



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2020-012 P&Z DATE 08/11/20 CC DATE 08/18/20 APPROVED/DENIED  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-012

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address TBD

Subdivision Saddle Star Estates Phase IIA Lot CA-4 Block TBD

General Location Intersection of Roys Drive and Randas Way

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	<u>PD-79</u>	Current Use	<u>Open Space</u>		
Proposed Zoning	<u>Same</u>	Proposed Use	<u>Open Space / Amenity Center</u>		
Acreage	<u>0.782</u>	Lots [Current]	<u>1</u>	Lots [Proposed]	<u>1</u>

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Hines</u>	<input checked="" type="checkbox"/> Applicant	<u>Cody Johnson Studio, LLC</u>
Contact Person	<u>Jose Campos</u>	Contact Person	<u>Cody Johnson</u>
Address	<u>2200 Ross Ave.</u> <u>Suite 4200</u>	Address	<u>9720 Coit Road</u> <u>Suite 220-333</u>
City, State & Zip	<u>Dallas, TX 75201</u>	City, State & Zip	<u>Plano, TX 75025</u>
Phone	<u>214-882-1750</u>	Phone	<u>903-570-0162</u>
E-Mail	<u>jose.campos@hines.com</u>	E-Mail	<u>cody@codyjohnsonstudio.com</u>

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jay [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 9th day of JULY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 9th day of JULY, 2020.

Owner's Signature

Jay

Notary Public in and for the State of Texas

Lisset Cervantes



My Commission Expires

2/19/2024



# CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

CASE NUMBER:

REVIEWED BY:

OVERLAY DISTRICT:

REVIEW DATE:

## 1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓ = OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	-
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") <b>folded</b> copies and one (1) PDF digital copy of each plan is required at the time of submittal.	-
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	-
Case Number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	-
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	-
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	-
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	-
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	-
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	-
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	-
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	-
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	-
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

## 2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	-
Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	-
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	-
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	-
Distance Between Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	-
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	-
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	-
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	-
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	-
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Fire Lanes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	-
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	-
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	-
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	-
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	-
Median Breaks in Adjacent Streets	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-

## 2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	-
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	-
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. VI 5.04
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Art. VI Table 3
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction ( <i>Check w/ the Engineering Department</i> ).	Art. VI 5.03.C
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer ( <i>Art. VI 6.5 Loading Requirements</i> ).	Art. VI 6.04
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. VI 6
Type and Depth of Paving Material	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	Art. VI 3.02

## 2.3 SITE PLAN: SIGNAGE

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE:</b> All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				
Proposed or Existing Signage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	-

## 2.4 SITE PLAN: SCREENING

Requirements	✓ = OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the height and type of fence proposed or existing.	Art. VIII 8
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.05.3
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	Art. V 1.05.3
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing plantings, berms, or walls matching the main structure. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	Art. V 1.05.4
Dumpster Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. V 1.05.2
Outside Storage	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	Art. V 1.05.1
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	Art. V 1.06

## 3.1 LANDSCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district the percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	-

Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	-
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	-
Location of Water Courses and Significant Drainage Features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	Art. VIII 5.01
Acceptable Landscape Materials:				Art. VIII 4
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix F
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix F
Protected Trees (To Remain On-Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 5.5
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square included in the parking area, and the number and location of required off-street parking and loading spaces.	Art. VIII 5.03.E
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	Art. V 1.08
Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	Art. V 5.01
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	Art. VIII 5.03.E
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	Art. VIII 5.04

#### 4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: <i>Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	-
Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	-

Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. IX 3
Protected Trees (To Remain On Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3
Protected Trees (To be Removed from the Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	Art. IX 3
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	Art. IX 3

## 5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	-
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	Art. VII 3.4
Adjacent Property with Common Lot Lines:				Art. VII 3.3
✓ Residential Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	Art. VII 3.3.B
✓ Commercial Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	Art. VII 3.3.C
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	Art. VII 3.3.G.1
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	Art. VII 3.3.G.2
Lighting in Parking Areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Non-residential properties shall distribute not more than 0.2 of one foot candle of light upon any adjacent property.	Art. VII 3.4.A
Indicate all Exterior Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	Art. VII 3.3.D
Indicate the Wattage of all Light Sources	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	-

## 6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 6.02.C
Indicate Amount and Location of the 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to <u>façades</u> that are visible from a public right-of-way and/or open space.	Art. V 6.02.C
Indicate the Surface Area of Each Façade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each <u>façade</u> and the percentage and square footage of each material used on that <u>façade</u> .	-

Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	-
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate Parapet Wall Height (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck.	-
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	-
Indicate Any Additional Design Elements Proposed (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	-
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	Art. V 4.01.B
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Secondary Entry/Arch. Element Length = 25% x L</li> <li>4. Wall Projection = 25% x H</li> <li>5. Primary Entry/Arch. Element Width = 2 x (25% x L)</li> <li>6. Projection Height = 25% x H</li> <li>7. Primary Entry/Arch. Element Length = 2 x (25% x L)</li> </ol>	Art. V 4.01.C
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Secondary Entry/Arch. Element Length = 15% x L</li> <li>4. Secondary Entry/Arch. Element Width = 15% x H</li> <li>5. Projection Height = 15% x H</li> </ol>	Art. V 4.01.C

## 6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
<b>NOTE:</b> Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
90% Masonry Requirement	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 5.01.A
Indicate Amount and Location of the 20% (of the 90%) Stone Requirement	<input type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	Art. V 5.01.A
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 4 x H</li> <li>3. Wall Projection = 25% x H</li> <li>4. Entry/Arch. Element Length = 33% x L</li> <li>5. Projection Height = 25% x H</li> <li>6. Entry/Arch. Element Width = 2 x (25% x H)</li> </ol>	Art. V 5.01.C
Secondary Facades	<input type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Entry/Arch. Element Length = 15% x L</li> <li>4. Entry/Arch. Element Width = 15% x H</li> <li>5. Projection Height = 15% x H</li> </ol>	Art. V 5.01.C

Pre-Development Meeting:

Date: \_\_\_/\_\_\_/\_\_\_

Administrative Site Plan/Public Hearing Site Plan

1) Is the property located within an Overlay District or a Planned Development District?  YES  NO

2) If yes which Overlay District or Planned Development District? \_\_\_\_\_

3) Is the applicant requesting appeals?  YES  NO

4) If yes note the appeals:

\_\_\_\_\_

\_\_\_\_\_

**Planning & Zoning Work Session (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**ARB Meeting**

Date: \_\_\_/\_\_\_/\_\_\_

**Planning and Zoning Meeting (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

1<sup>st</sup> \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_

Vote: \_\_\_ For, \_\_\_ Against; \_\_\_ Abstaining, \_\_\_ Absent (\_\_\_\_\_).

**City Council Meeting (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

1<sup>st</sup> \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_

Vote: \_\_\_ For, \_\_\_ Against; \_\_\_ Abstaining, \_\_\_ Absent (\_\_\_\_\_).

=====

**GENERAL NOTES:**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



# DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
  - MINOR/AMENDING PLAT.
  - MASTER PLAT.
  - PRELIMINARY PLAT.
  - FINAL PLAT.
  - REPLAT.
  - VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
  - ONE (1) PDF COPY OF THE PLAT
  - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

*\* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE*

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

## \* SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items:
  - SITE PLAN.
  - LANDSCAPE PLAN.
  - TREESCAPE PLAN.
  - PHOTOMETRIC PLAN.
  - BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- BUILDING MATERIAL SAMPLE BOARD. See the *Material Sample Board Design Guidelines* in this development packet.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

## ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

*IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.*



# PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2020-012 P&Z DATE 08/11/20 CC DATE 08/18/20 APPROVED/DENIED  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
<b>NOTES:</b> _____
_____
_____
_____
_____
<b>ZONING MAP UPDATED</b> _____



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-012

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address TBD

Subdivision Saddle Star Estates Phase IIA Lot CA-4 Block TBD

General Location Intersection of Roys Drive and Randas Way

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	<u>PD-79</u>	Current Use	<u>Open Space</u>
Proposed Zoning	<u>Same</u>	Proposed Use	<u>Open Space / Amenity Center</u>
Acreage	<u>0.782</u>	Lots [Current]	<u>1</u>
		Lots [Proposed]	<u>1</u>

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Hines</u>	<input checked="" type="checkbox"/> Applicant	<u>Cody Johnson Studio, LLC</u>
Contact Person	<u>Jose Campos</u>	Contact Person	<u>Cody Johnson</u>
Address	<u>2200 Ross Ave.</u> <u>Suite 4200</u>	Address	<u>9720 Coit Road</u> <u>Suite 220-333</u>
City, State & Zip	<u>Dallas, TX 75201</u>	City, State & Zip	<u>Plano, TX 75025</u>
Phone	<u>214-882-1750</u>	Phone	<u>903-570-0162</u>
E-Mail	<u>jose.campos@hines.com</u>	E-Mail	<u>cody@codyjohnsonstudio.com</u>

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jay [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 9th day of JULY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 9th day of JULY, 2020.

Owner's Signature

Jay

Notary Public in and for the State of Texas

Lisset Cervantes



My Commission Expires

2/19/2024



# CHECKLIST FOR SITE PLAN SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

CASE NUMBER:

REVIEWED BY:

OVERLAY DISTRICT:

REVIEW DATE:

## 1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓ = OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:				<i>Per Application</i>
✓ Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Treescape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
✓ Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Building Material Sample Board and Color Rendering of Building Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required the sample board should detail all building materials, with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	-
Submittal Requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (24" x 36") <b>folded</b> copies and one (1) PDF digital copy of each plan is required at the time of submittal.	-
Is the property properly platted?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate if the property has been properly platted.	-
Title Block (Project Name, Legal Description and/or Address)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right-hand corner of all sheets and contain the project name, street address, and/or the lot and block designation.	-
Case Number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The case number should be placed in the lower right-hand corner below the title block of all sheets.	-
Owners (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	-
Developer (Name, Address, and Phone Number)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The name, address, and phone number of the person or company that prepared the plans are required in the lower right-hand corner left of the title block.	-
North Point	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	-
Numeric and Graphic Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100'.	-
Vicinity Map	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	-
Signature Block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	-
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The date that the plans were prepared is required on all submittals.	-
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	-
✓ Commercial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	-

## 2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	-
Perimeter Dimensions of the Site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the perimeter dimensions of the site in feet.	-
Buildings (Square Footage)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and total square footage of all existing and planned buildings on the site.	-
Perimeter Dimensions of all Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the wall lengths of all buildings on the site.	-
Distance Between Buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the distance between all existing and planned buildings located on the site.	-
Distance Between Buildings and Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the distance between all property lines and existing and planned buildings located on the site.	-
Indicate all Property Lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	-
Indicate all Building Setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate all building setbacks adjacent to right-of-way.	-
Indicate all Easements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additionally, indicate all utilities both existing and proposed.	-
Indicate all Drive/Turning Radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Drive Widths	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Fire Lanes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate and label the widths of all fire lanes existing and proposed for the site.	-
Indicate location of all Fire Hydrants	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate all Sidewalks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate and label the widths of all sidewalks existing and proposed for the site.	-
Adjacent Street Right-Of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reference the City's Master Transportation Plan for right-of-way information.	-
Label all Adjacent Street Name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all adjacent existing and proposed street names.	-
Adjacent Street Centerlines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the street centerline for all existing and proposed streets.	-
Median Breaks in Adjacent Streets	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-

## 2.2 SITE PLAN: PARKING INFORMATION

Requirements	✓ = OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See the comment section in <i>Adequate Parking and Maneuvering</i> below.	-
Parking Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	-
Handicap Parking Spaces Shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. VI 5.04
Adequate Parking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Reference Table 3 of Article VI.</i>	Art. VI Table 3
Adequate Parking and Maneuvering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction ( <i>Check w/ the Engineering Department</i> ).	Art. VI 5.03.C
Adequate Loading Area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer ( <i>Art. VI 6.5 Loading Requirements</i> ).	Art. VI 6.04
Adequate Loading Maneuvering	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. VI 6
Type and Depth of Paving Material	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	Art. VI 3.02

## 2.3 SITE PLAN: SIGNAGE

Requirements	✓ = OK	N/A	Comments	UDC Reference
<b>NOTE:</b> All signage shall conform to Chapter 32 of the Rockwall Municipal Code of Ordinance, unless otherwise specified in an Overlay District or Planned Development District with specific signage requirements.				
Proposed or Existing Signage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and type of all proposed and/or existing signage on the site plan. Additionally, provide a detail or cut-sheet showing the elevations, lighting and dimensions of the proposed signage.	-

## 2.4 SITE PLAN: SCREENING

Requirements	✓ = OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the height and type of fence proposed or existing.	Art. VIII 8
Utility Equipment Screening (Pad or Ground Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	Art. V 1.05.3
Utility Equipment Screening (Roof Mounted)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	Art. V 1.05.3
Above Ground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Aboveground storage tanks shall be screened utilizing plantings, berms, or walls matching the main structure. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	Art. V 1.05.4
Dumpster Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Art. V 1.05.2
Outside Storage	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Off-Street Loading Dock Screening	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	Art. V 1.05.1
Residential Adjacency Standards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference Art. VIII 5.2).	Art. V 1.06

## 3.1 LANDSCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	-
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the applicable zoning district the percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	-

Landscape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	-
Indicate all Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed landscaping.	-
Location of Water Courses and Significant Drainage Features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	-
Indicate all Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the locations and dimensions of the required landscape buffers.	Art. VIII 5.01
Acceptable Landscape Materials:				Art. VIII 4
✓ Trees allowed in Street Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix F
✓ Trees not allowed in Landscape Buffers	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix F
Protected Trees (To Remain On-Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 5.5
Parking Lot Landscaping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square included in the parking area, and the number and location of required off-street parking and loading spaces.	Art. VIII 5.03.E
Location of all Site Amenities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify visibility triangles on all lots for all driveway intersections and public streets.	Art. V 1.08
Street Trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	Art. V 5.01
Tree Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	Art. VIII 5.03.E
Irrigation Requirements Note	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	Art. VIII 5.04

#### 4.1 TREESCAPE PLAN

Requirements	✓ = OK	N/A	Comments	UDC Reference
Provide Site Data	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 Site Plan: <i>Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	-
Buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	-

Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Art. IX 3
Protected Trees (To Remain On Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said trees shall be protected prior to and during all construction, including dirt work.	Art. IX 3
Protected Trees (To be Removed from the Site)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	Art. IX 3
Treescape Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	Art. IX 3

## 5.1 PHOTOMETRIC AND LIGHTING PLANS

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data Table	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the same site data information required in Section 2.1 <i>Site Plan: Miscellaneous and Density and Dimensional Requirements</i> of this checklist.	-
Indicate Lighting Levels (in Foot Candles [FC])	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	Art. VII 3.4
Adjacent Property with Common Lot Lines:				Art. VII 3.3
✓ Residential Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	Art. VII 3.3.B
✓ Commercial Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. <i>Subject to requirements in Art. VII 3.3.C.</i>	Art. VII 3.3.C
Under-Canopy Lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	Art. VII 3.3.G.1
Lighting for Motor Vehicle Dealerships	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	Art. VII 3.3.G.2
Lighting in Parking Areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Non-residential properties shall distribute not more than 0.2 of one foot candle of light upon any adjacent property.	Art. VII 3.4.A
Indicate all Exterior Lighting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	
Indicate the Mounting Height for all Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	Art. VII 3.3.D
Indicate the Wattage of all Light Sources	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Proposed Light Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	-

## 6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
Indicate Exterior Elevations Adjacent to Public Right-of-Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	-
90% Masonry Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 6.02.C
Indicate Amount and Location of the 20% Stone Requirement <i>OVERLAY DISTRICTS ONLY</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Applies to <u>façades</u> that are visible from a public right-of-way and/or open space.	Art. V 6.02.C
Indicate the Surface Area of Each Façade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the surface area (square feet) of each <u>façade</u> and the percentage and square footage of each material used on that <u>façade</u> .	-

Proposed Building Materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specifications and description of all proposed building materials, on all proposed buildings.	-
Indicate the Roofing Materials and Color	<input checked="" type="checkbox"/>	<input type="checkbox"/>		-
Indicate Parapet Wall Height (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate the parapet wall by dashing in the top of roof deck.	-
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	-
Indicate Any Additional Design Elements Proposed (If Applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	-
Indicate Building Height(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	Art. V 4.01.B
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Secondary Entry/Arch. Element Length = 25% x L</li> <li>4. Wall Projection = 25% x H</li> <li>5. Primary Entry/Arch. Element Width = 2 x (25% x L)</li> <li>6. Projection Height = 25% x H</li> <li>7. Primary Entry/Arch. Element Length = 2 x (25% x L)</li> </ol>	Art. V 4.01.C
Secondary Facades	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Secondary Entry/Arch. Element Length = 15% x L</li> <li>4. Secondary Entry/Arch. Element Width = 15% x H</li> <li>5. Projection Height = 15% x H</li> </ol>	Art. V 4.01.C

## 6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	✓= OK	N/A	Comments	UDC Reference
<b>NOTE:</b> Industrial buildings are subject to all the elements listed in Section 6.1 Building Elevations: Non-Industrial with the exception of the following standards.				
90% Masonry Requirement	<input type="checkbox"/>	<input type="checkbox"/>	Exterior walls should consist of 90% masonry materials excluding doors and windows.	Art. V 5.01.A
Indicate Amount and Location of the 20% (of the 90%) Stone Requirement	<input type="checkbox"/>	<input type="checkbox"/>	Applies to facades that are visible from a public right-of-way and/or open space.	Art. V 5.01.A
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	<input type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 4 x H</li> <li>3. Wall Projection = 25% x H</li> <li>4. Entry/Arch. Element Length = 33% x L</li> <li>5. Projection Height = 25% x H</li> <li>6. Entry/Arch. Element Width = 2 x (25% x H)</li> </ol>	Art. V 5.01.C
Secondary Facades	<input type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Wall Height [H] = H</li> <li>2. Wall Length [L] = 3 x H</li> <li>3. Entry/Arch. Element Length = 15% x L</li> <li>4. Entry/Arch. Element Width = 15% x H</li> <li>5. Projection Height = 15% x H</li> </ol>	Art. V 5.01.C

Pre-Development Meeting:

Date: \_\_\_/\_\_\_/\_\_\_

Administrative Site Plan/Public Hearing Site Plan

1) Is the property located within an Overlay District or a Planned Development District?  YES  NO

2) If yes which Overlay District or Planned Development District? \_\_\_\_\_

3) Is the applicant requesting appeals?  YES  NO

4) If yes note the appeals:

\_\_\_\_\_

\_\_\_\_\_

**Planning & Zoning Work Session (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**ARB Meeting**

Date: \_\_\_/\_\_\_/\_\_\_

**Planning and Zoning Meeting (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

1<sup>st</sup> \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_

Vote: \_\_\_ For, \_\_\_ Against; \_\_\_ Abstaining, \_\_\_ Absent (\_\_\_\_\_).

**City Council Meeting (Packet Due \_\_\_/\_\_\_/\_\_\_):**

Date: \_\_\_/\_\_\_/\_\_\_

1<sup>st</sup> \_\_\_\_\_

2<sup>nd</sup> \_\_\_\_\_

Vote: \_\_\_ For, \_\_\_ Against; \_\_\_ Abstaining, \_\_\_ Absent (\_\_\_\_\_).

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**GENERAL NOTES:**

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# DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
  - MINOR/AMENDING PLAT.
  - MASTER PLAT.
  - PRELIMINARY PLAT.
  - FINAL PLAT.
  - REPLAT.
  - VACATION PLAT.

Staff requires four (4), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
  - ONE (1) PDF COPY OF THE PLAT
  - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

*\* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE*

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

## \* SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items:
  - SITE PLAN.
  - LANDSCAPE PLAN.
  - TREESCAPE PLAN.
  - PHOTOMETRIC PLAN.
  - BUILDING ELEVATIONS.

Staff requires the submittal of four (4) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

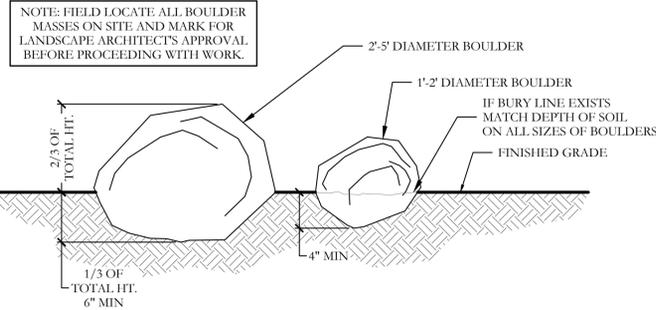
- BUILDING MATERIAL SAMPLE BOARD. See the *Material Sample Board Design Guidelines* in this development packet.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

## ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

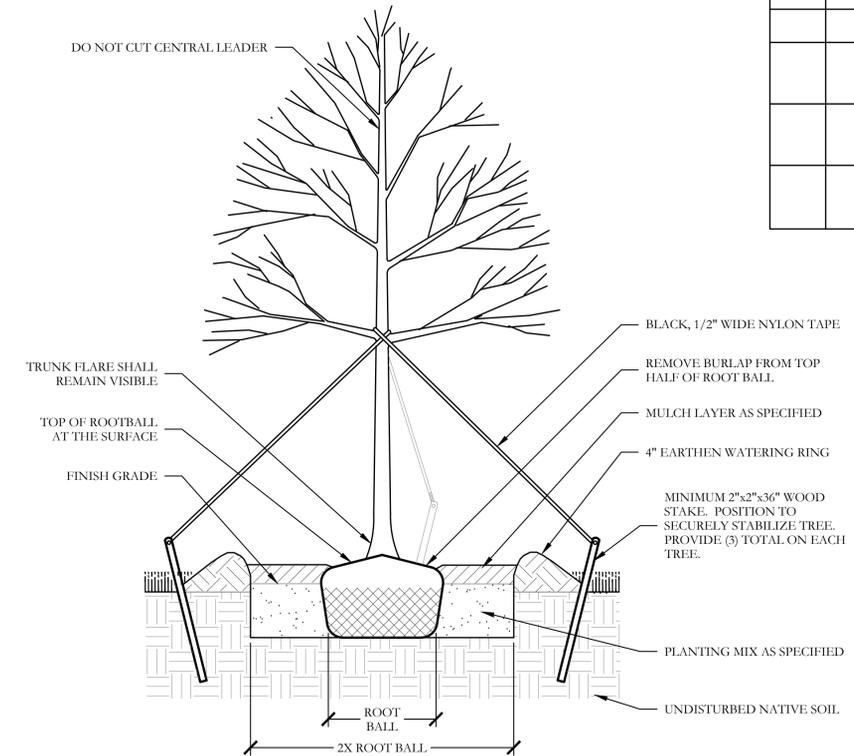
- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires four (4), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

*IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.*

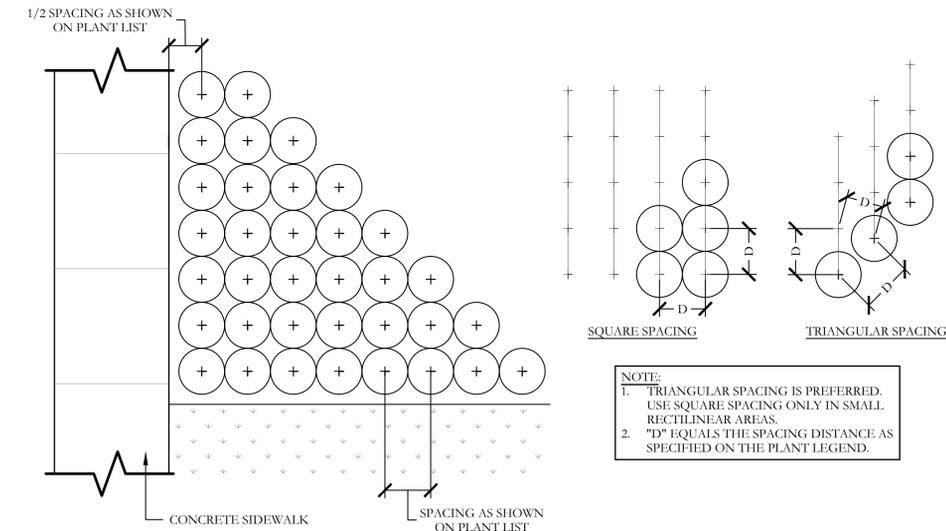




1 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

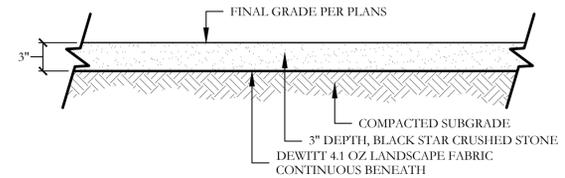


2 TYPICAL TREE PLANTING SECTION NOT TO SCALE

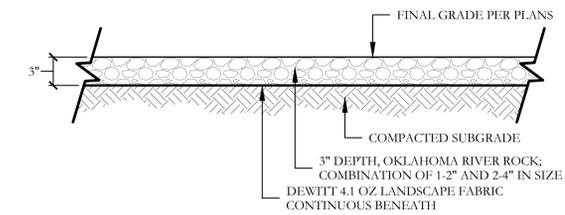


3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION

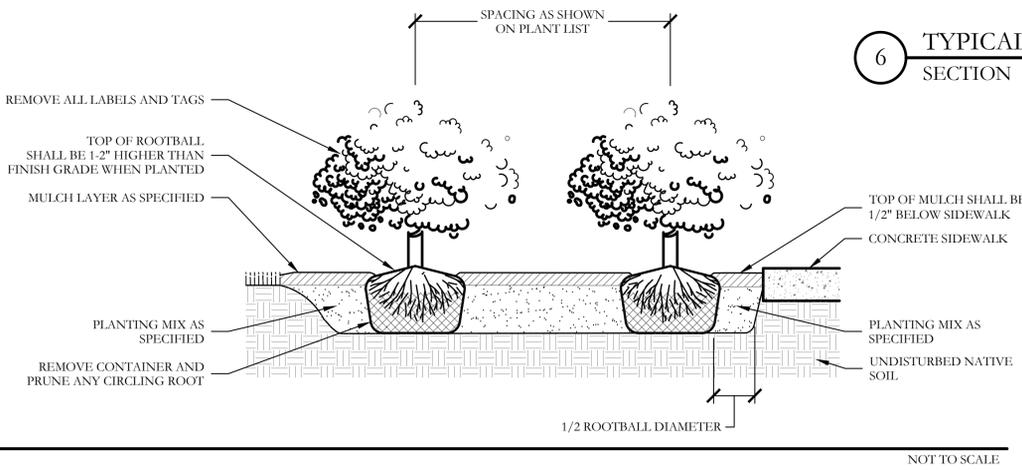
PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	10	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	9	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	6	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CM	8	CRAPE MYRTLE 'NATCHEZ'	LAGERSTROEMIA INDICA 'NATCHEZ'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	38	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	44	SUNSHINE LIGISTRUM	LIGISTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	85	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	240	WEeping LOVE GRASS	ERAGROSIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	135	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	17,745	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	180	BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.0 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 4/L/2.
	220	TEXAS RIVER ROCK; MIXTURE OF	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.0 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 5/L/2.
	5	OKLAHOMA MOSS ROCK BOULDERS	50 LB TO 250 LB MAX SIZE	TON	AS SHOWN	FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK. REFER TO DETAIL 1/L/2.



4 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"



5 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



6 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE

GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
  - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
  - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
  - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
  - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
  - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
  - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
  - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
  - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
  - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
  - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
  - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
  - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
  - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
  - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
  - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
  - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
  - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
  - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
  - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRoACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
  - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
  - STEEKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
  - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
  - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
  - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
  - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
  - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
  - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
  - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR Hauled OFF-SITE.
  - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

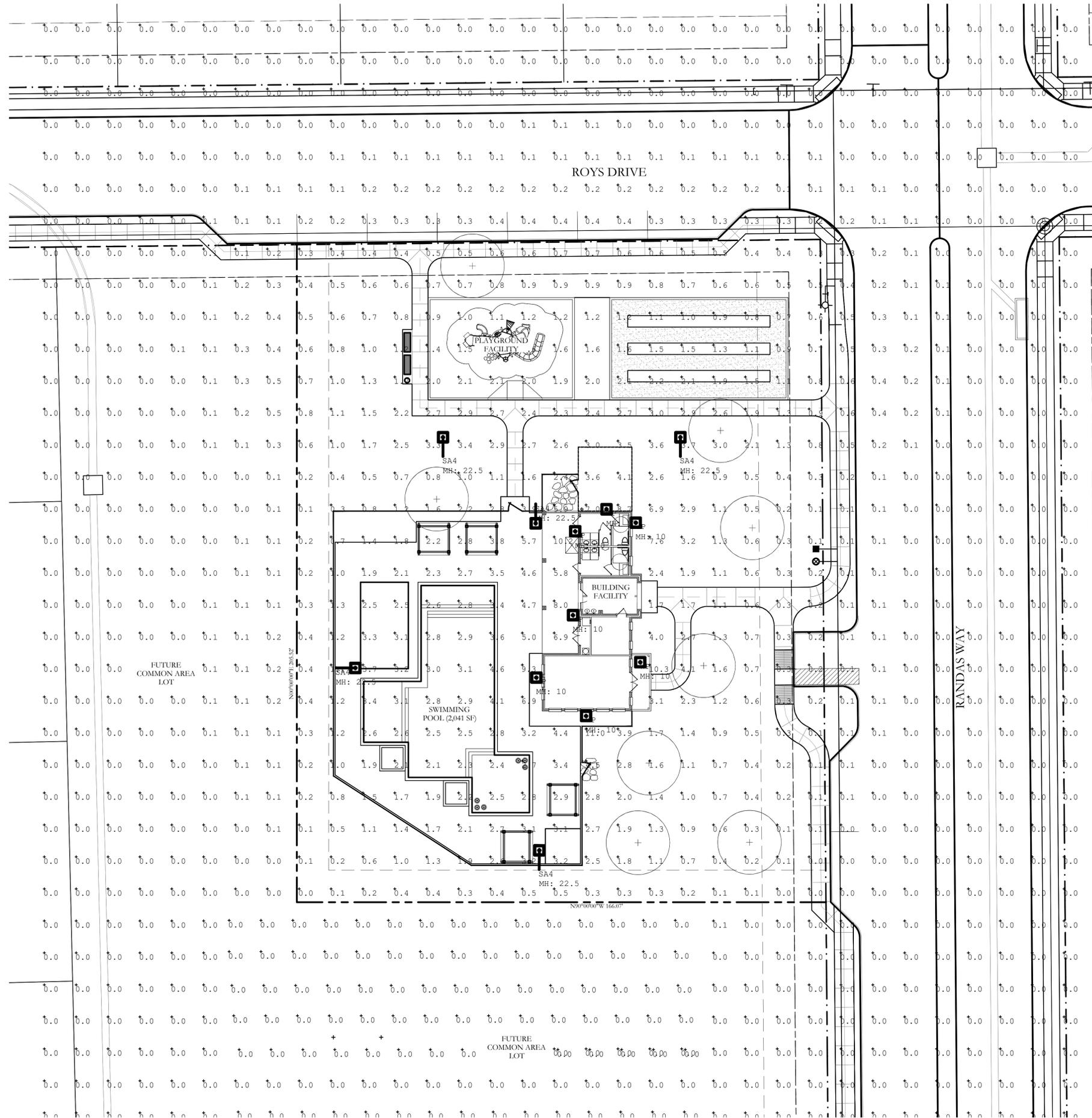
LANDSCAPE DETAIL  
SADDLE STAR ESTATES  
SOUTH PHASE TWO A  
LOT CA-4  
~AMENITY CENTER~

BEING 0.782 ACERS SITUATED IN THE  
P.B. HARRISON SURVEY, A-97  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

**OWNER / DEVELOPER:**  
HINES  
2200 ROSS AVENUE, SUITE 4200  
DALLAS, TEXAS 75201  
CONTACT: JOSE CAMPOS  
PH. (214) 882-1750

**LANDSCAPE ARCHITECT:**  
CODY JOHNSON STUDIO, LLC  
9720 COIT ROAD, SUITE 220-333  
PLANO, TEXAS 75025  
PH. (903) 570-0162  
CONTACT: CODY JOHNSON, RLA, ASLA, LI  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM



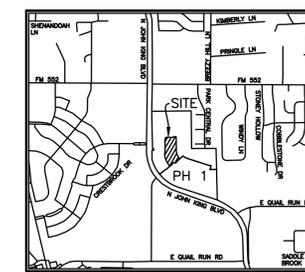


Luminaire Schedule						
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lumens/Lamp
5		SA4	0.900	Gardco - ECF-S-32L-1A-NW-G2-4-HIS	105.6	N.A.
7		WP	0.900	Komee - KMWP-45-40-FC	46.2	4520.8
						4523

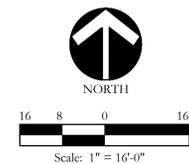
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Overall	Illuminance	Fc	0.47	11.0	0.0	N.A.
Lap Pool	Illuminance	Fc	1.71	3.0	0.7	2.44
Pool	Illuminance	Fc	3.18	11.0	0.7	4.54

NOTES  
 1. Calc at grade level  
 2. Mounting  
 \* Type SA = On a 20' pole on a 2.5' base  
 Type WM = 10' AFG

ERVEN ROVINSKY  
 AND ASSOCIATES, INC.  
 Consulting Engineers  
 T.R.E.F. F-2513  
 7-7-20  
 12250 INWOOD RD STE9  
 DALLAS, TEXAS 75244  
 972-233-2981  
 ERovinsky@aol.com



LOCATION MAP  
 NOT TO SCALE



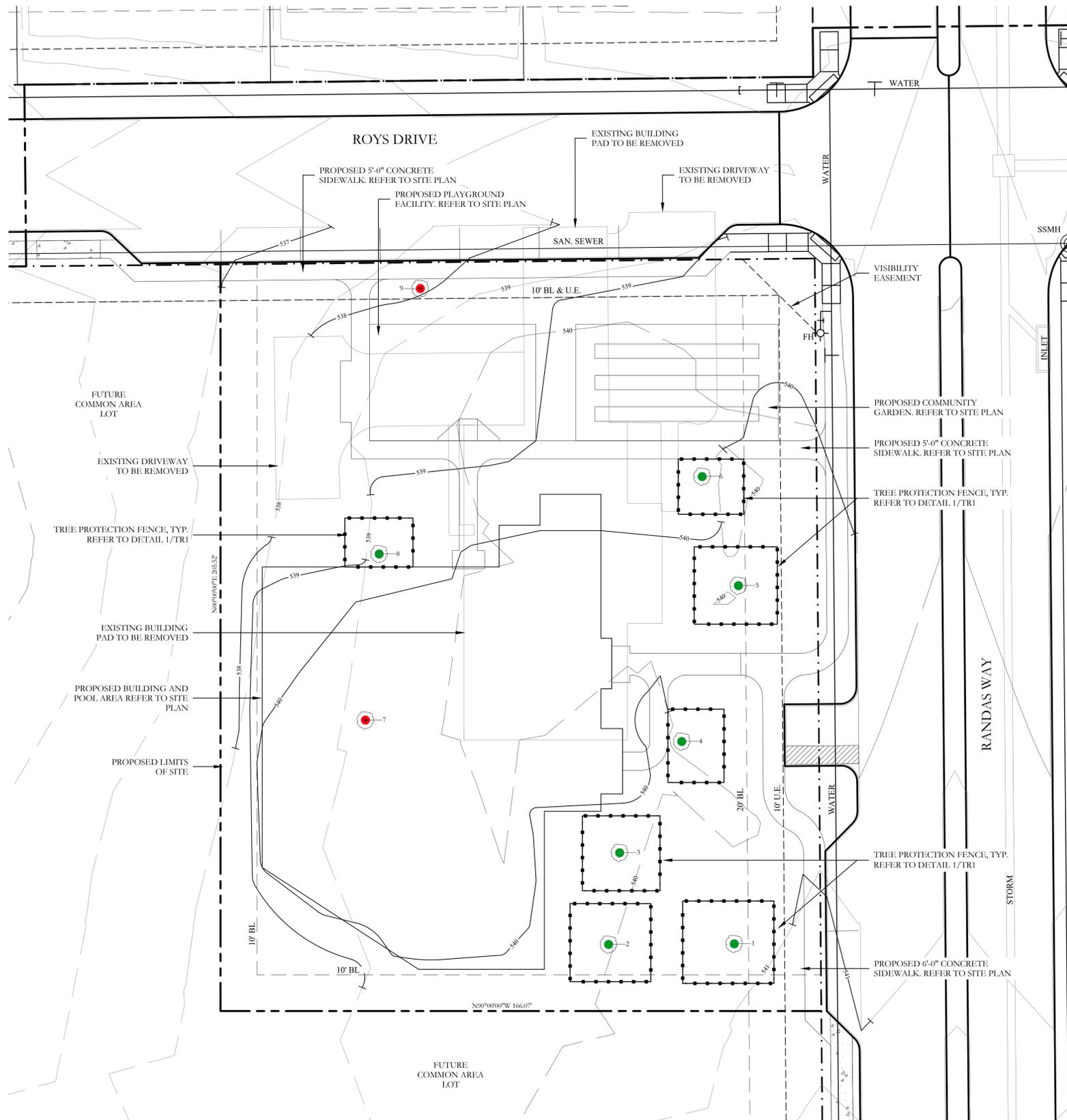
PHOTOMETRIC PLAN  
 SADDLE STAR ESTATES  
 SOUTH PHASE TWO A  
 LOT CA-4  
 ~AMENITY CENTER~

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SUBMITTAL DATE: July 17, 2020



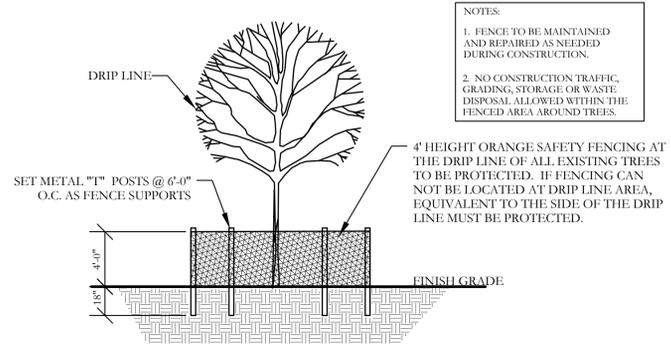
**LEGEND**

- - 2 EXISTING TREE TO BE REMOVED
- - 2 EXISTING TREE TO REMAIN
- - - TREE PROTECTION FENCE

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN. TYP.

Tree ID Number	Tree Size DBH	Common Name	Scientific Name	Condition of Tree	Remove or Remain	Tree Location	Credit Ratio	Negative Mitigation Credit	Positive Mitigation Credit
1	15.0	Pecan	<i>Carya illinoensis</i>	Healthy	Remain	Lot	1	0.00	15.00
2	12.0	Pear	<i>Pyrus calleryana</i>	Healthy	Remain	Lot	1	0.00	12.00
3	10.0	Pin Oak	<i>Quercus palustris</i>	Healthy	Remain	Lot	1	0.00	10.00
4	18.0	Chinese Tallow	<i>Tnaadca sebifera</i>	Healthy	Remain	Lot	1	0.00	18.00
5	20.0	Live Oak	<i>Quercus virginiana</i>	Healthy	Remain	Lot	1	0.00	20.00
6	12.0	Magnolia	<i>Magnolia grandiflora</i>	Healthy	Remain	Lot	1	0.00	12.00
7	18.0	Unknown	Unknown	Damaged	Remove	Lot	1	18.00	0.0
8	18.0	Pin Oak	<i>Quercus palustris</i>	Healthy	Remain	Lot	1	0.00	18.00
9	24.0	Pin Oak	<i>Quercus palustris</i>	Damaged	Remove	Easement	0	0.00	0.0
<b>Total Tree Population</b>								<b>147.00</b>	
								<b>Total Negative Mitigation Credits, caliper inches</b>	<b>18.00</b>
								<b>Total Positive Mitigation Credits, caliper inches</b>	<b>105.00</b>
<b>Total Positive Credits (cal. in.)</b>									<b>87.00</b>

- TREE PROTECTION NOTES**
- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
  - DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL, SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
  - NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
  - NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
  - NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.



**1 TREE PROTECTION DETAIL** NOT TO SCALE

**LOT CA-4 SITE INFORMATION**

ZONING: PD-79  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 34,078.00 S.F. OR 0.782 ACRES

BUILDING AREA: 1,909.00 SF  
 BUILDING HEIGHT: 21'-0" (1 STORY)  
 FLOOR TO AREA: 0.00057:1 [1,909/34,078]  
 LOT COVERAGE: 0.056%

PARKING REQUIRED: 10 SPACES  
 PARKING PROVIDED: 10 TOTAL (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

PROPOSED IMPERVIOUS COVERAGE: 11,515.50 SF  
 PROPOSED IMPERVIOUS RATIO: 0.3379 OR 33.79%

**TREESCAPE PLAN**  
**SADDLE STAR ESTATES**  
**SOUTH PHASE TWO A**  
**LOT CA-4**  
**~AMENITY CENTER~**

BEING 0.782 ACERS SITUATED IN THE P.B. HARRISON SURVEY, A-97 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

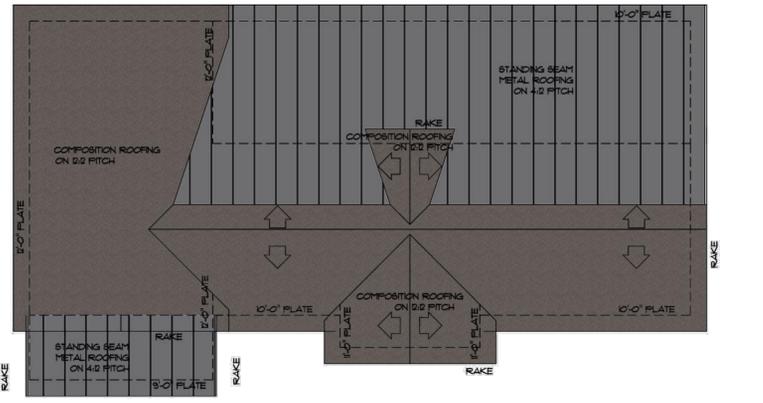
**OWNER / DEVELOPER:**  
 HINES  
 2200 ROSS AVENUE, SUITE 4200  
 DALLAS, TEXAS 75201  
 CONTACT: JOSE CAMPOS  
 PH. (214) 882-1750

**LANDSCAPE ARCHITECT:**  
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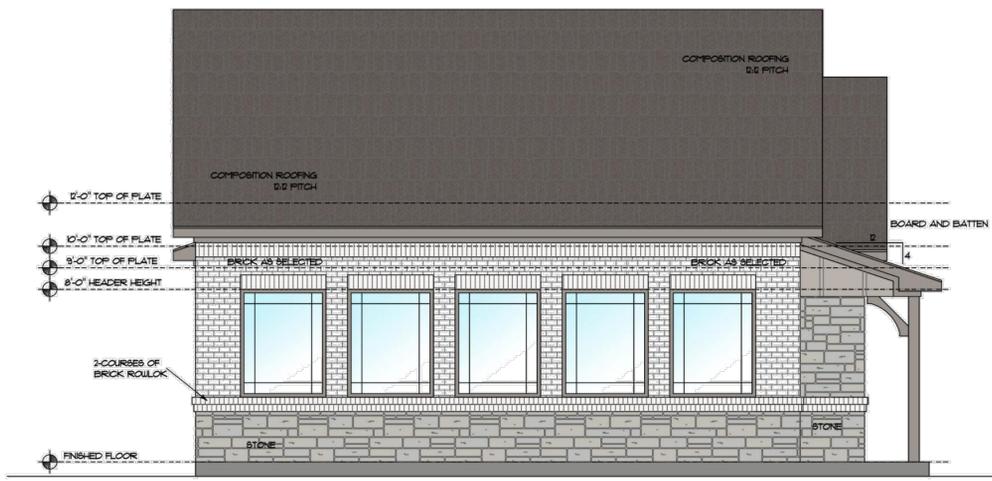


July 17, 2020

SUBMITTAL DATE: July 17, 2020

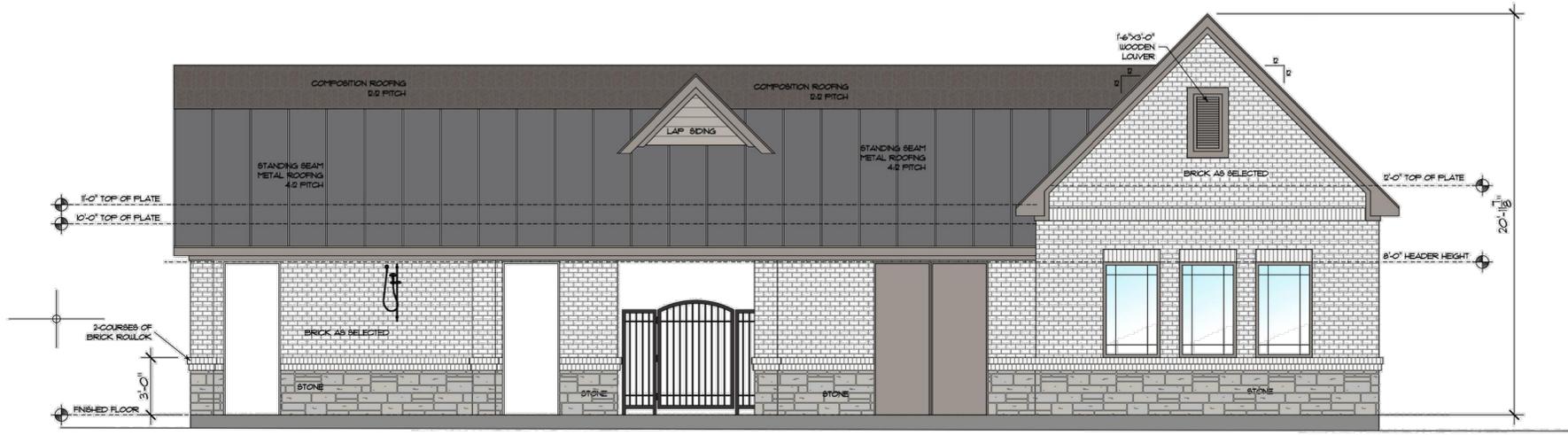


**ROOF PLAN**  
 ROOFING MATERIAL AS SPECIFIED  
 COR. CUTTERED  
 SCALE 1/8"=1'0"



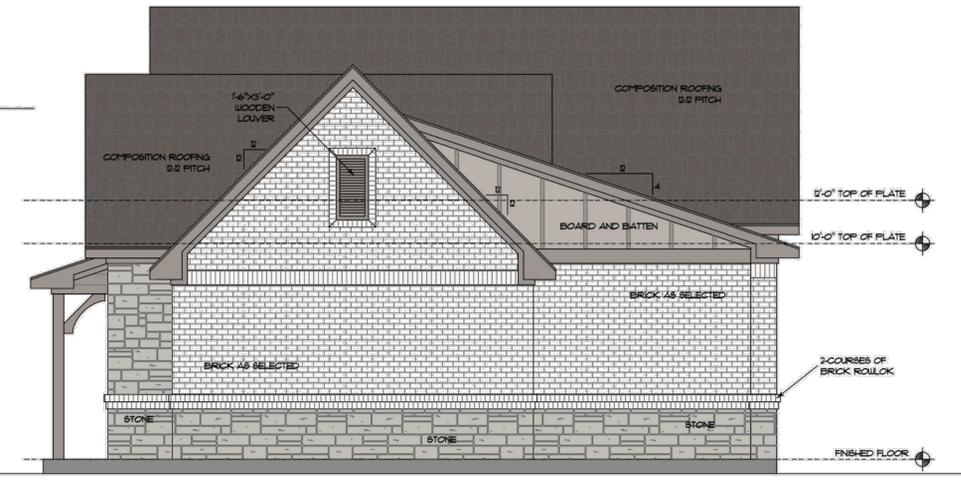
**RIGHT ELEVATION**  
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	222 SQ. FT. 10.0%
STONE	87 SQ. FT. 21.5%
SIDING	8 SQ. FT. 2.5%
NET TOTAL	317 SQ. FT. 100%



**REAR ELEVATION**  
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	336 SQ. FT. 11.3%
STONE	90 SQ. FT. 20.6%
SIDING	9 SQ. FT. 2.1%
NET TOTAL	435 SQ. FT. 100%



**LEFT ELEVATION**  
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	263 SQ. FT. 67.5%
STONE	91 SQ. FT. 23.3%
SIDING	36 SQ. FT. 9.2%
NET TOTAL	390 SQ. FT. 100%



**FRONT ELEVATION**  
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	374 SQ. FT. 10.5%
STONE	57 SQ. FT. 29.5%
NET TOTAL	531 SQ. FT. 100%

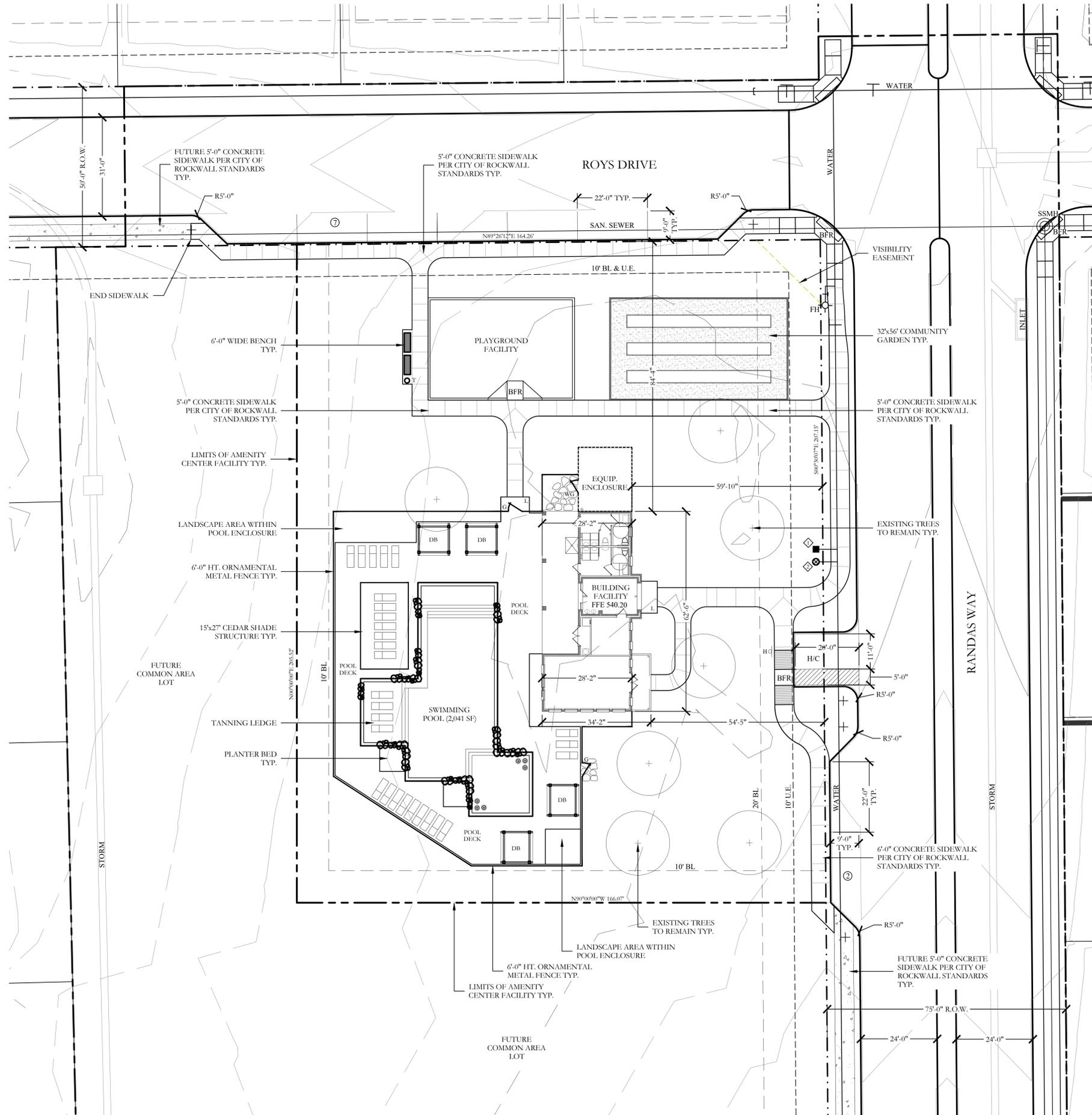
**OWNER / DEVELOPER:**  
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 DALLAS, TEXAS 75201  
 CONTACT: JOSE CAMPOS  
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**BUILDING ELEVATIONS**  
**SADDLE STAR ESTATES**  
**SOUTH PHASE TWO A**  
**LOT CA-4**  
**~AMENITY CENTER~**

BEING 0.782 ACERS SITUATED IN THE P.B.  
 HARRISON SURVEY, A-97  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: April 17, 2020



**LEGEND**

- ⊙ PROPOSED PARKING COUNT
- BFR BARRIER FREE RAMP
- H/C HANDICAP PARKING SPACE VAN ACCESSIBLE
- FH EXISTING FIRE HYDRANT
- SSMH EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER MAIN W/ VALVE
- EXISTING SANITARY SEWER
- EXISTING STORM
- EXISTING CURB INLET
- RIGHT-OF-WAY
- EXISTING CONTOUR INTERVAL
- FFE 540.20 FINISHED FLOOR ELEVATION
- PROPOSED DOMESTIC WATER METER
- PROPOSED IRRIGATION WATER METER
- 6'-0" HT. ORNAMENTAL METAL FENCE AS POOL FACILITY ENCLOSURE
- 6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
- WG 1 - 4'-0" WIDTH SELF-LATCHING, SELF-CLOSING WOODEN GATE
- G 1 - 4'-0" WIDTH SELF-LATCHING, SELF-CLOSING METAL GATE
- L 5x5 SIDEWALK PASSING LANE AND/OR RAMP LANDING
- H-DB HANDICAP PARKING SIGN
- DB 10x10 CEDAR DAYBED
- 6'-0" PARK BENCH
- TRASH RECEPTACLE

**LOT CA-4 SITE INFORMATION**

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 BUILDING AREA: 1,909.00 SF  
 BUILDING HEIGHT: 21'-0" (1 STORY)  
 FLOOR TO AREA: 0.00057:1 [1,909/34,078]  
 LOT COVERAGE: 0.056%  
 PARKING REQUIRED: 10 SPACES  
 PARKING PROVIDED: 10 TOTAL (WITH 1 HANDICAP)  
 HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS  
 PROPOSED IMPERVIOUS COVERAGE: 11,515.50 SF  
 PROPOSED IMPERVIOUS RATIO: 0.3379 OR 33.79%

**SITE PLAN NOTES:**

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
- STANDARD PARALLEL PARKING SPACES SHALL BE A MINIMUM OF 9'-0" WIDTH x 20'-0" LENGTH.
- ALL PARKING SPACES SHALL BE EXISTING AND ARE PROPOSED FOR CITY REVIEW UNDER THE PHASE TWO DEVELOPMENT PLANS.
- THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

**WATER METER SCHEDULE**

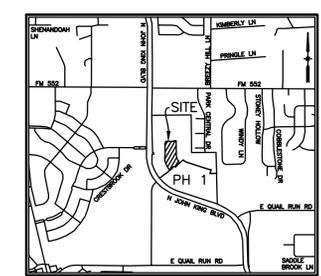
METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
◇	1.5"	1.5"	X		6"
◇	1.5"	1.5"		X	

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning



**LOCATION MAP**  
NOT TO SCALE

**SITE PLAN**  
**SADDLE STAR ESTATES**  
**SOUTH PHASE TWO A**  
**LOT CA-4**  
 ~AMENITY CENTER~

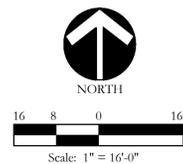
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**LANDSCAPE ARCHITECT:**

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 EMAIL: CODY@CODYJOHNSONSTUDIO.COM



SUBMITTAL DATE: July 17, 2020

CITY PROJECT NO.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/24/2020

PROJECT NUMBER: SP2020-012  
PROJECT NAME: Saddle Star Estates  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-771-7740  
CASE MANAGER EMAIL: [agamez@rockwall.com](mailto:agamez@rockwall.com)

CASE CAPTION:

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DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	07/24/2020	Needs Review

---

07/24/2020: SP2020-012; Site Plan for Saddle Star Amenities Center

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for the amenities center for the Saddle Star Estates Subdivision being a 0.782-acre portion of a larger two (2) acre tract of land identified as Tract 1 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard south of Featherstone Drive.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com).

M.3 For reference, include the case number (SP2020-012) in the lower right-hand corner of all pages of all revised plan submittals. (§01.02(D), Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District No. 79 (PD-79), and the Development Standards of Article 05 that are applicable to the subject property. (§01.02(D), Art. 11, UDC)

I.5 Please note that the property will require a Will Serve Letter from Blackland Water Supply Company prior to final approval of the site plan. Additionally, a replat is required prior to the issuance of a building permit. Finally, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

I.6 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at [cfoshee@rockwall.com](mailto:cfoshee@rockwall.com) for permitting requirements for your proposed sign(s).

M.7 A Site Data Table as found on Site Plan (i.e. density and dimensional requirements) is required to be placed on all plans submitted (i.e. site plan, landscape plan, photometric plan, etc.), with the exception of the building elevations. (§01.02(D), Art. 11, UDC)

M.8 Provide the standard signature block with signature spaces for the Planning & Zoning Chairman and Planning Director on all plans submitted. (§03.04.A, Art. 11, UDC)

M.8 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§03.04, Art. 11, UDC):

- 1) The recommended engineering scales are 1" = 20', 1" = 40', etc. ... with a maximum of 1" = 100' (i.e. base 10). Scale indicates 1" = 16.0'. Correct scale. (§03.04.A, Art. 11, UDC)
- 2) Indicate the wall lengths of all buildings on the site. (§03.04.B, Art. 11, UDC)
- 3) Indicate the distance between all property lines and existing and planned buildings located on the site. (§03.04.B, Art. 11, UDC)
- 4) Indicate the street centerline for all existing and proposed streets. (§03.04.B, Art. 11, UDC)
- 5) Use a darker gray scale to better delineate the parking spaces adjacent to the site. (§05.03, Art. 06, UDC)
- 6) Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material. (§03.02, Art. 06, UDC)

M.9 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (Sec. 2, Art. 08, UDC):

- 1) Correct the Landscape Plant Legend of sheet LS1 of 2 to indicate a minimum of 5-gallon size for the Sunshine Ligustrum shrubs. (§05.03.B, Art. 08, UDC)
- 2) Correct the Landscape Plant Legend of sheet LS2 of 2 to indicate a minimum 4-inch caliper for the required canopy trees (i.e. Live Oak & Cedar Elm) and a minimum of 5-gallon size for the Sunshine Ligustrum shrubs. (§05.03.B, Art. 08, UDC)
- 3) Provide a note for the decomposed granite -- located in the community garden -- that a plant bed edge will be used to prevent the materials from spilling outside of the garden area. (§01.02(D), Art. 11, UDC)
- 4) Provide note indicating that trees must be planted at least five (5) feet from water, sewer and storm sewer lines. (Subsection 5.03.E, Art. 08, UDC)

I.10 Treescap Plan. According to Section 3.4, Treescap Plan Review Process, of Article 09, of the UDC, The planning and zoning commission will review and approve or disapprove the treescap plan. The decision of the planning and zoning commission may be appealed to the city council. The treescap plan requires approval by the Planning and Zoning Commission as submitted.

- 1) Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan. (§03.01.C, Art. 09, UDC)
- 2) Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction. Use a heavier gray scale for contours and indicate all of the amenity center building footprint. (§03.01.E, Art. 09, UDC)
- 3) Correct Treescap Table to indicate mitigation for Tree #9 (i.e. 24-inch Pin Oak). Total mitigation should be 42-inches. Total mitigation credit should equal -63-inches. (§03.01.G, Art. 09, UDC)

M. 11 Photometric Plan. According to Section 3.3, Minimum Requirements, of Article 07, Environmental Performance, of the UDC, the maximum allowable light intensity measured at the property line of any residentially zoned property shall be 0.2 of one (1) FC. Please make the following corrections and/or conditions.

- 1) Reduce the lighting levels along Roy's Drive and Randas Way where the levels exceed 0.2-FC. (§03.03, Art. 07, UDC)
- 2) Indicate the Mounting Height for all Proposed Light Fixtures. No light standard, light fixture, light pole, pole base or combination thereof shall exceed 20-feet in total height in any overlay district (i.e. SH-205 By-Pass Overlay (SH-205 BY-OV) District). (§06.02.G, Art. 05, UDC)
- 3) Provide cut sheets for all exterior lighting fixtures. (§03.03, Art. 07, UDC)

M.12 Building Elevations. Please make the following clarifications and changes to the building elevations to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:

- 1) It appears that the rear elevation has a shower hose. Must meet building inspection plumbing standards.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on August 4, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 4, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 11, 2020 Planning & Zoning Meeting.

I.15 The Architectural Review Board (ARB) meeting will be held on July 28, 2020 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on July 28, 2020.
- 2) Architectural Review Board (ARB) meeting will be held on July 28, 2020.
- 3) Planning & Zoning meeting/public hearing meeting will be held on August 11, 2020.
- 4) Architectural Review Board (ARB) meeting will be held on August 11, 2020 (if required).

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 5:00 p.m. (ARB) and 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/23/2020	Needs Review

- 07/23/2020: M - Will need a concrete barrier to keep the decomposed granite in place.  
 M - Must include a public sidewalk easement where sidewalk is not in the ROW.  
 M - Parking cannot back out onto a public roadway.  
 M - Include 20'x20' Visibility and Sidewalk Easement.  
 M - Submit an overall view showing the different phases and the amenity center.  
 M - How is the amenity center tying into Phase 1?  
 M - Plans are not fully reviewed until the phase limits are clearly shown.  
 M - No sewer available for phase 3 according to the infrastructure study.  
 M - No water service agreement for Rockwall to serve water.  
 M - Prove that the amenity center is detained for now.

I - Is this part of Phase 2 now? It was originally not part of the amenity center plans.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	07/22/2020	Approved w/ Comments

07/22/2020: FENCE WILL NOT MEET POOL BARRIER REQUIREMENTS.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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07/21/2020: Shade trees require minimum 4" caliper (Live Oak and Cedar Elm)

Plans show 3" on one plant legend and 4" on another plant legend

Make sure playground is IPEMA certified

Make sure all trees are 5' from underground utilities



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-012

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address TBD

Subdivision Saddle Star Estates Phase IIA Lot CA-4 Block TBD

General Location Intersection of Roys Drive and Randas Way

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	<u>PD-79</u>	Current Use	<u>Open Space</u>		
Proposed Zoning	<u>Same</u>	Proposed Use	<u>Open Space / Amenity Center</u>		
Acreage	<u>0.782</u>	Lots [Current]	<u>1</u>	Lots [Proposed]	<u>1</u>

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Hines</u>	<input checked="" type="checkbox"/> Applicant	<u>Cody Johnson Studio, LLC</u>
Contact Person	<u>Jose Campos</u>	Contact Person	<u>Cody Johnson</u>
Address	<u>2200 Ross Ave. Suite 4200</u>	Address	<u>9720 Coit Road Suite 220-333</u>
City, State & Zip	<u>Dallas, TX 75201</u>	City, State & Zip	<u>Plano, TX 75025</u>
Phone	<u>214-882-1750</u>	Phone	<u>903-570-0162</u>
E-Mail	<u>jose.campos@hines.com</u>	E-Mail	<u>cody@codyjohnsonstudio.com</u>

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jay [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 9th day of JULY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 9th day of JULY, 2020.

Owner's Signature

Jay

Notary Public in and for the State of Texas

Lisset Cervantes



My Commission Expires

2/19/2024

0 250 500 Feet

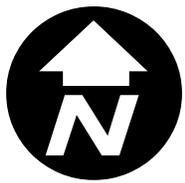
SP2020-012 - SADDLE STAR EST. AMENITY CTR  
SITE PLAN - LOCATION MAP = 

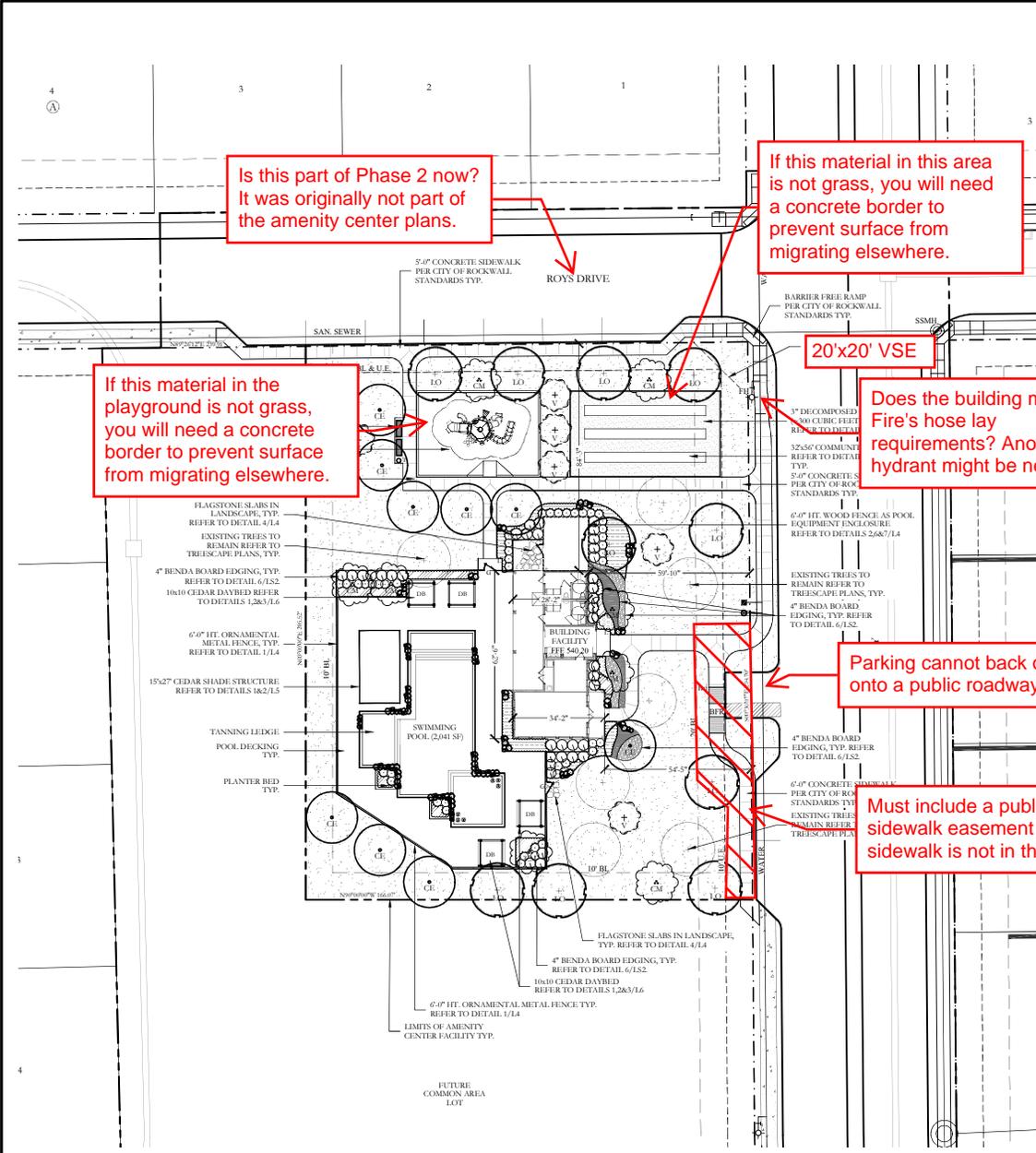


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**LANDSCAPE PROVIDED**

- ROYS DRIVE  
 A. MINIMUM TEN (10) FEET  
 B. 1-4" CAL. CANOPY TREE, 164 LF OF FRONTAGE / 5 PROVIDED: 4-4" CA  
 RANDAS WAY  
 A. MINIMUM TEN (10) FEET  
 B. 1-4" CAL. CANOPY TREE, 207 LF OF FRONTAGE / 5 PROVIDED: 4-4" CA PLUS 3-L
- NOTE: IRRIGATION DESIGN WILL MEET

**PLANT LEGEND**

SYMBOL	SCIENTIFIC NAME	SIZE	SPACING		
[Symbol]	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN		
[Symbol]	ELMUS CRASSIFOLIA	4" CALIPER	AS SHOWN		
[Symbol]	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN		
[Symbol]	LAGERSTROEMIA INDICA 'NATCHIGZ'	2" CALIPER	AS SHOWN		
[Symbol]	LEUCOPHYLLUM FRUTICOSUM	7 GALLON	48" O.C.		
[Symbol]	LIGUSTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.		
[Symbol]	PENNISTEMUM ALOPECUROIDES 'FLAMEL'	1 GALLON	18" O.C.		
[Symbol]	GULF MUHLY GRASS	MULLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	
[Symbol]	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	
[Symbol]	WEeping LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	
[Symbol]	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	
[Symbol]	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	
[Symbol]	BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 41 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER	
[Symbol]	TEXAS RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 41 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"	
[Symbol]	OKLAHOMA MOSS ROCK BOULDERS	1.5' DIAMETER	REFER TO DETAIL 1/LS2	TON	AS SHOWN

M - Submit an overall view showing the different phases and the amenity center.  
 M - How is the amenity center tying into Phase 1?  
 M - Not fully reviewed until the phase limits are clearly shown.  
 M - No sewer available for phase 3 according to the infrastructure study.  
 M - No water service agreement for Rockwall to serve water.  
 M - Prove that the amenity center is detained for now.

Is this part of Phase 2 now? It was originally not part of the amenity center plans.

If this material in this area is not grass, you will need a concrete border to prevent surface from migrating elsewhere.

If this material in the playground is not grass, you will need a concrete border to prevent surface from migrating elsewhere.

20'x20' VSE

Does the building meet Fire's hose lay requirements? Another hydrant might be needed.

Parking cannot back out onto a public roadway.

Must include a public sidewalk easement where sidewalk is not in the ROW.

**LOT CA-4 SITE INFORMATION**  
 ZONING: PD-79  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 34/78.00 S.F. OR 0.782 ACRES  
 BUILDING AREA: 1,909.00 SF  
 BUILDING HEIGHT: 21'-0" (1 STORY)  
 FLOOR TO AREA: 0.000571 (1,909 / 34,078)  
 LOT COVERAGE: 0.056%  
 PARKING REQUIRED: 10 SPACES  
 PARKING PROVIDED: 10 TOTAL (WITH 1 HANDICAP)  
 HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS  
 PROPOSED IMPERVIOUS COVERAGE: 11,315.30 SF  
 PROPOSED IMPERVIOUS RATIO: 0.3379 OR 33.79%



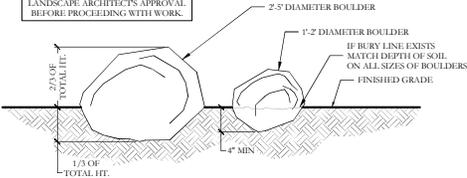
**LANDSCAPE PLAN  
 SADDLE STAR ESTATES  
 SOUTH PHASE TWO A  
 LOT CA-4  
 ~AMENITY CENTER~**

BEING 0.782 ACERS SITUATED IN THE:  
 P.B. HARRISON SURVEY, A-97  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS

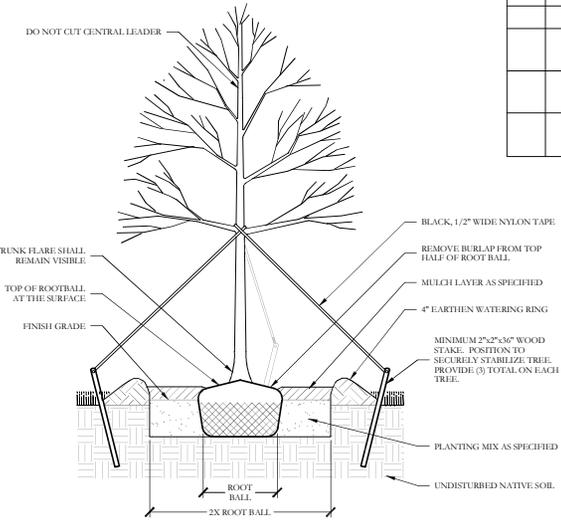
**OWNER / DEVELOPER:**  
 HINES  
 2200 ROSS AVENUE, SUITE 4200  
 DALLAS, TEXAS 75201  
 CONTACT: JOSE CAMPOS  
 PH: (214) 882-1750

**LANDSCAPE ARCHITECT:**  
 CODY JOHNSON STUDIO, LLC  
 9720 COIT ROAD, SUITE 220-333  
 PLANO, TEXAS 75025  
 PH: (972) 570-0162  
 CONTACT: CODY JOHNSON, RLA, ASLA, LI  
 EMAIL: CODY@CODYJOHNSONSTUDIO.COM

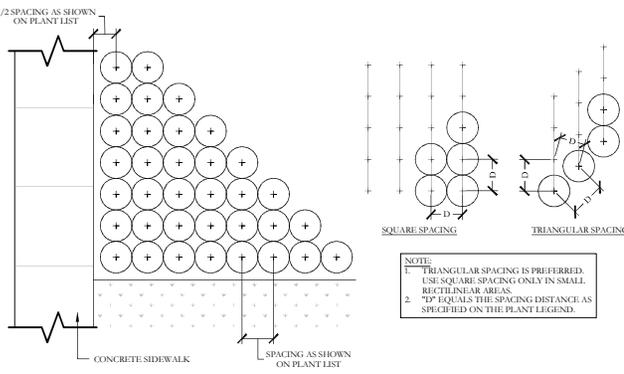
NOTE: FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.



1 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

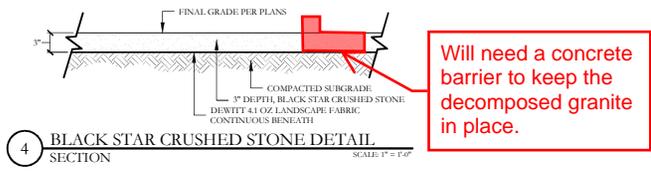


2 TYPICAL TREE PLANTING SECTION NOT TO SCALE

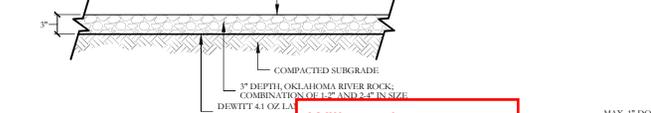


3 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	10	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	9	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	6	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CM	8	CRAPE MYRTLE 'NATCHEZ'	LAGARSTROEMIA INDICA 'NATCHEZ'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	38	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	44	SUNSHINE LIGSTRUM	LIGSTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	85	GULF MUILLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	240	WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	135	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	17,45	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN REFER TO DETAIL 4/1,2.
	180	BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 40 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 4/1,2.
	220	TEXAS RIVER ROCK MIXTURE OF	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 40 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 2" AND 2-1/2" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 5/1,2.
	5	OKLAHOMA MOSS ROCK BOULDERS	50 LB TO 250 LB MAX SIZE	TON	AS SHOWN	FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECTS APPROVAL BEFORE PROCEEDING WITH WORK. REFER TO DETAIL 1/1,2.



4 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"



5 OKLAHOMA RIVER ROCK BED DETAIL SECTION

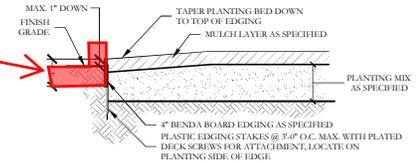
GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT—CONTACT THE PUBLIC WORKS DEPARTMENT.
  2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
  3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND INSURANCE OR A CERTIFICATE OF OCCUPANCY.
  4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.
- LANDSCAPE STANDARDS:**
1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
  2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
  3. A MINIMUM THREE FEET (3) RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
  4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (6') MINIMUM FROM THE WATER METER.
  5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z603-2006) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
  6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
  7. A 2'-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
  8. TREE PITS SHALL BE TESTED FOR WATER PULPURATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24 HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  9. ALL BIDS TO HAVE: 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
  10. ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

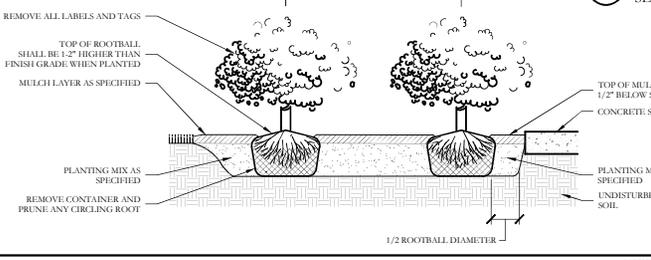
- IRRIGATION STANDARDS:**
1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
  2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
  4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
  5. IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
  6. VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
  7. THE MORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LINES SHALL PROVIDE (7') OF CLEARANCE (MINIMUM).
  8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
  9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
  2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
  3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VIOLATE OR OBSTRUCT TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
  4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
  5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
  2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (6") TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
  3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND INSPECTED BY DEVELOPMENT SERVICES.
  4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
  5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
  6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
  7. GRADE CHANGES IN EXCESS OF 3 INCHES CUT OR FILL SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
  8. NO TRENCING SHALL BE ALLOWED WITHIN THE DRIP LINE OF A TREE, UNLESS APPROVED BY THE CITY.
  9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULLED OFF-SITE.
  10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



6 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE



NOT TO SCALE

LANDSCAPE DETAIL  
SADDLE STAR ESTATES  
SOUTH PHASE TWO A  
LOT CA-4  
~AMENITY CENTER~  
BEING 0.782 ACERS SITUATED IN THE  
P.B. HARRISON SURVEY, A-97  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

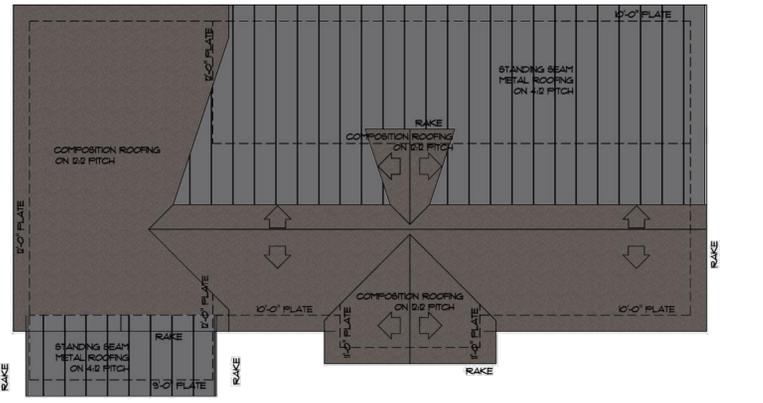
**OWNER / DEVELOPER:**  
HINES  
2200 ROSS AVENUE, SUITE 4200  
DALLAS, TEXAS 75201  
CONTACT: JOSE CAMPOS  
PH. (214) 882-1750

**LANDSCAPE ARCHITECT:**  
CODY JOHNSON STUDIO, LLC  
9720 COIT ROAD, SUITE 220-333  
PLANO, TEXAS 75025  
PH. (972) 570-0162  
CONTACT: CODY JOHNSON, RLA, AIA, LI  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

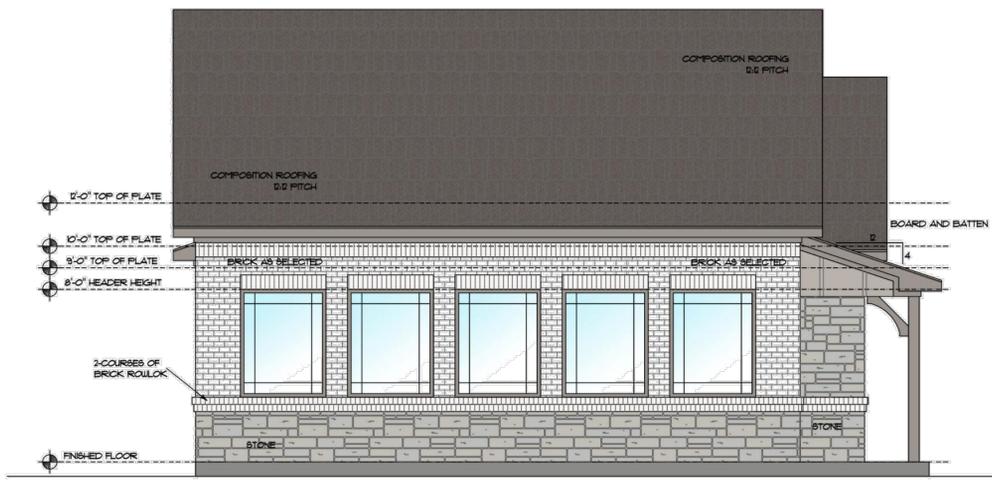


10/17, 2020

SUBMITTAL DATE: June 19, 2020 152 of 2



**ROOF PLAN**  
 ROOFING MATERIAL AS SPECIFIED  
 COR. CUTTERED  
 SCALE 1/8"=1'0"



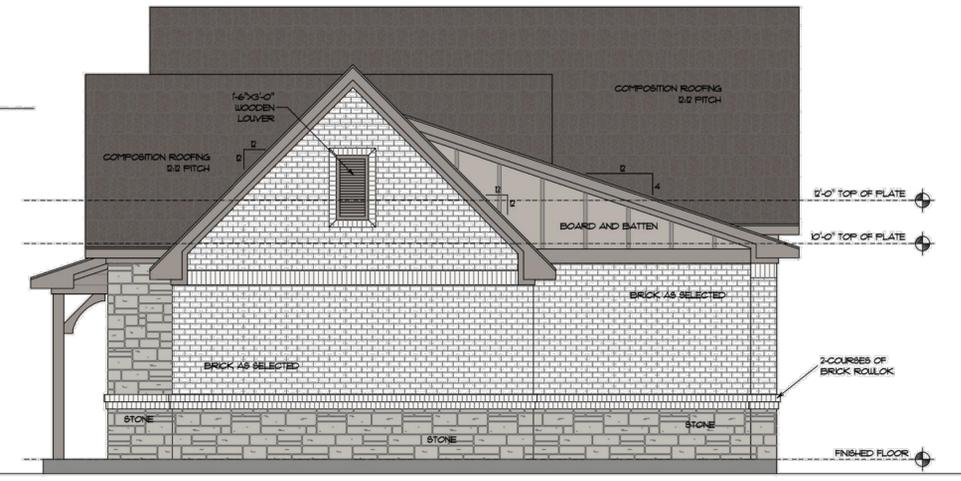
**RIGHT ELEVATION**  
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	222 SQ. FT. 10.0%
STONE	87 SQ. FT. 21.5%
SIDING	8 SQ. FT. 2.5%
NET TOTAL	317 SQ. FT. 100%



**REAR ELEVATION**  
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	336 SQ. FT. 11.3%
STONE	90 SQ. FT. 20.6%
SIDING	9 SQ. FT. 2.1%
NET TOTAL	435 SQ. FT. 100%



**LEFT ELEVATION**  
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	263 SQ. FT. 67.5%
STONE	91 SQ. FT. 23.3%
SIDING	36 SQ. FT. 9.2%
NET TOTAL	390 SQ. FT. 100%



**FRONT ELEVATION**  
 SCALE 1/4"=1'0"

MATERIAL LIST	
BRICK	374 SQ. FT. 10.5%
STONE	87 SQ. FT. 23.5%
NET TOTAL	531 SQ. FT. 100%

**OWNER / DEVELOPER:**  
 HINES  
 2200 ROSS AVENUE, SUITE 4200  
 DALLAS, TEXAS 75201  
 CONTACT: JOSE CAMPOS  
 PH. (214) 882-1750

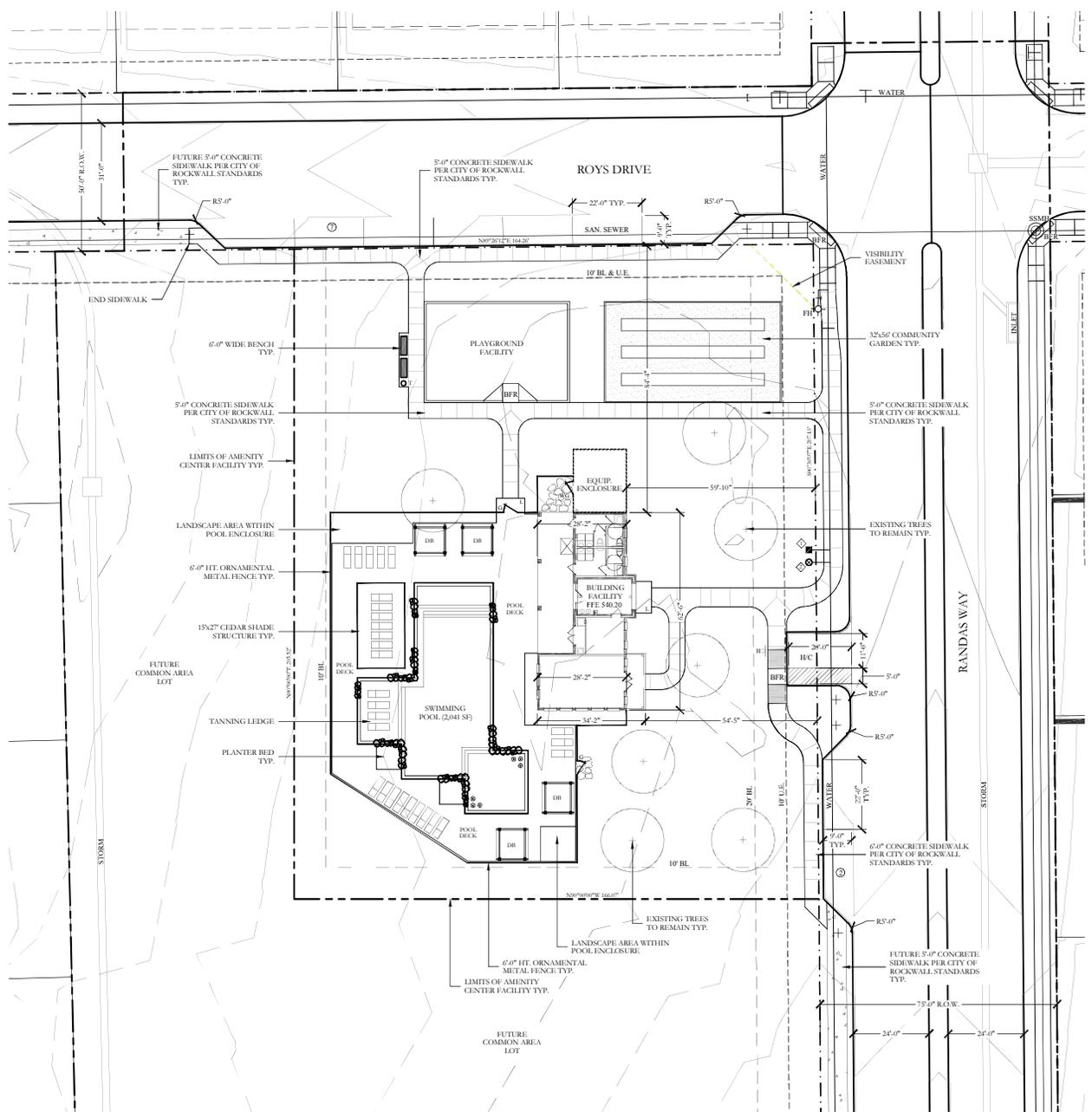
**LANDSCAPE ARCHITECT:**  
 CODY JOHNSON STUDIO, LLC  
 9720 COIT ROAD, SUITE 220-333  
 PLANO, TEXAS 75025  
 PH. (903) 570-0162  
 CONTACT: CODY JOHNSON, RLA, ASLA, LI  
 EMAIL: CODY@CODYJOHNSONSTUDIO.COM

**BUILDING ELEVATIONS**  
**SADDLE STAR ESTATES**  
**SOUTH PHASE TWO A**  
**LOT CA-4**  
**~AMENITY CENTER~**

BEING 0.782 ACERS SITUATED IN THE P.B.  
 HARRISON SURVEY, A-97  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: April 17, 2020

CITY PROJECT NO. TBD



**LEGEND**

- PROPOSED PARKING COUNT
- BFR BARRIER FREE RAMP
- H/C HANDICAP PARKING SPACE VAN ACCESSIBLE
- ⊕ FH EXISTING FIRE HYDRANT
- ⊙ SSMH EXISTING SANITARY SEWER MANHOLE
- +— EXISTING WATER MAIN W/ VALVE
- S—S— EXISTING SANITARY SEWER
- +—+— EXISTING STORM
- C—C— EXISTING CURB INLET
- +—+— RIGHT-OF-WAY
- 75— EXISTING CONTOUR INTERVAL
- FFE 540.20 FINISHED FLOOR ELEVATION
- ⊕ PROPOSED DOMESTIC WATER METER
- ⊙ PROPOSED IRRIGATION WATER METER
- +—+— 6.0' HT. ORNAMENTAL METAL FENCE AS POOL FACILITY ENCLOSURE
- +—+— 6.0' HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRAM TOTE ENCLOSURE
- WG 7 1. 4" WIDTH SELF LATCHING SELF CLOSING WOODEN GATE
- G 7 1. 4" WIDTH SELF LATCHING SELF CLOSING METAL GATE
- L 5x5 SIDEWALK PASSING LANE AND/OR RAMP LANDING
- H 5x5 HANDICAP PARKING SIGN
- DB 10x10 CEDAR DAYBED
- 6.0' PARK BENCH
- TRASH RECEPTACLE

**LOT CA-4 SITE INFORMATION**

ZONING PD-79  
 PROPOSED USE PRIVATE RECREATION CENTER  
 LAND AREA 34,078.00 S.F. OR 0.782 ACRES  
 BUILDING AREA 1,909.00 SF  
 BUILDING HEIGHT 21'-0" (1 STORY)  
 FLOOR TO AREA 0.006571 (1,909/34,078)  
 LOT COVERAGE 0.056%  
 PARKING REQUIRED 10 SPACES  
 PARKING PROVIDED 10 TOTAL (WITH 1 HANDICAP)  
 HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS  
 PROPOSED IMPERVIOUS COVERAGE 11,515.50 SF  
 PROPOSED IMPERVIOUS RATIO 0.3379 OR 33.79%

**SITE PLAN NOTES**

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMP NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AREA.
- STANDARD PARALLEL PARKING SPACES SHALL BE A MINIMUM OF 9'-0" WIDTH x 20'-0" LENGTH.
- ALL PARKING SPACES SHALL BE EXISTING AND ARE PROPOSED FOR CITY REVIEW UNDER THE PHASE TWO DEVELOPMENT PLANS.
- THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

**WATER METER SCHEDULE**

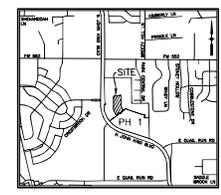
METER NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM	METER IRR	SAN SERVICE SIZE
⊕	1.5"	1.5"	X		2"
⊙	1.5"	1.5"		X	

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning



**LOCATION MAP**  
NOT TO SCALE

**SITE PLAN**  
**SADDLE STAR ESTATES**  
**SOUTH PHASE TWO A**  
**LOT CA-4**  
**~AMENITY CENTER~**

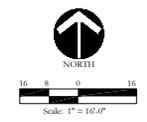
BEING 0.782 ACERS SITUATED IN THE P.B. HARRISON SURVEY, A-97 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER / DEVELOPER:**

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 DALLAS, TEXAS 75201  
 CONTACT: JOSE CAMPOS  
 PH. (214) 882-1750

**LANDSCAPE ARCHITECT:**

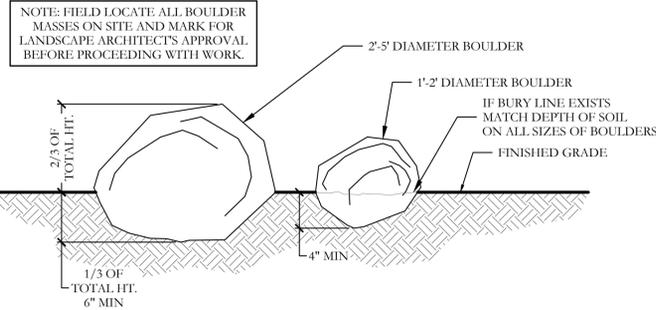
CODY JOHNSON STUDIO, LLC  
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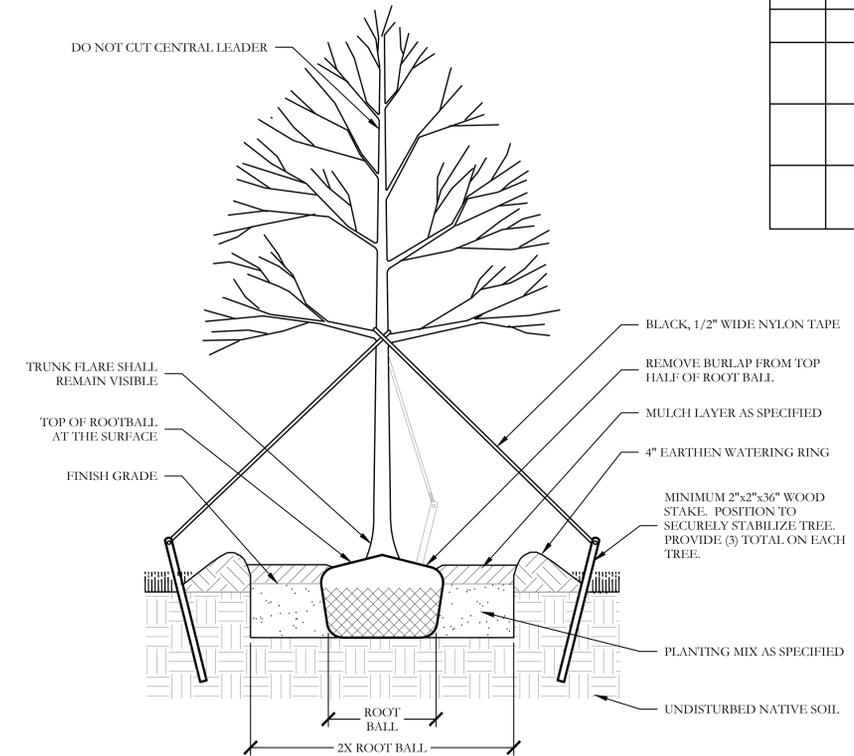
SUBMITTAL DATE: July 17, 2020

CITY PROJECT NO.

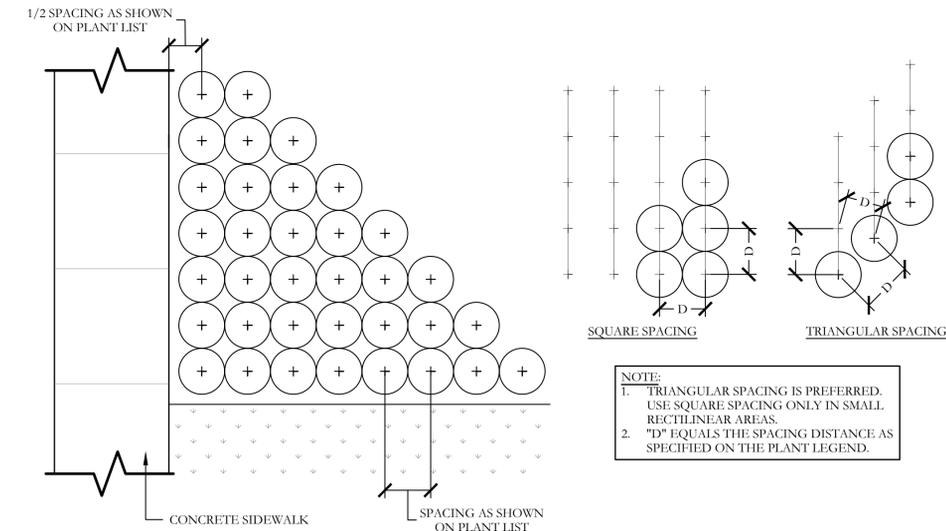




1 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

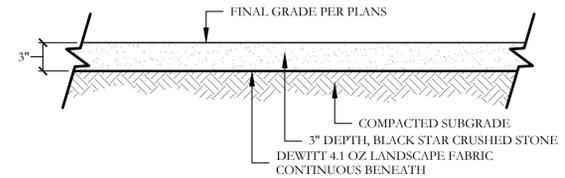


2 TYPICAL TREE PLANTING SECTION NOT TO SCALE

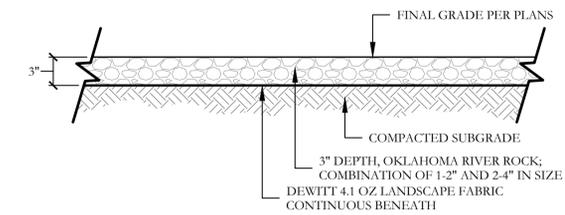


3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION

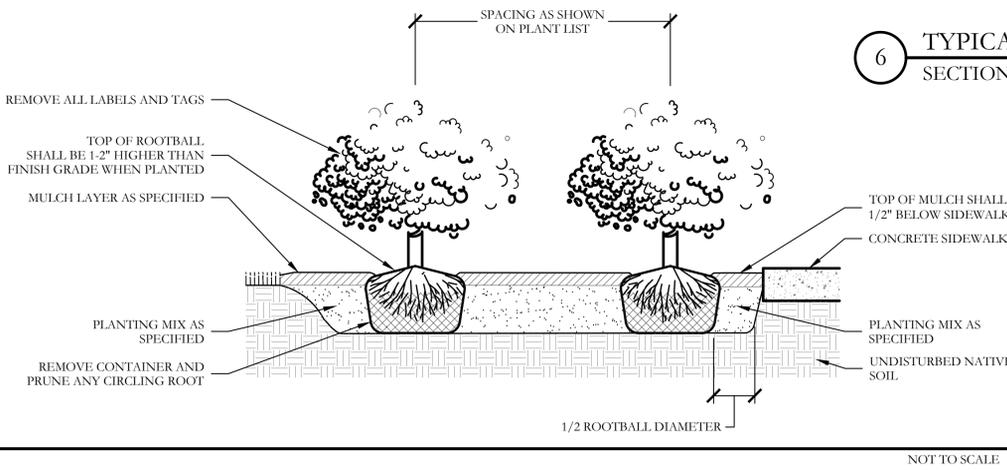
PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	10	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	9	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	6	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CM	8	CRAPE MYRTLE 'NATCHEZ'	LAGERSTROEMIA INDICA 'NATCHEZ'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	38	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	44	SUNSHINE LIGISTRUM	LIGISTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	85	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	240	WEeping LOVE GRASS	ERAGROSIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	135	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	17,745	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	180	BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.0 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 4/L/2.
	220	TEXAS RIVER ROCK; MIXTURE OF	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.0 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 5/L/2.
	5	OKLAHOMA MOSS ROCK BOULDERS	50 LB TO 250 LB MAX SIZE	TON	AS SHOWN	FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK. REFER TO DETAIL 1/L/2.



4 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"



5 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



6 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE

GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
  - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
  - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
  - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
  - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
  - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
  - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
  - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
  - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
  - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
  - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
  - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
  - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
  - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
  - VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
  - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
  - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
  - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
  - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
  - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRoACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
  - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
  - STEEL STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
  - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
  - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
  - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
  - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
  - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
  - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
  - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR Hauled OFF-SITE.
  - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

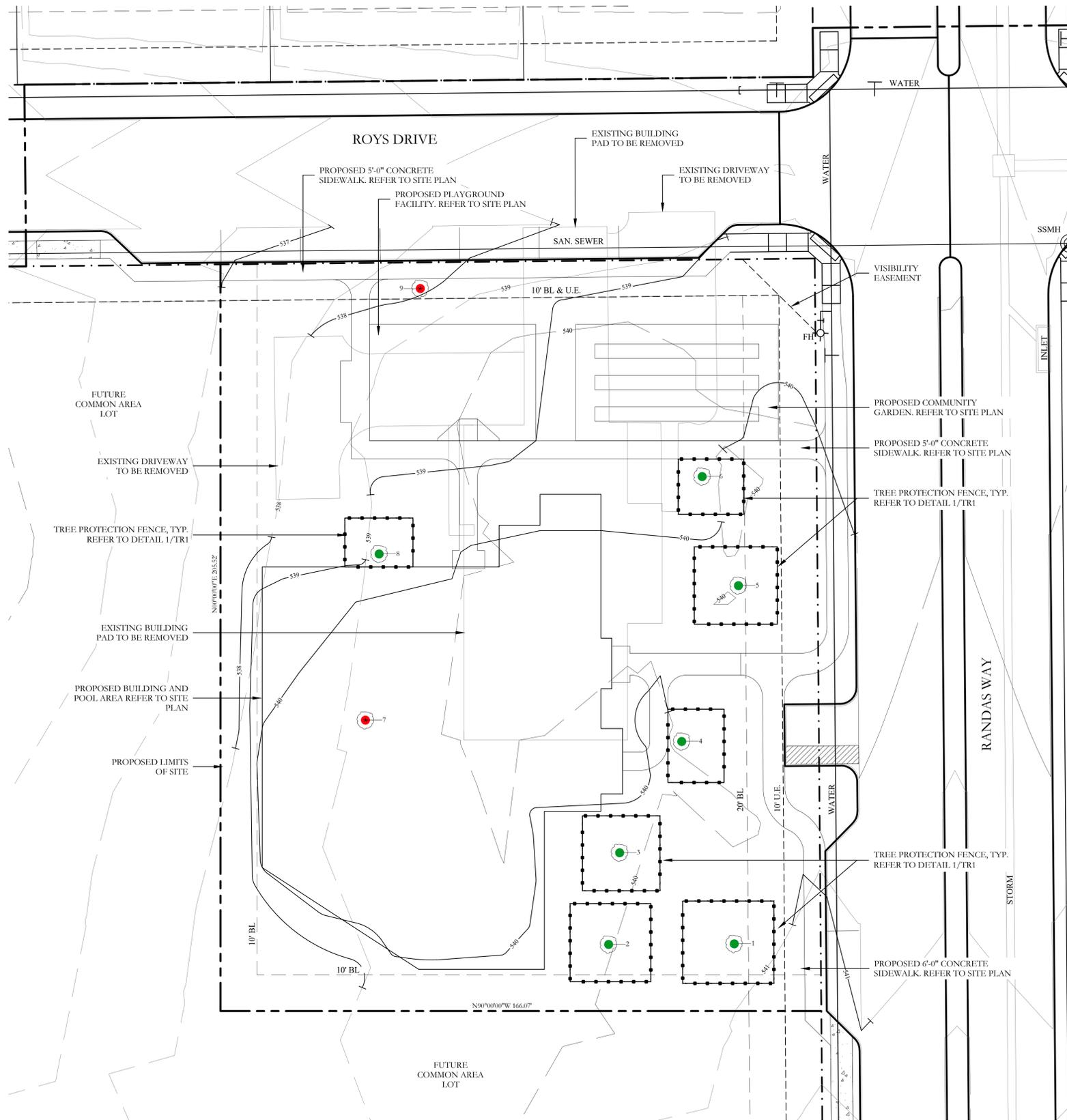
LANDSCAPE DETAIL  
SADDLE STAR ESTATES  
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LOT CA-4  
~AMENITY CENTER~

BEING 0.782 ACERS SITUATED IN THE  
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**OWNER / DEVELOPER:**  
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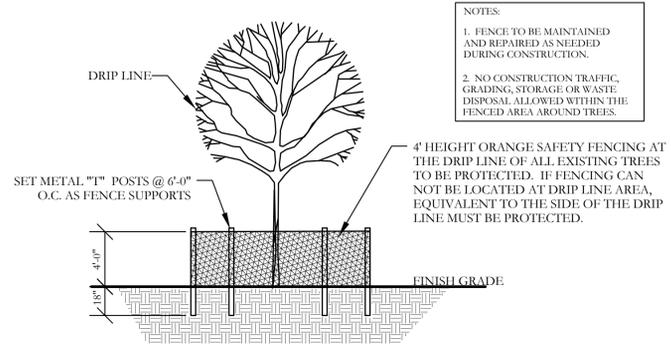
**LEGEND**

- - 2 EXISTING TREE TO BE REMOVED
- - 2 EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN. TYP.

Tree ID Number	Tree Size DBH	Common Name	Scientific Name	Condition of Tree	Remove or Remain	Tree Location	Credit Ratio	Negative Mitigation Credit	Positive Mitigation Credit
1	15.0	Pecan	<i>Carya illinoensis</i>	Healthy	Remain	Lot	1	0.00	15.00
2	12.0	Pear	<i>Pyrus calleryana</i>	Healthy	Remain	Lot	1	0.00	12.00
3	10.0	Pin Oak	<i>Quercus palustris</i>	Healthy	Remain	Lot	1	0.00	10.00
4	18.0	Chinese Tallow	<i>Tnaadca sebifera</i>	Healthy	Remain	Lot	1	0.00	18.00
5	20.0	Live Oak	<i>Quercus virginiana</i>	Healthy	Remain	Lot	1	0.00	20.00
6	12.0	Magnolia	<i>Magnolia grandiflora</i>	Healthy	Remain	Lot	1	0.00	12.00
7	18.0	Unknown	Unknown	Damaged	Remove	Lot	1	18.00	0.0
8	18.0	Pin Oak	<i>Quercus palustris</i>	Healthy	Remain	Lot	1	0.00	18.00
9	24.0	Pin Oak	<i>Quercus palustris</i>	Damaged	Remove	Easement	0	0.00	0.0
<b>Total Tree Population</b>								<b>147.00</b>	
								<b>Total Negative Mitigation Credits, caliper inches</b>	<b>18.00</b>
								<b>Total Positive Mitigation Credits, caliper inches</b>	<b>105.00</b>
<b>Total Positive Credits (cal. in.)</b>									<b>87.00</b>

- TREE PROTECTION NOTES**
- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
  - DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
  - NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
  - NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
  - NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.



**1 TREE PROTECTION DETAIL** NOT TO SCALE

**LOT CA-4 SITE INFORMATION**

ZONING: PD-79  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 34,078.00 S.F. OR 0.782 ACRES

BUILDING AREA: 1,909.00 SF  
 BUILDING HEIGHT: 21'-0" (1 STORY)  
 FLOOR TO AREA: 0.00057:1 [1,909/34,078]  
 LOT COVERAGE: 0.056%

PARKING REQUIRED: 10 SPACES  
 PARKING PROVIDED: 10 TOTAL (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

PROPOSED IMPERVIOUS COVERAGE: 11,515.50 SF  
 PROPOSED IMPERVIOUS RATIO: 0.3379 OR 33.79%

**TREESCAPE PLAN**  
**SADDLE STAR ESTATES**  
**SOUTH PHASE TWO A**  
**LOT CA-4**  
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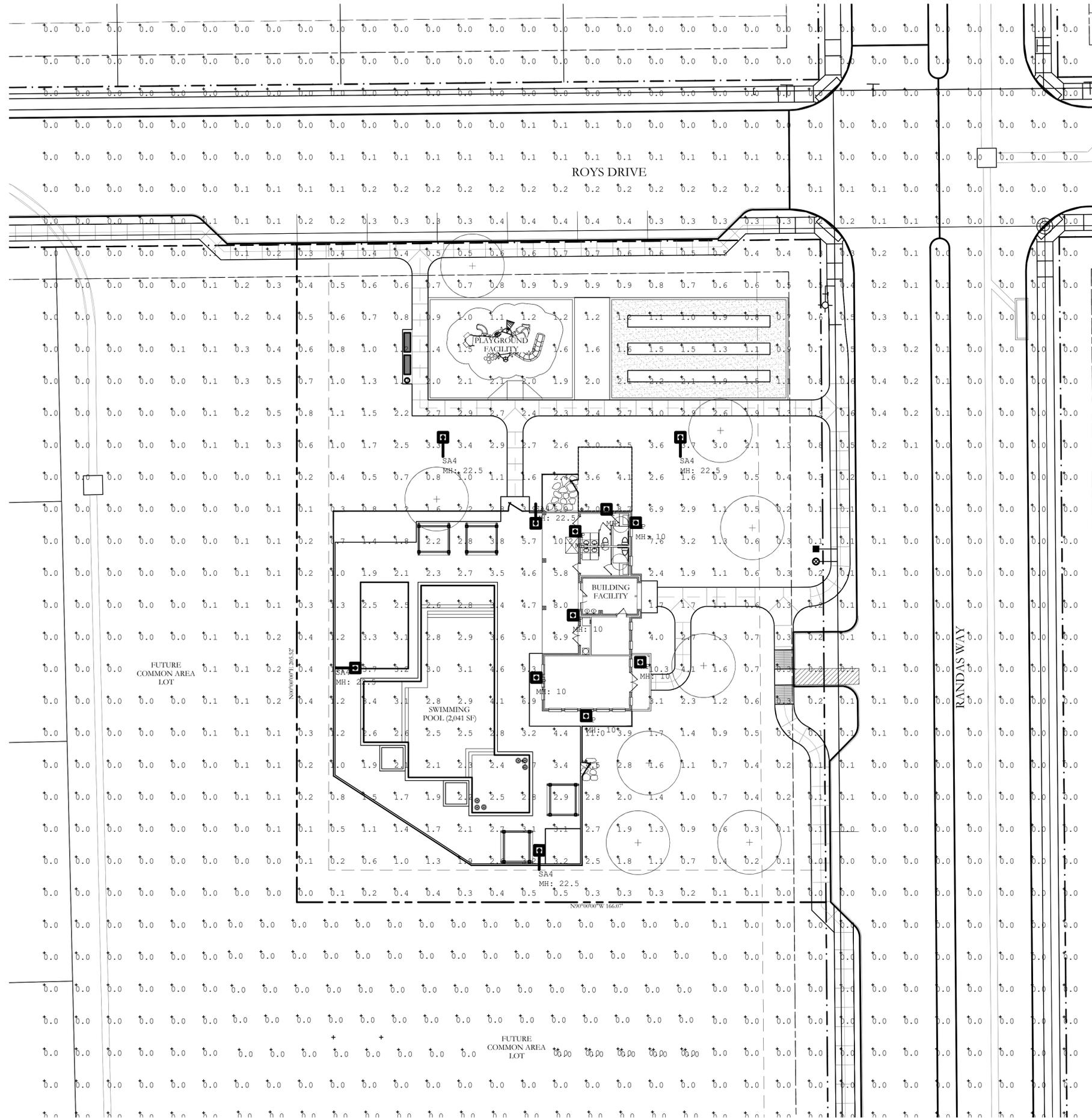
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July 17, 2020

SUBMITTAL DATE: July 17, 2020



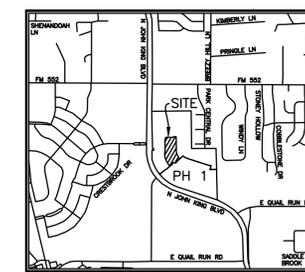
Luminaire Schedule						
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lumens/Lamp
5		SA4	0.900	Gardco - ECF-S-32L-1A-NW-G2-4-HIS	105.6	N.A.
7		WP	0.900	Komee - KMWP-45-40-FC	46.2	4520.8
						4523

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Overall	Illuminance	Fc	0.47	11.0	0.0	N.A.
Lap Pool	Illuminance	Fc	1.71	3.0	0.7	2.44
Pool	Illuminance	Fc	3.18	11.0	0.7	4.54

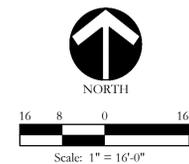
- NOTES  
 1. Calc at grade level  
 2. Mounting  
 \* Type SA = On a 20' pole on a 2.5' base  
 Type WM = 10' AFG

ERVEN ROVINSKY  
 AND ASSOCIATES, INC.  
 Consulting Engineers  
 T.R.E.F. F-2513

7-7-20  
 12250 INWOOD RD STE9  
 DALLAS, TEXAS 75244  
 972-233-2981  
 ERovinsky@aol.com



LOCATION MAP  
 NOT TO SCALE



PHOTOMETRIC PLAN  
 SADDLE STAR ESTATES  
 SOUTH PHASE TWO A  
 LOT CA-4  
 ~AMENITY CENTER~

BEING 0.782 ACERS SITUATED IN THE  
 P.B. HARRISON SURVEY, A-97  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS

OWNER / DEVELOPER:  
 HINES  
 2200 ROSS AVENUE, SUITE 4200  
 DALLAS, TEXAS 75201  
 CONTACT: JOSE CAMPOS  
 PH. (214) 882-1750

LANDSCAPE ARCHITECT:  
 CODY JOHNSON STUDIO, LLC  
 9720 COIT ROAD, SUITE 220-333  
 PLANO, TEXAS 75025  
 PH. (903) 570-0162  
 CONTACT: CODY JOHNSON, RLA, ASLA, LI  
 EMAIL: CODY@CODYJOHNSONSTUDIO.COM

SUBMITTAL DATE: July 17, 2020



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** David Gonzales, Planning and Zoning Manager  
**DATE:** August 11, 2020  
**SUBJECT:** SP2020-012; *Site Plan for the Amenity Center for the Saddle Star Estates Addition*

---

The applicant, Cody Johnson of Cody Johnson Studio, LLC, is requesting approval of a site plan for an amenity center for the Saddle Star Estates Subdivision. The subject property is a 0.782-acre portion of a larger two (2) acre tract of land that is within the Open Space/Common Area for the Saddle Star Estates Subdivision. It is generally located at the southwest corner of the intersection of Roy's Drive and Randa's Way. On March 12, 2019, the Planning and Zoning Commission approved a PD Site Plan (*i.e. Case No. SP2019-005*) for Saddle Star South Subdivision, which included the proposed location for the amenity center, which is to be constructed with Phase 2 of the development. The site plan currently under consideration is a detail layout of this amenity center showing the landscape plan and amenities package, which include a swimming pool, community garden, and playground facilities. The ~1,909 SF amenity center will be constructed of stone and brick, and will have a composition and standing seam metal roof. On July 28, 2020, the Architectural Review Board (ARB) reviewed the proposed building elevations for the amenity center and is forwarding a recommendation of approval. This recommendation passed by a vote of vote of 4-0, with Board Members Meyrat, Neill, and Johnson absent. The proposed site plan meets all of the applicable technical requirements of Planned Development District 79 (PD-79), and as a result is being placed on the consent agenda for approval.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-012

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

### Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

### Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

### Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

### Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

### Notes:

<sup>1</sup>: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

## PROPERTY INFORMATION [PLEASE PRINT]

Address TBD

Subdivision Saddle Star Estates Phase IIA Lot CA-4 Block TBD

General Location Intersection of Roys Drive and Randas Way

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	<u>PD-79</u>	Current Use	<u>Open Space</u>		
Proposed Zoning	<u>Same</u>	Proposed Use	<u>Open Space / Amenity Center</u>		
Acreage	<u>0.782</u>	Lots [Current]	<u>1</u>	Lots [Proposed]	<u>1</u>

**SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Hines</u>	<input checked="" type="checkbox"/> Applicant	<u>Cody Johnson Studio, LLC</u>
Contact Person	<u>Jose Campos</u>	Contact Person	<u>Cody Johnson</u>
Address	<u>2200 Ross Ave.</u> <u>Suite 4200</u>	Address	<u>9720 Coit Road</u> <u>Suite 220-333</u>
City, State & Zip	<u>Dallas, TX 75201</u>	City, State & Zip	<u>Plano, TX 75025</u>
Phone	<u>214-882-1750</u>	Phone	<u>903-570-0162</u>
E-Mail	<u>jose.campos@hines.com</u>	E-Mail	<u>cody@codyjohnsonstudio.com</u>

## NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jay [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \_\_\_\_\_, to cover the cost of this application, has been paid to the City of Rockwall on this the 9th day of JULY, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 9th day of JULY, 2020.

Owner's Signature

Jay

Notary Public in and for the State of Texas

Lisset Cervantes



My Commission Expires

2/19/2024

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 8/5/2020

PROJECT NUMBER: SP2020-012  
PROJECT NAME: Saddle Star Estates  
SITE ADDRESS/LOCATIONS:  
CASE CAPTION:

CASE MANAGER: Angelica Gamez  
CASE MANAGER PHONE: 972-772-6438  
CASE MANAGER EMAIL: agamez@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/05/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	08/05/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	David Gonzales	08/05/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	David Gonzales	08/05/2020	Approved

08/05/2020: Revision 1 - SP2020-012; Site Plan for Saddle Star Amenities Center

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email [dgonzales@rockwall.com](mailto:dgonzales@rockwall.com).

I.2 This project is subject to all requirements stipulated by the Unified Development Code (UDC), Planned Development District No. 79 (PD-79), and the Development Standards of Article 05 that are applicable to the subject property. (§01.02(D), Art. 11, UDC)

I.3 Please note that the property will require a Will Serve Letter from Mt. Zion prior to final approval of the final plat. Additionally, a replat is required prior to the issuance of a building permit. Finally, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

I.4 Please note the scheduled meetings for this case:

1) Planning & Zoning meeting (Consent Agenda) will be held on August 11, 2020.

I.5 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin 6:00 p.m. Although the meeting is scheduled for Consent, the City prefers that a representative(s) be present should there be any questions from the Planning Commission regarding this request; however, this is not required.

0 250 500 Feet

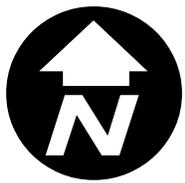
SP2020-012 - SADDLE STAR EST. AMENITY CTR  
SITE PLAN - LOCATION MAP = 

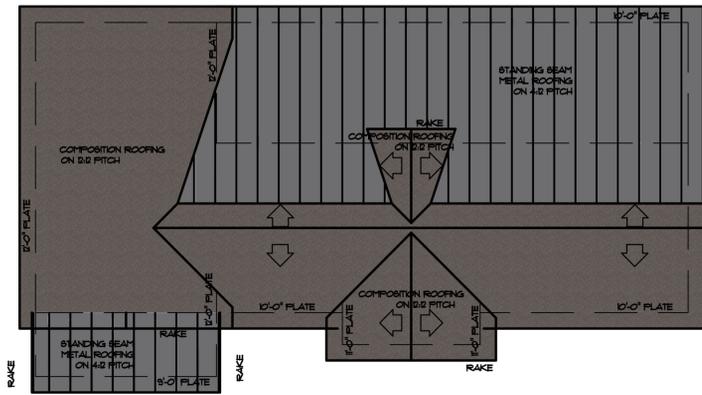


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

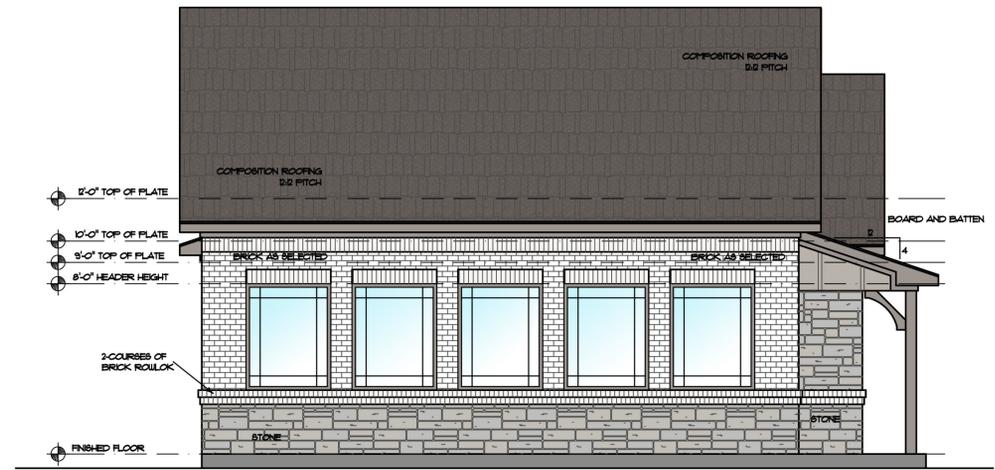




**ROOF PLAN**

ROOFING MATERIAL AS SPECIFIED  
DOCK GUTTERED

**SCALE 1/8"=1'0"**



**RIGHT ELEVATION**

**SCALE 1/4"=1'0"**

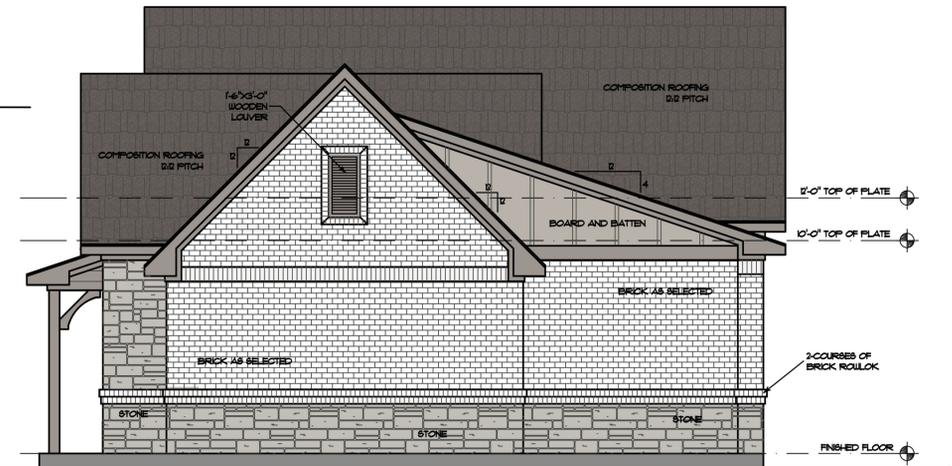
MATERIAL LIST	
BRICK	222 SQ. FT. 10.0%
STONE	87 SQ. FT. 21.5%
SIDING	8 SQ. FT. 2.5%
NET TOTAL 317 SQ. FT. 100%	



**REAR ELEVATION**

**SCALE 1/4"=1'0"**

MATERIAL LIST	
BRICK	336 SQ. FT. 11.3%
STONE	90 SQ. FT. 20.6%
SIDING	9 SQ. FT. 2.1%
NET TOTAL 435 SQ. FT. 100%	



**LEFT ELEVATION**

**SCALE 1/4"=1'0"**

MATERIAL LIST	
BRICK	263 SQ. FT. 67.5%
STONE	91 SQ. FT. 23.3%
SIDING	36 SQ. FT. 9.2%
NET TOTAL 390 SQ. FT. 100%	



**FRONT ELEVATION**

**SCALE 1/4"=1'0"**

MATERIAL LIST	
BRICK	374 SQ. FT. 10.5%
STONE	87 SQ. FT. 23.5%
NET TOTAL 531 SQ. FT. 100%	

**OWNER / DEVELOPER:**  
HINES  
2200 ROSS AVENUE, SUITE 4200  
DALLAS, TEXAS 75201  
CONTACT: JOSE CAMPOS  
PH. (214) 882-1750

**LANDSCAPE ARCHITECT:**  
CODY JOHNSON STUDIO, LLC  
9720 COIT ROAD, SUITE 220-333  
PLANO, TEXAS 75025  
PH. (903) 570-0162  
CONTACT: CODY JOHNSON, RLA, ASLA, LI  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

**BUILDING ELEVATIONS**  
SADDLE STAR ESTATES  
SOUTH PHASE TWO A  
LOT CA-4  
~AMENITY CENTER~

BEING 0.782 ACERS SITUATED IN THE P.B.  
HARRISON SURVEY, A-97  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: April 17, 2020

PH1

**LEGEND**

- ⊙ PROPOSED PARKING COUNT
- BFR BARRIER FREE RAMP
- H/C HANDICAP PARKING SPACE VAN ACCESSIBLE
- FH EXISTING FIRE HYDRANT
- ⊙ SSMH EXISTING SANITARY SEWER MANHOLE
- +— EXISTING WATER MAIN W/ VALVE
- +— EXISTING SANITARY SEWER
- +— EXISTING STORM
- +— EXISTING CURB INLET
- +— RIGHT-OF-WAY
- - - - - EXISTING CONTOUR INTERVAL
- FFE 540.20 FINISHED FLOOR ELEVATION
- ⊙ PROPOSED DOMESTIC WATER METER
- ⊙ PROPOSED IRRIGATION WATER METER
- +— 6'-0" HT. ORNAMENTAL METAL FENCE AS POOL FACILITY ENCLOSURE
- +— 6'-0" HT. WOOD FENCE TO ACT AS POOL EQUIPMENT AND TRASH TOTE ENCLOSURE
- WG 1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING WOODEN GATE
- G 1 - 4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
- L 5x5 SIDEWALK PASSING LANE AND/OR RAMP LANDING
- H- 0 HANDICAP PARKING SIGN
- DB 10x10 CEDAR DAYBED
- 6'-0" PARK BENCH
- ⊙ TRASH RECEPTACLE

**LOT CA-4 SITE INFORMATION**

ZONING: PD-79  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 34,078.00 S.F. OR 0.782 ACRES  
 BUILDING AREA: 1,909.00 SF  
 BUILDING HEIGHT: 21'-0" (1 STORY)  
 FLOOR TO AREA: 0.00057:1 [1,909/34,078]  
 LOT COVERAGE: 0.056%

PARKING REQUIRED: 10 SPACES

PARKING PROVIDED: 10 TOTAL (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

PROPOSED IMPERVIOUS COVERAGE: 11,515.50 SF  
 PROPOSED IMPERVIOUS RATIO: 0.3379 OR 33.79%

**SITE PLAN NOTES:**

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- FOR ALL BARRIER FREE RAMPS NOTED ON PLAN, REFERENCE THE CITY OF ROCKWALL STANDARD CONSTRUCTION DETAILS.
- ALL HANDICAP PARKING SPACES SHALL BE A MINIMUM OF 11'-0" WIDTH x 20'-0" LENGTH WITH A 5'-0" LOADING AISLE.
- STANDARD PARALLEL PARKING SPACES SHALL BE A MINIMUM OF 9'-0" WIDTH x 20'-0" LENGTH.
- ALL PARKING SPACES SHALL BE EXISTING AND ARE PROPOSED FOR CITY REVIEW UNDER THE PHASE TWO DEVELOPMENT PLANS.
- THE PERIMETER FENCING SHALL BE 6'-0" HT. ORNAMENTAL METAL FENCE.
- ALL VEHICULAR AND SIDEWALK PAVING SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE HOA.

**WATER METER SCHEDULE**

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM.	METER IRR.	SAN. SERVICE SIZE
⊙	1.5"	1.5"	X		6"
⊙	1.5"	1.5"		X	

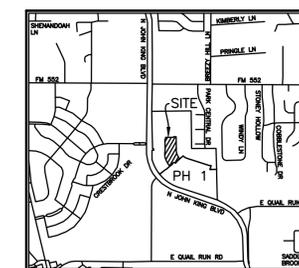
**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

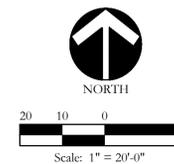
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning



**LOCATION MAP**  
NOT TO SCALE



**SITE PLAN**  
**SADDLE STAR ESTATES**  
**SOUTH PHASE TWO A**  
**LOT CA-4**  
 ~AMENITY CENTER~

BEING 0.782 ACERS SITUATED IN THE P.B. HARRISON SURVEY, A-97 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER / DEVELOPER:**

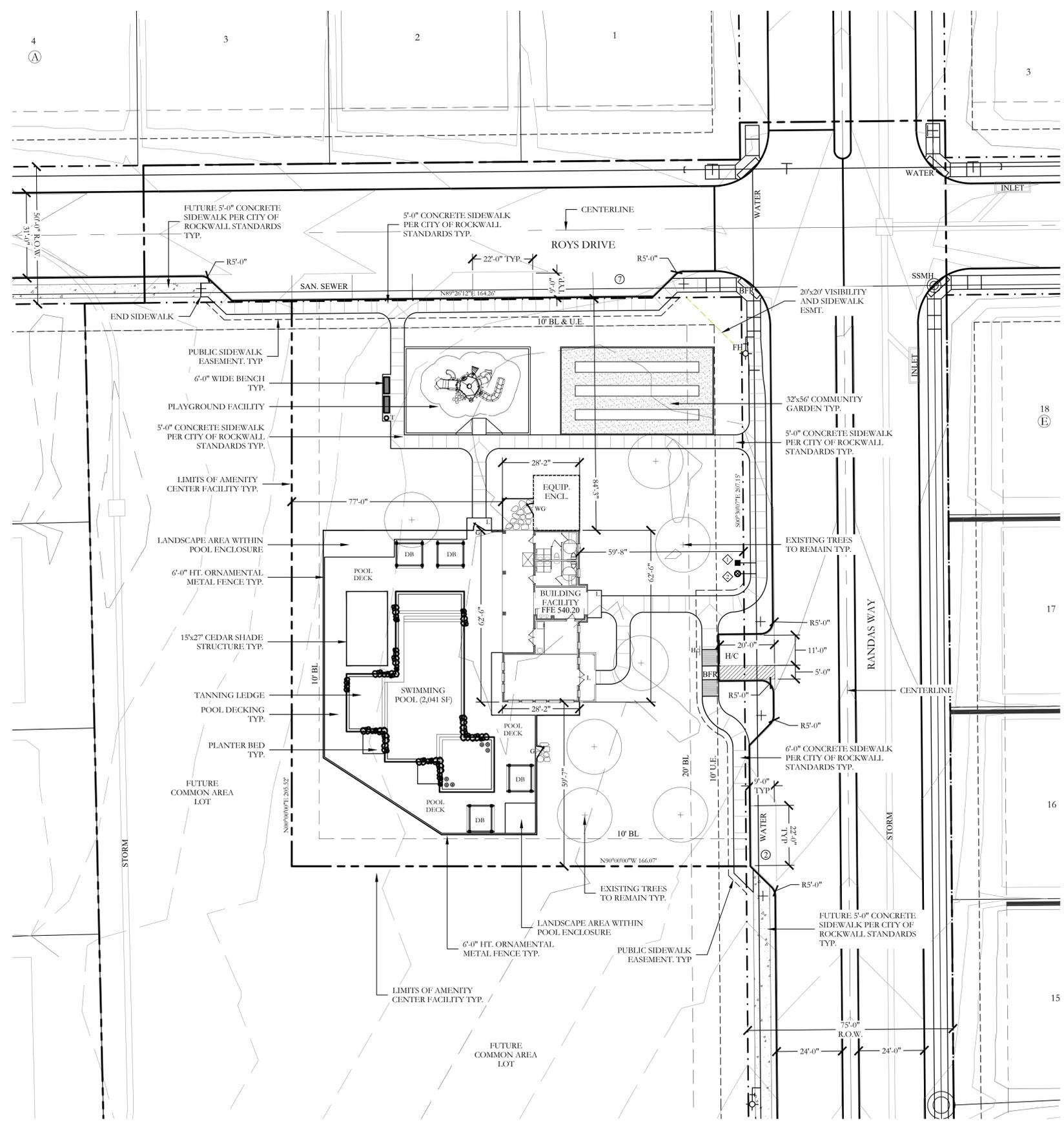
HINES  
 2200 ROSS AVENUE, SUITE 4200  
 DALLAS, TEXAS 75201  
 CONTACT: JOSE CAMPOS  
 PH. (214) 882-1750

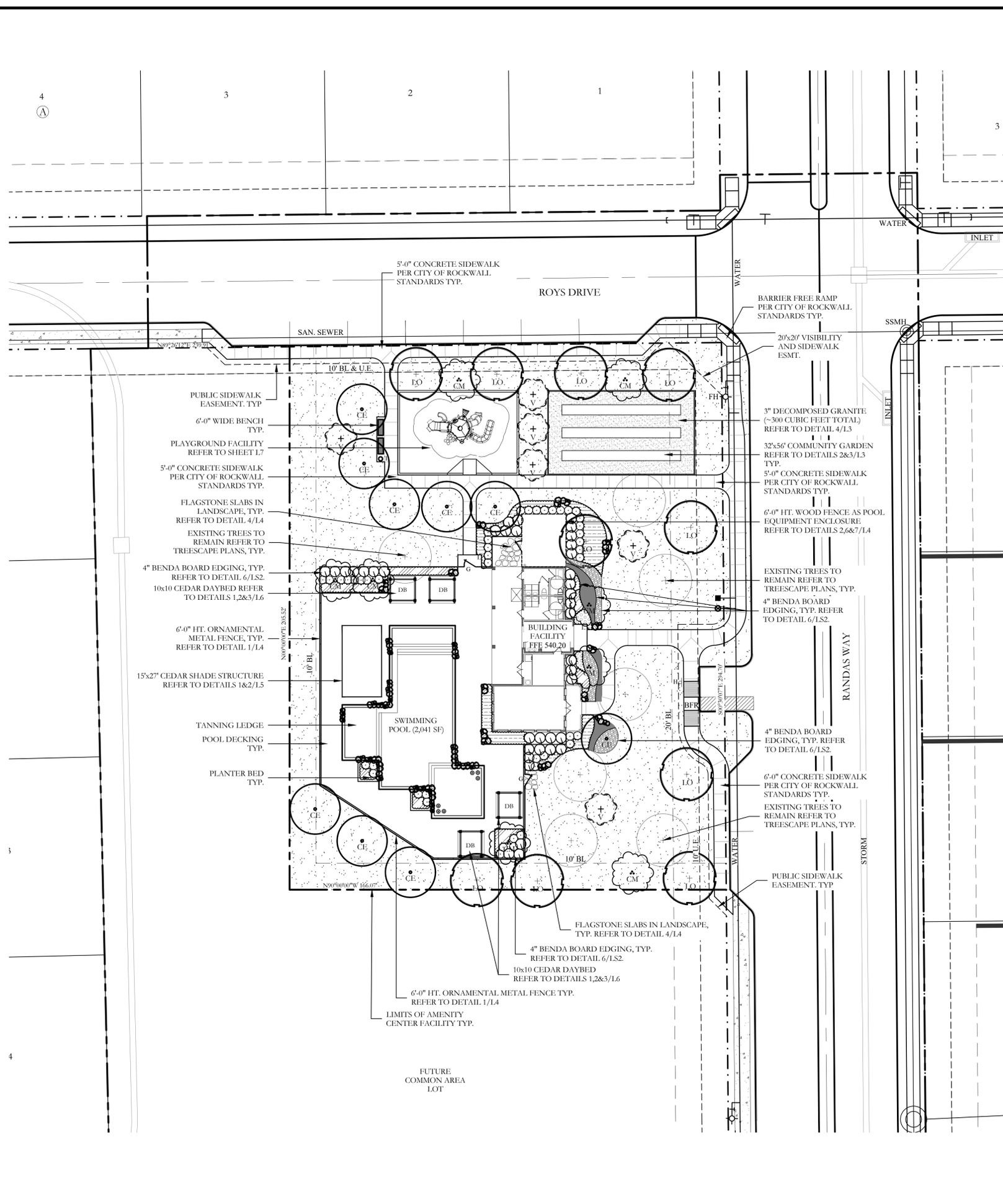
**LANDSCAPE ARCHITECT:**

CODY JOHNSON STUDIO, LLC  
 9720 COIT ROAD, SUITE 220-333  
 PLANO, TEXAS 75025  
 PH. (903) 570-0162  
 CONTACT: CODY JOHNSON, RLA, ASLA, LI  
 EMAIL: CODY@CODYJOHNSONSTUDIO.COM

SUBMITTAL DATE: July 29, 2020

CITY PROJECT NO. SP2020-012





**LANDSCAPE PROVIDED**

- ROYS DRIVE**  
 A. MINIMUM TEN (10) FOOT LANDSCAPE EDGE PROVIDED  
 B. 1-4" CAL. CANOPY TREE / 50 LF OF LANDSCAPE EDGE  
 164 LF OF FRONTAGE / 50 LF = 4-4" CAL. TREES REQUIRED  
 PROVIDED: 4-4" CALIPER CANOPY TREES PROVIDED
- RANDAS WAY**  
 A. MINIMUM TEN (10) FOOT LANDSCAPE EDGE PROVIDED  
 B. 1-4" CAL. CANOPY TREE / 50 LF OF LANDSCAPE EDGE  
 207 LF OF FRONTAGE / 50 LF = 5-4" CAL. TREES REQUIRED  
 PROVIDED: 4-4" CALIPER CANOPY TREES PROVIDED  
 PLUS 3 EXISTING TREES REMAIN.
- NOTE:**  
 A. IRRIGATION DESIGN WILL MEET REQUIREMENTS OF UDC.  
 B. TREES SHALL BE PLANTED AT LEAST FIVE (5) FEET FROM WATER, SEWER AND STORM SEWER LINES.

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	CM	CRAPE MYRTLE 'NATCHEZ'	LAGERSTROEMIA INDICA 'NATCHEZ'	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		SUNSHINE LIGUSTRUM	LIGUSTRUM SINENSE 'SUNSHINE'	5 GALLON	36" O.C.
		DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	1 GALLON	18" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4" DIAMETER
		TEXAS RIVER ROCK; MIXTURE OF TANS, BROWNS, GRAYS AND PINKS	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ. FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" & 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	1'-5" DIAMETER REFER TO DETAIL 1/LS2	TON	AS SHOWN

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

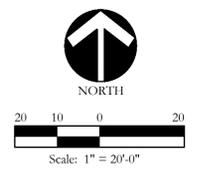
\_\_\_\_\_  
 Director of Planning and Zoning

**LOT CA-4 SITE INFORMATION**  
 ZONING: PD-79  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 34,078.00 S.F. OR 0.782 ACRES

BUILDING AREA: 1,909.00 SF  
 BUILDING HEIGHT: 21'-0" (1 STORY)  
 FLOOR TO AREA: 0.00057:1 [1,909/34,078]  
 LOT COVERAGE: 0.056%

PARKING REQUIRED: 10 SPACES  
 PARKING PROVIDED: 10 TOTAL (WITH 1 HANDICAP)  
 HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

PROPOSED IMPERVIOUS COVERAGE: 11,515.50 SF  
 PROPOSED IMPERVIOUS RATIO: 0.3379 OR 33.79%



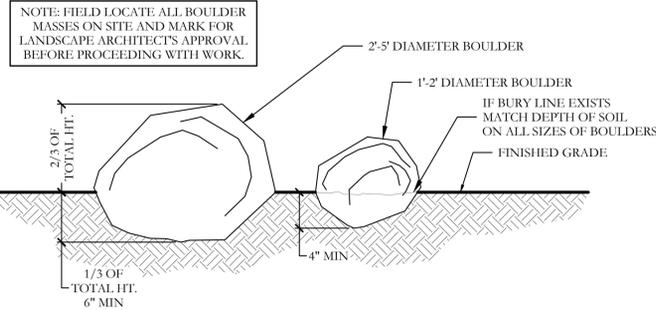
**LANDSCAPE PLAN  
 SADDLE STAR ESTATES  
 SOUTH PHASE TWO A  
 LOT CA-4  
 ~AMENITY CENTER~**

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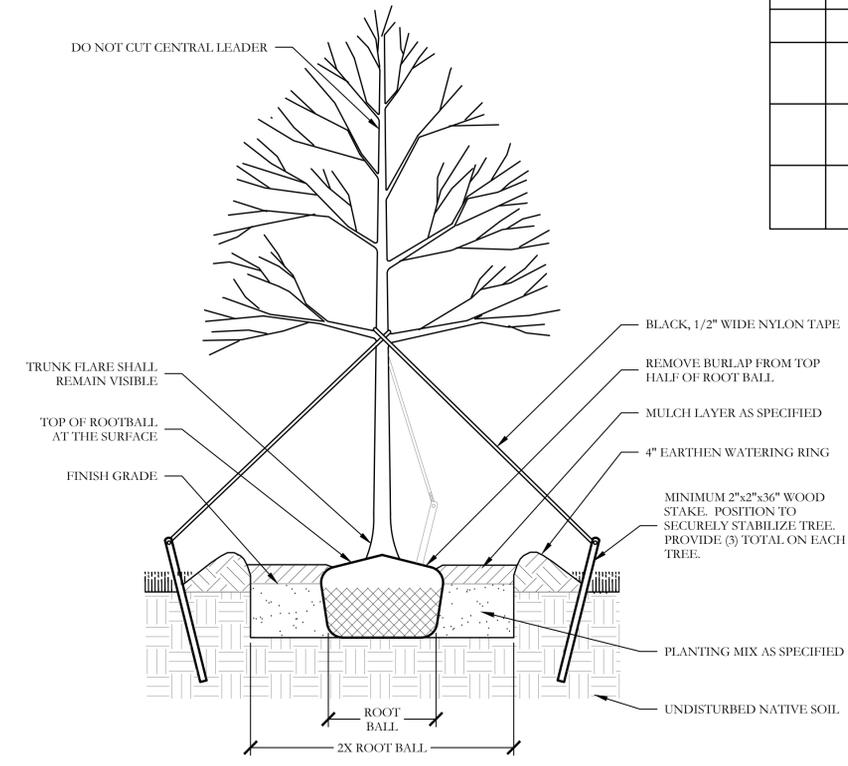
**OWNER / DEVELOPER:**  
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**LANDSCAPE ARCHITECT:**  
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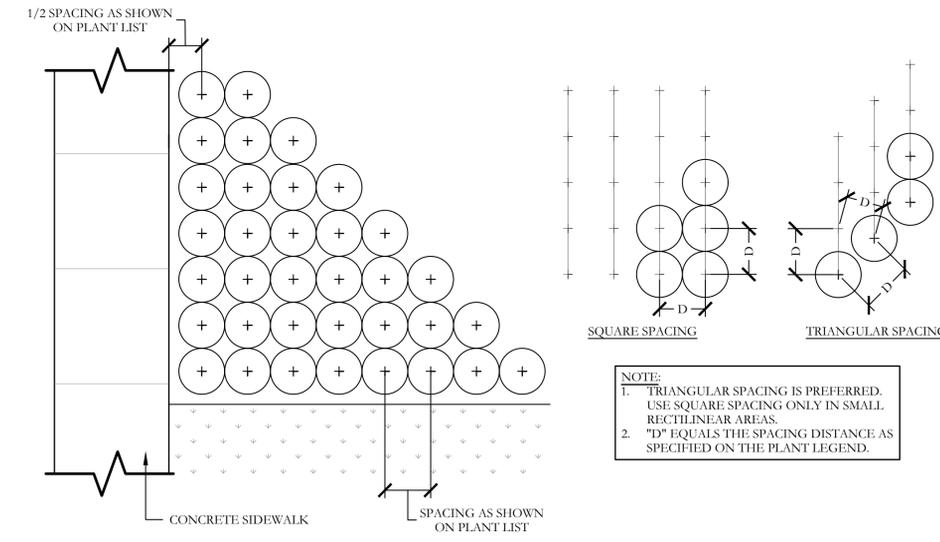
CITY PROJECT NO. SP2020-012



1 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE

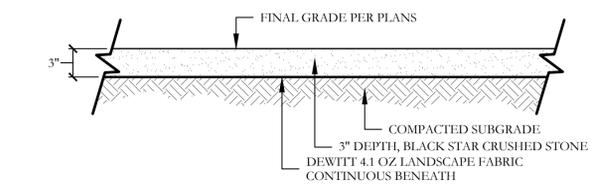


2 TYPICAL TREE PLANTING SECTION NOT TO SCALE

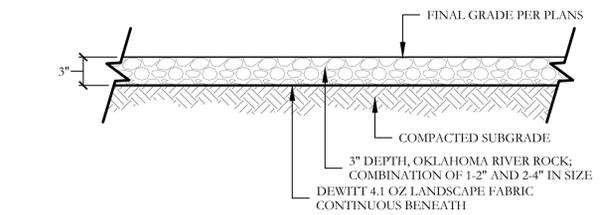


3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION

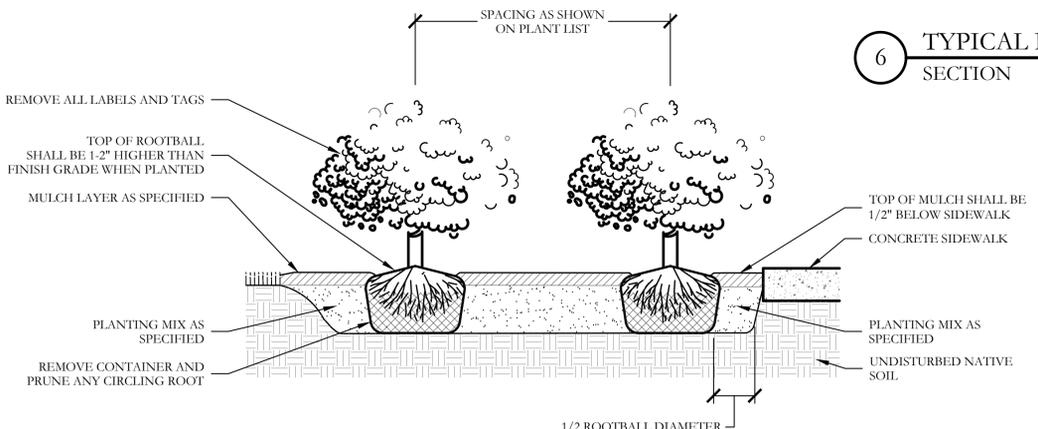
PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	10	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	9	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	6	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CM	8	CRAPE MYRTLE 'NATCHEZ'	LAGERSTROEMIA INDICA 'NATCHEZ'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	38	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	44	SUNSHINE LIGISTRUM	LIGISTRUM SINENSE 'SUNSHINE'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	85	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	240	WEeping LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	135	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	17,745	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	180	BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.0 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	3/4" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 4/L/2.
	220	TEXAS RIVER ROCK; MIXTURE OF	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.0 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN. REFER TO DETAIL 5/L/2.
	5	OKLAHOMA MOSS ROCK BOULDERS	50 LB TO 250 LB MAX SIZE	TON	AS SHOWN	FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK. REFER TO DETAIL 1/L/2.



4 BLACK STAR CRUSHED STONE DETAIL SECTION SCALE: 1" = 1'-0"



5 OKLAHOMA RIVER ROCK BED SECTION SCALE: 1" = 1'-0"



6 TYPICAL BED EDGING DETAIL SECTION NOT TO SCALE

GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT- CONTACT THE PUBLIC WORKS DEPARTMENT.
  - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
  - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.
- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
  - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
  - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
  - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (5') MINIMUM FROM THE WATER METER.
  - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
  - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
  - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
  - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
  - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.
- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
  - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
  - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
  - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
  - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
  - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
  - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
  - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
  - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.
- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
  - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
  - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
  - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
  - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).
- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
  - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
  - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
  - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
  - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
  - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
  - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
  - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
  - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULLED OFF-SITE.
  - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].  
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

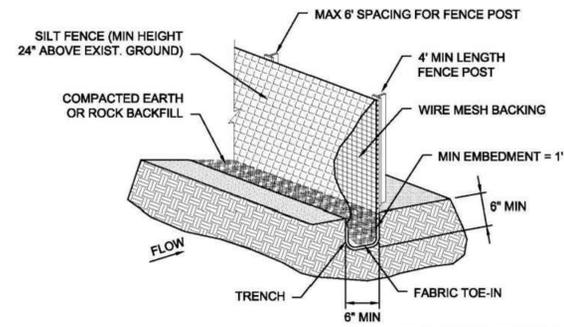
LANDSCAPE DETAIL  
SADDLE STAR ESTATES  
SOUTH PHASE TWO A  
LOT CA-4  
~AMENITY CENTER~

BEING 0.782 ACERS SITUATED IN THE P.B. HARRISON SURVEY, A-97 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

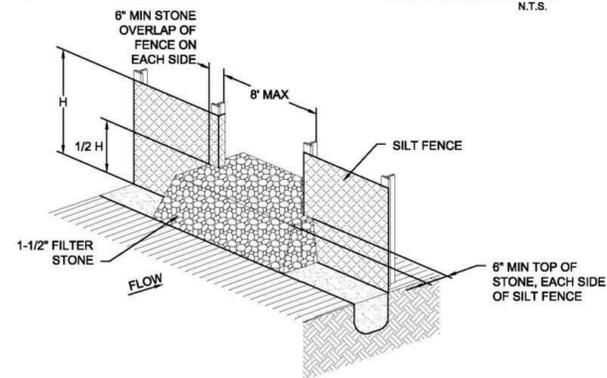
**OWNER / DEVELOPER:**  
HINES  
2200 ROSS AVENUE, SUITE 4200  
DALLAS, TEXAS 75201  
CONTACT: JOSE CAMPOS  
PH. (214) 882-1750

**LANDSCAPE ARCHITECT:**  
CODY JOHNSON STUDIO, LLC  
9720 COIT ROAD, SUITE 220-333  
PLANO, TEXAS 75025  
PH. (903) 570-0162  
CONTACT: CODY JOHNSON, RLA, ASLA, LI  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM



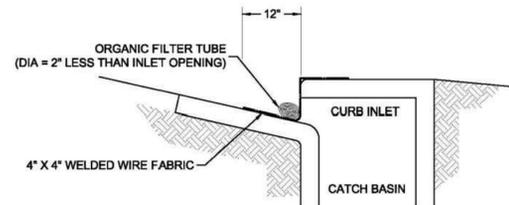


SILT FENCE EXAMPLE  
N.T.S.

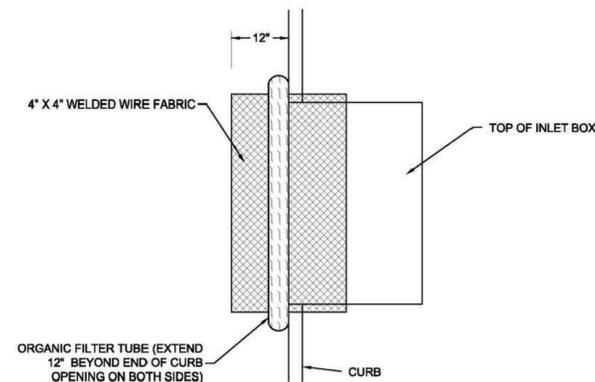


STONE OVERFLOW STRUCTURE EXAMPLE  
N.T.S.

NOTES: 1. DESIGN SHALL SHOW ON THE DRAWINGS THE LOCATIONS WHERE OVERFLOW STRUCTURES SHALL BE INSTALLED. OVERFLOW STRUCTURES ARE REQUIRED AT ALL LOW POINTS AND AT A SPACING OF APPROXIMATELY 300 FT WHERE NO LOW POINT IS APPARENT.  
2. DESIGNER SHALL ON THE DRAWINGS THE LOCATIONS WHERE SILT FENCE IS TO BE TURNED UPSLOPE. UPSLOPE LENGTHS SHALL BE A MINIMUM OF 10 FEET.

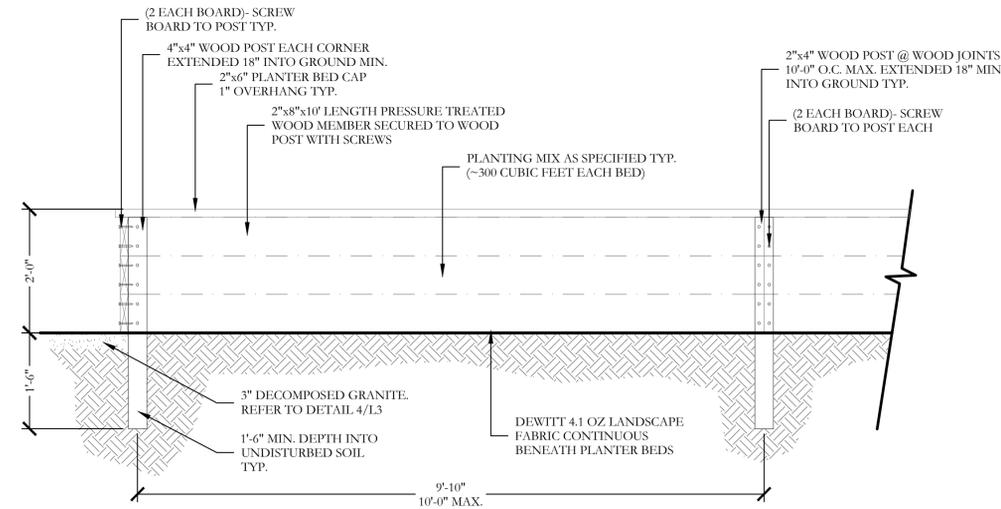


ORGANIC FILTER TUBE CURB INLET PROTECTION CROSS SECTION  
N.T.S.

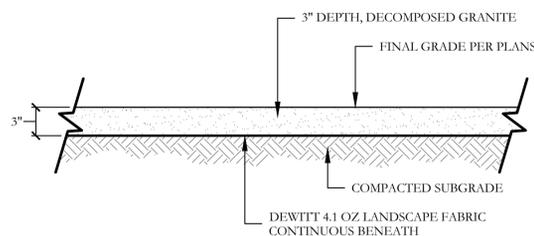


ORGANIC FILTER TUBE CURB INLET PROTECTION PLAN VIEW  
N.T.S.

NOTE: THIS CONTROL WILL DECREASE THE CAPACITY OF THE INLET. IT SHALL ONLY BE USED WHEN AN ENGINEER HAS DETERMINED THERE IS ADEQUATE STORAGE OR POSITIVE OVERFLOW.

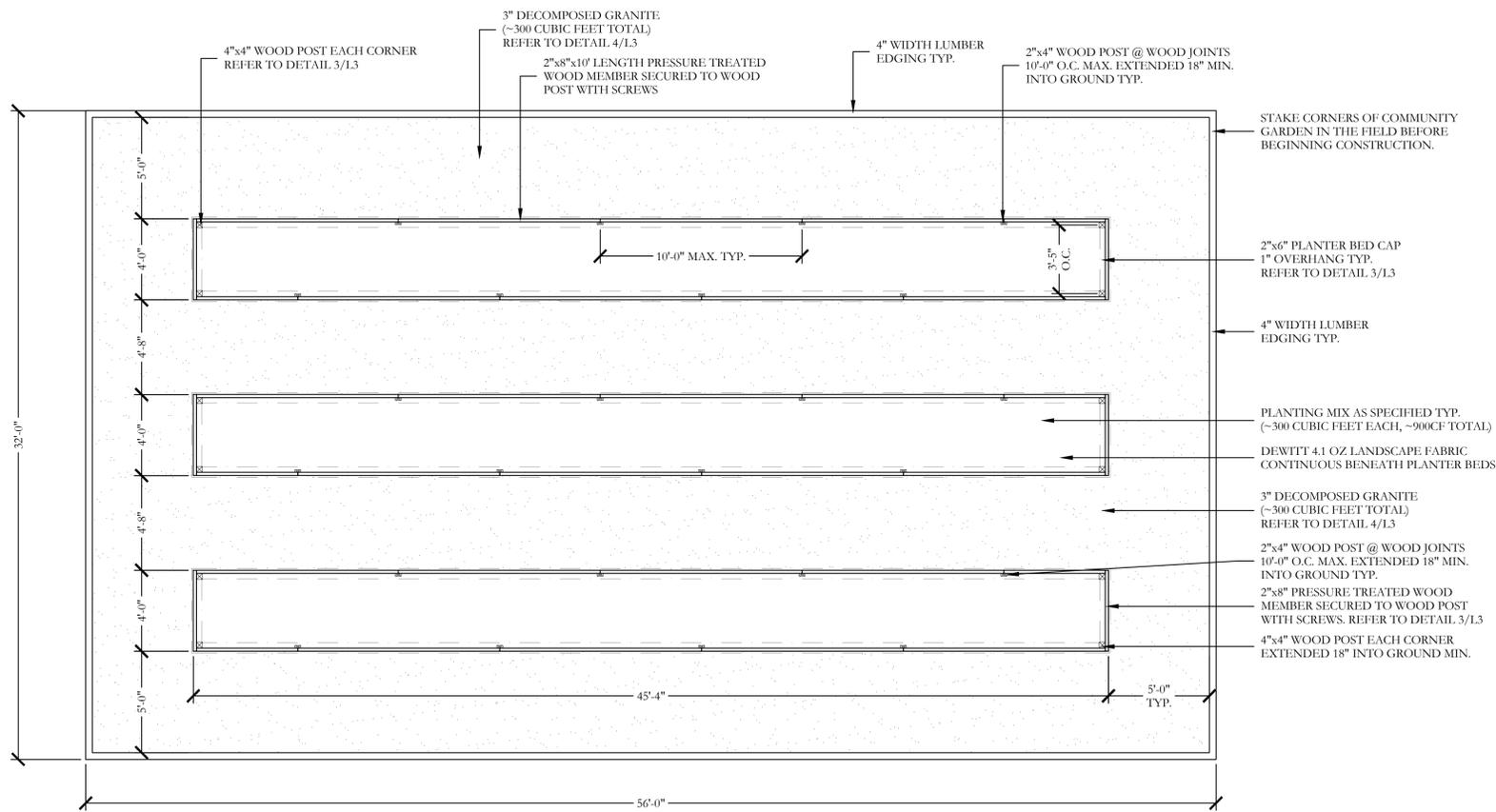


3 COMMUNITY GARDEN ENLARGEMENT SECTION  
SCALE: 3/4" = 1'-0"



4 DECOMPOSED GRANITE DETAIL SECTION  
SCALE: 1" = 1'-0"

1 EROSION CONTROL DETAILS  
N.T.S.

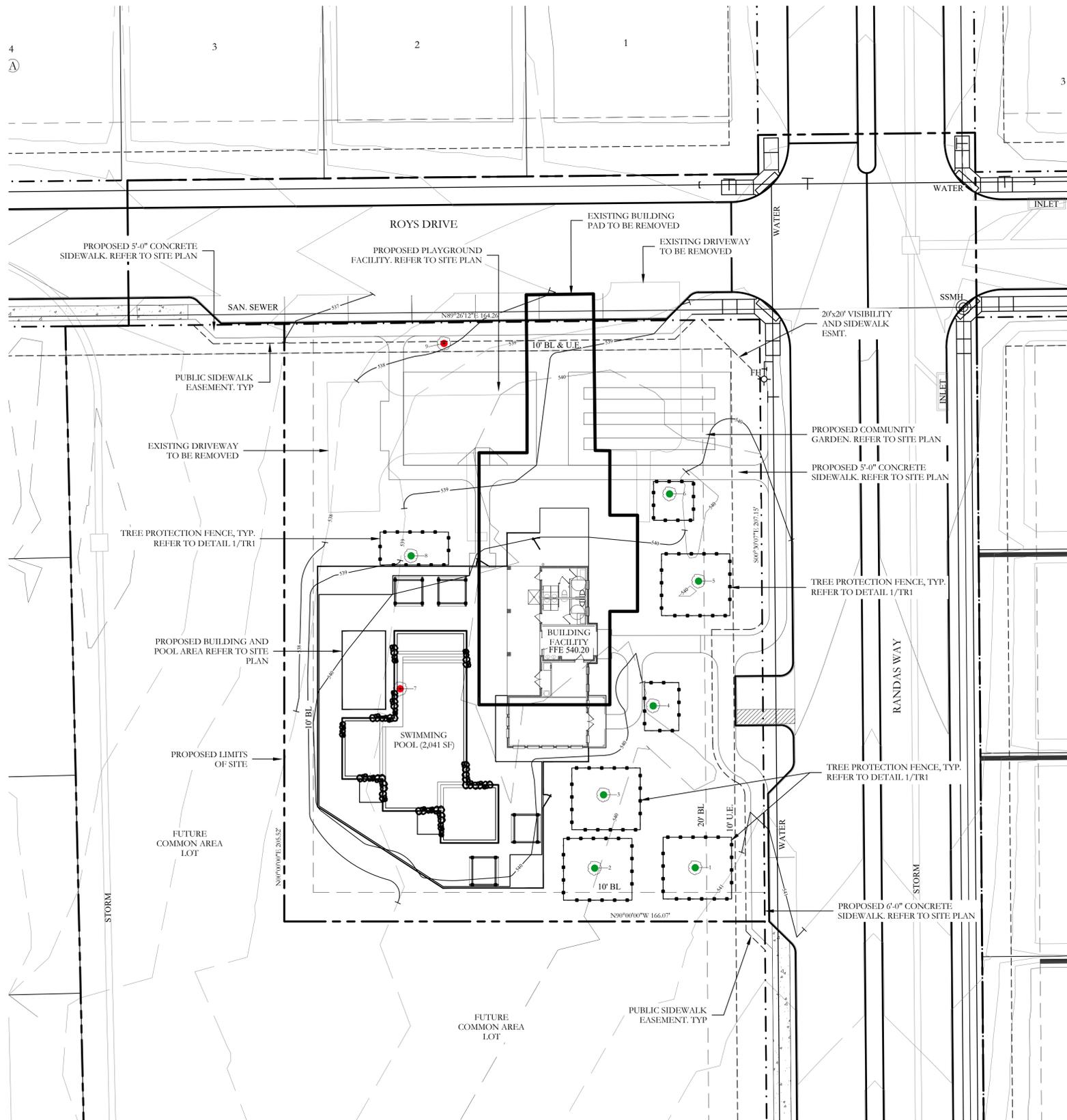


2 COMMUNITY GARDEN ENLARGEMENT PLAN  
SCALE: 1/4" = 1'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.  
One Inch

AMENITY CENTER FACILITY  
Site Details  
Saddle Star Estates South, Amenity Center  
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.  
PAD001A  
SHEET NO.  
L3



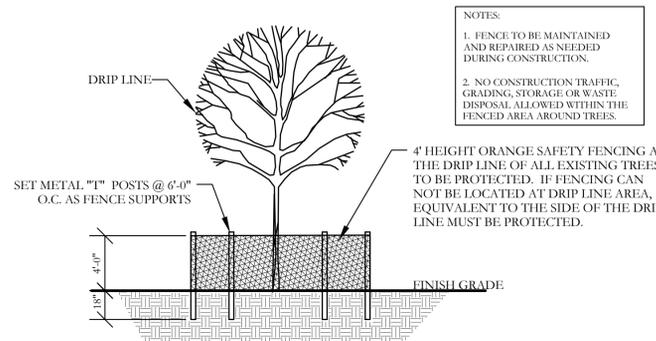
**LEGEND**

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE

INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN. TYP.

Tree ID Number	Tree Size DBH	Common Name	Scientific Name	Condition of Tree	Remove or Remain	Tree Location	Credit Ratio	Negative Mitigation Credit	Positive Mitigation Credit
1	15.0	Pecan	Carya illinoensis	Healthy	Remain	Lot	1	0.00	15.00
2	12.0	Pear	Pyrus calleryana	Healthy	Remain	Lot	1	0.00	12.00
3	10.0	Pin Oak	Quercus palustris	Healthy	Remain	Lot	1	0.00	10.00
4	18.0	Chinese Tallow	Triadica sebifera	Healthy	Remain	Lot	1	0.00	18.00
5	20.0	Live Oak	Quercus virginiana	Healthy	Remain	Lot	1	0.00	20.00
6	12.0	Magnolia	Magnolia grandiflora	Healthy	Remain	Lot	1	0.00	12.00
7	18.0	Unknown	Unknown	Damaged	Remove	Lot	1	18.00	0.00
8	18.0	Pin Oak	Quercus palustris	Healthy	Remain	Lot	1	0.00	18.00
9	24.0	Pin Oak	Quercus palustris	Damaged	Remove	Easement	1	24.00	0.00
<b>Total Tree Population</b>								<b>42.00</b>	<b>105.00</b>
								<b>Total Negative Mitigation Credits, caliper inches</b>	<b>Total Positive Mitigation Credits, caliper inches</b>
								<b>42.00</b>	<b>63.00</b>

- TREE PROTECTION NOTES**
- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
  - DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL, SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
  - NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
  - NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
  - NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.



**1 TREE PROTECTION DETAIL**  
NOT TO SCALE

**LOT CA-4 SITE INFORMATION**

ZONING: PD-79  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 34,078.00 S.F. OR 0.782 ACRES

BUILDING AREA: 1,909.00 SF  
 BUILDING HEIGHT: 21'-0" (1 STORY)  
 FLOOR TO AREA: 0.000571 [1,909/34,078]  
 LOT COVERAGE: 0.056%

PARKING REQUIRED: 10 SPACES  
 PARKING PROVIDED: 10 TOTAL (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

PROPOSED IMPERVIOUS COVERAGE: 11,515.50 SF  
 PROPOSED IMPERVIOUS RATIO: 0.3379 OR 33.79%

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

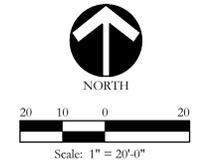
\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**TREESCAPE PLAN**  
**SADDLE STAR ESTATES**  
**SOUTH PHASE TWO A**  
**LOT CA-4**  
**~AMENITY CENTER~**

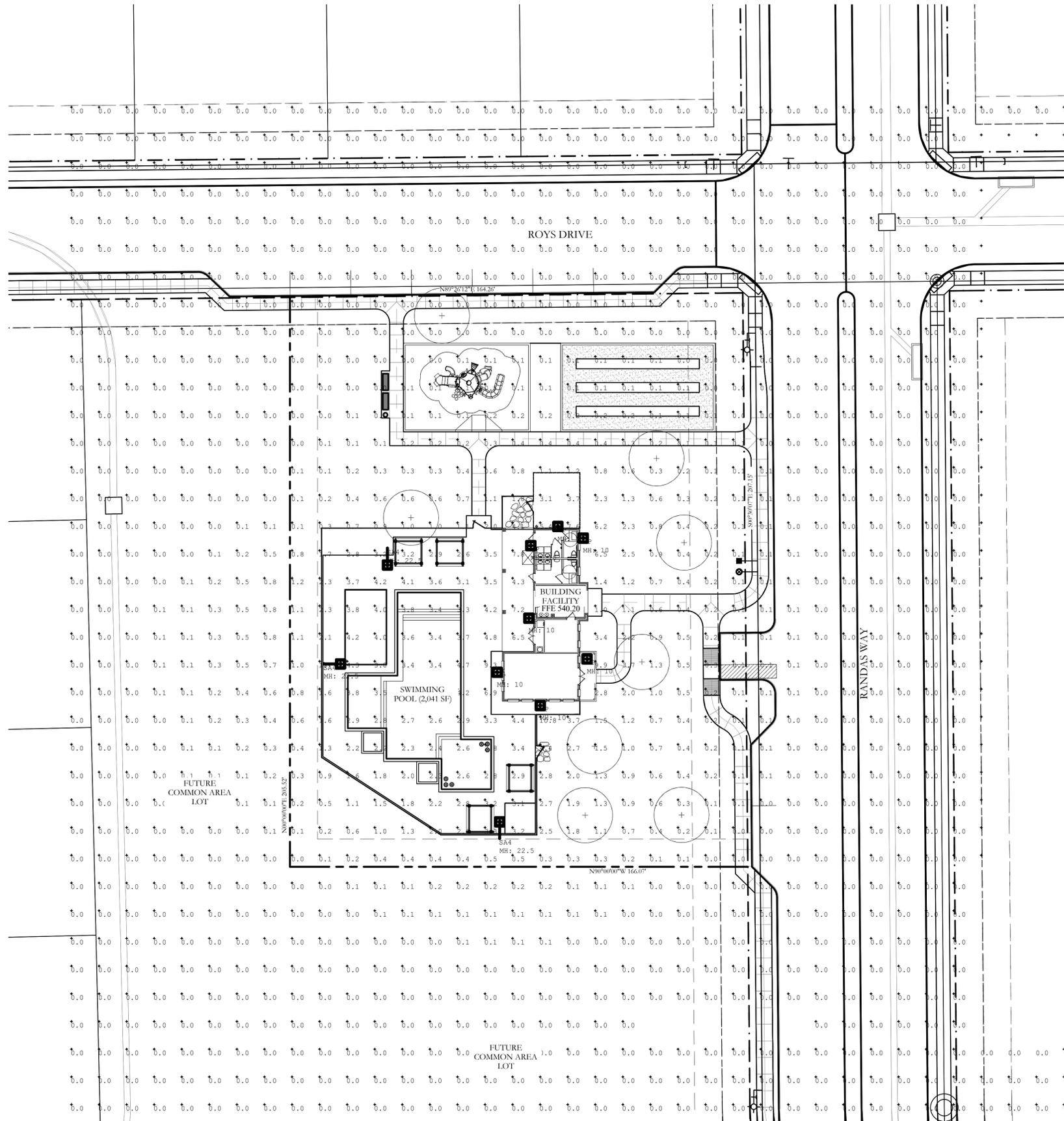
BEING 0.782 ACERS SITUATED IN THE P.B. HARRISON SURVEY, A-97 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER / DEVELOPER:**  
 HINES  
 2200 ROSS AVENUE, SUITE 4200  
 DALLAS, TEXAS 75201  
 CONTACT: JOSE CAMPOS  
 PH. (214) 882-1750

**LANDSCAPE ARCHITECT:**  
 CODY JOHNSON STUDIO, LLC  
 9720 COIT ROAD, SUITE 220-333  
 PLANO, TEXAS 75025  
 PH. (903) 570-0162  
 CONTACT: CODY JOHNSON, RLA, ASLA, LI  
 EMAIL: CODY@CODYJOHNSONSTUDIO.COM



SUBMITTAL DATE: July 29, 2020



Luminaire Schedule							
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lumens/Lamp	Lum. Lumens
SA4	3	SA4	0.900	Gardco - ECF-S-32L-1A-NW-G2-4-HIS	105.6	N.A.	10003
WP	7	WP	0.900	Komee - KMWP-45-40-FC	46.2	4520.8	4523

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall	Illuminance	Fc	0.34	10.8	0.0	N.A.	N.A.
Lap Pool	Illuminance	Fc	0.14	0.4	0.0	N.A.	N.A.
Pool	Illuminance	Fc	3.43	10.8	1.3	2.64	8.31

- NOTES
1. Calc at grade level
  2. Mounting  
Type SA = on a 16' pole on a 2.5' base

**LOT CA-4 SITE INFORMATION**

ZONING: PD-79  
 PROPOSED USE: PRIVATE RECREATION CENTER  
 LAND AREA: 34,078.00 S.F. OR 0.782 ACRES

BUILDING AREA: 1,909.00 SF  
 BUILDING HEIGHT: 21'-0" (1 STORY)  
 FLOOR TO AREA: 0.00057:1 [1,909/34,078]  
 LOT COVERAGE: 0.056%

PARKING REQUIRED: 10 SPACES  
 PARKING PROVIDED: 10 TOTAL (WITH 1 HANDICAP)

HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

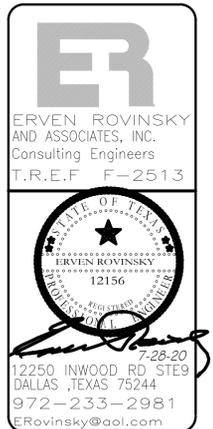
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 PROPOSED IMPERVIOUS RATIO: 0.3379 OR 33.79%

**APPROVED:**  
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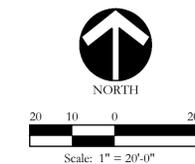
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning



LOCATION MAP  
 NOT TO SCALE



**PHOTOMETRIC PLAN  
 SADDLE STAR ESTATES  
 SOUTH PHASE TWO A  
 LOT CA-4  
 ~AMENITY CENTER~**

BEING 0.782 ACERS SITUATED IN THE  
 P.B. HARRISON SURVEY, A-97  
 CITY OF ROCKWALL,  
 ROCKWALL COUNTY, TEXAS

**OWNER / DEVELOPER:**  
 HINES  
 2200 ROSS AVENUE, SUITE 4200  
 DALLAS, TEXAS 75201  
 CONTACT: JOSE CAMPOS  
 PH. (214) 882-1750

**LANDSCAPE ARCHITECT:**  
 CODY JOHNSON STUDIO, LLC  
 9720 COIT ROAD, SUITE 220-333  
 PLANO, TEXAS 75025  
 PH. (903) 570-0162  
 CONTACT: CODY JOHNSON, RLA, ASLA, LI  
 EMAIL: CODY@CODYJOHNSONSTUDIO.COM

SUBMITTAL DATE: July 28, 2020





August 12, 2020

TO: Cody Johnson  
Cody Johnson Studio, LLC  
9720 Coit Road, Suite 220-333  
Plano, TX 75025

FROM: David Gonzales, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2020-012; *Site Plan for Saddle Star Estates Phase 1A – Amenity Center*

Cody Johnson:

This letter serves to notify you that the above referenced site plan case, that you submitted for consideration by the City of Rockwall, was approved by the Planning and Zoning Commission on August 11, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

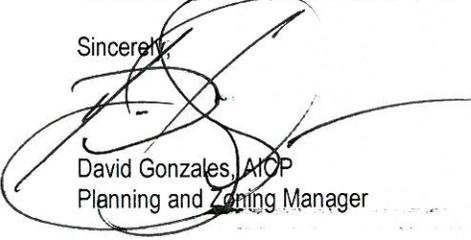
- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On August 11, 2020, the Planning and Zoning Commission approved a motion to approve the site plan with the conditions of approval by a vote of 6-0, with Commissioner Welch absent.

Prior to submitting your civil engineering plans to the Engineering Department, you will need to submit bonded and digital copies of the site plan showing that all outstanding comments have been addressed. Please note that site plans that have not been completed within two (2) years of the final approval date shall be deemed to have expired. An extension may be granted by the Planning and Zoning Commission upon submission of a written request at least 90-days prior to the expiration date. Should you have any questions or concerns regarding your site plan or the site plan process, please feel free to contact me a (972) 771-7745.

Sincerely,

  
David Gonzales, AICP  
Planning and Zoning Manager