



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22021-003 P&Z DATE 2/9/21 CC DATE 2/10/21 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input checked="" type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input checked="" type="checkbox"/> HOA MAP
<input checked="" type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-003

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 S. Clark Street Rockwall, TX 75087

SUBDIVISION J.E. HARRIS SUBDIVISION

LOT 6

BLOCK _____

GENERAL LOCATION DOWNTOWN 2 NEIGHBORHOOD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING TWO-FAMILY (2F)

CURRENT USE VACANT

PROPOSED ZONING _____

PROPOSED USE TWO-FAMILY (DUPLEX)

ACREAGE 0.16 LOTS [CURRENT]

1 LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Castro Development LLC

APPLICANT _____

CONTACT PERSON Jason Castro

CONTACT PERSON _____

ADDRESS 16424 FALLKIRK DRIVE

ADDRESS _____

CITY, STATE & ZIP DALLAS, TX 75248

CITY, STATE & ZIP _____

PHONE 214.232.2750

PHONE _____

E-MAIL jason@castropropertygroup.com

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

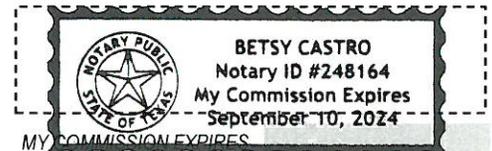
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jason Castro [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF January, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____



Object & Architecture

Ryan Withrow, Architect
4815 Terry Street
Dallas, Texas 75223
214 240 1995
ryan@obj-arc.com
www.obj-arc.com

January 15, 2020

Castro - Clark Duplex
511 S. Clark Street
Rockwall, TX 75087

City of Rockwall,

We are proposing the development of a duplex residence (two single family units separated by a 1-hour rated wall running from foundation to the underside of the roof decking) on a vacant lot within a district that is currently zoned for two-family residences.

The new duplex residence is proposed to be a total of 3,194 sqft of conditioned area with a two car garage. Unit One is 2,023 sqft of conditioned area and Unit Two is 1,171 sqft of conditioned area. The smaller unit will have two bedrooms and two full bathrooms, an open living/kitchen/dining area, and a utility room. The larger unit will have three bedrooms, two full bathrooms, a powder bath, an office/flex space, an open living/kitchen/dining area, and a utility room.

The residence will have a Texas Modern style utilizing durable fiber cement lap siding and fiber cement board and batten siding and asphalt shingle roofing. The dwellings will meet the 2015 IECC with a minimum of R-19 batt insulation in the exterior walls, R-38 insulation at the roof, and windows with proposed U-value of 0.33 and an SHGC of 0.26.

I hope that you find this application to be complete and satisfactory. If you have any questions about the information above, please feel free to contact me.

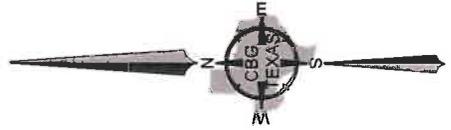
Sincerely,

Ryan Withrow, Architect
Object & Architecture PLLC
TBAE License #26945

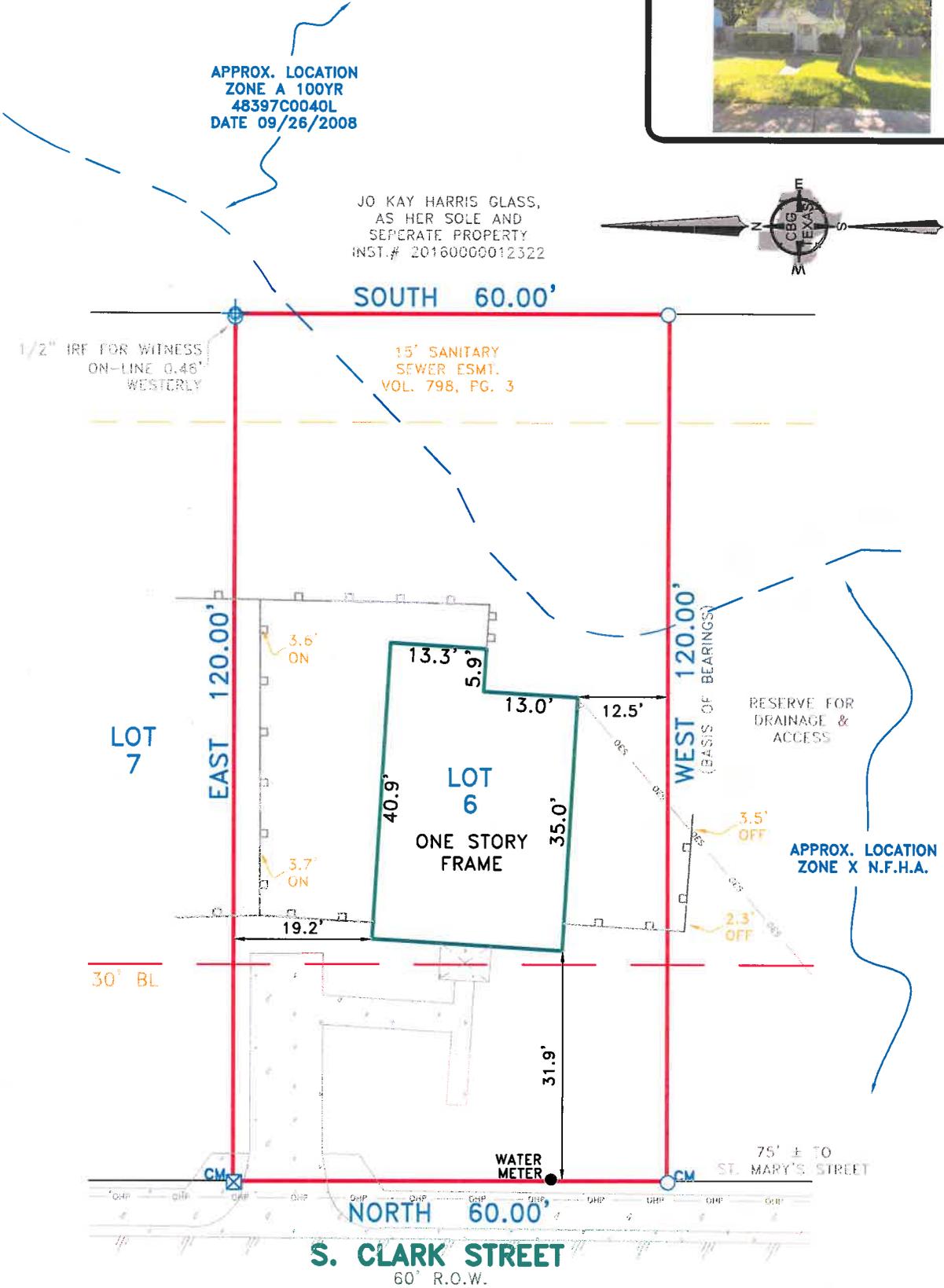


511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY, an Addition in Rockwall County, Texas, according to the Map or Plat recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat Records of Rockwall County, Texas.



- LEGEND**
- 1/2" ROD FOUND
 - ⊗ 1/2" ROD SET
 - 1" PIPE FOUND
 - ⊠ "X" FOUND/SET
 - ⊗ 5/8" ROD FOUND
 - ◆ POINT FOR CORNER FENCE POST FOR CORNER
 - CONTROLLING MONUMENT
 - CM AIR CONDITIONER
 - AC POOL EQUIPMENT
 - PE TRANSFORMER PAD
 - TE COLUMN
 - POWER POLE
 - ▲ UNDERGROUND ELECTRIC
 - △ OVERHEAD ELECTRIC
 - OHP— OVERHEAD ELECTRIC POWER
 - OES— OVERHEAD ELECTRIC SERVICE
 - CHAIN LINK
 - WOOD FENCE 0.5' WIDE TYPICAL
 - IRON FENCE
 - X— BARBED WIRE
 - DOUBLE SIDED WOOD FENCE
 - /— EDGE OF ASPHALT
 - /— EDGE OF GRAVEL
 - CONCRETE
 - COVERED AREA
 - BRICK
 - STONE



EXCEPTIONS:

Accepted by: _____
 Purchaser

Date: _____
 Purchaser

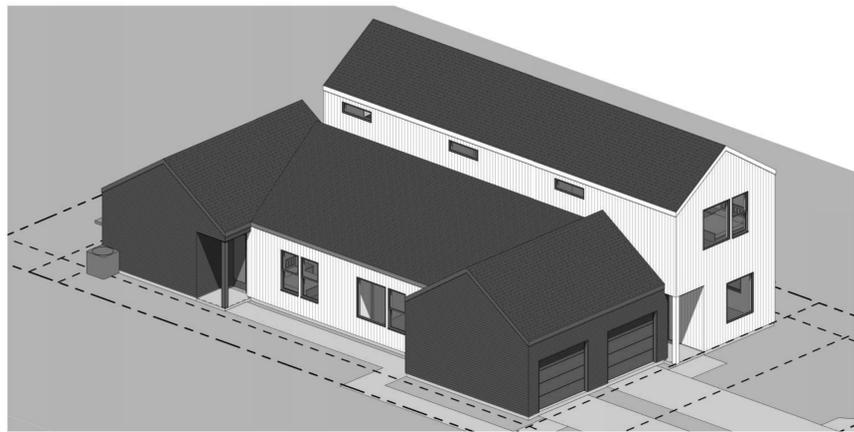
NOTES:
 NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
 FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Capital Title. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JAI/CAJ
 Scale: 1" = 20'
 Date: 7-30-2020
 GF No.: 20-509065-RL
 Job No. 2013905

CBG SURVEYING TEXAS LLC
 12025 Shiloh Road, Ste. 240
 Dallas, TX 75228
 P 214.349.9485
 F 214.349.2216
 Firm No. 10168800
 www.obgtxl.com

STATE OF TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR
TODD FINCHER
 5633
 R.P.L.S. NO. 5633



Axo 1



Axo 2

GENERAL PROJECT NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
2. THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
3. ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
5. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
6. DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
7. AS REQUIRED BY THE IRODALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STENCILING AT SIZES AND LOCATIONS REQUIRED BY CODE.
8. ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
9. PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
10. MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
11. CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, T.I.E., E.I.F.S. AND PLASTER WORK.
12. PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
13. PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURER'S CUT SHEETS. CONFIRM THERE SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
14. WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R102 REQUIREMENTS.
15. THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
16. ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
17. VERIFY ALL SIZE AND LOCATIONS FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
18. PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
19. PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF OBJ-ARC WITHDRAW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE
01/15/2021



PROJECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

APPLICABLE BUILDING CODES

- 2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
- 2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

DRAWING SYMBOL LEGEND

	TYPICAL EXISTING WALL		WINDOW TAG
	TYPICAL REMOVED WALL		WALL TYPE
	TYPICAL 3-1/2" STUD INTERIOR WALL		DOOR TAG
	INTERIOR WALL WITH SOUND INTERIOR		SECTION CUT TAG
	TYPICAL 5 1/2" STUD INTERIOR WALL		ELEVATION TAG
	TYPICAL SIDING EXTERIOR WALL		DETAIL TAG
	TYPICAL CEMENT PLASTER EXTERIOR WALL		
	TYPICAL MASONRY EXTERIOR WALL		

PROJECT DIRECTORY

OWNER CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	ARCHITECT OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
CONTACT: JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	CONTACT: RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION: NEW TWO STORY TWO FAMILY (DUPLX) RESIDENCE
ADDRESS: 511 S. CLARK STREET
ROCKWALL, TX 75087
CITY: ROCKWALL
COUNTY: ROCKWALL COUNTY
LOT: 6
BLOCK: J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS
ZONE: TWO-FAMILY (2F)
MAIN USE: TWO FAMILY RESIDENCE (DUPLX)
FRONT SETBACK: 20 FT.
SIDE SETBACKS: 6 FT.
REAR SETBACK: 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY: NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT: 32 FT.
LOT COVERAGE: 45% MAX

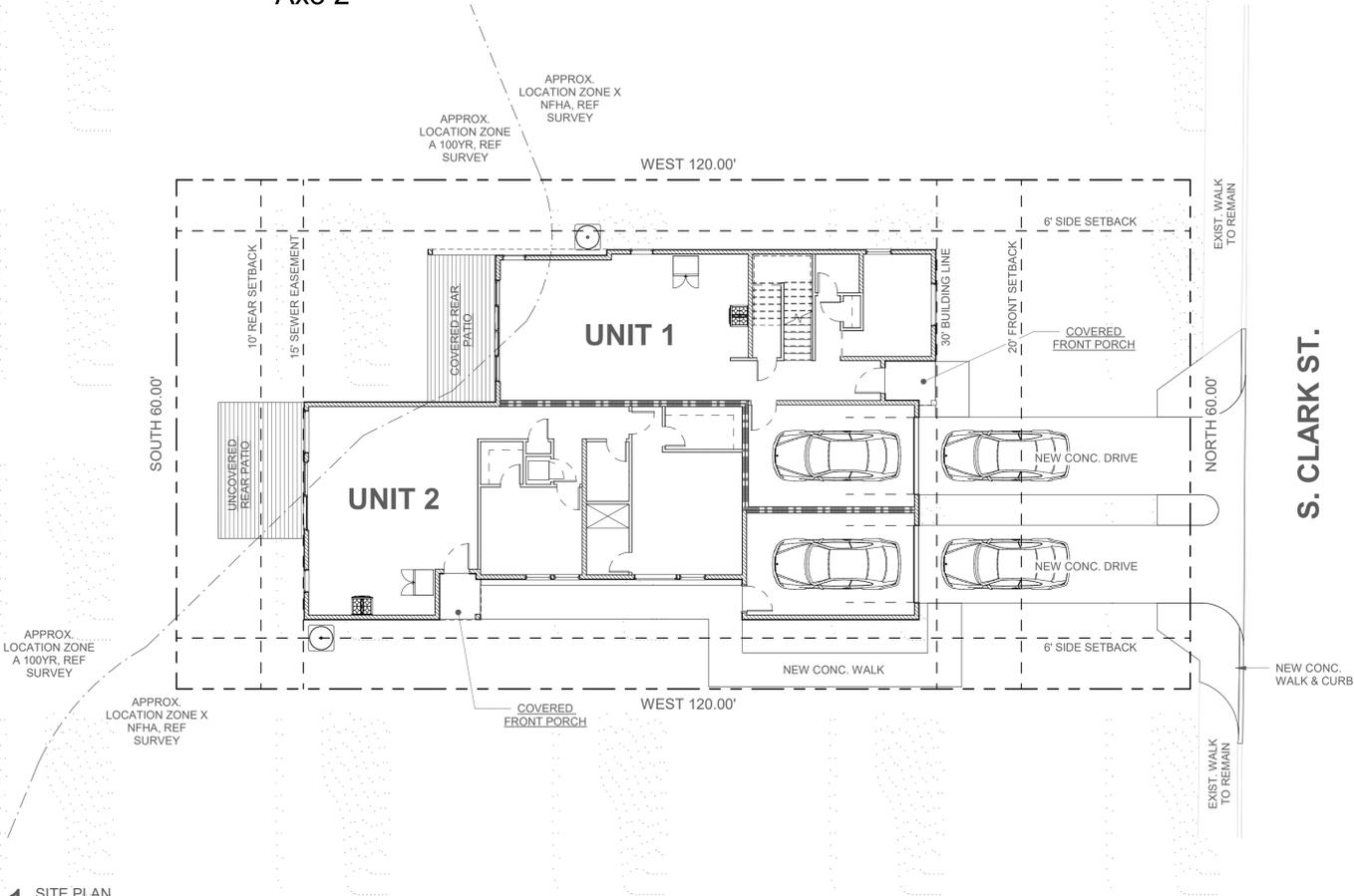
AREA CALCULATIONS

CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	914 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	1,109 SQ.FT.
UNIT 1 TOTAL A/C AREA:	2,023 SQ.FT.
UNIT 2 FIRST FLOOR A/C AREA:	1,171 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,171 SQ.FT.
UNCONDITIONED AREAS:	
UNIT 1 GARAGE AREA:	253 SQ.FT.
UNIT 2 GARAGE AREA:	268 SQ.FT.
UNIT 1 FRONT PORCH COVERED AREA:	29 SQ.FT.
UNIT 1 REAR PATIO COVERED AREA:	152 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	26 SQ.FT.
TOTAL COVERED PORCHES:	207 SQ.FT.

LOT AREA: 7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA: 2,292 SQ.FT.
COVERAGE: 31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

LOCATION MAP



1 SITE PLAN
1" = 10'-0"

00703-01

CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET & SITE PLAN



G-100

GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FIXTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE

01/15/2021



PROJECT

Object & Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com



UNIT 1

UNIT 2

00703-01

CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 1 FLOOR
PLAN



THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF OBJ-ARC AND ARE NOT TO BE REPRODUCED OR USED WITHOUT WRITTEN CONSENT.

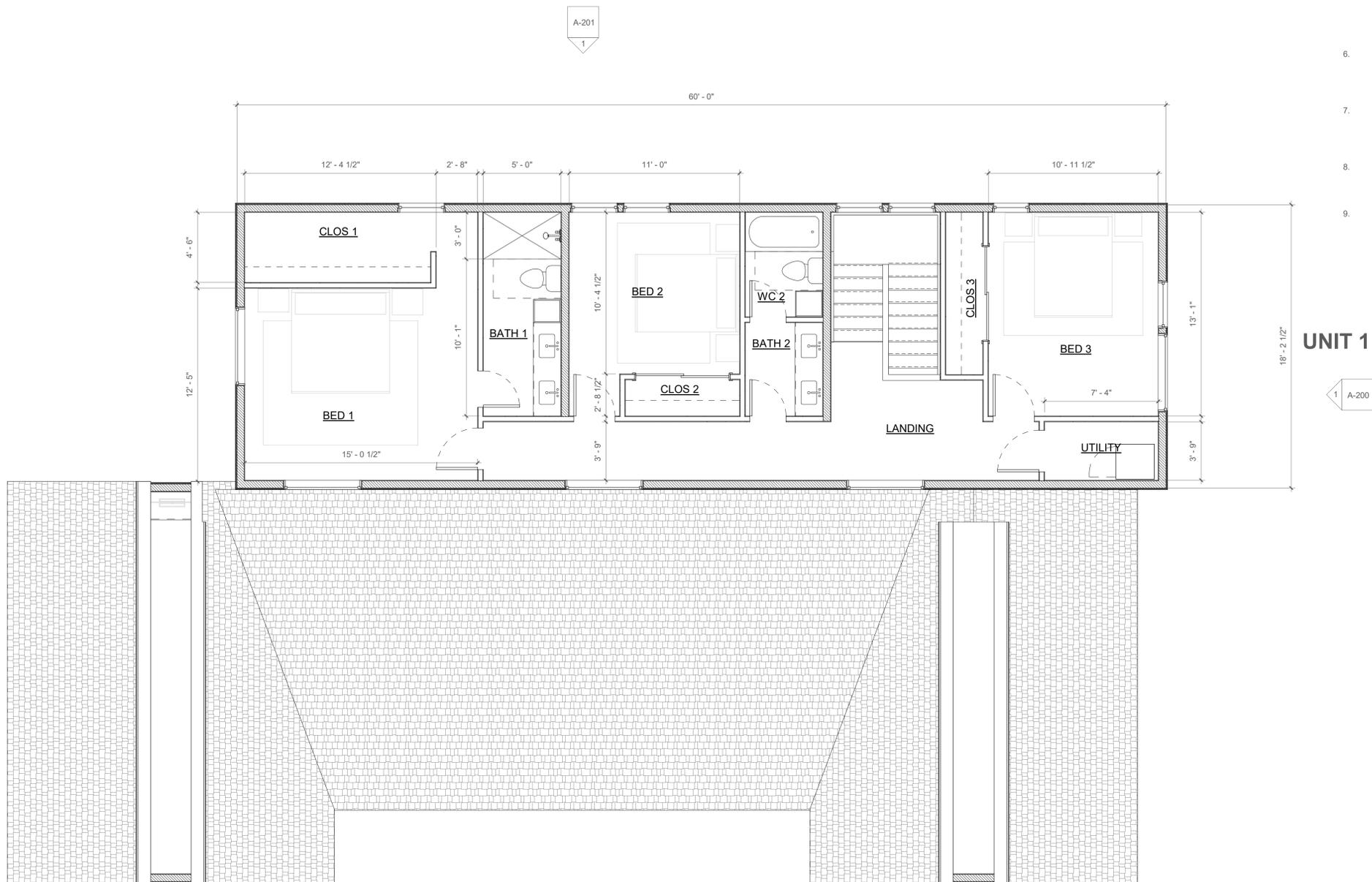
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SHEET ISSUE DATE
01/15/2021



ARCHITECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com



A-201
1

A-200
2

UNIT 1
A-200
1

2
A-201



SHEET ISSUE DATE
01/15/2021



PROJECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com



1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

00703-01

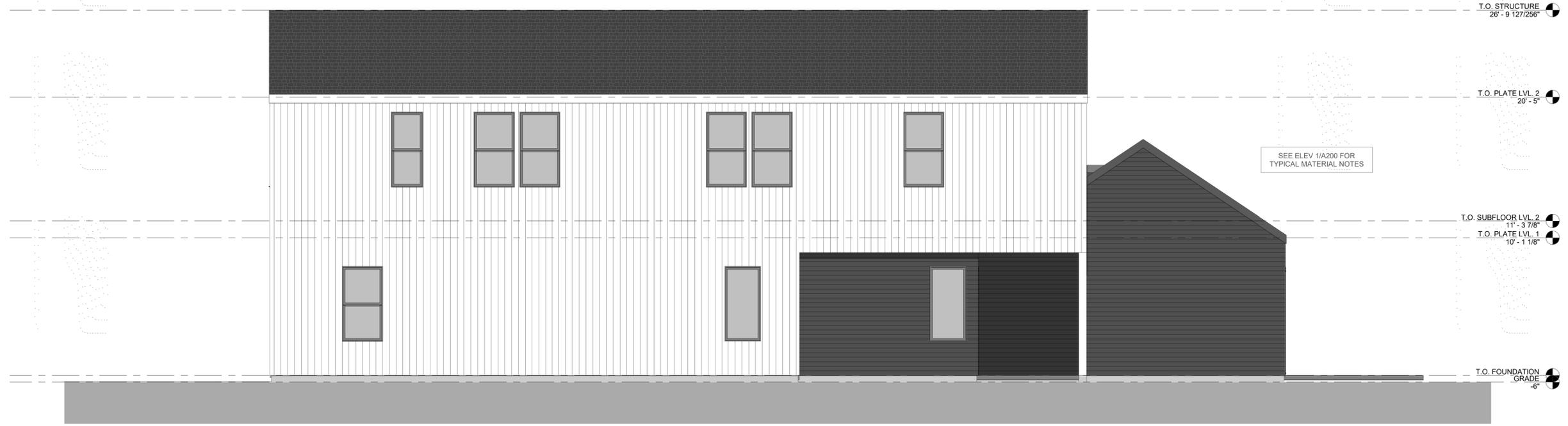
**CLARK
DUPLEX**

511 S. Clark Street
Rockwall, TX 75087

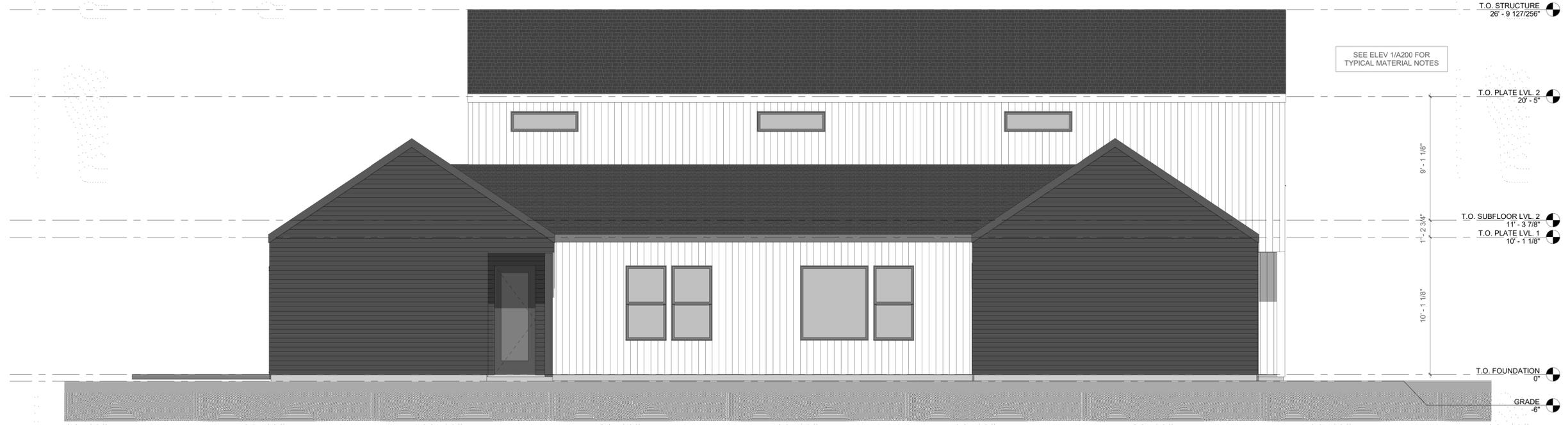
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200



1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

SHEET ISSUE DATE
01/15/2021



PROJECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

**CLARK
DUPLEX**
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-201



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22021-003 P&Z DATE 2/9/21 CC DATE 2/10/21 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input checked="" type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input checked="" type="checkbox"/> HOA MAP
<input checked="" type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-003

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 S. Clark Street Rockwall, TX 75087

SUBDIVISION J.E. HARRIS SUBDIVISION

LOT 6

BLOCK _____

GENERAL LOCATION DOWNTOWN 2 NEIGHBORHOOD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING TWO-FAMILY (2F)

CURRENT USE VACANT

PROPOSED ZONING _____

PROPOSED USE TWO-FAMILY (DUPLEX)

ACREAGE 0.16 LOTS [CURRENT]

1 LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Castro Development LLC

APPLICANT _____

CONTACT PERSON Jason Castro

CONTACT PERSON _____

ADDRESS 16424 FALLKIRK DRIVE

ADDRESS _____

CITY, STATE & ZIP DALLAS, TX 75248

CITY, STATE & ZIP _____

PHONE 214.232.2750

PHONE _____

E-MAIL jason@castropropertygroup.com

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

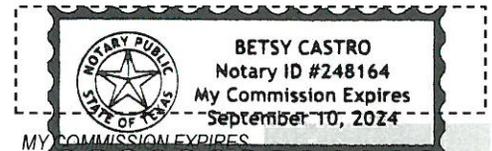
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jason Castro [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF January, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

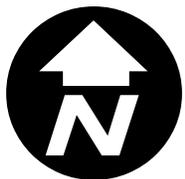




City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

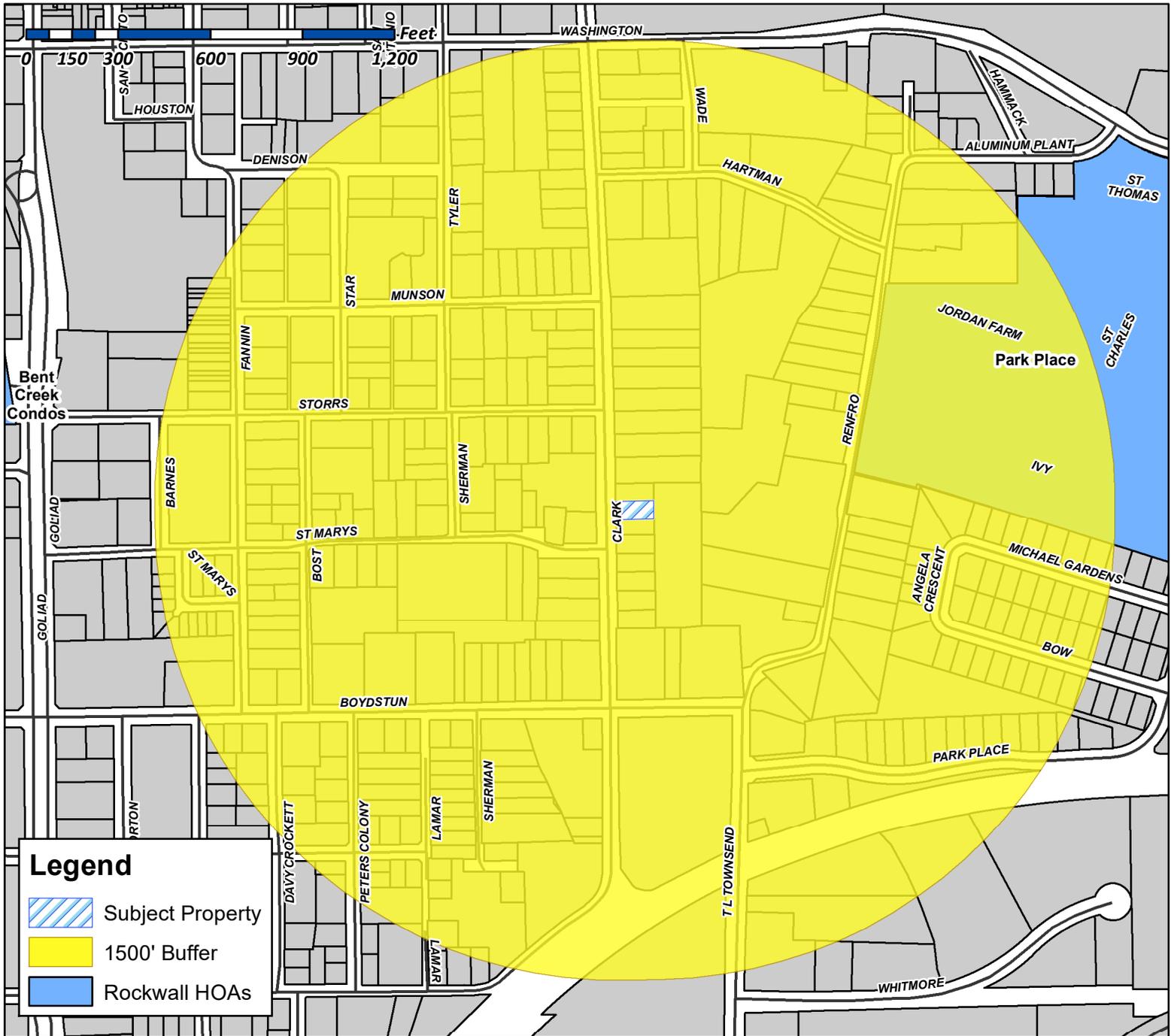




City of Rockwall

Planning & Zoning Department
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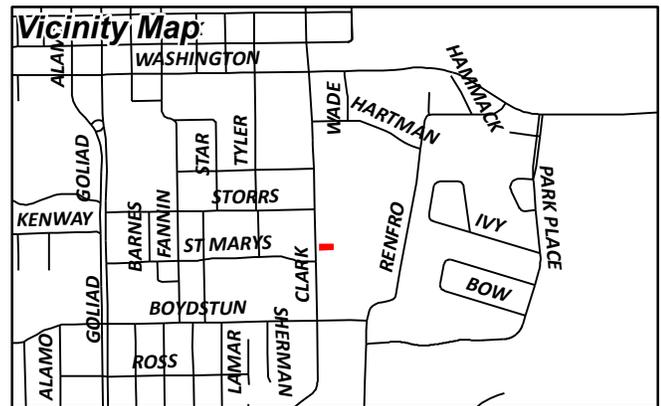


Legend

-  Subject Property
-  1500' Buffer
-  Rockwall HOAs

Case Number: Z2021-003
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 1/19/2021
For Questions on this Case Call (972) 771-7745



Object & Architecture

Ryan Withrow, Architect
4815 Terry Street
Dallas, Texas 75223
214 240 1995
ryan@obj-arc.com
www.obj-arc.com

January 15, 2020

Castro - Clark Duplex
511 S. Clark Street
Rockwall, TX 75087

City of Rockwall,

We are proposing the development of a duplex residence (two single family units separated by a 1-hour rated wall running from foundation to the underside of the roof decking) on a vacant lot within a district that is currently zoned for two-family residences.

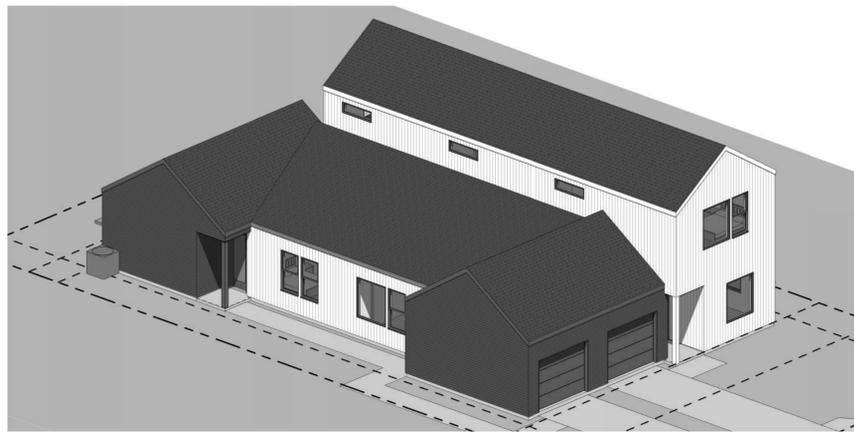
The new duplex residence is proposed to be a total of 3,194 sqft of conditioned area with a two car garage. Unit One is 2,023 sqft of conditioned area and Unit Two is 1,171 sqft of conditioned area. The smaller unit will have two bedrooms and two full bathrooms, an open living/kitchen/dining area, and a utility room. The larger unit will have three bedrooms, two full bathrooms, a powder bath, an office/flex space, an open living/kitchen/dining area, and a utility room.

The residence will have a Texas Modern style utilizing durable fiber cement lap siding and fiber cement board and batten siding and asphalt shingle roofing. The dwellings will meet the 2015 IECC with a minimum of R-19 batt insulation in the exterior walls, R-38 insulation at the roof, and windows with proposed U-value of 0.33 and an SHGC of 0.26.

I hope that you find this application to be complete and satisfactory. If you have any questions about the information above, please feel free to contact me.

Sincerely,

Ryan Withrow, Architect
Object & Architecture PLLC
TBAE License #26945



Axo 1



Axo 2

GENERAL PROJECT NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
2. THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
3. ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
5. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
6. DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
7. AS REQUIRED BY THE IRVING/DALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STENCILING AT SIZES AND LOCATIONS REQUIRED BY CODE.
8. ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
9. PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
10. MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
11. CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, T.I.E., E.I.F.S. AND PLASTER WORK.
12. PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
13. PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURER'S CUT SHEETS. CONFIRM THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
14. WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R102 REQUIREMENTS.
15. THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
16. ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
17. VERIFY ALL SIZE AND LOCATIONS FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
18. PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
19. PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF OBJ-ARC WITHDRAW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE
01/15/2021



PROJECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

APPLICABLE BUILDING CODES

- 2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
- 2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

DRAWING SYMBOL LEGEND

	TYPICAL EXISTING WALL		WINDOW TAG
	TYPICAL REMOVED WALL		WALL TYPE
	TYPICAL 3-1/2" STUD INTERIOR WALL		DOOR TAG
	INTERIOR WALL WITH SOUND INTERIOR		SECTION CUT TAG
	TYPICAL 5 1/2" STUD INTERIOR WALL		ELEVATION TAG
	TYPICAL SIDING EXTERIOR WALL		DETAIL TAG
	TYPICAL CEMENT PLASTER EXTERIOR WALL		
	TYPICAL MASONRY EXTERIOR WALL		

PROJECT DIRECTORY

OWNER CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	ARCHITECT OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
CONTACT: JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	CONTACT: RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION: NEW TWO STORY TWO FAMILY (DUPLX) RESIDENCE
ADDRESS: 511 S. CLARK STREET
ROCKWALL, TX 75087
CITY: ROCKWALL
COUNTY: ROCKWALL COUNTY
LOT: 6
BLOCK: J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS
ZONE: TWO-FAMILY (2F)
MAIN USE: TWO FAMILY RESIDENCE (DUPLX)
FRONT SETBACK: 20 FT.
SIDE SETBACKS: 6 FT.
REAR SETBACK: 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY: NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT: 32 FT.
LOT COVERAGE: 45% MAX

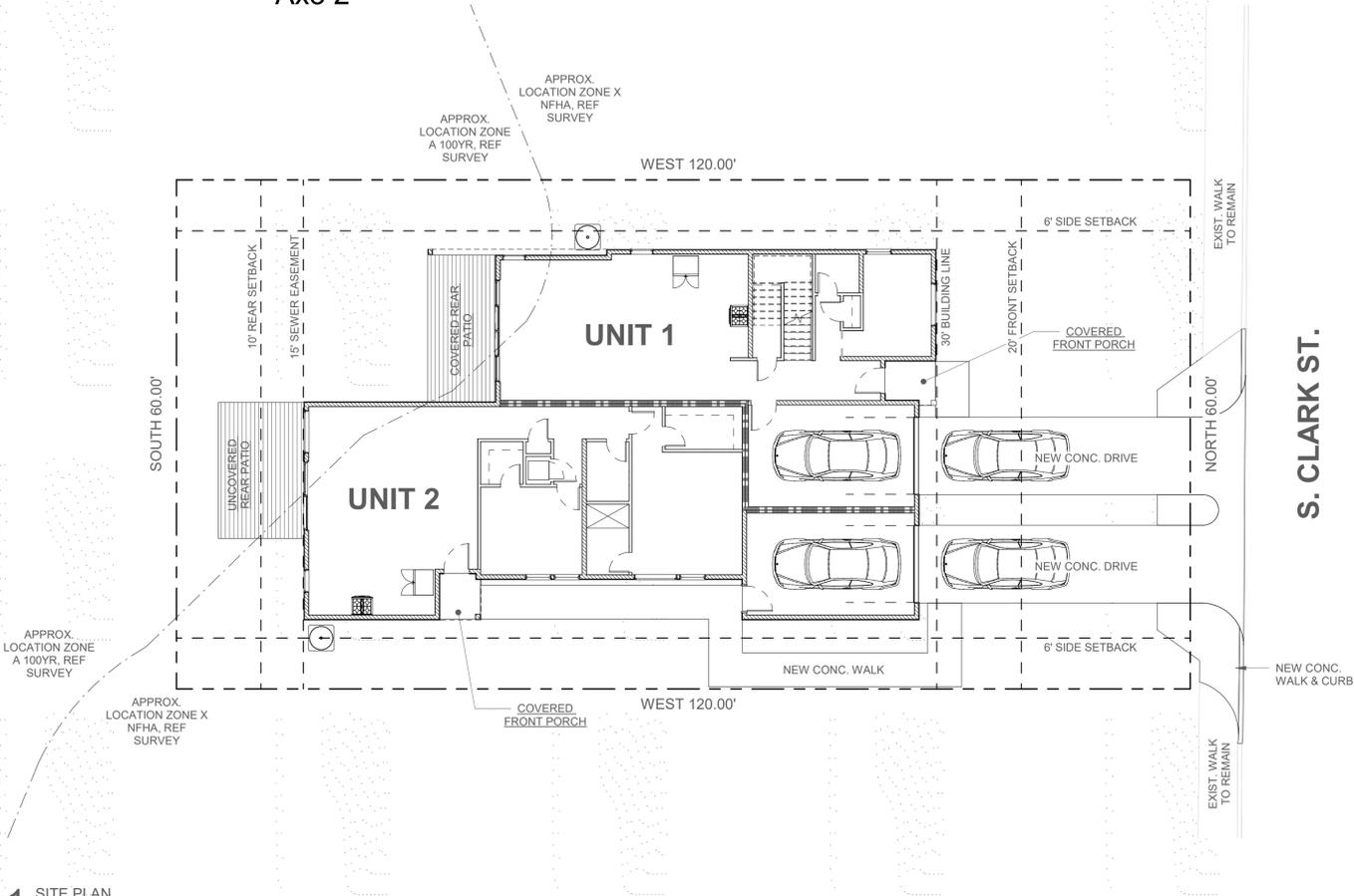
AREA CALCULATIONS

CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	914 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	1,109 SQ.FT.
UNIT 1 TOTAL A/C AREA:	2,023 SQ.FT.
UNIT 2 FIRST FLOOR A/C AREA:	1,171 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,171 SQ.FT.
UNCONDITIONED AREAS:	
UNIT 1 GARAGE AREA:	253 SQ.FT.
UNIT 2 GARAGE AREA:	268 SQ.FT.
UNIT 1 FRONT PORCH COVERED AREA:	29 SQ.FT.
UNIT 1 REAR PATIO COVERED AREA:	152 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	26 SQ.FT.
TOTAL COVERED PORCHES:	207 SQ.FT.

LOT AREA: 7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA: 2,292 SQ.FT.
COVERAGE: 31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

LOCATION MAP



1 SITE PLAN
1" = 10'-0"

00703-01

CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET & SITE PLAN



G-100

GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FIXTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE

01/15/2021



PROJECT

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UNIT 1

UNIT 2

00703-01

CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 1 FLOOR
PLAN



A-100

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SHEET ISSUE DATE
01/15/2021



ARCHITECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com



A-201
1

A-200
2

UNIT 1
A-200
1

2
A-201



SHEET ISSUE DATE
01/15/2021



PROJECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com



1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

00703-01

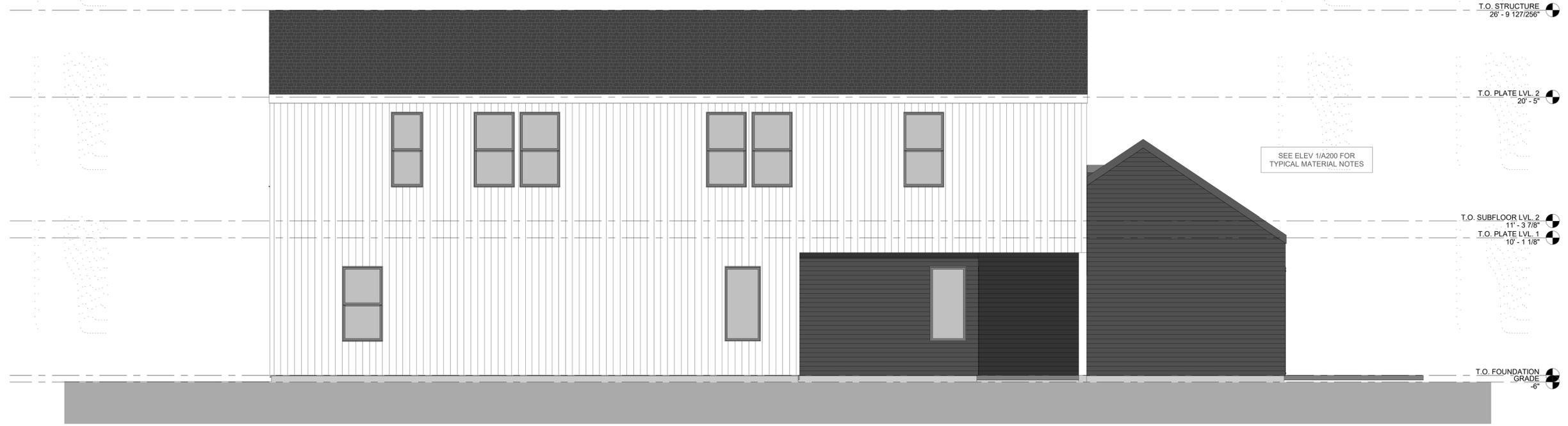
**CLARK
DUPLEX**

511 S. Clark Street
Rockwall, TX 75087

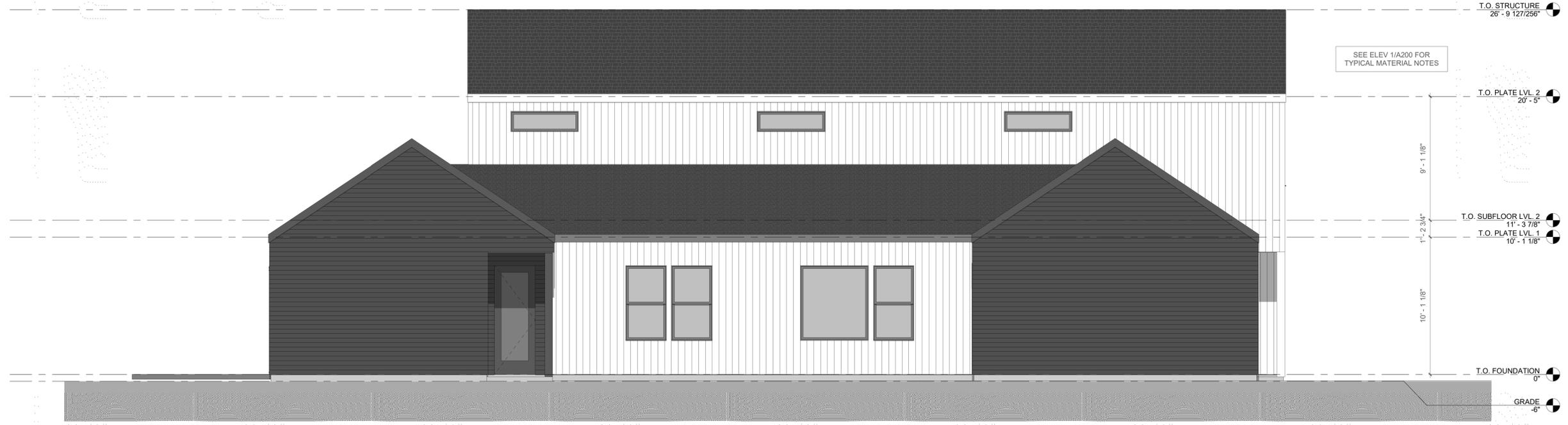
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200



1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

SHEET ISSUE DATE
01/15/2021



PROJECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

**CLARK
DUPLEX**

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-201

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 1/22/2021

PROJECT NUMBER: Z2021-003
PROJECT NAME: SUP for Residential Infill at 511 S. Clark Street
SITE ADDRESS/LOCATIONS: 511 S CLARK ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	David Gonzales	01/21/2021	Needs Review

01/21/2021: Z2021-003; Specific Use Permit for 511 S. Clark Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

I.3 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the North SH-205 Overlay (N SH-205 OV) District, and the Development Standards of Article 05 that are applicable to the subject property.

(A) Proposed operation conditions of the SUP Ordinance:

The following conditions pertain to the construction of a single-family home on the Subject Property and conformance to these operational conditions are required:

- 1) The development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of this ordinance.
- 2) The construction of a two-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of this ordinance.
- 3) Once construction of the two-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- 4) The subject property will be required to provide a flood study prior to the issuance of a building permit that indicates the proposed structure will not be constructed within the floodplain.

I.4 Please note the scheduled meetings for this case:

- (1) Planning & Zoning work session meeting will be held on January 26, 2021.
- (2) Planning & Zoning Public Hearing will be held on February 9, 2021.
- (3) City Council Public Hearing will be held on February 16, 2021. [1st Reading of Ordinance]
- (4) City Council regular meeting will be held on March 1, 2021. [1st Reading of Ordinance]

I.5 All meetings will be held in person in the City's Council Chambers and are scheduled to begin at 6:00 PM. The City requires that a representative(s) be present for all scheduled meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	01/21/2021	Needs Review

01/21/2021: M - Will need a topographic survey of the lot to verify that the house and all structures will be outside of the floodplain boundary.
 M - House finish floor must be at least 2' above the adjacent floodplain elevation.
 M - Parking must be at least 1' above the adjacent floodplain elevation.
 M - Proposed structure to not be in floodplain and out of erosion hazard setback.
 M - Must request variance for driveway spacing.
 I- No fencing will be allowed in flood plain
 I - Need to replat
 I- Will require water and sewer impact fees on all additional or upsized meters.
 I- Will be required roadway impact fee on addition house
 I- You'll need to bring a water service to the lot which will require paving repairs to City requirements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	01/20/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	01/20/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	01/19/2021	Approved

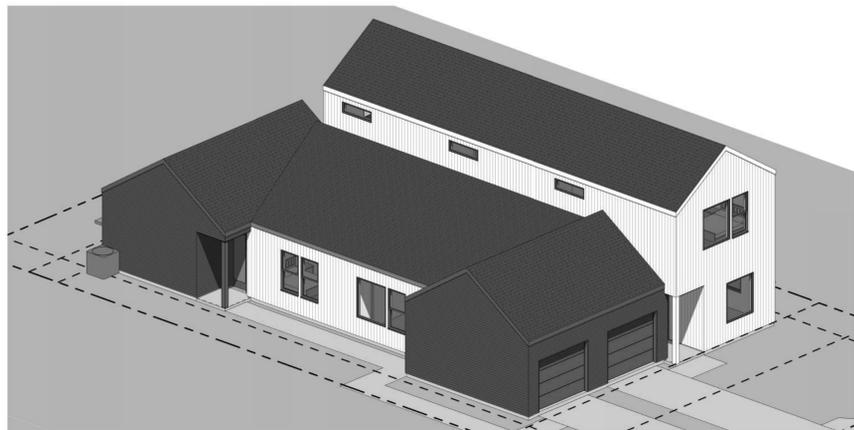
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	01/21/2021	N/A

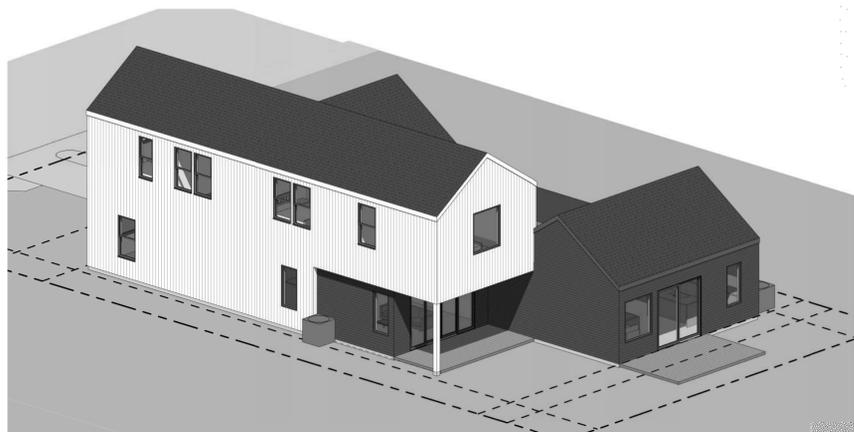
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	01/19/2021	Approved

No Comments



Axo 1



Axo 2

GENERAL PROJECT NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
2. THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
3. ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
5. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
6. DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
7. AS REQUIRED BY THE IRVING/DALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STENCILING AT SIZES AND LOCATIONS REQUIRED BY CODE.
8. ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
9. PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
10. MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
11. CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, T.I.E., E.I.F.S. AND PLASTER WORK.
12. PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
13. PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURER'S CUT SHEETS. CONFIRM THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
14. WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R102 REQUIREMENTS.
15. THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.

M - Will need a topographic survey of the lot to verify that the house and all structures will be outside of the floodplain boundary.
 M - House finish floor must be at least 2' above the adjacent floodplain elevation.
 M - Parking must be at least 1' above the adjacent floodplain elevation.
 M - Proposed structure to not be in floodplain and out of erosion hazard setback.
 I- No fencing will be allowed in flood plain
 I - Need to replat
 I-Will require water and sewer impact fees on all additional or upsized meters.
 I- Will be required roadway impact fee on addition house
 I- You'll need to bring a water service to the lot which will require paving repairs to City requirements.

See floodplain comments. No structures will be allowed in the floodplain or erosion hazard setback.

Must request variance for driveway spacing

SHEET LIST				
SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF OBJ-ARC AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE
01/15/2021

OBJECT & ARCHITECTURE
 4815 Terry Street
 Dallas, Texas 75223
 www.obj-arc.com

APPLICABLE BUILDING CODES

- 2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
- 2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

OWNER CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	ARCHITECT OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
CONTACT: JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	CONTACT: RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION: NEW TWO STORY TWO FAMILY (DUPLX) RESIDENCE

ADDRESS: 511 S. CLARK STREET
ROCKWALL, TX 75087

CITY: ROCKWALL
COUNTY: ROCKWALL COUNTY

LOT: 6
BLOCK: J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS
 ZONE: TWO-FAMILY (2F)
 MAIN USE: TWO FAMILY RESIDENCE (DUPLX)

FRONT SETBACK: 20 FT.
 SIDE SETBACKS: 6 FT.
 REAR SETBACK: 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES

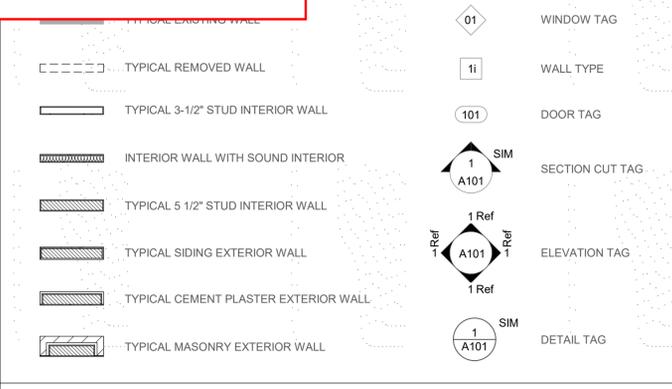
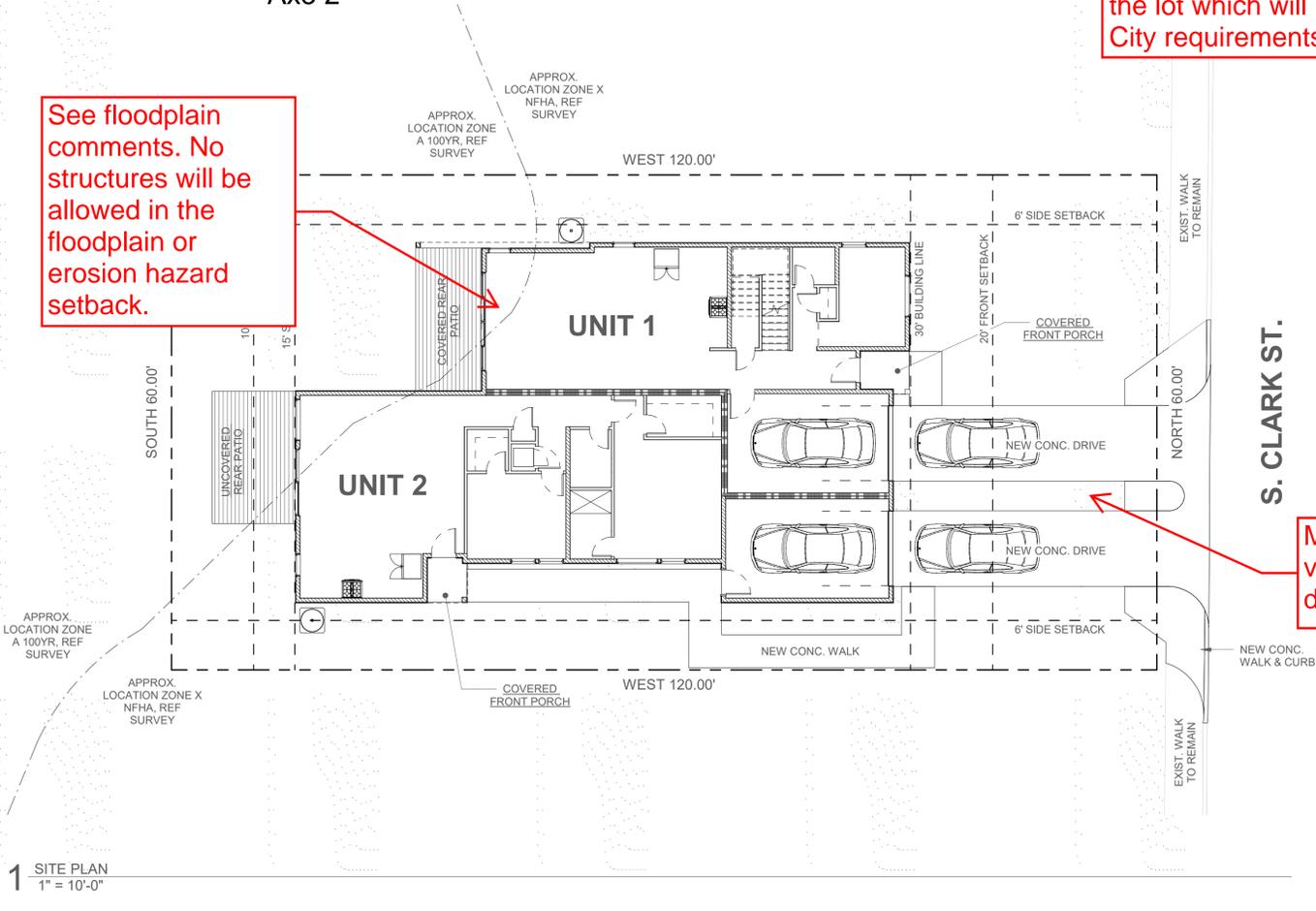
UNIT DENSITY: NO MAXIMUM DWELLING UNIT DENSITY.
 MAX ALLOWED HT: 32 FT.
 LOT COVERAGE: 45% MAX

AREA CALCULATIONS

CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	914 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	1,109 SQ.FT.
UNIT 1 TOTAL A/C AREA:	2,023 SQ.FT.
UNIT 2 FIRST FLOOR A/C AREA:	1,171 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,171 SQ.FT.
UNCONDITIONED AREAS:	
UNIT 1 GARAGE AREA:	253 SQ.FT.
UNIT 2 GARAGE AREA:	268 SQ.FT.
UNIT 1 FRONT PORCH COVERED AREA:	29 SQ.FT.
UNIT 1 REAR PATIO COVERED AREA:	152 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	26 SQ.FT.
TOTAL COVERED PORCHES:	207 SQ.FT.

LOT AREA: 7,200 SQ.FT. (PER SURVEY)
 LOT COVERED AREA: 2,292 SQ.FT.
 COVERAGE: 31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS



00703-01

CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET & SITE PLAN

G-100



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-003

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 S. Clark Street Rockwall, TX 75087

SUBDIVISION J.E. HARRIS SUBDIVISION

LOT 6

BLOCK _____

GENERAL LOCATION DOWNTOWN 2 NEIGHBORHOOD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING TWO-FAMILY (2F)

CURRENT USE VACANT

PROPOSED ZONING _____

PROPOSED USE TWO-FAMILY (DUPLEX)

ACREAGE 0.16 LOTS [CURRENT]

1 LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Castro Development LLC

APPLICANT _____

CONTACT PERSON Jason Castro

CONTACT PERSON _____

ADDRESS 16424 FALLKIRK DRIVE

ADDRESS _____

CITY, STATE & ZIP DALLAS, TX 75248

CITY, STATE & ZIP _____

PHONE 214.232.2750

PHONE _____

E-MAIL jason@castropropertygroup.com

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

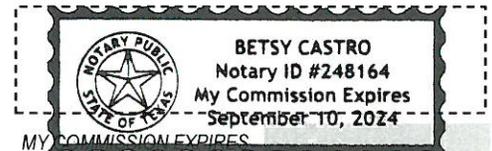
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jason Castro [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF January, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





Z2021-003- SUP FOR 511 S. CLARK STREET
 ZONING - LOCATION MAP = [icon]

CLARK

ST MARYS



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

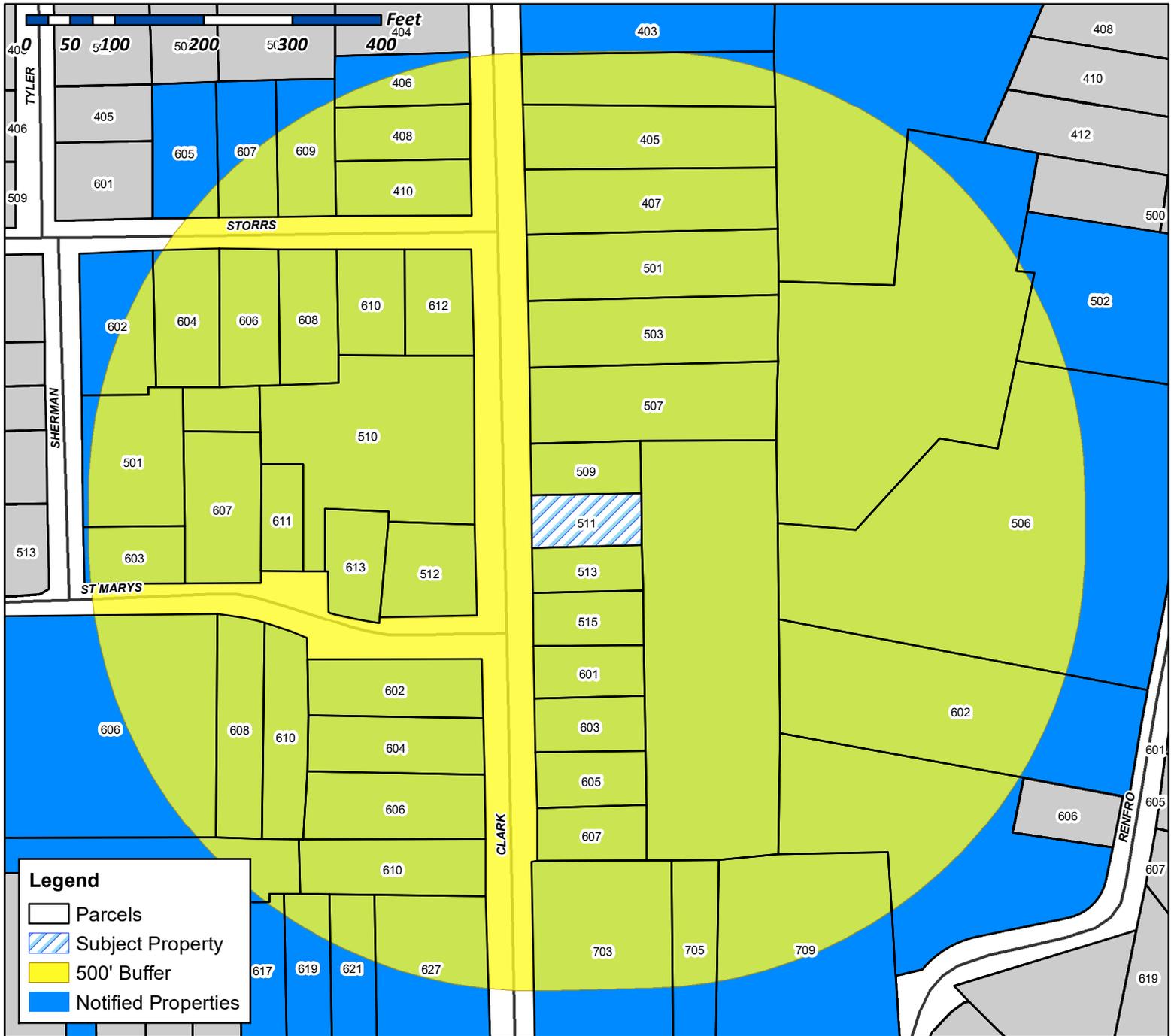




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

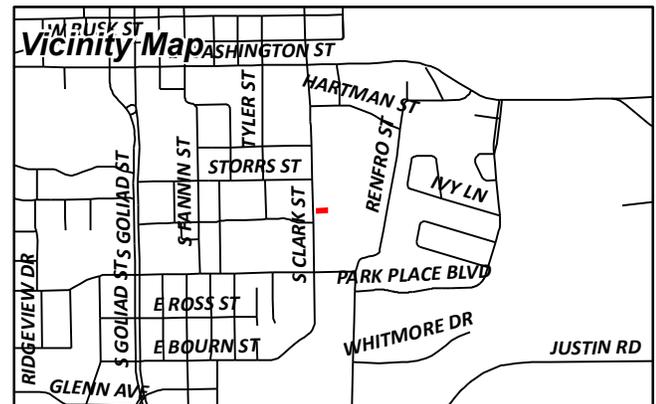
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Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2021-003
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street



Date Created: 1/19/2021
For Questions on this Case Call (972) 771-7745

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-003: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

MCCALLUM DARRELL
1 SOAPBERRY LN
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
215 GRIFFIN AVENUE
FATE, TX 75189

BOWEN CHASE AND
PERRY BOWEN
230 MYERS ROAD
HEATH, TX 75032

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
3299 ROCHELLE RD
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE
401 E KAUFMAN ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
401 S CLARK ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
403 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
405 S CLARK STREET
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S CLARK ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
501 SHERMAN ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
501 S CLARK
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
503 S CLARK
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

HAMANN KRISTIE M
511 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
515 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W
602 STORRS STREET
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
602 S CLARK ST
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
603 ST MARYS ST
ROCKWALL, TX 75087

RIVERA SARA ELIA
603 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
604 S CLARK ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
606 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
608 ST MARYS ST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
ROCKWALL, TX 75087

GADDIS DANNY E
609 STORRS ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
610 S CLARK ST
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRS ST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

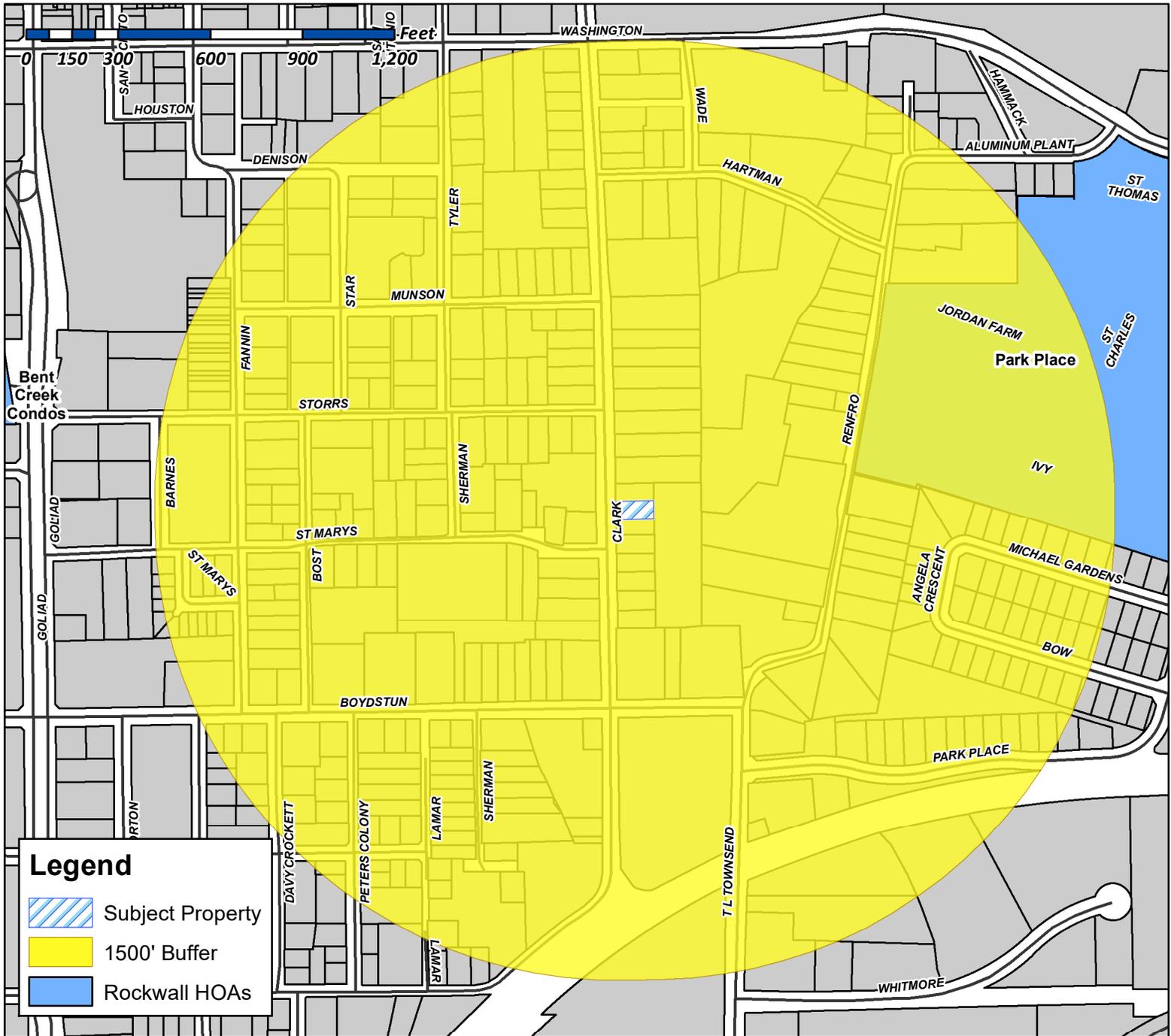
DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

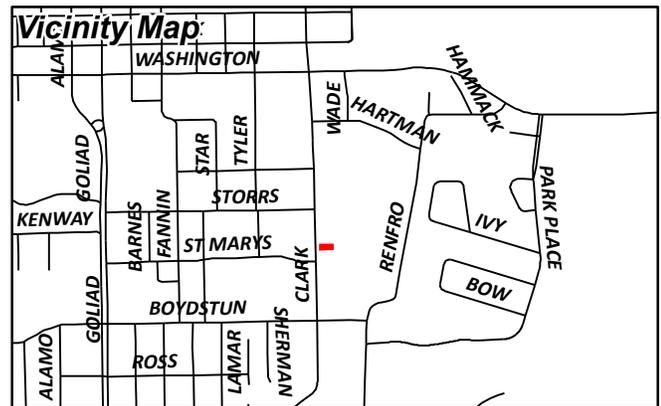


Legend

-  Subject Property
-  1500' Buffer
-  Rockwall HOAs

Case Number: Z2021-003
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 1/19/2021
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2021-003]
Date: Friday, January 22, 2021 9:00:07 AM
Attachments: [Public Notice \(01.19.2021\).pdf](#)
[HOA Map Z2021-003.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [January 29, 2021](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 9, 2021 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 16, 2021 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-003 SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

SHEET ISSUE DATE
01/15/2021



ARCHITECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com



1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

00703-01

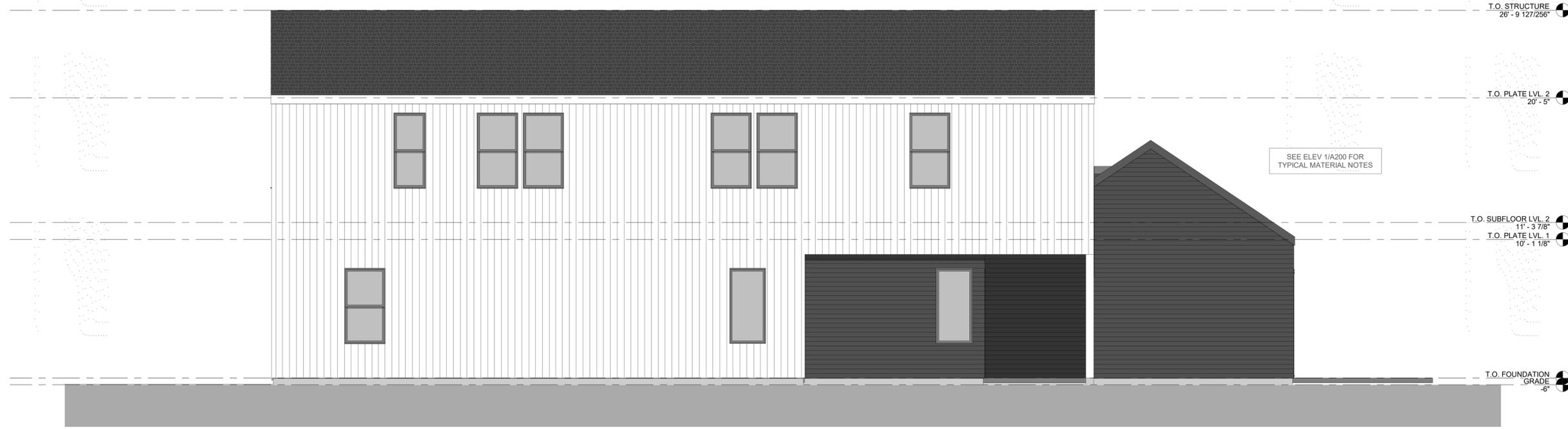
**CLARK
DUPLEX**

511 S. Clark Street
Rockwall, TX 75087

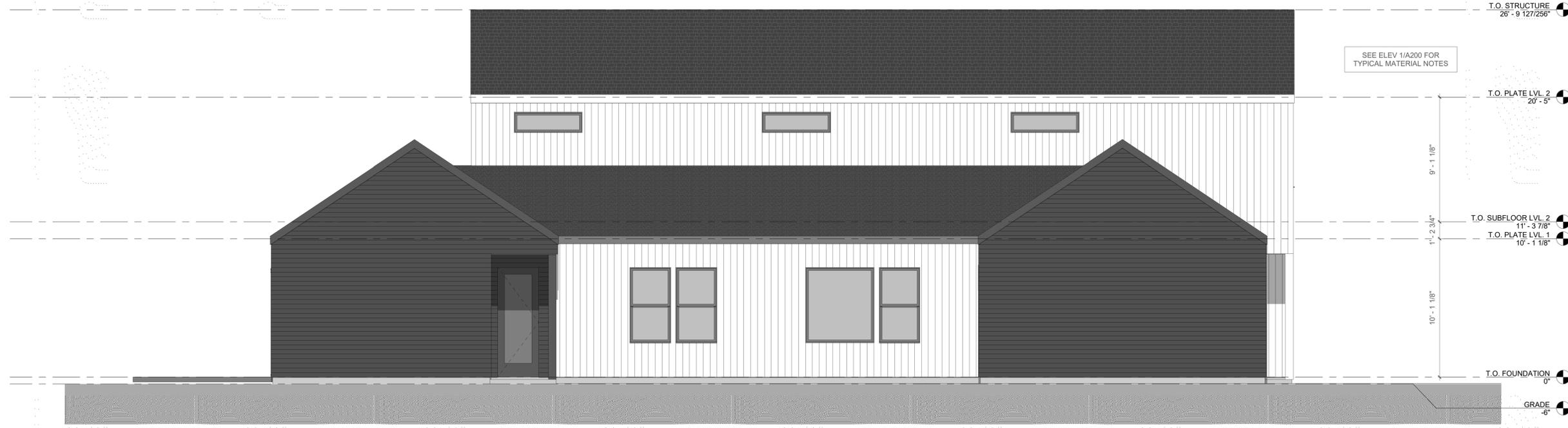
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200



1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

SHEET ISSUE DATE
01/15/2021



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00703-01

**CLARK
DUPLEX**
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-201

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF OJAW WITH/ROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

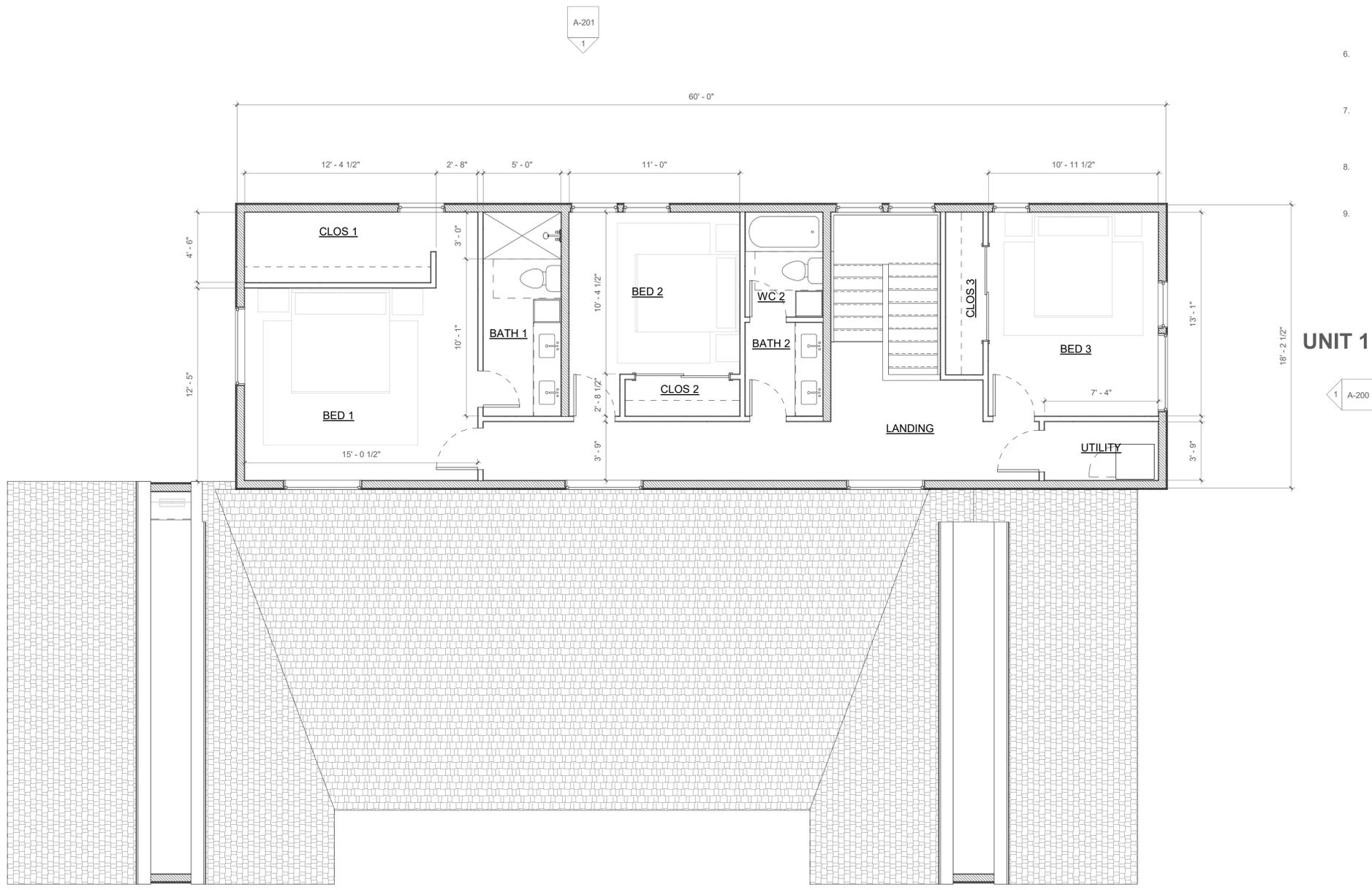
GENERAL FLOOR PLAN NOTES

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3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FIXTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
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9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE
01/15/2021



ARCHITECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
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A-201
1

A-200
2

UNIT 1
A-200
1

2
A-201

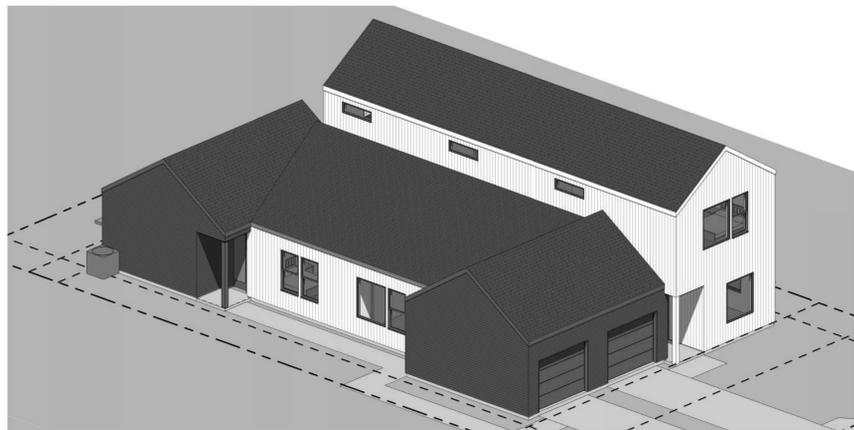


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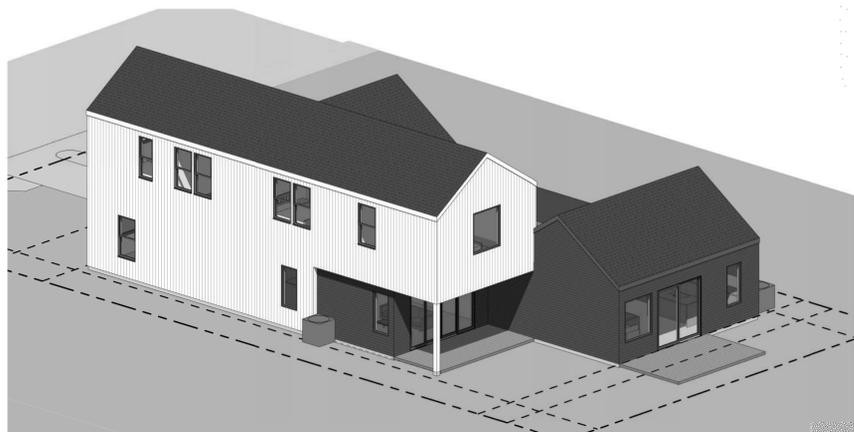
CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL



Axo 1



Axo 2

GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRODALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STENCILING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, T.I.E., E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURER'S CUT SHEETS. CONFIRM THERE SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R102 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

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SHEET ISSUE DATE
01/15/2021



PROJECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

APPLICABLE BUILDING CODES

- 2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
- 2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

DRAWING SYMBOL LEGEND

	TYPICAL EXISTING WALL		WINDOW TAG
	TYPICAL REMOVED WALL		WALL TYPE
	TYPICAL 3-1/2" STUD INTERIOR WALL		DOOR TAG
	INTERIOR WALL WITH SOUND INTERIOR		SECTION CUT TAG
	TYPICAL 5 1/2" STUD INTERIOR WALL		ELEVATION TAG
	TYPICAL SIDING EXTERIOR WALL		DETAIL TAG
	TYPICAL CEMENT PLASTER EXTERIOR WALL		
	TYPICAL MASONRY EXTERIOR WALL		

PROJECT DIRECTORY

OWNER CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	ARCHITECT OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
CONTACT: JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	CONTACT: RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION: NEW TWO STORY TWO FAMILY (DUPLX) RESIDENCE
ADDRESS: 511 S. CLARK STREET
ROCKWALL, TX 75087
CITY: ROCKWALL
COUNTY: ROCKWALL COUNTY
LOT: 6
BLOCK: J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS
ZONE: TWO-FAMILY (2F)
MAIN USE: TWO FAMILY RESIDENCE (DUPLX)
FRONT SETBACK: 20 FT.
SIDE SETBACKS: 6 FT.
REAR SETBACK: 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY: NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT: 32 FT.
LOT COVERAGE: 45% MAX

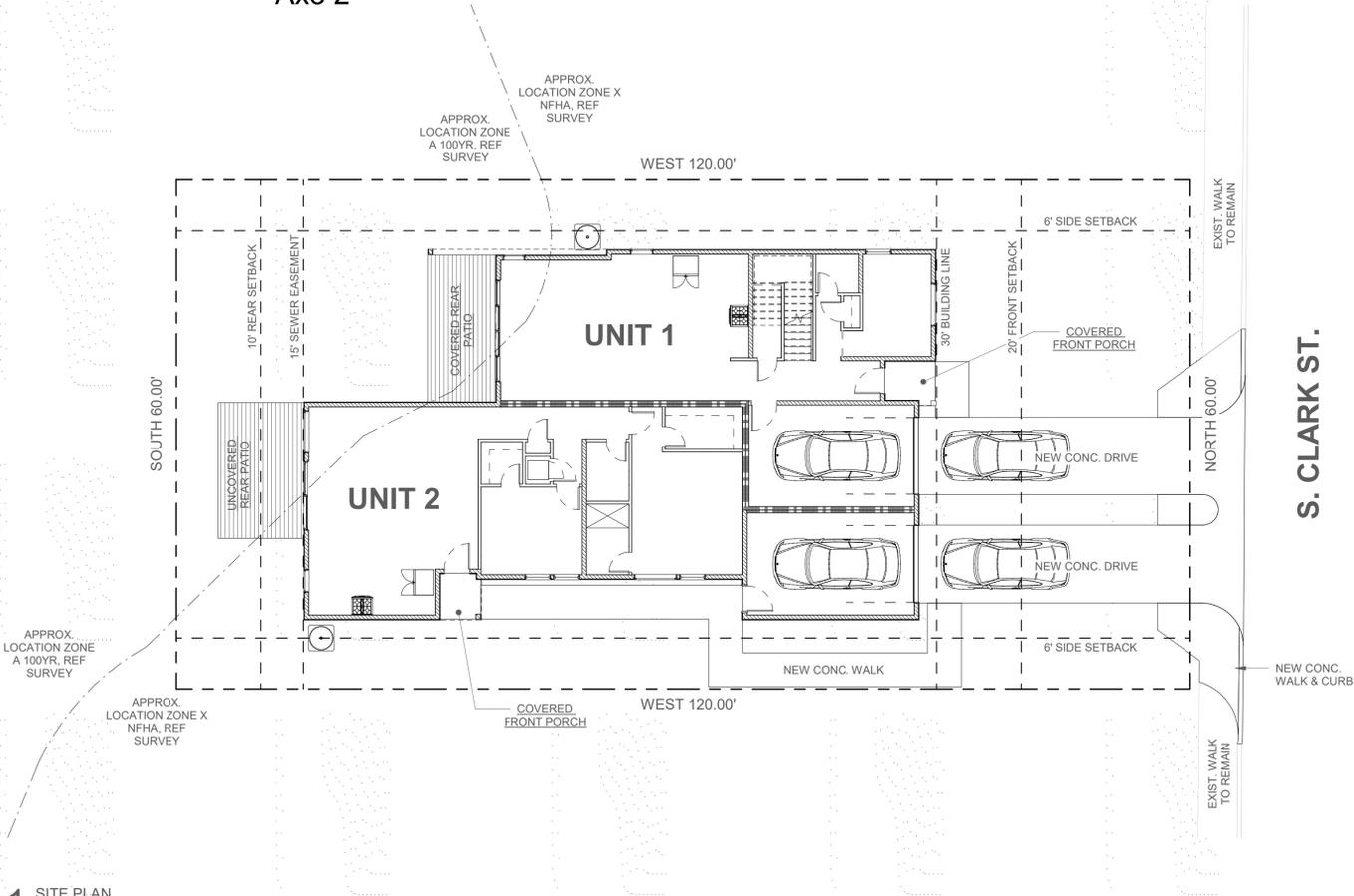
AREA CALCULATIONS

CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	914 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	1,109 SQ.FT.
UNIT 1 TOTAL A/C AREA:	2,023 SQ.FT.
UNIT 2 FIRST FLOOR A/C AREA:	1,171 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,171 SQ.FT.
UNCONDITIONED AREAS:	
UNIT 1 GARAGE AREA:	253 SQ.FT.
UNIT 2 GARAGE AREA:	268 SQ.FT.
UNIT 1 FRONT PORCH COVERED AREA:	29 SQ.FT.
UNIT 1 REAR PATIO COVERED AREA:	152 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	26 SQ.FT.
TOTAL COVERED PORCHES:	207 SQ.FT.

LOT AREA: 7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA: 2,292 SQ.FT.
COVERAGE: 31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

LOCATION MAP



1 SITE PLAN
1" = 10'-0"

00703-01

CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET & SITE PLAN



G-100

GENERAL FLOOR PLAN NOTES

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1 FIRST FLOOR PLAN
1/4" = 1'-0"

00703-01

CLARK DUPLEX

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SUP APPROVAL

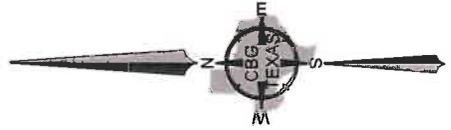
LEVEL 1 FLOOR PLAN



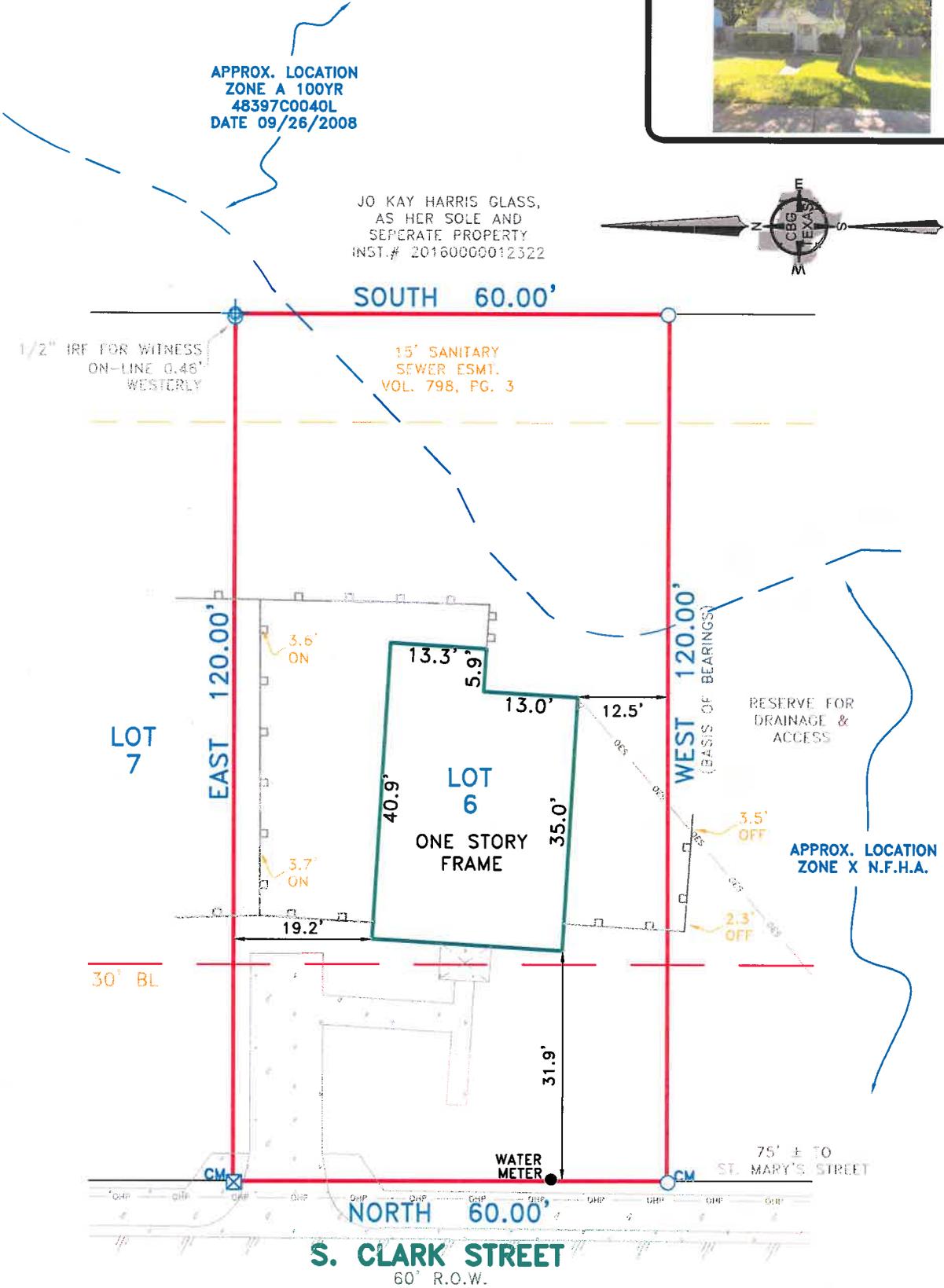


511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY, an Addition in Rockwall County, Texas, according to the Map or Plat recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat Records of Rockwall County, Texas.



- LEGEND**
- 1/2" ROD FOUND
 - ⊗ 1/2" ROD SET
 - 1" PIPE FOUND
 - ⊠ "X" FOUND/SET
 - ⊗ 5/8" ROD FOUND
 - ◆ POINT FOR CORNER FENCE POST FOR CORNER
 - CONTROLLING MONUMENT
 - CM AIR CONDITIONER
 - AC POOL EQUIPMENT
 - PE TRANSFORMER PAD
 - TE COLUMN
 - POWER POLE
 - ▲ UNDERGROUND ELECTRIC
 - △ OVERHEAD ELECTRIC
 - OHP— OVERHEAD ELECTRIC POWER
 - OES— OVERHEAD ELECTRIC SERVICE
 - CHAIN LINK
 - WOOD FENCE 0.5' WIDE TYPICAL
 - IRON FENCE
 - X— BARBED WIRE
 - DOUBLE SIDED WOOD FENCE
 - /— EDGE OF ASPHALT
 - /— EDGE OF GRAVEL
 - CONCRETE
 - COVERED AREA
 - BRICK
 - STONE



EXCEPTIONS:

Accepted by: _____
 Purchaser

Date: _____
 Purchaser

NOTES:
 NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
 FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Capital Title. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JAI/CAJ
 Scale: 1" = 20'
 Date: 7-30-2020
 GF No.: 20-509065-RL
 Job No. 2013905

CBG SURVEYING TEXAS LLC
 12025 Shiloh Road, Ste. 240
 Dallas, TX 75228
 P 214.349.9485
 F 214.349.2216
 Firm No. 10168800
 www.obgtxl.com

STATE OF TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR
TODD FINCHER
 5633
 R.P.L.S. NO. 5633

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.165-acre parcel of land being described as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a *duplex* in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a two-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the two-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- 4) The subject property will be required to provide a flood study prior to the issuance of a building permit that indicates the proposed structure will not be constructed within the floodplain.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF MARCH, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 16, 2021

2nd Reading: March 1, 2021

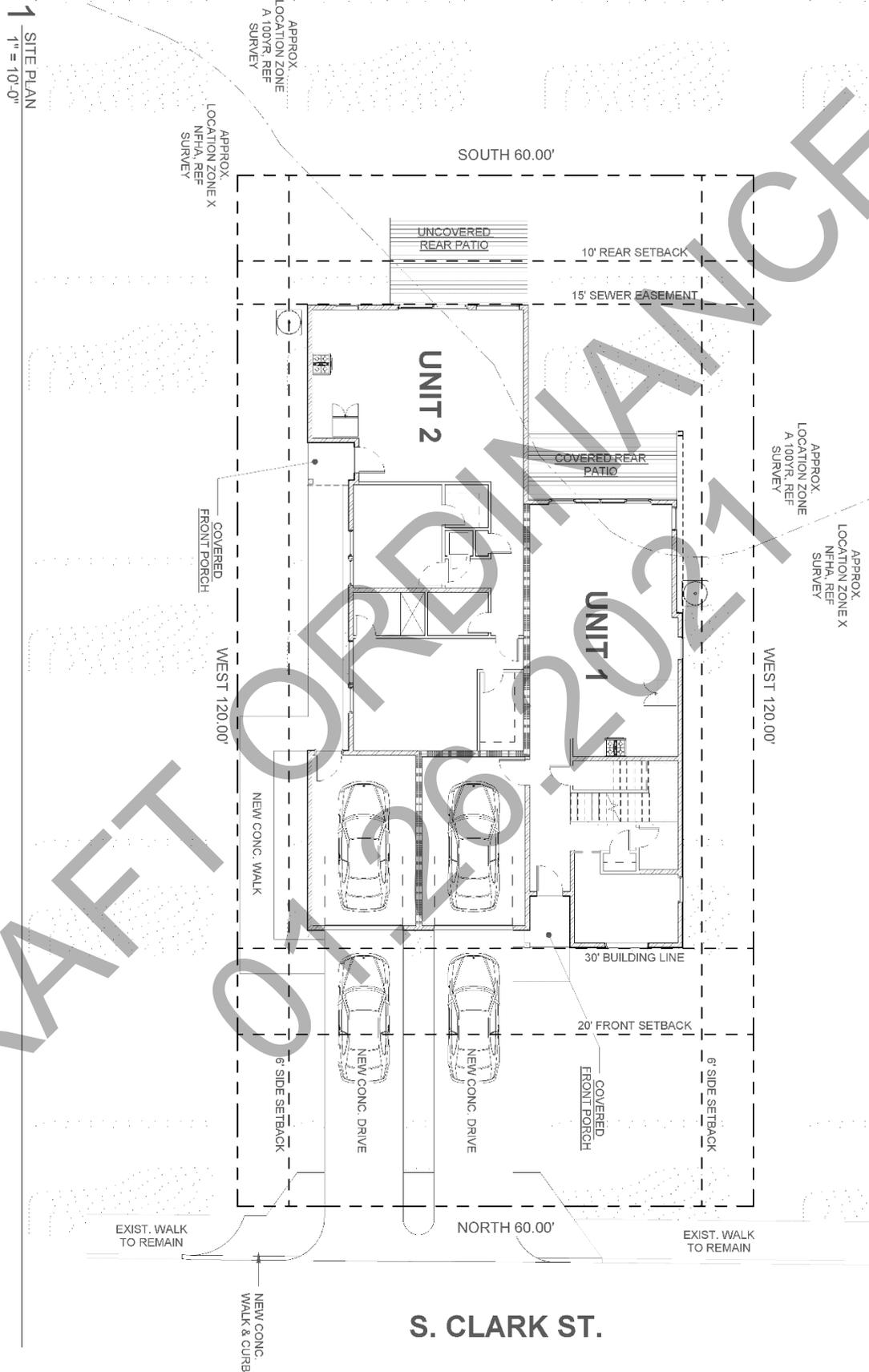
Exhibit 'A'
Location Map and Survey

Address: 511 S. Clark Street

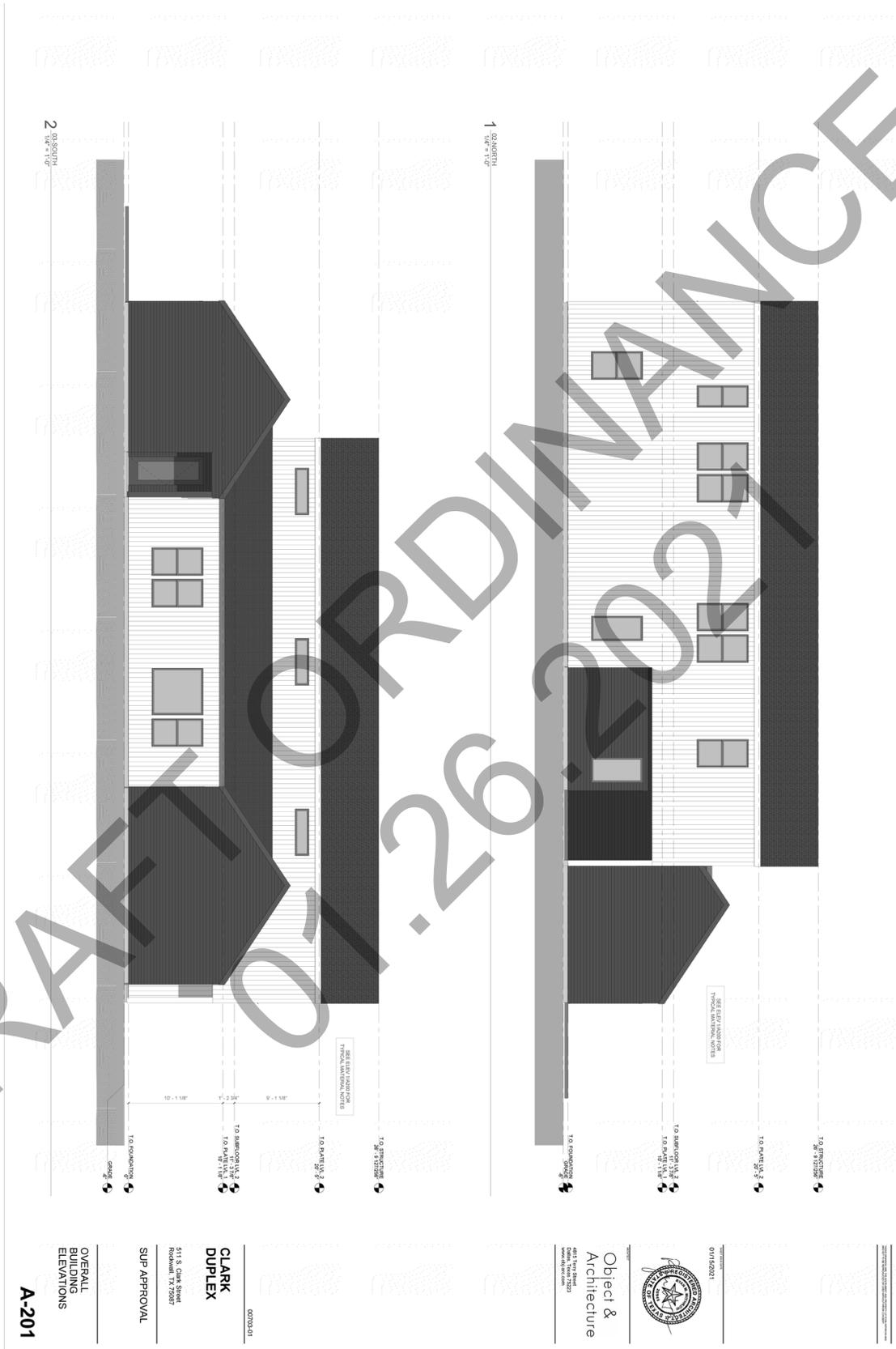
Legal Description: Lot 6, Harris Addition



**Exhibit 'B':
Residential Plot Plan**



**Exhibit 'C':
Building Elevations**





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: David Gonzales, *Planning and Zoning Manager*

DATE: March 9, 2021

SUBJECT: Z2021-003; *Specific Use Permit (SUP) for Residential Infill at 511 S. Clark Street*

On February 9, 2021, the Planning and Zoning Commission granted a request for a 30-day postponement of the public hearing to allow the applicant time to prepare a topographic survey in order to determine the floodplain/erosion hazard setback, which could potentially affect the placement of the proposed duplex. This was requested by the City's Engineering Department; however, the applicant, Jason Castro of Castro Development, LLC, has indicated to staff that the topographic survey is not complete and is requesting to withdraw the case [*i.e.* Case No. Z2021-003] (*see attached email*). The applicant has stated that he intends to resubmit the SUP request once the topographic survey is complete. According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means the Planning and Zoning Commission will need to vote on whether or not to accept the applicant's withdraw request. Should the Planning and Zoning Commission have any questions staff will be available at the March 9, 2021 meeting.

From: [Jason Castro](#)
To: [Gonzales, David](#)
Cc: [Ryan Withrow](#)
Subject: Re: P&Z Meeting Next Week
Date: Wednesday, March 3, 2021 12:30:53 PM
Attachments: [image003.png](#)
[image004.png](#)
[Outlook-23z24utu.png](#)

Good morning David,

Per our conversation this morning, we would like to request our application for 511 South Clark Street be withdrawn until the Topographical Survey has been performed.

Thank you for your consideration and assistance getting this withdrawn.

Sincerely,

[Texas law requires all license holders to provide the following Information About Brokerage Services form to prospective clients.](#)



Jason Castro

c. 214-232-2750
e. Jason@CastroPropertyGroup.com

Like me [Facebook!](#)
Follow me on [Twitter](#) & [Instagram](#)

During your representation by Coldwell Banker, you will NEVER be asked, via email, to wire or send funds to anyone, not even a title company. DO NOT COMPLY WITH EMAIL INSTRUCTIONS TO WIRE FUNDS!

From: Gonzales, David <DGonzales@rockwall.com>
Sent: Tuesday, March 2, 2021 3:40 PM
To: Jason Castro <jason@castropropertygroup.com>
Cc: Ryan Withrow <ryan@obj-arc.com>
Subject: RE: P&Z Meeting Next Week



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 9, 2021
APPLICANT: Jason Castro
CASE NUMBER: Z2021-003; *Specific Use Permit (SUP) for a Residential Infill for 511 S. Clark Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 5, 1972 and remained a commercially zoned property until at least December 6, 1993. Based on the December 7, 1993 historic zoning map, the subject property had been changed to Heavy Commercial (HC) District. On April 5, 2005, the historic zoning map indicates a change in zoning from Heavy Commercial (HC) District to Two-Family (2F) District. This is the current zoning designation of the subject property. On April 13, 1960, the subject property was platted to Lot 6 of the Harris Addition.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a duplex on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 511 S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 509 S. Clark Street (*i.e. Lot 7 of the Harris Addition*), which is zoned Two-Family (2F) District. This property has an existing single-family home. Adjacent to 509 S. Clark Street are several parcels of land that contain single-family homes and are zoned Single-Family 7 (SF-7) District. Beyond this are five (5) single-family homes on five (5) parcels of land (*i.e. Lots 49A, 49B, 50, 51 105A-1 of the B. F. Boydston Addition*) zoned Single-Family 7 (SF-7) District. All of these properties are within the Old Town Rockwall Historic District. Beyond this is Hartman Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several existing single-family homes sites (*i.e. Lot 1-6A of the Harris Addition*), which are zoned Two-Family (2F) District. Adjacent to the Harris Addition is 703 S. Clark Street (*i.e. Lot 1, Block 1, Allen Hogue Subdivision*), which is zoned Planned Development District 52 (PD-52) for Two-Family (2F) district land uses. Beyond this is E. Boydston Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 1.50-acre vacant tract of land (i.e. Block 108 of the B F Boydston Addition) zoned Two-Family (2F) District. Continuing east are two (2) tracts of land: [1] a 1.792-acre parcel of land (i.e. Tract 44-01 of the R. Ballard Survey, Abstract No. 29) and [2] a 2.6-acre parcel of land (i.e. Tract 65 of the R. Ballard Survey, Abstract No. 29). Both of these tracts are zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) properties that contain legal non-conforming land uses and that are zoned Commercial (C) District. These properties are located within the Mill Co. Subdivision. Adjacent to these non-conforming land uses, and also located within the Mill Co. Subdivision, are eight (8) single-family homes zoned Two-Family (2F) District. Beyond this is Tyler Street, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Harris Addition and within 500-feet of the Mill Co. and Integrity Additions. All of these subdivisions are considered to be established subdivisions and have been in existence for more than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being zoned Two-Family (2F) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on S. Clark Street and Storrs Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Clark Street, Storrs Street, and the Subject Property	Proposed Housing
Building Height	One (1) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face S. Clark Street
Year Built	1945-2006	N/A
Building SF on Property	696 SF – 2,049 SF	Unit #1, 2,023 SF & Unit #2, 1,171 SF (A/C Area)
Building Architecture	Single Family Homes	Duplex – Not Comparable to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	20-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Brick and Siding	Fiber Cement: Lap Siding and Board & Batten
Paint and Color	Red, White, Grey, Green, Blue and Brown	Unknown
Roofs	Composite and Asphalt Shingles	Asphalt Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and no garages.	The garage will be attached to Unit #2, and located approximately (two) 2-feet behind the front façade of

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing a flat front-entry garage (*i.e. one [1] single-car garage for each dwelling unit*) that is attached to Unit #2 and sets back approximately two (2) feet from the front façade of Unit #1, and if approved the Planning and Zoning Commission and City Council will be waiving the required garage orientation requirements. Staff should note that this garage orientation is not uncharacteristic of the neighborhood. Some of the single-family homes in the neighborhood have a garage that is in front of, flush or behind the front façade of the single-family home. In some cases, there is not a garage, but a front entry driveway. With the exception of the garage orientation, the proposed duplex meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Clark Street, Storrs Street, and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On January 22, 2021, staff mailed 71 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Four (4) property owner notifications from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (2) One (1) email from a property owner within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (3) One (1) property owner notification from a property owner within the notification area (*i.e. within the 500-foot buffer*) that is in favor of the applicant's request.
- (4) One (1) property owner notification from property owner that is *not within* the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a duplex on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the duplex has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
 - (d) The subject property will be required to provide a flood study prior to the issuance of a building permit that indicates the proposed structure will not be constructed within the floodplain/erosion hazard setback.

- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-003

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 S. Clark Street Rockwall, TX 75087

SUBDIVISION J.E. HARRIS SUBDIVISION

LOT 6

BLOCK _____

GENERAL LOCATION DOWNTOWN 2 NEIGHBORHOOD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING TWO-FAMILY (2F)

CURRENT USE VACANT

PROPOSED ZONING _____

PROPOSED USE TWO-FAMILY (DUPLEX)

ACREAGE 0.16 LOTS [CURRENT]

1 LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Castro Development LLC

APPLICANT _____

CONTACT PERSON Jason Castro

CONTACT PERSON _____

ADDRESS 16424 FALLKIRK DRIVE

ADDRESS _____

CITY, STATE & ZIP DALLAS, TX 75248

CITY, STATE & ZIP _____

PHONE 214.232.2750

PHONE _____

E-MAIL jason@castropropertygroup.com

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

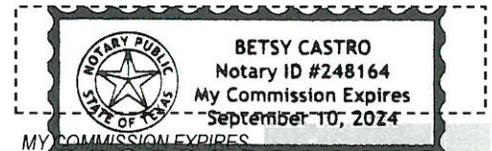
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jason Castro [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

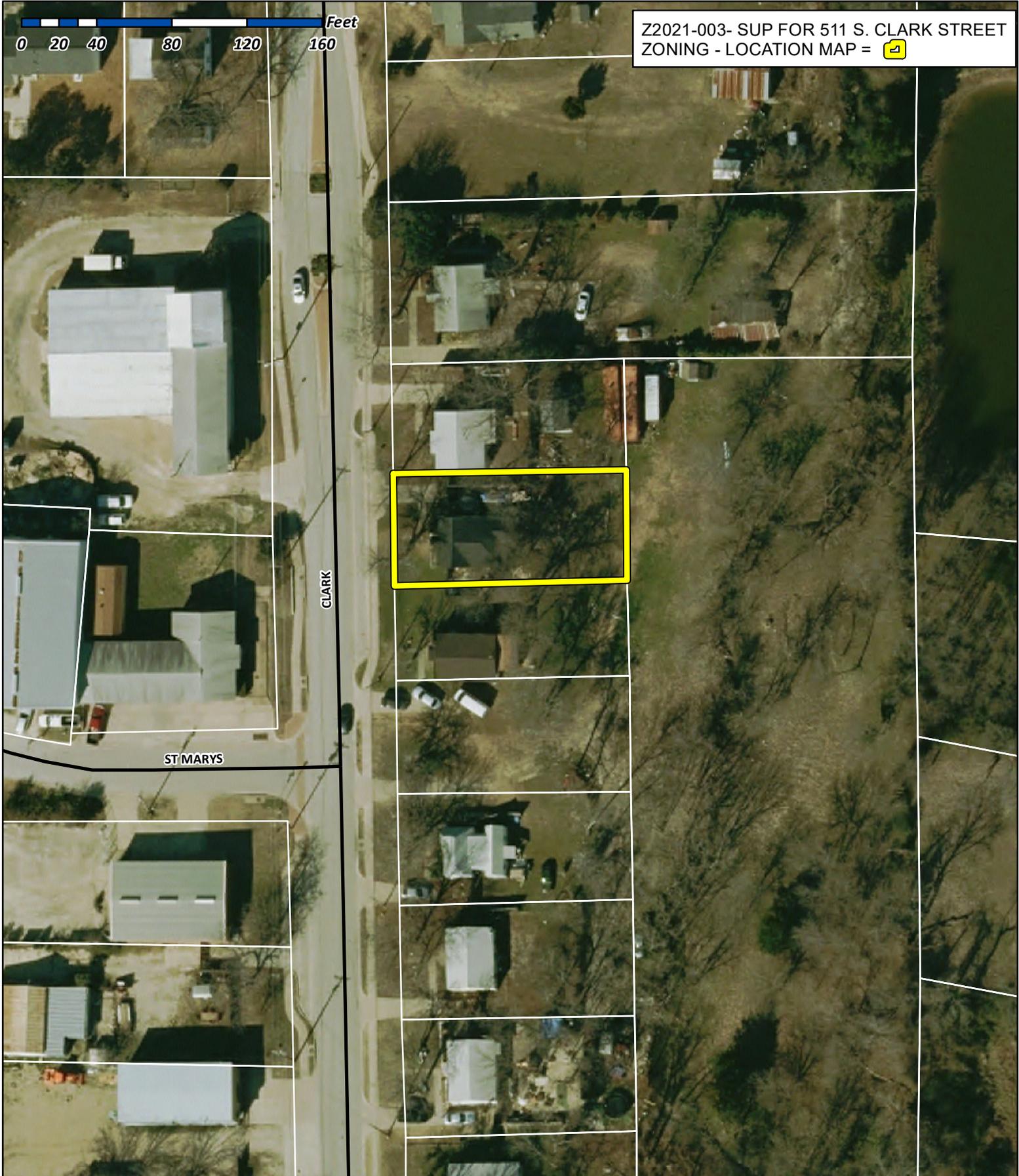
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF January, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

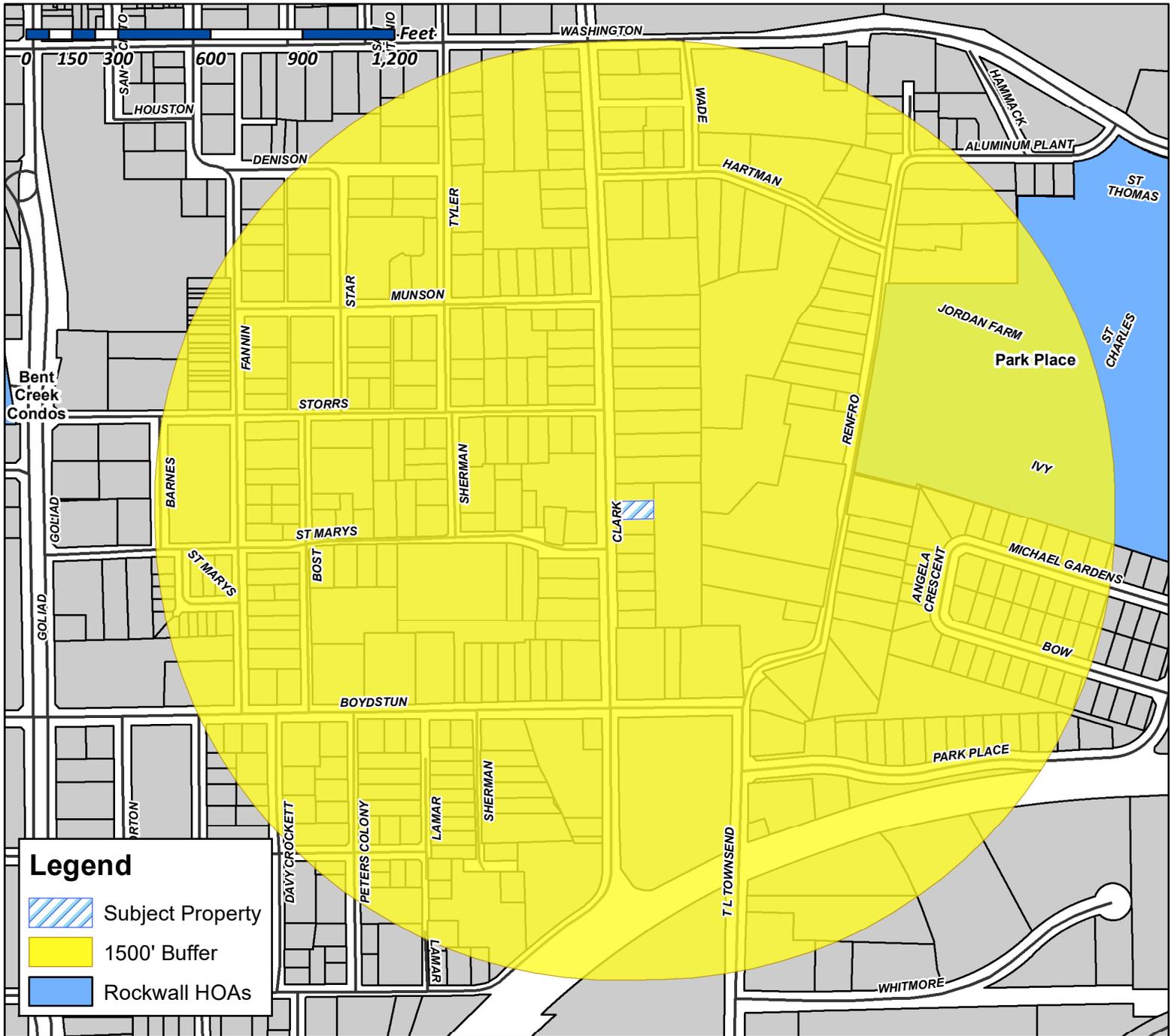




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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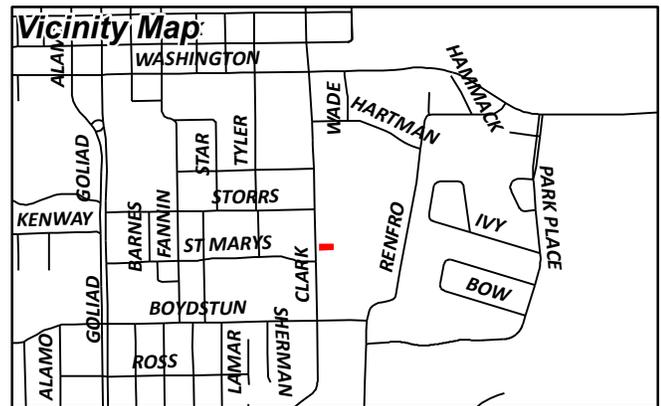


Legend

-  Subject Property
-  1500' Buffer
-  Rockwall HOAs

Case Number: Z2021-003
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 1/19/2021
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2021-003]
Date: Friday, January 22, 2021 9:00:07 AM
Attachments: [Public Notice \(01.19.2021\).pdf](#)
[HOA Map Z2021-003.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [January 29, 2021](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 9, 2021 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 16, 2021 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-003 SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

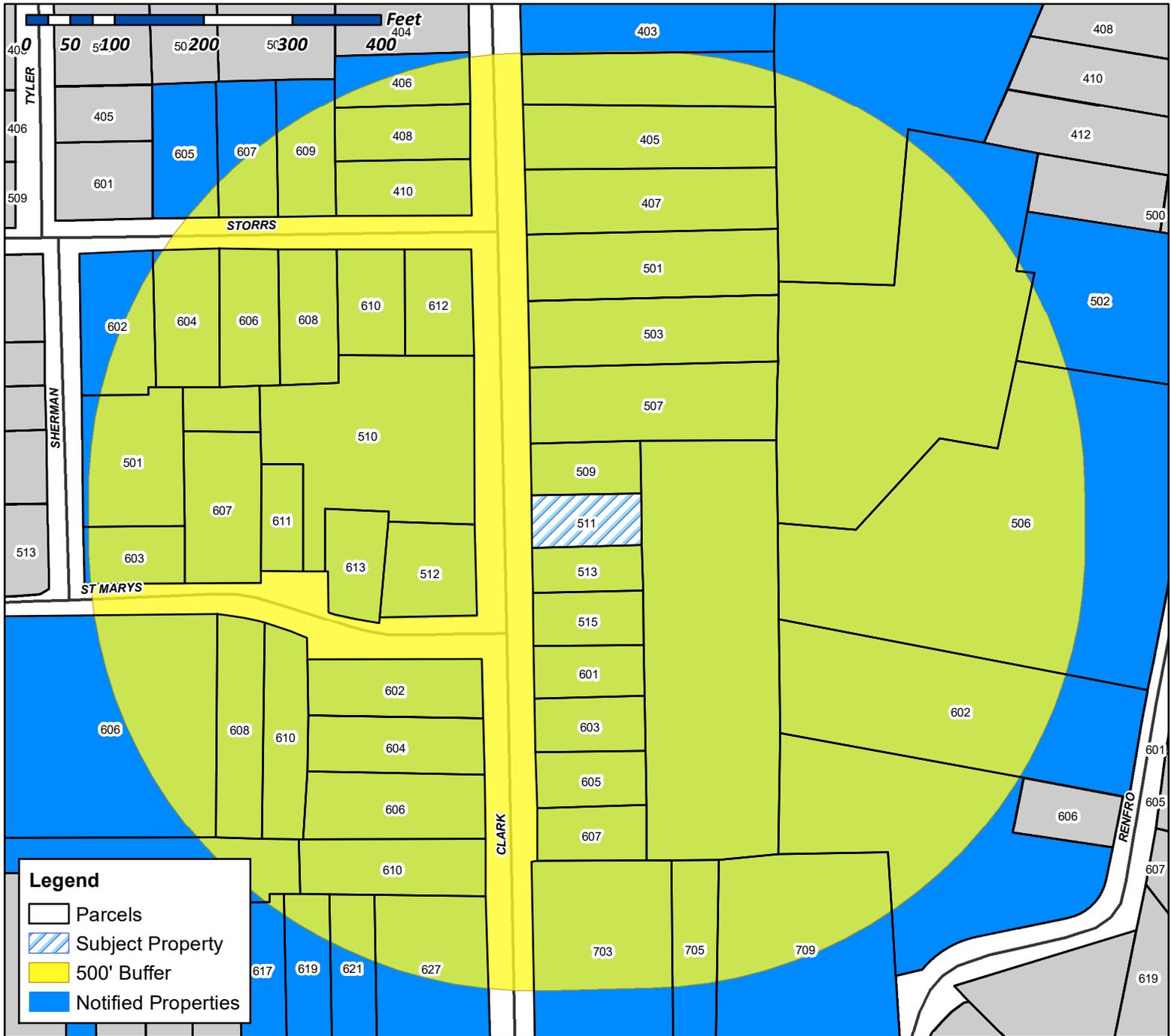
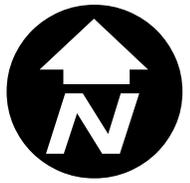
<http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Legend

- Parcels
- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2021-003
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street



Date Created: 1/19/2021
 For Questions on this Case Call (972) 771-7745

 = RESPONSE RECEIVED

MCCALLUM DARRELL
1 SOAPBERRY LN
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
215 GRIFFIN AVENUE
FATE, TX 75189

BOWEN CHASE AND
PERRY BOWEN
230 MYERS ROAD
HEATH, TX 75032

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
3299 ROCHELLE RD
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE
401 E KAUFMAN ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
401 S CLARK ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
403 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
405 S CLARK STREET
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S CLARK ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
501 SHERMAN ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
501 S CLARK
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
503 S CLARK
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

HAMANN KRISTIE M
511 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
515 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W
602 STORRS STREET
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
602 S CLARK ST
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
603 ST MARYS ST
ROCKWALL, TX 75087

RIVERA SARA ELIA
603 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
604 S CLARK ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
606 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
608 ST MARYS ST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
ROCKWALL, TX 75087

GADDIS DANNY E
609 STORRS ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
610 S CLARK ST
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRS ST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-003: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 16, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 16, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



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Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

~~My name is on the deed and I am opposed to the request for the reasons listed below. I am opposed to the request for the reasons listed below. I am opposed to the request for the reasons listed below. I am opposed to the request for the reasons listed below.~~

XX see attached XX

Name: Amy Davis
Address: 606 Storis St Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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February 3, 2021

Planning Department

Case No. Z2021-003; Specific Use Permit for Residential Infill

Our neighborhood has improved with the newly developed and renovated homes on Clark Street and the surrounding area. Our property values continue to increase, but I do not believe that will continue if the city allows two-family duplexes to be built on Clark. I do not believe it is in the best interest of any of the surrounding homeowners in the area. Unfortunately, there are duplexes on Storrs Street that are not well maintained and appear very run down. I am opposed to the request for the Special Use Permit.

Regards,



Amy Davis
606 Storrs Street
Rockwall, TX 75087

PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

- 1) Building in the flood plane could negatively affect my property.
- 2) NOT enough parking on street for cars. Current design only has 1 garage for each unit.
- 3) GARAGES ARE pulling STRAIGHT in. NO U-Swing?

Name: Colby Randolph
Address: 621 E. Boydston Ave

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Ryan Miller, AICP
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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

The downtown or "Old" town area of Rockwall is a unique neighborhood with beautiful older single family homes. We want it to stay that way, so it will continue with the charm of a small town feel. Duplexes do NOT represent our neighborhood.

Name: Michael & Sarah Haldeman
Address: 607 Storrs St. Rockwall Tx. 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

LOT IS NOT BIG ENOUGH FOR A DUPLEX. THERE ARE NO OTHER DUPLEXES ON CLARK. TOO MANY DUPLEXES IN THIS AREA ALREADY.

Name: MICHAEL JAMGOCHIAN

Address: 602 STORRS STREET

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

*I would prefer we keep the character of the neighborhood to Single Family Homes vs Mixing in potential rental type property.
Vote, NO*

Name: *Michael Rasmussen*
Address: *507 Park Place Blvd Rockwall TX 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-003: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

Always nice to have a new house on the street



Name:

Sherril Johnston

Address:

610 Storrs St.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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From: [Renee LeCour](#)
To: [Gonzales, David](#)
Subject: Case No. Z2021-003 : Specific Use Permit for Residential Infill
Date: Tuesday, February 9, 2021 9:31:28 AM

Mr. Gonzales,

We are opposed to the rezoning to build a duplex on Clark Street. All of the homes are single family homes. We don't want to see this changed .

We feel like having another rental property that is a duplex would increase the congestion of traffic on Clark St and also the possibility of increased crime.

Mr. Castro already has a rental property next door to our home. We aren't opposed to him building a single family home. We want to see our neighborhood remain single family homes. Thank you for your consideration of this matter.

Sincerely,

David & Renee' LeCour
507 S. Clark St.
Rockwall, Tx 75087


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SHEET ISSUE DATE
01/15/2021



ARCHITECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
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1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

00703-01

**CLARK
DUPLEX**

511 S. Clark Street
Rockwall, TX 75087

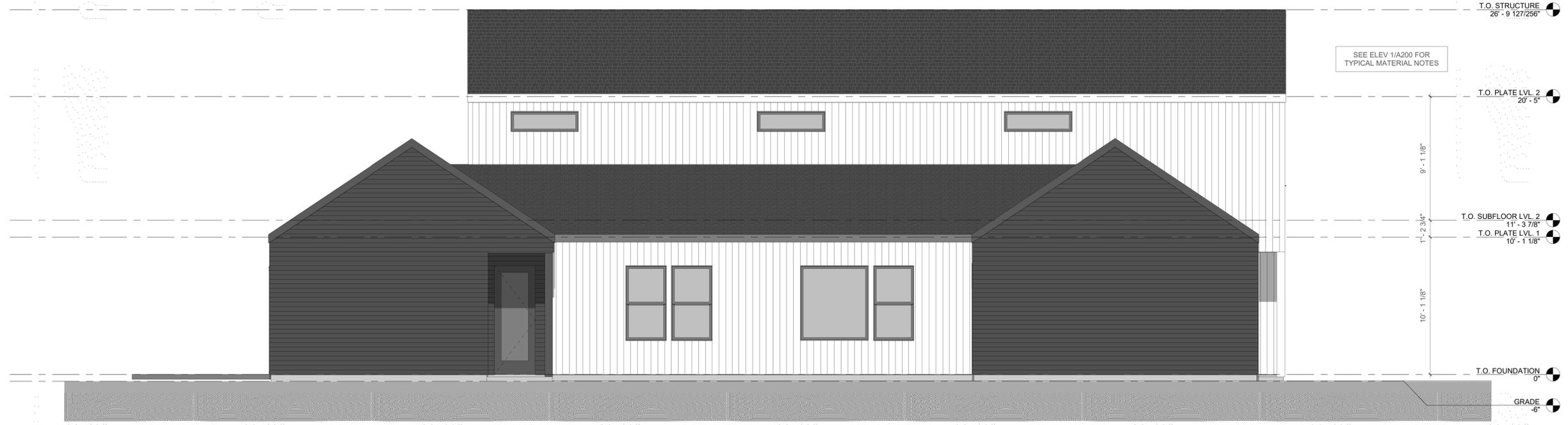
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200



1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

SHEET ISSUE DATE
01/15/2021



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00703-01

**CLARK
DUPLEX**

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-201

GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FIXTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF OJAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE

01/15/2021



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1 FIRST FLOOR PLAN
1/4" = 1'-0"

00703-01

CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 1 FLOOR PLAN



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GENERAL FLOOR PLAN NOTES

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7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
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9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

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00703-01

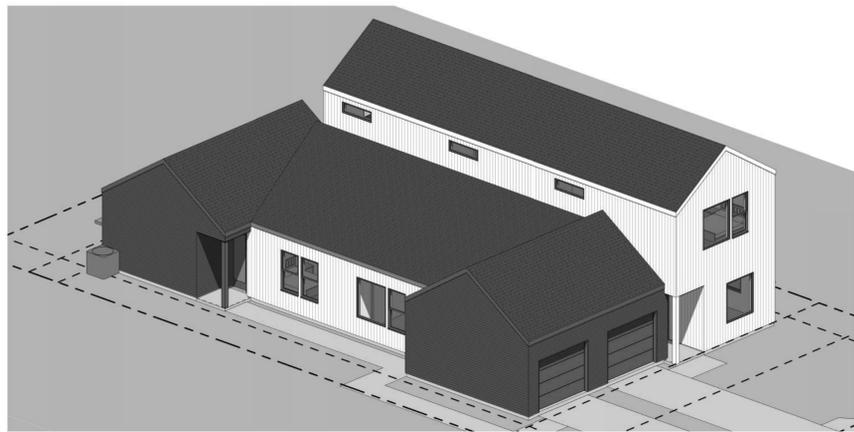
CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 2 FLOOR PLAN





Axo 1



Axo 2

GENERAL PROJECT NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
2. THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
3. ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
5. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
6. DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
7. AS REQUIRED BY THE IRODALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STENCILING AT SIZES AND LOCATIONS REQUIRED BY CODE.
8. ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
9. PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
10. MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
11. CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, T.I.E., E.I.F.S. AND PLASTER WORK.
12. PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
13. PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURER'S CUT SHEETS. CONFIRM THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
14. WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R13 REQUIREMENTS.
15. THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
16. ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
17. VERIFY ALL SIZE AND LOCATIONS FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
18. PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
19. PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

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SHEET ISSUE DATE
01/15/2021



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APPLICABLE BUILDING CODES

- 2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
- 2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
- 2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

DRAWING SYMBOL LEGEND

	TYPICAL EXISTING WALL		WINDOW TAG
	TYPICAL REMOVED WALL		WALL TYPE
	TYPICAL 3-1/2" STUD INTERIOR WALL		DOOR TAG
	INTERIOR WALL WITH SOUND INTERIOR		SECTION CUT TAG
	TYPICAL 5 1/2" STUD INTERIOR WALL		ELEVATION TAG
	TYPICAL SIDING EXTERIOR WALL		DETAIL TAG
	TYPICAL CEMENT PLASTER EXTERIOR WALL		
	TYPICAL MASONRY EXTERIOR WALL		

PROJECT DIRECTORY

OWNER CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	ARCHITECT OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
CONTACT: JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	CONTACT: RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION: NEW TWO STORY TWO FAMILY (DUPLX) RESIDENCE
ADDRESS: 511 S. CLARK STREET
ROCKWALL, TX 75087
CITY: ROCKWALL
COUNTY: ROCKWALL COUNTY
LOT: 6
BLOCK: J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS
ZONE: TWO-FAMILY (2F)
MAIN USE: TWO FAMILY RESIDENCE (DUPLX)
FRONT SETBACK: 20 FT.
SIDE SETBACKS: 6 FT.
REAR SETBACK: 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY: NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT: 32 FT.
LOT COVERAGE: 45% MAX

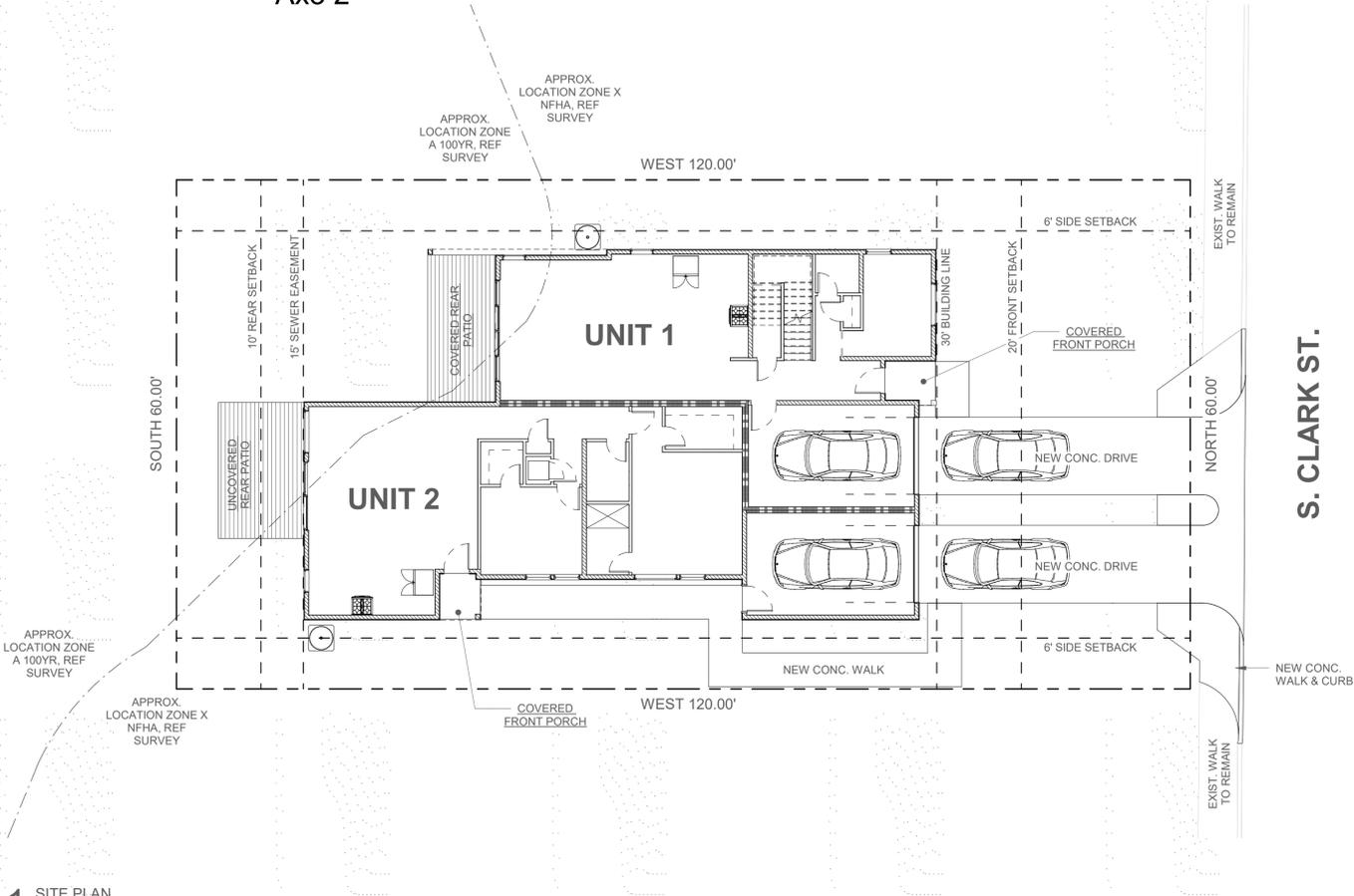
AREA CALCULATIONS

CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	914 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	1,109 SQ.FT.
UNIT 1 TOTAL A/C AREA:	2,023 SQ.FT.
UNIT 2 FIRST FLOOR A/C AREA:	1,171 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,171 SQ.FT.
UNCONDITIONED AREAS:	
UNIT 1 GARAGE AREA:	253 SQ.FT.
UNIT 2 GARAGE AREA:	268 SQ.FT.
UNIT 1 FRONT PORCH COVERED AREA:	29 SQ.FT.
UNIT 1 REAR PATIO COVERED AREA:	152 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	26 SQ.FT.
TOTAL COVERED PORCHES:	207 SQ.FT.

LOT AREA: 7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA: 2,292 SQ.FT.
COVERAGE: 31.8 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

LOCATION MAP



00703-01

CLARK DUPLEX
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET & SITE PLAN



G-100

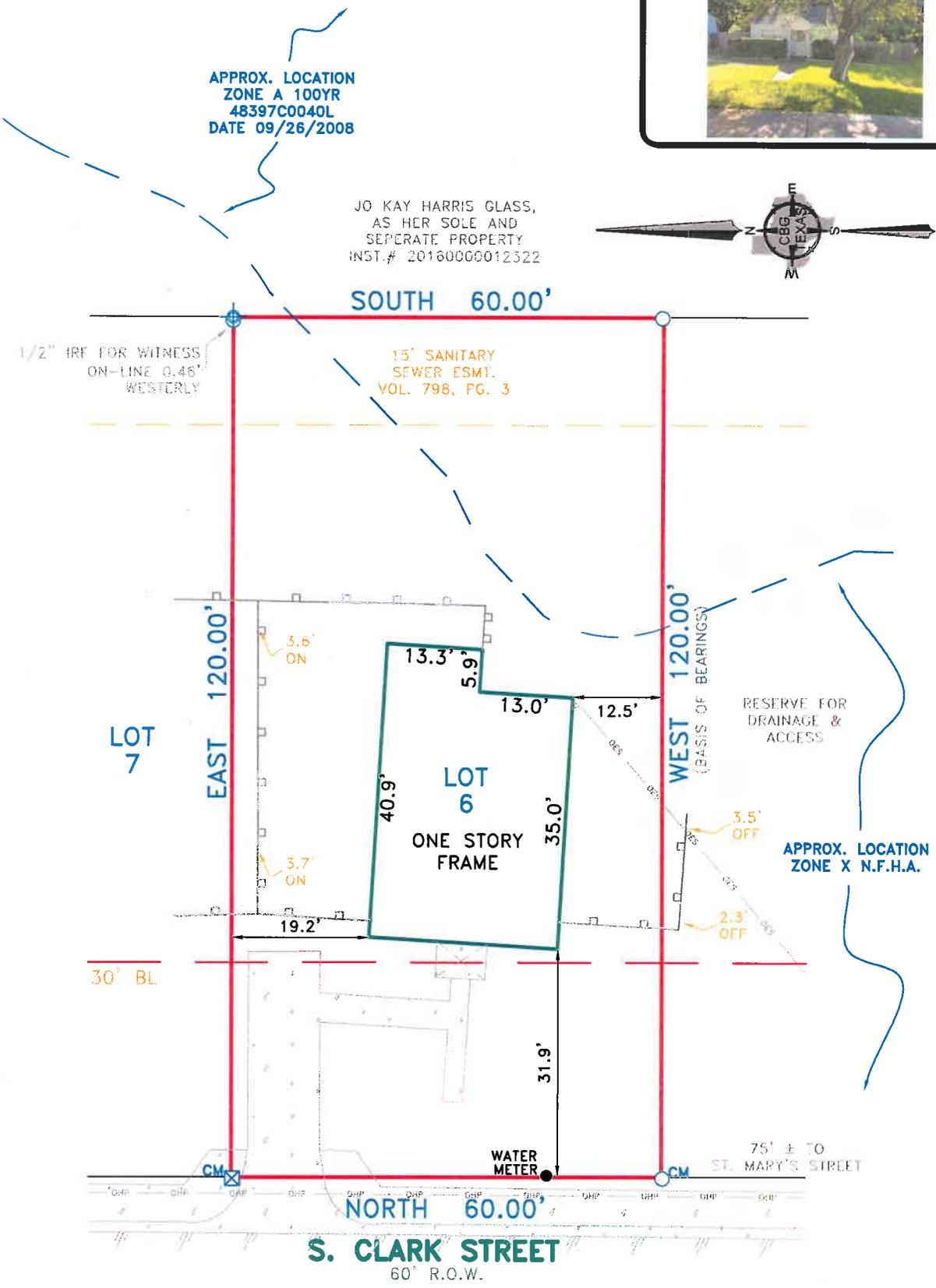


511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY, an Addition in Rockwall County, Texas, according to the Map or Plat recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat Records of Rockwall County, Texas.



- LEGEND**
- 1/2" ROD FOUND
 - ⊗ 1/2" ROD SET
 - 1" PIPE FOUND
 - ⊠ "X" FOUND/SET
 - ⊗ 5/8" ROD FOUND
 - ◆ POINT FOR CORNER FENCE POST FOR CORNER
 - CONTROLLING MONUMENT
 - CM AIR CONDITIONER
 - AC POOL EQUIPMENT
 - PE TRANSFORMER PAD
 - TE
 - COLUMN
 - POWER POLE
 - ▲ UNDERGROUND ELECTRIC
 - △ OVERHEAD ELECTRIC
 - OHP— OVERHEAD ELECTRIC POWER
 - OES— OVERHEAD ELECTRIC SERVICE
 - CHAIN LINK
 - WOOD FENCE 0.5' WIDE TYPICAL
 - IRON FENCE
 - X— BARBED WIRE
 - DOUBLE SIDED WOOD FENCE
 - /— EDGE OF ASPHALT
 - /— EDGE OF GRAVEL
 - CONCRETE
 - /— COVERED AREA
 - BRICK
 - STONE



EXCEPTIONS:

Accepted by: _____
Purchaser

Date: _____
Purchaser

NOTES:
NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Capital Title. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JAI/CAJ
Scale: 1" = 20'
Date: 7-30-2020
GF No.: 20-509065-RL
Job No. 2013905

CBG SURVEYING TEXAS LLC
12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.obgtxllc.com

STATE OF TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR
TODD FINCHER
5633
R.P.L.S. NO. 5633

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
402 S Clark Street	Single-Family Home	1987	1,090	216	Brick
403 S Clark Street	Single-Family Home	1966	720	N/A	Siding
404 S Clark Street	Single-Family Home	1983	1,097	N/A	Brick
405 S Clark Street	Single-Family Home	2006	1,682	N/A	Brick
406 S Clark Street	Single-Family Home	1990	1,348	144	Brick
408 S Clark Street	Single-Family Home	2006	2,049	N/A	Brick
410 S Clark Street	Single-Family Home	1989	1,112	N/A	Siding
501 S Clark Street	Single-Family Home				
503 S Clark Street	Other	1975	N/A	600	Metal
507 S Clark Street	Single-Family Home	1975	884	670	Brick
509 S Clark Street	Single-Family Home	1945	768	240	Siding
510 S Clark Street	Other	1970		N/A	Metal
511 S Clark Street	Vacant		Subject Property		
512 S Clark Street	Other	1960		N/A	Siding
513 S Clark Street	Single-Family Home	1966	744	N/A	Siding
402 & 404 Storrs Street	Duplex	N/A	N/A	N/A	Brick
406, 500, & 502 Storrs Street	Tri-Plex	N/A	N/A	N/A	Brick
504-A & 504-B Storrs Street	Duplex	1999	1,260	N/A	Brick
518 & 520 Storrs Street	Duplex	1999	1,260	N/A	Brick
514 & 516 Storrs Street	Duplex	1989	1,270	N/A	Brick
510 & 512 Storrs Street	Duplex	1985	1,218	N/A	Brick
602 Storrs Street	Single-Family Home	1890	3,222	N/A	Siding
604 Storrs Street	Single-Family Home	1990	1,262	48	Siding
605 Storrs Street	Single-Family Home	1980	1,554	370	Siding
606 Storrs Street	Single-Family Home	1990	929	N/A	Siding
607 Storrs Street	Single-Family Home	1993	1,170	N/A	Siding
608 Storrs Street	Single-Family Home	1950	735	196	Siding
609 Storrs Street	Single-Family Home	1990	1,168	N/A	Siding
610 Storrs Street	Single-Family Home	1985	1,130	100	Siding
612 Storrs Street	Single-Family Home	1960	696	320	Siding
Averages:		1978	1,233		



402 S Clark Street



403 S Clark Street



404 S Clark Street



405 S Clark Street



406 S Clark Street



408 S Clark Street



410 S Clark Street



501 S Clark Street



503 S Clark Street



507 S Clark Street



509 S Clark Street



510 S Clark Street



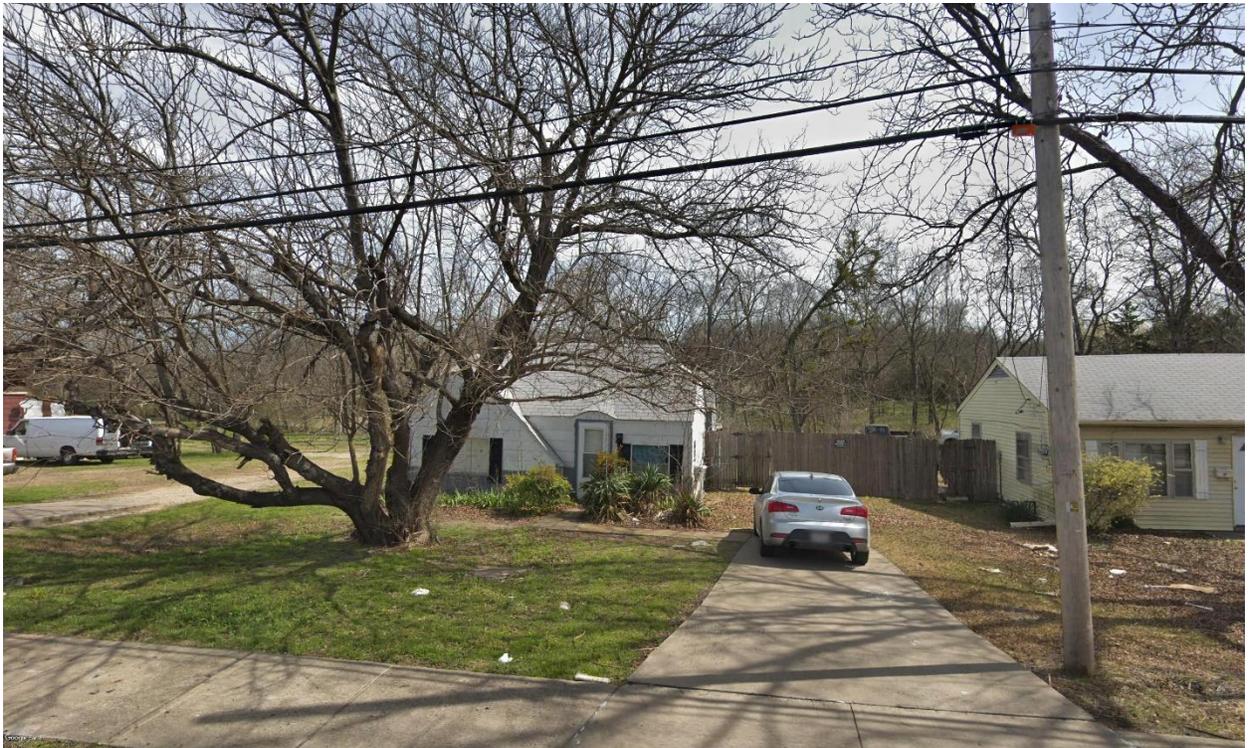
511 S Clark Street



512 S Clark Street



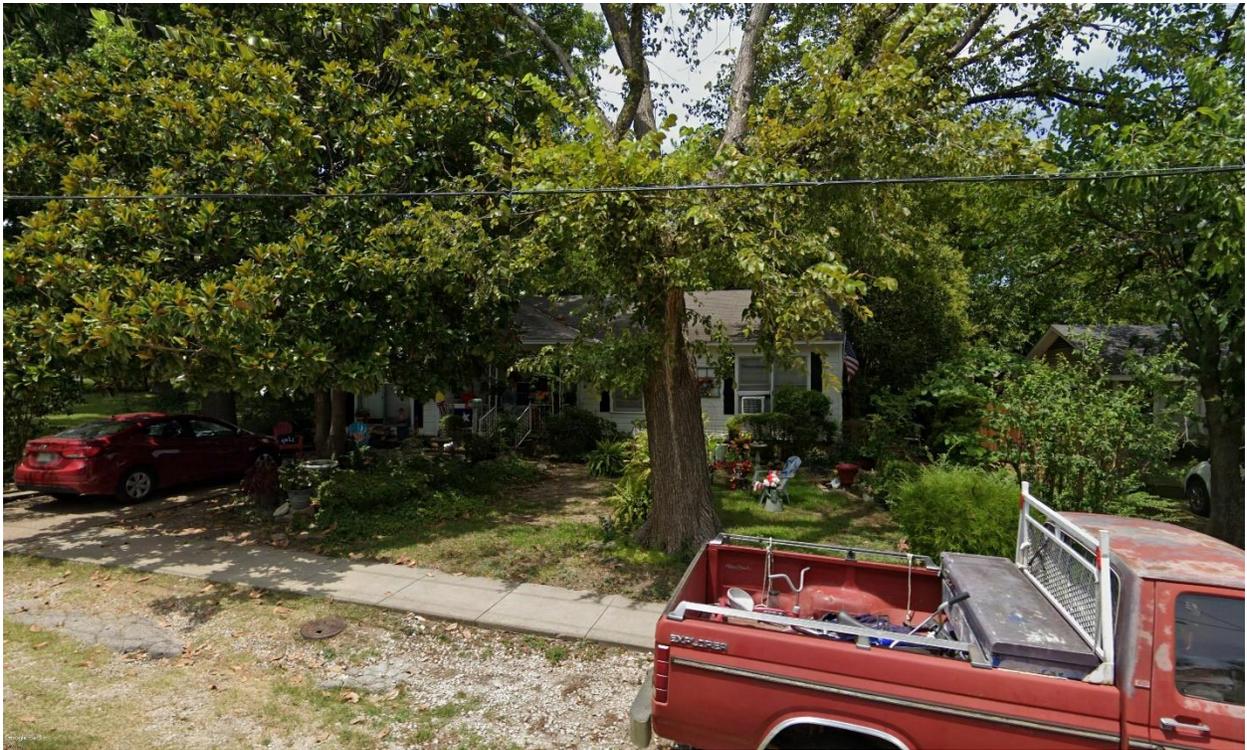
513 S Clark Street



601 S Clark Street



604 Storrs Street



605 Storrs Street



606 Storrs Street



607 Storrs Street



608 Storrs Street



609 Storrs Street



610 Storrs Street



612 Storrs Street

402 & 404 Storrs Street
Write a description for your map.

Legend



Google Earth

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©2021 Google

5.55 ft



406, 500, & 502 Storrs Street
Write a description for your map.

Legend



Google Earth

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5.81 ft

504-A & 504-B Storrs Street

Legend



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485 ft



510 & 512 Storrs Street

Legend



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5.46 ft

518 & 520 Storrs Street

Legend



Google Earth

©2020 Google
©2021 Google

4.17 ft



514 & 516 Storrs Street

Legend



Google Earth

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4.13 ft



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.165-acre parcel of land being described as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a *duplex* in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a two-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the two-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- 4) The subject property will be required to provide a flood study prior to the issuance of a building permit that indicates the proposed structure will not be constructed within the floodplain.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF MARCH, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 16, 2021

2nd Reading: March 1, 2021

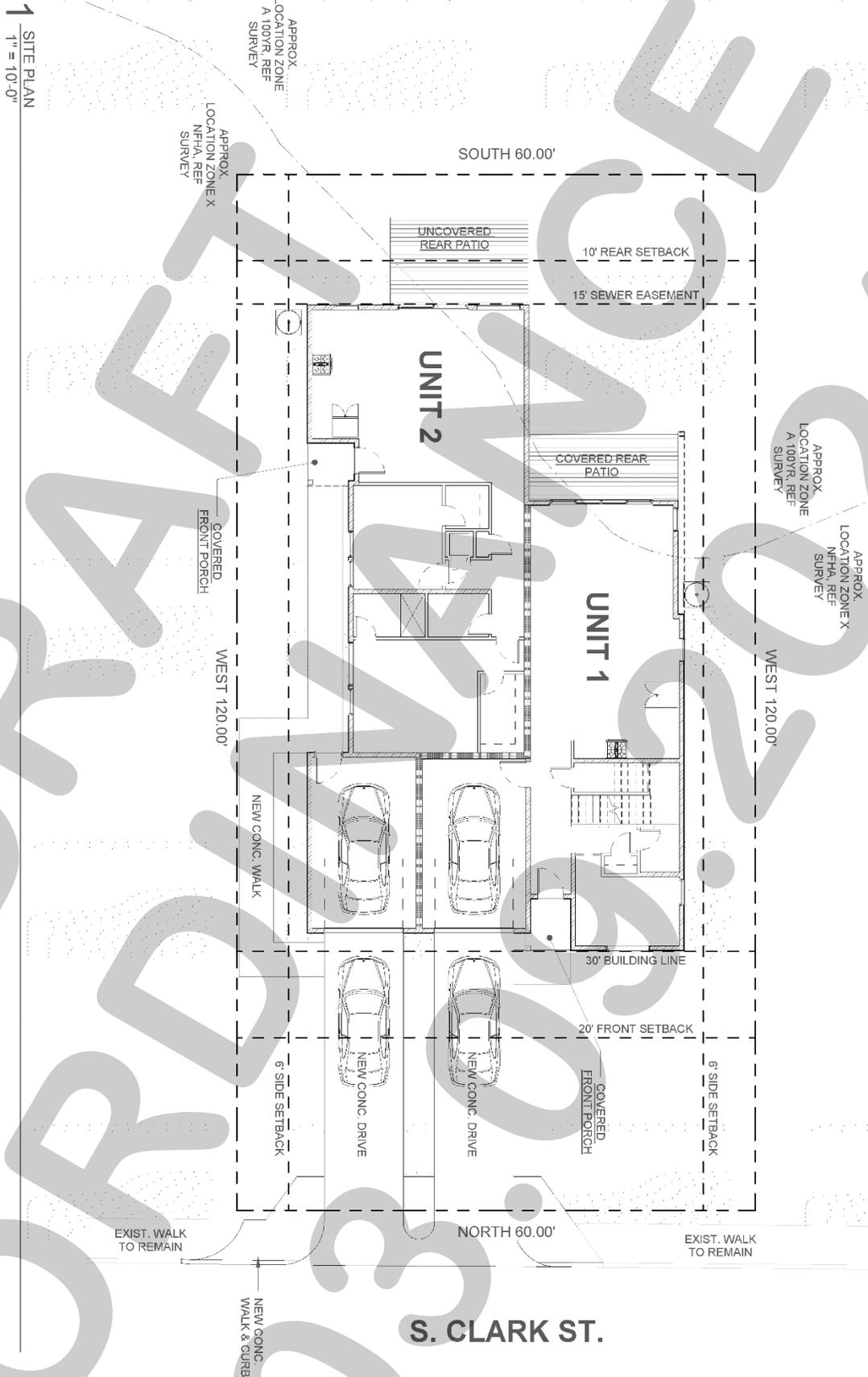
Exhibit 'A'
Location Map and Survey

Address: 511 S. Clark Street

Legal Description: Lot 6, Harris Addition



**Exhibit 'B':
Residential Plot Plan**



**Exhibit 'C':
Building Elevations**

