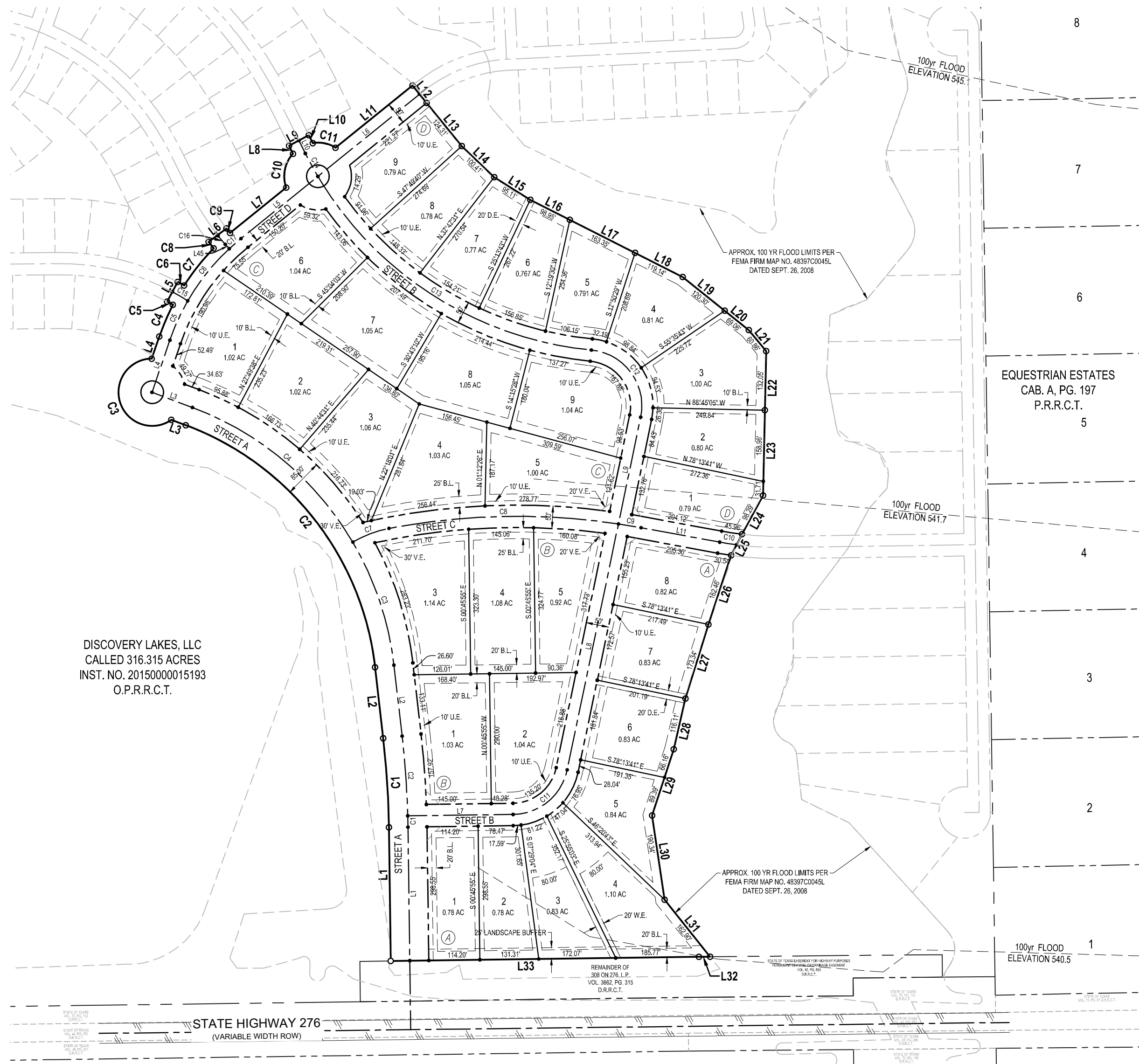
BOUNDARY LINE TABLE		
LINE #	BEARING	LENGTH
L1	N00°45'55"W	288.42
L2	N06°34'23"W	159.71
L3	N69°28'25"W	34.63
L4	N18°53'58"E	52.49
L5	N28°21'33"E	50.00
L6	N52°57'47"E	50.00
L7	N51°02'57"E	161.37
L8	N26°30'25"W	20.00
L9	N61°45'29"E	50.02
L10	S26°30'25"E	20.00
L11	N51°02'57"E	221.27
L12	S38°57'03"E	50.00
L13	S39°13'45"E	124.31
L14	S46°12'41"E	100.41
L15	S57°49'57"E	95.11
L16	S63°08'31"E	98.95
L17	S63°08'31"E	163.35

BOUNDARY LINE TABLE		
LINE #	BEARING	LENGTH
L18	S63°08'31"E	119.14
L19	S51°14'19"E	120.30
L20	S51°14'19"E	69.06
L21	S39°31'46"E	60.86
L22	S01°14'55"W	132.05
L23	S01°14'55"W	158.96
L24	S28°27'00"W	96.29
L25	S27°15'07"W	53.17
L26	N18°13'31"E	162.46
L27	N17°10'03"E	173.34
L28	N13°02'35"E	116.11
L29	N18°04'38"E	89.39
L30	N08°25'52"W	190.34
L31	N38°34'29"W	162.90
L32	S89°29'06"W	25.00
L33	S89°14'07"W	688.35

BOUNDARY CURVE TABLE					
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1967.50	5°48'28"	199.44	N 03°40'08" W	199.35
C2	657.50	62°54'02"	721.82	N 38°01'24" W	686.11
C3	75.00	214°23'01"	280.63	N 17°45'49" W	143.30
C4	520.84	8°28'11"	76.99	N 23°06'02" E	76.92
C5	500.00	1°41'50"	14.81	N 60°47'28" W	14.81
C6	550.00	1°42'58"	16.47	S 60°46'54" E	16.47
C7	503.20	12°05'31"	106.20	N 38°26'50" E	106.00
C8	800.00	1°18'35"	18.29	N 37°41'30" W	18.29
C9	750.00	0°59'45"	13.04	S 37°32'05" E	13.04
C10	75.00	61°45'28"	80.84	N 11°23'57" E	76.98
C11	75.00	40°20'22"	52.80	S 78°35'30" E	51.72

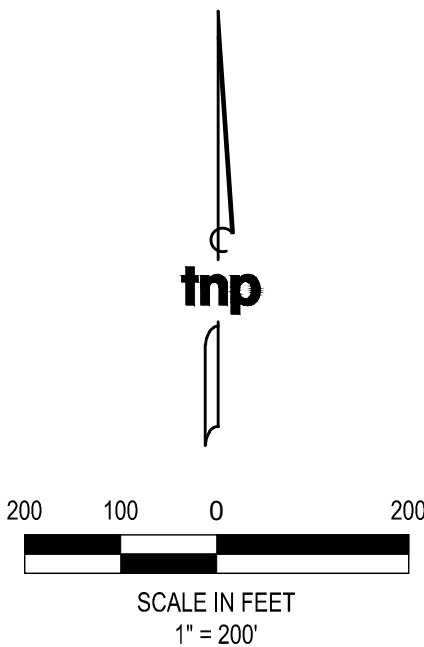


VICINITY MAP
N.T.S.



CENTERLINE LINE TABLE		
LINE #	LENGTH	BEARING
L1	298.42	N00°45'55"W
L2	159.71	N06°34'23"W
L3	96.43	N69°28'25"W
L4	123.20	N18°53'58"E
L5	220.91	N51°02'57"E
L6	291.98	N51°02'57"E
L7	235.32	N89°14'05"E
L8	561.29	N11°46'19"E
L9	243.60	N11°46'19"E
L10	32.19	S26°30'25"E
L11	178.52	S79°35'02"E
L45	13.20	S42°54'31"E

CENTERLINE CURVE TABLE					
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2043.92	0°42'16"	25.13	N 01°07'13" W	25.13
C2	2002.49	5°08'38"	178.82	N 04°01'40" W	178.56
C3	700.00	23°52'32"	291.70	N 18°30'39" W	289.59
C4	700.00	39°01'30"	476.78	N 49°57'40" W	467.62
C5	500.00	11°03'58"	96.57	N 24°25'58" E	96.42
C6	500.00	17°07'35"	149.46	N 38°31'41" E	148.90
C7	250.00	19°54'26"	86.86	N 69°14'35" E	86.43
C8	1525.00	19°20'58"	515.01	N 88°52'17" E	512.56
C9	1525.00	1°55'29"	51.23	S 80°29'30" E	51.22
C10	725.00	3°01'22"	38.25	N 81°05'43" W	38.25
C11	125.00	77°27'46"	169.00	N 50°30'12" E	156.42
C12	125.00	96°13'37"	209.93	N 36°20'29" E	186.12
C13	800.00	53°45'20"	750.57	N 57°34'38" W	723.34
C14	800.00	4°11'32"	58.54	N 28°36'12" W	58.52
C15	525.00	4°21'38"	39.95	N 59°27'35" W	39.94
C16	250.00	5°43'53"	25.01	S 40°02'35" E	25.00
C17	500.00	3°57'29"	34.54	N 49°04'13" E	34.53



COMPLIANCE WITH PD ORDINANCE 20-27		
	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	428 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 11,137 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 45 LOTS TYPE B: 165/428 = 39% OF TOTAL LOTS TYPE C: 218/428 = 51% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	1.39 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	102.9/307.18 = 33.5%

LEGEND
NTS - NOT TO SCALE
R.O.W. - RIGHT OF WAY
INST. - INSTRUMENT
CAB. - CABINET
VOL. - VOLUME
NO. - NUMBER
PG. - PAGE
SF - SQUARE FEET
AC - ACRES
B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
W.E. - WATER EASEMENT
U.E. - UTILITY EASEMENT
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
P.R.R.C.T. - PLAT RECORDS ROCKWALL COUNTY TEXAS

PRELIMINARY PLAT
Discovery Lakes Phase 1
LOT 1, BLOCK A
31 RESIDENTIAL LOTS
1,586,455.20 SQUARE FEET
36.42 ACRES GROSS

BEING A PORTION OF A TRACT OF LAND SITUATED IN
THE M.E. HAWKINS SURVEY, ABSTRACT NO. 100 AND
THE ROBERT K. BRISCOE SURVEY, ABSTRACT NO. 16
IN THE CITY OF ROCKWALL, ROCKWALL COUNTY
TEXAS

OWNER
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

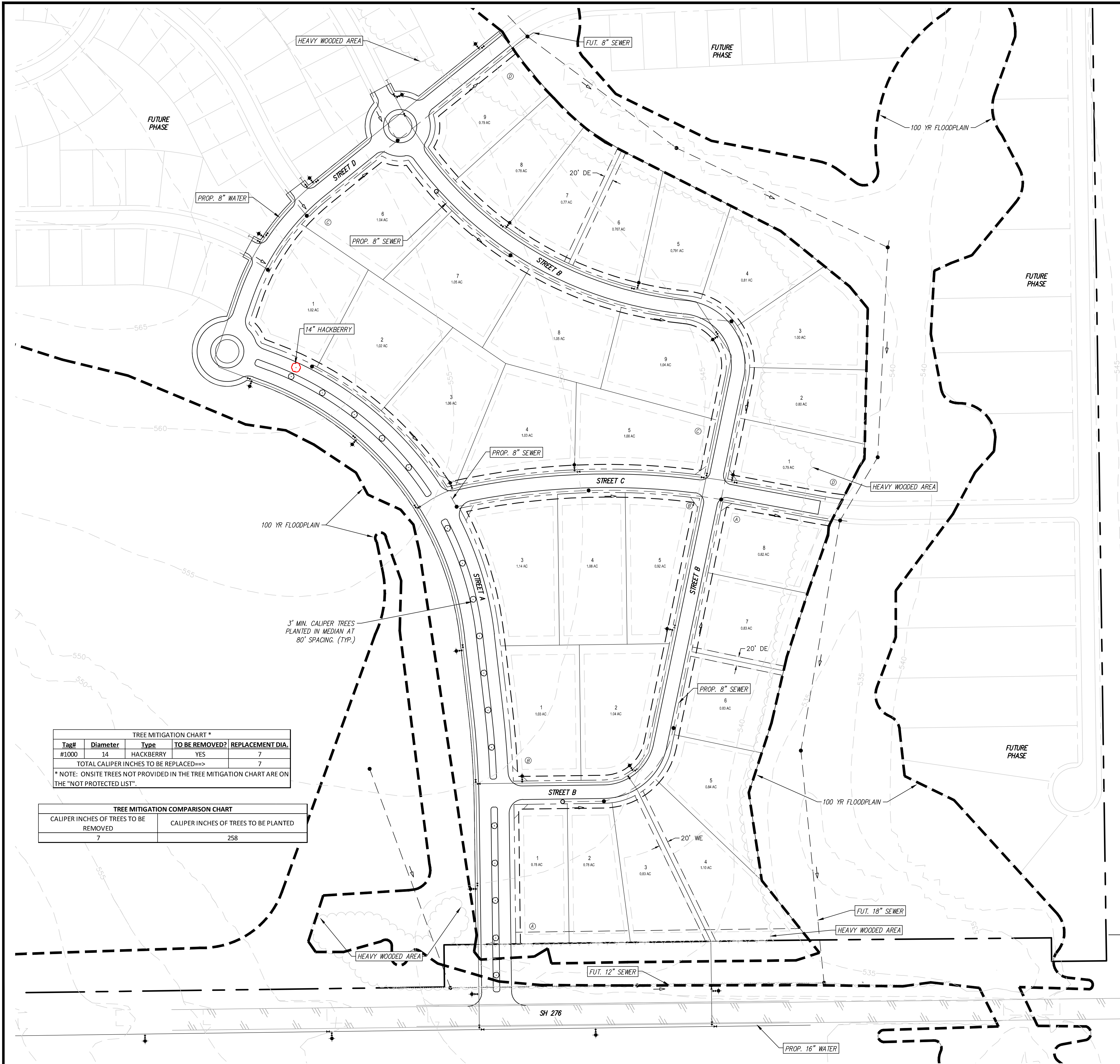
PROJECT INFORMATION
Project No.: SBD20370
Date: Sept. 18, 2020
Drawn By: GS9
Scale: 1"=100'
SHEET 1 of 1



SURVEYOR
TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnpinc.com
TBPES: ENGR F-230; SURV 10011600, 10011601, 10194381
GBPE: PEF007431; TBAE: BR 2673

CASE NO. P_____

Drawing: P:\PROJECTS\SBD20370\CAD\PRELIMINARY DESIGN\Sheets\SBD20370-PR-Treescape PLAN.dwg at Sep. 18, 2020 1:12pm by cshaw



TREE MITIGATION CHART *				
Tag#	Diameter	Type	TO BE REMOVED?	REPLACEMENT DIA.
#1000	14	HACKBERRY	YES	7
TOTAL CALIPER INCHES TO BE REPLACED==>				
* NOTE: ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".				

TREE MITIGATION COMPARISON CHART	
CALIPER INCHES OF TREES TO BE REMOVED	CALIPER INCHES OF TREES TO BE PLANTED
7	258

LEGEND

- PROP. WATER LINE
- PROP. FIRE HYDRANT ASSEMBLY
- PROP. VALVE
- PROP. SANITARY SEWER LINE
- PROP. SANITARY SEWER MANHOLE
- MAJOR CONTOUR
- BUILDING SETBACKS
- FLOOD PLAIN
- TREE LINE
- PROP. TREES
- TREES TO BE REMOVED

TREE MITIGATION NOTE

1. THERE WILL BE A MINIMUM OF TWO, THREE INCH (3") CALIPER TREES PLANTED ON EACH RESIDENTIAL LOT. IN ADDITION TO TWO, THREE INCH (3") CALIPER TREES PLANTED IN EACH CORNER LOT FOR A SUM TOTAL OF (2*3*31=186") + (2*3*12=72) 258" TO BE PLANTED WITHIN PHASE 1 OF THE DEVELOPMENT. ALL TREES PLANTED ARE TO BE FROM THE LIST OF CANOPY AND ACCENT TREES PROVIDED IN ARTICLE 8, LANDSCAPE STANDARDS, OF THE UNIFIED DEVELOPMENT CODE (UDC).

2. EXISTING ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".

3. ALL LOT PADS WITHIN PHASE 1 ADJACENT TO THE FLOOD PLAIN WILL BE CUSTOM AND CONSTRUCTED BY THE BUILDER. DRAINAGE PLANS WILL BE DESIGNED TO PREVENT GRADING WITHIN THE HEAVY WOODED AREA.

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

Treescape Plan
31 Residential Lots

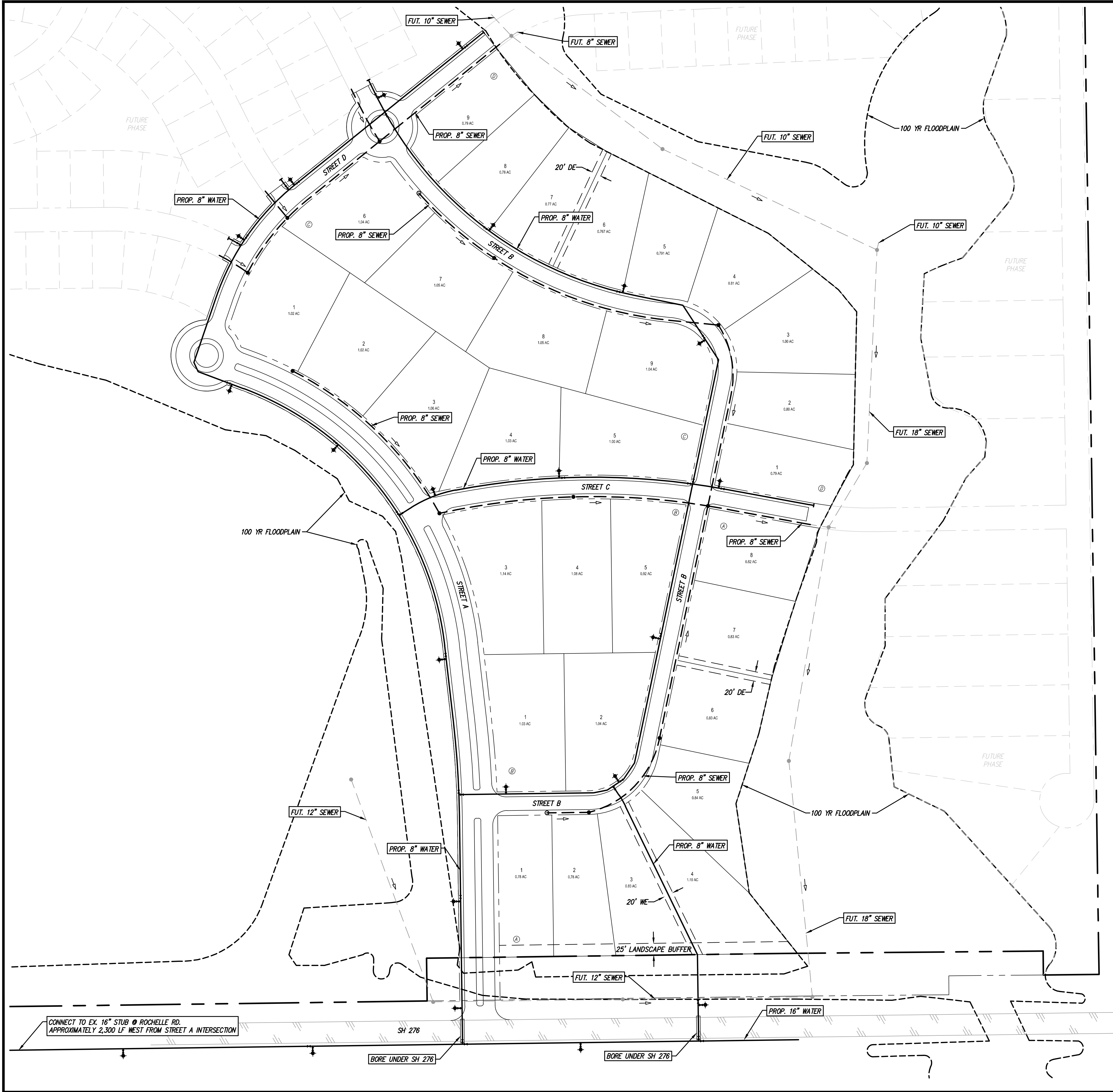
Discovery Lakes Phase 1

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

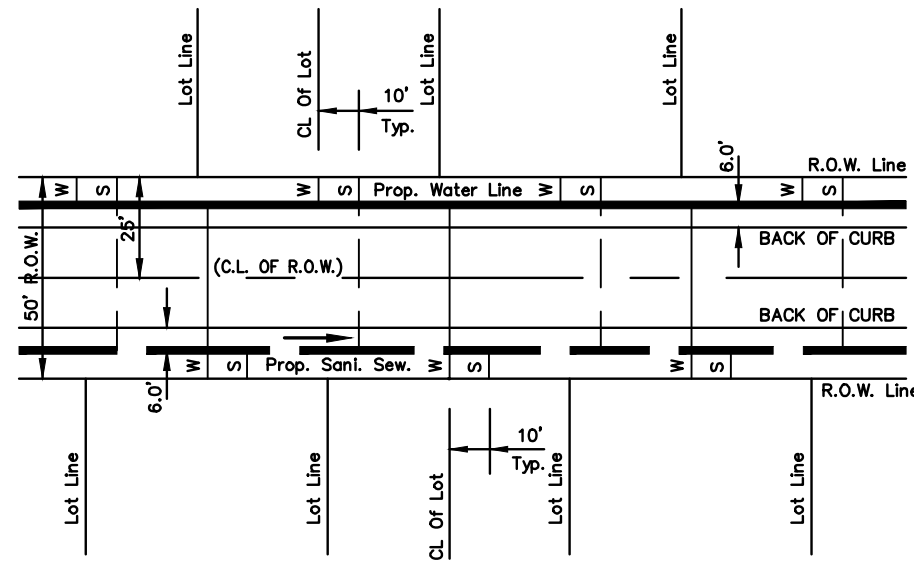
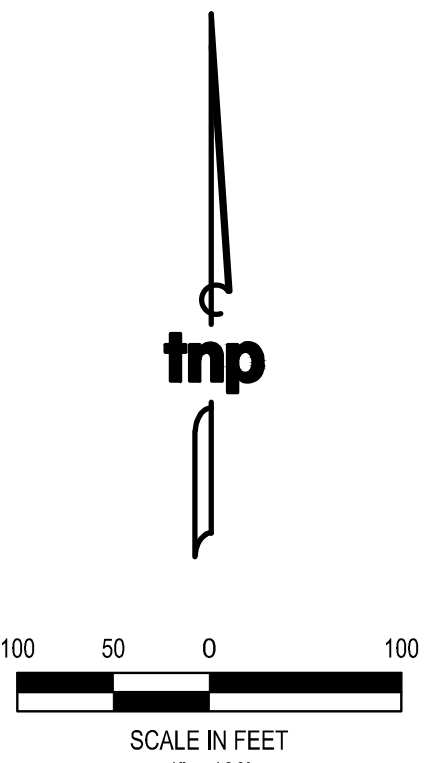


teague nall & perkins
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
TBPE Registration No. F-230
www.tnpinc.com

PROJECT INFORMATION
Project No.: SBD20370
Date: Sept. 18, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1



NOTE: PER PD-78 ALL TYPE A LOTS W/MIN 32,670 SF (0.75 AC.) SHALL HAVE TEMPORARY OSSF THAT CONFORM TO TCEQ STANDARDS. SANITARY SEWER MAINS, LATERALS AND LOT SERVICES WILL BE PROVIDED DURING CONSTRUCTION OF PHASE 1 AS SHOWN. ALL LOTS WILL DISCONNECT FROM OSSF AND CONNECT TO LOT SERVICES WHEN FUTURE OFFSITE SANITARY SEWER IS MADE AVAILABLE.



TYPICAL WATER & SEWER DETAIL
NT&

Preliminary Water & Sewer Plan
31 Residential Lots

Discovery Lakes Phase 1

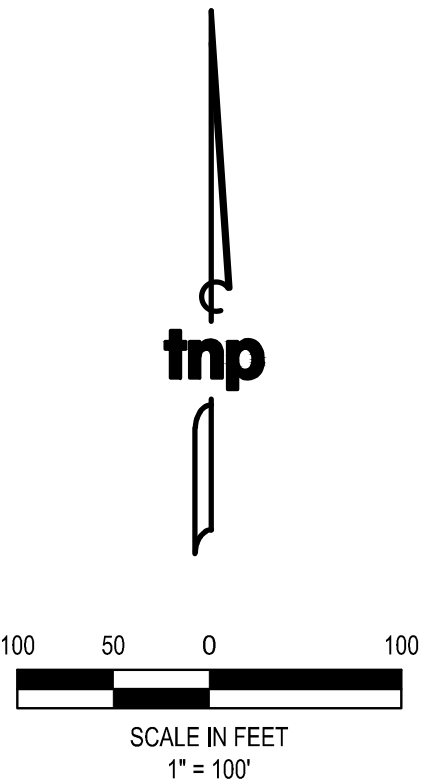
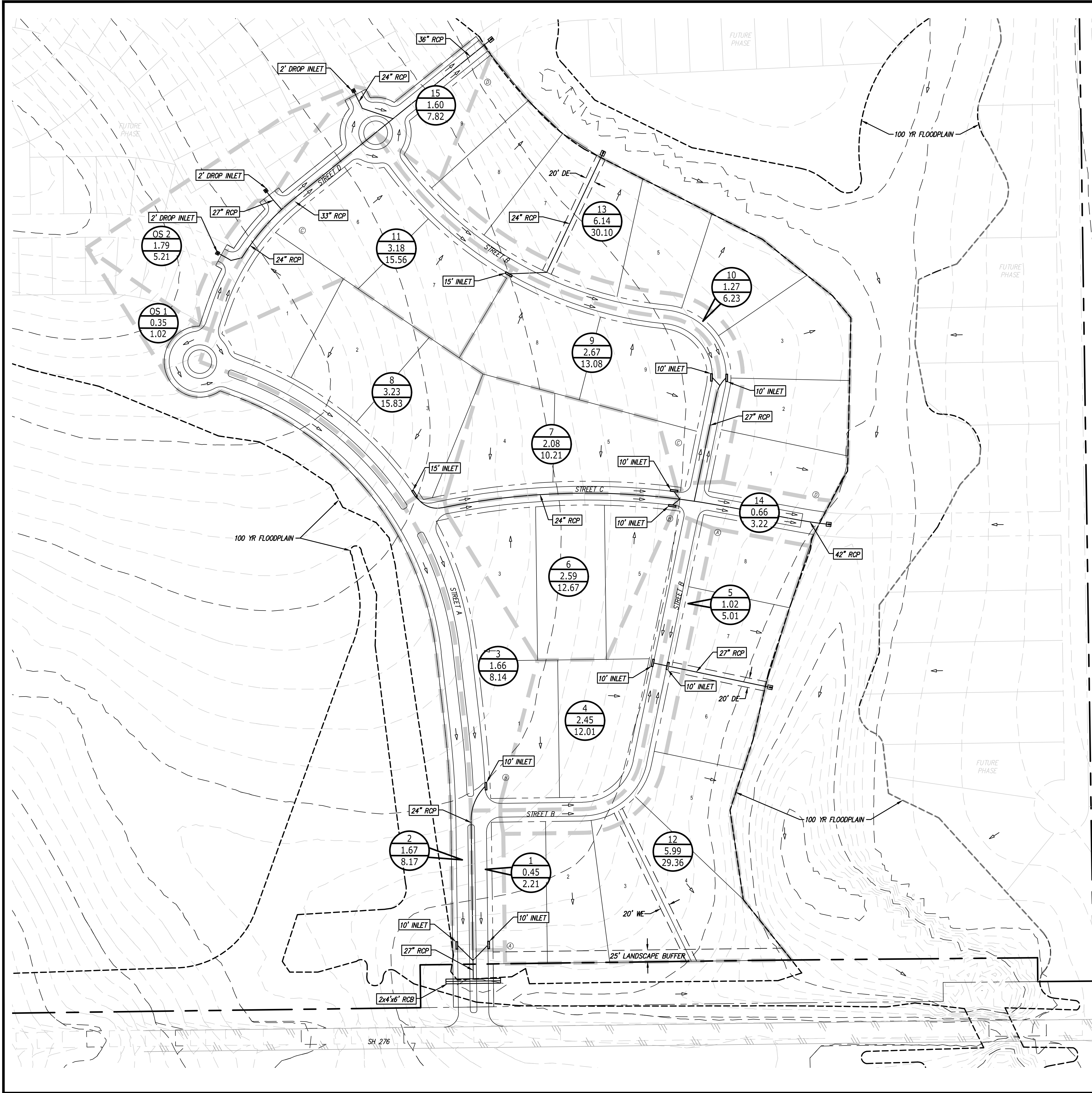
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PROJECT INFORMATION
Project No.: SBD20370
Date: Sept. 18, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1



LEGEND

- DRAINAGE DIVIDE
- 100 YR FLOODPLAIN
- DRAINAGE AREA
- AREA, ACRES
- 100 YR RUNOFF, CFS
- FLOW DIRECTION
- EX CONTOURS

DRAINAGE AREA CALCULATIONS						
Drainage Area No.	Time of Conc. (min.)	Intensity I ₁₀₀ (in/hr)	Runoff Coefficient C	Area (ac.)	Q ₁₀₀ (cfs)	Remarks
1	10	9.80	0.50	0.45	2.21	FLows TO STORM INLET
2	10	9.80	0.50	1.67	8.17	FLows TO STORM INLET
3	10	9.80	0.50	1.66	8.14	FLows TO STORM INLET
4	10	9.80	0.50	2.45	12.01	FLows TO STORM INLET
5	10	9.80	0.50	1.02	5.01	FLows TO STORM INLET
6	10	9.80	0.50	2.59	12.67	FLows TO STORM INLET
7	10	9.80	0.50	2.08	10.21	FLows TO STORM INLET
8	10	9.80	0.50	3.23	15.83	FLows TO STORM INLET
9	10	9.80	0.50	2.67	13.08	FLows TO STORM INLET
10	10	9.80	0.50	1.27	6.23	FLows TO STORM INLET
11	10	9.80	0.50	3.18	15.56	FLows TO STORM INLET
12	10	9.80	0.50	5.99	29.36	FLows TO CREEK
13	10	9.80	0.50	6.14	30.10	FLows TO CREEK
14	10	9.80	0.50	1.57	7.71	FLows TO CREEK
15	10	9.80	0.50	1.60	7.82	FLows TO CREEK
OS 1	20	8.30	0.35	1.79	5.21	FLows TO DRAINAGE AREA 2
OS 2	20	8.30	0.35	0.35	1.02	FLows TO DROP INLETS
TOTAL				39.72	190.34	

Preliminary Drainage Area Map
31 Residential Lots

Discovery Lakes Phase 1

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

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PROJECT INFORMATION
Project No.: SBD20370
Date: Sept. 18, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: October 27, 2020
APPLICANT: Cameron Slown; *Teague, Nall & Perkins, Inc.*
CASE NUMBER: P2020-040; *Preliminary Plat for Phase 1 of the Discover Lakes Addition*

SUMMARY

Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the north side of SH-276 east of the intersection of SH-276 and Rochelle Road, and take any action necessary.

PLAT INFORMATION

- ☒ The purpose of the applicant's submittal is to *Preliminary Plat* the first phase of the Discovery Lakes Subdivision, which will consist of 31 single-family residential lots on an approximately 36.42-acre tract of land. The Discovery Lakes Subdivision as a whole is a master planned community that will be comprised 428 single-family residential lots on a 307.18-acres tract of land, of which 102.9-acres (i.e. 33.5%) will be reserved for open space. This development is to be constructed in nine (9) phases and will consist of three (3) lot types (*outline in the Lot Composition table below*). Phase 1 will consist of 31, *Type 'A' Lots* that will be a minimum 80' x 200' or 32,670 SF. In addition to the preliminary plat, the applicant has also submitted preliminary drainage, water, sewer, and a treescape plans showing how the development can be adequately served. The following is the proposed lot composition of the Discovery Lakes Subdivision:

LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	80' x 200'	32,670 SF	45	10.51%
B	70' x 110'	7,700 SF	177	41.36%
C	60' x 110'	6,600 SF	206	48.13%

Maximum Permitted Units:

428

100.00%

- ☒ The subject property was annexed by the City Council on June 15, 1998 by Ordinance No. 98-20. On July 5, 2005, the City Council approved Ordinance No. 05-29 [Case No. Z2005-021] changing the zoning from an Agricultural (AG) District to a Light Industrial (LI) District. On August 17, 2015, the zoning designation of the subject property was again changed by Ordinance No. 15-24 [Case No. Z2015-016] from a Light Industrial (LI) District to Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses. On August 3, 2020, the City Council approved an amendment to Planned Development District 78 (PD-78) through Ordinance No. 20-27 [Case No. Z2020-024] allowing for the reduction in the number of single-family residential lots from 507 to 428 (i.e. a decrease of the Type 'A' Lots by 76 and Type 'C' Lots by 53, and an increase in the Type 'B' Lots by 50), which represented a reduction in the overall density from 1.65 dwelling units per acre to 1.40 dwelling units per acre. This zoning change also changed the Type 'A' Lots from a minimum of 9,600 SF to 32,670 SF.
- ☒ On October 6, 2020 the Parks and Recreation Board reviewed the preliminary plat and made the following recommendations concerning the proposed project (*which is located within Park District No. 31*):

- (1) The developer shall pay pro-rata equipment fees of \$11,253.00 (*i.e. \$363.00 x 31 lots*) to be paid at the time of final plat.
 - (2) The developer shall pay cash in lieu of land fees of \$11,873.00 (*i.e. \$383.00 x 31 lots*) to be paid at the time of final plat.
- ☑ The purpose of the preliminary plat is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with the OURHometown Vision 2040 Comprehensive Plan, the Unified Development Code (UDC), the Master Thoroughfare Plan, and the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. The proposed preliminary plat appears to meet the intent of these requirements.
 - ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
 - ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
 - ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a preliminary plat for *Phase 1* of the *Discover Lakes Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans.
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-040

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
☒ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ (200+36.42*15=\$746.30)
☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
☐ Replat (\$300.00 + \$20.00 Acre) ¹
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre) ¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
☐ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	none		
Subdivision	Discovery Lakes, Phase 1	Lot	Block
General Location	36.42 Acres out of the 307 Acre Tract near the NE corner of SH 276 and Rochelle Road		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-78	Current Use	None		
Proposed Zoning	PD-78	Proposed Use	Single Family Residential		
Acreage	36.42	Lots [Current]	1	Lots [Proposed]	31

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.
Contact Person	Nick DiGiuseppe	Contact Person	Cameron Slown
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013
Phone	972-960-9941	Phone	817-889-5050
E-Mail	southbrookinvestments@outlook.com	E-Mail	cslown@tnpinc.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Nick DiGiuseppe [Owner] the undersigned, who stated the information on this application to be true and certified the following:

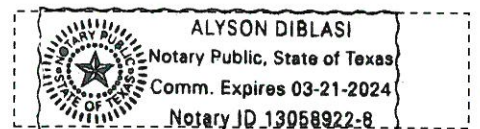
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$746.30, to cover the cost of this application, has been paid to the City of Rockwall on this the 17th day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17th day of September, 20 20.

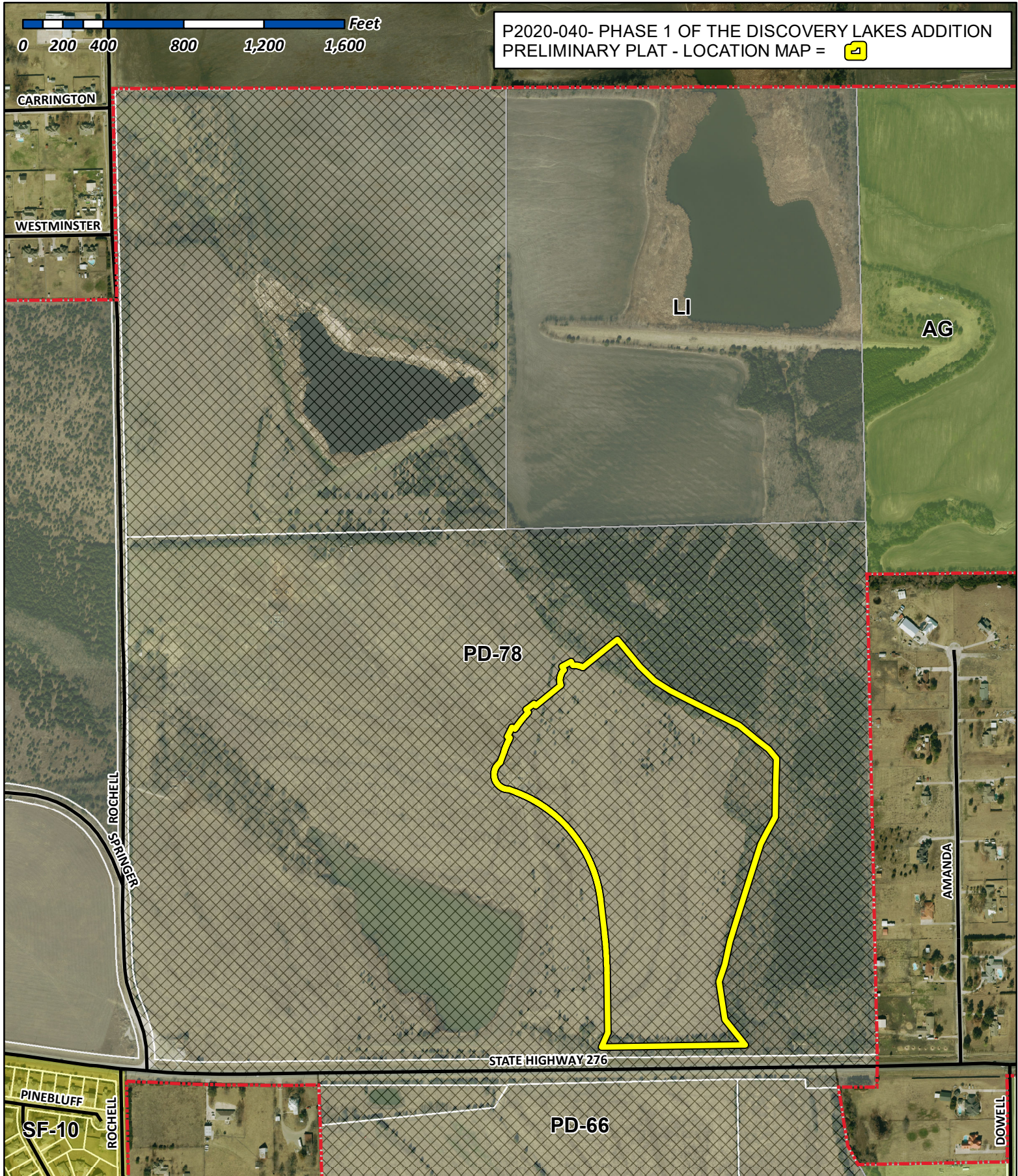
Owner's Signature

Notary Public in and for the State of Texas

Alyson DiBlasi



My Commission Expires 03-21-2024



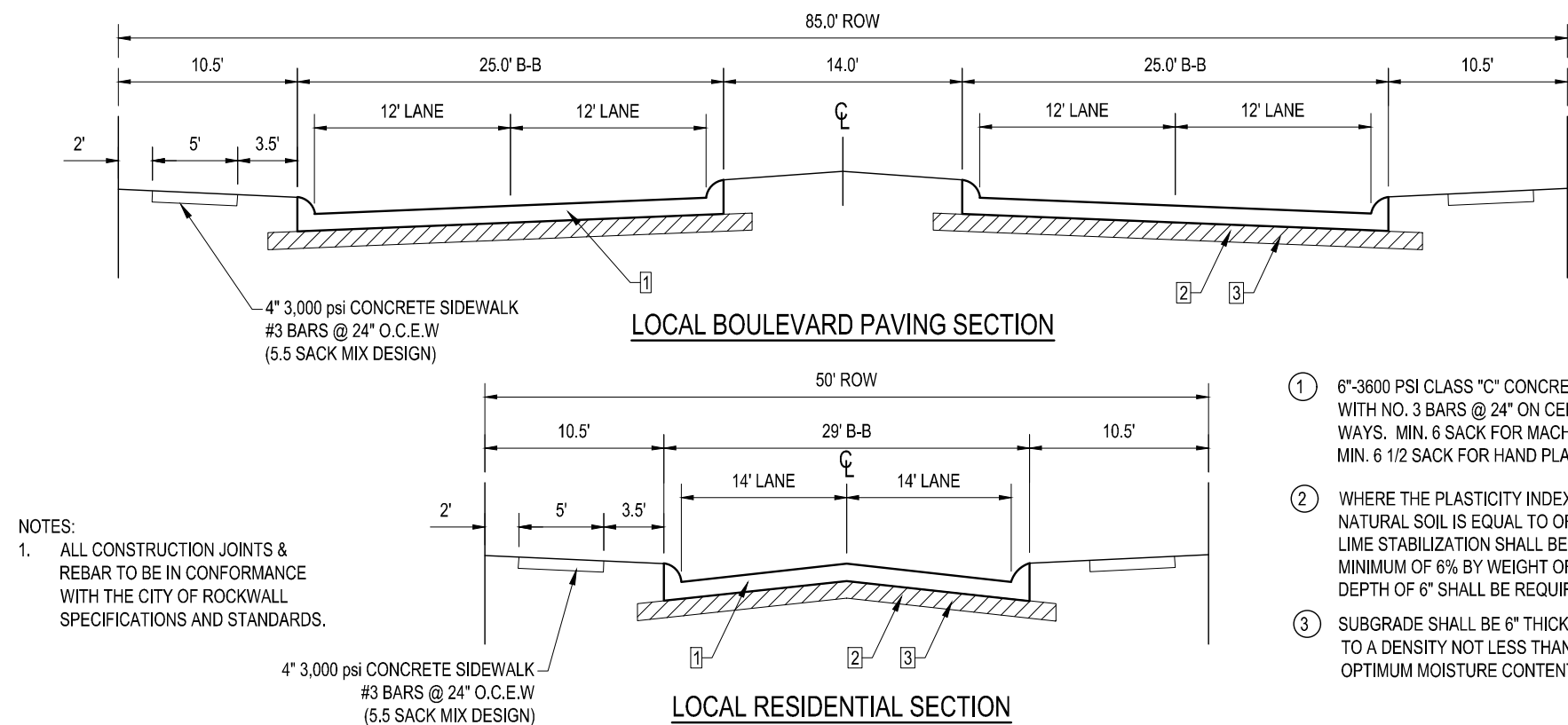
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Drawing: P:\PROJECTS\SBD20370\CAO\PRELIMINARY DESIGN\SBD20370-PRE-PLAT.dwg at Oct 06, 2020-8:07am by gshoner



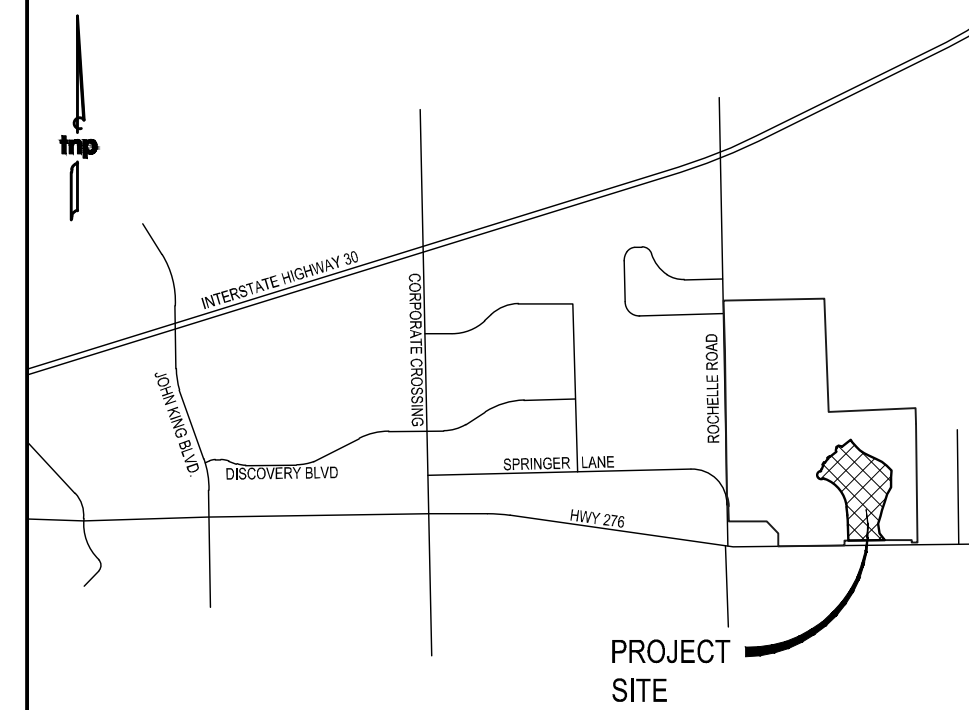
NOTES:
1. ALL CONSTRUCTION JOINTS & REBAR TO BE IN CONFORMANCE WITH THE CITY OF ROCKWALL SPECIFICATIONS AND STANDARDS.

- 6"-3600 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 3 BARS @ 24" ON CENTERS BOTH WAYS. MIN. 6 SACK FOR MACHINE PLACED MIN. 6 1/2 SACK FOR HAND PLACED
- WHERE THE PLASTICITY INDEX OF THE NATURAL SOIL IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6" SHALL BE REQUIRED.
- SUBGRADE SHALL BE 6" THICK AND COMPACTED TO A DENSITY NOT LESS THAN 95% AT 0%-4% OF OPTIMUM MOISTURE CONTENT.

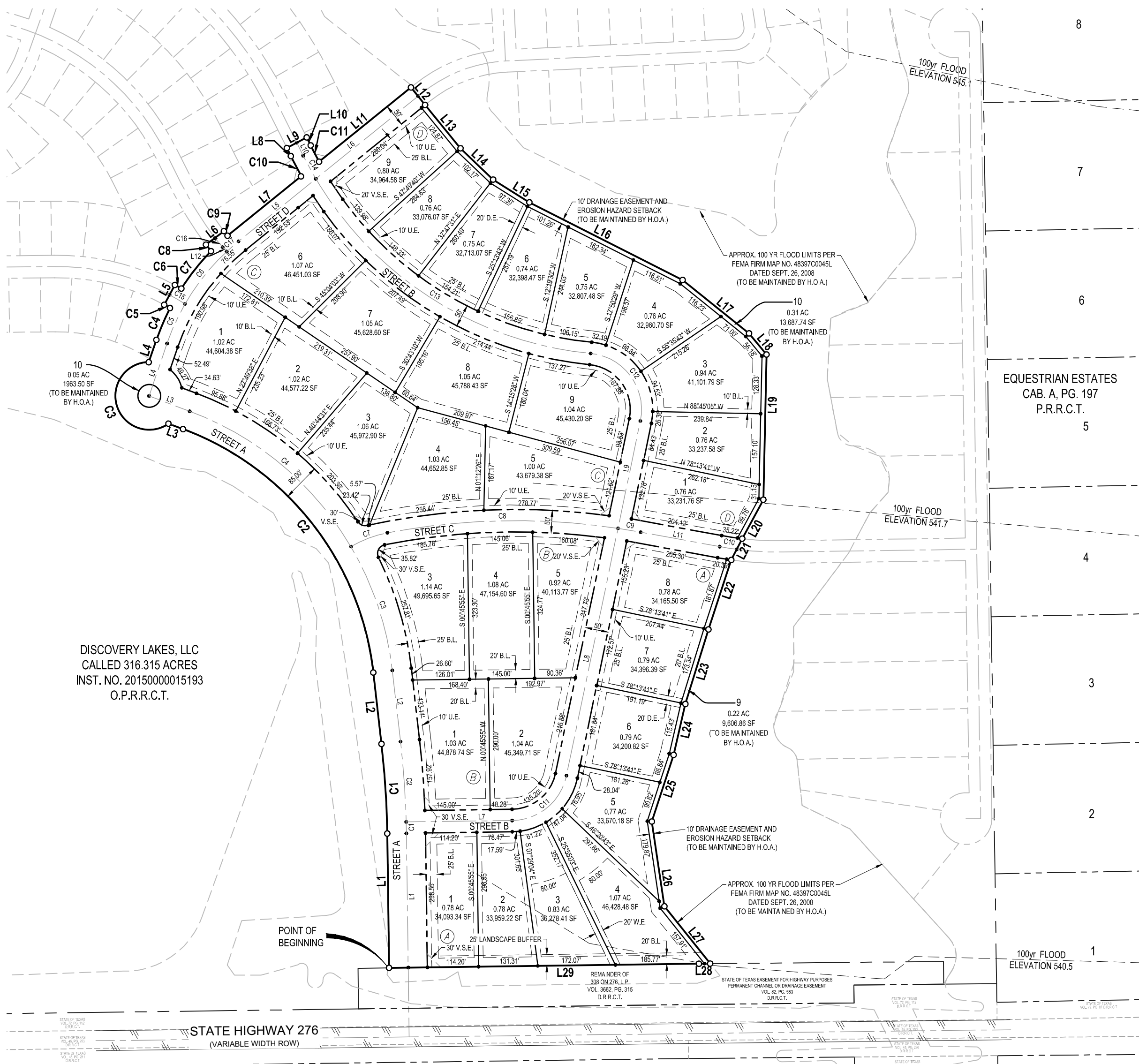
BOUNDARY LINE TABLE		
LINE #	BEARING	LENGTH
L1	N00°45'55"W	286.42
L2	N06°34'23"W	159.71
L3	N89°28'25"W	34.63
L4	N18°53'58"E	52.49
L5	N28°21'31"E	50.00
L6	N52°57'47"E	50.00
L7	N51°02'57"E	210.73
L8	N26°30'25"W	31.43
L9	N61°45'29"E	50.02
L10	S26°30'25"E	32.95
L11	N51°02'57"E	262.32
L12	S39°12'24"E	50.00
L13	S39°13'45"E	124.31
L14	S46°12'41"E	100.41

BOUNDARY LINE TABLE		
LINE #	BEARING	LENGTH
L15	S57°49'57"E	95.11
L16	S63°08'31"E	381.44
L17	S51°14'19"E	189.37
L18	S39°33'27"E	61.00
L19	S01°14'55"W	322.72
L20	S28°27'00"W	98.29
L21	S27°19'07"W	53.17
L22	S18°13'31"W	162.46
L23	S17°10'03"W	173.34
L24	S13°02'35"W	116.11
L25	S18°04'38"W	155.58
L26	S38°26'04"E	190.32
L27	S38°38'00"E	163.03
L28	S89°29'06"W	25.21

BOUNDARY CURVE TABLE				
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING
C1	1967.50	5°48'28"	199.44	N 03°40'08" W
C2	657.50	62°54'02"	721.82	N 38°01'24" W
C3	75.00	214°23'01"	280.63	N 17°45'49" W
C4	520.84	8°28'11"	76.99	N 23°06'02" E
C5	500.00	1°41'50"	14.81	N 60°47'28" W
C6	550.00	1°42'58"	16.47	S 60°46'54" E
C7	503.20	12°05'31"	106.20	N 38°26'50" E
C8	800.00	1°18'35"	18.29	N 37°41'30" W
C9	750.00	0°59'45"	13.04	S 37°32'05" E
C10	825.00	2°41'12"	38.68	N 27°51'01" W
C11	775.00	2°03'01"	27.73	S 27°31'56" E



VICINITY MAP
N.T.S.

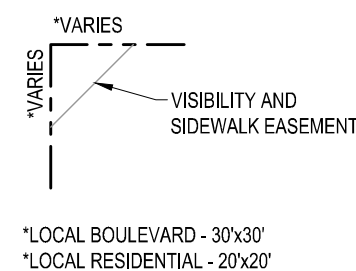


DISCOVERY LAKES, LLC
CALLED 316.315 ACRES
INST. NO. 2015000015193
O.P.R.R.C.T.

EQUESTRIAN ESTATES
CAB. A, PG. 197
P.R.R.C.T.

CENTERLINE CURVE TABLE				
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING
C1	2043.92	0°42'16"	25.13	N 01°07'13" W
C2	2002.49	5°06'38"	178.62	N 04°01'40" W
C3	700.00	23°52'32"	291.70	N 18°30'39" W
C4	700.00	39°01'30"	476.78	N 49°57'40" W
C5	500.00	11°03'56"	96.57	N 24°25'56" E
C6	500.00	17°07'35"	149.46	N 38°31'41" E
C7	250.00	19°54'26"	86.86	N 69°14'35" E
C8	1525.00	19°20'58"	515.01	N 88°52'17" E
C9	1525.00	1°55'29"	51.23	S 80°29'30" E
C10	725.00	3°01'22"	38.25	N 81°05'43" W
C11	125.00	77°27'46"	169.00	N 50°30'12" E
C12	125.00	96°13'37"	209.93	N 36°20'29" W
C13	800.00	53°45'20"	750.57	N 57°34'38" W
C14	800.00	4°11'32"	58.54	N 28°36'12" W
C15	525.00	4°21'38"	39.95	N 59°27'35" W
C16	250.00	5°43'53"	25.01	S 40°02'35" E
C17	500.00	3°57'29"	34.54	N 49°04'13" E

CENTERLINE LINE TABLE		
LINE #	LENGTH	BEARING
L1	286.42	N00°45'55"W
L2	159.71	N06°34'23"W
L3	96.43	N89°28'25"W
L4	123.20	N18°53'58"E
L5	220.91	N51°02'57"E
L6	291.98	N51°02'57"E
L7	235.32	N89°14'05"E
L8	561.29	N11°46'19"E
L9	243.60	N11°46'19"E
L10	32.19	S26°30'25"E
L11	178.52	S79°35'02"E
L12	13.20	S42°54'31"E



TYPICAL VISIBILITY AND SIDEWALK EASEMENT

COMPLIANCE WITH PD ORDINANCE 20-27		
	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	428 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 11,137 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 45 LOTS TYPE B: 165/428 = 38% OF TOTAL LOTS TYPE C: 218/428 = 51% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	1.39 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	102.9/307.18 = 33.5%

OWNER
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

PROJECT INFORMATION
Project No.: SBD20370
Date: October 6, 2020
Drawn By: GS9
Scale: 1"=100'
SHEET 1 of 1

CASE NO. P2020-040

LOT TABLE			
LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	A	34093.34	0.78
2	A	33959.22	0.78
3	A	36278.41	0.83
4	A	46428.48	1.07
5	A	33670.18	0.77
6	A	34200.82	0.79
7	A	34396.39	0.79
8	A	34165.50	0.78
9	A	9606.86	0.22

* EROSION HAZARD SETBACK

LOT TABLE			
LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	B	44878.74	1.03
2	B	45349.71	1.04
3	B	49845.42	1.14
4	B	47154.60	1.08
5	B	40113.77	0.92

LOT TABLE			
LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	C	44604.38	1.02
2	C	44577.22	1.02
3	C	46005.76	1.06
4	C	44652.85	1.03
5	C	43679.38	1.00
6	C	46451.03	1.07
7	C	45628.60	1.05
8	C	45788.43	1.05
9	C	45430.20	1.04
10	C	1936.50	0.05

* ROUNDABOUT LANDSCAPE ISLAND

LOT TABLE			
LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	D	33231.76	0.76
2	D	33237.58	0.76
3	D	41101.79	0.94
4	D	32960.70	0.76
5	D	32807.48	0.75
6	D	32398.47	0.74
7	D	32713.07	0.75
8	D	33076.07	0.76
9	D	34964.58	0.80
10	D	13687.74	0.31

* EROSION HAZARD SETBACK

LEGEND
NTS - NOT TO SCALE
R.O.W. - RIGHT OF WAY
INST. - INSTRUMENT
CAB. - CABINET
VOL. - VOLUME
NO. - NUMBER
PG. - PAGE
SF - SQUARE FEET
AC - ACRES
* B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
W.E. - WATER EASEMENT
U.E. - UTILITY EASEMENT
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
P.R.R.C.T.-PLAT RECORDS ROCKWALL COUNTY TEXAS

PRELIMINARY PLAT

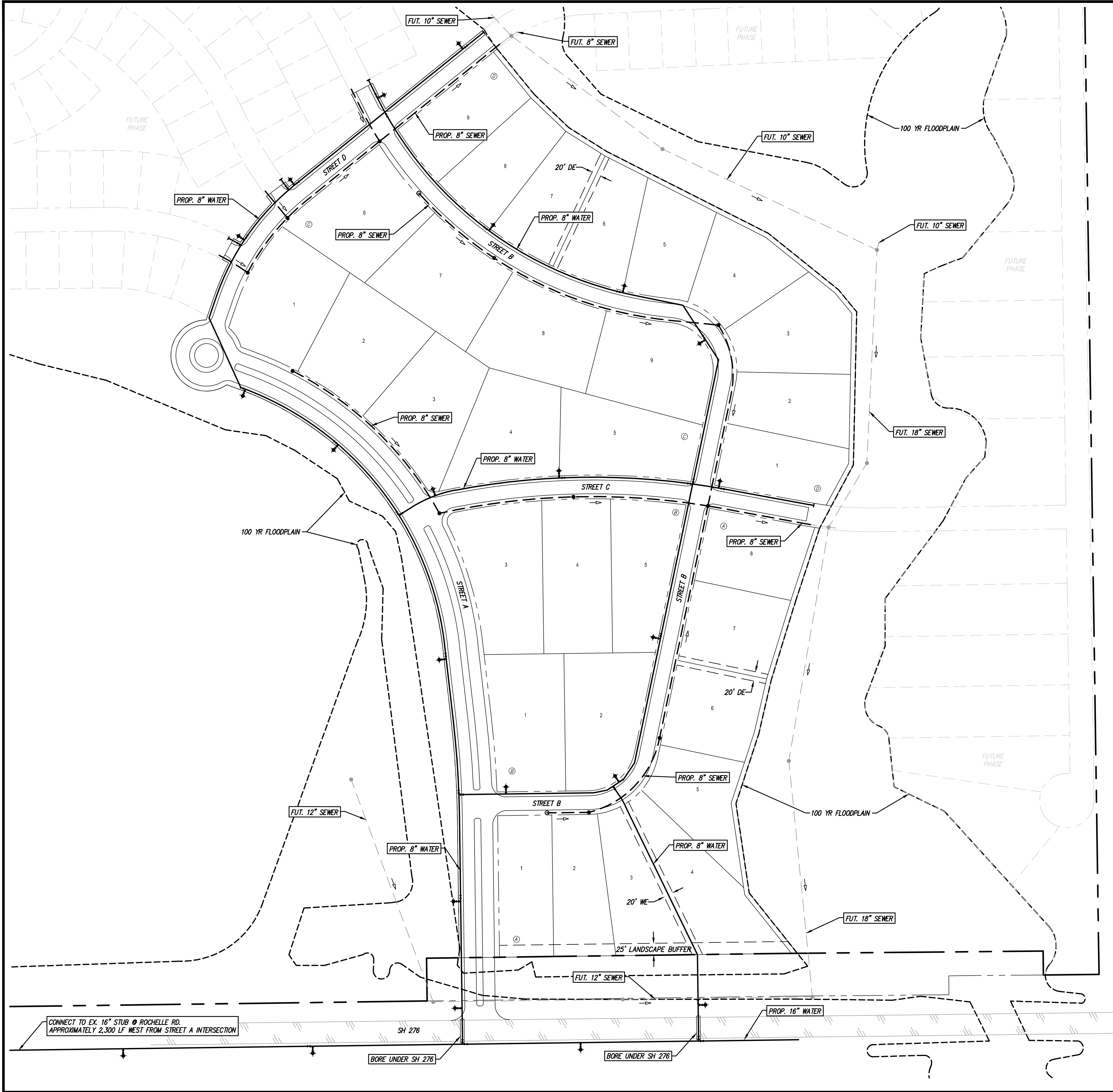
Discovery Lakes Phase 1

31 RESIDENTIAL LOTS
1,586,455.20 SQUARE FEET
36.42 ACRES GROSS

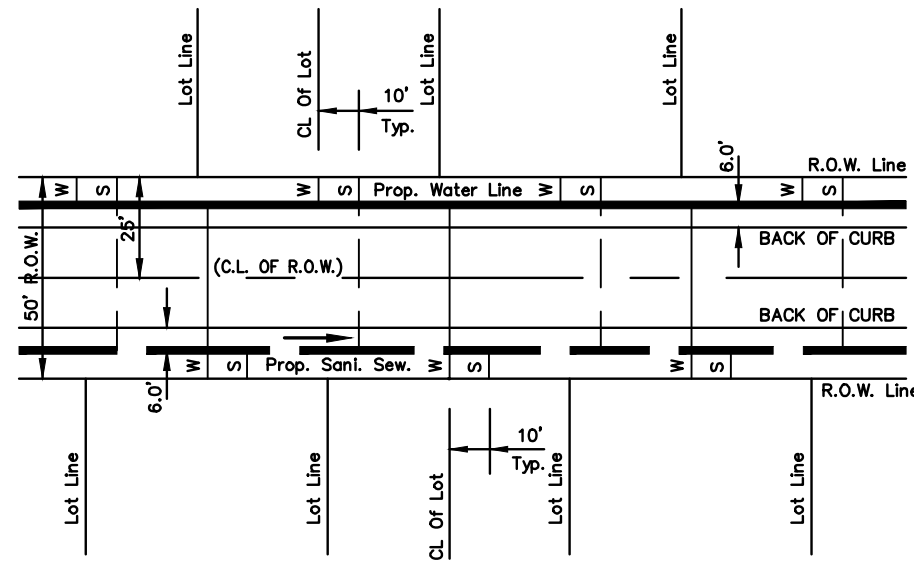
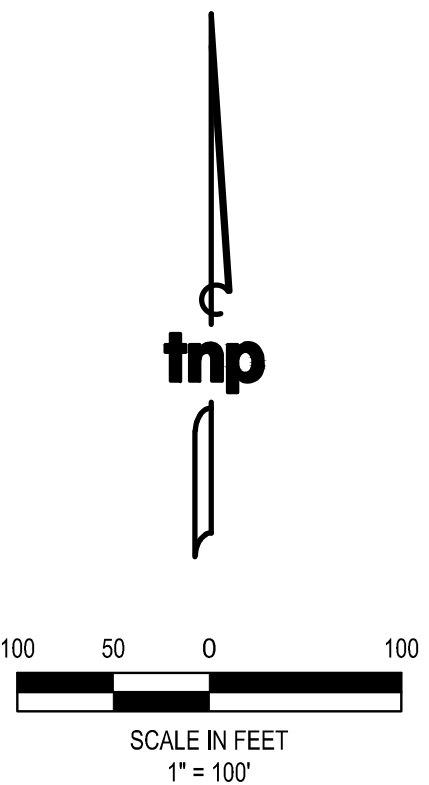
BEING A PORTION OF A TRACT OF LAND SITUATED IN
THE M.E. HAWKINS SURVEY, ABSTRACT NO. 100 AND
THE ROBERT K. BRISCOE SURVEY, ABSTRACT NO. 16
IN THE CITY OF ROCKWALL, ROCKWALL COUNTY
TEXAS



ENGINEER
TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnppinc.com
TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381
GBPE: PEF007431; TBAE: BR 2673



NOTE: PER PD-78 ALL TYPE A LOTS W/MIN 32,670 SF (0.75 AC.) SHALL HAVE TEMPORARY OSSF THAT CONFORM TO TCEQ STANDARDS. SANITARY SEWER MAINS, LATERALS AND LOT SERVICES WILL BE PROVIDED DURING CONSTRUCTION OF PHASE 1 AS SHOWN. ALL LOTS WILL DISCONNECT FROM OSSF AND CONNECT TO LOT SERVICES WHEN FUTURE OFFSITE SANITARY SEWER IS MADE AVAILABLE.



TYPICAL WATER & SEWER DETAIL
NT&

Preliminary Water & Sewer Plan
31 Residential Lots

Discovery Lakes Phase 1

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

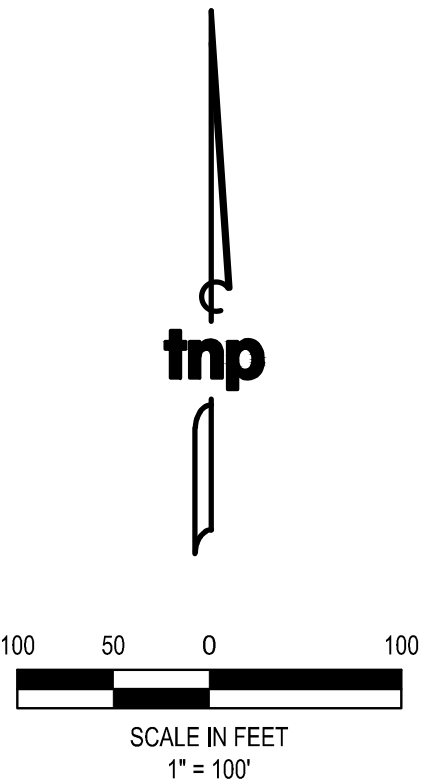
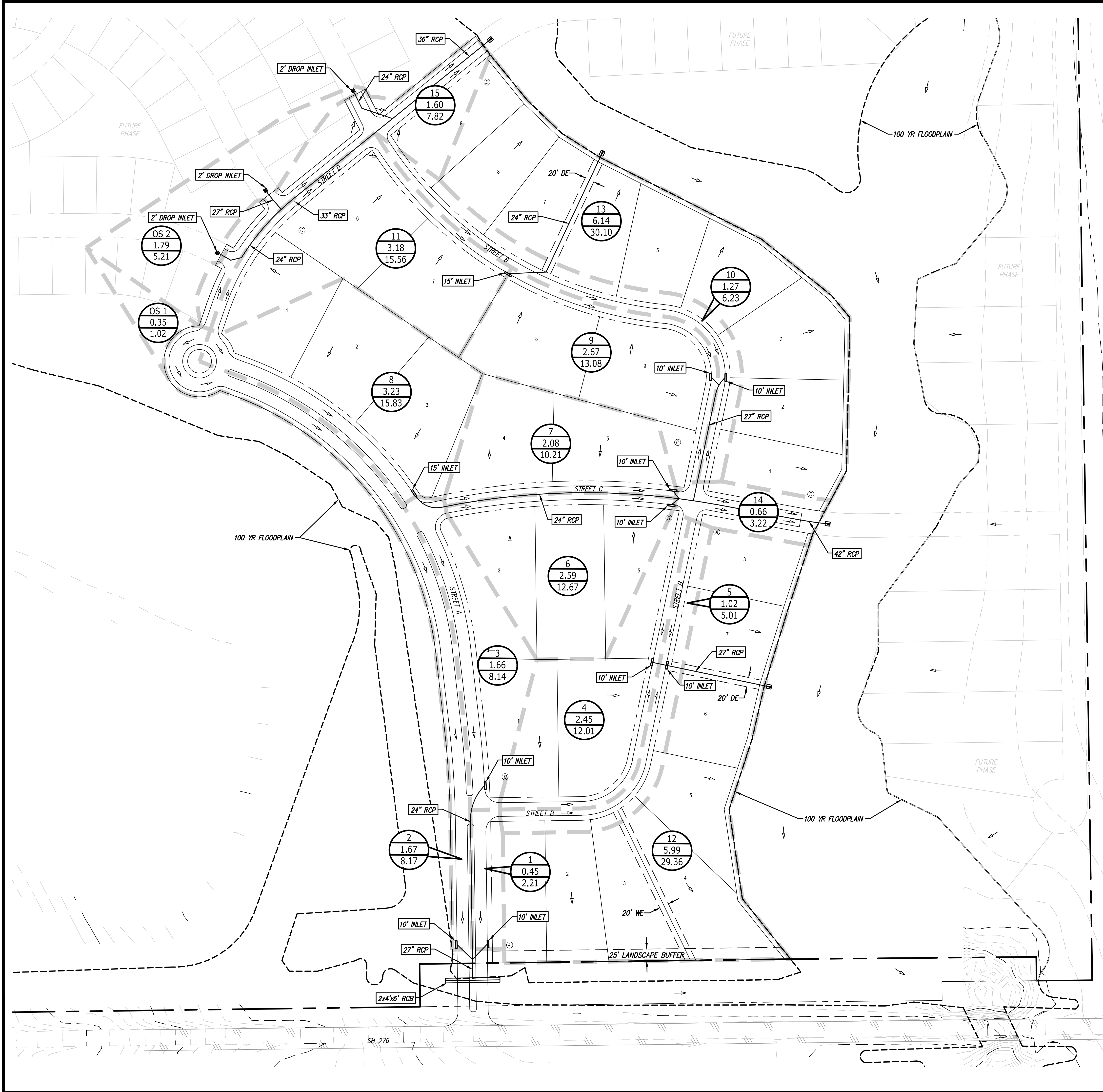


teague nall & perkins
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
TBPE Registration No. F-230
www.tnpinc.com

PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
Drawn By: CAS
Scale: 1"=100'

SHEET 1 of 1

CASE NO. P2020-040



LEGEND

- DRAINAGE DIVIDE
- 100 YR FLOODPLAIN
- DRAINAGE AREA
- AREA, ACRES
- 100 YR RUNOFF, CFS
- FLOW DIRECTION
- EX CONTOURS

DRAINAGE AREA CALCULATIONS						
Drainage Area No.	Time of Conc. (min.)	Intensity I ₁₀₀ (in/hr)	Runoff Coefficient C	Area (ac.)	Q ₁₀₀ (cfs)	Remarks
1	10	9.80	0.50	0.45	2.21	FLows TO STORM INLET
2	10	9.80	0.50	1.67	8.17	FLows TO STORM INLET
3	10	9.80	0.50	1.66	8.14	FLows TO STORM INLET
4	10	9.80	0.50	2.45	12.01	FLows TO STORM INLET
5	10	9.80	0.50	1.02	5.01	FLows TO STORM INLET
6	10	9.80	0.50	2.59	12.67	FLows TO STORM INLET
7	10	9.80	0.50	2.08	10.21	FLows TO STORM INLET
8	10	9.80	0.50	3.23	15.83	FLows TO STORM INLET
9	10	9.80	0.50	2.67	13.08	FLows TO STORM INLET
10	10	9.80	0.50	1.27	6.23	FLows TO STORM INLET
11	10	9.80	0.50	3.18	15.56	FLows TO STORM INLET
12	10	9.80	0.50	5.99	29.36	FLows TO CREEK
13	10	9.80	0.50	6.14	30.10	FLows TO CREEK
14	10	9.80	0.50	1.57	7.71	FLows TO CREEK
15	10	9.80	0.50	1.60	7.82	FLows TO CREEK
OS 1	20	8.30	0.35	1.79	5.21	FLows TO DRAINAGE AREA 2
OS 2	20	8.30	0.35	0.35	1.02	FLows TO DROP INLETS
TOTAL				39.72	190.34	

Preliminary Drainage Area Map
31 Residential Lots

Discovery Lakes Phase 1

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

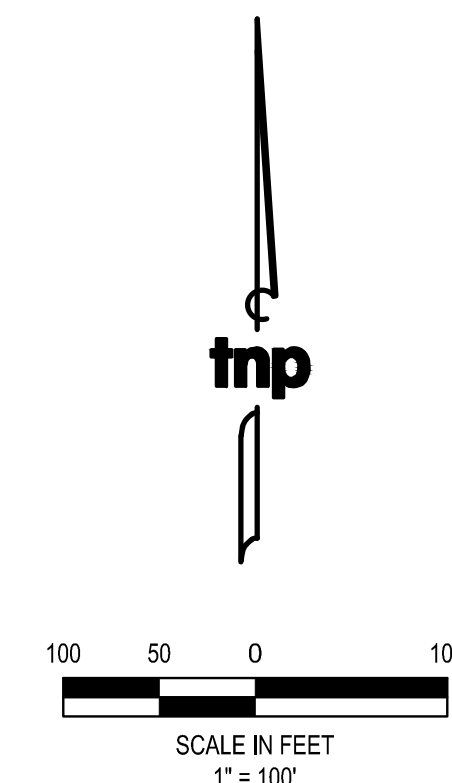
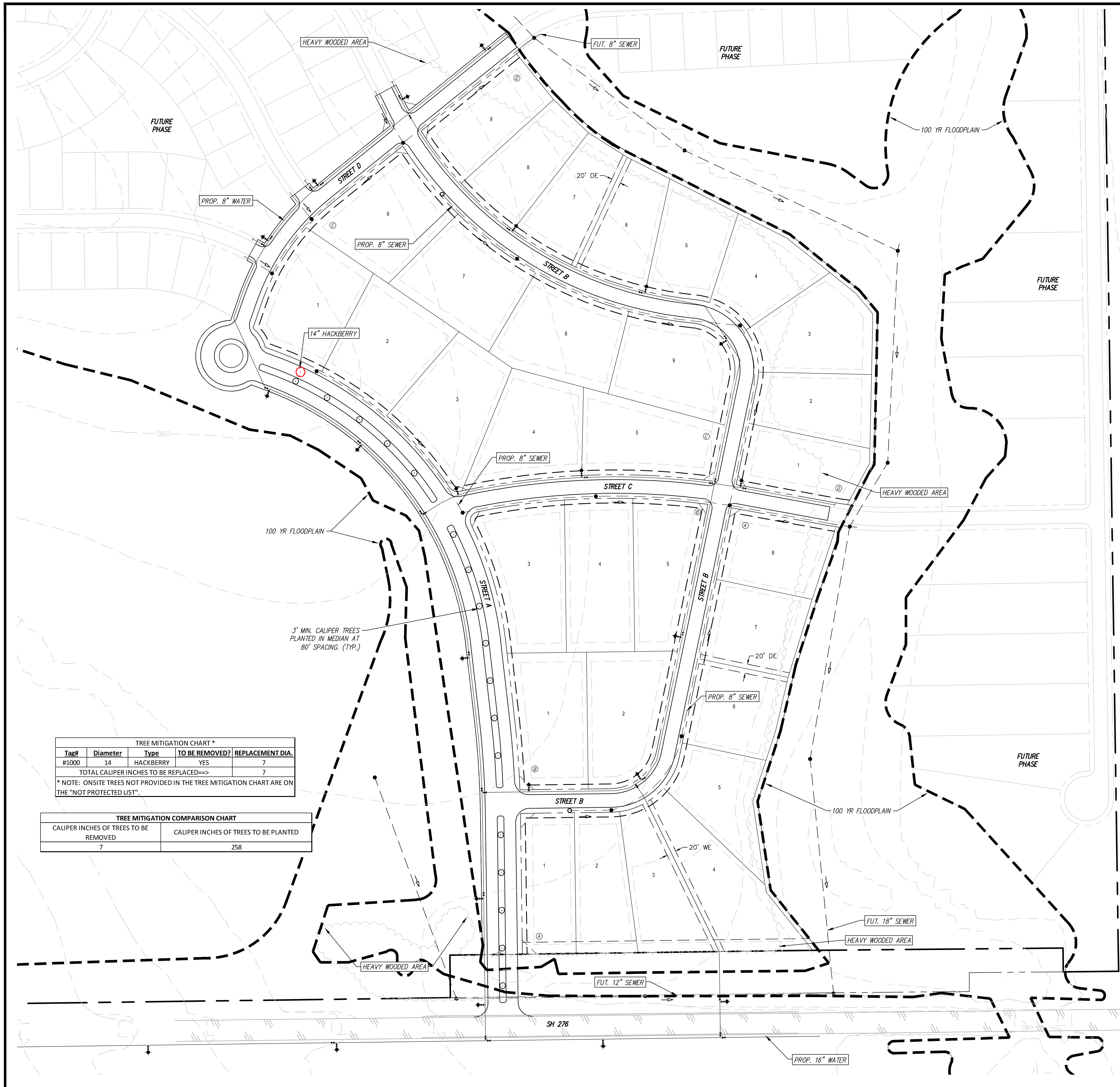


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PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
Drawn By: CAS
Scale: 1"=100'

SHEET 1 of 1

CASE NO. P2020-040



LEGEND

	PROP. WATER LINE
	PROP. FIRE HYDRANT ASSEMBLY
	PROP. VALVE
	PROP. SANITARY SEWER LINE
	PROP. SANITARY SEWER MANHOLE
	MAJOR CONTOUR
	BUILDING SETBACKS
	FLOOD PLAIN
	TREE LINE
	PROP. TREES
	TREES TO BE REMOVED

TREE MITIGATION NOTE

1. THERE WILL BE A MINIMUM OF TWO, THREE INCH (3") CALIPER TREES PLANTED ON EACH RESIDENTIAL LOT IN ADDITION TO TWO, THREE INCH (3") CALIPER TREES PLANTED IN EACH CORNER LOT FOR A SUM TOTAL OF (2*3+3+1+186") + (2*3+12+72) 266" TO BE PLANTED WITHIN PHASE 1 OF THE DEVELOPMENT. ALL PLANTED TREES ARE TO BE FROM THE LIST OF CANOPY AND ACCENT TREES PROVIDED IN ARTICLE 8, LANDSCAPE STANDARDS, OF THE UNIFIED DEVELOPMENT CODE (UDC).

2. EXISTING ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".

3. ALL LOT PADS WITHIN PHASE 1 ADJACENT TO THE FLOOD PLAIN SHALL BE CUSTOMER AND BE CONSTRUCTED TO THE BUYER. DRAINAGE PLANS WILL BE DESIGNED TO PREVENT GRADING WITHIN THE HEAVY WOODED AREA.

TREE MITIGATION CHART *				
Tag#	Diameter	Type	TO BE REMOVED?	REPLACEMENT DIA.
#1000	14	HACKBERRY	YES	7
TOTAL CALIPER INCHES TO BE REPLACED==>				7

* NOTE: ONSITE TREES NOT PROVIDED IN THE TREE MITIGATION CHART ARE ON THE "NOT PROTECTED LIST".

TREE MITIGATION COMPARISON CHART	
CALIPER INCHES OF TREES TO BE REMOVED	CALIPER INCHES OF TREES TO BE PLANTED
7	258

OWNER:
DISCOVERY LAKES, LLC
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

Treescape Plan
31 Residential Lots

Discovery Lakes Phase 1

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

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PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
Drawn By: CAS
Scale: 1"=100'

SHEET 1 of 1



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 2, 2020
APPLICANT: Cameron Slown; *Teague, Nall & Perkins, Inc.*
CASE NUMBER: P2020-040; *Preliminary Plat for Phase 1 of the Discover Lakes Addition*

SUMMARY

Discuss and consider a request by Cameron Slown, PE of Teague, Nall & Perkins, Inc. on behalf of the Nick DiGiuseppe of Discovery Lakes, LLC for the approval of a Preliminary Plat for Phase 1 of the Discovery Lakes Subdivision consisting of 31 single-family residential lots on a 36.42-acre tract of land identified as a portion of Tract 1 of the M. E. Hawkins Survey, Abstract No. 100, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District, generally located on the north side of SH-276 east of the intersection of SH-276 and Rochelle Road, and take any action necessary.

PLAT INFORMATION

- ☒ The purpose of the applicant's submittal is to *Preliminary Plat* the first phase of the Discovery Lakes Subdivision, which will consist of 31 single-family residential lots on an approximately 36.42-acre tract of land. The Discovery Lakes Subdivision as a whole is a master planned community that will be comprised 428 single-family residential lots on a 307.18-acres tract of land, of which 102.9-acres (i.e. 33.5%) will be reserved for open space. This development is to be constructed in nine (9) phases and will consist of three (3) lot types (*outline in the Lot Composition table below*). Phase 1 will consist of 31, *Type 'A' Lots* that will be a minimum 80' x 200' or 32,670 SF. In addition to the preliminary plat, the applicant has also submitted preliminary drainage, water, sewer, and a treescape plans showing how the development can be adequately served. The following is the proposed lot composition of the Discovery Lakes Subdivision:

LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	80' x 200'	32,670 SF	45	10.51%
B	70' x 110'	7,700 SF	177	41.36%
C	60' x 110'	6,600 SF	206	48.13%

Maximum Permitted Units:

428

100.00%

- ☒ The subject property was annexed by the City Council on June 15, 1998 by Ordinance No. 98-20. On July 5, 2005, the City Council approved Ordinance No. 05-29 [Case No. Z2005-021] changing the zoning from an Agricultural (AG) District to a Light Industrial (LI) District. On August 17, 2015, the zoning designation of the subject property was again changed by Ordinance No. 15-24 [Case No. Z2015-016] from a Light Industrial (LI) District to Planned Development District 78 (PD-78) for Single-Family 10 (SF-10) District and limited General Retail (GR) District land uses. On August 3, 2020, the City Council approved an amendment to Planned Development District 78 (PD-78) through Ordinance No. 20-27 [Case No. Z2020-024] allowing for the reduction in the number of single-family residential lots from 507 to 428 (i.e. a decrease of the *Type 'A' Lots* by 76 and *Type 'C' Lots* by 53, and an increase in the *Type 'B' Lots* by 50), which represented a reduction in the overall density from 1.65 dwelling units per acre to 1.40 dwelling units per acre. This zoning change also changed the *Type 'A' Lots* from a minimum of 9,600 SF to 32,670 SF.
- ☒ On October 6, 2020 the Parks and Recreation Board reviewed the preliminary plat and made the following recommendations concerning the proposed project (*which is located within Park District No. 31*):

- (1) The developer shall pay pro-rata equipment fees of \$11,253.00 (*i.e. \$363.00 x 31 lots*) to be paid at the time of final plat.
 - (2) The developer shall pay cash in lieu of land fees of \$11,873.00 (*i.e. \$383.00 x 31 lots*) to be paid at the time of final plat.
- ☑ The purpose of the preliminary plat is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with the OURHometown Vision 2040 Comprehensive Plan, the Unified Development Code (UDC), the Master Thoroughfare Plan, and the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. The proposed preliminary plat appears to meet the intent of these requirements.
 - ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
 - ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
 - ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the Preliminary Plat for Phase 1 of the *Discover Lakes Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans.
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On October 27, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Preliminary Plat with the conditions of approval by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2020-040

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
☒ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ (200+36.42*15=\$746.30)
☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
☐ Replat (\$300.00 + \$20.00 Acre) ¹
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre) ¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
☐ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	none		
Subdivision	Discovery Lakes, Phase 1	Lot	Block
General Location	36.42 Acres out of the 307 Acre Tract near the NE corner of SH 276 and Rochelle Road		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-78		Current Use	None	
Proposed Zoning	PD-78		Proposed Use	Single Family Residential	
Acreage	36.42	Lots [Current]	1	Lots [Proposed]	31

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	Discovery Lakes, LLC	<input checked="" type="checkbox"/> Applicant	Teague, Nall & Perkins, Inc.
Contact Person	Nick DiGiuseppe	Contact Person	Cameron Slown
Address	15400 Knoll Trail Drive Suite 230	Address	825 Watters Creek Blvd. Suite M300
City, State & Zip	Dallas, Texas 75248	City, State & Zip	Allen, Texas 75013
Phone	972-960-9941	Phone	817-889-5050
E-Mail	southbrookinvestments@outlook.com	E-Mail	cslown@tnpinc.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Nick DiGiuseppe [Owner] the undersigned, who stated the information on this application to be true and certified the following:

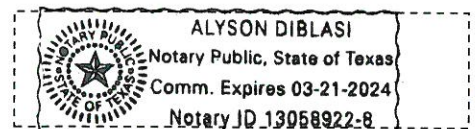
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$746.30, to cover the cost of this application, has been paid to the City of Rockwall on this the 17th day of September, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17th day of September, 20 20.

Owner's Signature

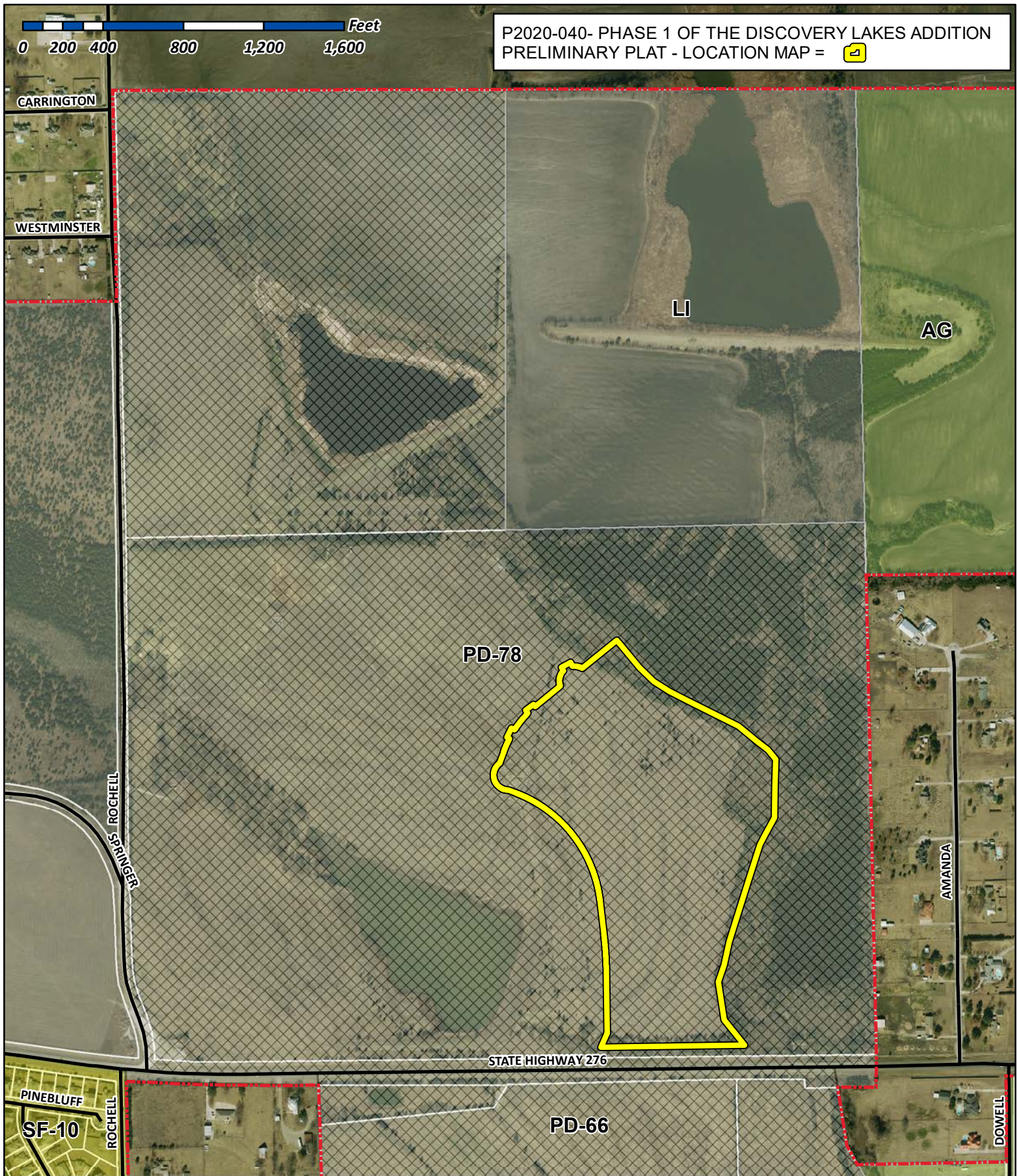
Notary Public in and for the State of Texas

Alyson DiBlasi



My Commission Expires

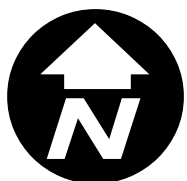
03-21-2024



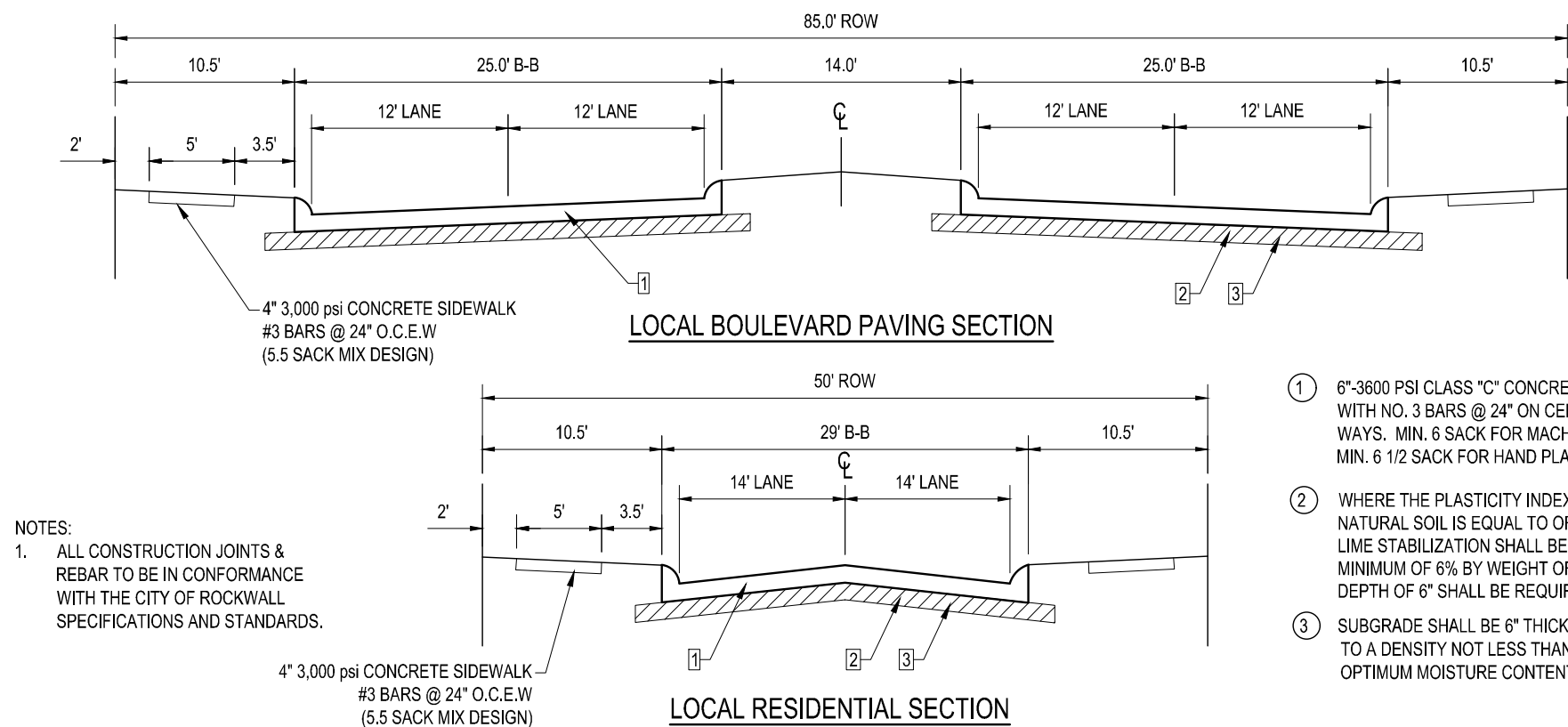
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Drawing: P:\PROJECTS\SBD20370\CAO\PRELIMINARY DESIGN\SBD20370-PRE-PLAT.dwg at Oct 06, 2020-8:07am by gshoner



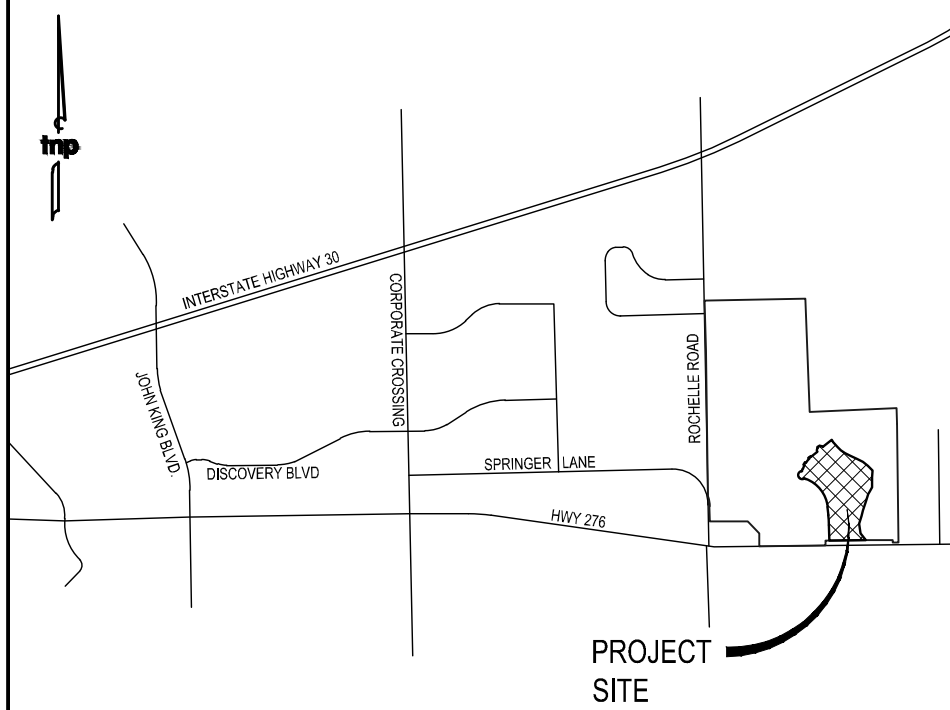
NOTES:
1. ALL CONSTRUCTION JOINTS & REBAR TO BE IN CONFORMANCE WITH THE CITY OF ROCKWALL SPECIFICATIONS AND STANDARDS.

- 6"-3600 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 3 BARS @ 24" ON CENTERS BOTH WAYS. MIN. 6 SACK FOR MACHINE PLACED MIN. 6 1/2 SACK FOR HAND PLACED
- WHERE THE PLASTICITY INDEX OF THE NATURAL SOIL IS EQUAL TO OR EXCEEDS 15, LIME STABILIZATION SHALL BE REQUIRED. A MINIMUM OF 6% BY WEIGHT OF LIME TO A DEPTH OF 6" SHALL BE REQUIRED.
- SUBGRADE SHALL BE 6" THICK AND COMPACTED TO A DENSITY NOT LESS THAN 95% AT 0%-4% OF OPTIMUM MOISTURE CONTENT.

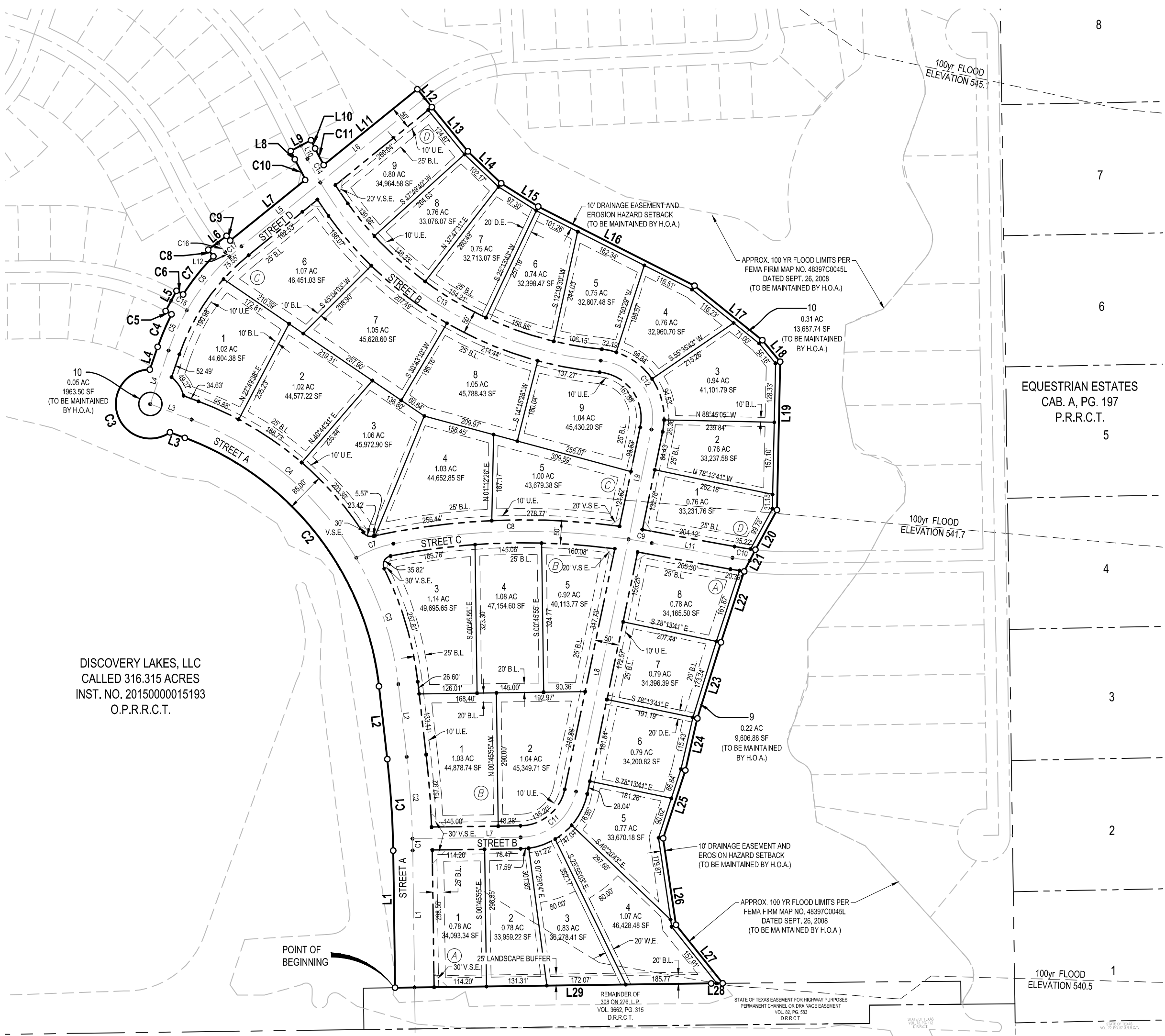
BOUNDARY LINE TABLE		
LINE #	BEARING	LENGTH
L1	N00°45'55"W	286.42
L2	N06°34'23"W	159.71
L3	N89°28'25"W	34.63
L4	N18°53'58"E	52.49
L5	N28°21'31"E	50.00
L6	N52°57'47"E	50.00
L7	N51°02'57"E	210.73
L8	N26°30'25"W	31.43
L9	N61°45'29"E	50.02
L10	S26°30'25"E	32.95
L11	N51°02'57"E	262.32
L12	S39°12'24"E	50.00
L13	S39°13'45"E	124.31
L14	S46°12'41"E	100.41

BOUNDARY LINE TABLE		
LINE #	BEARING	LENGTH
L15	S57°49'57"E	95.11
L16	S63°08'31"E	381.44
L17	S51°14'19"E	189.37
L18	S39°33'27"E	61.00
L19	S01°14'55"W	322.72
L20	S28°27'00"W	98.29
L21	S27°19'07"W	53.17
L22	S18°13'31"W	162.46
L23	S17°10'03"W	173.34
L24	S13°02'35"W	116.11
L25	S18°04'38"W	155.58
L26	S38°26'04"E	190.32
L27	S38°38'00"E	163.03
L28	S89°29'06"W	25.21

BOUNDARY CURVE TABLE				
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING
C1	1967.50'	5°48'28"	199.44'	N 03°40'08" W
C2	657.50'	62°54'02"	721.82'	N 38°01'24" W
C3	75.00'	214°23'01"	280.63'	N 17°45'49" W
C4	520.84'	8°28'11"	76.99'	N 23°06'02" E
C5	500.00'	1°41'50"	14.81'	N 60°47'28" W
C6	550.00'	1°42'58"	16.47'	S 60°46'54" E
C7	503.20'	12°05'31"	106.20'	N 38°26'50" E
C8	800.00'	1°18'35"	18.29'	N 37°41'30" W
C9	750.00'	0°59'45"	13.04'	S 37°32'05" E
C10	825.00'	2°41'12"	38.68'	N 27°51'01" W
C11	775.00'	2°03'01"	27.73'	S 27°31'56" E



VICINITY MAP
N.T.S.

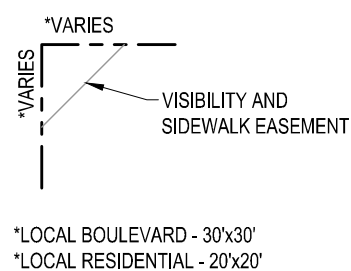


DISCOVERY LAKES, LLC
CALLED 316.315 ACRES
INST. NO. 2015000015193
O.P.R.R.C.T.

EQUESTRIAN ESTATES
CAB. A, PG. 197
P.R.R.C.T.

CENTERLINE CURVE TABLE				
CURVE #	RADIUS	DELTA	ARC LENGTH	CHORD BEARING
C1	2043.92'	0°42'16"	25.13'	N 01°07'13" W
C2	2002.49'	5°06'38"	178.62'	N 04°01'40" W
C3	700.00'	23°52'32"	291.70'	N 18°30'39" W
C4	700.00'	39°01'30"	476.78'	N 49°57'40" W
C5	500.00'	11°03'56"	96.57'	N 24°25'56" E
C6	500.00'	17°07'35"	149.46'	N 38°31'41" E
C7	250.00'	19°54'26"	86.86'	N 69°14'35" E
C8	1525.00'	19°20'58"	515.01'	N 88°52'17" E
C9	1525.00'	1°55'29"	51.23'	S 80°29'30" E
C10	725.00'	3°01'22"	38.25'	N 81°05'43" W
C11	125.00'	77°27'46"	169.00'	N 50°30'12" E
C12	125.00'	96°13'37"	209.93'	N 36°20'29" W
C13	800.00'	53°45'20"	750.57'	N 57°34'38" W
C14	800.00'	4°11'32"	58.54'	N 28°36'12" W
C15	525.00'	4°21'38"	39.95'	N 59°27'35" W
C16	250.00'	5°43'53"	25.01'	S 40°02'35" E
C17	500.00'	3°57'29"	34.54'	N 49°04'13" E

CENTERLINE LINE TABLE		
LINE #	LENGTH	BEARING
L1	286.42	N00°45'55"W
L2	159.71	N06°34'23"W
L3	96.43	N89°28'25"W
L4	123.20	N18°53'58"E
L5	220.91	N51°02'57"E
L6	291.98	N51°02'57"E
L7	235.32	N89°14'05"E
L8	561.29	N11°46'19"E
L9	243.60	N11°46'19"E
L10	32.19	S26°30'25"E
L11	178.52	S79°35'02"E
L12	13.20	S42°54'31"E



TYPICAL VISIBILITY AND SIDEWALK EASEMENT

COMPLIANCE WITH PD ORDINANCE 20-27		
	PD REQUIREMENT	PROVIDED BY MASTER PLAN
TOTAL NUMBER OF RESIDENTIAL LOTS	MAX. 428 LOTS	428 LOTS
AVERAGE LOT SIZE	MIN. 9,700 SF PER LOT	AVERAGE OF 11,137 SF PER LOT
LOT COMPOSITION	TYPE A: MIN. 40 LOTS TYPE B: MIN. 38% OF TOTAL LOTS TYPE C: MAX. 55% OF TOTAL LOTS	TYPE A: 45 LOTS TYPE B: 165/428 = 38% OF TOTAL LOTS TYPE C: 218/428 = 51% OF TOTAL LOTS
RESIDENTIAL DENSITY	MAX. 1.40 LOTS PER GROSS ACRE	1.39 LOTS PER GROSS ACRE
OPEN SPACE	MIN. 20% OF GROSS LAND AREA	102.9/307.18 = 33.5%

OWNER
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

PROJECT INFORMATION
Project No.: SBD20370
Date: October 6, 2020
Drawn By: GS9
Scale: 1"=100'

SHEET 1 of 1

CASE NO. P2020-040

LOT TABLE			
LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	A	34093.34	0.78
2	A	33959.22	0.78
3	A	36278.41	0.83
4	A	46428.48	1.07
5	A	33670.18	0.77
6	A	34200.82	0.79
7	A	34396.39	0.79
8	A	34165.50	0.78
9	A	9606.86	0.22

* EROSION HAZARD SETBACK

LOT TABLE			
LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	B	44878.74	1.03
2	B	45349.71	1.04
3	B	49845.42	1.14
4	B	47154.60	1.08
5	B	40113.77	0.92

LOT TABLE			
LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	C	44604.38	1.02
2	C	44577.22	1.02
3	C	46005.76	1.06
4	C	44652.85	1.03
5	C	43679.38	1.00
6	C	46451.03	1.07
7	C	45628.60	1.05
8	C	45788.43	1.05
9	C	45430.20	1.04
10	C	1936.50	0.05

* ROUNDABOUT LANDSCAPE ISLAND

LOT TABLE			
LOT NO.	BLOCK	LOT AREA (SF)	LOT AREA (ACRES)
1	D	33231.76	0.76
2	D	33237.58	0.76
3	D	41101.79	0.94
4	D	32960.70	0.76
5	D	32807.48	0.75
6	D	32398.47	0.74
7	D	32713.07	0.75
8	D	33076.07	0.76
9	D	34964.58	0.80
10	D	13687.74	0.31

* EROSION HAZARD SETBACK

LEGEND
NTS - NOT TO SCALE
R.O.W. - RIGHT OF WAY
INST. - INSTRUMENT
CAB. - CABINET
VOL. - VOLUME
NO. - NUMBER
PG. - PAGE
SF - SQUARE FEET
AC - ACRES
* B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
W.E. - WATER EASEMENT
U.E. - UTILITY EASEMENT
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
P.R.R.C.T.-PLAT RECORDS ROCKWALL COUNTY TEXAWS

PRELIMINARY PLAT

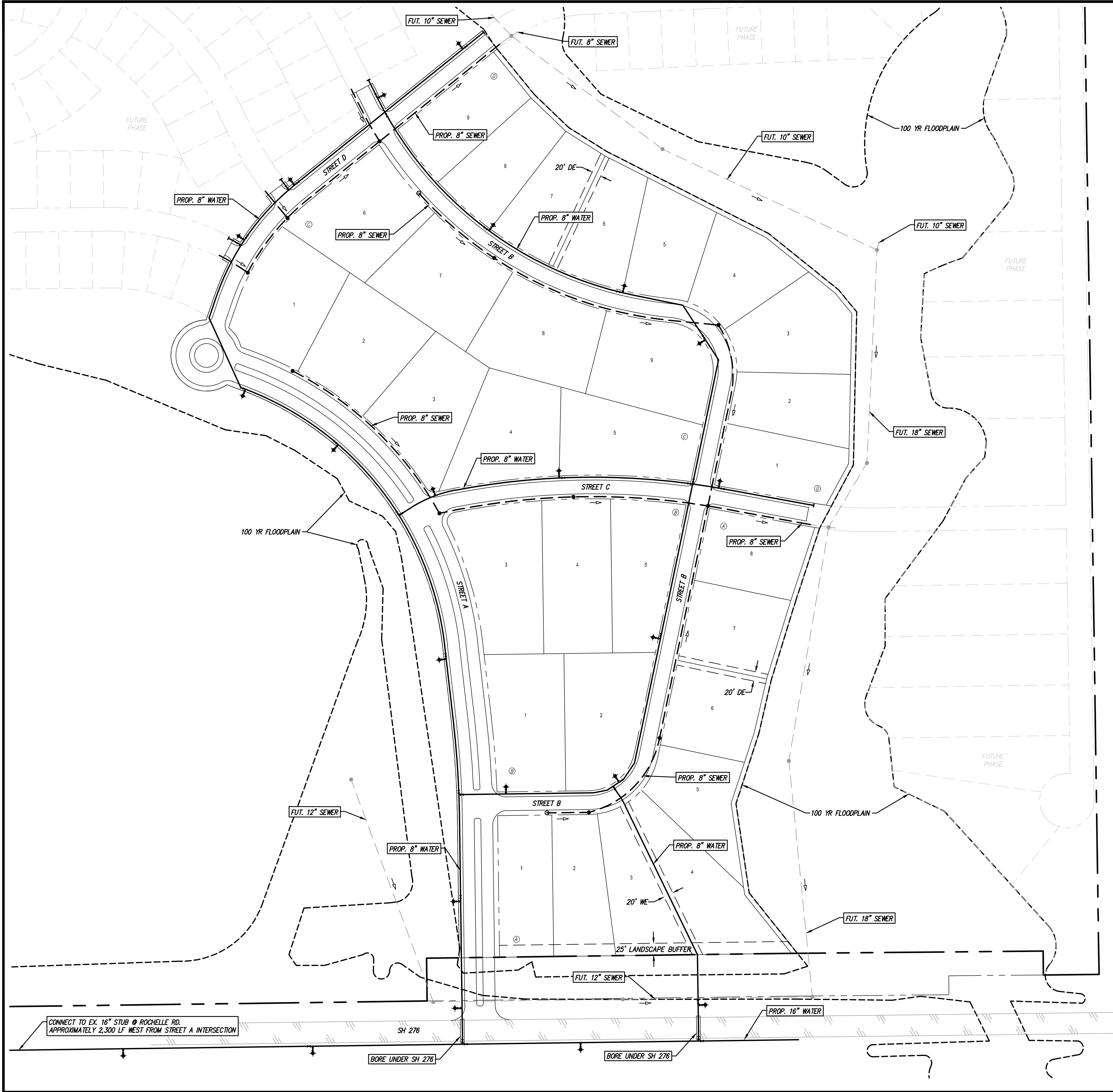
Discovery Lakes Phase 1

31 RESIDENTIAL LOTS
1,586,455.20 SQUARE FEET
36.42 ACRES GROSS

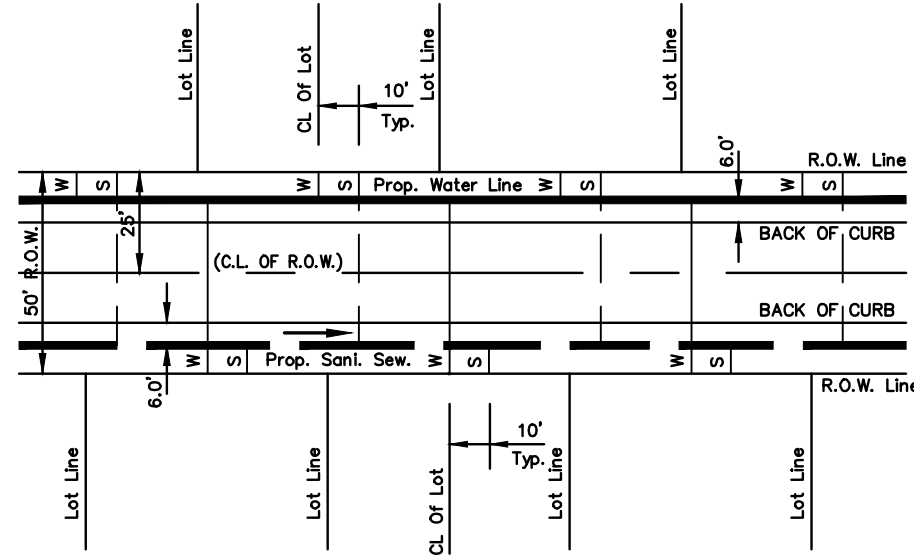
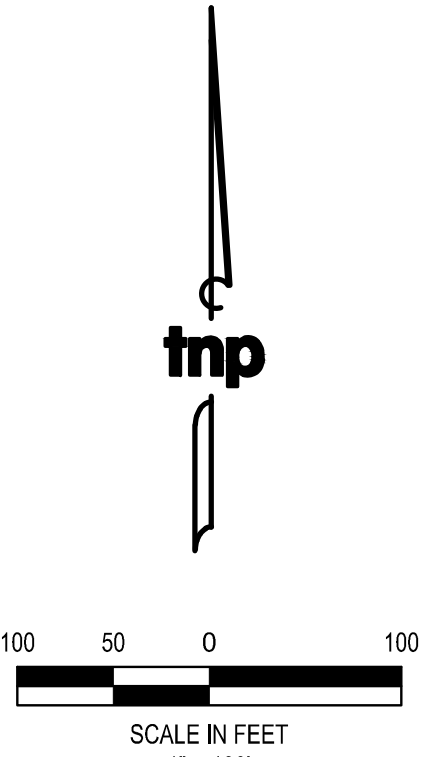
BEING A PORTION OF A TRACT OF LAND SITUATED IN
THE M.E. HAWKINS SURVEY, ABSTRACT NO. 100 AND
THE ROBERT K. BRISCOE SURVEY, ABSTRACT NO. 16
IN THE CITY OF ROCKWALL, ROCKWALL COUNTY
TEXAS



ENGINEER
TEAGUE NALL AND PERKINS, INC.
825 Watters Creek Boulevard, Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnppinc.com
TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381
GBPE: PEF007431; TBAE: BR 2673



NOTE: PER PD-78 ALL TYPE A LOTS W/MIN 32,670 SF (0.75 AC.) SHALL HAVE TEMPORARY OSSF THAT CONFORM TO TCEQ STANDARDS. SANITARY SEWER MAINS, LATERALS AND LOT SERVICES WILL BE PROVIDED DURING CONSTRUCTION OF PHASE 1 AS SHOWN. ALL LOTS WILL DISCONNECT FROM OSSF AND CONNECT TO LOT SERVICES WHEN FUTURE OFFSITE SANITARY SEWER IS MADE AVAILABLE.



TYPICAL WATER & SEWER DETAIL
NT&

Preliminary Water & Sewer Plan
31 Residential Lots

Discovery Lakes Phase 1

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas

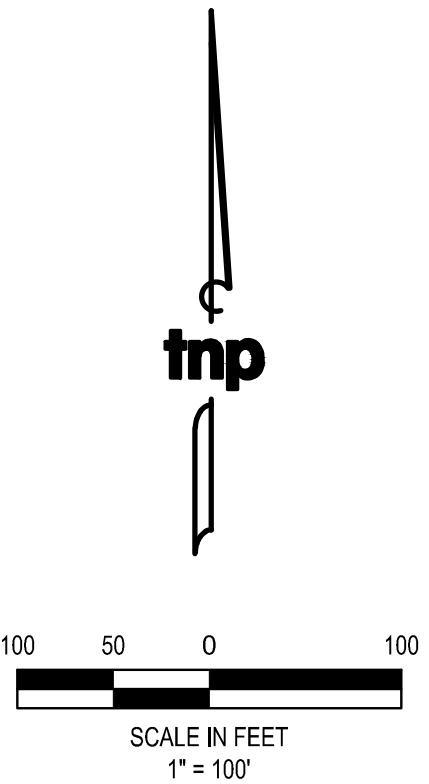
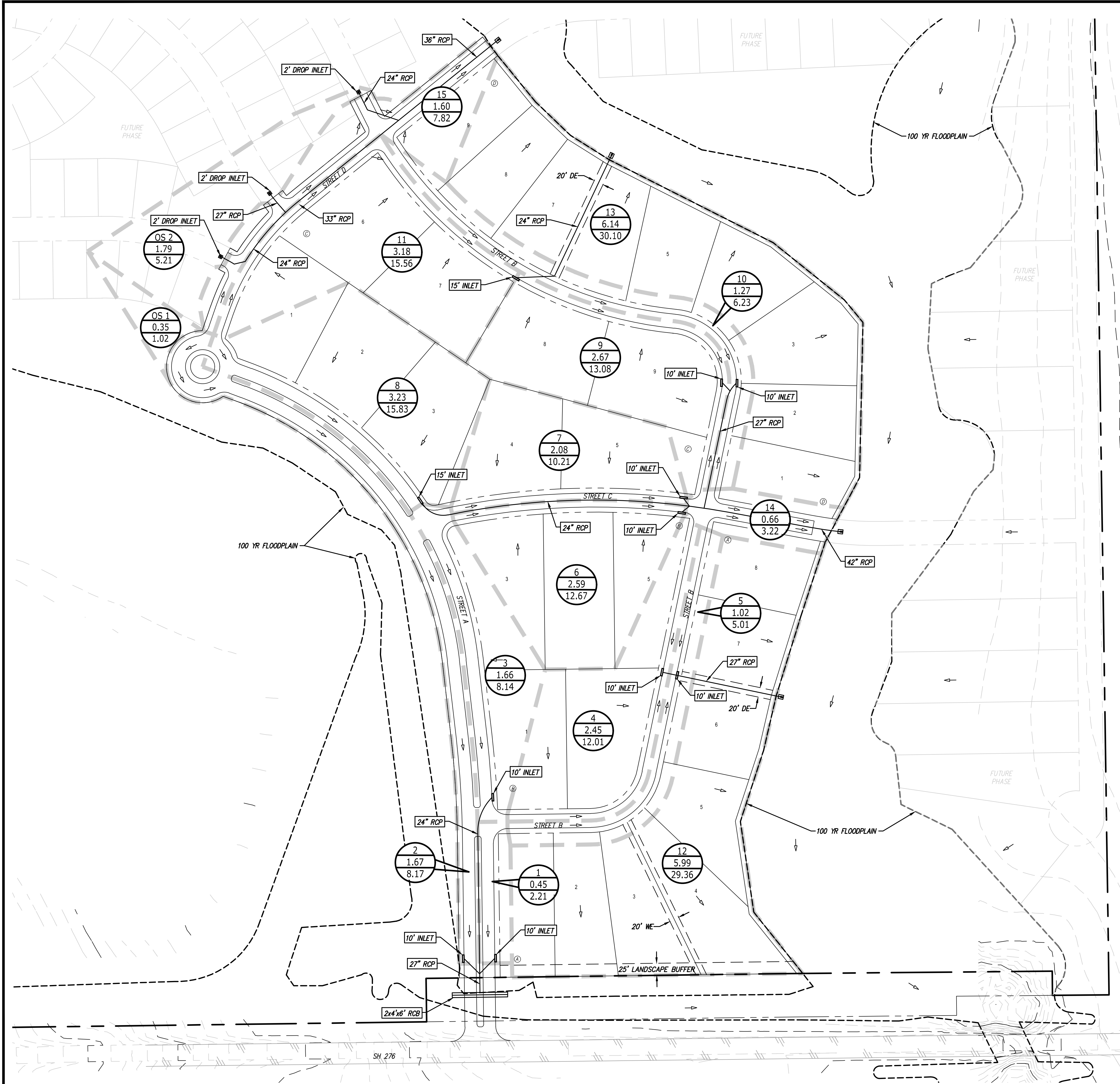


teague nall & perkins
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
TBPE Registration No. F-230
www.tnpinc.com

PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
Drawn By: CAS
Scale: 1"=100'

SHEET 1 of 1

CASE NO. P2020-040



LEGEND

- DRAINAGE DIVIDE
- 100 YR FLOODPLAIN
- DRAINAGE AREA
- AREA, ACRES
- 100 YR RUNOFF, CFS
- FLOW DIRECTION
- EX CONTOURS

DRAINAGE AREA CALCULATIONS						
Drainage Area No.	Time of Conc. (min.)	Intensity I ₁₀₀ (in/hr)	Runoff Coefficient C	Area (ac.)	Q ₁₀₀ (cfs)	Remarks
1	10	9.80	0.50	0.45	2.21	FLOWS TO STORM INLET
2	10	9.80	0.50	1.67	8.17	FLOWS TO STORM INLET
3	10	9.80	0.50	1.66	8.14	FLOWS TO STORM INLET
4	10	9.80	0.50	2.45	12.01	FLOWS TO STORM INLET
5	10	9.80	0.50	1.02	5.01	FLOWS TO STORM INLET
6	10	9.80	0.50	2.59	12.67	FLOWS TO STORM INLET
7	10	9.80	0.50	2.08	10.21	FLOWS TO STORM INLET
8	10	9.80	0.50	3.23	15.83	FLOWS TO STORM INLET
9	10	9.80	0.50	2.67	13.08	FLOWS TO STORM INLET
10	10	9.80	0.50	1.27	6.23	FLOWS TO STORM INLET
11	10	9.80	0.50	3.18	15.56	FLOWS TO STORM INLET
12	10	9.80	0.50	5.99	29.36	FLOWS TO CREEK
13	10	9.80	0.50	6.14	30.10	FLOWS TO CREEK
14	10	9.80	0.50	1.57	7.71	FLOWS TO CREEK
15	10	9.80	0.50	1.60	7.82	FLOWS TO CREEK
OS 1	20	8.30	0.35	1.79	5.21	FLOWS TO DRAINAGE AREA 2
OS 2	20	8.30	0.35	0.35	1.02	FLOWS TO DROP INLETS
TOTAL				39.72	190.34	

Preliminary Drainage Area Map
31 Residential Lots

Discovery Lakes Phase 1

OWNER:
DISCOVERY LAKES, LLC.
15400 Knoll Trail Drive, Suite 230
Dallas, Texas 75248

Being a 307.18 Ac. Tract of land situated in the M.E. Hawkins Survey, Abstract No. 100 and the Robert K. Briscoe Survey, Abstract No. 16 in the City of Rockwall, Rockwall County Texas



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Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
TBPE Registration No. F-230
www.tnpinc.com

PROJECT INFORMATION
Project No.: SBD20370
Date: Oct. 6, 2020
Drawn By: CAS
Scale: 1"=100'
SHEET 1 of 1



November 13, 2020

TO: Cameron Slown
Teague, Nall & Perkins, Inc.
825 Watters Creek Blvd
Allen, TX 75013

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: P2020-040; *Preliminary Plat for Phase 1 of the Discover Lakes Addition*

Cameron Slown:

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on November 2, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans;
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government

Planning and Zoning Commission

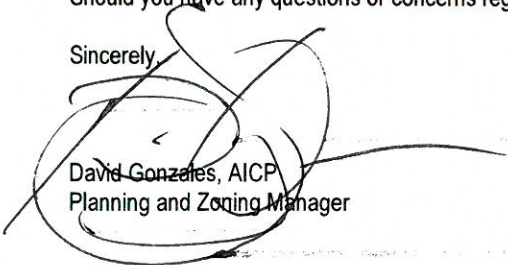
On October 27, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Preliminary Plat with the conditions of approval by a vote of 7-0.

City Council

On November 2, 2020, the City Council approved a motion to approve the preliminary plat with the conditions of approval by a vote of 7-0.

Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me at (972) 771-7745.

Sincerely,


David Gonzales, AICP
Planning and Zoning Manager