



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22020-033 P&Z DATE 09/15/20 CC DATE 09/21/20 APPROVED/DENIED
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input checked="" type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input checked="" type="checkbox"/> HOA MAP
<input checked="" type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22020-033
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

- Platting Application Fees:**
- Master Plat (\$100.00 + \$15.00 Acre)¹
 - Preliminary Plat (\$200.00 + \$15.00 Acre)¹
 - Final Plat (\$300.00 + \$20.00 Acre)¹
 - Replat (\$300.00 + \$20.00 Acre)¹
 - Amending or Minor Plat (\$150.00)
 - Plat Restatement Request (\$100.00)
- Site Plan Application Fees:**
- Site Plan (\$250.00 + \$20.00 Acre)¹
 - Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

- Zoning Application Fees:**
- Zoning Change (\$200.00 + \$15.00 Acre)¹
 - Specific Use Permit (\$200.00 + \$15.00 Acre)¹
 - PD Development Plans (\$200.00 + \$15.00 Acre)¹
- Other Application Fees:**
- Tree Removal (\$75.00)
 - Variance Request (\$100.00)
- Notes:
1. In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

\$215.00 check

PROPERTY INFORMATION (PLEASE PRINT)

Address: 210 Wade STREET Rockwall TX 75087
 Subdivision: RICHARD HARRIS NO. 3 ADDITION Lot 3 Block A
 General Location: Hartman + Wade

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning	<u>Residential</u>	Current Use	<u>Residential</u>
Proposed Zoning	<u>Residential</u>	Proposed Use	<u>Residential</u>
9411 ft ² = Acreage	<u>0.22</u>	Lots [Current]	<u>LOT 3</u>
		Lots [Proposed]	<u>LOT 3</u>

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB2167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input checked="" type="checkbox"/> Owner	<u>PATRICK S. WELLS</u>	<input type="checkbox"/> Applicant	<u>SAME AS OWNER INFO</u>
Contact Person	<u>PATRICK S. WELLS</u>	Contact Person	<u>"</u>
Address	<u>711 Stillwater Dr.</u>	Address	<u>"</u>
City, State & Zip	<u>Rockwall, Tx. 75087</u>	City, State & Zip	<u>"</u>
Phone	<u>214-280-6469</u>	Phone	<u>"</u>
E-Mail	<u>pwells9@icloud.com</u>	E-Mail	<u>PWELLS9@icloud.com</u> <u>PWELLS9@ICLOUD.COM</u>

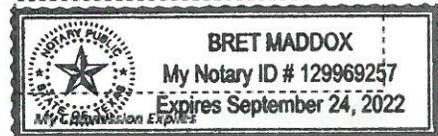
NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared Patrick Wells [Owner] the undersigned, who stated the information on this application to be true and certified the following.

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct, and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 3rd day of August, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 3rd day of August, 2020.

Owner's Signature Patrick S. Wells
Notary Public in and for the State of Texas [Signature]





RockwallPLL

Receipt#: 1079

Date: 8/14/2020

City of Rockwall
The New Horizon

Payment Receipt

Invoice #	Case Type	Case Number	Sub Type
	PZZONING	Z2020-033	PZSUP

Tender Type / Description	Amount
CHECK- CHECK	215.00
Sub Total:	215.00

Fees:

Fee Codes / Description	Amount
PZSPECIFIC- PZ - Specific Use Permit App Fee	215.00
Sub Total:	215.00

Total Amount Due:	215.00
Total Payment:	215.00

ABBREVIATIONS:

A/C	AIR CONDITIONED	MC	MEDICINE CABINET
ADJ	ADJUSTABLE	MICRO	MICROWAVE
A.F.F.	ABOVE FINISHED FLOOR	MIN	MINIMUM
BD	BOARD	N.T.S.	NOT TO SCALE
BLDG	BUILDING	O.H.	OVERHEAD
B.O.	BOTTOM OF	O.C.	ON CENTER
CAB	CABINET	O.C.E.W.	ON CENTER EACH WAY
CER	CERAMIC	PL	PLATE
CL	CENTER LINE	PLAS	PLASTIC
CLG	CEILING	PWR	POWDER
CLO	CLOSET	REF	REFERENCE
C.O.	CASED OPENING	REFG	REFRIGERATOR
COL	COLUMN	REQ	REQUIRED
CONC	CONCRETE	RM	ROOM
CONT	CONTINUOUS	R/S	ROD & SHELF
COORD	COORDINATE	SCHED	SCHEDULE
DBLE	DOUBLE	S.F.	SQUARE FEET
DIM	DIMENSION	SH	SHelf
DN	DOWN	SHLVS	SHELVES
D.S.	DOWN SPOUT	SIM	SIMILAR
DW	DISH WASHER	SL	SLOPE
DWR	DRAWER	SPR	SPRINKLER
ELEC	ELECTRIC	S.S.	STAINLESS STEEL
ELEV	ELEVATION	STL	STEEL
EO	EQUAL	STOR	STORAGE
ESMT	EASEMENT	STRUCT	STRUCTURAL
EXT	EXTERIOR	T&G	TONGUE & GROOVE
EXIST	EXISTING	THK	THICK
F.F.E.	FINISH FLOOR ELEVATION	T.O.	TOP OF
FLR	FLOOR	T/R	TREAD & RISER
FREZ	FREEZER	TV	TELEVISION
GALV	GALVANIZED	TYP	TYPICAL
GFI	GROUND FAULT INTERRUPTER	U.C.	UNDER COUNTER
GL	GLASS	U.M.	UNDER MOUNT
GYP	GYP SUM	UTIL	UTILITY
Hb	HOSE BIB	VEST	VESTIBULE
H.C.	HANDICAPPED	V.I.F.	VERIFY IN FIELD
HT	HEIGHT	W.C.	WATER CLOSET
INSUL	INSULATION	W/D	WASHER & DRYER
LAV	LAVATORY	WD	WOOD
LAM	LAMINATE	W.H.	WATER HEATER
MANUF	MANUFACTURER	W.I.	WROUGHT IRON
MAX	MAXIMUM	WP	WATER PROOF
MECH	MECHANICAL	WRM	WARMING

GRAPHIC SYMBOLS:

1. - - - - -	INDICATES HIDDEN, FUTURE, ABOVE OR EXISTING	7. [Symbol]	INDICATES STEP
2. X/AX.X	INDICATES SECTION	8. [Symbol]	DOOR MARK
3. X/AX.X	INDICATES BUILDING SECTION	9. [Symbol]	WINDOW MARK
4. X/AX.X	INDICATES ELEVATION VIEW	10. [Symbol]	INDICATES BREAK LINE
5. [Symbol]	INDICATES DETAIL	11. #Hb	FROST PROOF HOSE BIB
6. [Symbol]	INDICATES ELEVATION CONTROL	12. X.G.K.	GAS KEY @ FIREPLACE

NOT ALL SYMBOLS USED

DESCRIPTION OF PROPERTY:

LEGAL DESCRIPTION: PROPERTY IS LOCATED AT 210 WADE DRIVE, RICHARD HARRIS SUBDIVISION NO.3 ADDITION, NASH STREET, IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087 BEING A REPLAT OF LOTS 1 & 2 BLOCK A, A RICHARD HARRIS SUBDIVISION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET B, SIDE 44, OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

ZONING: FRONT YARD SETBACK: 20'-0"
SIDE YARD SETBACK: 6'-0"
REAR YARD SETBACK: 8'-0"

LOT COVERAGE: SITE SQUARE FOOTAGE: 9,411 S.F.
ACTUAL COVERAGE: 2,907 S.F.

AREA CALCULATIONS:

AREAS:

1ST FLOOR A/C SQ. FT.:	1,872 S.F.
2ND FLOOR A/C SQ. FT.:	546 S.F.
TOTAL HOUSE A/C SQ. FT.:	2,418 S.F.
COVERED PATIO SQ. FT.:	595 S.F.
TOTAL HOUSE SQ. FT.:	3,013 S.F.
DETACHED GARAGE SQ. FT.:	440 S.F.

SHEET INDEX:

SHEET	CONTENTS
ARCHITECTURAL DRAWINGS	
A1.1	SITE PLAN / ROOF PLAN / GENERAL NOTES
A2.1	FLOOR PLANS
A3.1	REFLECTED CEILING PLAN & SCHEDULE
A4.1	EXTERIOR ELEVATIONS / WALL SECTION
A4.2	EXTERIOR ELEVATIONS / WALL SECTION
A4.3	BUILDING SECTION / WALL SECTION
A5.1	INTERIOR ELEVATIONS



ISSUED DATE:
24, JUNE 2020

REVISION:

Modern Craft Construction, LLC
 2102 FM 1141, Rockwall, Texas 75087
 Wiley Gilliam - 214.477.7443

WELLS RESIDENCE
 210 WADE DRIVE, ROCKWALL, TX 75087
 RICHARD HARRIS SUBDIVISION, BLOCK A LOT 3

A1.1



DOOR SCHEDULE

NO.	NAME	SIZE	TYPE	HARDWARE	REMARKS
1	FOYER	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
2	HALL	3'-0" x 8'-0" x 1 3/4"	B	LOCKSET	
3	DINING	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
4	MASTER BEDROOM	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	
5	MASTER CLOSET	(2) 3'-0" x 8'-0" x 1 3/4"	D	-	
6	MASTER BATH	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
7	MASTER SHOWER	2'-6" x 8'-0" x 1/2"	E	-	
8	MASTER CLOSET	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
9	LAUNDRY	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
10	CRAFT ROOM	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
11	POWDER	2'-4" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
12	STORAGE	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
13	BEDROOM #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
14	BATH #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET

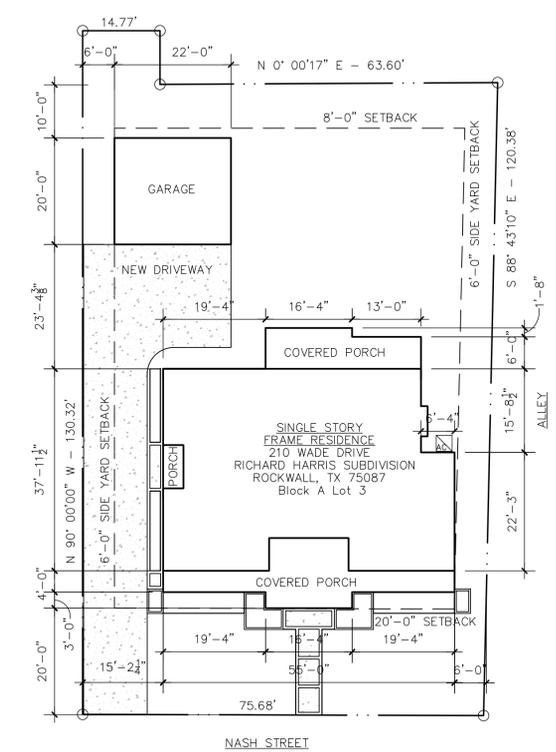
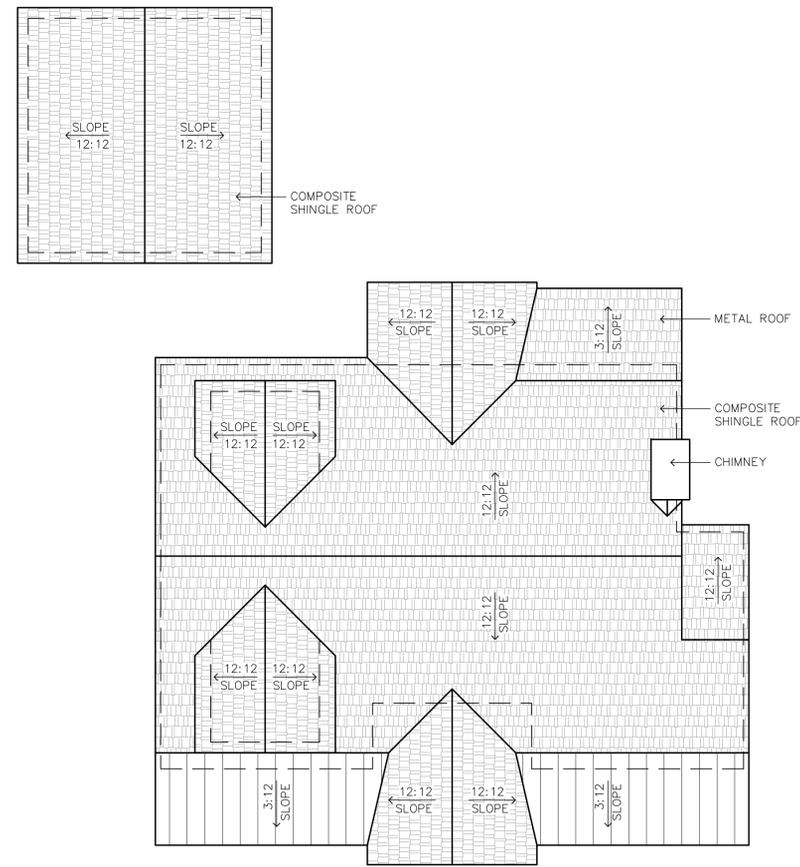
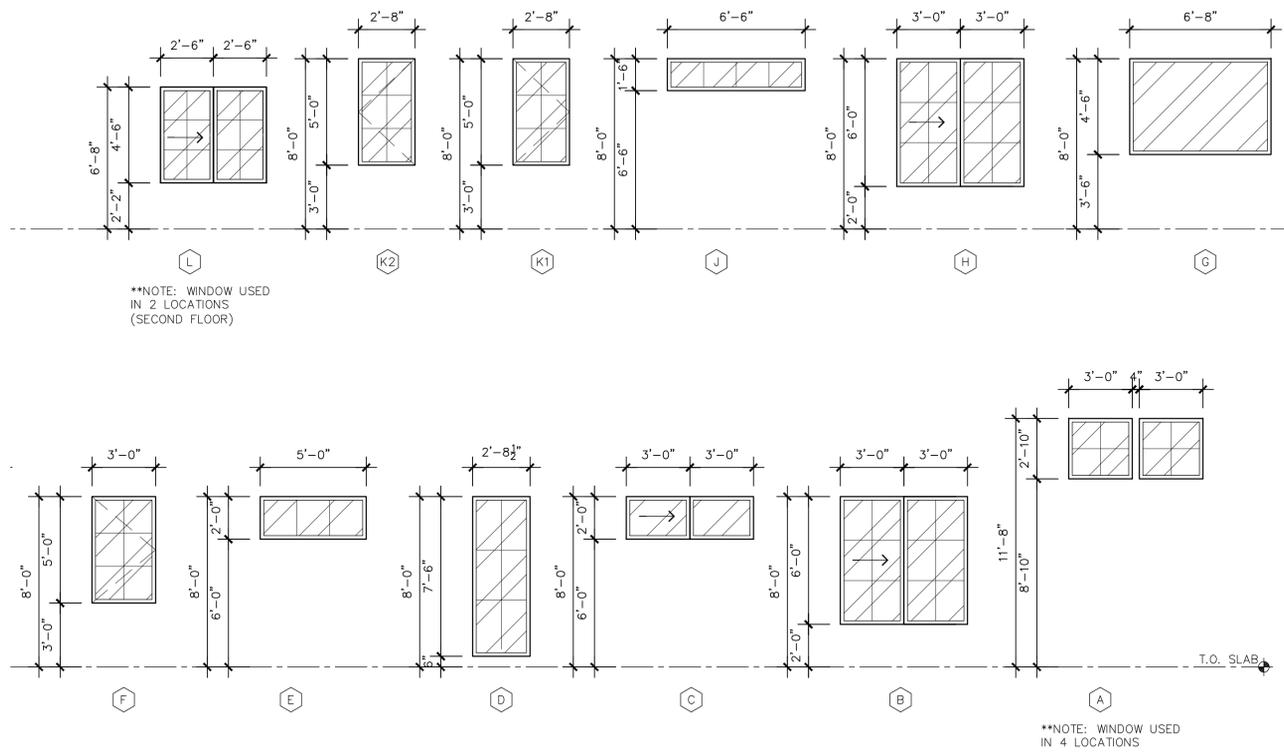
NO.	NAME	SIZE	TYPE	HARDWARE	REMARKS
15	LOFT CLOSET	2'-8" x 6'-8" x 1 3/4"	C	PASSAGE	
16	BATH #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
17	BEDROOM #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
18	BEDROOM #2 CLOSET	(2) 3'-0" x 6'-8" x 1 3/4"	D	-	

DOOR TYPES

A CUSTOM FRONT DOOR- REFER. WINDOW & DOOR ELEVATIONS (2/A1.2)
 B EXTERIOR SWING DOOR
 C SOLID CORE INTERIOR DOOR
 D INTERIOR SLIDING DOOR
 E GLASS SWING DOOR

ENERGY SPECIFICATIONS:

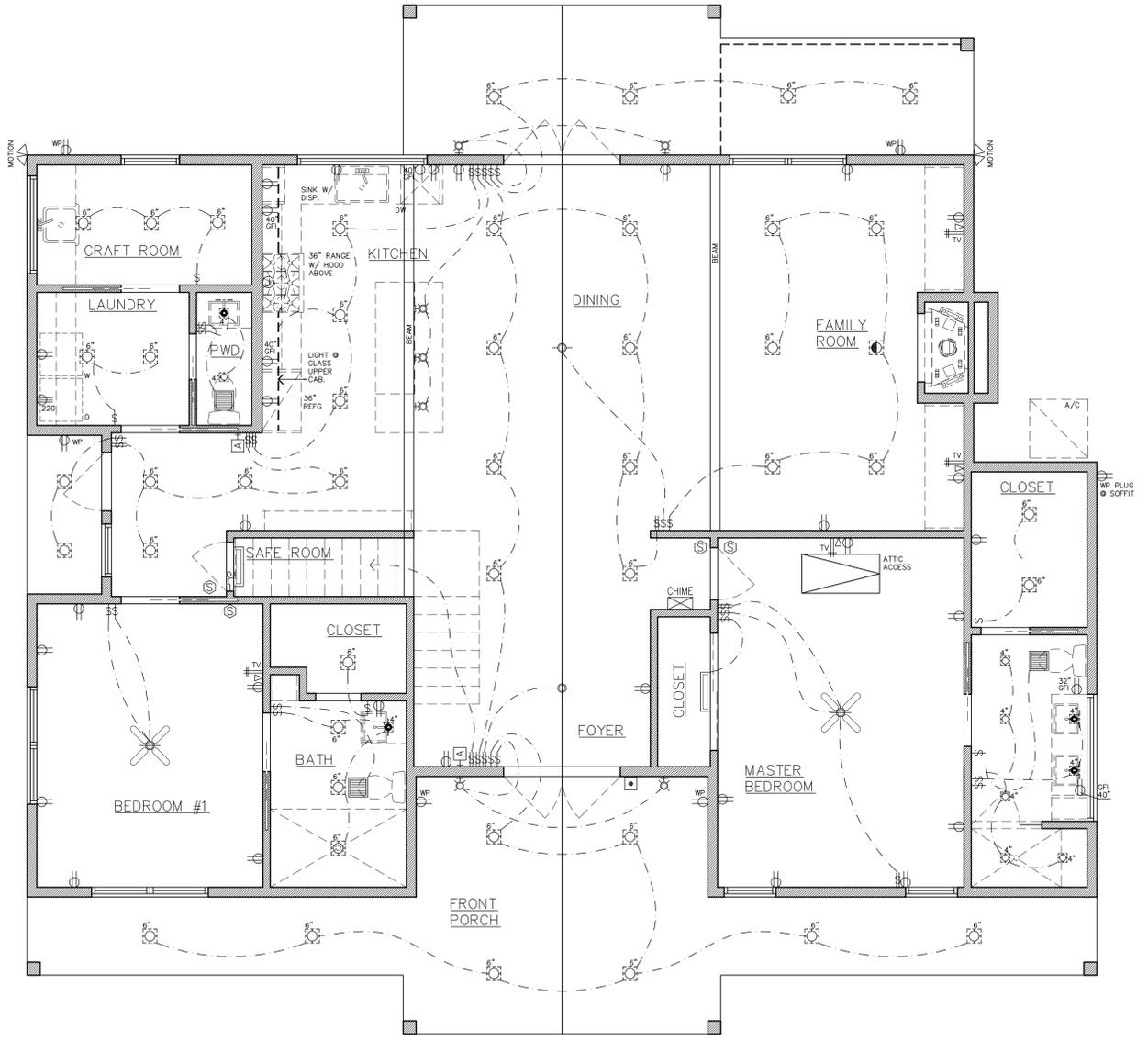
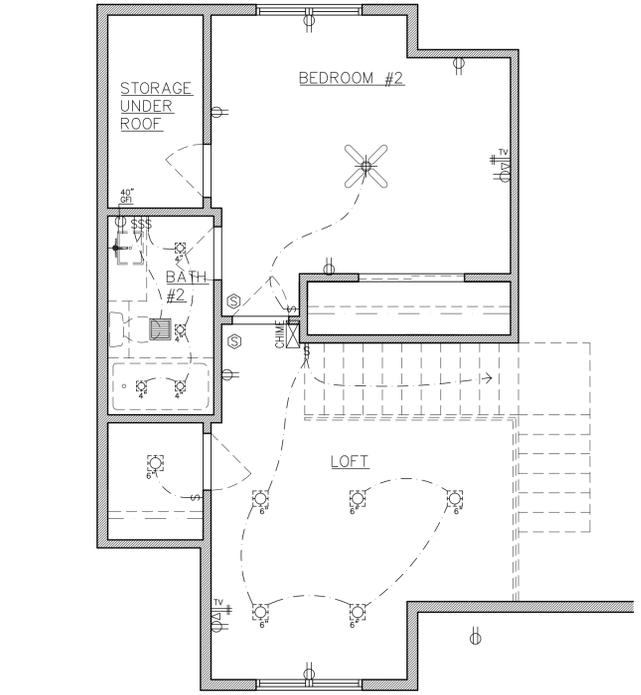
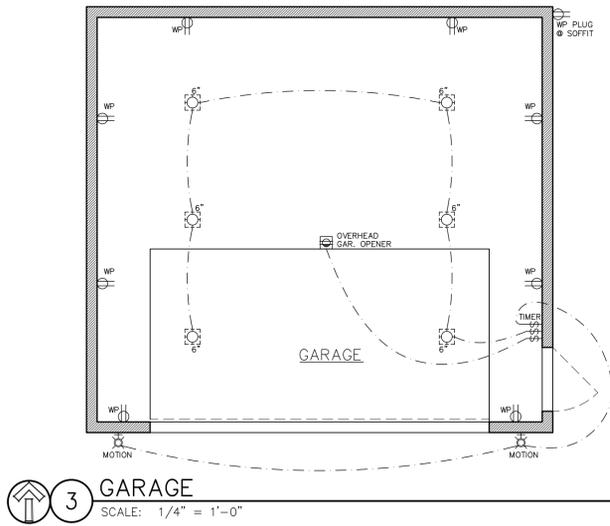
1	ALL FRAMED ENVELOPE:
	2X4 WALLS: 3.5" OPEN CELL FOAM
	SLAB FLOOR SYSTEM
	8" DEEP CEILING SYSTEM: 6" OPEN CELL
2	WINDOWS AND DOORS:
	LOW E GLAZING- UF=.30 SHGV=.20
3	HVAC: 16 SEER
4	GAS FURNACE
5	TANKLESS WATER HEATER: GAS



3 WINDOW & DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"

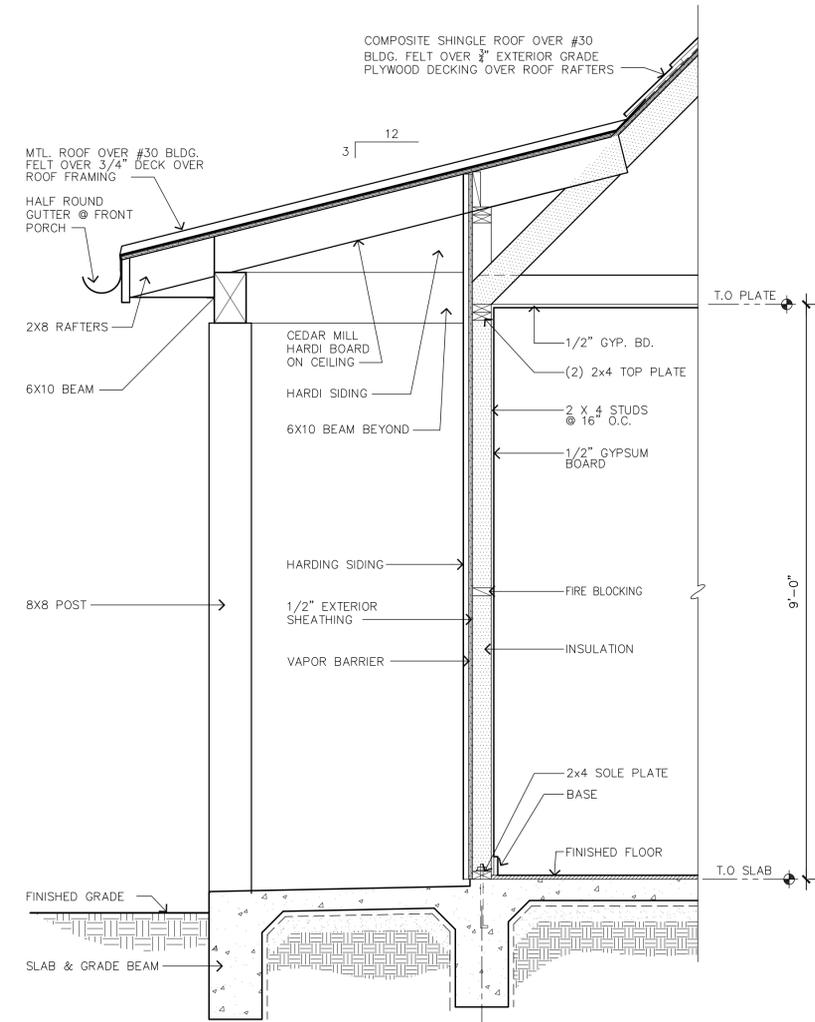
2 ROOF PLAN
SCALE: 1/8" = 1'-0"

1 SITE PLAN
SCALE: 1/16" = 1'-0"

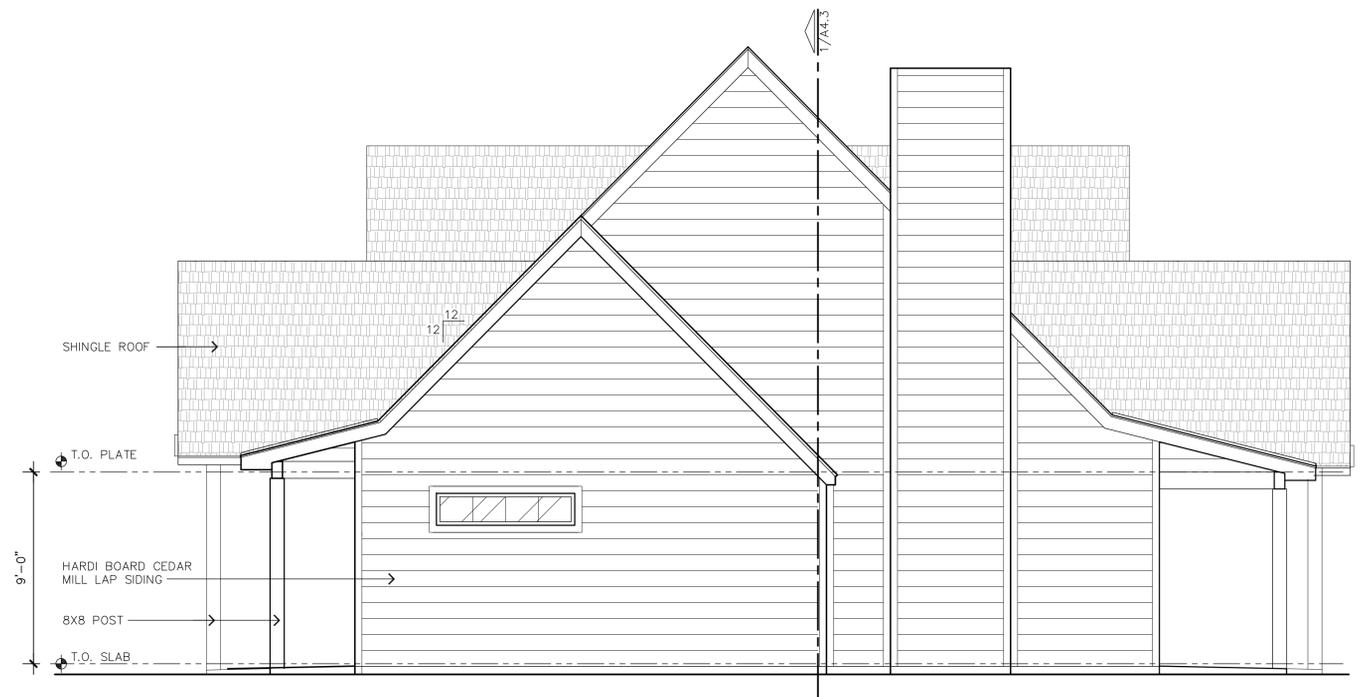


ELECTRICAL SCHEDULE:

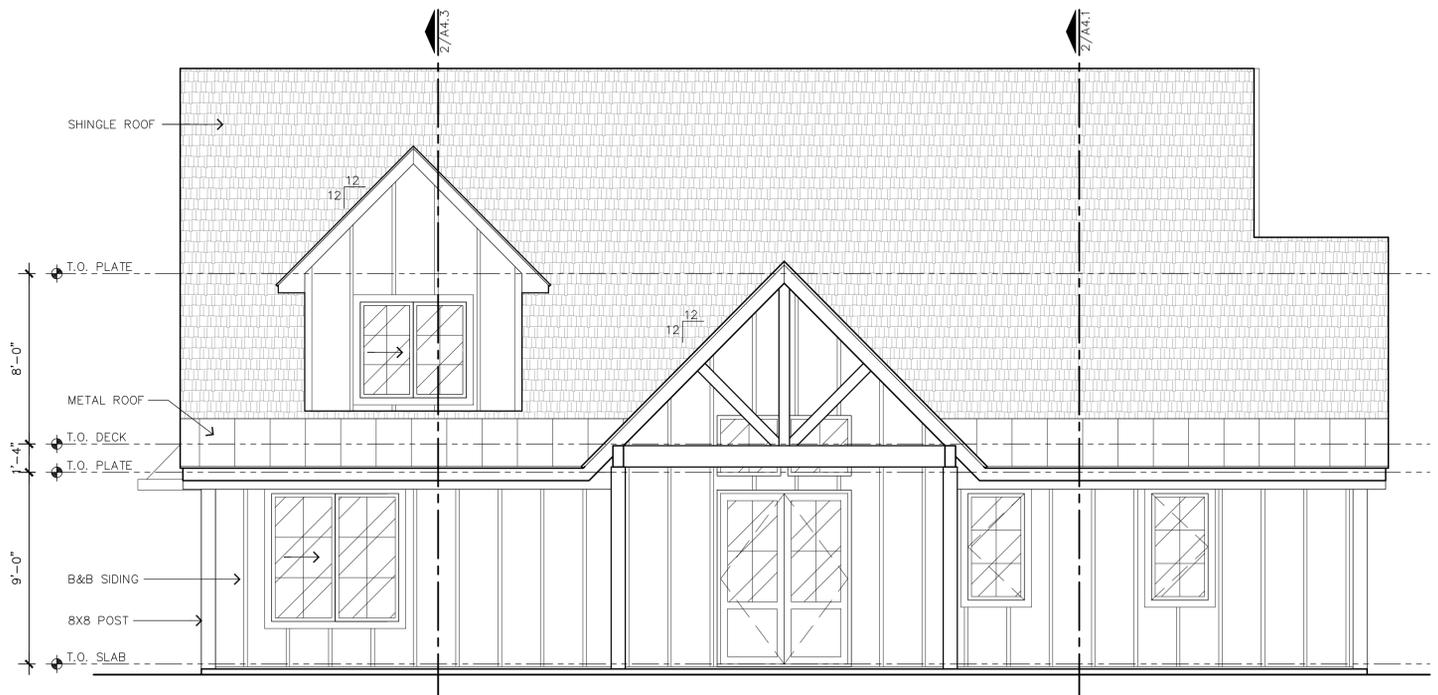
DUPLEX @ 12" A.F.F., OTHERS NOTED. WP - WATERPROOF HOUSING HZL - HORIZONTAL FACEPLATE GFI - GROUND FAULT	
220V OUTLET	JUNCTION BOX
4" RECESSED INCANDESCENT FIXTURE W/ 2" SPOT APERTURE	6" RECESSED INCANDESCENT FIXTURE
4" RECESSED INCANDESCENT FIXTURE W/ SLOTTED APERTURE	4" RECESSED INCANDESCENT FIXTURE
SINGLE POLE SWITCH (ROCKER) - VERIFY COLOR D - DIMMERS DJ - DOOR JAMB SWITCH 3-WAY SWITCH	
T.V. CABLE G6 WIRE	ALARM KEYPAD
SMOKE DETECTOR W/110V. JUNCTION BOX	CHIME DOOR BELL CHIME
DOOR BELL	CEILING EXHAUST FAN
CEILING MOUNTED FIXTURE TO BE SELECTED	WALL MOUNTED SCONCE TO BE SELECTED
DECORATIVE PENDANT- TO BE SELECTED	EXTERIOR FLOOD LIGHT ON MOTION DETECTOR / PHOTO CELL
CEILING MOUNTED FLUORESCENT FIXTURE	
1 LAMP FLUORESCENT, W/ LENS COVER AT CLOSET	
CEILING FAN	
NOTE: SOME SYMBOLS MAY NOT BE USED.	



2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"

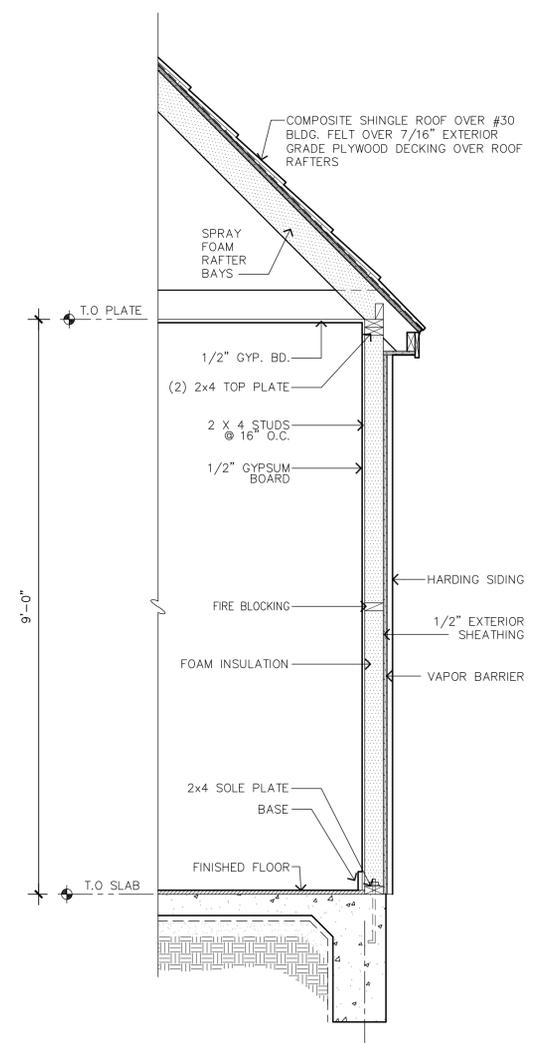


3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

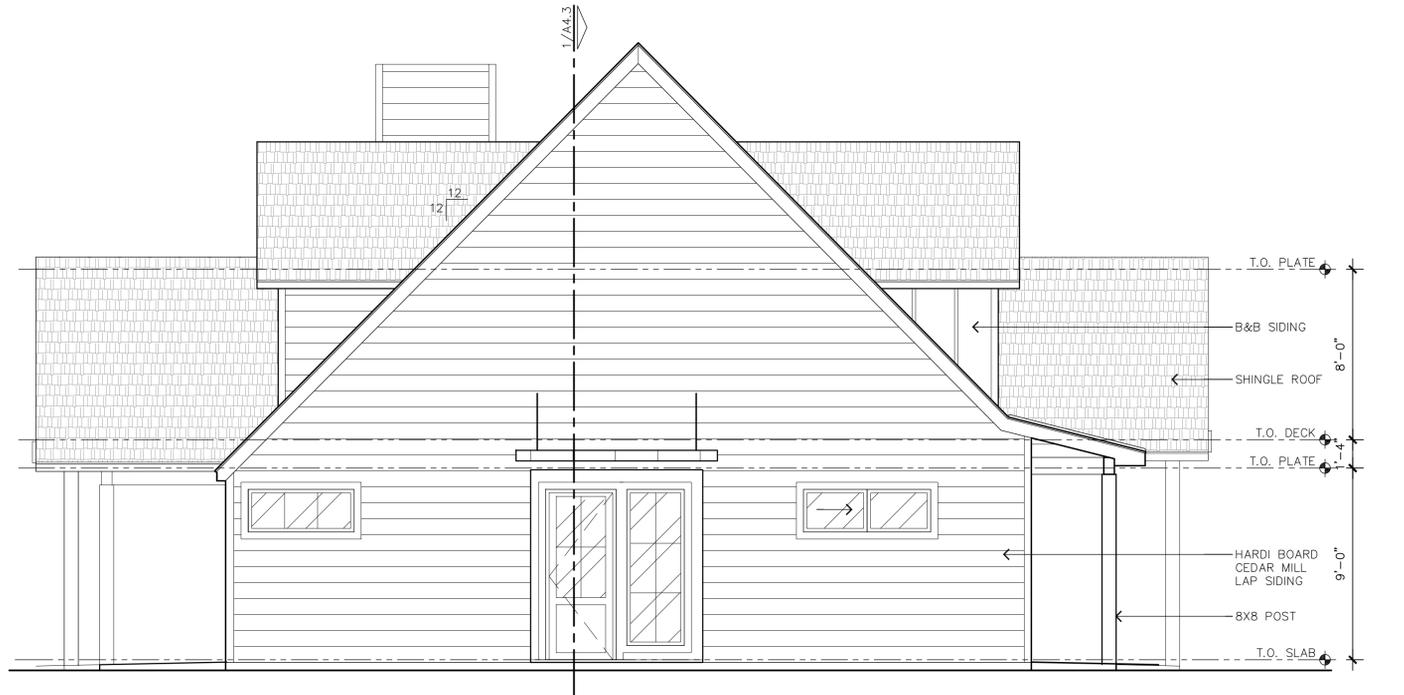
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



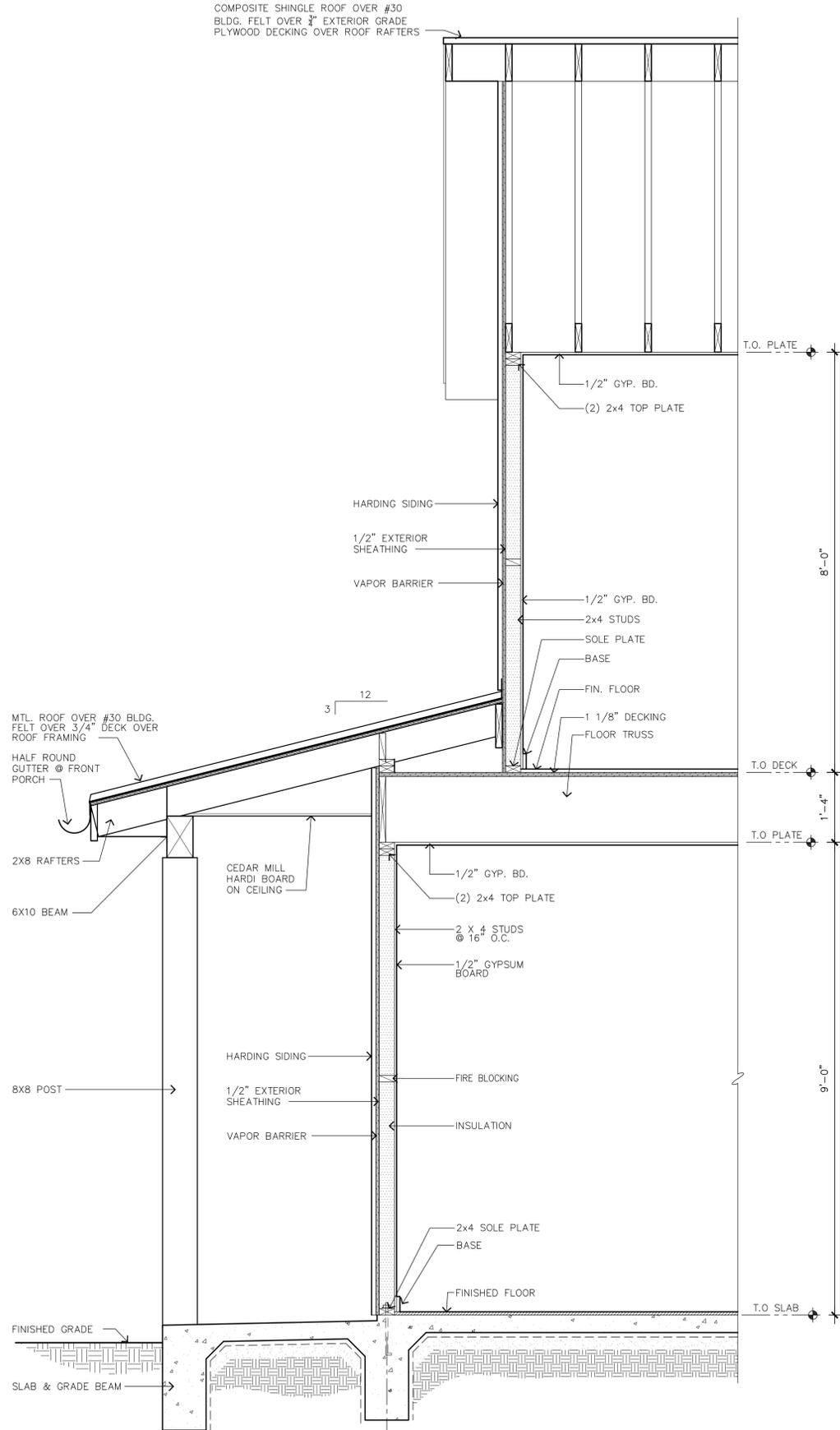
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



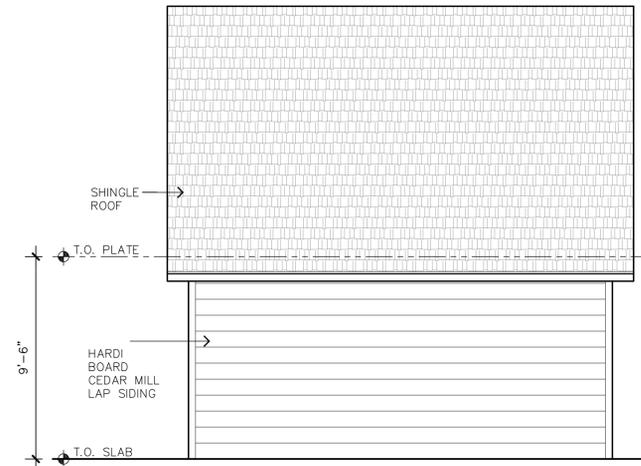
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



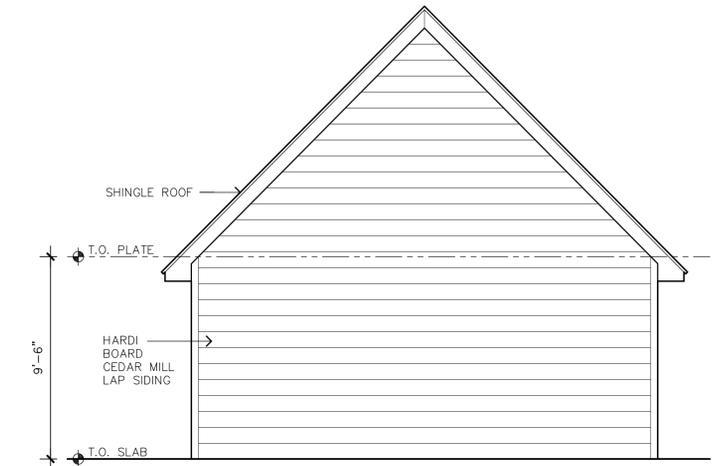
COMPOSITE SHINGLE ROOF OVER #30
BLDG. FELT OVER 3/4" EXTERIOR GRADE
PLYWOOD DECKING OVER ROOF RAFTERS



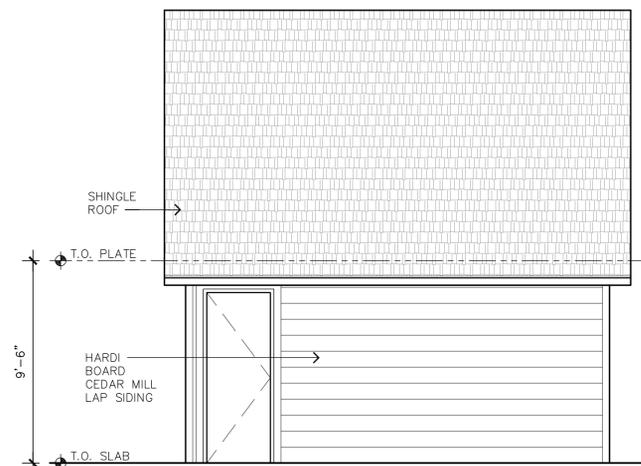
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



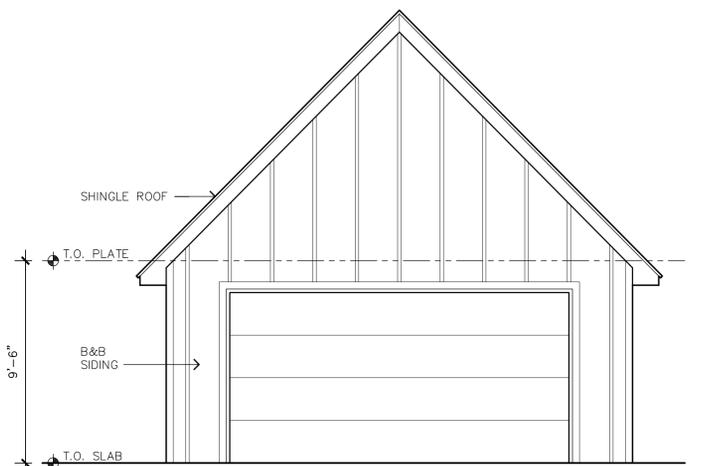
6 GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST BUILDING SECTION / ELEVATION
SCALE: 1/4" = 1'-0"

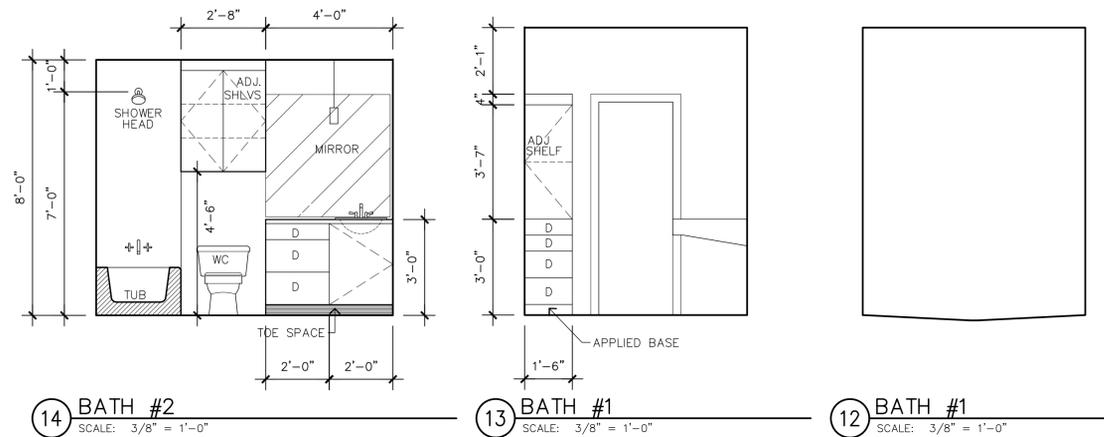
ISSUED DATE:
24, JUNE 2020

REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT3

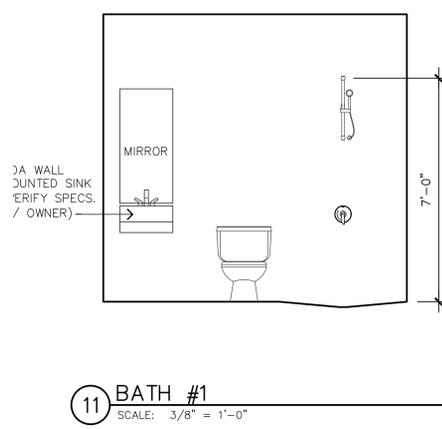
A4.3



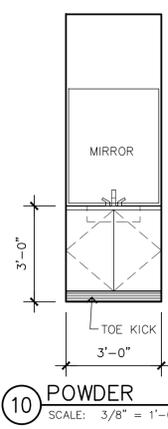
14 BATH #2
SCALE: 3/8" = 1'-0"

13 BATH #1
SCALE: 3/8" = 1'-0"

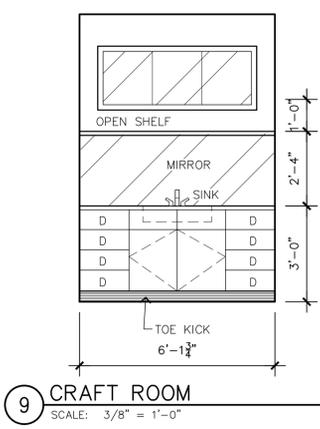
12 BATH #1
SCALE: 3/8" = 1'-0"



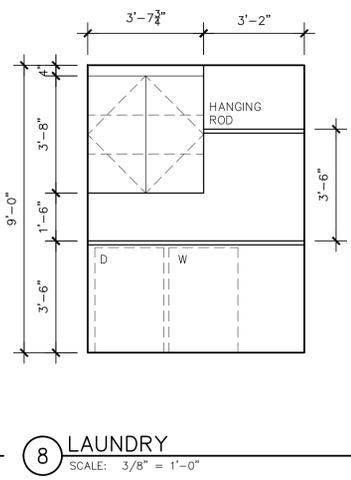
11 BATH #1
SCALE: 3/8" = 1'-0"



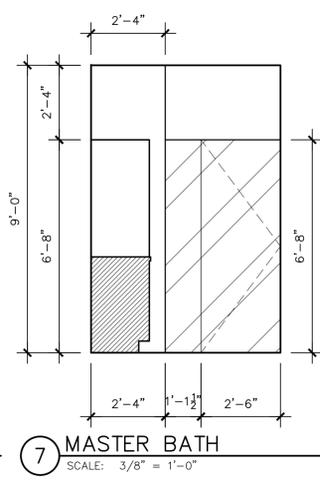
10 POWDER
SCALE: 3/8" = 1'-0"



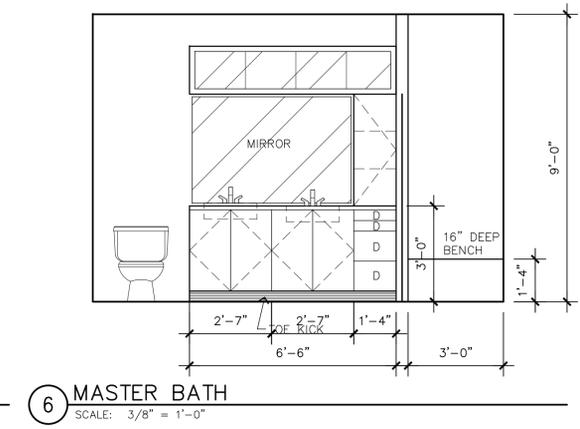
9 CRAFT ROOM
SCALE: 3/8" = 1'-0"



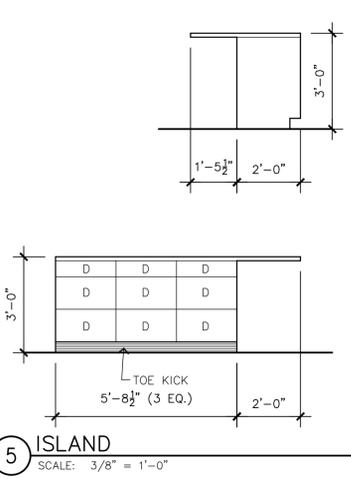
8 LAUNDRY
SCALE: 3/8" = 1'-0"



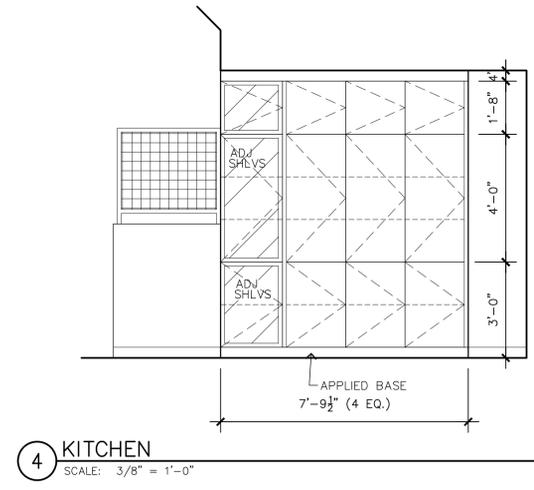
7 MASTER BATH
SCALE: 3/8" = 1'-0"



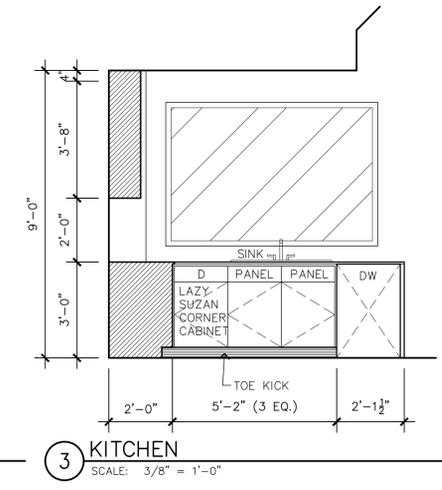
6 MASTER BATH
SCALE: 3/8" = 1'-0"



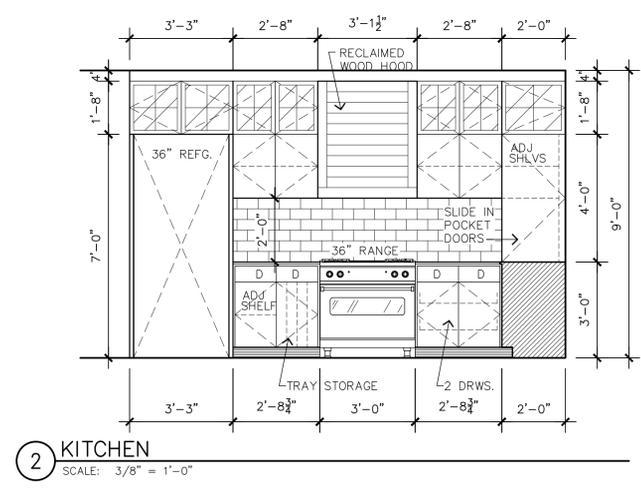
5 ISLAND
SCALE: 3/8" = 1'-0"



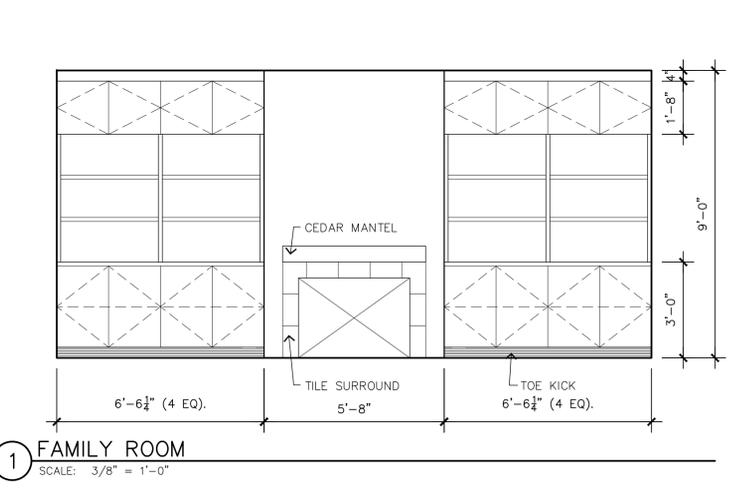
4 KITCHEN
SCALE: 3/8" = 1'-0"



3 KITCHEN
SCALE: 3/8" = 1'-0"



2 KITCHEN
SCALE: 3/8" = 1'-0"



1 FAMILY ROOM
SCALE: 3/8" = 1'-0"



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22020-033
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Platting Application Fees:

Master Plat (\$100.00 + \$15.00 Acre)¹

Preliminary Plat (\$200.00 + \$15.00 Acre)¹

Final Plat (\$300.00 + \$20.00 Acre)¹

Replat (\$300.00 + \$20.00 Acre)¹

Amending or Minor Plat (\$150.00)

Plat Restatement Request (\$100.00)

Site Plan Application Fees:

Site Plan (\$250.00 + \$20.00 Acre)¹

Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

Zoning Change (\$200.00 + \$15.00 Acre)¹

Specific Use Permit (\$200.00 + \$15.00 Acre)¹

PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

Tree Removal (\$75.00)

Variance Request (\$100.00)

Notes:
1. In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

\$215.00 check

PROPERTY INFORMATION (PLEASE PRINT)

Address: 210 Wade STREET Rockwall TX 75087

Subdivision: RICHARD HARRIS NO. 3 ADDITION Lot 3 Block A

General Location: Hartman + Wade

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning	<u>Residential</u>	Current Use	<u>Residential</u>
Proposed Zoning	<u>Residential</u>	Proposed Use	<u>Residential</u>
9411 ft ² = Acreage	<u>0.22</u>	Lots [Current]	<u>LOT 3</u>
		Lots [Proposed]	<u>LOT 3</u>

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB2167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input checked="" type="checkbox"/> Owner	<u>PATRICK S. WELLS</u>	<input type="checkbox"/> Applicant	<u>SAME AS OWNER INFO</u>
Contact Person	<u>PATRICK S. WELLS</u>	Contact Person	<u>"</u>
Address	<u>711 Stillwater Dr.</u>	Address	<u>"</u>
City, State & Zip	<u>Rockwall, Tx. 75087</u>	City, State & Zip	<u>"</u>
Phone	<u>214-280-6469</u>	Phone	<u>"</u>
E-Mail	<u>pwells9@icloud.com</u>	E-Mail	<u>PWELLS9@icloud.com</u> <u>PWELLS9@ICLOUD.COM</u>

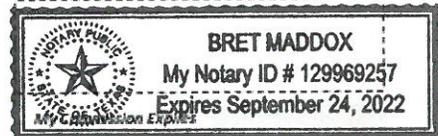
NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared Patrick Wells [Owner] the undersigned, who stated the information on this application to be true and certified the following.

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct, and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 3rd day of August, 2020.

Owner's Signature: Patrick S. Wells
Notary Public in and for the State of Texas: [Signature]



0 15 30 60 90 120 Feet

Z2020-033- SUP FOR 210 WADE DRIVE
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

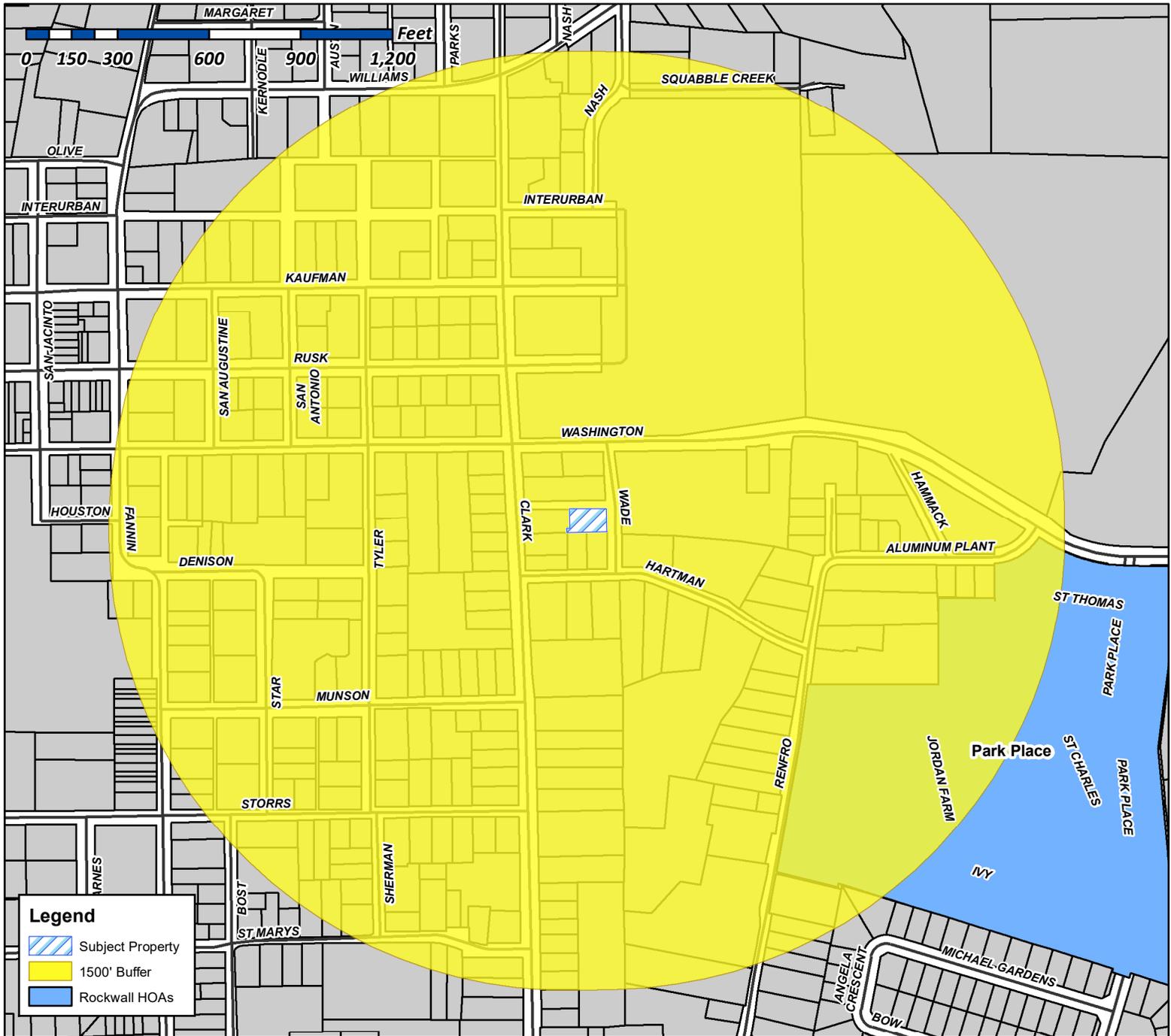
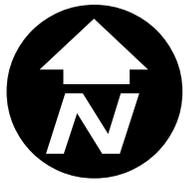




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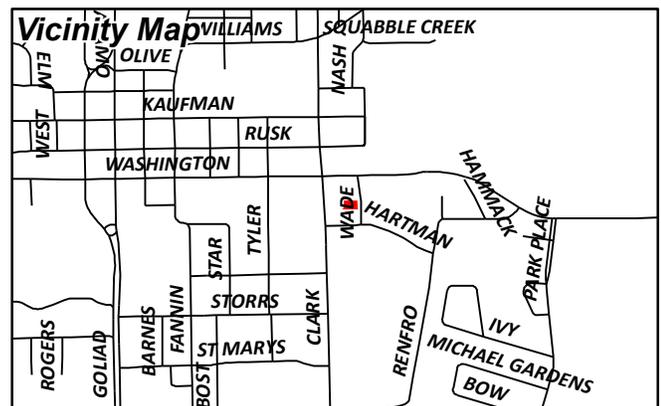
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Case Number: Z2020-033
Case Name: SUP for 210 Wade Drive
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 210 Wade Drive

Date Created: 8/14/2020

For Questions on this Case Call (972) 771-7745



MASSEY GREGORY
102 S CLARK
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
106 S CLARK
ROCKWALL, TX 75087

BOREN TERRY L ETUX
113 S BERNICE DR
GARLAND, TX 75042

CASEY CAMPBELL
201 S CLARK
ROCKWALL, TX 75087

RICH LISA
202 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
204 S CLARK
ROCKWALL, TX 75087

HENRY AMANDA A
205 S CLARK
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
206 S CLARK
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE
207 WAEDR
ROCKWALL, TX 75087

KOCH JEAN
208 S CLARK
ROCKWALL, TX 75087

LEFERE KEVIN M AND
AMANDA HENRY
209 S CLARK ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX

MUNSON PARTNERS 1 LLC
210 S CLARK
ROCKWALL, TX 75087

WILKINSON LYNN L & CHAD DAVID
211 S CLARK ST
ROCKWALL, TX 75087

ZAKEM KYNSIE JO
212 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
213 S CLARK
ROCKWALL, TX 75087

SIMPSON MELISSA HUFFAKER
214 S CLARK ST
ROCKWALL, TX 75087

CAUBLE LINDA
301 S CLARK ST
ROCKWALL, TX 75087

BURGESS JULIA ANN
302 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
306 S CLARK
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L
307 S CLARK
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
309 GLENN AVE
ROCKWALL, TX 75087

KOCH JEAN
3720 MEDITERRANEAN
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI
508 HIGHVIEW
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
509 MUNSON
ROCKWALL, TX 75087

FLORES JAMES AND
511 MUNSON
ROCKWALL, TX 75087

BOREN TERRY L ETUX
513 MUNSON
ROCKWALL, TX 75087

CARSON HEATHER
606 E WASHINGTON ST
ROCKWALL, TX 75087

JONES CLYDE AND CHRISTY
608 E WASHINGTON
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
608 E WASHINGTON
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET
609 EAST WASHINGTON STREET
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN
610 E RUSK ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
705 HARTMANST
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI
706 HARTMAN
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
707 HARTMANST
ROCKWALL, TX 75087

SHELTON HEATHER
708 HARTMAN ST
ROCKWALL, TX 75087

RENDON MARCELINO J JR
710 HARTMAN ST
ROCKWALL, TX 75087

ANDERSON TREVOR
711 HARTMAN ST
ROCKWALL, TX 75087

WELLS PATRICK S & RHONDA C
711 STILLWATER DR
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

PIERCY DUANE AND JENNIFER
713 HARTMAN
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
720 E WASHINGTON
ROCKWALL, TX 75087

ROCKWALL I S D
801 E WASHINGTON
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
815 T L TOWNSEND STE 100
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L
8660 COLONY CLUB DR
ALPHARETTA, GA 30022

WOOD WILLIAM AND SANDIE
8718 CLEARLAKE DR
ROWLETT, TX 75088

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
PO BOX 868
ROCKWALL, TX 75087

ABBREVIATIONS:

A/C	==	AIR CONDITIONED	MC	==	MEDICINE CABINET
ADJ	==	ADJUSTABLE	MICRO	==	MICROWAVE
A.F.F.	==	ABOVE FINISHED FLOOR	MIN	==	MINIMUM
BD	==	BOARD	N.T.S.	==	NOT TO SCALE
BLDG	==	BUILDING	O.H.	==	OVERHEAD
B.O.	==	BOTTOM OF	O.C.	==	ON CENTER
CAB	==	CABINET	O.C.E.W.	==	ON CENTER EACH WAY
CER	==	CERAMIC	PL	==	PLATE
CL	==	CENTER LINE	PLAS	==	PLASTIC
CLG	==	CEILING	PWR	==	POWDER
CLO	==	CLOSET	REF	==	REFERENCE
C.O.	==	CASED OPENING	REFG	==	REFRIGERATOR
COL	==	COLUMN	REQ	==	REQUIRED
CONC	==	CONCRETE	RM	==	ROOM
CONT	==	CONTINUOUS	R/S	==	ROD & SHELF
COORD	==	COORDINATE	SCHED	==	SCHEDULE
DBLE	==	DOUBLE	S.F.	==	SQUARE FEET
DN	==	DOWN	SH	==	SHelf
D.S.	==	DOWN SPOUT	SHLVS	==	SHELVES
DW	==	DISH WASHER	SIM	==	SIMILAR
DWR	==	DRAWER	SL	==	SLOPE
ELEC	==	ELECTRIC	SPR	==	SPRINKLER
ELEV	==	ELEVATION	S.S.	==	STAINLESS STEEL
EO	==	EQUAL	STL	==	STEEL
ESMT	==	EASEMENT	STOR	==	STORAGE
EXT	==	EXTERIOR	STRUCT	==	STRUCTURAL
EXIST	==	EXISTING	TC	==	TRASH COMPACTOR
F.F.E.	==	FINISH FLOOR ELEVATION	T&G	==	TONGUE & GROOVE
FLR	==	FLOOR	THK	==	THICK
FREZ	==	FREEZER	T.O.	==	TOP OF
GALV	==	GALVANIZED	T/R	==	TREAD & RISER
GFI	==	GROUND FAULT INTERRUPTER	TV	==	TELEVISION
GL	==	GLASS	TYP	==	TYPICAL
GYP	==	GYP SUM	U.C.	==	UNDER COUNTER
Hb	==	HOSE BIB	U.M.	==	UNDER MOUNT
H.C.	==	HANDICAPPED	UTIL	==	UTILITY
HT	==	HEIGHT	VEST	==	VESTIBULE
INSUL	==	INSULATION	V.I.F.	==	VERIFY IN FIELD
LAV	==	LAVATORY	W.C.	==	WATER CLOSET
LAM	==	LAMINATE	W/D	==	WASHER & DRYER
MANUF	==	MANUFACTURER	WD	==	WOOD
MAX	==	MAXIMUM	W.H.	==	WATER HEATER
MECH	==	MECHANICAL	W.I.	==	WROUGHT IRON
			WP	==	WATER PROOF
			WRM	==	WARMING

GRAPHIC SYMBOLS:

1. ---	INDICATES HIDDEN, FUTURE, ABOVE OR EXISTING	7. [Symbol]	INDICATES STEP
2. X/AX.X	INDICATES SECTION	8. [Symbol]	DOOR MARK
3. X/AX.X	INDICATES BUILDING SECTION	9. [Symbol]	WINDOW MARK
4. X/AX.X	INDICATES ELEVATION VIEW	10. [Symbol]	INDICATES BREAK LINE
5. [Symbol]	INDICATES DETAIL	11. #Hb	FROST PROOF HOSE BIB
6. [Symbol]	INDICATES ELEVATION CONTROL	12. X.G.K.	GAS KEY @ FIREPLACE

NOT ALL SYMBOLS USED

DESCRIPTION OF PROPERTY:

LEGAL DESCRIPTION: PROPERTY IS LOCATED AT 210 WADE DRIVE, RICHARD HARRIS SUBDIVISION NO.3 ADDITION, NASH STREET, IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087 BEING A REPLAT OF LOTS 1 & 2 BLOCK A, A RICHARD HARRIS SUBDIVISION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET B, SIDE 44, OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

ZONING: FRONT YARD SETBACK: 20'-0"
SIDE YARD SETBACK: 6'-0"
REAR YARD SETBACK: 8'-0"

LOT COVERAGE: SITE SQUARE FOOTAGE: 9,411 S.F.
ACTUAL COVERAGE: 2,907 S.F.

AREA CALCULATIONS:

AREAS:

1ST FLOOR A/C SQ. FT.:	1,872 S.F.
2ND FLOOR A/C SQ. FT.:	546 S.F.
TOTAL HOUSE A/C SQ. FT.:	2,418 S.F.
COVERED PATIO SQ. FT.:	595 S.F.
TOTAL HOUSE SQ. FT.:	3,013 S.F.
DETACHED GARAGE SQ. FT.:	440 S.F.

SHEET INDEX:

SHEET	CONTENTS
ARCHITECTURAL DRAWINGS	
A1.1	SITE PLAN / ROOF PLAN / GENERAL NOTES
A2.1	FLOOR PLANS
A3.1	REFLECTED CEILING PLAN & SCHEDULE
A4.1	EXTERIOR ELEVATIONS / WALL SECTION
A4.2	EXTERIOR ELEVATIONS / WALL SECTION
A4.3	BUILDING SECTION / WALL SECTION
A5.1	INTERIOR ELEVATIONS



ISSUED DATE:
24, JUNE 2020

REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT 3

A1.1



DOOR SCHEDULE

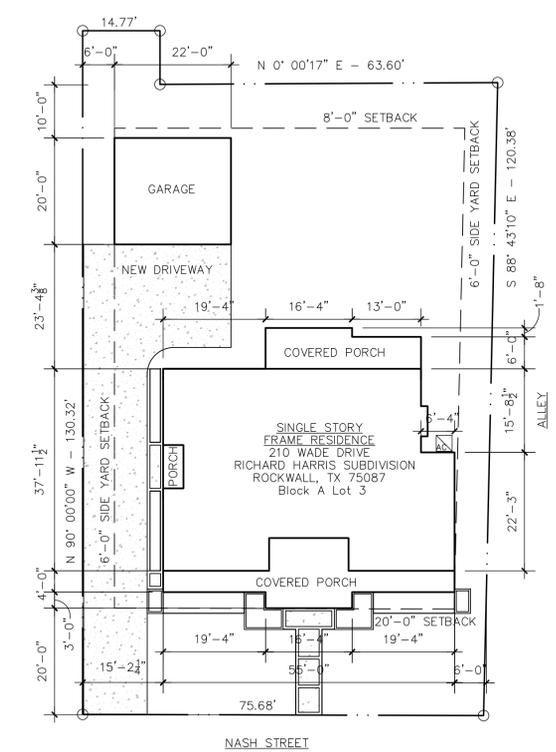
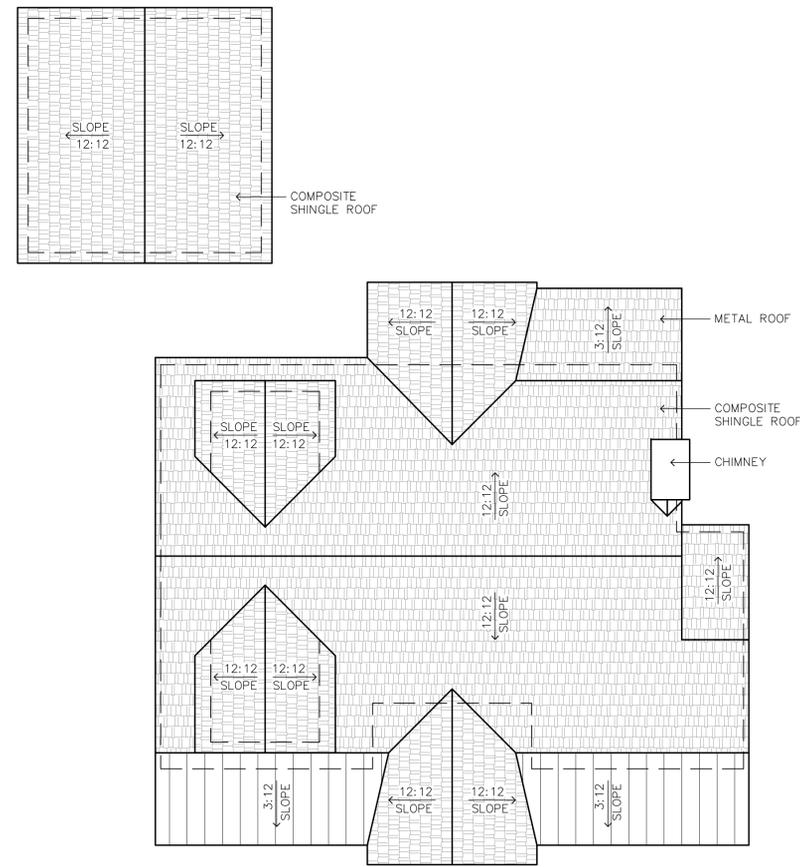
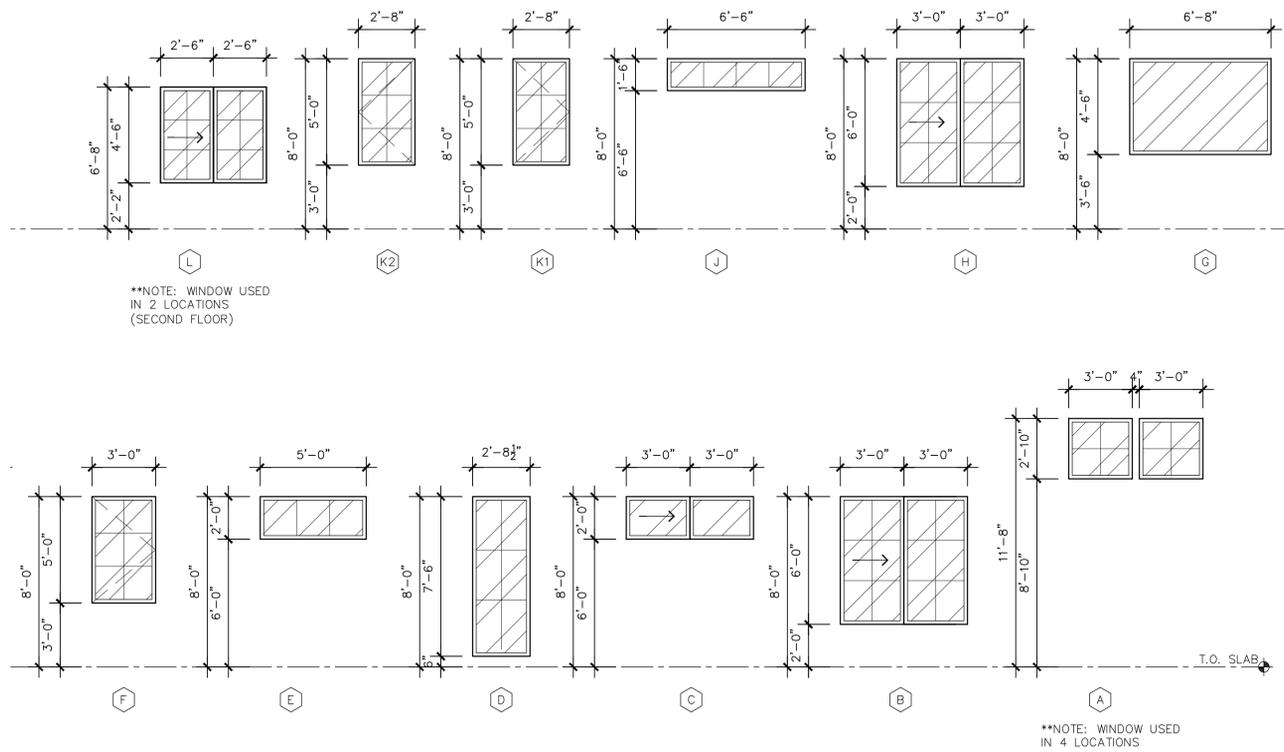
NO.	NAME	SIZE	TYPE	HARDWARE	REMARKS
FIRST FLOOR					
1	FOYER	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
2	HALL	3'-0" x 8'-0" x 1 3/4"	B	LOCKSET	
3	DINING	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
4	MASTER BEDROOM	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	
5	MASTER CLOSET	(2) 3'-0" x 8'-0" x 1 3/4"	D	-	
6	MASTER BATH	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
7	MASTER SHOWER	2'-6" x 8'-0" x 1/2"	E	-	
8	MASTER CLOSET	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
9	LAUNDRY	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
10	CRAFT ROOM	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
11	POWDER	2'-4" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
12	STORAGE	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
13	BEDROOM #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
14	BATH #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
SECOND FLOOR					
15	LOFT CLOSET	2'-8" x 6'-8" x 1 3/4"	C	PASSAGE	
16	BATH #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
17	BEDROOM #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
18	BEDROOM #2 CLOSET	(2) 3'-0" x 6'-8" x 1 3/4"	D	-	

DOOR TYPES

A CUSTOM FRONT DOOR- REFER. WINDOW & DOOR ELEVATIONS (2/A1.2)
 B EXTERIOR SWING DOOR
 C SOLID CORE INTERIOR DOOR
 D INTERIOR SLIDING DOOR
 E GLASS SWING DOOR

ENERGY SPECIFICATIONS:

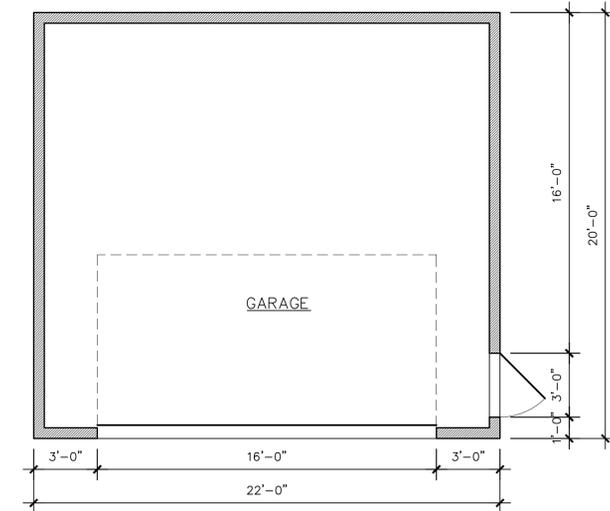
1	ALL FRAMED ENVELOPE:
	2X4 WALLS: 3.5" OPEN CELL FOAM
	SLAB FLOOR SYSTEM
	8" DEEP CEILING SYSTEM: 6" OPEN CELL
2	WINDOWS AND DOORS:
	LOW E GLAZING- UF=.30 SHGV=.20
3	HVAC: 16 SEER
4	GAS FURNACE
5	TANKLESS WATER HEATER: GAS



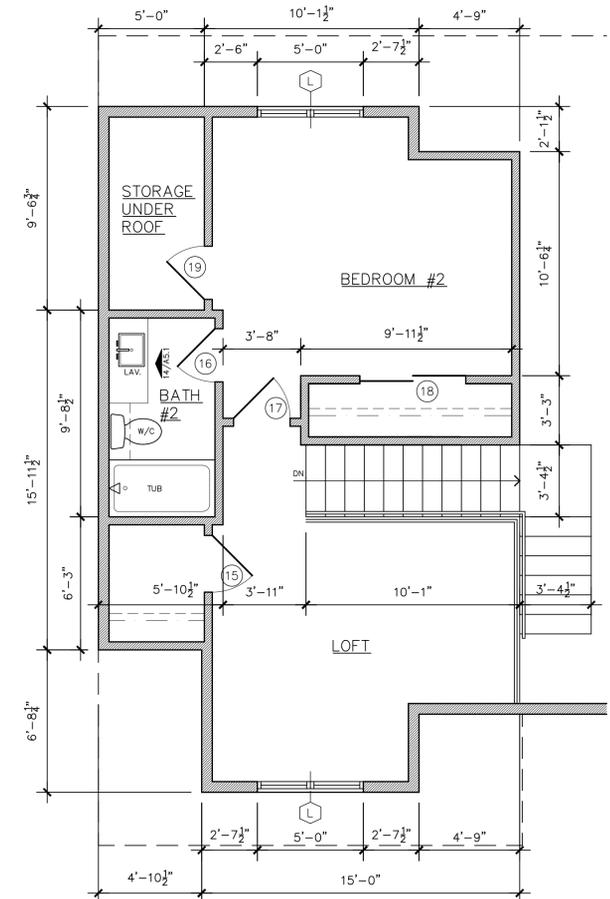
3 WINDOW & DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"

2 ROOF PLAN
SCALE: 1/8" = 1'-0"

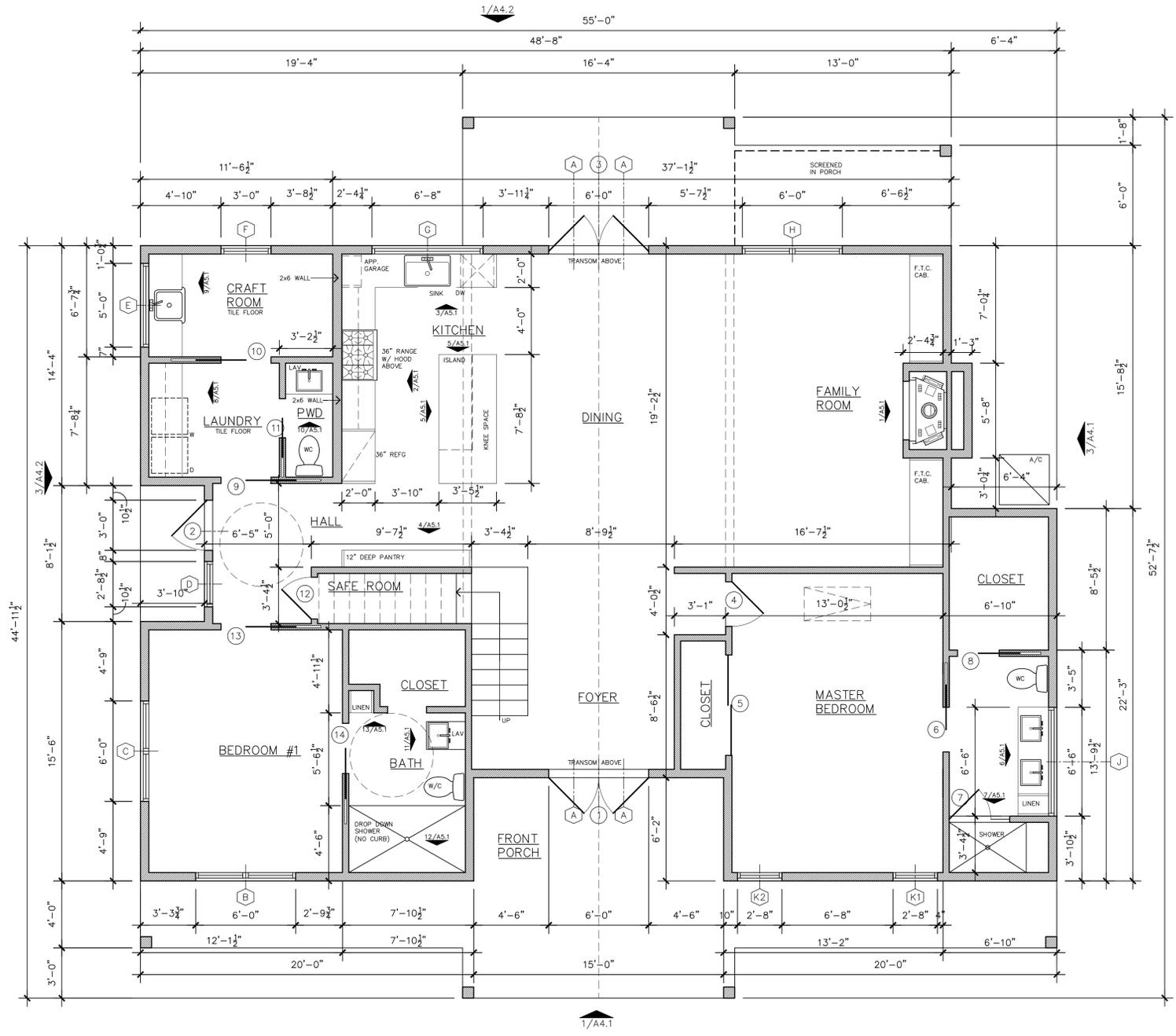
1 SITE PLAN
SCALE: 1/16" = 1'-0"



3 GARAGE
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ISSUED DATE:
24, JUNE 2020

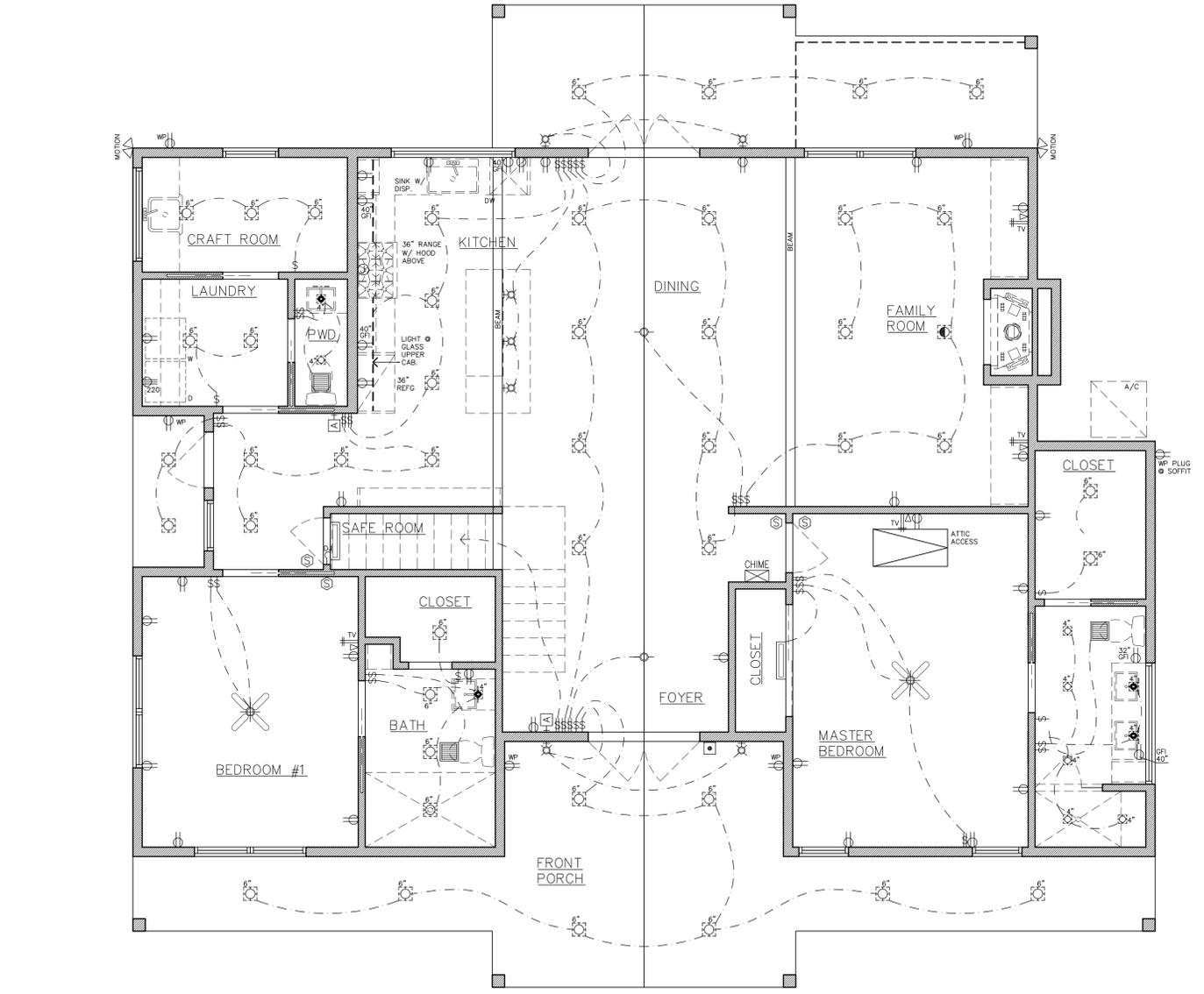
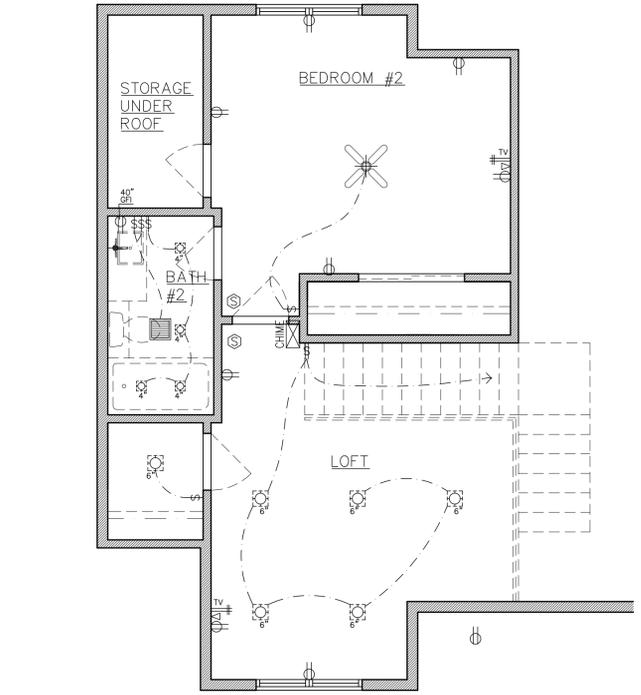
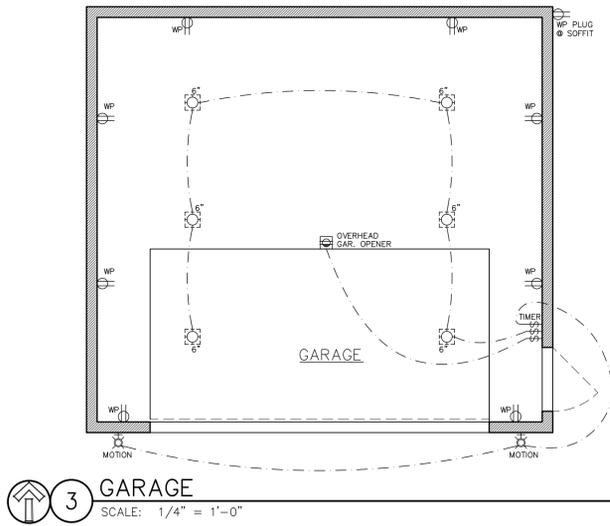
REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
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210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT 13

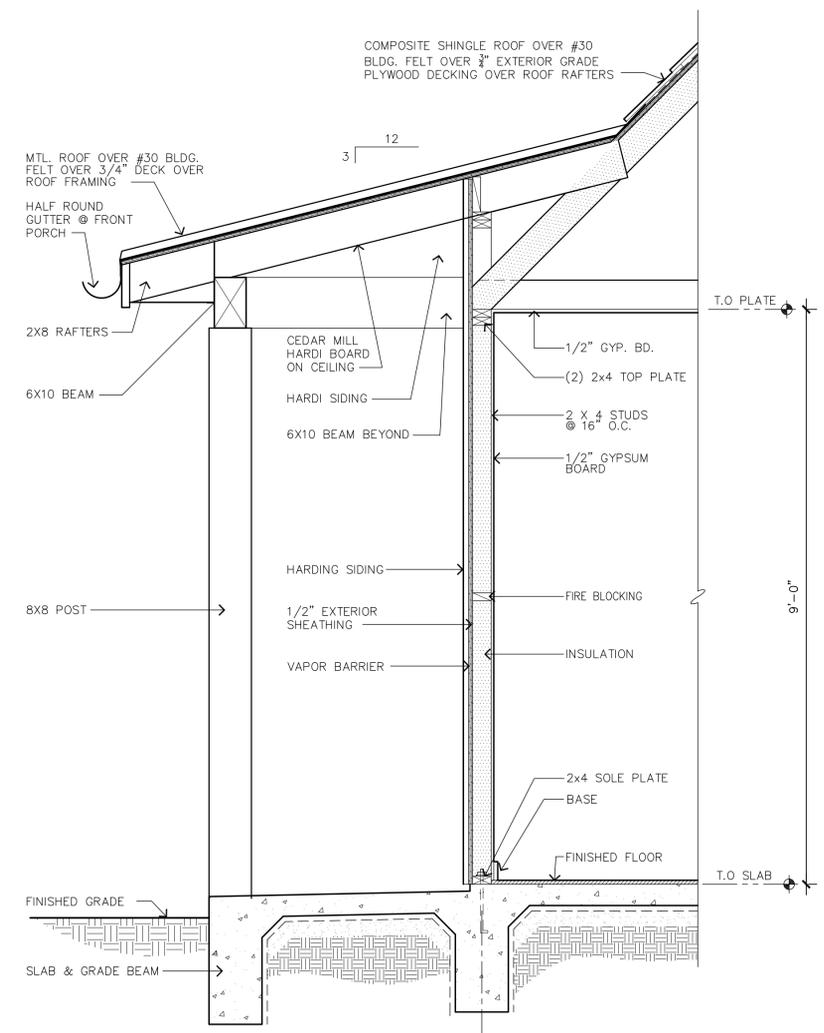
A2.1



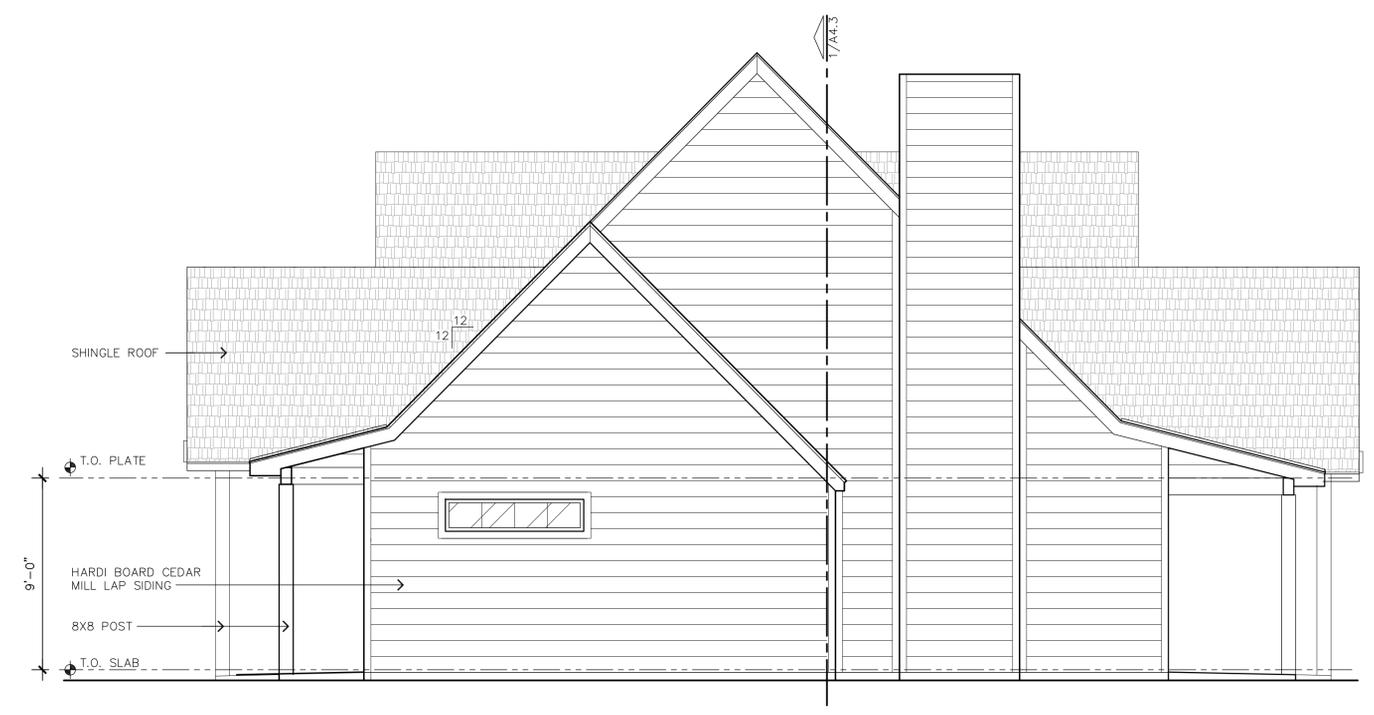


ELECTRICAL SCHEDULE:

DUPLEX @ 12" A.F.F., OTHERS NOTED. WP - WATERPROOF HOUSING HZL - HORIZONTAL FACEPLATE GFI - GROUND FAULT	
220V OUTLET	JUNCTION BOX
4" RECESSED INCANDESCENT FIXTURE W/ 2" SPOT APERTURE	6" RECESSED INCANDESCENT FIXTURE
4" RECESSED INCANDESCENT FIXTURE W/ SLOTTED APERTURE	4" RECESSED INCANDESCENT FIXTURE
SINGLE POLE SWITCH (ROCKER) - VERIFY COLOR D - DIMMERS DJ - DOOR JAMB SWITCH 3-WAY SWITCH	
T.V. CABLE G6 WIRE	ALARM KEYPAD
SMOKE DETECTOR W/110V. JUNCTION BOX	CHIME DOOR BELL CHIME
DOOR BELL	CEILING EXHAUST FAN
CEILING MOUNTED FIXTURE TO BE SELECTED	WALL MOUNTED SCONCE TO BE SELECTED
DECORATIVE PENDANT- TO BE SELECTED	EXTERIOR FLOOD LIGHT ON MOTION DETECTOR / PHOTO CELL
CEILING MOUNTED FLUORESCENT FIXTURE	
1 LAMP FLUORESCENT, W/ LENS COVER AT CLOSET	
CEILING FAN	
NOTE: SOME SYMBOLS MAY NOT BE USED.	



2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

ISSUED DATE:
24, JUNE 2020

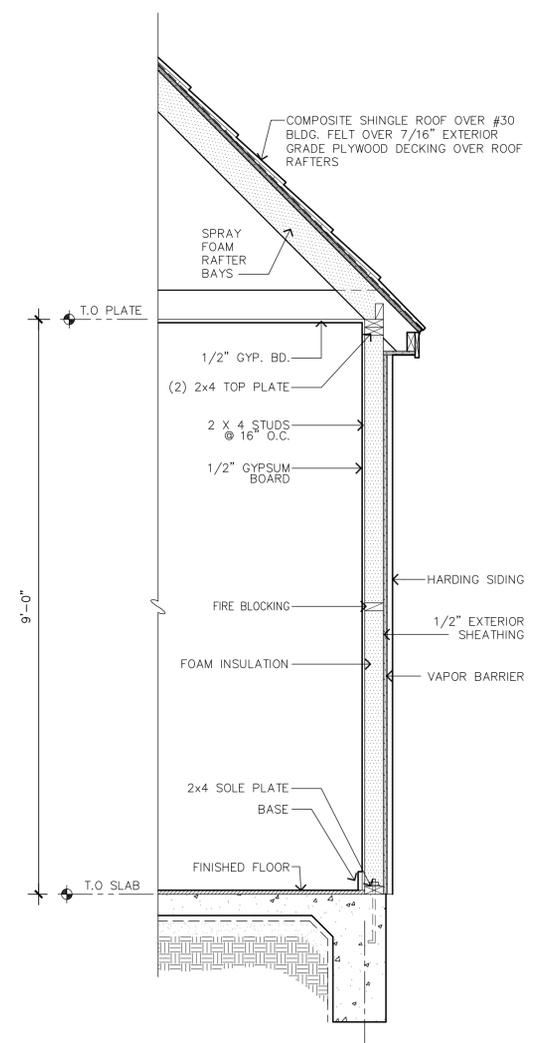
REVISION:

DRAWINGS PREPARED BY:
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2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT3

A4.1

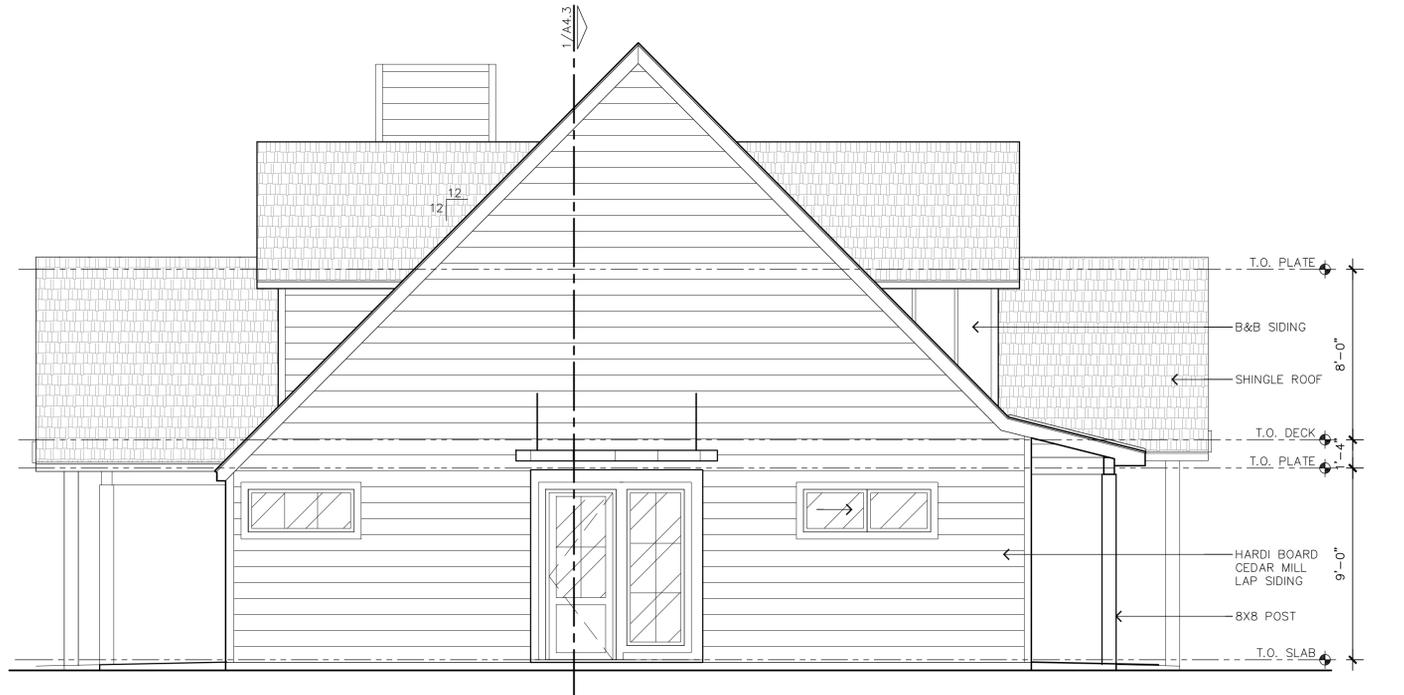
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



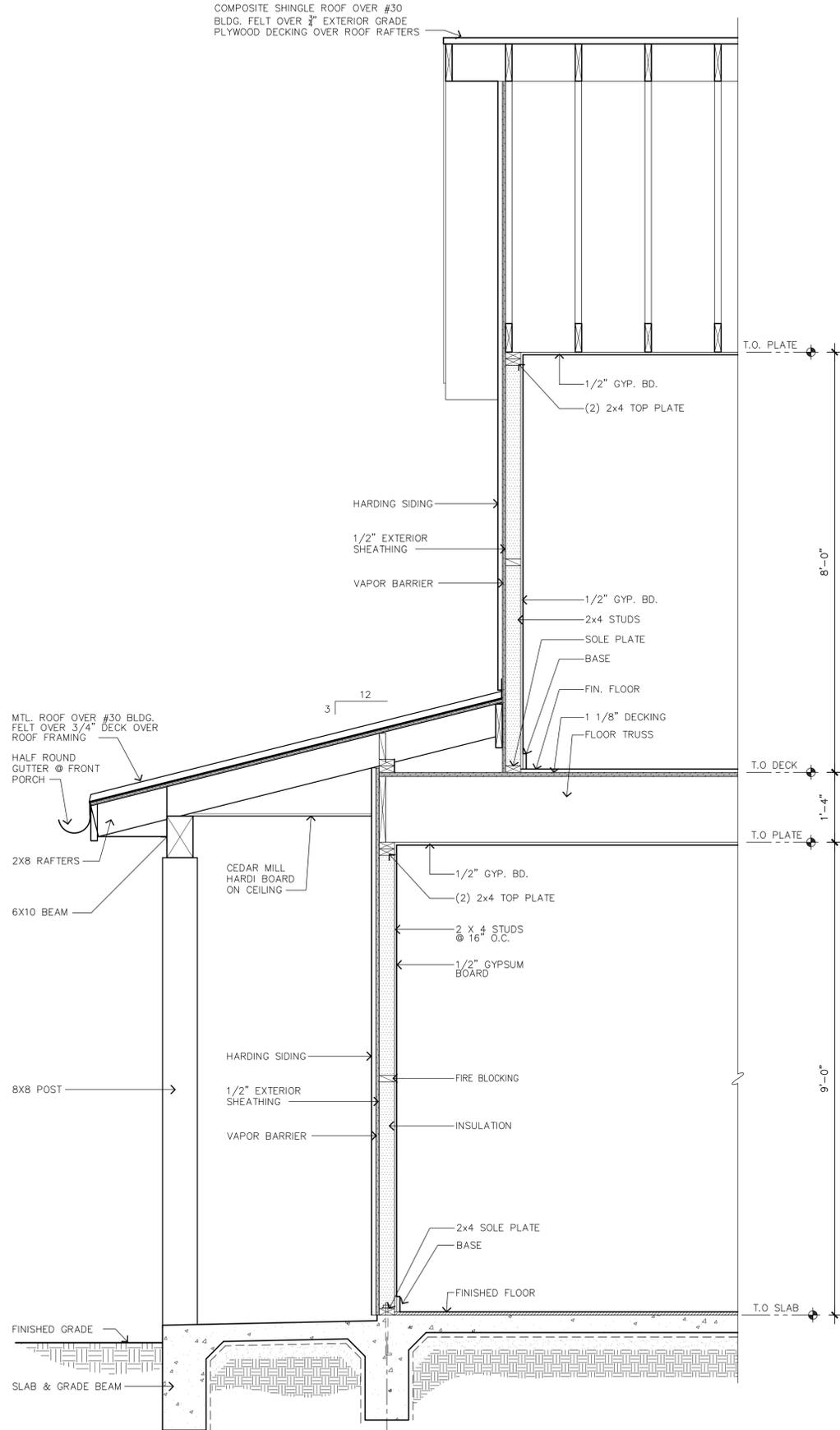
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



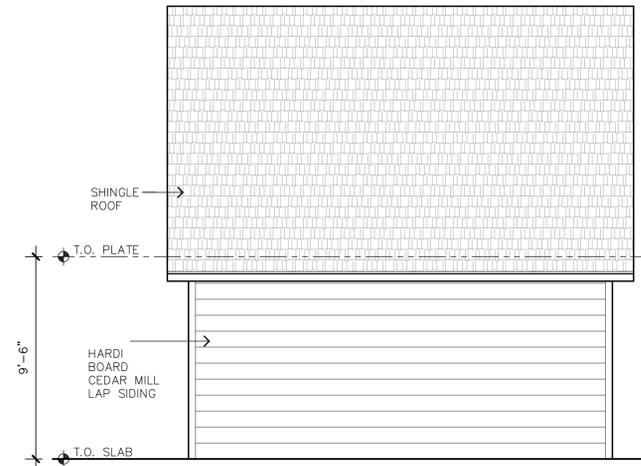
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



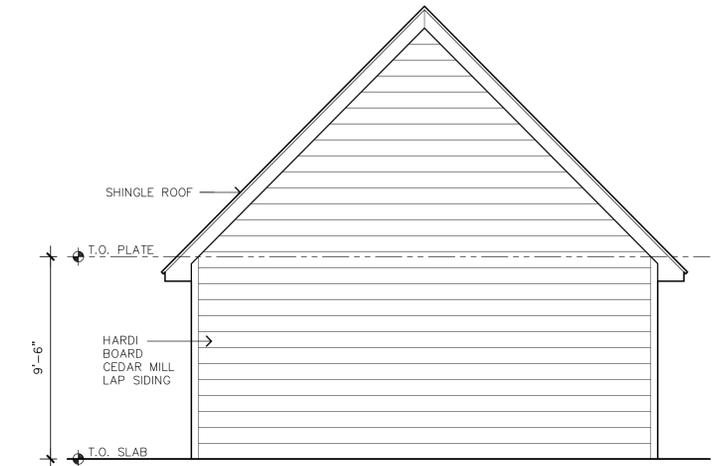
COMPOSITE SHINGLE ROOF OVER #30
BLDG. FELT OVER 3/4" EXTERIOR GRADE
PLYWOOD DECKING OVER ROOF RAFTERS



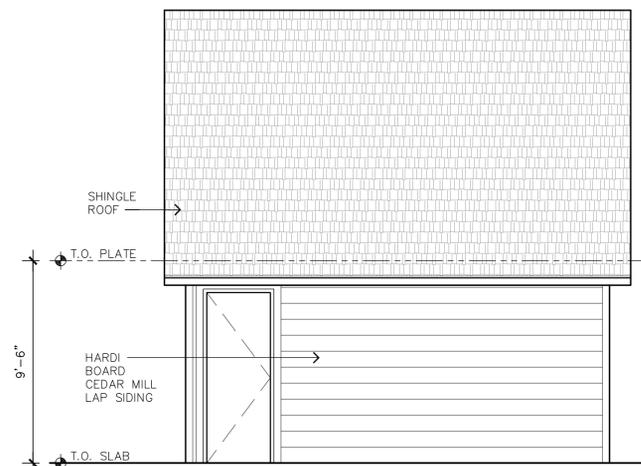
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



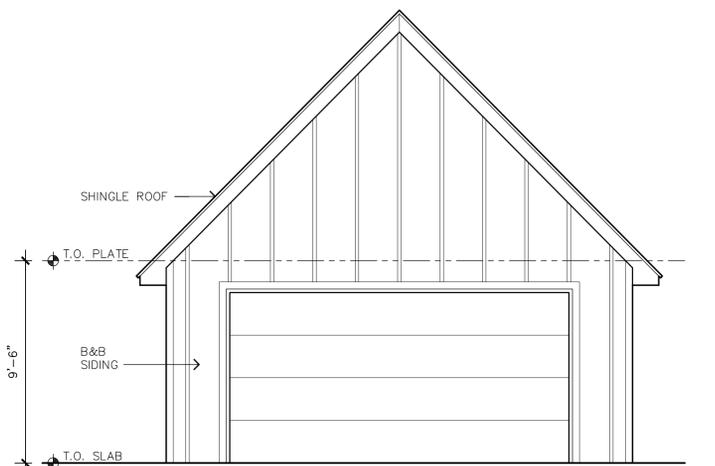
6 GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST BUILDING SECTION / ELEVATION
SCALE: 1/4" = 1'-0"

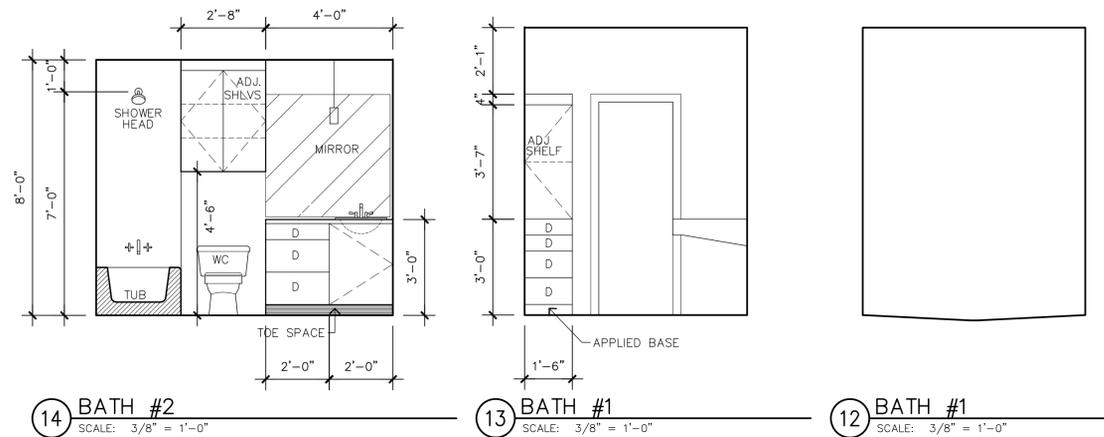
ISSUED DATE:
24, JUNE 2020

REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT3

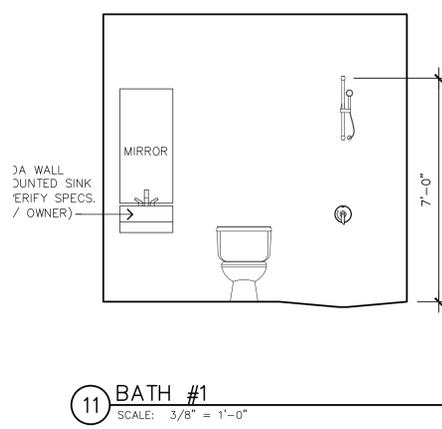
A4.3



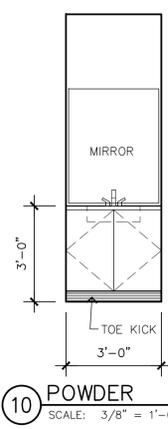
14 BATH #2
SCALE: 3/8" = 1'-0"

13 BATH #1
SCALE: 3/8" = 1'-0"

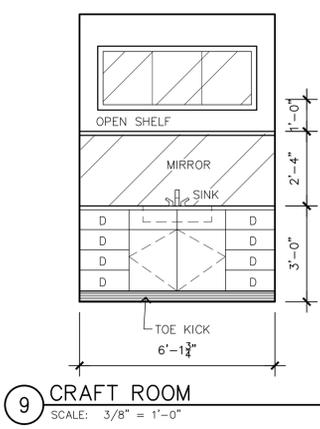
12 BATH #1
SCALE: 3/8" = 1'-0"



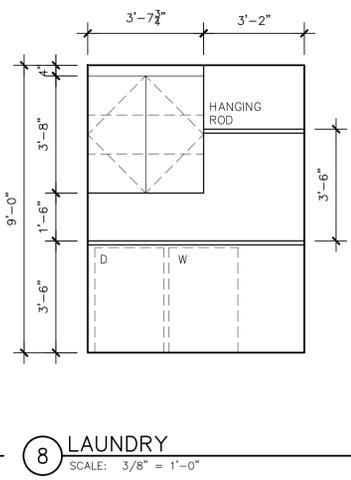
11 BATH #1
SCALE: 3/8" = 1'-0"



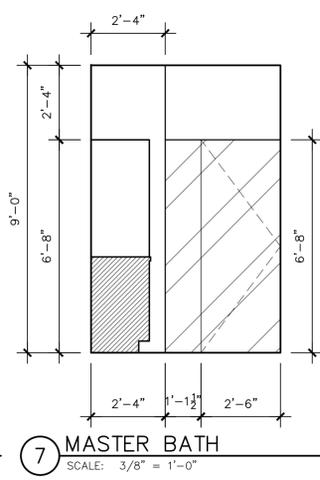
10 POWDER
SCALE: 3/8" = 1'-0"



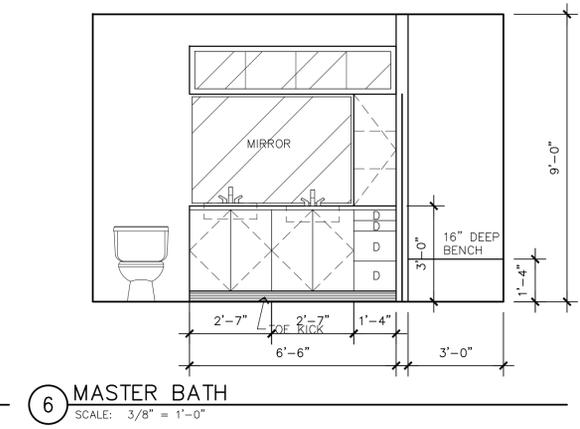
9 CRAFT ROOM
SCALE: 3/8" = 1'-0"



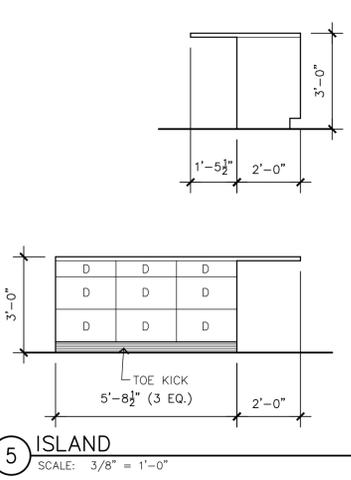
8 LAUNDRY
SCALE: 3/8" = 1'-0"



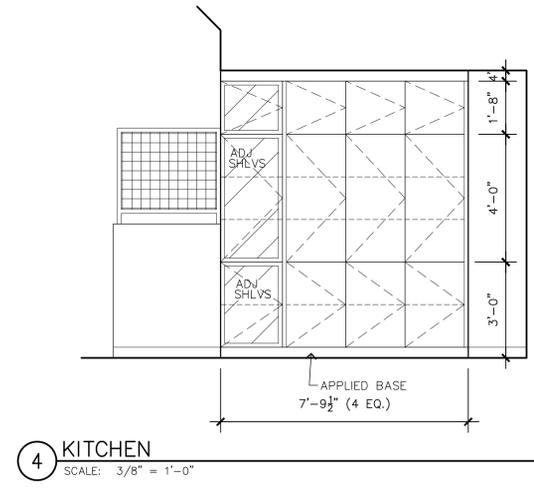
7 MASTER BATH
SCALE: 3/8" = 1'-0"



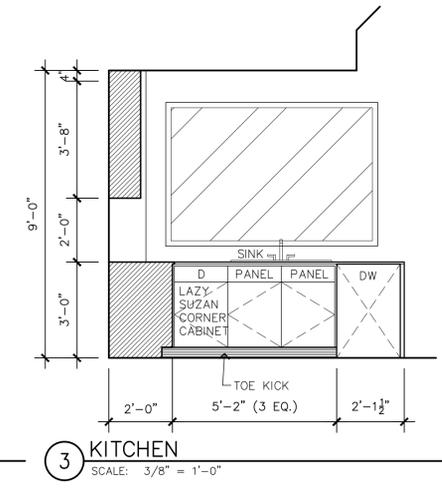
6 MASTER BATH
SCALE: 3/8" = 1'-0"



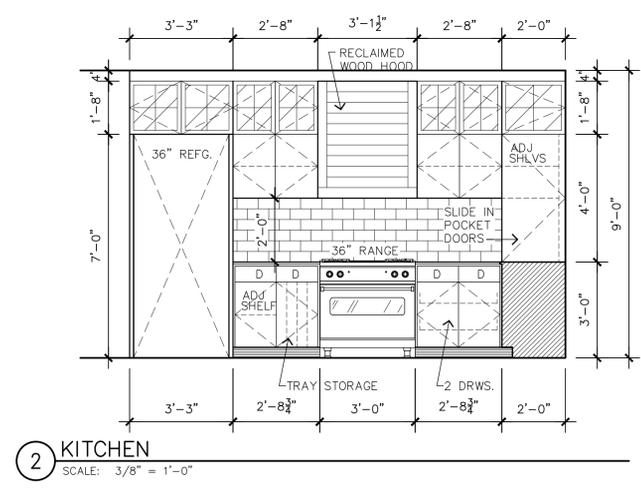
5 ISLAND
SCALE: 3/8" = 1'-0"



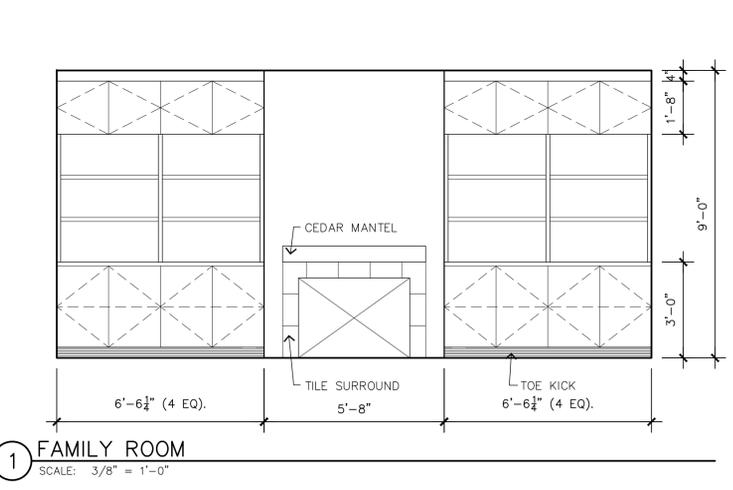
4 KITCHEN
SCALE: 3/8" = 1'-0"



3 KITCHEN
SCALE: 3/8" = 1'-0"



2 KITCHEN
SCALE: 3/8" = 1'-0"



1 FAMILY ROOM
SCALE: 3/8" = 1'-0"

PROJECT COMMENTS



CITY OF ROCKWALL
 385 S. GOLIAD STREET
 ROCKWALL, TEXAS 75087
 PHONE: (972) 771-7700

DATE: 8/20/2020

PROJECT NUMBER: Z2020-033
 PROJECT NAME: SUP for 210 Wade Drive
 SITE ADDRESS/LOCATIONS: 210 WADE DR, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
 CASE MANAGER PHONE: 972-772-6438
 CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	08/20/2020	Approved w/ Comments

08/20/2020: I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street,.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email hlee@rockwall.com

M.3 For reference, include the case number (Z2020-033) in the lower right-hand corner of all pages on future submittals.

M.4 Correct the mention of the rear setback. Currently it is indicated as eight (8) feet, however in SF-7 the rear setback is ten (10) feet.

I.5 The building height cannot exceed more than 32 feet.

I.6 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.

I.7 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.8 Please review the attached Draft Ordinance prior to the August 25, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than September 1, 2020.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 15, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on August 25, 2020.

I.10 The projected City Council meeting dates for this case will be September 21, 2020 [1st Reading] and October 5, 2020 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jeremy White	08/19/2020	Approved w/ Comments

08/19/2020: I - 4% Engineering fees
 I - Impact fees

- I - Engineering Review fees apply.
- I - Water and Sewer to be built per approved
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls to be rock or stone face. No smooth concrete walls.
- I - No walls, structures in easements, including detention.
- I - No trees within 5' of utilities for public utilities less than 10". Trees must be 10' away from public utilities 10" or greater.
- I - 10' Utility Easement Required along Wade ROW Frontage.
- I - Must meet all City Standards of Design and Construction.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	08/18/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Kevin Clark	08/18/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/19/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/17/2020	Approved

08/17/2020: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Golias Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-033

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

\$215.00 check

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION (PLEASE PRINT)

Address: 210 Wade STREET Rockwell TX 75087
 Subdivision: RICHARD HARRIS NO. 3 ADDITION Lot 3 Block A
 General Location: Hartmann + Wade

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning: RESIDENTIAL Current Use: RESIDENTIAL
 Proposed Zoning: RESIDENTIAL Proposed Use: RESIDENTIAL
 9411 ft² = Acreage: 0.22 Lots [Current]: LOT 3 Lots [Proposed]: LOT 3

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB2167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input checked="" type="checkbox"/> Owner: <u>PATRICK S. WELLS</u>	<input type="checkbox"/> Applicant: <u>SAME AS OWNER INFO</u>
Contact Person: <u>PATRICK S. WELLS</u>	Contact Person: <u>"</u>
Address: <u>711 STILLWATER DR.</u>	Address: <u>"</u>
City, State & Zip: <u>ROCKWALL, TX. 75087</u>	City, State & Zip: <u>"</u>
Phone: <u>214-280-6469</u>	Phone: <u>"</u>
E-Mail: <u>pwells9@icloud.com</u>	E-Mail: <u>PWELLS9@ICLOUD.COM</u>

NOTARY VERIFICATION (REQUIRED)

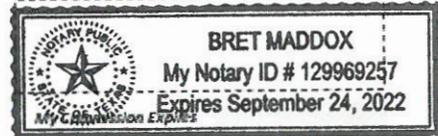
Before me, the undersigned authority, on this day personally appeared Patrick Wells [owner] the undersigned, who stated the information on this application to be true and certified the following.

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct, and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 3rd day of August, 2020.

Owner's Signature: Patrick S. Wells

Notary Public in and for the State of Texas [Signature]



0 15 30 60 90 120 Feet

Z2020-033- SUP FOR 210 WADE DRIVE
ZONING - LOCATION MAP = 



SF-7

WADE

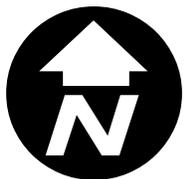
HARTMAN



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

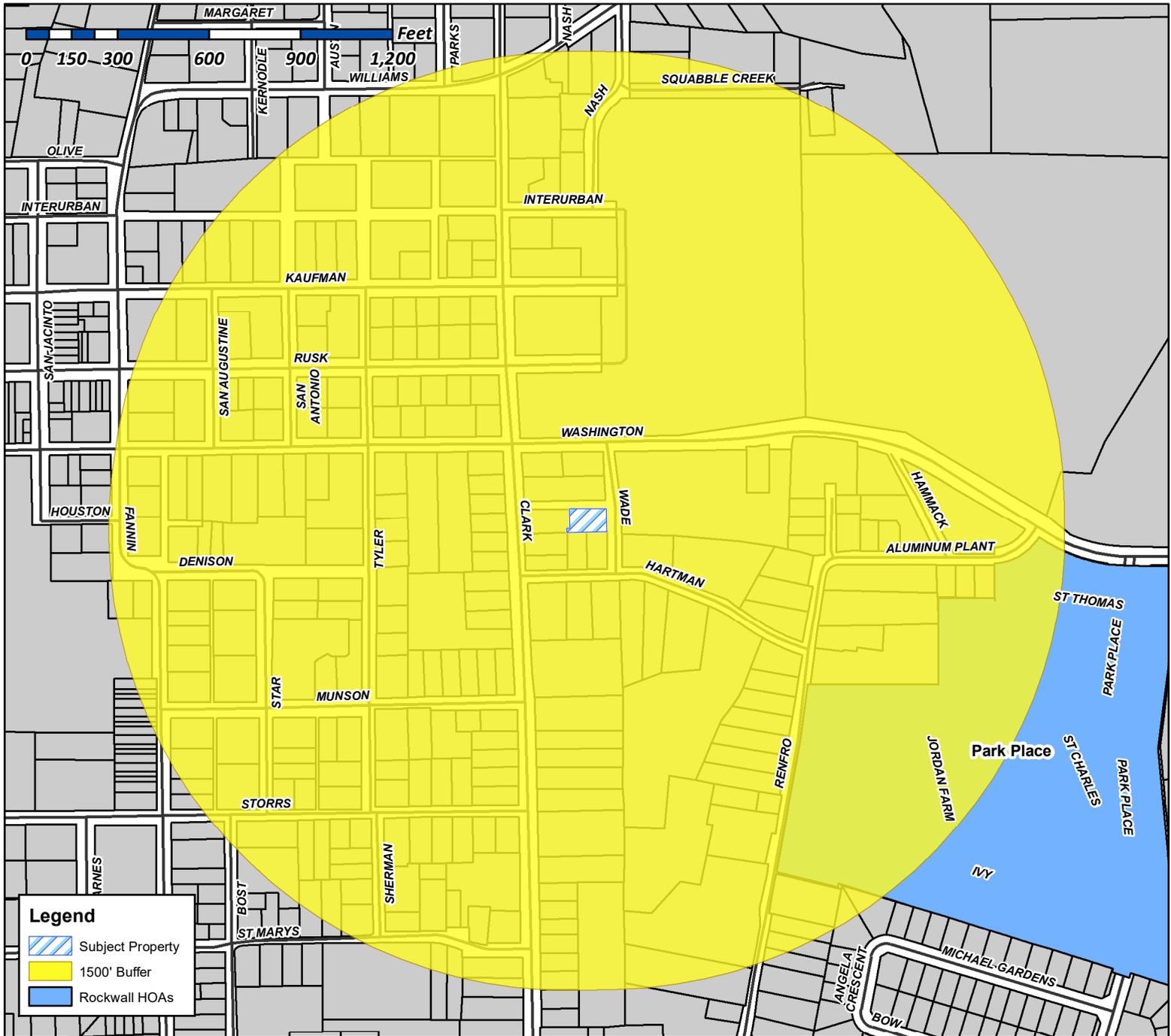




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

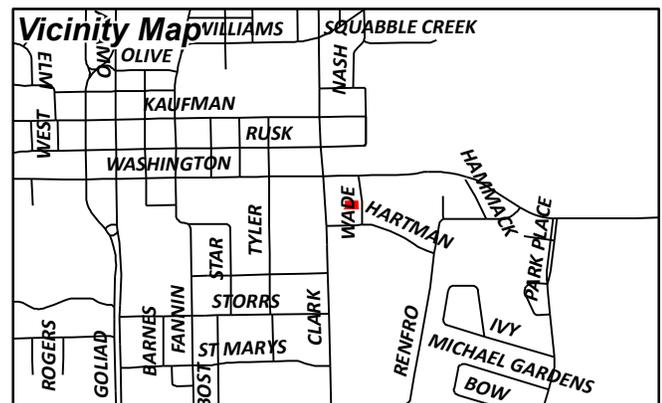
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-033
Case Name: SUP for 210 Wade Drive
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 210 Wade Drive

Date Created: 8/14/2020

For Questions on this Case Call (972) 771-7745



MASSEY GREGORY
102 S CLARK
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
106 S CLARK
ROCKWALL, TX 75087

BOREN TERRY L ETUX
113 S BERNICE DR
GARLAND, TX 75042

CASEY CAMPBELL
201 S CLARK
ROCKWALL, TX 75087

RICH LISA
202 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
204 S CLARK
ROCKWALL, TX 75087

HENRY AMANDA A
205 S CLARK
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
206 S CLARK
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE
207 WADEDR
ROCKWALL, TX 75087

KOCH JEAN
208 S CLARK
ROCKWALL, TX 75087

LEFERE KEVIN M AND
AMANDA HENRY
209 S CLARK ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX

MUNSON PARTNERS 1 LLC
210 S CLARK
ROCKWALL, TX 75087

WILKINSON LYNN L & CHAD DAVID
211 S CLARK ST
ROCKWALL, TX 75087

ZAKEM KYNSIE JO
212 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
213 S CLARK
ROCKWALL, TX 75087

SIMPSON MELISSA HUFFAKER
214 S CLARK ST
ROCKWALL, TX 75087

CAUBLE LINDA
301 S CLARK ST
ROCKWALL, TX 75087

BURGESS JULIA ANN
302 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
306 S CLARK
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L
307 S CLARK
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
309 GLENN AVE
ROCKWALL, TX 75087

KOCH JEAN
3720 MEDITERRANEAN
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI
508 HIGHVIEW
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
509 MUNSON
ROCKWALL, TX 75087

FLORES JAMES AND
511 MUNSON
ROCKWALL, TX 75087

BOREN TERRY L ETUX
513 MUNSON
ROCKWALL, TX 75087

CARSON HEATHER
606 E WASHINGTON ST
ROCKWALL, TX 75087

JONES CLYDE AND CHRISTY
608 E WASHINGTON
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
608 E WASHINGTON
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET
609 EAST WASHINGTON STREET
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN
610 E RUSK ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
705 HARTMANST
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI
706 HARTMAN
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
707 HARTMANST
ROCKWALL, TX 75087

SHELTON HEATHER
708 HARTMAN ST
ROCKWALL, TX 75087

RENDON MARCELINO J JR
710 HARTMAN ST
ROCKWALL, TX 75087

ANDERSON TREVOR
711 HARTMAN ST
ROCKWALL, TX 75087

WELLS PATRICK S & RHONDA C
711 STILLWATER DR
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

PIERCY DUANE AND JENNIFER
713 HARTMAN
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
720 E WASHINGTON
ROCKWALL, TX 75087

ROCKWALL I S D
801 E WASHINGTON
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
815 T L TOWNSEND STE 100
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L
8660 COLONY CLUB DR
ALPHARETTA, GA 30022

WOOD WILLIAM AND SANDIE
8718 CLEARLAKE DR
ROWLETT, TX 75088

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
PO BOX 868
ROCKWALL, TX 75087

ABBREVIATIONS:

A/C	==	AIR CONDITIONED	MC	==	MEDICINE CABINET
ADJ	==	ADJUSTABLE	MICRO	==	MICROWAVE
A.F.F.	==	ABOVE FINISHED FLOOR	MIN	==	MINIMUM
BD	==	BOARD	N.T.S.	==	NOT TO SCALE
BLDG	==	BUILDING	O.H.	==	OVERHEAD
B.O.	==	BOTTOM OF	O.C.	==	ON CENTER
CAB	==	CABINET	O.C.E.W.	==	ON CENTER EACH WAY
CER	==	CERAMIC	PL	==	PLATE
CL	==	CENTER LINE	PLAS	==	PLASTIC
CLG	==	CEILING	PWR	==	POWDER
CLO	==	CLOSET	REF	==	REFERENCE
C.O.	==	CASED OPENING	REFG	==	REFRIGERATOR
COL	==	COLUMN	REQ	==	REQUIRED
CONC	==	CONCRETE	RM	==	ROOM
CONT	==	CONTINUOUS	R/S	==	ROD & SHELF
COORD	==	COORDINATE	SCHED	==	SCHEDULE
DBLE	==	DOUBLE	S.F.	==	SQUARE FEET
DM	==	DIMENSION	SH	==	SHelf
DN	==	DOWN	SHLVS	==	SHELVES
D.S.	==	DOWN SPOUT	SIM	==	SIMILAR
DW	==	DISH WASHER	SL	==	SLOPE
DWR	==	DRAWER	SPR	==	SPRINKLER
ELEC	==	ELECTRIC	S.S.	==	STAINLESS STEEL
ELEV	==	ELEVATION	STL	==	STEEL
EO	==	EQUAL	STOR	==	STORAGE
ESMT	==	EASEMENT	STRUCT	==	STRUCTURAL
EXT	==	EXTERIOR	T&G	==	TONGUE & GROOVE
EXIST	==	EXISTING	THK	==	THICK
F.F.E.	==	FINISH FLOOR ELEVATION	T.O.	==	TOP OF
FLR	==	FLOOR	T/R	==	TREAD & RISER
FREZ	==	FREEZER	TV	==	TELEVISION
GALV	==	GALVANIZED	TYP	==	TYPICAL
GFI	==	GROUND FAULT INTERRUPTER	U.C.	==	UNDER COUNTER
GL	==	GLASS	U.M.	==	UNDER MOUNT
GYP	==	GYP SUM	UTIL	==	UTILITY
Hb	==	HOSE BIB	VEST	==	VESTIBULE
H.C.	==	HANDICAPPED	V.I.F.	==	VERIFY IN FIELD
HT	==	HEIGHT	W.C.	==	WATER CLOSET
INSUL	==	INSULATION	W/D	==	WASHER & DRYER
LAV	==	LAVATORY	WD	==	WOOD
LAM	==	LAMINATE	W.H.	==	WATER HEATER
MANUF	==	MANUFACTURER	W.I.	==	WROUGHT IRON
MAX	==	MAXIMUM	WP	==	WATER PROOF
MECH	==	MECHANICAL	WRM	==	WARMING

GRAPHIC SYMBOLS:

1. ---	INDICATES HIDDEN, FUTURE, ABOVE OR EXISTING	7. [Symbol]	INDICATES STEP
2. X/AX.X	INDICATES SECTION	8. [Symbol]	DOOR MARK
3. X/AX.X	INDICATES BUILDING SECTION	9. [Symbol]	WINDOW MARK
4. X/AX.X	INDICATES ELEVATION VIEW	10. [Symbol]	INDICATES BREAK LINE
5. [Symbol]	INDICATES DETAIL	11. #Hb	FROST PROOF HOSE BIB
6. [Symbol]	INDICATES ELEVATION CONTROL	12. X.G.K.	GAS KEY @ FIREPLACE

NOT ALL SYMBOLS USED

DESCRIPTION OF PROPERTY:

LEGAL DESCRIPTION: PROPERTY IS LOCATED AT 210 WADE DRIVE, RICHARD HARRIS SUBDIVISION NO.3 ADDITION, NASH STREET, IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087 BEING A REPLAT OF LOTS 1 & 2 BLOCK A, A RICHARD HARRIS SUBDIVISION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET B, SIDE 44, OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

ZONING: FRONT YARD SETBACK: 20'-0"
SIDE YARD SETBACK: 6'-0"
REAR YARD SETBACK: 8'-0"

LOT COVERAGE: SITE SQUARE FOOTAGE: 9,411 S.F.
ACTUAL COVERAGE: 2,907 S.F.

AREA CALCULATIONS:

AREAS:

1ST FLOOR A/C SQ. FT.:	1,872 S.F.
2ND FLOOR A/C SQ. FT.:	546 S.F.
TOTAL HOUSE A/C SQ. FT.:	2,418 S.F.
COVERED PATIO SQ. FT.:	595 S.F.
TOTAL HOUSE SQ. FT.:	3,013 S.F.
DETACHED GARAGE SQ. FT.:	440 S.F.

SHEET INDEX:

SHEET	CONTENTS
ARCHITECTURAL DRAWINGS	
A1.1	SITE PLAN / ROOF PLAN / GENERAL NOTES
A2.1	FLOOR PLANS
A3.1	REFLECTED CEILING PLAN & SCHEDULE
A4.1	EXTERIOR ELEVATIONS / WALL SECTION
A4.2	EXTERIOR ELEVATIONS / WALL SECTION
A4.3	BUILDING SECTION / WALL SECTION
A5.1	INTERIOR ELEVATIONS



ISSUED DATE:
24, JUNE 2020

REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT 3

A1.1



DOOR SCHEDULE

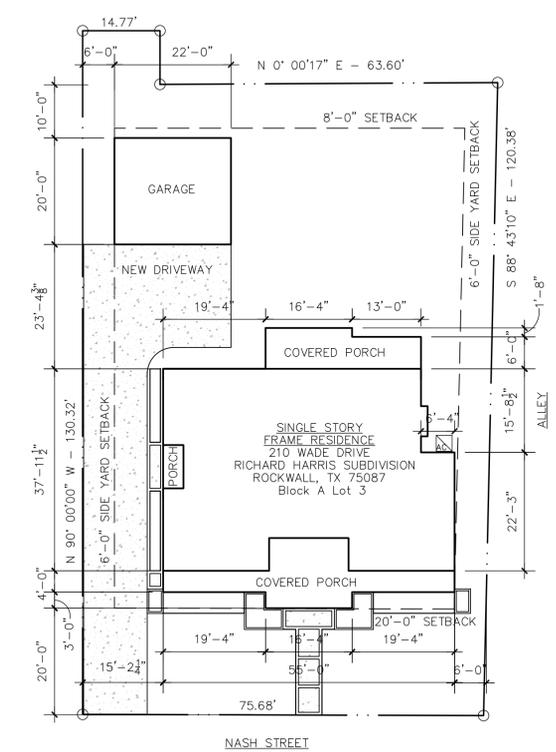
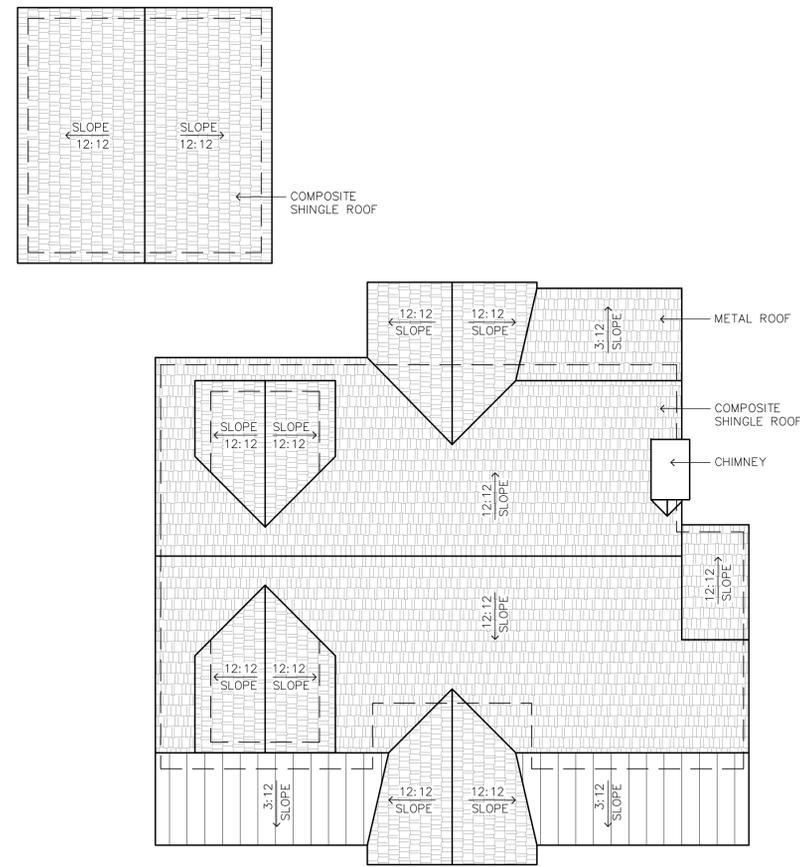
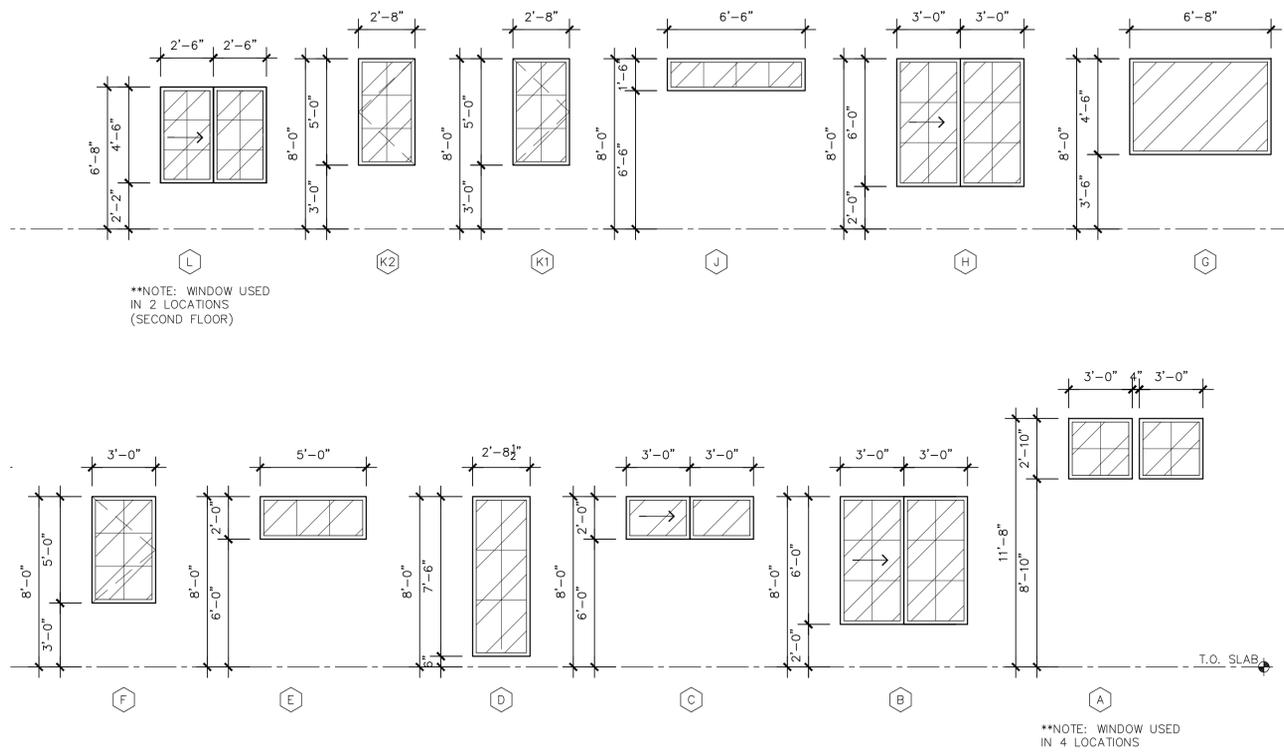
FIRST FLOOR		DOOR			
NO.	NAME	SIZE	TYPE	HARDWARE	REMARKS
1	FOYER	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
2	HALL	3'-0" x 8'-0" x 1 3/4"	B	LOCKSET	
3	DINING	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
4	MASTER BEDROOM	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	
5	MASTER CLOSET	(2) 3'-0" x 8'-0" x 1 3/4"	D	-	
6	MASTER BATH	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
7	MASTER SHOWER	2'-6" x 8'-0" x 1/2"	E	-	
8	MASTER CLOSET	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
9	LAUNDRY	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
10	CRAFT ROOM	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
11	POWDER	2'-4" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
12	STORAGE	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
13	BEDROOM #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
14	BATH #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
SECOND FLOOR		DOOR			
15	LOFT CLOSET	2'-8" x 6'-8" x 1 3/4"	C	PASSAGE	
16	BATH #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
17	BEDROOM #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
18	BEDROOM #2 CLOSET	(2) 3'-0" x 6'-8" x 1 3/4"	D	-	

DOOR TYPES

A CUSTOM FRONT DOOR- REFER. WINDOW & DOOR ELEVATIONS (2/A1.2)
 B EXTERIOR SWING DOOR
 C SOLID CORE INTERIOR DOOR
 D INTERIOR SLIDING DOOR
 E GLASS SWING DOOR

ENERGY SPECIFICATIONS:

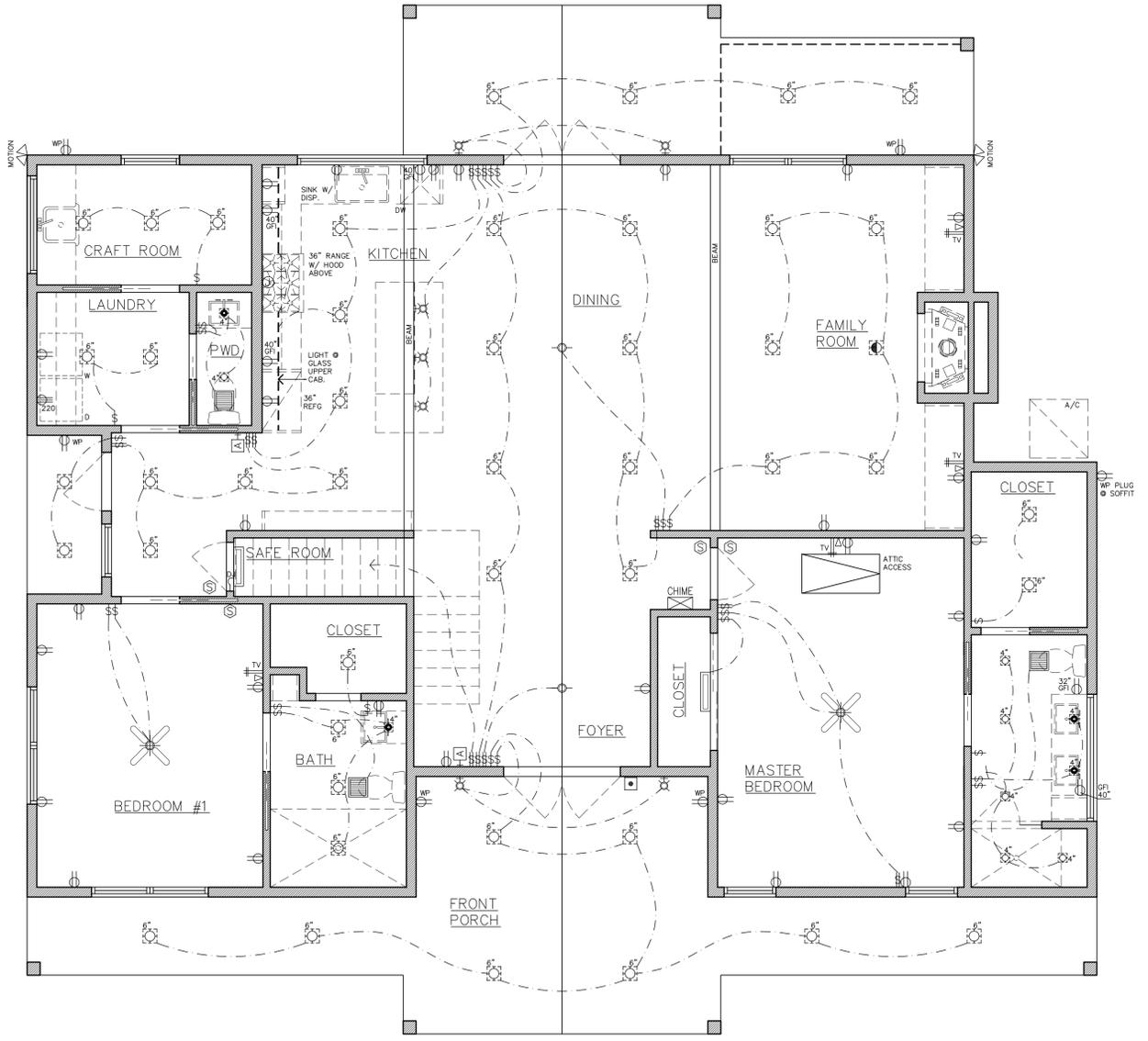
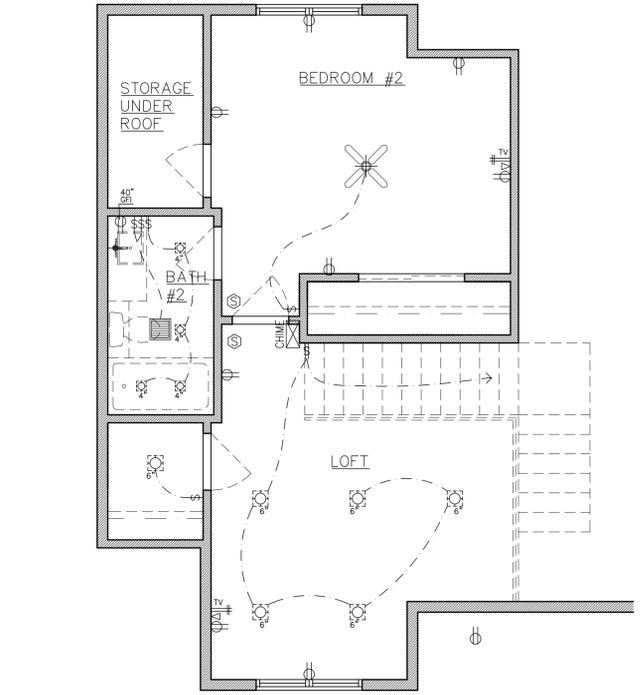
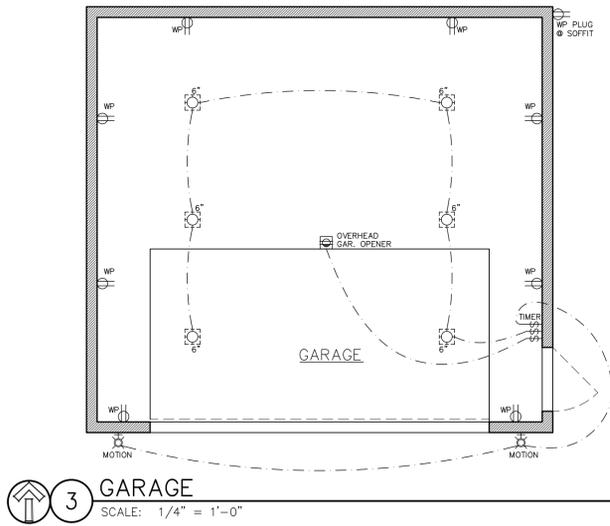
1	ALL FRAMED ENVELOPE:
	2X4 WALLS: 3.5" OPEN CELL FOAM
	SLAB FLOOR SYSTEM
	8" DEEP CEILING SYSTEM: 6" OPEN CELL
2	WINDOWS AND DOORS:
	LOW E GLAZING- UF=.30 SHGV=.20
3	HVAC: 16 SEER
4	GAS FURNACE
5	TANKLESS WATER HEATER: GAS



3 WINDOW & DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"

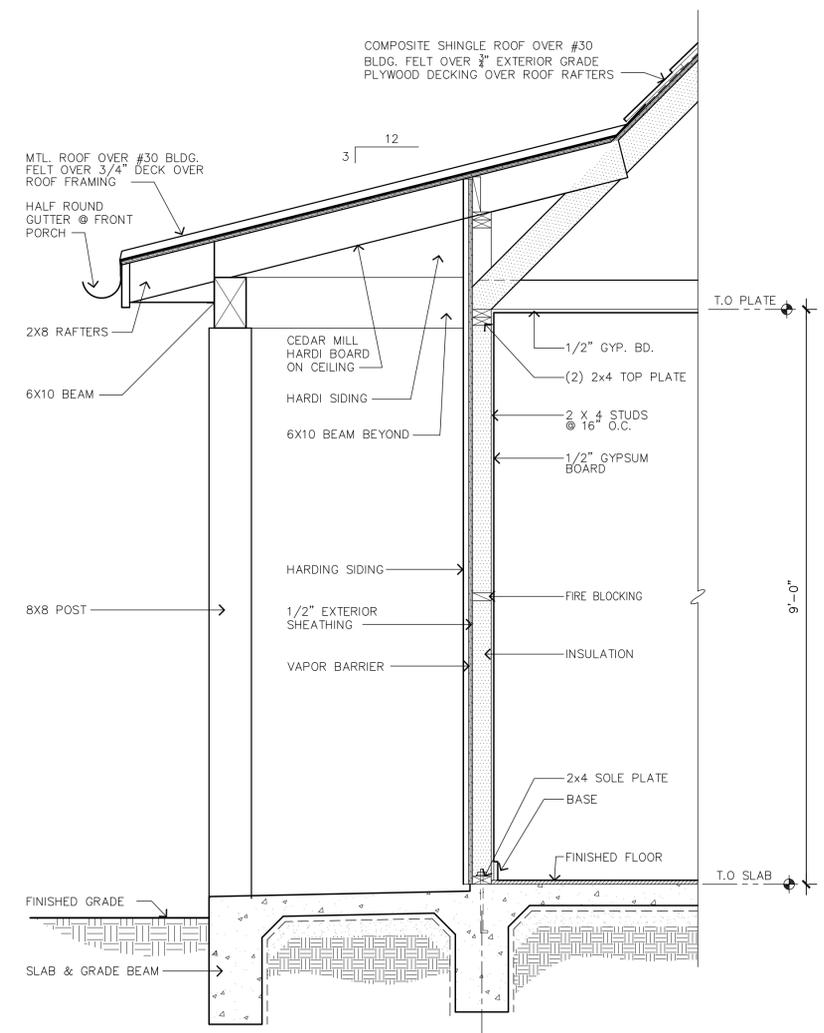
2 ROOF PLAN
SCALE: 1/8" = 1'-0"

1 SITE PLAN
SCALE: 1/16" = 1'-0"

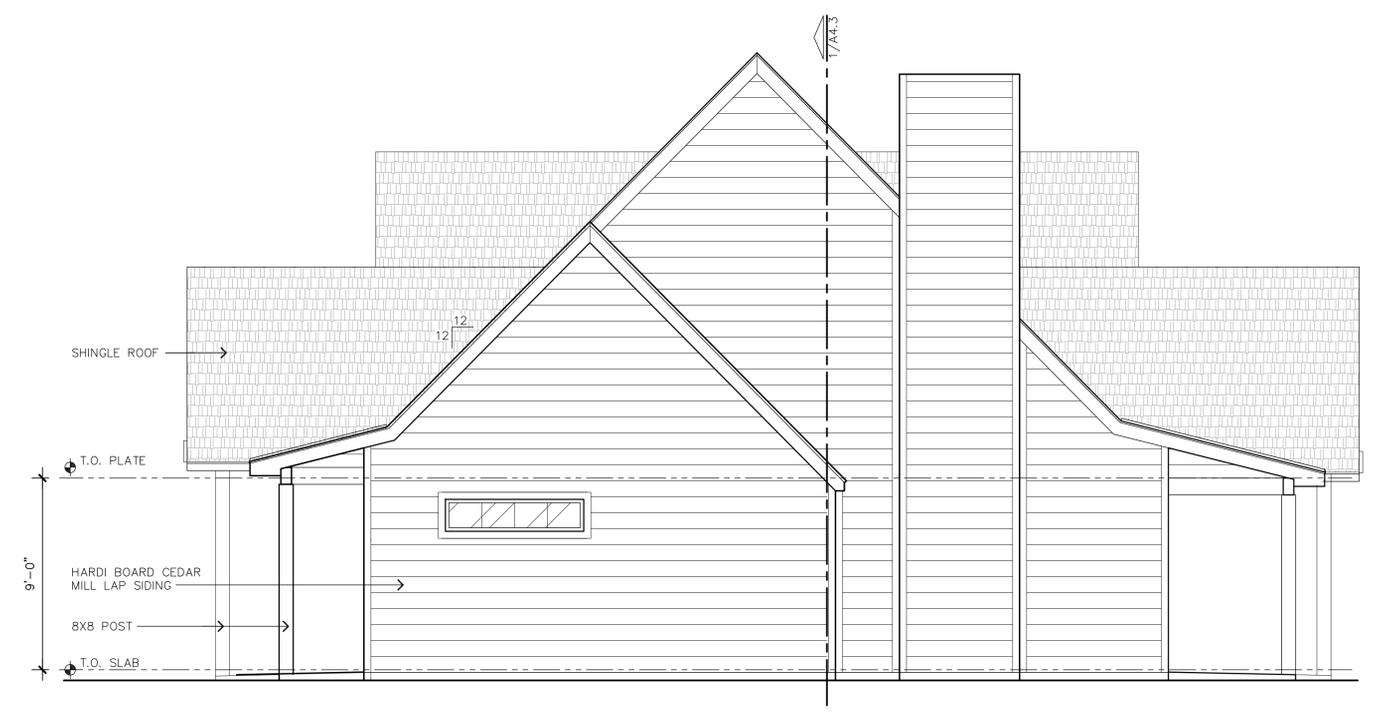


ELECTRICAL SCHEDULE:

DUPLEX @ 12" A.F.F., OTHERS NOTED. WP - WATERPROOF HOUSING HZL - HORIZONTAL FACEPLATE GFI - GROUND FAULT	
220V OUTLET	JUNCTION BOX
4" RECESSED INCANDESCENT FIXTURE W/ 2" SPOT APERTURE	6" RECESSED INCANDESCENT FIXTURE
4" RECESSED INCANDESCENT FIXTURE W/ SLOTTED APERTURE	4" RECESSED INCANDESCENT FIXTURE
SINGLE POLE SWITCH (ROCKER) - VERIFY COLOR D - DIMMERS DJ - DOOR JAMB SWITCH M - MOTION SENSOR 3-WAY SWITCH	
T.V. CABLE G6 WIRE	ALARM KEYPAD
SMOKE DETECTOR W/110V. JUNCTION BOX	CHIME DOOR BELL CHIME
DOOR BELL	CEILING EXHAUST FAN
CEILING MOUNTED FIXTURE TO BE SELECTED	WALL MOUNTED SCONCE TO BE SELECTED
DECORATIVE PENDANT- TO BE SELECTED	EXTERIOR FLOOD LIGHT ON MOTION DETECTOR / PHOTO CELL
CEILING MOUNTED FLUORESCENT FIXTURE	
1 LAMP FLUORESCENT, W/ LENS COVER AT CLOSET	
CEILING FAN	
NOTE: SOME SYMBOLS MAY NOT BE USED.	



2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"

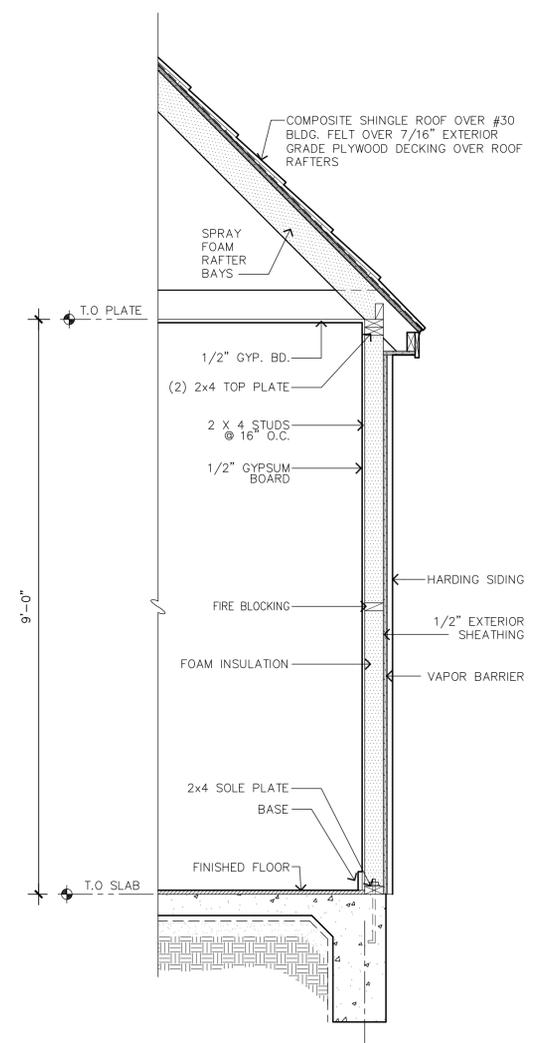


3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

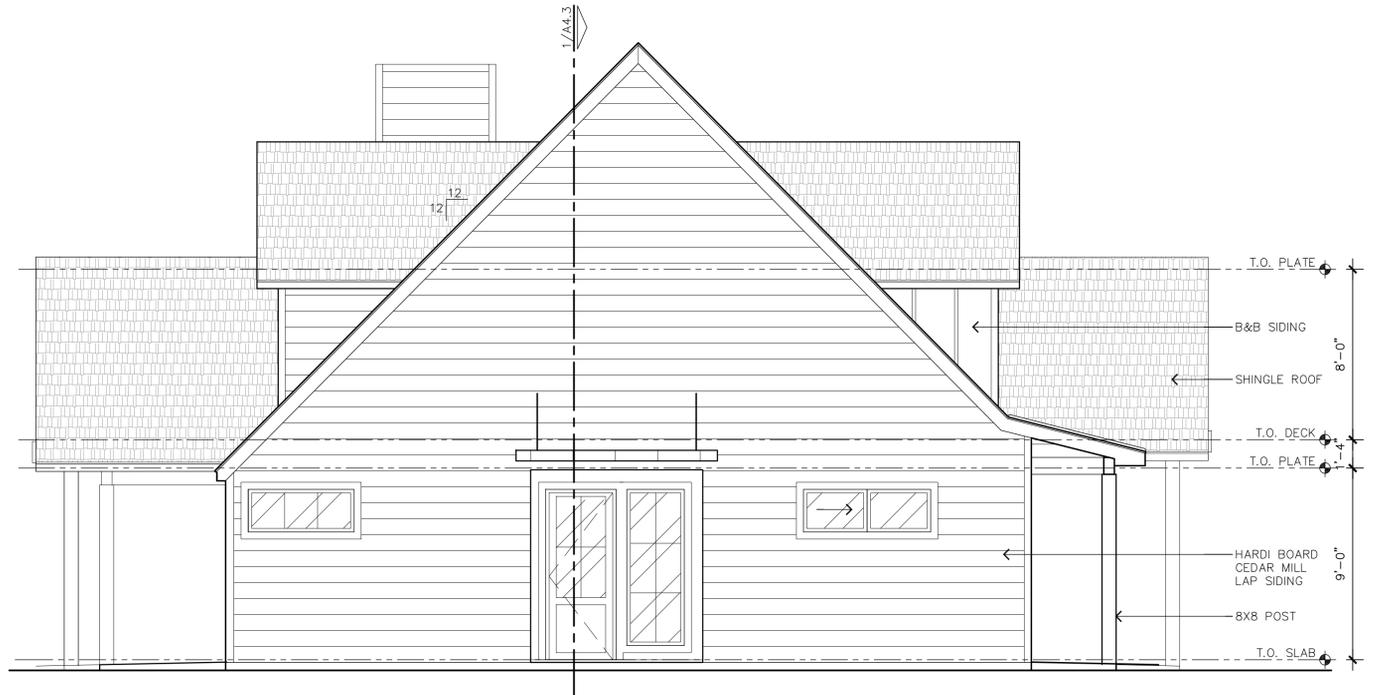
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"





ISSUED DATE:
24, JUNE 2020

REVISION:

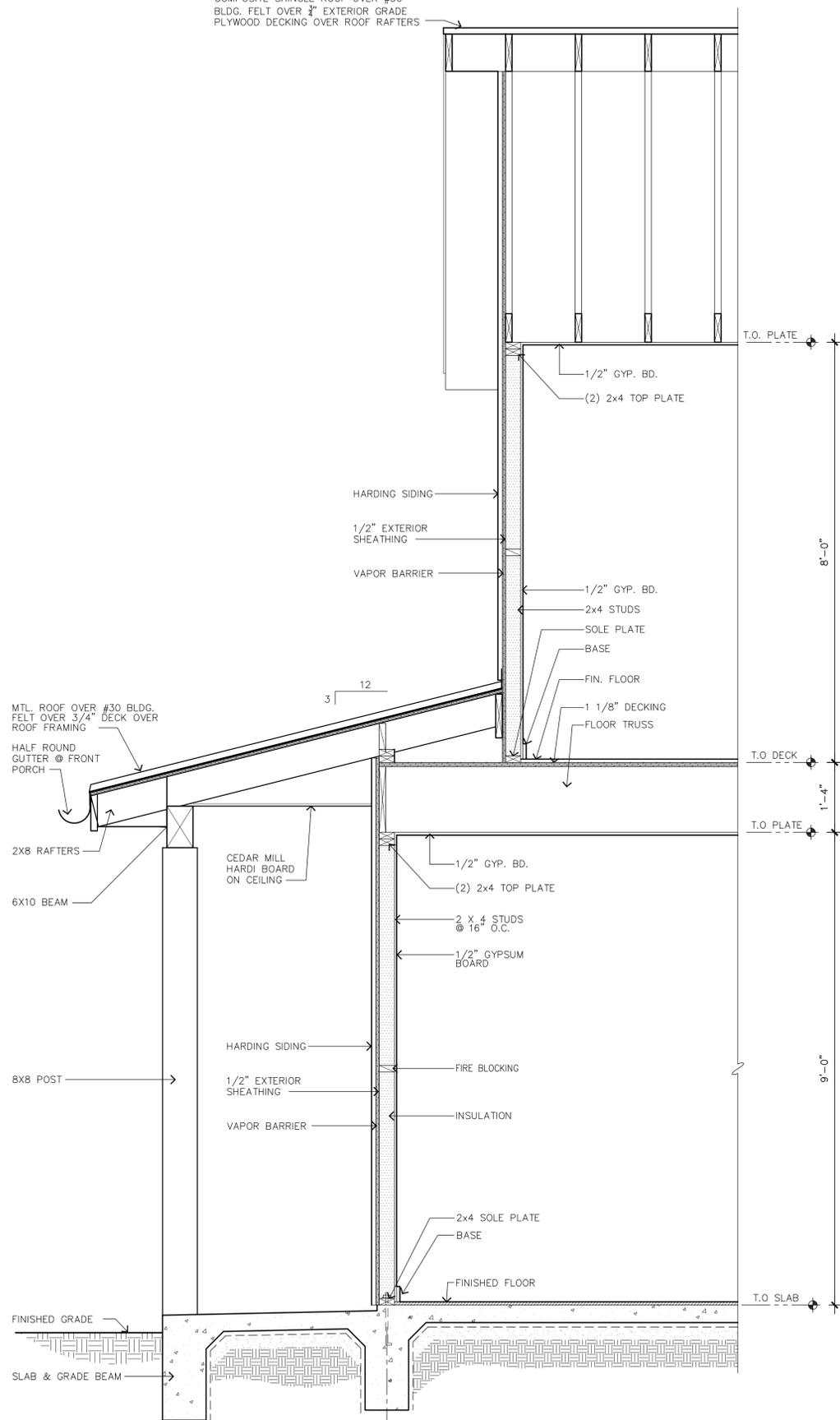
DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
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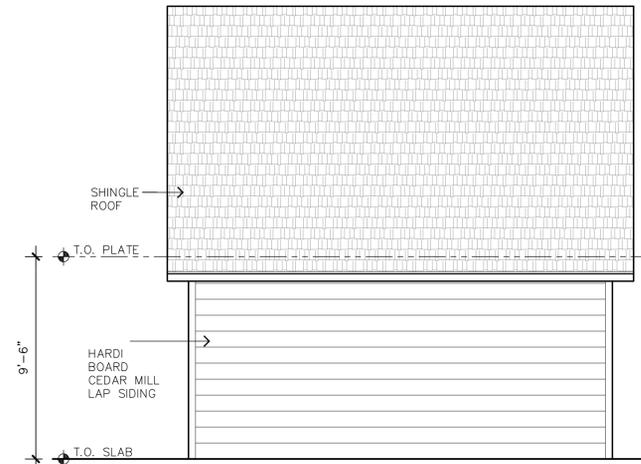
A4.3



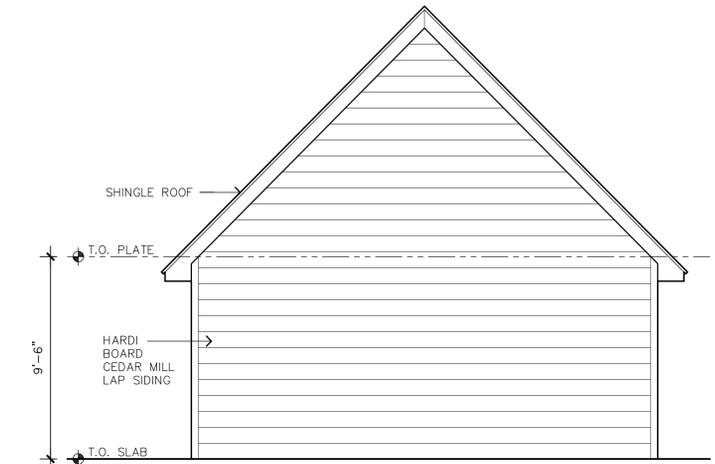
COMPOSITE SHINGLE ROOF OVER #30
BLDG. FELT OVER 3/4" EXTERIOR GRADE
PLYWOOD DECKING OVER ROOF RAFTERS



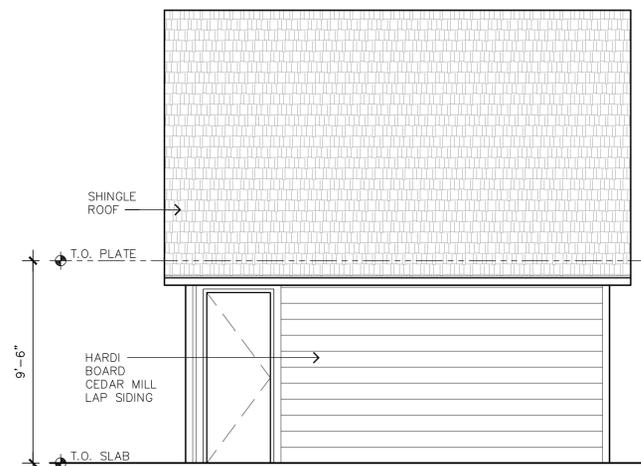
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



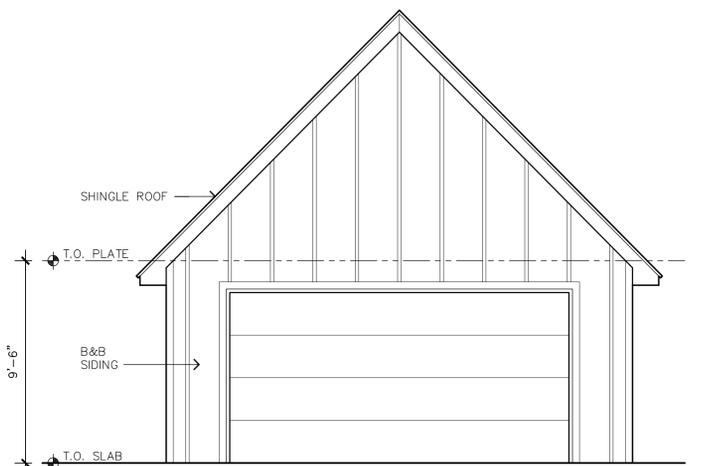
6 GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



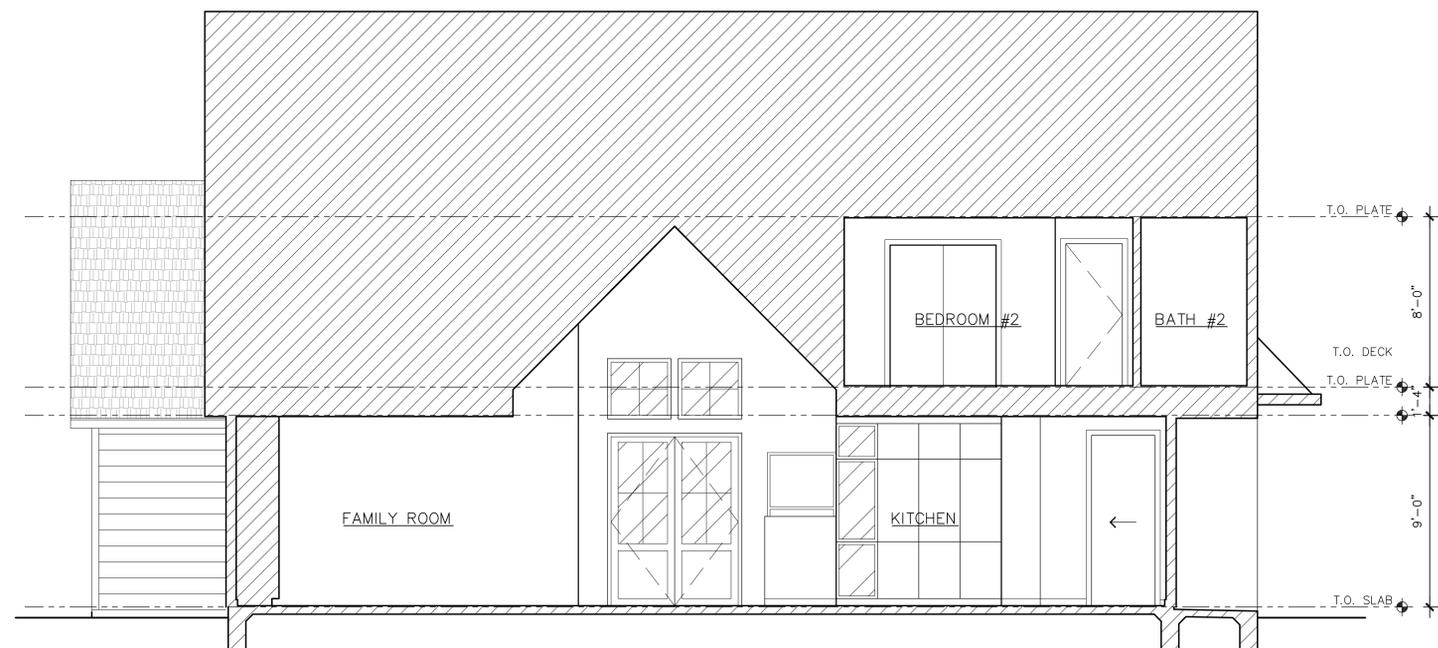
5 GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"



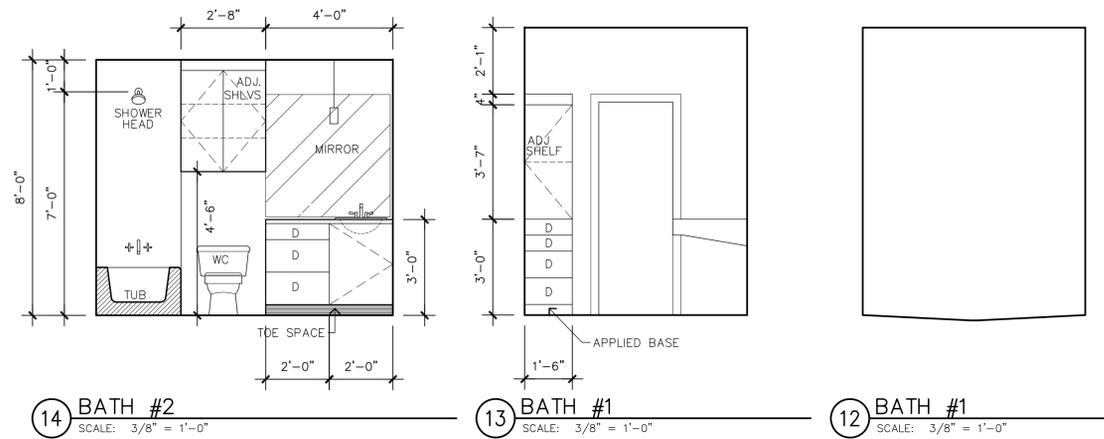
4 GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"



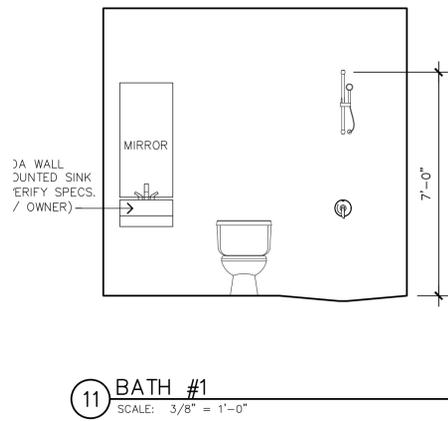
1 WEST BUILDING SECTION / ELEVATION
SCALE: 1/4" = 1'-0"



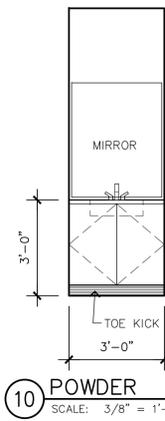
14 BATH #2
SCALE: 3/8" = 1'-0"

13 BATH #1
SCALE: 3/8" = 1'-0"

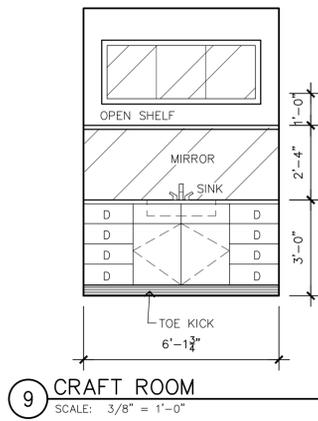
12 BATH #1
SCALE: 3/8" = 1'-0"



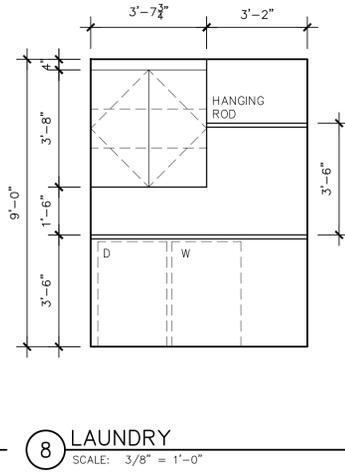
11 BATH #1
SCALE: 3/8" = 1'-0"



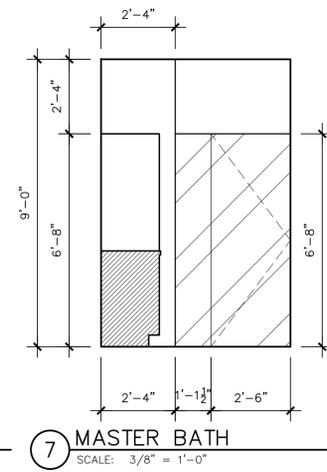
10 POWDER
SCALE: 3/8" = 1'-0"



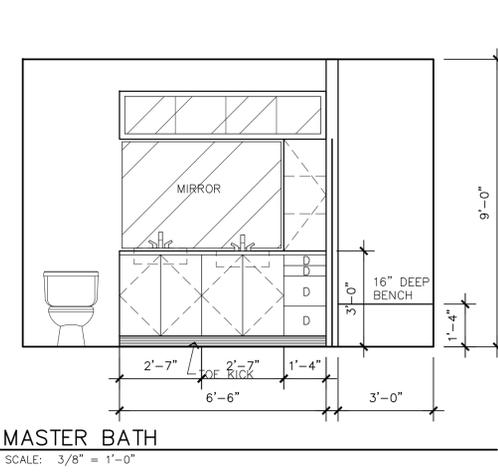
9 CRAFT ROOM
SCALE: 3/8" = 1'-0"



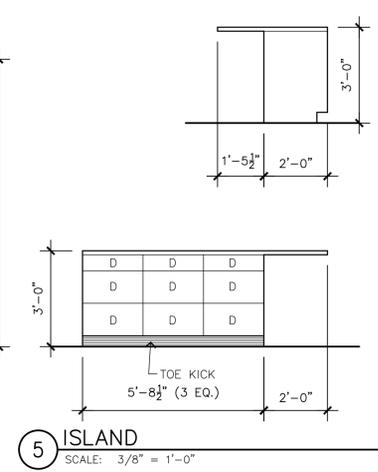
8 LAUNDRY
SCALE: 3/8" = 1'-0"



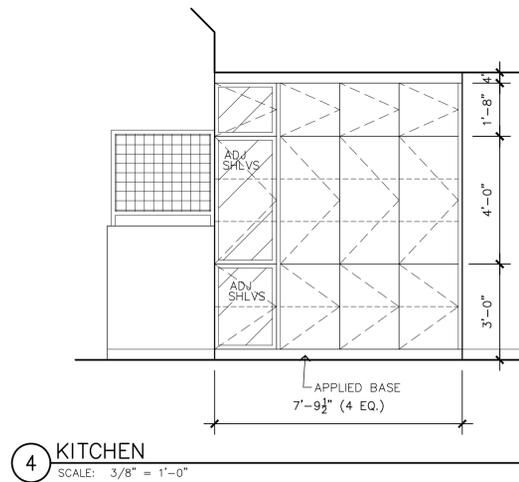
7 MASTER BATH
SCALE: 3/8" = 1'-0"



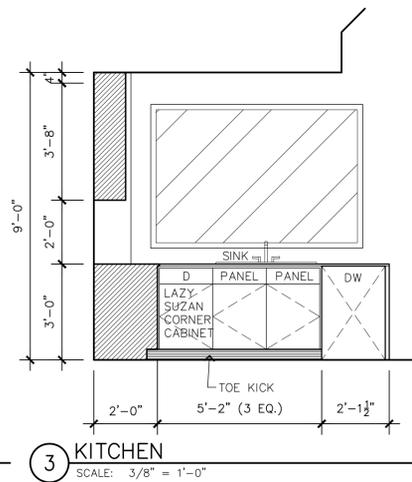
6 MASTER BATH
SCALE: 3/8" = 1'-0"



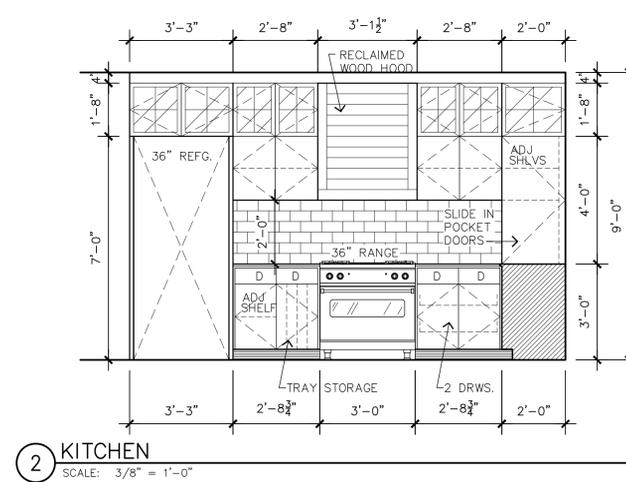
5 ISLAND
SCALE: 3/8" = 1'-0"



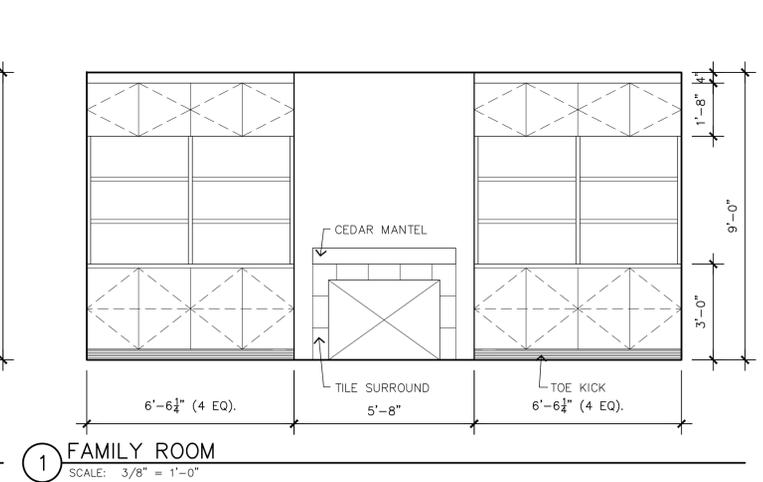
4 KITCHEN
SCALE: 3/8" = 1'-0"



3 KITCHEN
SCALE: 3/8" = 1'-0"



2 KITCHEN
SCALE: 3/8" = 1'-0"



1 FAMILY ROOM
SCALE: 3/8" = 1'-0"

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.216-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK A, RICHARD HARRIS #3 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Patrick Wells for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map and Survey

Address: 210 Wade Drive

Legal Description: Lot 3, Block A, Richard Harris #3 Addition



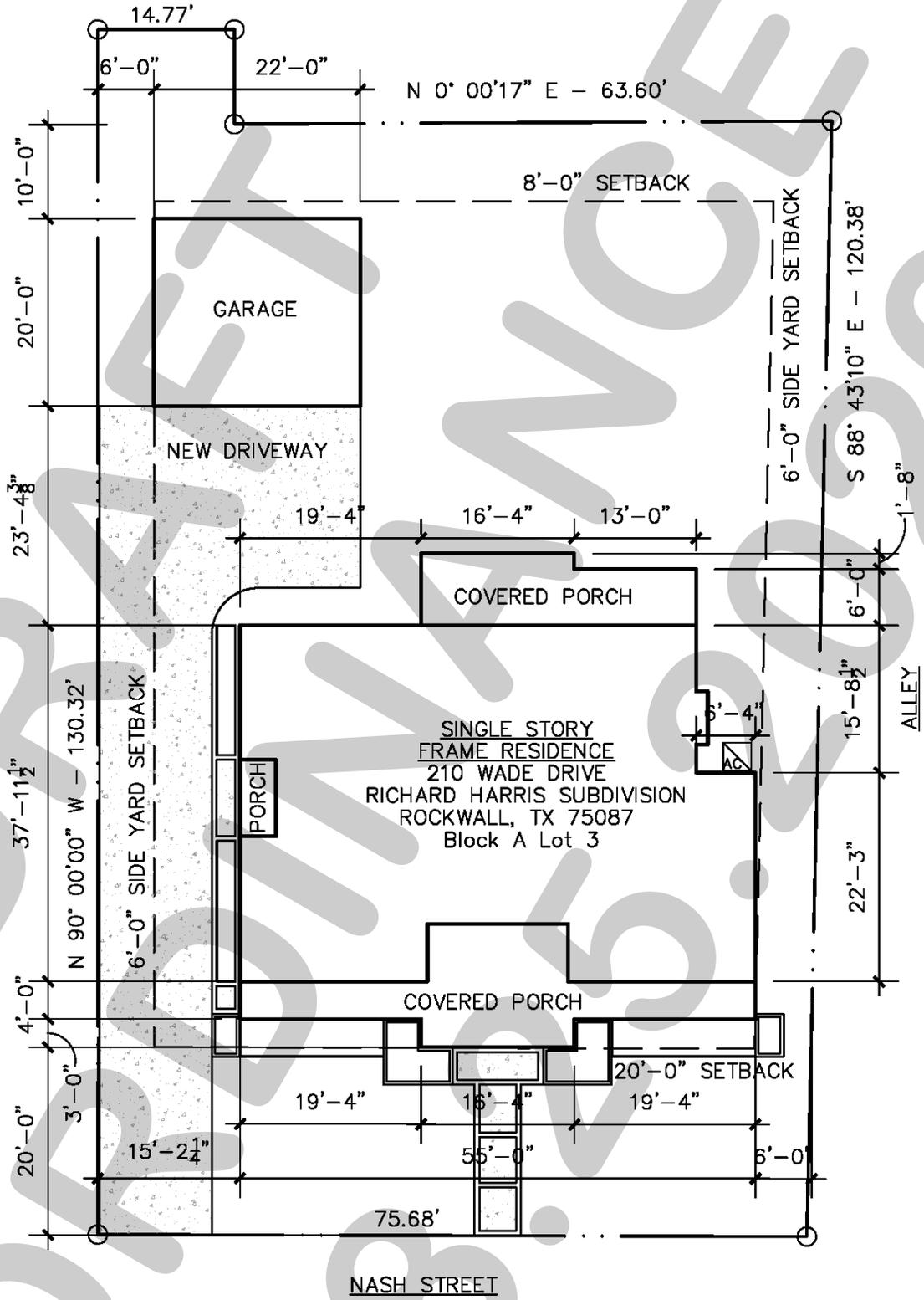
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Exhibit 'B':
Residential Plot Plan



SITE PLAN

SCALE: 1/16" = 1'-0"

Exhibit 'C':
Building Elevations



SHEET NO. 24, JUN 2020	1. SHEET TITLE WELLS RESIDENCE	2102 WADE DRIVE, ROCKWALL, TX 75087 MICHAEL HARRIS STUDIO, ROCKWALL, TX 2102 WADE DRIVE, ROCKWALL, TX 75087 Modern Craft Construction, LLC	A4.1
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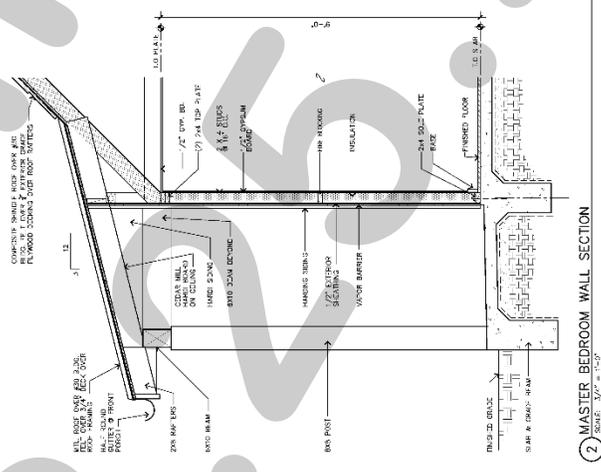
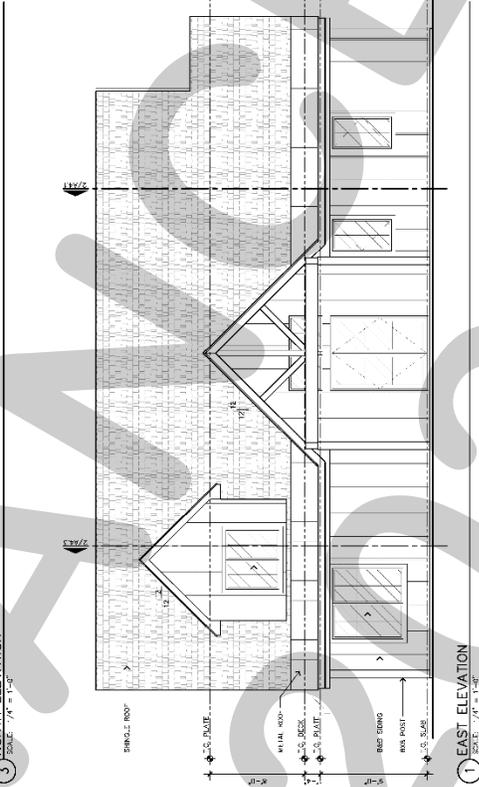
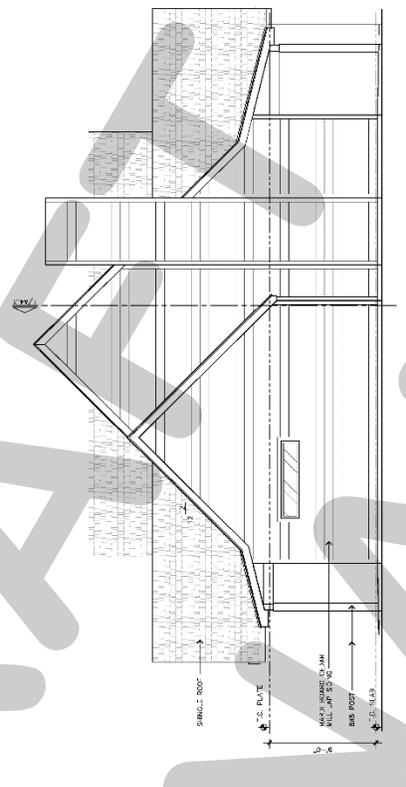
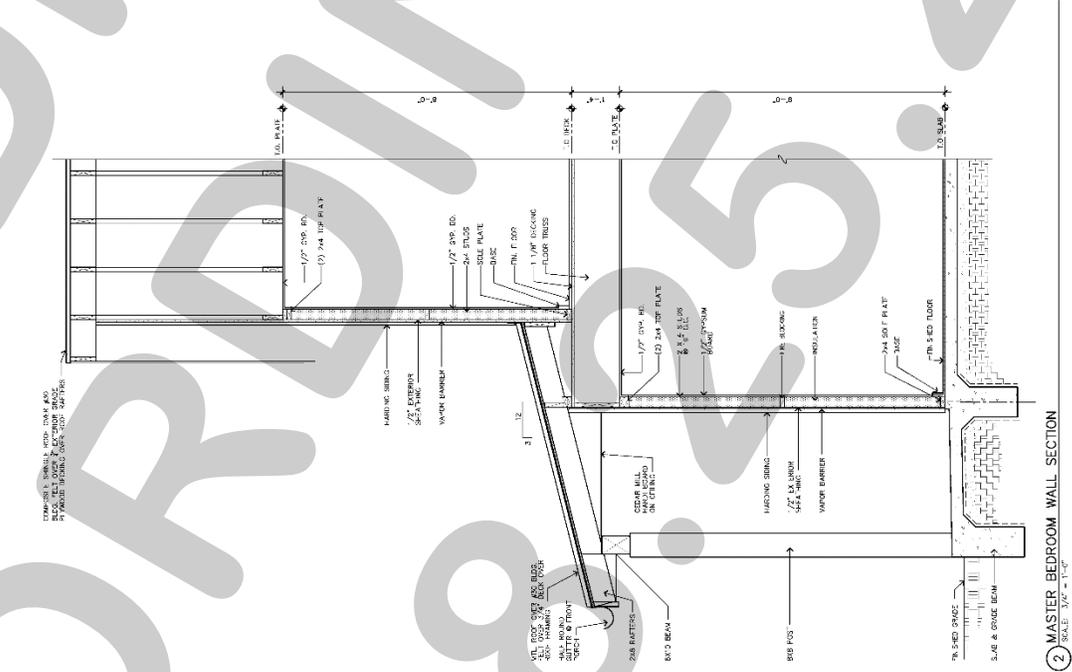
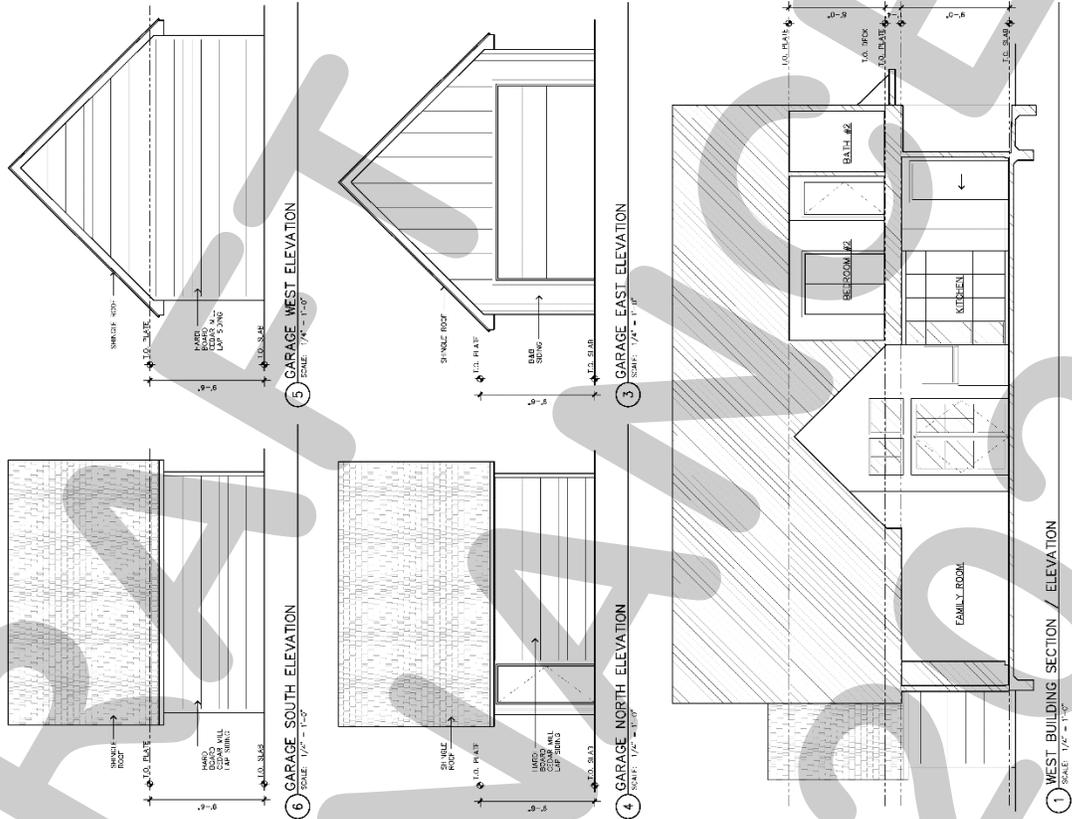


Exhibit 'C': Building Elevations



<p>WELLS RESIDENCE 11850 WESTCROFT, SUITE 100, ROCKWALL, TX 75087 MICHAEL HAYES ARCHITECTURAL, BLOCK A LOT 15</p>	<p>Modern Craft Construction, LLC 2102 W. 111, Rockwall, Texas 75087 MCCG Group - 214.777.7443</p>	<p>DATE PLOT: 2/24/2020 24. JUNE 2020</p>
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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 15, 2020
APPLICANT: Patrick Wells
CASE NUMBER: Z2020-033; *Specific Use Permit (SUP) for a Residential Infill for 210 Wade Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on July 6, 1959 by *Ordinance No. 59-02*. The subject property along with the adjacent properties were platted as Lots 1 & 2, Block A, Richard Harris # 3 Addition, which was filed with Rockwall County on April 14, 1983. In 1984, single-family homes were constructed on both Lots 1 & 2. On April 15, 2019, the City Council approved a replat of these lots creating Lots 3, 4, & 5, Block A, Richard Harris #3 Addition. This replat subdivided off the back 75.68-feet of Lots 1 & 2 to establish the Lot 3 (*i.e. the subject property*). The subject property has remained vacant since the replat.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 210 Wade Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 30-foot unimproved alleyway followed by two (2) lots zoned Single-Family 7 (SF-7) District. These properties are developed with single family homes. One (1) of the homes (*i.e. 201 S. Clark Street*), is located within the Old Town Rockwall Historic District and is identified as Medium Contributing on the 2020 Historic Resource Survey. Beyond this is E. Washington Street, which is classified as a *TXDOT4D* (*i.e. Texas Department of Transportation, four [4] lane divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Howard Dobbs Elementary School, which is Single-Family 7 (SF-7) District.

South: Directly south of the subject property are two (2) lots zoned Single-Family 7 (SF-7) District. These lots addressed 705 & 707 Hartman Street, and comprise the rest of the Richard Harris #3 Subdivision. Each of these lots have a single-family home situated on them that was built in 1984. Beyond this is Hartman Street, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) lots zoned Single-Family 7 (SF-7) District and which are located within the Old Town Rockwall Historic District. Two (2) of the homes are considered Non-Contributing, one (1) is Low-Contributing, and one (1) is Medium-Contributing according to the 2020 Historic Resource Survey.

East: Directly east of the subject property is Wade Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are two (2) lots zoned Single-Family 7 (SF-7) District. The 0.33-acre property has two (2) single-family homes situated on it, which are addressed 709 & 711 Hartman Street. The other lot (i.e. 207 Wade Drive) is 3.574-acres and is vacant. Beyond this is 713 Hartman Street, which is zoned Single-Family 7 (SF-7) District and has a ~3,500 SF home situated on it.

West: Directly west of the subject property are two (2) single-family homes situated on two (2) lots that are zoned Single-Family 7 (SF-7). These properties are addressed as 209 & 211 S. Clark Street. Beyond this is S. Clark Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple lots zoned Single-Family 7 (SF-7) District. These properties (i.e. 206, 208, 210, & 210 S. Clark Street) are developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within 500-feet of the Dawson Subdivision, which has been in existence for greater than ten (10) years, consists 16 lots, and is 100% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Wade Drive, Hartman Street, and S. Clark Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Wade Drive, Hartman Street, & S. Clark Street and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face onto Wade Drive.
Year Built	1911-1999	N/A
Building SF on Property	984 SF – 2,203 SF	2,418 SF (2,418 SF of Air-Conditioned Space)
Building Architecture	Single Family Homes	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 10-Feet and 20-Feet	20-Feet
Side	The side yard setbacks greater than six (6) feet.	X>6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	X>10-Feet
Building Materials	Composite Siding, Vinyl Siding, & Brick	HardiBoard Siding
Paint and Color	Red, White, Grey, Brown, & Green,	Undefined by the Applicant
Roofs	Composite Shingles and Standing Seam Metal	Asphalt Composite Shingle (Primary) & Metal Roof (Secondary over Covered Porch)
Driveways/Garages	Driveways all front the same street the single-family home faces. Two (2) exceptions exist on two (2) corner lots.	The garage will be detached and located behind the home to the south-west.

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Russell Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On August 18, 2020, staff mailed 50 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22020-033
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Restatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:
¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

\$215.00 check

PROPERTY INFORMATION (PLEASE PRINT)

Address: 210 Wade STREET Rockwell TX 75087
 Subdivision: RICHARD HARRIS NO. 3 ADDITION Lot 3 Block A
 General Location: Hartman + Wade

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning: Residential Current Use: Residential
 Proposed Zoning: Residential Proposed Use: Residential
 9411 4 = Acreage: .22 Lots [Current]: LOT 3 Lots [Proposed]: LOT 3

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input checked="" type="checkbox"/> Owner: <u>PATRICK S. WELLS</u>	<input type="checkbox"/> Applicant: <u>SAME AS OWNER INFO</u>
Contact Person: <u>PATRICK S. WELLS</u>	Contact Person: <u>"</u>
Address: <u>711 Stillwater DR.</u>	Address: <u>"</u>
City, State & Zip: <u>Rockwall, Tx. 75087</u>	City, State & Zip: <u>"</u>
Phone: <u>214-280-6469</u>	Phone: <u>"</u>
E-Mail: <u>pwells9@icloud.com</u>	E-Mail: <u>PWELLS9@ICLOUD.COM</u>

NOTARY VERIFICATION (REQUIRED)

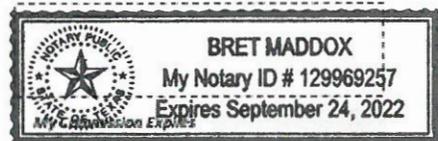
Before me, the undersigned authority, on this day personally appeared Patrick Wells [Owner] the undersigned, who stated the information on this application to be true and certified the following.

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 3rd day of August, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 3rd day of August, 2020.

Owner's Signature: Patrick S. Wells

Notary Public in and for the State of Texas: [Signature]



0 15 30 60 90 120 Feet

Z2020-033- SUP FOR 210 WADE DRIVE
ZONING - LOCATION MAP = 



SF-7

WADE

HARTMAN



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

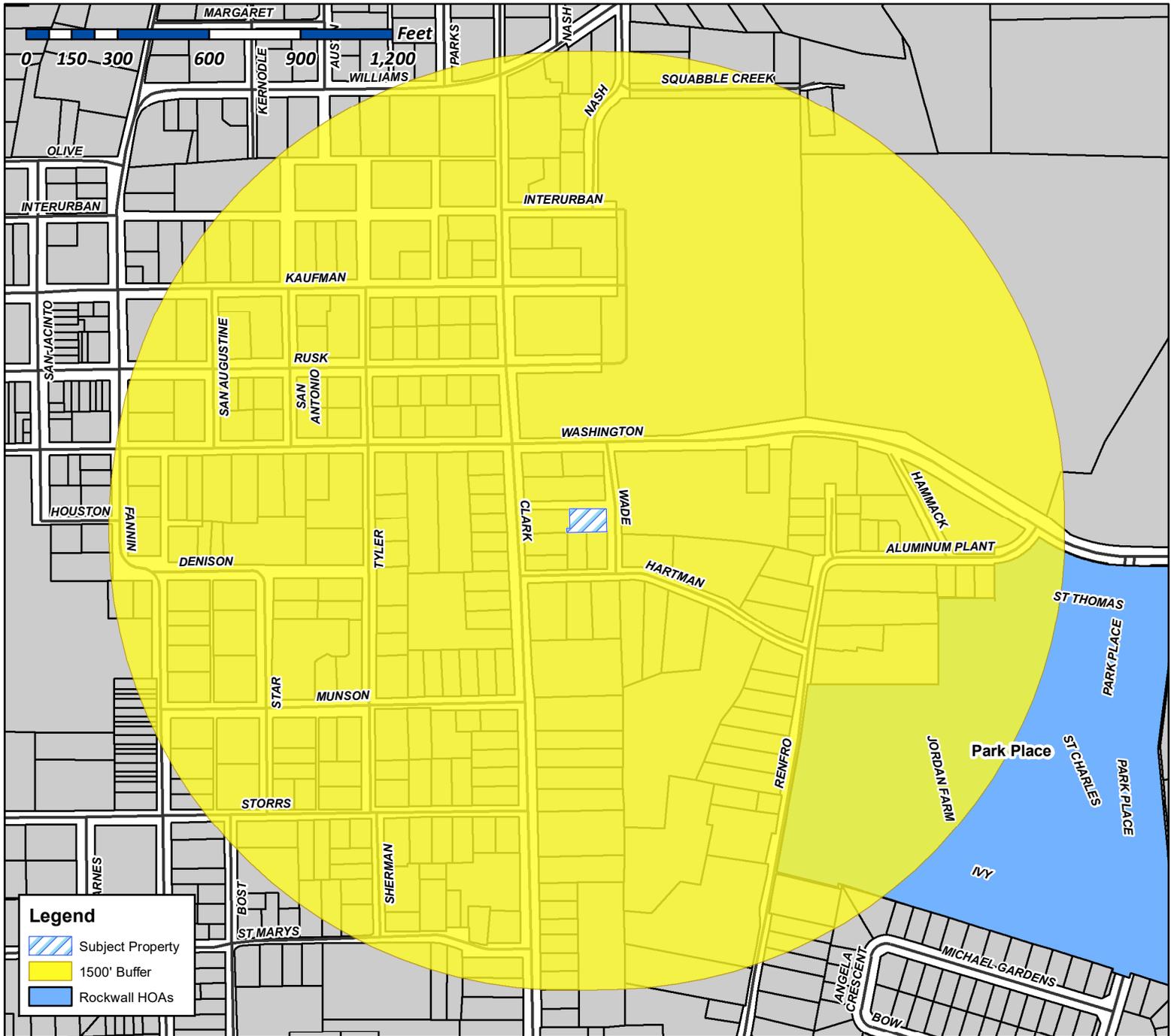




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

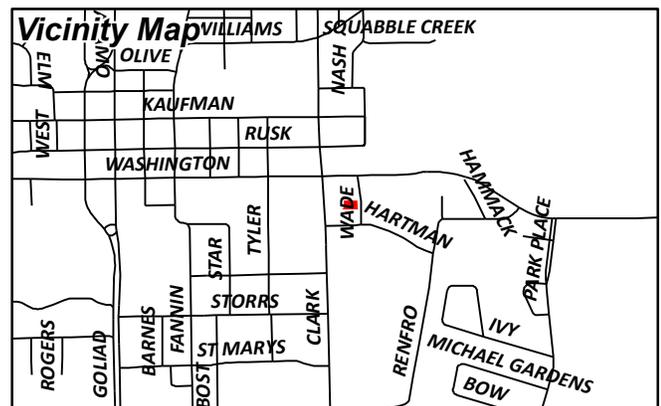
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Case Number: Z2020-033
Case Name: SUP for 210 Wade Drive
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 210 Wade Drive

Date Created: 8/14/2020

For Questions on this Case Call (972) 771-7745



From: Gamez, Angelica
Sent: Tuesday, August 18, 2020 5:00 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (08.13.2020).pdf; Public Notice (08.18.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, August 21, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-033 SUP for Residential Infill at 210 Wade Street

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

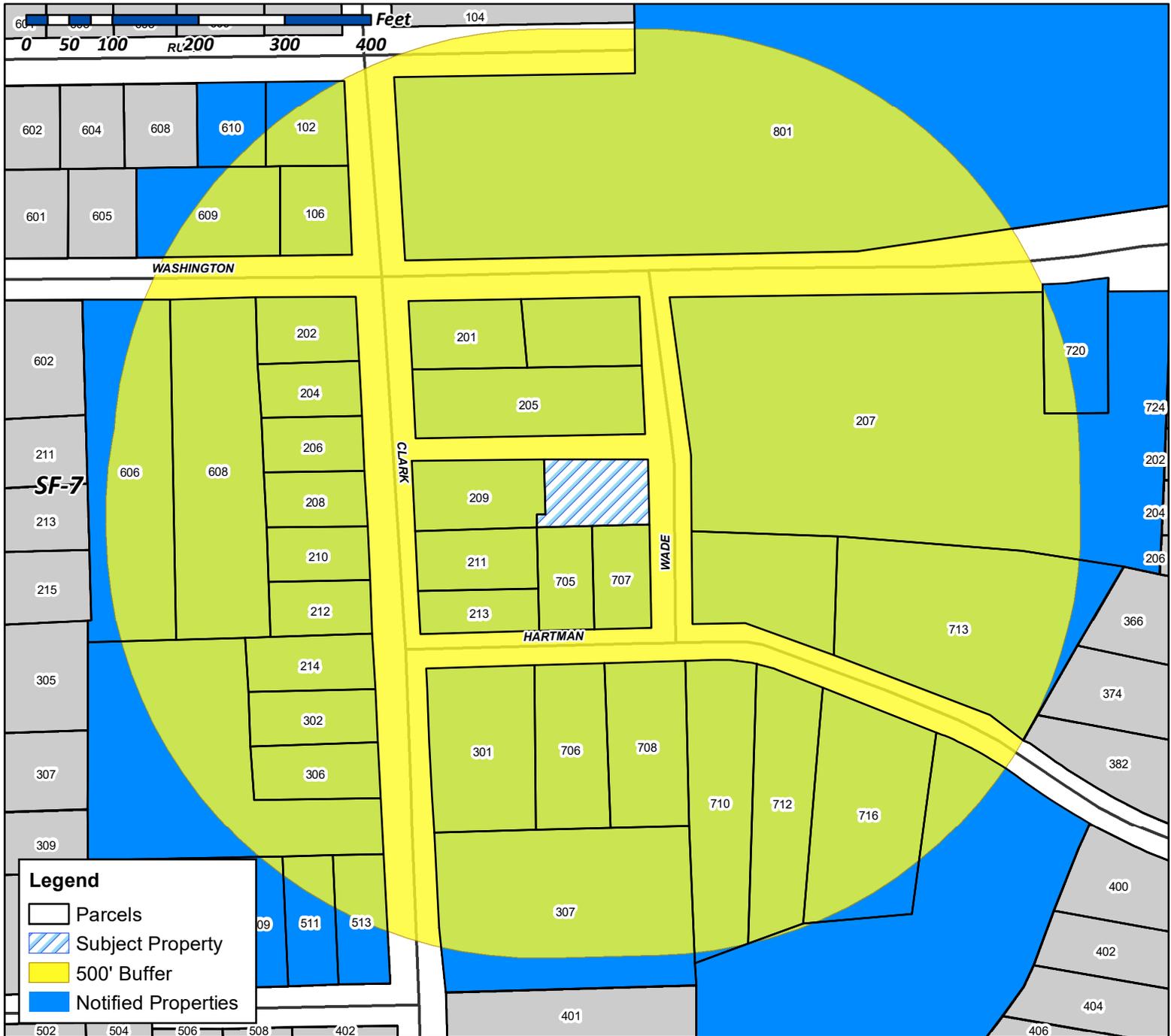
<http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

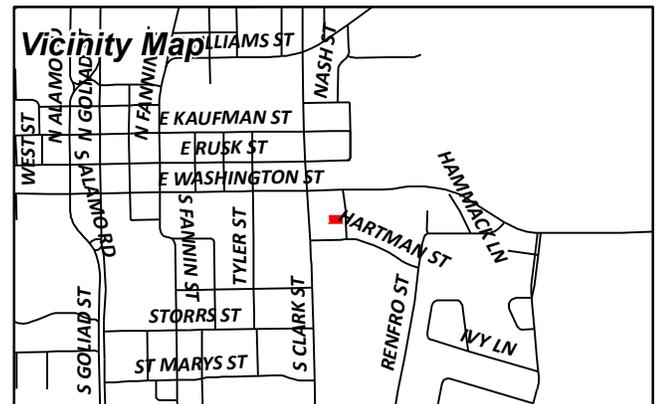
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Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2020-033
Case Name: SUP for 210 Wade Drive
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 210 Wade Drive



Date Created: 8/14/2020
 For Questions on this Case Call (972) 771-7745

MASSEY GREGORY
102 S CLARK
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
106 S CLARK
ROCKWALL, TX 75087

BOREN TERRY L ETUX
113 S BERNICE DR
GARLAND, TX 75042

CASEY CAMPBELL
201 S CLARK
ROCKWALL, TX 75087

RICH LISA
202 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
204 S CLARK
ROCKWALL, TX 75087

HENRY AMANDA A
205 S CLARK
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
206 S CLARK
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE
207 WADEDR
ROCKWALL, TX 75087

KOCH JEAN
208 S CLARK
ROCKWALL, TX 75087

LEFERE KEVIN M AND
AMANDA HENRY
209 S CLARK ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX

MUNSON PARTNERS 1 LLC
210 S CLARK
ROCKWALL, TX 75087

WILKINSON LYNN L & CHAD DAVID
211 S CLARK ST
ROCKWALL, TX 75087

ZAKEM KYNSIE JO
212 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
213 S CLARK
ROCKWALL, TX 75087

SIMPSON MELISSA HUFFAKER
214 S CLARK ST
ROCKWALL, TX 75087

CAUBLE LINDA
301 S CLARK ST
ROCKWALL, TX 75087

BURGESS JULIA ANN
302 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
306 S CLARK
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L
307 S CLARK
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
309 GLENN AVE
ROCKWALL, TX 75087

KOCH JEAN
3720 MEDITERRANEAN
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI
508 HIGHVIEW
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
509 MUNSON
ROCKWALL, TX 75087

FLORES JAMES AND
511 MUNSON
ROCKWALL, TX 75087

BOREN TERRY L ETUX
513 MUNSON
ROCKWALL, TX 75087

CARSON HEATHER
606 E WASHINGTON ST
ROCKWALL, TX 75087

JONES CLYDE AND CHRISTY
608 E WASHINGTON
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
608 E WASHINGTON
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET
609 EAST WASHINGTON STREET
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN
610 E RUSK ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
705 HARTMANST
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI
706 HARTMAN
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
707 HARTMANST
ROCKWALL, TX 75087

SHELTON HEATHER
708 HARTMAN ST
ROCKWALL, TX 75087

RENDON MARCELINO J JR
710 HARTMAN ST
ROCKWALL, TX 75087

ANDERSON TREVOR
711 HARTMAN ST
ROCKWALL, TX 75087

WELLS PATRICK S & RHONDA C
711 STILLWATER DR
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

PIERCY DUANE AND JENNIFER
713 HARTMAN
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
720 E WASHINGTON
ROCKWALL, TX 75087

ROCKWALL I S D
801 E WASHINGTON
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
815 T L TOWNSEND STE 100
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L
8660 COLONY CLUB DR
ALPHARETTA, GA 30022

WOOD WILLIAM AND SANDIE
8718 CLEARLAKE DR
ROWLETT, TX 75088

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
PO BOX 868
ROCKWALL, TX 75087

ABBREVIATIONS:

A/C	AIR CONDITIONED	MC	MEDICINE CABINET
ADJ	ADJUSTABLE	MICRO	MICROWAVE
A.F.F.	ABOVE FINISHED FLOOR	MIN	MINIMUM
BD	BOARD	N.T.S.	NOT TO SCALE
BLDG	BUILDING	O.H.	OVERHEAD
B.O.	BOTTOM OF	O.C.	ON CENTER
CAB	CABINET	O.C.E.W.	ON CENTER EACH WAY
CER	CERAMIC	PL	PLATE
CL	CENTER LINE	PLAS	PLASTIC
CLG	CEILING	POWR	POWDER
CLO	CLOSET	REF	REFERENCE
C.O.	CASED OPENING	REFG	REFRIGERATOR
COL	COLUMN	REQ	REQUIRED
CONC	CONCRETE	RM	ROOM
CONT	CONTINUOUS	R/S	ROD & SHELF
COORD	COORDINATE	SCHED	SCHEDULE
DBLE	DOUBLE	S.F.	SQUARE FEET
DIM	DIMENSION	SH	SHelf
DN	DOWN	SHLVS	SHELVES
D.S.	DOWN SPOUT	SIM	SIMILAR
DW	DISH WASHER	SL	SLOPE
DWR	DRAWER	SPR	SPRINKLER
ELEC	ELECTRIC	S.S.	STAINLESS STEEL
ELEV	ELEVATION	STL	STEEL
EO	EQUAL	STOR	STORAGE
ESMT	EASEMENT	STRUCT	STRUCTURAL
EXT	EXTERIOR	T&G	TONGUE & GROOVE
EXIST	EXISTING	THK	THICK
F.F.E.	FINISH FLOOR ELEVATION	T.O.	TOP OF
FLR	FLOOR	T/R	TREAD & RISER
FREZ	FREEZER	TV	TELEVISION
GALV	GALVANIZED	TYP	TYPICAL
GFI	GROUND FAULT INTERRUPTER	U.C.	UNDER COUNTER
GL	GLASS	U.M.	UNDER MOUNT
GYP	GYP SUM	UTIL	UTILITY
Hb	HOSE BIB	VEST	VESTIBULE
H.C.	HANDICAPPED	V.I.F.	VERIFY IN FIELD
HT	HEIGHT	W.C.	WATER CLOSET
INSUL	INSULATION	W/D	WASHER & DRYER
LAV	LAVATORY	WD	WOOD
LAM	LAMINATE	W.H.	WATER HEATER
MANUF	MANUFACTURER	W.I.	WROUGHT IRON
MAX	MAXIMUM	WP	WATER PROOF
MECH	MECHANICAL	WRM	WARMING

GRAPHIC SYMBOLS:

1. ---	INDICATES HIDDEN, FUTURE, ABOVE OR EXISTING	7. [Symbol]	INDICATES STEP
2. X/AX.X	INDICATES SECTION	8. [Symbol]	DOOR MARK
3. X/AX.X	INDICATES BUILDING SECTION	9. [Symbol]	WINDOW MARK
4. X/AX.X	INDICATES ELEVATION VIEW	10. [Symbol]	INDICATES BREAK LINE
5. [Symbol]	INDICATES DETAIL	11. #Hb	FROST PROOF HOSE BIB
6. [Symbol]	INDICATES ELEVATION CONTROL	12. X.G.K.	GAS KEY @ FIREPLACE

NOT ALL SYMBOLS USED

DESCRIPTION OF PROPERTY:

LEGAL DESCRIPTION: PROPERTY IS LOCATED AT 210 WADE DRIVE, RICHARD HARRIS SUBDIVISION NO.3 ADDITION, NASH STREET, IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087 BEING A REPLAT OF LOTS 1 & 2 BLOCK A, A RICHARD HARRIS SUBDIVISION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET B, SIDE 44, OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

ZONING: FRONT YARD SETBACK: 20'-0"
SIDE YARD SETBACK: 6'-0"
REAR YARD SETBACK: 8'-0"

LOT COVERAGE: SITE SQUARE FOOTAGE: 9,411 S.F.
ACTUAL COVERAGE: 2,907 S.F.

AREA CALCULATIONS:

AREAS:

1ST FLOOR A/C SQ. FT.:	1,872 S.F.
2ND FLOOR A/C SQ. FT.:	546 S.F.
TOTAL HOUSE A/C SQ. FT.:	2,418 S.F.
COVERED PATIO SQ. FT.:	595 S.F.
TOTAL HOUSE SQ. FT.:	3,013 S.F.
DETACHED GARAGE SQ. FT.:	440 S.F.

SHEET INDEX:

SHEET	CONTENTS
ARCHITECTURAL DRAWINGS	
A1.1	SITE PLAN / ROOF PLAN / GENERAL NOTES
A2.1	FLOOR PLANS
A3.1	REFLECTED CEILING PLAN & SCHEDULE
A4.1	EXTERIOR ELEVATIONS / WALL SECTION
A4.2	EXTERIOR ELEVATIONS / WALL SECTION
A4.3	BUILDING SECTION / WALL SECTION
A5.1	INTERIOR ELEVATIONS



ISSUED DATE:
24, JUNE 2020

REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT 3

A1.1



DOOR SCHEDULE

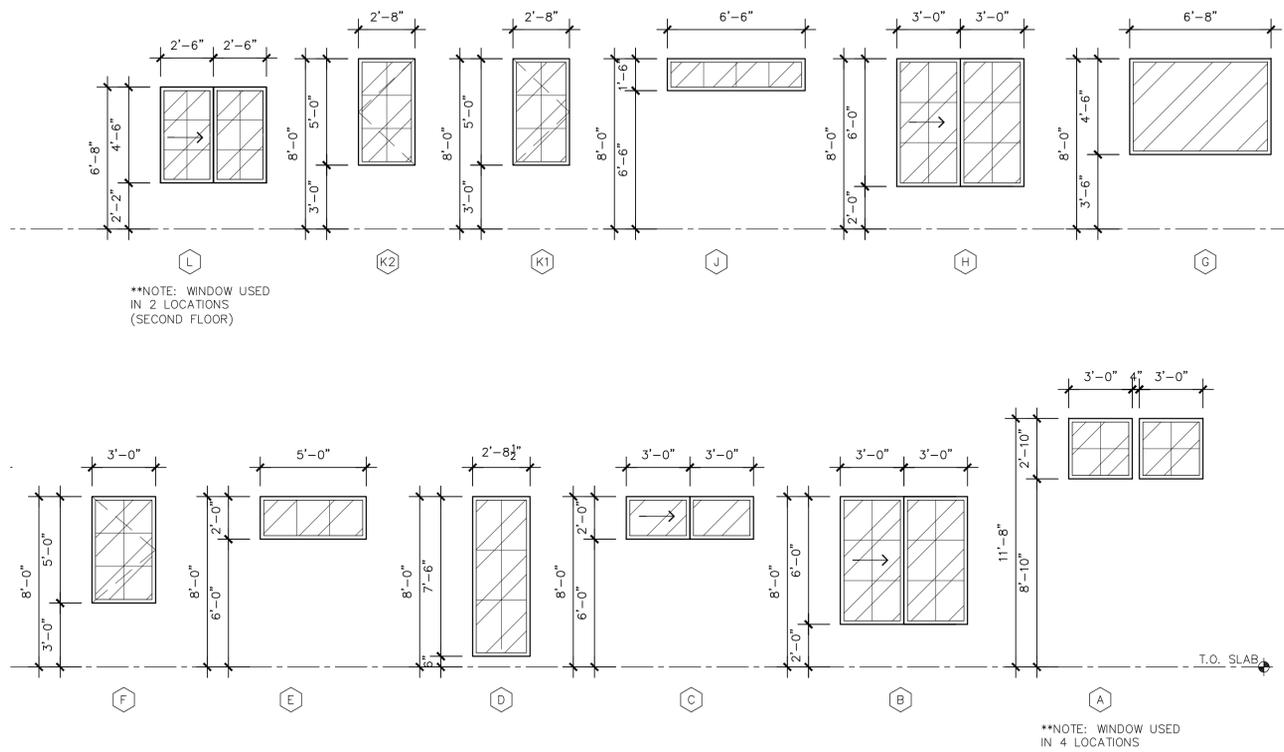
NO.	NAME	SIZE	TYPE	HARDWARE	REMARKS
FIRST FLOOR					
1	FOYER	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
2	HALL	3'-0" x 8'-0" x 1 3/4"	B	LOCKSET	
3	DINING	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
4	MASTER BEDROOM	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	
5	MASTER CLOSET	(2) 3'-0" x 8'-0" x 1 3/4"	D	-	
6	MASTER BATH	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
7	MASTER SHOWER	2'-6" x 8'-0" x 1/2"	E	-	
8	MASTER CLOSET	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
9	LAUNDRY	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
10	CRAFT ROOM	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
11	POWDER	2'-4" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
12	STORAGE	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
13	BEDROOM #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
14	BATH #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
SECOND FLOOR					
15	LOFT CLOSET	2'-8" x 6'-8" x 1 3/4"	C	PASSAGE	
16	BATH #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
17	BEDROOM #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
18	BEDROOM #2 CLOSET	(2) 3'-0" x 6'-8" x 1 3/4"	D	-	

DOOR TYPES

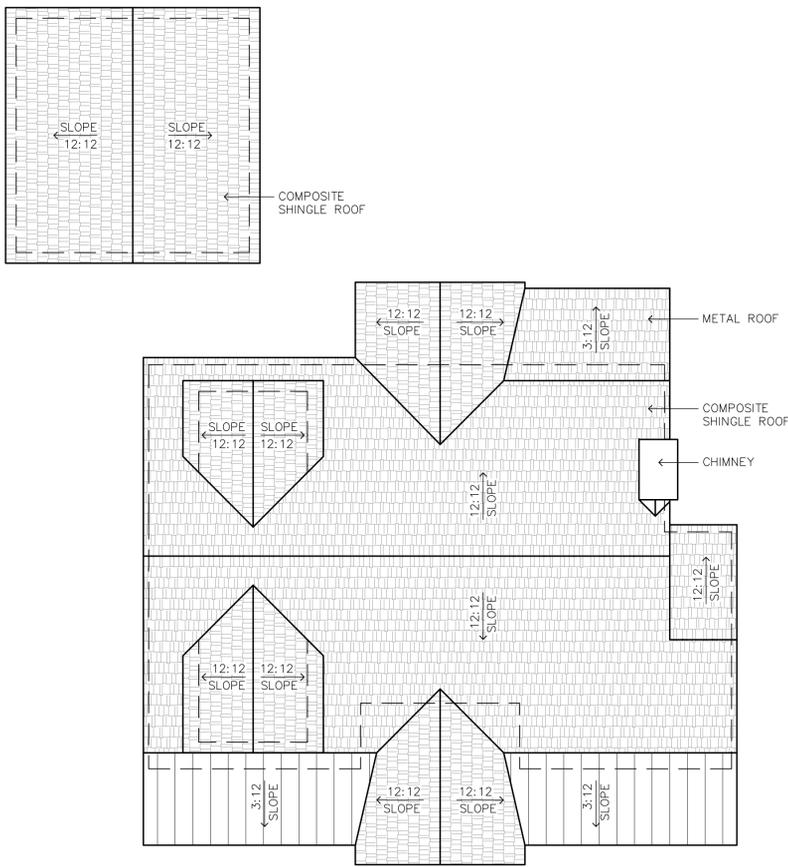
A CUSTOM FRONT DOOR- REFER. WINDOW & DOOR ELEVATIONS (2/A1.2)
 B EXTERIOR SWING DOOR
 C SOLID CORE INTERIOR DOOR
 D INTERIOR SLIDING DOOR
 E GLASS SWING DOOR

ENERGY SPECIFICATIONS:

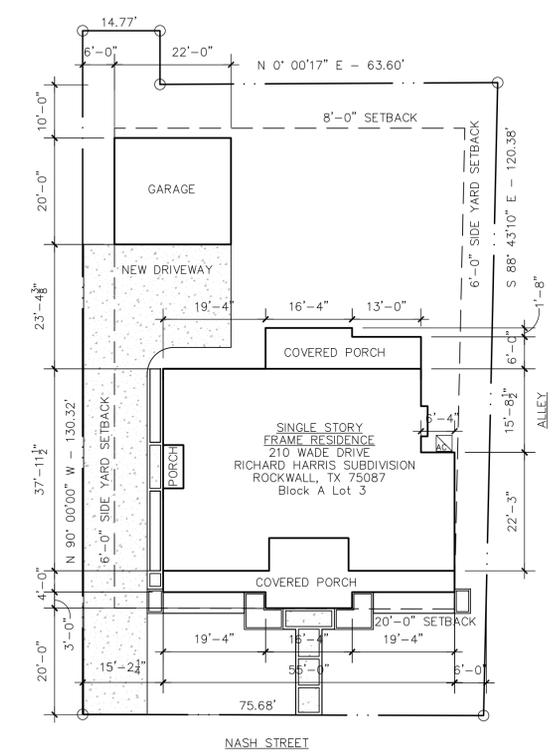
1	ALL FRAMED ENVELOPE:
	2X4 WALLS: 3.5" OPEN CELL FOAM
	SLAB FLOOR SYSTEM
	8" DEEP CEILING SYSTEM: 6" OPEN CELL
2	WINDOWS AND DOORS:
	LOW E GLAZING- UF# = .30 SHGV# = .20
3	HVAC: 16 SEER
4	GAS FURNACE
5	TANKLESS WATER HEATER: GAS



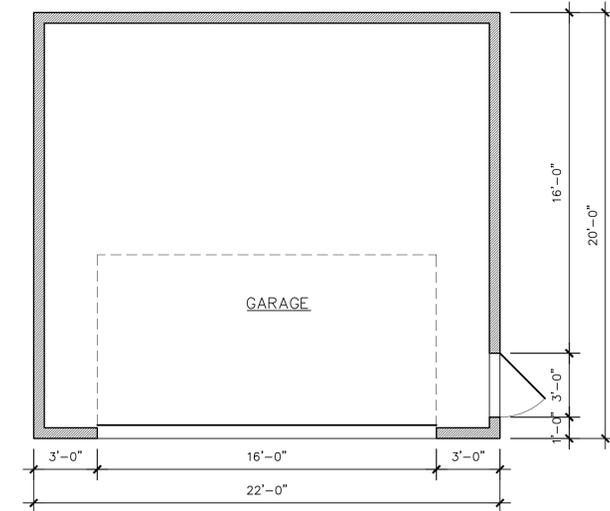
3 WINDOW & DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"



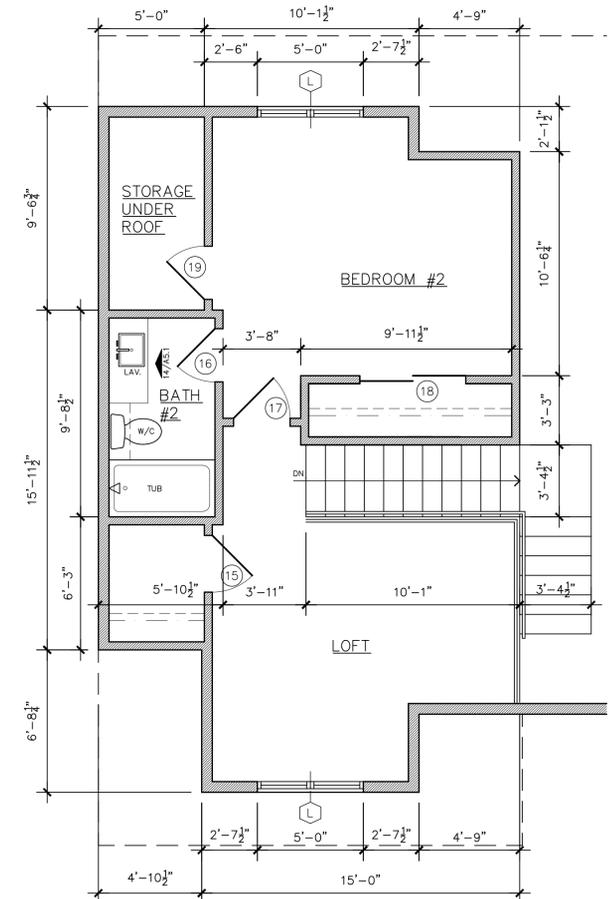
2 ROOF PLAN
SCALE: 1/8" = 1'-0"



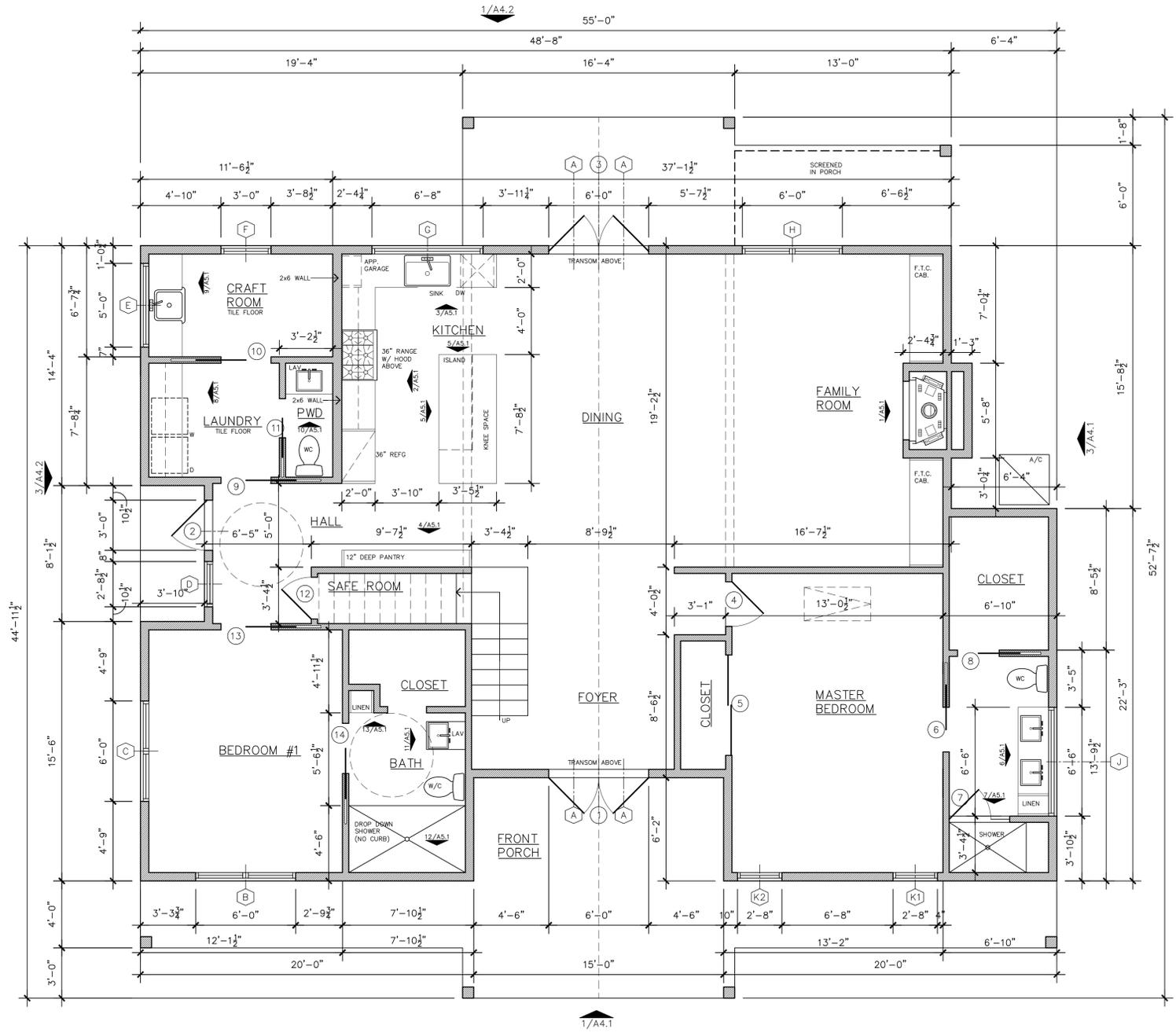
1 SITE PLAN
SCALE: 1/16" = 1'-0"



3 GARAGE
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ISSUED DATE:
24, JUNE 2020

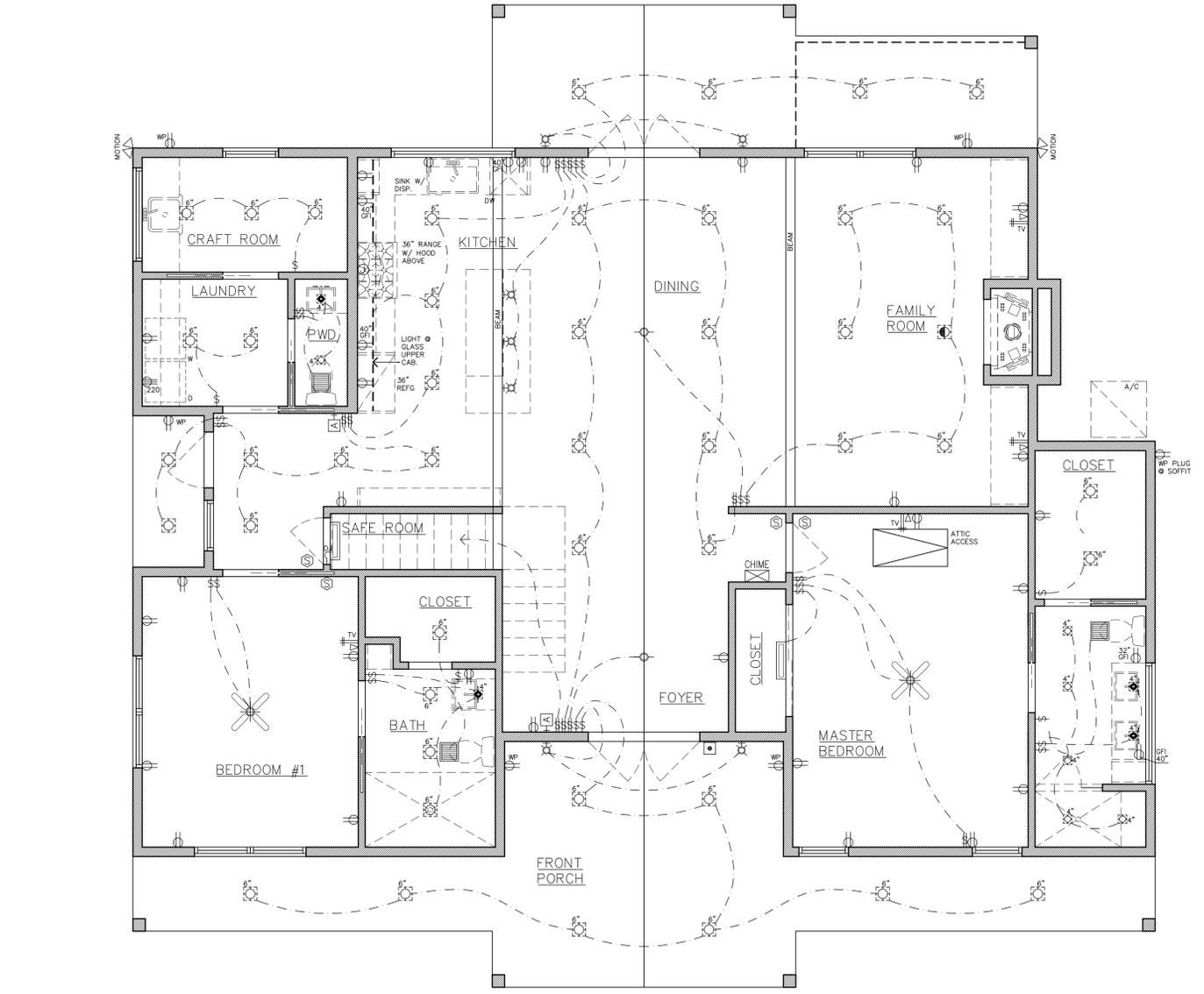
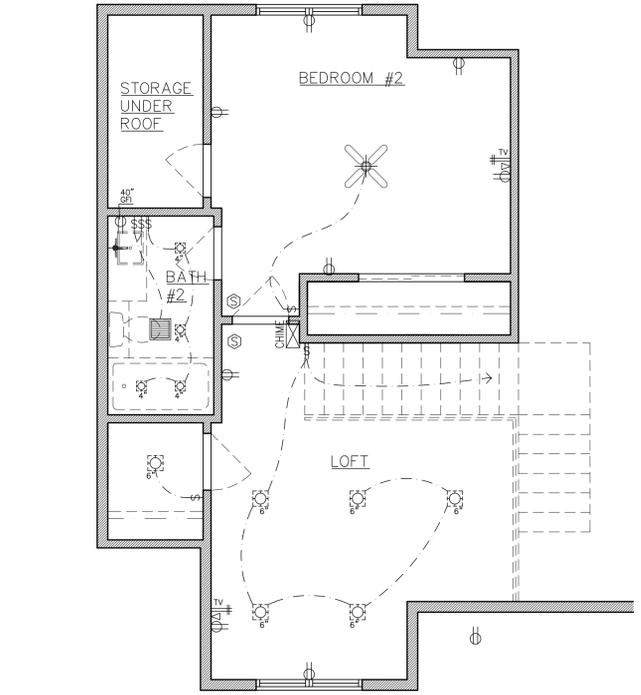
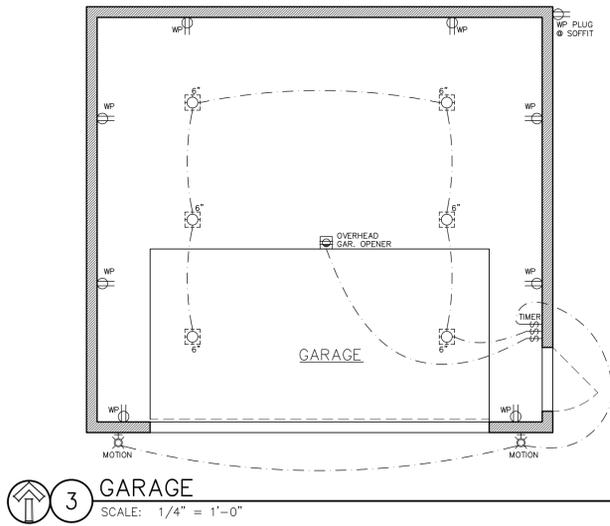
REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT 3

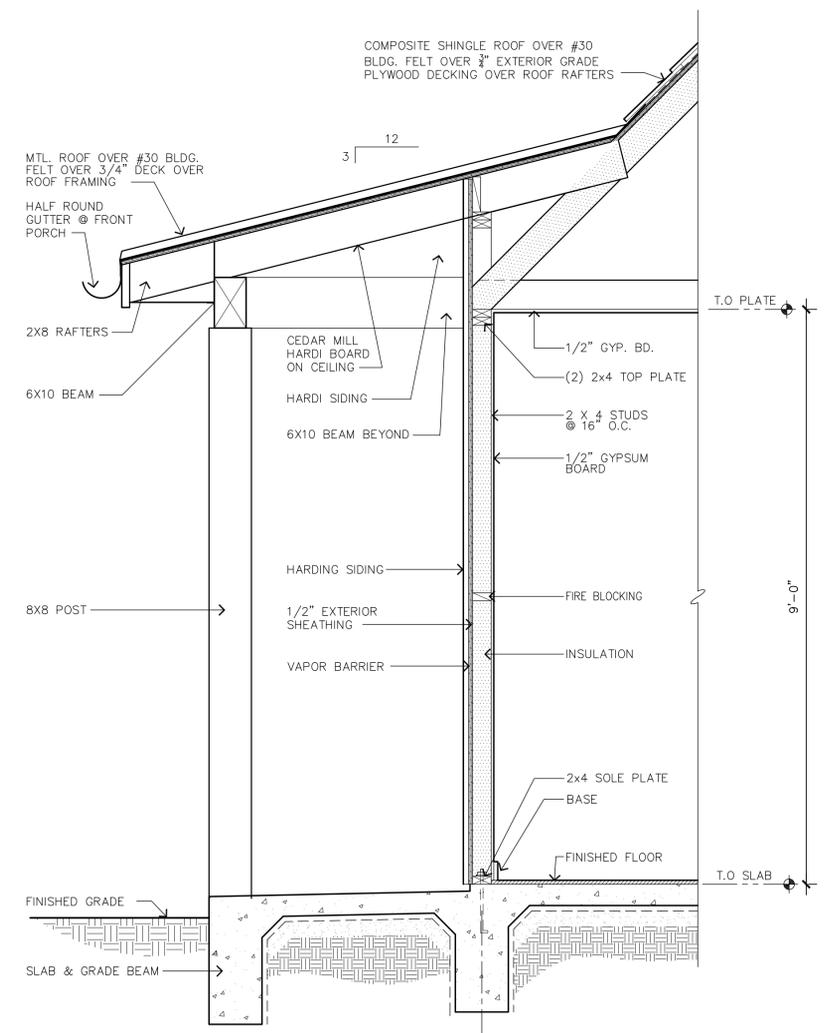
A2.1





ELECTRICAL SCHEDULE:

DUPLEX @ 12" A.F.F., OTHERS NOTED. WP - WATERPROOF HOUSING HZL - HORIZONTAL FACEPLATE GFI - GROUND FAULT	
220V OUTLET	JUNCTION BOX
4" RECESSED INCANDESCENT FIXTURE W/ 2" SPOT APERTURE	6" RECESSED INCANDESCENT FIXTURE
4" RECESSED INCANDESCENT FIXTURE W/ SLOTTED APERTURE	4" RECESSED INCANDESCENT FIXTURE
SINGLE POLE SWITCH (ROCKER) - VERIFY COLOR D - DIMMERS DJ - DOOR JAMB SWITCH 3-WAY SWITCH	
T.V. CABLE G6 WIRE	ALARM KEYPAD
SMOKE DETECTOR W/110V. JUNCTION BOX	CHIME DOOR BELL CHIME
DOOR BELL	CEILING EXHAUST FAN
CEILING MOUNTED FIXTURE TO BE SELECTED	WALL MOUNTED SCONCE TO BE SELECTED
DECORATIVE PENDANT- TO BE SELECTED	EXTERIOR FLOOD LIGHT ON MOTION DETECTOR / PHOTO CELL
CEILING MOUNTED FLUORESCENT FIXTURE	
1 LAMP FLUORESCENT, W/ LENS COVER AT CLOSET	
CEILING FAN	
NOTE: SOME SYMBOLS MAY NOT BE USED.	



2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

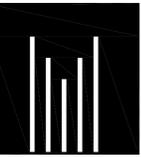
ISSUED DATE:
24, JUNE 2020

REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT3

A4.1



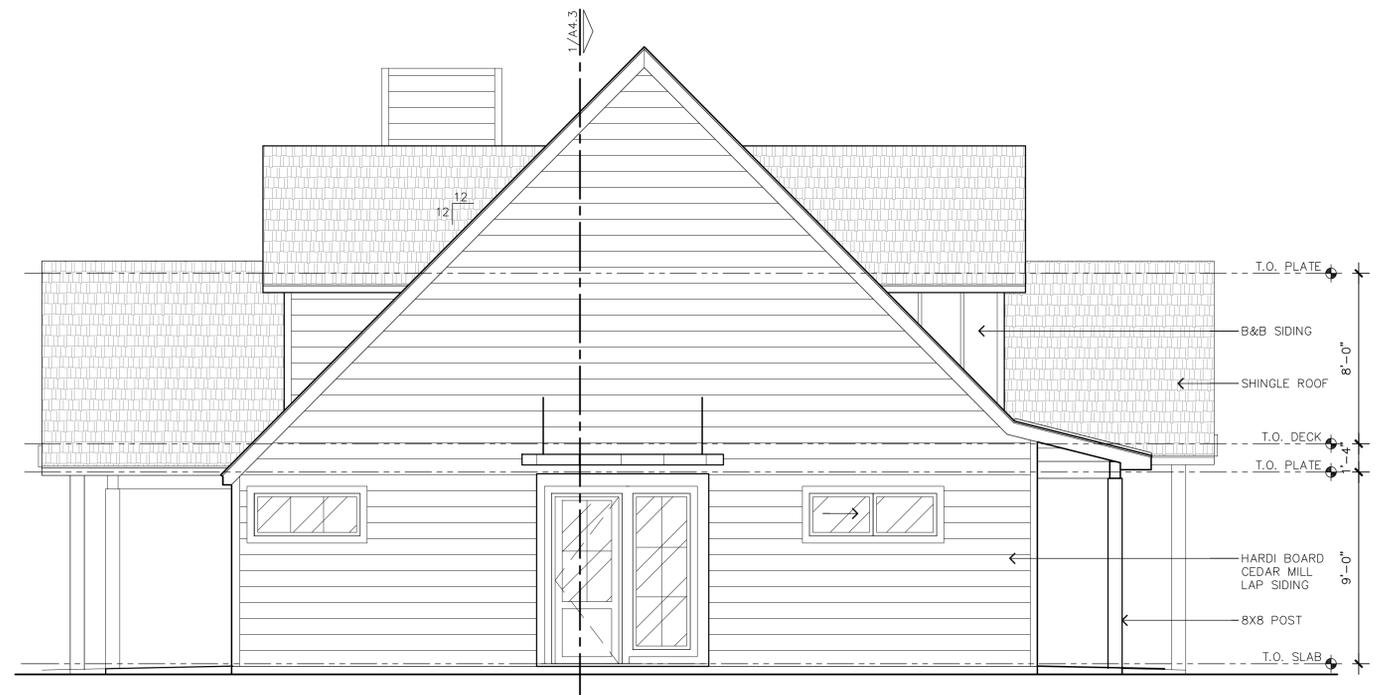
ISSUED DATE:
24, JUNE 2020

REVISION:

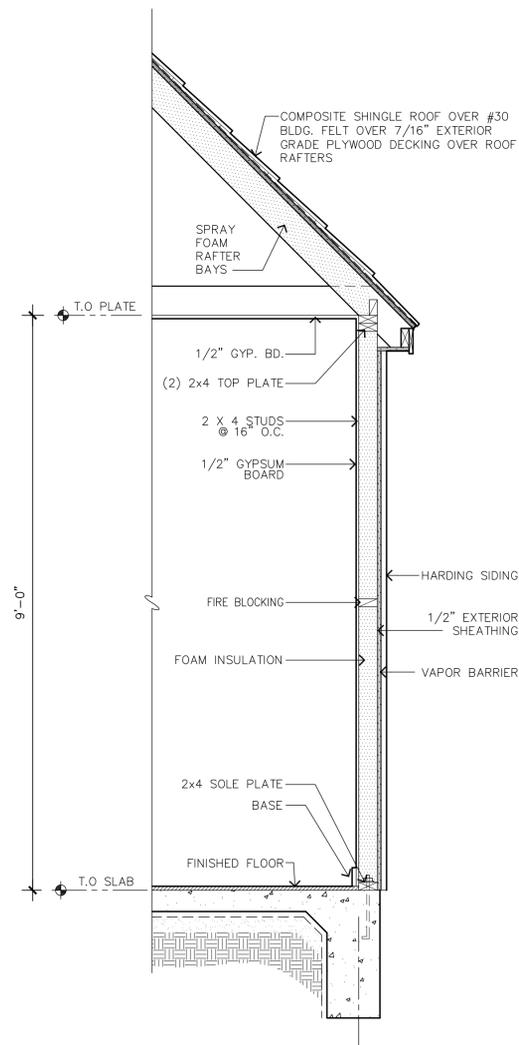
DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT 3

A4.2



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

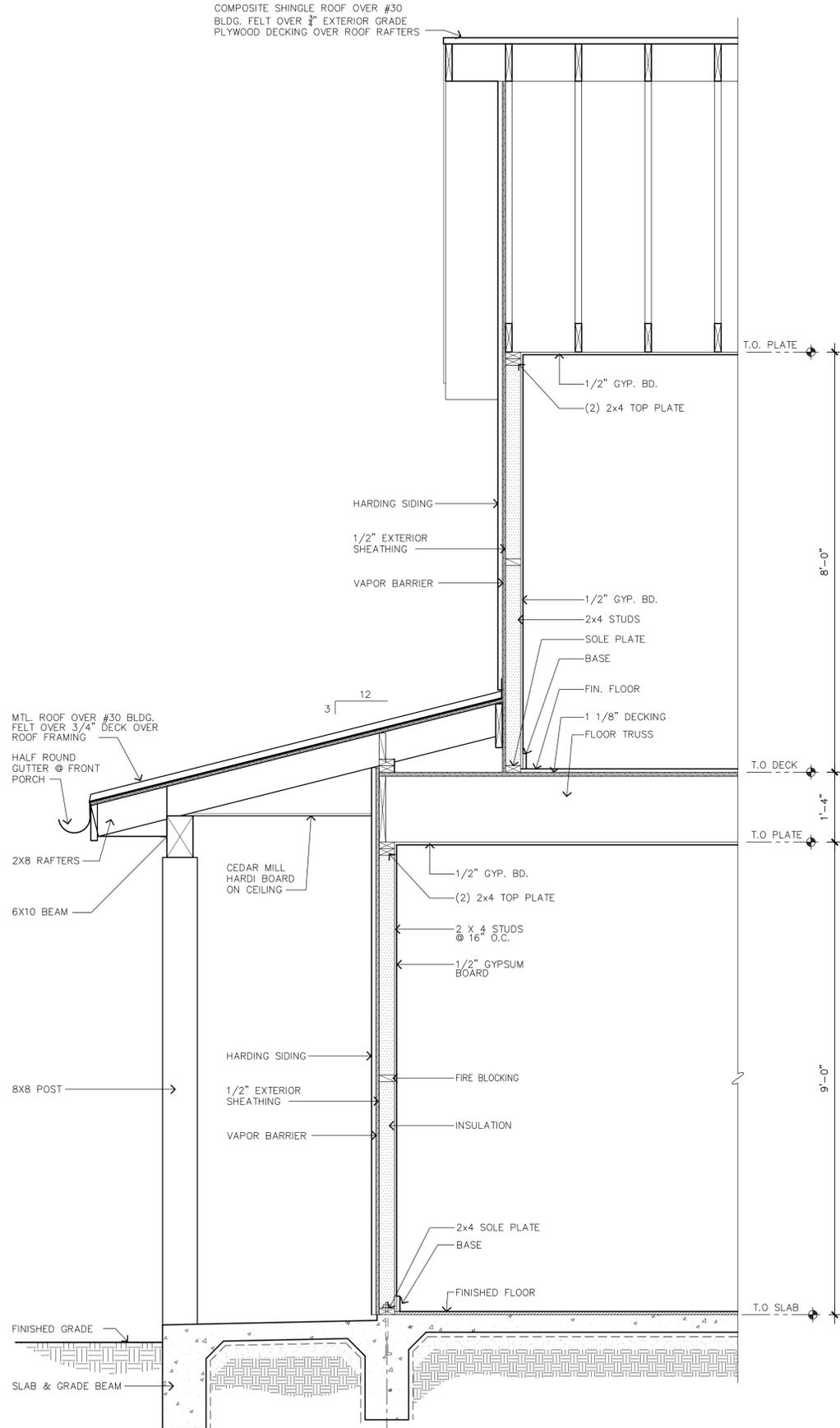


2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"

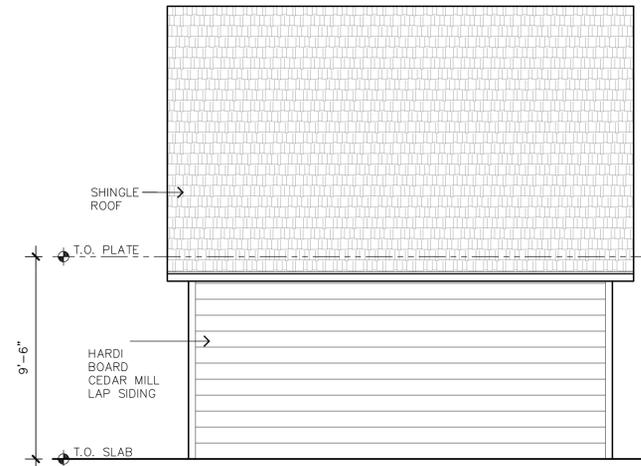


1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

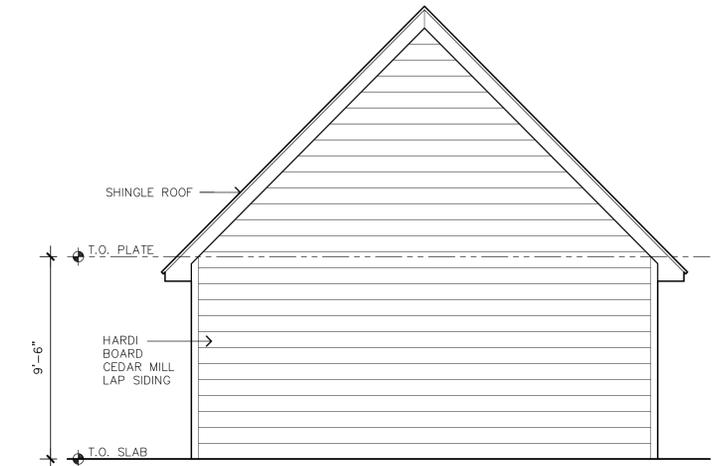
COMPOSITE SHINGLE ROOF OVER #30
BLDG. FELT OVER 3/4" EXTERIOR GRADE
PLYWOOD DECKING OVER ROOF RAFTERS



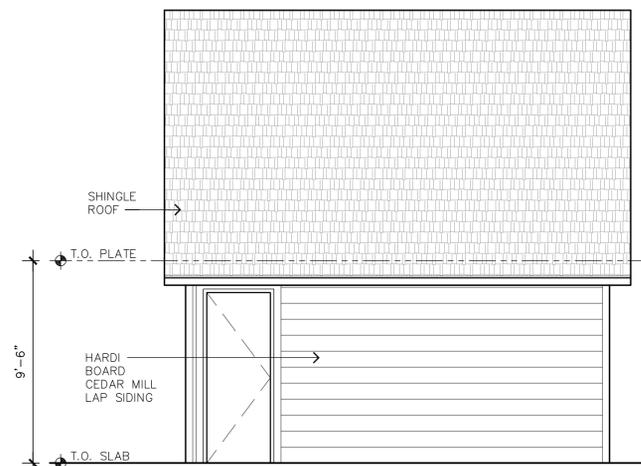
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



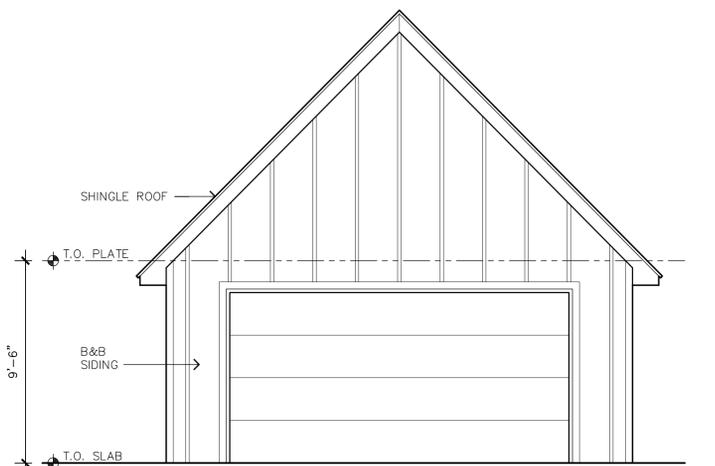
6 GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST BUILDING SECTION / ELEVATION
SCALE: 1/4" = 1'-0"

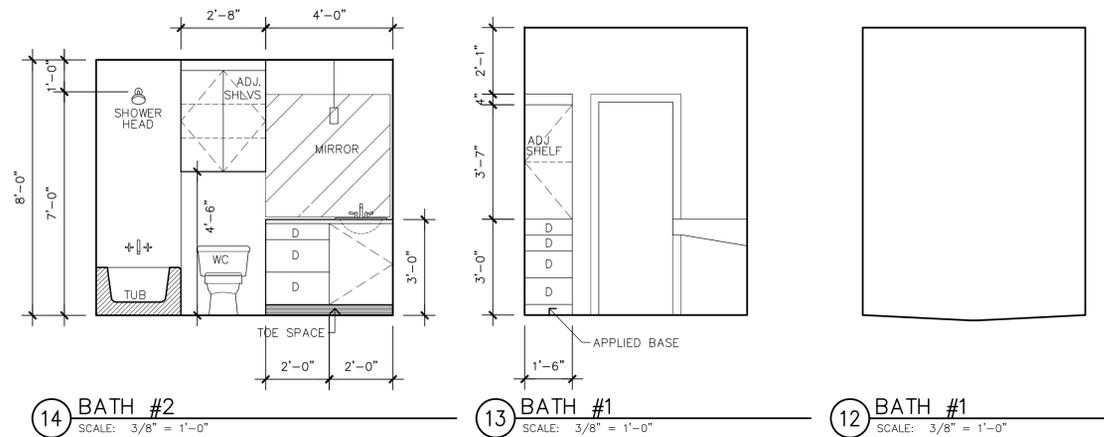
ISSUED DATE:
24, JUNE 2020

REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
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BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT3

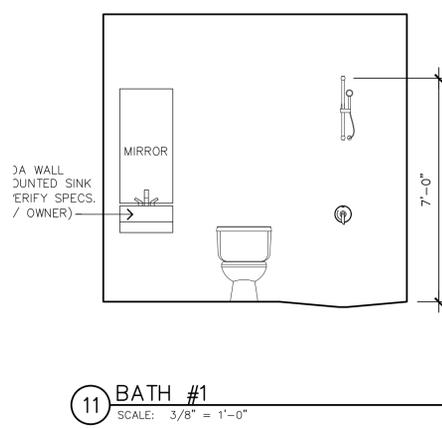
A4.3



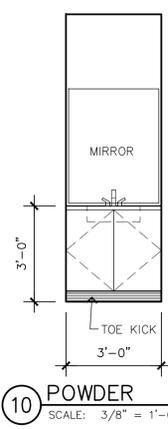
14 BATH #2
SCALE: 3/8" = 1'-0"

13 BATH #1
SCALE: 3/8" = 1'-0"

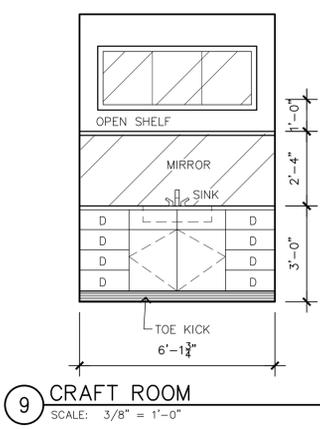
12 BATH #1
SCALE: 3/8" = 1'-0"



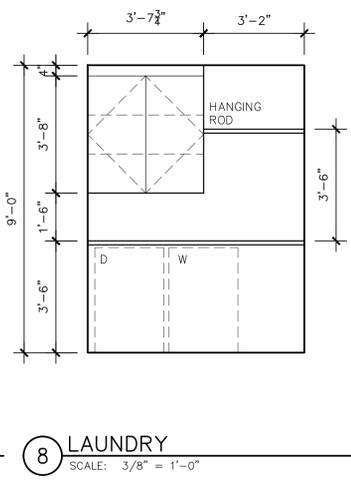
11 BATH #1
SCALE: 3/8" = 1'-0"



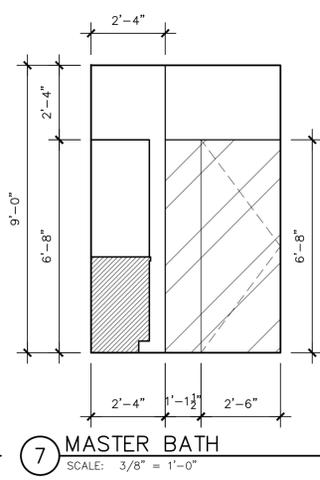
10 POWDER
SCALE: 3/8" = 1'-0"



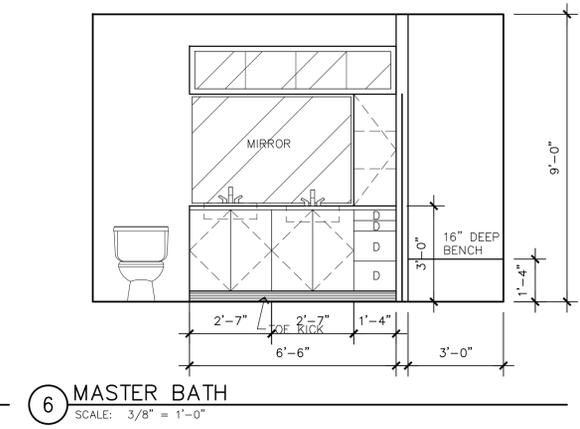
9 CRAFT ROOM
SCALE: 3/8" = 1'-0"



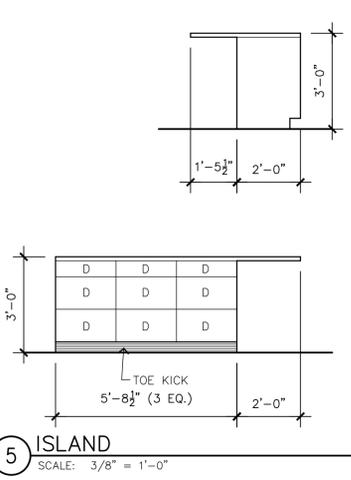
8 LAUNDRY
SCALE: 3/8" = 1'-0"



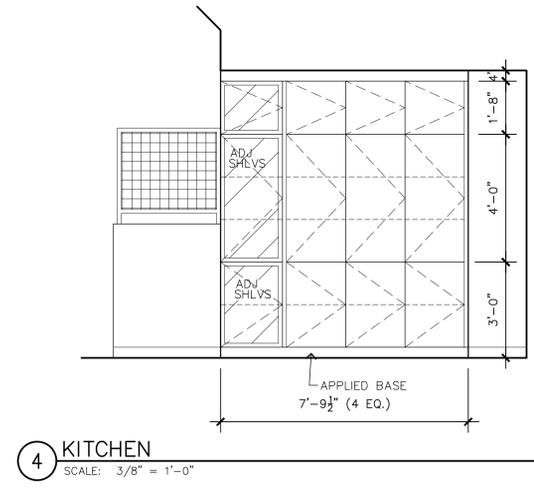
7 MASTER BATH
SCALE: 3/8" = 1'-0"



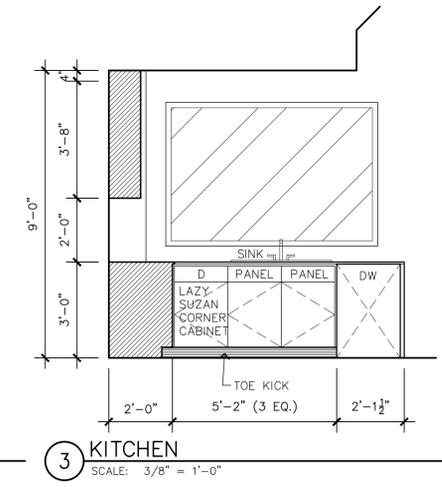
6 MASTER BATH
SCALE: 3/8" = 1'-0"



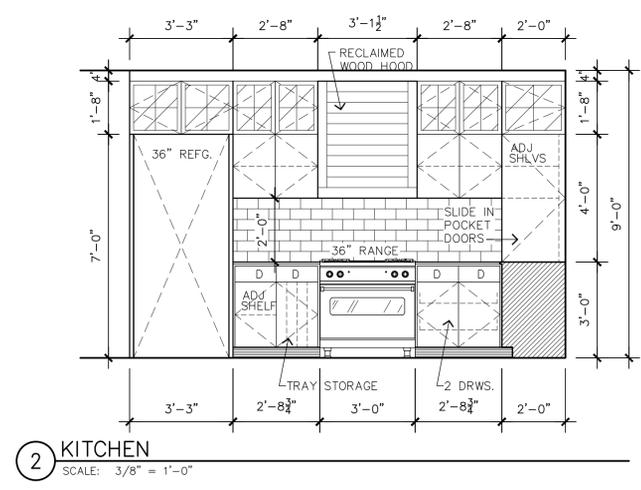
5 ISLAND
SCALE: 3/8" = 1'-0"



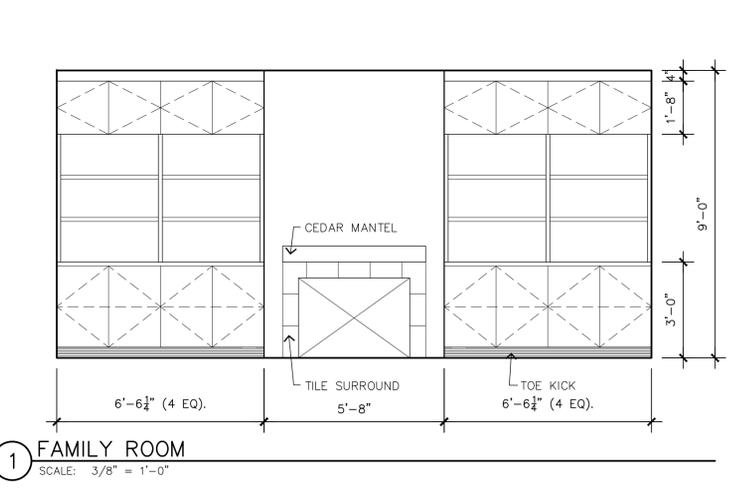
4 KITCHEN
SCALE: 3/8" = 1'-0"



3 KITCHEN
SCALE: 3/8" = 1'-0"



2 KITCHEN
SCALE: 3/8" = 1'-0"



1 FAMILY ROOM
SCALE: 3/8" = 1'-0"

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.216-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK A, RICHARD HARRIS #3 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Patrick Wells for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map and Survey

Address: 210 Wade Drive

Legal Description: Lot 3, Block A, Richard Harris #3 Addition



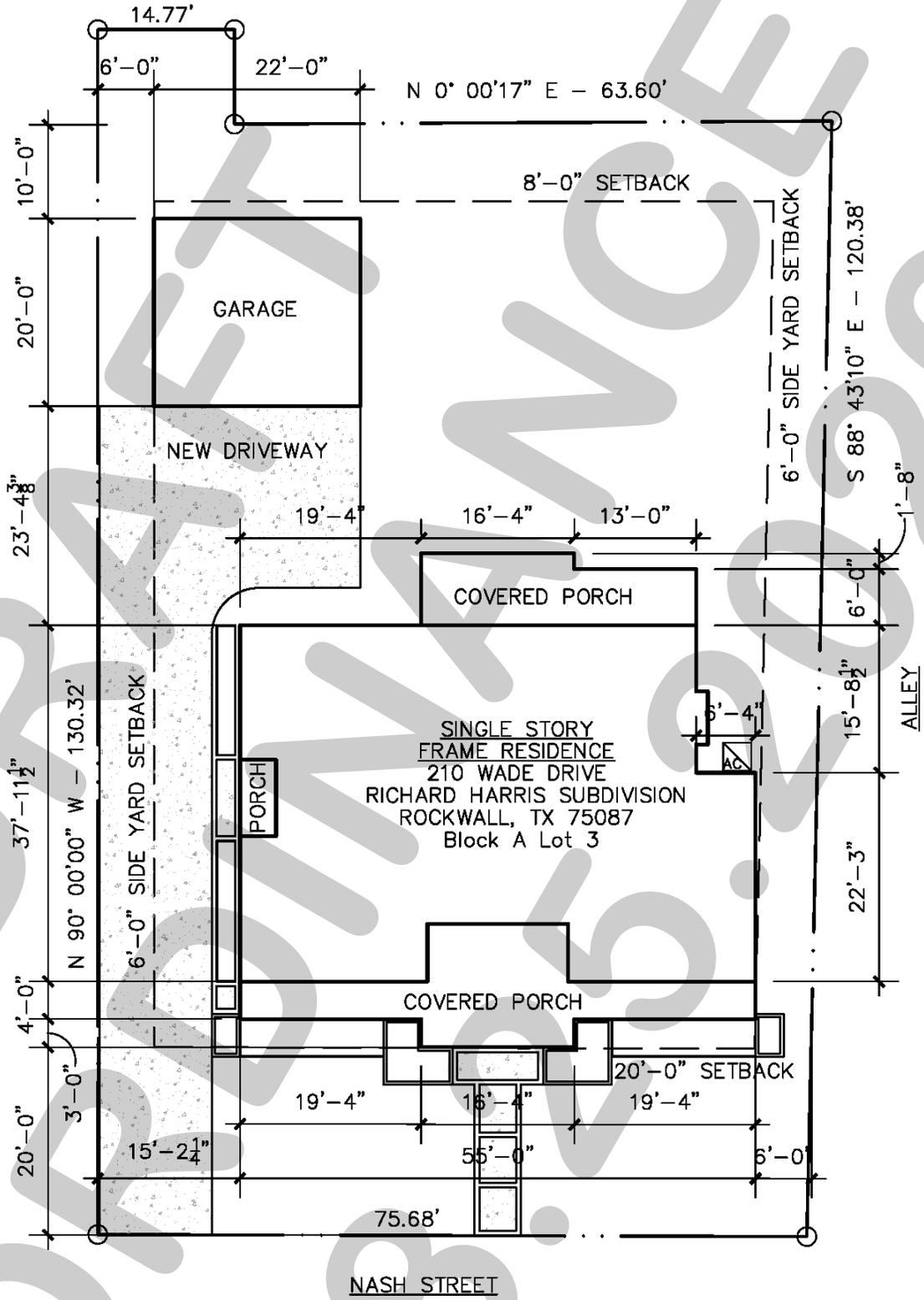
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Exhibit 'B':
Residential Plot Plan



SITE PLAN

SCALE: 1/16" = 1'-0"

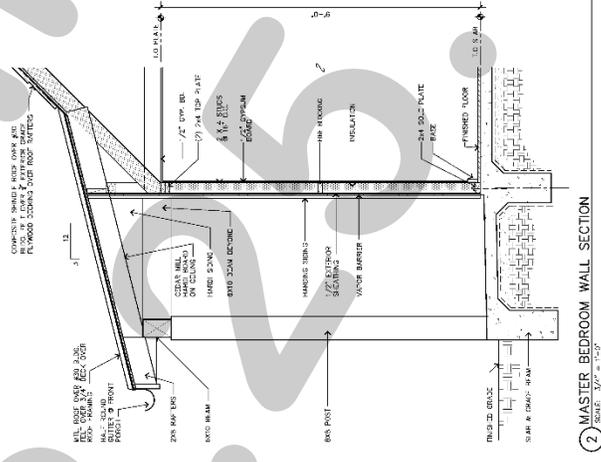
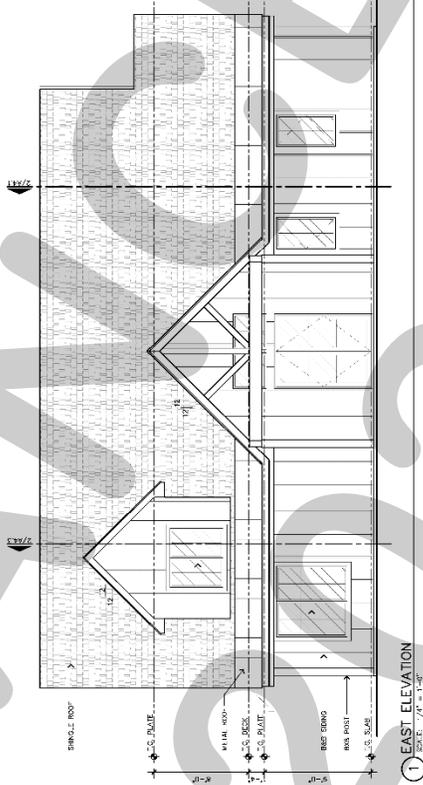
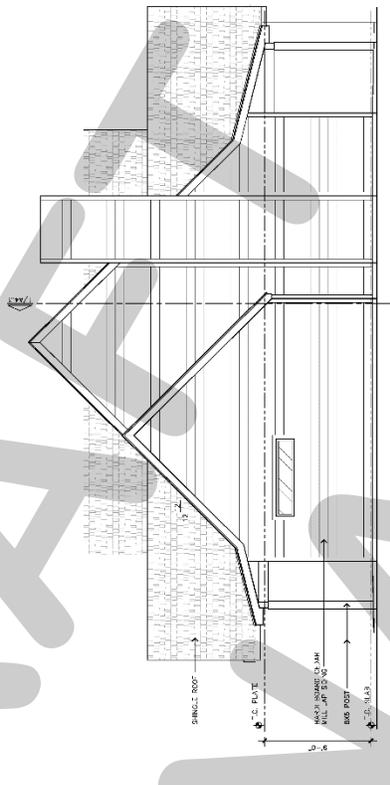
Exhibit 'C':
Building Elevations



<p>DATE: 2/4, 2020</p>	<p>1. SHEET PROVIDED BY: Modern Craft Construction, LLC 2102 FV 141, ROCKWALL, TEXAS 75087 4104-BB HWY 55 S.W.D. SPAN, BLOCK 4 LOT 3</p>	<p>210 WASTE DRIVE, ROCKWALL, TX 75087 WELLS RESIDENCE 1. SHEET PROVIDED BY: K&K ARCHITECTS AT</p>
------------------------	--	--



A4.1

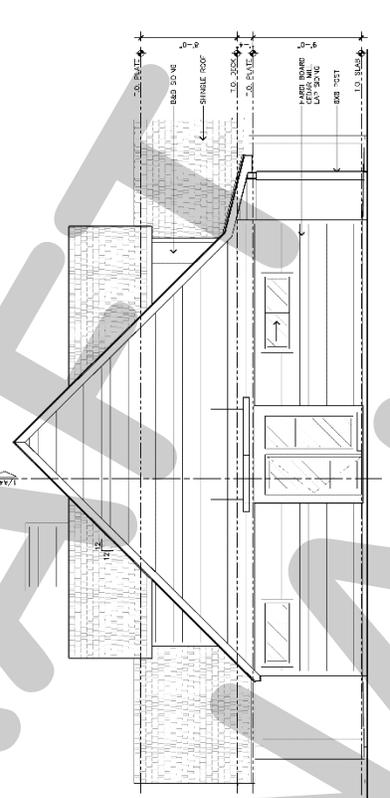


DRAWING 20

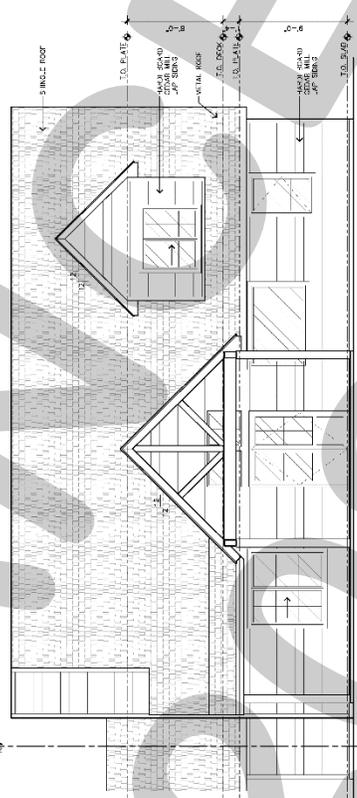
Exhibit 'C':
Building Elevations



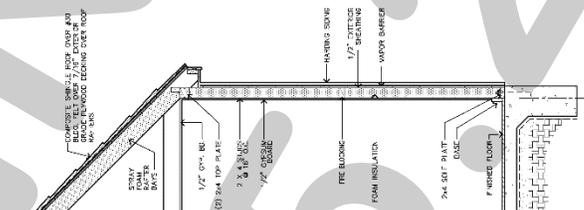
SHEET NO. A4.2	DATE 03/27/2020	DRAWING PREPARED BY MODERN CRAFT CONSTRUCTION, LLC 2102 W. 141st, Rockwall, Texas 75087 MFG 01/17 - 714.877.2443	PROJECT NAME WELLS RESIDENCE 210 WADE DRIVE, ROCKWALL, TX 75087 100% ARCHITECTURAL DRAWING FOR A PERMITS ONLY BY
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3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 MASTER BEDROOM WALL SECTION
SCALE: 3/8" = 1'-0"



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: September 21, 2020
APPLICANT: Patrick Wells
CASE NUMBER: Z2020-033; *Specific Use Permit (SUP) for a Residential Infill for 210 Wade Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on July 6, 1959 by *Ordinance No. 59-02*. The subject property along with the adjacent properties were platted as Lots 1 & 2, Block A, Richard Harris # 3 Addition, which was filed with Rockwall County on April 14, 1983. In 1984, single-family homes were constructed on both Lots 1 & 2. On April 15, 2019, the City Council approved a replat of these lots creating Lots 3, 4, & 5, Block A, Richard Harris #3 Addition. This replat subdivided off the back 75.68-feet of Lots 1 & 2 to establish the Lot 3 (*i.e. the subject property*). The subject property has remained vacant since the replat.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 210 Wade Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 30-foot unimproved alleyway followed by two (2) lots zoned Single-Family 7 (SF-7) District. These properties are developed with single family homes. One (1) of the homes (*i.e. 201 S. Clark Street*), is located within the Old Town Rockwall Historic District and is identified as Medium Contributing on the 2020 Historic Resource Survey. Beyond this is E. Washington Street, which is classified as a *TXDOT4D* (*i.e. Texas Department of Transportation, four [4] lane divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Howard Dobbs Elementary School, which is Single-Family 7 (SF-7) District.

South: Directly south of the subject property are two (2) lots zoned Single-Family 7 (SF-7) District. These lots addressed 705 & 707 Hartman Street, and comprise the rest of the Richard Harris #3 Subdivision. Each of these lots have a single-family home situated on them that was built in 1984. Beyond this is Hartman Street, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) lots zoned Single-Family 7 (SF-7) District and which are located within the Old Town Rockwall Historic District. Two (2) of the homes are considered Non-Contributing, one (1) is Low-Contributing, and one (1) is Medium-Contributing according to the 2020 Historic Resource Survey.

East: Directly east of the subject property is Wade Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are two (2) lots zoned Single-Family 7 (SF-7) District. The 0.33-acre property has two (2) single-family homes situated on it, which are addressed 709 & 711 Hartman Street. The other lot (*i.e. 207 Wade Drive*) is 3.574-acres and is vacant. Beyond this is 713 Hartman Street, which is zoned Single-Family 7 (SF-7) District and has a ~3,500 SF home situated on it.

West: Directly west of the subject property are two (2) single-family homes situated on two (2) lots that are zoned Single-Family 7 (SF-7). These properties are addressed as 209 & 211 S. Clark Street. Beyond this is S. Clark Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple lots zoned Single-Family 7 (SF-7) District. These properties (*i.e. 206, 208, 210, & 210 S. Clark Street*) are developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within 500-feet of the Dawson Subdivision, which has been in existence for greater than ten (10) years, consists 16 lots, and is 100% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Wade Drive, Hartman Street, and S. Clark Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Wade Drive, Hartman Street, & S. Clark Street and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face onto Wade Drive.
Year Built	1911-1999	N/A
Building SF on Property	984 SF – 2,203 SF	2,418 SF (2,418 SF of Air-Conditioned Space)
Building Architecture	Single Family Homes	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 10-Feet and 20-Feet	20-Feet
Side	The side yard setbacks greater than six (6) feet.	X>6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	X>10-Feet
Building Materials	Composite Siding, Vinyl Siding, & Brick	HardiBoard Siding
Paint and Color	Red, White, Grey, Brown, & Green,	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Standing Seam Metal	Asphalt Composite Shingle (Primary) & Metal Roof (Secondary over Covered Porch)
Driveways/Garages	Driveways all front the same street the single-family home faces. Two (2) exceptions exist on two (2) corner lots.	The garage will be detached and located behind the home to the south-west.

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Russell Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On August 18, 2020, staff mailed 50 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On September 15, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) with the conditions of approval by a vote of 6-0, with Commissioner Conway absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. 22020-033
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Restatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

\$215.00 check

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION (PLEASE PRINT)

Address: 210 Wade STREET Rockwell TX 75087
 Subdivision: RICHARD HARRIS NO. 3 ADDITION Lot 3 Block A
 General Location: Hartman + Wade

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning: Residential Current Use: Residential
 Proposed Zoning: Residential Proposed Use: Residential
 9411 4 = Acreage: .22 Lots [Current]: LOT 3 Lots [Proposed]: LOT 3

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input checked="" type="checkbox"/> Owner: <u>PATRICK S. WELLS</u>	<input type="checkbox"/> Applicant: <u>SAME AS OWNER INFO</u>
Contact Person: <u>PATRICK S. WELLS</u>	Contact Person: <u>"</u>
Address: <u>711 Stillwater DR.</u>	Address: <u>"</u>
City, State & Zip: <u>Rockwall, Tx. 75087</u>	City, State & Zip: <u>"</u>
Phone: <u>214-280-6469</u>	Phone: <u>"</u>
E-Mail: <u>pwells9@icloud.com</u>	E-Mail: <u>PWELLS9@ICLOUD.COM</u>

NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared Patrick Wells [Owner] the undersigned, who stated the information on this application to be true and certified the following.

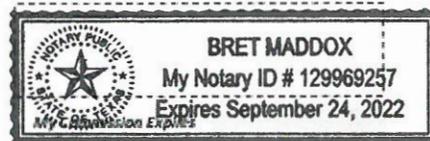
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 3rd day of August, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 3rd day of August, 2020.

Owner's Signature: Patrick S. Wells

Notary Public in and for the State of Texas

[Signature]

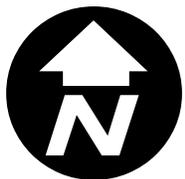




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

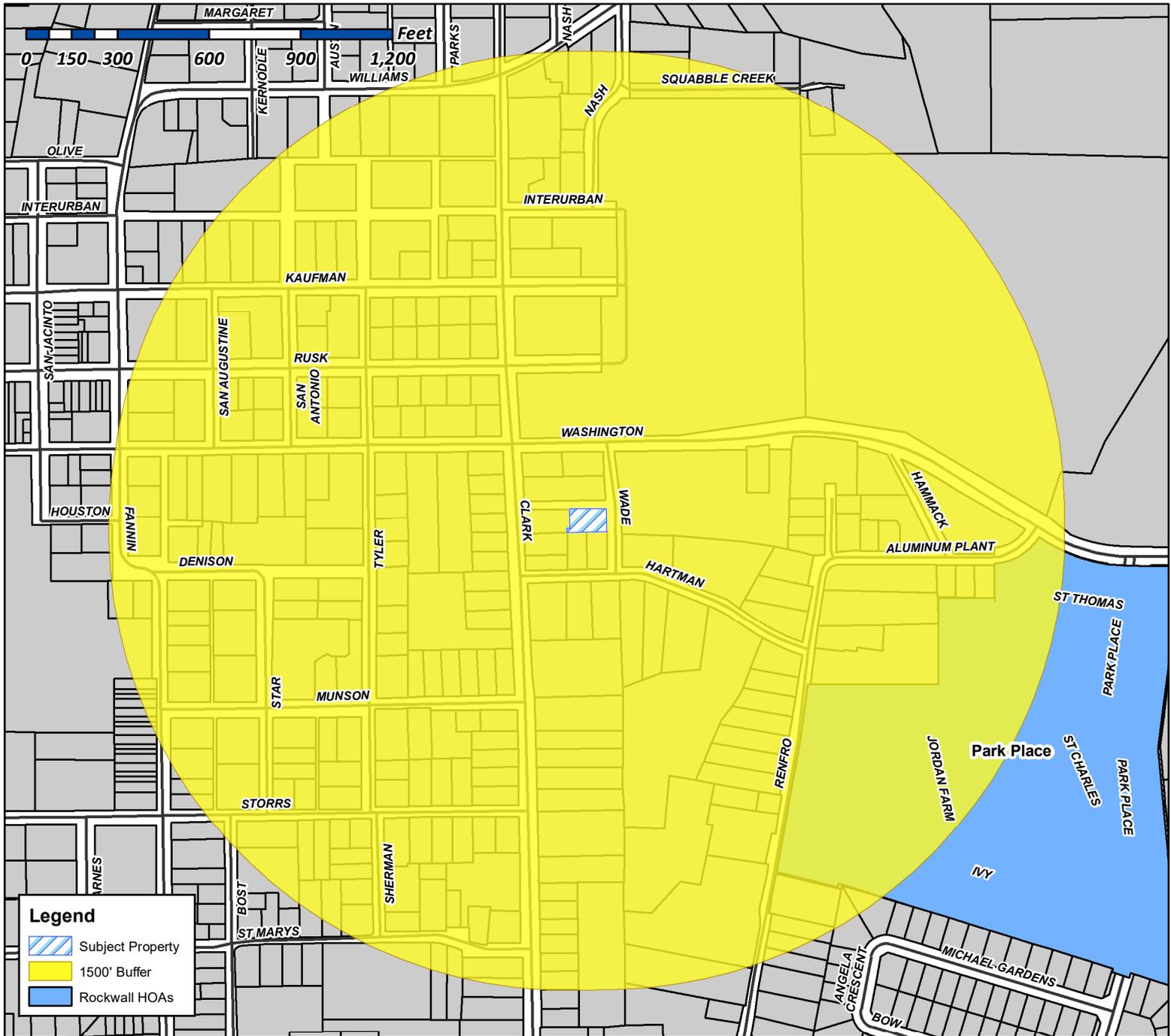




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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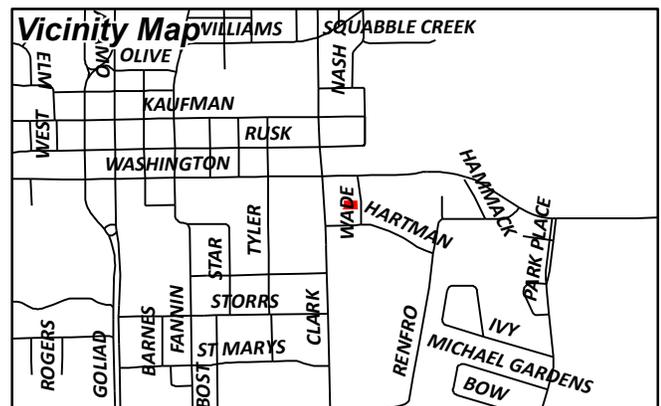
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Case Number: Z2020-033
Case Name: SUP for 210 Wade Drive
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 210 Wade Drive

Date Created: 8/14/2020

For Questions on this Case Call (972) 771-7745



From: Gamez, Angelica
Sent: Tuesday, August 18, 2020 5:00 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (08.13.2020).pdf; Public Notice (08.18.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, August 21, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-033 SUP for Residential Infill at 210 Wade Street

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

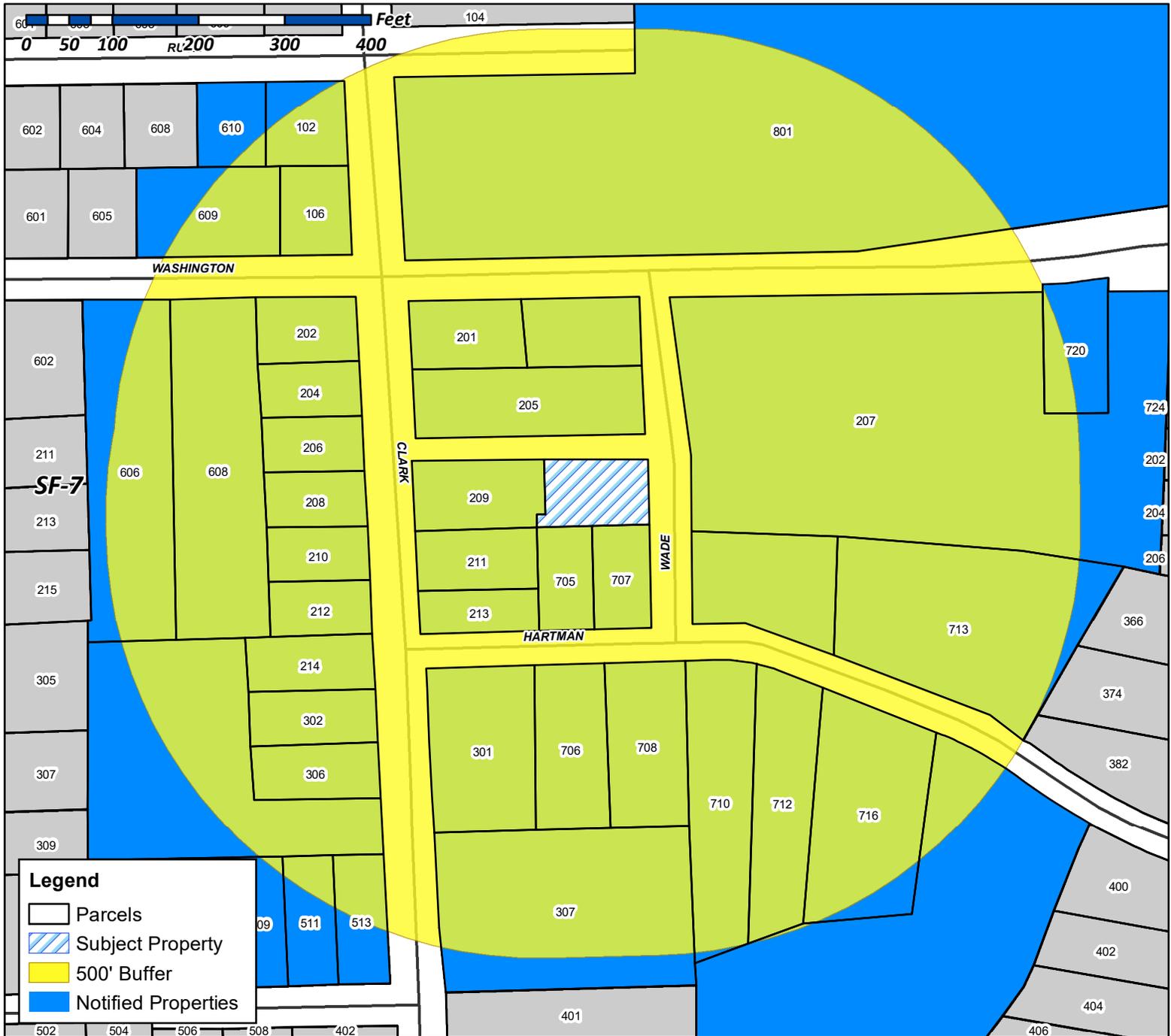
<http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

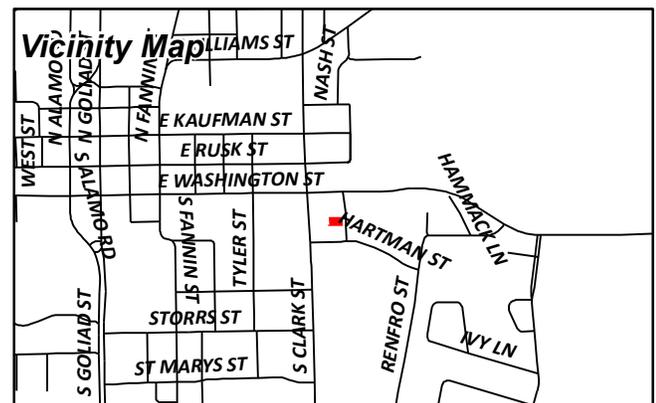
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Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2020-033
Case Name: SUP for 210 Wade Drive
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 210 Wade Drive



Date Created: 8/14/2020
 For Questions on this Case Call (972) 771-7745

MASSEY GREGORY
102 S CLARK
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
106 S CLARK
ROCKWALL, TX 75087

BOREN TERRY L ETUX
113 S BERNICE DR
GARLAND, TX 75042

CASEY CAMPBELL
201 S CLARK
ROCKWALL, TX 75087

RICH LISA
202 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
204 S CLARK
ROCKWALL, TX 75087

HENRY AMANDA A
205 S CLARK
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
206 S CLARK
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE
207 WADEDR
ROCKWALL, TX 75087

KOCH JEAN
208 S CLARK
ROCKWALL, TX 75087

LEFERE KEVIN M AND
AMANDA HENRY
209 S CLARK ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX

MUNSON PARTNERS 1 LLC
210 S CLARK
ROCKWALL, TX 75087

WILKINSON LYNN L & CHAD DAVID
211 S CLARK ST
ROCKWALL, TX 75087

ZAKEM KYNSIE JO
212 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
213 S CLARK
ROCKWALL, TX 75087

SIMPSON MELISSA HUFFAKER
214 S CLARK ST
ROCKWALL, TX 75087

CAUBLE LINDA
301 S CLARK ST
ROCKWALL, TX 75087

BURGESS JULIA ANN
302 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
306 S CLARK
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L
307 S CLARK
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
309 GLENN AVE
ROCKWALL, TX 75087

KOCH JEAN
3720 MEDITERRANEAN
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI
508 HIGHVIEW
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
509 MUNSON
ROCKWALL, TX 75087

FLORES JAMES AND
511 MUNSON
ROCKWALL, TX 75087

BOREN TERRY L ETUX
513 MUNSON
ROCKWALL, TX 75087

CARSON HEATHER
606 E WASHINGTON ST
ROCKWALL, TX 75087

JONES CLYDE AND CHRISTY
608 E WASHINGTON
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
608 E WASHINGTON
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET
609 EAST WASHINGTON STREET
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN
610 E RUSK ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
705 HARTMANST
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI
706 HARTMAN
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
707 HARTMANST
ROCKWALL, TX 75087

SHELTON HEATHER
708 HARTMAN ST
ROCKWALL, TX 75087

RENDON MARCELINO J JR
710 HARTMAN ST
ROCKWALL, TX 75087

ANDERSON TREVOR
711 HARTMAN ST
ROCKWALL, TX 75087

WELLS PATRICK S & RHONDA C
711 STILLWATER DR
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

PIERCY DUANE AND JENNIFER
713 HARTMAN
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
720 E WASHINGTON
ROCKWALL, TX 75087

ROCKWALL I S D
801 E WASHINGTON
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
815 T L TOWNSEND STE 100
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L
8660 COLONY CLUB DR
ALPHARETTA, GA 30022

WOOD WILLIAM AND SANDIE
8718 CLEARLAKE DR
ROWLETT, TX 75088

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
PO BOX 868
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-033: SUP for Residential Infill at 210 Wade Street

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-033: SUP for Residential Infill at 210 Wade Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

ABBREVIATIONS:

A/C	AIR CONDITIONED	MC	MEDICINE CABINET
ADJ	ADJUSTABLE	MICRO	MICROWAVE
A.F.F.	ABOVE FINISHED FLOOR	MIN	MINIMUM
BD	BOARD	N.T.S.	NOT TO SCALE
BLDG	BUILDING	O.H.	OVERHEAD
B.O.	BOTTOM OF	O.C.	ON CENTER
CAB	CABINET	O.C.E.W.	ON CENTER EACH WAY
CER	CERAMIC	PL	PLATE
CL	CENTER LINE	PLAS	PLASTIC
CLG	CEILING	PNDR	POWDER
CLO	CLOSET	REF	REFERENCE
C.O.	CASED OPENING	REFG	REFRIGERATOR
COL	COLUMN	REQ	REQUIRED
CONC	CONCRETE	RM	ROOM
CONT	CONTINUOUS	R/S	ROD & SHELF
COORD	COORDINATE	SCHED	SCHEDULE
DBLE	DOUBLE	S.F.	SQUARE FEET
DM	DIMENSION	SH	SHelf
DN	DOWN	SHLVS	SHELVES
D.S.	DOWN SPOUT	SIM	SIMILAR
DW	DISH WASHER	SL	SLOPE
DWR	DRAWER	SPR	SPRINKLER
ELEC	ELECTRIC	S.S.	STAINLESS STEEL
ELEV	ELEVATION	STL	STEEL
EO	EQUAL	STOR	STORAGE
ESMT	EASEMENT	STRUCT	STRUCTURAL
EXT	EXTERIOR	T&G	TONGUE & GROOVE
EXIST	EXISTING	THK	THICK
F.F.E.	FINISH FLOOR ELEVATION	T.O.	TOP OF
FLR	FLOOR	T/R	TREAD & RISER
FREZ	FREEZER	TV	TELEVISION
GALV	GALVANIZED	TYP	TYPICAL
GFI	GROUND FAULT INTERRUPTER	U.C.	UNDER COUNTER
GL	GLASS	U.M.	UNDER MOUNT
GYP	GYPsum	UTIL	UTILITY
Hb	HOSE BIB	VEST	VESTIBULE
H.C.	HANDICAPPED	V.I.F.	VERIFY IN FIELD
HT	HEIGHT	W.C.	WATER CLOSET
INSUL	INSULATION	W/D	WASHER & DRYER
LAV	LAVATORY	WD	WOOD
LAM	LAMINATE	W.H.	WATER HEATER
MANUF	MANUFACTURER	W.I.	WROUGHT IRON
MAX	MAXIMUM	WP	WATER PROOF
MECH	MECHANICAL	WRM	WARMING

GRAPHIC SYMBOLS:

1. - - - - -	INDICATES HIDDEN, FUTURE, ABOVE OR EXISTING	7. [Symbol]	INDICATES STEP
2. X/AX.X	INDICATES SECTION	8. [Symbol]	DOOR MARK
3. X/AX.X	INDICATES BUILDING SECTION	9. [Symbol]	WINDOW MARK
4. X/AX.X	INDICATES ELEVATION VIEW	10. [Symbol]	INDICATES BREAK LINE
5. [Symbol]	INDICATES DETAIL	11. #Hb	FROST PROOF HOSE BIB
6. [Symbol]	INDICATES ELEVATION CONTROL	12. X.G.K.	GAS KEY @ FIREPLACE

NOT ALL SYMBOLS USED

DESCRIPTION OF PROPERTY:

LEGAL DESCRIPTION: PROPERTY IS LOCATED AT 210 WADE DRIVE, RICHARD HARRIS SUBDIVISION NO.3 ADDITION, NASH STREET, IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087 BEING A REPLAT OF LOTS 1 & 2 BLOCK A, A RICHARD HARRIS SUBDIVISION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET B, SIDE 44, OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

ZONING: FRONT YARD SETBACK: 20'-0"
SIDE YARD SETBACK: 6'-0"
REAR YARD SETBACK: 8'-0"

LOT COVERAGE: SITE SQUARE FOOTAGE: 9,411 S.F.
ACTUAL COVERAGE: 2,907 S.F.

AREA CALCULATIONS:

AREAS:
1ST FLOOR A/C SQ. FT.: 1,872 S.F.
2ND FLOOR A/C SQ. FT.: 546 S.F.
TOTAL HOUSE A/C SQ. FT.: 2,418 S.F.
COVERED PATIO SQ. FT.: 595 S.F.
TOTAL HOUSE SQ. FT.: 3,013 S.F.
DETACHED GARAGE SQ. FT.: 440 S.F.

SHEET INDEX:

SHEET	CONTENTS
ARCHITECTURAL DRAWINGS	
A1.1	SITE PLAN / ROOF PLAN / GENERAL NOTES
A2.1	FLOOR PLANS
A3.1	REFLECTED CEILING PLAN & SCHEDULE
A4.1	EXTERIOR ELEVATIONS / WALL SECTION
A4.2	EXTERIOR ELEVATIONS / WALL SECTION
A4.3	BUILDING SECTION / WALL SECTION
A5.1	INTERIOR ELEVATIONS



ISSUED DATE:
24, JUNE 2020

REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT 3

A1.1



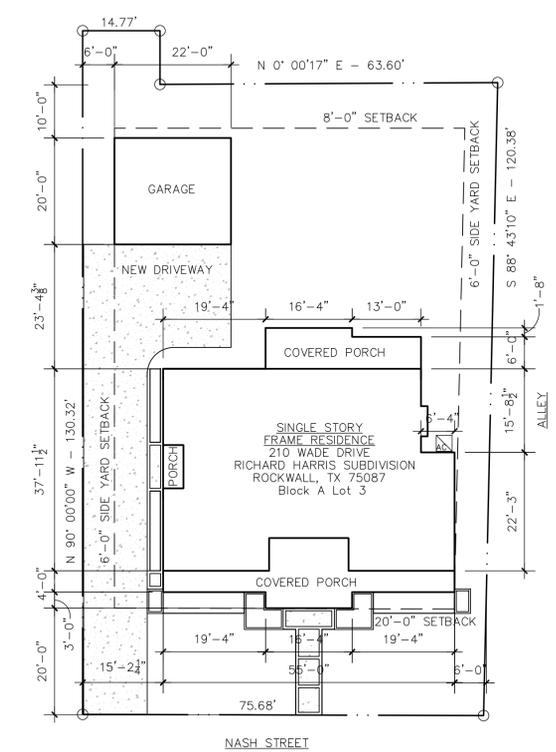
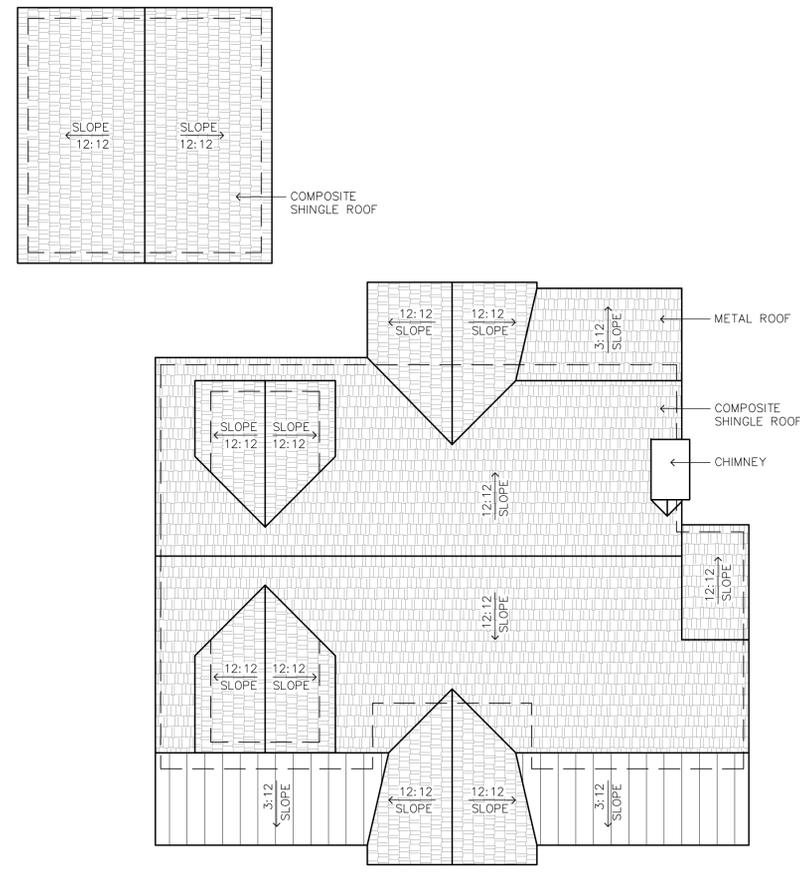
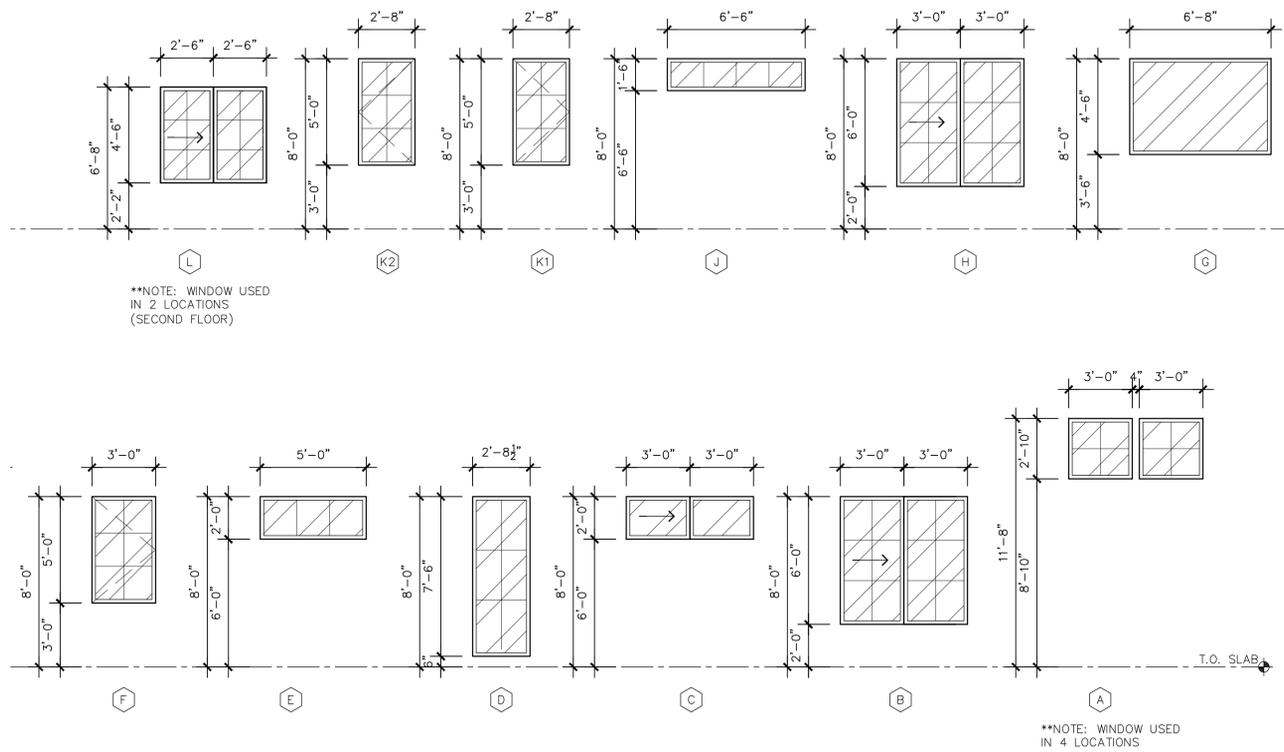
DOOR SCHEDULE

FIRST FLOOR		DOOR			
NO.	NAME	SIZE	TYPE	HARDWARE	REMARKS
1	FOYER	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
2	HALL	3'-0" x 8'-0" x 1 3/4"	B	LOCKSET	
3	DINING	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
4	MASTER BEDROOM	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	
5	MASTER CLOSET	(2) 3'-0" x 8'-0" x 1 3/4"	D	-	
6	MASTER BATH	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
7	MASTER SHOWER	2'-6" x 8'-0" x 1/2"	E	-	
8	MASTER CLOSET	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
9	LAUNDRY	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
10	CRAFT ROOM	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
11	POWDER	2'-4" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
12	STORAGE	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
13	BEDROOM #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
14	BATH #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
SECOND FLOOR		DOOR			
15	LOFT CLOSET	2'-8" x 6'-8" x 1 3/4"	C	PASSAGE	
16	BATH #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
17	BEDROOM #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
18	BEDROOM #2 CLOSET	(2) 3'-0" x 6'-8" x 1 3/4"	D	-	

DOOR TYPES
A CUSTOM FRONT DOOR- REFER. WINDOW & DOOR ELEVATIONS (2/A1.2)
B EXTERIOR SWING DOOR
C SOLID CORE INTERIOR DOOR
D INTERIOR SLIDING DOOR
E GLASS SWING DOOR

ENERGY SPECIFICATIONS:

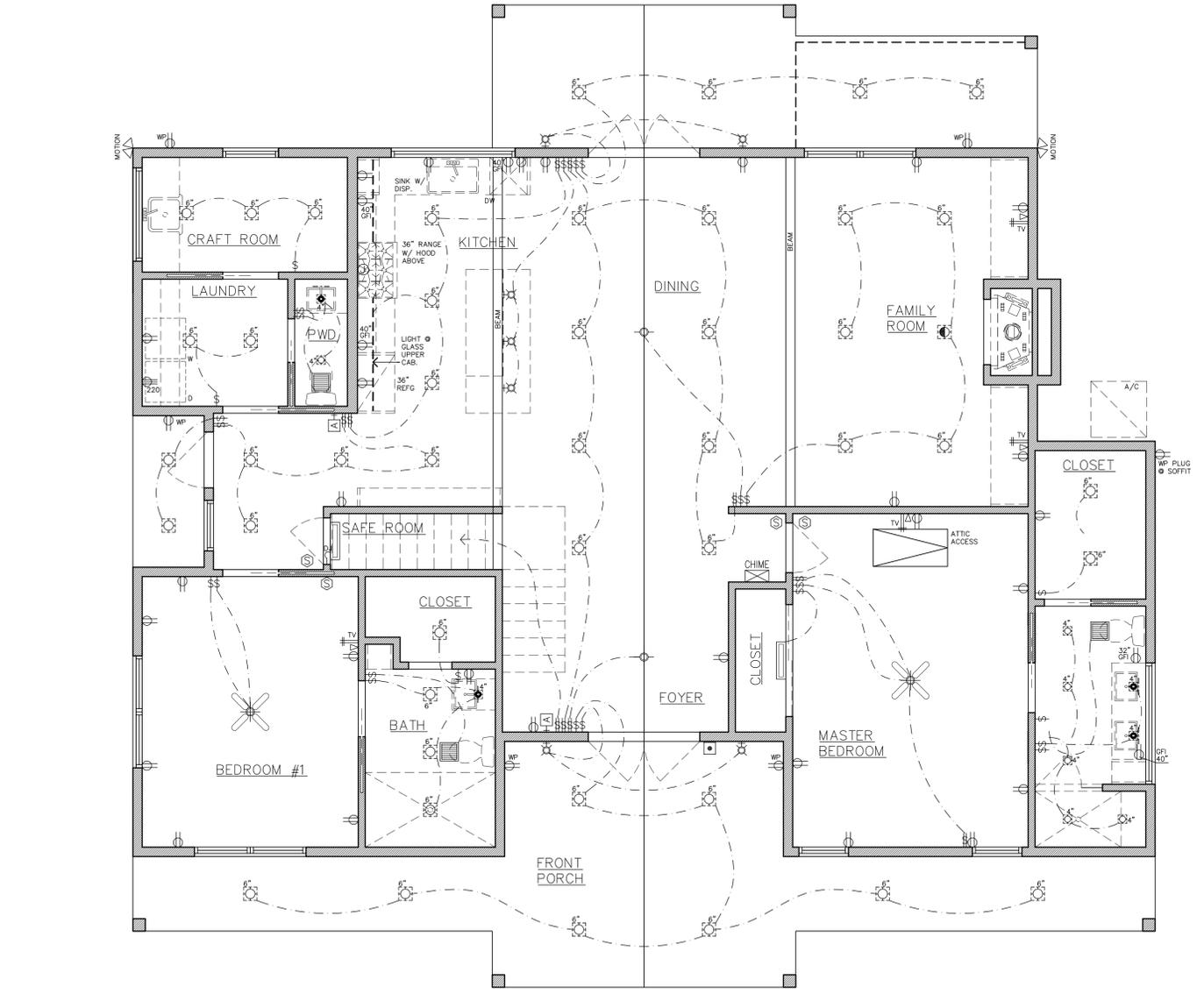
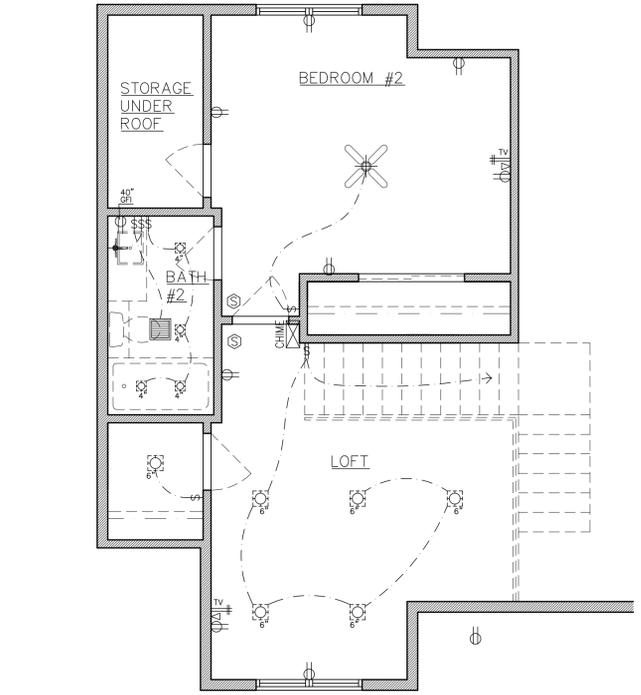
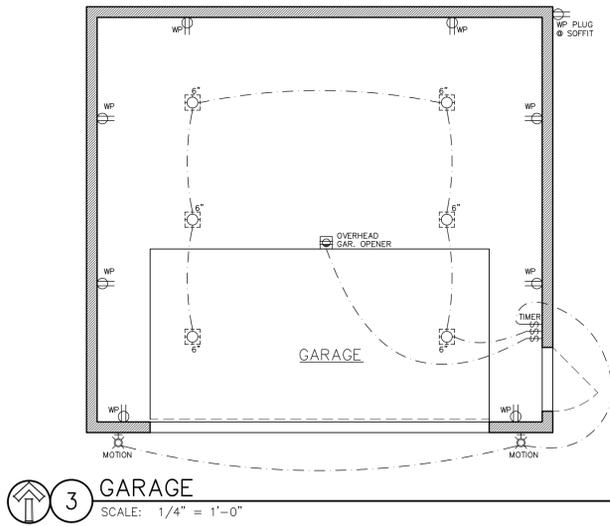
1	ALL FRAMED ENVELOPE: 2X4 WALLS: 3.5" OPEN CELL FOAM SLAB FLOOR SYSTEM 8" DEEP CEILING SYSTEM: 6" OPEN CELL
2	WINDOWS AND DOORS: LOW E GLAZING- UF=.30 SHGV=.20
3	HVAC: 16 SEER
4	GAS FURNACE
5	TANKLESS WATER HEATER: GAS



3 WINDOW & DOOR ELEVATIONS
SCALE: 1/4" = 1'-0"

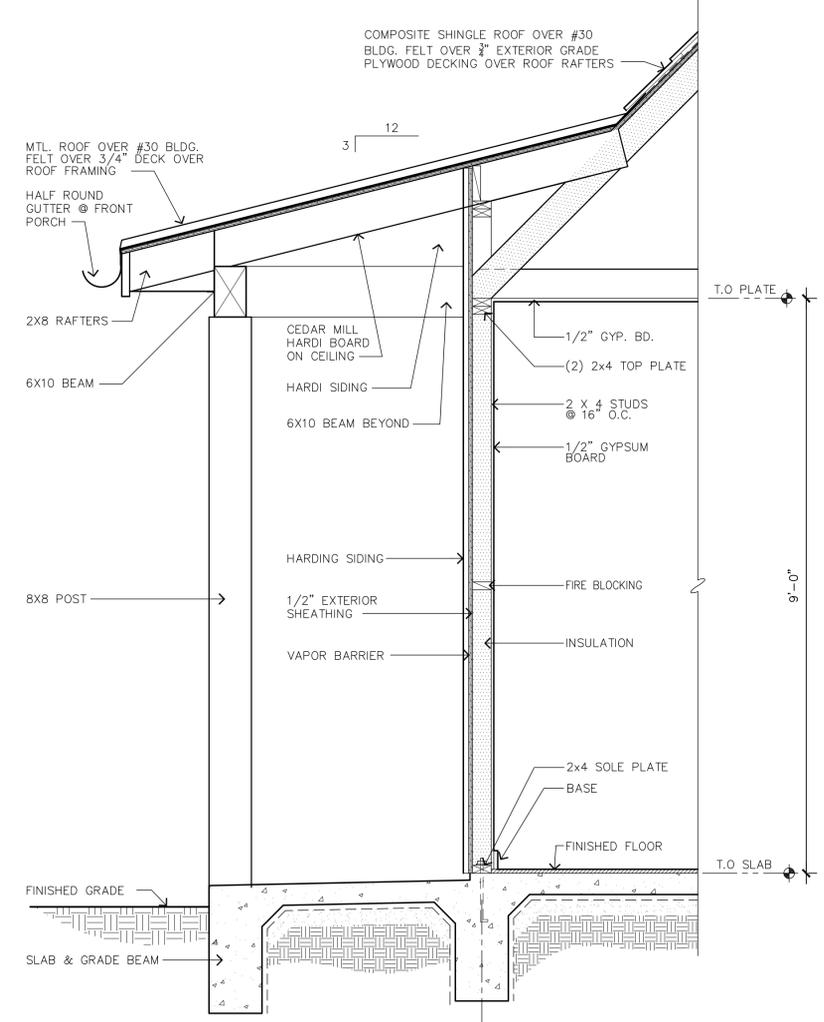
2 ROOF PLAN
SCALE: 1/8" = 1'-0"

1 SITE PLAN
SCALE: 1/16" = 1'-0"



ELECTRICAL SCHEDULE:

DUPLEX @ 12" A.F.F., OTHERS NOTED. WP - WATERPROOF HOUSING HZL - HORIZONTAL FACEPLATE GFI - GROUND FAULT	
220V OUTLET	JUNCTION BOX
4" RECESSED INCANDESCENT FIXTURE W/ 2" SPOT APERTURE	6" RECESSED INCANDESCENT FIXTURE
4" RECESSED INCANDESCENT FIXTURE W/ SLOTTED APERTURE	4" RECESSED INCANDESCENT FIXTURE
SINGLE POLE SWITCH (ROCKER) - VERIFY COLOR D - DIMMERS DJ - DOOR JAMB SWITCH 3-WAY SWITCH	
T.V. CABLE G6 WIRE	ALARM KEYPAD
SMOKE DETECTOR W/110V. JUNCTION BOX	CHIME DOOR BELL CHIME
DOOR BELL	CEILING EXHAUST FAN
CEILING MOUNTED FIXTURE TO BE SELECTED	WALL MOUNTED SCONCE TO BE SELECTED
DECORATIVE PENDANT- TO BE SELECTED	EXTERIOR FLOOD LIGHT ON MOTION DETECTOR / PHOTO CELL
CEILING MOUNTED FLUORESCENT FIXTURE	
1 LAMP FLUORESCENT, W/ LENS COVER AT CLOSET	
CEILING FAN	
NOTE: SOME SYMBOLS MAY NOT BE USED.	



2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"

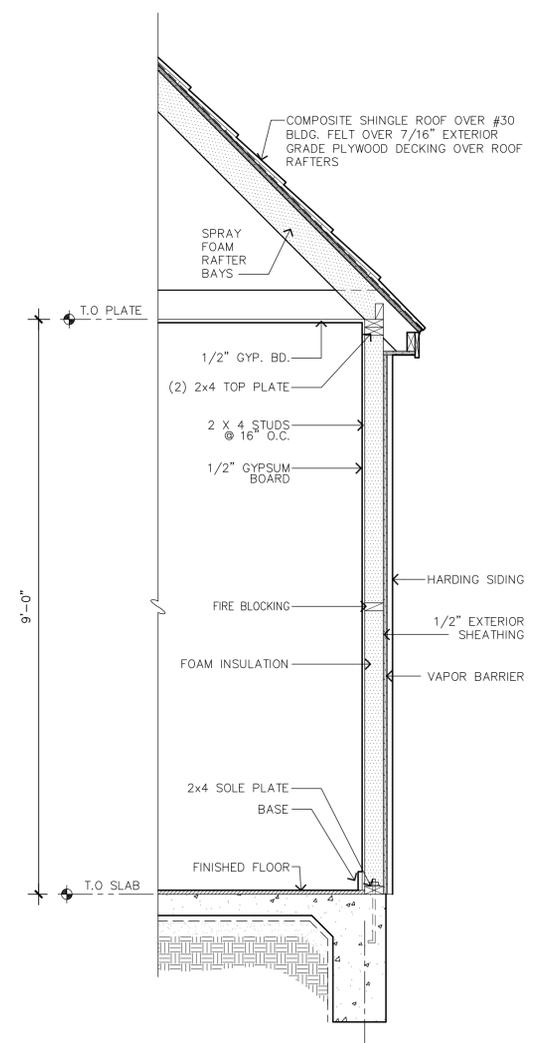


3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

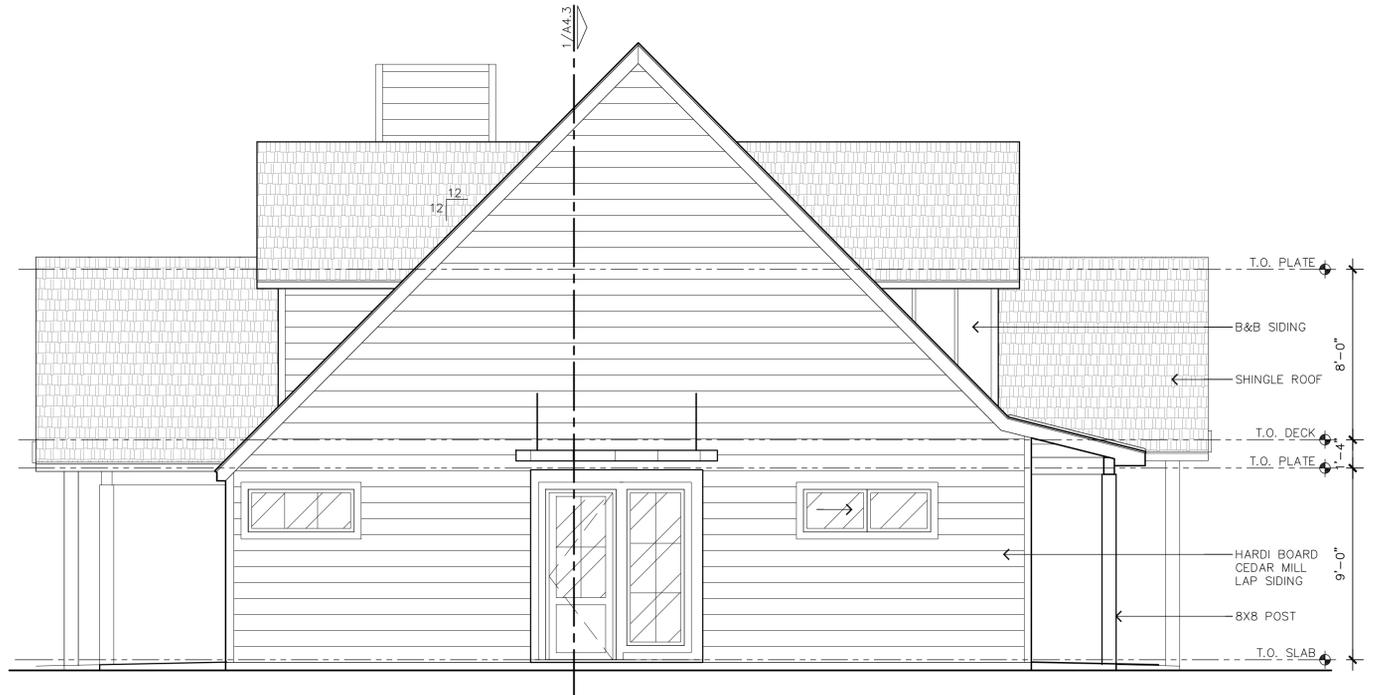
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



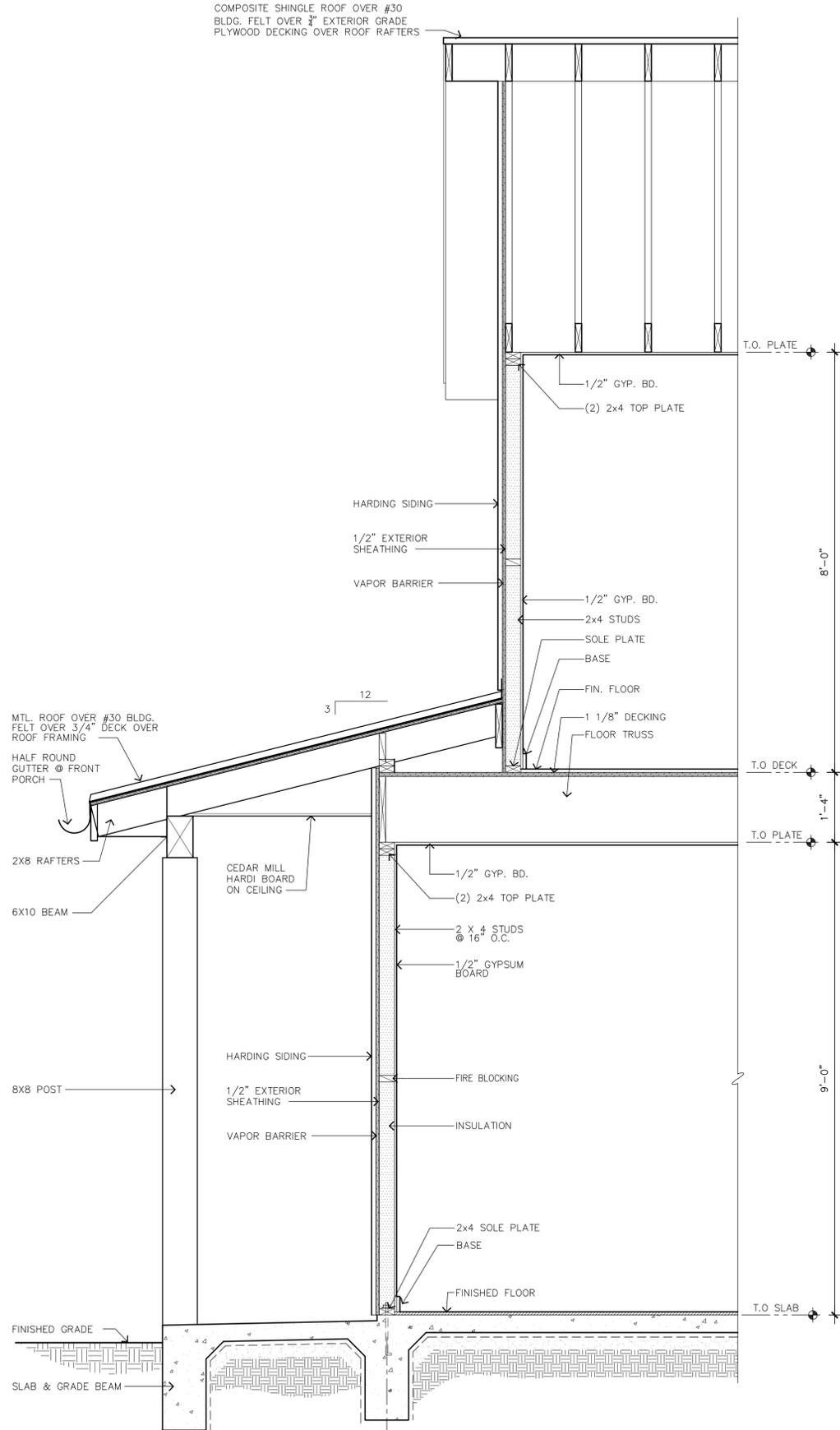
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



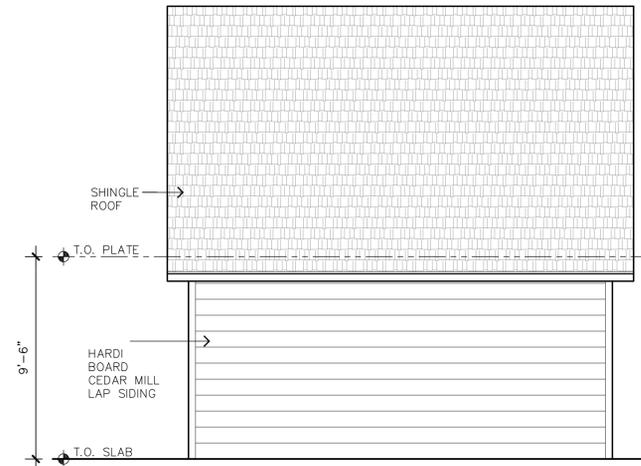
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



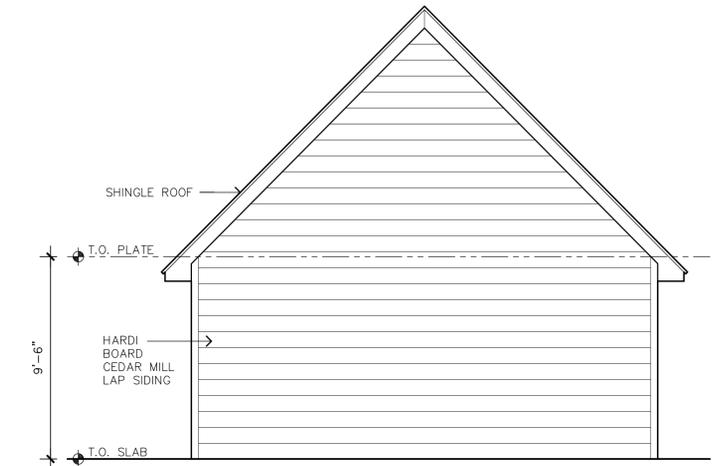
COMPOSITE SHINGLE ROOF OVER #30
BLDG. FELT OVER 3/4" EXTERIOR GRADE
PLYWOOD DECKING OVER ROOF RAFTERS



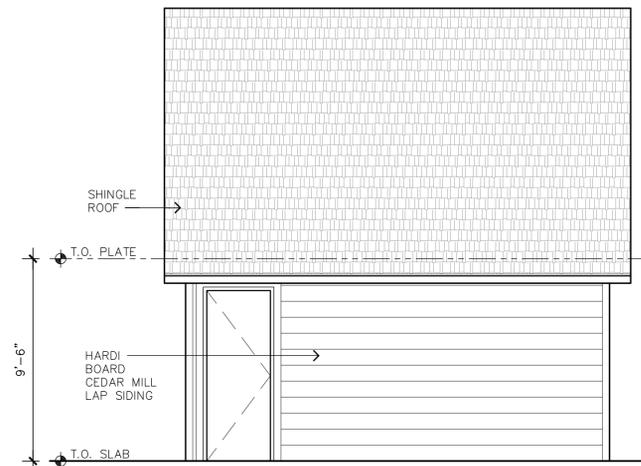
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



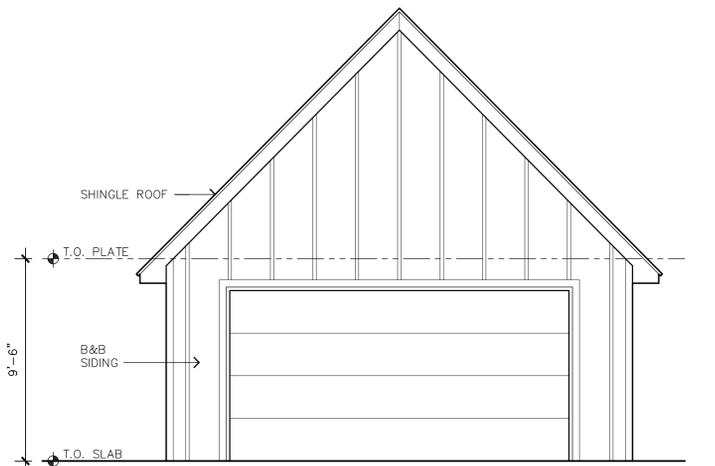
6 GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST BUILDING SECTION / ELEVATION
SCALE: 1/4" = 1'-0"



ISSUED DATE:
24, JUNE 2020

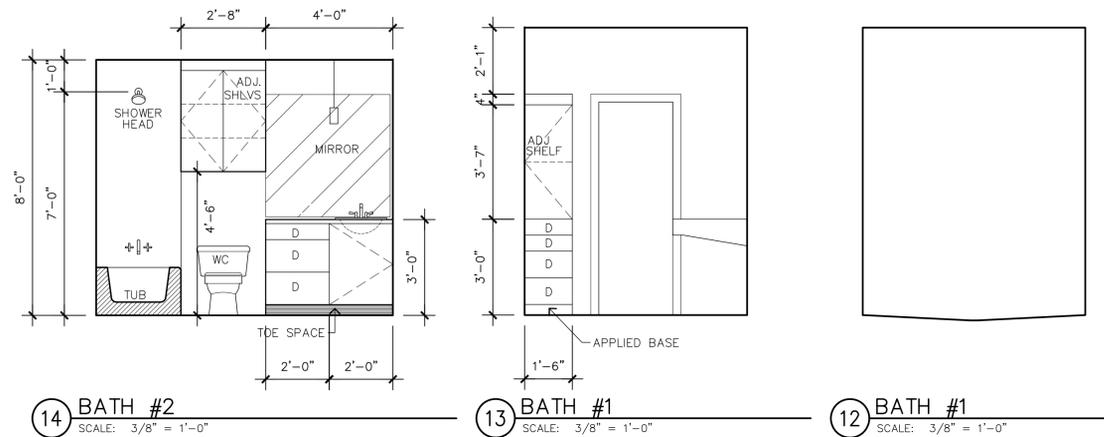
REVISION:

DRAWINGS PREPARED BY:
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliam - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT:
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT3

A4.3

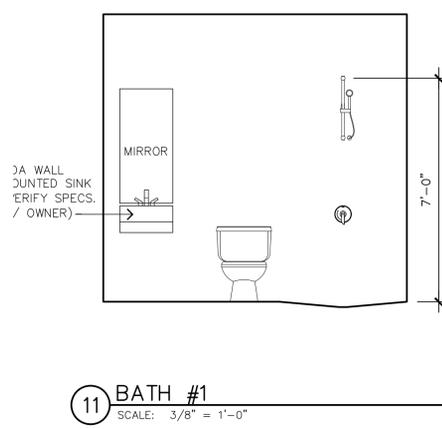




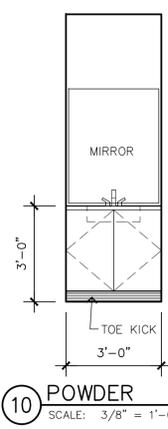
14 BATH #2
SCALE: 3/8" = 1'-0"

13 BATH #1
SCALE: 3/8" = 1'-0"

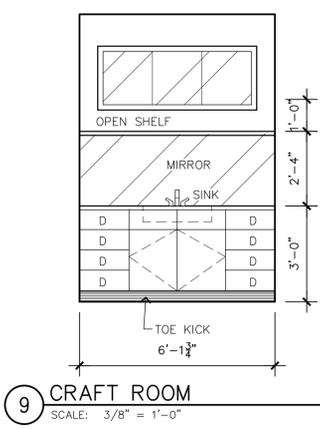
12 BATH #1
SCALE: 3/8" = 1'-0"



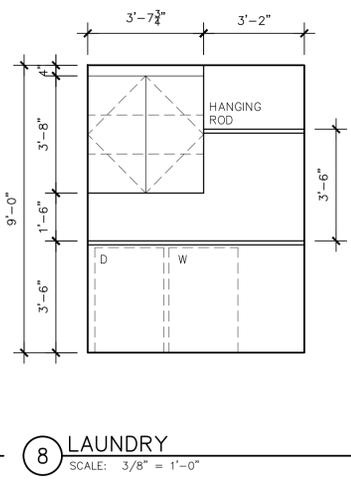
11 BATH #1
SCALE: 3/8" = 1'-0"



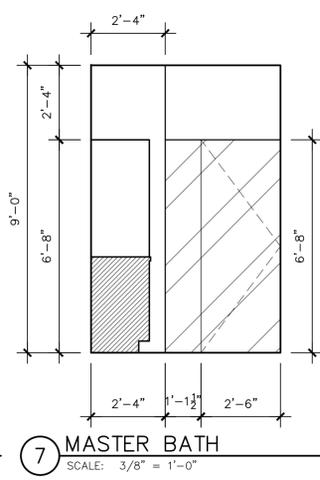
10 POWDER
SCALE: 3/8" = 1'-0"



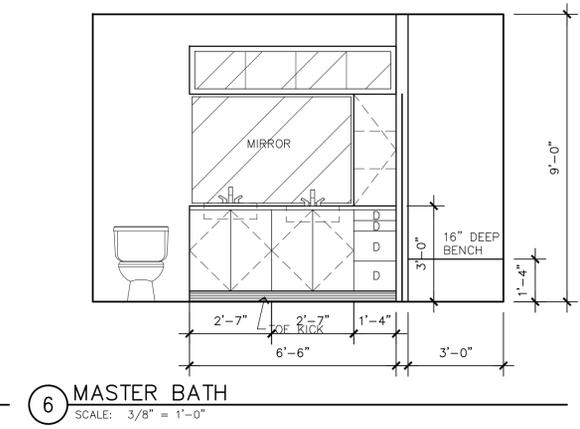
9 CRAFT ROOM
SCALE: 3/8" = 1'-0"



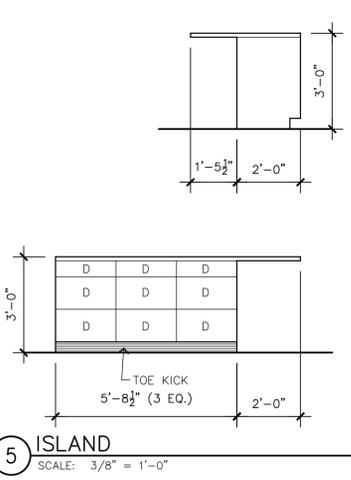
8 LAUNDRY
SCALE: 3/8" = 1'-0"



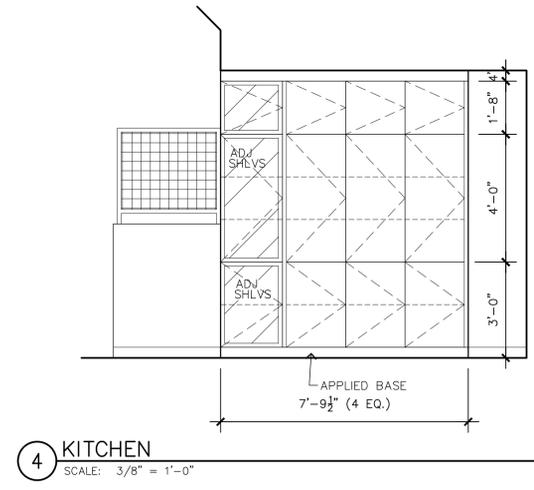
7 MASTER BATH
SCALE: 3/8" = 1'-0"



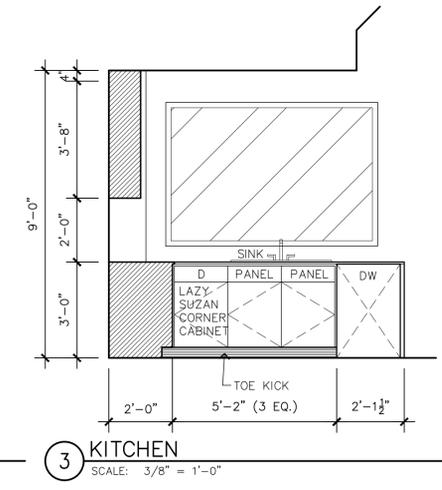
6 MASTER BATH
SCALE: 3/8" = 1'-0"



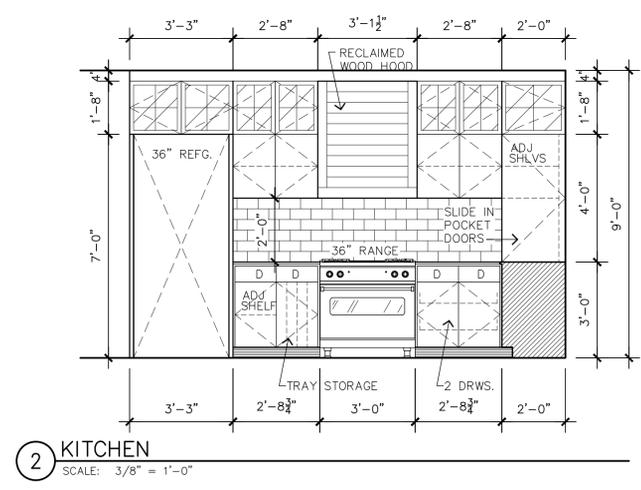
5 ISLAND
SCALE: 3/8" = 1'-0"



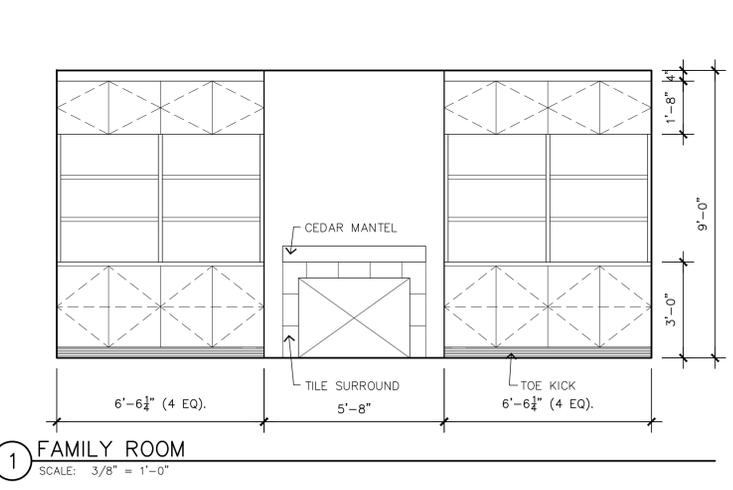
4 KITCHEN
SCALE: 3/8" = 1'-0"



3 KITCHEN
SCALE: 3/8" = 1'-0"



2 KITCHEN
SCALE: 3/8" = 1'-0"



1 FAMILY ROOM
SCALE: 3/8" = 1'-0"

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.216-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK A, RICHARD HARRIS #3 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Patrick Wells for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map and Survey

Address: 210 Wade Drive

Legal Description: Lot 3, Block A, Richard Harris #3 Addition



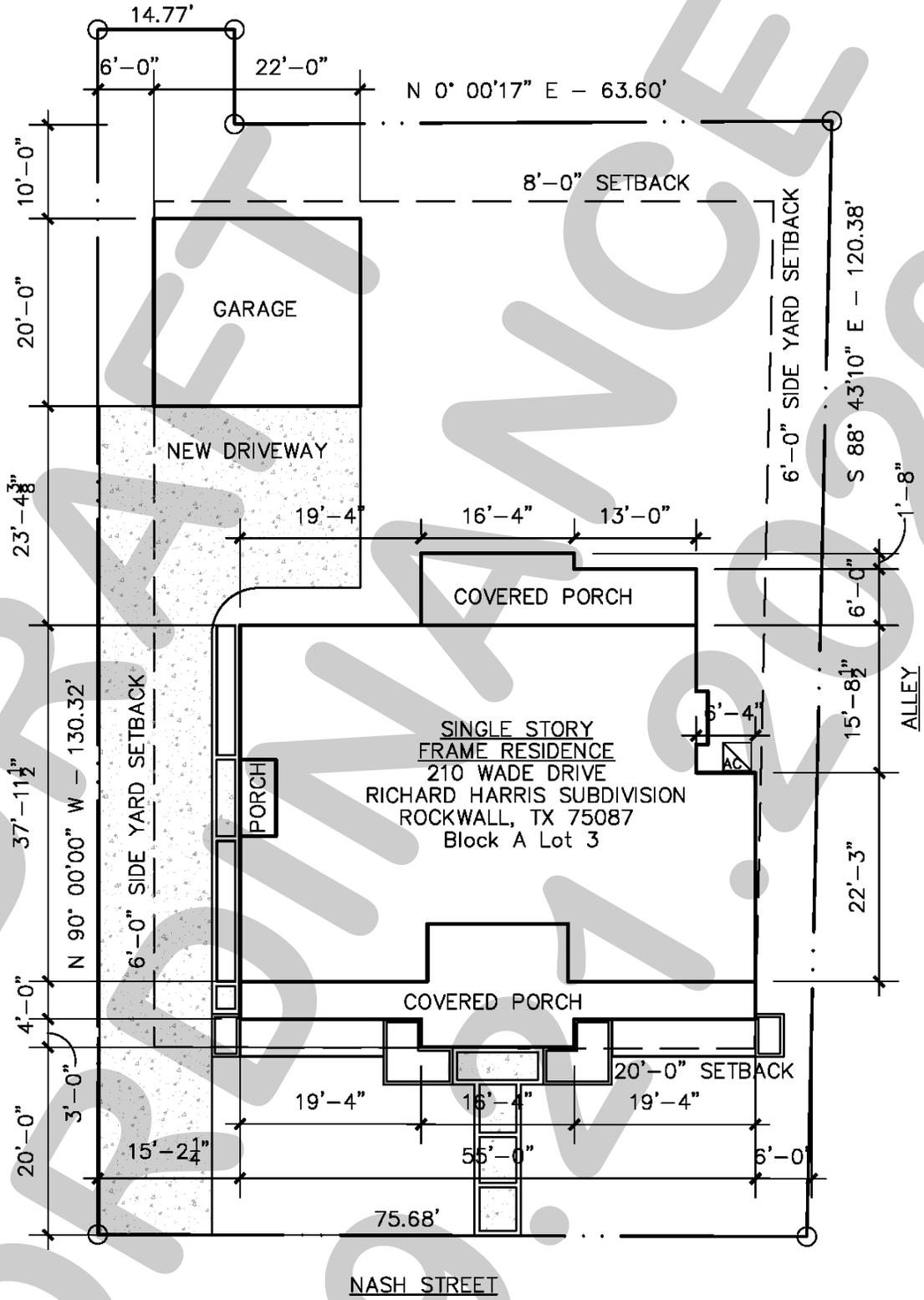
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Exhibit 'B':
Residential Plot Plan

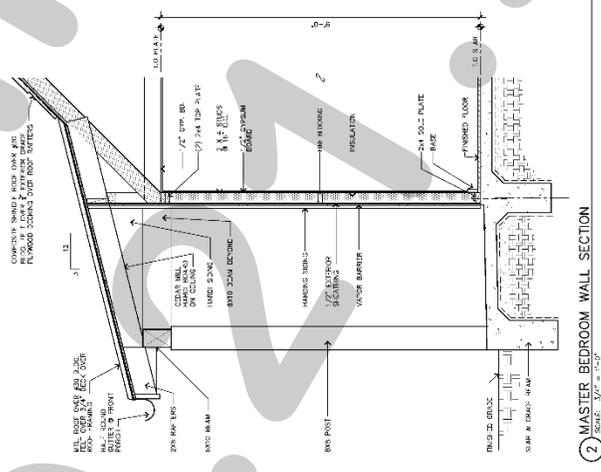
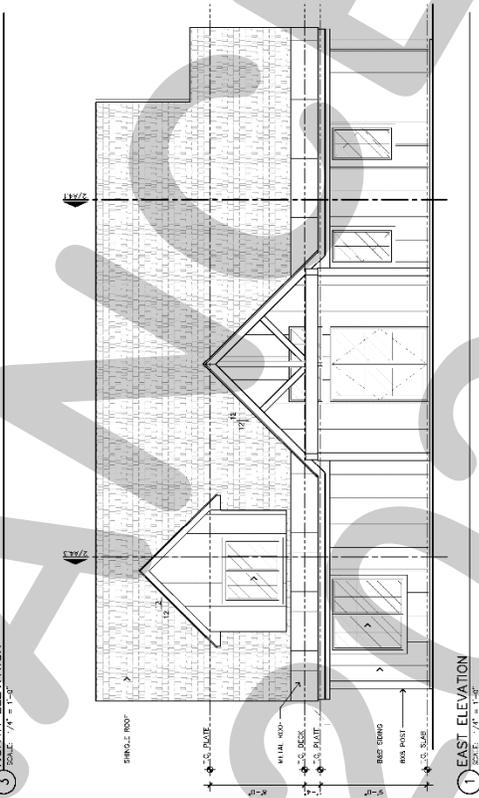
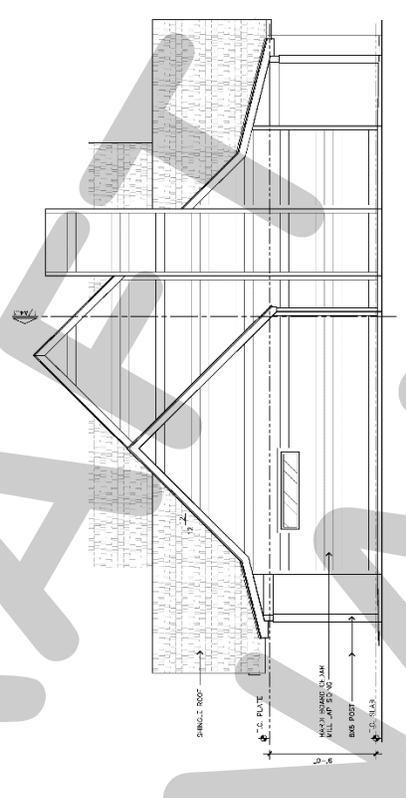


SITE PLAN
SCALE: 1/16" = 1'-0"

Exhibit 'C':
Building Elevations



SHEET NO. 24, JUN 2020	1. SHEET NO. 24, JUN 2020 2. SHEET NO. 24, JUN 2020 3. SHEET NO. 24, JUN 2020	WELLS RESIDENCE 210 WADE DRIVE, ROCKWALL, TX 75087 MICHAEL HANSEN, ARCHITECT, P.C. 2102 FV 141, ROCKWALL, TEXAS 75087 972.981.1111	A4.1
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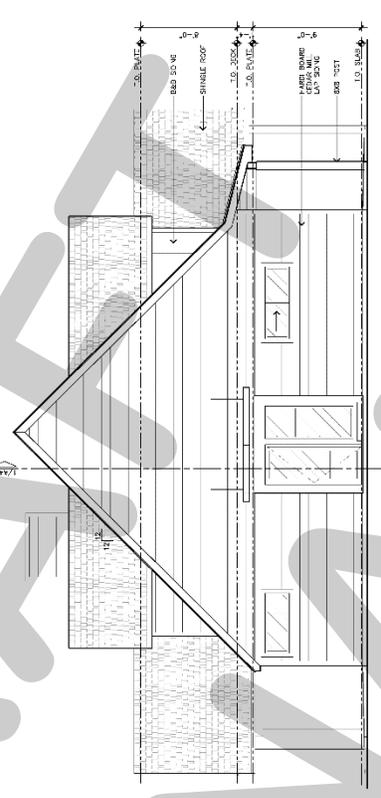


DRAFTING 2020

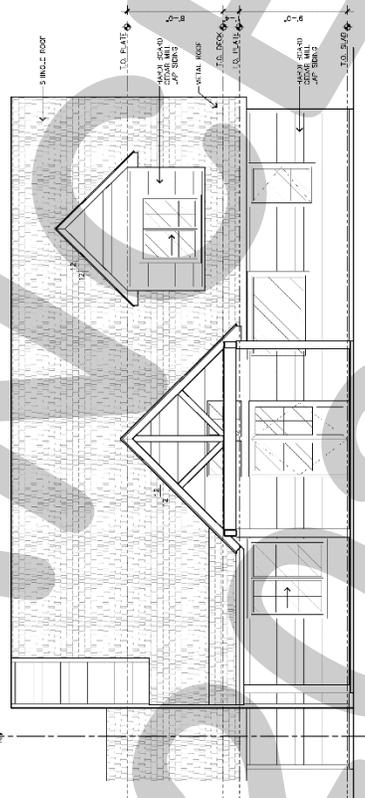
Exhibit 'C':
Building Elevations



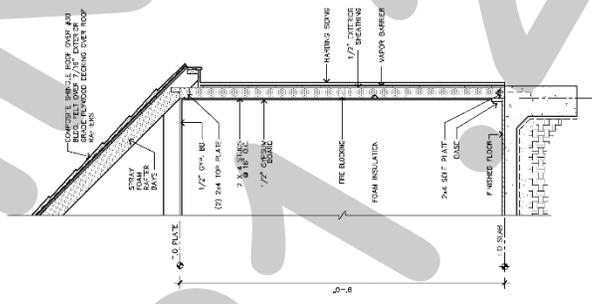
<p>DATE: 03/20/2020 DRAWN BY: J.A.</p>	<p>DESIGNED BY: J.A.</p>	<p>MODERN CRAFT CONSTRUCTION, LLC 2102 W. 141st, Rockwall, Texas 75087 972.477.2443</p>	<p>WELLS RESIDENCE 1800 ADVERTISING CENTER FOR A NEW RESIDENCE AT 210 WADE DRIVE, ROCKWALL, TX 75087 972.477.2443</p>	<p>A4.2</p>
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3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



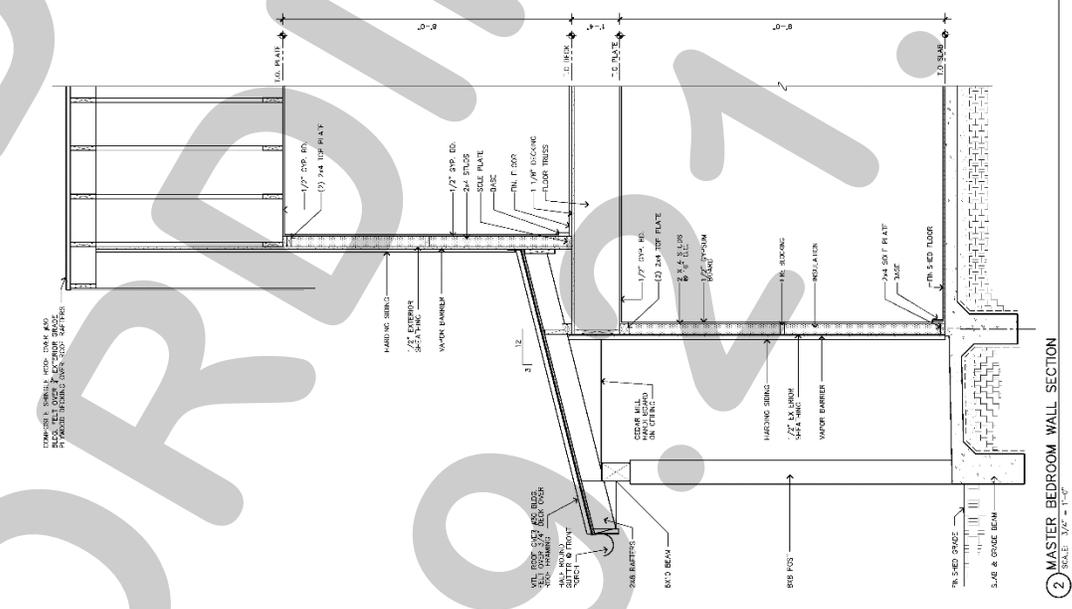
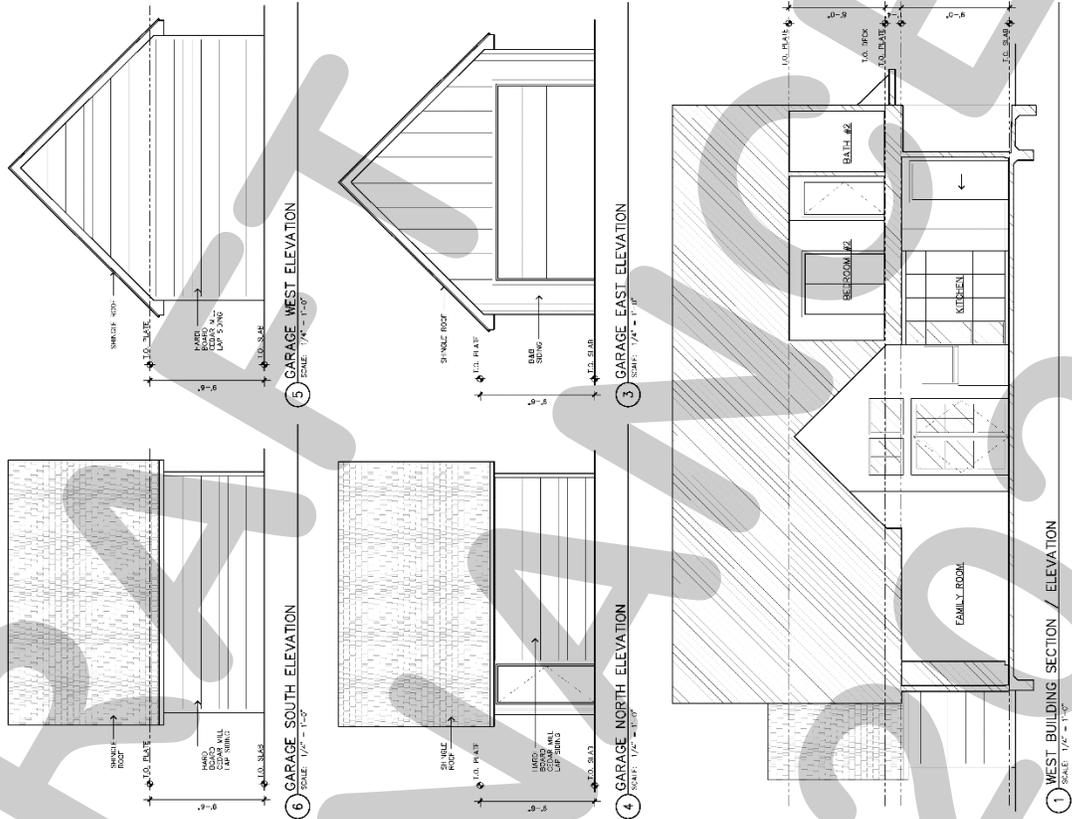
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 MASTER BEDROOM WALL SECTION
SCALE: 3/8\"/>

Exhibit 'C': Building Elevations

	SHEET NO. 24 DATE: JUNE, 2020
	MODERN CRAFT CONSTRUCTION, LLC 2102 NW 1st, Rockwall, Texas 75087 MFG. Group - 214.777.7443
WELLS RESIDENCE 1185 WESTFIELD, BURNING TREE & HICKORY APTS. 2102 SW 2ND, ROCKWALL, TX 75087 MICHAEL HARRIS SUBDIVISION, BLOCK A LOT 15	A4.3



Lee, Henry

From: Miller, Ryan
Sent: Monday, August 24, 2020 8:58 AM
To: Lee, Henry
Subject: FW: Survey from HD Fetty for 210 Wade Street.
Attachments: 20200820120008ESMT.pdf

RYAN C. MILLER, AICP
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

HELPFUL LINKS | CITY OF ROCKWALL WEBSITE | PLANNING & ZONING DIVISION WEBSITE | MUNICIPAL CODE WEBSITE
GIS DIVISION WEBSITE | CITY OF ROCKWALL INTERACTIVE MAPS | UNIFIED DEVELOPMENT CODE

NOTES

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD

-----Original Message-----

From: Patrick Wells <pwells9@icloud.com>
Sent: Sunday, August 23, 2020 10:14 PM
To: Miller, Ryan <RMiller@rockwall.com>
Cc: Patrick Wells <PWELLS9@ICLOUD.COM>; dorman Mandy <Mandy@DormanBell.com>
Subject: Survey from HD Fetty for 210 Wade Street.

Ryan-here is the copy of the survey by itself in case the other attachment would not open.

Thank you,

Patrick Wells
214-280-6469

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Lee, Henry

From: Lee, Henry
Sent: Tuesday, August 25, 2020 9:06 AM
To: 'pwells9@icloud.com'
Subject: Rockwall Staff Comments Z2020-033
Attachments: Project Comments (08.25.2020).pdf

Good Morning,

Please find attached staff's project comments for your request. The Planning Commission will be meet in person on Tuesday, August 25, 2020 in the City's Council Chambers. The meeting is scheduled for 6:00 p.m. The City prefers that a representative(s) be present for the meetings.

Please see dates for all meetings in the attached project comments.

Do not hesitate to contact me should you have any questions.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: Lee, Henry
Sent: Wednesday, September 16, 2020 4:58 PM
To: 'Patrick Wells'
Subject: RE: Res2020-1677. *Updated site plans have been uploaded as an attachment. "Wells Plans 09 03. 2020"
Attachments: Wells Plans 09 03 2020 [Markup].pdf

Good Afternoon,

Viewing the file you indicated had the change to page A1.1 that addressed my comment still showed the setback as 8"
This will still need to be corrected and sent to me. No need to add it to the workflow, just an email to me.
If you have any questions feel free to contact me.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

From: Patrick Wells
Sent: Wednesday, September 16, 2020 4:39 PM
To: Permits
Cc: Foshee, Craig ; Lee, Henry
Subject: Res2020-1677. *Updated site plans have been uploaded as an attachment. "Wells Plans 09 03. 2020"

Tanya,

Per our conversation this afternoon, I am notifying you that I have uploaded a revised set of plans in my workflow, online.

The name of the attachment is : Wells Plans 09 03. 2020;

it is labled in the workflow : Site/Plot Plans.Architect.drawings-mech./elec design.drawings

Note (H.Lee): M.4. on page A1.1 the set back mentioned is specified at 10 feet.

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From: Patrick Wells <pwells9@icloud.com>
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Subject: Res2020-1677. *Updated site plans have been uploaded as an attachment. "Wells Plans 09 03. 2020"

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The name of the attachment is : Wells Plans 09 03. 2020;

it is labled in the workflow : **Site/Plot Plans.Architect.drawings-mech./elec design.drawings**

Note (H.Lee): M.4. on page A1.1 the set back mentioned is specified at 10 feet.

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Lee, Henry

From: Lee, Henry
Sent: Wednesday, September 16, 2020 11:06 AM
To: 'pwells9@icloud.com'
Subject: Z2020-033 Comment
Attachments: Project Comments (08.25.2020).pdf

Good Morning,

As you know you were approved at P&Z last night and are moving onto city council.

I just wanted to reach out and remind you that I still my comments addressed, particularly comment M.4 (page A1.1 of plans).

Be sure to review the engineering comments to confirm they are addressed.

I have attached the comments to this email, which are identical to the ones sent out previously.

If you have any questions feel free to contact me.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: Patrick Wells <pwells9@icloud.com>
Sent: Thursday, September 17, 2020 1:36 PM
To: Foshee, Craig
Cc: Lee, Henry; Patrick Wells
Subject: Fwd: WELLS PLANS 09.03.2020.PDF
Attachments: HPSCANNER1722.pdf

Gentlemen,

Please find the adjusted document, p. A1.1, with my signature, whereas set back is: 10' 0" as per drawing and adjusted "Description of Property".

Begin forwarded message:

From: ods06613cpc <ods06613cpc@OfficeDepot.com>
Subject: Re: WELLS PLANS 09.03.2020.PDF
Date: September 17, 2020 at 1:26:06 PM CDT
To: Patrick Wells <PWells9@icloud.com>

Office Depot #6613
Amber A, Print Service Supervisor
Office Depot, Inc.
2663 Market Center Drive Rockwall, TX 75032
Tel: 972.722.9002 | Fax: 972.722.5822 | ods06613cpc@officedepot.com



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From: Patrick Wells <PWells9@icloud.com>
Sent: Thursday, September 17, 2020 1:19 PM
To: ods06613cpc <ods06613cpc@OfficeDepot.com>
Cc: Patrick Wells <PWELLS9@ICLOUD.COM>
Subject: WELLS PLANS 09.03.2020.PDF
[CAUTION: EXTERNAL SENDER]

PLEASE PRINT ONLY A1.1. (PAGE 1) for pencil adjustment and rescan to
pwells9@icloud.com

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Lee, Henry

From: Patrick Wells <pwells9@icloud.com>
Sent: Thursday, September 17, 2020 1:40 PM
To: Foshee, Craig
Cc: Lee, Henry; Patrick Wells
Subject: Fwd: WELLS PLANS 09.03.2020.PDF. page 1 only with adjusted description : please upload to existing/current plans
Attachments: HPSCANNER1722.pdf

Gentlemen,

Find the adjusted document, p. A1.1, with my signature, whereas set back is: 10' 0" as per drawing and adjusted "Description of Property".

Begin forwarded message:

From: ods06613cpc <ods06613cpc@OfficeDepot.com>
Subject: Re: WELLS PLANS 09.03.2020.PDF
Date: September 17, 2020 at 1:26:06 PM CDT
To: Patrick Wells <PWells9@icloud.com>

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[CAUTION: EXTERNAL SENDER]

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Lee, Henry

From: Lee, Henry
Sent: Thursday, September 17, 2020 1:41 PM
To: 'Patrick Wells'
Subject: RE: WELLS PLANS 09.03.2020.PDF

Good Afternoon,

That is exactly what I needed.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

From: Patrick Wells
Sent: Thursday, September 17, 2020 1:36 PM
To: Foshee, Craig
Cc: Lee, Henry ; Patrick Wells
Subject: Fwd: WELLS PLANS 09.03.2020.PDF

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pwells9@icloud.com

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Lee, Henry

From: Patrick Wells <pwells9@icloud.com>
Sent: Friday, September 18, 2020 8:59 AM
To: Lee, Henry
Subject: Re: WELLS PLANS 09.03.2020.PDF

Great. I spoke to CRAIG and copied him also. Thanks for responding have a great weekend.

Pat Wells

On Sep 17, 2020, at 1:41 PM, Lee, Henry wrote:

Good Afternoon,
That is exactly what I needed.
Thank you,

From: Patrick Wells
Sent: Thursday, September 17, 2020 1:36 PM
To: Foshee, Craig
Cc: Lee, Henry ; Patrick Wells
Subject: Fwd: WELLS PLANS 09.03.2020.PDF

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Office Depot #6613

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Cc: Patrick Wells <PWELLS9@ICLOUD.COM>

Subject: WELLS PLANS 09.03.2020.PDF

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pwells9@icloud.com

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Lee, Henry

From: Patrick Wells <pwells9@icloud.com>
Sent: Tuesday, September 22, 2020 1:23 PM
To: Foshee, Craig
Cc: Lee, Henry
Subject: Res2020-1677

Mr. Foshee,

When we spoke last week you mentioned that the building permit would be available for me to pay the fees today, after the City council meeting, as the project Received unanimous approval last night at the City Council meeting.

Please advise if there is anything else that you need from me, I would like to pay those fees today if it all possible.

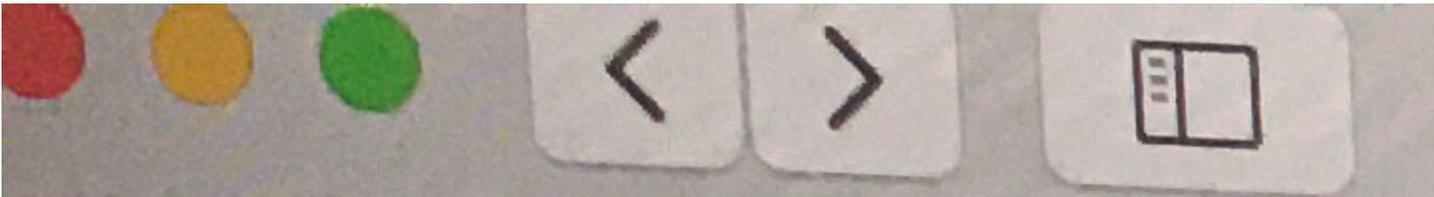
Kind regards

Patrick Wells

214-280-6469 c

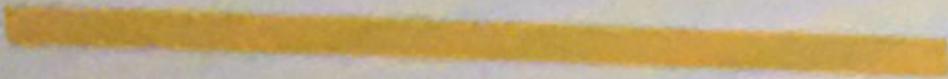
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City
S

Submitted



Submitted

Pat Wells

Lee, Henry

From: Lee, Henry
Sent: Thursday, October 8, 2020 1:46 PM
To: 'Patrick Wells'
Subject: Z2020-033 Approval Letter
Attachments: Approval Letter (10.06.2020).pdf; Filing Guidelines.pdf

Good Afternoon,

Thank you for the addressing staff comments. The mylar copies can be submitted for filing. Please see the following information regarding the filing of the plat:

The filing fees for the plat will be \$50 per page (e.g. \$50 x 2 pages = \$100) + \$30 for the 1st Tax Certificate + \$4 for any additional Tax Certificates [*i.e. two (2) properties, etc.*]. Please note that there is an additional \$4 fee for a *Tax Receipt* indicating the current years assessed taxes have been paid [*this applies from September to December*]. If you have any questions regarding this particular requirement, please call Rockwall County at 972.204.6311. As an example, the **Minimum Total Fees Due = \$130.00** for a 2 page plat with one tax certificate, if filed by August 31, 2020. Should the plat be filed after August 31, 2020, a *Tax Receipt* indicating that the current year assessed taxes have been paid will be required, and an additional \$4 for each tax receipt will be due in order to file the plat with Rockwall County.

Please make your check *payable to the Rockwall County Clerk* for the appropriate amount or the plat will not be filed. If you have any questions regarding the fee amount, please call staff at 972.771.7745.

You will need to provide a minimum of one (1) copy on mylar with signatures notarized. City staff will obtain signatures from the Planning and Zoning Commissioner, Mayor, Engineer, and City Secretary. Any additional mylar (*or bonded*) copies are welcomed and will be returned to you. Once filed, you must pick-up the additional copies or they will be discarded.

When dropping off the plat for filing, please be sure that you have all items required (*i.e. mylar copies, tax certificate(s), tax receipts [if applicable], & filing fees*). Staff will not accept the mylars if all items necessary for filing are not received at the time they are submitted to City staff.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087



October 06, 2020

TO: Patrick Wells
74 Stillwater Drive
Rockwall, TX 75087

FROM: Henry Lee, *Planner*
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2020-033; *Specific Use Permit (SUP) for 210 Wade Drive*

Mr. Wells:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was approved by the City Council on October 05, 2020. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

- On September 15, 2020, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) with the conditions of approval by a vote of 6-0, with Commissioner Conway absent.

City Council

- On September 21, 2020, the City Council approved a motion to approve the applicant's request for residential infill at 210 Wade Drive by a vote of 7-0.
- On October 5, 2020, the City Council approved a motion to approve the applicant's request for residential infill at 210 Wade Drive by a vote of 7-0.

Included with this letter is a copy of Ordinance No. 20-42, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

Henry Lee
Planner

CITY OF ROCKWALL

ORDINANCE NO. 20-42

SPECIFIC USE PERMIT NO. S-233

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.216-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK A, RICHARD HARRIS #3 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Patrick Wells for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

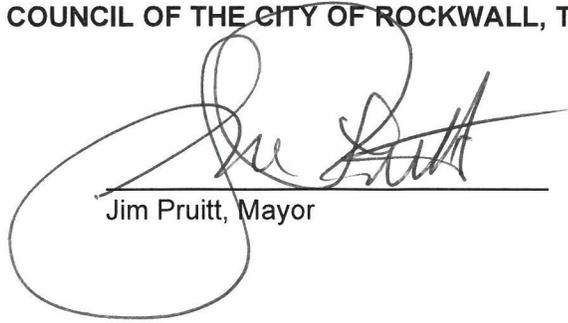
SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.



Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map and Survey

Address: 210 Wade Drive

Legal Description: Lot 3, Block A, Richard Harris #3 Addition



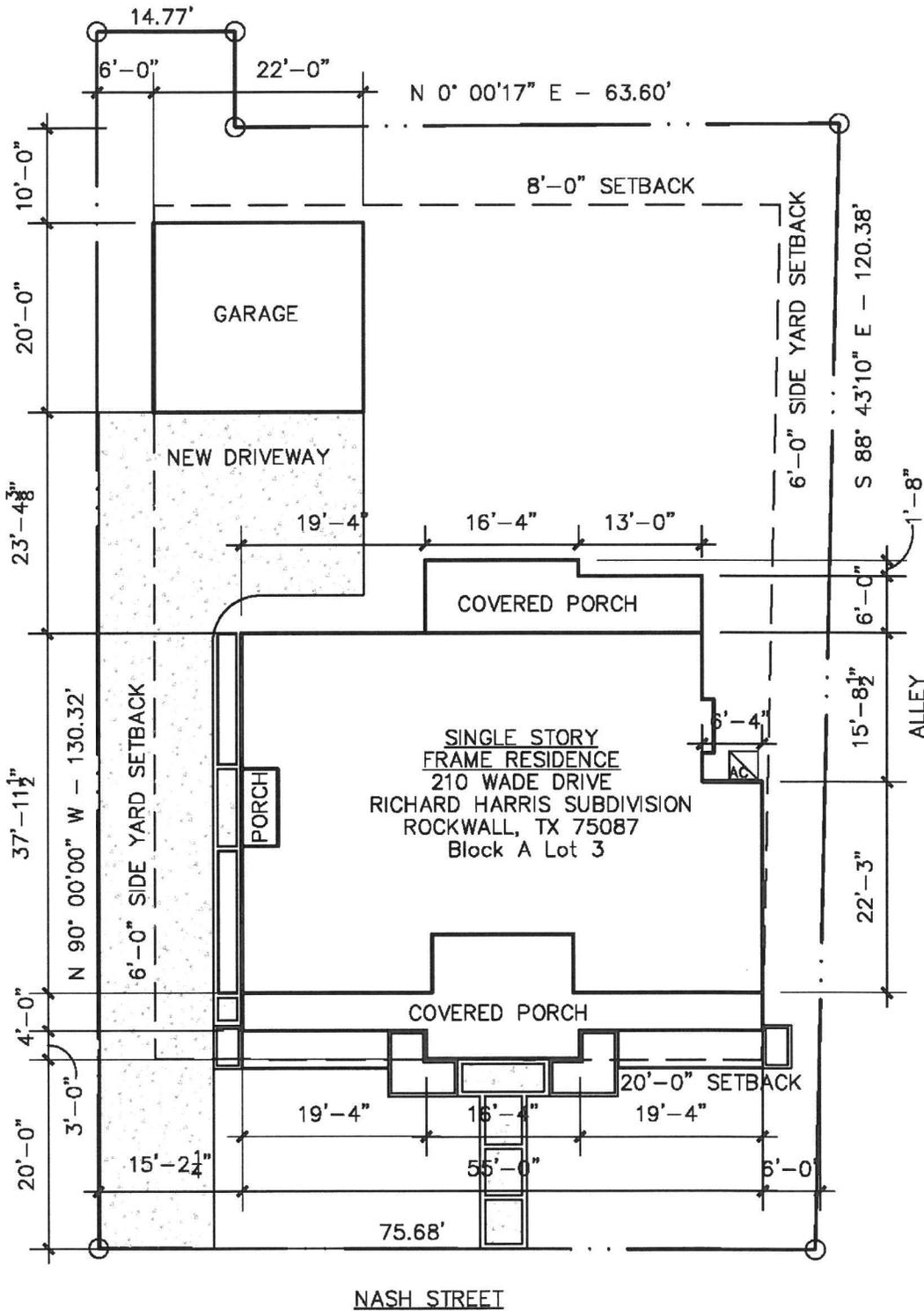
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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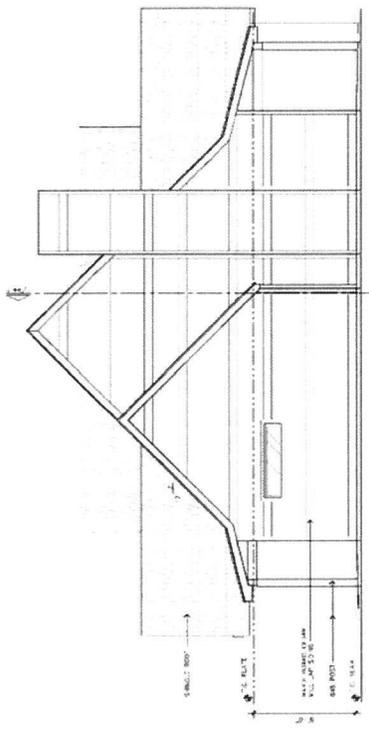
Exhibit 'B':
Residential Plot Plan



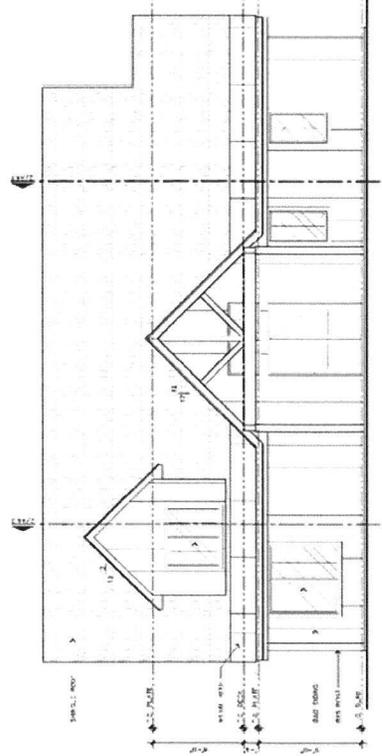
NORTH
 **1** **SITE PLAN**
 SCALE: 1/16" = 1'-0"

Exhibit 'C': Building Elevations

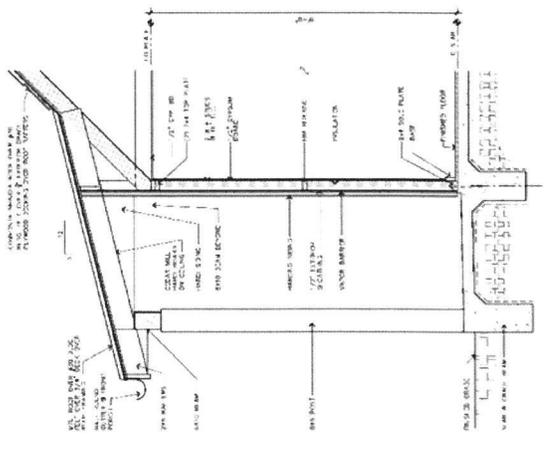
	Modern Craft Construction, LLC 2022 7 th Fl. Highland Mall, Dallas, TX 75201 214.871.1122	WELLS RESIDENCE 210 WADE DRIVE, ROCKWALL, TX 75087 214.871.1122	A4.1
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3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 MASTER BEDROOM WALL SECTION
SCALE: 1/4" = 1'-0"

Exhibit 'C': Building Elevations

