



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22020-048 P&Z DATE 12/8/20 CC DATE 12/21/20 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION

- ☒ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# _____)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☒ HOA MAP
- ☒ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE _____
 - ☐ CABINET # _____
 - ☐ SLIDE # _____

NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
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Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
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- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 701 N. T.L. TOWNSEND DRIVE

Subdivision RICHARD HARRIS SUBDIVISION #5

Lot 1

Block A

General Location BETWEEN W19 RENFRO & 703 N. TL TOWNSEND

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF-7

Current Use VACANT

Proposed Zoning SF-7

Proposed Use RESIDENTIAL

Acreage 0.2342

Lots [Current] 1

Lots [Proposed] 1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner Brenda Kennedy

☐ Applicant Brenda Kennedy

Contact Person Brenda Kennedy

Contact Person Brenda Kennedy

Address 1630 Shores Blvd

Address 1630 Shores Blvd

City, State & Zip Rockwall 75087

City, State & Zip Rockwall 75087

Phone 214-384-3234

Phone 214-384-3234

E-Mail brenda.kennedy@ebby.com

E-Mail brenda.kennedy@ebby.com

NOTARY VERIFICATION [REQUIRED]

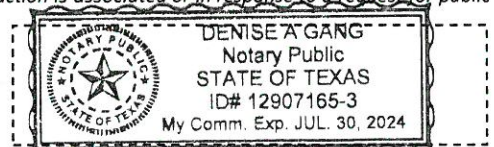
Before me, the undersigned authority, on this day personally appeared Brenda Kennedy [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 30th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 30th day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires June 30, 2024



City of Rockwall
The New Horizon

RockwallPLL

Receipt#: 2216

Date: 11/2/2020

Payment Receipt

Invoice #	Case Type	Case Number	Sub Type
	PZZONING	Z2020-048	PZSUP

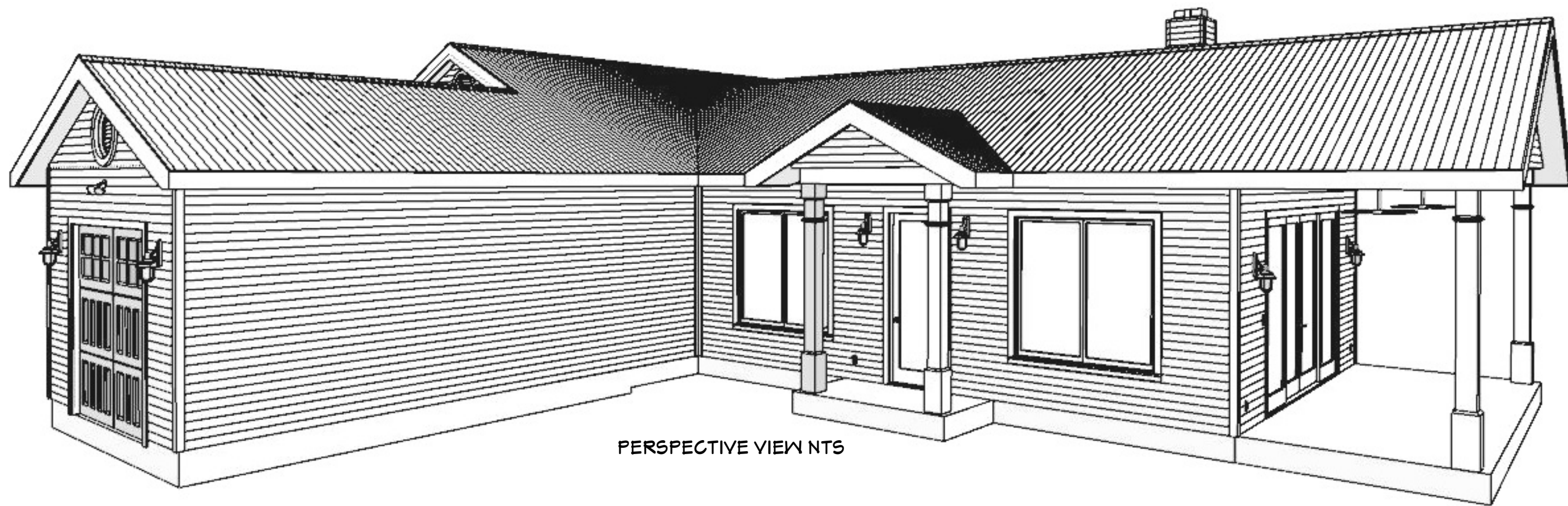
Tender Type / Description	Amount
CHECK- CHECK	215.00
Sub Total:	215.00

Fees:

Fee Codes / Description	Amount
PZSPECIFIC- PZ - Specific Use Permit App Fee	215.00
Sub Total:	215.00

Total Amount Due:	215.00
Total Payment:	215.00

KENNEDY RESIDENCE:
BRENDA KENNEDY



PERSPECTIVE VIEW NT5

GENERAL NOTES:

- THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
- DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
- CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTORS PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
- ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
- CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
- DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
- SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
- CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

- ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
- ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
- SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
- DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
- WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
- FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	ELEVATIONS
A-4	FLOOR PLAN / ELECTRICAL PLAN

PLANS FOR:

BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: COVER PAGE

SHANNON NEWSON MARK NEWSON

CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75119
469-538-4863

DRAWN BY:

DATE:

4/15/2020

SCALE:

AS SHOWN

SHEET:

A-1

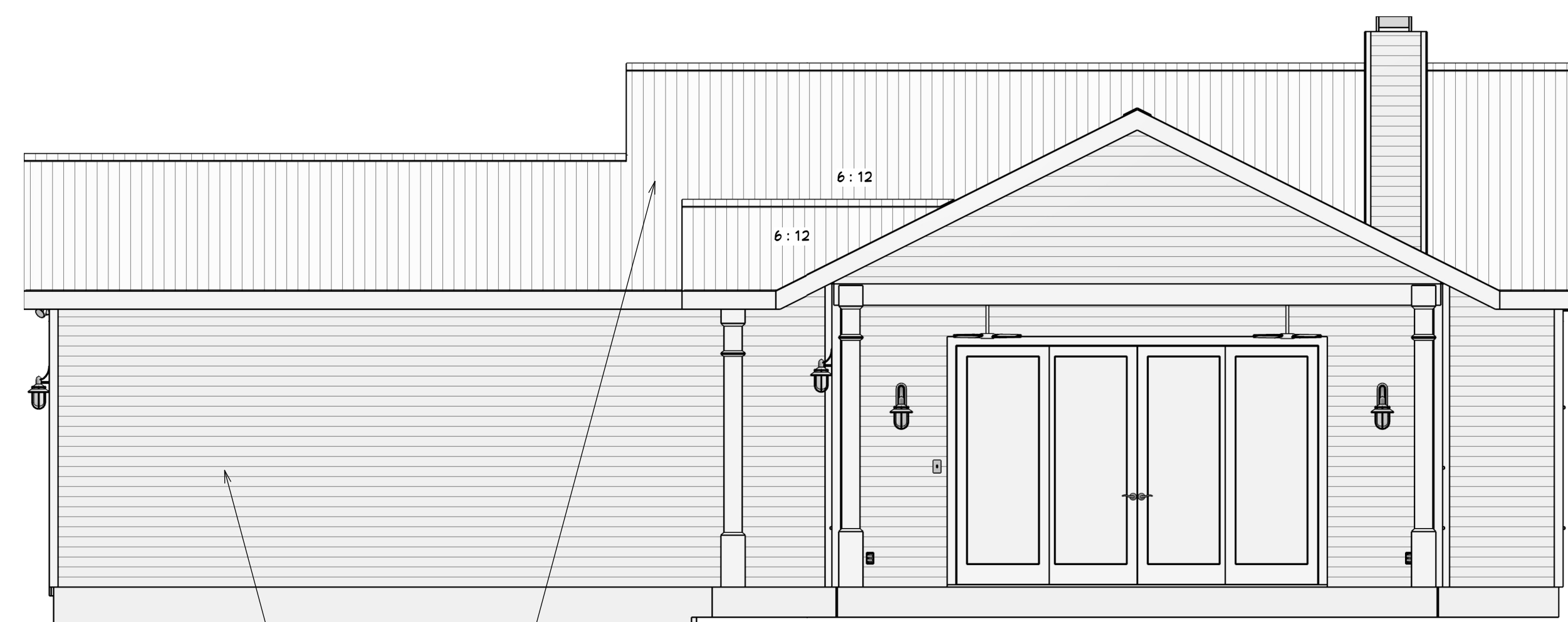


ALL SHUTTERS TO BE
HINGED AT TOP AS SHOWN

PAINTED SIDING

METAL ROOF

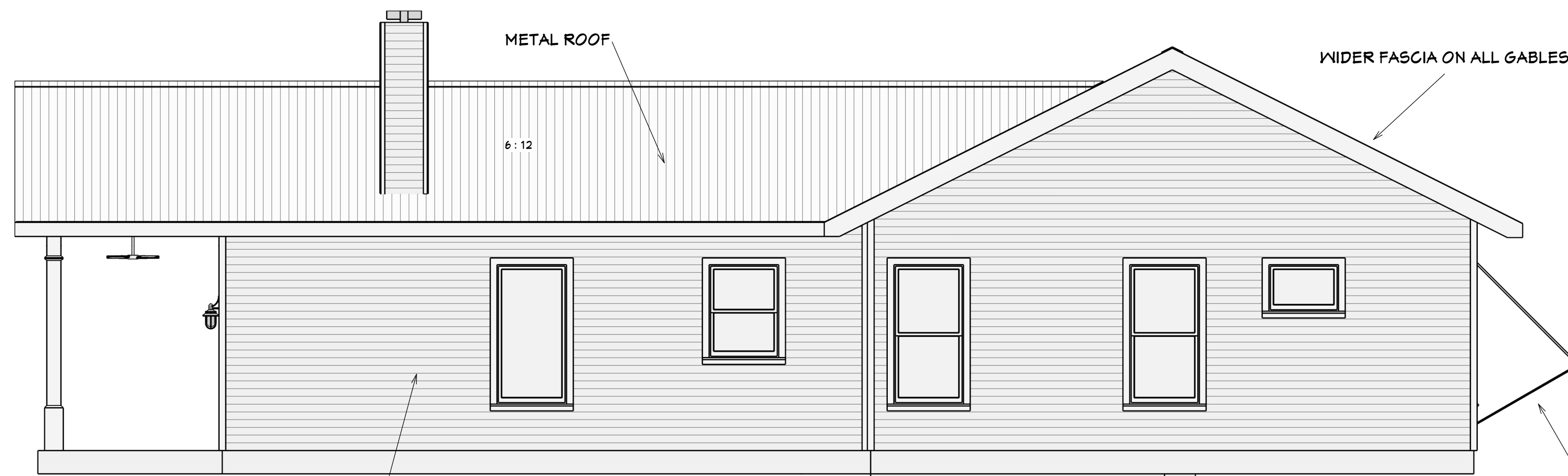
1 FRONT ELEVATION
SCALE: 1/4"=1'



PAINTED SIDING

METAL ROOF

2 REAR ELEVATION
SCALE: 1/4"=1'



PAINTED SIDING

METAL ROOF

WIDER FASCIA ON ALL GABLES

3 LEFT ELEVATION
SCALE: 1/4"=1'



PAINTED SIDING

WIDER FASCIA ON ALL GABLES

METAL ROOF

ALL SHUTTERS TO BE
HINGED AT TOP AS SHOWN

4 RIGHT ELEVATION
SCALE: 1/4"=1'

Highest Ridge
17'-5"

Rough Ceiling - 1st Floor
10'-1"

Top of Slab
0'

Top of Garage Slab
-3 1/2"

PLANS FOR: BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: ELEVATIONS

SHANNON NEWSON MARK NEWSON
CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75178
469-338-4863

DATE:
4/15/2020

SCALE:
AS SHOWN

SHEET:

A-3



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
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STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-048

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Proposed Zoning SF-7

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Phone 214-384-3234

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E-Mail brenda.kennedy@ebby.com

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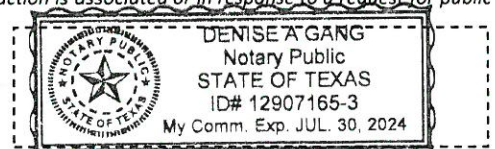
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Given under my hand and seal of office on this the 30th day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

June 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

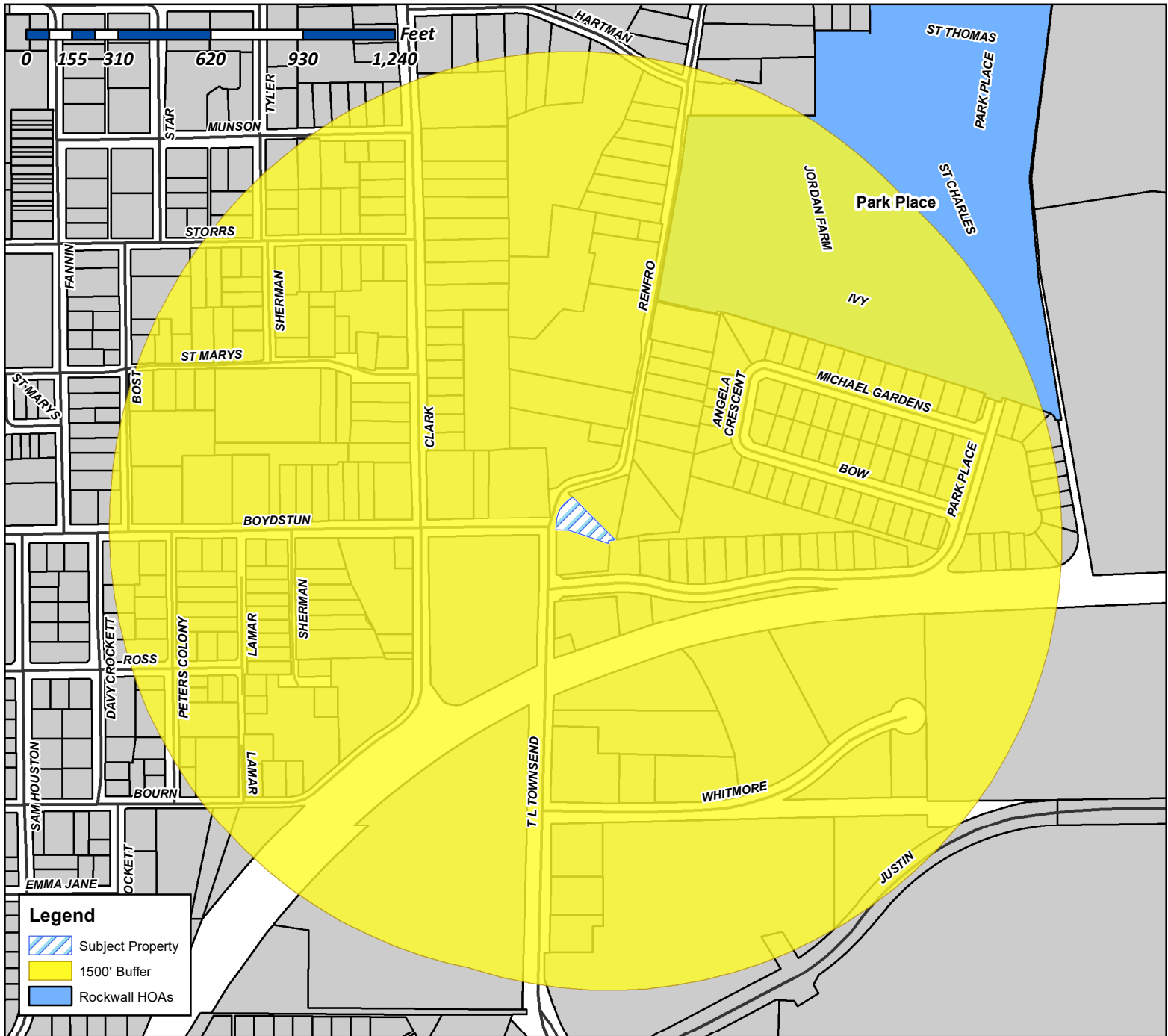




City of Rockwall

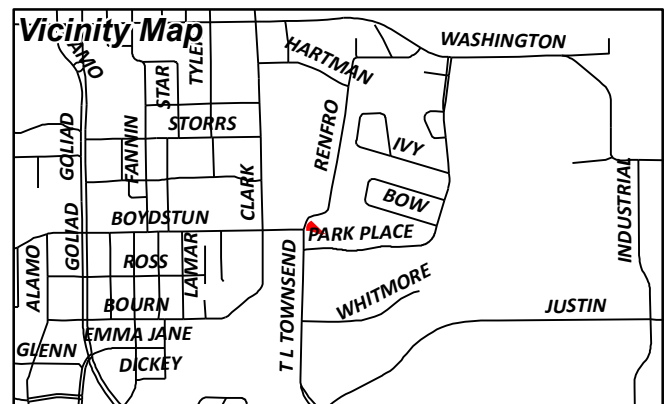
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745

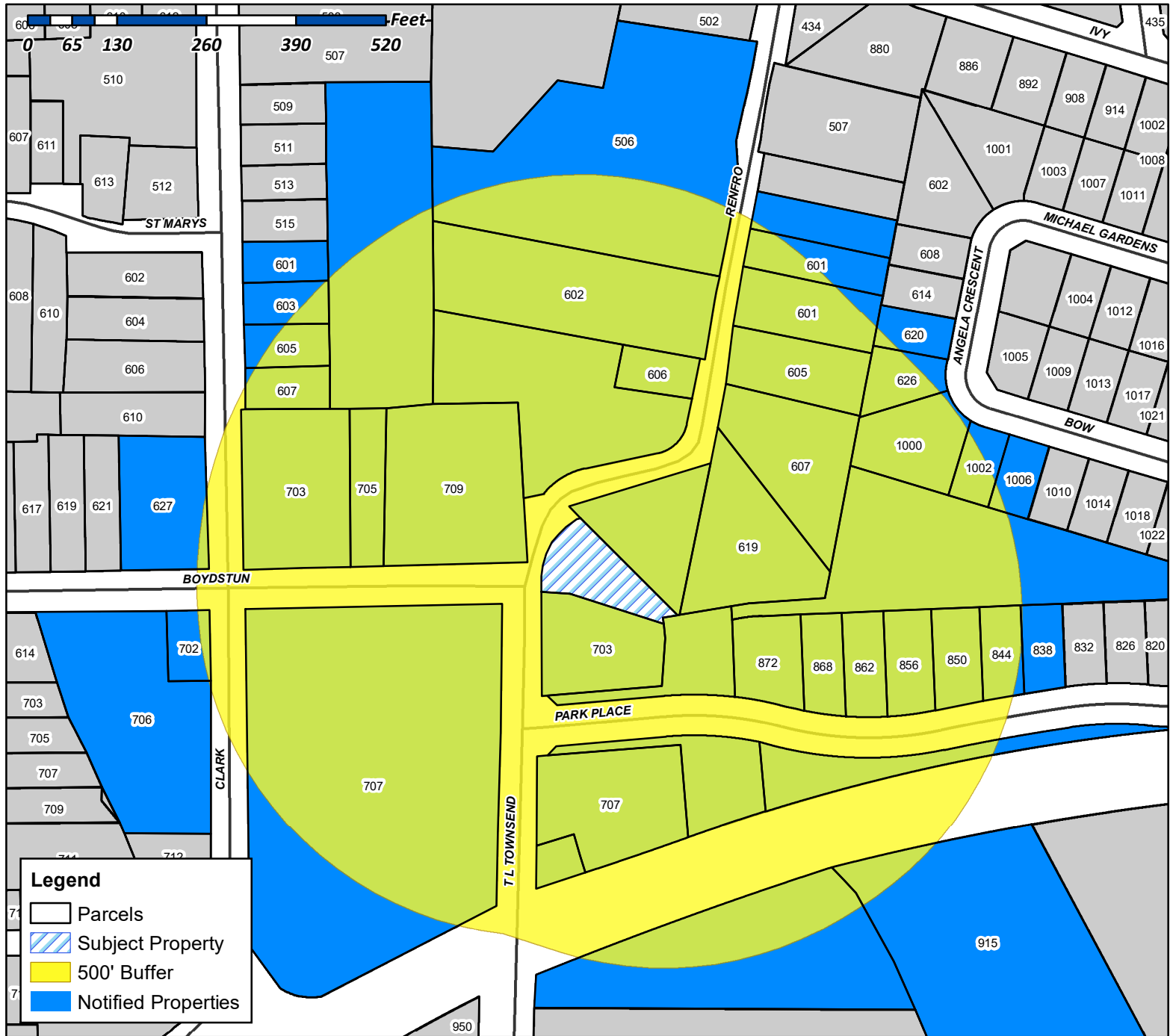




City of Rockwall

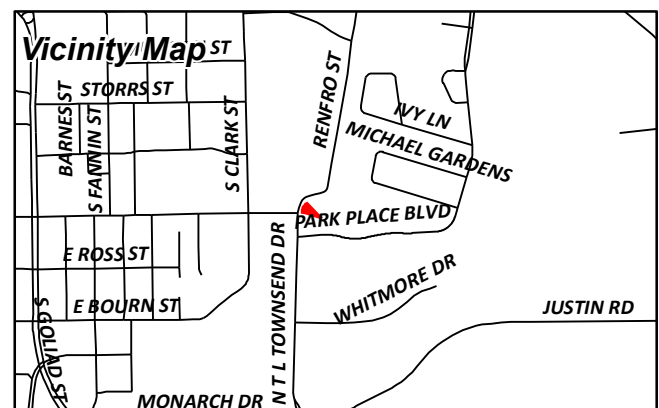
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Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



KENNEDY BRENDA K
1630 SHORES BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
1000 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1002 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1006 BOW ST
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HARRIS RICHARD & JUDY
210 GLENN AVE
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
4 MANOR CT
HEATH, TX 75032

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
5505 RANGER DR
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
601 RENFRO ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

RIVERA SARA ELIA
603S CLARK ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
606 RENFRO ST
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
607 MOUNTCASTLE DR
ROCKWALL, TX 75087

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
620 ANGELA CRESCENT
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
626 ANGELA CRESCENT
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

HARSTROM STUART & SUSAN
675 DANIELLE CT
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
702 S CLARK ST
ROCKWALL, TX 75087

HARRIS RICHARD & JUDY
703 TOWNSEND DR
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
706 S CLARK ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT COMPANY
707 TOWNSEND
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
707 S CLARK
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA
815 T L TOWNSEND SUITE 101
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
838 PARK PLACE BLVD
ROCKWALL, TX 75087

HARSTROM STUART & SUSAN
844 PARK PLACE BLVD
ROCKWALL, TX 75087

HUSSONG BRETT AND LAUREN
850 PARK PLACE BLVD
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
856 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
862 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
868 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
872 PARK PLACE BLVD
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

COUNTY OF ROCKWALL
915 WHITMORE
ROCKWALL, TX 75087



BUILDING PERMIT APPLICATION

City of Rockwall
Building Inspections Department
385 S. Goliad Street
Rockwall, Texas 75087

APPLICANT OR AGENT SIGNATURE REQUIRED

CERTIFICATION: I HEREBY ACCEPT ALL CONDITIONS ON THIS APPLICATION FORM AND CERTIFY THAT ALL STATEMENTS RECORDED HEREIN BY ME ARE TRUE.

AGENT OR APPLICANT

DATE 10-28-20

NOTICE TO APPLICANTS. This permit is issued on the basis of information furnished in this application and on any submitted plans, and is subject to the provisions in addition, requirements of the City of Rockwall code of ordinances and any other applicable ordinance. This permit is issued only for the purpose of allowing construction of a building or structure conforming to the codes and ordinances of the city, regardless of information and/or plans submitted.

SCOPE OF PERMIT. For new buildings and for additions to existing buildings, this permit authorizes structural, plumbing, electrical, mechanical, and work to be performed in the construction of the building or structure at this address, if done at the same time of initial construction. No separate subcontractor permits are needed for those trades. However, the permit holder is required to use only subcontractors' licenses, registered, or bonded by the City of Rockwall where such requirement is applicable.

INSPECTION. To schedule an inspection, go to www.rockwall.com/buildinginspections/inspectionreq.asp.

PROPERTY INFORMATION [PLEASE PRINT]

Construction Address Vacant lot w/no address Zoning
Subdivision Between 619 Renfro + 703 Townsend Lot 1 Block A
General Location Richard Harris Subdivision No. 5
Renfro + Townsend

PROPERTY OWNER INFORMATION

PRIMARY CONTACT []

Name Brenda Kennedy
Mailing Address 1630 Shores Blvd
Email brendakennedy@ebby.com

Phone 214-384-3234
City Rockwall State TX Zip Code 75087

GENERAL CONTRACTOR INFORMATION

PRIMARY CONTACT []

Name Mike Hogue
Mailing Address 1498 Hubbard Dr.
Email mike.hogue58@gmail.com

Phone 214-801-0635
City Forney State TX Zip Code 75126

ELECTRICAL CONTRACTOR INFORMATION

Name Heath Electric
Mailing Address 137 Larry Dr.
Email heathelectrical22@gmail.com

Phone 972-839-4750
City Heath State TX Zip Code 75032

PLUMBING CONTRACTOR INFORMATION

Name Pro Star Plumbing
Mailing Address 102 Independence Trail
Email carlmilligan@ymail.com

Phone 214-364-8883
City Forney State TX Zip Code 75126

MECHANICAL CONTRACTOR INFORMATION

Name Ryder Mechanical, LLC
Mailing Address 515 Meadowlark
Email rydermechanical@yahoo.com

Phone 214-212-8565
City Heath State TX Zip Code 75032

BUILDING PERMIT INFORMATION

1ST Floor 1355 SF 2ND Floor 0 SF Garage 284 SF Covered Porch 32 SF Covered Patio 160 SF
Total SF 1831 SF Height 17'-5" FT Lot Size SF Plan #

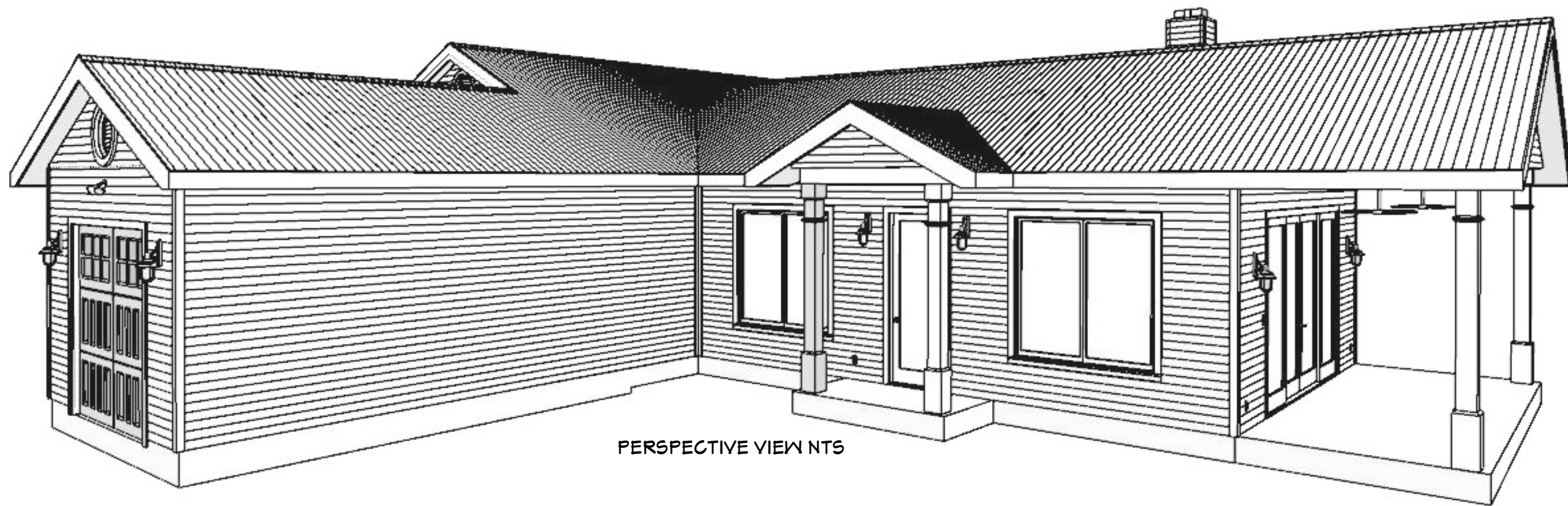
Estimated Value \$ 195,500.00

Commercial Value ONLY; Residential is NOT required to provide estimated value.

Project Description Single family dwelling

Is the subject property located with the flood hazard area? Yes ☒ No ☐ Required lowest floor elevation is: 538.19

KENNEDY RESIDENCE:
BRENDA KENNEDY



PERSPECTIVE VIEW NT5

GENERAL NOTES:

- THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
- DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
- CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTORS PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
- ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
- CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
- DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
- SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
- CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

- ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
- ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
- SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
- DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
- WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
- FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	ELEVATIONS
A-4	FLOOR PLAN / ELECTRICAL PLAN

PLANS FOR:

BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: COVER PAGE

SHANNON NEWSON MARK NEWSON

CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75119
469-538-4863

DRAWN BY:

DATE:

4/15/2020

SCALE:

AS SHOWN

SHEET:

A-1

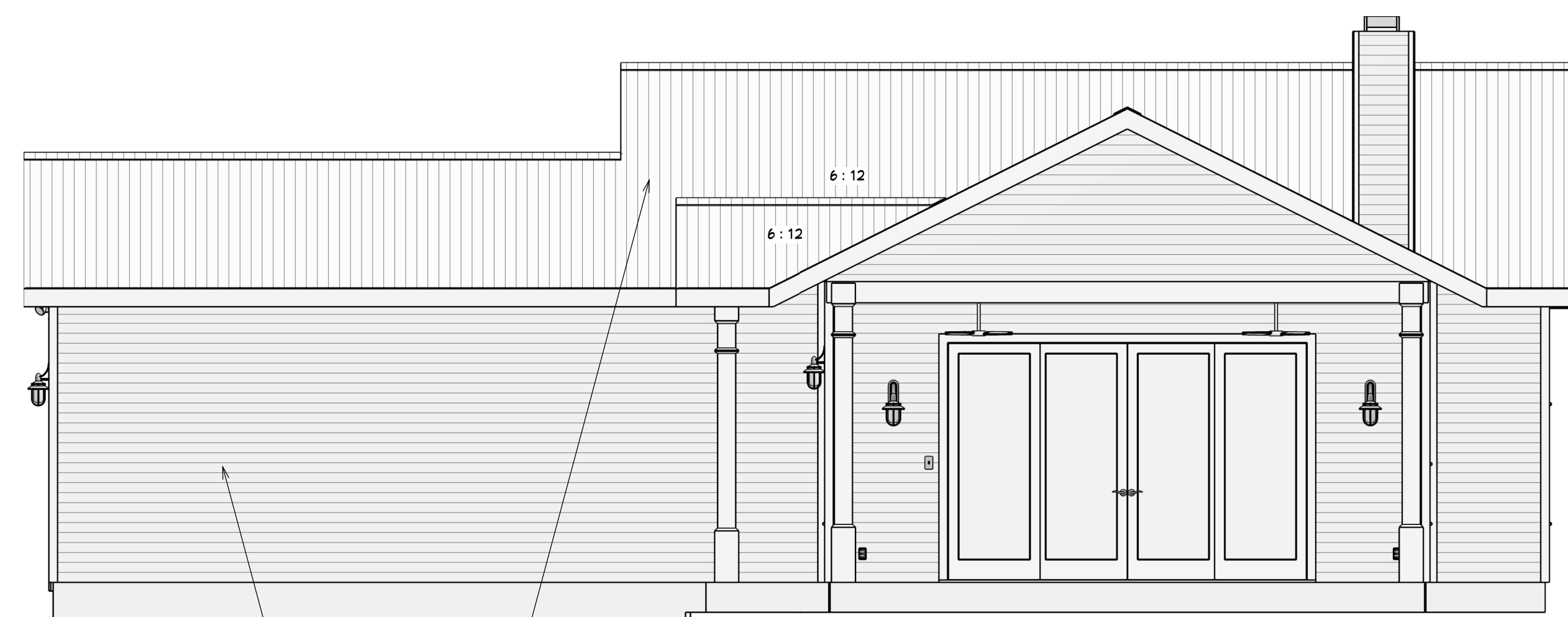


ALL SHUTTERS TO BE
HINGED AT TOP AS SHOWN

PAINTED SIDING

METAL ROOF

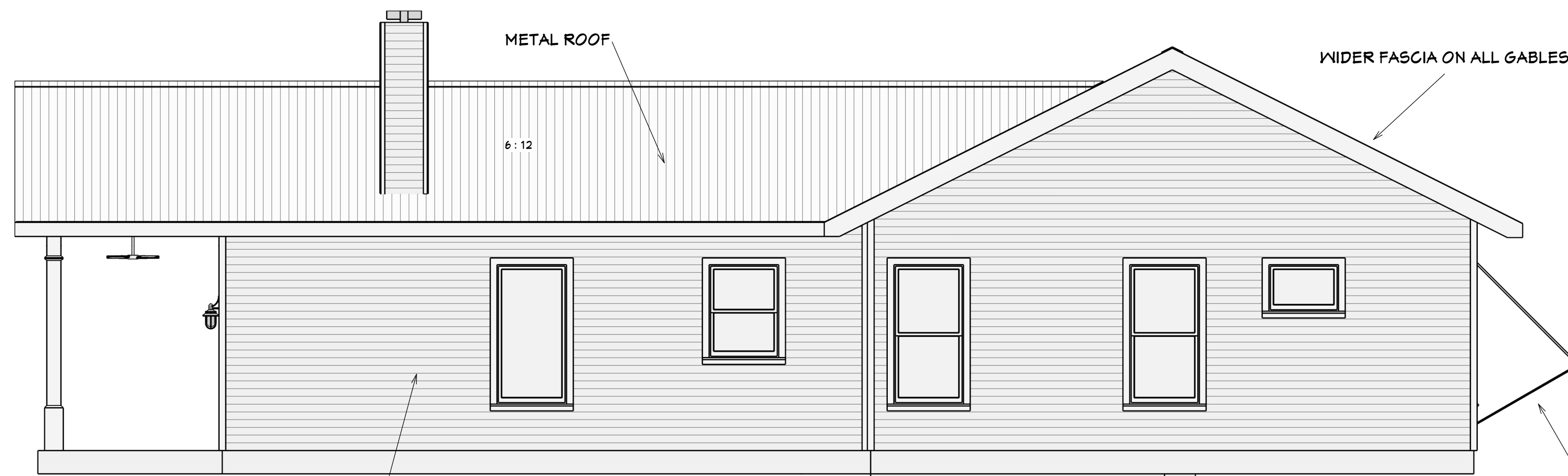
1 FRONT ELEVATION
SCALE: 1/4"=1'



PAINTED SIDING

METAL ROOF

2 REAR ELEVATION
SCALE: 1/4"=1'

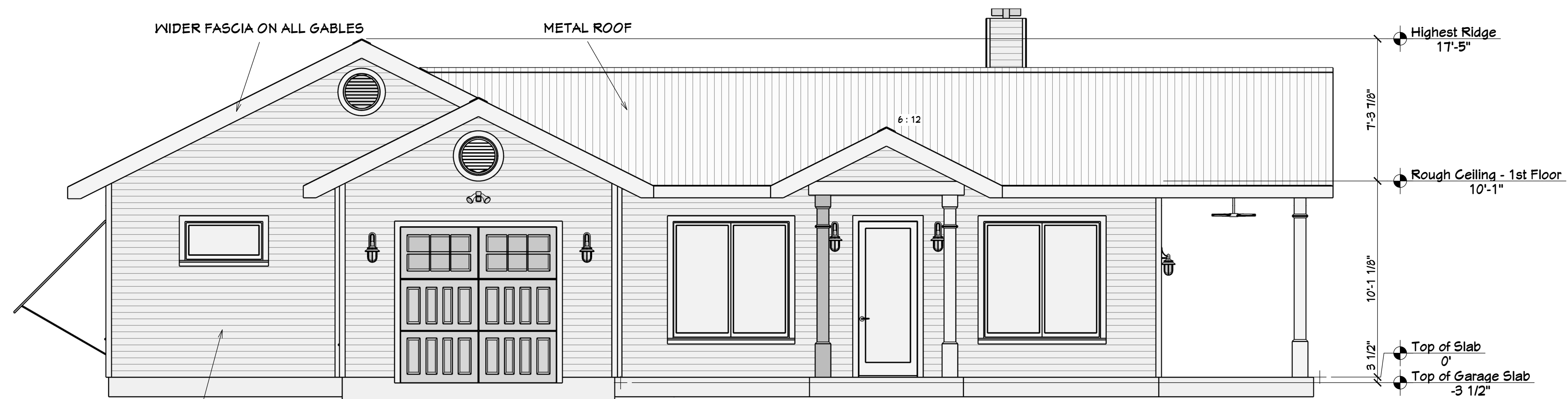


PAINTED SIDING

METAL ROOF

WIDER FASCIA ON ALL GABLES

3 LEFT ELEVATION
SCALE: 1/4"=1'



PAINTED SIDING

WIDER FASCIA ON ALL GABLES

METAL ROOF

ALL SHUTTERS TO BE
HINGED AT TOP AS SHOWN

4 RIGHT ELEVATION
SCALE: 1/4"=1'

Highest Ridge
17'-5"

Rough Ceiling - 1st Floor
10'-1"

Top of Slab
0'

Top of Garage Slab
-3 1/2"

PLANS FOR: BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: ELEVATIONS

SHANNON NEWSON MARK NEWSON
CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75178
469-338-4863
DRAWN BY:

DATE:
4/15/2020

SCALE:
AS SHOWN

SHEET:
A-3

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2020

PROJECT NUMBER: Z2020-048
PROJECT NAME: SUP for Residential Infill at 701 N. TL Townsend
SITE ADDRESS/LOCATIONS: 701 N. TL Townsend Drive

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	11/20/2020	Approved w/ Comments
<p>11/20/2020: I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive.</p> <p>I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.</p> <p>M.3 For reference, include the case number (Z2020-048) in the lower right-hand corner of all pages on future submittals.</p> <p>I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that {1} consists of five (5) or more lots, {2} that is 90% or more developed, and {3} that has been in existence for more than ten (10) years. In this case, the subject property is located adjacent to the Harris Subdivision, which was established on June 4, 1960, and consists of 8 lots, and is 100% developed.</p> <p>I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... (and) all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision." Conformance to this requirement will be evaluated by staff and acted upon by the Planning and Zoning Commission and City Council.</p> <p>M.6 Please review the attached Draft Ordinance prior to the November 24, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than December 1, 2020. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.</p> <p>I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 1, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 8, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on November 24, 2020.</p> <p>I.8 The projected City Council meeting dates for this case will be December 21, 2020 (1st Reading) and January 4, 2021 (2nd Reading).</p>			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	11/18/2020	Needs Review
<p>11/18/2020: M - Update the floodplain cross-section elevations with the attached updates.</p> <p>M - Property will need to replat.</p> <p>M - Label driveway spacing. Minimum spacing allowed is 50'.</p>			

- M - Must show the floodplain boundary on the grading plan.
- M - Must meet erosion hazard setback requirements from creek. No structures within erosion hazard setback.
- M- No fill or excavation in floodplain.
- M - Must show the proposed connection for water and sewer services.
- M-If you cut the road for water and/or sewer service full concrete panels will be replaced.

The following items are for your information for the building permit or engineering if required.

General Items:

- I - Must meet City Standards of Design and Construction
- I - 4% Engineering Inspection Fees
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Minimum easement width is 20' for new easements. No structures allowed in easements.
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - 10' Utility Easement required along all street ROW.
- I - No fences in or crossing any easements.

Drainage Items:

- I - Must have detention for developments in the Squabble Creek Basin.
- I - Will need to update the flood study for the site if touching the floodplain boundary.
- M - Finish floor to be 2.0 ft above the highest adjacent floodplain water surface elevation for the lot. (Min FF 538.25)
- M - Must show the floodplain boundary on the grading plan.
- M - Must meet erosion hazard setback requirements from creek. No structures within erosion hazard setback.
- M- No fill or excavation in flood plain

Water and Wastewater Items:

- M - Must show the proposed connection for water and sewer services.
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)
- M-If you cut the road for water and/or sewer service full concrete panels will be replaced

Roadway Paving Items:

- I - Required 10' utility easement required along all street frontage.
- M - Min 50' spacing for driveway from driveway to south. May need variance if trying to keep out floodplain to prevent flood study.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	11/16/2020	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	11/06/2020	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/17/2020	Approved w/ Comments

11/17/2020: Address will be 701 N. TL Townsend Dr, Rockwall, TX 75087*.

Make sure address is prominently displayed on structure and at the driveway so emergency services can easily find the location.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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11/16/2020: No comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 701 N. T.L. TOWNSEND DRIVE

Subdivision RICHARD HARRIS SUBDIVISION #5

Lot 1

Block A

General Location BETWEEN W19 RENFRO & 703 N. TL TOWNSEND

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF-7

Current Use VACANT

Proposed Zoning SF-7

Proposed Use RESIDENTIAL

Acreage 0.2342

Lots [Current] 1

Lots [Proposed] 1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner Brenda Kennedy

☐ Applicant Brenda Kennedy

Contact Person Brenda Kennedy

Contact Person Brenda Kennedy

Address 1630 Shores Blvd

Address 1630 Shores Blvd

City, State & Zip Rockwall 75087

City, State & Zip Rockwall 75087

Phone 214-384-3234

Phone 214-384-3234

E-Mail brenda.kennedy@ebby.com

E-Mail brenda.kennedy@ebby.com

NOTARY VERIFICATION [REQUIRED]

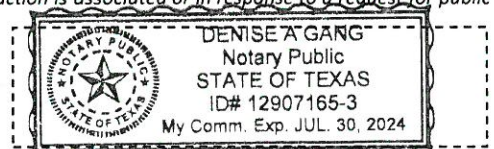
Before me, the undersigned authority, on this day personally appeared Brenda Kennedy [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 30th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 30th day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires

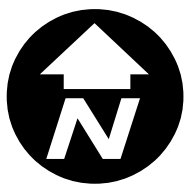
June 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

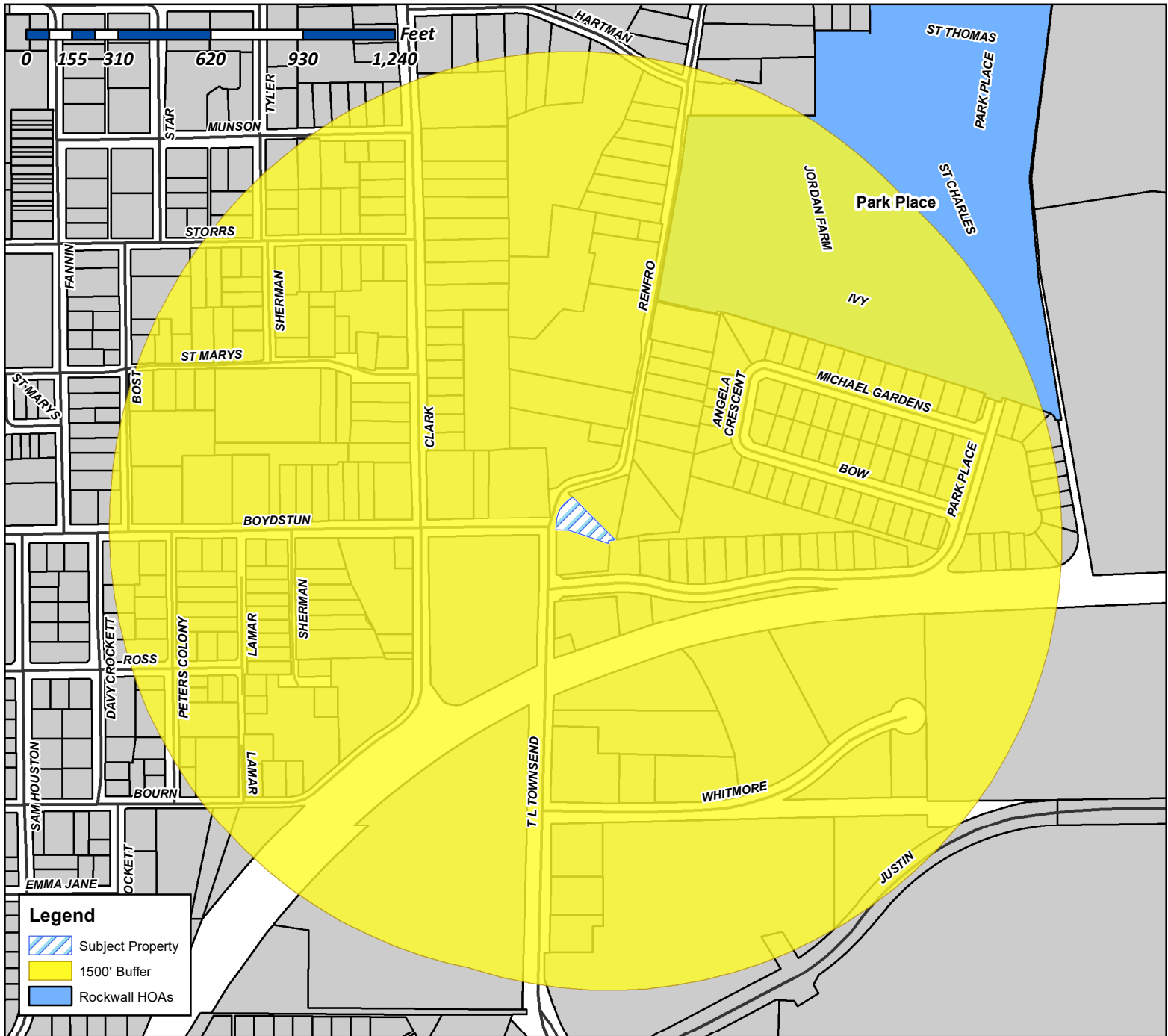




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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(P): (972) 771-7745
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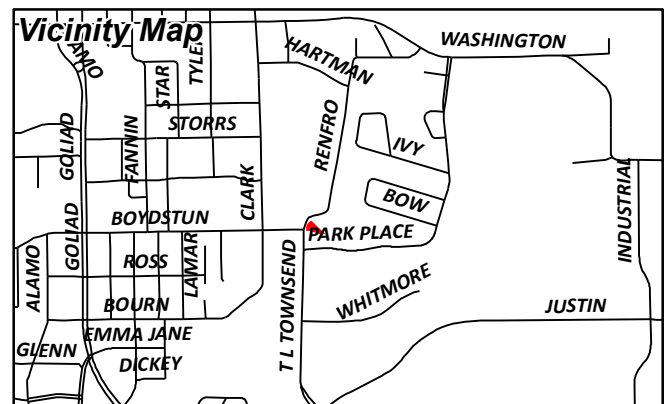
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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020

For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.12.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-048 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

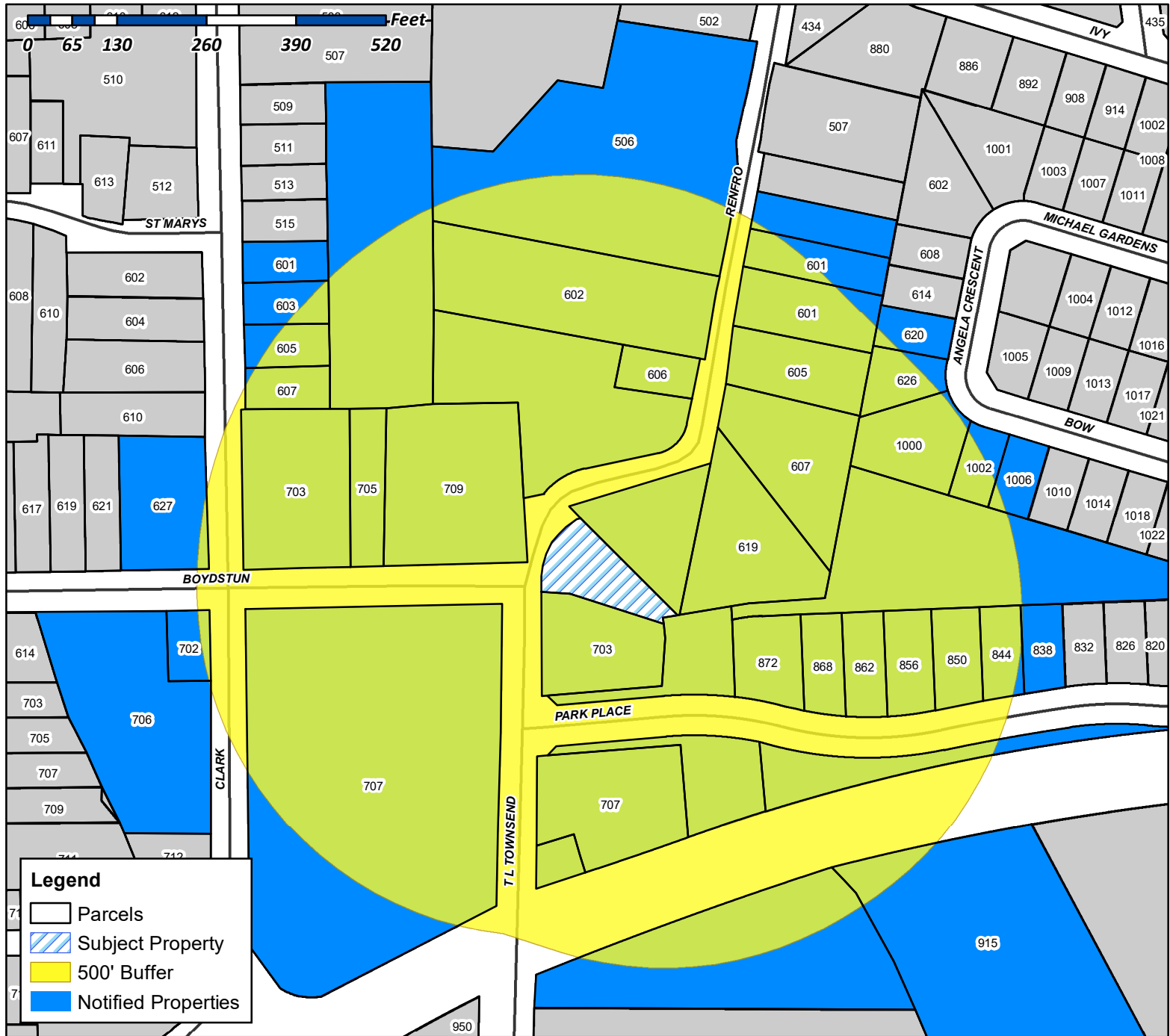
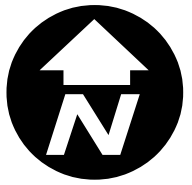
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City of Rockwall

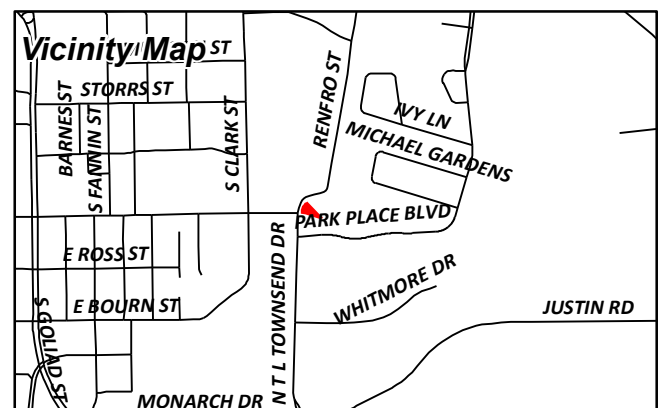
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



KENNEDY BRENDA K
1630 SHORES BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
1000 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1002 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1006 BOW ST
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HARRIS RICHARD & JUDY
210 GLENN AVE
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
4 MANOR CT
HEATH, TX 75032

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
5505 RANGER DR
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
601 RENFRO ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

RIVERA SARA ELIA
603S CLARK ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
606 RENFRO ST
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
607 MOUNTCASTLE DR
ROCKWALL, TX 75087

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
620 ANGELA CRESCENT
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
626 ANGELA CRESCENT
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

HARSTROM STUART & SUSAN
675 DANIELLE CT
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
702 S CLARK ST
ROCKWALL, TX 75087

HARRIS RICHARD & JUDY
703 TOWNSEND DR
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
706 S CLARK ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT COMPANY
707 TOWNSEND
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
707 S CLARK
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA
815 T L TOWNSEND SUITE 101
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
838 PARK PLACE BLVD
ROCKWALL, TX 75087

HARSTROM STUART & SUSAN
844 PARK PLACE BLVD
ROCKWALL, TX 75087

HUSSONG BRETT AND LAUREN
850 PARK PLACE BLVD
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
856 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
862 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
868 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
872 PARK PLACE BLVD
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

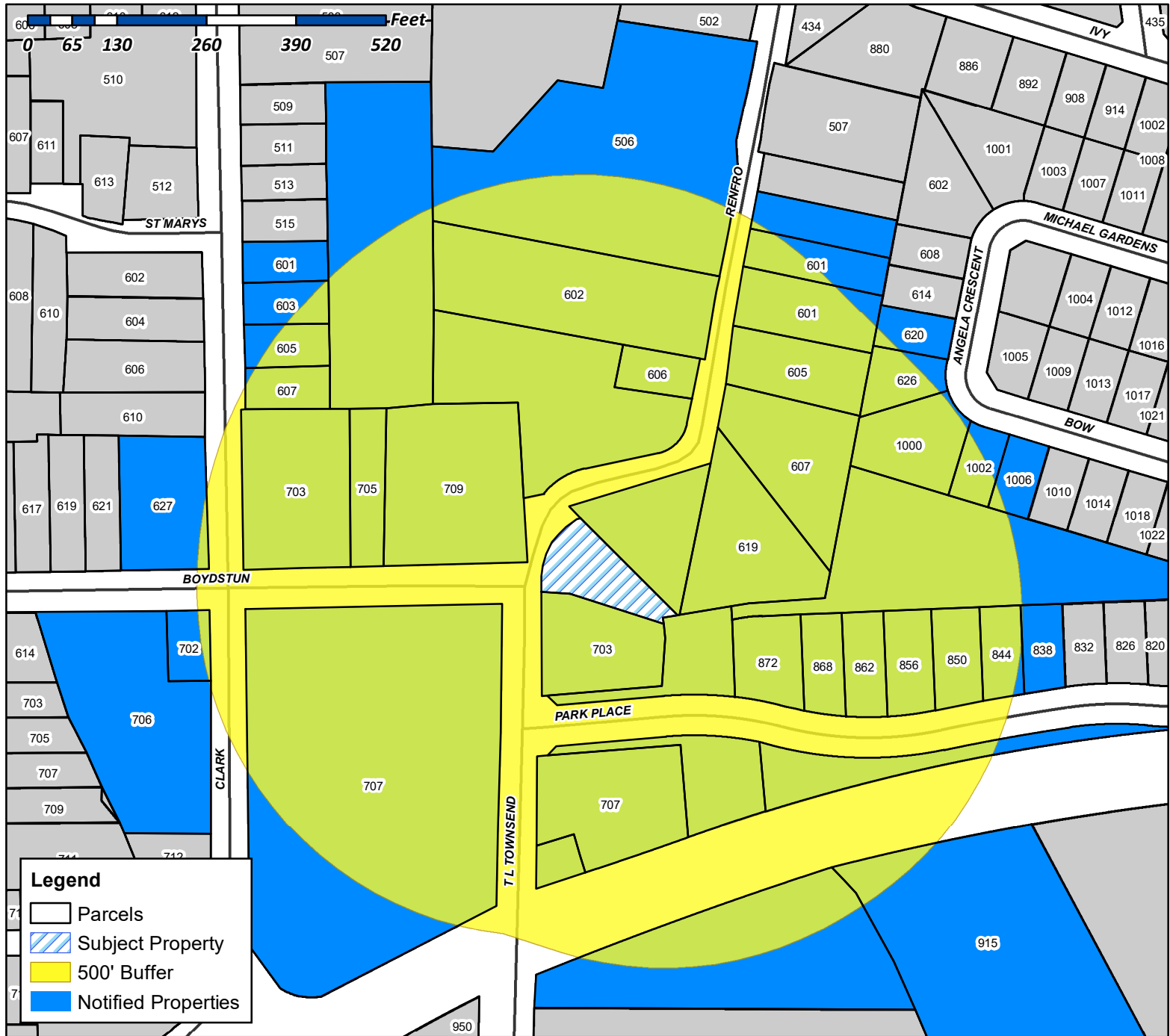
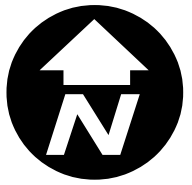
COUNTY OF ROCKWALL
915 WHITMORE
ROCKWALL, TX 75087



City of Rockwall

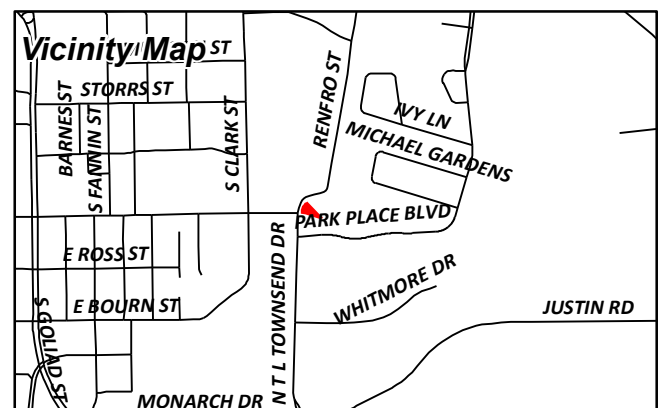
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-048: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-048: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

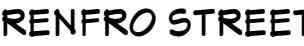
- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



① SITE PLAN

SCALE: 1"=15'

NOTE

1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS



ROOF PLAN

SCALE: 1/4"=1'

SHANNON NEWSOM MARK NEWSOM

NON NEWSOM MARK NEW
CADAZIGN

3709 CR 2522
ROYSE CITY, TEXAS 75178

469-338-9863

5) DRAWN BY:

DATE:

4/15/2020

SCALE:

AS SHOWN

SHEET:

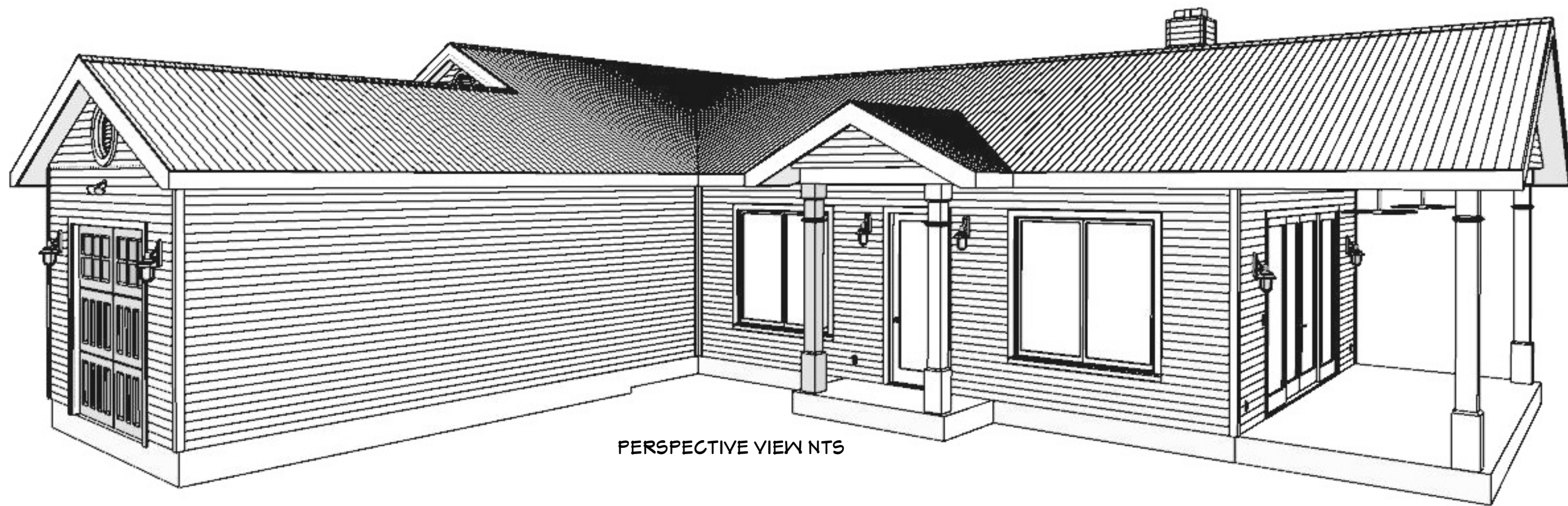
A-2

PLANS FOR:

TITLE:
SITE PLAN / ROOF PLAN

BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

KENNEDY RESIDENCE:
BRENDA KENNEDY



PERSPECTIVE VIEW NT5

GENERAL NOTES:

- THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
- DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
- CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTORS PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
- ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
- CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
- DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
- SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
- CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

- ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
- ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
- SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
- DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
- WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
- FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	ELEVATIONS
A-4	FLOOR PLAN / ELECTRICAL PLAN

PLANS FOR:

BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: COVER PAGE

SHANNON NEWSON MARK NEWSON

CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75119
469-538-4863

DRAWN BY:

DATE:

4/15/2020

SCALE:

AS SHOWN

SHEET:

A-1

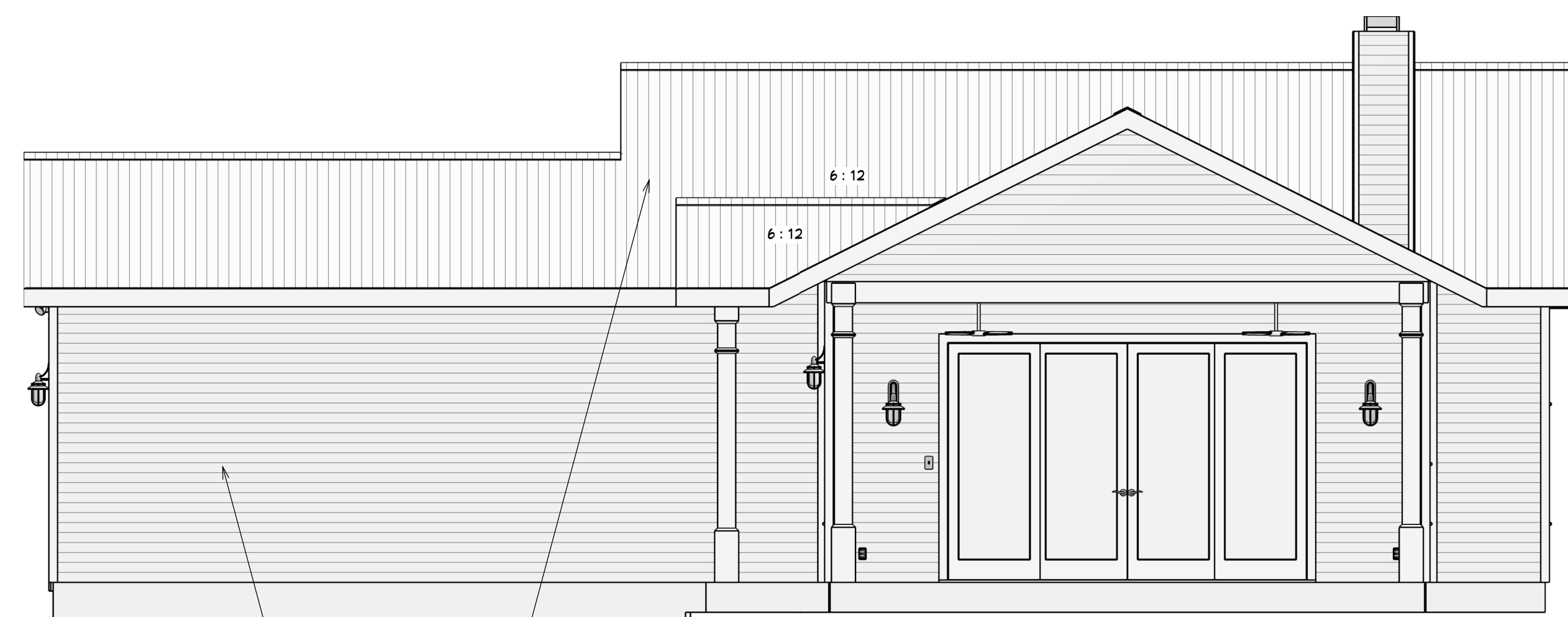


ALL SHUTTERS TO BE
HINGED AT TOP AS SHOWN

PAINTED SIDING

METAL ROOF

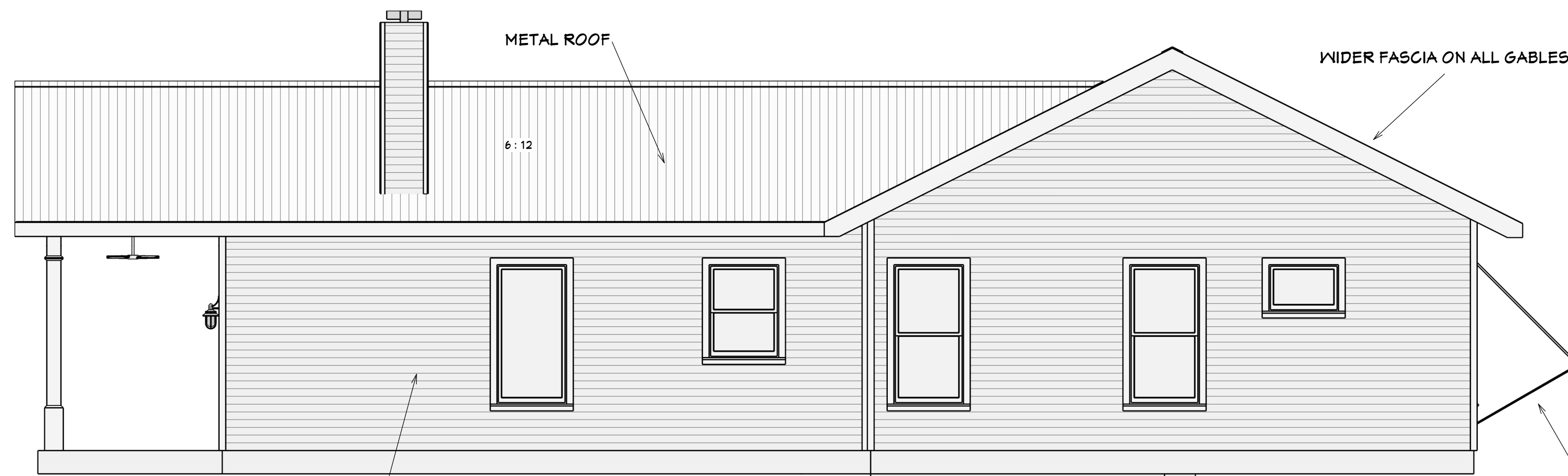
1 FRONT ELEVATION
SCALE: 1/4"=1'



PAINTED SIDING

METAL ROOF

2 REAR ELEVATION
SCALE: 1/4"=1'

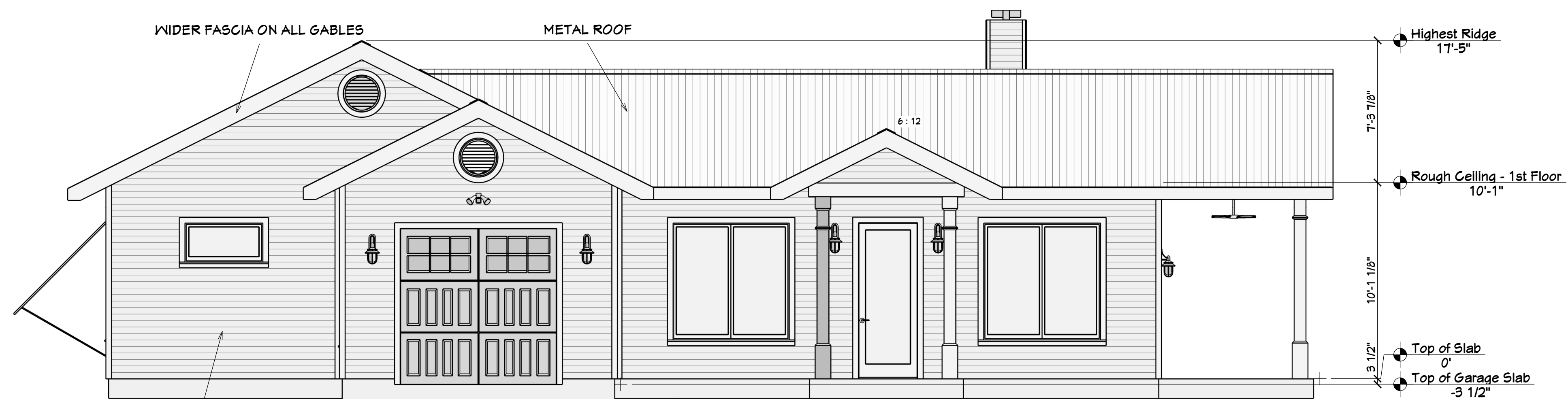


PAINTED SIDING

METAL ROOF

WIDER FASCIA ON ALL GABLES

3 LEFT ELEVATION
SCALE: 1/4"=1'



PAINTED SIDING

WIDER FASCIA ON ALL GABLES

METAL ROOF

ALL SHUTTERS TO BE
HINGED AT TOP AS SHOWN

4 RIGHT ELEVATION
SCALE: 1/4"=1'

Highest Ridge
17'-5"

Rough Ceiling - 1st Floor
10'-1"

Top of Slab
0'

Top of Garage Slab
-3 1/2"

PLANS FOR: BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

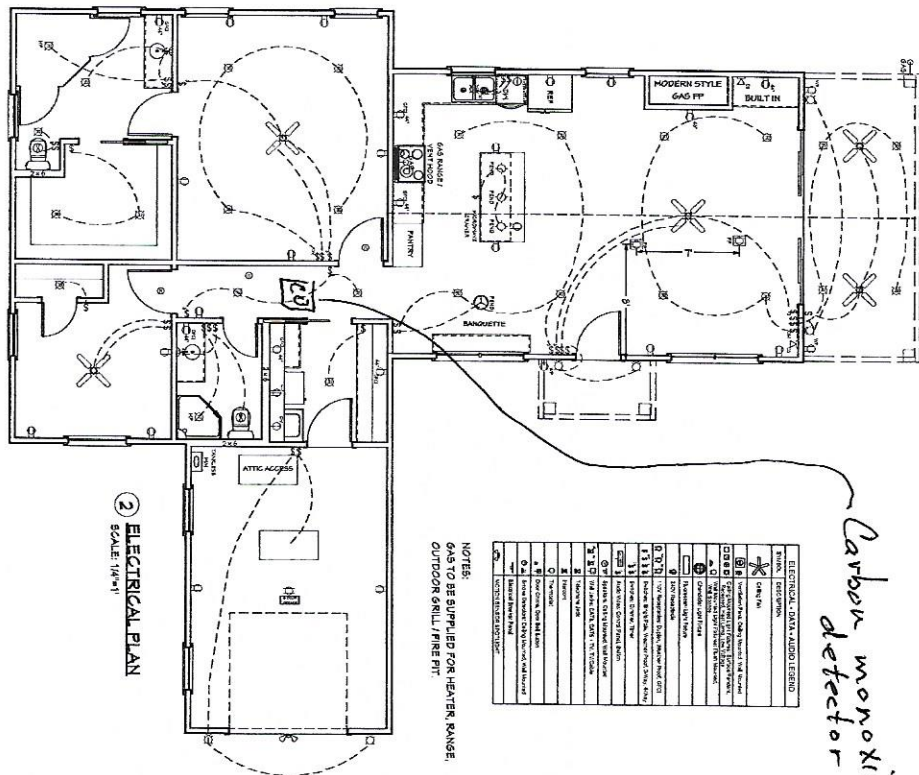
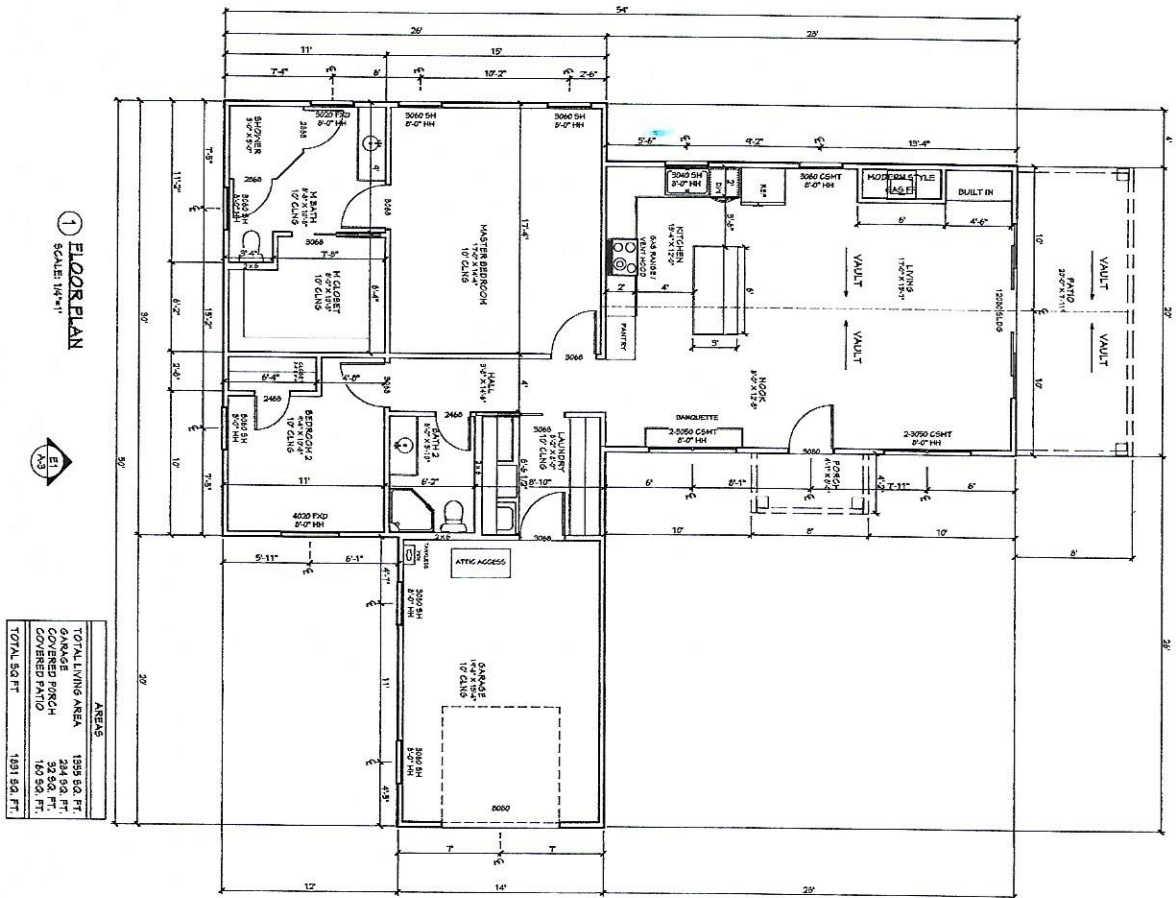
TITLE: ELEVATIONS

SHANNON NEWSON MARK NEWSON
CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75178
469-338-4863
DRAWN BY:

DATE:
4/15/2020

SCALE:
AS SHOWN

SHEET:
A-3



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
611 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
613 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
615 E Boydston Avenue	Single-Family Home	2016	2,403	N/A	Stone/Siding
619 E Boydston Avenue	Single-Family Home	2017	1,172	N/A	Brick/Stucco
621 E Boydston Avenue	Single-Family Home	2017	1,906	N/A	Brick
627 E Boydston Avenue	Single-Family Home	2018	1,970	N/A	Brick
709 E Boydston Avenue	Single-Family Home	1980	1,120	1,180	Siding
506 Renfro Street	Single-Family Home	1975	1,058	284	Siding
507 Renfro Street	Single-Family Home	1961	1,856	450	Siding
601 Renfro Street	Single-Family Home	1925	1,000	720	Siding
602 Renfro Street	Single-Family Home	1975	1,796	N/A	Siding
605 Renfro Street	Single-Family Home	1975	1,605	192	Siding
606 Renfro Street	Single-Family Home	1925	1,342	N/A	Siding
607 Renfro Street	Single-Family Home	1998	1,520	N/A	Siding
619 Renfro Street	Single-Family Home	2002	1,567	N/A	Siding
701 N TL Townsend Drive	RCAD Indicates Vacant		Subject Property		N/A
703 N TL Townsend Drive	Single-Family Home	1975	934	1,092	Siding
703 E Boydston Avenue	Other	1980	N/A	N/A	N/A
707 S Clark Street	Other	N/A	N/A	N/A	N/A
Averages:		1970	1,380		



611 E Boydston Avenue



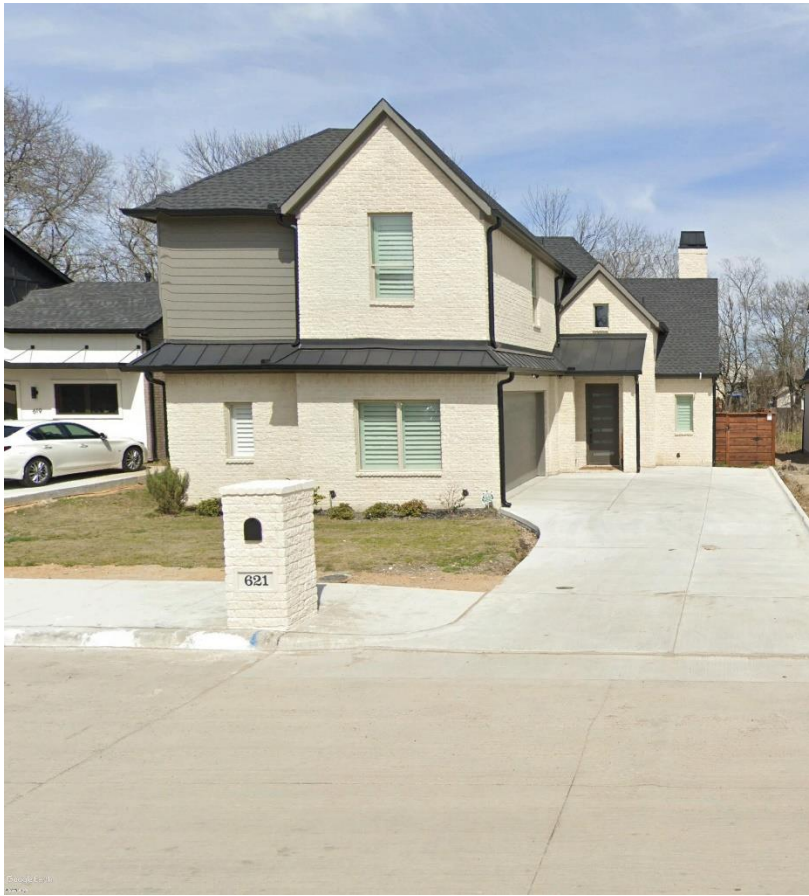
613 E Boydston Avenue



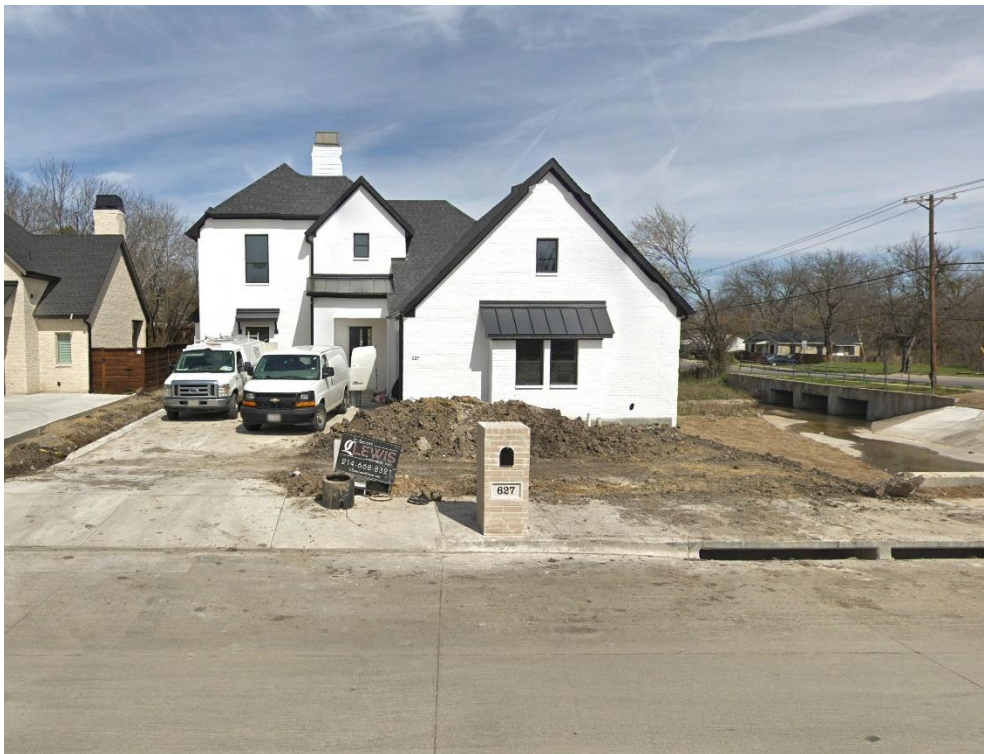
615 E Boydston Avenue



619 E Boydston Avenue



621 E Boydston Avenue



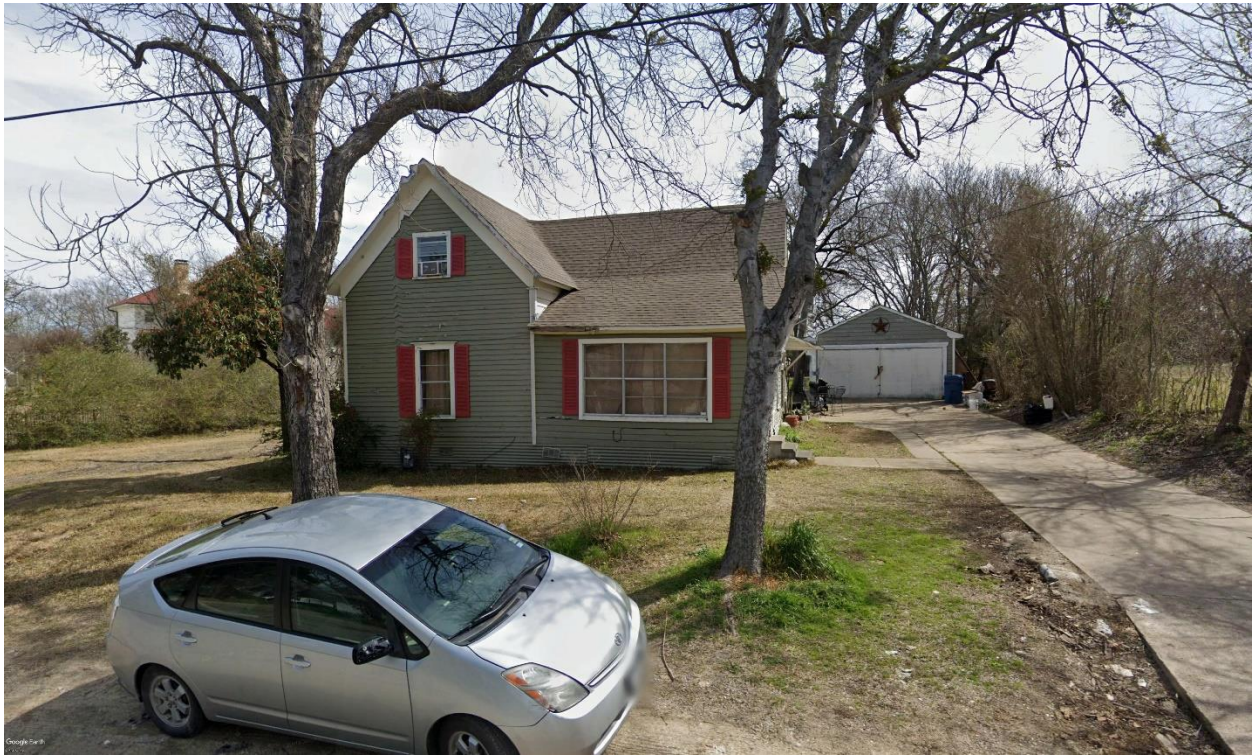
627 E Boydston Avenue



709 E Boydston Avenue



506 Renfro Street



507 Renfro Street



601 Renfro Street



602 Renfro Street



605 Renfro Street



606 Renfro Street



607 Renfro Street



619 Renfro Street



701 N TL Townsend Drive



703 N TL Townsend Drive



703 E Boydston Avenue



707 S Clark Street

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.34-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, RICHARD HARRIS SUBDIVISION #5, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.34-acre tract of land being described as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T.L. Townsend Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home adjacent to established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family*

7 (SF-7) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A'
Location Map and Survey

Address: 701 N. Townsend Drive

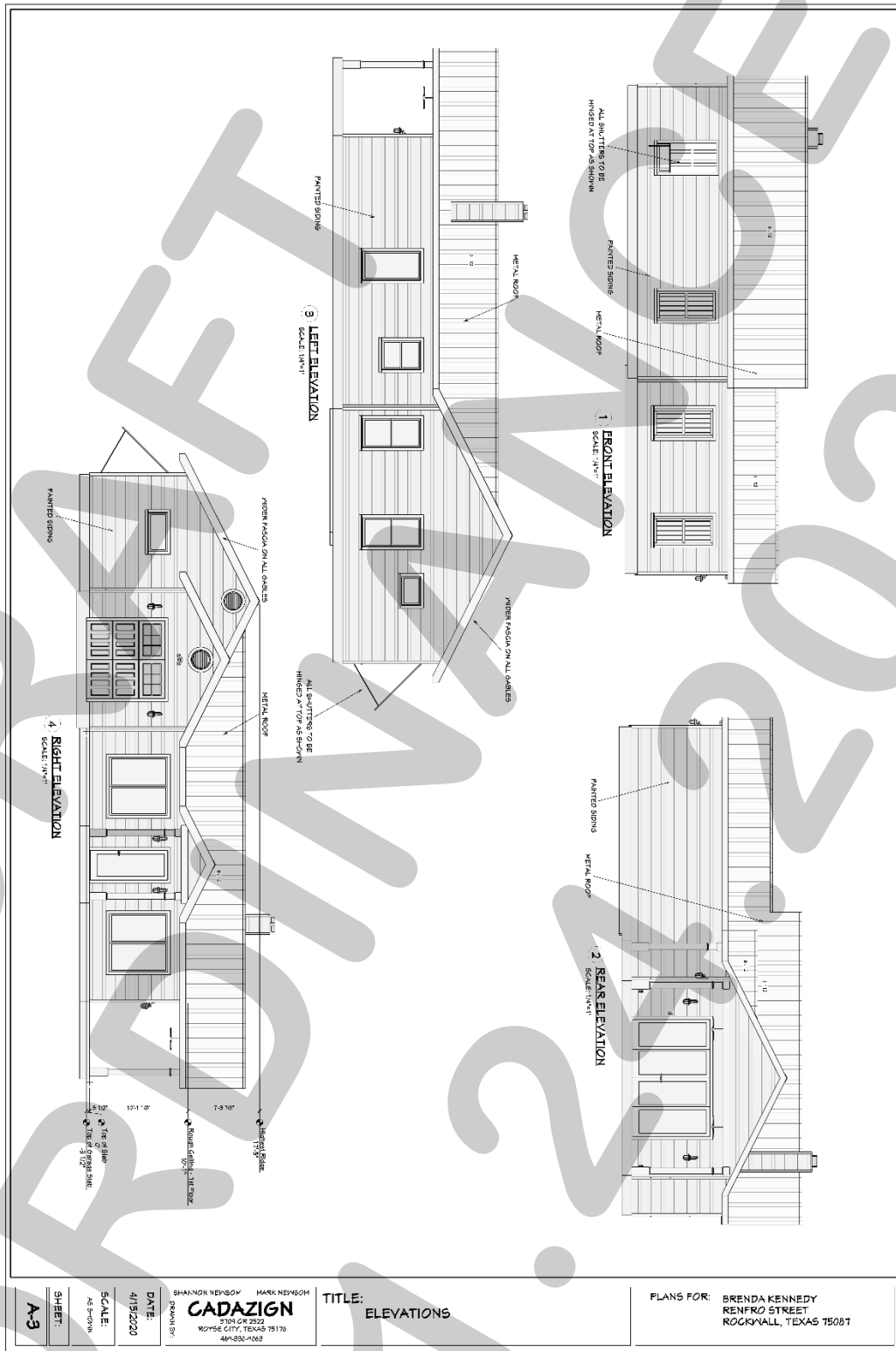
Legal Description: Lot 1, Block A, Richard Harris Subdivision #5



NOTE:

1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZISM IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
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3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS

Exhibit 'C': Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 8, 2020

APPLICANT: Brenda Kennedy

CASE NUMBER: Z2020-048; *Specific Use Permit (SUP) for a Residential Infill for 701 T. L. Townsend Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. The City's historic zoning maps show that the subject property was zoned Commercial (C) District as of January 3, 1972. Between May 16, 1983 and December 7, 1993, the subject property was rezoned Single-Family 7 (SF-7) District. On June 9, 1986, the City Council approved a final plat (Case No. PZ1986-037-01) establishing the subject property as Lot 1, Block A, Richard Harris #5 Addition. This plat was filed with Rockwall County on October 7, 1986. As part of this plat, the then owner of the subject property -- Richard Harris -- dedicated a 7.5' water line easement running parallel to the southern property line. Based on the reviewed information, the subject property has remained vacant since its incorporation into the City of Rockwall.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 701 T. L. Townsend Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.33-acre vacant tract of land (*i.e. Tract 52 of the R. Ballard Survey, Abstract No. 29*) zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several tracts of land zoned Single-Family 7 (SF-7) District that are currently developed with single-family homes.

South: Directly south of the subject property is a 0.444-acre parcel of land (*i.e. Lot 1, Block A, Richard Harris #6*) zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses. Beyond this is the entry to the Park Place Subdivision and Park Place Boulevard, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this subdivision is a 0.681-acre vacant tract of land (*i.e. Tract 35 of the R. Ballard Survey, Abstract No. 35*) zoned Planned Development District 59 (PD-59) for Residential Office (RO) District land uses. Beyond this is right-of-way owned by the Dallas Garland and New Orleans Railroad (DGNO).

East: Directly east of the subject property is a 0.33-acre vacant tract of land (*i.e. Tract 52 of the R. Ballard Abstract No. 29*) zoned Single-Family District 7 (SF-7) District. Beyond this are two (2) parcels of land (*i.e. Lot 1 & 2 of Renfro Place South Addition*) with single-family homes situated on them. Both parcels of land are zoned Single-Family 7 (SF-7) District. East of this is a 1.883-acre vacant parcel of land owned by the Park Place Homeowners Association, zoned Planned Development District 59 (PD-59) for Single-Family 7 District (SF-7) land uses, and identified as open space on the final plat for this subdivision.

West: Directly west of the subject property is Renfro Street, which is classified as a *Minor Collector* on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land (*i.e. Lot 1, Block 1, Allen Hogue Subdivision and Lots 67 & 68, Block B, B. F. Boydston Addition*) zoned Planned Development District 52 (PD-52) for Two-Family District (2F) District land uses. Beyond this is S. Clark Street, which is classified as a *Minor Collector* on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are seven (7) single-family homes situated on seven (7) parcels of land zoned for Zero Lot Line 5 (ZL-5) District (*i.e. Phase 1 & 2 of the Integrity Addition*).

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within 500-feet of the Harris Subdivision and the B. F. Boydston Subdivision. Both of these subdivisions have been in existence for greater than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on E Boydston Avenue, Renfro Street, and T. L. Townsend Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on E Boydston Avenue, Renfro Street, N. TL Townsend Drive and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face south towards the side property line.
Year Built	1925-2018	N/A
Building SF on Property	934 SF – 2,403 SF	1,831 SF (1,355 SF of Air-Conditioned Space)
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between ten (10) Feet and 20-Feet	25-Feet
Side	The side yard setbacks greater than six (6) feet.	7'-7½"
Rear	The rear yard setbacks are greater than ten (10) feet.	X>10-Feet
Building Materials	Composite Siding, Vinyl Siding, & Brick	HardiBoard Siding
Paint and Color	White, Grey, Brown, Blue, & Green,	White (Primary), Black (Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite (Primary), Metal (Accent)
Driveways/Garages	Driveways all front the same street the single-family home faces.	The garage will be attached (J-Swing) and located 12' behind the façade facing on to T. L. Townsend

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along E. Boydston Avenue, Renfro Street, and T. L. Townsend Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On November 18, 2020, staff mailed 47 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received six (6) notices in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 701 N. T.L. TOWNSEND DRIVE

Subdivision RICHARD HARRIS SUBDIVISION #5

Lot 1 Block A

General Location BETWEEN W19 RENFRO & 703 N. TL TOWNSEND

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF-7

Current Use VACANT

Proposed Zoning SF-7

Proposed Use RESIDENTIAL

Acreage 0.2342

Lots [Current] 1

Lots [Proposed] 1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner Brenda Kennedy

☐ Applicant Brenda Kennedy

Contact Person Brenda Kennedy

Contact Person Brenda Kennedy

Address 1630 Shores Blvd

Address 1630 Shores Blvd

City, State & Zip Rockwall 75087

City, State & Zip Rockwall 75087

Phone 214-384-3234

Phone 214-384-3234

E-Mail brenda.kennedy@ebby.com

E-Mail brenda.kennedy@ebby.com

NOTARY VERIFICATION [REQUIRED]

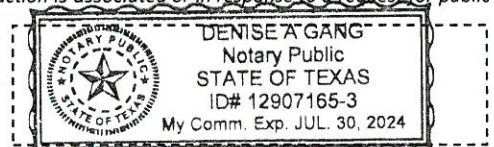
Before me, the undersigned authority, on this day personally appeared Brenda Kennedy [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 30th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 30th day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



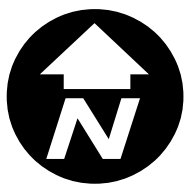
My Commission Expires June 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

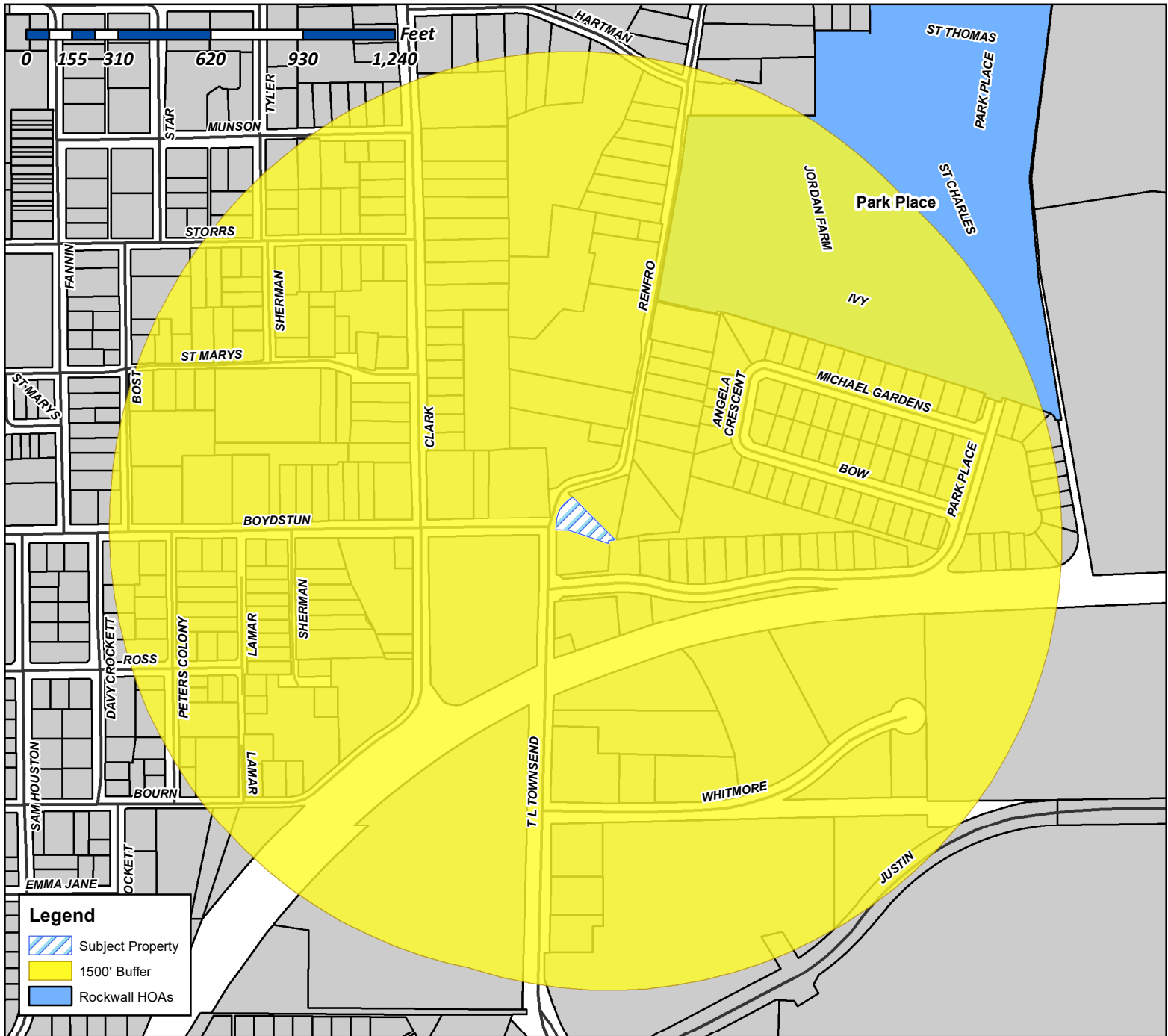




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.12.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-048 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

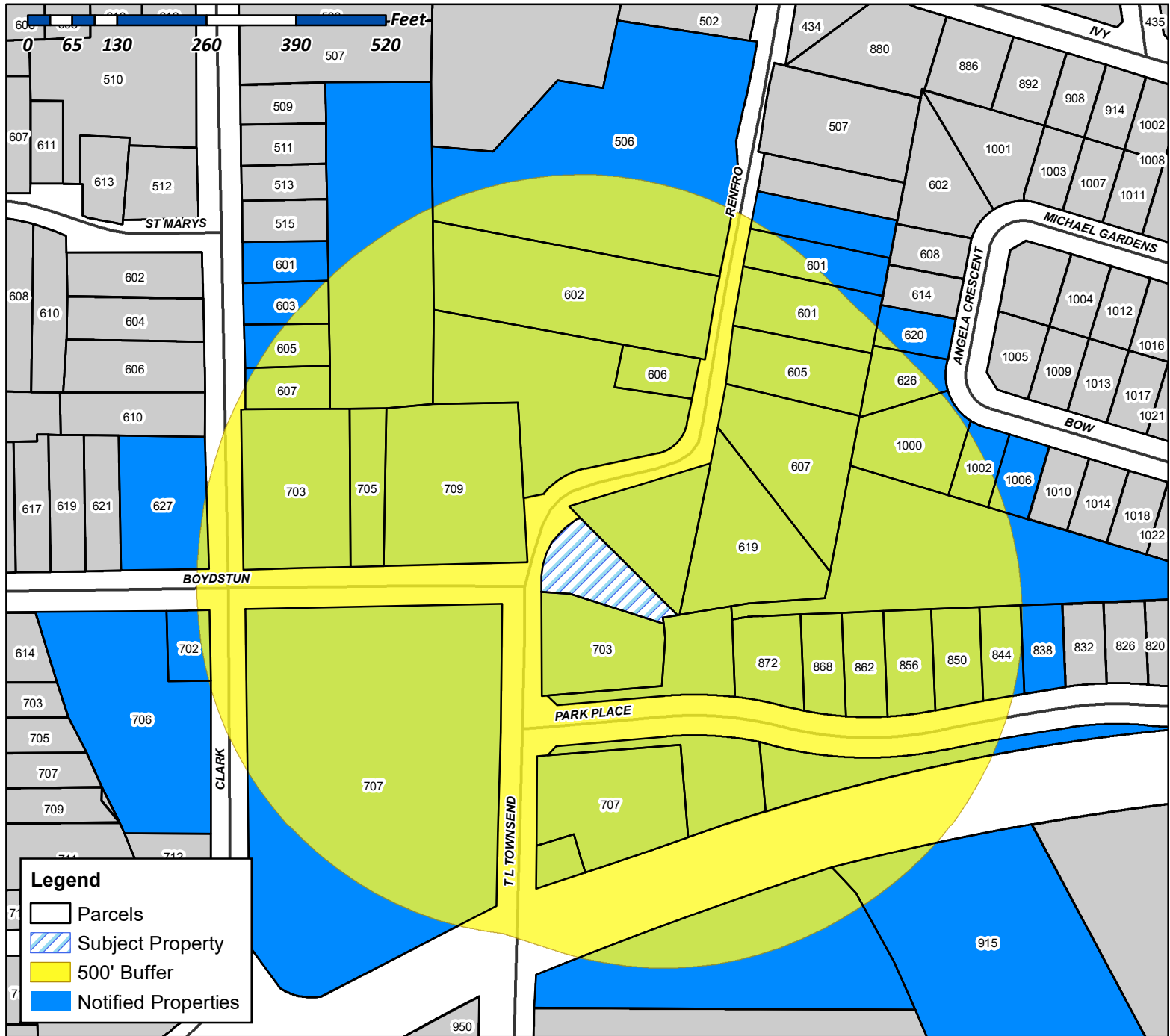
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City of Rockwall

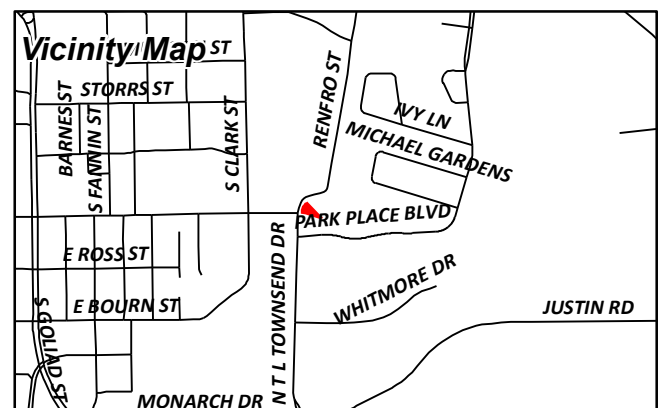
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



KENNEDY BRENDA K
1630 SHORES BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
1000 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1002 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1006 BOW ST
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HARRIS RICHARD & JUDY
210 GLENN AVE
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
4 MANOR CT
HEATH, TX 75032

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
5505 RANGER DR
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
601 RENFRO ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

RIVERA SARA ELIA
603S CLARK ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
606 RENFRO ST
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
607 MOUNTCASTLE DR
ROCKWALL, TX 75087

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
620 ANGELA CRESCENT
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
626 ANGELA CRESCENT
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

HARSTROM STUART & SUSAN
675 DANIELLE CT
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
702 S CLARK ST
ROCKWALL, TX 75087

HARRIS RICHARD & JUDY
703 TOWNSEND DR
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
706 S CLARK ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT COMPANY
707 TOWNSEND
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
707 S CLARK
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA
815 T L TOWNSEND SUITE 101
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
838 PARK PLACE BLVD
ROCKWALL, TX 75087

HARSTROM STUART & SUSAN
844 PARK PLACE BLVD
ROCKWALL, TX 75087

HUSSONG BRETT AND LAUREN
850 PARK PLACE BLVD
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
856 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
862 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
868 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
872 PARK PLACE BLVD
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

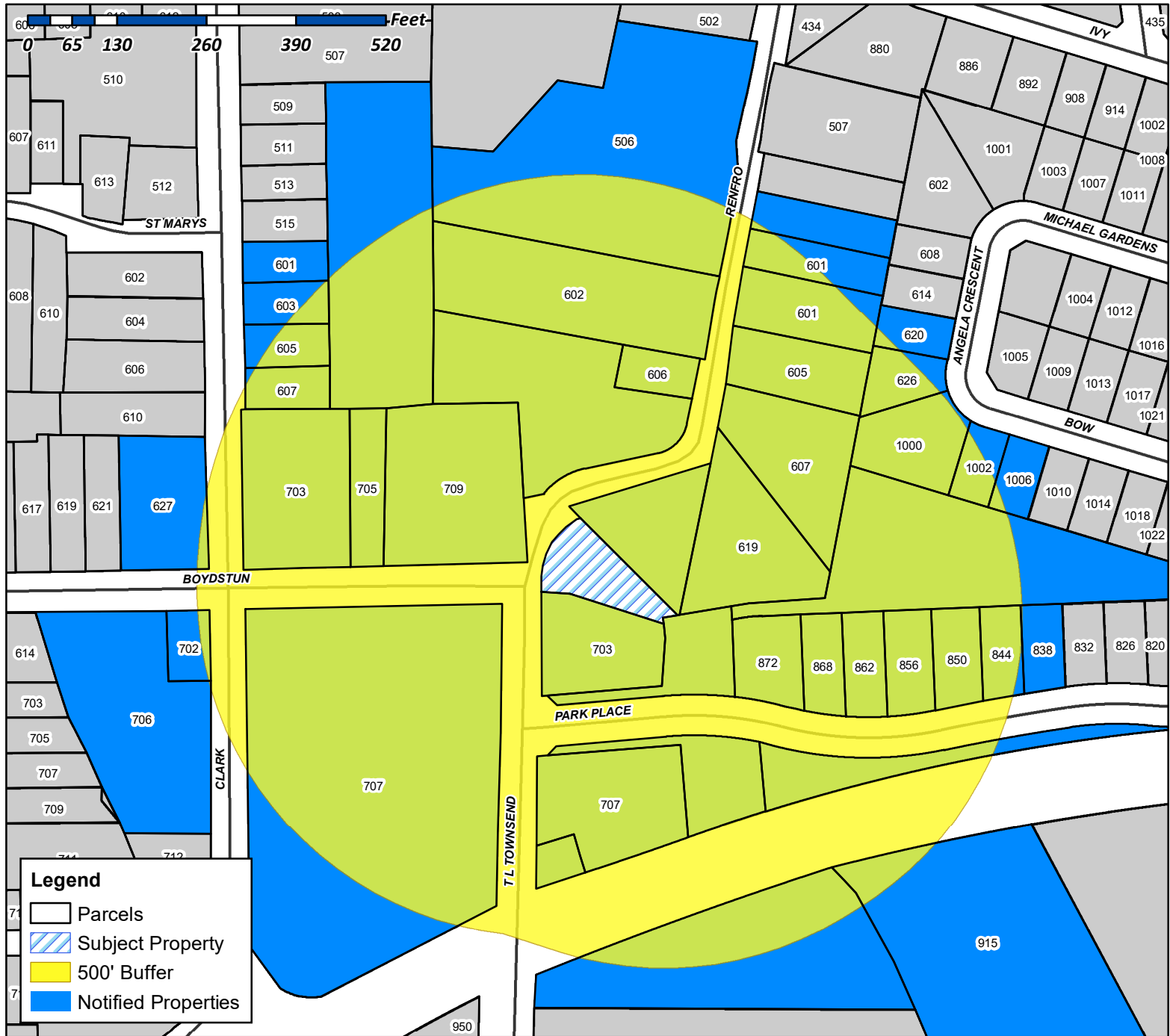
COUNTY OF ROCKWALL
915 WHITMORE
ROCKWALL, TX 75087



City of Rockwall

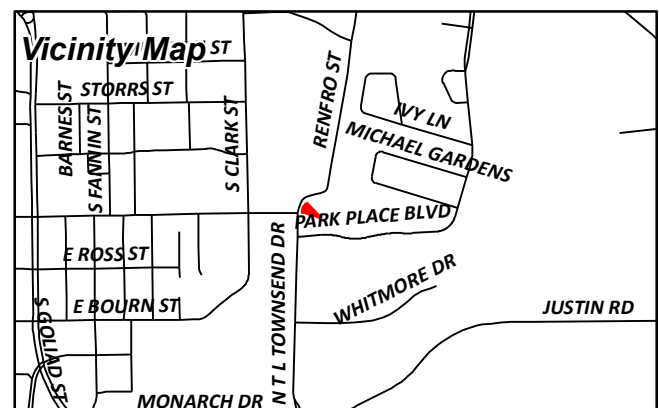
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-048: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-048: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gamez, Angelica

From: bill@colventures.com
Sent: Monday, November 23, 2020 3:11 PM
To: Planning
Subject: Z 2020-48 SUP

The Park Place HOA objects to this application as the front of the house does not face Townsend and so presents a poor image to the street. Park place has work tirelessly to improve the area and we do not feel this orientation is complementary to the area and especially to the house to the south which recently cleaned and renovated. The entrance to Park Place on Townsend is important and the new house should help keep the image being created.

Thanks,

Bill

Bill Bricker

Columbia Development Company, LLC
305 Park Place Blvd.
Rockwall, TX 75087
972-722-2439

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CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gamez, Angelica

From: wade91805@yahoo.com
Sent: Monday, November 23, 2020 6:52 PM
To: Planning
Subject: 701 N T.L Townsend

I am against the SUP for 701 T. L. Townsend. The front elevation is unacceptable and does not reflect the community. The side that faces the street should be the front of the home. There should be no budget impact to orient the home better.

If I can provide further input please do not hesitate to reach out to me.

Respectfully,
Wade Walker
426 Jordan Farm Circle
Rockwall 75087

Sent from my iPhone

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-048: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

The "front elevation" appears to be a boarded up shed. That is detrimental to the area and home values. I am sure a better

Name: Bill Bricker

Park Trace

Address: 305 Park Trace Blvd., Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gamez, Angelica

From: Nicole Cox <nicolecoxdesigns@gmail.com>
Sent: Tuesday, November 24, 2020 9:57 AM
To: Planning
Subject: CASE # Z2020-048

To whom it may concern,

I am opposed to the to the request, case Z2020-048, due to the reasons listed below:

I am concerned with the aesthetics of the "front elevation". If this front elevation design faces Renfro Street this may give an uninviting and industrial appearance versus single home residence. The current front elevation design illustrates 4 same sized windows with Bermuda shutters, shutters hinged at the top vs sides, and a flat facade.

These 3 design elements together illustrate an uninviting and commercial appearance. Bermuda shutters are a beautiful touch, especially on the coast, if done correctly by adding different aesthetics and values and the overall design is copacetic and comprehensive. Long story short, the front elevation does not make any sense, is closed off and is not aesthetically pleasing. Counterintuitive to keeping the integrity of our historic downtown partaing to new single residence builds.

Thank you for your time and consideration.

Sincerely,
Nicole Cox
613 Park Pl Blvd, Rockwall, TX 75087



This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gamez, Angelica

From: gtbrewer4676@cebridge.net
Sent: Friday, November 27, 2020 12:19 PM
To: Planning
Subject: SUP Near Townsend Entrance of Park Place Division, Case No. Z2020-048

Gentlemen: As owners of property in the sub-division of Park Place at Old Town, we wanted to state our opinion on the proposed single family house to be built for Brenda Kennedy, owner, at 701 N. T.L. Townsend Drive, Rockwall. The proposed street facade of the house appears to be in actuality the rear of the house. This is not aesthetically pleasing for the general area, is an inappropriate look, and would deter, in our opinion, from the surrounding properties' values since it is so very near to the entrance of our sub-division. Therefore, we are entering our protest with you and request that the present plan be re-thought to make for a more pleasing and appropriate residential look.

--

Robert and Gayle Brewer
1004 Michael Gardens
Rockwall, TX 75087

"In God We Trust"

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-048: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-048: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

I don't have a problem with a home being built at that location, but the design needs to fit the surrounding neighborhood.

Name:

Stuart Harstrom

Address:

844 Park Place Blvd Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



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PLEASE RETURN THE BELOW FORM

Case No. Z2020-048: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

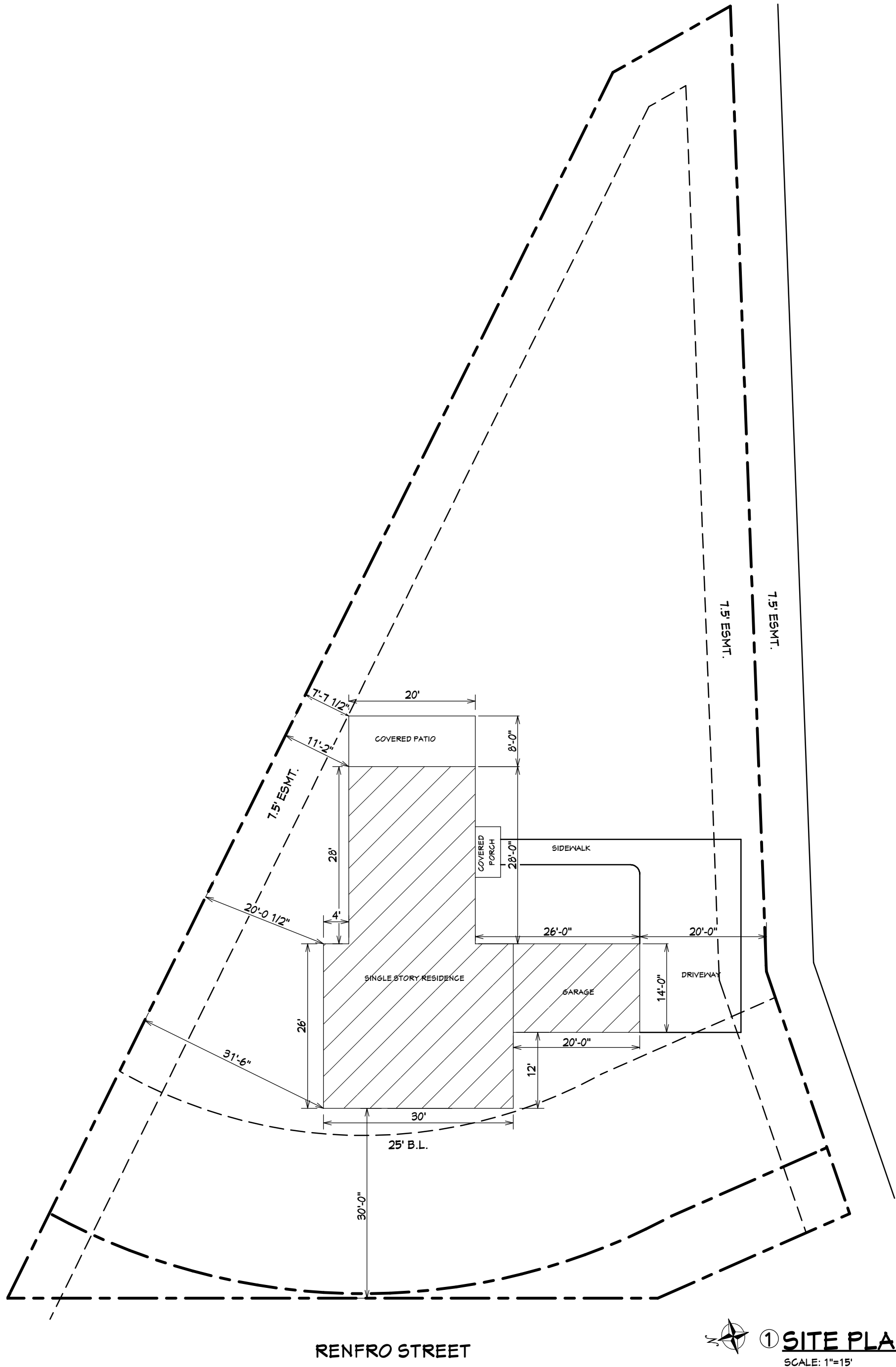
The design of the house does not appear to fit in with the surrounding neighborhood.

Name: Susan Harstrom

Address: 844 Park Place Blvd, Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



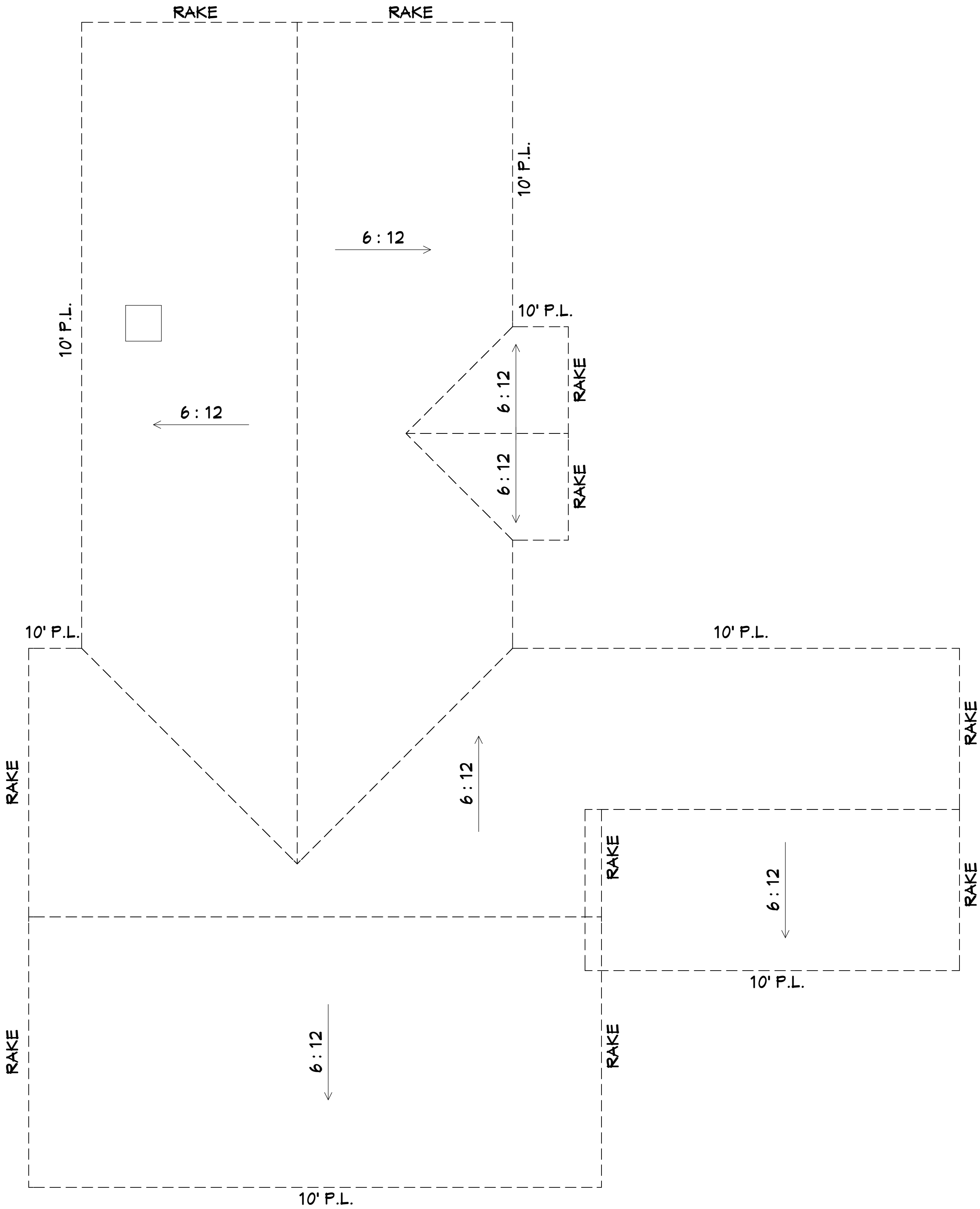
RENFRO STREET



① **SITE PLAN**
SCALE: 1"=15'

NOTE:

1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS



② **ROOF PLAN**
SCALE: 1/4"=1'

SHANNON NENSON MARK NENSON
CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75178
409-338-1063

DRAWN BY:

DATE:
4/15/2020

SCALE:
AS SHOWN

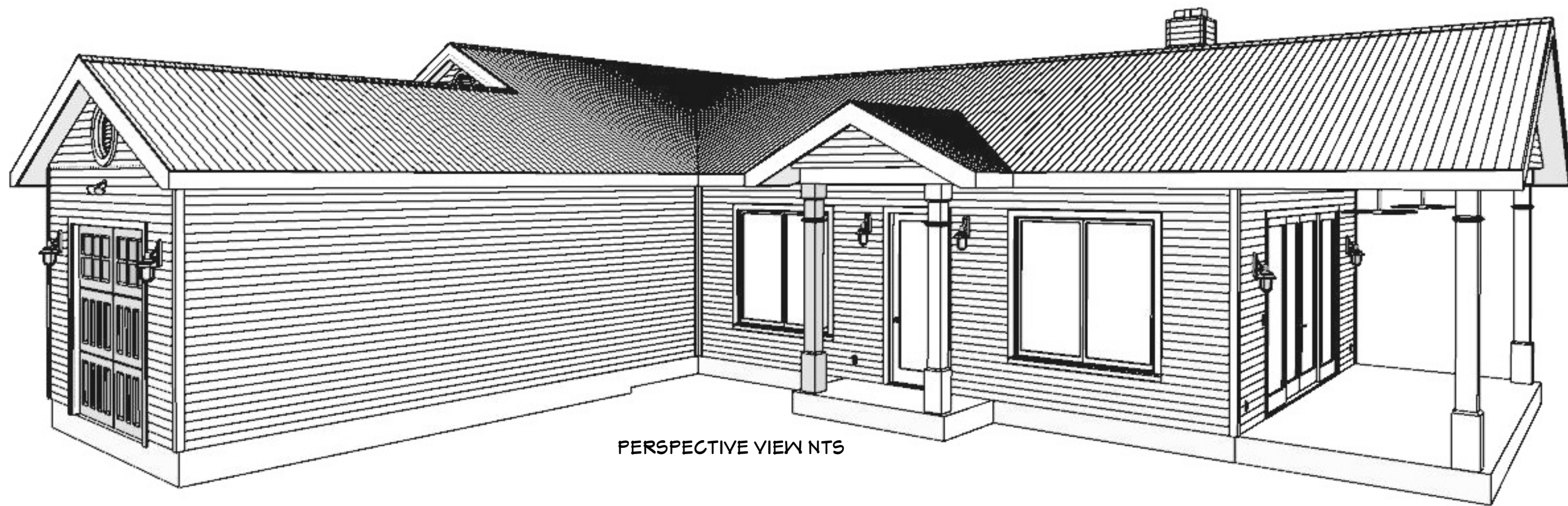
SHEET:

A-2

TITLE:
SITE PLAN / ROOF PLAN

PLANS FOR:
BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

KENNEDY RESIDENCE:
BRENDA KENNEDY



PERSPECTIVE VIEW NT5

GENERAL NOTES:

- THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
- DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
- CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTORS PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
- ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
- CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
- DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
- SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
- CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

- ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
- ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
- SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
- DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
- WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
- FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	ELEVATIONS
A-4	FLOOR PLAN / ELECTRICAL PLAN

PLANS FOR:

BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: COVER PAGE

SHANNON NEWSON MARK NEWSON

CADAZIGN

3704 CR 2522
ROYSE CITY, TEXAS 75119
469-538-4863

DRAWN BY:

DATE:

4/15/2020

SCALE:

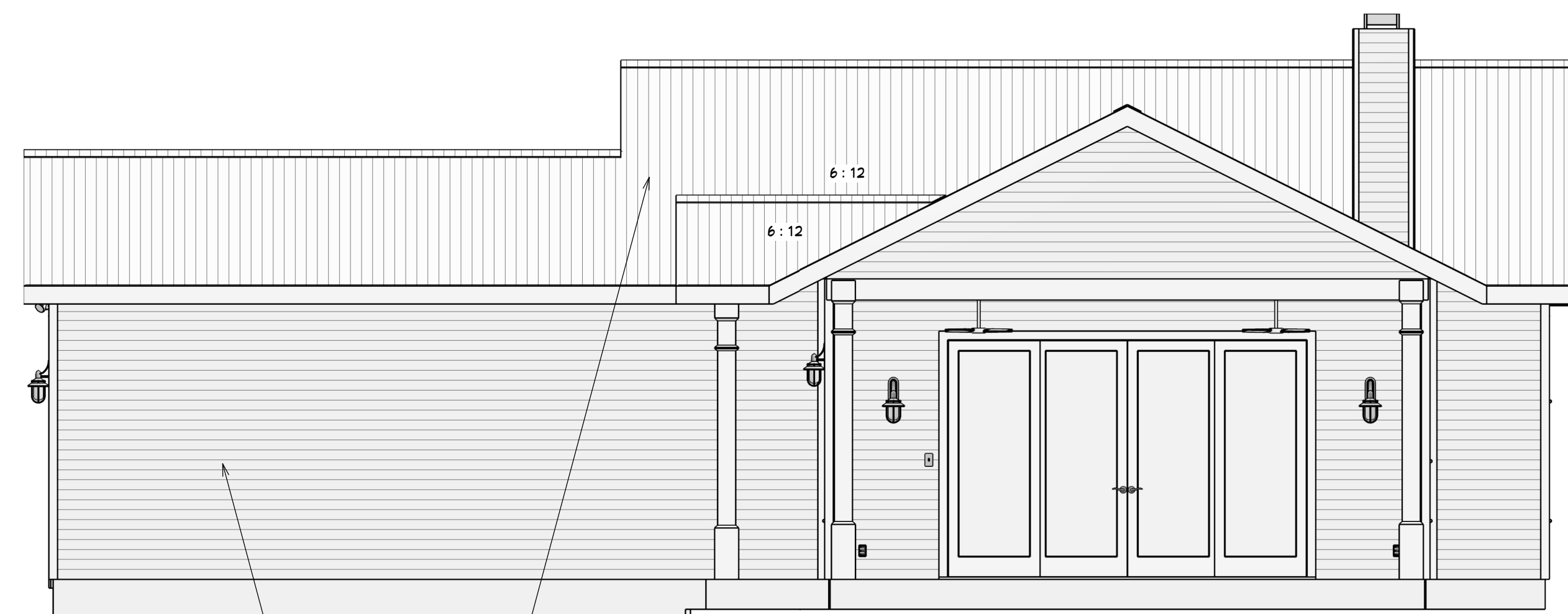
AS SHOWN

SHEET:

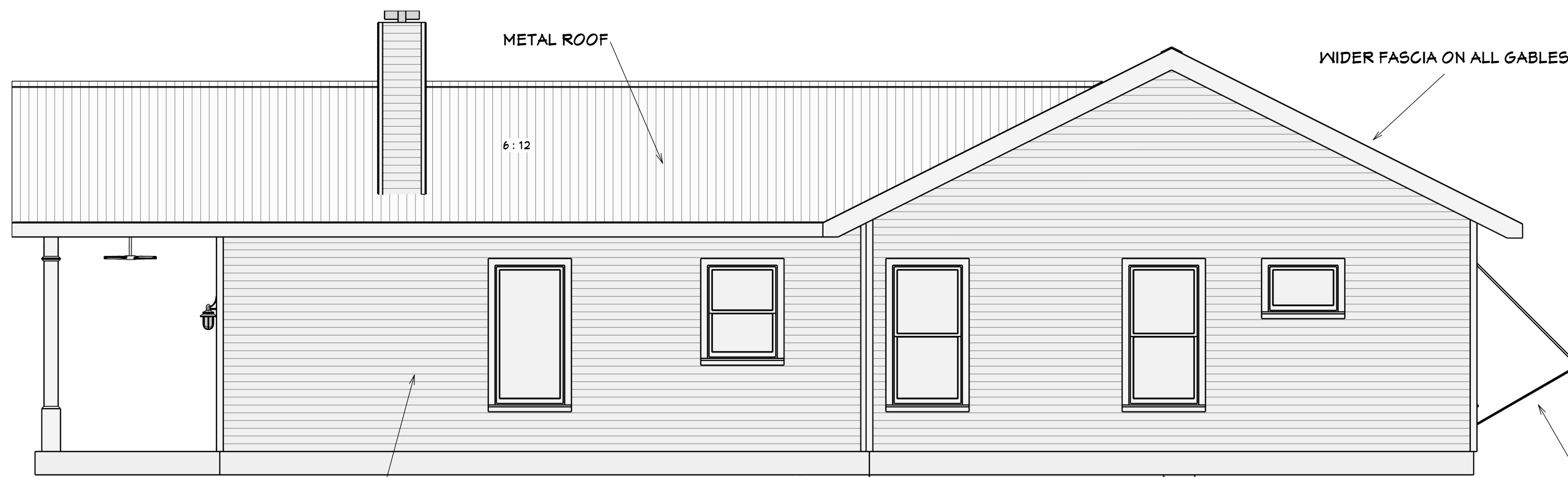
A-1



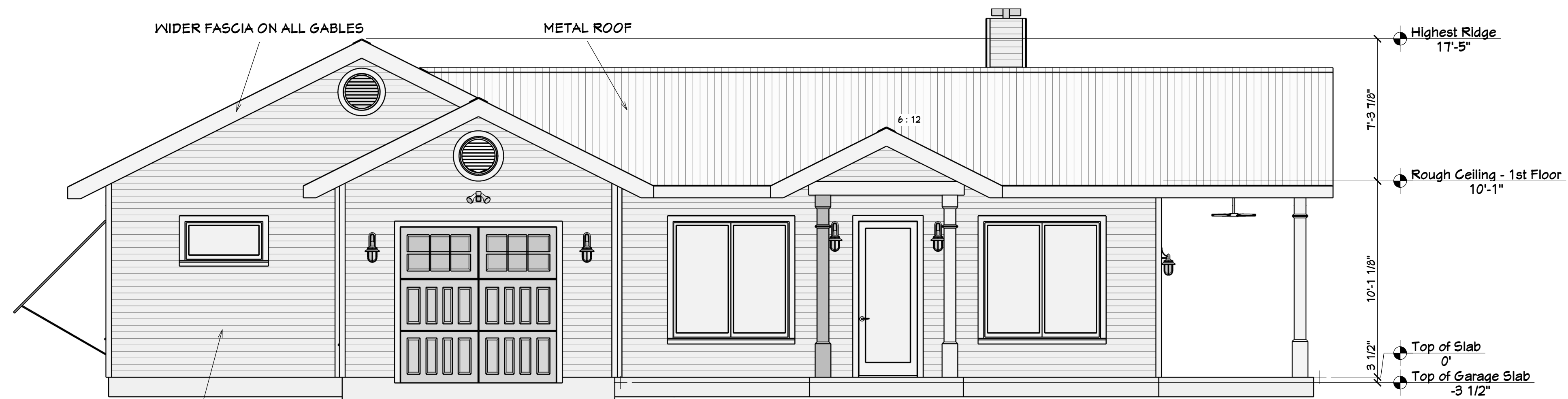
1 FRONT ELEVATION
SCALE: 1/4"=1'



2 REAR ELEVATION
SCALE: 1/4"=1'



3 LEFT ELEVATION
SCALE: 1/4"=1'



4 RIGHT ELEVATION
SCALE: 1/4"=1'

PLANS FOR: BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: ELEVATIONS

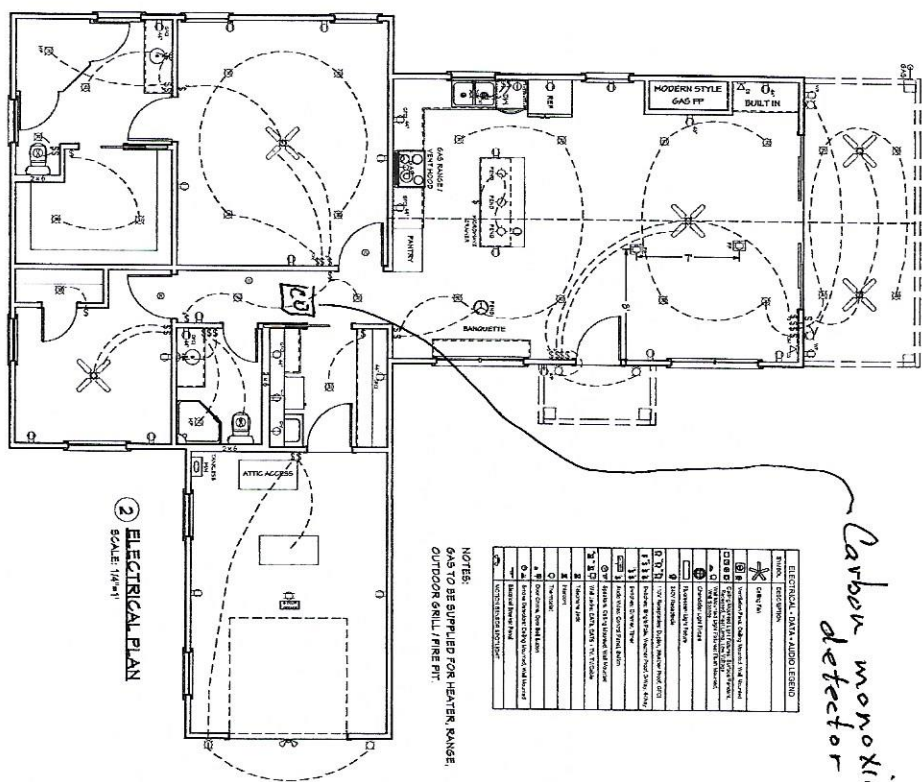
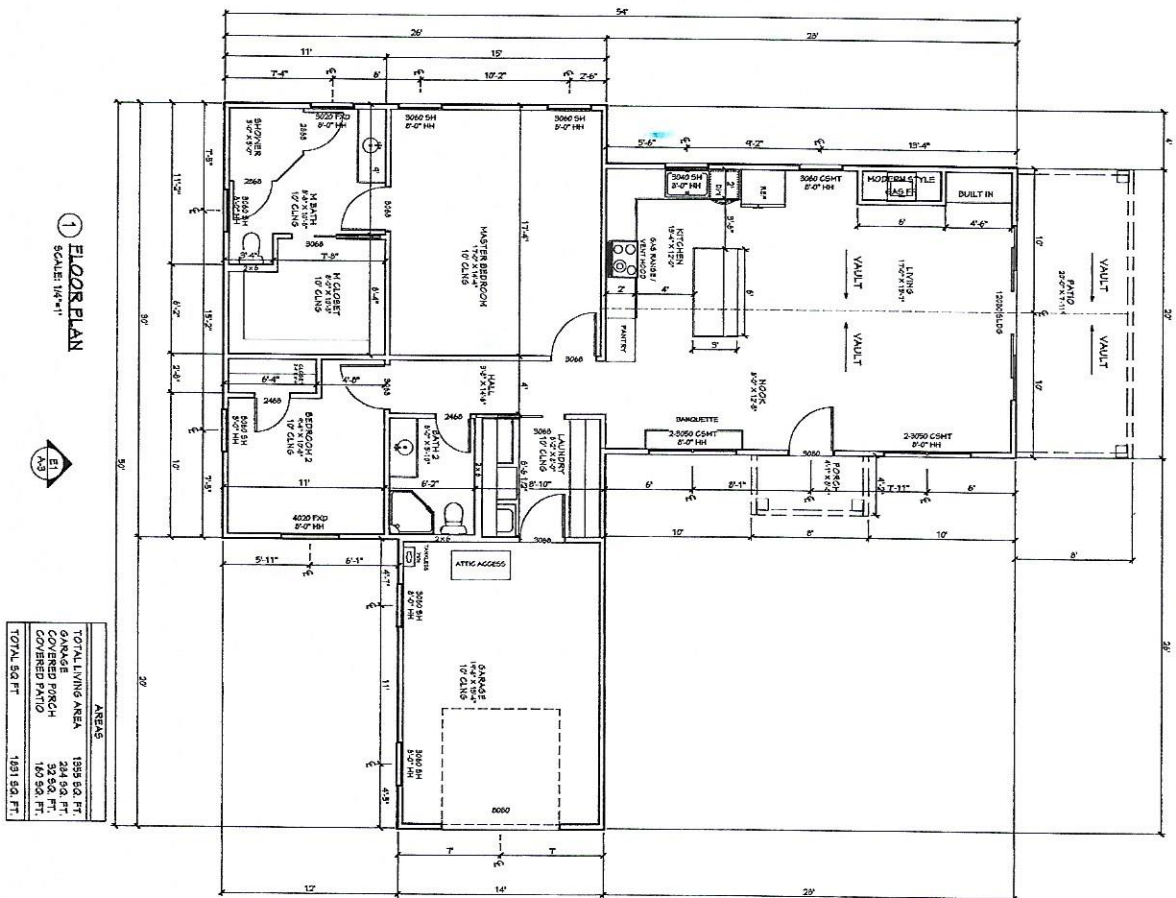
SHANNON NEWSON MARK NEWSON
CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75178
469-338-4863

DATE:
4/15/2020

SCALE:
AS SHOWN

SHEET:

A-3



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
611 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
613 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
615 E Boydston Avenue	Single-Family Home	2016	2,403	N/A	Stone/Siding
619 E Boydston Avenue	Single-Family Home	2017	1,172	N/A	Brick/Stucco
621 E Boydston Avenue	Single-Family Home	2017	1,906	N/A	Brick
627 E Boydston Avenue	Single-Family Home	2018	1,970	N/A	Brick
709 E Boydston Avenue	Single-Family Home	1980	1,120	1,180	Siding
506 Renfro Street	Single-Family Home	1975	1,058	284	Siding
507 Renfro Street	Single-Family Home	1961	1,856	450	Siding
601 Renfro Street	Single-Family Home	1925	1,000	720	Siding
602 Renfro Street	Single-Family Home	1975	1,796	N/A	Siding
605 Renfro Street	Single-Family Home	1975	1,605	192	Siding
606 Renfro Street	Single-Family Home	1925	1,342	N/A	Siding
607 Renfro Street	Single-Family Home	1998	1,520	N/A	Siding
619 Renfro Street	Single-Family Home	2002	1,567	N/A	Siding
701 N TL Townsend Drive	RCAD Indicates Vacant		Subject Property		N/A
703 N TL Townsend Drive	Single-Family Home	1975	934	1,092	Siding
703 E Boydston Avenue	Other	1980	N/A	N/A	N/A
707 S Clark Street	Other	N/A	N/A	N/A	N/A
Averages:		1970	1,380		



611 E Boydston Avenue



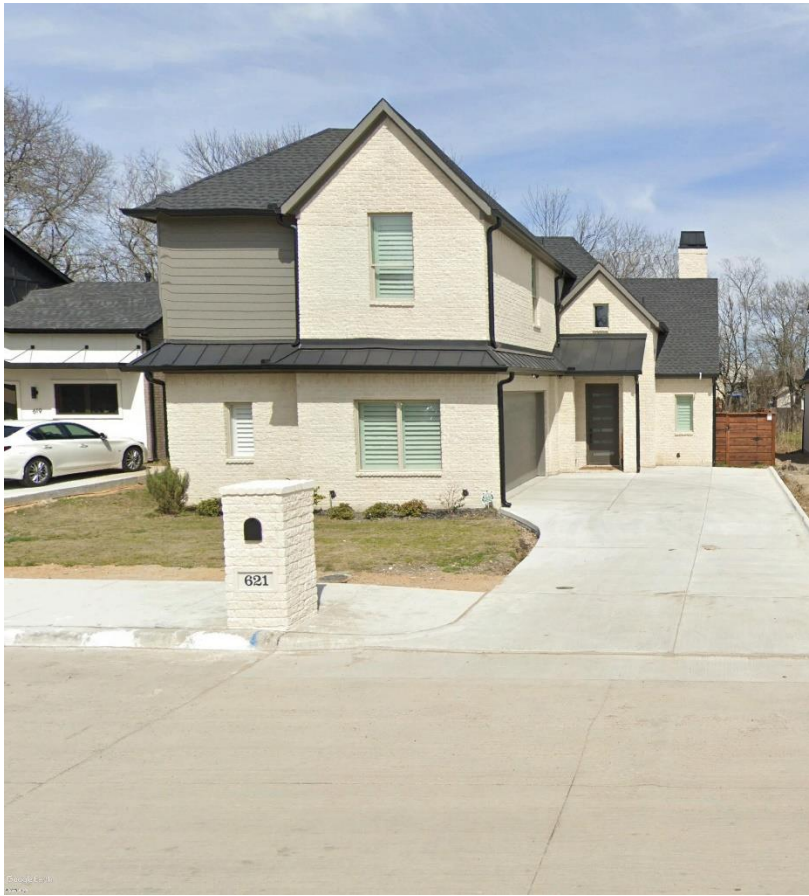
613 E Boydston Avenue



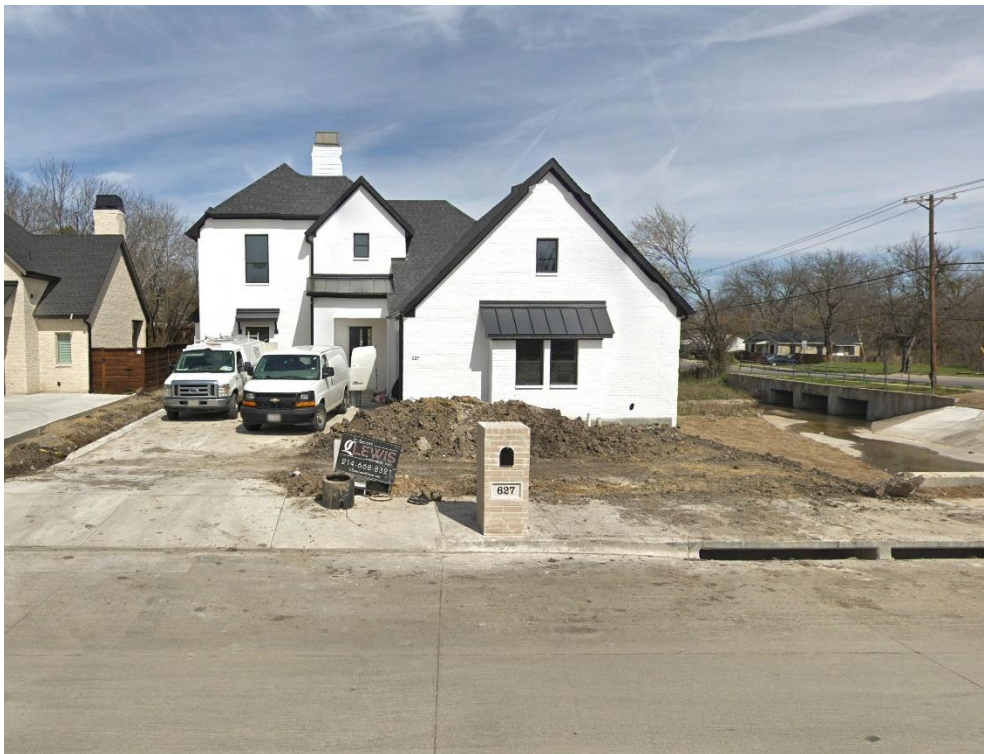
615 E Boydston Avenue



619 E Boydston Avenue



621 E Boydston Avenue



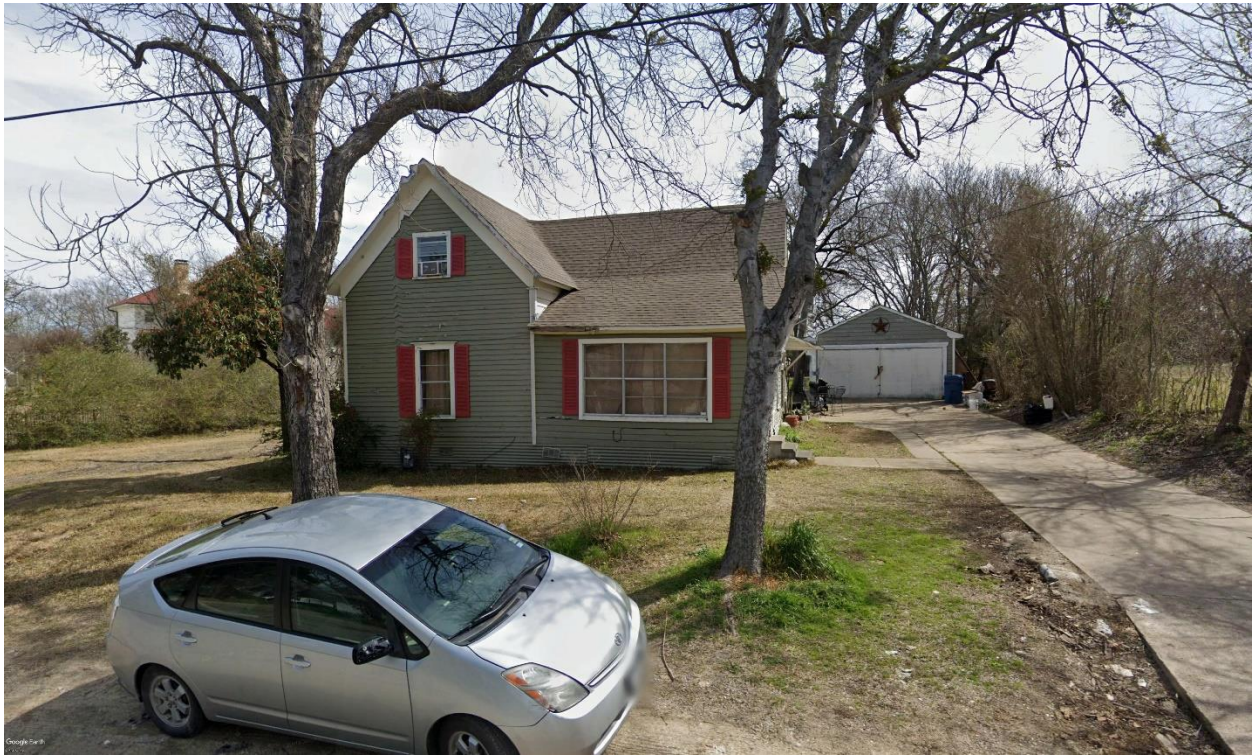
627 E Boydston Avenue



709 E Boydston Avenue



506 Renfro Street



507 Renfro Street



601 Renfro Street



602 Renfro Street



605 Renfro Street



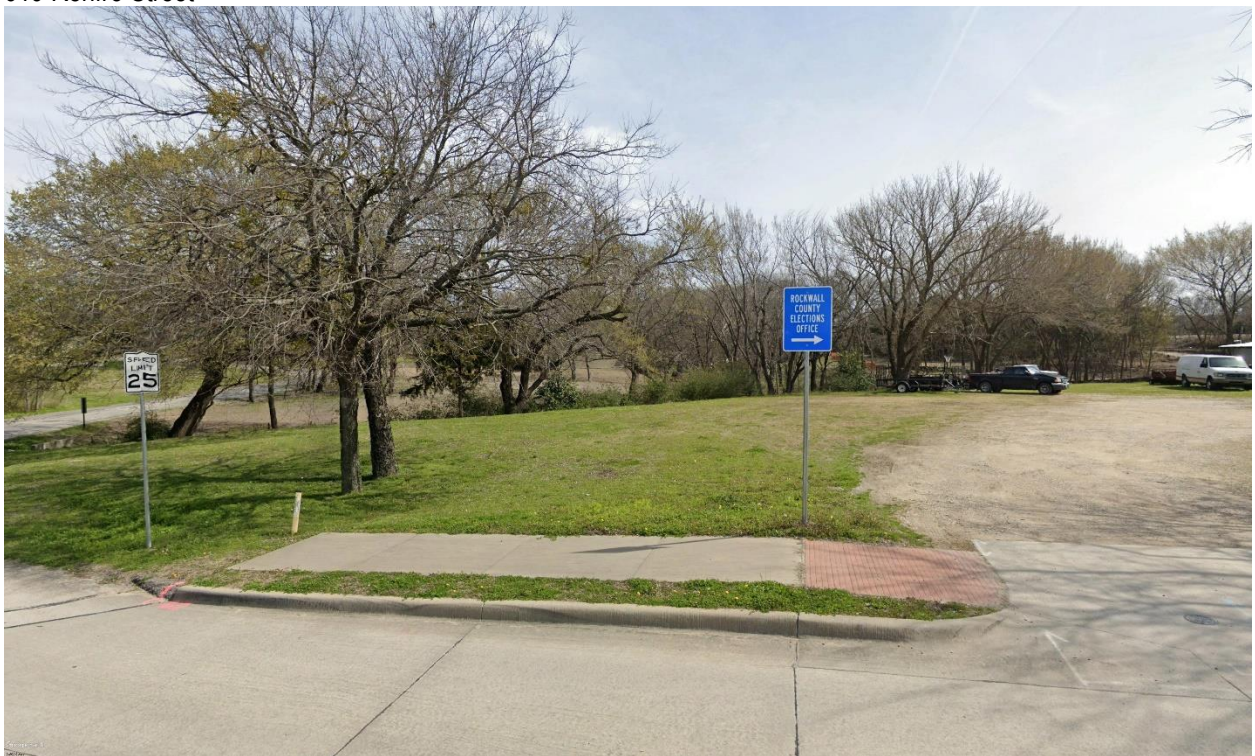
606 Renfro Street



607 Renfro Street



619 Renfro Street



701 N TL Townsend Drive



703 N TL Townsend Drive



703 E Boydston Avenue



707 S Clark Street

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.34-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, RICHARD HARRIS SUBDIVISION #5, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.34-acre tract of land being described as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T.L. Townsend Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home adjacent to established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family*

7 (SF-7) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

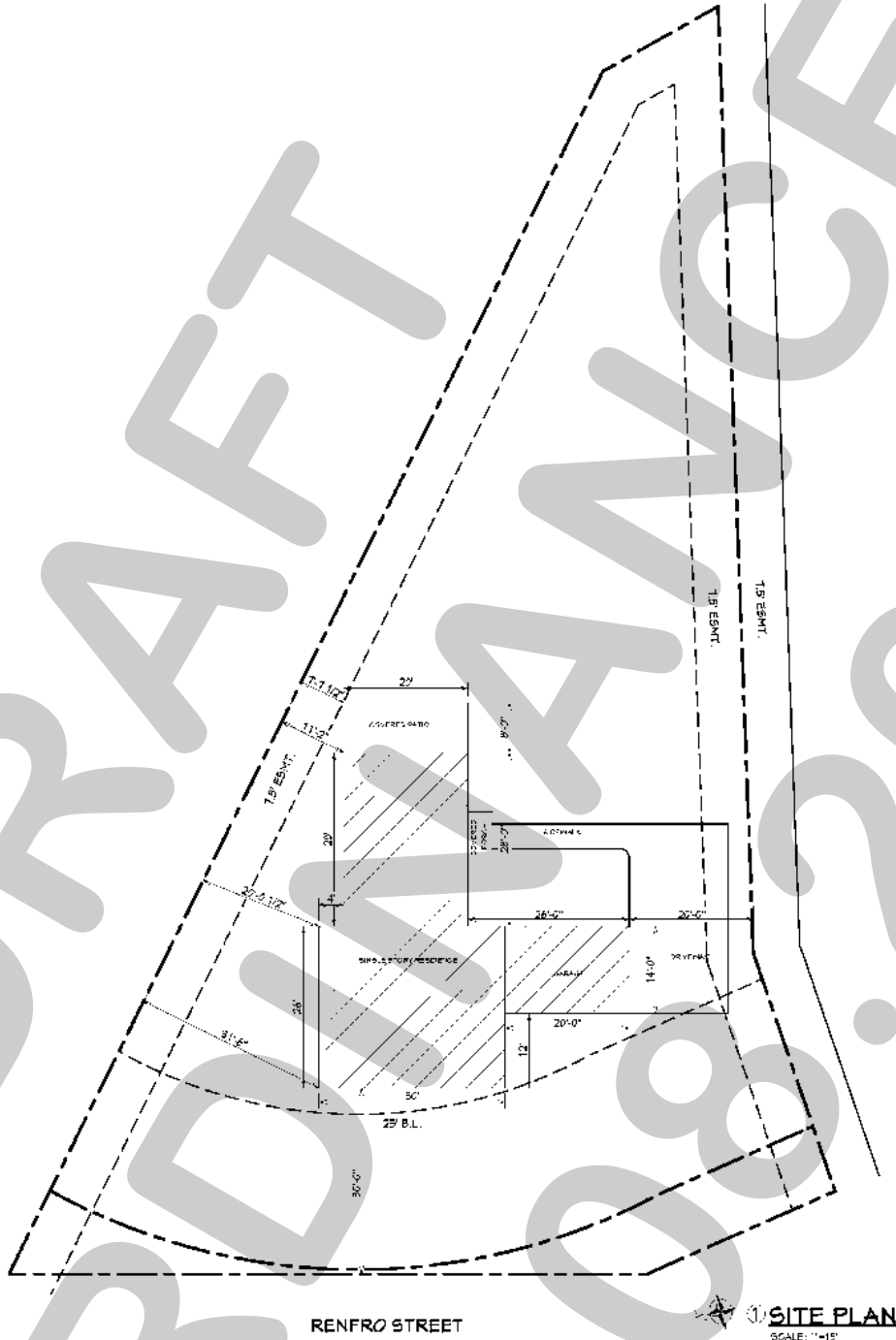
Exhibit 'A'
Location Map and Survey

Address: 701 N. Townsend Drive

Legal Description: Lot 1, Block A, Richard Harris Subdivision #5



Exhibit 'B':
Residential Plot Plan



- NOTE:
1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS

The image displays four architectural elevation drawings of a house, labeled 1 through 4. Each drawing includes specific annotations for materials and construction details.

- 1 FRONT ELEVATION** (Scale: 1/4"=1'-0"): Shows the front facade with a gabled roof. Annotations include "METAL ROOF", "PAINTED SIDING", and "ALL SHUTTERS TO BE HINGED AT TOP AS SHOWN".
- 2 REAR ELEVATION** (Scale: 1/4"=1'-0"): Shows the rear facade with a gabled roof. Annotations include "METAL ROOF" and "PAINTED SIDING".
- 3 LEFT ELEVATION** (Scale: 1/4"=1'-0"): Shows the left side of the house with a gabled roof. Annotations include "METAL ROOF", "PAINTED SIDING", and "WHERE FACIA ON ALL SIDES".
- 4 RIGHT ELEVATION** (Scale: 1/4"=1'-0"): Shows the right side of the house with a gabled roof. Annotations include "METAL ROOF", "PAINTED SIDING", and "WHERE FACIA ON ALL SIDES".

Additional annotations on the drawings include "ALL SHUTTERS TO BE HINGED AT TOP AS SHOWN", "METAL ROOF", "PAINTED SIDING", and "WHERE FACIA ON ALL SIDES".

TITLE: ELEVATIONS

**PLANS FOR: BRENDA KENNEDY
RENTRO STREET
ROCKWALL, TEXAS 75087**

CADAZIGN
2701 COKER
ROCKWALL, TEXAS 75087
469-896-1068

DATE: 4/19/2020
SCALE: AS SHOWN
SHEET: A-3



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: December 21, 2020
APPLICANT: Brenda Kennedy
CASE NUMBER: Z2020-048; *Specific Use Permit (SUP) for a Residential Infill for 701 T. L. Townsend Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. The City's historic zoning maps show that the subject property was zoned Commercial (C) District as of January 3, 1972. Between May 16, 1983 and December 7, 1993, the subject property was rezoned Single-Family 7 (SF-7) District. On June 9, 1986, the City Council approved a final plat (Case No. PZ1986-037-01) establishing the subject property as Lot 1, Block A, Richard Harris #5 Addition. This plat was filed with Rockwall County on October 7, 1986. As part of this plat, the then owner of the subject property -- Richard Harris -- dedicated a 7.5' water line easement running parallel to the southern property line. Based on the reviewed information, the subject property has remained vacant since its incorporation into the City of Rockwall.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 701 T. L. Townsend Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.33-acre vacant tract of land (*i.e. Tract 52 of the R. Ballard Survey, Abstract No. 29*) zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several tracts of land zoned Single-Family 7 (SF-7) District that are currently developed with single-family homes.

South: Directly south of the subject property is a 0.444-acre parcel of land (*i.e. Lot 1, Block A, Richard Harris #6*) zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses. Beyond this is the entry to the Park Place Subdivision and Park Place Boulevard, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this subdivision is a 0.681-acre vacant tract of land (*i.e. Tract 35 of the R. Ballard Survey, Abstract No. 35*) zoned Planned Development District 59 (PD-59) for Residential Office (RO) District land uses. Beyond this is right-of-way owned by the Dallas Garland and New Orleans Railroad (DGNO).

East: Directly east of the subject property is a 0.33-acre vacant tract of land (*i.e. Tract 52 of the R. Ballard Abstract No. 29*) zoned Single-Family District 7 (SF-7) District. Beyond this are two (2) parcels of land (*i.e. Lot 1 & 2 of Renfro Place South Addition*) with single-family homes situated on them. Both parcels of land are zoned Single-Family 7 (SF-7) District. East of this is a 1.883-acre vacant parcel of land owned by the Park Place Homeowners Association, zoned Planned Development District 59 (PD-59) for Single-Family 7 District (SF-7) land uses, and identified as open space on the final plat for this subdivision.

West: Directly west of the subject property is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land (*i.e. Lot 1, Block 1, Allen Hogue Subdivision and Lots 67 & 68, Block B, B. F. Boydston Addition*) zoned Planned Development District 52 (PD-52) for Two-Family District (2F) District land uses. Beyond this is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are seven (7) single-family homes situated on seven (7) parcels of land zoned for Zero Lot Line 5 (ZL-5) District (*i.e. Phase 1 & 2 of the Integrity Addition*).

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within 500-feet of the Harris Subdivision and the B. F. Boydston Subdivision. Both of these subdivisions have been in existence for greater than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on E Boydston Avenue, Renfro Street, and T. L. Townsend Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on E Boydston Avenue, Renfro Street, N. TL Townsend Drive and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face south towards the side property line.
Year Built	1925-2018	N/A
Building SF on Property	934 SF – 2,403 SF	1,831 SF (1,355 SF of Air-Conditioned Space)
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between ten (10) Feet and 20-Feet	25-Feet
Side	The side yard setbacks greater than six (6) feet.	7'-7½"
Rear	The rear yard setbacks are greater than ten (10) feet.	X>10-Feet
Building Materials	Composite Siding, Vinyl Siding, & Brick	HardiBoard Siding
Paint and Color	White, Grey, Brown, Blue, & Green,	White (Primary), Black (Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite (Primary), Metal (Accent)
Driveways/Garages	Driveways all front the same street the single-family home faces.	The garage will be attached (J-Swing) and located 12' behind the façade facing on to T. L. Townsend Drive.

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along E. Boydston Avenue, Renfro Street, and T. L. Townsend Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On November 18, 2020, staff mailed 47 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received four (4) email and three (3) paper notices from six (6) property owners in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On December 8, 2020, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit (SUP) by a vote of 6-1, with Commissioner Conway dissenting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 701 N. T.L. TOWNSEND DRIVE

Subdivision RICHARD HARRIS SUBDIVISION #5

Lot 1 Block A

General Location BETWEEN 619 RENFRO & 703 N. TL TOWNSEND

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF-7

Current Use VACANT

Proposed Zoning SF-7

Proposed Use RESIDENTIAL

Acreage 0.2342

Lots [Current] 1

Lots [Proposed] 1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner Brenda Kennedy

☐ Applicant Brenda Kennedy

Contact Person Brenda Kennedy

Contact Person Brenda Kennedy

Address 1630 Shores Blvd

Address 1630 Shores Blvd

City, State & Zip Rockwall 75087

City, State & Zip ROCKWALL 75087

Phone 214-384-3234

Phone 214-384-3234

E-Mail brenda.kennedy@ebby.com

E-Mail brenda.kennedy@ebby.com

NOTARY VERIFICATION [REQUIRED]

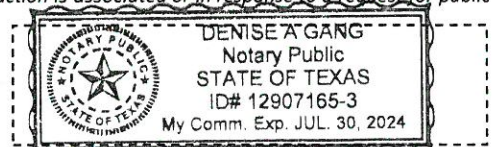
Before me, the undersigned authority, on this day personally appeared Brenda Kennedy [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 30th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 30th day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



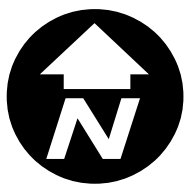
My Commission Expires June 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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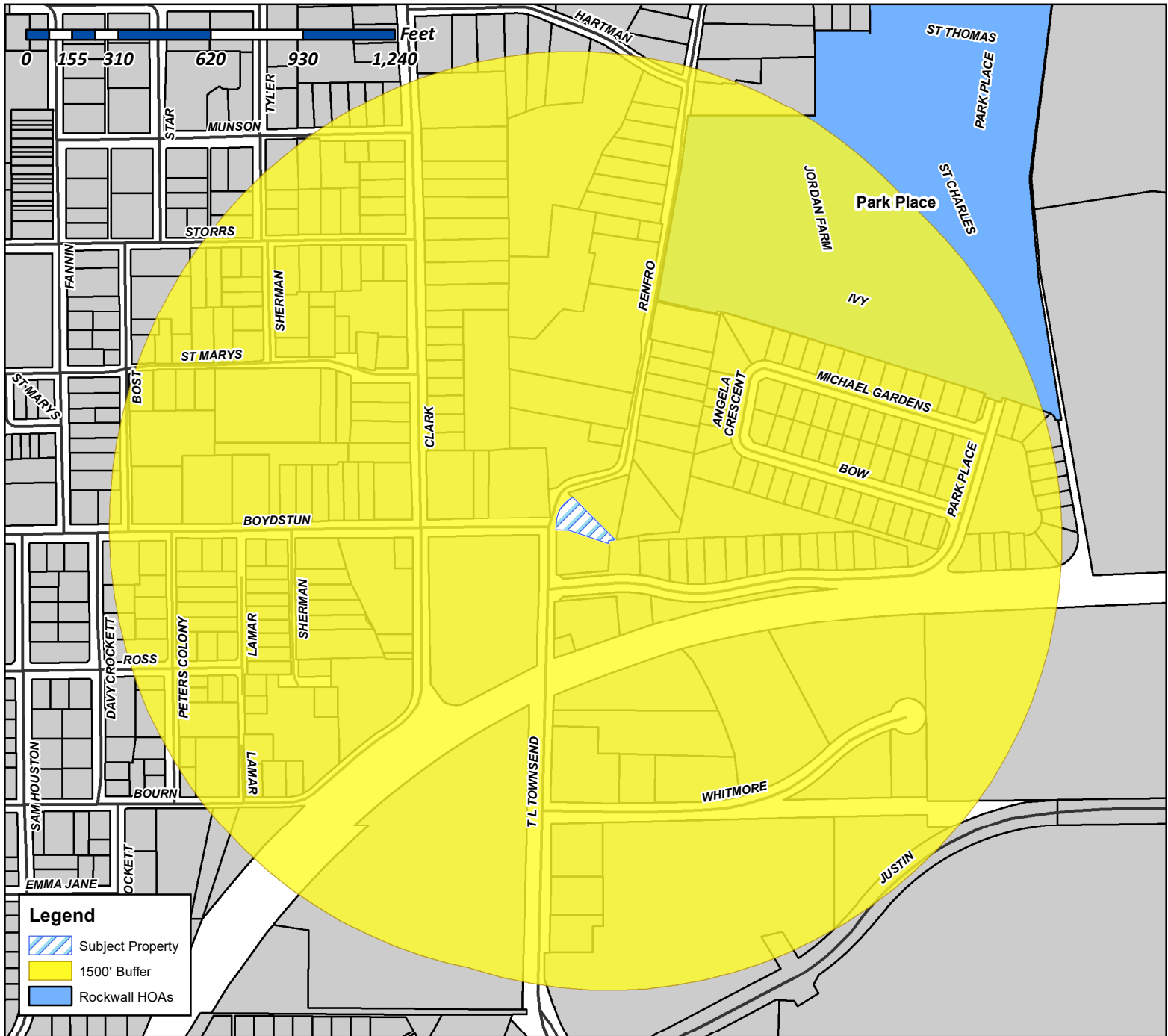




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.12.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-048 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

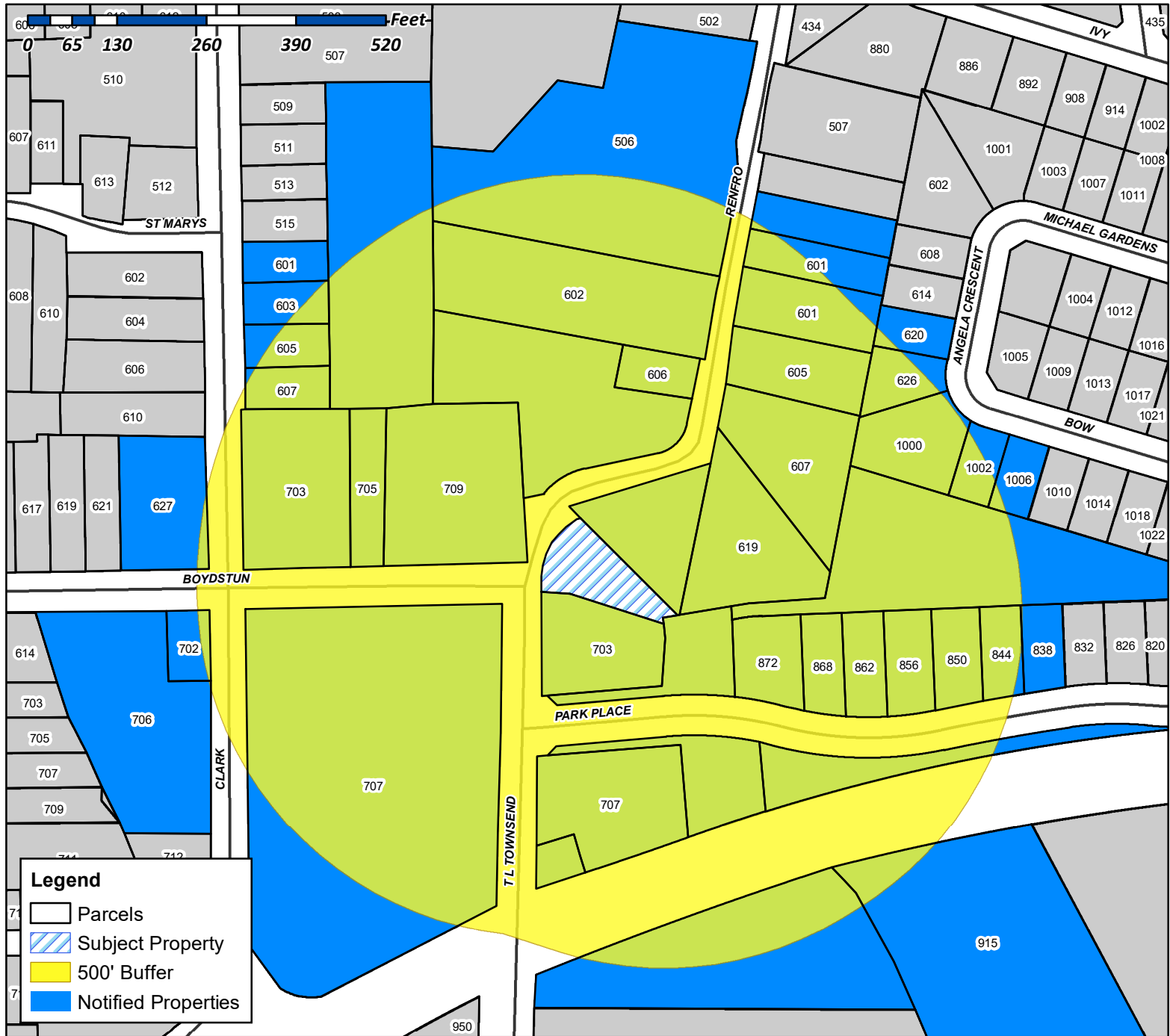
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City of Rockwall

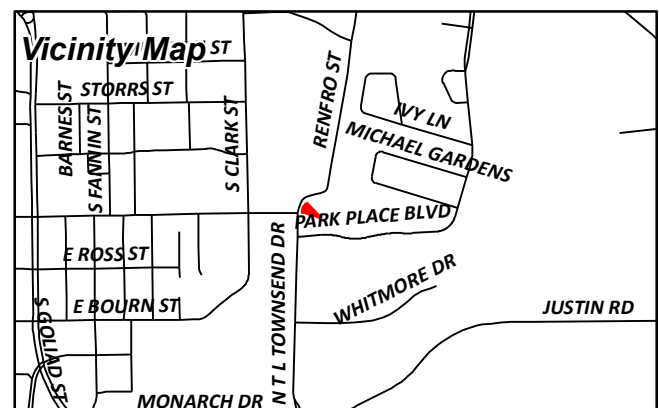
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



KENNEDY BRENDA K
1630 SHORES BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
1000 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1002 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1006 BOW ST
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HARRIS RICHARD & JUDY
210 GLENN AVE
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
4 MANOR CT
HEATH, TX 75032

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
5505 RANGER DR
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
601 RENFRO ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

RIVERA SARA ELIA
603S CLARK ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
606 RENFRO ST
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
607 MOUNTCASTLE DR
ROCKWALL, TX 75087

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
620 ANGELA CRESCENT
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
626 ANGELA CRESCENT
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

HARSTROM STUART & SUSAN
675 DANIELLE CT
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
702 S CLARK ST
ROCKWALL, TX 75087

HARRIS RICHARD & JUDY
703 TOWNSEND DR
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
706 S CLARK ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT COMPANY
707 TOWNSEND
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
707 S CLARK
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA
815 T L TOWNSEND SUITE 101
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
838 PARK PLACE BLVD
ROCKWALL, TX 75087

HARSTROM STUART & SUSAN
844 PARK PLACE BLVD
ROCKWALL, TX 75087

HUSSONG BRETT AND LAUREN
850 PARK PLACE BLVD
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
856 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
862 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
868 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
872 PARK PLACE BLVD
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

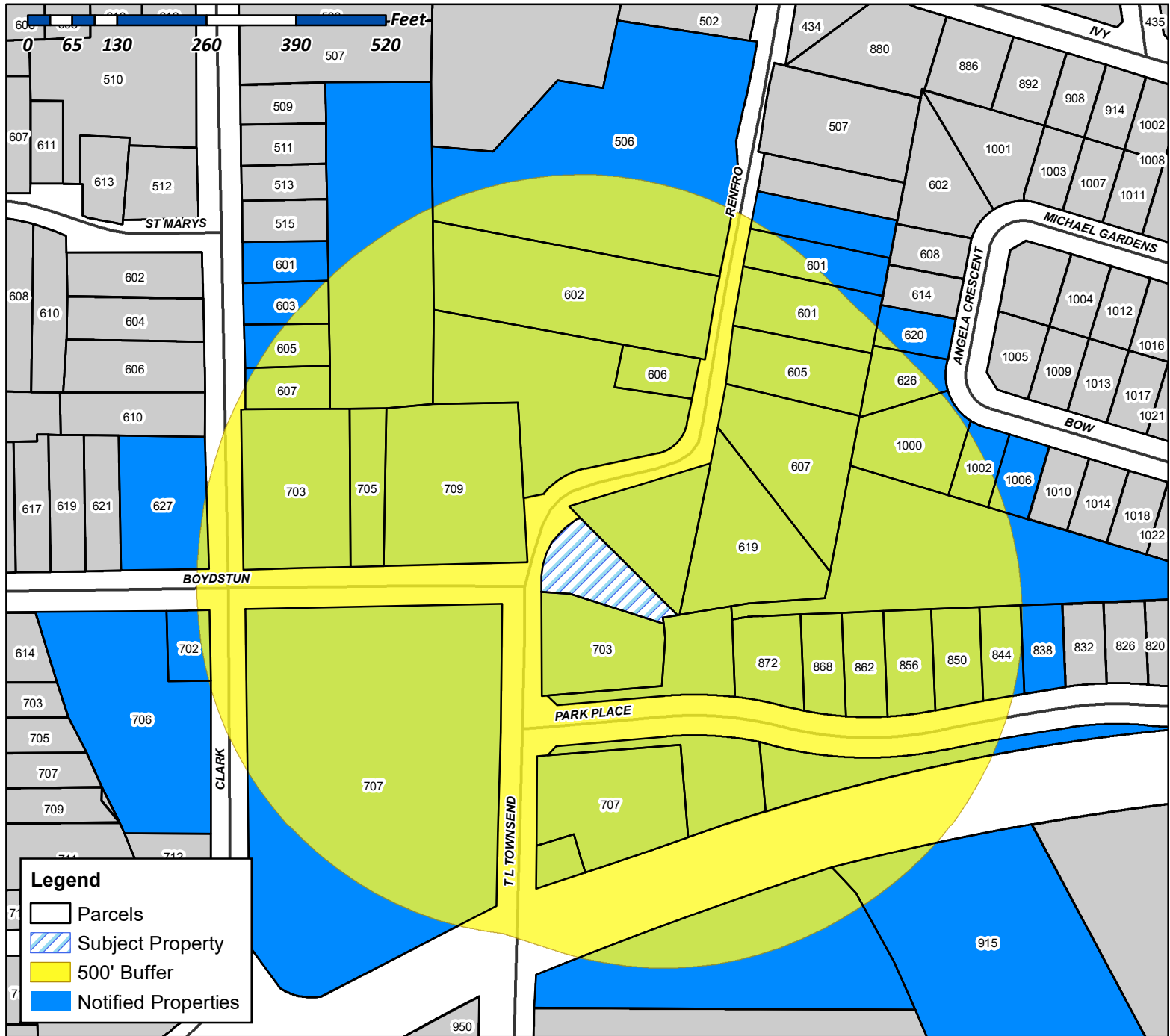
COUNTY OF ROCKWALL
915 WHITMORE
ROCKWALL, TX 75087



City of Rockwall

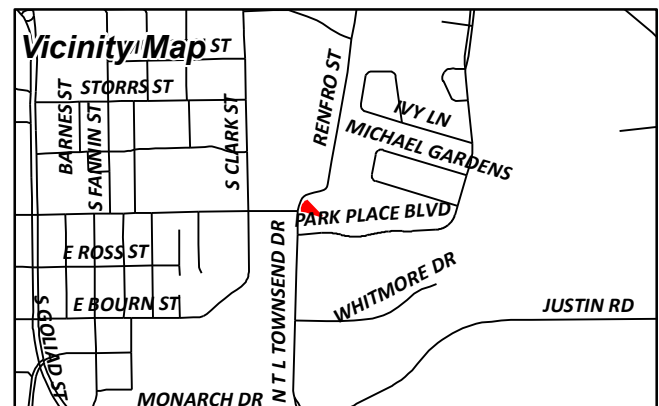
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-048: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-048: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gamez, Angelica

From: bill@colventures.com
Sent: Monday, November 23, 2020 3:11 PM
To: Planning
Subject: Z 2020-48 SUP

The Park Place HOA objects to this application as the front of the house does not face Townsend and so presents a poor image to the street. Park place has work tirelessly to improve the area and we do not feel this orientation is complementary to the area and especially to the house to the south which recently cleaned and renovated. The entrance to Park Place on Townsend is important and the new house should help keep the image being created.

Thanks,

Bill

Bill Bricker

Columbia Development Company, LLC
305 Park Place Blvd.
Rockwall, TX 75087
972-722-2439

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gamez, Angelica

From: wade91805@yahoo.com
Sent: Monday, November 23, 2020 6:52 PM
To: Planning
Subject: 701 N T.L Townsend

I am against the SUP for 701 T. L. Townsend. The front elevation is unacceptable and does not reflect the community. The side that faces the street should be the front of the home. There should be no budget impact to orient the home better.

If I can provide further input please do not hesitate to reach out to me.

Respectfully,
Wade Walker
426 Jordan Farm Circle
Rockwall 75087

Sent from my iPhone

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-048: Specific Use Permit for Residential Infill

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Case No. Z2020-048: Specific Use Permit for Residential Infill

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- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

The "front elevation" appears to be a boarded up shed. That is detrimental to the area and home values. I am sure a better

Name: Bill Bricker

Park Trace

Address: 305 Park Trace Blvd., Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Gamez, Angelica

From: Nicole Cox <nicolecoxdesigns@gmail.com>
Sent: Tuesday, November 24, 2020 9:57 AM
To: Planning
Subject: CASE # Z2020-048

To whom it may concern,

I am opposed to the to the request, case Z2020-048, due to the reasons listed below:

I am concerned with the aesthetics of the "front elevation". If this front elevation design faces Renfro Street this may give an uninviting and industrial appearance versus single home residence. The current front elevation design illustrates 4 same sized windows with Bermuda shutters, shutters hinged at the top vs sides, and a flat facade.

These 3 design elements together illustrate an uninviting and commercial appearance. Bermuda shutters are a beautiful touch, especially on the coast, if done correctly by adding different aesthetics and values and the overall design is copacetic and comprehensive. Long story short, the front elevation does not make any sense, is closed off and is not aesthetically pleasing. Counterintuitive to keeping the integrity of our historic downtown partaing to new single residence builds.

Thank you for your time and consideration.

Sincerely,
Nicole Cox
613 Park Pl Blvd, Rockwall, TX 75087



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Gamez, Angelica

From: gtbrewer4676@cebridge.net
Sent: Friday, November 27, 2020 12:19 PM
To: Planning
Subject: SUP Near Townsend Entrance of Park Place Division, Case No. Z2020-048

Gentlemen: As owners of property in the sub-division of Park Place at Old Town, we wanted to state our opinion on the proposed single family house to be built for Brenda Kennedy, owner, at 701 N. T.L. Townsend Drive, Rockwall. The proposed street facade of the house appears to be in actuality the rear of the house. This is not aesthetically pleasing for the general area, is an inappropriate look, and would deter, in our opinion, from the surrounding properties' values since it is so very near to the entrance of our sub-division. Therefore, we are entering our protest with you and request that the present plan be re-thought to make for a more pleasing and appropriate residential look.

--

Robert and Gayle Brewer
1004 Michael Gardens
Rockwall, TX 75087

"In God We Trust"

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PUBLIC NOTICE



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EMAIL: PLANNING@ROCKWALL.COM

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Director of Planning & Zoning



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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-048: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

I don't have a problem with a home being built at that location, but the design needs to fit the surrounding neighborhood.

Name:

Stuart Harstrom

Address:

844 Park Place Blvd Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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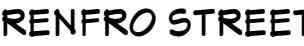
- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

The design of the house does not appear to fit in with the surrounding neighborhood.

Name: Susan Harstrom
Address: 844 Park Place Blvd, Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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① SITE PLAN

SCALE: 1"=15'

NOTE

1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS



ROOF PLAN

SCALE: 1/4"=1'

SHANNON NEWSOM MARK NEWSOM

NON NEWSOM MARK NEWSOM
CADAZIGN

3709 CR 2522
ROYSE CITY, TEXAS 75178

469-338-9863

6) DRAWN BY:

DATE:

4/15/2020

SCALE:

AS SHOWN

SHEET:

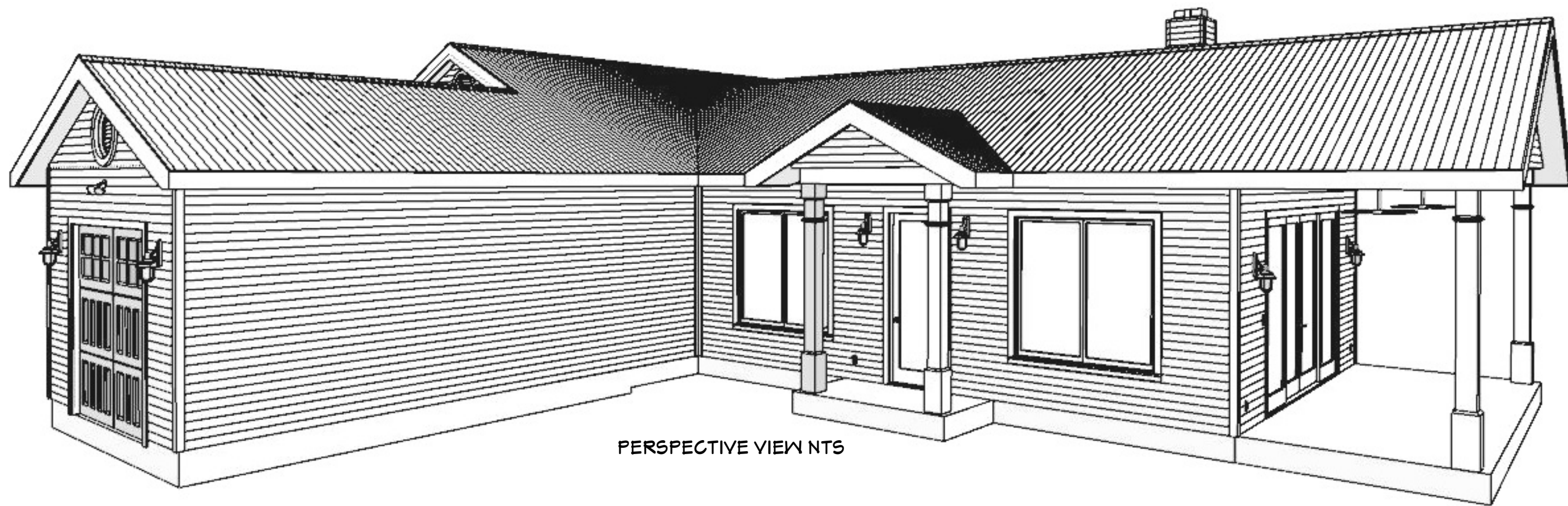
A-2

PLANS FOR:

TITLE: SITE PLAN / ROOF PLAN

BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

KENNEDY RESIDENCE:
BRENDA KENNEDY



PERSPECTIVE VIEW NT5

GENERAL NOTES:

- THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
- DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
- CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTORS PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
- ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
- CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
- DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
- SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
- CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

- ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
- ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
- SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
- DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
- WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
- FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	ELEVATIONS
A-4	FLOOR PLAN / ELECTRICAL PLAN

PLANS FOR:

BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: COVER PAGE

SHANNON NEWSON MARK NEWSON

CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75119
469-538-4863

DRAWN BY:

DATE:

4/15/2020

SCALE:

AS SHOWN

SHEET:

A-1

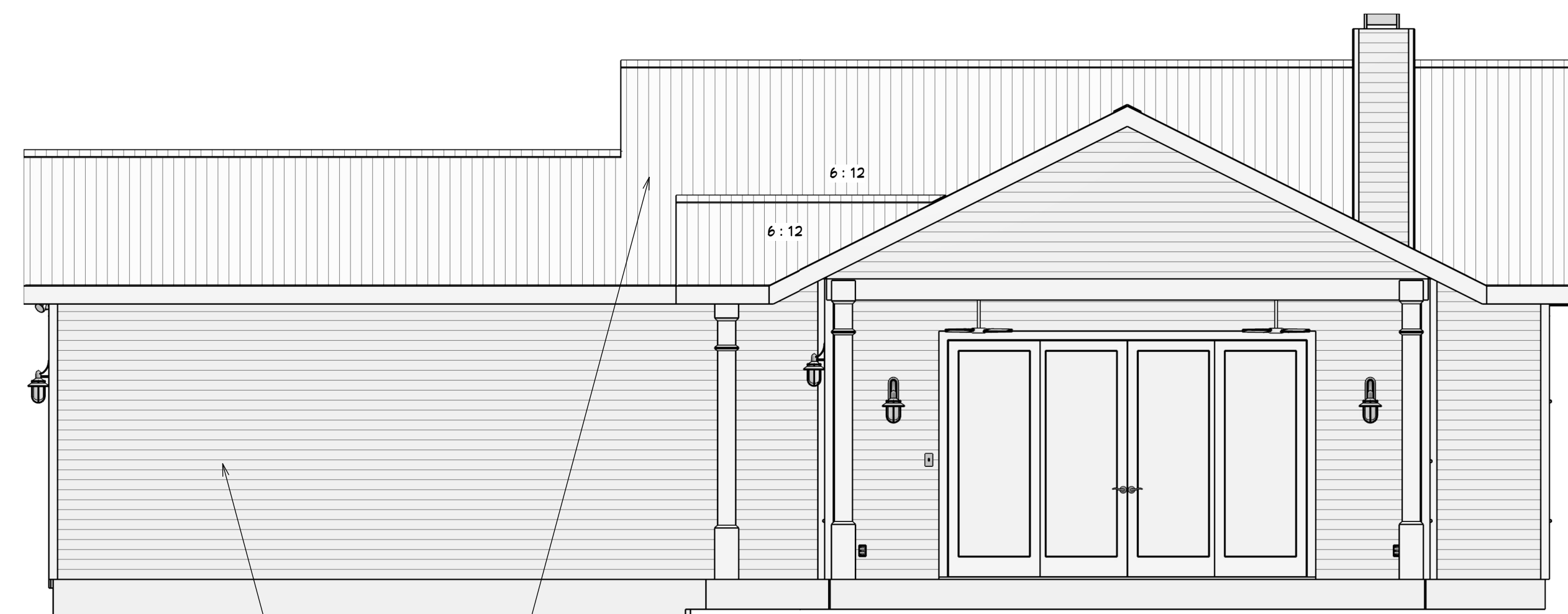


ALL SHUTTERS TO BE
HINGED AT TOP AS SHOWN

PAINTED SIDING

METAL ROOF

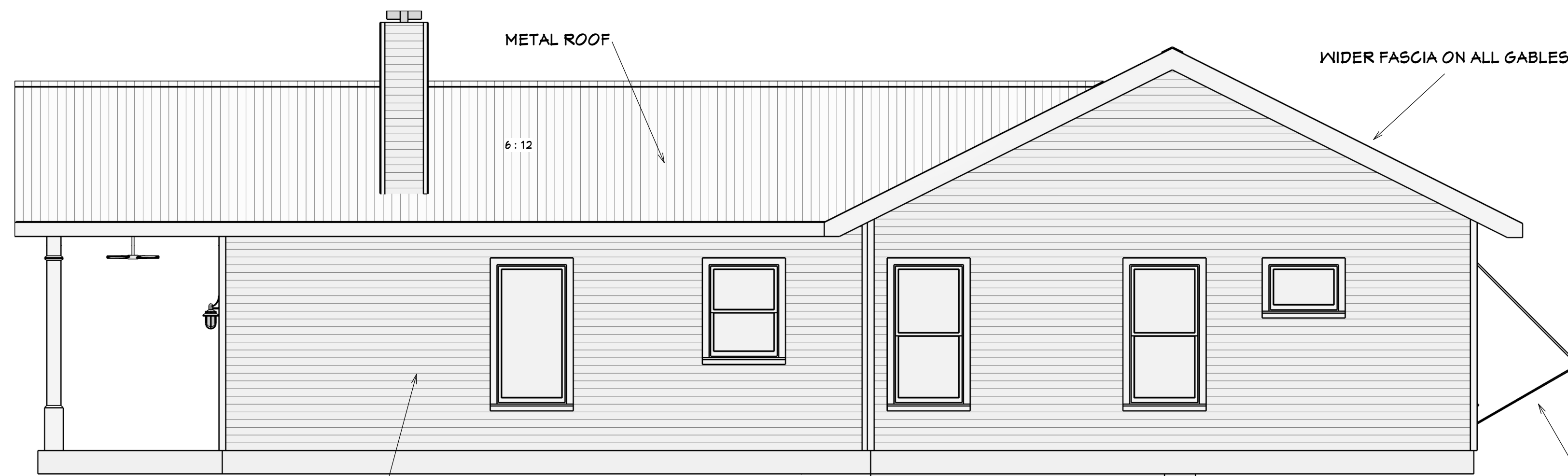
1 FRONT ELEVATION
SCALE: 1/4"=1'



PAINTED SIDING

METAL ROOF

2 REAR ELEVATION
SCALE: 1/4"=1'

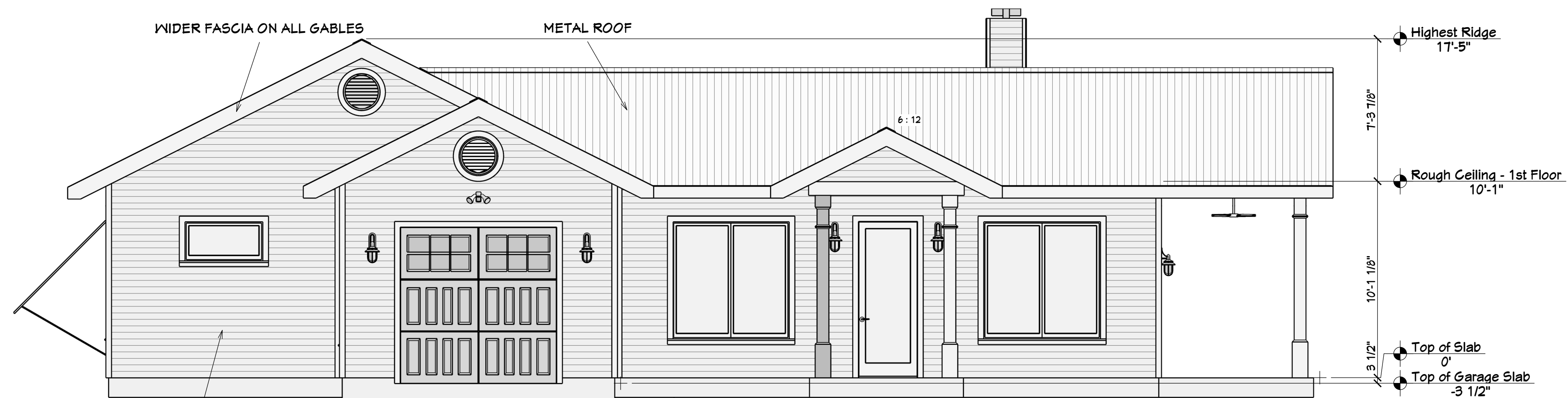


PAINTED SIDING

METAL ROOF

WIDER FASCIA ON ALL GABLES

3 LEFT ELEVATION
SCALE: 1/4"=1'



PAINTED SIDING

WIDER FASCIA ON ALL GABLES

METAL ROOF

ALL SHUTTERS TO BE
HINGED AT TOP AS SHOWN

4 RIGHT ELEVATION
SCALE: 1/4"=1'

Highest Ridge
17'-5"

Rough Ceiling - 1st Floor
10'-1"

Top of Slab
0'

Top of Garage Slab
-3 1/2"

PLANS FOR: BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: ELEVATIONS

SHANNON NEWSON MARK NEWSON
CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75178
469-338-4863

DRAWN BY:

DATE:
4/15/2020

SCALE:
AS SHOWN

SHEET:

A-3

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
611 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
613 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
615 E Boydston Avenue	Single-Family Home	2016	2,403	N/A	Stone/Siding
619 E Boydston Avenue	Single-Family Home	2017	1,172	N/A	Brick/Stucco
621 E Boydston Avenue	Single-Family Home	2017	1,906	N/A	Brick
627 E Boydston Avenue	Single-Family Home	2018	1,970	N/A	Brick
709 E Boydston Avenue	Single-Family Home	1980	1,120	1,180	Siding
506 Renfro Street	Single-Family Home	1975	1,058	284	Siding
507 Renfro Street	Single-Family Home	1961	1,856	450	Siding
601 Renfro Street	Single-Family Home	1925	1,000	720	Siding
602 Renfro Street	Single-Family Home	1975	1,796	N/A	Siding
605 Renfro Street	Single-Family Home	1975	1,605	192	Siding
606 Renfro Street	Single-Family Home	1925	1,342	N/A	Siding
607 Renfro Street	Single-Family Home	1998	1,520	N/A	Siding
619 Renfro Street	Single-Family Home	2002	1,567	N/A	Siding
701 N TL Townsend Drive	RCAD Indicates Vacant		Subject Property		N/A
703 N TL Townsend Drive	Single-Family Home	1975	934	1,092	Siding
703 E Boydston Avenue	Other	1980	N/A	N/A	N/A
707 S Clark Street	Other	N/A	N/A	N/A	N/A
Averages:		1970	1,380		



611 E Boydston Avenue



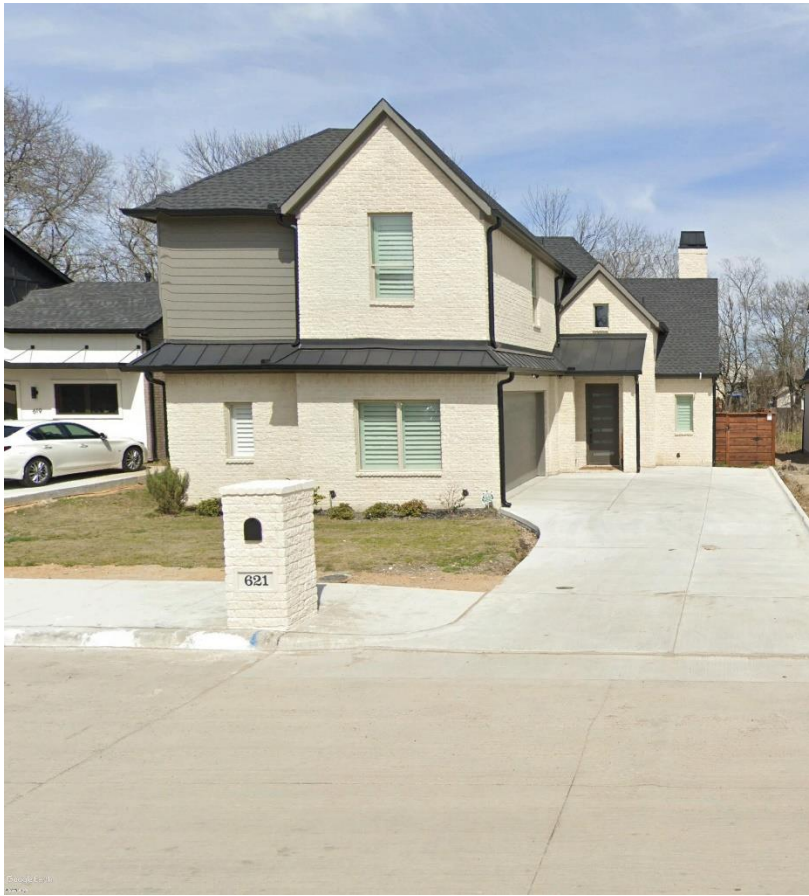
613 E Boydston Avenue



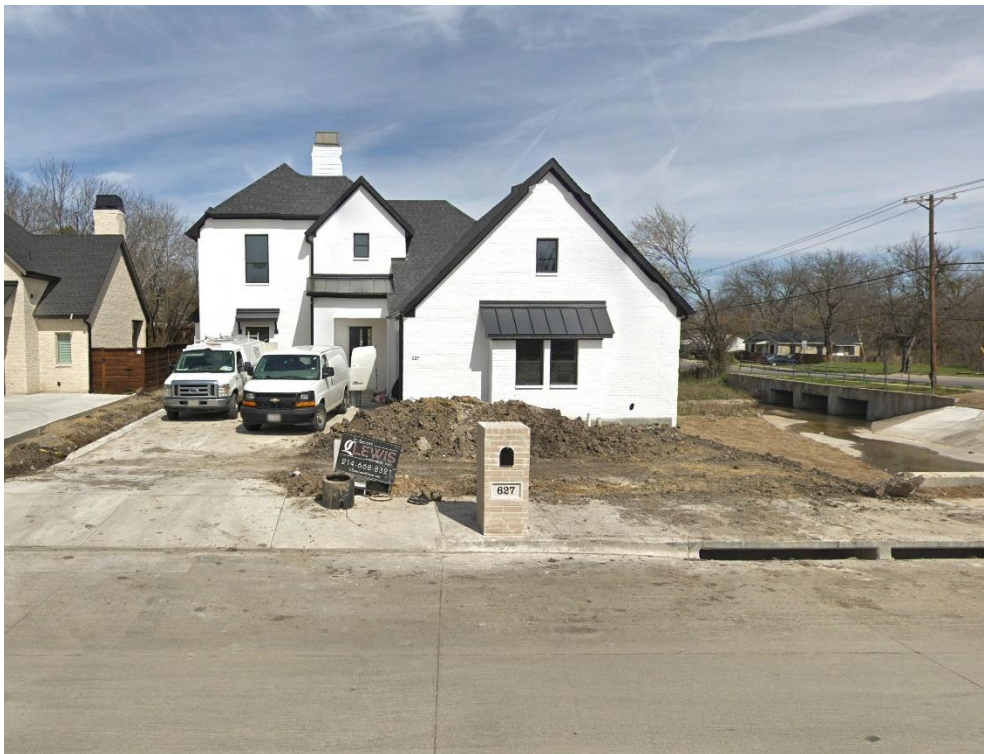
615 E Boydston Avenue



619 E Boydston Avenue



621 E Boydston Avenue



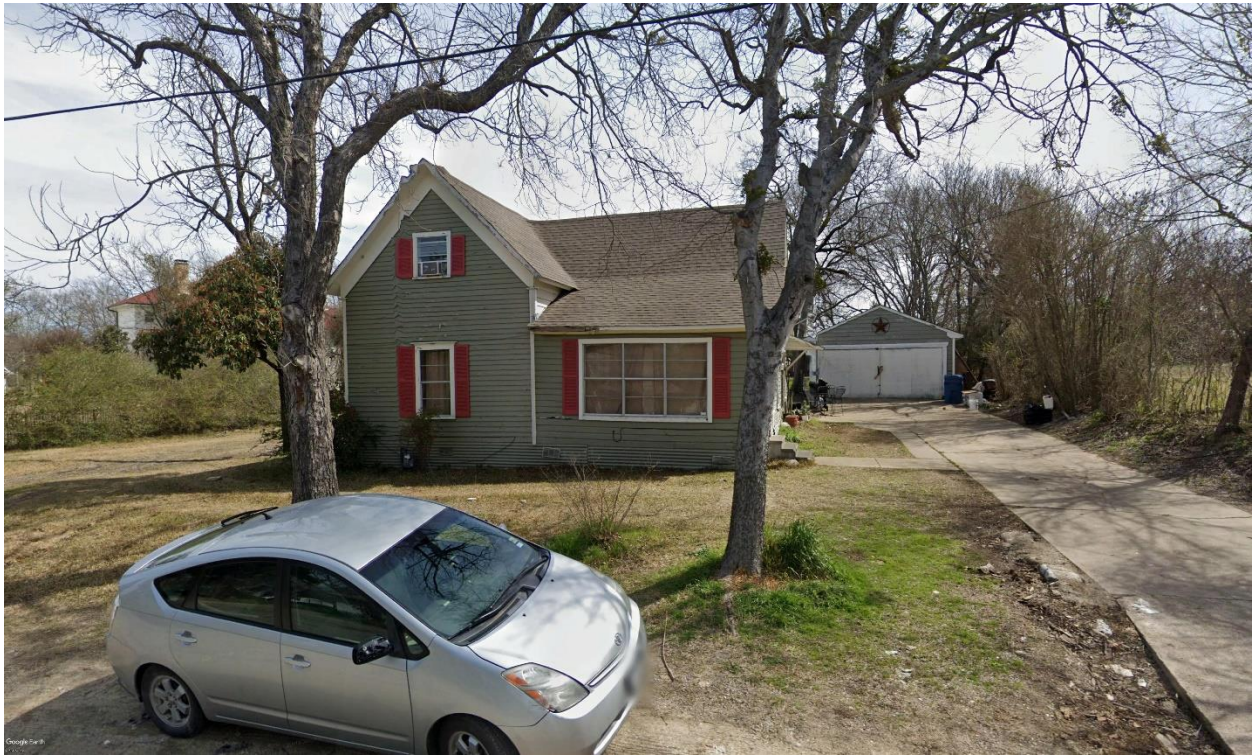
627 E Boydston Avenue



709 E Boydston Avenue



506 Renfro Street



507 Renfro Street



601 Renfro Street



602 Renfro Street



605 Renfro Street



606 Renfro Street



607 Renfro Street



619 Renfro Street



701 N TL Townsend Drive



703 N TL Townsend Drive



703 E Boydston Avenue



707 S Clark Street

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.34-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, RICHARD HARRIS SUBDIVISION #5, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.34-acre tract of land being described as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T.L. Townsend Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home adjacent to established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family*

7 (SF-7) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

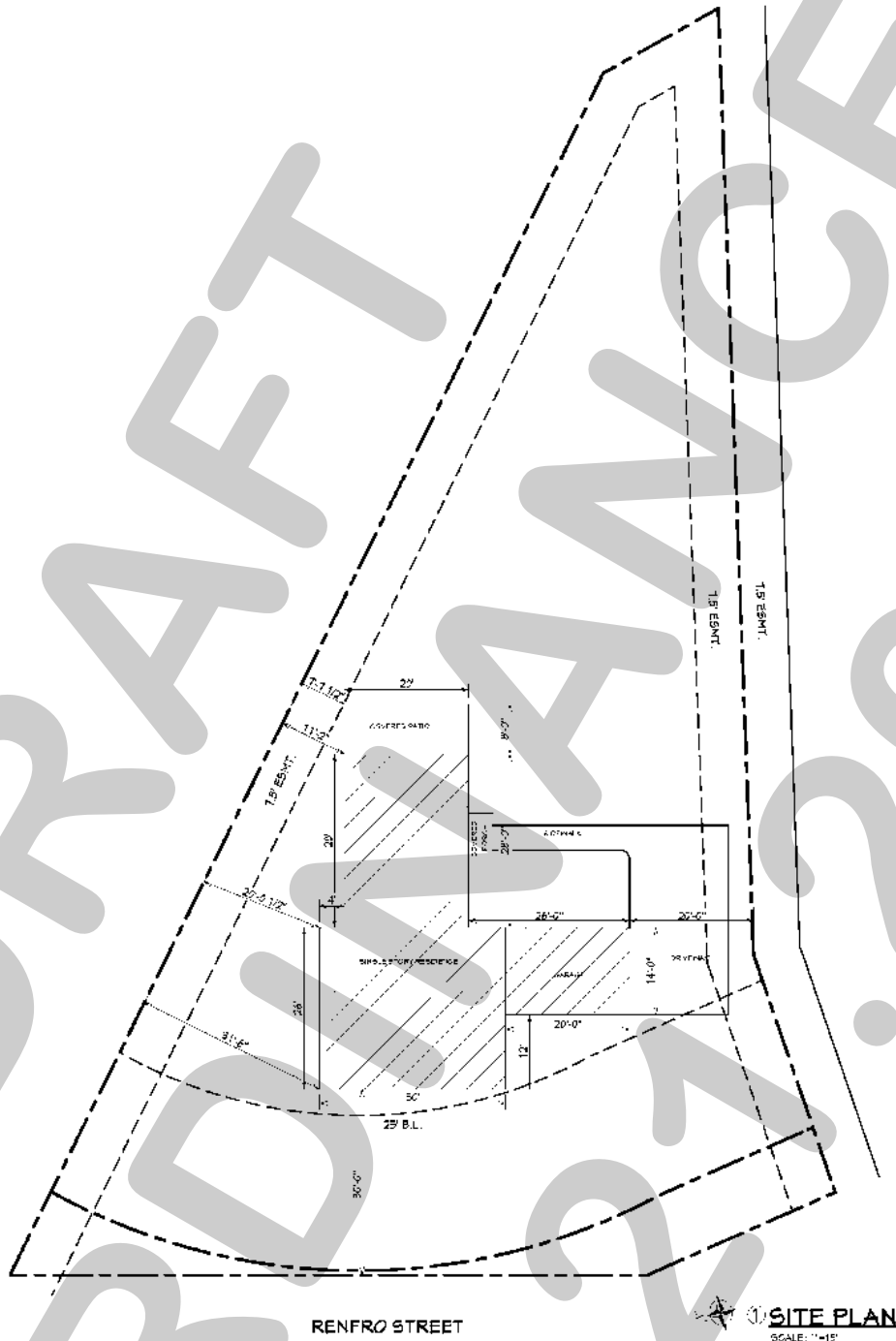
Exhibit 'A'
Location Map and Survey

Address: 701 N. Townsend Drive

Legal Description: Lot 1, Block A, Richard Harris Subdivision #5



Exhibit 'B':
Residential Plot Plan



- NOTE:
1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS

[illegible]



January 27, 2021

TO: Brenda Kennedy
1630 Shores Boulevard
Rockwall, TX 75087

FROM: Henry Lee, *Planner*
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2020-048; *Specific Use Permit (SUP) for 701 N T.L. Townsend Drive*

Brenda Kennedy:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was approved by the City Council on January 4, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On December 8, 2020, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit (SUP) by a vote of 6-1, with Commissioner Conway dissenting.

City Council

On January 4, 2021, the City Council approved a motion to approve the Specific Use Permit (SUP) for a residential infill for the purpose of constructing a single-family home by a vote of 6-0, with Mayor Pruitt absent.

Included with this letter is a copy of Ordinance No. 21-02, S-238, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 771-7745.

Sincerely,

Henry Lee
Planner

CITY OF ROCKWALL

ORDINANCE NO. 21-02

SPECIFIC USE PERMIT NO. S-238

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.34-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, RICHARD HARRIS SUBDIVISION #5, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.34-acre tract of land being described as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T.L. Townsend Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

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SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

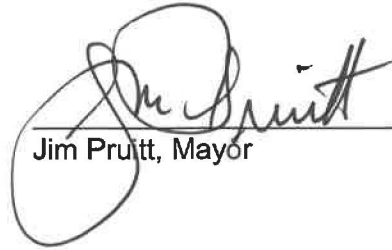
SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**


Jim Pruitt, Mayor

ATTEST:


Kristy Cole, City Secretary

APPROVED AS TO FORM:


Frank J. Garza, City Attorney



1st Reading: December 21, 2020

2nd Reading: January 4, 2021

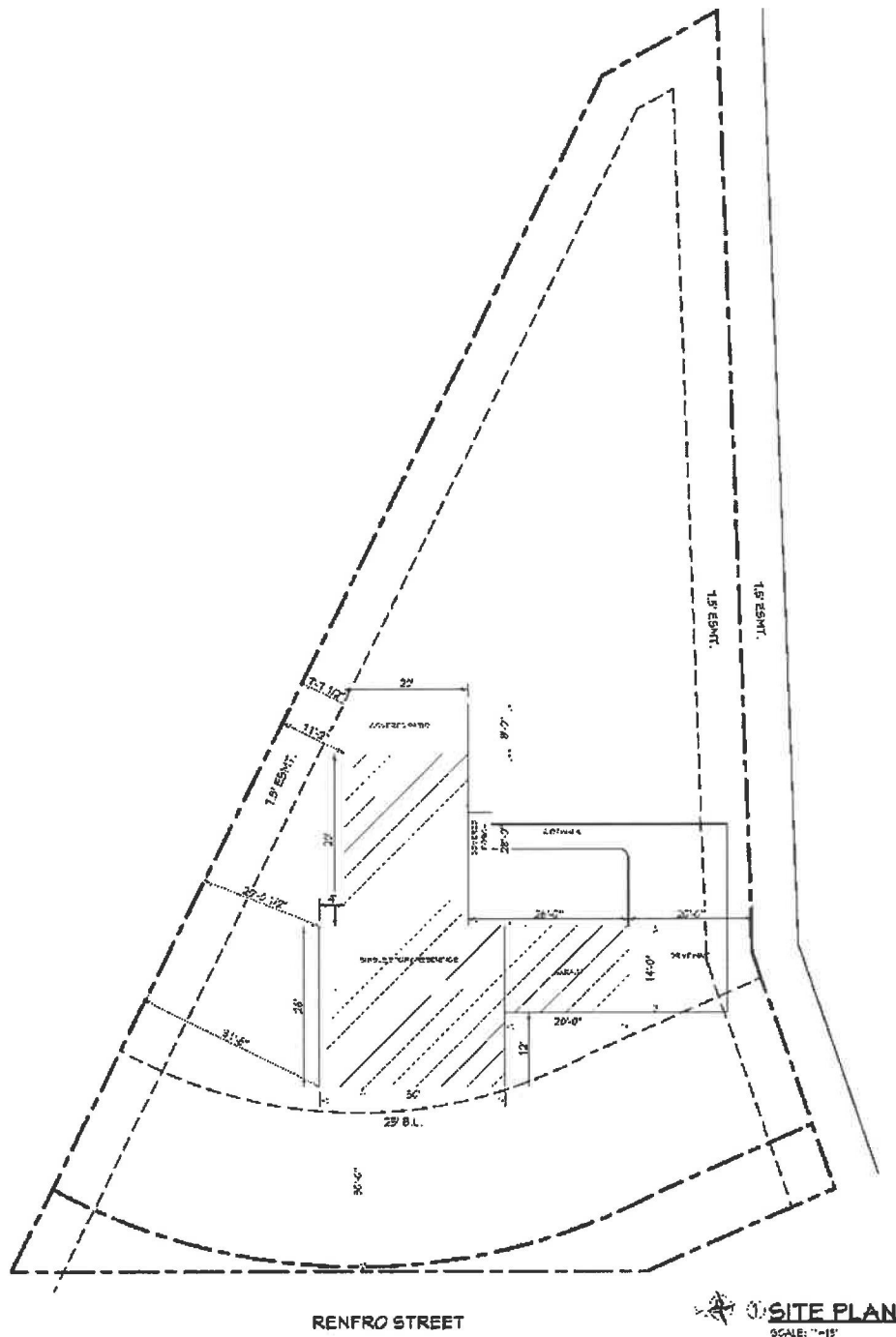
Exhibit 'A'
Location Map and Survey

Address: 701 N. Townsend Drive

Legal Description: Lot 1, Block A, Richard Harris Subdivision #5



Exhibit 'B':
Residential Plot Plan



NOTE:

1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CAJAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
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3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS

Exhibit 'C': Building Elevations

