PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2020-004 **P&Z DATE** 04/14/20 **CC DATE** 05/04/20 **APPROVED/DENIED**

ARCHITECTURAL REVIEW BOARD DATE_____ **HPAB DATE**_____ **PARK BOARD DATE**_____

ZONING APPLICATION
☐ SPECIFIC USE PERMIT
☐ ZONING CHANGE
☐ PD CONCEPT PLAN
☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
☑ SITE PLAN
☐ LANDSCAPE PLAN
☐ TREESCAPE PLAN
☐ PHOTOMETRIC PLAN
☐ BUILDING ELEVATIONS
☐ MATERIAL SAMPLES
☐ COLOR RENDERING

PLATTING APPLICATION
☐ MASTER PLAT
☐ PRELIMINARY PLAT
☐ FINAL PLAT
☐ REPLAT
☐ ADMINISTRATIVE/MINOR PLAT
☐ VACATION PLAT
☐ LANDSCAPE PLAN
☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.#_____)
- ☑ APPLICATIONS
- ☑ RECEIPT
- ☑ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE_____
  - ☐ CABINET #_____
  - ☐ SLIDE #_____

NOTES:_____

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ZONING MAP UPDATED_____

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. SP2020-004

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:
[ ] Master Plat ($100.00 + $15.00 Acre) [1]
[ ] Preliminary Plat ($200.00 + $15.00 Acre) [1]
[ ] Final Plat ($300.00 + $20.00 Acre) [1]
[ ] Replat ($300.00 + $20.00 Acre) [1]
[ ] Amending or Minor Plat ($150.00)
[ ] Plat Reinstatement Request ($100.00)

Site Plan Application Fees:
[X] Site Plan ($250.00 + $20.00 Acre) [1]
[ ] Amended Site Plan/Elevations/Landscaping Plan ($100.00)

Zoning Application Fees:
[ ] Zoning Change ($200.00 + $15.00 Acre) [1]
[ ] Specific Use Permit ($200.00 + $15.00 Acre) [1]
[ ] PD Development Plans ($200.00 + $15.00 Acre) [1]

Other Application Fees:
[ ] Tree Removal ($75.00)
[ ] Variance Request ($100.00)

Notes:
[1]: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	2901 Ridge Road, Rockwall, Texas 75032		
Subdivision		Lot	Block
General Location	Hard corner of Ridge Road and Horizon Road		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-9, General Retail	Current Use	Commercial
Proposed Zoning	PD-9, General Retail	Proposed Use	Commercial
Acreage	0.921 acres	Lots [Current]	1
		Lots [Proposed]	1

[ ] ***SITE PLANS AND PLATS:*** *By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

[ ] Owner	SDI Rockwall Holdings, LLC	[X] Applicant	Boucher Design Group
Contact Person	Peter Sisan	Contact Person	Jason Miller
Address	1800 West Loop South	Address	6802 Mapleridge Street
	Suite 1850		Suite 200
City, State & Zip	Houston, Texas 77027	City, State & Zip	Bellaire, Texas 77401
Phone	713-892-5200	Phone	713-785-3644
E-Mail	psisan@sdirealty.com	E-Mail	jason@bdgap.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jason Miller [*Owner*] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of $ $270.00 *, to cover the cost of this application, has been paid to the City of Rockwall on this the* 19th *day of* March *, 20* 20 *. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."*

Given under my hand and seal of office on this the 19th *day of* March *, 20* 20.

LINDA S. LEVIS
My Notary ID # 3472478
Expires June 25, 2023

Owner's Signature [signature]

Notary Public in and for the State of Texas Linda S. Levis ***My Commission Expires*** 6/25/2023

CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

CASE NUMBER: **REVIEWED BY:**

OVERLAY DISTRICT: **REVIEW DATE:**

1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				*Per Application*
✓ Site Plan	☑	☐		-
✓ Landscape Plan	☑	☐		-
✓ Treescape Plan	☐	☑		-
✓ Photometric Plan	☑	☐		-
✓ Building Elevations	☑	☐		-
Building Material Sample Board and Color Rendering of Building Elevations	☑	☐	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	-
Submittal Requirements	☑	☐	Four (4) large (24" x 36") **folded** copies and one (1) PDF digital copy of each plan is required at the time of submittal.	-
Is the property properly platted?	☐	☐	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	☑	☐	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	-
Case Number	☐	☐	The case number should be placed in the lower right-hand corner below the title block of all sheets.	-
Owners (Name, Address, and Phone Number)	☑	☐	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	-
Developer (Name, Address, and Phone Number)	☑	☐	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	-
North Point	☑	☐	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	-
Numeric and Graphic Scale	☑	☐	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	-
Vicinity Map	☑	☐	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	-
Signature Block	☑	☐	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	-
Date	☑	☐	The date that the plans were prepared is required on all submittals.	-
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	-
✓ Commercial	☑	☐	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	☐	☑	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	☑	☐	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	-
Perimeter Dimensions of the Site	☑	☐	Indicate the perimeter dimensions of the site in feet.	-
Buildings (Square Footage)	☑	☐	Indicate the location and total square footage of all existing and planned buildings on the site.	-
Perimeter Dimensions of all Buildings	☑	☐	Indicate the wall lengths of all buildings on the site.	-
Distance Between Buildings	☐	☑	Indicate the distance between all existing and planned buildings located on the site.	-
Distance Between Buildings and Property Lines	☑	☐	Indicate the distance between all property lines and existing and planned buildings located on the site.	-
Indicate all Property Lines	☑	☐	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	-
Indicate all Building Setbacks	☑	☐	Indicate all building setbacks adjacent to right-of-way.	-
Indicate all Easements	☑	☐	Additionally, indicate all utilities both existing and proposed.	-
Indicate all Drive/Turning Radii	☑	☐		-
Indicate all Drive Widths	☑	☐		-
Indicate all Fire Lanes	☑	☐	Indicate and label the widths of all fire lanes existing and proposed for the site.	-
Indicate location of all Fire Hydrants	☑	☐		-
Indicate all Sidewalks	☑	☐	Indicate and label the widths of all sidewalks existing and proposed for the site.	-
Adjacent Street Right-Of-Way	☑	☐	Reference the City's Master Transportation Plan for right-of-way information.	-
Label all Adjacent Street Name	☑	☐	Label all adjacent existing and proposed street names.	-
Adjacent Street Centerlines	☑	☐	Indicate the street centerline for all existing and proposed streets.	-
Median Breaks in Adjacent Streets	☑	☐		-

2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	☑	☐	See the comment section in *Adequate Parking and Maneuvering* below.	-
Parking Table	☑	☐	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	-
Handicap Parking Spaces Shown	☑	☐		Art. VI 5.04
Adequate Parking	☑	☐	*Reference Table 3 of Article VI.*	Art. VI Table 3
Adequate Parking and Maneuvering	☑	☐	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction *(Check w/ the Engineering Department)*.	Art. VI 5.03.C
Adequate Loading Area	☐	☑	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer *(Art. VI 6.5 Loading Requirements)*.	Art. VI 6.04
Adequate Loading Maneuvering	☐	☑		Art. VI 6
Type and Depth of Paving Material	☑	☐	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	Art. VI 3.02

2.3 SITE PLAN: SIGNAGE

Requirements	✓= OK	N/A	Comments	UDC Reference
NOTE: *All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.*				
Proposed or Existing Signage	☑	☐	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	-

2.4 SITE PLAN: SCREENING

Requirements	✓= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	☐	☑	Label the height and type of fence proposed or existing.	Art. VIII 8
Utility Equipment Screening (Pad or Ground Mounted)	☐	☑	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.05.3
Utility Equipment Screening (Roof Mounted)	☑	☐	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	Art. V 1.05.3
Above Ground Storage Tanks	☐	☑	Aboveground storage tanks shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.05.4
Dumpster Screening	☑	☐	Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	Art. V 1.05.2
Outside Storage	☐	☑		
Off-Street Loading Dock Screening	☐	☑	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	Art. V 1.05.1
Residential Adjacency Standards	☐	☑	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference *Art. VIII 5.2*).	Art. V 1.06

3.1 LANDSCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	☑	☐	Provide the same site data information required in Section *2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements* of this checklist.	-
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	☑	☐	Indicate the applicable zoning district the percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	-

Landscape Table	☑	☐	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	-
Indicate all Landscaping	☑	☐	Indicate the locations of all existing and proposed landscaping.	-
Location of Water Courses and Significant Drainage Features	☐	☑	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	☑	☐	Indicate the locations and dimensions of the required landscape buffers.	Art. VIII 5.01
Acceptable Landscape Materials:				Art. VIII 4
✓ Trees allowed in Street Landscape Buffers	☑	☐	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix F
✓ Trees not allowed in Landscape Buffers	☑	☐	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix F
Protected Trees (To Remain On-Site)	☑	☐	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said tress shall be protected prior to and during all construction, including dirt work.	Art. IX 5.5
Parking Lot Landscaping	☑	☐	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square included in the parking area, and the number and location of required off-street parking and loading spaces.	Art. VIII 5.03.E
Location of all Site Amenities	☐	☑	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles	☐	☐	Identify visibility triangles on all lots for all driveway intersections and public streets.	Art. V 1.08
Street Trees	☑	☐	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	Art. V 5.01
Tree Locations	☑	☐	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	Art. VIII 5.03.E
Irrigation Requirements Note	☑	☐	Provide note indicating irrigation will meet requirements of UDC.	Art. VIII 5.04

4.1 TREESCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	☐	☑	Provide the same site data information required in Section *2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements* of this checklist.	-
Buildings	☐	☑	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	-

Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	☐	☑		Art. IX 3
Protected Trees (To Remain On Site)	☐	☑	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said tress shall be protected prior to and during all construction, including dirt work.	Art. IX 3
Protected Trees (To be Removed from the Site)	☐	☑	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	Art. IX 3
Treescape Table	☐	☑	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	Art. IX 3

5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data Table	☐	☐	Provide the same site data information required in Section *2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements* of this checklist.	-
Indicate Lighting Levels (in Foot Candles [FC])	☑	☐	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	Art. VII 3.4
Adjacent Property with Common Lot Lines:				Art. VII 3.3
✓ Residential Use	☐	☑	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	Art. VII 3.3.B
✓ Commercial Use	☑	☐	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. *Subject to requirements in Art. VII 3.3.C.*	Art. VII 3.3.C
Under-Canopy Lighting	☐	☑	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	Art. VII 3.3.G.1
Lighting for Motor Vehicle Dealerships	☐	☑	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	Art. VII 3.3.G.2
Lighting in Parking Areas	☑	☐	Non-residential properties shall distribute not more than 0.2 of one foot candle of light upon any adjacent property.	Art. VII 3.4.A
Indicate all Exterior Lighting	☑	☐	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	
Indicate the Mounting Height for all Proposed Light Fixtures	☑	☐	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	Art. VII 3.3.D
Indicate the Wattage of all Light Sources	☑	☐		
Proposed Light Fixtures	☑	☐	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	-

6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	☑	☐	North South East West (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	☑	☐	North South East West (Circle all that apply)	-
90% Masonry Requirement *OVERLAY DISTRICTS ONLY*	☑	☐	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 6.02.C
Indicate Amount and Location of the 20% Stone Requirement *OVERLAY DISTRICTS ONLY*	☐	☐	Applies to facades that are visible from a public right-of-way and/or open space.	Art. V 6.02.C
Indicate the Surface Area of Each Facade	☑	☐	Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	-

Proposed Building Materials	☑	☐	Specifications and description of all proposed building materials, on all proposed buildings.	-
Indicate the Roofing Materials and Color	☑	☐		-
Indicate Parapet Wall Height (If Applicable)	☑	☐	If applicable indicate the parapet wall by dashing in the top of roof deck.	-
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	☐	☑	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	-
Indicate Any Additional Design Elements Proposed (If Applicable)	☐	☑	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	-
Indicate Building Height(s)	☑	☐	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	Art. V 4.01.B
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	☑	☐	1. Wall Height [**H**] = **H** 2. Wall Length [**L**] = 3 x **H** 3. Secondary Entry/Arch. Element Length = 25% x **L** 4. Wall Projection = 25% x **H** 5. Primary Entry/Arch. Element Width = 2 x (25% x **L**) 6. Projection Height = 25% x **H** 7. Primary Entry/Arch. Element Length = 2 x (25% x **L**)	Art. V 4.01.C
Secondary Facades	☑	☐	1. Wall Height [**H**] = **H** 2. Wall Length [**L**] = 3 x **H** 3. Secondary Entry/Arch. Element Length = 15% x **L** 4. Secondary Entry/Arch. Element Width = 15% x **H** 5. Projection Height = 15% x **H**	Art. V 4.01.C

6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
NOTE: *Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.*				
90% Masonry Requirement	☐	☑	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 5.01.A
Indicate Amount and Location of the 20% (of the 90%) Stone Requirement	☐	☑	Applies to facades that are visible from a public right-of-way and/or open space.	Art. V 5.01.A
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	☐	☑	1. Wall Height [**H**] = **H** 2. Wall Length [**L**] = 4 x **H** 3. Wall Projection = 25% x **H** 4. Entry/Arch. Element Length = 33% x **L** 5. Projection Height = 25% x **H** 6. Entry/Arch. Element Width = 2 x (25% x **H**)	Art. V 5.01.C
Secondary Facades	☐	☑	1. Wall Height [**H**] = **H** 2. Wall Length [**L**] = 3 x **H** 3. Entry/Arch. Element Length = 15% x **L** 4. Entry/Arch. Element Width = 15% x **H** 5. Projection Height = 15% x **H**	Art. V 5.01.C

☐ **Pre-Development Meeting:**
Date: ____/____/____

☐ **Administrative Site Plan/Public Hearing Site Plan**

1) Is the property located within an Overlay District or a Planned Development District? ☐ YES ☐ NO
2) If yes which Overlay District or Planned Development District? _____
3) Is the applicant requesting appeals? ☐ YES ☐ NO
4) If yes note the appeals:

_____

_____

☐ ~~**Planning & Zoning Work Session (Packet Due ____ /____ /____):**~~
Date: ____ /____ /____

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☐ **ARB Meeting**
Date: ____ /____ /____

☐ **Planning and Zoning Meeting (Packet Due ____ /____ /____):**
Date: ____ /____ /____
1st _____
2nd _____
Vote: ___ For, ___ Against; ___ Abstaining, ___ Absent (_____).

☐ **City Council Meeting (Packet Due ____ /____ /____):**
Date: ____ /____ /____
1st _____
2nd _____
Vote: ___ For, ___ Against; ___ Abstaining, ___ Absent (_____).

GENERAL NOTES:

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DEVELOPMENT REVIEW COMMITTEE (DRC)
CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

Phone: (972) 771-7745
Email: Planning@Rockwall.com

External Review:
Wayne Carter, Charter Communications
Jim Friske, Charter Communications
Dinah Wood, Atmos
Randy Voight, Oncor
Phillip Dickerson, Oncor
Brian Duncan, AT&T
Javier Fernandez, RISD
Brenda Callaway, TXDOT
Stephen Geiger, Farmer's Electric
Frank Spataro, Farmer's Electric

Internal Review:
Amy Williams, Engineering
John Shannon, Building Inspections
Ariana Hargrove, Fire
Andy Hesser, Parks
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 3/20/2020

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 03/26/2020. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 3/26/2020 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 4/14/2020 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

Project Number: **SP2020-004**

Project Name: **Kroger Outlot, 2901 Ridge Rd.**

Project Type: **SITE PLAN**

Applicant Name: **JASON MILLER**

Owner Name: **PETER SISAN**

Project Description:

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:
[ ] Master Plat ($100.00 + $15.00 Acre) [1]
[ ] Preliminary Plat ($200.00 + $15.00 Acre) [1]
[ ] Final Plat ($300.00 + $20.00 Acre) [1]
[ ] Replat ($300.00 + $20.00 Acre) [1]
[ ] Amending or Minor Plat ($150.00)
[ ] Plat Reinstatement Request ($100.00)

Site Plan Application Fees:
[X] Site Plan ($250.00 + $20.00 Acre) [1]
[ ] Amended Site Plan/Elevations/Landscaping Plan ($100.00)

Zoning Application Fees:
[ ] Zoning Change ($200.00 + $15.00 Acre) [1]
[ ] Specific Use Permit ($200.00 + $15.00 Acre) [1]
[ ] PD Development Plans ($200.00 + $15.00 Acre) [1]

Other Application Fees:
[ ] Tree Removal ($75.00)
[ ] Variance Request ($100.00)

Notes:
[1]: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	2901 Ridge Road, Rockwall, Texas 75032			
Subdivision		Lot		Block
General Location	Hard corner of Ridge Road and Horizon Road			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-9, General Retail		Current Use	Commercial	
Proposed Zoning	PD-9, General Retail		Proposed Use	Commercial	
Acreage	0.921 acres	Lots [Current]	1	Lots [Proposed]	1

[ ] ***SITE PLANS AND PLATS:*** *By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

[ ] Owner	SDI Rockwall Holdings, LLC	[X] Applicant	Boucher Design Group
Contact Person	Peter Sisan	Contact Person	Jason Miller
Address	1800 West Loop South	Address	6802 Mapleridge Street
	Suite 1850		Suite 200
City, State & Zip	Houston, Texas 77027	City, State & Zip	Bellaire, Texas 77401
Phone	713-892-5200	Phone	713-785-3644
E-Mail	psisan@sdirealty.com	E-Mail	jason@bdgap.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jason Miller [*Owner*] the undersigned, who stated the information on this application to be true and certified the following:

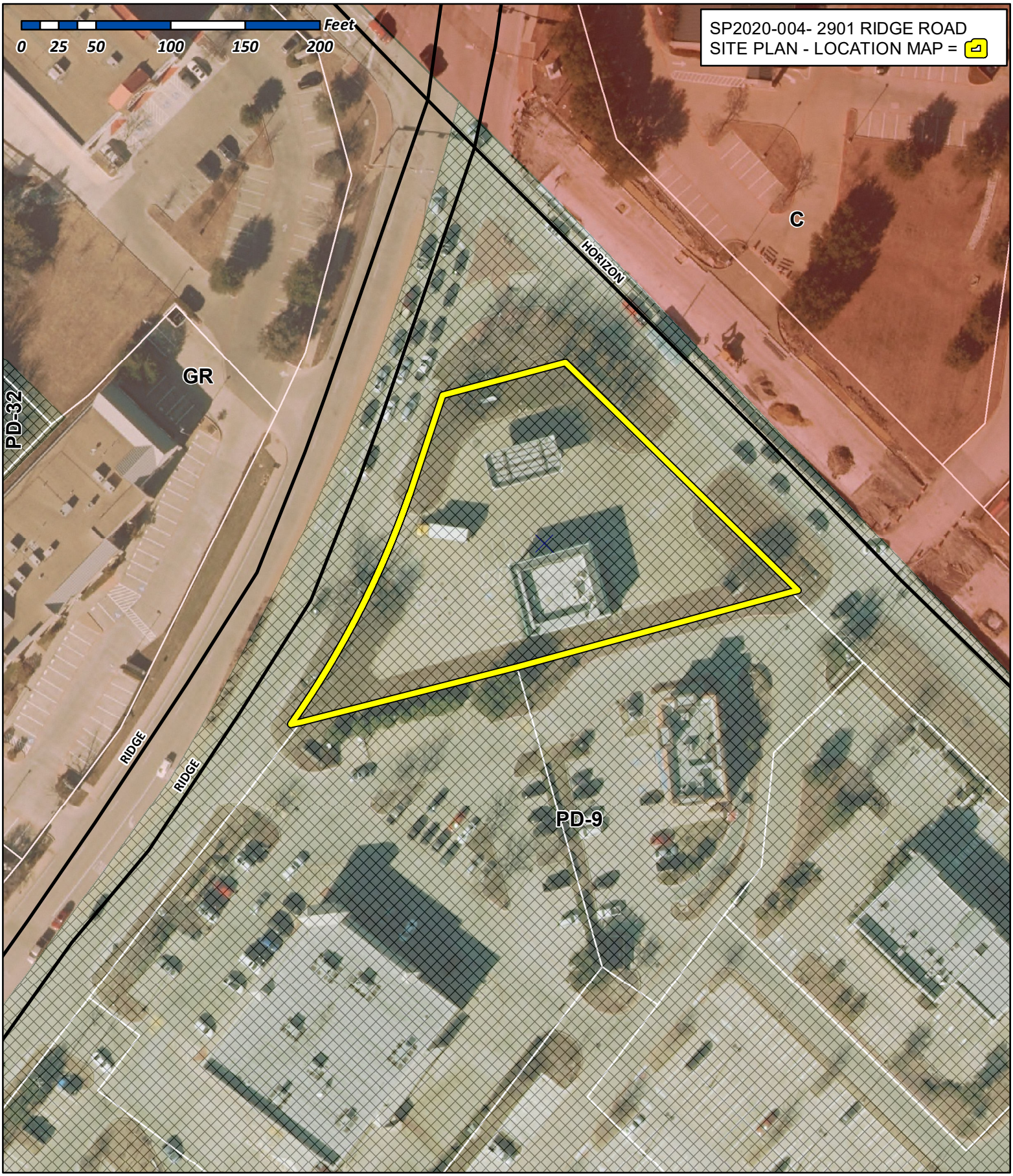
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of $ $270.00 *, to cover the cost of this application, has been paid to the City of Rockwall on this the* 19th *day of* March *, 20* 20 *. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."*

Given under my hand and seal of office on this the 19th *day of* March *, 20* 20.

LINDA S. LEVIS
My Notary ID # 3472478
Expires June 25, 2023

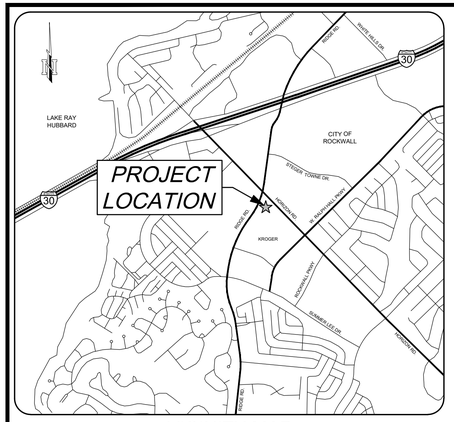
Owner's Signature

Notary Public in and for the State of Texas Linda S. Levis *My Commission Expires* 6/25/2023



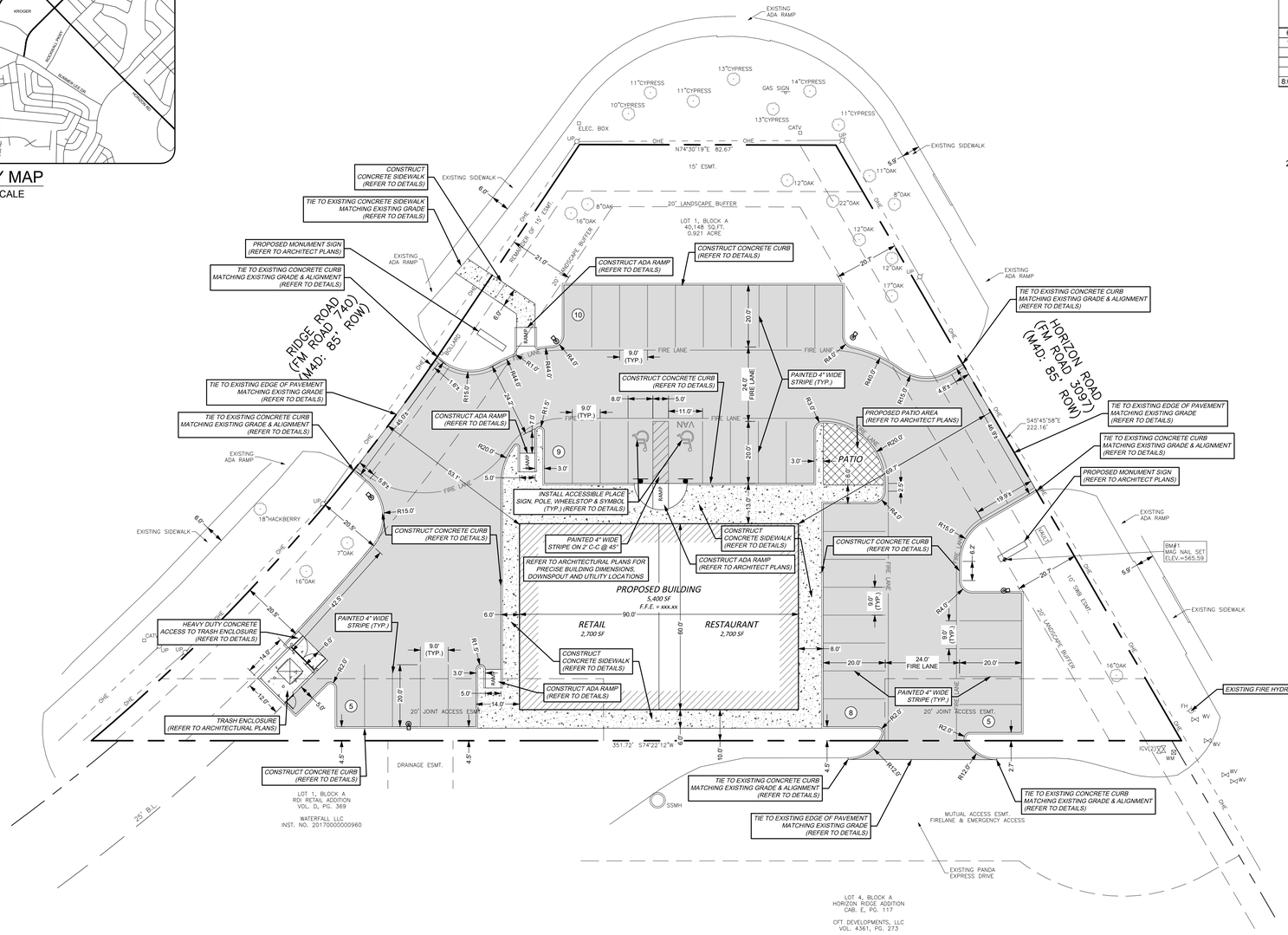
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com



VICINITY MAP

NOT TO SCALE



SITE PLAN INFORMATION

LAND USE: CURRENT: C - COMMERCIAL
PROPOSED: C - COMMERCIAL

TOTAL LOT AREA: 0.921 ACRES (40,148 S.F.)
TOTAL LOT PERIMETER: ±906 LF

BUILDING AREA: 5,400± S.F.
BUILDING HEIGHT: 20'-0" - 24'-0"

	REQUIRED	PROVIDED
STANDARD PARKING	35	35
ACCESSIBLE PARKING	2	2
TOTAL	37	37

Time of Day	Retail	Restaurant	Retail	Rest.	Total #
			11	27	38
					2 ADA
6:00 a.m. - 12:00 noon	0.97	0.50	10	14	24
12:00 noon - 1:00 p.m.	1.00	0.70	11	19	30
1:00 p.m. - 4:00 p.m.	0.97	0.60	10	16	27
4:00 p.m. - 6:00 p.m.	0.82	0.90	9	24	33
6:00 p.m. - 8:00 p.m.	0.89	1.00	10	27	37
8:00 p.m. - 12:00 midnight	0.61	1.00	7	27	34
			Total #		37

Retail SF	Rest. SF	Retail Req.	Rest. Req.
2,700	2,700	1/250	1/100

20' 0 20' 40'

GRAPHIC SCALE IN FEET

LEGEND

EXISTING	PROPOSED	
WM		WATER METER
WV		WATER VALVE
FH		FIRE HYDRANT
GM		GAS METER
SSMH		SANITARY SEWER MANHOLE
SSCO		SANITARY SEWER CLEANOUT
UP		UTILITY POLE
LP		SITE LIGHTING POLE
TSP		TRAFFIC SIGNAL POLE
TSB		TRAFFIC SIGNAL BOX
STMH		STORM MANHOLE
JB		STORM JUNCTION BOX
CI		CURB INLET
GI		GRATE INLET
		SIGN
OHE		EXISTING OVERHEAD ELECTRIC LINE
		EXISTING CONCRETE CURB
		PROPOSED CONCRETE CURB
		NUMBER OF PARKING SPACES
FIRE LANE		PROPOSED FIRE LANE
		PROPOSED 3,500 PSI 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.E.W.
		PROPOSED 3,500 PSI 5" CONCRETE STANDARD DUTY PAVEMENT WITH #4 BARS AT 24" O.C.E.W
		PROPOSED 3,500 PSI 6" CONCRETE HEAVY DUTY PAVEMENT WITH #4 BARS AT 18" O.C.E.W

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES, OSHA STANDARDS AND PROJECT SITE WORK SPECIFICATIONS.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOORS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING ENTRANCE LOCATIONS.
3. CONTRACTOR SHALL REFER TO MEP PLANS FOR TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING EXISTING ITEMS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. DAMAGES SHALL BE REPORTED TO ENGINEER OF RECORD PRIOR TO REPAIR. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
5. CONTRACTOR IS REQUIRED TO REMOVE OR RELOCATE, IN A PROPER MANNER, EXISTING IMPROVEMENTS/NATURAL FEATURES TO ALLOW FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS INDICATED ON THE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS. PROPERTY CORNERS DAMAGED BY CONTRACTOR SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
8. CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
9. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE LATEST EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
10. ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
11. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE. FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
12. ALL CURB RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
13. FIRE LANES ARE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO LOCAL CITY REQUIREMENTS FOR EXACT LOCATION.

ACCESSIBILITY NOTES

1. PROPOSED CONSTRUCTION ON THIS SITE SHALL COMPLY WITH THE LATEST REVISION OF THE ADA REGULATIONS AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
2. ALL SLOPES ON SIDEWALKS ADJACENT TO BUILDINGS SHALL BE AT ½" PER FOOT MAX. DOWN TO THE TOP OF CONCRETE CURB.
3. ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
4. ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
5. ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 5' X 5' LANDINGS. RAMP SLOPE SHALL NOT EXCEED 8.33% (1:12).
6. RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
7. SURFACE OF CURB RAMPS SHALL BE CONSTRUCTED WITH ADA COMPLIANT SURFACE. SURFACE OF ACCESSIBLE ROUTES AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. CURB RAMPS SHALL NOT EXCEED 6' IN LENGTH.
8. THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

INSPECTIONS/CERTIFICATIONS NOTE

ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

PERMITS NOTE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

TOPOGRAPHIC SURVEY NOTE

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY CBG SURVEYING TEXAS LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.

BENCHMARK

IF THE CONTRACTOR RELOCATES REFERENCE MARKERS WITH A NEW REFERENCE MARKER, IT SHALL BE LOCATED WITHIN A HORIZONTAL AND VERTICAL TOLERANCE OF 0.10'

BM#1 MAG NAIL SET
ELEVATION = 565.59

OWNER

SDI ROCKWALL HOLDINGS, LLC
1800 WEST LOOP SOUTH
SUITE 1850
HOUSTON, TEXAS 77027

811 Know what's **below.** **Call** before you dig.

CITY OF ROCKWALL

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____, _____.

_____
PLANNING AND ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

CASE NUMBER: SP2020-XXX

MARK	REVISION	DATE

\\KSA-TY1-CROSS\CROSSPOINT\PROJECTS\1506 SDI REALTY\19-1506-38 SDI REALTY - D-575 ROCKWALL TX - RIDGE RD & HORIZON RD - ROCKWALL, TX\CAD\CITY SUBMITTALS\SITE PLAN\19-1506-38 SITE PLAN (SEP 2020) - CITY SUBMITTAL.DWG

PROJECT TITLE: ---- CITY, TEXAS

SHEET NAME: SITE PLAN

PROJECT NAME: KROGER OUTLOT
2901 RIDGE ROAD
ROCKWALL, TEXAS 75032

DRAWN BY:	DESIGNED BY:	LATEST REVISION:	KSA JOB NO.:
TG	DK	03/18/20	19-1506-38

KSA
6781 Oak Hill Blvd.,
Tyler, Texas 75703
T: 903-581-8141 F: 888-224-9418
www.ksaeng.com

This document is released for the purpose of interim review under the authority of Darrel Kotzur, P.E., Lic. # 83947, on March 18, 2020. It is not to be used for construction, bidding, or permit purposes.

SEAL:
TBPE Firm Registration No. F-1356

SHEET NO.
C1.0

OVERALL BUILDING (MATERIALS %)

PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL./ CAST STONE (281 S.F.)	10% (MAX)	4%
BRICK (1,345 S.F.)		21%			
CMU (1,969 S.F.)		30%			
GLAZING (1,230 S.F.)		19%			
STUCCO (1,717 S.F.)	50% (MAX)	26%			
TOTAL (6,261 S.F.)	90% (MIN)	**96%**	**TOTAL (281 S.F.)**	10% (MAX)	**4%**

NORTH ELEVATION (MATERIALS %)

PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL./ CAST STONE (149 S.F.)	10% (MAX)	7%
BRICK (112 S.F.)		5%			
GLAZING (830 S.F.)		38%			
STUCCO (1,089 S.F.)	50% (MAX)	50%			
TOTAL (2,031 S.F.)	90% (MIN)	**93%**	**TOTAL (149 S.F.)**	10% (MAX)	**7%**

EAST ELEVATION (MATERIALS %)

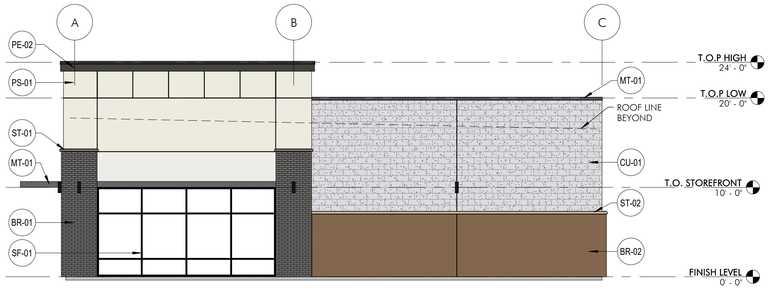
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL./ CAST STONE (53 S.F.)	10% (MAX)	4%
BRICK (343 S.F.)		26%			
CMU (412 S.F.)		31%			
GLAZING (200 S.F.)		15%			
STUCCO (314 S.F.)	50% (MAX)	24%			
TOTAL (1,269 S.F.)	90% (MIN)	**96%**	**TOTAL (53 S.F.)**	10% (MAX)	**4%**

SOUTH ELEVATION (MATERIALS %)

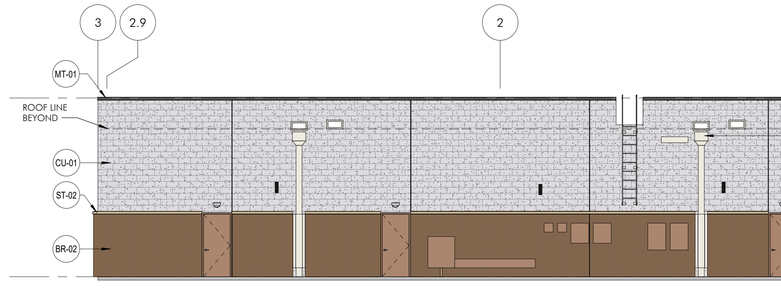
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL./ CAST STONE (26 S.F.)	10% (MAX)	1%
BRICK (547 S.F.)		32%			
CMU (1,145 S.F.)		67%			
TOTAL (1,692 S.F.)	90% (MIN)	**99%**	**TOTAL (26 S.F.)**	10% (MAX)	**1%**

WEST ELEVATION (MATERIALS %)

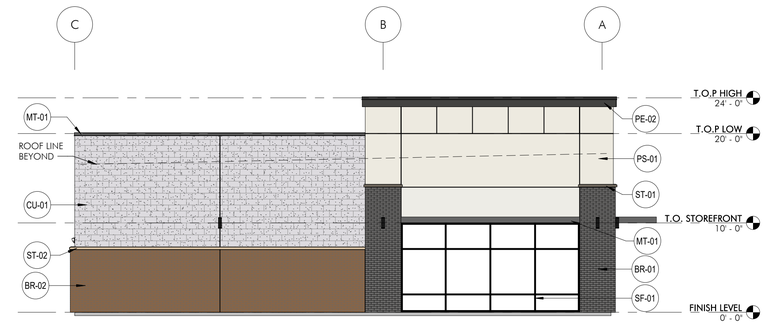
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL./ CAST STONE (53 S.F.)	10% (MAX)	4%
BRICK (343 S.F.)		26%			
CMU (412 S.F.)		31%			
GLAZING (200 S.F.)		15%			
STUCCO (314 S.F.)	50% (MAX)	24%			
TOTAL (1,269 S.F.)	90% (MIN)	**96%**	**TOTAL (53 S.F.)**	10% (MAX)	**4%**



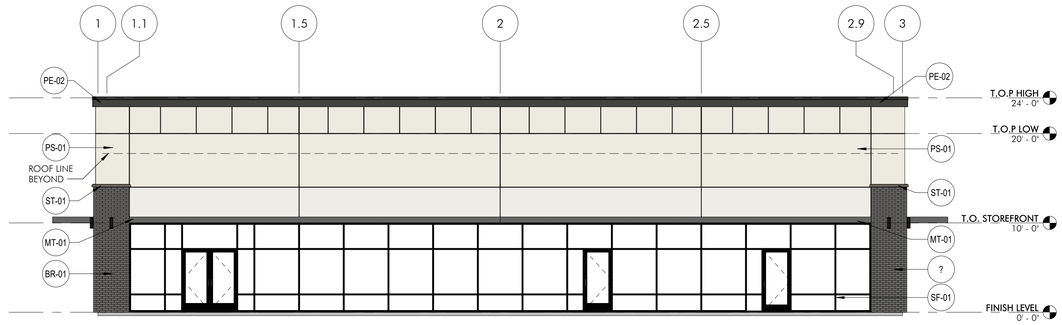
WEST ELEVATION | 4
1/8" = 1'-0"



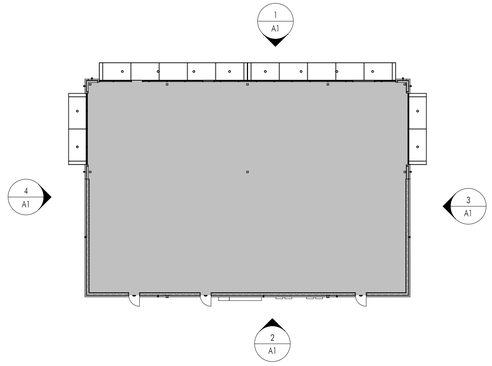
SOUTH ELEVATION | 2
1/8" = 1'-0"



EAST ELEVATION | 3
1/8" = 1'-0"



NORTH ELEVATION | 1
1/8" = 1'-0"



KEY FLOOR PLAN | 5
1" = 20'-0"

BR-01
MASONRY BRICK
CLOUD CERAMICS
MIDNIGHT VELOUR

BR-02
MASONRY BRICK
CLOUD CERAMICS
KANSA GOLD IRONSPOT

CU-01
SPLIT-FACE CMU
OLD CASTLE
WHITE LIMESTONE

ST-01
CALCIUM SILICATE
MASONRY UNIT
ARRISCRAFT GRAPHITE

ST-02
CALCIUM SILICATE
MASONRY UNIT
ARRISCRAFT CHAMPAGNE

MT-01
PREFINISHED METAL
CANOPY/ COPPING
BERRIDGE CHARCOAL GRAY

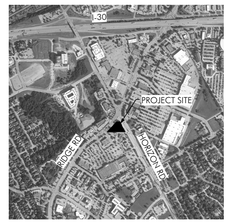
PS-01/PM-01
PAINT
SHERWIN WILLIAMS
SW7008 ALABASTER

PE-02
INTEGRAL COLOR EIFS
SHERWIN WILLIAMS
SW7069 IRON ORE

PM-03
PAINTED MTL.
SHERWIN WILLIAMS
SW7715 POTTERY URN

SF-01
STOREFRONT
KAWNEER
ANODIZED BLACK

R-01
ROOFING
TPO SINGLE-PLY
COLOR: WHITE



PROPOSED LAND USE: **COMMERCIAL**
CASE NO:

0 8 16'

ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

architecture +planning
boucher design group

Boucher Design Group, LLC
Members A.I.A.
6802 Mapleridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

PRELIMINARY
MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-20

KROGER OUTLOT

2901 RIDGE ROAD
ROCKWALL, TX 75032

SDI ROCKWALL HOLDINGS, LLC

1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

EXTERIOR ELEVATIONS

A1

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ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

architecture +planning
boucher design group

Boucher Design Group, LLC
Members A.I.A.
6802 Mapleridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

PRELIMINARY

MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-20

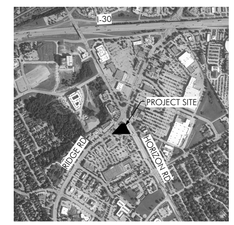
KROGER OUTLOT

2901 RIDGE ROAD
ROCKWALL, TX 75032

SDI ROCKWALL HOLDINGS, LLC

1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM



PROPOSED LAND USE: **COMMERCIAL**
CASE NO.:

N T S

BUILDING PERSPECTIVES

A2

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3/18/2020 4:04:45 PM

Landscape Requirements:

1. Perform all work in accordance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide all inspections and permits required by Federal, State, and local authorities in supply, transportation, and installation of materials.

2. The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electrical, cable, TV, etc.) and all overhead utility easements prior to start of any planting works.

3. All plant materials shall possess the following minimum qualities:
   a. Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve months.
   b. All plants shall be heavy, symmetrical, tightly knit, so trained or favored for development and appearance as to be superior in form, number of branches, compactness, and symmetry.
   c. Plants shall be sound, healthy and vigorous, well branched, and densely foliated when in leaf. They shall be free of disease, insects, pests, eggs, or larvae.
   d. All plants shall be true of species and variety and shall conform to measurements (caliper size, trunk heights, spread) as specified on the drawings.
   e. Container grown stock when specified shall have grown in the container in which delivered for at least six months, but not over two years. Samples must prove no rootbound conditions exist.
   f. Caliper measurements shall be taken at a point on the trunk six inches (6") above natural ground line for trees up to four inches (4") in caliper.
   g. All trees shall be staked by a minimum of two metal "T" stakes for single trunk trees and three stakes for all multi-trunk trees.

4. Planting mix shall be thoroughly mixed in the following proportions:
   a. Prepared soil as backfill for shade and ornamental trees shall be: 5 part clay loam topsoil + 2 part compost + 1 part sharp sand + 4 Lbs. Commercial fertilizer per CY Or 10 Lbs. Organic fertilizer.
   b. Prepared soil as backfill for shrubs and groundcovers and seasonal colors shall be: 1 part enriched mulch + 1 part compost bark mulch + 1 part enriched topsoil + 1 part No. 1 Bank Sand + 3 Lbs. Time- released fertilizer, 14-14-14 per CY or 8 Lbs. Organic fertilizer.

5. Excavation work and Surface drainage works shall conform to the following requirements:
   a. Test drainage of plant beds and plant pits by filling with water twice in succession. Conditions permitting the retention of water for more than 24 hours shall be brought to the attention of the Owner.
   b. Work shall include the final responsibility for proper surface drainage of planted areas. Any obstructions on the site, or prior work done by another part, which precludes establishing proper drainage shall be brought to the attention of the Owner in writing.
   c. Excavate each tree hole 18" deep plus the depth of the tree container size (15 gal. Or 30 gal. Or 65 gal. Or 100 gal.).
   d. Excavate entire shrub bed to a depth of 8" plus the depth of the shrub container size (5 gal.) unless noted as being pit planted on landscape legend.
   e. Excavate entire groundcover bed to a depth of 6" plus the depth of the groundcover container size (4" pot or 1 gal.).

6. Additional work requirements on landscape areas:
   a. Prior to installation of any planting works (trees, shrubs,groundcover and grass works); apply "Round Up" in all planting areas to eradicate all weed growths on site.
   b. ADD ALTERNATE: Install weed control barriers in all trees, shrub and groundcover planting areas. Weed barrier fabric shall be back polypropylene sheet 27 mils thick, 4 oz/s.y. grab tensile strength per ASTM D-4632; 90 lbs. (machine direction) 50 lbs.(cross machine direction). Provide DeWitt "Weed Barrier" or approved substitute.
   c. Use **"Shovel Edge"** to separate all plant beds from grass areas.
   d. Spread a minimum two inch layer of pine bark mulch overall shrub and groundcover bed areas.

7. Landscape maintenance work by the Landscape Contractor after final acceptance shall include the following:
   a. The maintenance period shall commence upon inspection and approval at Final Acceptance and shall be for a period of Sixty Days (60).
   b. The landscape contractor shall coordinate the watering program for all the landscape work with the Owner.
   c. Maintenance of new plantings shall consist of watering, cultivating, weeding, mulching, restaking, tightening and repair of guys; resetting plants for proper grades or upright position, and furnishing and application of pesticides/herbicides; sprays, and invigorants as are necessary to keep plantings free of insects and disease and in a thriving condition.

8. Warranty Periods, Plant Guarantees, and Replacements:
   a. Planting supplied shall be warranted to remain alive and healthy for a period of twelve months (12) after the date of Final Acceptance by Owner. Plants in an impaired, dead, or dying condition after initial acceptance or within 12 months shall be removed and replaced immediately to the satisfaction of the Owner.

Grass Hydromulching Work Requirements:

1. Grass works:
   a. Seed which has become wet, moldy and otherwise damaged in transit or in storage will not be acceptable.
   b. All grass seed shall be fresh, re-cleaned grass seed of the latest crop, mixed in the following proportions by weight and meeting the accepted standards of pure live seed content, purity and germination.
   c. Grass seed shall have the following minimum ratio:
      Summer Mix:
      Cynodon Dactylon (Hulled Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre.
      Winter Mix:
      Cynodon Dactylon (Unhulled - Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre. Annual Rye Grass or equal, 85% pure live seed at 175 Lbs. Pure live seed per acre.
2. Slurry Mix Component per Acre shall be Wood cellulose fiber mulch = 2,000 pounds + Grass Seed as specified + fertilizer (13-13-13) 800 pounds.
3. Hydromulched seeding on Prepared finished grades:
   a. Install and spread out a minimum of one inch layer of topsoil over all areas to be hydromulched.
   b. Bed preparation: Immediately after the finished grade has been approved, begin hydroseeding operation to reduce excessive weed growth and erosion.
   c. Apply seed, fertilizer and mulch by spraying them on the previously prepared seedbeds in the form of an aqueous mixture and by using the methods and equipment described herein.
   d. Particular care shall be exercised by the contractor to insure that the application is made uniformly and at the prescribed rate and to guard against miss and overlapped areas.
   e. Where slope of areas to be grassed exceed a 3:1 H:V; an erosion control fabric shall be installed prior to hyromulching process.
4. Maintenance:
   a. Maintenance shall consist of weeding, fertilizing, insect control, watering, replanting, mowing, maintaining of existing grades and repair of any erosion damages.
   b. Guarantee growth and coverage of hydromulch planting shall be a minimum on ninety five percent 95% of the area planted will be covered with specified planting after sixty days with no bare spots visible.
   c. Watering: Coordinate with the Owner to properly operate irrigation system to assure a regular, deep watering program.
5. Inspection and Final Acceptance:
   Final acceptance of lawn establishment shall mean that hydroseed areas are Ninety Five percent 95% uniform coverage of grass in excess of one inch height. No bare spots will be acceptable.

Special Notes for Protection of Existing Trees:

1. Tree protection fencing shall be installed to eliminate activities detrimental to trees including but not limited to the following:
   a. Soil compaction in the critical root zones resulting from heavy equipments, vehicular or excessive pedestrian traffic or storage of equipments or materials.
   b. Root disturbance due to cuts, fills, or trenching works.
   c. Wounds to exposed roots, trunks or limbs by mechanical equipments.
   d. Other activities such as chemical storage, cement truck cleaning, fire, etc. are not acceptable or allowed around existing trees designated to remain on site.

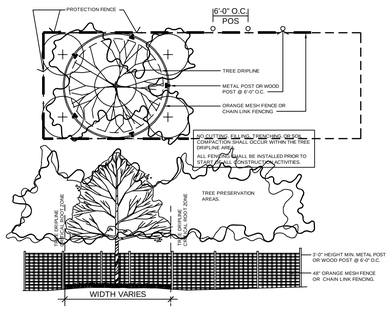
2. Location and types of tree protection devices:
   a. Tree protection devices are to be installed to completely surround the critical root zones (tree dripline) of ail trees to be preserved.
   b. Tree protection fencing shall consists of chain link fencing or accepted substitutes (orange colored fabric mesh membrane). In addition to fencing, where tree trunks are in jeopardy of being damaged by equipments, 2x4 inch boards may be required to be strapped around the trunks of trees.
   c. Tree protection fence may be installed around a grouping of existing trees for better control.

3. All tree protection fencing shall be installed prior to any clearing, grubbing or grading. Tree protection fences must remain in functioning condition throughout all phases of the site development/construction.

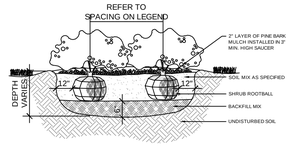
4. The contractor shall provide Class One Tree works for ail trees designated to remain on the project site. Work shall include required root pruning; removal of dead/dying branches, trimming/thinning out of tree branches; repair of tree cavities and other tree damages. Trees shall be fertilized annually. A 3-1-1 ratio of nitrogen, phosphorus and potassium containing slow release, non-burning nitrogen should be applied according to manufacturer's instructions.
5. All existing trees to remain shall be maintained bv a certified tree arborist.

6. During construction, no excess soil, additional fill, equipment, liquids or construction debris shall be placed inside the protective barrier, upon the root protection zone, nor shall any soil be removed from within the barrier.

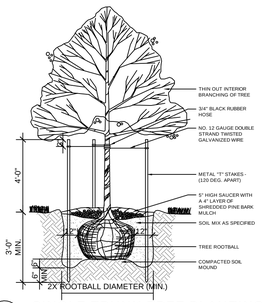
7. The proposed finished grade and elevation of land within the root protection zone of any tree to be preserved shall not be raised or lowered more than one inch. Welling and retaining methods are allowed outside the root protection zone and shall be done in conformance with the Texas A & M University, Extension Landscape Horticulture, Protecting Existing Landscape Trees from Construction Damage Due to Grade Changes", Everett E. Janne and Douglas F. Welch, PhD, authors.



A L1.1 TREE PROTECTION DETAIL
SCALE: NOT TO SCALE



D L1.1 SHRUB PLANTING
SCALE: NOT TO SCALE



B L1.1 SINGLE-TRUNK TREE PLANTING
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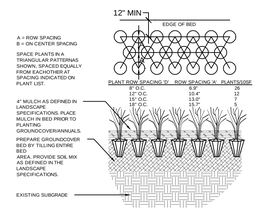

E L1.1 GROUNDCOVER PLANTING
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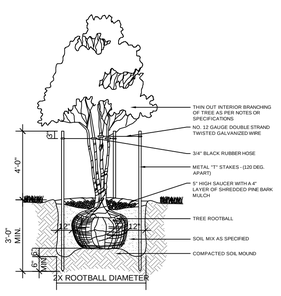

C L1.1 MULTI -TRUNK TREE PLANTING
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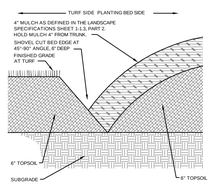

F L1.1 SHOVEL CUT BED EDGE
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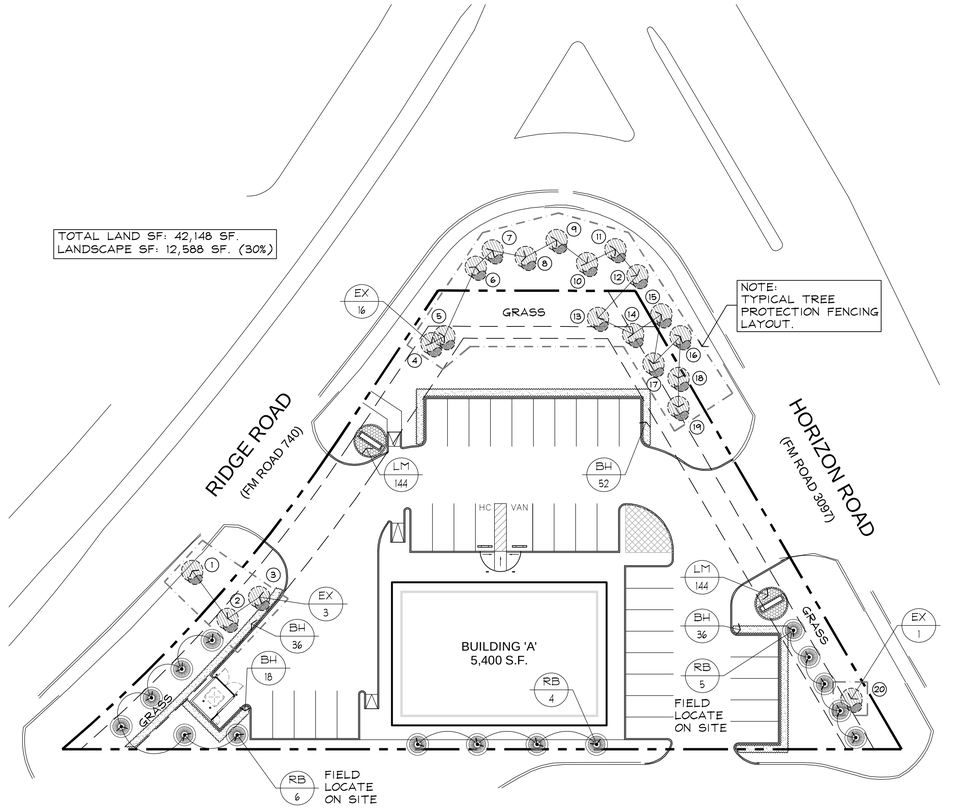


Landscape Legend:

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
EX	20			Existing trees to be remain and be protected by tree fencing as shown. Refer to Tree Inventory Table for tree type and caliper sizes. Refer to Tree Preservation requirements this sheet.
RB	15	Cercis Canadensis	Texas Redbud	2" cal. 30 gal. container; 6' to 7' ht. Tree Form.
BH	142	Ilex Burforii	Dwarf Burford Holly	5 gal. planted at 36" o.c. single row.
LM	288	Liriope Muscari	Big Blue Liriope	1 gal. planted at 12" o.c. triangularly spaced.
Grass	Verify SF.	Cynodon Dactylon	Common Bermuda	**Hydromulched** for all areas within limits of this project plus all right of way areas. All areas to be grassed shall be cleaned up of all construction debris and shall be fine graded to adhere to civil grading/drainage plan.

LANDSCAPE CALCULATIONS:

A. SITE AREAS: 40,148 SF.
B. LANDSCAPE AREAS REQUIRED: 20% OR 8,030 SF.
C. LANDSCAPE AREAS PROVIDED: 31% OR 12, 588.00 SF.
D. TOTAL BUILDING SF. 5400.00 SF.
E. TOTAL IMPERVIOUS AREAS: 27,550.00 SF.
F. TOTAL PARKING REQUIRED: 37 PARKING PROVIDED: 37
G. PLANTING REQUIREMENTS:

1. HORIZON ROAD @ 222.18 LF./50 = 5 CANOPY + 5 ACCENT TREES REQUIRED
12 EXISTING CANOPY TREES PRESERVED + 5 ACCENT TREES PROVIDED

2. RIDGE ROAD @ 250 LF./50 = 5 CANOPY + 5 ACCENT TREES REQUIRED
7 EXISTING CANOPY TREES PRESERVED + 4 ACCENT TREES PROVIDED

Owner's Responsibility For Maintenance
Client acknowledges and agrees that proper Project maintenance is required after the Project is complete. A lack of or improper maintenance in areas such as, but not limited to, operation and maintenance of automatic irrigation system, all site drainage and all planting materials maintenance may result in damage to property or persons. Client further acknowledges that he is solely responsible for the results of any lack of or improper maintenance.

Landscape Contractor's Responsibilities:
All drainage (surface and subsurface) of all landscape areas within the project limits shall be the responsibility of the installing landscape contractor and landscape maintenance company. All grading of areas along all building areas must absolutely have positive slope away from building. In no case shall any plant bed be constructed along edge of building that will impede water flow away from building. If planting beds are located at edges of building, landscape contractor shall make sure that these areas drain properly (surface and subsurface-wise). Contractor shall install moisture barrier along building as necessary to keep water from penetrating underneath building slab.

"REFER TO FINISHED GRADES SHOWN ON PROJECT CIVIL GRADING PLAN. IT WILL REPRESENT FINAL ELEVATIONS. CARE SHOULD BE TAKEN BY THE LANDSCAPE CONTRACTOR NOT TO INCREASE THESE FINISHED GRADES WITH LANDSCAPING OR OTHER ALTERATIONS. THE THICKNESS OF SOD, GRASS AND LANDSCAPING MATERIALS SHOULD BE DEDUCTED FROM THE FINISHED GRADE ELEVATIONS IN THESE CIVIL GRADING PLANS IN ORDER TO DETERMINE THE GROUND ELEVATIONS DURING CONSTRUCTION."

Existing Trees to Remain:

Tree No.	Type of Tree	Tree Caliper
01.	Hackberry	18"
02.	Oak	16"
03.	Oak	7"
04.	Oak	16"
05.	Oak	8"
06.	Cypress	10"
07.	Cypress	11"
08.	Cypress	11"
09.	Cypress	13"
10.	Cypress	13"
11.	Cypress	14"
12.	Cypress	11"
13.	Oak	12"
14.	Oak	22"
15.	Oak	11"
16.	Oak	8"
17.	Oak	12"
18.	Oak	12"
19.	Oak	17"
20.	Oak	16"

1 L1.1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

ISSUE	DATE	DESCRIPTION
	03/11/2020	ISSUE FOR PERMIT
	03/20/2020	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____day of _____.
WITNESS OUR HANDS, this _____ day of _____.

_____
Planning & Zoning Commission, Chairman

_____
Director of Planning and Zoning

bdg architecture +planning boucher design group
Boucher Design Group LLC
Members A.I.A.
6802 Mapleridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com

REGISTERED LANDSCAPE ARCHITECT
EDWARD WONG
2710
STATE OF TEXAS

Wong & Associates, Inc.
P.O. Box 2028 Bellaire, Texas 77402-2028
Tel. 713-777-9198 Cell : 713-557-9298
Member: American Society of Landscape Architects

KROGER OUTLOT
2901 Ridge Road
Rockwall, Texas 75032

SDI Rockwall Holdings, LLC
1800 West Loop South
Suite 1850
Houston, Texas 77027

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	EW/SR
CHECKED BY	EW

LANDSCAPE PLAN

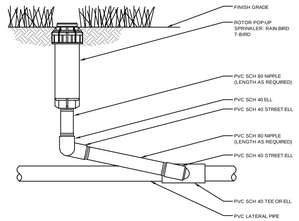
L1.1

Irrigation General Notes:

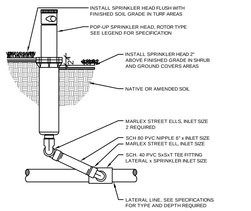
1. ALL materials and equipment shall conform to all applicable State of Texas, City and County codes.
2. The irrigation contractor shall be responsible for securing all permits prior to actual work on site.
3. The intent of the 100% coverage of all landscape areas.
4. Prior to commencement of work, the irrigation contractor shall contact the Owner to coordinate all required inspections.
5. Extreme care shall be exercised in excavating and working near existing utility easements. The irrigation contractor shall be responsible for the verification of all utility locations (telephone, TV, gas electrical, water, cable, etc.). The irrigation contractor shall be responsible for all damages inflicted on any and all utility lines.
6. The Irrigation contractor shall at all times protect his work from damage and theft and replace all damaged or stolen parts at his expense until receipt of the Certificate of Substantial Completion from the Owner.
   The Irrigation contractor shall flush and adjust the system for optimum performance. This shall include regulating the pressure at each valve to obtain the optimum operating pressure for each system.
7. Use glue joints in mainline passing through sleeves under pavement. PVC sleeves shall be Schedule 40 and shall extend 24" out of the nearest existing pavement areas for easy location. The irrigation contractor shall be responsible for coordinate all sleeve locations on the project site with the Owner and/or general contractor.
8. The irrigation contractor shall also comply to these additional special requirements to the irrigation system shall include the following.
   a. All mainlines shall have a minimum of 18" of cover (Sch. 40 PVC Pipe.).
   b. All lateral and sub-main pipe to have a minimum of 12" of cover (Sch. 40 PVC Pipe.).
   c. No rocks, boulders or other extraneous materials shall be used for backfilling of trenches.
   d. All pipes to be installed as per manufacturer's specifications.
   e. All threaded joints to be coated with Teflon tape or Liquid Teflon.
   f. All lines to be thouroughly flushed before installation of any sprinkler heads.
   g. Sprinkler and related equipments shall be installed as per manufacturer's specification.
   h. No electrical connections shall be made in the field except at a valve control box or another valve box specifically for connections.
   i. All 24 volt wire shall be No. 12UF/UL for common wire and No. 14 UF/UL for control wires, direct burial shall be solid copper.
   j. The irrigation contractor shall be responsible for proper coverage of areas to be watered; i.e. adjust heads with insufficient coverage due to blockage by existing or proposed site features or sizing down sprinkler heads to avoid excessive overthrow.
   k. The irrigation contractor shall refer to landscape planting plan to keep sprinkler equipments and accessory materials from interfering with proper planting; i.e. Verify rootball size for planting; configuration of shrub/groundcover beds, etc.
   l. The irrigation contractor shall provide expansion coils at each wire connection in valve box (wrap around 3/4" pipe 12 times).
   m. The irrigation contractor shall utilize appropriate automatic drain device where low head drainage may occur.
   n. All sprinkler heads shall be mounted on swing joints unless otherwise noted.
   o. The irrigation contractor shall install a separate common for each controller.
   p. 24 Volt wire shall be color coded: Common shall be white and Control red.
   q. The irrigation contractor shall install manufacturer's recommended grounding equipment for power supply and valve output with (2) 5/8" copper clad ground rods.
   r. The irrigation contractor shall install manufacturer's recommendation on fault ground and lightning protection.
   s. The irrigation contractor shall furnish the owner with the following : 2 wrenches for disassembling and adjusting each type of sprinkler heads and valves + 2 keys for the automatic controller +2 quick coupler keys with matching hose swivels.
   t. The irrigation contractor shall add extension risers to pop up sprinklers when needed for proper coverage. Coordinate with landscape contractor as to where risers for sprinkler heads are required.
   u. The irrigation contractor shall install sprinkler equipments 12" from all buildings foundations and install sprinklers 4" from any curbs or walkways.
   v. The irrigation backflow prevention device shall be installed within areas of proposed shrub plantings. The purpose of this is to keep the device screened from view.
9. The entire irrigation system (labor and materials) shall be guaranteed and warranted for a period of one year. The warranty period shall commenced upon final acceptance by Owner of all landscape and irrigation works.
10. The irrigation contractor for the project must be licensed to do business within the State of Texas , as required by TCEQ."
11. This irrigation plan is diagrammatic only. Irrigation contractor shall provide final irrigation design layout plan complete with licensed irrigator's seal and signature. All applicable design calculations shall be shown on this irrigation plan to comply with all TCEQ requirements.

Irrigation Legend:

Sym	Sym	Irrigation Equipment and Manufacturer	Sprinkler Specification	GPM
		Hunter I-20 Rotary Sprinkler		
A	◎	I-20-36V 4"-1.0 nozzle Full Circle	30'-0" radius	4.00
B	◎	I-20-ADS 4"-1.0 nozzle Part Circle	30'-0" radius	2.00
		Rainbird 1806 Pop Up Sprinkler or equal.		
C	◉	RB 1806 Half 180 degree	12'-0" radius	1.30
D	◉	RB 1806 Qtr. 90 degree	12'-0" radius	0.65
E	◉	RB 1806 Low Angle End Strip Nozzle	4'x15'	0.61
F	◉	RB 1806 Low Angle Center Strip Nozzle	4'x30'	1.21
		Rainbird 1812 Shrub Pop Up Sprinkler or equal.		
G	▲	RB 1812 Full 360 degree mounted on 24" Sch. 40 riser	12'-0" radius	2.60
H	▲	RB 1812 Half 180 degree	12'-0" radius	1.30
J	▲	RB 1812 Qtr. 90 degree	12'-0" radius	0.65
	◆	**Rainbird PEB** series Electric Remote Control Valves with sizes as noted plan.		
	■	**One (1) 1" water meter** Supplied and installed by irrigation contractor for the irrigation system. Water meter to be installed as per city and county codes.	Verify point of connection.	
	⧗	**One (1) 1" FEBCO RPZ** & **1" ISOLATION VALVE** to be installed as per city and county code by irrigation contractor. Install **BPDI Guardshack Enclosure GS-3.3** to protect backflow devices. Verify location on site.		
	▮	**Rainbird 33 DRC** quick coupling valve (valves to be installed below grade inside valve box)	Total **(3)** field located on site.	
	✣	**One (1) Rainbird ESP 8 LX** Irrigation controllers. Verify location and coordinate electrical requirements for controller with General contractor and / or owner. Install **Rainbird Rain Sensors** within close proximity of controller location. Verify location with Owner.		
	▬ ▬ ▬	Pressure Line shall be **1 1/2"** sch. 40 PVC pipe. Install "Thrust Blocks" as required. Install appropriate Gate Valves where noted.		
	═ ═ ═ ▲	6" Sch. 40 PVC irrigation sleeves unless noted as 4" on plan. Verify location of all sleeves on project site.		
	——	1/2" Sch. 40 PVC non pressure line.		
	——	3/4" Sch. 40 PVC non pressure line.		
	——	1" Sch. 40 PVC non pressure line.		
	——	1-1/2" Sch. 40 PVC non pressure line.		
		Sequence of Irrigation Valve Size of Irrigation Valve		



A L2.1 ROTARY SPRINKLER
SCALE: NOT TO SCALE



B L2.1 POP-UP SPRINKLER ROTOR TYPE (6")
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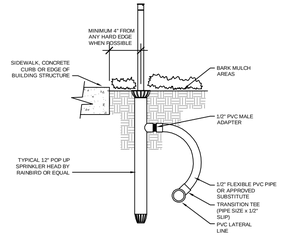
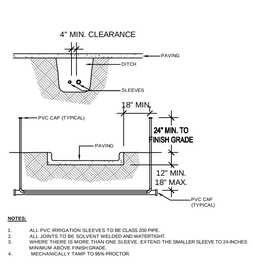
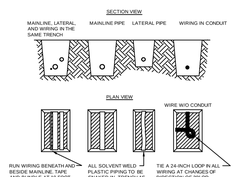


C L2.1 POP UP SPRAY HEAD (12")
SCALE: NOT TO SCALE



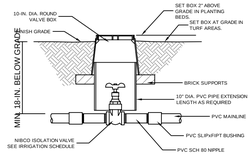
NOTES:
1. ALL PVC IRRIGATION SLEEVES TO BE CLASS 200 PIPE.
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
3. WHERE PAVING IS TO BE PLACED OVER SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
4. MECHANICALLY TAMP TO 95% PROCTOR.

D L2.1 SLEEVING
SCALE: NOT TO SCALE



NOTES:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH CLASS 200 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
2. FOR PIPE AND WIRE BURIAL DEPTHS SEE SPECIFICATIONS.

E L2.1 TRENCH DETAIL
SCALE: NOT TO SCALE



F L2.1 ISOLATION/SHUT-OFF VALVE
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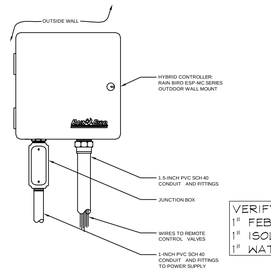
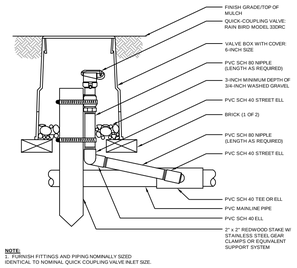
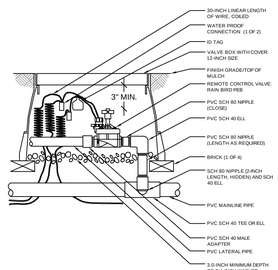


G L2.1 IRRIGATION CONTROLLER
SCALE: NOT TO SCALE



NOTE:
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

H L2.1 QUICK COUPLING VALVE
SCALE: NOT TO SCALE



I L2.1 REMOTE CONTROL VALVE
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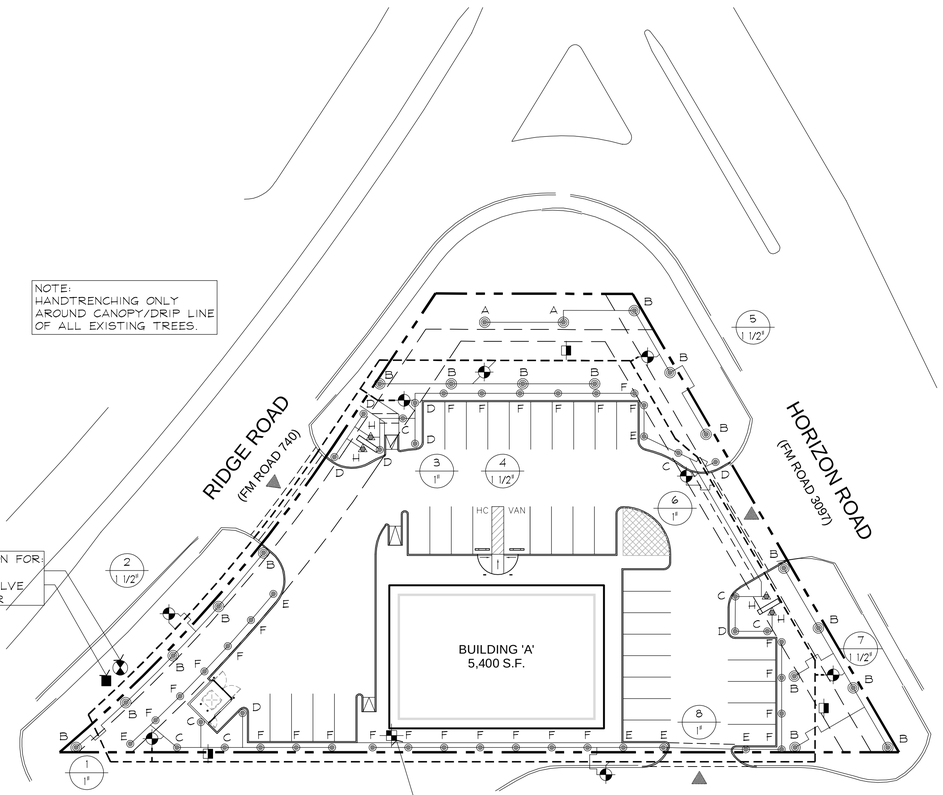
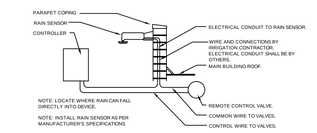
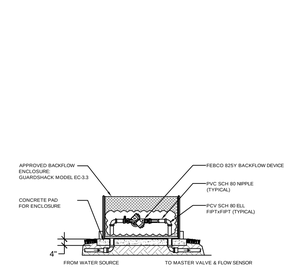




J L2.1 RAIN SENSOR INSTALLATION DETAIL
SCALE: NOT TO SCALE



K L2.1 FEBCO 825Y RPZ BACKFLOW DEVICE
SCALE: NOT TO SCALE

DESIGN DISCLAIMER:

This irrigation drawing is a preliminary layout. It is a diagrammatic representation for purpose of providing a basic depiction of the scope of coverage, initial valve zoning, with head type and placement. The Irrigation drawing does not provide necessary zone flow, hydraulic calculations to determine Design Pressure. These are defined in Texas Administrative Code ***§344.01 Minimum Standards for Design of the Irrigation Plan*** , and required by the T.C.E.Q for a complete Irrigation Plan and for Permit and Construction. It will be the responsibility of the installing licensed irrigator or irrigator-in-charge, to use information provided on this Preliminary Irrigation drawing, to provide a final Irrigation Plan meeting all standards as required by T.C.E.Q, Signed and Sealed.

Wong & Associates, Inc. shall not be responsible and accepts no liability for design failure, inaccurate head layout, incorrect hydro-zoning, pipe sizing, zone flow or hydraulic calculations, irrigation equipment, or aspects of the preliminary design drawing not in compliance with local irrigation regulations. The irrigation contractor shall be ultimately responsible for the final design, installation and proper operation of the irrigation system.

Disclaimer

Wong & Associates, Inc. shall not be responsible for the operation and/or maintenance of this irrigation system, once the date of final acceptance by the owner is established. All grades and elevations on the project shall be set by the project civil engineer. The Owner shall be responsible for the monitoring and the maintaining of the irrigation system. Monthly moisture sensor tests of all sprinkler zones around all building pads and on entire property, shall be performed by the Owner to ensure that no over-watering and/or any irrigation system leaks are present. The irrigation contractor shall be responsible for providing all guarantee and warranties for the irrigation system. The irrigation contractor shall be ultimately responsible for the installation and proper operation of the irrigation system.

1 L2.1 IRRIGATION PLAN
SCALE: 1" = 30'-0"

ISSUE	DATE	DESCRIPTION
	03/11/2020	ISSUE FOR PERMIT
	03/20/2020	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____day of _____.
WITNESS OUR HANDS, this _____ day of _____.

_____
Planning & Zoning Commission, Chairman

_____
Director of Planning and Zoning

boucher design group
Boucher Design Group LLC
Members A.I.A.
6802 Mapleridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com

STATE OF TEXAS
CRAIG S. VARS
98277
REGISTERED LANDSCAPE ARCHITECT

Wong & Associates, Inc.
P.O. Box 2028 Bellaire, Texas 77402-2028
Tel. 713-777-9198 Cell 713-557-9298
Member: American Society of Landscape Architects

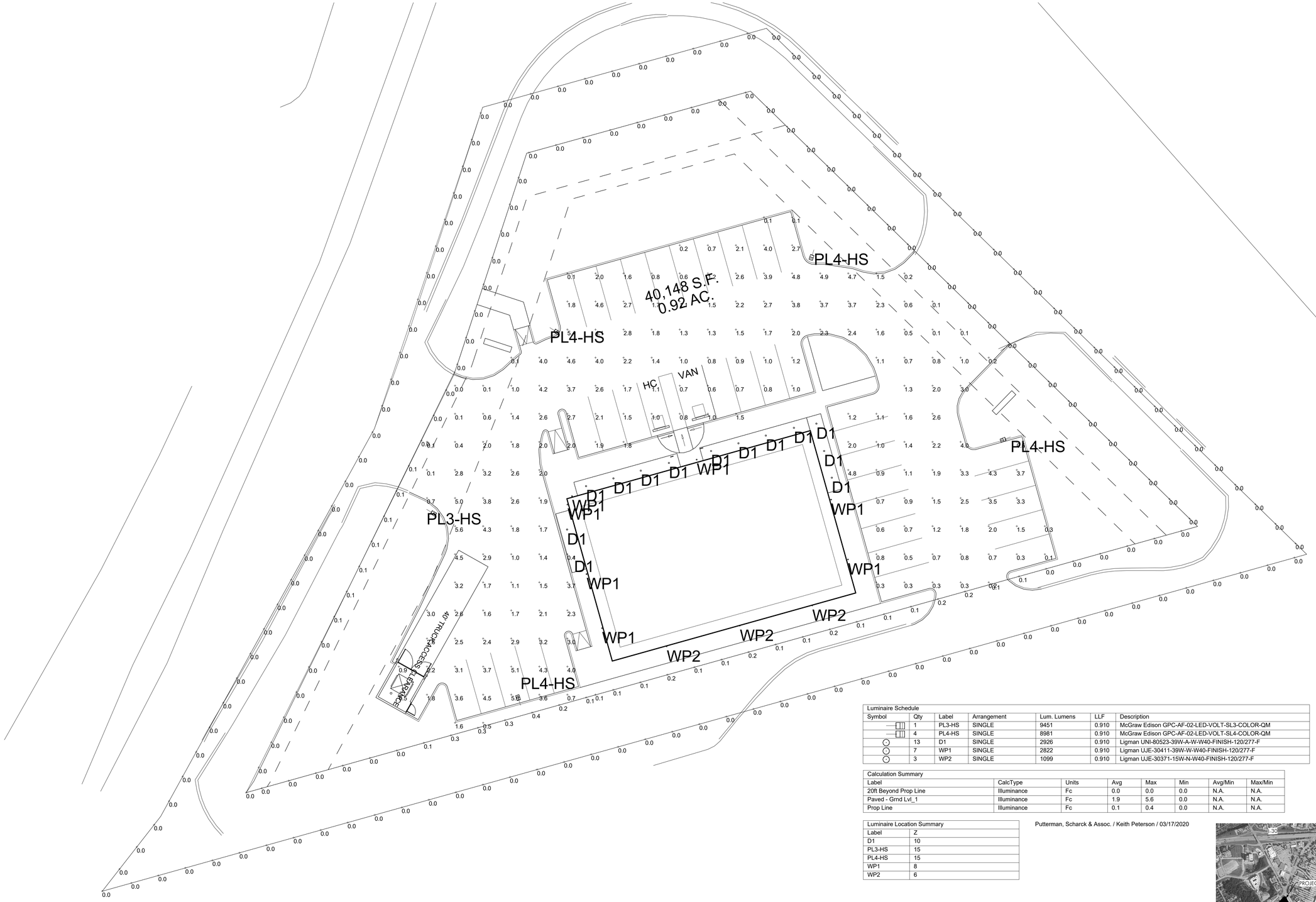
KROGER OUTLOT
2901 Ridge Road
Rockwall, Texas 75032

SDI Rockwall Holdings, LLC
1800 West Loop South
Suite 1850
Houston, Texas 77027

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	EW/SR
CHECKED BY	EW

IRRIGATION PLAN

L2.1

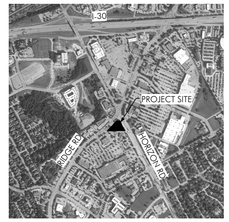


Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description
	1	PL3-HS	SINGLE	9451	0.910	McGraw Edison GPC-AF-02-LED-VOLT-SL3-COLOR-QM
	4	PL4-HS	SINGLE	8981	0.910	McGraw Edison GPC-AF-02-LED-VOLT-SL4-COLOR-QM
	13	D1	SINGLE	2926	0.910	Ligman UNI-80523-39W-A-W-W40-FINISH-120/277-F
	7	WP1	SINGLE	2822	0.910	Ligman UJE-30411-39W-W-W40-FINISH-120/277-F
	3	WP2	SINGLE	1099	0.910	Ligman UJE-30371-15W-N-W40-FINISH-120/277-F

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
20ft Beyond Prop Line	Illuminance	Fc	0.0	0.0	0.0	N.A.	N.A.
Paved - Grnd Lvl_1	Illuminance	Fc	1.9	5.6	0.0	N.A.	N.A.
Prop Line	Illuminance	Fc	0.1	0.4	0.0	N.A.	N.A.

Luminaire Location Summary	
Label	Z
D1	10
PL3-HS	15
PL4-HS	15
WP1	8
WP2	6

Putterman, Scharck & Assoc. / Keith Peterson / 03/17/2020



PROPOSED LAND USE: **COMMERCIAL**
CASE NO.:

N T S

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

C:\Users\ammch\Documents\1702400_ROCKWALL TEXAS PAD BUILDING_ammol.rvt

3/18/2020 4:04:58 PM

ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

architecture +planning
boucher design group

Boucher Design Group, LLC
Members A.I.A.
6802 Mapleridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

PRELIMINARY
MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-20

KROGER OUTLOT

2901 RIDGE ROAD
ROCKWALL, TX 75032

SDI ROCKWALL HOLDINGS, LLC

1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

PHOTOMETRICS

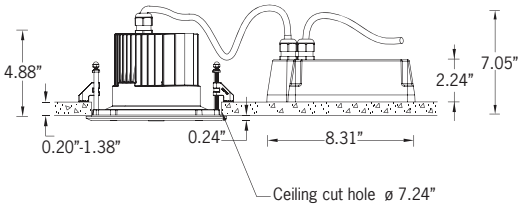
P1.0

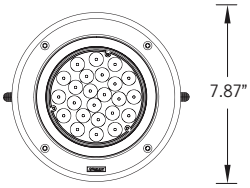
UNI-80523

Nikon 3 Round Ceiling Downlight

LIGMAN LIGHTING USA

39w LED 4299 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 5 lbs (A) 5.7 lbs (S)





Ceiling Cut ø7.24"

Nikon Product Family

UNI-80501 [4.7"] | UNI-80511 [4.7"] | UNI-80531 [7.8"]

Construction

Aluminum Casting
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength , clean detailed product lines and excellent heat dissipation.

Pre paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.
This process ensures that Ligman products can withstand harsh environments.
Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light.
LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Ceiling-recessed exterior downlights.
Modern, clean and powerful downlighting family providing the best resilient under-canopy solutions in the marketplace.

A compact recessed exterior downlight with a round or square front frame design. Options of stainless steel or powder coated aluminum front frame. The luminaires are designed for use in interior and exterior applications. This fixture is totally waterproof. This means that the fixture can be exposed to the elements from above as well as below.

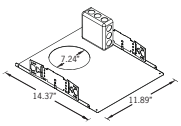
This luminaire is manufactured with integrated heat sinks that provides exceptional cooling and heat dissipation ensuring long LED life.

This fixture can also be provided with a concrete pour box for casting into concrete slabs, please see opions below.

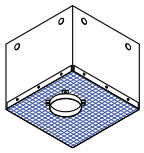
Power is provided to the luminaire through a single PG9 watertight cable gland and 4ft of Outdoor Submersible #18/3 SOOW 600V power cable. Remote mounted transformer. Includes A80191 driver enclosure box.

All Ligman fixtures can be manufactured using a special pre-treatment and coating process that ensures the fixture can be installed in natatoriums as well as environments with high concentrations of chlorine or salt and still maintain the 5 year warranty. For this natatorium rated process please specify NAT in options. Not suitable for saunas and steamrooms.

Additional Options (Consult Factory For Pricing)



RT
Rough in Tray



CPB
Concrete Pour Box

HCL
Honeycomb Louvre

UNI-80523

Nikon 3 Round Ceiling Downlight

LIGMAN LIGHTING USA

PROJECT		DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UNI-80523 - 39w - A - N - W30 - 03 - 120/277v

UNI-80523						
LAMP	FRAME	BEAM	LED COLOR	FINISH COLOR		VOLTAGE
39w LED 4299lm	S - Stainless Steel A - Aluminum (CHOOSE FINISH COLOR)	N - Narrow 15˚ M - Medium 26˚ W - Wide 45˚	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL		120/277v Other - Specify

ADDITIONAL OPTIONS

DIM - 0-10v Dimming	RT - Rough in Ceiling Tray
NAT - Natatorium Rated	CPB - Concrete Pour Box
F - Frosted Lens	SSG - Stainless Steel Glands
EMR - Remote Inverter	HCL - Honeycomb Louvre
A80191 - Remote Driver Box	AMB - Turtle Friendly Amber LED

Intertek

Sure-Lites

DESCRIPTION

The Sure-Lites Architectural Emergency Light is designed to provide superior illumination while blending into the surrounding space. The housing is constructed of die-cast aluminum with an integral refractive polycarbonate lens and advanced optical design, which in conjunction with energy-efficient, long-lasting LEDs provides maximum path of egress lighting performance. The Sure-Lites Architectural Emergency Light is wet listed for temperatures between -30°C and 50°C (-22°F and 122°F). AEL2 has an always on mode and is available with Eagle Eye self diagnostics.

Catalog #		**Type**
Project		EM
Comments		**Date**
Prepared by		

SPECIFICATION FEATURES

Electrical
- Universal voltage input from 100 through 300 VAC; 50-60 Hz
- Line-latching
- Solid-state Voltage Limited Charger
- Low-Voltage Disconnect
- Overload/Short Circuit Protection
- Test Switch/Power Indicator Light
- Fully Recharged in 24 hours
- Self diagnostics

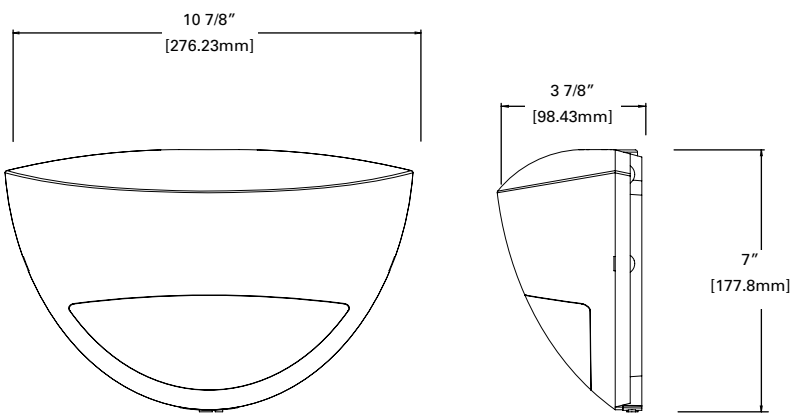
Housing Construction
- Die-cast Aluminum Housing
- Universal Pattern Knockouts on rear of housing for direct mounting to junction box
- 1/2" Threaded Conduit Access on top surface
- Powder Coat Paint Finish
- UV Stable Polycarbonate Lens
- Silicone Gaskets

Battery
- Sealed Nickel Cadmium
- Maintenance free, long life
- Full Recharge Time, 24 hrs

Code Compliance
- Not for sale in California
- UL924 Listed
- UL Outdoor Wet Location Listed (suitable for wet and damp locations)
- Life Safety NFPA 101
- NEC/OSHA
- Most State and Local Codes
- City of Chicago Code
- New York City Code

Warranty
- Unit: 5-Year
- Battery: 7-year pro-rata

Lamp Data
- 10 High Power LEDs
- Two color temperatures: 3000K and 5000K



AEL 2
ARCHITECTURAL EMERGENCY LIGHT SERIES 2

DIE-CAST ALUMINUM

SURFACE MOUNT

SEALED NICKEL CADMIUM BATTERY

LED LAMPS

EAGLE EYE SELF DIAGNOSTICS

ALWAYS ON FEATURE

EMERGENCY LIGHTING

TOTALLY PREDICTABLE RELIABILITY

ORDERING INFORMATION

Family	Color Temperature	Housing Finish	Options
AEL2 = Architectural Emergency Light 2	**31** = 3000K Ave **46** = 5000K Ave	___ = Silver **WH** = White **BK** = Black **BZ** = Bronze	___ = No Self Diagnostics **SD** = Eagle Eye Self Diagnostics

ENERGY DATA

Sealed Nickel Cadmium Battery
Input Current:
(Used as emergency light only):
120V = 2.0 Watts
277V = 2.3 Watts

Input Current:
(Used as dual purpose emergency light & always-on light fixture):
120V=5.2 Watts
277V=5.0 Watts

Powering Business Worldwide

TECHNICAL DATA

Lamps
The AEL2 utilizes long-lasting LEDs (standard) which provide maximum illumination along the emergency path of egress.

Housing
Die-cast aluminum with a powder coat painted finish. Universal pattern knockouts are located on the back housing for direct mounting to the junction box. Threaded conduit entry provided on the top surface of the housing. UV stable, polycarbonate lens and vacuum-metallized reflector provide efficient optical control.

Electronics
Dual voltage input 120/277 VAC is standard. Nickel cadmium battery is standard. All battery and electrical components are enclosed within the housing.

Line-Latched
Sure-Lites line-latched electronic circuitry makes installation easy and economical. A labor efficient AC activated load switch prevents the lamps from turning on during installation to a non-energized AC circuit. Line-latching eliminates the need for a contractor's return to a job site to connect the batteries when the building's main power is turned on.

Self Diagnostics
The self-diagnostic software will automatically perform all tests required by UL924, and NFPA101. The system indicates the status of the emergency light at all times using the LED indicator. A 90 minute battery power (emergency mode) simulation test will occur once every 12 months. A 30 second battery power simulation test will occur every 30 days. The Solid-State microprocessor based system has the ability to accurately detect and warn of system failures, plus it incorporates all of the standard electronic features that sets Sure-Lites apart from its competition. Eagle Eye self diagnostic software automatically performs all testing required by the NFPA 101 Life Safety Code and systematically calibrates itself in the field, reducing installation labor and eliminating manual calibration errors.

Solid-State Charger
Supplied with a 120/277 VAC, voltage regulated solid-state charger, the battery is recharged immediately upon restoration of AC current after a power failure. The charge circuit reacts to the condition of the battery in order to maintain peak battery capacity and maximize battery life. Solidstate construction recharges the battery in 24 hours following a power failure in accordance with UL 924.

Solid-State Transfer
The emergency light incorporates solid-state switching which eliminates corroded and pitted contacts or mechanical failures associated with relays. The switching circuit is designed to detect a loss of AC voltage and automatically energizes the lamps using DC power. Upon restoration of AC power, the DC power will be disconnected and the charger will automatically recharge the battery.

Low-Voltage Disconnect
When the battery's terminal voltage falls, the low-voltage circuitry disconnects the lighting load. The disconnect remains in effect until normal utility power is restored, preventing deep battery discharge.

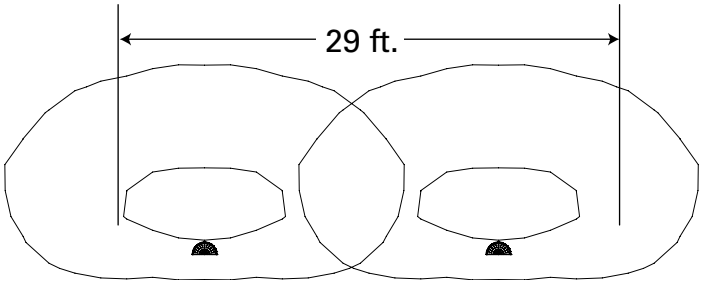
Overload and Short Circuit Protection
The solid-state overload monitoring device in the DC circuit disconnects the lamp load from the battery should excessive wattage demands be made and automatically resets when the overload or short circuit is removed. This overload current protective feature eliminates the need for fuses or circuit breakers for the DC load.

Test Switch/Power Indicator Light
A test switch located on the inside cover of the unit permits the activation of the emergency circuit for a complete operational systems check. The Power Indicator Light provides visual assurance that the AC power is on.

Sealed Nickel Cadmium Battery
Sure-Lites sealed nickel cadmium batteries are maintenance-free with a life expectancy of 15 years. The sealed rechargeable nickel cadmium battery offers high discharge rates and stable performance over a wide range of temperatures. The specially designed resealable vent automatically controls cell pressure, assuring safety and reliability. This battery is best suited for harsh ambient temperatures because the electrolyte is not active in the electrochemical process.

Warranty
The Sure-Lites Architectural Emergency Light is backed by a firm five (5) year warranty against defects in material and workmanship. Maintenance-free, long-life, sealed nickel cadmium batteries carry a seven-year pro-rata warranty.

PHOTOMETRICS



Powering Business Worldwide

Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

SELF DIAGNOSTIC TESTING OPERATIONS

The Sure-Lites Eagle Eye Self Diagnostics is continuously monitoring your emergency fixture and will signal any failure through the 3 color indicator LED.

Initial Operation
When the unit is first powered up, it will go into a 24 hour fast charge, indicated by the indicator LED pulsing green. Once the unit has fully charged, it will perform a self calibration, after which the LED will change to steady green, indicating the unit is fully charged and float charging the battery to maintain readiness.

Automatic Testing
The unit will perform a battery capacity, lamp/LED, and charge circuit test every 30 days for 30 seconds. During this time, the indicator LED will change to a steady yellow. It will perform a full battery capacity (90 minute) test once per year. During this time, the indicator LED will change to a blinking yellow.

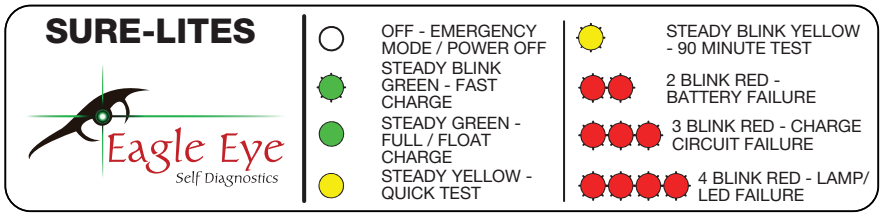
Manual Testing
•10 Second "Installation" test – Press and release the test button once during fast charge (blinking green) to initiate a 10 second quick test. The sign will switch to emergency mode for 10 seconds allowing the installer to verify proper installation of the unit, and the LED indicator will turn solid yellow.
• 30 Second Test - Press and release the test button once during float charge (steady green). The indicator LED will turn steady yellow to indicate the unit is performing a 30 second test of the batteries and lamps/LEDs.
• 90 Minute Test - Press and release the test button a second time during a 30 second test (steady yellow) to change to a 90 minute test. During this test, the LED indicator will change to blinking yellow, and the circuit will perform a full battery capacity, charge circuit, and LED test.
• Canceling Test – Press and release the test button during the 90 minute test (flashing yellow) to return the fixture to its original state (fast charge or float charge)

Laser Test
The LEMSD is equipped with a Laser Test function, that allows the unit to be manually tested without the need to physically press the test button. Shining a laser pointer in the hole marked "LASER TEST" on the bottom of the unit has the same effect as a press and release of the test button.

Clearing Failure Codes
• A battery failure (LED two blink red) can be cleared by replacing the battery. Disconnecting the battery and AC power, or performing a full 90 minute discharge, will reset the error code, however, it will return if the battery is faulty
• Charge Circuit (LED three blink red) and lamp/LED failure (LED four blink red) will clear when the unit successfully passes a manual or automatic 30 second test.

Indicators
• LED Off - No power to unit, emergency mode.
• LED Steady Green - Unit is fully charged and is float charging the battery to maintain readiness.
• LED Green Pulse - Unit is in a 24 hour fast charge of the battery.
• LED Two Blink Red - Battery has failed a capacity test, or the battery is disconnected. See "Clearing Failure Codes" above.
• LED Three Blink Red - Battery charge circuit has failed. See "Clearing Failure Codes" above.
• LED Four Blink Red - Lamps have burned out, or on an EXIT/Combo, 50% or more of the LEDs have failed. See "Clearing Failure Codes" above.
• LED Steady Yellow - 30 second test or 10 second quick test (Fast Charge only).
• LED Blinking Yellow - 90 minute test.

Maintenance
None required. Replace the batteries as needed according to ambient conditions. However, we recommend that the equipment be tested regularly in accordance with local codes.



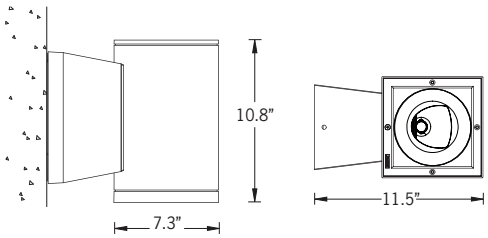
Powering Business Worldwide

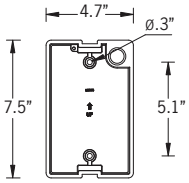
Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

UTA-31873

Tango 30 Square Asymmetrical Downlight

42w LED 3418 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 14.3 lbs





Mounting Detail

Tango Product Family


UTA-31861


UTA-80551


UTA-80561


UTA-20011


UTA-20031


UTA-20731


UTA-20732

Construction

Aluminum
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength , clean detailed product lines and excellent heat dissipation.

Pre paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.
This process ensures that Ligman products can withstand harsh environments.
Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light.
LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Circular or square form technical up & down-light wall range. Completely tailorable wall-mounted direct/indirect optical lighting solutions for perfect task or architectural lighting.

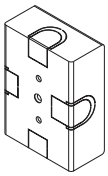
Wall luminaires with a selection of light distributions and LED wattages with downward light distributions. The Tango is unique as it is available with Type II,III & IV light distribution options that facilitates wider spacing and even light distribution between the light fixtures.

Spacings of up to 40' on center, and a 14' mounting height with a 2 fc average can be achieved using the type II optic. This provides higher energy saving and reduced installation costs.

The Tango 31 cylindrical or Tango 32 square up-down versions can be manufactured using different type beam distributions for the up and down optics. Integral electronic control gear. Mounting plate for 3" and 4" junction box is provided with the fixture.

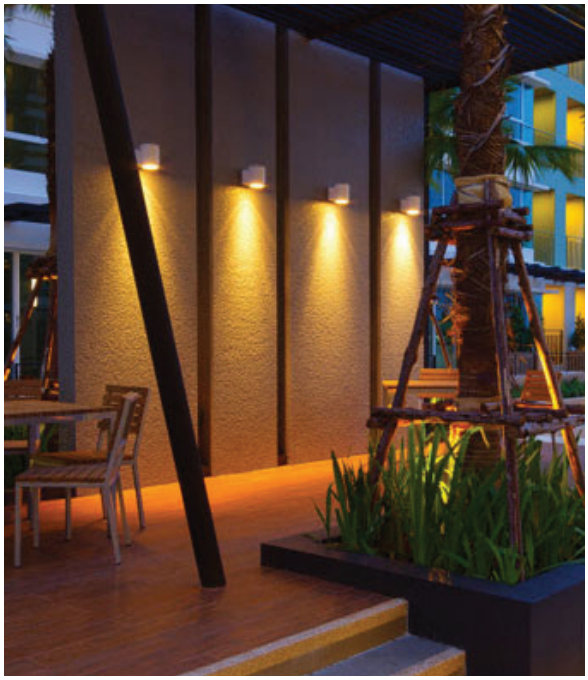
Matching surface mount conduit boxes are available as an option. Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

Additional Options (Consult Factory For Pricing)


SCE
Surface Conduit Decorative Trim


RPA
Round Pole Adapter


AGL
Anti Glare Louvre



UTA-31873

Tango 30 Square Asymmetrical Downlight

PROJECT		DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UTA - 31873 - 42w - AS - W30 - 02 - 120/277v - Options

UTA-31873					
	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	42w COB 3418 Lumens	AS - Asymmetrical Beam 46˚x56˚	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS

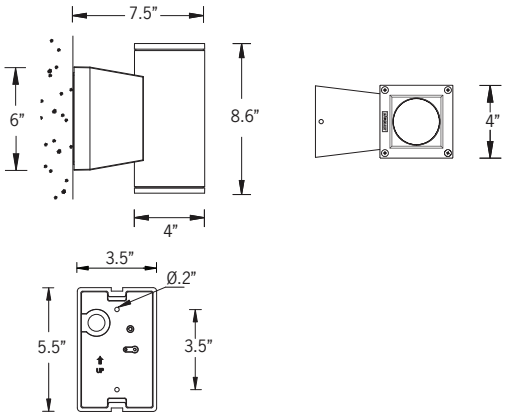
NAT - Natatorium Rated
SCE - Surface Conduit Decorative Trim
DIM - 0-10v Dimming
F - Frosted Lens
AGL - Anti Glare Louvre
EMG - Emergency Battery Pack
RPA - Round Pole Adapter
HGT - Custom Height
AMB - Turtle Friendly Amber LED

UJE-30371

Jet 32 Square Surface

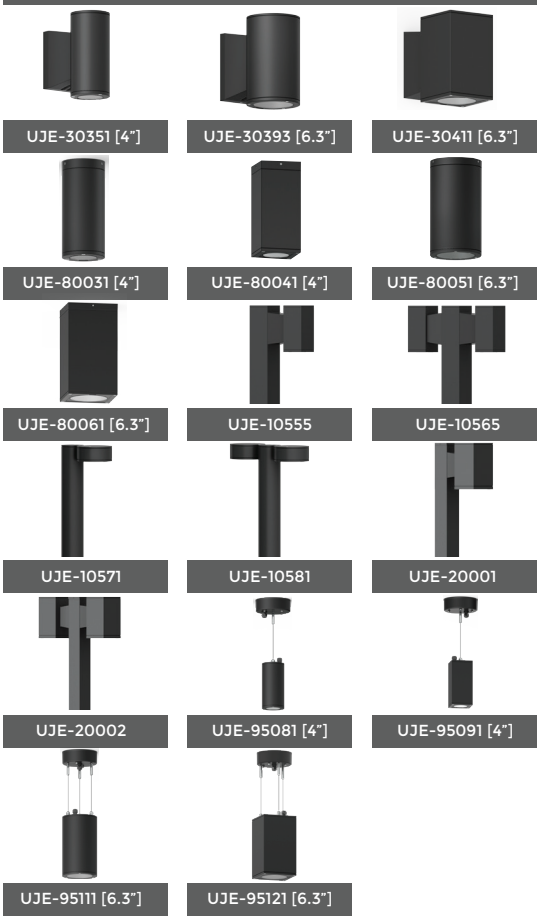
LIGMAN LIGHTING USA

15w COB 1107 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 5.7 lbs



Mounting Detail

Jet Product Family



Construction

Aluminum
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength , clean detailed product lines and excellent heat dissipation.

Pre paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket
Provided with special injection molded “fit for purpose” long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.
This process ensures that Ligman products can withstand harsh environments.
Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light.
LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Cylindrical or rectangular form surface wall-mounted downlight. High performance, high output and numerous options ensure Jet can be configured for any application.

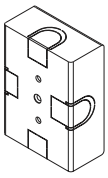
Wall luminaires with a selection of light distributions and LED wattages, that include; narrow, medium, wide, very wide and elliptical light distributions. The Jet offers a variety of beam spread options that facilitates wider spacing and even light distribution between the light fixtures. The up/down light versions can be manufactured using different beam spreads for the up and down optics as well as different wattages upon request.

Mounting plate for 3” junction box is provided with the fixture. A 4” junction box mounting plate is available as an option, please specify. Matching surface mount conduit boxes are available as an option.

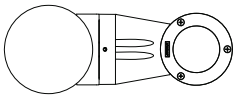
Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

For the Square downlight option, see Jet 32, 34 and 52. For type II, III & IV distributions, see Tango 29 to 32 surface wall luminaires.
For RGBW options, see Jet 51 to 54.

Additional Options (Consult Factory For Pricing)



SCE
Surface Conduit Decorative Trim



RPA
Round Pole Adapter

UJE-30371

Jet 32 Square Surface

PROJECT		DATE	
QUANTITY		TYPE		NOTE	
---	---	---	---	---	---

ORDERING EXAMPLE || UJE - 30371 - 15w - M - W30 - 02 - 120/277v - Options

UJE-30371	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	15w COB 1107 Lumens	N - Narrow 20˚ M - Medium 24˚ W - Wide 36˚ VW - Very Wide 71˚	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS

NAT - Natatorium Rated
SCE - Surface Conduit Decorative Trim
REMG - Remote Emergency Battery Pack
HGT - Custom Height
AMB - Turtle Friendly Amber LED
4MP - 4" Junction Box Mounting Plate
F - Frosted Lens
RPA - Round Pole Adapter

RSP Round Non-Tapered Steel Poles

RSP

Pole Shaft

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196") or 7 gauge (0.1793"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly cylindrical in cross-section with round sides and excellent torsional properties.

Base Plate

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

Handhole

An oval reinforced gasketed handhole, having a nominal 2" x 4" or 3" x 5" inside opening, located 1'-6" above base, is standard on all poles. A grounding provision is located inside the handhole ring.

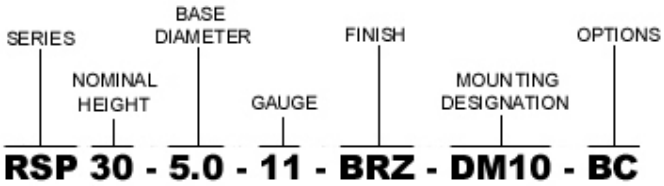
Finishes

The **Standard Finish** is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. **Hot dip Galvanized** finish to a ASTM A-123 specification or primed finish is also available. For optional finishes, see **K-KLAD** and **K-KLAD Over Galvanizing**.

HOW TO ORDER

When ordering KW lighting standards, mounting adaptors and accessories, be sure to specify the complete catalog number. Our catalog numbers reflect the precise specifications of the item ordered to ensure our customers will receive the product which meets their exact requirements.
The following explanation of the catalog numbers will be helpful in placing orders:

CATALOG LOGIC - ORDERING SAMPLE



Catalog Number	Nominal Height	Pole Shaft	Gauge	Handhole Size	Anchor Bolt	Bolt Circle	80 MPH	90 MPH	100 MPH	Ship WT.
RSP10-4.0-11	10	4.00 x 10.0	11	2 x 4	0.75 x 17 x 3	8	31	24	19.5	78
RSP10-4.5-11	10	4.50 x 10.0	11	3 x 5	0.75 x 17 x 3	8	40	31.5	25	84
RSP10-5.0-11	10	5.0 x 10.0	11	3 x 5	1.00 x 36 x 4	11	51	40.5	32.5	139
RSP12-4.0-11	12	4.00 x 12.0	11	2 x 4	0.75 x 17 x 3	8	28.9	23.4	19.2	73
RSP12-4.5-11	12	4.50 x 12.0	11	3 x 5	0.75 x 17 x 3	8	34	27	21.5	96
RSP12-5.0-11	12	5.0 x 12.0	11	3 x 5	1.00 x 36 x 4	11	43	33.5	27	153
RSP14-4.0-11	14	4.00 x 14.0	11	2 x 4	0.75 x 17 x 3	8	23.6	19.1	15.6	99
RSP14-4.5-11	14	4.50 x 14.0	11	3 x 5	0.75 x 17 x 3	8	28	22	17	108

RSP14-5.0-11	14	5.0 x 14.0	11	3 x 5	1.00 x 36 x 4	11	36	28	22.5	166
RSP15-4.0-11	15	4.00 x 15.0	11	2 x 4	0.75 x 17 x 3	8	18.1	14.5	11.8	88
RSP15-4.5-11	15	4.50 x 15.0	11	3 x 5	0.75 x 17 x 3	8	26.5	20.5	16.3	98
RSP15-5.0-11	15	5.0 x 15.0	11	3 x 5	1.00 x 36 x 4	11	33	26	20.5	173
RSP15-5.0-7	15	5.0 x 15.0	7	3 x 5	1.00 x 36 x 4	11	50	39	31.5	222
RSP16-4.0-11	16	4.00 x 16.0	11	2 x 4	0.75 x 17 x 3	8	16.5	13.2	10.6	93
RSP16-4.5-11	16	4.50 x 16.0	11	3 x 5	0.75 x 17 x 3	8	24.4	18.8	14.8	120
RSP16-5.0-11	16	5.0 x 16.0	11	3 x 5	1.00 x 36 x 4	11	31	24.2	19.4	179
RSP16-5.0-7	16	5.0 x 16.0	7	3 x 5	1.00 x 36 x 4	11	47	37	29	232
RSP18-4.0-11	18	4.00 x 18.0	11	2 x 4	0.75 x 17 x 3	8	13.7	10.8	8.6	103
RSP18-4.5-11	18	4.50 x 18.0	11	3 x 5	0.75 x 17 x 3	8	21	16	12.5	132
RSP18-5.0-11	18	5.0 x 18.0	11	3 x 5	1.00 x 36 x 4	11	27	21	16.5	192
RSP18-5.0-7	18	5.0 x 18.0	7	3 x 5	1.00 x 36 x 4	11	40	31	25.2	252
RSP20-4.0-11	20	4.00 x 20.0	11	2 x 4	0.75 x 17 x 3	8	11.4	8.9	6.9	123
RSP20-4.5-11	20	4.50 x 20.0	11	3 x 5	0.75 x 30 x 3	8	15.5	12.2	9.6	135
RSP20-5.0-11	20	5.00 x 20.0	11	3 x 5	1.00 x 36 x 4	11	20.3	16	12.7	189
RSP20-5.0-7	20	5.00 x 20.0	7	3 x 5	1.00 x 36 x 4	11	28.2	22.4	18	253
RSP22-4.5-11	22	4.50 x 22.0	11	3 x 5	0.75 x 30 x 3	8	13	10.1	7.8	147
RSP22-4.0-11	22	4.00 x 22.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP22-5.0-11	22	5.00 x 22.0	11	3 x 5	1.00 x 36 x 4	11	17.3	13.5	10.5	202
RSP22-5.0-7	22	5.00 x 22.0	7	3 x 5	1.00 x 36 x 4	11	24.2	19.2	15.3	272
RSP24-4.0-11	24	4.00 x 24.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP24-4.5-11	24	4.50 x 24.0	11	3 x 5	0.75 x 30 x 3	8	10.9	8.3	6.3	158
RSP24-5.0-11	24	5.00 x 24.0	11	3 x 5	1.00 x 36 x 4	11	14.6	11.3	8.6	215
RSP24-5.0-7	24	5.00 x 24.0	7	3 x 5	1.00 x 36 x 4	11	20.9	16.4	12.9	292
RSP25-4.0-11	25	4.00 x 25.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP25-4.5-11	25	4.50 x 25.0	11	3 x 5	0.75 x 30 x 3	8	10	7.5	5.5	164
RSP25-5.0-11	25	5.00 x 25.0	11	3 x 5	1.00 x 36 x 4	11	13.5	10.3	7.8	221
RSP25-5.0-7	25	5.00 x 25.0	7	3 x 5	1.00 x 36 x 4	11	19.4	15.1	11.8	301
RSP26-4.5-11	26	4.50 x 26.0	11	3 x 5	0.75 x 30 x 3	8	9.1	6.7	4.9	170
RSP26-5.0-11	26	5.00 x 26.0	11	3 x 5	1.00 x 36 x 4	11	12.4	9.3	7	228
RSP26-5.0-7	26	5.00 x 26.0	7	3 x 5	1.00 x 36 x 4	11	18	13.9	10.8	311
RSP28-4.5-11	28	4.50 x 28.0	11	3 x 5	0.75 x 30 x 3	8	7.4	5.3	3.6	182
RSP28-5.0-11	28	5.00 x 28.0	11	3 x 5	1.00 x 36 x 4	11	10.4	7.6	5.5	240
RSP28-5.0-7	28	5.00 x 28.0	7	3 x 5	1.00 x 36 x 4	11	15.4	11.7	8.9	330
RSP30-4.5-11	30	4.50 x 30.0	11	3 x 5	0.75 x 30 x 3	8	5.3	3.5	2.2	193
RSP30-5.0-11	30	5.00 x 30.0	11	3 x 5	1.00 x 36 x 4	11	7.6	5.3	3.6	253
RSP30-5.0-7	30	5.00 x 30.0	7	3 x 5	1.00 x 36 x 4	11	11.5	8.5	6.2	349
RSP35-5.0-7	35	5.00 x 35.0	7	3 x 5	1.00 x 36 x 4	11	7	4.6	2.8	397

FINISHES

Standard		Galvanized		K-KLAD		K-KLAD Over Galvanizing	
BRZ	Bronze	**G**	Galvanized	**K813**	Bronze	**KZ13**	Bronze
BLK	Black			**K821**	Black	**KZ21**	Black
GRY	Gray			**K841**	Gray	**KZ41**	Gray
GRN	Green			**K891**	Green	**KZ91**	Green
WHT	White			**K881**	White	**KZ81**	White
P	Primed			**K845**	Natural Aluminum	**KZ45**	Natural Aluminum
NA	Natural Aluminum						
	1 YEAR WARRANTY				**5 YEAR WARRANTY**		**10 YEAR WARRANTY**

MOUNTING DESIGNATIONS

Tenon Mount		Drill Mount	
2	2 3/8'' x 4'' TENON	**DM10**	Drilled for 1 Luminaire
3	2 7/8'' x 4'' TENON	**DM2090**	Drilled for 2 Luminaires @ 90º
3.5	3 1/2'' x 6'' TENON	**DM2180**	Drilled for 2 Luminaires @ 180º
4	4'' x 6'' TENON	**DM3090**	Drilled for 3 Luminaires @ 90º
		DM3120	Drilled for 3 Luminaires @ 120º
		DM4090	Drilled for 4 Luminaires @ 90º

Open Mount

OT	Open Top
OTC	Open Top includes Pole Cap

Gain Mount

1GSS4	(1) CXA
2GSS4	(2) CXA's located on the Same Side
3GSS4	(3) CXA's located on the Same Side
4GSS4	(4) CXA's located on the Same Side
2GBB4	(2) CXA's located Back to Back
4GBB4	(4) CXA's located Back to Back
1GSS9	(1) CXASQ
2GSS9	(2) CXASQ's located on the Same Side
3GSS9	(3) CXASQ's located on the Same Side
4GSS9	(4) CXASQ's located on the Same Side
2GBB9	(2) CXASQ's located Back to Back
4GBB9	(4) CXASQ's located Back to Back

OPTIONS

There are numerous options that can be ordered. Please indicate these selections under the options column in the catalog number. Example: CPL-WPR2-BC.

Accessories

BC	Base Cover
CPL	Threaded Coupling*
NPL	Threaded Nipple*
WPRP	Festoon Opening**
LAB	Less Anchor Bolt

Extra Handholes

XHH	Extra Handhole*

Embedment Pole Options

E	Embedded Pole
GS	Ground Sleeve
CTE	Coal Tar Epoxy

Additional Simplex

1S	1 @ 0º *
2S	2 @ 180º *
3S	3 @ 90º *
4S	4 @ 90º *

For Embedment Poles:

Recommended Mounting Height	Recommended Embedment Depth
Less than 20'	4'
20' - 33'	6'
Greater than 33'	7'

Greater embedment depths are available upon request.

* Please advise size, location, and orientation. (Handholes are restricted by size of pole shaft diameter)
** Located 24" above baseplate and same side as handhole. (No electrical included)

PACKAGING

Immediately after coating, the lighting standard including the baseplate shall be wrapped in heavy corrugation specially designed and sized to achieve maximum protection in transit.

KW Industries, Inc. coating process system and stringent quality control procedures provide our customer the finest quality lighting standards in the industry.

McGraw-Edison

DESCRIPTION

The Galleon™ Pedestrian Companion LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate a variety of pole configurations and mounting heights, allowing it to be offered as a pedestrian or site lighting solution. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

Catalog #		**Type**
Project		
Comments		**Date**
Prepared by		

SPECIFICATION FEATURES

Construction
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity.

Optics
Choice of sixteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

Electrical
LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Pedestrian LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option.

Mounting
The innovative quick mounting arm attaches to new or existing 4-5" round or square poles with 1-1/2" to 4-7/8" drilling patterns without re-drilling. The mast arm adapter fits horizontal 2-3/8" tenon.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty
Five-year warranty.

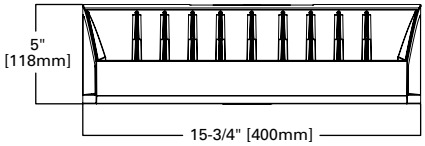
GPC GALLEON PEDESTRIAN COMPANION

1-2 Light Squares
Solid State LED

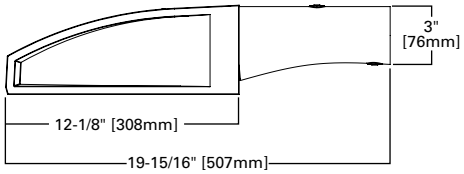
AREA/SITE LUMINAIRE

WaveLinx

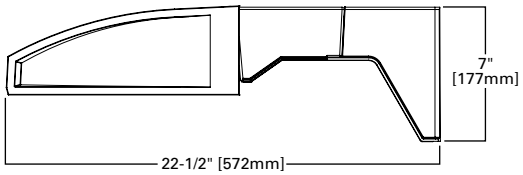
DIMENSIONS



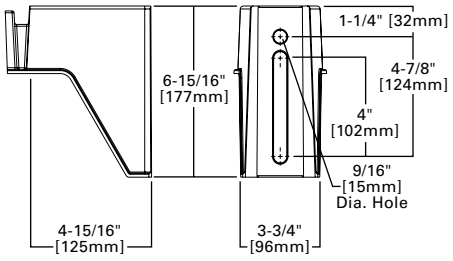
MAST ARM MOUNT



QUICK MOUNT ARM (OVERALL DIMENSIONS)



QUICK MOUNT ARM (POLE MOUNTING DETAILS)



CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 Housing
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V 50/60Hz
347V, 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

EPA

Effective Projected Area (Sq. Ft.)
Quick Mount Arm: 0.73
Mast Arm: 0.62

SHIPPING DATA

Approximate Net Weight:
27 lbs. (12.2 kgs.)

Powering Business Worldwide

*www.designlights.org

POWER AND LUMENS

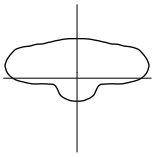
Number of Light Squares		**1**				**2**			
Drive Current		600mA	800mA	1.0A	1.2A	600mA	800mA	1.0A	1.2A
Nominal Power (Watts)		34	44	59	67	66	86	113	129
Input Current @ 120V (A)		0.3	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 208V (A)		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 240V (A)		0.15	0.19	0.26	0.29	0.3	0.38	0.48	0.55
Input Current @ 277V (A)		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 347V (mA)		0.11	0.15	0.17	0.2	0.19	0.24	0.32	0.39
Input Current @ 480V (mA)		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.3
Optics									
T2	4000K/5000K Lumens	4,204	5,156	6,381	7,000	8,215	10,075	12,470	13,680
	3000K Lumens	3,975	4,874	6,033	6,618	7,767	9,525	11,790	12,934
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T2R	4000K/5000K Lumens	4,464	5,474	6,775	7,431	8,723	10,696	13,239	14,523
	3000K Lumens	4,221	5,176	6,406	7,025	8,247	10,113	12,517	13,731
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2
T3	4000K/5000K Lumens	4,285	5,256	6,505	7,135	8,375	10,269	12,710	13,943
	3000K Lumens	4,051	4,969	6,150	6,746	7,918	9,710	12,017	13,182
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T3R	4000K/5000K Lumens	4,380	5,372	6,648	7,294	8,561	10,498	12,993	14,253
	3000K Lumens	4,141	5,078	6,286	6,895	8,094	9,925	12,285	13,475
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2
T4FT	4000K/5000K Lumens	4,311	5,286	6,542	7,177	8,422	10,329	12,784	14,024
	3000K Lumens	4,075	4,998	6,185	6,786	7,963	9,766	12,086	13,259
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3
T4W	4000K/5000K Lumens	4,254	5,217	6,458	7,084	8,313	10,195	12,619	13,843
	3000K Lumens	4,023	4,933	6,105	6,698	7,860	9,639	11,931	13,088
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
SL2	4000K/5000K Lumens	4,196	5,147	6,370	6,988	8,202	10,058	12,449	13,656
	3000K Lumens	3,967	4,866	6,022	6,607	7,755	9,509	11,771	12,911
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
SL3	4000K/5000K Lumens	4,284	5,255	6,504	7,134	8,374	10,268	12,709	13,941
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
SL4	4000K/5000K Lumens	4,071	4,992	6,179	6,778	7,954	9,756	12,074	13,246
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
5NQ	4000K/5000K Lumens	4,420	5,420	6,709	7,358	8,637	10,591	13,108	14,380
	3000K Lumens	4,179	5,124	6,343	6,957	8,166	10,013	12,393	13,595
	BUG Rating	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
5MQ	4000K/5000K Lumens	4,501	5,520	6,831	7,494	8,795	10,786	13,350	14,644
	3000K Lumens	4,256	5,219	6,458	7,085	8,316	10,198	12,622	13,845
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
5WQ	4000K/5000K Lumens	4,513	5,534	6,849	7,514	8,819	10,815	13,385	14,683
	3000K Lumens	4,268	5,232	6,475	7,104	8,338	10,224	12,656	13,882
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
SLL/SLR	4000K/5000K Lumens	3,765	4,619	5,716	6,270	7,358	9,023	11,167	12,251
	3000K Lumens	3,560	4,367	5,404	5,927	6,957	8,531	10,559	11,583
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3
RW	4000K/5000K Lumens	4,379	5,370	6,647	7,293	8,558	10,494	12,989	14,250
	3000K Lumens	4,141	5,077	6,285	6,895	8,092	9,922	12,281	13,473
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
AFL	4000K/5000K Lumens	4,396	5,390	6,672	7,318	8,590	10,533	13,037	14,301
	3000K Lumens	4,156	5,096	6,308	6,919	8,121	9,959	12,326	13,521
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2

* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

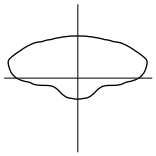
OPTICAL DISTRIBUTIONS

Asymmetric Area Distributions

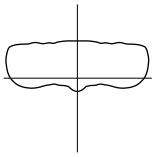
T2
(Type II)



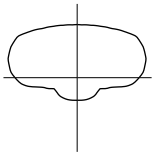
T2R
(Type II Roadway)



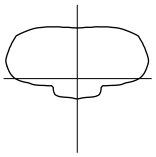
SL2
(Type II with Spill Control)



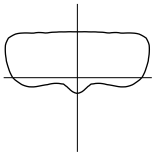
T3
(Type III)



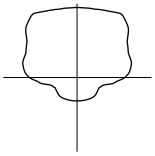
T3R
(Type III Roadway)



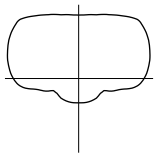
SL3
(Type III with Spill Control)



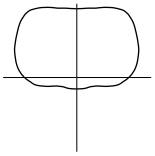
T4FT
(Type IV Forward Throw)



T4W
(Type IV Wide)

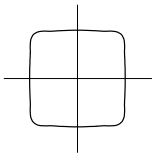


SL4
(Type IV with Spill Control)

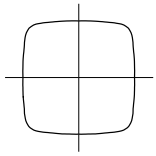


Symmertric Distributions

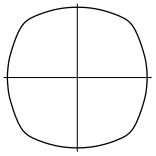
5NQ
(Type V Square Narrow)



5MQ
(Type V Square Medium)

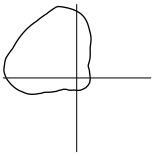


5WQ
(Type V Square Wide)

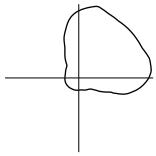


Specialized Distributions

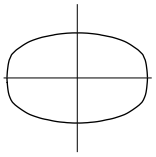
SLL
(90° Spill Light Eliminator Left)



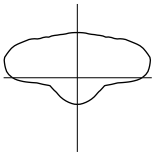
SLR
(90° Spill Light Eliminator Right)



RW
(Rectangular Wide Type I)

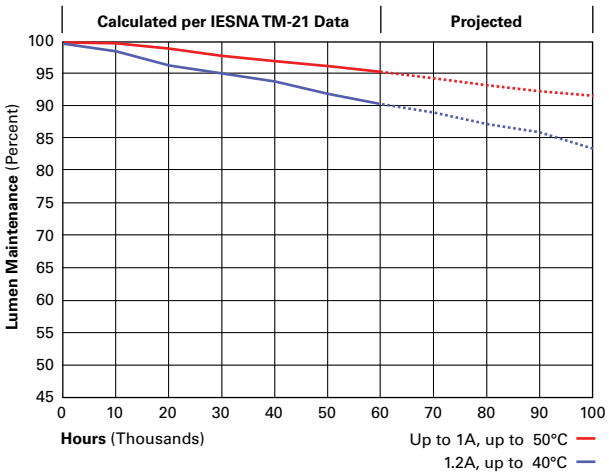


AFL
(Automotive Frontline)



LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

CONTROL OPTIONS

0-10V (DIM)
This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

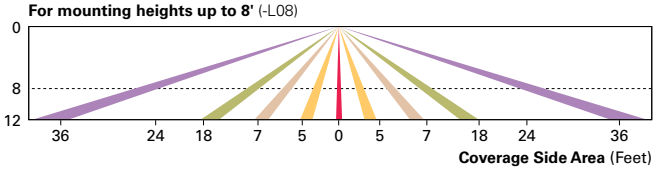
Photocontrol (P, R and PER7)
Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

After Hours Dim (AHD)
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

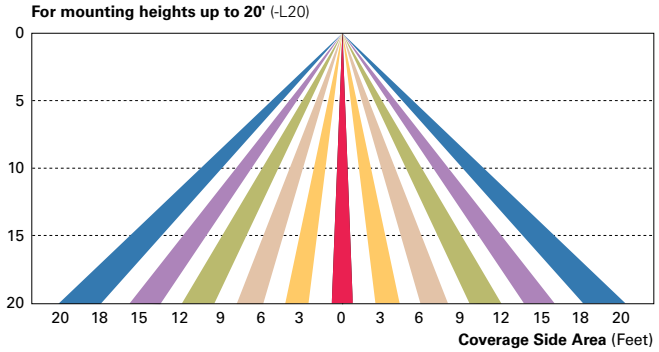
Dimming Occupancy Sensor (MS/DIM-LXX and MS-LXX)
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.

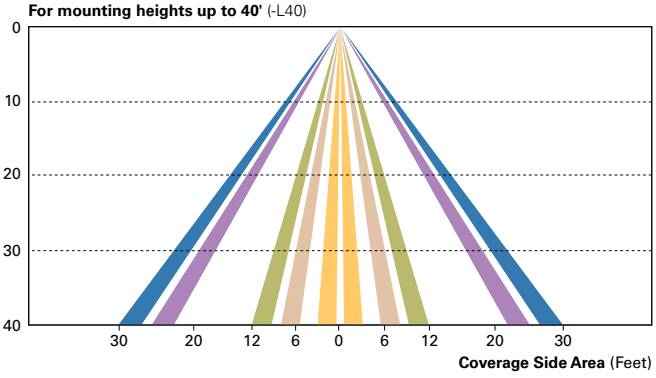
For mounting heights up to 8' (-L08)



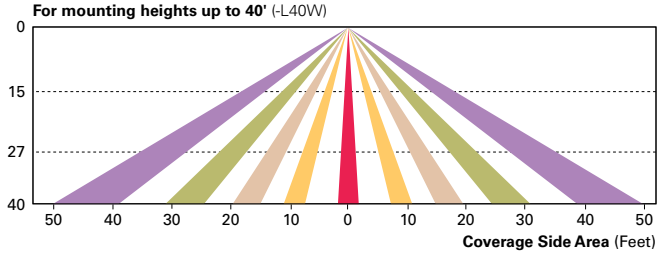
For mounting heights up to 20' (-L20)



For mounting heights up to 40' (-L40)

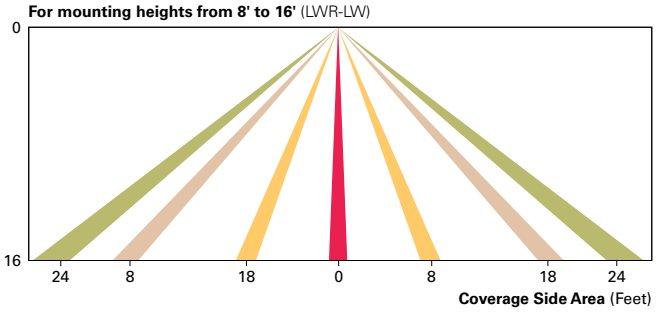


For mounting heights up to 40' (-L40W)

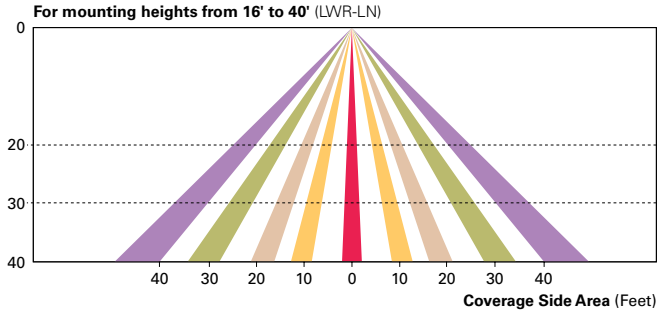


LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)
The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.

For mounting heights from 8' to 16' (LWR-LW)



For mounting heights from 16' to 40' (LWR-LN)



WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)
The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

ORDERING INFORMATION

Sample Number: GPC-AF-02-LED-E1-T3-GM

Product Family	Light Engine	Number of Light Squares [1]	Lamp Type	Voltage	Distribution	Color	Mounting Options
GPC=Galleon Pedestrian Companion	**AF**=1A Drive Current	**01**=1 **02**=2	**LED**=Solid State Light Emitting Diodes	**E1**=120-277V **347**=347V [2] **480**=480V [2, 3]	**T2**=Type II **T2R**= Type II Roadway **T3**=Type III **T3R**= Type III Roadway **T4FT**=Type IV Forward Throw **T4W**=Type IV Wide **SL2**=Type II w/Spill Control **SL3**=Type III w/Spill Control **SL4**=Type IV w/Spill Control **SLL**=90° Spill Light Eliminator Left **SLR**=90° Spill Light Eliminator Right **RW**=Rectangular Wide Type I **5NQ**=Type V Square Narrow **5MQ**=Type V Square Medium **5WQ**=Type V Square Wide **AFL**=Automotive Frontline	**AP**=Grey **BZ**=Bronze **BK**=Black **DP**=Dark Platinum **GM**=Graphite Metallic **WH**=White **CC**=Custom Color [4]	**QM**=Quick Mount Arm for Round or Square Pole [5, 6] **MA**=2-3/8" Mast Arm [5, 7]

Options (Add as Suffix)	**Accessories** (Order Separately)
7027=70 CRI / 2700K [8] **7030**=70 CRI / 3000K [8] **8030**=80 CRI / 3000K [8] **7050**=70 CRI / 5000K [8] **7060**=70 CRI / 6000K [8] **600**=Drive Current Factory Set to 600mA **800**=Drive Current Factory Set to 800mA **1200**=Drive Current Factory Set to 1200mA [9] **F**=Single Fused (120, 277 or 347V. Must Specify Voltage) **FF**=Double Fused (208, 240 or 480V. Must Specify Voltage) **10K**=10kV Surge Module **DIM**=0-10V Dimming Leads [10, 11] **HA**=50°C High Ambient [12] **P**=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) **R**=NEMA Twistlock Photocontrol Receptacle **PER7**=NEMA 7-PIN Twistlock Photocontrol Receptacle [13] **AHD145**=After Hours Dim, 5 Hours [14] **AHD245**=After Hours Dim, 6 Hours [14] **AHD255**=After Hours Dim, 7 Hours [14] **AHD355**=After Hours Dim, 8 Hours [14] **MS-LXX**=Motion Sensor for On/Off Operation [15, 16, 17] **MS/DIM-LXX**=Motion Sensor for Dimming Operation [15, 16, 17] **LWR-LW**=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height [17, 18, 19] **LWR-LN**=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height [17, 18, 19] **LCF**=Light Square Trim Plate Painted to Match Housing [20] **MT**=Factory Installed Mesh Top **L90**=Optics Rotated 90° Left **R90**=Optics Rotated 90° Right **HSS**=Factory Installed House Side Shield [21] **CE**=CE Marking and Small Terminal Block [22] **ZW**=WaveLinx-enabled 4-PIN Twistlock Receptacle [26, 27] **ZW-SWPD4XX**=Wavelinx Wireless Sensor, 7′ – 15′ Mounting Height [26, 27, 29] **ZW-SWPD5XX**=Wavelinx Wireless Sensor, 15′ – 40′ Mounting Height [26, 27, 29]	**OA/RA1013**=Photocontrol Shorting Cap **OA/RA1016**=NEMA Photocontrol - Multi-Tap 105-285V **OA/RA1201**=NEMA Photocontrol - 347V **OA/RA1027**=NEMA Photocontrol - 480V **MA1252**=10kV Circuit Module Replacement **MA1036-XX**=Single Tenon Adapter for 2-3/8″ O.D. Tenon **MA1037-XX**=2@180° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1197-XX**=3@120° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1188-XX**=4@90° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1189-XX**=2@90° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1190-XX**=3@90° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1191-XX**=2@120° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1038-XX**=Single Tenon Adapter for 3-1/2″ O.D. Tenon **MA1039-XX**=2@180° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1192-XX**=3@120° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1193-XX**=4@90° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1194-XX**=2@90° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1195-XX**=3@90° Tenon Adapter for 3-1/2″ O.D. Tenon **FSIR-100**=Wireless Configuration Tool for Occupancy Sensor [16] **LS/HSS**=Field Installed House Side Sheild [21, 23] **WOLC-7P-10A**=WaveLinx Outdoor Control Module (7-pin) [24, 26] **SWPD4-XX**=Wavelinx Wireless Sensor, 7′ – 15′ Mounting Height [26, 27, 28, 29] **SWPD5-XX**=Wavelinx Wireless Sensor, 15′ – 40′ Mounting Height [26, 27, 28, 29]

NOTES:

1. Standard 4000K CCT and minimum 70 CRI.
2. Requires the use of a step down transformer. Not available in combination with sensor options at 1200mA.
3. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
4. Custom colors are available. Setup charges apply. Paint chip samples required. Extended Lead times apply.
5. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
6. Quick mount arm adapter is factory installed. Pole mouting bracked shipped in box. Suitable for 1.5G. Fits square and round pole up to 6″ O.D.
7. Mast arm adapter factory installed (2-3/8" O.D. arm only). Suitable for 3G vibration.
8. Extended lead times apply. Use dedicated IES files when performing layouts.
9. Not available with HA option.
10. Cannot be used with other control options.
11. Low voltage control lead brought out 18″ outside fixture.
12. HA option available for single light square only. Not available with 1200mA drive current.
13. Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
14. Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
15. Replace LXX with mounting height in feet for proper lens selection (e.g., L8=8′ mounting height). L8, L20, L40, and L40W are available options.
16. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
17. Includes integral photosensor.
18. Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
19. LumaWatt wireless sensors are factory installed requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
20. Not available with HSS option.
21. Only for use with SL2, SL3, SL4, and AFL distributions. The light square trim plate is painted black when the HSS option is selected.
22. CE is not available with the LWR, MS, MS/DIM, P, R or PER7 options. Available in 120-277V only.
23. One required for each light square.
24. Requires PER7.
25. Reserved.
26. Cannot be used in conjunction with photocontrol or other controls systems (P, R, MS, LWR).
27. WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
28. Requires ZW.
29. Replace XX with sensor color (WH, BZ, or BK).

SCOPE OF WORK

MANUFACTURE AND INSTALL (2)TWO ILLUMINATED DOUBLE-FACE GROUND SIGNS

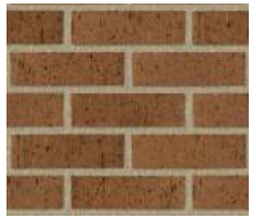
- ALL ALUMINUM CABINET. FINISH: P1
  - 2" X 3/16" ALUM ANGLE FRAME, WELDED
  - 2" X 1/16" ALUM ANGLE RETAINERS
  - 2 1/2" ALUM DIVIDER BARS
- 3/16" #7328 WHITE ACRYLIC FACES WITH VINYL GRAPHICS
- INTERNALLY ILLUMINATED WITH WHITE LED STICKS

COLOR SCHEDULE

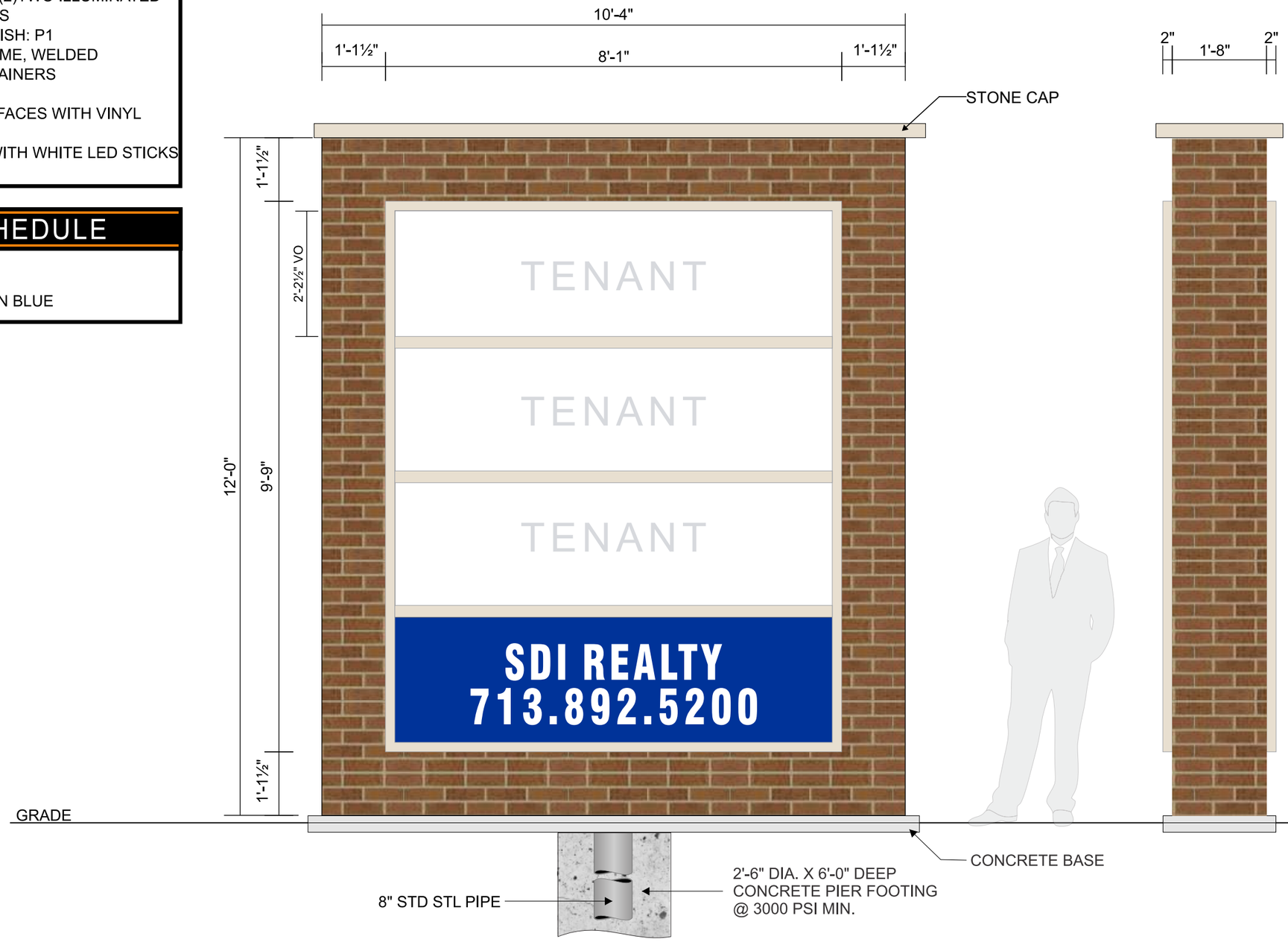
P1: SW 7697 SAFARI

V1: 3M 3630-157 SULTAN BLUE

PM-04
PAINTED MTL.
SHERWIN WILLIAMS
SW7697 SAFARI



BR-02
MASONRY BRICK
CLOUD CERAMICS
KANSA GOLD IRONSPOT



SCALE: 1/2" = 1'-0"

NOTE: DIMENSIONS ARE ONLY ACCURATE WHEN PRINTED ON 11"x17" PAPER AT FULLSCALE

CLIENT APPROVAL: DATE: LANDLORD APPROVAL: DATE:

Accent SIGN & AWNING SINCE 1979
TSCL #18579
6015 Skyline Dr. Houston, TX 77057
Phone: 713.780.1151 Fax: 713.780.7518
www.accentsignco.com

PROJECT INFORMATION

Job Name:	SDI - ROCKWALL
Location:	RIDGE RD & HORIZON RD ROCKWALL, TEXAS
Date:	03.11.20
Sales Rep:	MIKE C.
Drawn By:	JAY S.
Dwg #:	ASA20 1100 1
Dwg Path:	ASA\S\SDI\ROCKWALL

REVISIONS

1	03.19.20 Change Size - EM
2	
3	
4	
5	
P	

SOLD FINAL DRAWING APPROVAL

SALEMAN: DATE:
P.MANAGER: DATE:

UNDERWRITERS LABORATORY

Upon request, this sign is intended to be fabricated & installed in accordance to UL standards and the requirements of article 600 of The National Electric Code and/or other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6 (A)(1) of the National Electrical Code.

SHEET 4

City of Rockwall

Project Plan Review History

Project Number	SP2020-004	**Owner**	PETER SISAN	**Applied**	3/20/2020 AG
Project Name	Kroger Outlot, 2901 Ridge Rd.	**Applicant**	JASON MILLER	**Approved**	
Type	SITE PLAN			**Closed**	
Subtype				**Expired**	
Status	Staff Review			**Status**	

Site Address	**City, State Zip**	**Zoning**
2901 RIDGE	ROCKWALL, TX 75032	

Subdivision	**Tract**	**Block**	**Lot No**	**Parcel No**	**General Plan**
MR M ADDITION	1	A	1	4465-000A-0001-00-0R	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	COMMENTS	Markup attached

(3/26/2020 2:37 PM SJ)
M - Must show all existing and proposed utilities on the site.
M - All parking spaces to be 9' wide minimum.
M - Bump out curblines so that the parking spaces are 20' deep and protected.
M - All fire lane radii to be 20' radius minimum.
M - Must receive an offsite easement for the driveway connection onto the Kroger property. The existing easement is only for emergency access, not public access.
M - Must prove (using autoturn or an approved equal) that the passenger car in the parking space near the dumpster can safely back out.
M - Must show all existing and proposed utilities on the landscape plans to verify the 10' spacing to a tree.

The following items are for your information for the engineering design.
I - 4% Engineering Inspection Fees
I - Impact Fees
I - Engineering plan review fees
I - Must tie loop water line.
I - No structures in easements. Min. easement width is 20'.
I - Fire lane radii is 20' minimum as long as the building is 29' or shorter. If taller than 30', the radii must be 30' min.
I - Parking to be 20'x9' for nose-to-nose or adjacent to the building all else to be 18'x9'.
I - Retaining walls 3' and taller must be designed by a structural engineer.
I - All walls must be rock or stone face. No smooth concrete walls.
I - No trees within 10' of non-steel encased public utilities.
I - Dumpster area must drain to an oil/water separator prior to connecting to the storm system
I - Must meet City of Rockwall Standards of Design.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	COMMENTS	

(3/25/2020 2:54 PM AA)

1) The required turning radius of a fire apparatus access road shall be in accordance with:

a) For buildings less than 30-feet and less than 3 stories in height:

i) 20-feet (inside) for turns less than or equal to 90 degrees

ii) 25-feet (inside) for turns greater than 90 degrees

2) Presence of automatic fire sprinkler system shall be indicated on the plans.

3) The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.

4) A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.

GIS	Lance Singleton	3/20/2020	3/27/2020				
Parks Department	David Gonzales	4/6/2020	4/13/2020	4/6/2020		COMMENTS	See comments

(4/6/2020 4:30 PM DG)

The following comments are from Travis E. Sales
Director of Parks Recreation and Animal Services:

SP2020-004 – Tree being saved in mitigation to count towards landscape requirements will need to be healthy actively growing specimen trees. New trees need to be a minimum 5' from utility lines

PLANNING	David Gonzales	3/20/2020	3/27/2020	4/2/2020	13	COMMENTS	See comments

(4/2/2020 9:42 AM DG)
SP2020-004; Site Plan for 2901 Ridge Road
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a strip retail center on a0.918-acre tract of land being identified as Lot 1, Block A, Mr. M. Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2020-004) in the lower right-hand corner of all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC), Planned Development District No. 9 (PD-9), and the Development Standards of Article 05, that are applicable to the subject property.

I.5 Please note that the property will require a replat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

I.6 Signage Plan. Please note that the plan for signage must be submitted and approved through a separate permit with the Building Inspections Department Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

M.7 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§03.04, Art. 11, UDC):

1) In the Site Plan Information Legend, indicate Zoned PD-9. (§03.04.A, Art. 11, UDC)
2) In the Site Plan Information Legend, change land use from C-Commercial to GR-General Retail (§03.04.A, Art. 11, UDC)
3) Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material. (§03.02, Art. 06, UDC)
4) Indicate all building setbacks adjacent to right-of-way. (§03.04.B, Art. 11, UDC)
5) Indicate all utilities both existing and proposed. Provide labels for all easements (i.e. utility, detention, drainage, etc.) Who/what is SWB Easement? (§03.04.B, Art. 11, UDC)
6) Indicate the street centerline for all existing and proposed streets (§03.04.B, Art. 11, UDC)
7) Indicate location of all Fire Hydrants. (§03.04.B, Art. 11, UDC)
8) Provide a label for all Firelane to indicate "24-ft Firelane, Public Access, Drainage, & Utility Easement", as appropriate for existing and proposed. (§03.04.B, Art. 11, UDC)
9) All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Check w/ the Engineering Department).
10) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. Dash-in RTU's and provide screening detail. (§01.05.C, Art. 05, UDC)

M.8 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the

required elements to the City's boards and commissions (Sec. 2, Art. 08, UDC):

1) Correct the Landscape Legend: All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod--hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO). (§05.03.G, Art. 08, UDC)
2) Correct the Landscape Legend: Where hydro mulch is used, other than the prohibited areas, a minimum coverage of 75% to 80% stand of grass with a minimum established height of one (1) inch shall be required prior to the release of the Certificate of Occupancy (i.e. CO). (Sec. 4.2, Coverage, Engineering Standards of Design and Construction)
3) Correct the Landscape Calculations: Under "G. Planting Requirements, 2. Ridge Road" is within an overlay district [i.e. Scenic Overlay (SOV) District] and requires a minimum of four (4) accent trees per 100 linear feet. Correct plan to indicate a minimum of ten (10) accent trees. (§06.02.E, Art. 05, UDC)
4) Provide note indicating irrigation will meet requirements of UDC on Sheet No. L1.1. (Subsection 5.04, Art. 08, UDC)

I.9 Irrigation Plan. This plan was not reviewed. Requires submittal and approval during the building permit process.

I.10 Treescape Plan. According to Section 3.4, Treescape Plan Review Process, of Article 09, of the UDC, The planning and zoning commission will review and approve or disapprove the treescape plan. The decision of the planning and zoning commission may be appealed to the city council. The treescape plan requires approval by the Planning and Zoning Commission as submitted.

1) A treescape plan was not submitted for this development. Existing trees were noted to be saved; therefore no treescape plan is required.

M. 11 Photometric Plan. According to Section 3.3, Minimum Requirements, of Article 07, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any non-residentially zoned lot shall be 0.2 FC. In this case, the submitted photometric plan conforms to the requirements of the UDC.

1) No light standard, light fixture, light pole, pole base or combination thereof shall exceed 20-feet in total height in any overlay district [i.e. Scenic Overlay (SOV) District]. (§06.02.G, Art. 05, UDC)

M.12 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:

1) Indicate all RTU units on the building elevations (i.e. dash-in) so that staff can ensure that they meet the screening requirements. (§06.02.C.3.a, Art. 05, UDC)
2) Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall. Provide a finish for the TPO roof that matches the exterior. (§04.01.A.1, Art. 05, UDC)

Based on the building elevation submittal staff has identified the following variances and exceptions to the Unified Development Code (UDC) and the Scenic Overlay (SOV) District:

1) Building Articulation. The proposed building does not meet the articulation standards established by the UDC for the north and south elevations and requires approval of an exception. Exception Required. (§04.01.C.1, Art. 05, UDC)
2) Primary Materials. The proposed building is required to have a minimum of 20% natural or quarried stone on all building façades. In this case, the applicant is not indicating the use of stone on any façade, rather the use of brick and split-face CMU block for all facades. Variance Required.
[§ 6.02.C.1.a.1, Art. 05, UDC]
3) Roof Design Standards. All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. In this case the applicant is

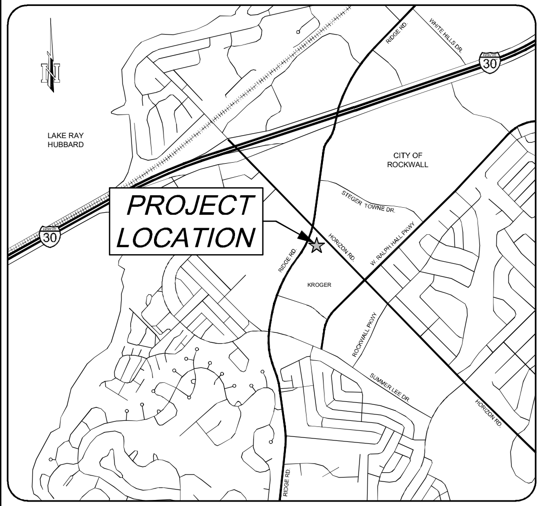
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
proposing to construct a flat roof system with parapet walls. Variance Required. (§6.02.C.2, Art. 05, UDC) 4) Four (4) Sided Architecture. The UDC indicates that all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In this case the applicant is providing architectural features, materials, and detailing on the front and side facades, but not the rear (south facing) façade. Variance Required. (§6.02.C.5, Art. 05, UDC) To be able to request a variance, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two (2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section 9, of Article XI, of the UDC for examples of compensatory measures. • Please provided a letter of explanation for the associated variance and exceptions and the compensatory measures justifying these variances as required by the UDC for consideration. I.13 Please note that failure to address all comments provided by staff by 3:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case. I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 28, 2020 Planning & Zoning Meeting. I.15 The Architectural Review Board (ARB) meeting will be held on April 14, 2020 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission I.16 Please note the scheduled meetings for this case: 1) Planning & Zoning Work Session meeting will be held on April 14, 2020. 2) Architectural Review Board (ARB) meeting will be held on April 14, 2020. 3) Planning & Zoning meeting/public hearing meeting will be held on April 28, 2020. 4) Architectural Review Board (ARB) meeting will be held on April 28, 2020 (if required). I.17 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.							
Police Department	David Gonzales	3/27/2020	4/3/2020	3/27/2020		COMMENTS	See comments

(3/27/2020 10:18 AM DG)
The following comments are related to CPTED Design Standards from Captain Ed Fowler, Rockwall Police Department:

SP2020-004
Retail and Restaurant Building
Considerations:

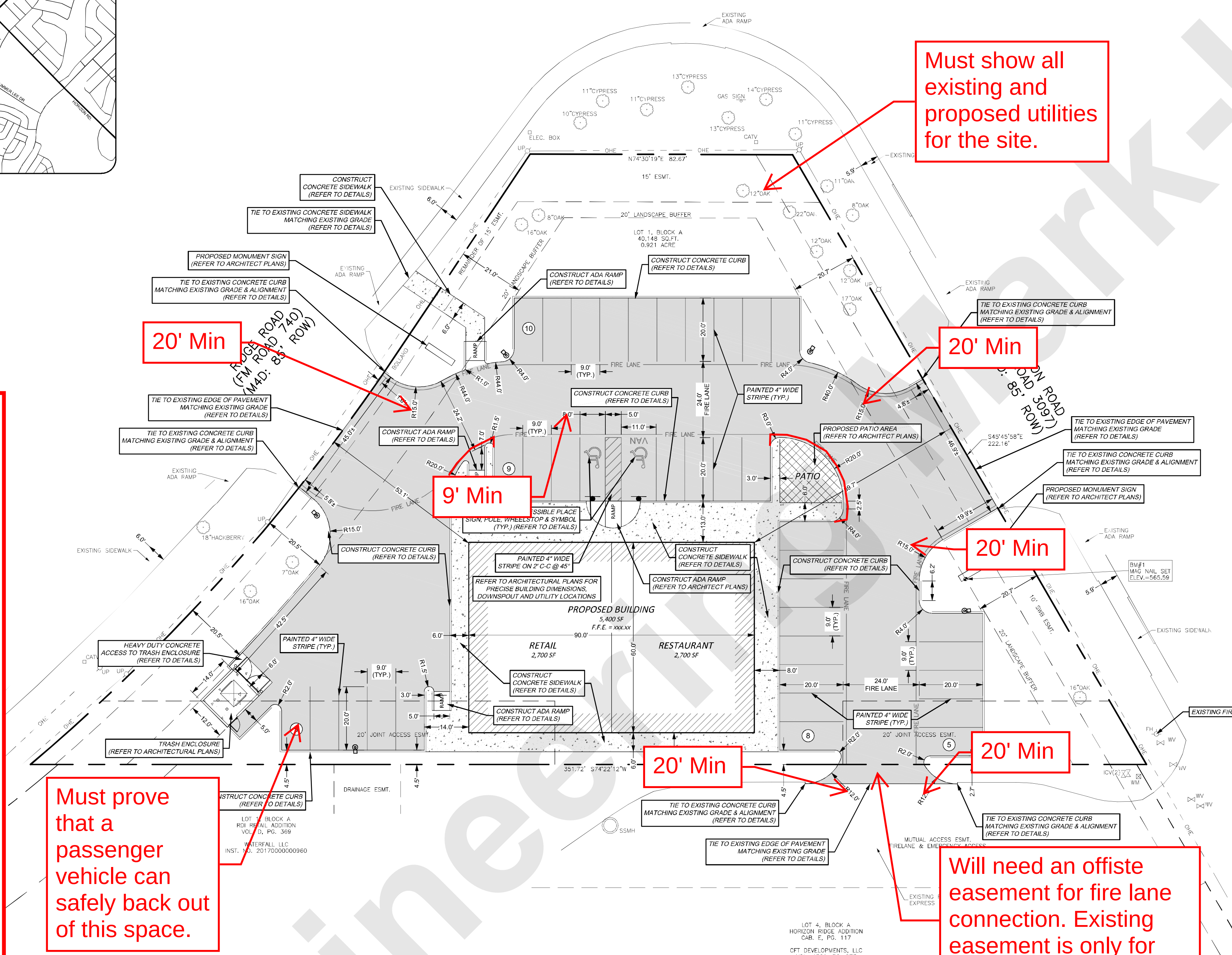
- Consider Additional Security lighting above all entrances, including rear doors, parking areas and dumpster(s).
- Consider Additional Lighting at all corners of the building, in the same manner as those at the front corners where lighting is placed on either side of the 90 degree intersection of the building (brown corners).
- Consider two additional lights on each of the sides of the building evenly spaced to eliminate shadows and placed to hide or commit crimes.
- Consider providing clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing
- Consider mirror(s) on dumpster fencing to reveal any persons inside holding (fencing) area.
- Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster (ID Theft, etc.)
- Consider auxiliary locking system on rear doors that adhere to fire code.
- Consider all exterior doors being equipped with alarm contact sensors and all windows with glass break sensors.
- Consider motion sensor alarms inside the business and motion activated lighting for the interior.
- Consider the addition of security cameras on the exterior of the building that provide 360 degree coverage. This would also reduce potential liability to the business from false claims of injury at the rear and far sides of the complex.
- Consider camera monitors for the rear of the business to ensure that employees will have a complete and unobstructed view prior to exiting the rear of the business.
- Ensure new or existing trees and bushes are trimmed within acceptable standards (Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting for trees and shrubs at the rear of business to illuminate the area and provide territorial reinforcement, ownership and enhance natural lines of sight at night when exiting the business.
- Consider industry standard or higher security cameras at the corners and entranceways of the business and throughout interior of the business
- Consider some type of locking system to keep individuals from accessing the roof ladder that is located at the rear of the business
- Can discuss CPTED for the interior of the businesses once they've been defined. Including locking systems, alarms, motion sensors, fire/money safes, safe rooms, window coatings, signage, etc.
- Consider the addition of bollards to the front and sides of the complex to prevent accidents and vehicles being used to break into the businesses
- More than willing to speak directly with the business owners or developers about the property. Recommendations are minimal at this time without knowing the actually businesses and speaking directly with the owners/architect(s).

The implementation of all or any portion of the considerations are NO guarantee or assurance that crime will not occur or that the property will be crime proof. The considerations should, however, reduce the probability of crime if the strategies and recommendations are properly applied and consistently maintained Any changes should still meet with the City of Rockwall's building code, code of ordinances and fire code.



VICINITY MAP

NOT TO SCALE



- 4% Engineering Inspection Fees
- Impact Fees
- Engineering plan review fees
- Must tie loop water line.
- No structures in easements. Min. easement width is 20'.
- Fire lane radii is 20' minimum as long as the building is 29' or shorter. If taller than 30', the radii must be 30' min.
- Parking to be 20'x9' for nose-to-nose or adjacent to the building all else to be 18'x9'.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.
- No trees within 10' of non-steel encased public utilities.
- Dumpster area must drain to an oil/water separator prior to connecting to the storm system
- Must meet City of Rockwall Standards of Design.

SITE PLAN INFORMATION

LAND USE: CURRENT: C - COMMERCIAL
PROPOSED: C - COMMERCIAL

TOTAL LOT AREA: 0.921 ACRES (40,148 S.F.)
TOTAL LOT PERIMETER: ±906 LF

BUILDING AREA: 5,400± S.F.
BUILDING HEIGHT: 20'-0" - 24'-0"

	REQUIRED	PROVIDED
STANDARD PARKING	35	35
ACCESSIBLE PARKING	2	2
TOTAL	37	37

LEGEND

EXISTING / PROPOSED

- WATER METER
- WATER VALVE
- FIRE HYDRANT
- GAS METER
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- UTILITY POLE
- SITE LIGHTING POLE
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL BOX
- STORM MANHOLE
- STORM JUNCTION BOX
- CURB INLET
- GRATE INLET
- SIGN
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING CONCRETE CURB
- PROPOSED CONCRETE CURB
- NUMBER OF PARKING SPACES
- PROPOSED FIRE LANE
- PROPOSED 3,500 PSI 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.E.W.
- PROPOSED 3,500 PSI 5" CONCRETE STANDARD DUTY PAVEMENT WITH #4 BARS AT 24" O.C.E.W
- PROPOSED 3,500 PSI 6" CONCRETE HEAVY DUTY PAVEMENT WITH #4 BARS AT 18" O.C.E.W

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES, OSHA STANDARDS AND PROJECT SITE WORK SPECIFICATIONS.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING ENTRANCE LOCATIONS,
3. CONTRACTOR SHALL REFER TO MEP PLANS FOR TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING EXISTING ITEMS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. DAMAGES SHALL BE REPORTED TO ENGINEER OF RECORD PRIOR TO REPAIR. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
5. CONTRACTOR IS REQUIRED TO REMOVE OR RELOCATE, IN A PROPER MANNER, EXISTING IMPROVEMENTS/NATURAL FEATURES TO ALLOW FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS INDICATED ON THE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS. PROPERTY CORNERS DAMAGED BY CONTRACTOR SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
8. CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
9. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE LATEST EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
10. ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
11. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE, FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
12. ALL CURB RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
13. FIRE LANES ARE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO LOCAL CITY REQUIREMENTS FOR EXACT LOCATION.

ACCESSIBILITY NOTES

1. PROPOSED CONSTRUCTION ON THIS SITE SHALL COMPLY WITH THE LATEST REVISION OF THE ADA REGULATIONS AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
2. ALL SLOPES ON SIDEWALKS ADJACENT TO BUILDINGS SHALL BE AT ¼" PER FOOT MAX. DOWN TO THE TOP OF CONCRETE CURB.
3. ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
4. ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
5. ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 5' X 5' LANDINGS. RAMP SLOPE SHALL NOT EXCEED 8.33% (1:12).
6. RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
7. SURFACE OF CURB RAMPS SHALL BE CONSTRUCTED WITH ADA COMPLIANT SURFACE. SURFACE OF ACCESSIBLE ROUTES AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. CURB RAMPS SHALL NOT EXCEED 6' IN LENGTH.
8. THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

INSPECTIONS/CERTIFICATIONS NOTE

ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

PERMITS NOTE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

TOPOGRAPHIC SURVEY NOTE

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY CBG SURVEYING TEXAS LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.

BENCHMARK

IF THE CONTRACTOR RELOCATES REFERENCE MARKERS WITH A NEW REFERENCE MARKER, IT SHALL BE LOCATED WITHIN A HORIZONTAL AND VERTICAL TOLERANCE OF 0.10'

BM#1 MAG NAIL SET
ELEVATION = 565.59

OWNER

SDI ROCKWALL HOLDINGS, LLC
1800 WEST LOOP SOUTH
SUITE 1850
HOUSTON, TEXAS 77027

811 Know what's below. Call before you dig.

CITY OF ROCKWALL

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF __________, _____.

WITNESS OUR HANDS, THIS _____ DAY OF __________, _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

CASE NUMBER: SP2020-XXX

SITE PLAN

KROGER OUTLOT
2901 RIDGE ROAD
ROCKWALL, TEXAS 75032

DRAWN BY: TG | DESIGNED BY: DK | LATEST REVISION: 03/18/20 | KSA JOB NO.: 19-1506-38

KSA
6781 Oak Hill Blvd., Tyler, Texas 75703
T. 903-581-8141 F. 888-224-9418
www.ksaeng.com

This document is released for the purpose of interim review under the authority of Darrel Kotzur, P.E., Lic. # 83947, on March 18, 2020. It is not to be used for construction, bidding, or permit purposes.

SEAL:
TBPE Firm Registration No. F-1356

SHEET NO.
C1.0

Landscape Requirements:

1. Perform all work in accordance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide all inspections and permits required by Federal, State, and local authorities in supply, transportation, and installation of materials.

2. The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electrical, cable, TV, etc.) and all overhead utility easements prior to start of any planting works.

3. All plant materials shall possess the following minimum qualities:
   a. Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve months.
   b. All plants shall be heavy, symmetrical, tightly knit, so trained or favored for development and appearance as to be superior in form, number of branches, compactness, and symmetry.
   c. Plants shall be sound, healthy and vigorous, well branched, and densely foliated when in leaf. They shall be free of disease, insects, pests, eggs, or larvae.
   d. All plants shall be true of species and variety and shall conform to measurements (caliper size, trunk heights, spread) as specified on the drawings.
   e. Container grown stock when specified shall have grown in the container in which delivered for at least six months, but not over two years. Samples must prove no rootbound conditions exist.
   f. Caliper measurements shall be taken at a point on the trunk six inches (6") above natural ground line for trees up to four inches (4") in caliper.
   g. All trees shall be staked by a minimum of two metal "T" stakes for single trunk trees and three stakes for all multi-trunk trees.

4. Planting mix shall be thoroughly mixed in the following proportions:
   a. Prepared soil as backfill for shade and ornamental trees shall be: 5 part clay loam topsoil + 2 part compost + 1 part sharp sand + 4 Lbs. Commercial fertilizer per CY Or 10 Lbs. Organic fertilizer.
   b. Prepared soil as backfill for shrubs and groundcovers and seasonal colors shall be: 1 part enriched mulch + 1 part compost bark mulch + 1 part enriched topsoil + 1 part No. 1 Bank Sand + 3 Lbs. Time- released fertilizer, 14-14-14 per CY or 8 Lbs. Organic fertilizer.

5. Excavation work and Surface drainage works shall conform to the following requirements:
   a. Test drainage of plant beds and plant pits by filling with water twice in succession. Conditions permitting the retention of water for more than 24 hours shall be brought to the attention of the Owner.
   b. Work shall include the final responsibility for proper surface drainage of planted areas. Any obstructions on the site, or prior work done by another part, which precludes establishing proper drainage shall be brought to the attention of the Owner in writing.
   c. Excavate each tree hole 18" deep plus the depth of the tree container size (15 gal. Or 30 gal. Or 65 gal. Or 100 gal.).
   d. Excavate entire shrub bed to a depth of 8" plus the depth of the shrub container size (5 gal.) unless noted as being pit planted on landscape legend.
   e. Excavate entire groundcover bed to a depth of 6" plus the depth of the groundcover container size (4" pot or 1 gal.).

6. Additional work requirements on landscape areas:
   a. Prior to installation of any planting works (trees, shrubs,groundcover and grass works); apply "Round Up" in all planting areas to eradicate all weed growths on site.
   b. **ADD ALTERNATE:** Install weed control barriers in all trees, shrub and groundcover planting areas. Weed barrier fabric shall be back polypropylene sheet 27 mils thick, 4 oz/s.y. grab tensile strength per ASTM D-4632; 90 lbs. (machine direction) 50 lbs.(cross machine direction). Provide DeWitt "Weed Barrier" or approved substitute.
   c. Use **"Shovel Edge"** to separate all plant beds from grass areas.
   d. Spread a minimum two inch layer of pine bark mulch overall shrub and groundcover bed areas.

7. Landscape maintenance work by the Landscape Contractor after final acceptance shall include the following:
   a. The maintenance period shall commence upon inspection and approval at Final Acceptance and shall be for a period of Sixty Days (60).
   b. The landscape contractor shall coordinate the watering program for all the landscape work with the Owner.
   c. Maintenance of new plantings shall consist of watering, cultivating, weeding, mulching, restaking, tightening and repair of guys; resetting plants for proper grades or upright position, and furnishing and application of pesticides/herbicides; sprays, and invigorants as are necessary to keep plantings free of insects and disease and in a thriving condition.

8. Warranty Periods, Plant Guarantees, and Replacements:
   a. Planting supplied shall be warranted to remain alive and healthy for a period of twelve months (12) after the date of Final Acceptance by Owner. Plants in an impaired, dead, or dying condition after initial acceptance or within 12 months shall be removed and replaced immediately to the satisfaction of the Owner.

Grass Hydromulching Work Requirements:

1. Grass works:
   a. Seed which has become wet, moldy and otherwise damaged in transit or in storage will not be acceptable.
   b. All grass seed shall be fresh, re-cleaned grass seed of the latest crop, mixed in the following proportions by weight and meeting the accepted standards of pure live seed content, purity and germination.
   c. Grass seed shall have the following minimum ratio:
      Summer Mix:
      Cynodon Dactylon (Hulled Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre.
      Winter Mix:
      Cynodon Dactylon (Unhulled - Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre. Annual Rye Grass or equal, 85% pure live seed at 175 Lbs. Pure live seed per acre.
2. Slurry Mix Component per Acre shall be Wood cellulose fiber mulch = 2,000 pounds + Grass Seed as specified + fertilizer (13-13-13) 800 pounds.
3. Hydromulched seeding on Prepared finished grades:
   a. Install and spread out a minimum of one inch layer of topsoil over all areas to be hydromulched.
   b. Bed preparation: Immediately after the finished grade has been approved, begin hydroseeding operation to reduce excessive weed growth and erosion.
   c. Apply seed, fertilizer and mulch by spraying them on the previously prepared seedbeds in the form of an aqueous mixture and by using the methods and equipment described herein.
   d. Particular care shall be exercised by the contractor to insure that the application is made uniformly and at the prescribed rate and to guard against miss and overlapped areas.
   e. Where slope of areas to be grassed exceed a 3:1 H:V; an erosion control fabric shall be installed prior to hyromulching process.
4. Maintenance:
   a. Maintenance shall consist of weeding, fertilizing, insect control, watering, replanting, mowing, maintaining of existing grades and repair of any erosion damages.
   b. Guarantee growth and coverage of hydromulch planting shall be a minimum on ninety five percent 95% of the area planted will be covered with specified planting after sixty days with no bare spots visible.
   c. Watering: Coordinate with the Owner to properly operate irrigation system to assure a regular, deep watering program.
5. Inspection and Final Acceptance:
   Final acceptance of lawn establishment shall mean that hydroseed areas are Ninety Five percent 95% uniform coverage of grass in excess of one inch height. No bare spots will be acceptable.

Special Notes for Protection of Existing Trees:

1. Tree protection fencing shall be installed to eliminate activities detrimental to trees including but not limited to the following:
   a. Soil compaction in the critical root zones resulting from heavy equipments, vehicular or excessive pedestrian traffic or storage of equipments or materials.
   b. Root disturbance due to cuts, fills, or trenching works.
   c. Wounds to exposed roots, trunks or limbs by mechanical equipments.
   d. Other activities such as chemical storage, cement truck cleaning, fire, etc. are not acceptable or allowed around existing trees designated to remain on site.

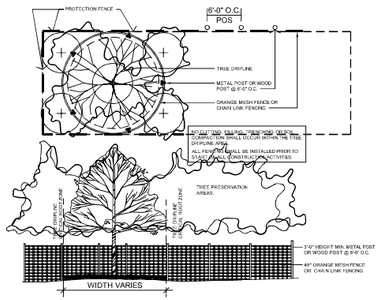
2. Location and types of tree protection devices:
   a. Tree protection devices are to be installed to completely surround the critical root zones (tree dripline) of ail trees to be preserved.
   b. Tree protection fencing shall consists of chain link fencing or accepted substitutes (orange colored fabric mesh membrane). In addition to fencing, where tree trunks are in jeopardy of being damaged by equipments, 2x4 inch boards may be required to be strapped around the trunks of trees.
   c. Tree protection fence may be installed around a grouping of existing trees for better control.

3. All tree protection fencing shall be installed prior to any clearing, grubbing or grading. Tree protection fences must remain in functioning condition throughout all phases of the site development/construction.

4. The contractor shall provide Class One Tree works for ail trees designated to remain on the project site. Work shall include required root pruning; removal of dead/dying branches, trimming/thinning out of tree branches; repair of tree cavities and other tree damages. Trees shall be fertilized annually. A 3-1-1 ratio of nitrogen, phosphorus and potassium containing slow release, non-burning nitrogen should be applied according to manufacturer's instructions.
5. All existing trees to remain shall be maintained bv a certified tree arborist.

6. During construction, no excess soil, additional fill, equipment, liquids or construction debris shall be placed inside the protective barrier, upon the root protection zone, nor shall any soil be removed from within the barrier.

7. The proposed finished grade and elevation of land within the root protection zone of any tree to be preserved shall not be raised or lowered more than one inch. Welling and retaining methods are allowed outside the root protection zone and shall be done in conformance with the Texas A & M University, Extension Landscape Horticultre, Protecting Existing Landscape Trees from Construction Damage Due to Grade Changes", Everett E. Janne and Douglas F. Welch, PhD, authors.



A L1.1 **TREE PROTECTION DETAIL**
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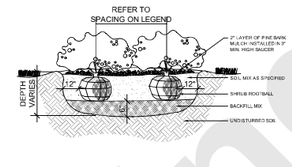

D L1.1 **SHRUB PLANTING**
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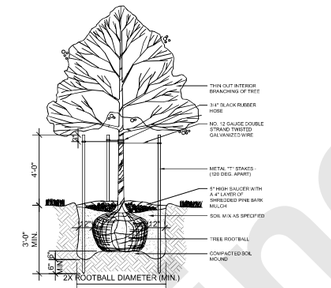

B L1.1 **SINGLE-TRUNK TREE PLANTING**
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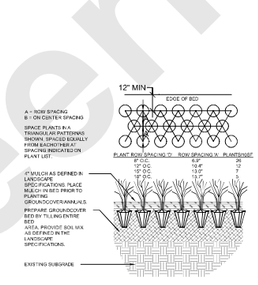

E L1.1 **GROUNDCOVER PLANTING**
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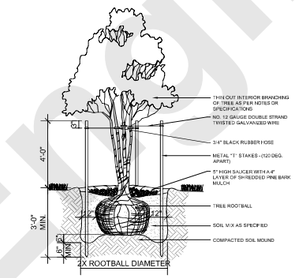

C L1.1 **MULTI -TRUNK TREE PLANTING**
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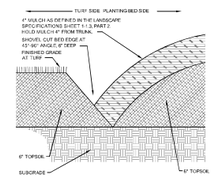

F L1.1 **SHOVEL CUT BED EDGE**
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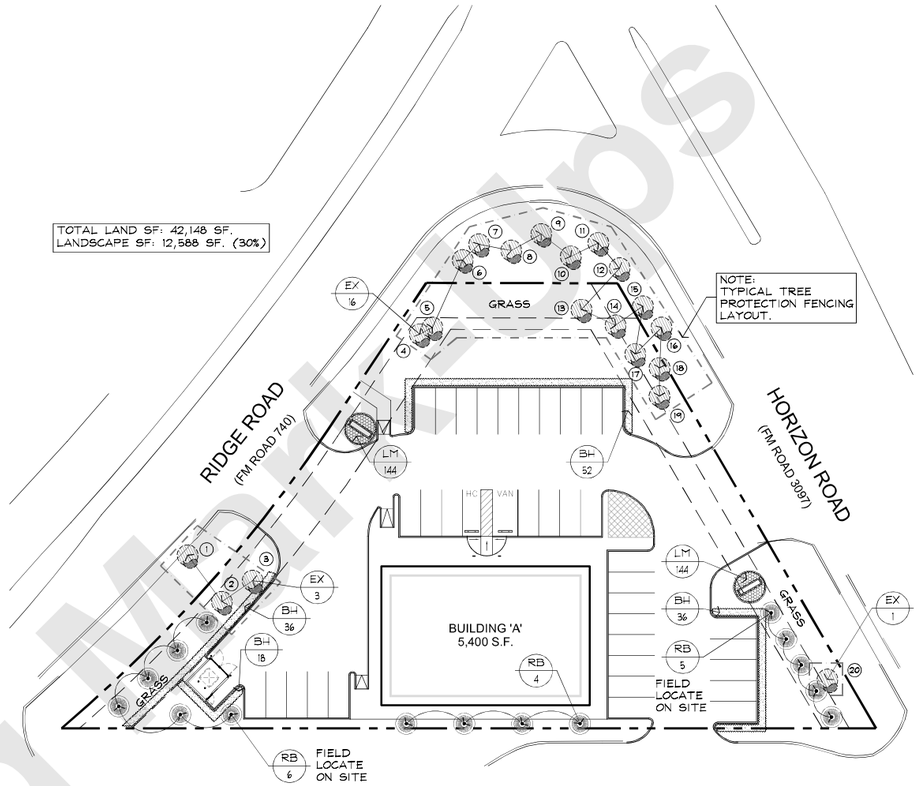


Landscape Legend:

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
EX	20			Existing trees to be remain and be protected by tree fencing as shown. Refer to Tree Inventory Table for tree type and caliper sizes. Refer to Tree Preservation requirements this sheet.
RB	15	Cercis Canadensis	Texas Redbud	2" cal. 30 gal. container; 6' to 7' ht. Tree Form.
BH	142	Ilex Burforii	Dwarf Burford Holly	5 gal. planted at 36" o.c. single row.
LM	288	Liriope Muscari	Big Blue Liriope	1 gal. planted at 12" o.c. triangularly spaced.
Grass	Verify SF.	Cynodon Dactylon	Common Bermuda	**Hydromulched** for all areas within limits of this project plus all right of way areas. All areas to be grassed shall be cleaned up of all construction debris and shall be fine graded to adhere to civil grading/drainage plan.

LANDSCAPE CALCULATIONS:

A. SITE AREAS: 40,148 SF.
B. LANDSCAPE AREAS REQUIRED: 20% OR 8,030 SF.
C. LANDSCAPE AREAS PROVIDED: 31% OR 12, 588.00 SF.
D. TOTAL BUILDING SF. 5400.00 SF.
E. TOTAL IMPERVIOUS AREAS: 27,550.00 SF.
F. TOTAL PARKING REQUIRED: 37 PARKING PROVIDED: 37
G. PLANTING REQUIREMENTS:

1. HORIZON ROAD @ 222.18 LF./50 = 5 CANOPY + 5 ACCENT TREES REQUIRED
12 EXISTING CANOPY TREES PRESERVED + 5 ACCENT TREES PROVIDED

2. RIDGE ROAD @ 250 LF./50 = 5 CANOPY + 5 ACCENT TREES REQUIRED
7 EXISTING CANOPY TREES PRESERVED + 4 ACCENT TREES PROVIDED

Owner's Responsibility For Maintenance
Client acknowledges and agrees that proper Project maintenance is required after the Project is complete. A lack of or improper maintenance in areas such as, but not limited to, operation and maintenance of automatic irrigation system, all site drainage and all planting materials maintenance may result in damage to property or persons. Client further acknowledges that he is solely responsible for the results of any lack of or improper maintenance.

Landcape Contractor's Responsibilities:
All drainage (surface and subsurface) of all landscape areas within the project limits shall be the responsibility of the installing landscape contractor and landscape maintenance company. All grading of areas along all building areas must absolutely have positive slope away from building. In no case shall any plant bed be constructed along edge of building that will impede water flow away from building. If planting beds are located at edges of building, landscape contractor shall make sure that these areas drain properly (surface and subsurface-wise). Contractor shall install moisture barrier along building as necessary to keep water from penetrating underneath building slab.

"REFER TO FINISHED GRADES SHOWN ON PROJECT CIVIL GRADING PLAN. IT WILL REPRESENT FINAL ELEVATIONS. CARE SHOULD BE TAKEN BY THE LANDSCAPE CONTRACTOR NOT TO INCREASE THESE FINISHED GRADES WITH LANDSCAPING OR OTHER ALTERATIONS. THE THICKNESS OF SOD, GRASS AND LANDSCAPING MATERIALS SHOULD BE DEDUCTED FROM THE FINISHED GRADE ELEVATIONS IN THESE CIVIL GRADING PLANS IN ORDER TO DETERMINE THE GROUND ELEVATIONS DURING CONSTRUCTION."

1 L1.1 **LANDSCAPE PLAN**
SCALE: 1" = 30'-0"

Existing Trees to Remain:

Tree No.	Type of Tree	Tree Caliper
01.	Hackberry	18"
02.	Oak	16"
03.	Oak	7"
04.	Oak	16"
05.	Oak	8"
06.	Cypress	10"
07.	Cypress	11"
08.	Cypress	11"
09.	Cypress	13"
10.	Cypress	13"
11.	Cypress	14"
12.	Cypress	11"
13.	Oak	12"
14.	Oak	22"
15.	Oak	11"
16.	Oak	8"
17.	Oak	12"
18.	Oak	12"
19.	Oak	17"
20.	Oak	16"

ISSUE	DATE	DESCRIPTION
	03/11/2020	ISSUE FOR PERMIT
	03/20/2020	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.
WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

boucher design group
Boucher Design Group LLC
Members A.I.A.
6802 Mapleridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com

REGISTERED LANDSCAPE ARCHITECT EDWARD WONG STATE OF TEXAS 2570

Wong & Associates, Inc.
P.O. Box 2028 Bellaire, Texas 77402-2028
Tel. 713-777-9198 Cell : 713-557-9298
Member: American Society of Landscape Architects

KROGER OUTLOT
2901 Ridge Road
Rockwall, Texas 75032

SDI Rockwall Holdings, LLC
1800 West Loop South
Suite 1850
Houston, Texas 77027

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	EW/SR
CHECKED BY	EW

LANDSCAPE PLAN

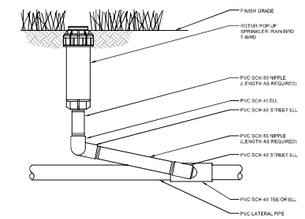
L1.1

Irrigation General Notes:

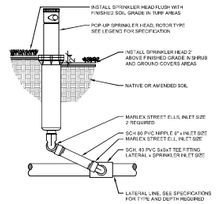
1. ALL materials and equipment shall conform to all applicable State of Texas, City and County codes.
2. The irrigation contractor shall be responsible for securing all permits prior to actual work on site.
3. The intent of the 100% coverage of all landscape areas.
4. Prior to commencement of work, the irrigation contractor shall contact the Owner to coordinate all required inspections.
5. Extreme care shall be exercised in excavating and working near existing utility easements. The irrigation contractor shall be responsible for the verification of all utility locations (telephone, TV, gas electrical, water, cable, etc.). The irrigation contractor shall be responsible for all damages inflicted on any and all utility lines.
6. The Irrigation contractor shall at all times protect his work from damage and theft and replace all damaged or stolen parts at his expense until receipt of the Certificate of Substantial Completion from the Owner.
   The Irrigation contractor shall flush and adjust the system for optimum performance. This shall include regulating the pressure at each valve to obtain the optimum operating pressure for each system.
7. Use glue joints in mainline passing through sleeves under pavement. PVC sleeves shall be Schedule 40 and shall extend 24" out of the nearest existing pavement areas for easy location. The irrigation contractor shall be responsible for coordinate all sleeve locations on the project site with the Owner and/or general contractor.
8. The irrigation contractor shall also comply to these additional special requirements to the irrigation system shall include the following.
   a. All mainlines shall have a minimum of 18" of cover **(Sch. 40 PVC Pipe.).**
   b. All lateral and sub-main pipe to have a minimum of 12" of cover **(Sch. 40 PVC Pipe.).**
   c. No rocks, boulders or other extraneous materials shall be used for backfilling of trenches.
   d. All pipes to be installed as per manufacturer's specifications.
   e. All threaded joints to be coated with Teflon tape or Liquid Teflon.
   f. All lines to be thouroughly flushed before installation of any sprinkler heads.
   g. Sprinkler and related equipments shall be installed as per manufacturer's specification.
   h. No electrical connections shall be made in the field except at a valve control box or another valve box specifically for connections.
   i. All 24 volt wire shall be No. 12UF/UL for common wire and No. 14 UF/UL for control wires, direct burial shall be solid copper.
   j. The irrigation contractor shall be responsible for proper coverage of areas to be watered; i.e. adjust heads with insufficient coverage due to blockage by existing or proposed site features or sizing down sprinkler heads to avoid excessive overthrow.
   k. The irrigation contractor shall refer to landscape planting plan to keep sprinkler equipments and accessory materials from interfering with proper planting; i.e. Verify football size for planting; configuration of shrub/groundcover beds, etc.
   l. The irrigation contractor shall provide expansion coils at each wire connection in valve box (wrap around 3/4" pipe 12 times).
   m. The irrigation contractor shall utilize appropriate automatic drain device where low head drainage may occur.
   n. All sprinkler heads shall be mounted on swing joints unless otherwise noted.
   o. The irrigation contractor shall install a separate common for each controller.
   p. 24 Volt wire shall be color coded: Common shall be white and Control red.
   q. The irrigation contractor shall install manufacturer's recommended grounding equipment for power supply and valve output with (2) 5/8" copper clad ground rods.
   r. The irrigation contractor shall install manufacturer's recommendation on fault ground and lightning protection.
   s. The irrigation contractor shall furnish the owner with the following : 2 wrenches for disassembling and adjusting each type of sprinkler heads and valves + 2 keys for the automatic controller +2 quick coupler keys with matching hose swivels.
   t. The irrigation contractor shall add extension risers to pop up sprinklers when needed for proper coverage. Coordinate with landscape contractor as to where risers for sprinkler heads are required.
   u. The irrigation contractor shall install sprinkler equipments 12" from all buildings foundations and install sprinklers 4" from any curbs or walkways.
   v. The irrigation backflow prevention device shall be installed within areas of proposed shrub plantings. The purpose of this is to keep the device screened from view.
9. The entire irrigation system (labor and materials) shall be guaranteed and warranted for a period of one year. The warranty period shall commenced upon final acceptance by Owner of all landscape and irrigation works.
10. The irrigation contractor for the project must be licensed to do business within the State of Texas , as required by TCEQ."
11. This irrigation plan is diagrammatic only. Irrigation contractor shall provide final irrigation design layout plan complete with licensed irrigator's seal and signature. All applicable design calculations shall be shown on this irrigation plan to comply with all TCEQ requirements.

Irrigation Legend:

Sym	Sym	Irrigation Equipment and Manufacturer	Sprinkler Specification	GPM
		Hunter I-20 Rotary Sprinkler		
A		I-20-36V 4"-1.0 nozzle Full Circle	30'-0" radius	4.00
B		I-20-ADS 4"-1.0 nozzle Part Circle	30'-0" radius	2.00
		Rainbird 1806 Pop Up Sprinkler or equal.		
C		RB 1806 Half 180 degree	12'-0" radius	1.30
D		RB 1806 Qtr. 90 degree	12'-0" radius	0.65
E		RB 1806 Low Angle End Strip Nozzle	4'x15'	0.61
F		RB 1806 Low Angle Center Strip Nozzle	4'x30'	1.21
		Rainbird 1812 Shrub Pop Up Sprinkler or equal.		
G		RB 1812 Full 360 degree mounted on 24" Sch. 40 riser	12'-0" radius	2.60
H		RB 1812 Half 180 degree	12'-0" radius	1.30
J		RB 1812 Qtr. 90 degree	12'-0" radius	0.65
		Rainbird PEB series Electric Remote Control Valves with sizes as noted plan.		
		One (1) 1" water meter Supplied and installed by irrigation contractor for the irrigation system. Water meter to be installed as per city and county codes.	Verify point of connection.	
		One (1) 1" FEBCO RPZ & 1" ISOLATION VALVE to be installed as per city and county code by irrigation contractor. Install **BPDI Guardshack Enclosure GS-3.3** to protect backflow devices. Verify location on site.		
		Rainbird 33 DRC quick coupling valve (valves to be installed below grade inside valve box)	Total **(3)** field located on site.	
		One (1) Rainbird ESP 8 LX Irrigation controllers. Verify location and coordinate electrical requirements for controller with General contractor and / or owner. Install **Rainbird Rain Sensors** within close proximity of controller location. Verify location with Owner.		
		Pressure Line shall be **1 1/2"** sch. 40 PVC pipe. Install "Thrust Blocks" as required. Install appropriate Gate Valves where noted.		
		6" Sch. 40 PVC irrigation sleeves unless noted as 4" on plan. Verify location of all sleeves on project site.		
		1/2" Sch. 40 PVC non pressure line. 3/4" Sch. 40 PVC non pressure line. 1" Sch. 40 PVC non pressure line. 1-1/2" Sch. 40 PVC non pressure line.		
		Sequence of Irrigation Valve Size of Irrigation Valve		



A L2.1 **ROTARY SPRINKLER**
SCALE: NOT TO SCALE



B L2.1 **POP-UP SPRINKLER ROTOR TYPE (6")**
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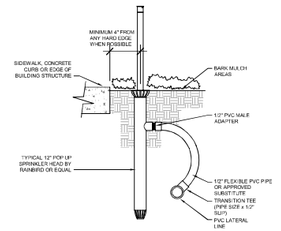

C L2.1 **POP UP SPRAY HEAD (12")**
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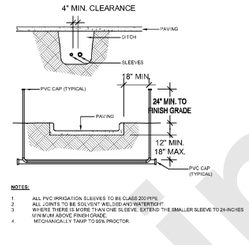

D L2.1 **SLEEVING**
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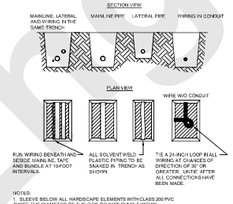
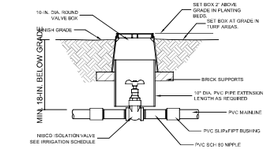
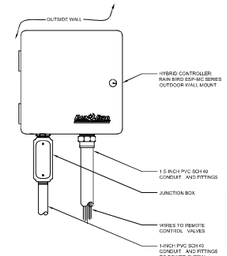


E L2.1 **TRENCH DETAIL**
SCALE: NOT TO SCALE

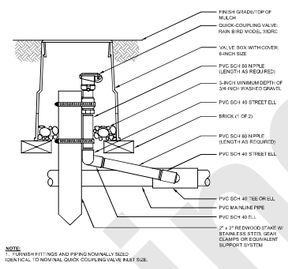


F L2.1 **ISOLATION/SHUT-OFF VALVE**
SCALE: NOT TO SCALE

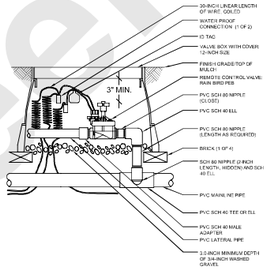


VERIFY LOCATION FOR:
1" FEBCO RPZ
1" ISOLATION VALVE
1" WATER METER

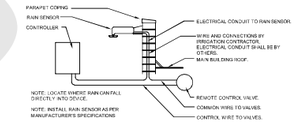
G L2.1 **IRRIGATION CONTROLLER**
SCALE: NOT TO SCALE



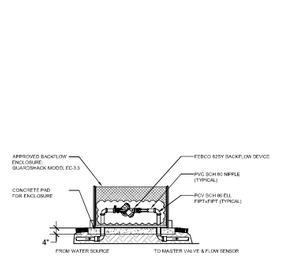
H L2.1 **QUICK COUPLING VALVE**
SCALE: NOT TO SCALE



I L2.1 **REMOTE CONTROL VALVE**
SCALE: NOT TO SCALE



J L2.1 **RAIN SENSOR INSTALLATION DETAIL**
SCALE: NOT TO SCALE



K L2.1 **FEBCO 825Y RPZ BACKFLOW DEVICE**
SCALE: NOT TO SCALE

NOTE:
HANDTRENCHING ONLY AROUND CANOPY/DRIP LINE OF ALL EXISTING TREES.

NOTE:
VERIFY LOCATION FOR IRRIGATION CONTROLLER. COORDINATE POWER TO CONTROLLER WITH GC ON SITE.

1 L2.1 **IRRIGATION PLAN**
SCALE: 1" = 30'-0"

DESIGN DISCLAIMER:

This irrigation drawing is a preliminary layout. It is a diagrammatic representation for purpose of providing a basic depiction of the scope of coverage, initial valve zoning, with head type and placement. The Irrigation drawing does not provide necessary zone flow, hydraulic calculations to determine Design Pressure. These are defined in Texas Administrative Code ***§§344.61 Minimum Standards for Design of the Irrigation Plan***, and required by the T.C.E.Q for a complete Irrigation Plan and for Permit and Construction. It will be the responsibility of the installing licensed irrigator or irrigator-in-charge, to use information provided on this Preliminary Irrigation drawing, to provide a final Irrigation Plan meeting all standards as required by T.C.E.Q. Signed and Sealed.

Wong & Associates, Inc. shall not be responsible and accepts no liability for design failure, inaccurate head layout, incorrect hydro-zoning, pipe sizing, zone flow or hydraulic calculations, irrigation equipment, or aspects of the preliminary design drawing not in compliance with local irrigation regulations. The irrigation contractor shall be ultimately responsible for the final design, installation and proper operation of the irrigation system.

Disclaimer

Wong & Associates, Inc. shall not be responsible for the operation and/or maintenance of this irrigation system, once the date of final acceptance by the owner is established. All grades and elevations on the project shall be set by the project civil engineer. The Owner shall be responsible for the monitoring and the maintaining of the irrigation system. Monthly moisture sensor tests of all sprinkler zones around all building pads and on entire property, shall be performed by the Owner to ensure that no over-watering and/or any irrigation system leaks are present. The irrigation contractor shall be responsible for providing all guarantee and warranties for the irrigation system. The irrigation contractor shall be ultimately responsible for the installation and proper operation of the irrigation system.

ISSUE	DATE	DESCRIPTION
	03/11/2020	ISSUE FOR PERMIT
	03/20/2020	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

_____
Planning & Zoning Commission, Chairman

_____
Director of Planning and Zoning

boucher design group
Boucher Design Group LLC
Members A.I.A.
6802 Mapleridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com

CRAIG S. VARS
LICENSED LANDSCAPE ARCHITECT

Wong & Associates, Inc.
P.O. Box 2026 Bellaire, Texas 77402-2026
Tel. 713-777-9198 Cell : 713-557-9298
Member: American Society of Landscape Architects

KROGER OUTLOT
2901 Ridge Road
Rockwall, Texas 75032

SDI Rockwall Holdings, LLC
1800 West Loop South
Suite 1850
Houston, Texas 77027

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	EW/SR
CHECKED BY	EW

IRRIGATION PLAN

L2.1

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:
[ ] Master Plat ($100.00 + $15.00 Acre) [1]
[ ] Preliminary Plat ($200.00 + $15.00 Acre) [1]
[ ] Final Plat ($300.00 + $20.00 Acre) [1]
[ ] Replat ($300.00 + $20.00 Acre) [1]
[ ] Amending or Minor Plat ($150.00)
[ ] Plat Reinstatement Request ($100.00)

Site Plan Application Fees:
[X] Site Plan ($250.00 + $20.00 Acre) [1]
[ ] Amended Site Plan/Elevations/Landscaping Plan ($100.00)

Zoning Application Fees:
[ ] Zoning Change ($200.00 + $15.00 Acre) [1]
[ ] Specific Use Permit ($200.00 + $15.00 Acre) [1]
[ ] PD Development Plans ($200.00 + $15.00 Acre) [1]

Other Application Fees:
[ ] Tree Removal ($75.00)
[ ] Variance Request ($100.00)

Notes:
[1]: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	2901 Ridge Road, Rockwall, Texas 75032			
Subdivision		Lot		Block
General Location	Hard corner of Ridge Road and Horizon Road			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-9, General Retail		Current Use	Commercial	
Proposed Zoning	PD-9, General Retail		Proposed Use	Commercial	
Acreage	0.921 acres	Lots [Current]	1	Lots [Proposed]	1

[ ] ***SITE PLANS AND PLATS:*** *By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

[ ] Owner	SDI Rockwall Holdings, LLC	[X] Applicant	Boucher Design Group
Contact Person	Peter Sisan	Contact Person	Jason Miller
Address	1800 West Loop South	Address	6802 Mapleridge Street
	Suite 1850		Suite 200
City, State & Zip	Houston, Texas 77027	City, State & Zip	Bellaire, Texas 77401
Phone	713-892-5200	Phone	713-785-3644
E-Mail	psisan@sdirealty.com	E-Mail	jason@bdgap.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jason Miller [*Owner*] the undersigned, who stated the information on this application to be true and certified the following:

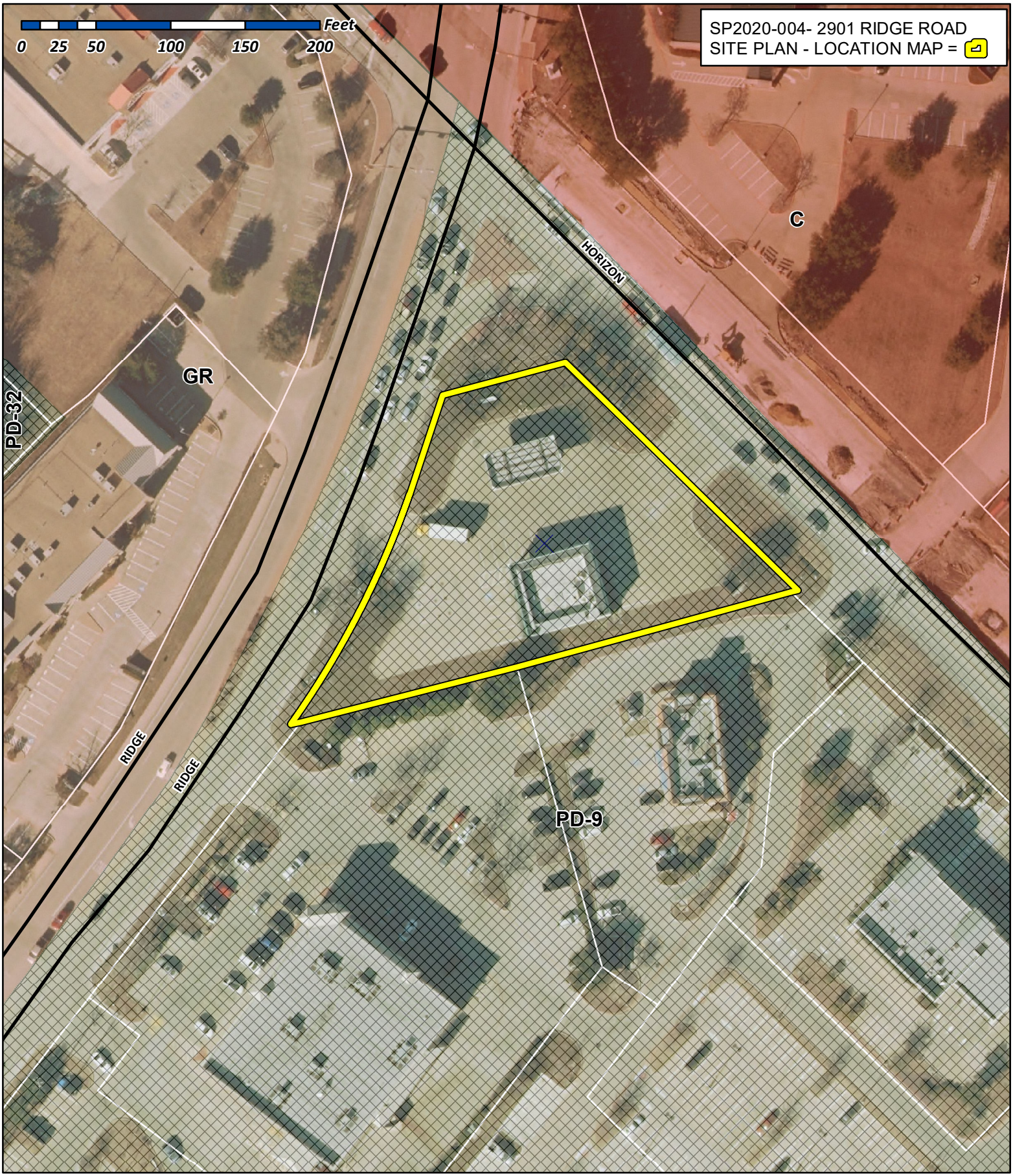
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of $ $270.00 *, to cover the cost of this application, has been paid to the City of Rockwall on this the* 19th *day of* March *, 20* 20 *. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."*

Given under my hand and seal of office on this the 19th *day of* March *, 20* 20.

LINDA S. LEVIS
My Notary ID # 3472478
Expires June 25, 2023

Owner's Signature

Notary Public in and for the State of Texas Linda S. Levis *My Commission Expires* 6/25/2023



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

OVERALL BUILDING (MATERIALS %)

PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL./ CAST STONE (281 S.F.)	10% (MAX)	4%
BRICK (1,345 S.F.)		21%			
CMU (1,969 S.F.)		30%			
GLAZING (1,230 S.F.)		19%			
STUCCO (1,717 S.F.)	50% (MAX)	26%			
TOTAL (6,261 S.F.)	90% (MIN)	**96%**	**TOTAL (281 S.F.)**	10% (MAX)	**4%**

NORTH ELEVATION (MATERIALS %)

PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL./ CAST STONE (149 S.F.)	10% (MAX)	7%
BRICK (112 S.F.)		5%			
GLAZING (830 S.F.)		38%			
STUCCO (1,089 S.F.)	50% (MAX)	50%			
TOTAL (2,031 S.F.)	90% (MIN)	**93%**	**TOTAL (149 S.F.)**	10% (MAX)	**7%**

EAST ELEVATION (MATERIALS %)

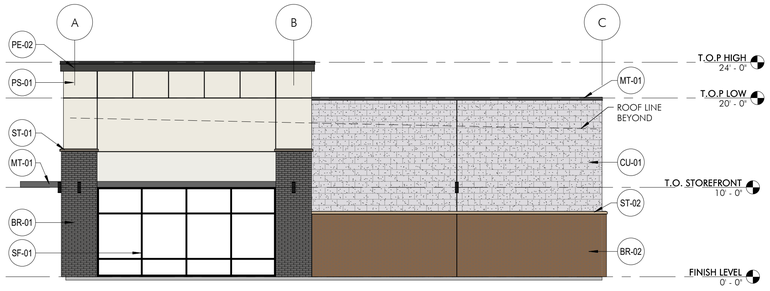
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL./ CAST STONE (53 S.F.)	10% (MAX)	4%
BRICK (343 S.F.)		26%			
CMU (412 S.F.)		31%			
GLAZING (200 S.F.)		15%			
STUCCO (314 S.F.)	50% (MAX)	24%			
TOTAL (1,269 S.F.)	90% (MIN)	**96%**	**TOTAL (53 S.F.)**	10% (MAX)	**4%**

SOUTH ELEVATION (MATERIALS %)

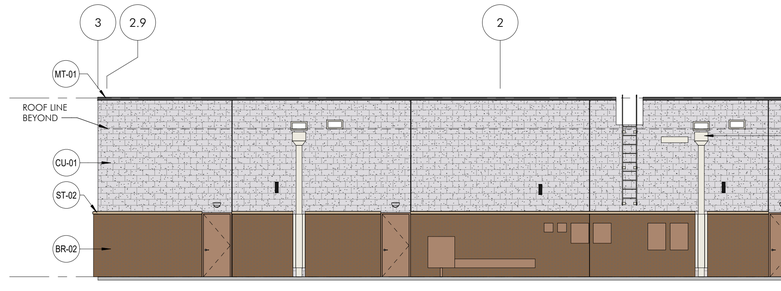
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL./ CAST STONE (26 S.F.)	10% (MAX)	1%
BRICK (547 S.F.)		32%			
CMU (1,145 S.F.)		67%			
TOTAL (1,692 S.F.)	90% (MIN)	**99%**	**TOTAL (26 S.F.)**	10% (MAX)	**1%**

WEST ELEVATION (MATERIALS %)

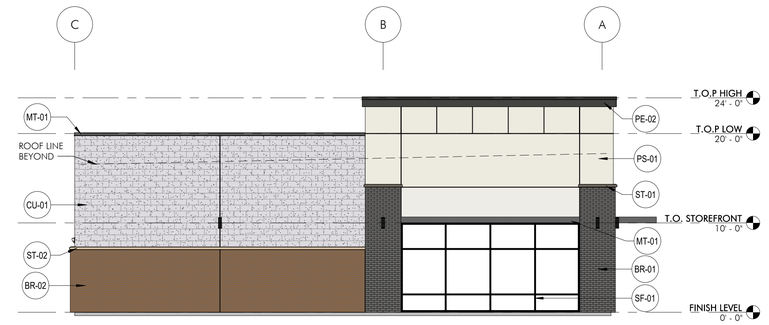
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE	20% (MIN)	0%	EIFS/ MTL./ CAST STONE (53 S.F.)	10% (MAX)	4%
BRICK (343 S.F.)		26%			
CMU (412 S.F.)		31%			
GLAZING (200 S.F.)		15%			
STUCCO (314 S.F.)	50% (MAX)	24%			
TOTAL (1,269 S.F.)	90% (MIN)	**96%**	**TOTAL (53 S.F.)**	10% (MAX)	**4%**



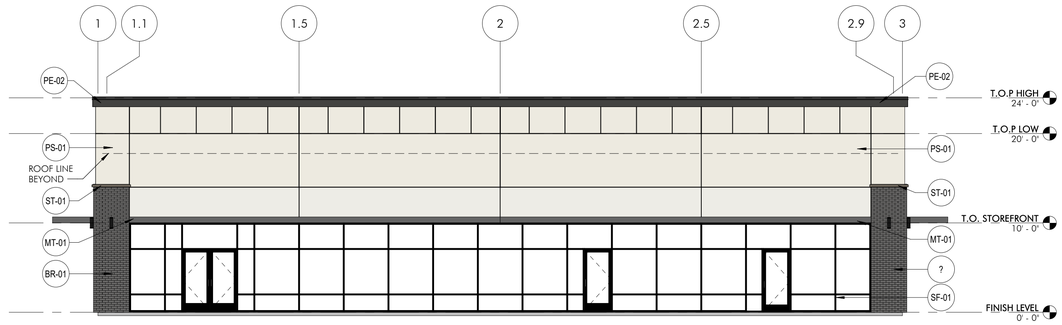
WEST ELEVATION | 4
1/8" = 1'-0"



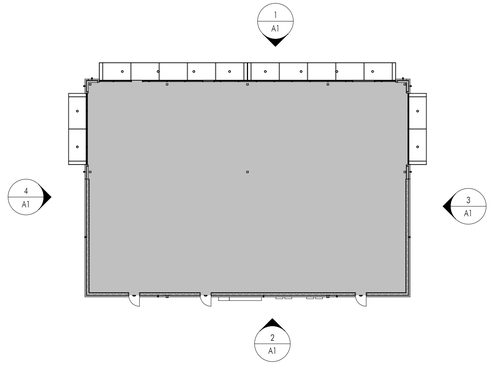
SOUTH ELEVATION | 2
1/8" = 1'-0"



EAST ELEVATION | 3
1/8" = 1'-0"



NORTH ELEVATION | 1
1/8" = 1'-0"



KEY FLOOR PLAN | 5
1" = 20'-0"

BR-01
MASONRY BRICK
CLOUD CERAMICS
MIDNIGHT VELOUR

BR-02
MASONRY BRICK
CLOUD CERAMICS
KANSA GOLD IRONSPOT

CU-01
SPLIT-FACE CMU
OLD CASTLE
WHITE LIMESTONE

ST-01
CALCIUM SILICATE
MASONRY UNIT
ARRISCRAFT GRAPHITE

ST-02
CALCIUM SILICATE
MASONRY UNIT
ARRISCRAFT CHAMPAGNE

MT-01
PREFINISHED METAL
CANOPY/ COPPING
BERRIDGE CHARCOAL GRAY

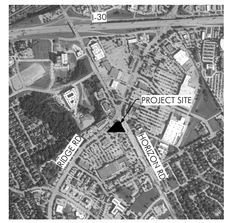
PS-01/PM-01
PAINT
SHERWIN WILLIAMS
SW7008 ALABASTER

PE-02
INTEGRAL COLOR EIFS
SHERWIN WILLIAMS
SW7069 IRON ORE

PM-03
PAINTED MTL.
SHERWIN WILLIAMS
SW7715 POTTERY URN

SF-01
STOREFRONT
KAWNEER
ANODIZED BLACK

R-01
ROOFING
TPO SINGLE-PLY
COLOR: WHITE



PROPOSED LAND USE: **COMMERCIAL**
CASE NO:

0 8 16'

ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

architecture +planning
boucher design group

Boucher Design Group, LLC
Members A.I.A.
6802 Mapleridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

PRELIMINARY
MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-20

KROGER OUTLOT

2901 RIDGE ROAD
ROCKWALL, TX 75032

SDI ROCKWALL HOLDINGS, LLC

1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

EXTERIOR ELEVATIONS

A1

C:\Users\jsimmol\Documents\1702400_ROCKWALL TEXAS PAD BUILDING_cmmol.rvt

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ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

architecture +planning
boucher design group

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6802 Mapleridge Street, Suite 200
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KROGER OUTLOT

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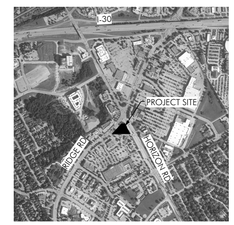
1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM



PROPOSED LAND USE: **COMMERCIAL**
CASE NO.:

N T S

BUILDING PERSPECTIVES

A2

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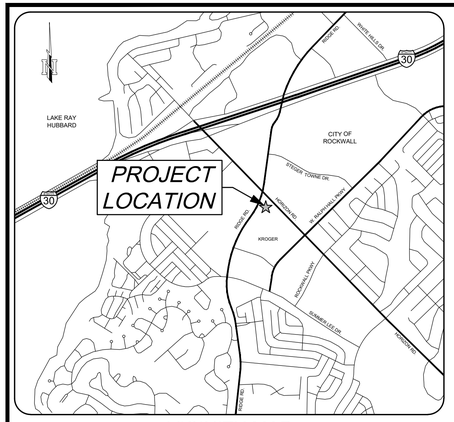
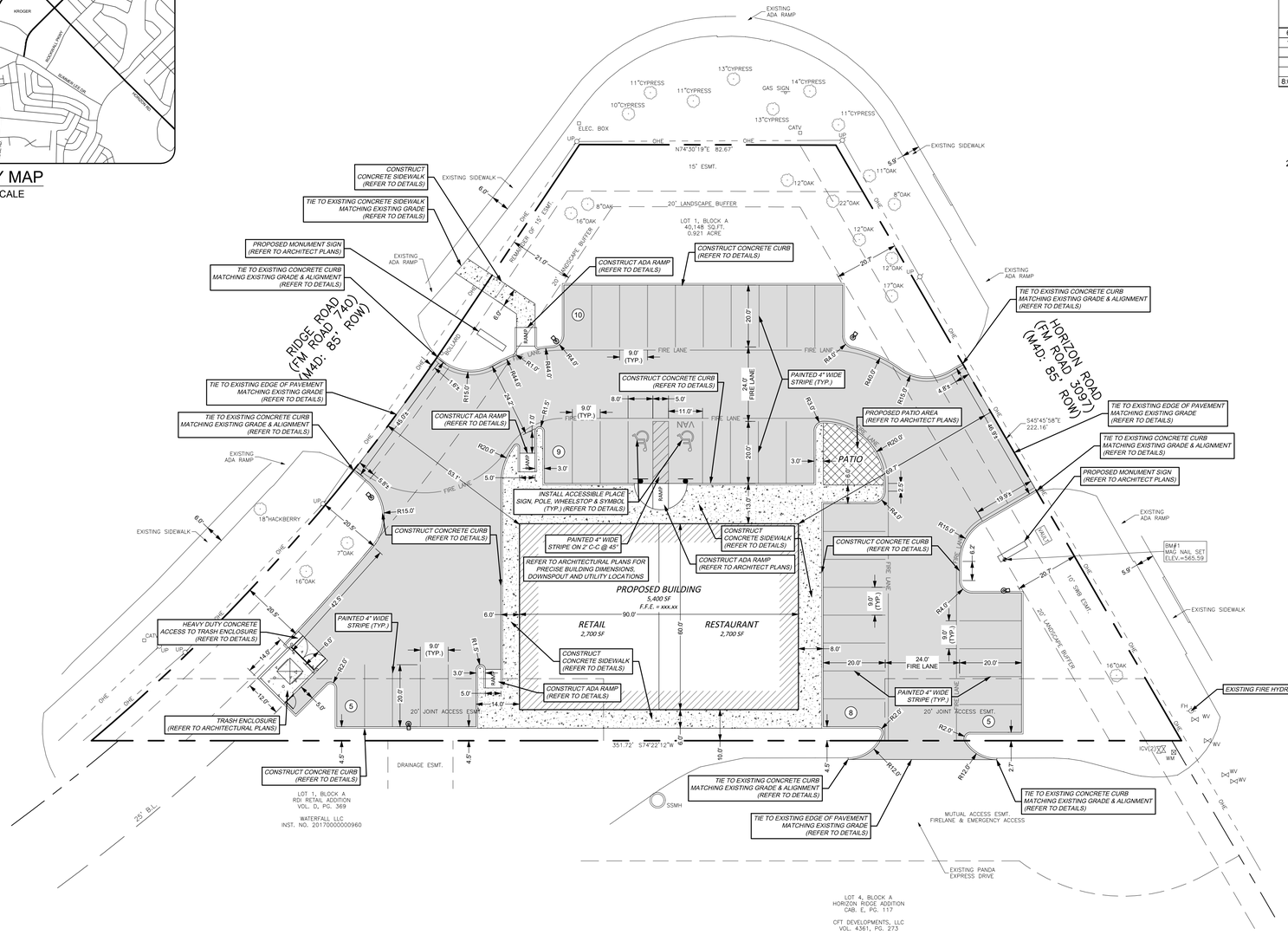


VICINITY MAP

NOT TO SCALE



SITE PLAN INFORMATION

LAND USE: CURRENT: C - COMMERCIAL
PROPOSED: C - COMMERCIAL

TOTAL LOT AREA: 0.921 ACRES (40,148 S.F.)
TOTAL LOT PERIMETER: ±906 LF

BUILDING AREA: 5,400± S.F.
BUILDING HEIGHT: 20'-0" - 24'-0"

	REQUIRED	PROVIDED
STANDARD PARKING	35	35
ACCESSIBLE PARKING	2	2
TOTAL	37	37

Time of Day	Retail	Restaurant	Retail	Rest.	Total #
			11	27	38
					2 ADA
6:00 a.m. - 12:00 noon	0.97	0.50	10	14	24
12:00 noon - 1:00 p.m.	1.00	0.70	11	19	30
1:00 p.m. - 4:00 p.m.	0.97	0.60	10	16	27
4:00 p.m. - 6:00 p.m.	0.82	0.90	9	24	33
6:00 p.m. - 8:00 p.m.	0.89	1.00	10	27	37
8:00 p.m. - 12:00 midnight	0.61	1.00	7	27	34
			Total #		37

Retail SF	Rest. SF	Retail Req.	Rest. Req.
2,700	2,700	1/250	1/100

20' 0 20' 40'

GRAPHIC SCALE IN FEET

LEGEND

EXISTING	PROPOSED	
WM		WATER METER
WV		WATER VALVE
FH		FIRE HYDRANT
GM		GAS METER
SSMH		SANITARY SEWER MANHOLE
SSCO		SANITARY SEWER CLEANOUT
UP		UTILITY POLE
LP		SITE LIGHTING POLE
TSP		TRAFFIC SIGNAL POLE
TSB		TRAFFIC SIGNAL BOX
STMH		STORM MANHOLE
JB		STORM JUNCTION BOX
CI		CURB INLET
GI		GRATE INLET
		SIGN
OHE		EXISTING OVERHEAD ELECTRIC LINE
		EXISTING CONCRETE CURB
		PROPOSED CONCRETE CURB
		NUMBER OF PARKING SPACES
FIRE LANE		PROPOSED FIRE LANE
		PROPOSED 3,500 PSI 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.E.W.
		PROPOSED 3,500 PSI 5" CONCRETE STANDARD DUTY PAVEMENT WITH #4 BARS AT 24" O.C.E.W
		PROPOSED 3,500 PSI 6" CONCRETE HEAVY DUTY PAVEMENT WITH #4 BARS AT 18" O.C.E.W

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES, OSHA STANDARDS AND PROJECT SITE WORK SPECIFICATIONS.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOORS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING ENTRANCE LOCATIONS.
3. CONTRACTOR SHALL REFER TO MEP PLANS FOR TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING EXISTING ITEMS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. DAMAGES SHALL BE REPORTED TO ENGINEER OF RECORD PRIOR TO REPAIR. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
5. CONTRACTOR IS REQUIRED TO REMOVE OR RELOCATE, IN A PROPER MANNER, EXISTING IMPROVEMENTS/NATURAL FEATURES TO ALLOW FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS INDICATED ON THE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS. PROPERTY CORNERS DAMAGED BY CONTRACTOR SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
8. CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
9. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE LATEST EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
10. ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
11. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE. FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
12. ALL CURB RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
13. FIRE LANES ARE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO LOCAL CITY REQUIREMENTS FOR EXACT LOCATION.

ACCESSIBILITY NOTES

1. PROPOSED CONSTRUCTION ON THIS SITE SHALL COMPLY WITH THE LATEST REVISION OF THE ADA REGULATIONS AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
2. ALL SLOPES ON SIDEWALKS ADJACENT TO BUILDINGS SHALL BE AT ½" PER FOOT MAX. DOWN TO THE TOP OF CONCRETE CURB.
3. ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
4. ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
5. ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 5' X 5' LANDINGS. RAMP SLOPE SHALL NOT EXCEED 8.33% (1:12).
6. RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
7. SURFACE OF CURB RAMPS SHALL BE CONSTRUCTED WITH ADA COMPLIANT SURFACE. SURFACE OF ACCESSIBLE ROUTES AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. CURB RAMPS SHALL NOT EXCEED 6' IN LENGTH.
8. THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

INSPECTIONS/CERTIFICATIONS NOTE

ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

PERMITS NOTE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

TOPOGRAPHIC SURVEY NOTE

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY CBG SURVEYING TEXAS LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.

BENCHMARK

IF THE CONTRACTOR RELOCATES REFERENCE MARKERS WITH A NEW REFERENCE MARKER, IT SHALL BE LOCATED WITHIN A HORIZONTAL AND VERTICAL TOLERANCE OF 0.10'

BM#1 MAG NAIL SET
ELEVATION = 565.59

OWNER

SDI ROCKWALL HOLDINGS, LLC
1800 WEST LOOP SOUTH
SUITE 1850
HOUSTON, TEXAS 77027

811 Know what's **below.** **Call** before you dig.

CITY OF ROCKWALL

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, _____.

WITNESS OUR HANDS, THIS _____ DAY OF _____, _____.

_____
PLANNING AND ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

CASE NUMBER: SP2020-XXX

MARK	REVISION	DATE

\\KSA-TY1-CROSS\CROSSPOINT\PROJECTS\1506 SDI REALTY\19-1506-38 SDI REALTY - D-575 ROCKWALL TX - RIDGE RD & HORIZON RD - ROCKWALL, TX\CAD\CITY SUBMITTALS\SITE PLAN\19-1506-38 SITE PLAN (SEP 2020) - CITY SUBMITTAL.DWG

PROJECT TITLE: ---- CITY, TEXAS

SHEET NAME: SITE PLAN

PROJECT NAME: KROGER OUTLOT
2901 RIDGE ROAD
ROCKWALL, TEXAS 75032

DRAWN BY:	DESIGNED BY:	LATEST REVISION:	KSA JOB NO.:
TG	DK	03/18/20	19-1506-38

KSA
6781 Oak Hill Blvd.,
Tyler, Texas 75703
T: 903-581-8141 F: 888-224-9418
www.ksaeng.com

This document is released for the purpose of interim review under the authority of Darrel Kotzur, P.E., Lic. # 83947, on March 18, 2020. It is not to be used for construction, bidding, or permit purposes.

SEAL:
TBPE Firm Registration No. F-1356

SHEET NO.
C1.0

Landscape Requirements:

1. Perform all work in accordance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide all inspections and permits required by Federal, State, and local authorities in supply, transportation, and installation of materials.

2. The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electrical, cable, TV, etc.) and all overhead utility easements prior to start of any planting works.

3. All plant materials shall possess the following minimum qualities:
   a. Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve months.
   b. All plants shall be heavy, symmetrical, tightly knit, so trained or favored for development and appearance as to be superior in form, number of branches, compactness, and symmetry.
   c. Plants shall be sound, healthy and vigorous, well branched, and densely foliated when in leaf. They shall be free of disease, insects, pests, eggs, or larvae.
   d. All plants shall be true of species and variety and shall conform to measurements (caliper size, trunk heights, spread) as specified on the drawings.
   e. Container grown stock when specified shall have grown in the container in which delivered for at least six months, but not over two years. Samples must prove no rootbound conditions exist.
   f. Caliper measurements shall be taken at a point on the trunk six inches (6") above natural ground line for trees up to four inches (4") in caliper.
   g. All trees shall be staked by a minimum of two metal "T" stakes for single trunk trees and three stakes for all multi-trunk trees.

4. Planting mix shall be thoroughly mixed in the following proportions:
   a. Prepared soil as backfill for shade and ornamental trees shall be: 5 part clay loam topsoil + 2 part compost + 1 part sharp sand + 4 Lbs. Commercial fertilizer per CY Or 10 Lbs. Organic fertilizer.
   b. Prepared soil as backfill for shrubs and groundcovers and seasonal colors shall be: 1 part enriched mulch + 1 part compost bark mulch + 1 part enriched topsoil + 1 part No. 1 Bank Sand + 3 Lbs. Time- released fertilizer, 14-14-14 per CY or 8 Lbs. Organic fertilizer.

5. Excavation work and Surface drainage works shall conform to the following requirements:
   a. Test drainage of plant beds and plant pits by filling with water twice in succession. Conditions permitting the retention of water for more than 24 hours shall be brought to the attention of the Owner.
   b. Work shall include the final responsibility for proper surface drainage of planted areas. Any obstructions on the site, or prior work done by another part, which precludes establishing proper drainage shall be brought to the attention of the Owner in writing.
   c. Excavate each tree hole 18" deep plus the depth of the tree container size (15 gal. Or 30 gal. Or 65 gal. Or 100 gal.).
   d. Excavate entire shrub bed to a depth of 8" plus the depth of the shrub container size (5 gal.) unless noted as being pit planted on landscape legend.
   e. Excavate entire groundcover bed to a depth of 6" plus the depth of the groundcover container size (4" pot or 1 gal.).

6. Additional work requirements on landscape areas:
   a. Prior to installation of any planting works (trees, shrubs,groundcover and grass works); apply "Round Up" in all planting areas to eradicate all weed growths on site.
   b. ADD ALTERNATE: Install weed control barriers in all trees, shrub and groundcover planting areas. Weed barrier fabric shall be back polypropylene sheet 27 mils thick, 4 oz/s.y. grab tensile strength per ASTM D-4632; 90 lbs. (machine direction) 50 lbs.(cross machine direction). Provide DeWitt "Weed Barrier" or approved substitute.
   c. Use **"Shovel Edge"** to separate all plant beds from grass areas.
   d. Spread a minimum two inch layer of pine bark mulch overall shrub and groundcover bed areas.

7. Landscape maintenance work by the Landscape Contractor after final acceptance shall include the following:
   a. The maintenance period shall commence upon inspection and approval at Final Acceptance and shall be for a period of Sixty Days (60).
   b. The landscape contractor shall coordinate the watering program for all the landscape work with the Owner.
   c. Maintenance of new plantings shall consist of watering, cultivating, weeding, mulching, restaking, tightening and repair of guys; resetting plants for proper grades or upright position, and furnishing and application of pesticides/herbicides; sprays, and invigorants as are necessary to keep plantings free of insects and disease and in a thriving condition.

8. Warranty Periods, Plant Guarantees, and Replacements:
   a. Planting supplied shall be warranted to remain alive and healthy for a period of twelve months (12) after the date of Final Acceptance by Owner. Plants in an impaired, dead, or dying condition after initial acceptance or within 12 months shall be removed and replaced immediately to the satisfaction of the Owner.

Grass Hydromulching Work Requirements:

1. Grass works:
   a. Seed which has become wet, moldy and otherwise damaged in transit or in storage will not be acceptable.
   b. All grass seed shall be fresh, re-cleaned grass seed of the latest crop, mixed in the following proportions by weight and meeting the accepted standards of pure live seed content, purity and germination.
   c. Grass seed shall have the following minimum ratio:
      Summer Mix:
      Cynodon Dactylon (Hulled Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre.
      Winter Mix:
      Cynodon Dactylon (Unhulled - Common Bermuda Grass) 85% pure live seed at 75 Lbs. Pure live seed per acre. Annual Rye Grass or equal, 85% pure live seed at 175 Lbs. Pure live seed per acre.
2. Slurry Mix Component per Acre shall be Wood cellulose fiber mulch = 2,000 pounds + Grass Seed as specified + fertilizer (13-13-13) 800 pounds.
3. Hydromulched seeding on Prepared finished grades:
   a. Install and spread out a minimum of one inch layer of topsoil over all areas to be hydromulched.
   b. Bed preparation: Immediately after the finished grade has been approved, begin hydroseeding operation to reduce excessive weed growth and erosion.
   c. Apply seed, fertilizer and mulch by spraying them on the previously prepared seedbeds in the form of an aqueous mixture and by using the methods and equipment described herein.
   d. Particular care shall be exercised by the contractor to insure that the application is made uniformly and at the prescribed rate and to guard against miss and overlapped areas.
   e. Where slope of areas to be grassed exceed a 3:1 H:V; an erosion control fabric shall be installed prior to hyromulching process.
4. Maintenance:
   a. Maintenance shall consist of weeding, fertilizing, insect control, watering, replanting, mowing, maintaining of existing grades and repair of any erosion damages.
   b. Guarantee growth and coverage of hydromulch planting shall be a minimum on ninety five percent 95% of the area planted will be covered with specified planting after sixty days with no bare spots visible.
   c. Watering: Coordinate with the Owner to properly operate irrigation system to assure a regular, deep watering program.
5. Inspection and Final Acceptance:
   Final acceptance of lawn establishment shall mean that hydroseed areas are Ninety Five percent 95% uniform coverage of grass in excess of one inch height. No bare spots will be acceptable.

Special Notes for Protection of Existing Trees:

1. Tree protection fencing shall be installed to eliminate activities detrimental to trees including but not limited to the following:
   a. Soil compaction in the critical root zones resulting from heavy equipments, vehicular or excessive pedestrian traffic or storage of equipments or materials.
   b. Root disturbance due to cuts, fills, or trenching works.
   c. Wounds to exposed roots, trunks or limbs by mechanical equipments.
   d. Other activities such as chemical storage, cement truck cleaning, fire, etc. are not acceptable or allowed around existing trees designated to remain on site.

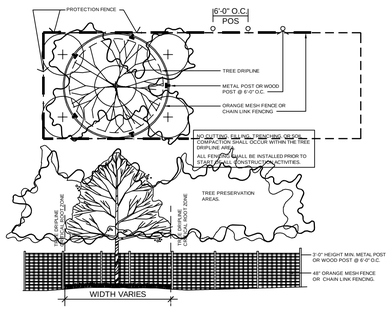
2. Location and types of tree protection devices:
   a. Tree protection devices are to be installed to completely surround the critical root zones (tree dripline) of ail trees to be preserved.
   b. Tree protection fencing shall consists of chain link fencing or accepted substitutes (orange colored fabric mesh membrane). In addition to fencing, where tree trunks are in jeopardy of being damaged by equipments, 2x4 inch boards may be required to be strapped around the trunks of trees.
   c. Tree protection fence may be installed around a grouping of existing trees for better control.

3. All tree protection fencing shall be installed prior to any clearing, grubbing or grading. Tree protection fences must remain in functioning condition throughout all phases of the site development/construction.

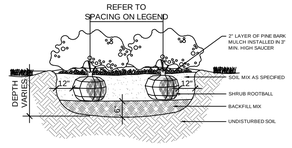
4. The contractor shall provide Class One Tree works for ail trees designated to remain on the project site. Work shall include required root pruning; removal of dead/dying branches, trimming/thinning out of tree branches; repair of tree cavities and other tree damages. Trees shall be fertilized annually. A 3-1-1 ratio of nitrogen, phosphorus and potassium containing slow release, non-burning nitrogen should be applied according to manufacturer's instructions.
5. All existing trees to remain shall be maintained bv a certified tree arborist.

6. During construction, no excess soil, additional fill, equipment, liquids or construction debris shall be placed inside the protective barrier, upon the root protection zone, nor shall any soil be removed from within the barrier.

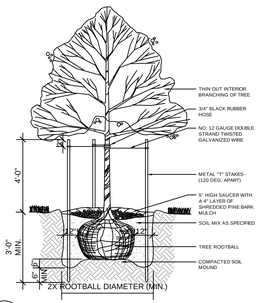
7. The proposed finished grade and elevation of land within the root protection zone of any tree to be preserved shall not be raised or lowered more than one inch. Welling and retaining methods are allowed outside the root protection zone and shall be done in conformance with the Texas A & M University, Extension Landscape Horticulture, Protecting Existing Landscape Trees from Construction Damage Due to Grade Changes", Everett E. Janne and Douglas F. Welch, PhD, authors.



A L1.1 TREE PROTECTION DETAIL
SCALE: NOT TO SCALE



D L1.1 SHRUB PLANTING
SCALE: NOT TO SCALE



B L1.1 SINGLE-TRUNK TREE PLANTING
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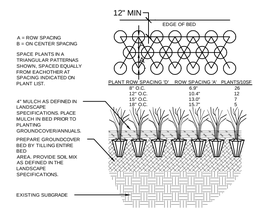

E L1.1 GROUNDCOVER PLANTING
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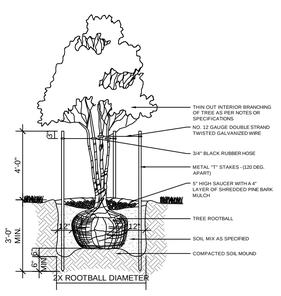
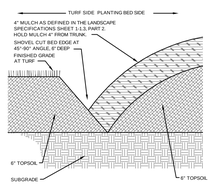
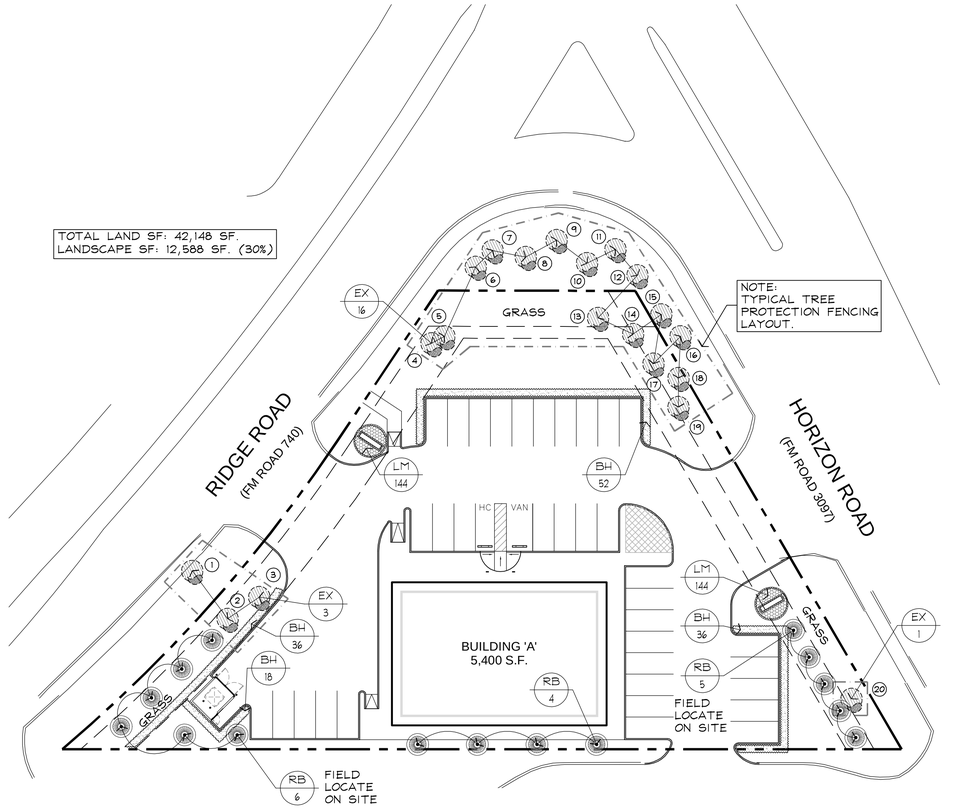


C L1.1 MULTI -TRUNK TREE PLANTING
SCALE: NOT TO SCALE



F L1.1 SHOVEL CUT BED EDGE
SCALE: NOT TO SCALE



Landscape Legend:

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
EX	20			Existing trees to be remain and be protected by tree fencing as shown. Refer to Tree Inventory Table for tree type and caliper sizes. Refer to Tree Preservation requirements this sheet.
RB	15	Cercis Canadensis	Texas Redbud	2" cal. 30 gal. container; 6' to 7' ht. Tree Form.
BH	142	Ilex Burforii	Dwarf Burford Holly	5 gal. planted at 36" o.c. single row.
LM	288	Liriope Muscari	Big Blue Liriope	1 gal. planted at 12" o.c. triangularly spaced.
Grass	Verify SF.	Cynodon Dactylon	Common Bermuda	**Hydromulched** for all areas within limits of this project plus all right of way areas. All areas to be grassed shall be cleaned up of all construction debris and shall be fine graded to adhere to civil grading/drainage plan.

LANDSCAPE CALCULATIONS:

A. SITE AREAS: 40,148 SF.
B. LANDSCAPE AREAS REQUIRED: 20% OR 8,030 SF.
C. LANDSCAPE AREAS PROVIDED: 31% OR 12, 588.00 SF.
D. TOTAL BUILDING SF. 5400.00 SF.
E. TOTAL IMPERVIOUS AREAS: 27,550.00 SF.
F. TOTAL PARKING REQUIRED: 37 PARKING PROVIDED: 37
G. PLANTING REQUIREMENTS:

1. HORIZON ROAD @ 222.18 LF./50 = 5 CANOPY + 5 ACCENT TREES REQUIRED
12 EXISTING CANOPY TREES PRESERVED + 5 ACCENT TREES PROVIDED

2. RIDGE ROAD @ 250 LF./50 = 5 CANOPY + 5 ACCENT TREES REQUIRED
7 EXISTING CANOPY TREES PRESERVED + 4 ACCENT TREES PROVIDED

Owner's Responsibility For Maintenance
Client acknowledges and agrees that proper Project maintenance is required after the Project is complete. A lack of or improper maintenance in areas such as, but not limited to, operation and maintenance of automatic irrigation system, all site drainage and all planting materials maintenance may result in damage to property or persons. Client further acknowledges that he is solely responsible for the results of any lack of or improper maintenance.

Landscape Contractor's Responsibilities:
All drainage (surface and subsurface) of all landscape areas within the project limits shall be the responsibility of the installing landscape contractor and landscape maintenance company. All grading of areas along all building areas must absolutely have positive slope away from building. In no case shall any plant bed be constructed along edge of building that will impede water flow away from building. If planting beds are located at edges of building, landscape contractor shall make sure that these areas drain properly (surface and subsurface-wise). Contractor shall install moisture barrier along building as necessary to keep water from penetrating underneath building slab.

"REFER TO FINISHED GRADES SHOWN ON PROJECT CIVIL GRADING PLAN. IT WILL REPRESENT FINAL ELEVATIONS. CARE SHOULD BE TAKEN BY THE LANDSCAPE CONTRACTOR NOT TO INCREASE THESE FINISHED GRADES WITH LANDSCAPING OR OTHER ALTERATIONS. THE THICKNESS OF SOD, GRASS AND LANDSCAPING MATERIALS SHOULD BE DEDUCTED FROM THE FINISHED GRADE ELEVATIONS IN THESE CIVIL GRADING PLANS IN ORDER TO DETERMINE THE GROUND ELEVATIONS DURING CONSTRUCTION."

Existing Trees to Remain:

Tree No.	Type of Tree	Tree Caliper
01.	Hackberry	18"
02.	Oak	16"
03.	Oak	7"
04.	Oak	16"
05.	Oak	8"
06.	Cypress	10"
07.	Cypress	11"
08.	Cypress	11"
09.	Cypress	13"
10.	Cypress	13"
11.	Cypress	14"
12.	Cypress	11"
13.	Oak	12"
14.	Oak	22"
15.	Oak	11"
16.	Oak	8"
17.	Oak	12"
18.	Oak	12"
19.	Oak	17"
20.	Oak	16"

1 L1.1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

ISSUE	DATE	DESCRIPTION
	03/11/2020	ISSUE FOR PERMIT
	03/20/2020	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____day of _____.
WITNESS OUR HANDS, this _____ day of _____.

_____
Planning & Zoning Commission, Chairman

_____
Director of Planning and Zoning

bdg architecture +planning boucher design group
Boucher Design Group LLC
Members A.I.A.
6802 Mapleridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com

REGISTERED LANDSCAPE ARCHITECT
EDWARD WONG
2710
STATE OF TEXAS

Wong & Associates, Inc.
P.O. Box 2028 Bellaire, Texas 77402-2028
Tel. 713-777-9198 Cell : 713-557-9298
Member: American Society of Landscape Architects

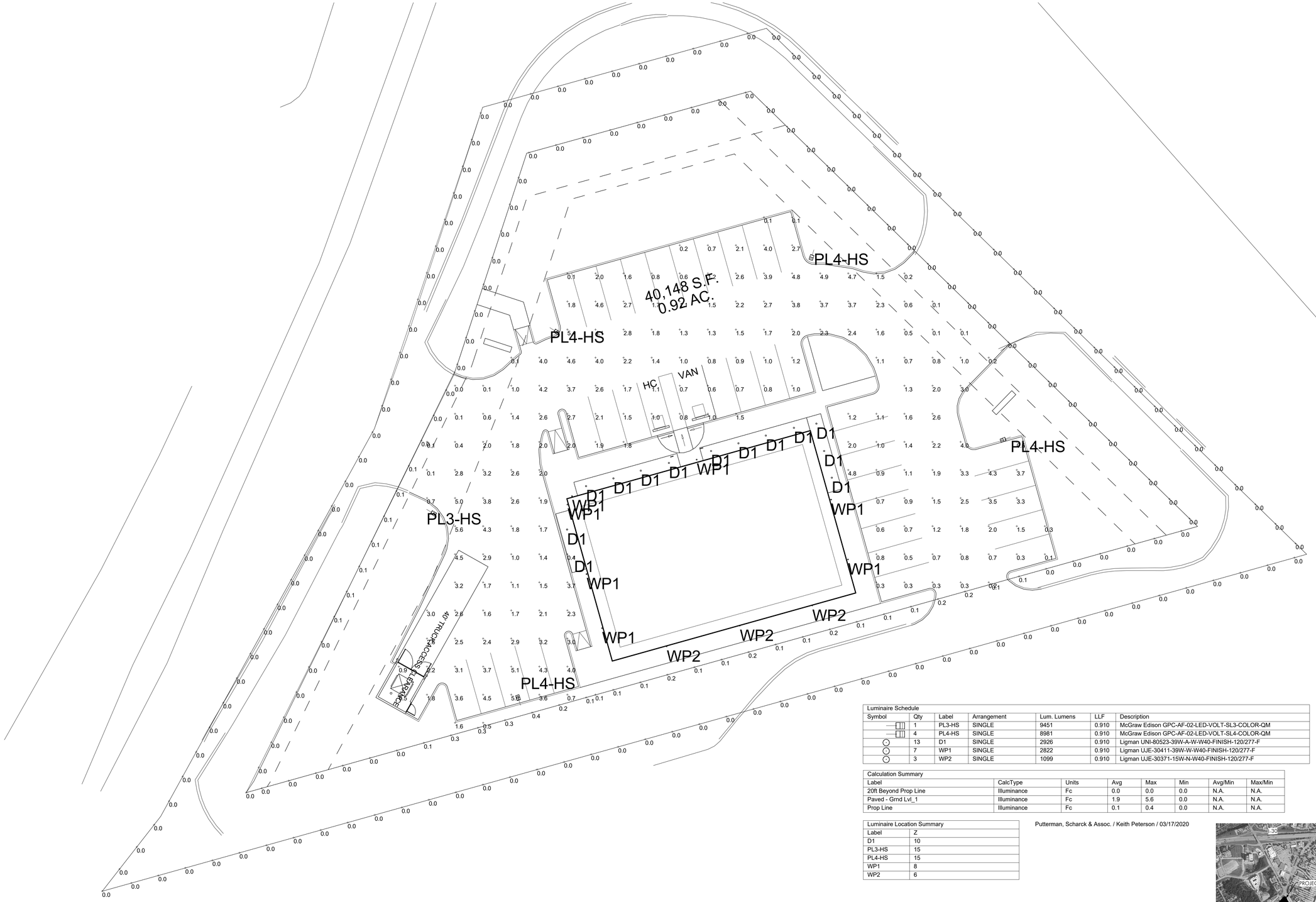
KROGER OUTLOT
2901 Ridge Road
Rockwall, Texas 75032

SDI Rockwall Holdings, LLC
1800 West Loop South
Suite 1850
Houston, Texas 77027

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	EW/SR
CHECKED BY	EW

LANDSCAPE PLAN

L1.1

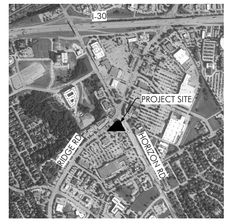


Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description
	1	PL3-HS	SINGLE	9451	0.910	McGraw Edison GPC-AF-02-LED-VOLT-SL3-COLOR-QM
	4	PL4-HS	SINGLE	8981	0.910	McGraw Edison GPC-AF-02-LED-VOLT-SL4-COLOR-QM
	13	D1	SINGLE	2926	0.910	Ligman UNI-80523-39W-A-W-W40-FINISH-120/277-F
	7	WP1	SINGLE	2822	0.910	Ligman UJE-30411-39W-W-W40-FINISH-120/277-F
	3	WP2	SINGLE	1099	0.910	Ligman UJE-30371-15W-N-W40-FINISH-120/277-F

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
20ft Beyond Prop Line	Illuminance	Fc	0.0	0.0	0.0	N.A.	N.A.
Paved - Grnd Lvl_1	Illuminance	Fc	1.9	5.6	0.0	N.A.	N.A.
Prop Line	Illuminance	Fc	0.1	0.4	0.0	N.A.	N.A.

Luminaire Location Summary	
Label	Z
D1	10
PL3-HS	15
PL4-HS	15
WP1	8
WP2	6

Putterman, Scharck & Assoc. / Keith Peterson / 03/17/2020



PROPOSED LAND USE: **COMMERCIAL**
CASE NO.:

N T S

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

C:\Users\ammch\Documents\1702400_ROCKWALL TEXAS PAD BUILDING_ammol.rvt

3/18/2020 4:04:58 PM

ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

architecture +planning
boucher design group

Boucher Design Group, LLC
Members A.I.A.
6802 Mapleridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

PRELIMINARY
MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-20

KROGER OUTLOT

2901 RIDGE ROAD
ROCKWALL, TX 75032

SDI ROCKWALL HOLDINGS, LLC

1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

PHOTOMETRICS

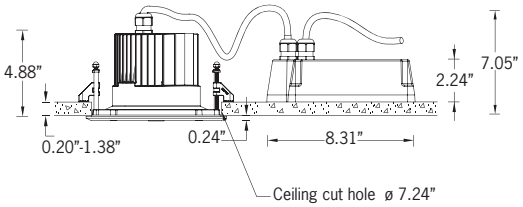
P1.0

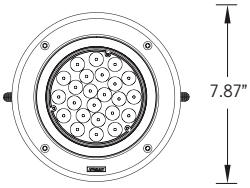
UNI-80523

Nikon 3 Round Ceiling Downlight

LIGMAN LIGHTING USA

39w LED 4299 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 5 lbs (A) 5.7 lbs (S)





Ceiling Cut ø7.24"

Nikon Product Family

UNI-80501 [4.7"] | UNI-80511 [4.7"] | UNI-80531 [7.8"]

Construction

Aluminum Casting
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength , clean detailed product lines and excellent heat dissipation.

Pre paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.
This process ensures that Ligman products can withstand harsh environments.
Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light.
LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Ceiling-recessed exterior downlights.
Modern, clean and powerful downlighting family providing the best resilient under-canopy solutions in the marketplace.

A compact recessed exterior downlight with a round or square front frame design. Options of stainless steel or powder coated aluminum front frame. The luminaires are designed for use in interior and exterior applications. This fixture is totally waterproof. This means that the fixture can be exposed to the elements from above as well as below.

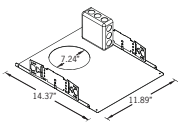
This luminaire is manufactured with integrated heat sinks that provides exceptional cooling and heat dissipation ensuring long LED life.

This fixture can also be provided with a concrete pour box for casting into concrete slabs, please see opions below.

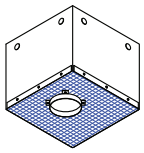
Power is provided to the luminaire through a single PG9 watertight cable gland and 4ft of Outdoor Submersible #18/3 SOOW 600V power cable. Remote mounted transformer. Includes A80191 driver enclosure box.

All Ligman fixtures can be manufactured using a special pre-treatment and coating process that ensures the fixture can be installed in natatoriums as well as environments with high concentrations of chlorine or salt and still maintain the 5 year warranty. For this natatorium rated process please specify NAT in options. Not suitable for saunas and steamrooms.

Additional Options (Consult Factory For Pricing)



RT
Rough in Tray



CPB
Concrete Pour Box

HCL
Honeycomb Louvre

UNI-80523

Nikon 3 Round Ceiling Downlight

LIGMAN LIGHTING USA

PROJECT		DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UNI-80523 - 39w - A - N - W30 - 03 - 120/277v

UNI-80523						
LAMP	FRAME	BEAM	LED COLOR	FINISH COLOR		VOLTAGE
39w LED 4299lm	S - Stainless Steel A - Aluminum (CHOOSE FINISH COLOR)	N - Narrow 15˚ M - Medium 26˚ W - Wide 45˚	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL		120/277v Other - Specify

ADDITIONAL OPTIONS

DIM - 0-10v Dimming	RT - Rough in Ceiling Tray
NAT - Natatorium Rated	CPB - Concrete Pour Box
F - Frosted Lens	SSG - Stainless Steel Glands
EMR - Remote Inverter	HCL - Honeycomb Louvre
A80191 - Remote Driver Box	AMB - Turtle Friendly Amber LED

Intertek

Sure-Lites

DESCRIPTION

The Sure-Lites Architectural Emergency Light is designed to provide superior illumination while blending into the surrounding space. The housing is constructed of die-cast aluminum with an integral refractive polycarbonate lens and advanced optical design, which in conjunction with energy-efficient, long-lasting LEDs provides maximum path of egress lighting performance. The Sure-Lites Architectural Emergency Light is wet listed for temperatures between -30°C and 50°C (-22°F and 122°F). AEL2 has an always on mode and is available with Eagle Eye self diagnostics.

Catalog #		**Type**
Project		EM
Comments		**Date**
Prepared by		

SPECIFICATION FEATURES

Electrical
- Universal voltage input from 100 through 300 VAC; 50-60 Hz
- Line-latching
- Solid-state Voltage Limited Charger
- Low-Voltage Disconnect
- Overload/Short Circuit Protection
- Test Switch/Power Indicator Light
- Fully Recharged in 24 hours
- Self diagnostics

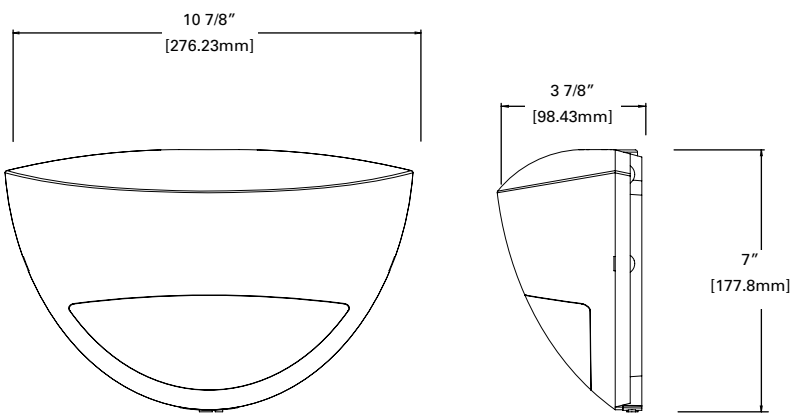
Housing Construction
- Die-cast Aluminum Housing
- Universal Pattern Knockouts on rear of housing for direct mounting to junction box
- 1/2" Threaded Conduit Access on top surface
- Powder Coat Paint Finish
- UV Stable Polycarbonate Lens
- Silicone Gaskets

Battery
- Sealed Nickel Cadmium
- Maintenance free, long life
- Full Recharge Time, 24 hrs

Code Compliance
- Not for sale in California
- UL924 Listed
- UL Outdoor Wet Location Listed (suitable for wet and damp locations)
- Life Safety NFPA 101
- NEC/OSHA
- Most State and Local Codes
- City of Chicago Code
- New York City Code

Warranty
- Unit: 5-Year
- Battery: 7-year pro-rata

Lamp Data
- 10 High Power LEDs
- Two color temperatures: 3000K and 5000K



AEL 2
ARCHITECTURAL EMERGENCY LIGHT SERIES 2

DIE-CAST ALUMINUM

SURFACE MOUNT

SEALED NICKEL CADMIUM BATTERY

LED LAMPS

EAGLE EYE SELF DIAGNOSTICS

ALWAYS ON FEATURE

EMERGENCY LIGHTING

TOTALLY PREDICTABLE RELIABILITY

ORDERING INFORMATION

Family	Color Temperature	Housing Finish	Options
AEL2 = Architectural Emergency Light 2	**31** = 3000K Ave **46** = 5000K Ave	___ = Silver **WH** = White **BK** = Black **BZ** = Bronze	___ = No Self Diagnostics **SD** = Eagle Eye Self Diagnostics

ENERGY DATA

Sealed Nickel Cadmium Battery
Input Current:
(Used as emergency light only):
120V = 2.0 Watts
277V = 2.3 Watts

Input Current:
(Used as dual purpose emergency light & always-on light fixture):
120V=5.2 Watts
277V=5.0 Watts

Powering Business Worldwide

TECHNICAL DATA

Lamps
The AEL2 utilizes long-lasting LEDs (standard) which provide maximum illumination along the emergency path of egress.

Housing
Die-cast aluminum with a powder coat painted finish. Universal pattern knockouts are located on the back housing for direct mounting to the junction box. Threaded conduit entry provided on the top surface of the housing. UV stable, polycarbonate lens and vacuum-metallized reflector provide efficient optical control.

Electronics
Dual voltage input 120/277 VAC is standard. Nickel cadmium battery is standard. All battery and electrical components are enclosed within the housing.

Line-Latched
Sure-Lites line-latched electronic circuitry makes installation easy and economical. A labor efficient AC activated load switch prevents the lamps from turning on during installation to a non-energized AC circuit. Line-latching eliminates the need for a contractor's return to a job site to connect the batteries when the building's main power is turned on.

Self Diagnostics
The self-diagnostic software will automatically perform all tests required by UL924, and NFPA101. The system indicates the status of the emergency light at all times using the LED indicator. A 90 minute battery power (emergency mode) simulation test will occur once every 12 months. A 30 second battery power simulation test will occur every 30 days. The Solid-State microprocessor based system has the ability to accurately detect and warn of system failures, plus it incorporates all of the standard electronic features that sets Sure-Lites apart from its competition. Eagle Eye self diagnostic software automatically performs all testing required by the NFPA 101 Life Safety Code and systematically calibrates itself in the field, reducing installation labor and eliminating manual calibration errors.

Solid-State Charger
Supplied with a 120/277 VAC, voltage regulated solid-state charger, the battery is recharged immediately upon restoration of AC current after a power failure. The charge circuit reacts to the condition of the battery in order to maintain peak battery capacity and maximize battery life. Solidstate construction recharges the battery in 24 hours following a power failure in accordance with UL 924.

Solid-State Transfer
The emergency light incorporates solid-state switching which eliminates corroded and pitted contacts or mechanical failures associated with relays. The switching circuit is designed to detect a loss of AC voltage and automatically energizes the lamps using DC power. Upon restoration of AC power, the DC power will be disconnected and the charger will automatically recharge the battery.

Low-Voltage Disconnect
When the battery's terminal voltage falls, the low-voltage circuitry disconnects the lighting load. The disconnect remains in effect until normal utility power is restored, preventing deep battery discharge.

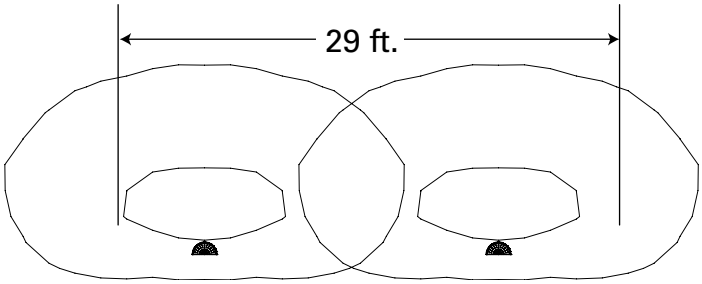
Overload and Short Circuit Protection
The solid-state overload monitoring device in the DC circuit disconnects the lamp load from the battery should excessive wattage demands be made and automatically resets when the overload or short circuit is removed. This overload current protective feature eliminates the need for fuses or circuit breakers for the DC load.

Test Switch/Power Indicator Light
A test switch located on the inside cover of the unit permits the activation of the emergency circuit for a complete operational systems check. The Power Indicator Light provides visual assurance that the AC power is on.

Sealed Nickel Cadmium Battery
Sure-Lites sealed nickel cadmium batteries are maintenance-free with a life expectancy of 15 years. The sealed rechargeable nickel cadmium battery offers high discharge rates and stable performance over a wide range of temperatures. The specially designed resealable vent automatically controls cell pressure, assuring safety and reliability. This battery is best suited for harsh ambient temperatures because the electrolyte is not active in the electrochemical process.

Warranty
The Sure-Lites Architectural Emergency Light is backed by a firm five (5) year warranty against defects in material and workmanship. Maintenance-free, long-life, sealed nickel cadmium batteries carry a seven-year pro-rata warranty.

PHOTOMETRICS



Powering Business Worldwide

Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

SELF DIAGNOSTIC TESTING OPERATIONS

The Sure-Lites Eagle Eye Self Diagnostics is continuously monitoring your emergency fixture and will signal any failure through the 3 color indicator LED.

Initial Operation
When the unit is first powered up, it will go into a 24 hour fast charge, indicated by the indicator LED pulsing green. Once the unit has fully charged, it will perform a self calibration, after which the LED will change to steady green, indicating the unit is fully charged and float charging the battery to maintain readiness.

Automatic Testing
The unit will perform a battery capacity, lamp/LED, and charge circuit test every 30 days for 30 seconds. During this time, the indicator LED will change to a steady yellow. It will perform a full battery capacity (90 minute) test once per year. During this time, the indicator LED will change to a blinking yellow.

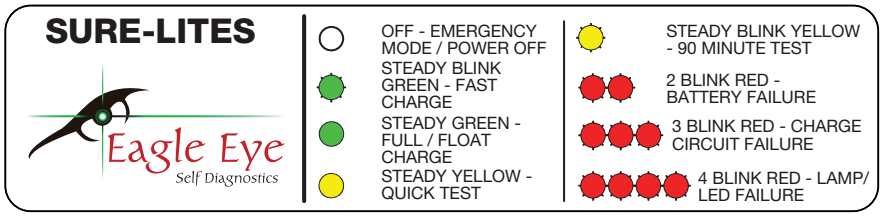
Manual Testing
•10 Second "Installation" test – Press and release the test button once during fast charge (blinking green) to initiate a 10 second quick test. The sign will switch to emergency mode for 10 seconds allowing the installer to verify proper installation of the unit, and the LED indicator will turn solid yellow.
• 30 Second Test - Press and release the test button once during float charge (steady green). The indicator LED will turn steady yellow to indicate the unit is performing a 30 second test of the batteries and lamps/LEDs.
• 90 Minute Test - Press and release the test button a second time during a 30 second test (steady yellow) to change to a 90 minute test. During this test, the LED indicator will change to blinking yellow, and the circuit will perform a full battery capacity, charge circuit, and LED test.
• Canceling Test – Press and release the test button during the 90 minute test (flashing yellow) to return the fixture to its original state (fast charge or float charge)

Laser Test
The LEMSD is equipped with a Laser Test function, that allows the unit to be manually tested without the need to physically press the test button. Shining a laser pointer in the hole marked "LASER TEST" on the bottom of the unit has the same effect as a press and release of the test button.

Clearing Failure Codes
• A battery failure (LED two blink red) can be cleared by replacing the battery. Disconnecting the battery and AC power, or performing a full 90 minute discharge, will reset the error code, however, it will return if the battery is faulty
• Charge Circuit (LED three blink red) and lamp/LED failure (LED four blink red) will clear when the unit successfully passes a manual or automatic 30 second test.

Indicators
• LED Off - No power to unit, emergency mode.
• LED Steady Green - Unit is fully charged and is float charging the battery to maintain readiness.
• LED Green Pulse - Unit is in a 24 hour fast charge of the battery.
• LED Two Blink Red - Battery has failed a capacity test, or the battery is disconnected. See "Clearing Failure Codes" above.
• LED Three Blink Red - Battery charge circuit has failed. See "Clearing Failure Codes" above.
• LED Four Blink Red - Lamps have burned out, or on an EXIT/Combo, 50% or more of the LEDs have failed. See "Clearing Failure Codes" above.
• LED Steady Yellow - 30 second test or 10 second quick test (Fast Charge only).
• LED Blinking Yellow - 90 minute test.

Maintenance
None required. Replace the batteries as needed according to ambient conditions. However, we recommend that the equipment be tested regularly in accordance with local codes.



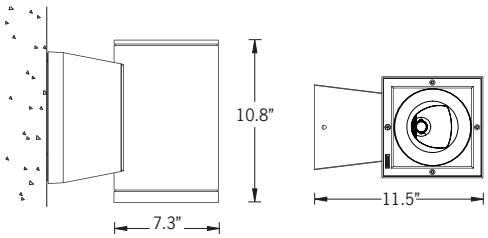
Powering Business Worldwide

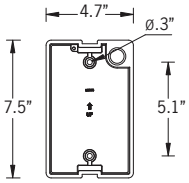
Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

UTA-31873

Tango 30 Square Asymmetrical Downlight

42w LED 3418 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 14.3 lbs





Mounting Detail

Tango Product Family


UTA-31861


UTA-80551


UTA-80561


UTA-20011


UTA-20031


UTA-20731


UTA-20732

Construction

Aluminum
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength , clean detailed product lines and excellent heat dissipation.

Pre paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.
This process ensures that Ligman products can withstand harsh environments.
Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light.
LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Circular or square form technical up & down-light wall range. Completely tailorable wall-mounted direct/indirect optical lighting solutions for perfect task or architectural lighting.

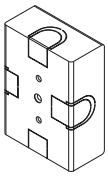
Wall luminaires with a selection of light distributions and LED wattages with downward light distributions. The Tango is unique as it is available with Type II,III & IV light distribution options that facilitates wider spacing and even light distribution between the light fixtures.

Spacings of up to 40' on center, and a 14' mounting height with a 2 fc average can be achieved using the type II optic. This provides higher energy saving and reduced installation costs.

The Tango 31 cylindrical or Tango 32 square up-down versions can be manufactured using different type beam distributions for the up and down optics. Integral electronic control gear. Mounting plate for 3" and 4" junction box is provided with the fixture.

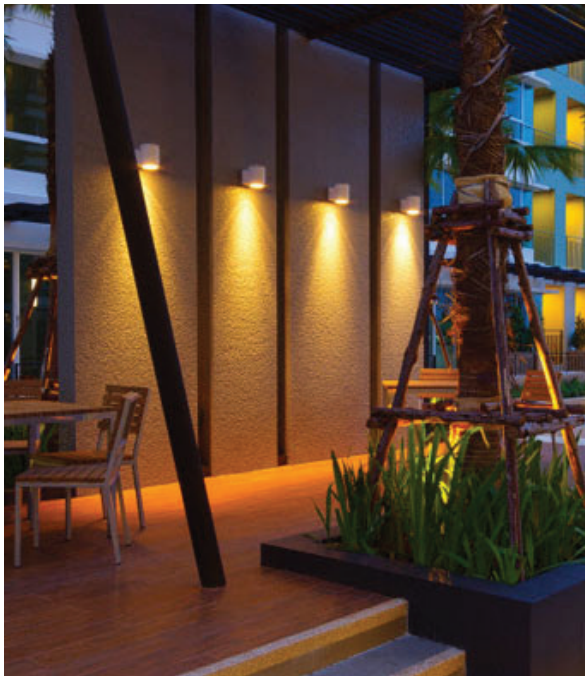
Matching surface mount conduit boxes are available as an option. Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

Additional Options (Consult Factory For Pricing)


SCE
Surface Conduit Decorative Trim


RPA
Round Pole Adapter


AGL
Anti Glare Louvre



UTA-31873

Tango 30 Square Asymmetrical Downlight

PROJECT		DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UTA - 31873 - 42w - AS - W30 - 02 - 120/277v - Options

UTA-31873					
	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	42w COB 3418 Lumens	AS - Asymmetrical Beam 46˚x56˚	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS

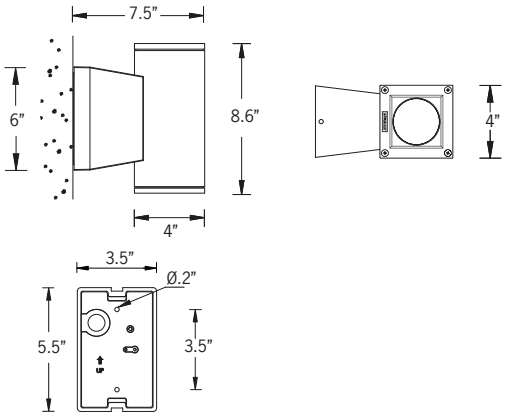
NAT - Natatorium Rated
SCE - Surface Conduit Decorative Trim
DIM - 0-10v Dimming
F - Frosted Lens
AGL - Anti Glare Louvre
EMG - Emergency Battery Pack
RPA - Round Pole Adapter
HGT - Custom Height
AMB - Turtle Friendly Amber LED

UJE-30371

Jet 32 Square Surface

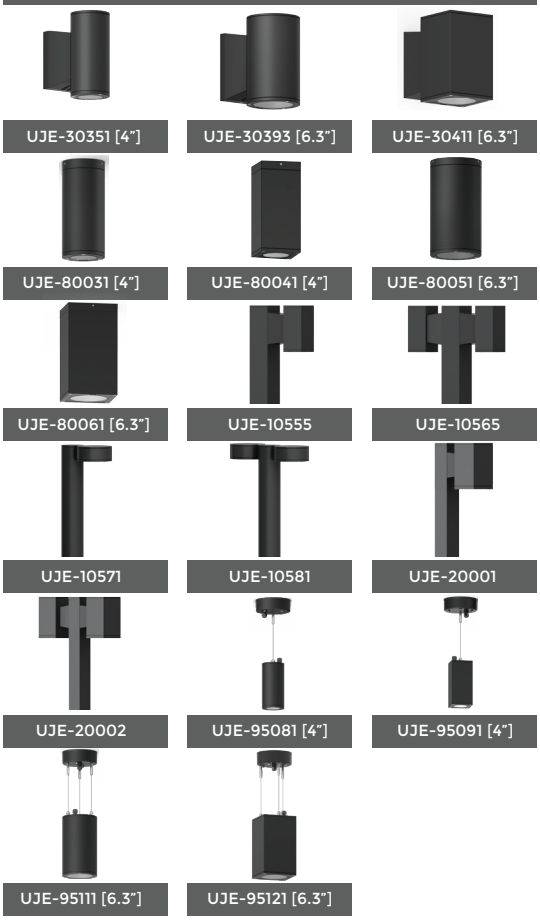
LIGMAN LIGHTING USA

15w COB 1107 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 5.7 lbs



Mounting Detail

Jet Product Family



Construction

Aluminum
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength , clean detailed product lines and excellent heat dissipation.

Pre paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket
Provided with special injection molded “fit for purpose” long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.
This process ensures that Ligman products can withstand harsh environments.
Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light.
LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Cylindrical or rectangular form surface wall-mounted downlight. High performance, high output and numerous options ensure Jet can be configured for any application.

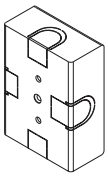
Wall luminaires with a selection of light distributions and LED wattages, that include; narrow, medium, wide, very wide and elliptical light distributions. The Jet offers a variety of beam spread options that facilitates wider spacing and even light distribution between the light fixtures. The up/down light versions can be manufactured using different beam spreads for the up and down optics as well as different wattages upon request.

Mounting plate for 3” junction box is provided with the fixture. A 4” junction box mounting plate is available as an option, please specify. Matching surface mount conduit boxes are available as an option.

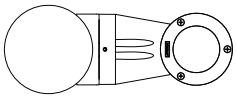
Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

For the Square downlight option, see Jet 32, 34 and 52. For type II, III & IV distributions, see Tango 29 to 32 surface wall luminaires.
For RGBW options, see Jet 51 to 54.

Additional Options (Consult Factory For Pricing)



SCE
Surface Conduit Decorative Trim



RPA
Round Pole Adapter

UJE-30371

Jet 32 Square Surface

PROJECT		DATE	
QUANTITY		TYPE		NOTE	
---	---	---	---	---	---

ORDERING EXAMPLE || UJE - 30371 - 15w - M - W30 - 02 - 120/277v - Options

UJE-30371	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	15w COB 1107 Lumens	N - Narrow 20˚ M - Medium 24˚ W - Wide 36˚ VW - Very Wide 71˚	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS

NAT - Natatorium Rated
SCE - Surface Conduit Decorative Trim
REMG - Remote Emergency Battery Pack
HGT - Custom Height
AMB - Turtle Friendly Amber LED
4MP - 4" Junction Box Mounting Plate
F - Frosted Lens
RPA - Round Pole Adapter

RSP Round Non-Tapered Steel Poles

RSP

Pole Shaft

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196") or 7 gauge (0.1793"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly cylindrical in cross-section with round sides and excellent torsional properties.

Base Plate

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

Handhole

An oval reinforced gasketed handhole, having a nominal 2" x 4" or 3" x 5" inside opening, located 1'-6" above base, is standard on all poles. A grounding provision is located inside the handhole ring.

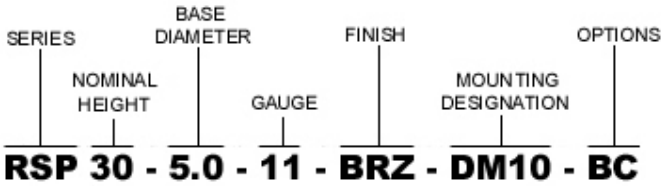
Finishes

The **Standard Finish** is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. **Hot dip Galvanized** finish to a ASTM A-123 specification or primed finish is also available. For optional finishes, see **K-KLAD** and **K-KLAD Over Galvanizing**.

HOW TO ORDER

When ordering KW lighting standards, mounting adaptors and accessories, be sure to specify the complete catalog number. Our catalog numbers reflect the precise specifications of the item ordered to ensure our customers will receive the product which meets their exact requirements.
The following explanation of the catalog numbers will be helpful in placing orders:

CATALOG LOGIC - ORDERING SAMPLE



Catalog Number	Nominal Height	Pole Shaft	Gauge	Handhole Size	Anchor Bolt	Bolt Circle	80 MPH	90 MPH	100 MPH	Ship WT.
RSP10-4.0-11	10	4.00 x 10.0	11	2 x 4	0.75 x 17 x 3	8	31	24	19.5	78
RSP10-4.5-11	10	4.50 x 10.0	11	3 x 5	0.75 x 17 x 3	8	40	31.5	25	84
RSP10-5.0-11	10	5.0 x 10.0	11	3 x 5	1.00 x 36 x 4	11	51	40.5	32.5	139
RSP12-4.0-11	12	4.00 x 12.0	11	2 x 4	0.75 x 17 x 3	8	28.9	23.4	19.2	73
RSP12-4.5-11	12	4.50 x 12.0	11	3 x 5	0.75 x 17 x 3	8	34	27	21.5	96
RSP12-5.0-11	12	5.0 x 12.0	11	3 x 5	1.00 x 36 x 4	11	43	33.5	27	153
RSP14-4.0-11	14	4.00 x 14.0	11	2 x 4	0.75 x 17 x 3	8	23.6	19.1	15.6	99
RSP14-4.5-11	14	4.50 x 14.0	11	3 x 5	0.75 x 17 x 3	8	28	22	17	108

RSP14-5.0-11	14	5.0 x 14.0	11	3 x 5	1.00 x 36 x 4	11	36	28	22.5	166
RSP15-4.0-11	15	4.00 x 15.0	11	2 x 4	0.75 x 17 x 3	8	18.1	14.5	11.8	88
RSP15-4.5-11	15	4.50 x 15.0	11	3 x 5	0.75 x 17 x 3	8	26.5	20.5	16.3	98
RSP15-5.0-11	15	5.0 x 15.0	11	3 x 5	1.00 x 36 x 4	11	33	26	20.5	173
RSP15-5.0-7	15	5.0 x 15.0	7	3 x 5	1.00 x 36 x 4	11	50	39	31.5	222
RSP16-4.0-11	16	4.00 x 16.0	11	2 x 4	0.75 x 17 x 3	8	16.5	13.2	10.6	93
RSP16-4.5-11	16	4.50 x 16.0	11	3 x 5	0.75 x 17 x 3	8	24.4	18.8	14.8	120
RSP16-5.0-11	16	5.0 x 16.0	11	3 x 5	1.00 x 36 x 4	11	31	24.2	19.4	179
RSP16-5.0-7	16	5.0 x 16.0	7	3 x 5	1.00 x 36 x 4	11	47	37	29	232
RSP18-4.0-11	18	4.00 x 18.0	11	2 x 4	0.75 x 17 x 3	8	13.7	10.8	8.6	103
RSP18-4.5-11	18	4.50 x 18.0	11	3 x 5	0.75 x 17 x 3	8	21	16	12.5	132
RSP18-5.0-11	18	5.0 x 18.0	11	3 x 5	1.00 x 36 x 4	11	27	21	16.5	192
RSP18-5.0-7	18	5.0 x 18.0	7	3 x 5	1.00 x 36 x 4	11	40	31	25.2	252
RSP20-4.0-11	20	4.00 x 20.0	11	2 x 4	0.75 x 17 x 3	8	11.4	8.9	6.9	123
RSP20-4.5-11	20	4.50 x 20.0	11	3 x 5	0.75 x 30 x 3	8	15.5	12.2	9.6	135
RSP20-5.0-11	20	5.00 x 20.0	11	3 x 5	1.00 x 36 x 4	11	20.3	16	12.7	189
RSP20-5.0-7	20	5.00 x 20.0	7	3 x 5	1.00 x 36 x 4	11	28.2	22.4	18	253
RSP22-4.5-11	22	4.50 x 22.0	11	3 x 5	0.75 x 30 x 3	8	13	10.1	7.8	147
RSP22-4.0-11	22	4.00 x 22.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP22-5.0-11	22	5.00 x 22.0	11	3 x 5	1.00 x 36 x 4	11	17.3	13.5	10.5	202
RSP22-5.0-7	22	5.00 x 22.0	7	3 x 5	1.00 x 36 x 4	11	24.2	19.2	15.3	272
RSP24-4.0-11	24	4.00 x 24.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP24-4.5-11	24	4.50 x 24.0	11	3 x 5	0.75 x 30 x 3	8	10.9	8.3	6.3	158
RSP24-5.0-11	24	5.00 x 24.0	11	3 x 5	1.00 x 36 x 4	11	14.6	11.3	8.6	215
RSP24-5.0-7	24	5.00 x 24.0	7	3 x 5	1.00 x 36 x 4	11	20.9	16.4	12.9	292
RSP25-4.0-11	25	4.00 x 25.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP25-4.5-11	25	4.50 x 25.0	11	3 x 5	0.75 x 30 x 3	8	10	7.5	5.5	164
RSP25-5.0-11	25	5.00 x 25.0	11	3 x 5	1.00 x 36 x 4	11	13.5	10.3	7.8	221
RSP25-5.0-7	25	5.00 x 25.0	7	3 x 5	1.00 x 36 x 4	11	19.4	15.1	11.8	301
RSP26-4.5-11	26	4.50 x 26.0	11	3 x 5	0.75 x 30 x 3	8	9.1	6.7	4.9	170
RSP26-5.0-11	26	5.00 x 26.0	11	3 x 5	1.00 x 36 x 4	11	12.4	9.3	7	228
RSP26-5.0-7	26	5.00 x 26.0	7	3 x 5	1.00 x 36 x 4	11	18	13.9	10.8	311
RSP28-4.5-11	28	4.50 x 28.0	11	3 x 5	0.75 x 30 x 3	8	7.4	5.3	3.6	182
RSP28-5.0-11	28	5.00 x 28.0	11	3 x 5	1.00 x 36 x 4	11	10.4	7.6	5.5	240
RSP28-5.0-7	28	5.00 x 28.0	7	3 x 5	1.00 x 36 x 4	11	15.4	11.7	8.9	330
RSP30-4.5-11	30	4.50 x 30.0	11	3 x 5	0.75 x 30 x 3	8	5.3	3.5	2.2	193
RSP30-5.0-11	30	5.00 x 30.0	11	3 x 5	1.00 x 36 x 4	11	7.6	5.3	3.6	253
RSP30-5.0-7	30	5.00 x 30.0	7	3 x 5	1.00 x 36 x 4	11	11.5	8.5	6.2	349
RSP35-5.0-7	35	5.00 x 35.0	7	3 x 5	1.00 x 36 x 4	11	7	4.6	2.8	397

FINISHES

Standard		Galvanized		K-KLAD		K-KLAD Over Galvanizing	
BRZ	Bronze	**G**	Galvanized	**K813**	Bronze	**KZ13**	Bronze
BLK	Black			**K821**	Black	**KZ21**	Black
GRY	Gray			**K841**	Gray	**KZ41**	Gray
GRN	Green			**K891**	Green	**KZ91**	Green
WHT	White			**K881**	White	**KZ81**	White
P	Primed			**K845**	Natural Aluminum	**KZ45**	Natural Aluminum
NA	Natural Aluminum						
	1 YEAR WARRANTY				**5 YEAR WARRANTY**		**10 YEAR WARRANTY**

MOUNTING DESIGNATIONS

Tenon Mount		Drill Mount	
2	2 3/8'' x 4'' TENON	**DM10**	Drilled for 1 Luminaire
3	2 7/8'' x 4'' TENON	**DM2090**	Drilled for 2 Luminaires @ 90º
3.5	3 1/2'' x 6'' TENON	**DM2180**	Drilled for 2 Luminaires @ 180º
4	4'' x 6'' TENON	**DM3090**	Drilled for 3 Luminaires @ 90º
		DM3120	Drilled for 3 Luminaires @ 120º
		DM4090	Drilled for 4 Luminaires @ 90º

Open Mount

OT	Open Top
OTC	Open Top includes Pole Cap

Gain Mount

1GSS4	(1) CXA
2GSS4	(2) CXA's located on the Same Side
3GSS4	(3) CXA's located on the Same Side
4GSS4	(4) CXA's located on the Same Side
2GBB4	(2) CXA's located Back to Back
4GBB4	(4) CXA's located Back to Back
1GSS9	(1) CXASQ
2GSS9	(2) CXASQ's located on the Same Side
3GSS9	(3) CXASQ's located on the Same Side
4GSS9	(4) CXASQ's located on the Same Side
2GBB9	(2) CXASQ's located Back to Back
4GBB9	(4) CXASQ's located Back to Back

OPTIONS

There are numerous options that can be ordered. Please indicate these selections under the options column in the catalog number. Example: CPL-WPR2-BC.

Accessories

BC	Base Cover
CPL	Threaded Coupling*
NPL	Threaded Nipple*
WPRP	Festoon Opening**
LAB	Less Anchor Bolt

Extra Handholes

XHH	Extra Handhole*

Embedment Pole Options

E	Embedded Pole
GS	Ground Sleeve
CTE	Coal Tar Epoxy

Additional Simplex

1S	1 @ 0º *
2S	2 @ 180º *
3S	3 @ 90º *
4S	4 @ 90º *

For Embedment Poles:

Recommended Mounting Height	Recommended Embedment Depth
Less than 20'	4'
20' - 33'	6'
Greater than 33'	7'

Greater embedment depths are available upon request.

* Please advise size, location, and orientation. (Handholes are restricted by size of pole shaft diameter)
** Located 24" above baseplate and same side as handhole. (No electrical included)

PACKAGING

Immediately after coating, the lighting standard including the baseplate shall be wrapped in heavy corrugation specially designed and sized to achieve maximum protection in transit.

KW Industries, Inc. coating process system and stringent quality control procedures provide our customer the finest quality lighting standards in the industry.

McGraw-Edison

DESCRIPTION

The Galleon™ Pedestrian Companion LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate a variety of pole configurations and mounting heights, allowing it to be offered as a pedestrian or site lighting solution. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

Catalog #		**Type**
Project		
Comments		**Date**
Prepared by		

SPECIFICATION FEATURES

Construction
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity.

Optics
Choice of sixteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

Electrical
LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Pedestrian LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option.

Mounting
The innovative quick mounting arm attaches to new or existing 4-5" round or square poles with 1-1/2" to 4-7/8" drilling patterns without re-drilling. The mast arm adapter fits horizontal 2-3/8" tenon.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty
Five-year warranty.

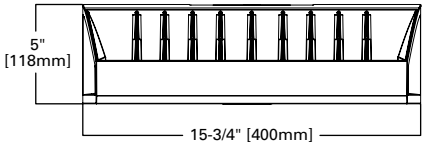
GPC GALLEON PEDESTRIAN COMPANION

1-2 Light Squares
Solid State LED

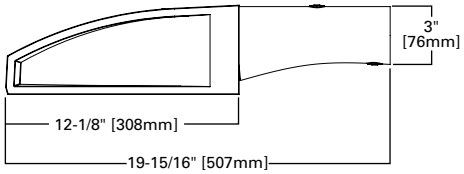
AREA/SITE LUMINAIRE

WaveLinx

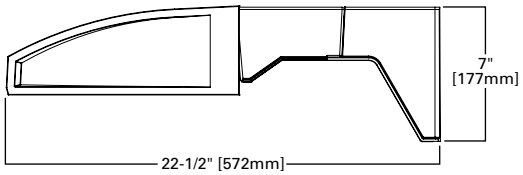
DIMENSIONS



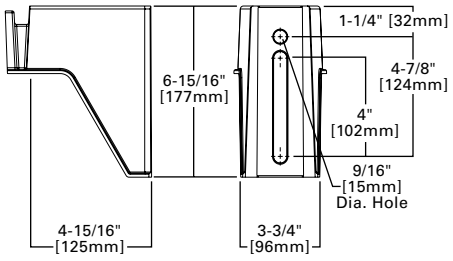
MAST ARM MOUNT



QUICK MOUNT ARM (OVERALL DIMENSIONS)



QUICK MOUNT ARM (POLE MOUNTING DETAILS)



CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 Housing
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V 50/60Hz
347V, 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

EPA

Effective Projected Area (Sq. Ft.)
Quick Mount Arm: 0.73
Mast Arm: 0.62

SHIPPING DATA

Approximate Net Weight:
27 lbs. (12.2 kgs.)

Powering Business Worldwide

*www.designlights.org

POWER AND LUMENS

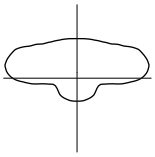
Number of Light Squares		**1**				**2**			
Drive Current		600mA	800mA	1.0A	1.2A	600mA	800mA	1.0A	1.2A
Nominal Power (Watts)		34	44	59	67	66	86	113	129
Input Current @ 120V (A)		0.3	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 208V (A)		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 240V (A)		0.15	0.19	0.26	0.29	0.3	0.38	0.48	0.55
Input Current @ 277V (A)		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 347V (mA)		0.11	0.15	0.17	0.2	0.19	0.24	0.32	0.39
Input Current @ 480V (mA)		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.3
Optics									
T2	4000K/5000K Lumens	4,204	5,156	6,381	7,000	8,215	10,075	12,470	13,680
	3000K Lumens	3,975	4,874	6,033	6,618	7,767	9,525	11,790	12,934
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T2R	4000K/5000K Lumens	4,464	5,474	6,775	7,431	8,723	10,696	13,239	14,523
	3000K Lumens	4,221	5,176	6,406	7,025	8,247	10,113	12,517	13,731
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2
T3	4000K/5000K Lumens	4,285	5,256	6,505	7,135	8,375	10,269	12,710	13,943
	3000K Lumens	4,051	4,969	6,150	6,746	7,918	9,710	12,017	13,182
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T3R	4000K/5000K Lumens	4,380	5,372	6,648	7,294	8,561	10,498	12,993	14,253
	3000K Lumens	4,141	5,078	6,286	6,895	8,094	9,925	12,285	13,475
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2
T4FT	4000K/5000K Lumens	4,311	5,286	6,542	7,177	8,422	10,329	12,784	14,024
	3000K Lumens	4,075	4,998	6,185	6,786	7,963	9,766	12,086	13,259
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3
T4W	4000K/5000K Lumens	4,254	5,217	6,458	7,084	8,313	10,195	12,619	13,843
	3000K Lumens	4,023	4,933	6,105	6,698	7,860	9,639	11,931	13,088
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
SL2	4000K/5000K Lumens	4,196	5,147	6,370	6,988	8,202	10,058	12,449	13,656
	3000K Lumens	3,967	4,866	6,022	6,607	7,755	9,509	11,771	12,911
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
SL3	4000K/5000K Lumens	4,284	5,255	6,504	7,134	8,374	10,268	12,709	13,941
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
SL4	4000K/5000K Lumens	4,071	4,992	6,179	6,778	7,954	9,756	12,074	13,246
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
5NQ	4000K/5000K Lumens	4,420	5,420	6,709	7,358	8,637	10,591	13,108	14,380
	3000K Lumens	4,179	5,124	6,343	6,957	8,166	10,013	12,393	13,595
	BUG Rating	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
5MQ	4000K/5000K Lumens	4,501	5,520	6,831	7,494	8,795	10,786	13,350	14,644
	3000K Lumens	4,256	5,219	6,458	7,085	8,316	10,198	12,622	13,845
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
5WQ	4000K/5000K Lumens	4,513	5,534	6,849	7,514	8,819	10,815	13,385	14,683
	3000K Lumens	4,268	5,232	6,475	7,104	8,338	10,224	12,656	13,882
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
SLL/SLR	4000K/5000K Lumens	3,765	4,619	5,716	6,270	7,358	9,023	11,167	12,251
	3000K Lumens	3,560	4,367	5,404	5,927	6,957	8,531	10,559	11,583
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3
RW	4000K/5000K Lumens	4,379	5,370	6,647	7,293	8,558	10,494	12,989	14,250
	3000K Lumens	4,141	5,077	6,285	6,895	8,092	9,922	12,281	13,473
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
AFL	4000K/5000K Lumens	4,396	5,390	6,672	7,318	8,590	10,533	13,037	14,301
	3000K Lumens	4,156	5,096	6,308	6,919	8,121	9,959	12,326	13,521
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2

* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

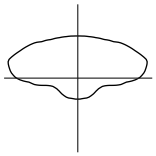
OPTICAL DISTRIBUTIONS

Asymmetric Area Distributions

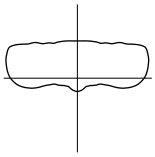
T2
(Type II)



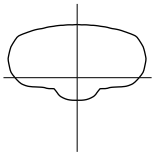
T2R
(Type II Roadway)



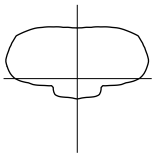
SL2
(Type II with Spill Control)



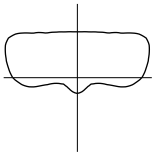
T3
(Type III)



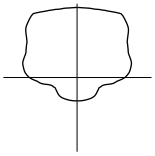
T3R
(Type III Roadway)



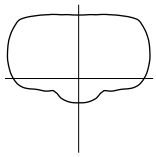
SL3
(Type III with Spill Control)



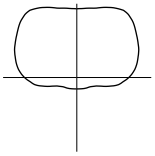
T4FT
(Type IV Forward Throw)



T4W
(Type IV Wide)

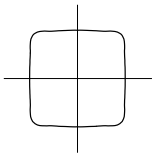


SL4
(Type IV with Spill Control)

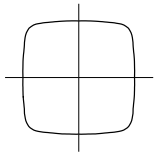


Symmertric Distributions

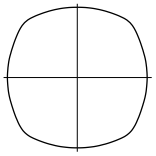
5NQ
(Type V Square Narrow)



5MQ
(Type V Square Medium)

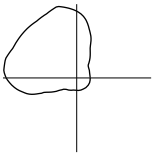


5WQ
(Type V Square Wide)

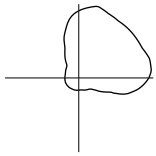


Specialized Distributions

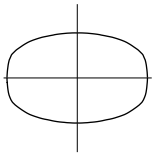
SLL
(90° Spill Light Eliminator Left)



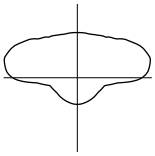
SLR
(90° Spill Light Eliminator Right)



RW
(Rectangular Wide Type I)

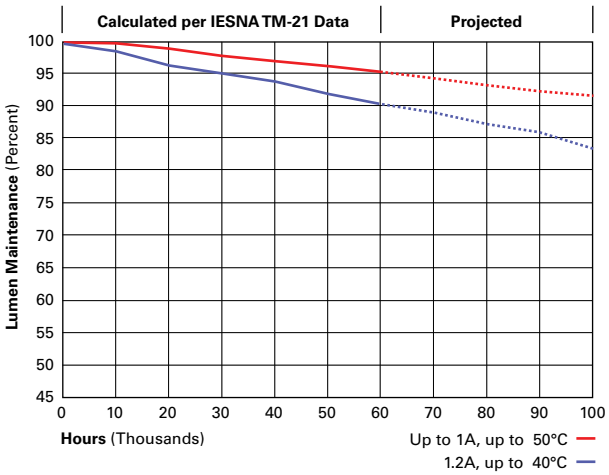


AFL
(Automotive Frontline)



LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

CONTROL OPTIONS

0-10V (DIM)
This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

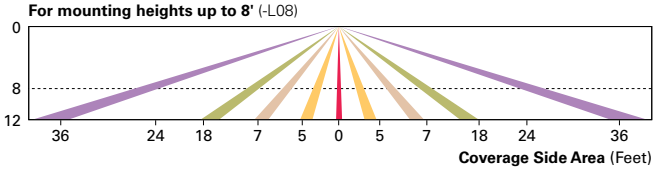
Photocontrol (P, R and PER7)
Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

After Hours Dim (AHD)
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

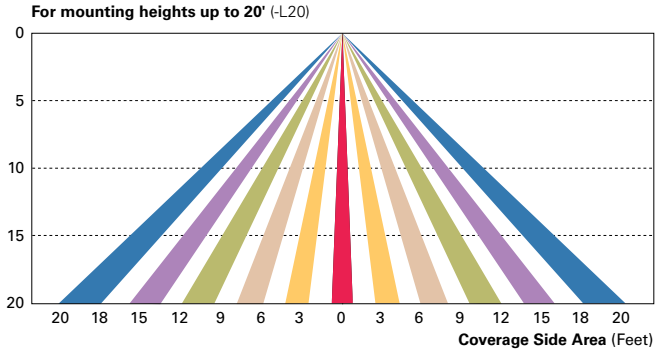
Dimming Occupancy Sensor (MS/DIM-LXX and MS-LXX)
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.

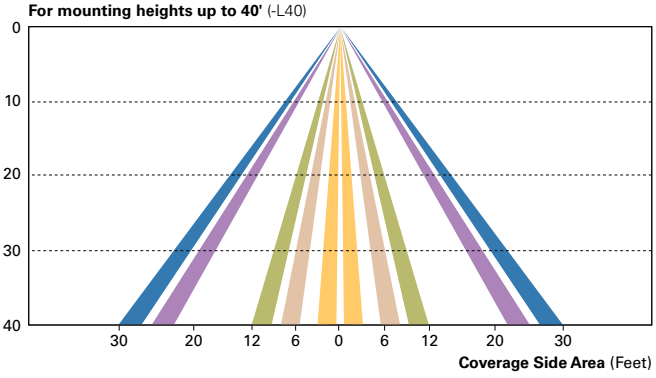
For mounting heights up to 8' (-L08)



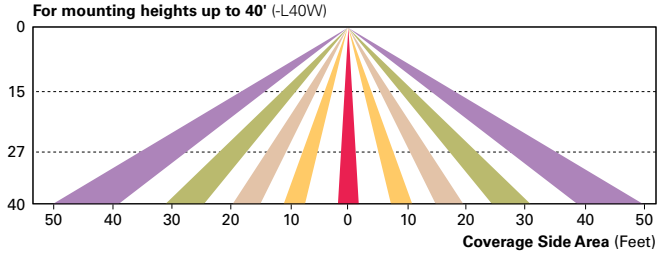
For mounting heights up to 20' (-L20)



For mounting heights up to 40' (-L40)

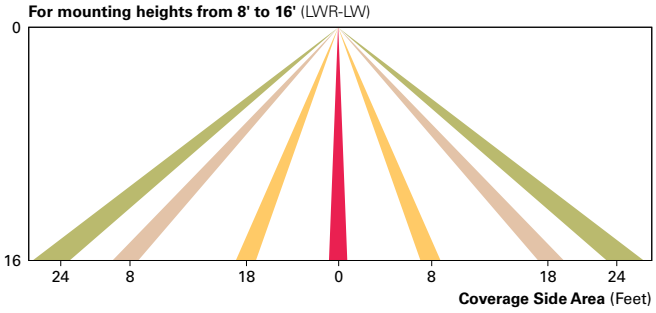


For mounting heights up to 40' (-L40W)

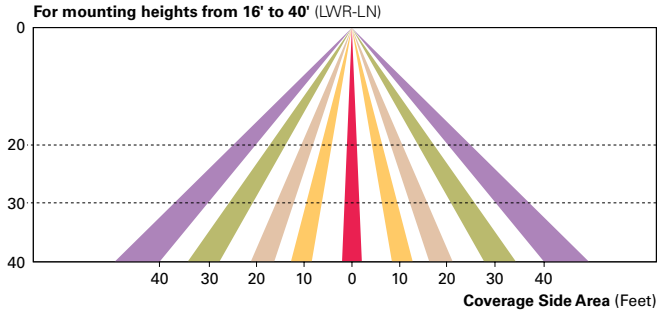


LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)
The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.

For mounting heights from 8' to 16' (LWR-LW)



For mounting heights from 16' to 40' (LWR-LN)



WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)
The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

ORDERING INFORMATION

Sample Number: GPC-AF-02-LED-E1-T3-GM

Product Family	Light Engine	Number of Light Squares [1]	Lamp Type	Voltage	Distribution	Color	Mounting Options
GPC=Galleon Pedestrian Companion	**AF**=1A Drive Current	**01**=1 **02**=2	**LED**=Solid State Light Emitting Diodes	**E1**=120-277V **347**=347V [2] **480**=480V [2, 3]	**T2**=Type II **T2R**= Type II Roadway **T3**=Type III **T3R**= Type III Roadway **T4FT**=Type IV Forward Throw **T4W**=Type IV Wide **SL2**=Type II w/Spill Control **SL3**=Type III w/Spill Control **SL4**=Type IV w/Spill Control **SLL**=90° Spill Light Eliminator Left **SLR**=90° Spill Light Eliminator Right **RW**=Rectangular Wide Type I **5NQ**=Type V Square Narrow **5MQ**=Type V Square Medium **5WQ**=Type V Square Wide **AFL**=Automotive Frontline	**AP**=Grey **BZ**=Bronze **BK**=Black **DP**=Dark Platinum **GM**=Graphite Metallic **WH**=White **CC**=Custom Color [4]	**QM**=Quick Mount Arm for Round or Square Pole [5, 6] **MA**=2-3/8" Mast Arm [5, 7]

Options (Add as Suffix)	**Accessories** (Order Separately)
7027=70 CRI / 2700K [8] **7030**=70 CRI / 3000K [8] **8030**=80 CRI / 3000K [8] **7050**=70 CRI / 5000K [8] **7060**=70 CRI / 6000K [8] **600**=Drive Current Factory Set to 600mA **800**=Drive Current Factory Set to 800mA **1200**=Drive Current Factory Set to 1200mA [9] **F**=Single Fused (120, 277 or 347V. Must Specify Voltage) **FF**=Double Fused (208, 240 or 480V. Must Specify Voltage) **10K**=10kV Surge Module **DIM**=0-10V Dimming Leads [10, 11] **HA**=50°C High Ambient [12] **P**=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) **R**=NEMA Twistlock Photocontrol Receptacle **PER7**=NEMA 7-PIN Twistlock Photocontrol Receptacle [13] **AHD145**=After Hours Dim, 5 Hours [14] **AHD245**=After Hours Dim, 6 Hours [14] **AHD255**=After Hours Dim, 7 Hours [14] **AHD355**=After Hours Dim, 8 Hours [14] **MS-LXX**=Motion Sensor for On/Off Operation [15, 16, 17] **MS/DIM-LXX**=Motion Sensor for Dimming Operation [15, 16, 17] **LWR-LW**=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height [17, 18, 19] **LWR-LN**=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height [17, 18, 19] **LCF**=Light Square Trim Plate Painted to Match Housing [20] **MT**=Factory Installed Mesh Top **L90**=Optics Rotated 90° Left **R90**=Optics Rotated 90° Right **HSS**=Factory Installed House Side Shield [21] **CE**=CE Marking and Small Terminal Block [22] **ZW**=WaveLinx-enabled 4-PIN Twistlock Receptacle [26, 27] **ZW-SWPD4XX**=Wavelinx Wireless Sensor, 7′ – 15′ Mounting Height [26, 27, 29] **ZW-SWPD5XX**=Wavelinx Wireless Sensor, 15′ – 40′ Mounting Height [26, 27, 29]	**OA/RA1013**=Photocontrol Shorting Cap **OA/RA1016**=NEMA Photocontrol - Multi-Tap 105-285V **OA/RA1201**=NEMA Photocontrol - 347V **OA/RA1027**=NEMA Photocontrol - 480V **MA1252**=10kV Circuit Module Replacement **MA1036-XX**=Single Tenon Adapter for 2-3/8″ O.D. Tenon **MA1037-XX**=2@180° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1197-XX**=3@120° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1188-XX**=4@90° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1189-XX**=2@90° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1190-XX**=3@90° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1191-XX**=2@120° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1038-XX**=Single Tenon Adapter for 3-1/2″ O.D. Tenon **MA1039-XX**=2@180° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1192-XX**=3@120° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1193-XX**=4@90° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1194-XX**=2@90° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1195-XX**=3@90° Tenon Adapter for 3-1/2″ O.D. Tenon **FSIR-100**=Wireless Configuration Tool for Occupancy Sensor [16] **LS/HSS**=Field Installed House Side Sheild [21, 23] **WOLC-7P-10A**=WaveLinx Outdoor Control Module (7-pin) [24, 26] **SWPD4-XX**=Wavelinx Wireless Sensor, 7′ – 15′ Mounting Height [26, 27, 28, 29] **SWPD5-XX**=Wavelinx Wireless Sensor, 15′ – 40′ Mounting Height [26, 27, 28, 29]

NOTES:

1. Standard 4000K CCT and minimum 70 CRI.
2. Requires the use of a step down transformer. Not available in combination with sensor options at 1200mA.
3. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
4. Custom colors are available. Setup charges apply. Paint chip samples required. Extended Lead times apply.
5. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
6. Quick mount arm adapter is factory installed. Pole mouting bracked shipped in box. Suitable for 1.5G. Fits square and round pole up to 6″ O.D.
7. Mast arm adapter factory installed (2-3/8" O.D. arm only). Suitable for 3G vibration.
8. Extended lead times apply. Use dedicated IES files when performing layouts.
9. Not available with HA option.
10. Cannot be used with other control options.
11. Low voltage control lead brought out 18″ outside fixture.
12. HA option available for single light square only. Not available with 1200mA drive current.
13. Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
14. Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
15. Replace LXX with mounting height in feet for proper lens selection (e.g., L8=8′ mounting height). L8, L20, L40, and L40W are available options.
16. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
17. Includes integral photosensor.
18. Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
19. LumaWatt wireless sensors are factory installed requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
20. Not available with HSS option.
21. Only for use with SL2, SL3, SL4, and AFL distributions. The light square trim plate is painted black when the HSS option is selected.
22. CE is not available with the LWR, MS, MS/DIM, P, R or PER7 options. Available in 120-277V only.
23. One required for each light square.
24. Requires PER7.
25. Reserved.
26. Cannot be used in conjunction with photocontrol or other controls systems (P, R, MS, LWR).
27. WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
28. Requires ZW.
29. Replace XX with sensor color (WH, BZ, or BK).

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	April 28, 2020
APPLICANT:	Jason Miller; *Boucher Design Group*
CASE NUMBER:	SP2020-004.; *Site Plan for Strip Retail Center at 2901 Ridge Road*

SUMMARY

Discuss and consider a request by Jason Miller of Boucher Design Group on behalf of Peter Sisan of SDI Rockwall Holdings, LLC for the approval of a *Site Plan* for a *strip retail center* on a 0.918-acre tract of land being identified as Lot 1, Block A, Mr. M. Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on November 7, 1960 by *Ordinance No. 60-03.* On January 3, 1972, the City's historic zoning map indicates the subject property was zoned Agricultural (AG) District. On November 12, 1973, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 9 (PD-9) [*Ordinance No. 73-49*] for single-family, multi-family, and shopping center uses. On June 16, 1986, the City Council approved *Ordinance No. 86-55*, which amended the concept plan for PD-9 and repealed *Ordinance No. 73-49.* This ordinance established regulations for General Retail (GR) District land uses for the subject property. Currently situated on the subject property is a convenience store and fuel canopy that were vacated in ~2016. According to the Rockwall Central Appraisal District (RCAD) these improvements were constructed in 1988.

PURPOSE

On March 20, 2020, the applicant -- *Jason Miller of Boucher Design Group* -- submitted an application requesting the approval of a site plan for the purpose of demoing the existing improvements and constructing a ~5,400 SF strip retail center.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southeast corner of Ridge Road [*FM-740*] and Horizon Road, and is addressed as 2901 Ridge Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Ridge Road, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this roadway are properties zoned Commercial (C) District (*i.e. Scotties Exxon, American National Bank, etc.*) and General Retail (GR) District (*i.e. CVS Pharmacy and a strip retail facility*). Beyond this is Planned Development District 32 (PD-32), which is a mixed-use design district better known as the Harbor District.

South: Directly south of the subject property is a continuation of Planned Development District 9 (PD-9), which includes the Kroger Shopping Center. This area of PD-9 has an underlying zoning of General Retail (GR) District.

East: Directly east of the subject property is Horizon Road, which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are properties zoned Commercial (C) District (*i.e. American National Bank, Kwik Industries, Lowes, etc.*). Beyond this

is a church and the Windmill Ridge Subdivision. These properties are zoned Planned Development District 13 (PD-13) single-family detached land uses.

West: Directly west of the subject property is Ridge Road, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are properties zoned General Retail (GR) District (*i.e. CVS Pharmacy and strip retail facilities*). Beyond this is Planned Development District 32 (PD-32), which is a mixed-use design district better known as the Harbor District.

DENSITY AND DIMENSIONAL REQUIREMENTS

The subject property is located within Planned Development District 9 (PD-9), which has an underlying zoning of General Retail (GR) District. According to Section 01, *Land Use Schedule*, of Article 04 *Permissible Uses*, of the Unified Development Code (UDC), the proposed use (*i.e. strip retail center)* is allowed *by-right* in a General Retail (GR) District. With the exception of the variances being requested the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within Planned Development District 9 (PD-9). The proposed strip retail facility will be constructed utilizing stone, stucco, store front glass, canopies, and will incorporate a flat roof design. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	*Zoning District Standards*	*Conformance to the Standards*
Minimum Lot Area	*6,000 SF*	*40,148 SF; In Compliance*
Minimum Lot frontage	*60 Feet*	*x>82-Feet; In Compliance*
Minimum Lot Depth	*100 Feet*	*x>222-Feet; In Compliance*
Minimum Front Yard Setback	*15 Feet*	*x>15-Feet; In Compliance*
Minimum Rear Yard Setback	*0 Feet w/FRW*	*10-Feet; In Compliance*
Minimum Side Yard Setback	*0 Feet w/FRW*	*x>50-Feet; In Compliance*
Maximum Building Height	*36 Feet w/o SUP*	*25-Feet; In Compliance*
Max Building/Lot Coverage	*40%*	*~13.4%; In Compliance*
Minimum Masonry Requirement	*90%*	*x>90%; In Compliance*
Minimum Number of Parking Spaces	*37*	*37 Provided; In Compliance*
Minimum Stone Requirement	*20% each Facade*	*x>20%; In Compliance*
Minimum Landscaping Percentage	*20%*	*~31%; In Compliance*
Maximum Impervious Coverage	*85-90%*	*~68.6%; In Compliance*

TREESCAPE PLAN

All existing trees (*i.e. 258-caliper inches*) will remain on site; therefore no treescape plan is required.

CONFORMANCE WITH THE CITY'S CODES

Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that the General Retail (GR) District is a district intended to provide limited retail and service uses for nearby residential neighborhoods and is not intended to be a major commercial/retail district. General Retail (GR) Districts should try to avoid intensive commercial land uses that carry large volumes of retail traffic and should be adequately buffered from residential land uses. General Retail (GR) Districts are generally situated in close proximity to an arterial roadway or major collector that is capable of carrying the traffic generated by the land uses in the district. Since the General Retail (GR) District is located close to residential areas, the development standards are more stringent and similar to the Residential-Office (RO) and Neighborhood Services (NS) Districts. In this case, the applicant's proposal is adjacent to Ridge Road (*which is identified as a M4D on the City's Master Thoroughfare Plan*) and Horizon Road (*which is identified as a TXDOT4D on the City's Master Thoroughfare Plan*). The *strip retail* land use is not typically considered an intensive commercial land use, nor is it a high-volume water/wastewater user. With regard to the land use, a retail facility is permitted *by-right* in a General Retail (GR) District.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions and variances to the requirements of Subsection 04.01, *General Commercial District Standards* and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC):

(1) Building Articulation.

(a) *Primary Building Façades*. According to Subsection 04.01.C.1, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the UDC, primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In addition, no wall should exceed a length of three (3) time the walls height without an architectural/entryway element. In this case, the proposed building incorporates vertical projections on all facades; however, the building design does not meet the horizontal projection standards for primary façades (*i.e. north elevation*).

(b) *Secondary Building Façades.* According to Subsection 04.01.C.2, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the UDC, primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In addition, no wall should exceed a length of three (3) times the walls height without an architectural/entryway element. In this case, the proposed building does incorporate vertical projections on all facades; however, the building design does not meet the horizontal projection standards for secondary façades (*i.e. south elevation*).

(2) Roof Design Standards.

(a) According to Subsection 06.02.C.2, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all structures that have a footprint of less than 6,000 SF shall be constructed with a pitched roof. The proposed strip retail building will utilize a flat roof system with raised parapet elements. This does not conform to the requirements of the General Overlay District Standards of the UDC.

(3) Architectural Standards.

(a) Four (4) Sided Architecture. According to Subsection 06.02.C.5, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the UDC, all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation, and architectural features. In this case, the rear elevation (*i.e. south façade*) does not incorporate the same detailing and/or features as found on the remainder of the building's facades.

According to Section 9, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), unless otherwise specified by the UDC "(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC)" or "a variance to any provision contained in *Subsection 06.02, General Overlay District Standards*, where unique or extraordinary conditions exist or where strict adherence to the technical requirements of this section would create an undue hardship." In cases where variances or exceptions are being requested, the applicant shall provide compensatory measures that directly offset the requested exception or variance. In this case, the applicant has provided a letter explaining the exceptions and variances being requested and the proposed compensatory measures for the requested exceptions and variances.

Staff should also note the number of compensatory measures listed by the applicant does not meet the exact requirements of the ordinance; however, the Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set or mitigate for the requested variances. This is a discretionary decision for the Planning and Zoning Commission that requires approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the ***Medical District*** which is "…a highly specialized district that is characterized by the medical and professional offices, which line Horizon Road [*FM-3097*], Rockwall Parkway, and Tubbs Road. At the center of this district is Presbyterian Hospital of Rockwall, a ~100,000 SF full service hospital facility…(e)xtending north from W. Ralph Hall Parkway are several retail and personal service businesses that transition the district from medical and professional offices to commercial/retail land uses, which are more characteristic of the land uses along Ridge Road [FM-740]. It is anticipated that this area will continue to function in this manner, providing financial and retail services that support the district and the residential subdivisions surrounding this district." The district strategies of the Comprehensive Plan provides that infill development within this district should be compatible with the surrounding land uses. The ***Commercial/Retail*** land use category is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions. The location of the proposed strip retail center at the intersection of Ridge Road and Horizon Road is considered to be highly visible within the district.

In addition, Goal 3, *Visual Impacts,* of Chapter 09, *Non-Residential*, the Comprehensive Plan states "(a)ll non-residential buildings should be designed so that negative visual impacts of the development are minimized". *Policy 4* of this section also indicates that "…(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or '*articulated' in architectural terms* --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is proposing vertical articulation; however, the building design is indicative of a flat wall design with revels, small bump-outs, and canopies that provide breaks. This does not meet the intent of the horizontal articulation standards of the UDC for the front and rear facing facades (*i.e. north and south facades*). Staff has requested the applicant consider tower elements, pilasters, and/or other aesthetic elements (*i.e. canopies and faux windows on the south elevation*) that would alleviate the possible negative visual impacts of these facades.

The applicant has made changes by lowering the front parapet at the center, which provides a tower element appearance for the front facing façade. Additionally, the applicant has also raised the corner parapets on the rear façade to provide a lower tower element appearance and varied roof heights for the site. The tower elements also have an architectural cornice that provides additional relief. The applicant has made a change from using brick on the structure to incorporating a natural stone product, meeting the Scenic Overlay (SOV) District standard of a minimum of 20% on each façade. However, when reviewing the revised elevations, the applicant is not meeting the intent of *Policy 4* by not providing horizontal relief long walls of the front and rear facades (*i.e. north and south elevations*). It should be noted that the site has 258-caliper inches of trees (*i.e. 20 large Oak and Cypress Trees*) that will remain –(*i.e. no mitigation required*) and as a compensatory measure for the variances being requested, the applicant is providing additional trees and shrubs around the facility. With this being said, the Architectural Review Board (ARB) will review the revised elevations for conformity to the Comprehensive Plan and surrounding area at their meeting on ***April 28, 2020***.

ARCHITECTURAL REVIEW BOARD (ARB):

Due to COVID-19 and the City's disaster declaration, the Architectural Review Board (ARB) did not meet on April 14, 2020; however, staff did email the proposed site plan and building elevations for the ARB's review and comments. Upon review, the Architectural Review Board (ARB) indicated that based on the high visibility of the site, they recommended the applicant meet the intent of the overlay district standards (*i.e. vertical and horizontal articulation, stone requirements, four [4] sided architecture*) in order to better blend aesthetically with the surrounding properties.

The applicant has revised the building elevations; however, the revisions do not appear to meet the intent of the Scenic Overlay (SOV) District standards and require approval of variances as outlined in the *Variances/Exceptions Request by the Applicant* section above. The Architectural Review Board (ARB) will review the applicant's revised building elevations at the ***April 28, 2020*** meeting via Zoom, and provide a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's site plan for the strip retail center, then staff would propose the following conditions of approval:

(1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;

(2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:
[ ] Master Plat ($100.00 + $15.00 Acre) [1]
[ ] Preliminary Plat ($200.00 + $15.00 Acre) [1]
[ ] Final Plat ($300.00 + $20.00 Acre) [1]
[ ] Replat ($300.00 + $20.00 Acre) [1]
[ ] Amending or Minor Plat ($150.00)
[ ] Plat Reinstatement Request ($100.00)

Site Plan Application Fees:
[X] Site Plan ($250.00 + $20.00 Acre) [1]
[ ] Amended Site Plan/Elevations/Landscaping Plan ($100.00)

Zoning Application Fees:
[ ] Zoning Change ($200.00 + $15.00 Acre) [1]
[ ] Specific Use Permit ($200.00 + $15.00 Acre) [1]
[ ] PD Development Plans ($200.00 + $15.00 Acre) [1]

Other Application Fees:
[ ] Tree Removal ($75.00)
[ ] Variance Request ($100.00)

Notes:
[1]: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	2901 Ridge Road, Rockwall, Texas 75032			
Subdivision		Lot		Block
General Location	Hard corner of Ridge Road and Horizon Road			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD-9, General Retail		Current Use	Commercial	
Proposed Zoning	PD-9, General Retail		Proposed Use	Commercial	
Acreage	0.921 acres	Lots [Current]	1	Lots [Proposed]	1

[ ] ***SITE PLANS AND PLATS:*** *By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

[ ] Owner	SDI Rockwall Holdings, LLC	[X] Applicant	Boucher Design Group
Contact Person	Peter Sisan	Contact Person	Jason Miller
Address	1800 West Loop South	Address	6802 Mapleridge Street
	Suite 1850		Suite 200
City, State & Zip	Houston, Texas 77027	City, State & Zip	Bellaire, Texas 77401
Phone	713-892-5200	Phone	713-785-3644
E-Mail	psisan@sdirealty.com	E-Mail	jason@bdgap.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jason Miller [*Owner*] the undersigned, who stated the information on this application to be true and certified the following:

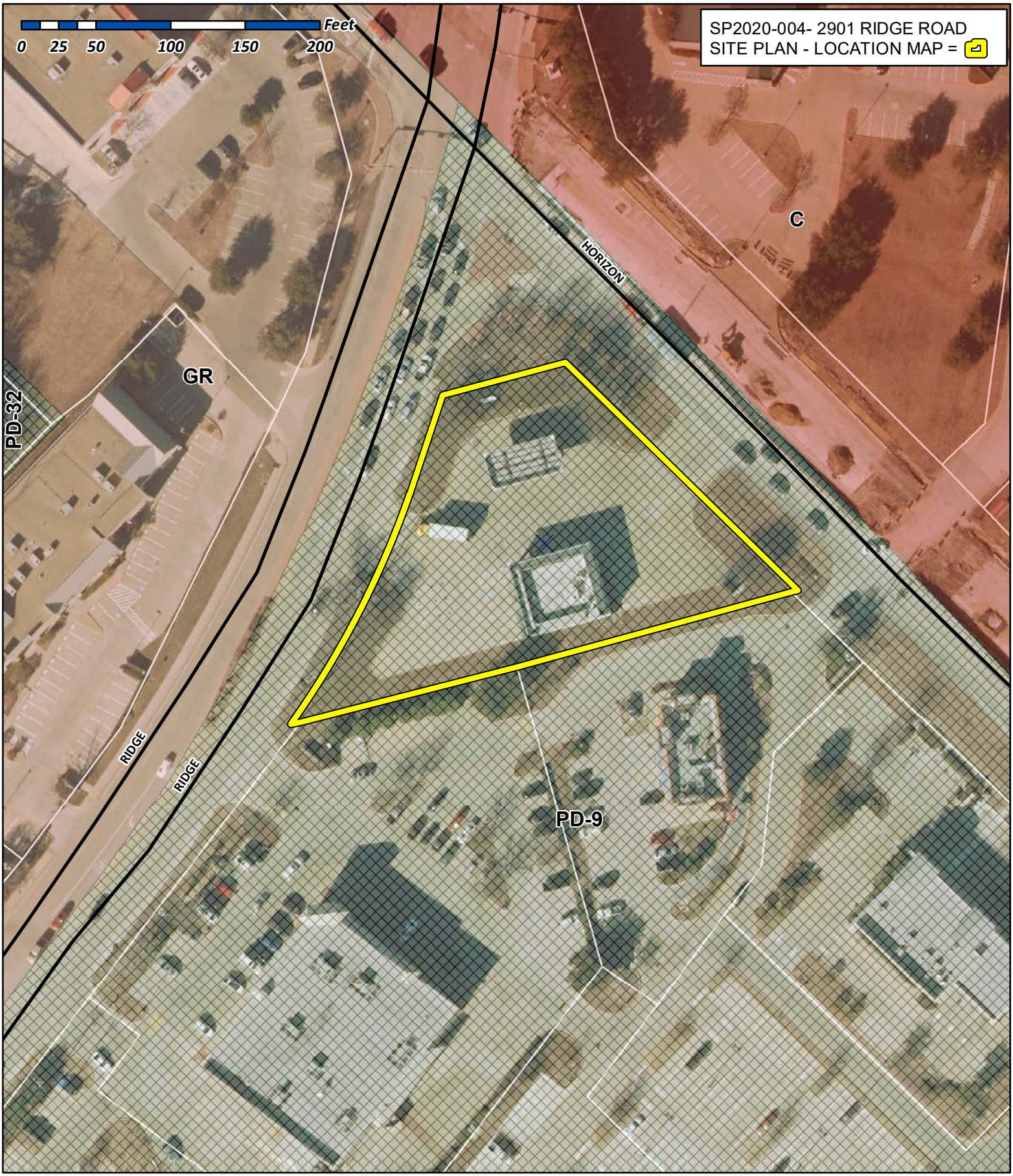
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of $ $270.00 *, to cover the cost of this application, has been paid to the City of Rockwall on this the* 19th *day of* March *, 20* 20 *. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."*

Given under my hand and seal of office on this the 19th *day of* March *, 20* 20.

LINDA S. LEVIS
My Notary ID # 3472478
Expires June 25, 2023

Owner's Signature

Notary Public in and for the State of Texas Linda S. Levis *My Commission Expires* 6/25/2023



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

April 23, 2020

Case No: SP2020-004

Kroger Outlot
2901 Ridge Road
Rockwall, Texas 75032

Variance Letter for Site Plan comments received on 4/8/2020 and 4/22/2020.

Dear Mr. Gonzales,

For the project case number SP2020-004, we are submitting this letter as a request for variance for the three (3) items listed below.

The existing conditions and encumbrances of this site have proven especially difficult in our attempts to achieve the minimum requirements for developing a commercial multi-tenant building per the Unified Development Code (UDC) and Scenic Overlay District ordinances.

We believe we have made every effort to cooperate with and abide by what the City of Rockwall desires to be constructed on this site, to the extent that the project can successfully function as a commercial restaurant/retail use development.

Due to the abnormal shape and size limitations of the property, along with presence of the Scenic Overlay District, out of the nine (9) available compensatory measures outlined in the UDC for requesting a variance, only three (3) of those measure are feasible options:

- Increased landscaping
- Increased building articulation
- Increased architectural elements.

That list is further reduced as two (2) of the remaining compensatory measures are already proposed deficiencies for the project.

As such, our only choice for compensatory measures for variance purposes, is to submit that we are providing additional landscaping above and beyond what is required by the UDC and Scenic Overlay by preserving and maintaining the existing canopy tree plantings along Ridge Road and Horizon Road.

Please see below responses to the Revision 1 Comments received on April 22, 2020.

3) Building Articulation.

The reduced size of building brought about by the existing site encumbrances, parking and landscape requirements, does not allow for the substantial building articulation requirements set forth in the UDC. We have implemented feasible articulation elements such as pilaster bump-outs, metal canopies and awnings, parapet cap projections, stone wainscoting, and corner tower projections at the rear of the building. We must be allowed to maintain flexibility on the front elevation for current and future generation tenant signage, as well as maintain functionality of the

rear elevation for such requirements as power, data and telephone services, and delivery access and emergency egress for each tenant.

5) Roof Design Standards.

As a commercial multi-tenant building with both restaurant and retail service users, a pitched roof design does not allow for the installation and long-term maintenance of required systems that must typically be installed on the roof. We are proposing an industry standard sloped (flat) roof system that shall be adequately screened by parapets on all four sides. There are several similar buildings within the vicinity that have similar conditions. The limited size of the proposed building again precludes us from being able to comply with the sloped roof requirement.

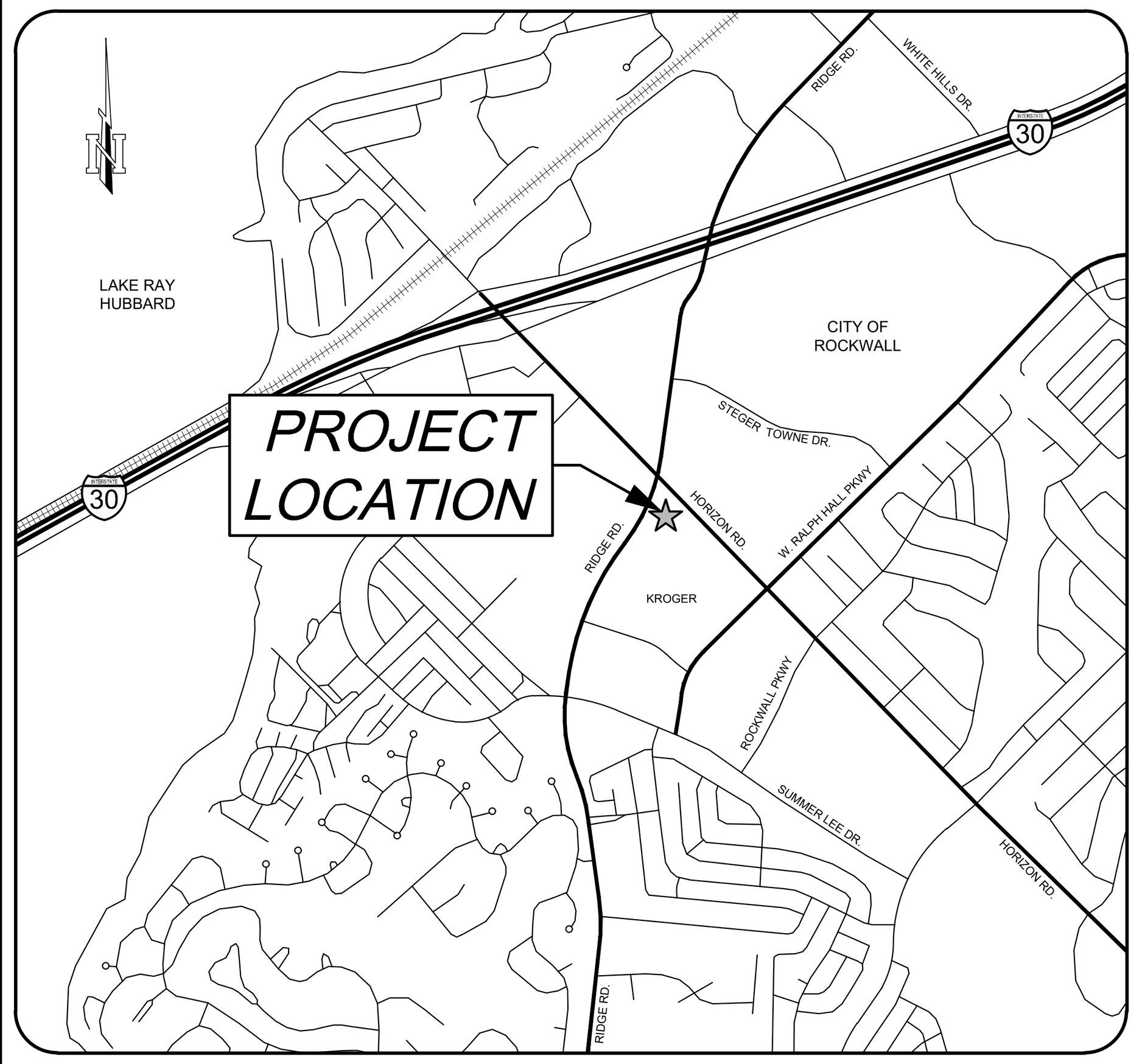
6) Four (4) Sided Architecture.

Similar to our response for item 3 above, the rear of this commercial multi-tenant building must be able to function properly for delivery access and emergency egress, and for housing the utilities and services required for the tenants. Any additional architectural elements beyond what has been proposed, would cause undue hardship for the owner, and potentially jeopardize the feasibility and success of the project entirely.

We respectfully request consideration of our responses as acceptable grounds for approval of the above variances by the Planning & Zoning Commission.

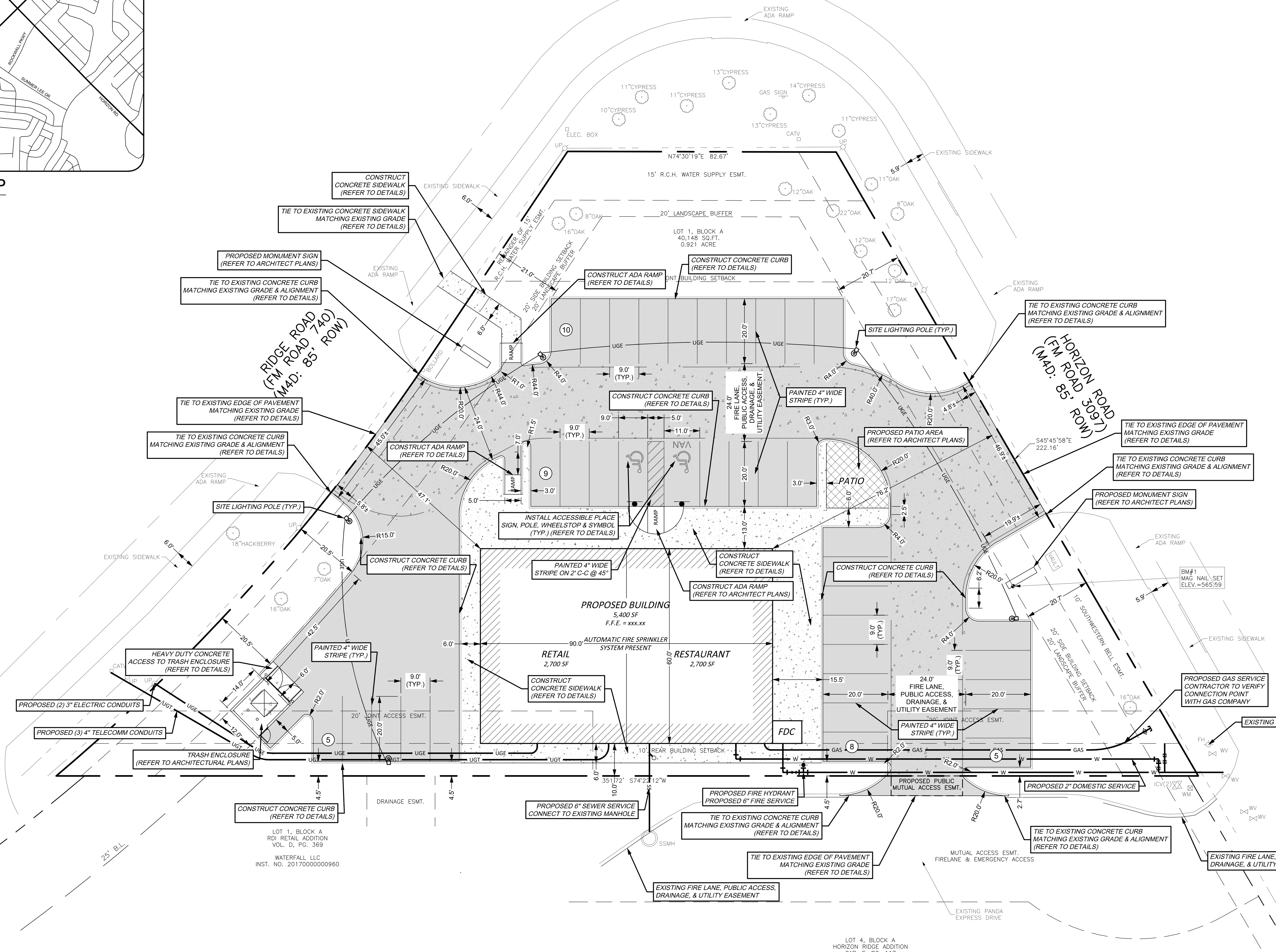
Sincerely,

Jason Miller, RA
Boucher Design Group



VICINITY MAP

NOT TO SCALE



SITE PLAN INFORMATION

ZONED: PD-9

LAND USE: CURRENT: GR - GENERAL RETAIL
PROPOSED: GR - GENERAL RETAIL

TOTAL LOT AREA: 0.921 ACRES (40,148 S.F.)
TOTAL LOT PERIMETER: ±906 LF

BUILDING AREA: 5,400± S.F.
BUILDING HEIGHT: 20'-0" - 24'-0"

	REQUIRED	PROVIDED
STANDARD PARKING	35	35
ACCESSIBLE PARKING	2	2
TOTAL	37	37

Time of Day	Retail	Restaurant	Retail	Rest.	Total #
			11	27	38
					2 ADA
6:00 a.m. - 12:00 noon	0.97	0.50	10	14	24
12:00 noon - 1:00 p.m.	1.00	0.70	11	19	30
1:00 p.m. - 4:00 p.m.	0.97	0.60	10	16	27
4:00 p.m. - 6:00 p.m.	0.82	0.90	9	24	33
6:00 p.m. - 8:00 p.m.	0.89	1.00	10	27	37
8:00 p.m. - 12:00 midnight	0.61	1.00	7	27	34
			Total #		**37**

Retail SF	Rest. SF	Retail Req.	Rest. Req.
2,700	2,700	1/250	1/100

20' 0 20' 40'
GRAPHIC SCALE IN FEET

BENCHMARK

IF THE CONTRACTOR RELOCATES REFERENCE MARKERS WITH A NEW REFERENCE MARKER, IT SHALL BE LOCATED WITHIN A HORIZONTAL AND VERTICAL TOLERANCE OF 0.10'

BM#1 MAG NAIL SET
ELEVATION = 565.59

LEGEND

EXISTING PROPOSED

WATER METER
WATER VALVE
FIRE HYDRANT
GAS METER
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
UTILITY POLE
SITE LIGHTING POLE
TRAFFIC SIGNAL POLE
TRAFFIC SIGNAL BOX
STORM MANHOLE
STORM JUNCTION BOX
CURB INLET
GRATE INLET
SIGN
EXISTING OVERHEAD ELECTRIC LINE
EXISTING CONCRETE CURB
PROPOSED CONCRETE CURB
NUMBER OF PARKING SPACES
PROPOSED FIRE LANE
PROPOSED 3,500 PSI 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.E.W.
PROPOSED 3,500 PSI 5" CONCRETE STANDARD DUTY PAVEMENT WITH #4 BARS AT 24" O.C.E.W
PROPOSED 3,500 PSI 6" CONCRETE HEAVY DUTY PAVEMENT WITH #4 BARS AT 18" O.C.E.W
WATER LINE
SANITARY SEWER
UNDERGROUND ELECTRIC LINE
UNDERGROUND TELEPHONE LINE
GAS LINE

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES, OSHA STANDARDS AND PROJECT SITE WORK SPECIFICATIONS.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING ENTRANCE LOCATIONS,
3. CONTRACTOR SHALL REFER TO MEP PLANS FOR TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING EXISTING ITEMS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. DAMAGES SHALL BE REPORTED TO ENGINEER OF RECORD PRIOR TO REPAIR. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
5. CONTRACTOR IS REQUIRED TO REMOVE OR RELOCATE, IN A PROPER MANNER, EXISTING IMPROVEMENTS/NATURAL FEATURES TO ALLOW FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS INDICATED ON THE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS. PROPERTY CORNERS DAMAGED BY CONTRACTOR SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
8. CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
9. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE LATEST EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
10. ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
11. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE, FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
12. ALL CURB RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
13. FIRE LANES ARE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO LOCAL CITY REQUIREMENTS FOR EXACT LOCATION.

ACCESSIBILITY NOTES

1. PROPOSED CONSTRUCTION ON THIS SITE SHALL COMPLY WITH THE LATEST REVISION OF THE ADA REGULATIONS AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
2. ALL SLOPES ON SIDEWALKS ADJACENT TO BUILDINGS SHALL BE AT ¼" PER FOOT MAX. DOWN TO THE TOP OF CONCRETE CURB.
3. ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
4. ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
5. ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 5' X 5' LANDINGS. RAMP SLOPE SHALL NOT EXCEED 8.33% (1:12).
6. RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
7. SURFACE OF CURB RAMPS SHALL BE CONSTRUCTED WITH ADA COMPLIANT SURFACE. SURFACE OF ACCESSIBLE ROUTES AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. CURB RAMPS SHALL NOT EXCEED 6' IN LENGTH.
8. THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

INSPECTIONS/CERTIFICATIONS NOTE

ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

PERMITS NOTE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

TOPOGRAPHIC SURVEY NOTE

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY CBG SURVEYING TEXAS LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.

CITY OF ROCKWALL

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF __________, _____.

WITNESS OUR HANDS, THIS _____ DAY OF __________, _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER

SDI ROCKWALL HOLDINGS, LLC
1800 WEST LOOP SOUTH
SUITE 1850
HOUSTON, TEXAS 77027

CASE NUMBER: SP2020-004

MARK	REVISION	DATE

C:\USERS\KFOXBROWN\DESKTOP\19-1506-38 SDI REALTY - D-575 ROCKWALL TX - KROGER\PLANS (SDI -ROCKWALL KROGER OUTLOT)\ CITY SITE PLAN_ARCH SUBMITTAL.DWG | SITE PLAN | 4/21/2020 - 8:28 AM
DRAWING PATH/NAME | LAYOUT | PLOT DATE - TIME

PROJECT TITLE: ---- - CITY XX, TEXAS

SHEET NAME: SITE PLAN

PROJECT NAME: KROGER OUTLOT 2901 RIDGE ROAD ROCKWALL, TEXAS 75032

DRAWN BY: TG
DESIGNED BY: DK
LATEST REVISION: 03/18/20
KSA JOB NO.: 19-1506-38

KSA
6781 Oak Hill Blvd., Tyler, Texas 75703
T. 903-581-8141 F. 888-224-9418
www.ksaeng.com

This document is released for the purpose of interim review under the authority of Darrel Kotzur, P.E., Lic. # 83947, on April 21, 2020. It is not to be used for construction, bidding, or permit purposes.

SEAL:
TBPE Firm Registration No. F-1356

SHEET NO.
C1.0

NORTH ELEVATION (MATERIALS %)

PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (486 S.F.)	20% (MIN)	40%	EIFS/ MTL./ CAST STONE (130 S.F.)	10% (MAX)	10%
STUCCO (630 S.F.)	50% (MAX)	50%			
TOTAL (1,116 S.F.)	90% (MIN)	**90%**	**TOTAL (130 S.F.)**	10% (MAX)	**10%**

SOUTH ELEVATION (MATERIALS %)

PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (645 S.F.)	20% (MIN)	33%	EIFS/ MTL./ CAST STONE (61 S.F.)	10% (MAX)	3%
CMU (1,262 S.F.)		64%			
TOTAL (1,907 S.F.)	90% (MIN)	**97%**	**TOTAL (61 S.F.)**	10% (MAX)	**3%**

EAST ELEVATION (MATERIALS %)

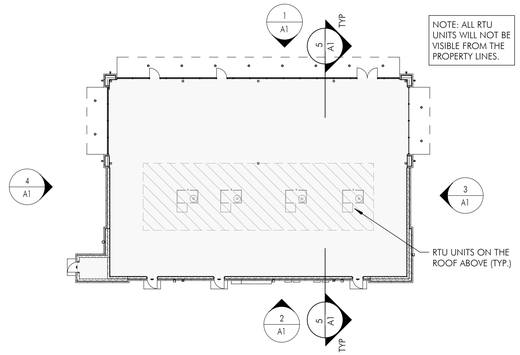
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (458 S.F.)	20% (MIN)	39%	EIFS/ MTL./ CAST STONE (74 S.F.)	10% (MAX)	6%
CMU (444 S.F.)		38%			
STUCCO (207 S.F.)	50% (MAX)	17%			
TOTAL (1,109 S.F.)	90% (MIN)	**94%**	**TOTAL (74 S.F.)**	10% (MAX)	**6%**

WEST ELEVATION (MATERIALS %)

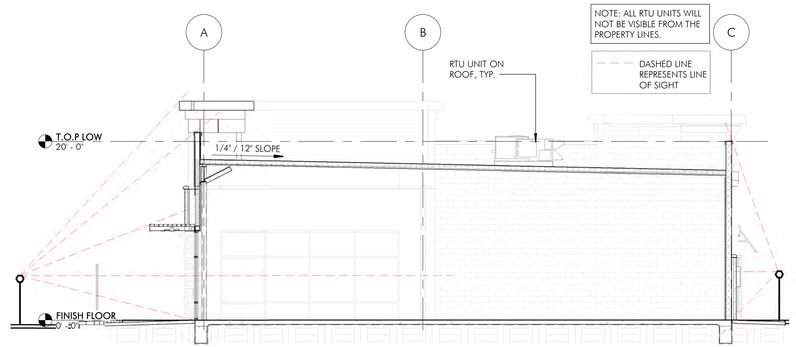
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (434 S.F.)	20% (MIN)	38%	EIFS/ MTL./ CAST STONE (74 S.F.)	10% (MAX)	6%
CMU (444 S.F.)		38%			
STUCCO (207 S.F.)	50% (MAX)	18%			
TOTAL (1,085 S.F.)	90% (MIN)	**94%**	**TOTAL (74 S.F.)**	10% (MAX)	**6%**

OVERALL BUILDING (MATERIALS %)

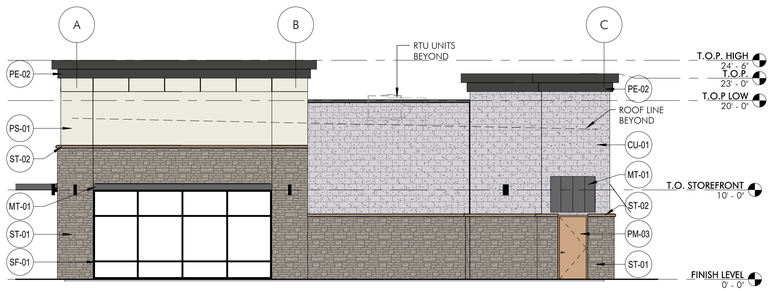
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (2,022 S.F.)	20% (MIN)	36%	EIFS/ MTL./ CAST STONE (340 S.F.)	10% (MAX)	6%
CMU (2,150 S.F.)		39%			
STUCCO (1,044 S.F.)	50% (MAX)	19%			
TOTAL (5,217 S.F.)	90% (MIN)	**94%**	**TOTAL (340 S.F.)**	10% (MAX)	**6%**



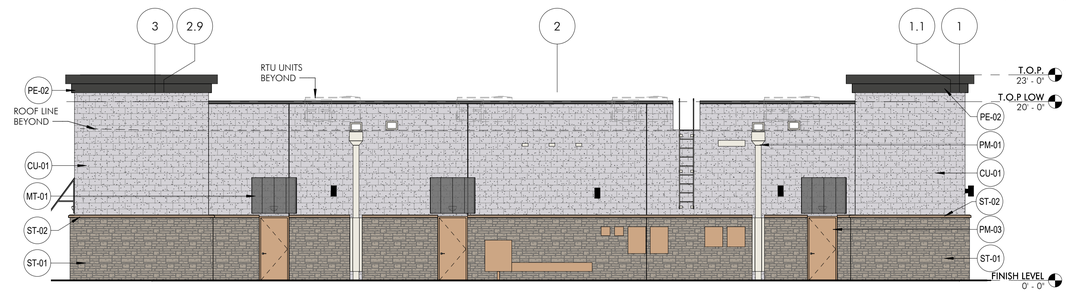
KEY FLOOR PLAN | 6
3/64" = 1'-0"



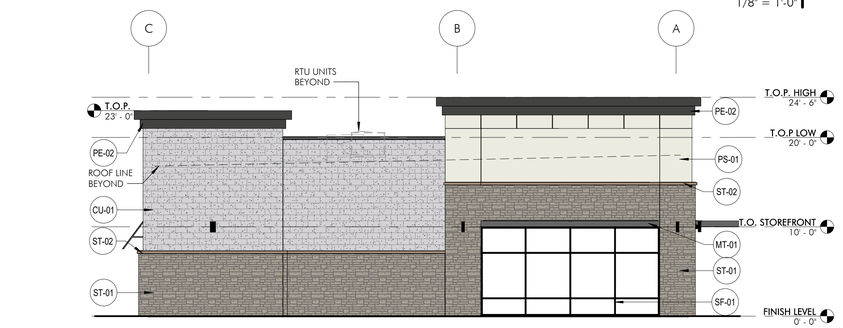
BLDG. SECTION | 5
1/8" = 1'-0"



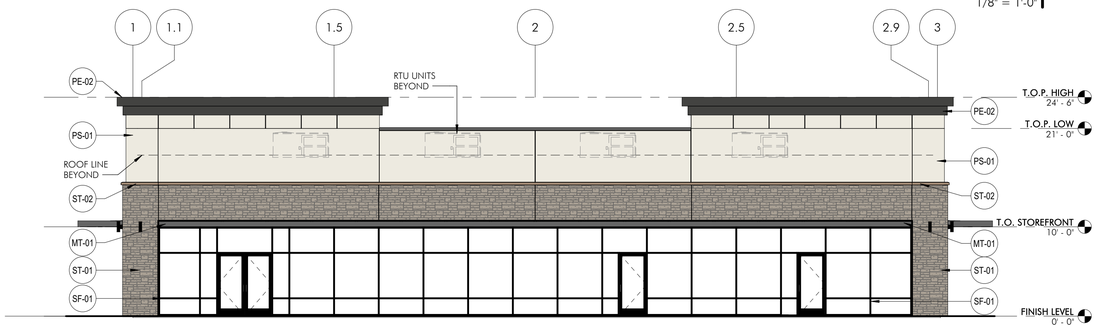
WEST ELEVATION | 4
1/8" = 1'-0"



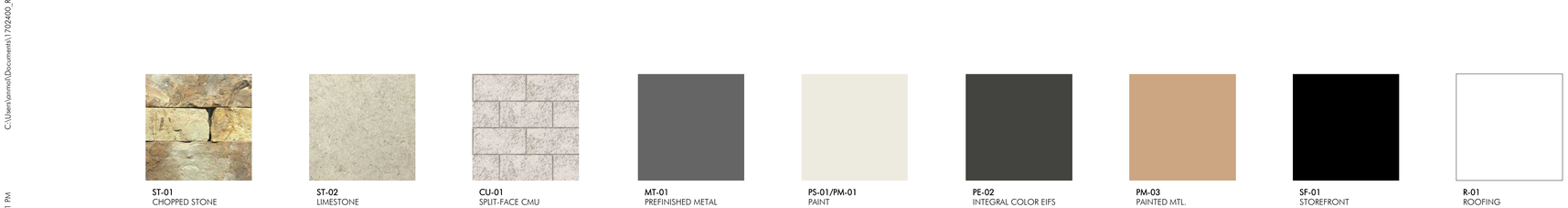
SOUTH ELEVATION | 2
1/8" = 1'-0"



EAST ELEVATION | 3
1/8" = 1'-0"



NORTH ELEVATION | 1
1/8" = 1'-0"



PROPOSED LAND USE: **GENERAL RETAIL**
CASE NO: **SP2020-004**

0 8 16'

ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL
	04/21/20	CITY COMMENTS
	04/22/20	CITY COMMENTS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

architecture +planning
boucher design group

Boucher Design Group, LLC
Members A.I.A.
6802 Mapleridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

PRELIMINARY

MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-20

KROGER OUTLOT

2901 RIDGE ROAD
ROCKWALL, TX 75032

SDI ROCKWALL HOLDINGS, LLC

1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

EXTERIOR ELEVATIONS

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NORTH ELEVATION (MATERIALS %)

PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (486 S.F.)	20% (MIN)	40%	EIFS/ MTL./ CAST STONE (130 S.F.)	10% (MAX)	10%
STUCCO (630 S.F.)	50% (MAX)	50%			
TOTAL (1,116 S.F.)	90% (MIN)	**90%**	**TOTAL (130 S.F.)**	10% (MAX)	**10%**

SOUTH ELEVATION (MATERIALS %)

PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (645 S.F.)	20% (MIN)	33%	EIFS/ MTL./ CAST STONE (61 S.F.)	10% (MAX)	3%
CMU (1,262 S.F.)		64%			
TOTAL (1,907 S.F.)	90% (MIN)	**97%**	**TOTAL (61 S.F.)**	10% (MAX)	**3%**

EAST ELEVATION (MATERIALS %)

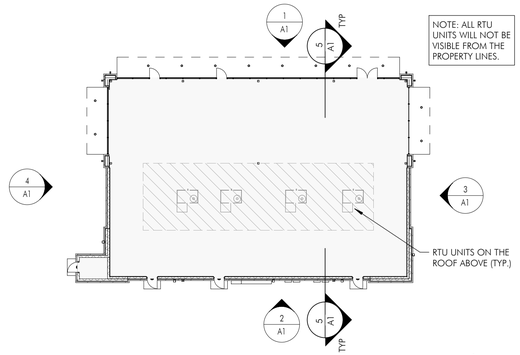
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (458 S.F.)	20% (MIN)	39%	EIFS/ MTL./ CAST STONE (74 S.F.)	10% (MAX)	6%
CMU (444 S.F.)		38%			
STUCCO (207 S.F.)	50% (MAX)	17%			
TOTAL (1,109 S.F.)	90% (MIN)	**94%**	**TOTAL (74 S.F.)**	10% (MAX)	**6%**

WEST ELEVATION (MATERIALS %)

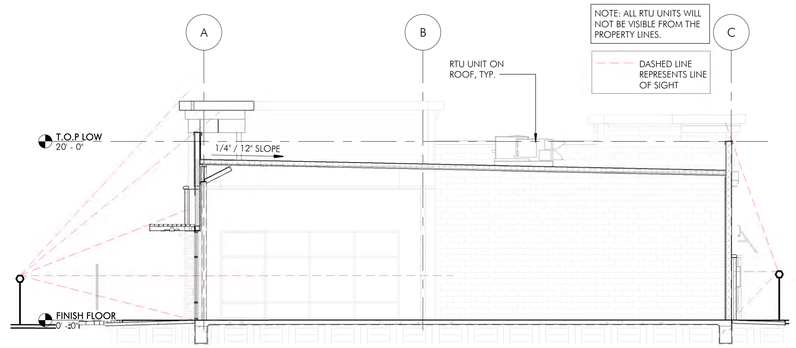
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (434 S.F.)	20% (MIN)	38%	EIFS/ MTL./ CAST STONE (74 S.F.)	10% (MAX)	6%
CMU (444 S.F.)		38%			
STUCCO (207 S.F.)	50% (MAX)	18%			
TOTAL (1,085 S.F.)	90% (MIN)	**94%**	**TOTAL (74 S.F.)**	10% (MAX)	**6%**

OVERALL BUILDING (MATERIALS %)

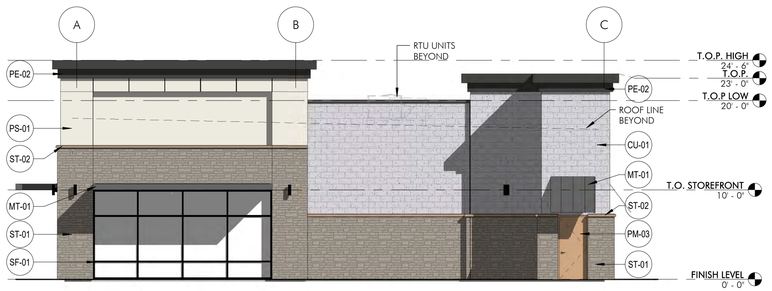
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (2,022 S.F.)	20% (MIN)	36%	EIFS/ MTL./ CAST STONE (340 S.F.)	10% (MAX)	6%
CMU (2,150 S.F.)		39%			
STUCCO (1,044 S.F.)	50% (MAX)	19%			
TOTAL (5,217 S.F.)	90% (MIN)	**94%**	**TOTAL (340 S.F.)**	10% (MAX)	**6%**



KEY FLOOR PLAN | 6
3/64" = 1'-0"



BLDG. SECTION | 5
1/8" = 1'-0"



WEST ELEVATION | 4
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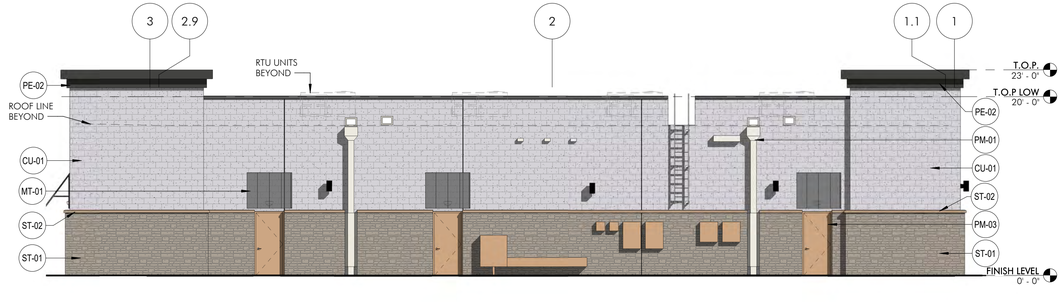
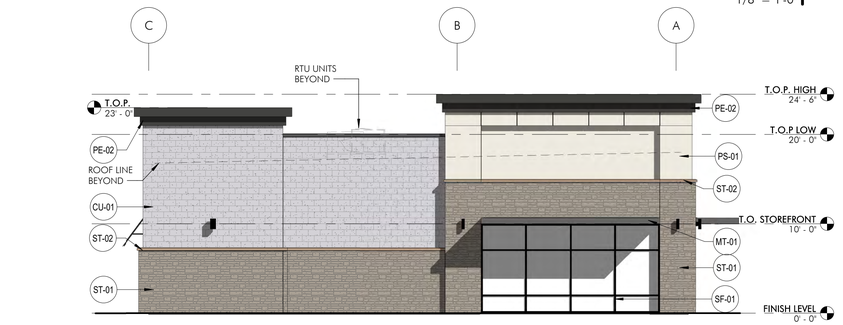
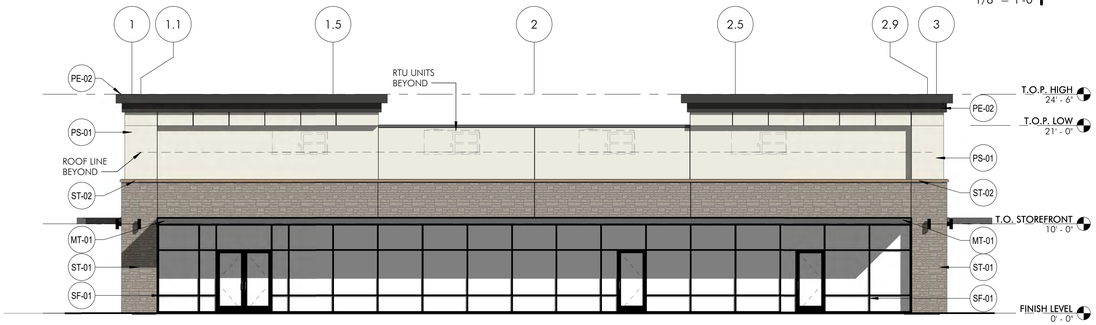


SOUTH ELEVATION | 2
1/8" = 1'-0"



EAST ELEVATION | 3
1/8" = 1'-0"



NORTH ELEVATION | 1
1/8" = 1'-0"

ST-01
CHOPPED STONE
UPCHURCH KIMBROUGH
DARK SANDSTONE

ST-02
LIMESTONE
UPCHURCH KIMBROUGH
GRIZ

CU-01
SPLIT-FACE CMU
OLD CASTLE
WHITE LIMESTONE

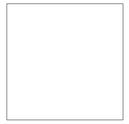
MT-01
PREFINISHED METAL
CANOPY/ COPING/ AWNING
BERRIDGE CHARCOAL GRAY

PS-01/PM-01
PAINT
SHERWIN WILLIAMS
SW7008 ALABASTER

PE-02
INTEGRAL COLOR EIFS
SHERWIN WILLIAMS
SW7069 IRON ORE

PM-03
PAINTED MTL.
SHERWIN WILLIAMS
SW7715 POTTERY URN

SF-01
STOREFRONT
KAWNEER
ANODIZED BLACK



R-01
ROOFING
TPO SINGLE-PLY
COLOR: WHITE

PROPOSED LAND USE: **GENERAL RETAIL**
CASE NO: **SP2020-004**

0 8 16'

ISSUE	DATE	DESCRIPTION
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	04/21/20	CITY COMMENTS
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

architecture +planning
boucher design group

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713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

EXTERIOR ELEVATIONS

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	04/21/20	CITY COMMENTS
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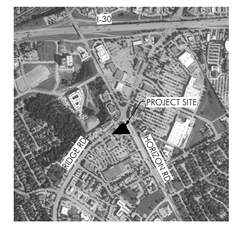

PROPOSED LAND USE: **GENERAL RETAIL**
CASE NO: **SP2020-004**

N T S

BUILDING PERSPECTIVES

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Landscape Requirements:

1. Perform all work in accordance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide all inspections and permits required by Federal, State, and local authorities in supply, transportation, and installation of materials.

2. The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electrical, cable, TV, etc.) and all overhead utility easements prior to start of any planting works.

3. All plant materials shall possess the following minimum qualities:
   a. Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve months.
   b. All plants shall be heavy, symmetrical, tightly knit, so trained or favored for development and appearance as to be superior in form, number of branches, compactness, and symmetry.
   c. Plants shall be sound, healthy and vigorous, well branched, and densely foliated when in leaf. They shall be free of disease, insects, pests, eggs, or larvae.
   d. All plants shall be true of species and variety and shall conform to measurements (caliper size, trunk heights, spread) as specified on the drawings.
   e. Container grown stock when specified shall have grown in the container in which delivered for at least six months, but not over two years. Samples must prove no rootbound conditions exist.
   f. Caliper measurements shall be taken at a point on the trunk six inches (6") above natural ground line for trees up to four inches (4") in caliper.
   g. All trees shall be staked by a minimum of two metal "T" stakes for single trunk trees and three stakes for all multi-trunk trees.

4. Planting mix shall be thoroughly mixed in the following proportions:
   a. Prepared soil as backfill for shade and ornamental trees shall be: 5 part clay loam topsoil + 2 part compost + 1 part sharp sand + 4 Lbs. Commercial fertilizer per CY Or 10 Lbs. Organic fertilizer.
   b. Prepared soil as backfill for shrubs and groundcovers and seasonal colors shall be: 1 part enriched mulch + 1 part compost bark mulch + 1 part enriched topsoil + 1 part No. 1 Bank Sand + 3 Lbs. Time- released fertilizer, 14-14-14 per CY or 8 Lbs. Organic fertilizer.

5. Excavation work and Surface drainage works shall conform to the following requirements:
   a. Test drainage of plant beds and plant pits by filling with water twice in succession. Conditions permitting the retention of water for more than 24 hours shall be brought to the attention of the Owner.
   b. Work shall include the final responsibility for proper surface drainage of planted areas. Any obstructions on the site, or prior work done by another part, which precludes establishing proper drainage shall be brought to the attention of the Owner in writing.
   c. Excavate each tree hole 18" deep plus the depth of the tree container size (15 gal. Or 30 gal. Or 65 gal. Or 100 gal.).
   d. Excavate entire shrub bed to a depth of 8" plus the depth of the shrub container size (5 gal.) unless noted as being pit planted on landscape legend.
   e. Excavate entire groundcover bed to a depth of 6" plus the depth of the groundcover container size (4" pot or 1 gal.).

6. Additional work requirements on landscape areas:
   a. Prior to installation of any planting works (trees, shrubs,groundcover and grass works); apply "Round Up" in all planting areas to eradicate all weed growths on site.
   b. ADD ALTERNATE: Install weed control barriers in all trees, shrub and groundcover planting areas. Weed barrier fabric shall be back polypropylene sheet 27 mils thick, 4 oz/s.y. grab tensile strength per ASTM D-4632; 90 lbs. (machine direction) 50 lbs.(cross machine direction). Provide DeWitt "Weed Barrier" or approved substitute.
   c. Use **"Shovel Edge"** to separate all plant beds from grass areas.
   d. Spread a minimum two inch layer of pine bark mulch overall shrub and groundcover bed areas.

7. Landscape maintenance work by the Landscape Contractor after final acceptance shall include the following:
   a. The maintenance period shall commence upon inspection and approval at Final Acceptance and shall be for a period of Sixty Days (60).
   b. The landscape contractor shall coordinate the watering program for all the landscape work with the Owner.
   c. Maintenance of new plantings shall consist of watering, cultivating, weeding, mulching, restaking, tightening and repair of guys; resetting plants for proper grades or upright position, and furnishing and application of pesticides/herbicides, sprays, and invigorants as are necessary to keep plantings free of insects and disease and in a thriving condition.

8. Warranty Periods, Plant Guarantees, and Replacements:
   a. Planting supplied shall be warranted to remain alive and healthy for a period of twelve months (12) after the date of Final Acceptance by Owner. Plants in an impaired, dead, or dying condition after initial acceptance or within 12 months shall be removed and replaced immediately to the satisfaction of the Owner.

Note 01.
All landscape buffers and public right of ways located adjacent to a proposed development shall be improved with grass (i.e. sod-hydromulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO) (505.03G, Art. 08, UDC).

Note.02.
Where solid sod is noted, other than the prohibited areas, a minimum coverage of 75% to 80% stand of grass with a minimum established height of one
(1) inch shall be required prior to the release of the Certificate of Occupancy (CO)
(Sec. 4.2, Coverage, Engineering Standards of Design and Construction).

Grass Sod Requirements:

1. Sod shall be Stenotaphrum secundatum (St. Augustine) grass sod with 95% purity and shall be dense with the grass having been mowed at one inch (1") height before lifting from field. All sod to be grown on fertile topsoil. Sod shall be in vigorous condition, dark green in color, free of all diseases, undesirable weed growths, and harmful insects. Sod is not to be stacked for more than twenty four (24) hours between time of cutting and time of delivery.

2. The ground surface shall be cleared of all materials which might hinder proper tillage and materials which might be harmful to plant growth or subsequent maintenance operations (mowing) and therefore must be removed from the site completely.

3. Bed preparations - immediately after the finish grade has been approved, begin sodding operations to reduce excessive weed growth.

4. Lay sod so that adjacent strips butt tightly with no spaces between strips. Lay sod on mounds and slopes with strips parallel to the contours. Stagger the joints. Topsoil shall be raked over all joints to fill any spaces that may permit air to enter and dry the joints. Tamp and roll sod thoroughly to make contact with sod bed. Tamp and roll with light weight turf roller so as to eliminate all air pockets, provide a true and even surface, and insure knitting without displacement of sod or deformation of the surface of the sodded areas.

5. Water sod thoroughly, immediately after installation. The entire sodded areas shall be saturated to a depth of 4" watering with a fine spray within five (5) hours after the sod has been installed.

6. Areas to be solid sodded shall be maintained until substantial completion of the project. Maintenance shall consist of weeding, fertilizing, insect control, watering, and mowing.

7. Begin maintenance on sod immediately after sod work has been completed. The maintenance period shall begin upon inspection and approval at Substantial Completion date and shall be for THIRTY (30) days.

8. Final acceptance for sod establishment means a complete lush cover with no brown sections or cracks showing. Sod shall have established to the extent that satisfactory capillary action between the sod and soil has been established.

Special Notes for Protection of Existing Trees:

1. Tree protection fencing shall be installed to eliminate activities detrimental to trees including but not limited to the following:
   a. Soil compaction in the critical root zones resulting from heavy equipments, vehicular or excessive pedestrian traffic or storage of equipments or materials.
   b. Root disturbance due to cuts, fills, or trenching works.
   c. Wounds to exposed roots, trunks or limbs by mechanical equipments.
   d. Other activities such as chemical storage, cement truck cleaning, fire, etc. are not acceptable or allowed around existing trees designated to remain on site.

2. Location and types of tree protection devices:
   a. Tree protection devices are to be installed to completely surround the critical root zones (tree dripline) of ail trees to be preserved.
   b. Tree protection fencing shall consists of chain link fencing or accepted substitutes (orange colored fabric mesh membrane). In addition to fencing, where tree trunks are in jeopardy of being damaged by equipments, 2x4 inch boards may be required to be strapped around the trunks of trees.
   c. Tree protection fence may be installed around a grouping of existing trees for better control.

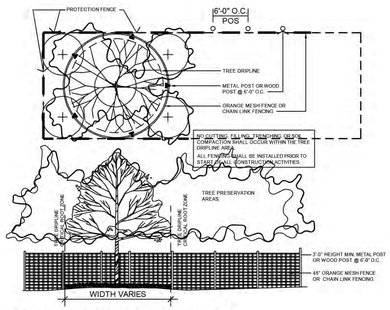
3. All tree protection fencing shall be installed prior to any clearing, grubbing or grading. Tree protection fences must remain in functioning condition throughout all phases of the site development/construction.

4. The contractor shall provide Class One Tree works for ail trees designated to remain on the project site. Work shall include required root pruning; removal of dead/dying branches, trimming/thinning out of tree branches; repair of tree cavities and other tree damages. Trees shall be fertilized annually. A 3-1-1 ratio of nitrogen, phosphorus and potassium containing slow release, non-burning nitrogen should be applied according to manufacturer's instructions.

5. All existing trees to remain shall be maintained bv a certified tree arborist.

6. During construction, no excess soil, additional fill, equipment, liquids or construction debris shall be placed inside the protective barrier, upon the root protection zone, nor shall any soil be removed from within the barrier.

7. The proposed finished grade and elevation of land within the root protection zone of any tree to be preserved shall not be raised or lowered more than one inch. Welling and retaining methods are allowed outside the root protection zone and shall be done in conformance with the Texas A & M University, Extension Landscape Horticulture, Protecting Existing Landscape Trees from Construction Damage Due to Grade Changes", Everett E. Janne and Douglas F. Welch, PhD, authors.



A L1.1 **TREE PROTECTION DETAIL**
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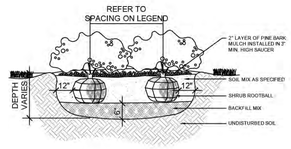
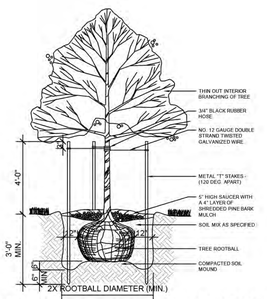


D L1.1 **SHRUB PLANTING**
SCALE: NOT TO SCALE



B L1.1 **SINGLE-TRUNK TREE PLANTING**
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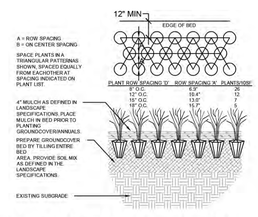

E L1.1 **GROUNDCOVER PLANTING**
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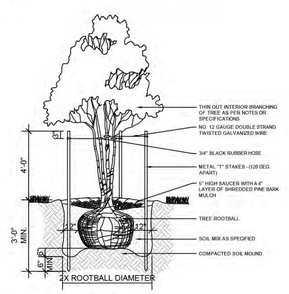

C L1.1 **MULTI -TRUNK TREE PLANTING**
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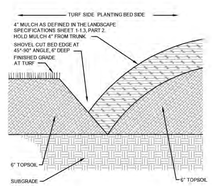

F L1.1 **SHOVEL CUT BED EDGE**
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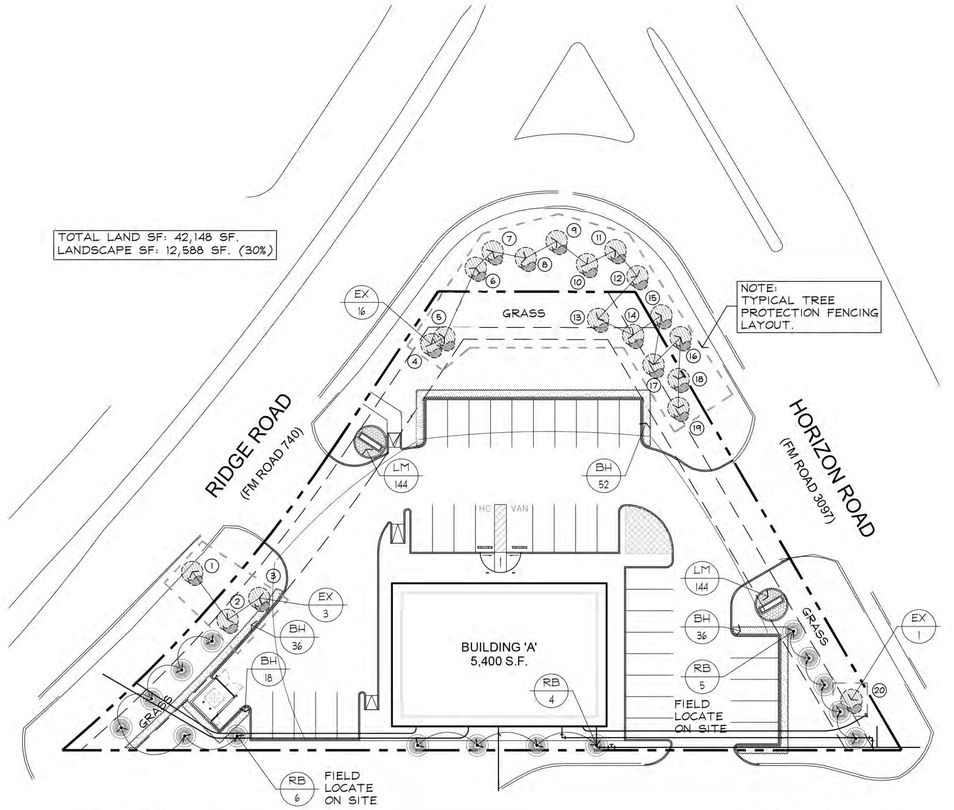


Landscape Legend:

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
EX	20			Existing trees to be remain and be protected by tree fencing as shown. Refer to Tree Inventory Table for tree type and caliper sizes. Refer to Tree Preservation requirements this sheet.
RB	15	Cercis Canadensis	Texas Redbud	2" cal. 30 gal. container; 6' to 7' ht. Tree Form.
BH	142	Ilex Burforii	Dwarf Burford Holly	5 gal. planted at 36" o.c. single row.
LM	288	Liriope Muscari	Big Blue Liriope	1 gal. planted at 12" o.c. triangularly spaced.
Grass	Verify SF.	Stenotaphrum Secundatum	St. Augustine 'Raleigh'	**Solid Sod** for all areas within limits of this project plus all right of way areas. All areas to be grassed shall be cleaned up of all construction debris and shall be fine graded to adhere to civil grading/drainage plan.

NOTE:
The landscape irrigation system will meet requirements of the UDC on sheet No. L1.1 (Subsection 05.03.G, Art. 08, UDC).

LANDSCAPE CALCULATIONS:

A. SITE AREAS: 40,148 SF.
B. LANDSCAPE AREAS REQUIRED: 20% OR 8,030 SF.
C. LANDSCAPE AREAS PROVIDED: 31% OR 12, 588.00 SF.
D. TOTAL BUILDING SF. 5400.00 SF.
E. TOTAL IMPERVIOUS AREAS: 27,550.00 SF.
F. TOTAL PARKING REQUIRED: 37 PARKING PROVIDED: 37
G. PLANTING REQUIREMENTS:

HORIZON ROAD @ 222.18 LF./50 = 5 CANOPY (4" MIN) + 5 ACCENT TREES REQUIRED (2" MIN) = 30" TOTAL CALIPER INCHES REQUIRED
12 EXISTING CANOPY TREES PRESERVED (#9-20) + 5 ACCENT TREES PROVIDED = 171" TOTAL CALIPER INCHES PROVIDED

RIDGE ROAD @ 250 LF./100 = 5 CANOPY (4" MIN) + 10 ACCENT TREES REQUIRED (2" MIN) = 40" TOTAL CALIPER INCHES REQUIRED 7 EXISTING CANOPY TREES PRESERVED (#2-8) + 4 ACCENT TREES PROVIDED = 87" TOTAL CALIPER INCHES PROVIDED

Owner's Responsibility For Maintenance
Client acknowledges and agrees that proper Project maintenance is required after the Project is complete. A lack of or improper maintenance in areas such as, but not limited to, operation and maintenance of automatic irrigation system, all site drainage and all planting materials maintenance may result in damage to property or persons. Client further acknowledges that he is solely responsible for the results of any lack of or improper maintenance.
Landscape Contractor's Responsibilities:
All drainage (surface and subsurface) of all landscape areas within the project limits shall be the responsibility of the installing landscape contractor and landscape maintenance company. All grading of areas along all building areas must absolutely have positive slope away from building. In no case shall any plant bed be constructed along edge of building that will impede water flow away from building. If planting beds are located at edges of building, landscape contractor shall make sure that these areas drain properly (surface and subsurface-wise). Contractor shall install moisture barrier along building as necessary to keep water from penetrating underneath building slab.
"REFER TO FINISHED GRADES SHOWN ON PROJECT CIVIL GRADING PLAN. IT WILL REPRESENT FINAL ELEVATIONS. CARE SHOULD BE TAKEN BY THE LANDSCAPE CONTRACTOR NOT TO INCREASE THESE FINISHED GRADES WITH LANDSCAPING OR OTHER ALTERATIONS. THE THICKNESS OF SOD, GRASS AND LANDSCAPING MATERIALS SHOULD BE DEDUCTED FROM THE FINISHED GRADE ELEVATIONS IN THESE CIVIL GRADING PLANS IN ORDER TO DETERMINE THE GROUND ELEVATIONS DURING CONSTRUCTION."

Existing Trees to Remain:

Tree No.	Type of Tree	Tree Caliper
01.	Hackberry	18"
02.	Oak	16"
03.	Oak	7"
04.	Oak	16"
05.	Oak	8"
06.	Cypress	10"
07.	Cypress	11"
08.	Cypress	11"
09.	Cypress	13"
10.	Cypress	13"
11.	Cypress	14"
12.	Cypress	11"
13.	Oak	12"
14.	Oak	22"
15.	Oak	11"
16.	Oak	8"
17.	Oak	12"
18.	Oak	12"
19.	Oak	17"
20.	Oak	16"

1 L1.1 **LANDSCAPE PLAN**
SCALE: 1" = 30'-0"

ISSUE	DATE	DESCRIPTION
	03/11/2020	ISSUE FOR PERMIT
	03/20/2020	SITE PLAN SUBMITTAL
	04/20/2020	CITY COMMENTS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.
WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

boucher design group
Boucher Design Group LLC
Members A.I.A.
6802 Mapleridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com

REGISTERED LANDSCAPE ARCHITECT EDWARD WONG 2710 STATE OF TEXAS

Wong & Associates, Inc.
P.O. Box 2026 Bellaire, Texas 77402-2026
Tel. 713-777-9198 Cell : 713-557-9298
Member: American Society of Landscape Architects

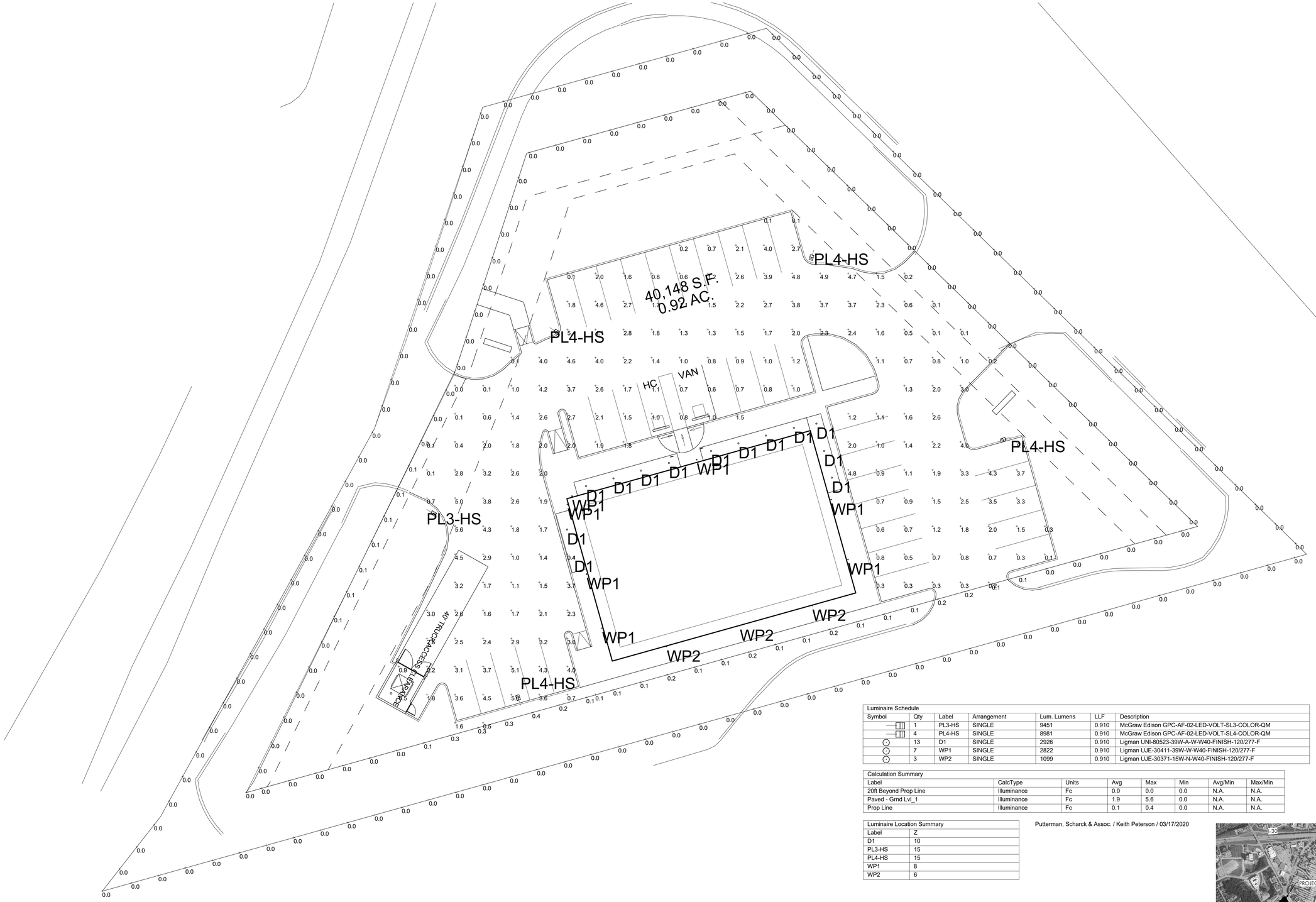
KROGER OUTLOT
2901 Ridge Road
Rockwall, Texas 75032

SDI Rockwall Holdings, LLC
1800 West Loop South
Suite 1850
Houston, Texas 77027

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	EW/SR
CHECKED BY	EW

LANDSCAPE PLAN

L1.1

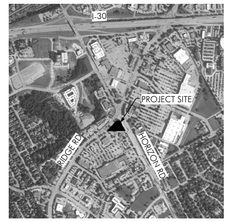


Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description
	1	PL3-HS	SINGLE	9451	0.910	McGraw Edison GPC-AF-02-LED-VOLT-SL3-COLOR-QM
	4	PL4-HS	SINGLE	8981	0.910	McGraw Edison GPC-AF-02-LED-VOLT-SL4-COLOR-QM
	13	D1	SINGLE	2926	0.910	Ligman UNI-80523-39W-A-W-W40-FINISH-120/277-F
	7	WP1	SINGLE	2822	0.910	Ligman UJE-30411-39W-W-W40-FINISH-120/277-F
	3	WP2	SINGLE	1099	0.910	Ligman UJE-30371-15W-N-W40-FINISH-120/277-F

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
20ft Beyond Prop Line	Illuminance	Fc	0.0	0.0	0.0	N.A.	N.A.
Paved - Grnd Lvl_1	Illuminance	Fc	1.9	5.6	0.0	N.A.	N.A.
Prop Line	Illuminance	Fc	0.1	0.4	0.0	N.A.	N.A.

Luminaire Location Summary	
Label	Z
D1	10
PL3-HS	15
PL4-HS	15
WP1	8
WP2	6

Putterman, Scharck & Assoc. / Keith Peterson / 03/17/2020



PROPOSED LAND USE: **GENERAL RETAIL**
CASE NO.: **SP2020-004**

N T S

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

C:\Users\tammh\Documents\1702400_ROCKWALL TEXAS PAD BUILDING_ammol.rvt

4/22/2020 11:27:34 PM

ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL
	04/21/20	CITY COMMENTS
	04/22/20	CITY COMMENTS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

architecture +planning
boucher design group

Boucher Design Group, LLC
Members A.I.A.
6802 Mapleridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

PRELIMINARY
MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-20

KROGER OUTLOT

2901 RIDGE ROAD
ROCKWALL, TX 75032

SDI ROCKWALL HOLDINGS, LLC

1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

PHOTOMETRICS

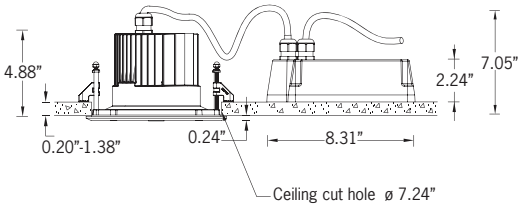
P1.0

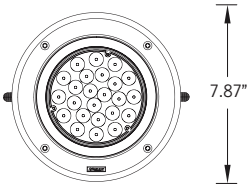
UNI-80523

Nikon 3 Round Ceiling Downlight

LIGMAN LIGHTING USA

39w LED 4299 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 5 lbs (A) 5.7 lbs (S)





Ceiling Cut ø7.24"

Nikon Product Family

UNI-80501 [4.7"] | UNI-80511 [4.7"] | UNI-80531 [7.8"]

Construction

Aluminum Casting
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength , clean detailed product lines and excellent heat dissipation.

Pre paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.
This process ensures that Ligman products can withstand harsh environments.
Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light.
LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Ceiling-recessed exterior downlights.
Modern, clean and powerful downlighting family providing the best resilient under-canopy solutions in the marketplace.

A compact recessed exterior downlight with a round or square front frame design. Options of stainless steel or powder coated aluminum front frame. The luminaires are designed for use in interior and exterior applications. This fixture is totally waterproof. This means that the fixture can be exposed to the elements from above as well as below.

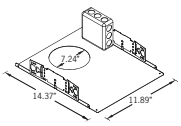
This luminaire is manufactured with integrated heat sinks that provides exceptional cooling and heat dissipation ensuring long LED life.

This fixture can also be provided with a concrete pour box for casting into concrete slabs, please see opions below.

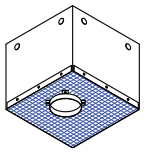
Power is provided to the luminaire through a single PG9 watertight cable gland and 4ft of Outdoor Submersible #18/3 SOOW 600V power cable. Remote mounted transformer. Includes A80191 driver enclosure box.

All Ligman fixtures can be manufactured using a special pre-treatment and coating process that ensures the fixture can be installed in natatoriums as well as environments with high concentrations of chlorine or salt and still maintain the 5 year warranty. For this natatorium rated process please specify NAT in options. Not suitable for saunas and steamrooms.

Additional Options (Consult Factory For Pricing)



RT
Rough in Tray



CPB
Concrete Pour Box

HCL
Honeycomb Louvre

UNI-80523

Nikon 3 Round Ceiling Downlight

LIGMAN LIGHTING USA

PROJECT		DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UNI-80523 - 39w - A - N - W30 - 03 - 120/277v

UNI-80523						
LAMP	FRAME	BEAM	LED COLOR	FINISH COLOR		VOLTAGE
39w LED 4299lm	S - Stainless Steel A - Aluminum (CHOOSE FINISH COLOR)	N - Narrow 15˚ M - Medium 26˚ W - Wide 45˚	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL		120/277v Other - Specify

ADDITIONAL OPTIONS

DIM - 0-10v Dimming	RT - Rough in Ceiling Tray
NAT - Natatorium Rated	CPB - Concrete Pour Box
F - Frosted Lens	SSG - Stainless Steel Glands
EMR - Remote Inverter	HCL - Honeycomb Louvre
A80191 - Remote Driver Box	AMB - Turtle Friendly Amber LED

Intertek

Sure-Lites

DESCRIPTION

The Sure-Lites Architectural Emergency Light is designed to provide superior illumination while blending into the surrounding space. The housing is constructed of die-cast aluminum with an integral refractive polycarbonate lens and advanced optical design, which in conjunction with energy-efficient, long-lasting LEDs provides maximum path of egress lighting performance. The Sure-Lites Architectural Emergency Light is wet listed for temperatures between -30°C and 50°C (-22°F and 122°F). AEL2 has an always on mode and is available with Eagle Eye self diagnostics.

Catalog #		**Type**
Project		EM
Comments		**Date**
Prepared by		

SPECIFICATION FEATURES

Electrical
- Universal voltage input from 100 through 300 VAC; 50-60 Hz
- Line-latching
- Solid-state Voltage Limited Charger
- Low-Voltage Disconnect
- Overload/Short Circuit Protection
- Test Switch/Power Indicator Light
- Fully Recharged in 24 hours
- Self diagnostics

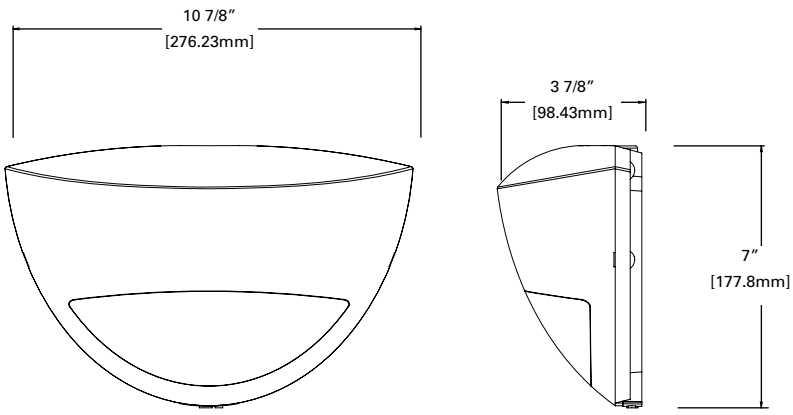
Housing Construction
- Die-cast Aluminum Housing
- Universal Pattern Knockouts on rear of housing for direct mounting to junction box
- 1/2" Threaded Conduit Access on top surface
- Powder Coat Paint Finish
- UV Stable Polycarbonate Lens
- Silicone Gaskets

Battery
- Sealed Nickel Cadmium
- Maintenance free, long life
- Full Recharge Time, 24 hrs

Code Compliance
- Not for sale in California
- UL924 Listed
- UL Outdoor Wet Location Listed (suitable for wet and damp locations)
- Life Safety NFPA 101
- NEC/OSHA
- Most State and Local Codes
- City of Chicago Code
- New York City Code

Warranty
- Unit: 5-Year
- Battery: 7-year pro-rata

Lamp Data
- 10 High Power LEDs
- Two color temperatures: 3000K and 5000K



ORDERING INFORMATION

Family	Color Temperature	Housing Finish	Options
AEL2 = Architectural Emergency Light 2	**31** = 3000K Ave **46** = 5000K Ave	___ = Silver **WH** = White **BK** = Black **BZ** = Bronze	___ = No Self Diagnostics **SD** = Eagle Eye Self Diagnostics

AEL 2
ARCHITECTURAL EMERGENCY LIGHT SERIES 2

DIE-CAST ALUMINUM

SURFACE MOUNT

SEALED NICKEL CADMIUM BATTERY

LED LAMPS

EAGLE EYE SELF DIAGNOSTICS

ALWAYS ON FEATURE

EMERGENCY LIGHTING

TOTALLY PREDICTABLE RELIABILITY

ENERGY DATA

Sealed Nickel Cadmium Battery
Input Current:
(Used as emergency light only):
120V = 2.0 Watts
277V = 2.3 Watts

Input Current:
(Used as dual purpose emergency light & always-on light fixture):
120V=5.2 Watts
277V=5.0 Watts

Powering Business Worldwide

TECHNICAL DATA

Lamps
The AEL2 utilizes long-lasting LEDs (standard) which provide maximum illumination along the emergency path of egress.

Housing
Die-cast aluminum with a powder coat painted finish. Universal pattern knockouts are located on the back housing for direct mounting to the junction box. Threaded conduit entry provided on the top surface of the housing. UV stable, polycarbonate lens and vacuum-metallized reflector provide efficient optical control.

Electronics
Dual voltage input 120/277 VAC is standard. Nickel cadmium battery is standard. All battery and electrical components are enclosed within the housing.

Line-Latched
Sure-Lites line-latched electronic circuitry makes installation easy and economical. A labor efficient AC activated load switch prevents the lamps from turning on during installation to a non-energized AC circuit. Line-latching eliminates the need for a contractor's return to a job site to connect the batteries when the building's main power is turned on.

Self Diagnostics
The self-diagnostic software will automatically perform all tests required by UL924, and NFPA101. The system indicates the status of the emergency light at all times using the LED indicator. A 90 minute battery power (emergency mode) simulation test will occur once every 12 months. A 30 second battery power simulation test will occur every 30 days. The Solid-State microprocessor based system has the ability to accurately detect and warn of system failures, plus it incorporates all of the standard electronic features that sets Sure-Lites apart from its competition. Eagle Eye self diagnostic software automatically performs all testing required by the NFPA 101 Life Safety Code and systematically calibrates itself in the field, reducing installation labor and eliminating manual calibration errors.

Solid-State Charger
Supplied with a 120/277 VAC, voltage regulated solid-state charger, the battery is recharged immediately upon restoration of AC current after a power failure. The charge circuit reacts to the condition of the battery in order to maintain peak battery capacity and maximize battery life. Solidstate construction recharges the battery in 24 hours following a power failure in accordance with UL 924.

Solid-State Transfer
The emergency light incorporates solid-state switching which eliminates corroded and pitted contacts or mechanical failures associated with relays. The switching circuit is designed to detect a loss of AC voltage and automatically energizes the lamps using DC power. Upon restoration of AC power, the DC power will be disconnected and the charger will automatically recharge the battery.

Low-Voltage Disconnect
When the battery's terminal voltage falls, the low-voltage circuitry disconnects the lighting load. The disconnect remains in effect until normal utility power is restored, preventing deep battery discharge.

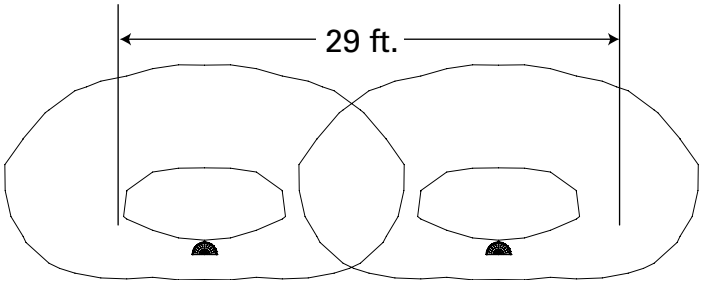
Overload and Short Circuit Protection
The solid-state overload monitoring device in the DC circuit disconnects the lamp load from the battery should excessive wattage demands be made and automatically resets when the overload or short circuit is removed. This overload current protective feature eliminates the need for fuses or circuit breakers for the DC load.

Test Switch/Power Indicator Light
A test switch located on the inside cover of the unit permits the activation of the emergency circuit for a complete operational systems check. The Power Indicator Light provides visual assurance that the AC power is on.

Sealed Nickel Cadmium Battery
Sure-Lites sealed nickel cadmium batteries are maintenance-free with a life expectancy of 15 years. The sealed rechargeable nickel cadmium battery offers high discharge rates and stable performance over a wide range of temperatures. The specially designed resealable vent automatically controls cell pressure, assuring safety and reliability. This battery is best suited for harsh ambient temperatures because the electrolyte is not active in the electrochemical process.

Warranty
The Sure-Lites Architectural Emergency Light is backed by a firm five (5) year warranty against defects in material and workmanship. Maintenance-free, long-life, sealed nickel cadmium batteries carry a seven-year pro-rata warranty.

PHOTOMETRICS



Powering Business Worldwide

Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

SELF DIAGNOSTIC TESTING OPERATIONS

The Sure-Lites Eagle Eye Self Diagnostics is continuously monitoring your emergency fixture and will signal any failure through the 3 color indicator LED.

Initial Operation
When the unit is first powered up, it will go into a 24 hour fast charge, indicated by the indicator LED pulsing green. Once the unit has fully charged, it will perform a self calibration, after which the LED will change to steady green, indicating the unit is fully charged and float charging the battery to maintain readiness.

Automatic Testing
The unit will perform a battery capacity, lamp/LED, and charge circuit test every 30 days for 30 seconds. During this time, the indicator LED will change to a steady yellow. It will perform a full battery capacity (90 minute) test once per year. During this time, the indicator LED will change to a blinking yellow.

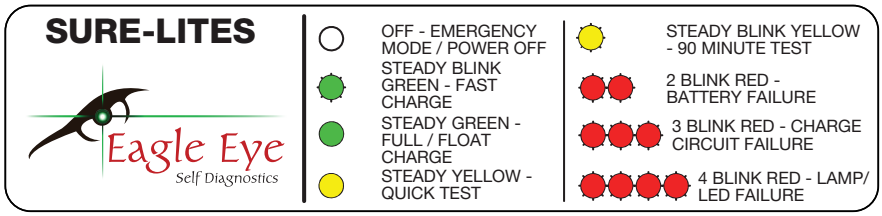
Manual Testing
•10 Second "Installation" test – Press and release the test button once during fast charge (blinking green) to initiate a 10 second quick test. The sign will switch to emergency mode for 10 seconds allowing the installer to verify proper installation of the unit, and the LED indicator will turn solid yellow.
• 30 Second Test - Press and release the test button once during float charge (steady green). The indicator LED will turn steady yellow to indicate the unit is performing a 30 second test of the batteries and lamps/LEDs.
• 90 Minute Test - Press and release the test button a second time during a 30 second test (steady yellow) to change to a 90 minute test. During this test, the LED indicator will change to blinking yellow, and the circuit will perform a full battery capacity, charge circuit, and LED test.
• Canceling Test – Press and release the test button during the 90 minute test (flashing yellow) to return the fixture to its original state (fast charge or float charge)

Laser Test
The LEMSD is equipped with a Laser Test function, that allows the unit to be manually tested without the need to physically press the test button. Shining a laser pointer in the hole marked "LASER TEST" on the bottom of the unit has the same effect as a press and release of the test button.

Clearing Failure Codes
• A battery failure (LED two blink red) can be cleared by replacing the battery. Disconnecting the battery and AC power, or performing a full 90 minute discharge, will reset the error code, however, it will return if the battery is faulty
• Charge Circuit (LED three blink red) and lamp/LED failure (LED four blink red) will clear when the unit successfully passes a manual or automatic 30 second test.

Indicators
• LED Off - No power to unit, emergency mode.
• LED Steady Green - Unit is fully charged and is float charging the battery to maintain readiness.
• LED Green Pulse - Unit is in a 24 hour fast charge of the battery.
• LED Two Blink Red - Battery has failed a capacity test, or the battery is disconnected. See "Clearing Failure Codes" above.
• LED Three Blink Red - Battery charge circuit has failed. See "Clearing Failure Codes" above.
• LED Four Blink Red - Lamps have burned out, or on an EXIT/Combo, 50% or more of the LEDs have failed. See "Clearing Failure Codes" above.
• LED Steady Yellow - 30 second test or 10 second quick test (Fast Charge only).
• LED Blinking Yellow - 90 minute test.

Maintenance
None required. Replace the batteries as needed according to ambient conditions. However, we recommend that the equipment be tested regularly in accordance with local codes.



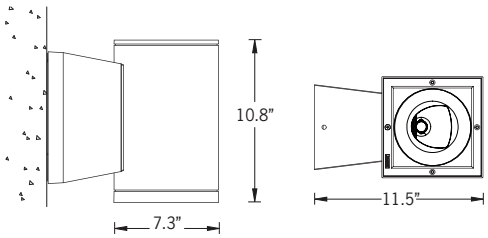
Powering Business Worldwide

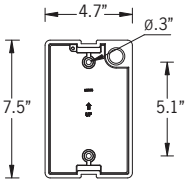
Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

UTA-31873

Tango 30 Square Asymmetrical Downlight

42w LED 3418 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 14.3 lbs





Mounting Detail

Tango Product Family


UTA-31861


UTA-80551


UTA-80561


UTA-20011


UTA-20031


UTA-20731


UTA-20732

Construction

Aluminum
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength , clean detailed product lines and excellent heat dissipation.

Pre paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.
This process ensures that Ligman products can withstand harsh environments.
Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light.
LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Circular or square form technical up & down-light wall range. Completely tailorable wall-mounted direct/indirect optical lighting solutions for perfect task or architectural lighting.

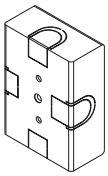
Wall luminaires with a selection of light distributions and LED wattages with downward light distributions. The Tango is unique as it is available with Type II,III & IV light distribution options that facilitates wider spacing and even light distribution between the light fixtures.

Spacings of up to 40' on center, and a 14' mounting height with a 2 fc average can be achieved using the type II optic. This provides higher energy saving and reduced installation costs.

The Tango 31 cylindrical or Tango 32 square up-down versions can be manufactured using different type beam distributions for the up and down optics. Integral electronic control gear. Mounting plate for 3" and 4" junction box is provided with the fixture.

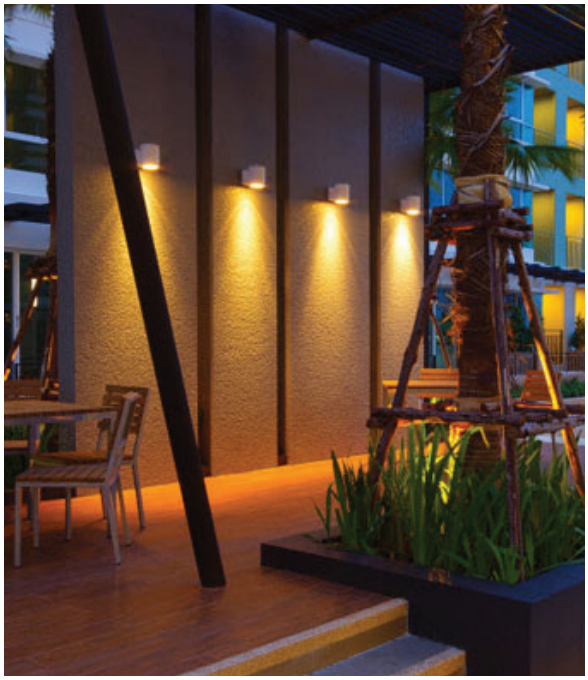
Matching surface mount conduit boxes are available as an option. Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

Additional Options (Consult Factory For Pricing)


SCE
Surface Conduit Decorative Trim


RPA
Round Pole Adapter


AGL
Anti Glare Louvre



UTA-31873

Tango 30 Square Asymmetrical Downlight

LIGMAN LIGHTING USA

PROJECT		DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UTA - 31873 - 42w - AS - W30 - 02 - 120/277v - Options

UTA-31873					
	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	42w COB 3418 Lumens	AS - Asymmetrical Beam 46˚x56˚	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS			

NAT - Natatorium Rated
SCE - Surface Conduit Decorative Trim
DIM - 0-10v Dimming
F - Frosted Lens
AGL - Anti Glare Louvre
EMG - Emergency Battery Pack
RPA - Round Pole Adapter
HGT - Custom Height
AMB - Turtle Friendly Amber LED

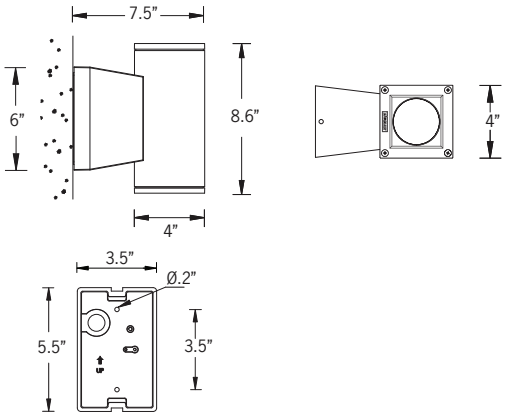
Intertek

UJE-30371

Jet 32 Square Surface

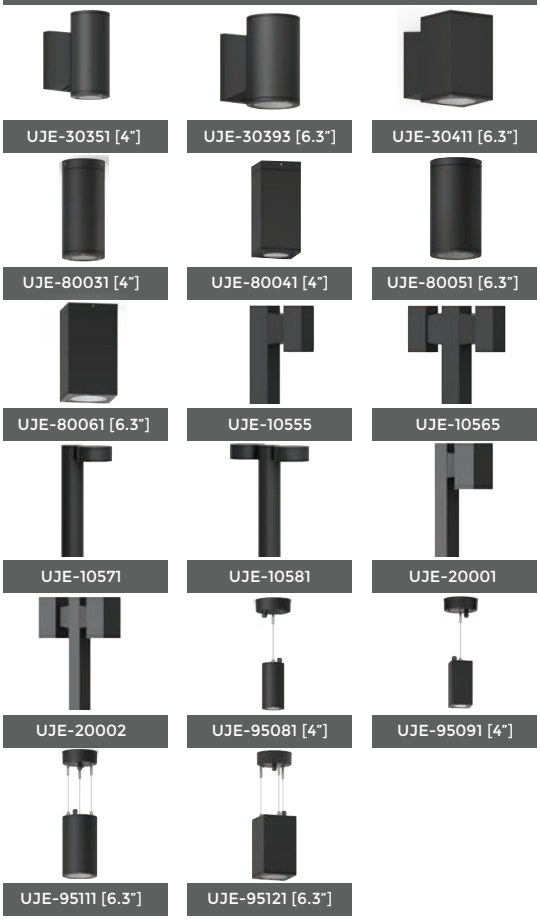
LIGMAN LIGHTING USA

15w COB 1107 Lumens
IP65 • Suitable For Wet Locations
IK08 • Impact Resistant (Vandal Resistant)
Weight 5.7 lbs



Mounting Detail

Jet Product Family



Construction

Aluminum
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength , clean detailed product lines and excellent heat dissipation.

Pre paint
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket
Provided with special injection molded “fit for purpose” long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression
Standard 10kv surge suppressor provided with all fixtures.

BUG Rating
B1 - U0 - G0

Finishing
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C.
This process ensures that Ligman products can withstand harsh environments.
Rated for use in natatoriums.

Hardware
Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED
Precise optic design provides exceptional light control and precise distribution of light.
LED CRI > 80

Lumen - Maintenance Life
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Cylindrical or rectangular form surface wall-mounted downlight. High performance, high output and numerous options ensure Jet can be configured for any application.

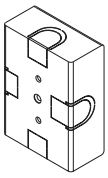
Wall luminaires with a selection of light distributions and LED wattages, that include; narrow, medium, wide, very wide and elliptical light distributions. The Jet offers a variety of beam spread options that facilitates wider spacing and even light distribution between the light fixtures. The up/down light versions can be manufactured using different beam spreads for the up and down optics as well as different wattages upon request.

Mounting plate for 3” junction box is provided with the fixture. A 4” junction box mounting plate is available as an option, please specify. Matching surface mount conduit boxes are available as an option.

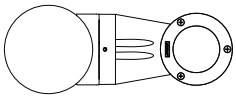
Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

For the Square downlight option, see Jet 32, 34 and 52. For type II, III & IV distributions, see Tango 29 to 32 surface wall luminaires.
For RGBW options, see Jet 51 to 54.

Additional Options (Consult Factory For Pricing)



SCE
Surface Conduit Decorative Trim



RPA
Round Pole Adapter

UJE-30371

Jet 32 Square Surface

LIGMAN LIGHTING USA

PROJECT		DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UJE - 30371 - 15w - M - W30 - 02 - 120/277v - Options

UJE-30371	LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	15w COB 1107 Lumens	N - Narrow 20˚ M - Medium 24˚ W - Wide 36˚ VW - Very Wide 71˚	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS

NAT - Natatorium Rated
SCE - Surface Conduit Decorative Trim
REMG - Remote Emergency Battery Pack
HGT - Custom Height
AMB - Turtle Friendly Amber LED
4MP - 4" Junction Box Mounting Plate
F - Frosted Lens
RPA - Round Pole Adapter

Intertek

RSP Round Non-Tapered Steel Poles

RSP

Pole Shaft

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196") or 7 gauge (0.1793"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly cylindrical in cross-section with round sides and excellent torsional properties.

Base Plate

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

Handhole

An oval reinforced gasketed handhole, having a nominal 2" x 4" or 3" x 5" inside opening, located 1'-6" above base, is standard on all poles. A grounding provision is located inside the handhole ring.

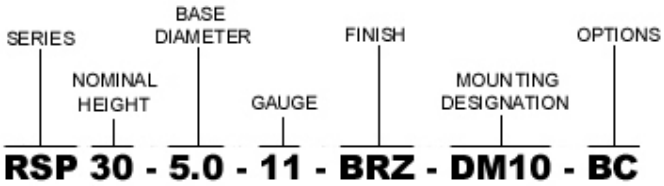
Finishes

The **Standard Finish** is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. **Hot dip Galvanized** finish to a ASTM A-123 specification or primed finish is also available. For optional finishes, see **K-KLAD** and **K-KLAD Over Galvanizing**.

HOW TO ORDER

When ordering KW lighting standards, mounting adaptors and accessories, be sure to specify the complete catalog number. Our catalog numbers reflect the precise specifications of the item ordered to ensure our customers will receive the product which meets their exact requirements.
The following explanation of the catalog numbers will be helpful in placing orders:

CATALOG LOGIC - ORDERING SAMPLE



Catalog Number	Nominal Height	Pole Shaft	Gauge	Handhole Size	Anchor Bolt	Bolt Circle	80 MPH	90 MPH	100 MPH	Ship WT.
RSP10-4.0-11	10	4.00 x 10.0	11	2 x 4	0.75 x 17 x 3	8	31	24	19.5	78
RSP10-4.5-11	10	4.50 x 10.0	11	3 x 5	0.75 x 17 x 3	8	40	31.5	25	84
RSP10-5.0-11	10	5.0 x 10.0	11	3 x 5	1.00 x 36 x 4	11	51	40.5	32.5	139
RSP12-4.0-11	12	4.00 x 12.0	11	2 x 4	0.75 x 17 x 3	8	28.9	23.4	19.2	73
RSP12-4.5-11	12	4.50 x 12.0	11	3 x 5	0.75 x 17 x 3	8	34	27	21.5	96
RSP12-5.0-11	12	5.0 x 12.0	11	3 x 5	1.00 x 36 x 4	11	43	33.5	27	153
RSP14-4.0-11	14	4.00 x 14.0	11	2 x 4	0.75 x 17 x 3	8	23.6	19.1	15.6	99
RSP14-4.5-11	14	4.50 x 14.0	11	3 x 5	0.75 x 17 x 3	8	28	22	17	108

RSP14-5.0-11	14	5.0 x 14.0	11	3 x 5	1.00 x 36 x 4	11	36	28	22.5	166
RSP15-4.0-11	15	4.00 x 15.0	11	2 x 4	0.75 x 17 x 3	8	18.1	14.5	11.8	88
RSP15-4.5-11	15	4.50 x 15.0	11	3 x 5	0.75 x 17 x 3	8	26.5	20.5	16.3	98
RSP15-5.0-11	15	5.0 x 15.0	11	3 x 5	1.00 x 36 x 4	11	33	26	20.5	173
RSP15-5.0-7	15	5.0 x 15.0	7	3 x 5	1.00 x 36 x 4	11	50	39	31.5	222
RSP16-4.0-11	16	4.00 x 16.0	11	2 x 4	0.75 x 17 x 3	8	16.5	13.2	10.6	93
RSP16-4.5-11	16	4.50 x 16.0	11	3 x 5	0.75 x 17 x 3	8	24.4	18.8	14.8	120
RSP16-5.0-11	16	5.0 x 16.0	11	3 x 5	1.00 x 36 x 4	11	31	24.2	19.4	179
RSP16-5.0-7	16	5.0 x 16.0	7	3 x 5	1.00 x 36 x 4	11	47	37	29	232
RSP18-4.0-11	18	4.00 x 18.0	11	2 x 4	0.75 x 17 x 3	8	13.7	10.8	8.6	103
RSP18-4.5-11	18	4.50 x 18.0	11	3 x 5	0.75 x 17 x 3	8	21	16	12.5	132
RSP18-5.0-11	18	5.0 x 18.0	11	3 x 5	1.00 x 36 x 4	11	27	21	16.5	192
RSP18-5.0-7	18	5.0 x 18.0	7	3 x 5	1.00 x 36 x 4	11	40	31	25.2	252
RSP20-4.0-11	20	4.00 x 20.0	11	2 x 4	0.75 x 17 x 3	8	11.4	8.9	6.9	123
RSP20-4.5-11	20	4.50 x 20.0	11	3 x 5	0.75 x 30 x 3	8	15.5	12.2	9.6	135
RSP20-5.0-11	20	5.00 x 20.0	11	3 x 5	1.00 x 36 x 4	11	20.3	16	12.7	189
RSP20-5.0-7	20	5.00 x 20.0	7	3 x 5	1.00 x 36 x 4	11	28.2	22.4	18	253
RSP22-4.5-11	22	4.50 x 22.0	11	3 x 5	0.75 x 30 x 3	8	13	10.1	7.8	147
RSP22-4.0-11	22	4.00 x 22.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP22-5.0-11	22	5.00 x 22.0	11	3 x 5	1.00 x 36 x 4	11	17.3	13.5	10.5	202
RSP22-5.0-7	22	5.00 x 22.0	7	3 x 5	1.00 x 36 x 4	11	24.2	19.2	15.3	272
RSP24-4.0-11	24	4.00 x 24.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP24-4.5-11	24	4.50 x 24.0	11	3 x 5	0.75 x 30 x 3	8	10.9	8.3	6.3	158
RSP24-5.0-11	24	5.00 x 24.0	11	3 x 5	1.00 x 36 x 4	11	14.6	11.3	8.6	215
RSP24-5.0-7	24	5.00 x 24.0	7	3 x 5	1.00 x 36 x 4	11	20.9	16.4	12.9	292
RSP25-4.0-11	25	4.00 x 25.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP25-4.5-11	25	4.50 x 25.0	11	3 x 5	0.75 x 30 x 3	8	10	7.5	5.5	164
RSP25-5.0-11	25	5.00 x 25.0	11	3 x 5	1.00 x 36 x 4	11	13.5	10.3	7.8	221
RSP25-5.0-7	25	5.00 x 25.0	7	3 x 5	1.00 x 36 x 4	11	19.4	15.1	11.8	301
RSP26-4.5-11	26	4.50 x 26.0	11	3 x 5	0.75 x 30 x 3	8	9.1	6.7	4.9	170
RSP26-5.0-11	26	5.00 x 26.0	11	3 x 5	1.00 x 36 x 4	11	12.4	9.3	7	228
RSP26-5.0-7	26	5.00 x 26.0	7	3 x 5	1.00 x 36 x 4	11	18	13.9	10.8	311
RSP28-4.5-11	28	4.50 x 28.0	11	3 x 5	0.75 x 30 x 3	8	7.4	5.3	3.6	182
RSP28-5.0-11	28	5.00 x 28.0	11	3 x 5	1.00 x 36 x 4	11	10.4	7.6	5.5	240
RSP28-5.0-7	28	5.00 x 28.0	7	3 x 5	1.00 x 36 x 4	11	15.4	11.7	8.9	330
RSP30-4.5-11	30	4.50 x 30.0	11	3 x 5	0.75 x 30 x 3	8	5.3	3.5	2.2	193
RSP30-5.0-11	30	5.00 x 30.0	11	3 x 5	1.00 x 36 x 4	11	7.6	5.3	3.6	253
RSP30-5.0-7	30	5.00 x 30.0	7	3 x 5	1.00 x 36 x 4	11	11.5	8.5	6.2	349
RSP35-5.0-7	35	5.00 x 35.0	7	3 x 5	1.00 x 36 x 4	11	7	4.6	2.8	397

FINISHES

Standard		Galvanized		K-KLAD		K-KLAD Over Galvanizing	
BRZ	Bronze	**G**	Galvanized	**K813**	Bronze	**KZ13**	Bronze
BLK	Black			**K821**	Black	**KZ21**	Black
GRY	Gray			**K841**	Gray	**KZ41**	Gray
GRN	Green			**K891**	Green	**KZ91**	Green
WHT	White			**K881**	White	**KZ81**	White
P	Primed			**K845**	Natural Aluminum	**KZ45**	Natural Aluminum
NA	Natural Aluminum						
	1 YEAR WARRANTY				**5 YEAR WARRANTY**		**10 YEAR WARRANTY**

MOUNTING DESIGNATIONS

Tenon Mount		Drill Mount	
2	2 3/8'' x 4'' TENON	**DM10**	Drilled for 1 Luminaire
3	2 7/8'' x 4'' TENON	**DM2090**	Drilled for 2 Luminaires @ 90º
3.5	3 1/2'' x 6'' TENON	**DM2180**	Drilled for 2 Luminaires @ 180º
4	4'' x 6'' TENON	**DM3090**	Drilled for 3 Luminaires @ 90º
		DM3120	Drilled for 3 Luminaires @ 120º
		DM4090	Drilled for 4 Luminaires @ 90º

Open Mount

OT	Open Top
OTC	Open Top includes Pole Cap

Gain Mount

1GSS4	(1) CXA
2GSS4	(2) CXA's located on the Same Side
3GSS4	(3) CXA's located on the Same Side
4GSS4	(4) CXA's located on the Same Side
2GBB4	(2) CXA's located Back to Back
4GBB4	(4) CXA's located Back to Back
1GSS9	(1) CXASQ
2GSS9	(2) CXASQ's located on the Same Side
3GSS9	(3) CXASQ's located on the Same Side
4GSS9	(4) CXASQ's located on the Same Side
2GBB9	(2) CXASQ's located Back to Back
4GBB9	(4) CXASQ's located Back to Back

OPTIONS

There are numerous options that can be ordered. Please indicate these selections under the options column in the catalog number. Example: CPL-WPR2-BC.

Accessories

BC	Base Cover
CPL	Threaded Coupling*
NPL	Threaded Nipple*
WPRP	Festoon Opening**
LAB	Less Anchor Bolt

Extra Handholes

XHH	Extra Handhole*

Embedment Pole Options

E	Embedded Pole
GS	Ground Sleeve
CTE	Coal Tar Epoxy

Additional Simplex

1S	1 @ 0º *
2S	2 @ 180º *
3S	3 @ 90º *
4S	4 @ 90º *

For Embedment Poles:

Recommended Mounting Height	Recommended Embedment Depth
Less than 20'	4'
20' - 33'	6'
Greater than 33'	7'

Greater embedment depths are available upon request.

* Please advise size, location, and orientation. (Handholes are restricted by size of pole shaft diameter)
** Located 24" above baseplate and same side as handhole. (No electrical included)

PACKAGING

Immediately after coating, the lighting standard including the baseplate shall be wrapped in heavy corrugation specially designed and sized to achieve maximum protection in transit.

KW Industries, Inc. coating process system and stringent quality control procedures provide our customer the finest quality lighting standards in the industry.

McGraw-Edison

DESCRIPTION

The Galleon™ Pedestrian Companion LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate a variety of pole configurations and mounting heights, allowing it to be offered as a pedestrian or site lighting solution. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

Catalog #		**Type**
Project		
Comments		**Date**
Prepared by		

SPECIFICATION FEATURES

Construction
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity.

Optics
Choice of sixteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

Electrical
LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Pedestrian LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option.

Mounting
The innovative quick mounting arm attaches to new or existing 4-5" round or square poles with 1-1/2" to 4-7/8" drilling patterns without re-drilling. The mast arm adapter fits horizontal 2-3/8" tenon.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty
Five-year warranty.

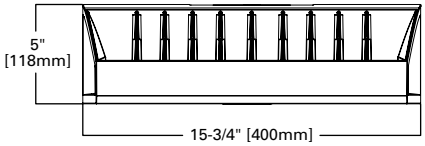
GPC GALLEON PEDESTRIAN COMPANION

1-2 Light Squares
Solid State LED

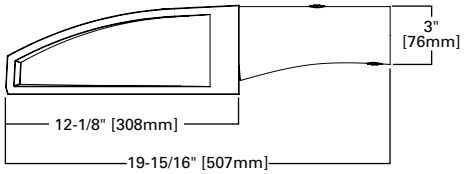
AREA/SITE LUMINAIRE

WaveLinx

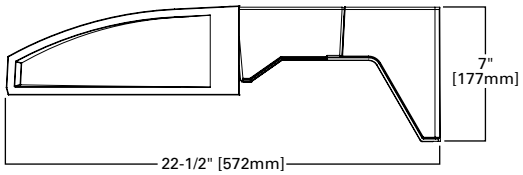
DIMENSIONS



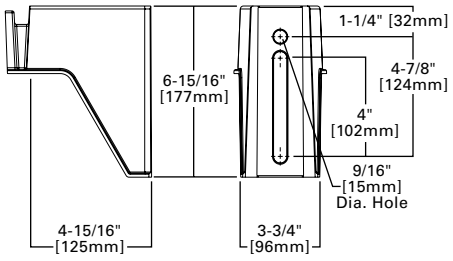
MAST ARM MOUNT



QUICK MOUNT ARM (OVERALL DIMENSIONS)



QUICK MOUNT ARM (POLE MOUNTING DETAILS)



CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 Housing
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V 50/60Hz
347V, 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

EPA

Effective Projected Area (Sq. Ft.)
Quick Mount Arm: 0.73
Mast Arm: 0.62

SHIPPING DATA

Approximate Net Weight:
27 lbs. (12.2 kgs.)

Powering Business Worldwide

*www.designlights.org

POWER AND LUMENS

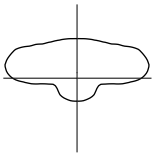
Number of Light Squares		**1**				**2**			
Drive Current		600mA	800mA	1.0A	1.2A	600mA	800mA	1.0A	1.2A
Nominal Power (Watts)		34	44	59	67	66	86	113	129
Input Current @ 120V (A)		0.3	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 208V (A)		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 240V (A)		0.15	0.19	0.26	0.29	0.3	0.38	0.48	0.55
Input Current @ 277V (A)		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 347V (mA)		0.11	0.15	0.17	0.2	0.19	0.24	0.32	0.39
Input Current @ 480V (mA)		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.3
Optics									
T2	4000K/5000K Lumens	4,204	5,156	6,381	7,000	8,215	10,075	12,470	13,680
	3000K Lumens	3,975	4,874	6,033	6,618	7,767	9,525	11,790	12,934
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T2R	4000K/5000K Lumens	4,464	5,474	6,775	7,431	8,723	10,696	13,239	14,523
	3000K Lumens	4,221	5,176	6,406	7,025	8,247	10,113	12,517	13,731
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2
T3	4000K/5000K Lumens	4,285	5,256	6,505	7,135	8,375	10,269	12,710	13,943
	3000K Lumens	4,051	4,969	6,150	6,746	7,918	9,710	12,017	13,182
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T3R	4000K/5000K Lumens	4,380	5,372	6,648	7,294	8,561	10,498	12,993	14,253
	3000K Lumens	4,141	5,078	6,286	6,895	8,094	9,925	12,285	13,475
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2
T4FT	4000K/5000K Lumens	4,311	5,286	6,542	7,177	8,422	10,329	12,784	14,024
	3000K Lumens	4,075	4,998	6,185	6,786	7,963	9,766	12,086	13,259
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3
T4W	4000K/5000K Lumens	4,254	5,217	6,458	7,084	8,313	10,195	12,619	13,843
	3000K Lumens	4,023	4,933	6,105	6,698	7,860	9,639	11,931	13,088
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
SL2	4000K/5000K Lumens	4,196	5,147	6,370	6,988	8,202	10,058	12,449	13,656
	3000K Lumens	3,967	4,866	6,022	6,607	7,755	9,509	11,771	12,911
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
SL3	4000K/5000K Lumens	4,284	5,255	6,504	7,134	8,374	10,268	12,709	13,941
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
SL4	4000K/5000K Lumens	4,071	4,992	6,179	6,778	7,954	9,756	12,074	13,246
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
5NQ	4000K/5000K Lumens	4,420	5,420	6,709	7,358	8,637	10,591	13,108	14,380
	3000K Lumens	4,179	5,124	6,343	6,957	8,166	10,013	12,393	13,595
	BUG Rating	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
5MQ	4000K/5000K Lumens	4,501	5,520	6,831	7,494	8,795	10,786	13,350	14,644
	3000K Lumens	4,256	5,219	6,458	7,085	8,316	10,198	12,622	13,845
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
5WQ	4000K/5000K Lumens	4,513	5,534	6,849	7,514	8,819	10,815	13,385	14,683
	3000K Lumens	4,268	5,232	6,475	7,104	8,338	10,224	12,656	13,882
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
SLL/SLR	4000K/5000K Lumens	3,765	4,619	5,716	6,270	7,358	9,023	11,167	12,251
	3000K Lumens	3,560	4,367	5,404	5,927	6,957	8,531	10,559	11,583
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3
RW	4000K/5000K Lumens	4,379	5,370	6,647	7,293	8,558	10,494	12,989	14,250
	3000K Lumens	4,141	5,077	6,285	6,895	8,092	9,922	12,281	13,473
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
AFL	4000K/5000K Lumens	4,396	5,390	6,672	7,318	8,590	10,533	13,037	14,301
	3000K Lumens	4,156	5,096	6,308	6,919	8,121	9,959	12,326	13,521
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2

* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

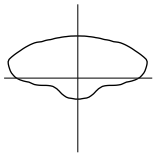
OPTICAL DISTRIBUTIONS

Asymmetric Area Distributions

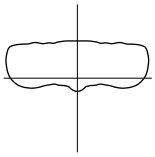
T2
(Type II)



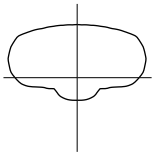
T2R
(Type II Roadway)



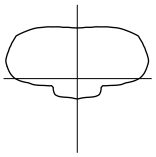
SL2
(Type II with Spill Control)



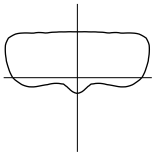
T3
(Type III)



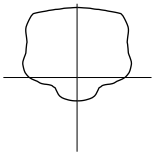
T3R
(Type III Roadway)



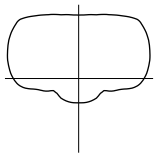
SL3
(Type III with Spill Control)



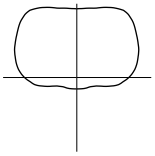
T4FT
(Type IV Forward Throw)



T4W
(Type IV Wide)

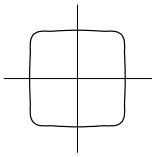


SL4
(Type IV with Spill Control)

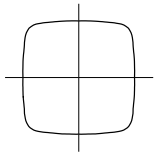


Symmertric Distributions

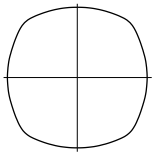
5NQ
(Type V Square Narrow)



5MQ
(Type V Square Medium)

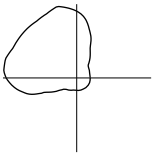


5WQ
(Type V Square Wide)

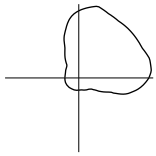


Specialized Distributions

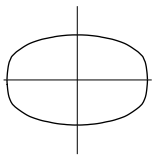
SLL
(90° Spill Light Eliminator Left)



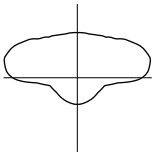
SLR
(90° Spill Light Eliminator Right)



RW
(Rectangular Wide Type I)

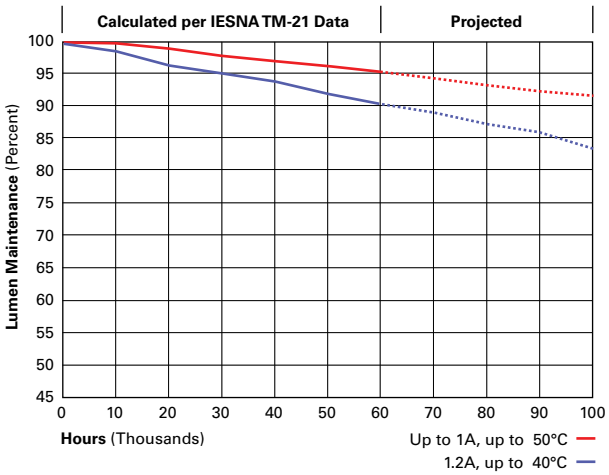


AFL
(Automotive Frontline)



LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Powering Business Worldwide

Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

CONTROL OPTIONS

0-10V (DIM)
This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

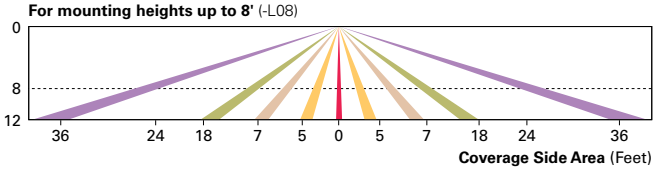
Photocontrol (P, R and PER7)
Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

After Hours Dim (AHD)
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

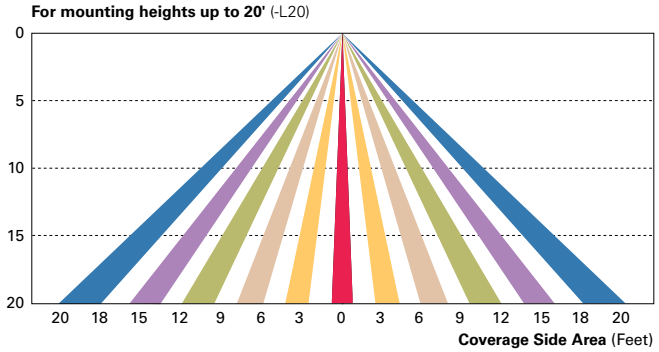
Dimming Occupancy Sensor (MS/DIM-LXX and MS-LXX)
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.

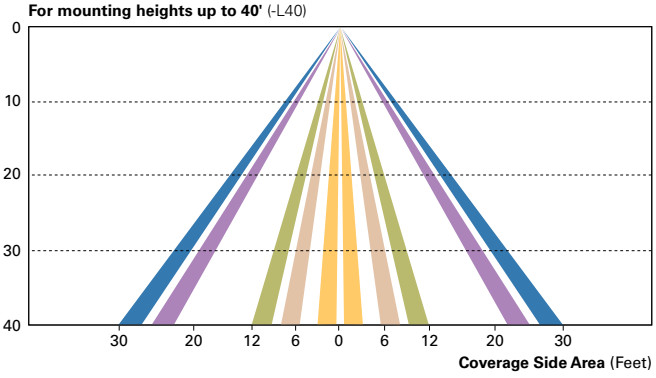
For mounting heights up to 8' (-L08)



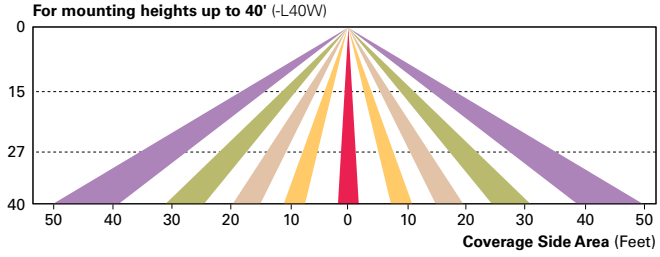
For mounting heights up to 20' (-L20)



For mounting heights up to 40' (-L40)

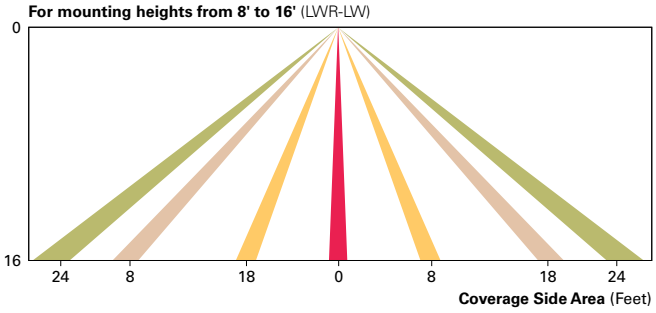


For mounting heights up to 40' (-L40W)

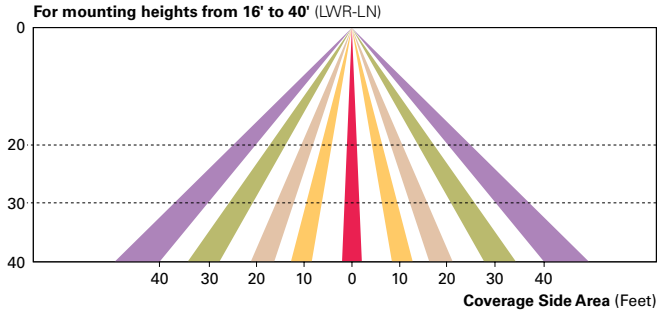


LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)
The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.

For mounting heights from 8' to 16' (LWR-LW)



For mounting heights from 16' to 40' (LWR-LN)



WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)
The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

ORDERING INFORMATION

Sample Number: GPC-AF-02-LED-E1-T3-GM

Product Family	Light Engine	Number of Light Squares [1]	Lamp Type	Voltage	Distribution	Color	Mounting Options
GPC=Galleon Pedestrian Companion	**AF**=1A Drive Current	**01**=1 **02**=2	**LED**=Solid State Light Emitting Diodes	**E1**=120-277V **347**=347V [2] **480**=480V [2, 3]	**T2**=Type II **T2R**= Type II Roadway **T3**=Type III **T3R**= Type III Roadway **T4FT**=Type IV Forward Throw **T4W**=Type IV Wide **SL2**=Type II w/Spill Control **SL3**=Type III w/Spill Control **SL4**=Type IV w/Spill Control **SLL**=90° Spill Light Eliminator Left **SLR**=90° Spill Light Eliminator Right **RW**=Rectangular Wide Type I **5NQ**=Type V Square Narrow **5MQ**=Type V Square Medium **5WQ**=Type V Square Wide **AFL**=Automotive Frontline	**AP**=Grey **BZ**=Bronze **BK**=Black **DP**=Dark Platinum **GM**=Graphite Metallic **WH**=White **CC**=Custom Color [4]	**QM**=Quick Mount Arm for Round or Square Pole [5, 6] **MA**=2-3/8" Mast Arm [5, 7]

Options (Add as Suffix)	**Accessories** (Order Separately)
7027=70 CRI / 2700K [8] **7030**=70 CRI / 3000K [8] **8030**=80 CRI / 3000K [8] **7050**=70 CRI / 5000K [8] **7060**=70 CRI / 6000K [8] **600**=Drive Current Factory Set to 600mA **800**=Drive Current Factory Set to 800mA **1200**=Drive Current Factory Set to 1200mA [9] **F**=Single Fused (120, 277 or 347V. Must Specify Voltage) **FF**=Double Fused (208, 240 or 480V. Must Specify Voltage) **10K**=10kV Surge Module **DIM**=0-10V Dimming Leads [10, 11] **HA**=50°C High Ambient [12] **P**=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) **R**=NEMA Twistlock Photocontrol Receptacle **PER7**=NEMA 7-PIN Twistlock Photocontrol Receptacle [13] **AHD145**=After Hours Dim, 5 Hours [14] **AHD245**=After Hours Dim, 6 Hours [14] **AHD255**=After Hours Dim, 7 Hours [14] **AHD355**=After Hours Dim, 8 Hours [14] **MS-LXX**=Motion Sensor for On/Off Operation [15, 16, 17] **MS/DIM-LXX**=Motion Sensor for Dimming Operation [15, 16, 17] **LWR-LW**=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height [17, 18, 19] **LWR-LN**=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height [17, 18, 19] **LCF**=Light Square Trim Plate Painted to Match Housing [20] **MT**=Factory Installed Mesh Top **L90**=Optics Rotated 90° Left **R90**=Optics Rotated 90° Right **HSS**=Factory Installed House Side Shield [21] **CE**=CE Marking and Small Terminal Block [22] **ZW**=WaveLinx-enabled 4-PIN Twistlock Receptacle [26, 27] **ZW-SWPD4XX**=Wavelinx Wireless Sensor, 7′ – 15′ Mounting Height [26, 27, 29] **ZW-SWPD5XX**=Wavelinx Wireless Sensor, 15′ – 40′ Mounting Height [26, 27, 29]	**OA/RA1013**=Photocontrol Shorting Cap **OA/RA1016**=NEMA Photocontrol - Multi-Tap 105-285V **OA/RA1201**=NEMA Photocontrol - 347V **OA/RA1027**=NEMA Photocontrol - 480V **MA1252**=10kV Circuit Module Replacement **MA1036-XX**=Single Tenon Adapter for 2-3/8″ O.D. Tenon **MA1037-XX**=2@180° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1197-XX**=3@120° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1188-XX**=4@90° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1189-XX**=2@90° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1190-XX**=3@90° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1191-XX**=2@120° Tenon Adapter for 2-3/8″ O.D. Tenon **MA1038-XX**=Single Tenon Adapter for 3-1/2″ O.D. Tenon **MA1039-XX**=2@180° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1192-XX**=3@120° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1193-XX**=4@90° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1194-XX**=2@90° Tenon Adapter for 3-1/2″ O.D. Tenon **MA1195-XX**=3@90° Tenon Adapter for 3-1/2″ O.D. Tenon **FSIR-100**=Wireless Configuration Tool for Occupancy Sensor [16] **LS/HSS**=Field Installed House Side Sheild [21, 23] **WOLC-7P-10A**=WaveLinx Outdoor Control Module (7-pin) [24, 26] **SWPD4-XX**=Wavelinx Wireless Sensor, 7′ – 15′ Mounting Height [26, 27, 28, 29] **SWPD5-XX**=Wavelinx Wireless Sensor, 15′ – 40′ Mounting Height [26, 27, 28, 29]

NOTES:

1. Standard 4000K CCT and minimum 70 CRI.
2. Requires the use of a step down transformer. Not available in combination with sensor options at 1200mA.
3. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
4. Custom colors are available. Setup charges apply. Paint chip samples required. Extended Lead times apply.
5. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
6. Quick mount arm adapter is factory installed. Pole mouting bracked shipped in box. Suitable for 1.5G. Fits square and round pole up to 6″ O.D.
7. Mast arm adapter factory installed (2-3/8" O.D. arm only). Suitable for 3G vibration.
8. Extended lead times apply. Use dedicated IES files when performing layouts.
9. Not available with HA option.
10. Cannot be used with other control options.
11. Low voltage control lead brought out 18″ outside fixture.
12. HA option available for single light square only. Not available with 1200mA drive current.
13. Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
14. Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
15. Replace LXX with mounting height in feet for proper lens selection (e.g., L8=8′ mounting height). L8, L20, L40, and L40W are available options.
16. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
17. Includes integral photosensor.
18. Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
19. LumaWatt wireless sensors are factory installed requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
20. Not available with HSS option.
21. Only for use with SL2, SL3, SL4, and AFL distributions. The light square trim plate is painted black when the HSS option is selected.
22. CE is not available with the LWR, MS, MS/DIM, P, R or PER7 options. Available in 120-277V only.
23. One required for each light square.
24. Requires PER7.
25. Reserved.
26. Cannot be used in conjunction with photocontrol or other controls systems (P, R, MS, LWR).
27. WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
28. Requires ZW.
29. Replace XX with sensor color (WH, BZ, or BK).

May 4, 2020

TO: Boucher Design Group
Jason Miller
6802 Mapleride Street, Suite 200
Bellaire, Texas 77401

CC: SDI Rockwall Holdings, LLC
Peter Sisan
1800West Loop South, Suite 1850
Houston, Texas 77027

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2020-004.; *Site Plan for Strip Retail Center at 2901 Ridge Road*

Jason Miller:

This letter serves to notify you that the above referenced site plan case, that you submitted for consideration by the City of Rockwall, was approved by the Planning and Zoning Commission on April 28, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Conditions of Approval

(1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;

(2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On April 28, 2020, the Planning and Zoning Commission made a motion to approve the site plan with staff conditions and ARB recommendations. The motion included approval of the variances being requested for a) building articulation, b) roof design, and c) architectural standards.

Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding comments have been addressed. Specifically, the following comments will need to be addressed:

Engineering Department

a) Each item (domestic, irrigation, and fire line) must be on a separate tap. Fire line must have 10' of clearance to all other utilities unless steel encased. [Standards of Design 6.4.1.]
b) There is a gap in the easements here. You will need an offsite easement from Walgreens to cross their property. Why are you not using the existing 4" service that crosses Horizon? [Standards of Design 6.4.1.]

Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request at least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me a (972) 771-7745.

Sincerely,

David Gonzales, AICP
Planning and Zoning Manager