



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22021-015 P&Z DATE 06/15/21 CC DATE 06/21/21 APPROVED/DENIED

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION

- ☒ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# _____)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☒ HOA MAP
- ☒ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE _____
 - ☐ CABINET # _____
 - ☐ SLIDE # _____

NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **511 S. Clark Street Rockwall, TX 75087**

SUBDIVISION **J.E. HARRIS SUBDIVISION**

LOT

6

BLOCK

GENERAL LOCATION **DOWNTOWN 2 NEIGHBORHOOD**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **TWO-FAMILY (2F)**

CURRENT USE **VACANT**

PROPOSED ZONING

PROPOSED USE **TWO-FAMILY (DUPLEX)**

ACREAGE **0.165**

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER **Castro Development LLC**

☐ APPLICANT

CONTACT PERSON **Jason Castro**

CONTACT PERSON

ADDRESS **16424 FALLKIRK DRIVE**

ADDRESS

CITY, STATE & ZIP **DALLAS, TX 75248**

CITY, STATE & ZIP

PHONE **214.232.2750**

PHONE

E-MAIL **jason@castropropertygroup.com**

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

Object & Architecture

Ryan Withrow, Architect
4815 Terry Street
Dallas, Texas 75223
214 240 1995
ryan@obj-arc.com
www.obj-arc.com

May 13, 2021

Castro - Clark Duplex
511 S. Clark Street
Rockwall, TX 75087

City of Rockwall,

We are proposing the development of a duplex residence (two single family units separated by a 1-hour rated wall running from foundation to the underside of the roof decking) on a vacant lot within a district that is currently zoned for two-family residences.

The new duplex residence is proposed to be a total of 3,300 sqft of conditioned area with a two car garage. Unit One is 1,408 sqft of conditioned area and Unit Two is 1,892 sqft of conditioned area. Unit One will have two bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game/landing area, and a utility room. Unit Two will have three bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game room, and a utility room.

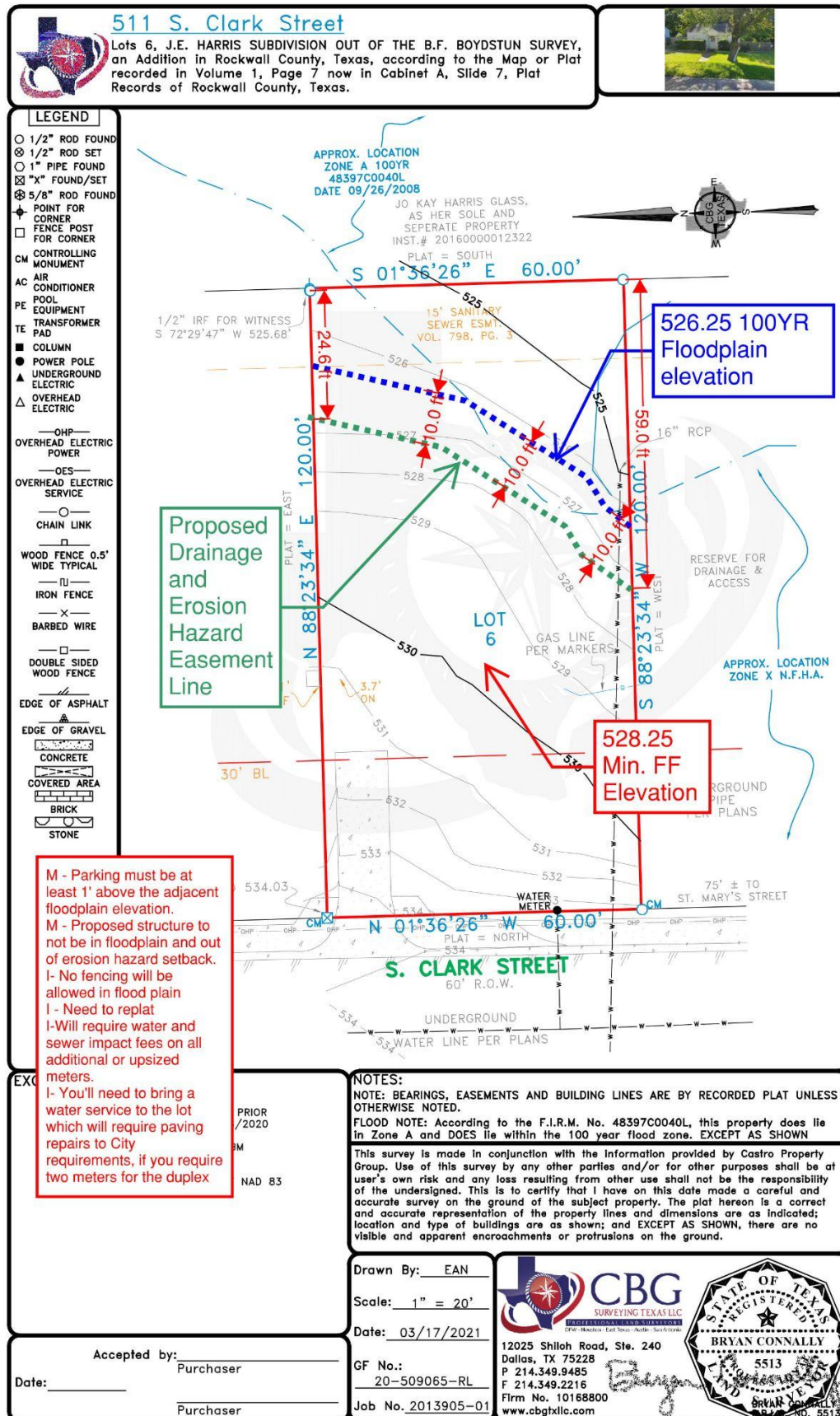
The residence will have a modern farmhouse style utilizing durable fiber cement lap siding and fiber cement board and batten siding and asphalt shingle roofing. The dwellings will meet the 2015 IECC with a minimum of R-19 batt insulation in the exterior walls, R-38 insulation at the roof, and windows with proposed U-value of 0.33 and an SHGC of 0.26.

This property has a portion of the lot which is within the 100yr floodplain. Our topographic survey is included in the application package and has been reviewed by City of Rockwall engineers. On the following page I have included their markups which we have taken into consideration when designing this duplex residence.

I hope that you find this application to be complete and satisfactory. If you have any questions about the information above, please feel free to contact me.

Sincerely,

Ryan Withrow, Architect
Object & Architecture PLLC
TBAE License #26945





1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

SHEET ISSUE DATE:
01/15/2021

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REGULATORY APPROVAL,
PERMITTING OR CONSTRUCTION.

ARCHITECT

Object &
Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

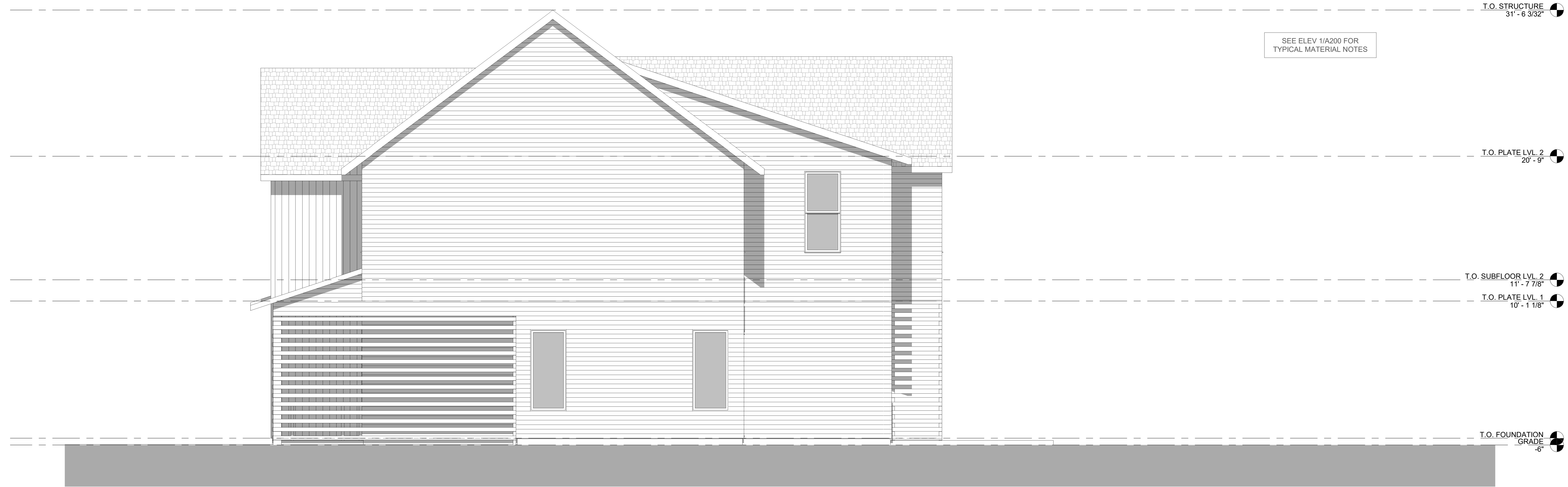
CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

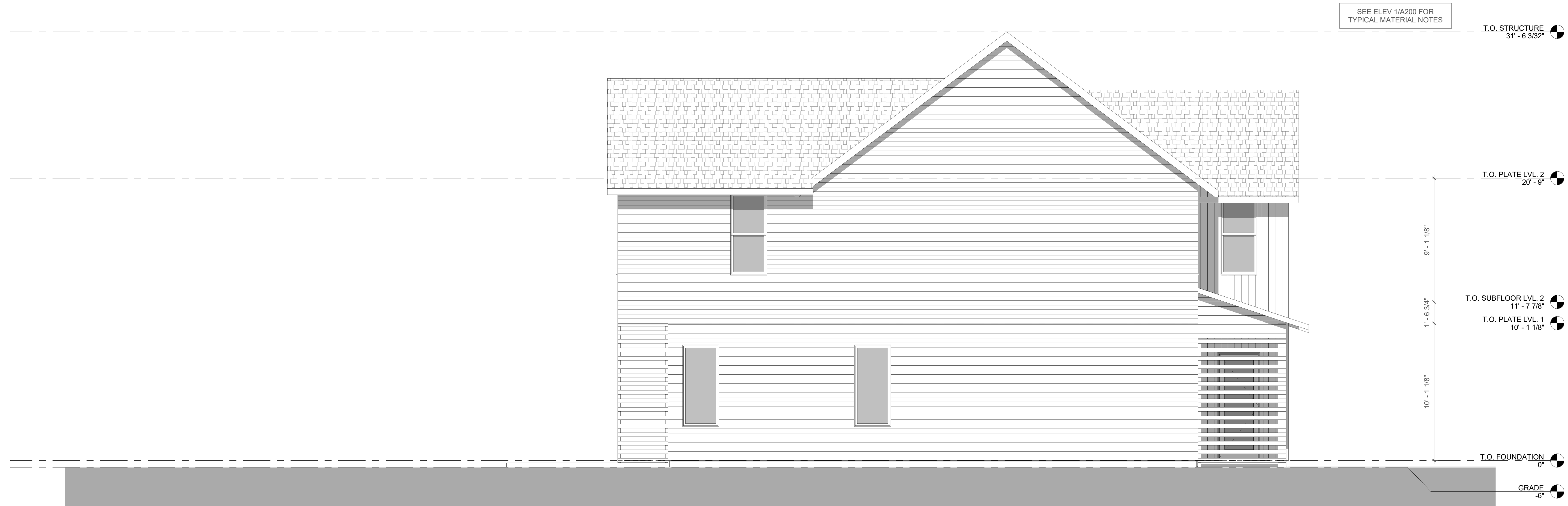
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200



1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

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00703-01

CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

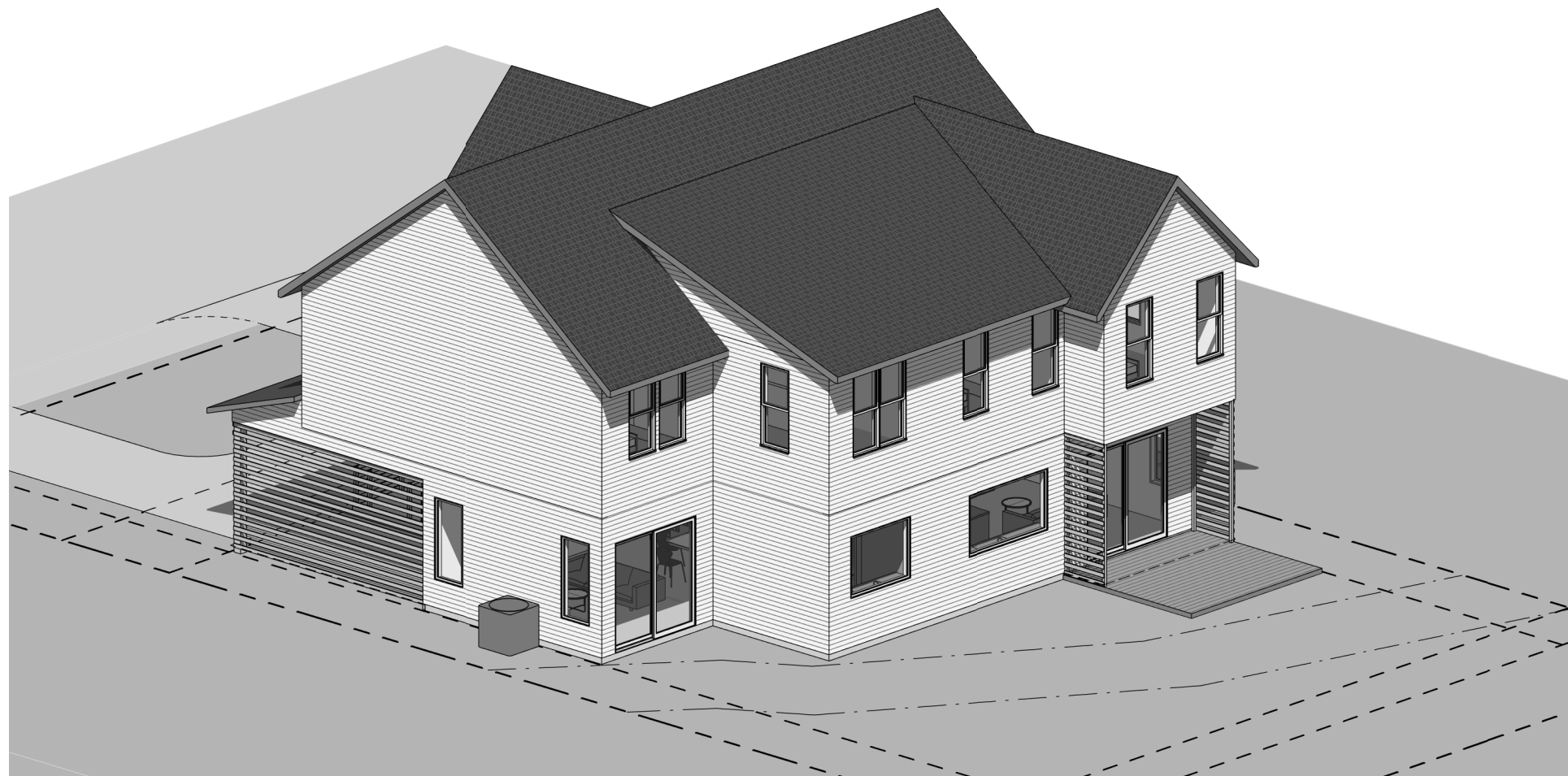
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

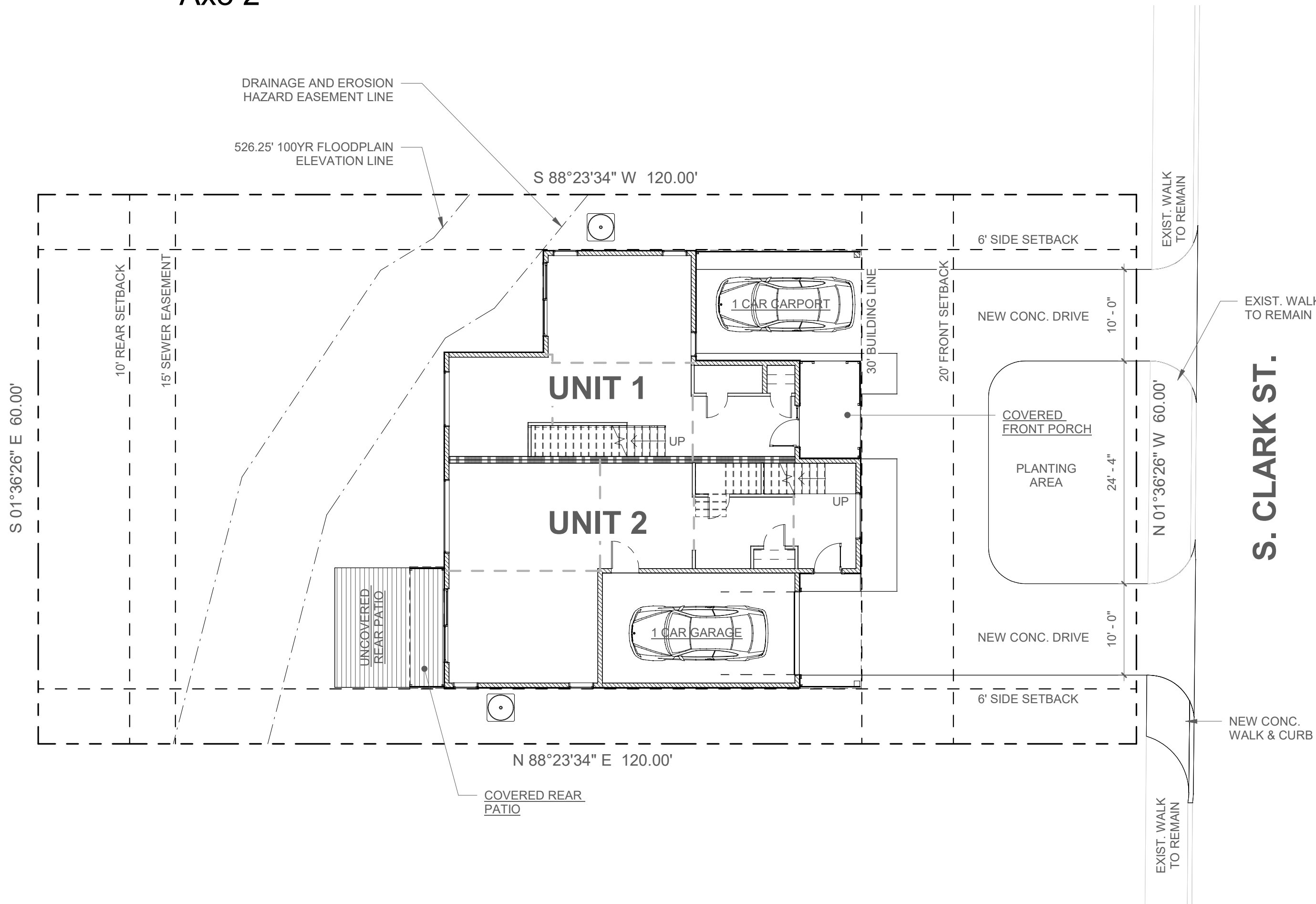
A-201



Axo 1



Axo 2



GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRC/DALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STICKLING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURERS CUT SHEETS. CONFIRM THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R312 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND

- | | | | |
|--|--------------------------------------|--|-----------------|
| | TYPICAL EXISTING WALL | | WINDOW TAG |
| | TYPICAL REMOVED WALL | | WALL TYPE |
| | TYPICAL 3-1/2" STUD INTERIOR WALL | | DOOR TAG |
| | INTERIOR WALL WITH SOUND INTERIOR | | SECTION CUT TAG |
| | TYPICAL 5 1/2" STUD INTERIOR WALL | | ELEVATION TAG |
| | TYPICAL SIDING EXTERIOR WALL | | DETAIL TAG |
| | TYPICAL CEMENT PLASTER EXTERIOR WALL | | |
| | TYPICAL MASONRY EXTERIOR WALL | | |

LOCATION MAP



SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

OWNER CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	ARCHITECT OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
CONTACT: JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	CONTACT: RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION:	NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE
ADDRESS:	511 S. CLARK STREET ROCKWALL, TX 75087
CITY:	ROCKWALL
COUNTY:	ROCKWALL COUNTY
LOT:	6
BLOCK:	J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS	
ZONE:	TWO-FAMILY (2F)
MAIN USE:	TWO FAMILY RESIDENCE (DUPLEX)
FRONT SETBACK:	20 FT.
SIDE SETBACKS:	6 FT.
REAR SETBACK:	10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY:	NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT:	32 FT.
LOT COVERAGE:	45% MAX

AREA CALCULATIONS	
CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	636 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	772 SQ.FT.
UNIT 1 TOTAL A/C AREA:	1,408 SQ.F.
UNIT 2 FIRST FLOOR A/C AREA:	786 SQ.FT.
UNIT 2 SECOND FLOOR A/C AREA:	1,106 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,892 SQ.FT.

UNCONDITIONED AREAS:	
UNIT 1 FRONT PORCH/CARPORT AREA:	287 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	83 SQ.FT.
UNIT 2 GARAGE AREA:	271 SQ.FT.
UNIT 2 REAR PATIO COVERED AREA:	49 SQ.FT.

TOTAL UNCONDITIONED AREAS:	690 SQ.FT.
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LOT AREA:	7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA:	2,112 SQ.FT.
COVERAGE:	29.3 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF RYAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE:

01/15/2021

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ARCHITECT

Object &
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00703-01

CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET &
SITE PLAN

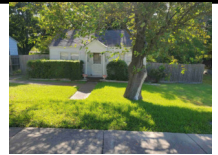


G-100



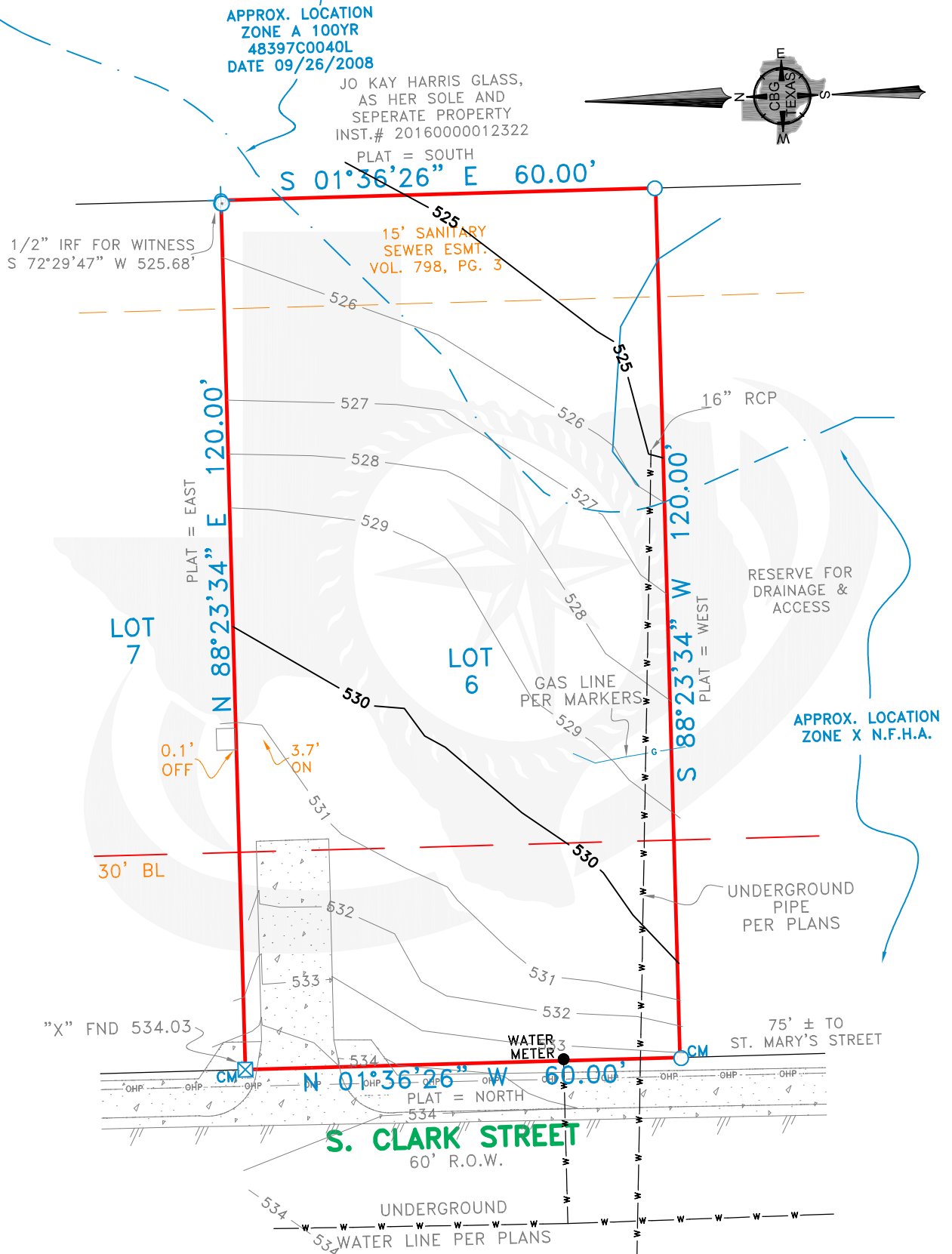
511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY, an Addition in Rockwall County, Texas, according to the Map or Plat recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat Records of Rockwall County, Texas.



LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ⊕ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /// EDGE OF ASPHALT
- /// EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



EXCEPTIONS:

NOTE: GF NO. DERIVED FROM PRIOR TITLE WORK ISSUED = 07/28/2020

ELEVATIONS DERIVED FROM TBM ROCKWALL MON. NO. 2884

BEARINGS ARE BASED OFF OF NAD 83 TEXAS NORTH CENTRAL

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Castro Property Group. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

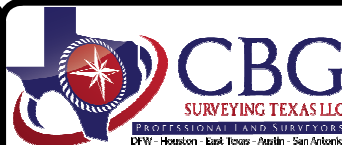
Drawn By: EAN

Scale: 1" = 20'

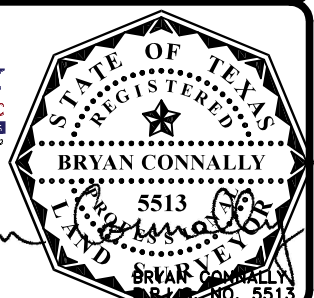
Date: 03/17/2021

GF No.: 20-509065-RL

Job No. 2013905-01



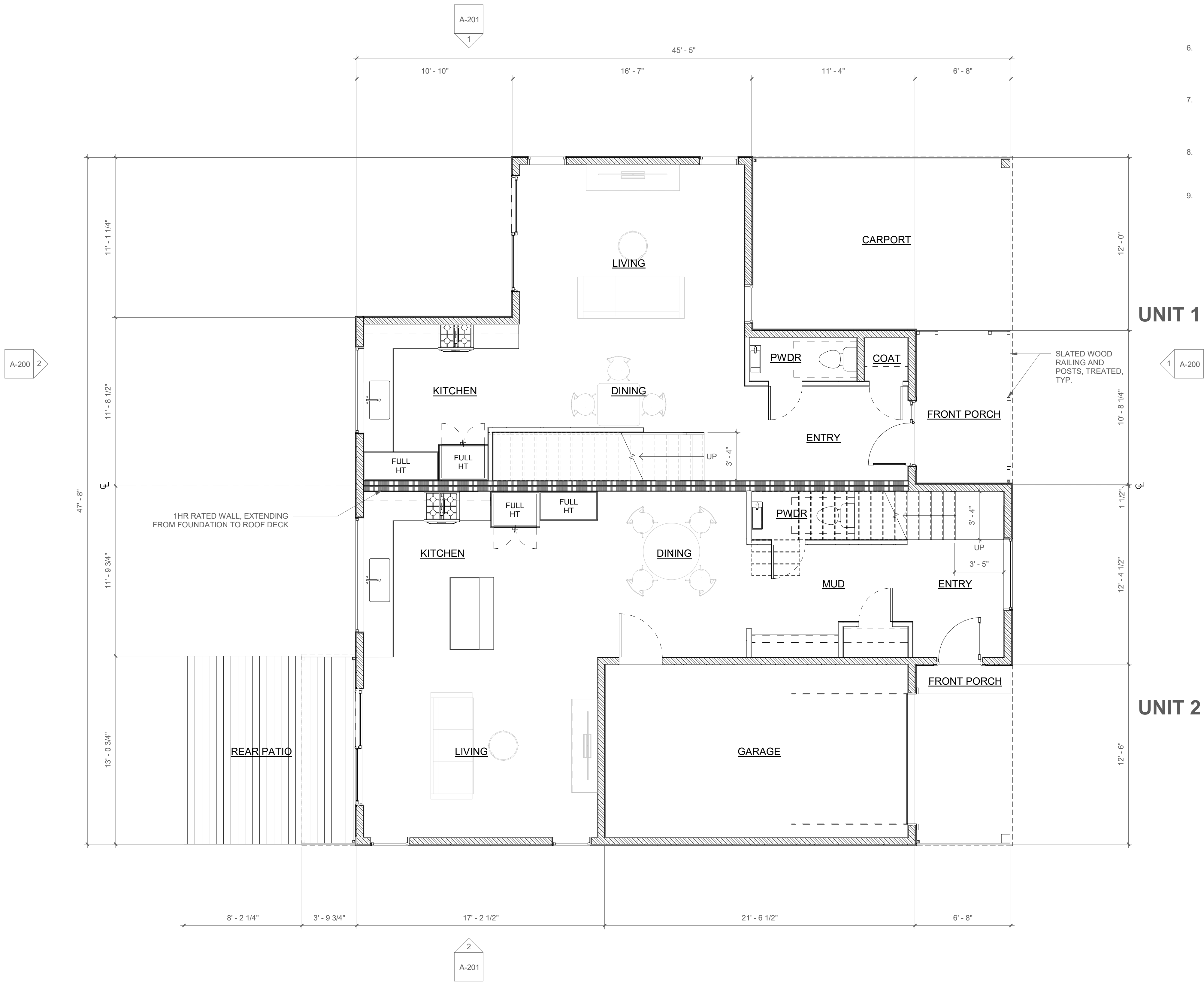
12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com



Accepted by: Purchaser

Date: _____

Purchaser



GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

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1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD. UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE:

01/15/2021

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ARCHITECT

Object &
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4815 Terry Street
Dallas, Texas 75223
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00703-01

CLARK
DUPLEX

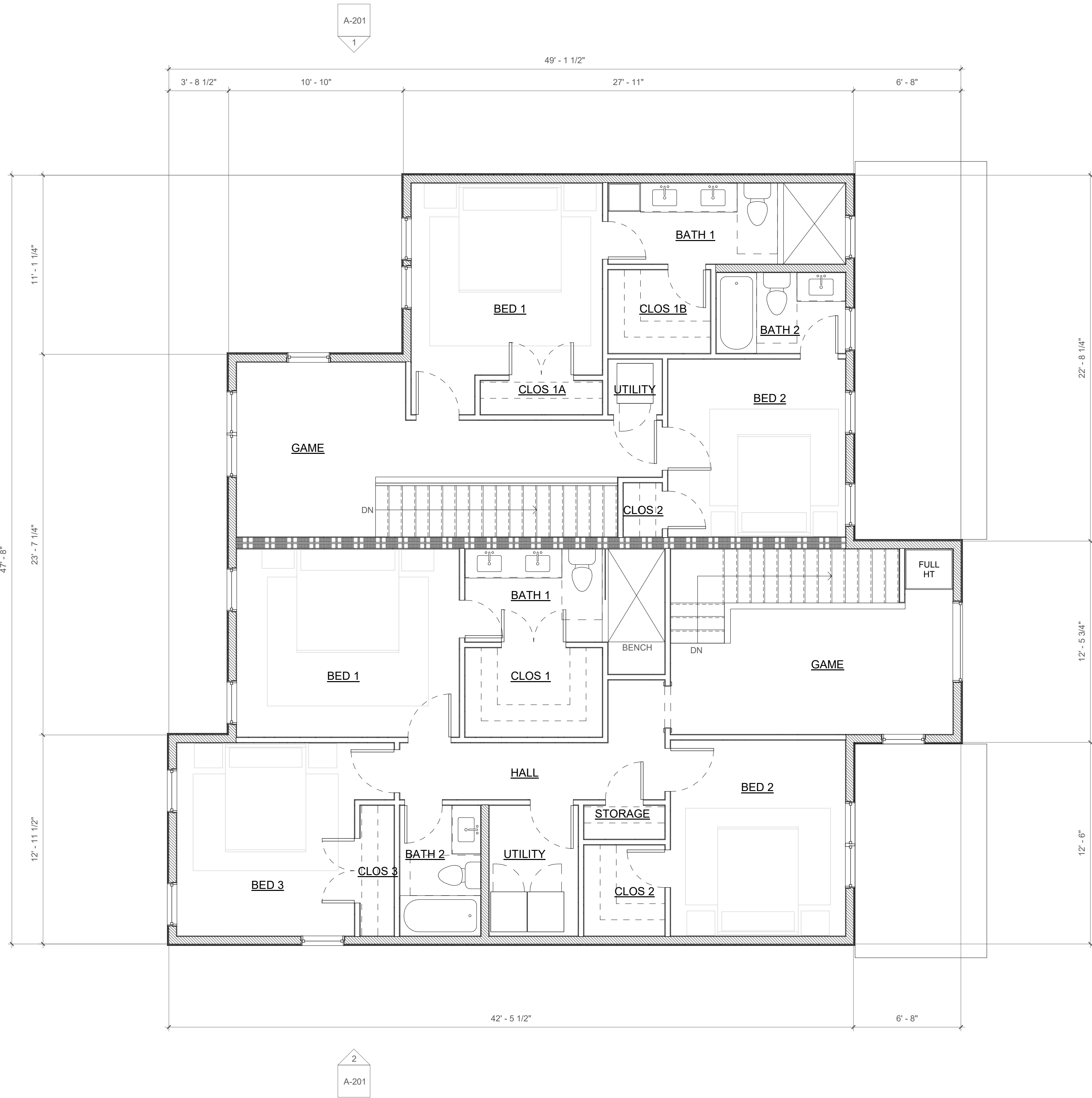
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 2 FLOOR
PLAN



A-101





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **511 S. Clark Street Rockwall, TX 75087**

SUBDIVISION **J.E. HARRIS SUBDIVISION**

LOT

6

BLOCK

GENERAL LOCATION **DOWNTOWN 2 NEIGHBORHOOD**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **TWO-FAMILY (2F)**

CURRENT USE **VACANT**

PROPOSED ZONING

PROPOSED USE **TWO-FAMILY (DUPLEX)**

ACREAGE **0.165**

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER **Castro Development LLC**

☐ APPLICANT

CONTACT PERSON **Jason Castro**

CONTACT PERSON

ADDRESS **16424 FALLKIRK DRIVE**

ADDRESS

CITY, STATE & ZIP **DALLAS, TX 75248**

CITY, STATE & ZIP

PHONE **214.232.2750**

PHONE

E-MAIL **jason@castropropertygroup.com**

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

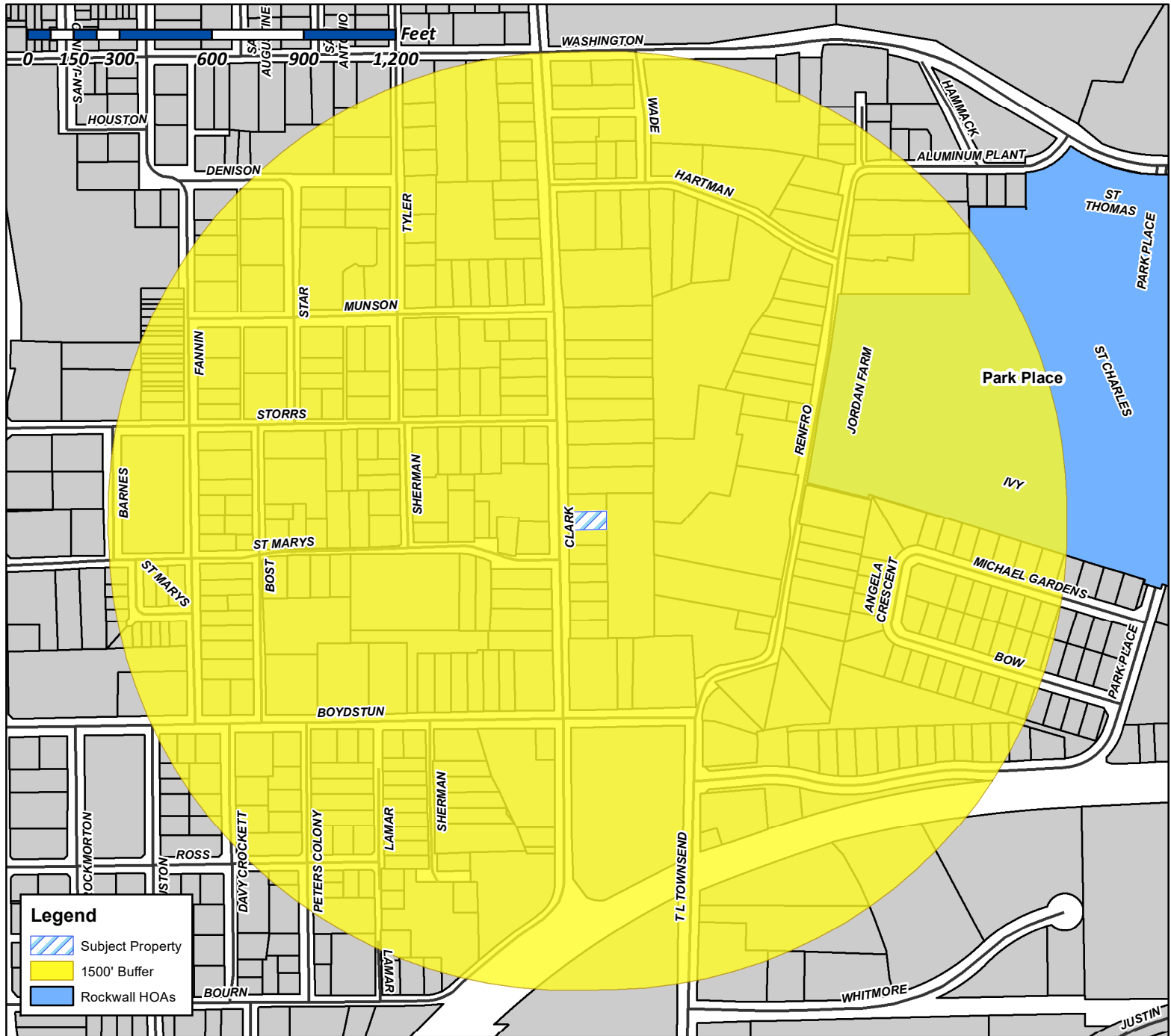




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

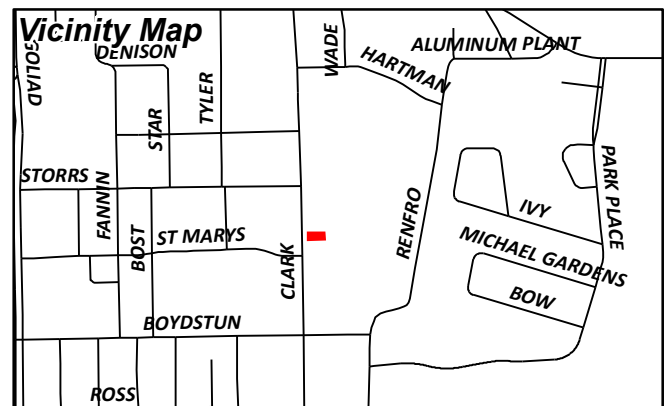
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Case Number: Z2021-015
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 5/13/2021

For Questions on this Case Call (972) 771-7745

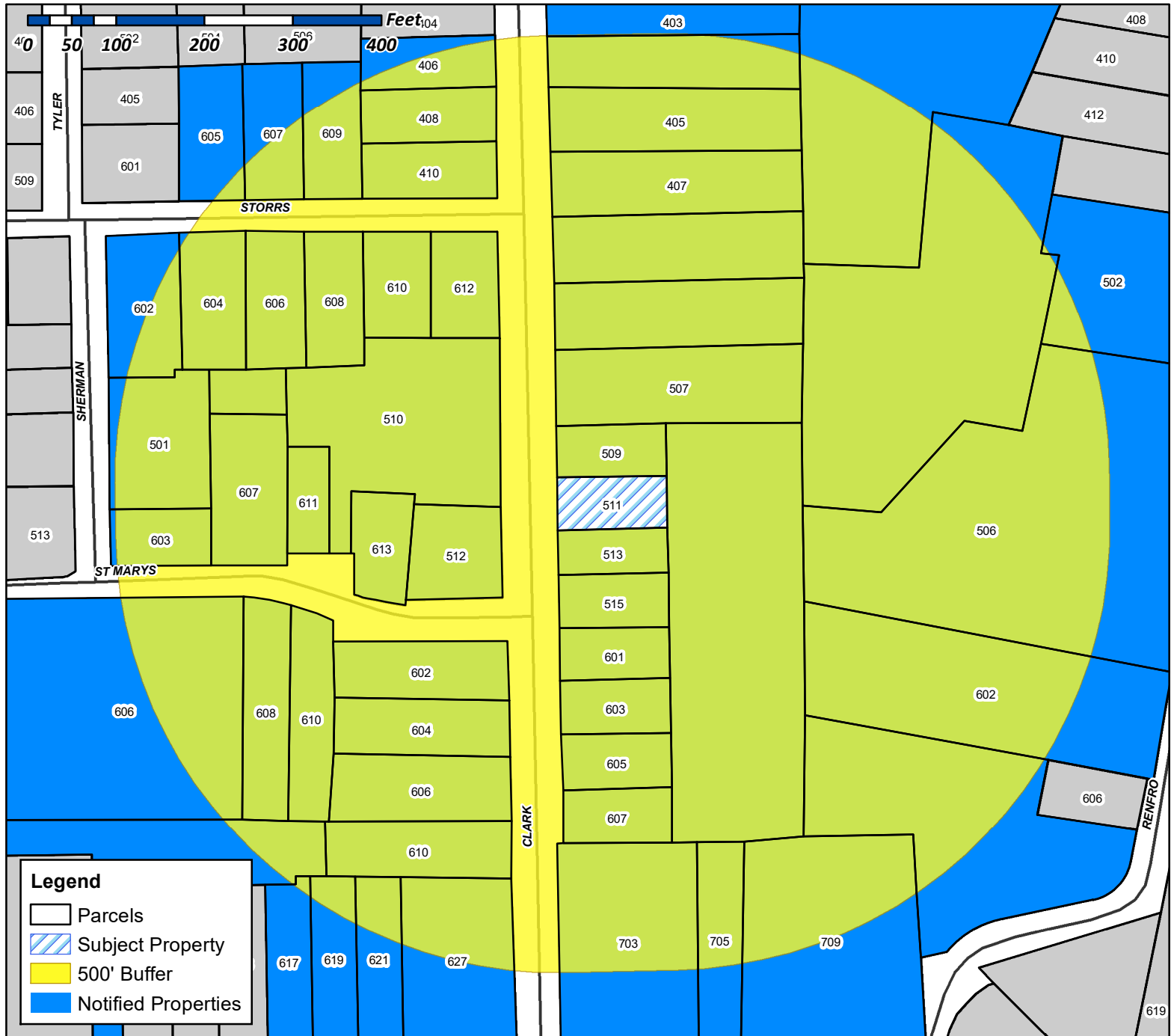




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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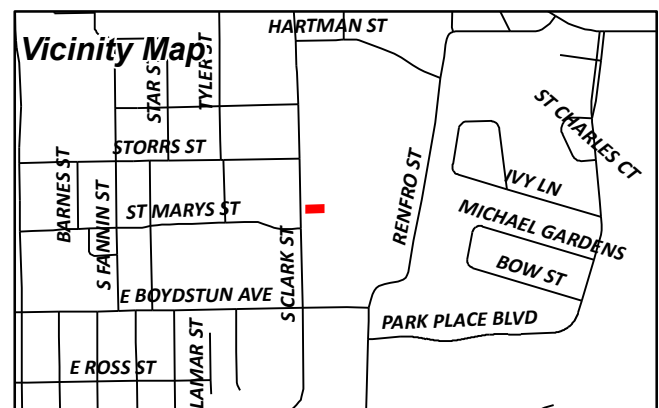
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Date Created: 5/13/2021

For Questions on this Case Call (972) 771-7745



Object & Architecture

Ryan Withrow, Architect
4815 Terry Street
Dallas, Texas 75223
214 240 1995
ryan@obj-arc.com
www.obj-arc.com

May 13, 2021

Castro - Clark Duplex
511 S. Clark Street
Rockwall, TX 75087

City of Rockwall,

We are proposing the development of a duplex residence (two single family units separated by a 1-hour rated wall running from foundation to the underside of the roof decking) on a vacant lot within a district that is currently zoned for two-family residences.

The new duplex residence is proposed to be a total of 3,300 sqft of conditioned area with a two car garage. Unit One is 1,408 sqft of conditioned area and Unit Two is 1,892 sqft of conditioned area. Unit One will have two bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game/landing area, and a utility room. Unit Two will have three bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game room, and a utility room.

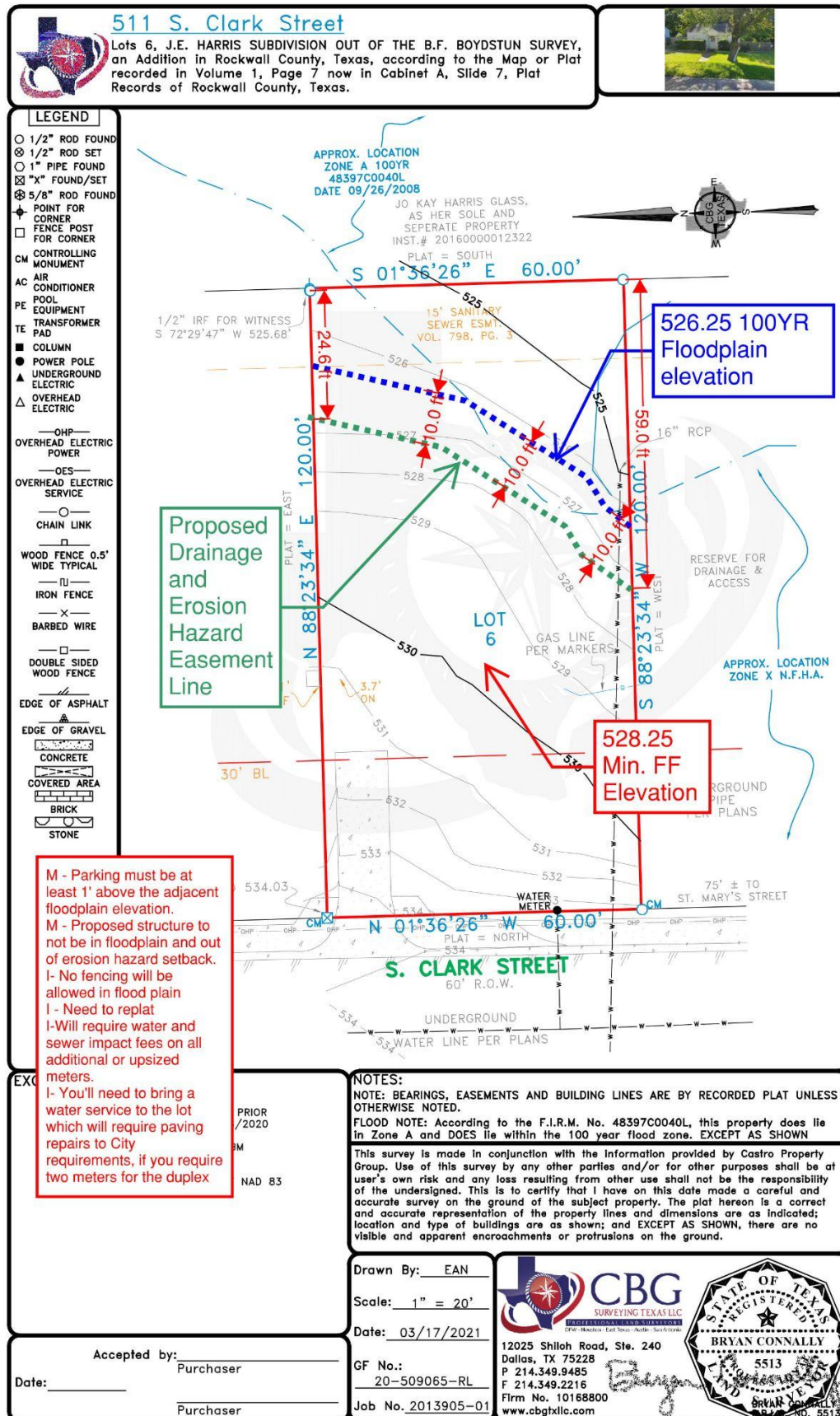
The residence will have a modern farmhouse style utilizing durable fiber cement lap siding and fiber cement board and batten siding and asphalt shingle roofing. The dwellings will meet the 2015 IECC with a minimum of R-19 batt insulation in the exterior walls, R-38 insulation at the roof, and windows with proposed U-value of 0.33 and an SHGC of 0.26.

This property has a portion of the lot which is within the 100yr floodplain. Our topographic survey is included in the application package and has been reviewed by City of Rockwall engineers. On the following page I have included their markups which we have taken into consideration when designing this duplex residence.

I hope that you find this application to be complete and satisfactory. If you have any questions about the information above, please feel free to contact me.

Sincerely,

Ryan Withrow, Architect
Object & Architecture PLLC
TBAE License #26945



SHEET ISSUE DATE:

01/15/2021

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ARCHITECT

Object &
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Dallas, Texas 75223
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1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

00703-01

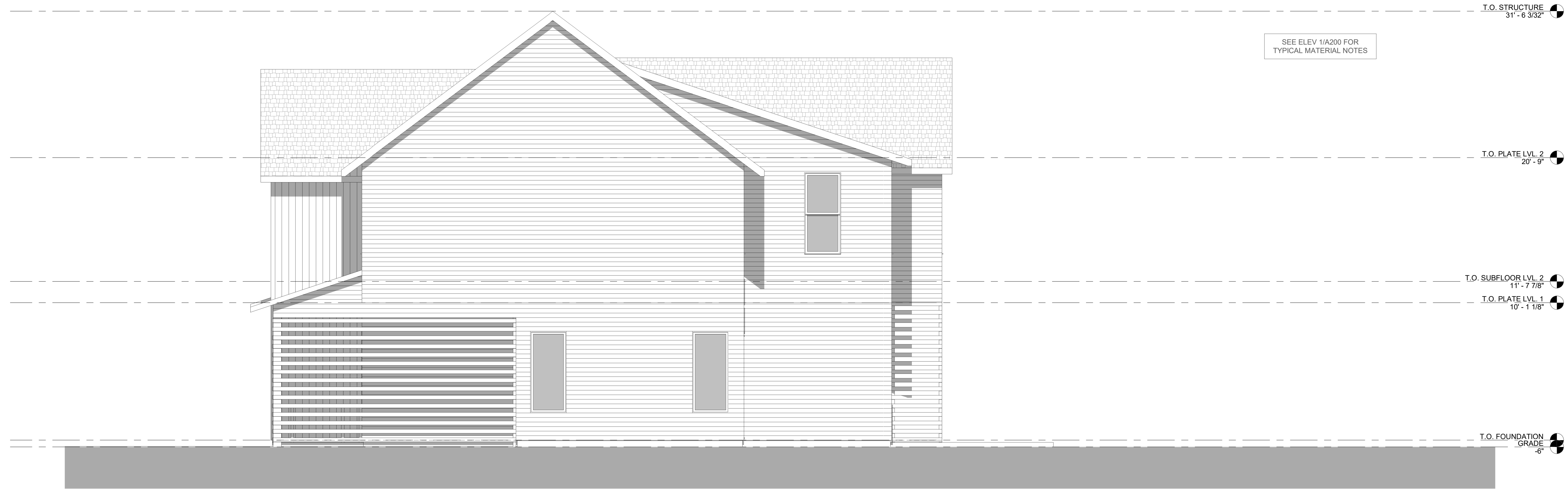
CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

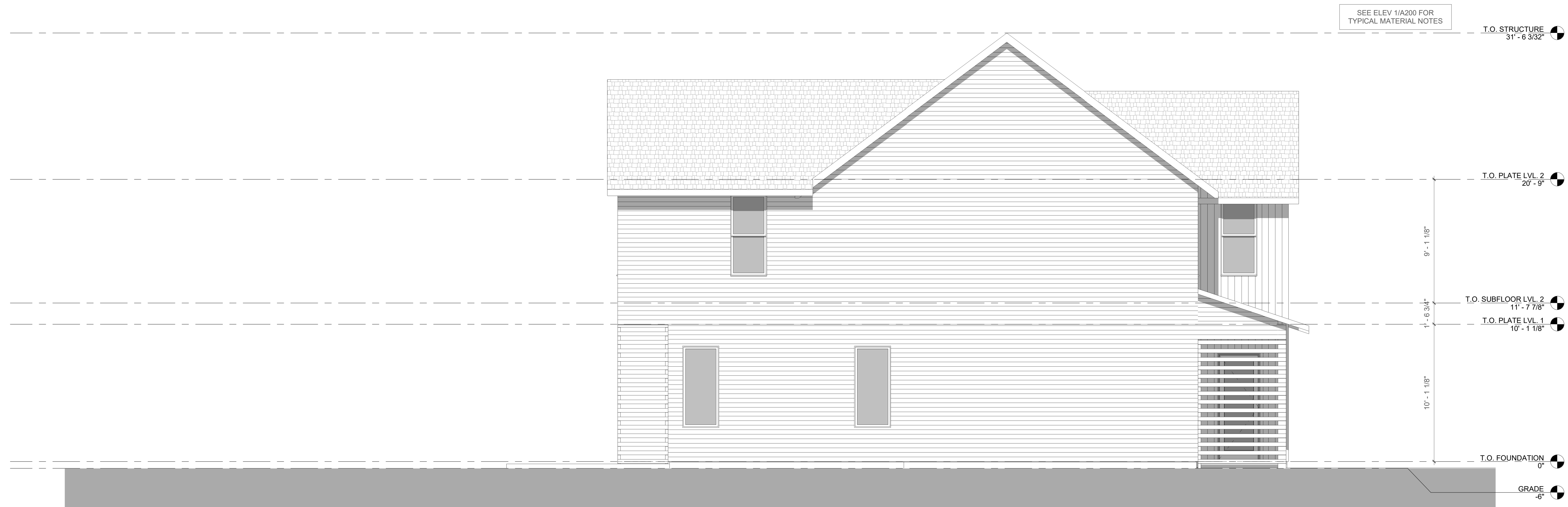
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200



1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

SHEET ISSUE DATE:
01/15/2021

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ARCHITECT

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Architecture

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Dallas, Texas 75223
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00703-01

CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

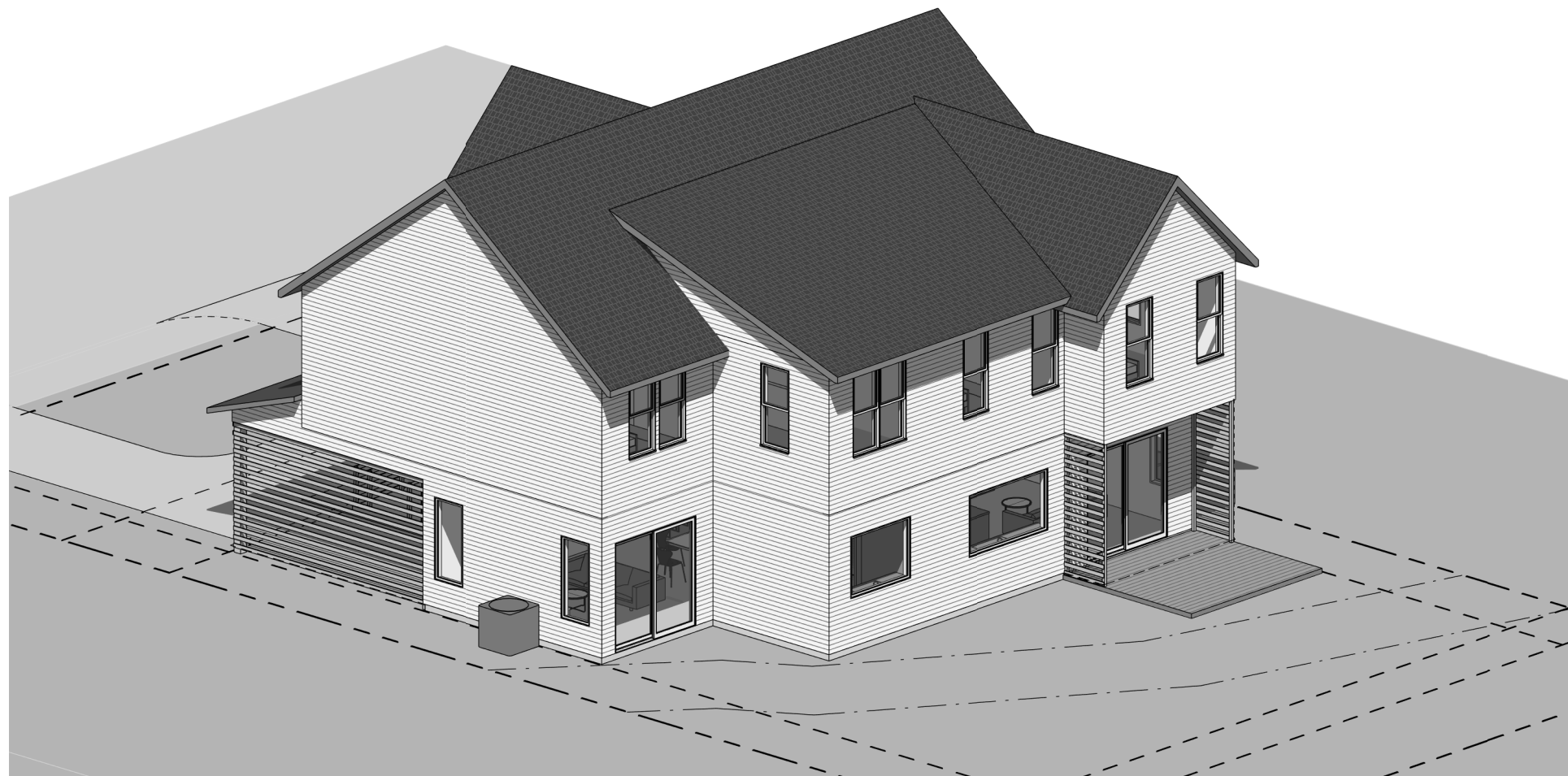
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

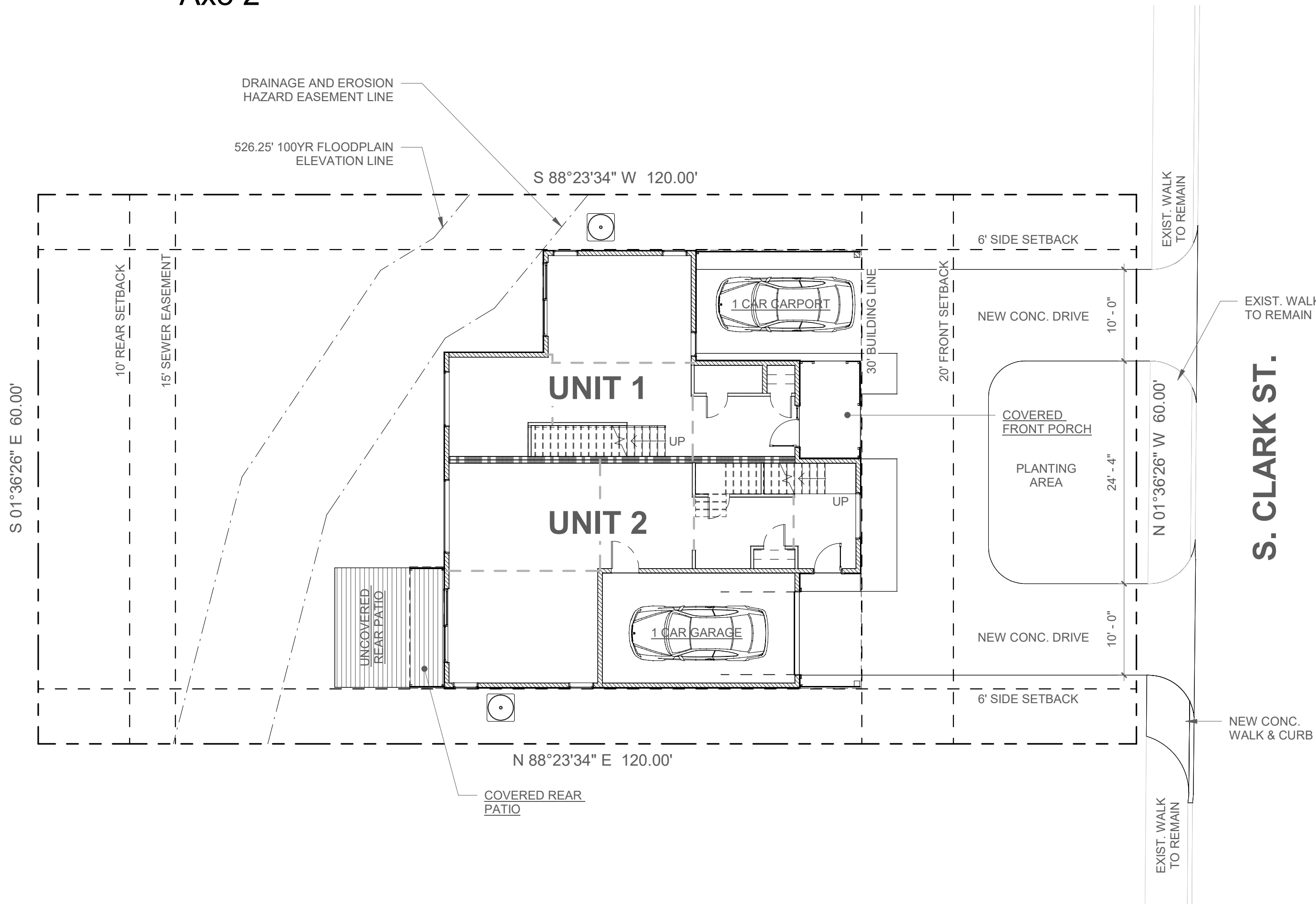
A-201



Axo 1



Axo 2



GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRC/DALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STICKLING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURERS CUT SHEETS. CONFIRM THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R112 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND

- | | | | |
|--|--------------------------------------|--|-----------------|
| | TYPICAL EXISTING WALL | | WINDOW TAG |
| | TYPICAL REMOVED WALL | | WALL TYPE |
| | TYPICAL 3-1/2" STUD INTERIOR WALL | | DOOR TAG |
| | INTERIOR WALL WITH SOUND INTERIOR | | SECTION CUT TAG |
| | TYPICAL 5 1/2" STUD INTERIOR WALL | | ELEVATION TAG |
| | TYPICAL SIDING EXTERIOR WALL | | DETAIL TAG |
| | TYPICAL CEMENT PLASTER EXTERIOR WALL | | |
| | TYPICAL MASONRY EXTERIOR WALL | | |

LOCATION MAP



SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

OWNER CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	ARCHITECT OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
CONTACT: JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	CONTACT: RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION:	NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE
ADDRESS:	511 S. CLARK STREET ROCKWALL, TX 75087
CITY:	ROCKWALL
COUNTY:	ROCKWALL COUNTY
LOT:	6
BLOCK:	J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS	
ZONE:	TWO-FAMILY (2F)
MAIN USE:	TWO FAMILY RESIDENCE (DUPLEX)
FRONT SETBACK:	20 FT.
SIDE SETBACKS:	6 FT.
REAR SETBACK:	10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY:	NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT:	32 FT.
LOT COVERAGE:	45% MAX

AREA CALCULATIONS	
CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	636 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	772 SQ.FT.
UNIT 1 TOTAL A/C AREA:	1,408 SQ.F.
UNIT 2 FIRST FLOOR A/C AREA:	786 SQ.FT.
UNIT 2 SECOND FLOOR A/C AREA:	1,106 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,892 SQ.FT.

UNCONDITIONED AREAS:	
UNIT 1 FRONT PORCH/CARPORT AREA:	287 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	83 SQ.FT.
UNIT 2 GARAGE AREA:	271 SQ.FT.
UNIT 2 REAR PATIO COVERED AREA:	49 SQ.FT.

TOTAL UNCONDITIONED AREAS:	690 SQ.FT.
----------------------------	------------

LOT AREA:	7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA:	2,112 SQ.FT.
COVERAGE:	29.3 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

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SHEET ISSUE DATE:

01/15/2021

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00703-01

CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET &
SITE PLAN

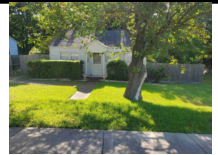


G-100



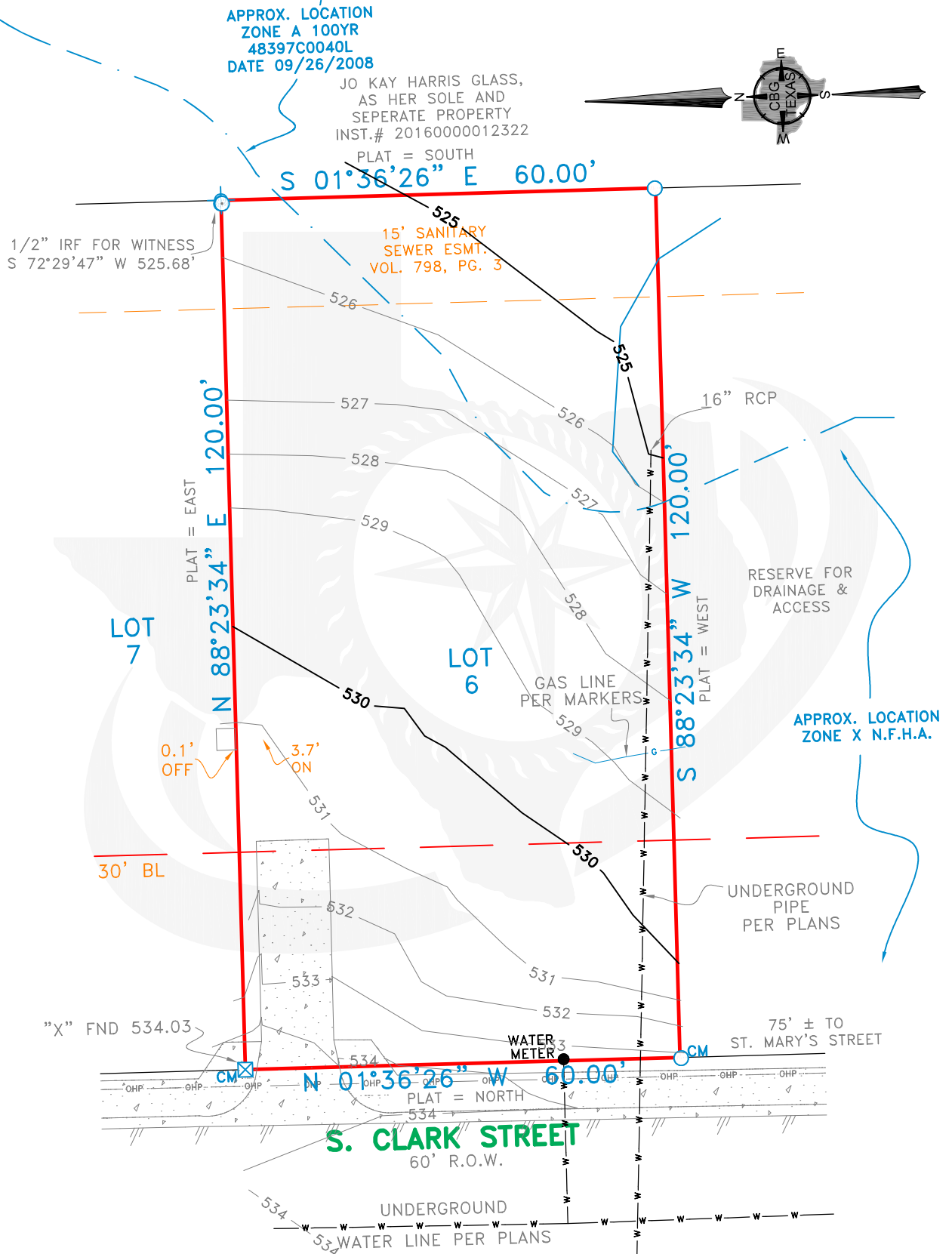
511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY, an Addition in Rockwall County, Texas, according to the Map or Plat recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat Records of Rockwall County, Texas.



LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- X— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- //— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



EXCEPTIONS:

NOTE: GF NO. DERIVED FROM PRIOR TITLE WORK ISSUED = 07/28/2020

ELEVATIONS DERIVED FROM TBM ROCKWALL MON. NO. 2884

BEARINGS ARE BASED OFF OF NAD 83 TEXAS NORTH CENTRAL

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Castro Property Group. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

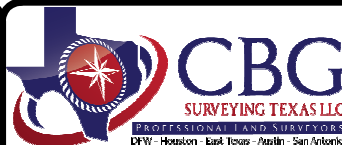
Drawn By: EAN

Scale: 1" = 20'

Date: 03/17/2021

GF No.: 20-509065-RL

Job No. 2013905-01



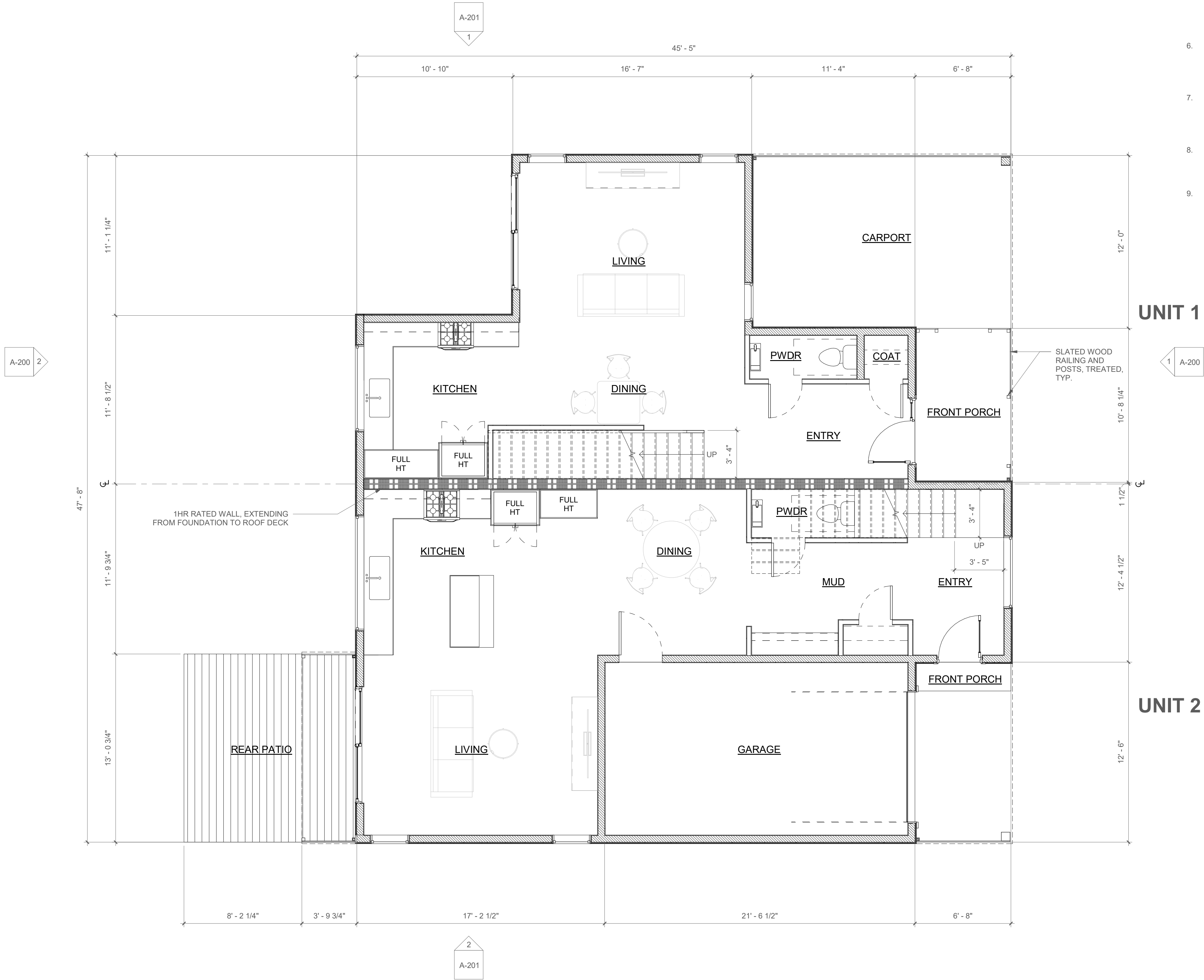
12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com



Accepted by: Purchaser

Date: _____

Purchaser



GENERAL FLOOR PLAN NOTES

- PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
- U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
- WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
- PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
- U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
- BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
- MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
- AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
- REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF DYAN WITROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE:
01/15/2021

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REGULATORY APPROVAL,
PERMITTING OR CONSTRUCTION.

ARCHITECT
Object & Architecture
4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com



GENERAL FLOOR PLAN NOTES

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ARCHITECT

Object &
Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

CLARK
DUPLEX

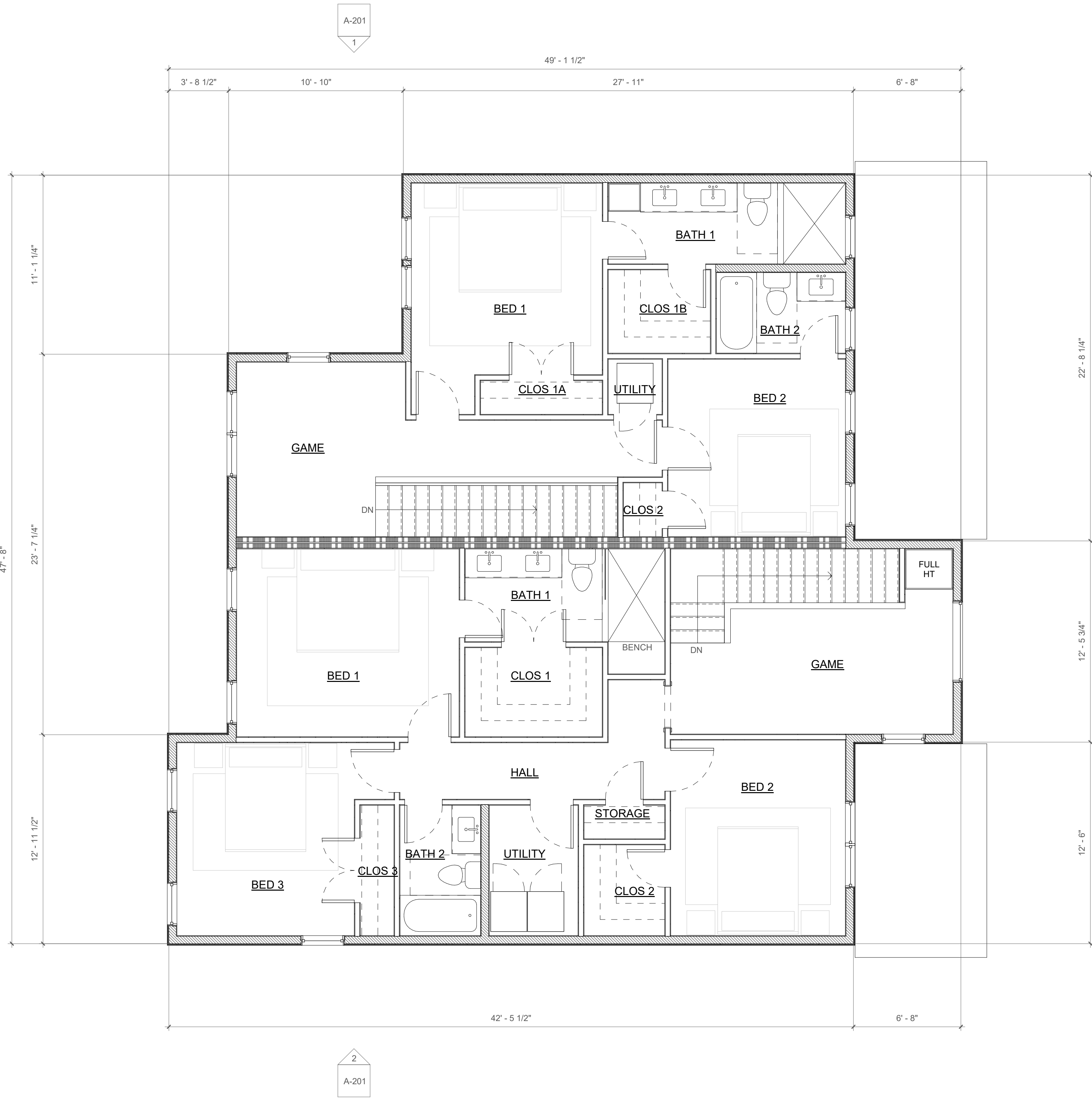
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 2 FLOOR
PLAN



A-101



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/20/2021

PROJECT NUMBER: Z2021-015
PROJECT NAME: SUP for Residential Infill at 511 S. Clark Street
SITE ADDRESS/LOCATIONS: 511 S CLARK ST, ROCKWALL, 75087

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	David Gonzales	05/20/2021	Needs Review

05/20/2021: Z2021-015; Specific Use Permit for 511 S. Clark Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street.

I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

I.3 This project is subject to all requirements stipulated by the Unified Development Code (UDC), and the Development Standards of Article 04 & Article 05 that are applicable to the subject property.

(A) Proposed operation conditions of the SUP Ordinance:

The following conditions pertain to the construction of a duplex on the Subject Property and conformance to these operational conditions are required:

- 1) The development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of this ordinance.
- 2) The construction of a duplex on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of this ordinance.
- 3) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

I.4 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on May 25, 2021.
- 2) Planning & Zoning Public Hearing meeting will be held on June 15, 2021.

3) City Council Public Hearing will be held on June 21, 2021. (1st Reading of Ordinance)

4) City Council meeting will be held on July 6, 2021. (2nd Reading of Ordinance)

1.5 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. The City requires that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	05/20/2021	Needs Review

05/20/2021: Must have a proposed grading plan for the building permit. How are you getting back to existing ground elevation?

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	05/18/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/17/2021	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/17/2021	Approved

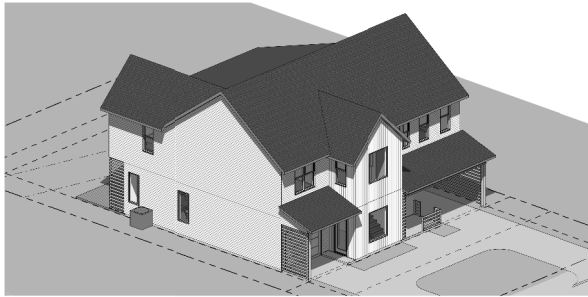
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	05/20/2021	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/17/2021	Approved

05/17/2021: No comments

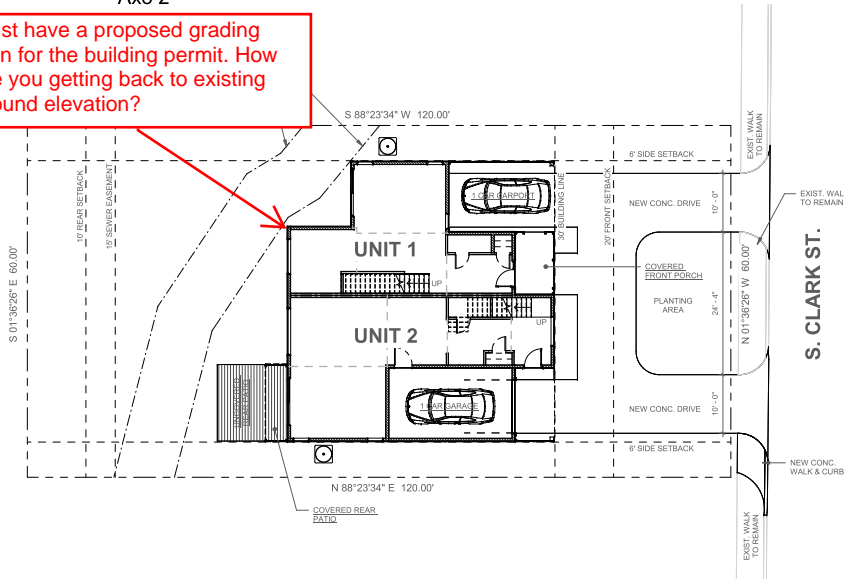


Axo 1



Axo 2

Must have a proposed grading plan for the building permit. How are you getting back to existing ground elevation?



1 SITE PLAN
1" = 10'-0"

GENERAL PROJECT NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BEGINNING THE PROJECT. ADDITIONAL COSTS WILL NOT BE INCURRED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
2. THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADIES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
3. ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
5. THE CONTRACTOR IS RESPONSIBLE FOR HIRING THE PROPER CONTRACTOR FOR ALL UTILITY COMPANY TRENCHES.
6. DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
7. AS REQUIRED BY THE ROCKWALL BUILDING CODE, THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED CORNERS. THE WALLS AND ALL FIRE WALLS SHALL BE PROTECTED BY PARTITIONS AND BRIMS WHERE CONSTRUCTION SHALL BE REQUIRED BY WORK OR STENCILING AT SIZES AND LOCATIONS REQUIRED BY CODE.
8. ALL PENETRATIONS OF EXTERIOR WALLS SHALL BE TO BE THOROUGHLY SEALED BY A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. GUTTER TIGHT, ADHESIVE, NON-PANED, AND FIRE RATED. EXPOSED JOINTS SHALL BE SEALED, TYPED AND FLANGED FOR BEST QUALITY APPEARANCE.
9. PROVIDE ADEQUATE BLOCKING AS REQUIRED BY WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAUNDRY, TOILET FIXTURES AND ACCESSORIES, SHAM BARS, ELECTRICAL PANELS, ACCESS ROOF LADDERS, MATERIALS, ETC.
10. MOUNTING HEIGHTS, WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
11. CONTRACTOR IS TO REFER TO MEASUREMENTS AND PROJECT MANUAL FOR ANY HANDED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYPWALL, TALL, E.I.P. AND PLASTER WORK.
12. PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY, PROVIDE A DETAIL AND LISTING NUMBER.
13. PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING, FUTURE, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURER OUT SHEETS. ENSURE THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
14. INTERIOR WITH A BALL BEARING, 1/2" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HANDRAIL MEETING SECTION REQUIREMENTS.
15. THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
16. EROSION OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
17. VERIFY ALL SIZE AND LOCATIONS FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADERS INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
18. PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILD FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING FLOOR FINISHES AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7" OR AS LIMITED BY CODE.
19. PRIOR TO ELECTRICAL AND PLUMBING WORK IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUPSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND

	TYPICAL EXISTING WALL		WINDOW TAG
	TYPICAL REMOVED WALL		WALL TYPE
	TYPICAL 3-1/2" STUD INTERIOR WALL		DOOR TAG
	INTERIOR WALL WITH SOUND INTERIOR		SECTION CUT TAG
	TYPICAL 5 1/2" STUD INTERIOR WALL		ELEVATION TAG
	TYPICAL SIDING EXTERIOR WALL		DETAIL TAG
	TYPICAL CEMENT PLASTER EXTERIOR WALL		
	TYPICAL MASONRY EXTERIOR WALL		

LOCATION MAP



SHEET LIST				
SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

OWNER
CASTRO DEVELOPMENT
1008 CLERMONT ST
DALLAS, TX 75223

CONTACT:
JASON CASTRO
214.232.2750
JASON@CASTROPROPERTYGROUP.COM

ARCHITECT
OBJECT & ARCHITECTURE
4815 TERRY STREET
DALLAS, TX 75223

CONTACT:
RYAN M. WITHROW
214.240.1995
RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION: NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE

ADDRESS: 511 S. CLARK STREET
ROCKWALL, TX 75087

CITY: ROCKWALL
COUNTY: ROCKWALL COUNTY

LOT: 6
BLOCK: J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS
ZONE: TWO-FAMILY (DF)
MAN USE: TWO FAMILY RESIDENCE (DUPLEX)

FRONT SETBACK: 20 FT.
SIDE SETBACKS: 6 FT.
REAR SETBACK: 10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES

UNIT DENSITY: NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT: 32 FT.
LOT COVERAGE: 45% MAX

AREA CALCULATIONS

CONDITIONED AREAS:
UNIT 1 FIRST FLOOR A/C AREA: 638 SQ. FT.
UNIT 1 SECOND FLOOR A/C AREA: 772 SQ. FT.
UNIT 1 TOTAL A/C AREA: 1,408 SQ. FT.

UNIT 2 FIRST FLOOR A/C AREA: 786 SQ. FT.
UNIT 2 SECOND FLOOR A/C AREA: 1,106 SQ. FT.
UNIT 2 TOTAL A/C AREA: 1,892 SQ. FT.

UNCONDITIONED AREAS:
UNIT 1 FRONT PORCH/CARPORT AREA: 287 SQ. FT.
UNIT 2 FRONT PORCH COVERED AREA: 83 SQ. FT.
UNIT 2 GARAGE AREA: 271 SQ. FT.
UNIT 2 REAR PATIO COVERED AREA: 48 SQ. FT.

TOTAL UNCONDITIONED AREAS: 690 SQ. FT.

LOT AREA: 7,280 SQ. FT. (PER SURVEY)
LOT COVERED AREA: 2,112 SQ. FT.
COVERAGE: 29.3 %

CONDITIONED AREAS CALCULATED PER ANSI Z785 STANDARDS

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01/15/2021

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Object & Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

CLARK DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET & SITE PLAN



G-100



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **511 S. Clark Street Rockwall, TX 75087**

SUBDIVISION **J.E. HARRIS SUBDIVISION**

LOT **6** BLOCK _____

GENERAL LOCATION **DOWNTOWN 2 NEIGHBORHOOD**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **TWO-FAMILY (2F)**

CURRENT USE **VACANT**

PROPOSED ZONING _____

PROPOSED USE **TWO-FAMILY (DUPLEX)**

ACREAGE **0.165**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER **Castro Development LLC**

☐ APPLICANT _____

CONTACT PERSON **Jason Castro**

CONTACT PERSON _____

ADDRESS **16424 FALLKIRK DRIVE**

ADDRESS _____

CITY, STATE & ZIP **DALLAS, TX 75248**

CITY, STATE & ZIP _____

PHONE **214.232.2750**

PHONE _____

E-MAIL **jason@castropropertygroup.com**

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

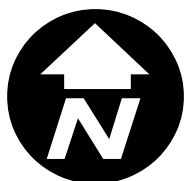
MY COMMISSION EXPIRES _____



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

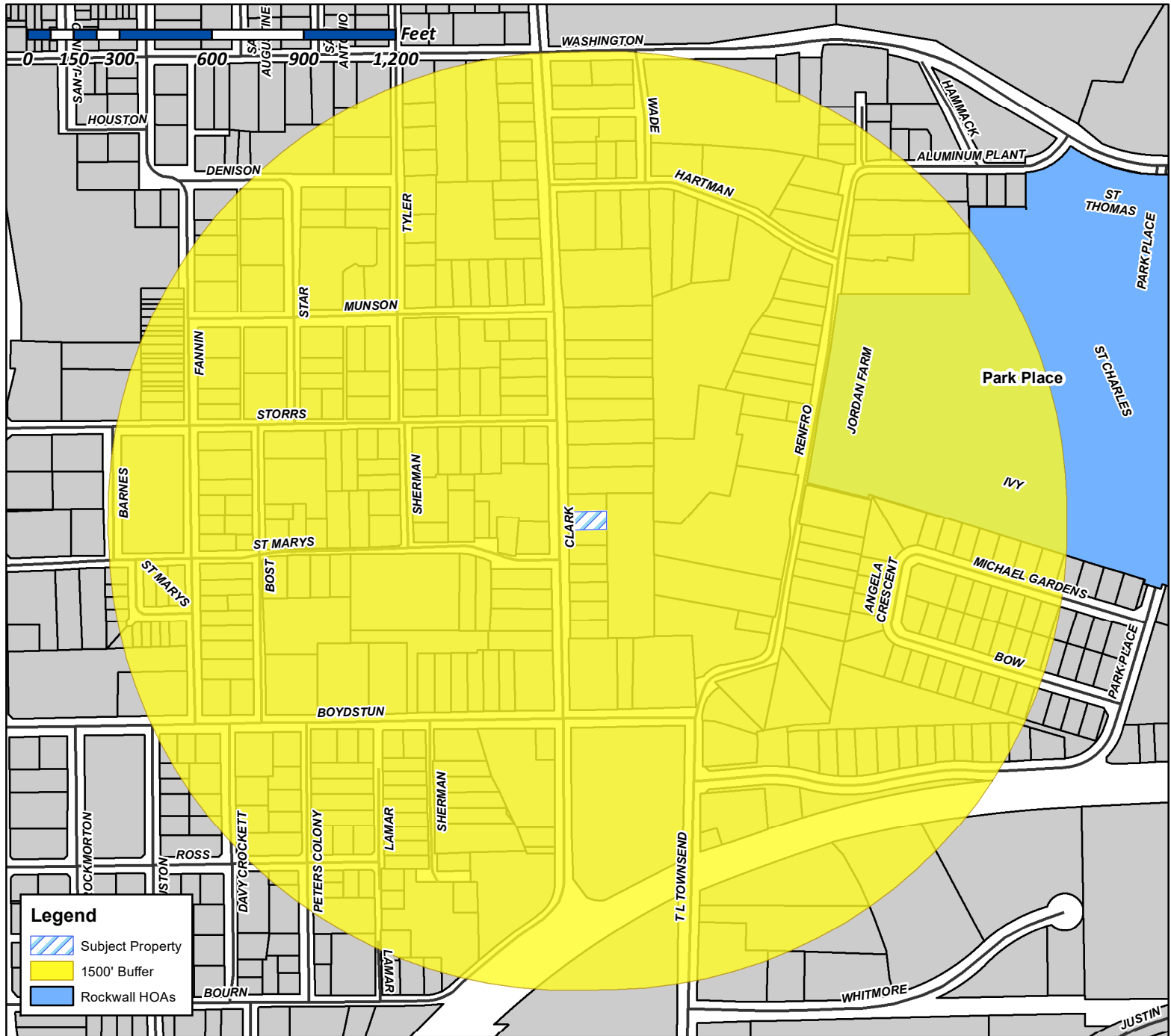




City of Rockwall

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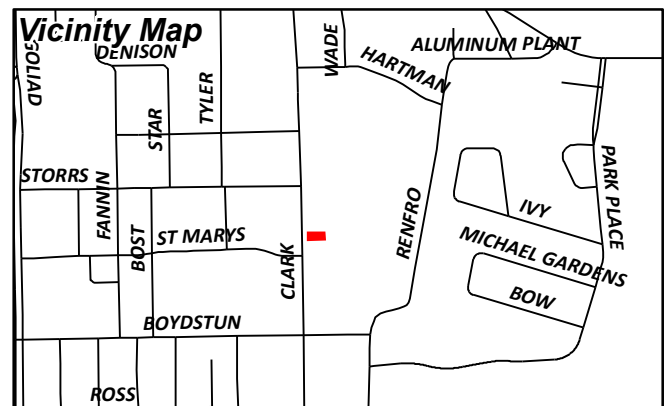
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Case Number: Z2021-015
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 5/13/2021

For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Thursday, May 20, 2021 10:49 AM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-015]
Attachments: HOA Map Z2021-015.pdf; Public Notice (05.20.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *May 21, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, June 15, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 21, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-015 SUP for Residential Infill at 511 S. Clark Street

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

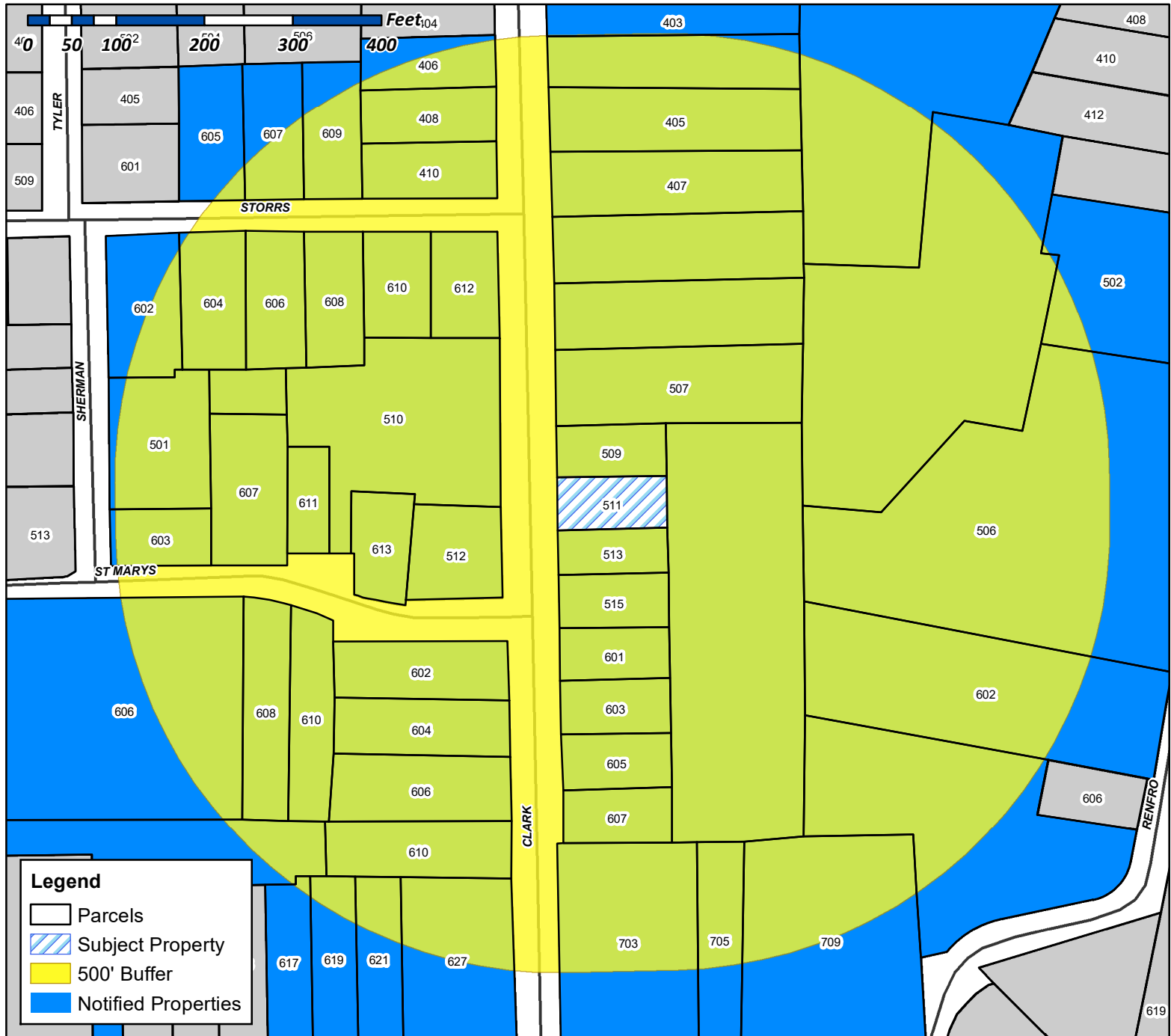
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

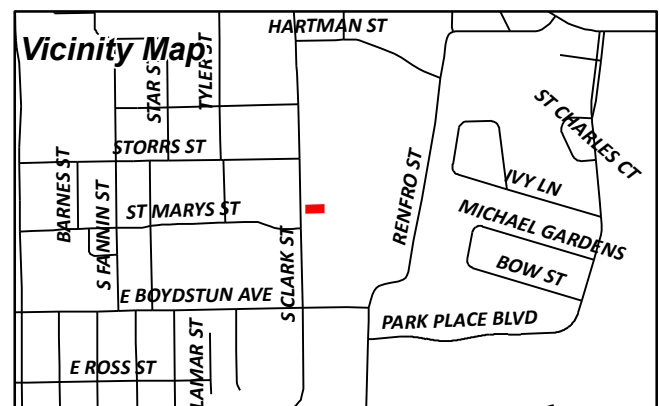
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-015
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 5/13/2021

For Questions on this Case Call (972) 771-7745



MCCALLUM DARRELL
1 SOAPBERRY LN
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
215 GRIFFIN AVENUE
FATE, TX 75189

BOWEN CHASE AND
PERRY BOWEN
230 MYERS ROAD
HEATH, TX 75032

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
3299 ROCHELLE RD
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE
401 E KAUFMAN ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
401 S CLARK ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
403 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
405 S CLARK STREET
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S CLARK ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
501 SHERMAN ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
501 S CLARK
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
503 S CLARK
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

HAMANN KRISTIE M
511 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
515 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W
602 STORRS STREET
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
602 S CLARK ST
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
603 ST MARYS ST
ROCKWALL, TX 75087

RIVERA SARA ELIA
603 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
604 S CLARK ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
606 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
608 ST MARYS ST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
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GADDIS DANNY E
609 STORRS ST
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FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
610 S CLARK ST
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRS ST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-015: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 15, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 21, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 21, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

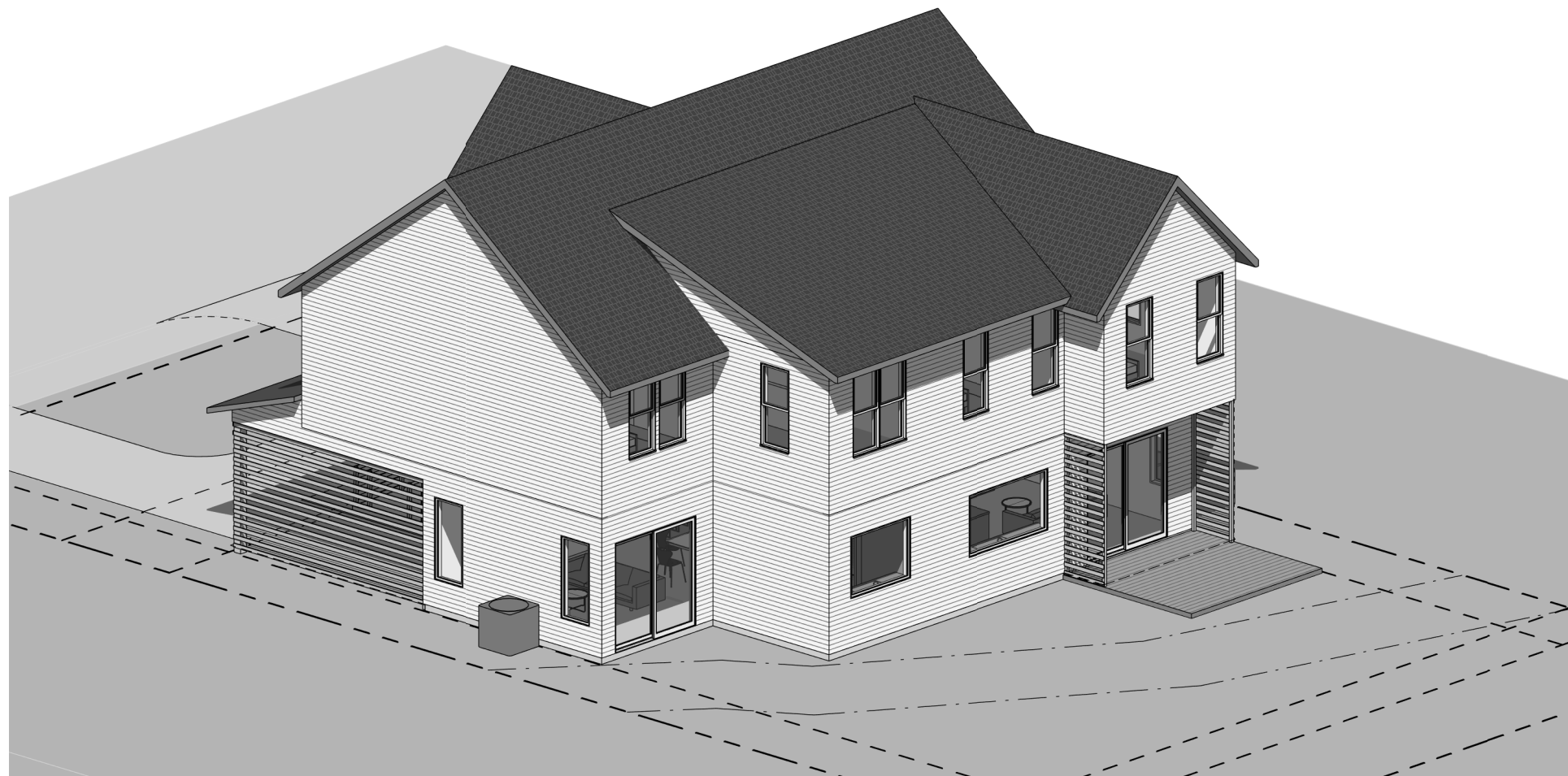
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

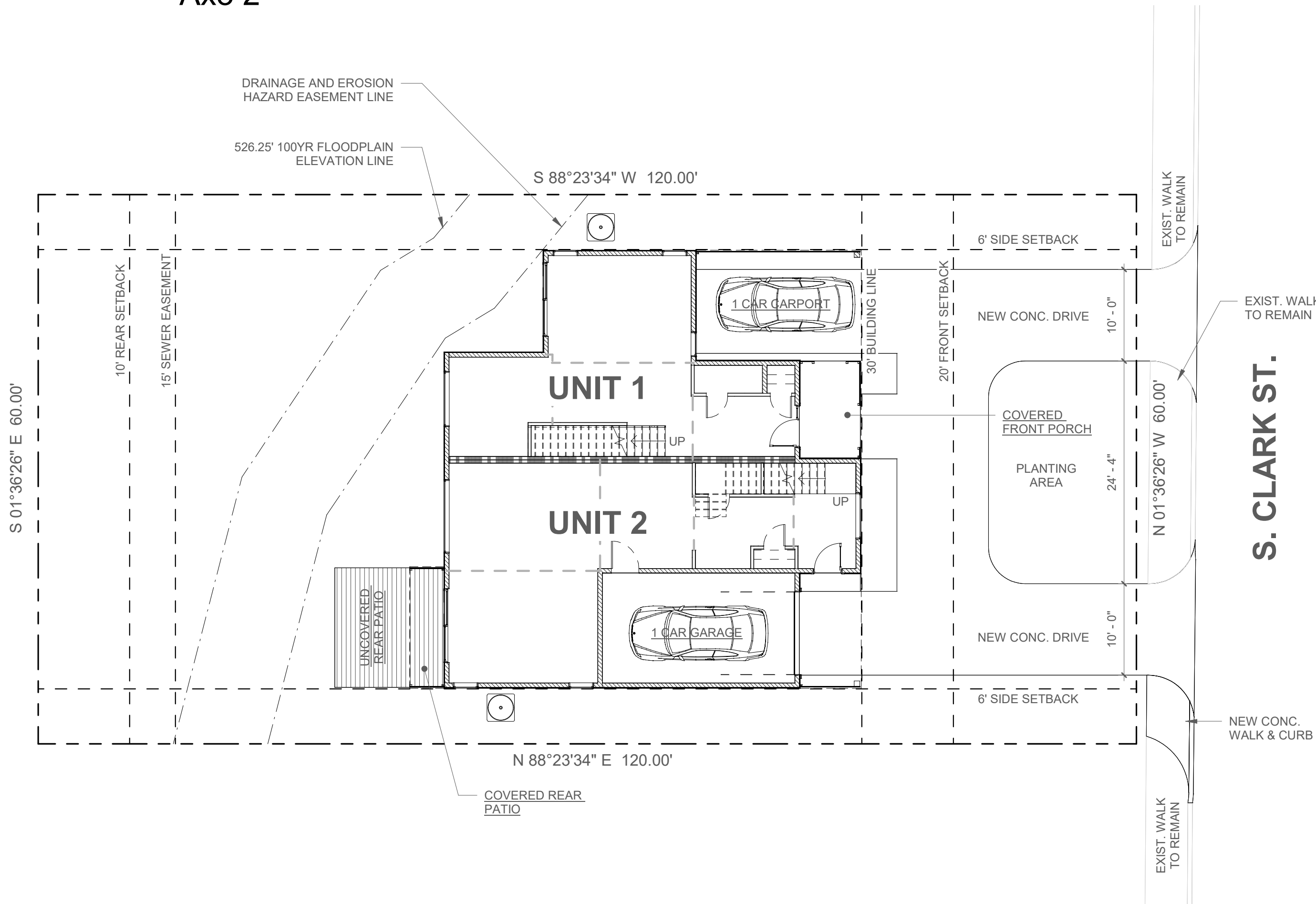
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Axo 1



Axo 2



GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRC/DALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STICKLING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURERS CUT SHEETS. CONFIRM THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R312 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND

	TYPICAL EXISTING WALL		WINDOW TAG
	TYPICAL REMOVED WALL		WALL TYPE
	TYPICAL 3-1/2" STUD INTERIOR WALL		DOOR TAG
	INTERIOR WALL WITH SOUND INTERIOR		SECTION CUT TAG
	TYPICAL 5 1/2" STUD INTERIOR WALL		ELEVATION TAG
	TYPICAL SIDING EXTERIOR WALL		DETAIL TAG
	TYPICAL CEMENT PLASTER EXTERIOR WALL		
	TYPICAL MASONRY EXTERIOR WALL		

LOCATION MAP



SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

OWNER CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	ARCHITECT OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
CONTACT: JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	CONTACT: RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION:	NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE
ADDRESS:	511 S. CLARK STREET ROCKWALL, TX 75087
CITY:	ROCKWALL
COUNTY:	ROCKWALL COUNTY
LOT:	6
BLOCK:	J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS	
ZONE:	TWO-FAMILY (2F)
MAIN USE:	TWO FAMILY RESIDENCE (DUPLEX)
FRONT SETBACK:	20 FT.
SIDE SETBACKS:	6 FT.
REAR SETBACK:	10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY:	NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT:	32 FT.
LOT COVERAGE:	45% MAX

AREA CALCULATIONS	
CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	636 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	772 SQ.FT.
UNIT 1 TOTAL A/C AREA:	1,408 SQ.F.
UNIT 2 FIRST FLOOR A/C AREA:	786 SQ.FT.
UNIT 2 SECOND FLOOR A/C AREA:	1,106 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,892 SQ.FT.

UNCONDITIONED AREAS:	
UNIT 1 FRONT PORCH/CARPORT AREA:	287 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	83 SQ.FT.
UNIT 2 GARAGE AREA:	271 SQ.FT.
UNIT 2 REAR PATIO COVERED AREA:	49 SQ.FT.

TOTAL UNCONDITIONED AREAS:	690 SQ.FT.
----------------------------	------------

LOT AREA:	7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA:	2,112 SQ.FT.
COVERAGE:	29.3 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF RYAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE:

01/15/2021

THIS DOCUMENT IS NOT FOR
REGULATORY APPROVAL,
PERMITTING OR CONSTRUCTION.

ARCHITECT

Object &
Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

CLARK
DUPLEX

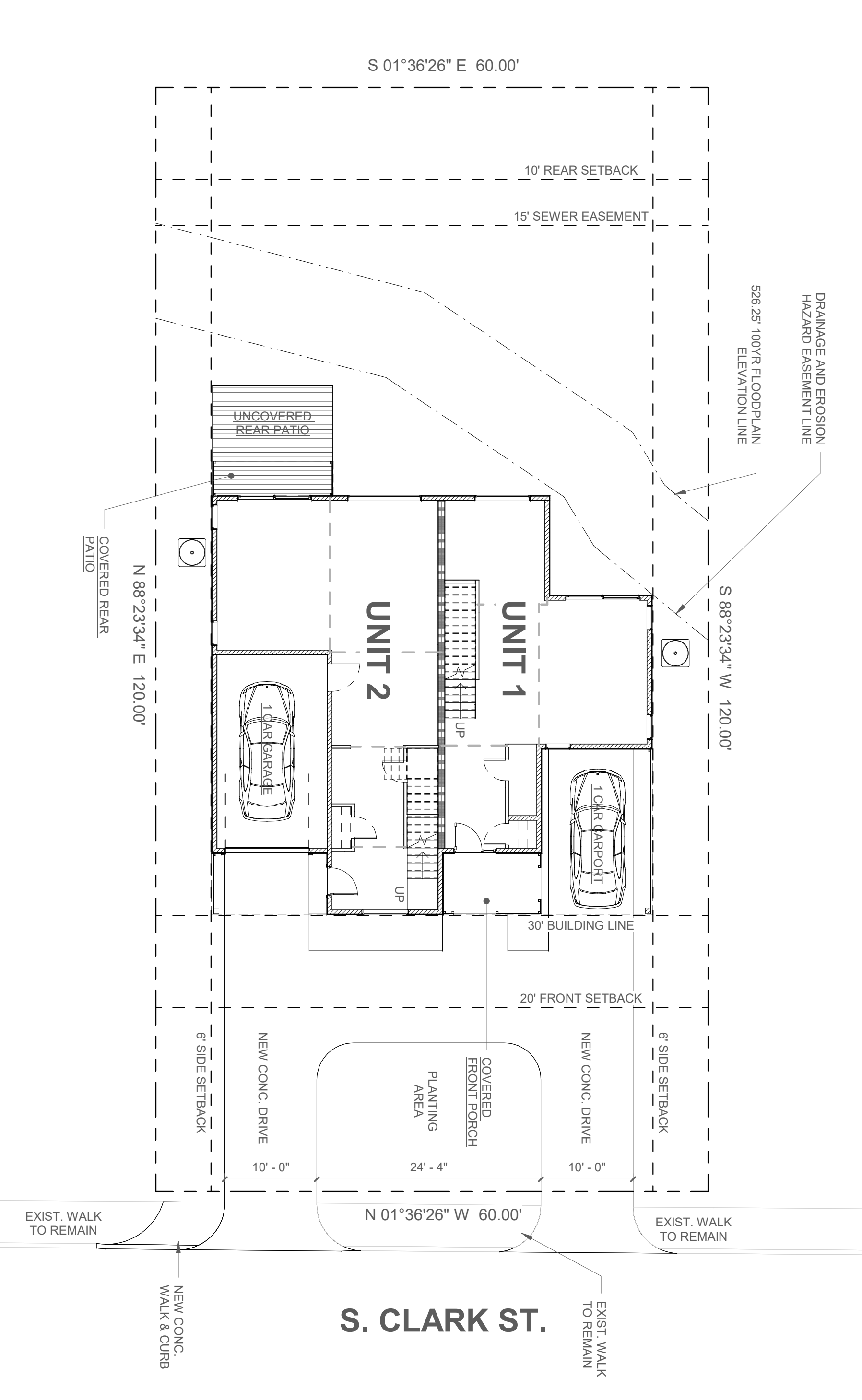
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET &
SITE PLAN



G-100





1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

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CLARK
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511 S. Clark Street
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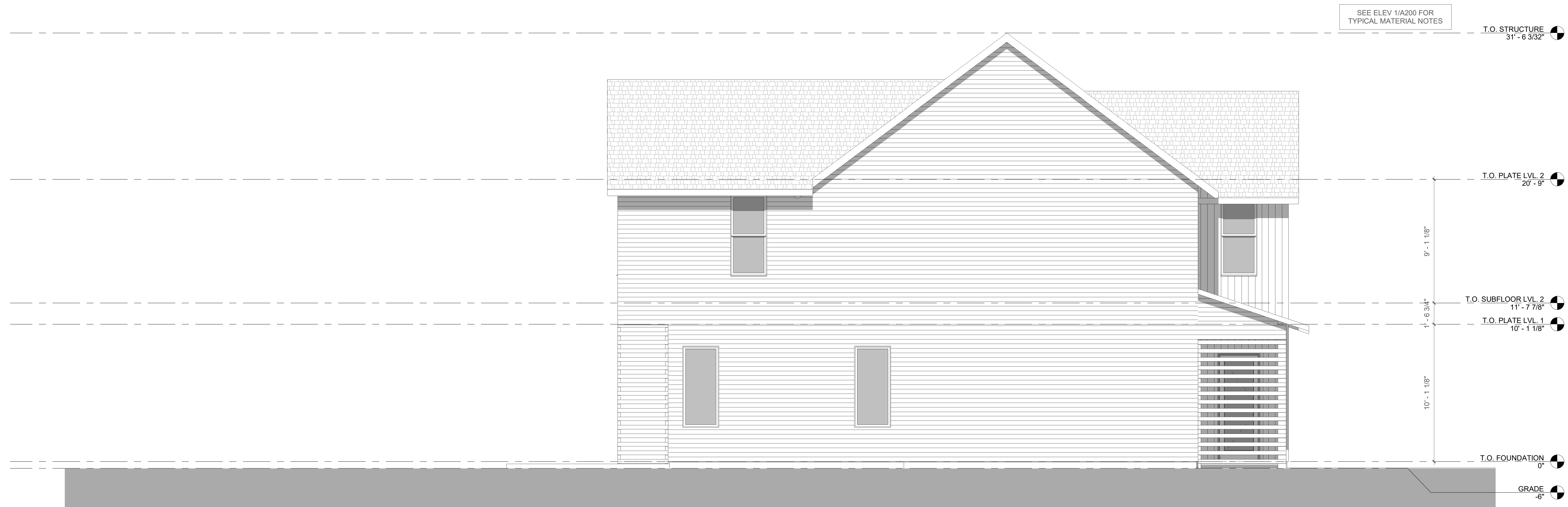
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200



1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

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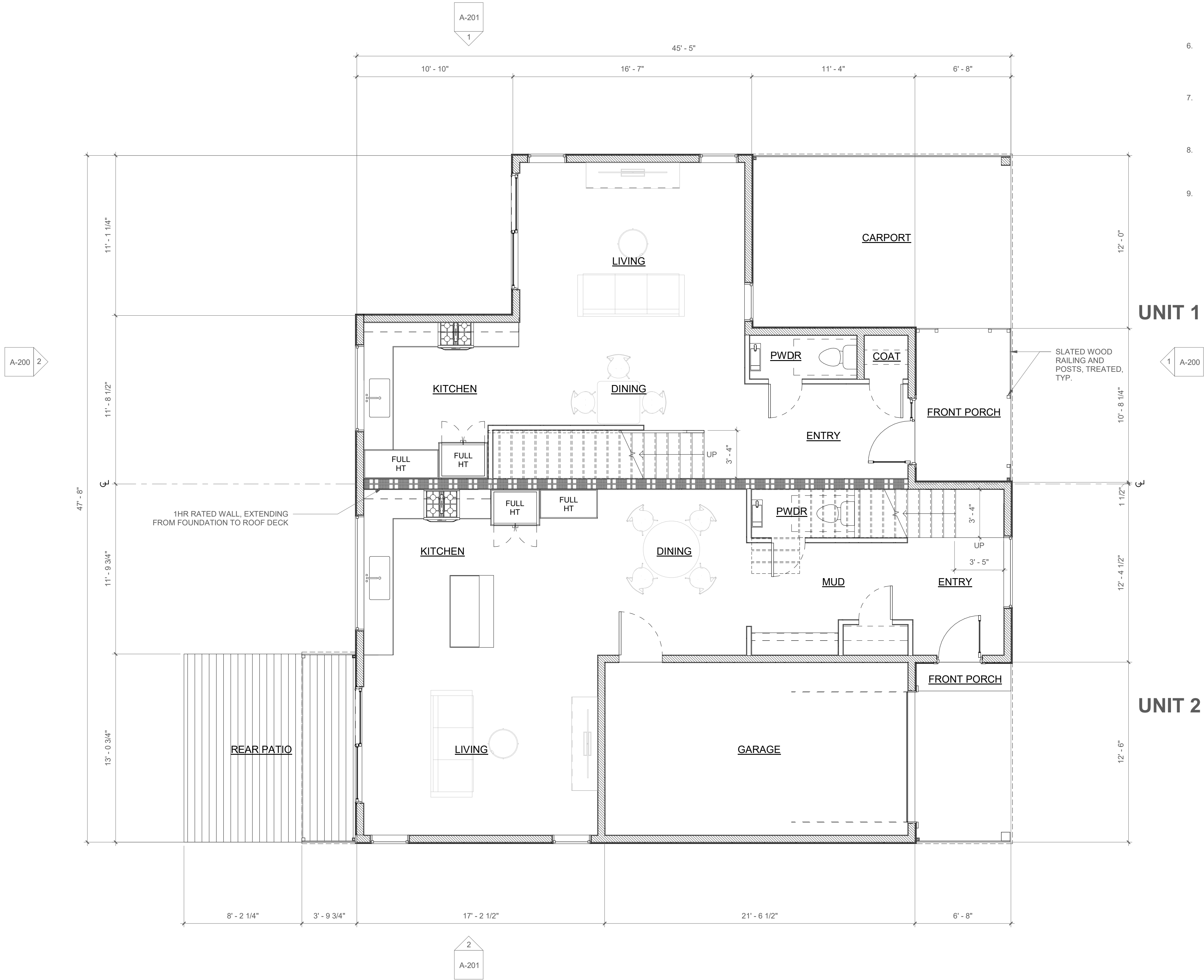
**CLARK
DUPLEX**

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-201



GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF DYAN WITROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE:
01/15/2021

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4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

SHEET ISSUE DATE:

01/15/2021

THIS DOCUMENT IS NOT FOR
REGULATORY APPROVAL,
PERMITTING OR CONSTRUCTION.

ARCHITECT

Object &
Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

CLARK
DUPLEX

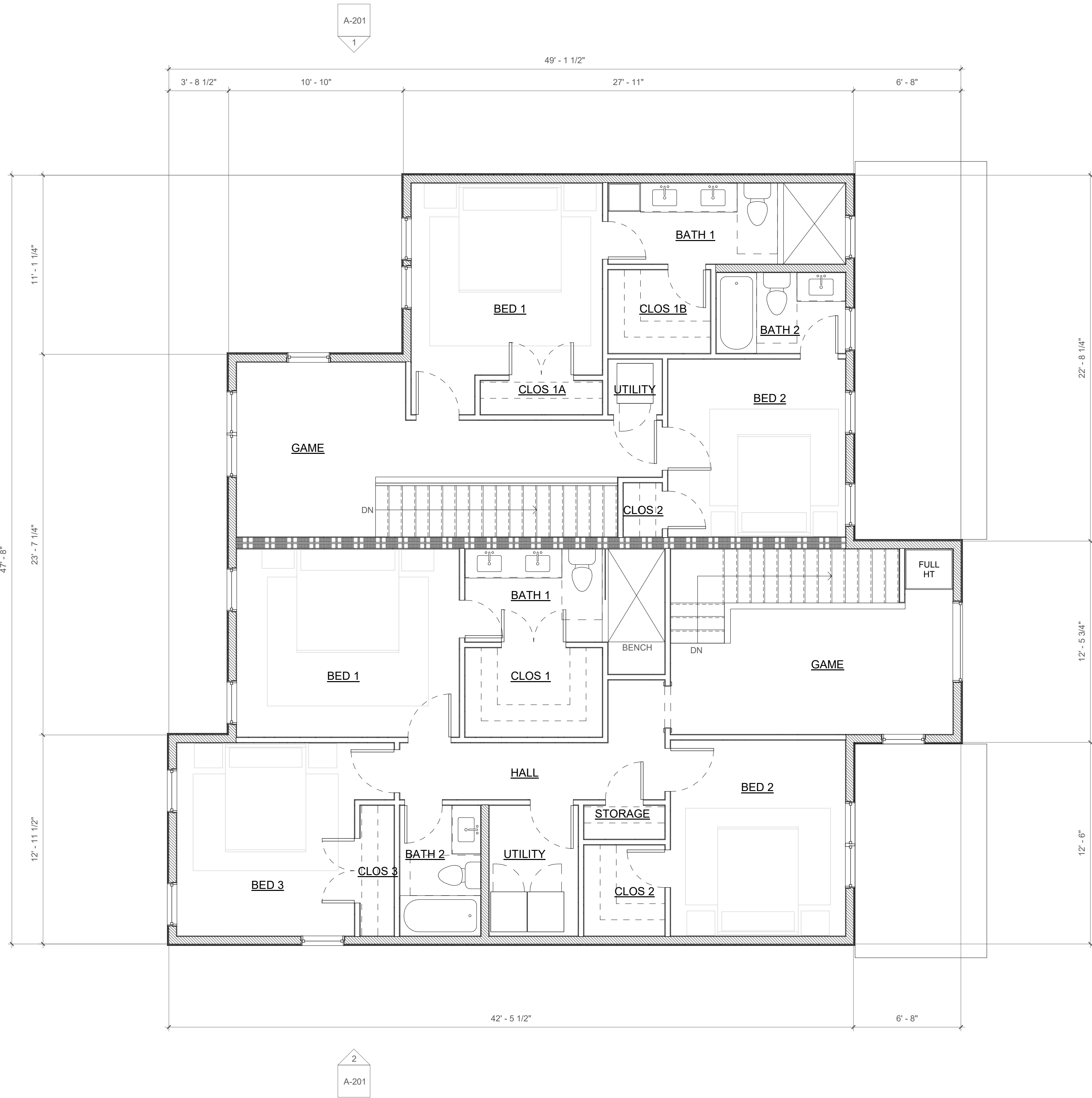
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 2 FLOOR
PLAN



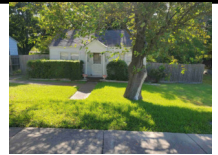
A-101





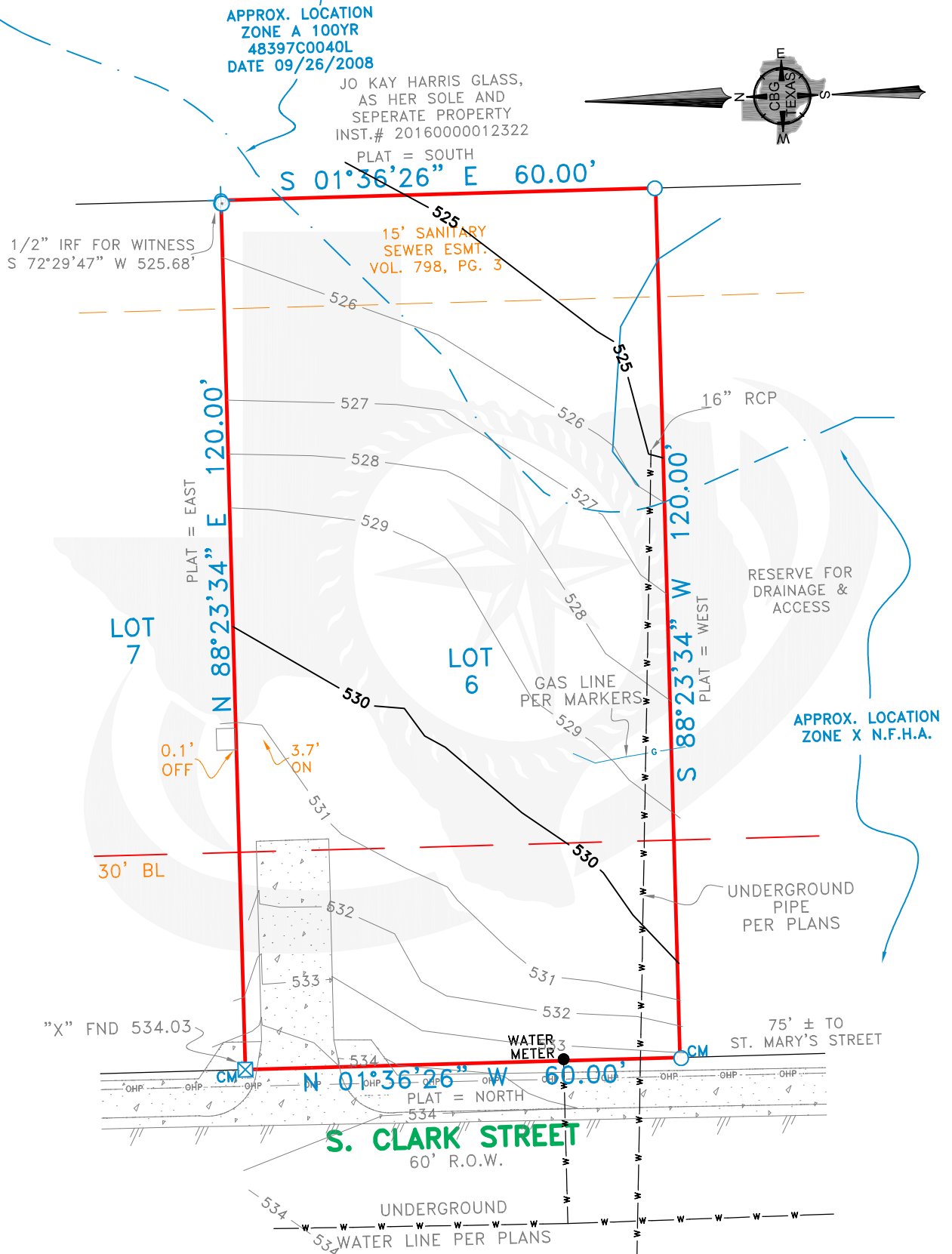
511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY, an Addition in Rockwall County, Texas, according to the Map or Plat recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat Records of Rockwall County, Texas.



LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- X— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- //— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



EXCEPTIONS:

NOTE: GF NO. DERIVED FROM PRIOR TITLE WORK ISSUED = 07/28/2020

ELEVATIONS DERIVED FROM TBM ROCKWALL MON. NO. 2884

BEARINGS ARE BASED OFF OF NAD 83 TEXAS NORTH CENTRAL

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Castro Property Group. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

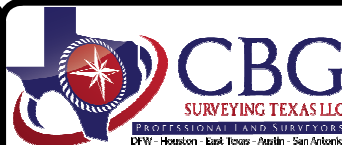
Drawn By: EAN

Scale: 1" = 20'

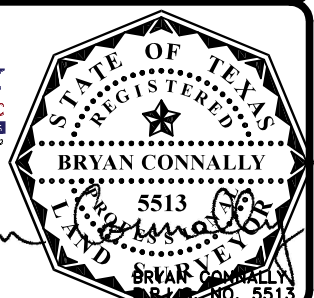
Date: 03/17/2021

GF No.: 20-509065-RL

Job No. 2013905-01



12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com



Accepted by: Purchaser

Date: _____

Purchaser

Object & Architecture

Ryan Withrow, Architect
4815 Terry Street
Dallas, Texas 75223
214 240 1995
ryan@obj-arc.com
www.obj-arc.com

May 13, 2021

Castro - Clark Duplex
511 S. Clark Street
Rockwall, TX 75087

City of Rockwall,

We are proposing the development of a duplex residence (two single family units separated by a 1-hour rated wall running from foundation to the underside of the roof decking) on a vacant lot within a district that is currently zoned for two-family residences.

The new duplex residence is proposed to be a total of 3,300 sqft of conditioned area with a two car garage. Unit One is 1,408 sqft of conditioned area and Unit Two is 1,892 sqft of conditioned area. Unit One will have two bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game/landing area, and a utility room. Unit Two will have three bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game room, and a utility room.

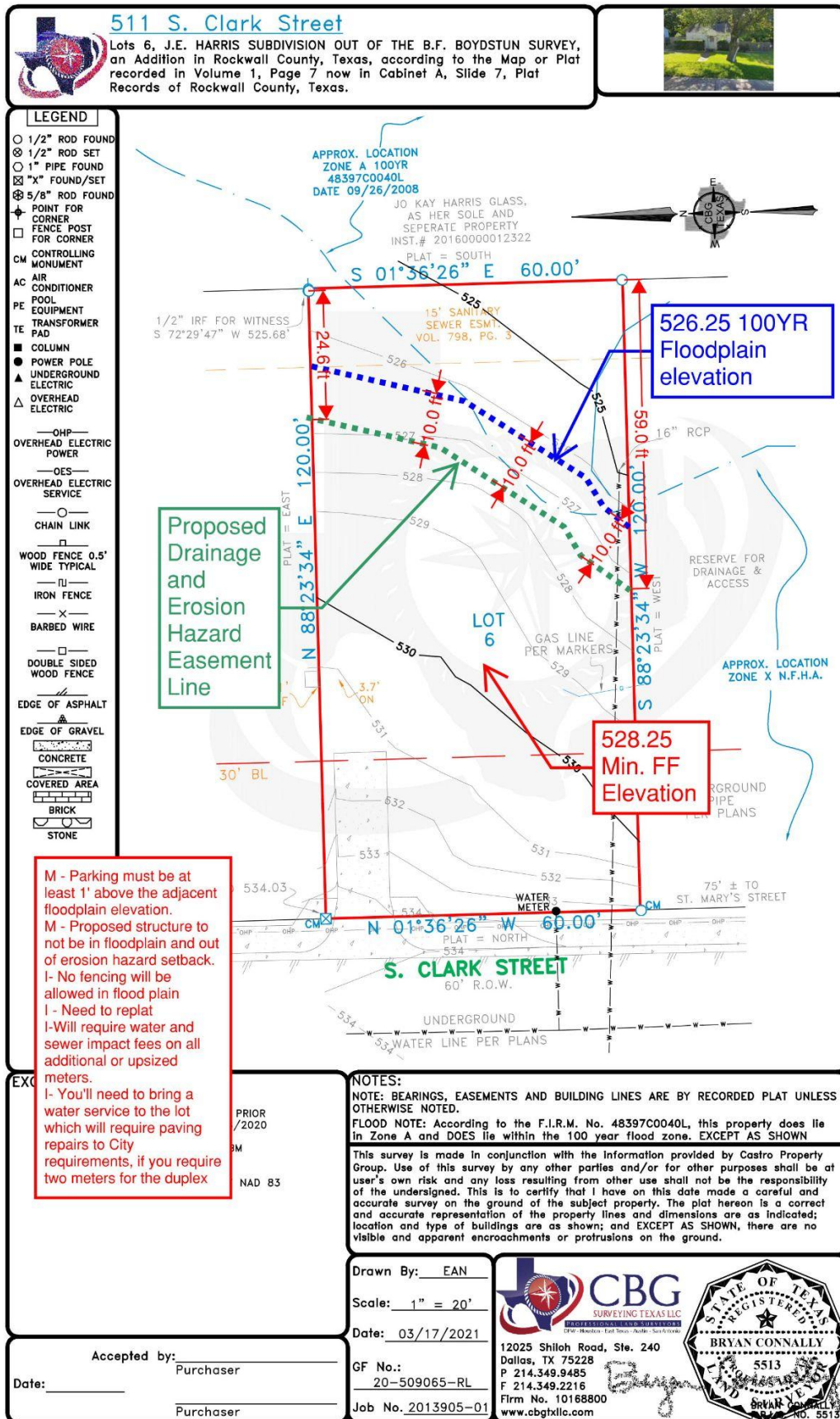
The residence will have a modern farmhouse style utilizing durable fiber cement lap siding and fiber cement board and batten siding and asphalt shingle roofing. The dwellings will meet the 2015 IECC with a minimum of R-19 batt insulation in the exterior walls, R-38 insulation at the roof, and windows with proposed U-value of 0.33 and an SHGC of 0.26.

This property has a portion of the lot which is within the 100yr floodplain. Our topographic survey is included in the application package and has been reviewed by City of Rockwall engineers. On the following page I have included their markups which we have taken into consideration when designing this duplex residence.

I hope that you find this application to be complete and satisfactory. If you have any questions about the information above, please feel free to contact me.

Sincerely,

Ryan Withrow, Architect
Object & Architecture PLLC
TBAE License #26945



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
402 S Clark Street	Single-Family Home	1987	1,090	216	Brick
403 S Clark Street	Single-Family Home	1966	720	N/A	Siding
404 S Clark Street	Single-Family Home	1983	1,097	N/A	Brick
405 S Clark Street	Single-Family Home	2006	1,682	N/A	Brick
406 S Clark Street	Single-Family Home	1990	1,348	144	Brick
408 S Clark Street	Single-Family Home	2006	2,049	N/A	Brick
410 S Clark Street	Single-Family Home	1989	1,112	N/A	Siding
501 S Clark Street	Single-Family Home				
503 S Clark Street	Other	1975	N/A	600	Metal
507 S Clark Street	Single-Family Home	1975	884	670	Brick
509 S Clark Street	Single-Family Home	1945	768	240	Siding
510 S Clark Street	Other	1970		N/A	Metal
511 S Clark Street	Vacant		Subject Property		
512 S Clark Street	Other	1960		N/A	Siding
513 S Clark Street	Single-Family Home	1966	744	N/A	Siding
402 & 404 Storrs Street	Duplex	N/A	N/A	N/A	Brick
406, 500, & 502 Storrs Street	Tri-Plex	N/A	N/A	N/A	Brick
504-A & 504-B Storrs Street	Duplex	1999	1,260	N/A	Brick
518 & 520 Storrs Street	Duplex	1999	1,260	N/A	Brick
514 & 516 Storrs Street	Duplex	1989	1,270	N/A	Brick
510 & 512 Storrs Street	Duplex	1985	1,218	N/A	Brick
602 Storrs Street	Single-Family Home	1890	3,222	N/A	Siding
604 Storrs Street	Single-Family Home	1990	1,262	48	Siding
605 Storrs Street	Single-Family Home	1980	1,554	370	Siding
606 Storrs Street	Single-Family Home	1990	929	N/A	Siding
607 Storrs Street	Single-Family Home	1993	1,170	N/A	Siding
608 Storrs Street	Single-Family Home	1950	735	196	Siding
609 Storrs Street	Single-Family Home	1990	1,168	N/A	Siding
610 Storrs Street	Single-Family Home	1985	1,130	100	Siding
612 Storrs Street	Single-Family Home	1960	696	320	Siding
Averages:		1978	1,233		



402 S Clark Street



403 S Clark Street



404 S Clark Street



405 S Clark Street



406 S Clark Street



408 S Clark Street



410 S Clark Street



501 S Clark Street



503 S Clark Street



507 S Clark Street



509 S Clark Street



510 S Clark Street



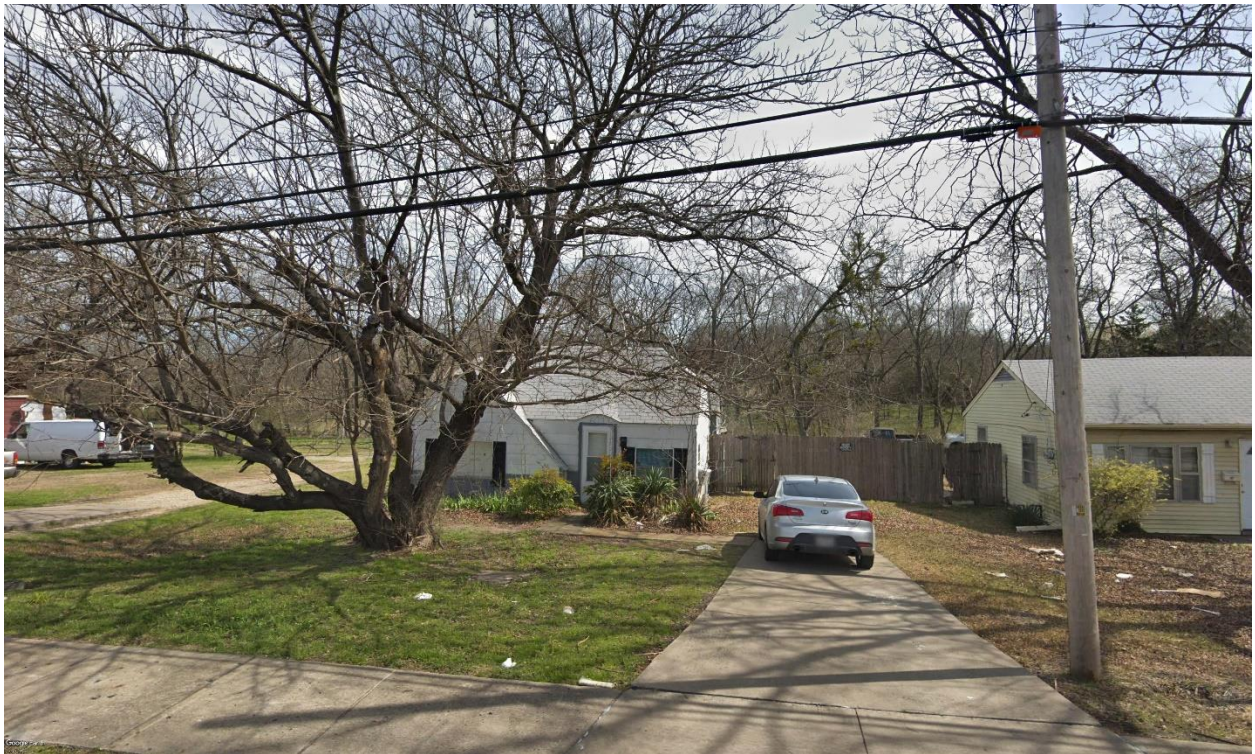
511 S Clark Street



512 S Clark Street



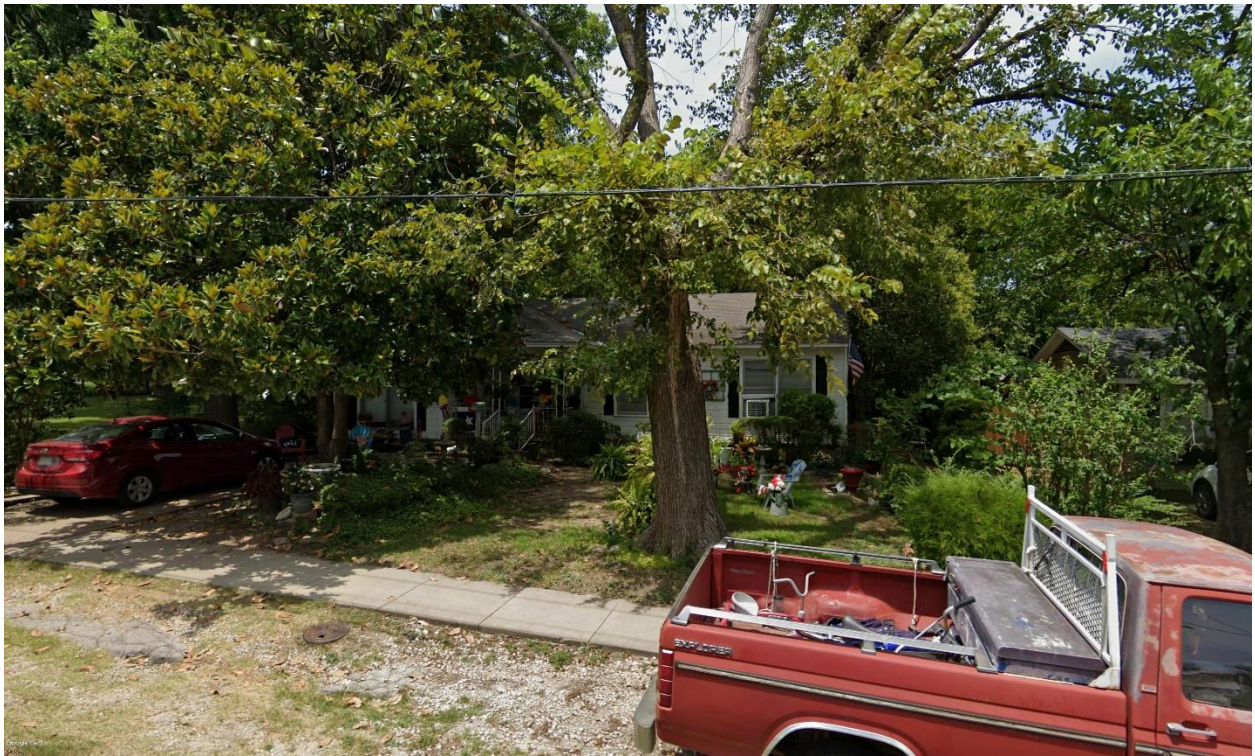
513 S Clark Street



601 S Clark Street



604 Storrs Street



605 Storrs Street



606 Storrs Street



607 Storrs Street



608 Storrs Street



609 Storrs Street



610 Storrs Street



612 Storrs Street

402 & 404 Storrs Street

Write a description for your map.

Legend



Google Earth

©2020 Google
©2021 Google



5.55 ft

406, 500, & 502 Storrs Street

Write a description for your map.

Legend



504-A & 504-B Storrs Street

Legend



Google Earth

©2020 Google
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485 ft

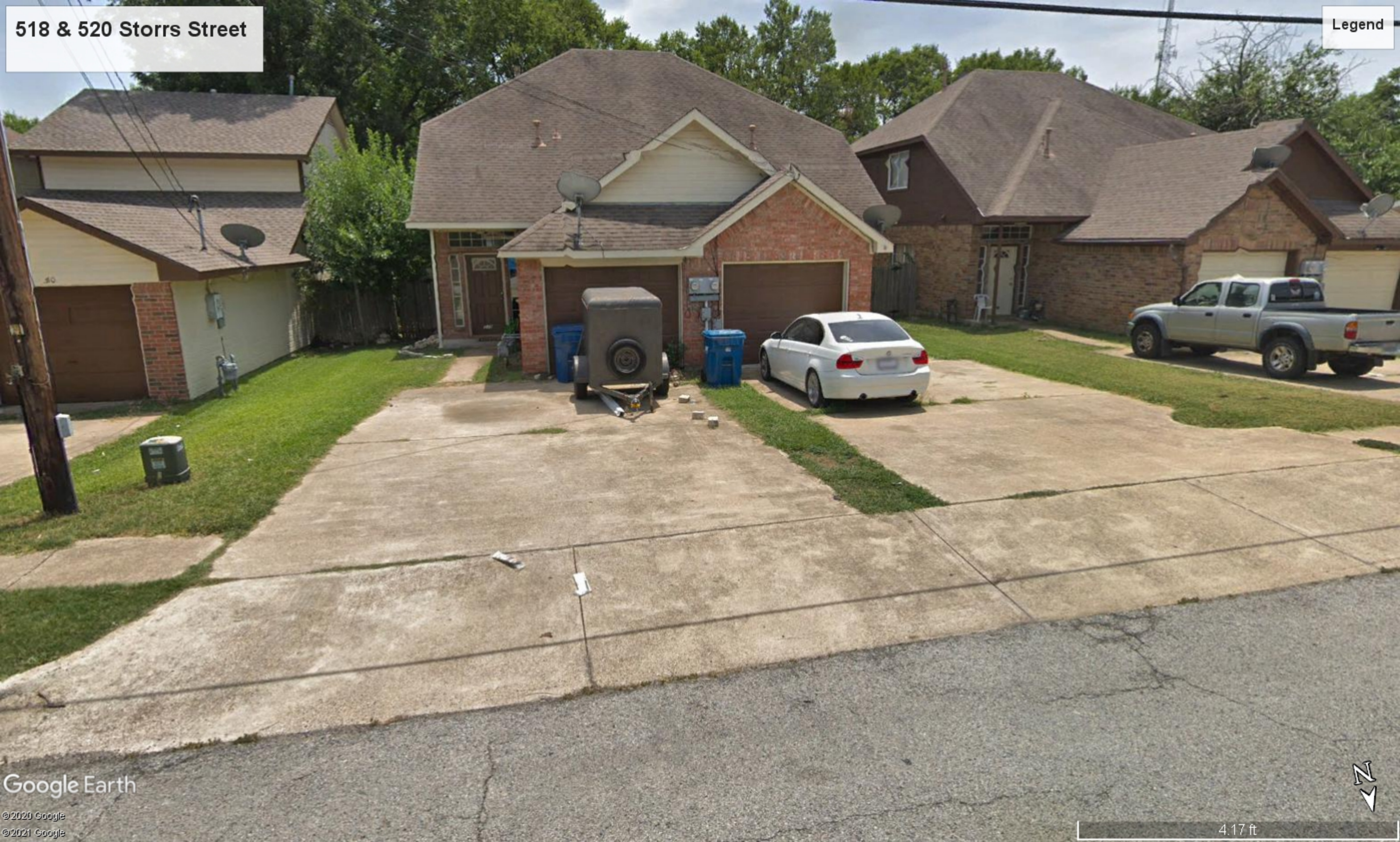
510 & 512 Storrs Street

Legend



518 & 520 Storrs Street

Legend



Google Earth

©2020 Google
©2021 Google

4.17 ft



514 & 516 Storrs Street

Legend



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a duplex on a 0.165-acre parcel of land being described as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a duplex in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a duplex on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a duplex on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF JULY, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 21, 2021

2nd Reading: July 6, 2021

Exhibit 'A'
Location Map and Survey

Address: 511 S. Clark Street

Legal Description: Lot 6, Harris Addition



**Exhibit 'B':
Residential Plot Plan**

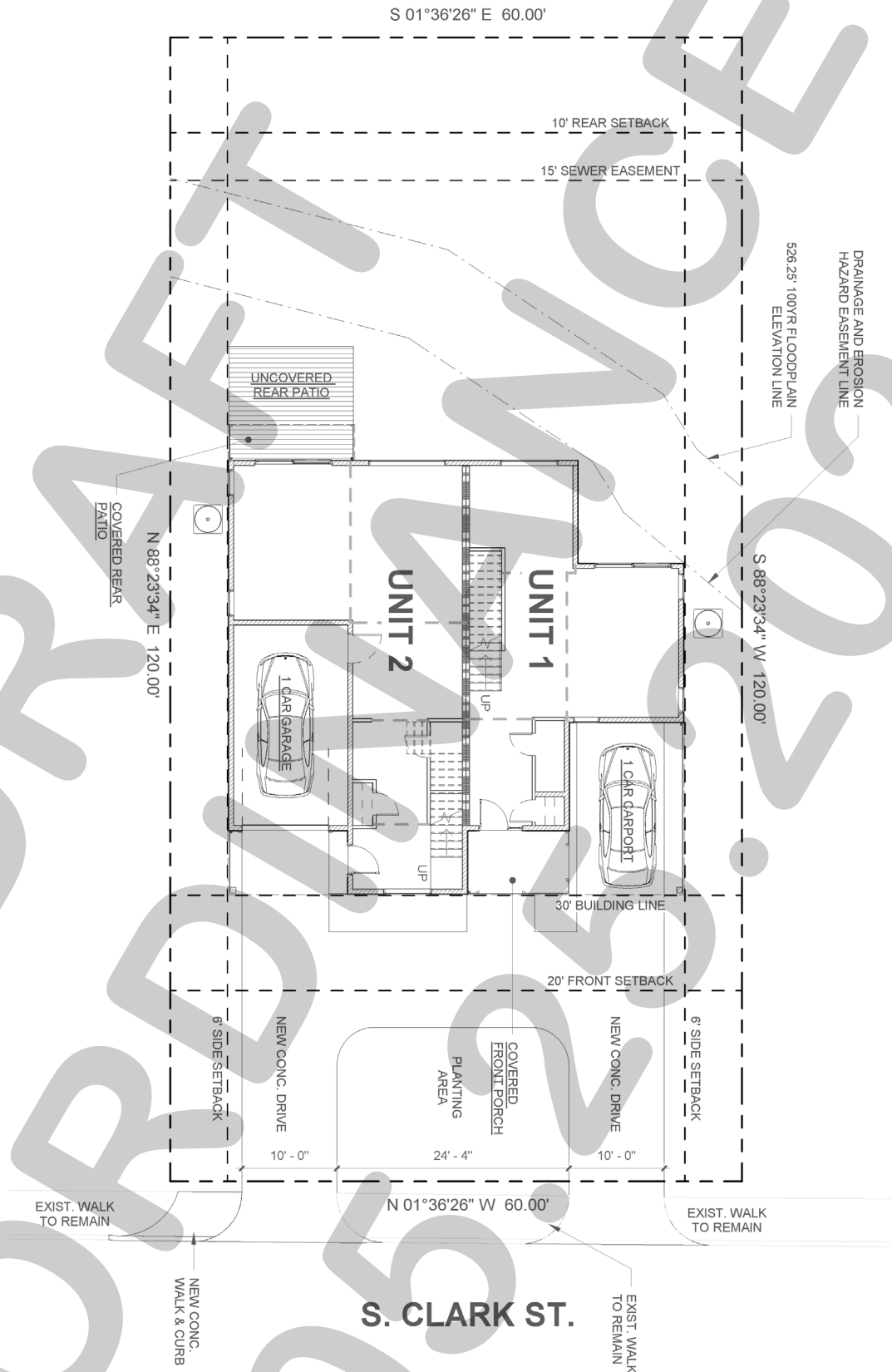


Exhibit 'C':
Building Elevations



[illegible]



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: June 15, 2021

APPLICANT: Jason Castro

CASE NUMBER: Z2021-015; *Specific Use Permit (SUP) for a Residential Infill for 511 S. Clark Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. On April 13, 1960, the subject property was platted as Lot 6 of the Harris Addition. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 5, 1972 and remained a commercially zoned property until at least December 6, 1993. Based on the December 7, 1993 historic zoning map, the subject property had been changed to Heavy Commercial (HC) District. On April 5, 2005, the historic zoning map indicates a change in zoning from Heavy Commercial (HC) District to Two-Family (2F) District. This is the current zoning designation of the subject property. The subject property is currently vacant.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a duplex on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 511 S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 509 S. Clark Street (*i.e. Lot 7 of the Harris Addition*), which is zoned Two-Family (2F) District. This property has an existing single-family home. Adjacent to 509 S. Clark Street are several parcels of land that contain single-family homes that are zoned Single-Family 7 (SF-7) District. Beyond this are five (5) single-family homes on five (5) parcels of land (*i.e. Lots 49A, 49B, 50, 51 105A-1 of the B. F. Boydston Addition*) zoned Single-Family 7 (SF-7) District. All of these properties are within the Old Town Rockwall Historic District. Beyond this is Hartman Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several existing single-family homes sites (*i.e. Lot 1-6A of the Harris Addition*), which are zoned Two-Family (2F) District. Adjacent to the Harris Addition is 703 S. Clark Street (*i.e. Lot 1, Block 1, Allen Hogue Subdivision*), which is zoned Planned Development District 52 (PD-52) for Two-Family (2F) district land uses. Beyond this is E. Boydston Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 1.50-acre vacant tract of land (i.e. *Block 108 of the B F Boydston Addition*) zoned Two-Family (2F) District. Continuing east are two (2) tracts of land: [1] a 1.792-acre tract of land (i.e. *Tract 44-01 of the R. Ballard Survey, Abstract No. 29*) and [2] a 2.6-acre tract of land (i.e. *Tract 65 of the R. Ballard Survey, Abstract No. 29*). Both of these tracts are zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) properties that contain legal non-conforming land uses and that are zoned Commercial (C) District. These properties are located within the Mill Co. Subdivision. Adjacent to these non-conforming land uses are eight (8) single-family homes zoned Two-Family (2F) District. Beyond this is Tyler Street, which is classified as a R2 (i.e. *residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the Harris Addition and within 500-feet of the Mill Co. and Integrity Additions. All of these subdivisions are considered to be established subdivisions and have been in existence for more than ten (10) years, consist of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being zoned Two-Family (2F) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on S. Clark Street and Storrs Street compared to the duplex proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Clark Street, Storrs Street, and the Subject Property	Proposed Duplex
Building Height	One (1) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the duplex will face S. Clark Street
Year Built	1945-2006	N/A
Building SF on Property	696 SF – 2,049 SF	Unit #1, 1,408 SF & Unit #2, 1,8921 SF (A/C Area)
Building Architecture	Single Family Homes	Duplex – Farm House Architecture
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	20-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Brick and Siding	Fiber Cement: Lap Siding and Board & Batten
Paint and Color	Red, White, Grey, Green, Blue and Brown	Unknown
Roofs	Composite and Asphalt Shingles	Asphalt Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and no garages.	A one (1) car garage will be attached to Unit #2, and is 6' 8" behind the front façade. Unit #1 will have a carport that is flush with the front façade.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In addition, Section 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) states, "(t)wo off-street parking spaces plus one (1) garage parking space for each dwelling unit is required." In this case, the applicant is proposing a flat front-entry garage (*i.e. one [1] single-car garage for Unit #2*) that sets back approximately 6' 8" from the front façade. Unit #1 will have a carport that is integrated with the front porch and is flush with the front façade of the duplex. According to the applicant's architect, the carport is to provide a visually similar appearance to the existing housing stock, which have front facing one (1) car garages (*or no garage*). With this being said, if approved the Planning and Zoning Commission and City Council will be waiving the following: [1] no garage being provided for *Unit #1*, and [2] a garage that does not meet the required garage orientation requirements (*i.e. that is not setback 20-feet from the front façade*). Staff should note that this garage orientation is not uncharacteristic of the neighborhood. Some of the single-family homes in the neighborhood have a garage that is in front of, flush or behind the front façade of the single-family home. In some cases, there is not a garage, but a front entry driveway; however, these are single-family homes and no other duplexes exist without garages in the general area. With the exception of the aforementioned waivers, the proposed duplex meets all of the density and dimensional requirements stipulated for a property in a Two-Family (2F) District as required by the Unified Development Code (UDC). For the purpose of comparing the proposed duplex to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Clark Street, Storrs Street, and the proposed building elevations in the attached packet. The approval of the architecture and waivers for this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed duplex will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On May 20, 2021, staff mailed 71 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Three (3) property owner notifications from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
 - (b) The construction of a duplex on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
 - (c) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)¹
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **511 S. Clark Street Rockwall, TX 75087**

SUBDIVISION **J.E. HARRIS SUBDIVISION**

LOT **6** BLOCK _____

GENERAL LOCATION **DOWNTOWN 2 NEIGHBORHOOD**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **TWO-FAMILY (2F)**

CURRENT USE **VACANT**

PROPOSED ZONING _____

PROPOSED USE **TWO-FAMILY (DUPLEX)**

ACREAGE **0.165**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER **Castro Development LLC**

☐ APPLICANT _____

CONTACT PERSON **Jason Castro**

CONTACT PERSON _____

ADDRESS **16424 FALLKIRK DRIVE**

ADDRESS _____

CITY, STATE & ZIP **DALLAS, TX 75248**

CITY, STATE & ZIP _____

PHONE **214.232.2750**

PHONE _____

E-MAIL **jason@castropropertygroup.com**

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

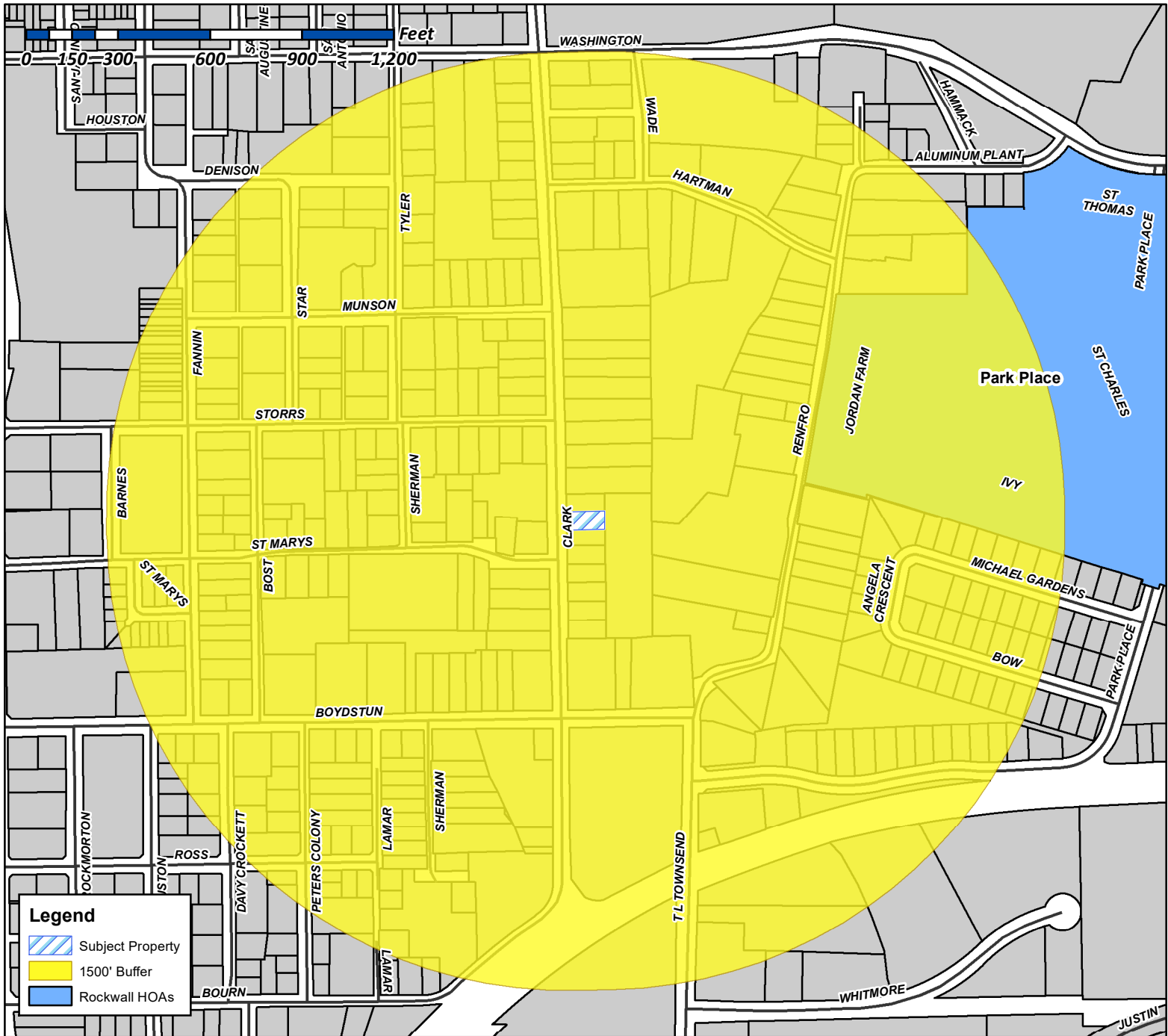




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Rockwall, Texas 75087
(P): (972) 771-7745
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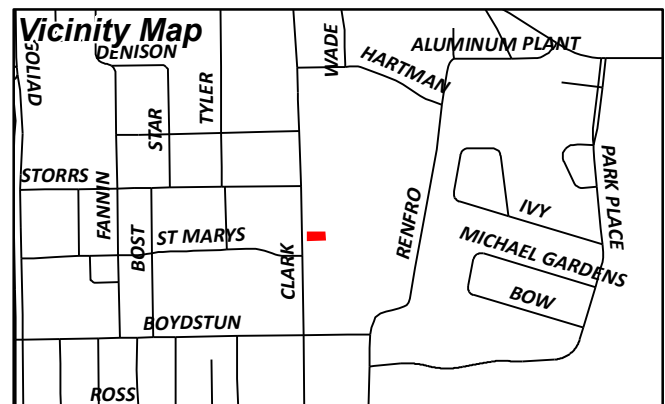
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Case Number: Z2021-015
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 5/13/2021

For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Thursday, May 20, 2021 10:49 AM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-015]
Attachments: HOA Map Z2021-015.pdf; Public Notice (05.20.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *May 21, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, June 15, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 21, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-015 SUP for Residential Infill at 511 S. Clark Street

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

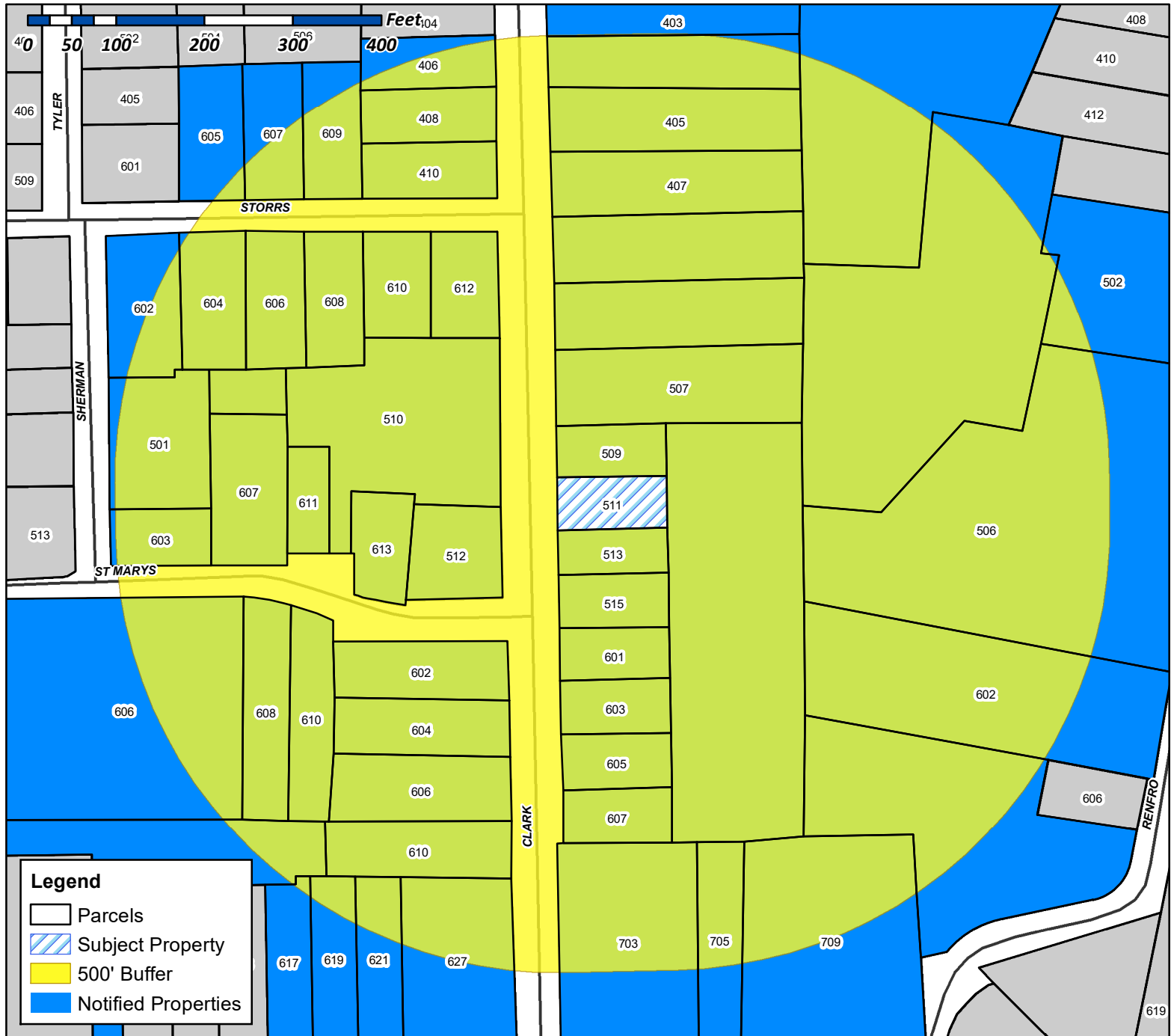
This email was scanned by Bitdefender



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

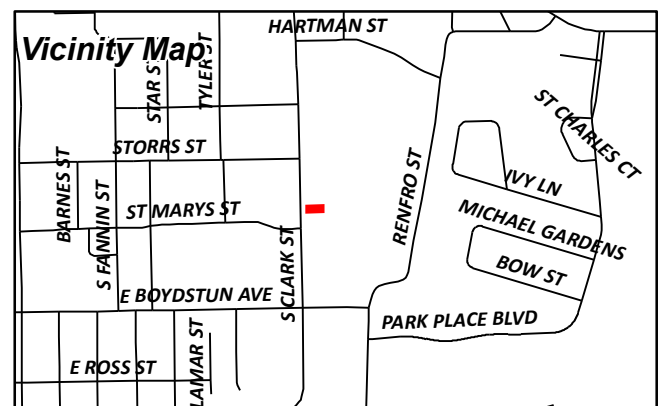
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-015
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 5/13/2021

For Questions on this Case Call (972) 771-7745





= RESPONSE RECEIVED

MCCALLUM DARRELL
1 SOAPBERRY LN
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
215 GRIFFIN AVENUE
FATE, TX 75189

BOWEN CHASE AND
PERRY BOWEN
230 MYERS ROAD
HEATH, TX 75032

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
3299 ROCHELLE RD
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE
401 E KAUFMAN ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
401 S CLARK ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
403 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
405 S CLARK STREET
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S CLARK ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
501 SHERMAN ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
501 S CLARK
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
503 S CLARK
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

HAMANN KRISTIE M
511 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
515 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W
602 STORRS STREET
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
602 S CLARK ST
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
603 ST MARYS ST
ROCKWALL, TX 75087

RIVERA SARA ELIA
603 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
604 S CLARK ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
606 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
608 ST MARYS ST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
ROCKWALL, TX 75087

GADDIS DANNY E
609 STORRS ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
610 S CLARK ST
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRS ST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-015: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 15, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 21, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 21, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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PLEASE RETURN THE BELOW FORM

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

We are opposed to the request for building more duplexes in our neighborhood. We have several new homes in our neighborhood and others that are being renovated. Duplexes and more rental properties will not be a good decision for this area.

Name: Amy & Wes Davis

Address: 1606 Storrs Street Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Director of Planning & Zoning



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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

ALL HOUSES ON CLARK ARE SINGLE FAMILY HOMES.
LOT DOES NOT SEEM TO BE OF A SIZE TO ACCOMMODATE
A DUPLEX. ALREADY TOO MANY DUPLEXES IN THIS
AREA OF OLD TOWN.

Name: MICHAEL JAMGOCHIAN

Address: 602 STORRS ST ROCKWALL TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

I don't think a duplex would help the property values in this area so I am opposed to this sub.

Name:

Sherri Johnston

Address:

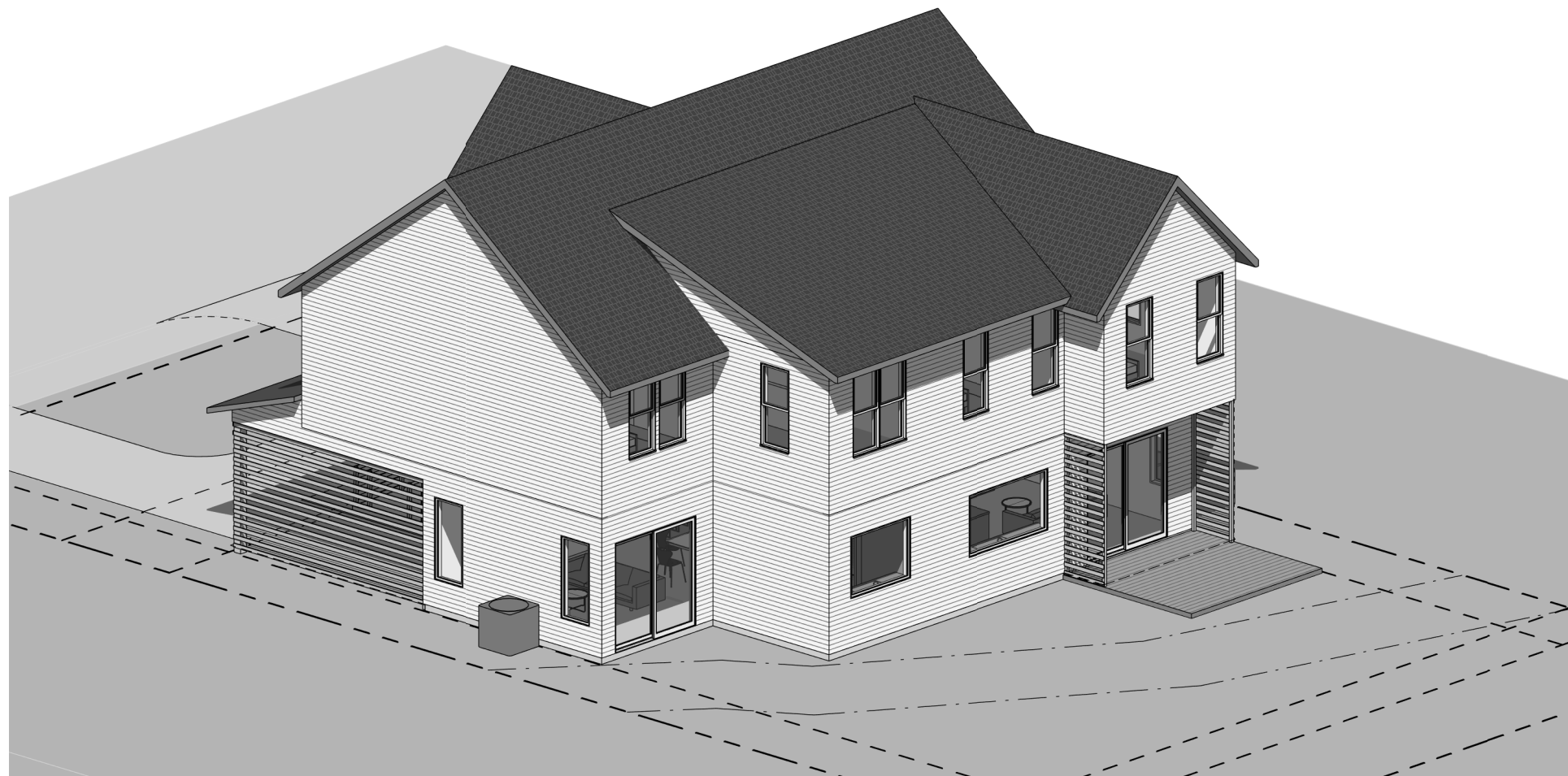
610 Storrs Street Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

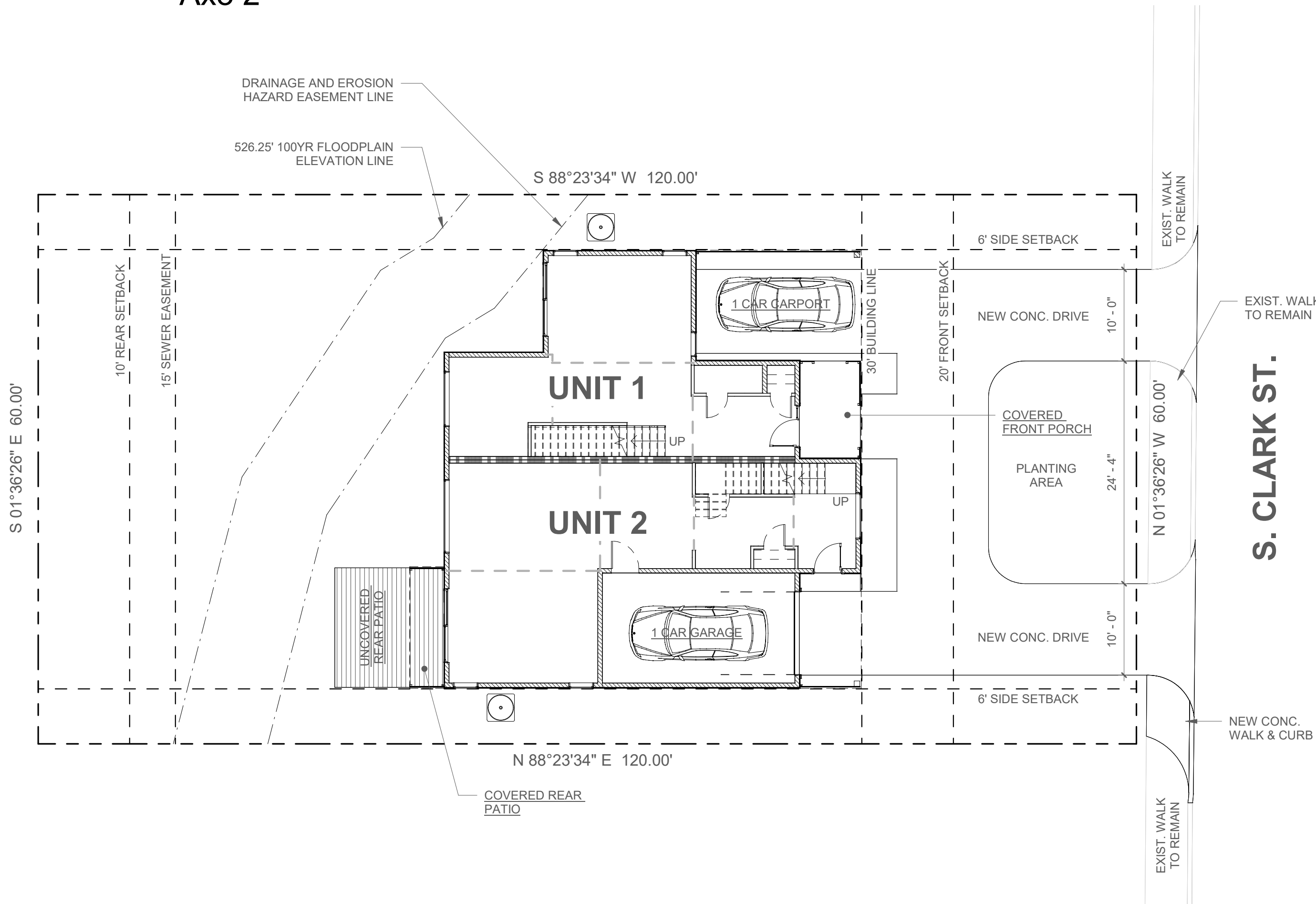
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Axo 1



Axo 2



GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRC/DALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STICKLING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURER'S CUT SHEETS. CONFIRM THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R112 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND

	TYPICAL EXISTING WALL		WINDOW TAG
	TYPICAL REMOVED WALL		WALL TYPE
	TYPICAL 3-1/2" STUD INTERIOR WALL		DOOR TAG
	INTERIOR WALL WITH SOUND INTERIOR		SECTION CUT TAG
	TYPICAL 5 1/2" STUD INTERIOR WALL		ELEVATION TAG
	TYPICAL SIDING EXTERIOR WALL		DETAIL TAG
	TYPICAL CEMENT PLASTER EXTERIOR WALL		
	TYPICAL MASONRY EXTERIOR WALL		

LOCATION MAP



SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

OWNER CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	ARCHITECT OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
CONTACT: JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	CONTACT: RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION:	NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE
ADDRESS:	511 S. CLARK STREET ROCKWALL, TX 75087
CITY:	ROCKWALL
COUNTY:	ROCKWALL COUNTY
LOT:	6
BLOCK:	J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS	
ZONE:	TWO-FAMILY (2F)
MAIN USE:	TWO FAMILY RESIDENCE (DUPLEX)
FRONT SETBACK:	20 FT.
SIDE SETBACKS:	6 FT.
REAR SETBACK:	10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY:	NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT:	32 FT.
LOT COVERAGE:	45% MAX

AREA CALCULATIONS	
CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	636 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	772 SQ.FT.
UNIT 1 TOTAL A/C AREA:	1,408 SQ.F.
UNIT 2 FIRST FLOOR A/C AREA:	786 SQ.FT.
UNIT 2 SECOND FLOOR A/C AREA:	1,106 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,892 SQ.FT.

UNCONDITIONED AREAS:	
UNIT 1 FRONT PORCH/CARPORT AREA:	287 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	83 SQ.FT.
UNIT 2 GARAGE AREA:	271 SQ.FT.
UNIT 2 REAR PATIO COVERED AREA:	49 SQ.FT.

TOTAL UNCONDITIONED AREAS:	690 SQ.FT.
-----------------------------------	------------

LOT AREA:	7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA:	2,112 SQ.FT.
COVERAGE:	29.3 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF RYAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE:

01/15/2021

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ARCHITECT

Object &
Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

CLARK
DUPLEX

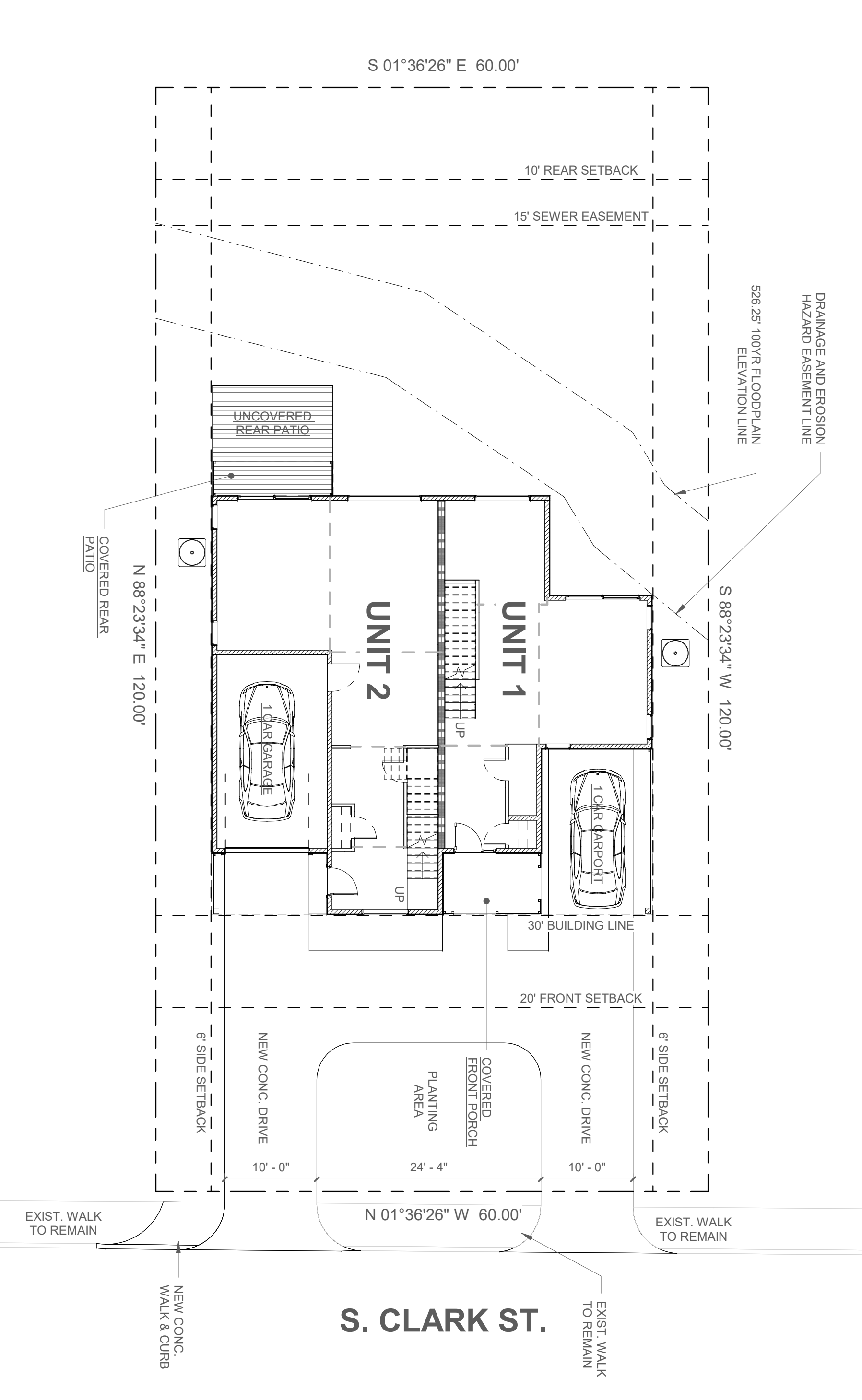
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET &
SITE PLAN



G-100



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1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

00703-01

CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

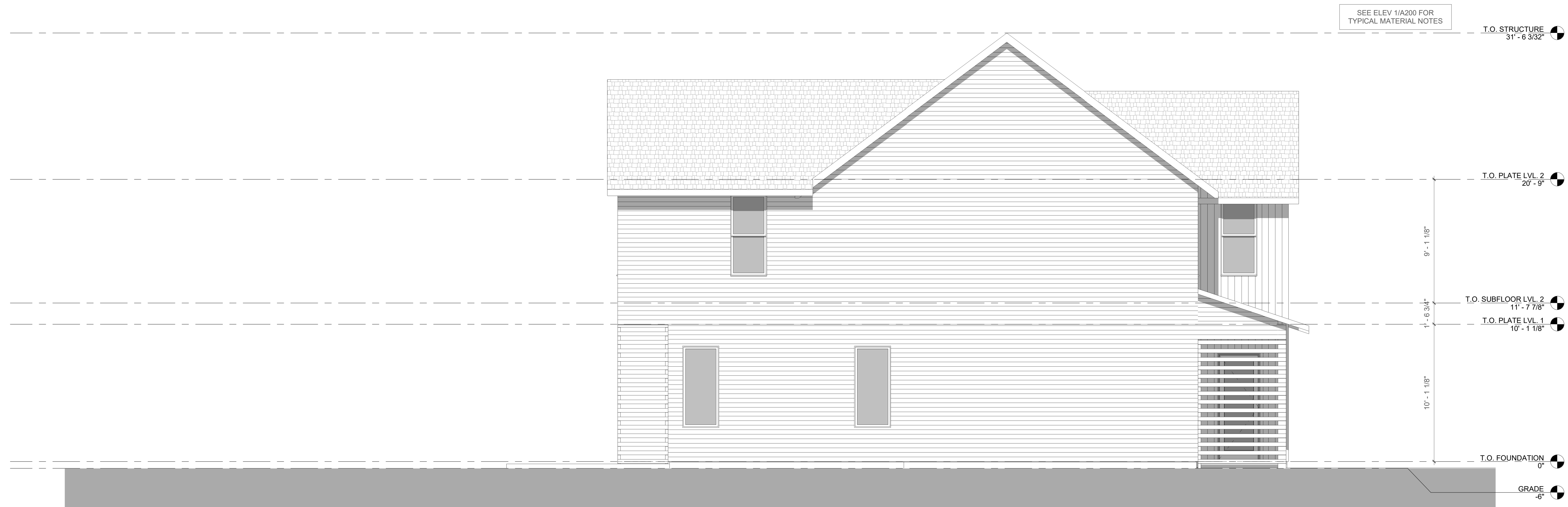
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200



1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

SHEET ISSUE DATE:
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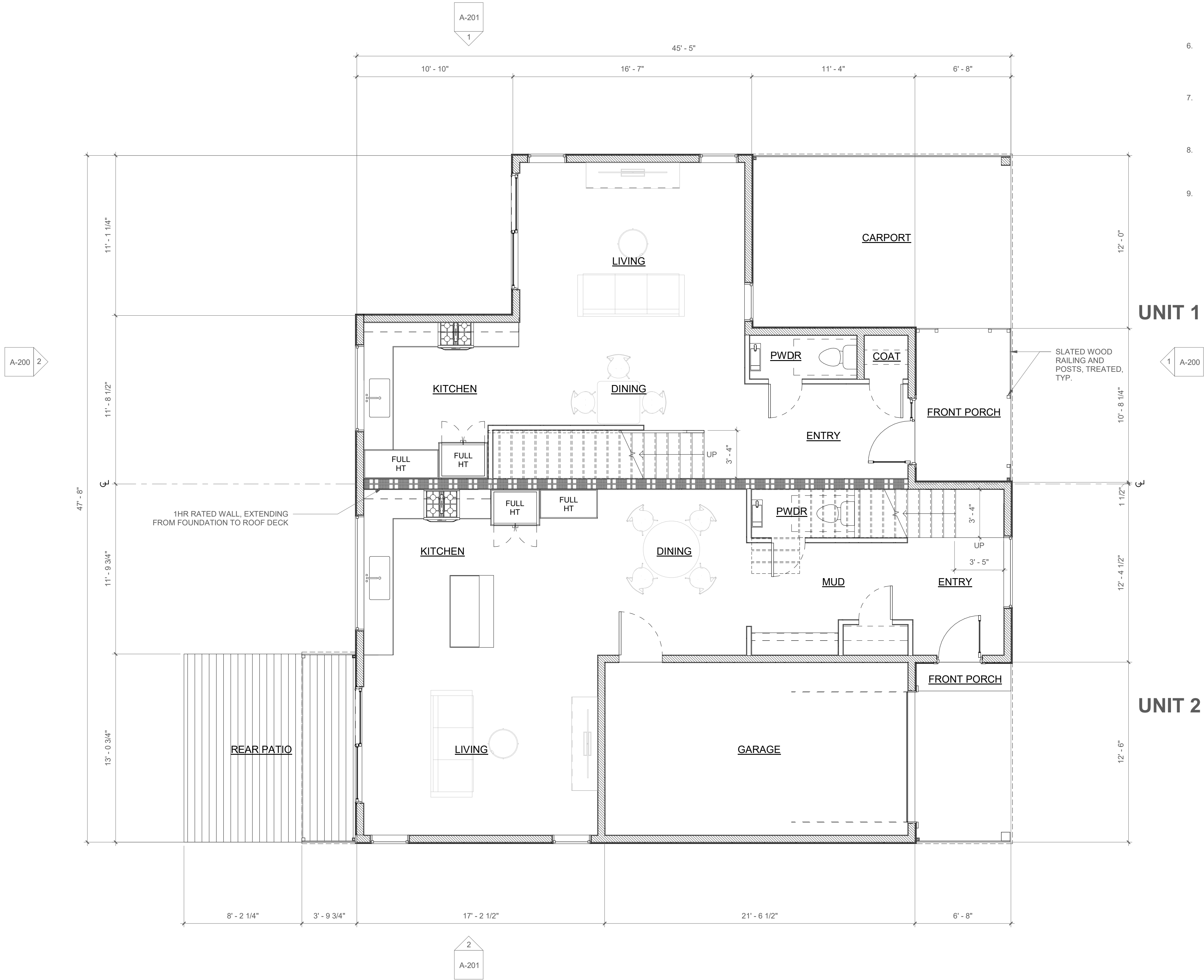
CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-201



GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF DYLAN WITROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

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01/15/2021

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Object & Architecture
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00703-01

CLARK
DUPLEX

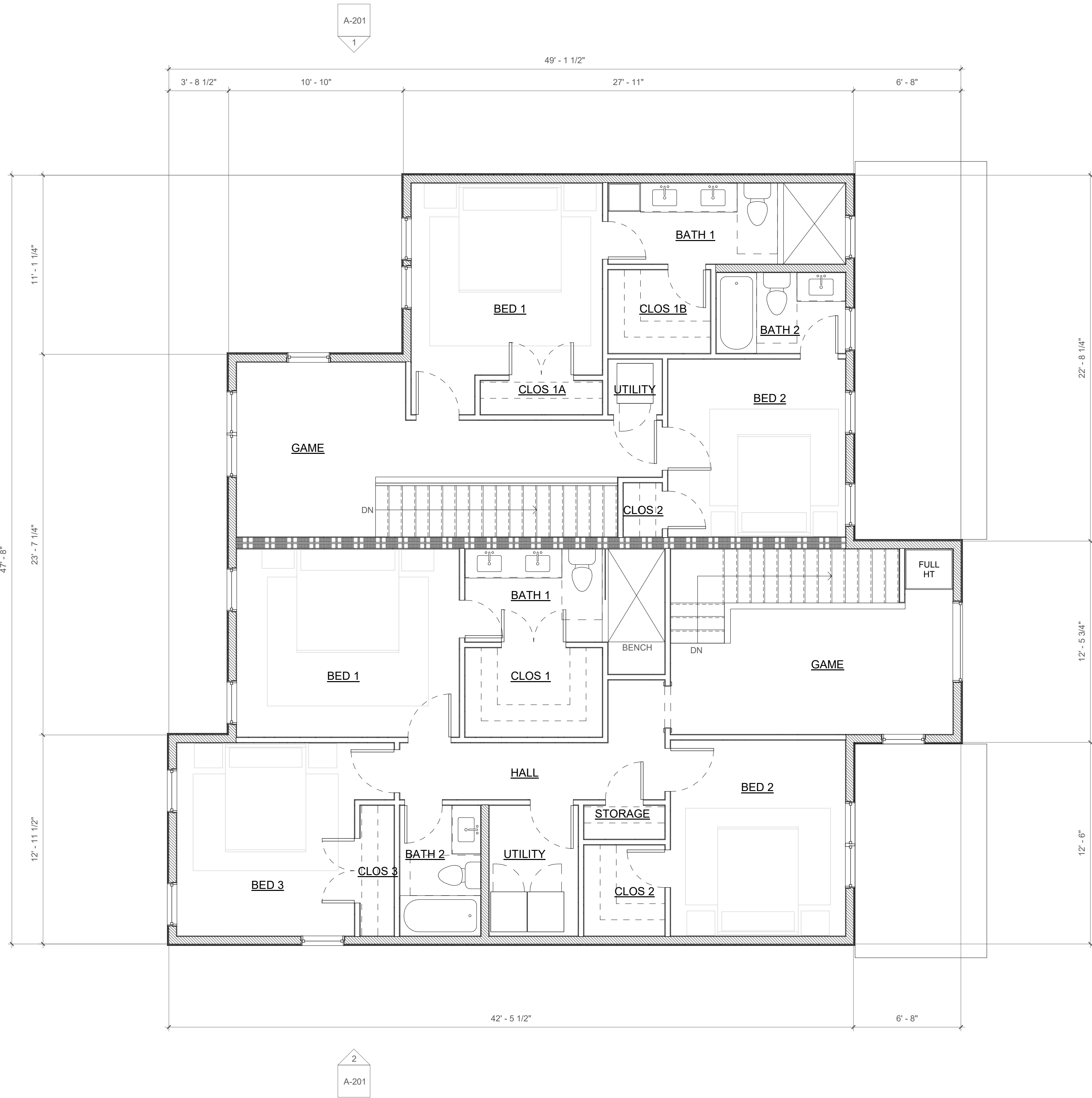
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 2 FLOOR
PLAN



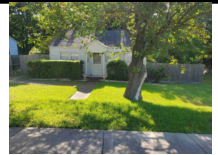
A-101





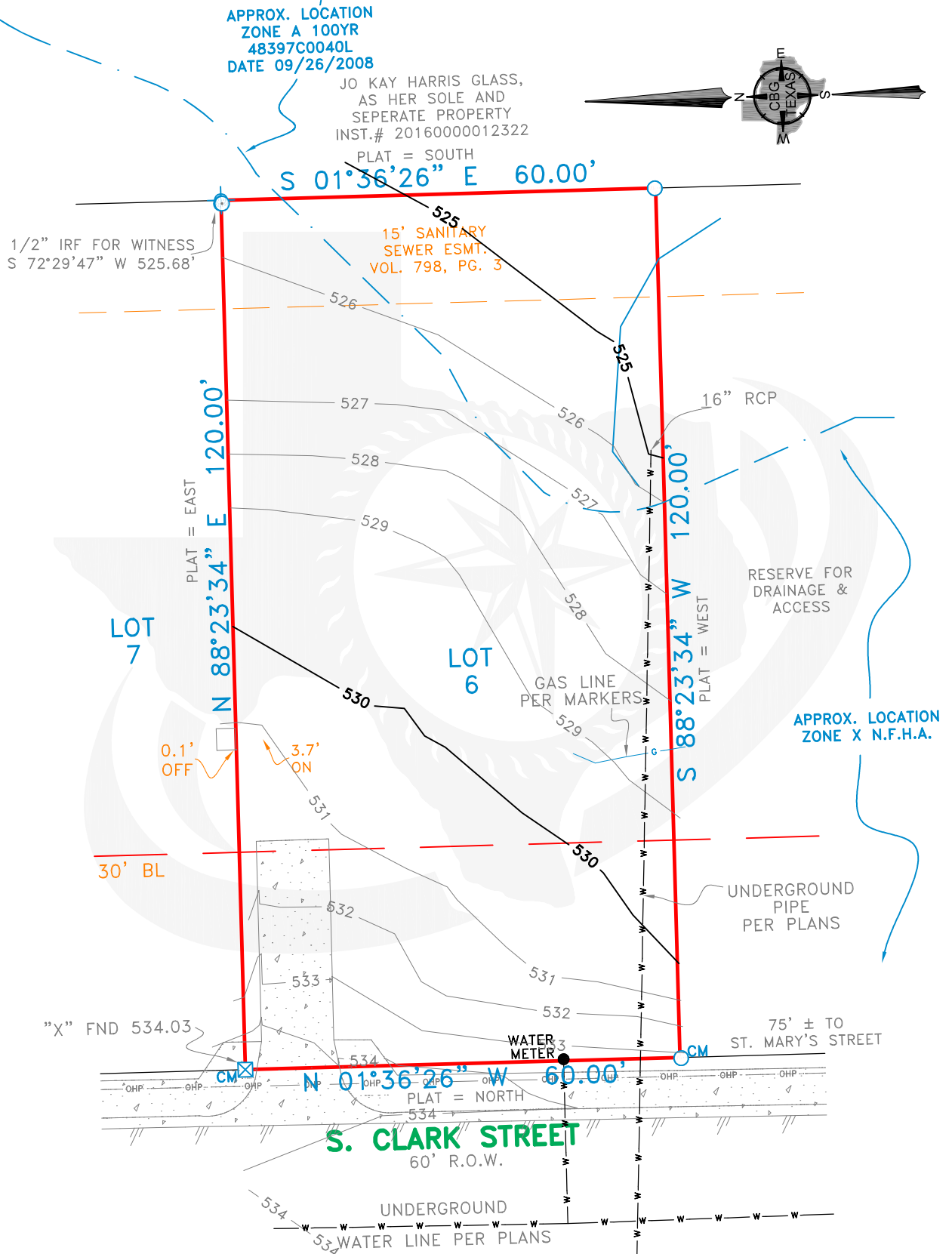
511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY, an Addition in Rockwall County, Texas, according to the Map or Plat recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat Records of Rockwall County, Texas.



LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /// EDGE OF ASPHALT
- /// EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



EXCEPTIONS:

NOTE: GF NO. DERIVED FROM PRIOR TITLE WORK ISSUED = 07/28/2020

ELEVATIONS DERIVED FROM TBM ROCKWALL MON. NO. 2884

BEARINGS ARE BASED OFF OF NAD 83 TEXAS NORTH CENTRAL

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Castro Property Group. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

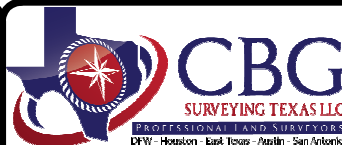
Drawn By: EAN

Scale: 1" = 20'

Date: 03/17/2021

GF No.: 20-509065-RL

Job No. 2013905-01



12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com



Accepted by: Purchaser

Date: _____

Purchaser

Object & Architecture

Ryan Withrow, Architect
4815 Terry Street
Dallas, Texas 75223
214 240 1995
ryan@obj-arc.com
www.obj-arc.com

May 13, 2021

Castro - Clark Duplex
511 S. Clark Street
Rockwall, TX 75087

City of Rockwall,

We are proposing the development of a duplex residence (two single family units separated by a 1-hour rated wall running from foundation to the underside of the roof decking) on a vacant lot within a district that is currently zoned for two-family residences.

The new duplex residence is proposed to be a total of 3,300 sqft of conditioned area with a two car garage. Unit One is 1,408 sqft of conditioned area and Unit Two is 1,892 sqft of conditioned area. Unit One will have two bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game/landing area, and a utility room. Unit Two will have three bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game room, and a utility room.

The residence will have a modern farmhouse style utilizing durable fiber cement lap siding and fiber cement board and batten siding and asphalt shingle roofing. The dwellings will meet the 2015 IECC with a minimum of R-19 batt insulation in the exterior walls, R-38 insulation at the roof, and windows with proposed U-value of 0.33 and an SHGC of 0.26.

This property has a portion of the lot which is within the 100yr floodplain. Our topographic survey is included in the application package and has been reviewed by City of Rockwall engineers. On the following page I have included their markups which we have taken into consideration when designing this duplex residence.

I hope that you find this application to be complete and satisfactory. If you have any questions about the information above, please feel free to contact me.

Sincerely,

Ryan Withrow, Architect
Object & Architecture PLLC
TBAE License #26945

Explanation of Site Hardships

Request

We are requesting two ordinance requirements be waived for the development of a two-family residence at 511 S. Clark Street so that the site may be developed to its highest and best use and to develop the site commensurately with the surrounding area. The first ordinance requirement we are requesting to be waived is a required 20 ft. setback from the front facade of the residence to the front facing garage. The second ordinance requirement we are requesting to be waived is the requirement that two off-street parking spaces be located in a garage.

Context

The property is located in a Two-Family Zoning district and the lot size is 7,200 sqft per the survey submitted with this application packet. The site slopes gradually away from Clark Street to the rear of the site. A large portion of the site is located within the 100-yr floodplain. We have worked with P&Z and Engineering during our design and SUP process and Engineering set the floodplain line as well as the additional 10' erosion control setback line. We re-designed our initial submittal to conform to this setback line.

Explanations

1. The size of the 100-yr floodplain line and the erosion control setback line significantly affects the ability of the lot to be developed commensurate with the surrounding area and to the standard size of residence that today's market expects. The 100-yr floodplain plus the erosion control setback line covers 31.6% of the lot. This lot also requires a 30' Building Line setback from the front property line. The front setback (including the 30' Building Line) plus the side yard setbacks not within the floodplain or erosion control setback covers 33.0% of the lot. This leaves the lot with only 35.3% of the lot leftover as buildable area.
2. The irregular shape of the floodplain significantly affects the ability of the lot to be developed, especially when considering the most efficient and effective way of configuring the required fire separation walls for two family dwellings is to build the separation wall in a straight line. As can be seen in Image 1 below, the shape of the floodplain and erosion control setback line affect our ability to adequately design an L-shaped driveway which would obscure the garage door from view of the street. Therefore, front facing garages create the most efficient layout to develop this lot. However, the requirement of setting the garage 20' from the front facade is not possible in the garage layout shown in Image 1.

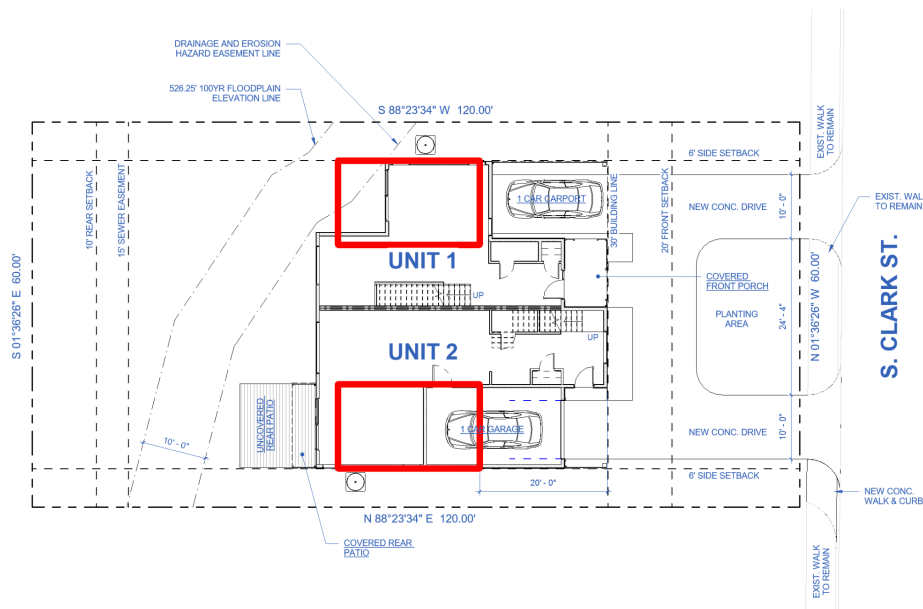


Image 1

In Image 2 below we've shown that grouping both garages together would comply with the 20' garage setback requirement and not be within the erosion control setback line, but due to the shape of the floodplain line a two car garage eats up a significant amount of the buildable area and is highly restrictive for creating an efficient and useful two family residence layout.

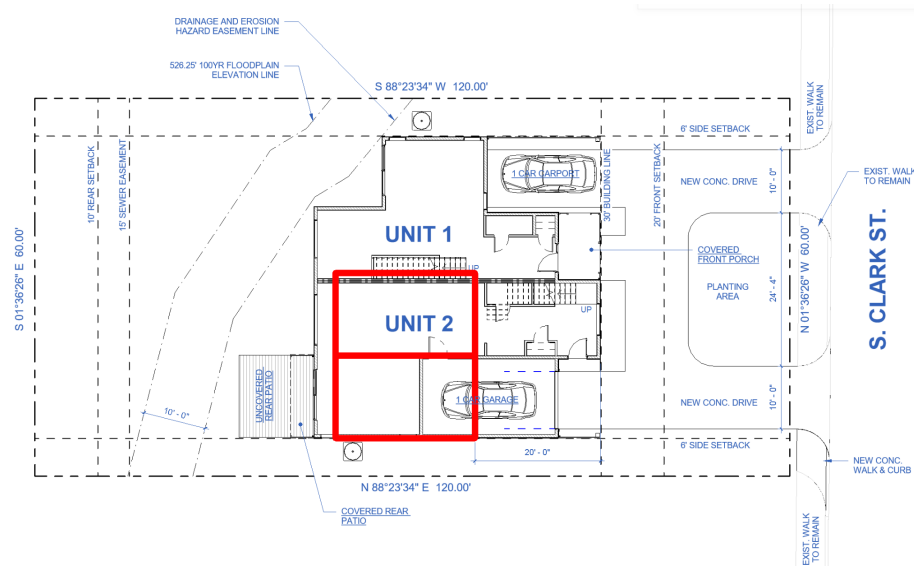


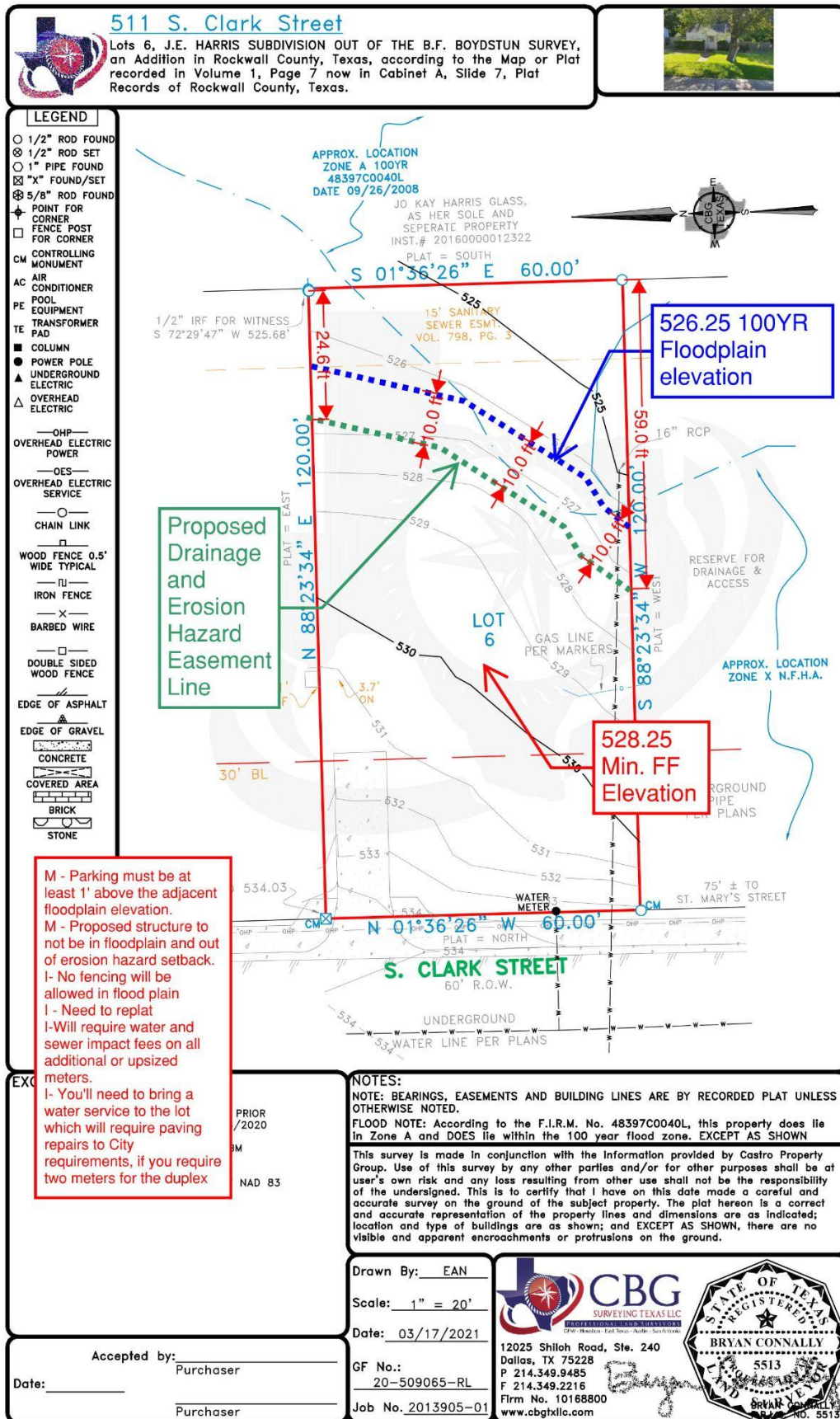
Image 2

3. This proposed two-family residence has the visual look of being a single family residence. We believe this creates the most desirable outcome for both this lot as well as the surrounding properties. Providing two separate one-car garages on either side of the fire separation wall would visually make this development look like a duplex. A front-facing two-car garage with a 20' setback from the front facade of the house significantly restricts the buildable area and prevents an efficient and regular layout.

Conclusion

For the above stated reasons we believe reducing the requirements for two garage parking spaces and waiving the 20' garage setback for the front facing garage allows this site to overcome the hardships presented by the floodplain, allows us to develop a two-family residence that reflects the spirit of the zoning ordinance, and respects the surrounding neighbors by creating a visually appealing residence that meets current market standards of development.

Thank you for your input and consideration.



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
402 S Clark Street	Single-Family Home	1987	1,090	216	Brick
403 S Clark Street	Single-Family Home	1966	720	N/A	Siding
404 S Clark Street	Single-Family Home	1983	1,097	N/A	Brick
405 S Clark Street	Single-Family Home	2006	1,682	N/A	Brick
406 S Clark Street	Single-Family Home	1990	1,348	144	Brick
408 S Clark Street	Single-Family Home	2006	2,049	N/A	Brick
410 S Clark Street	Single-Family Home	1989	1,112	N/A	Siding
501 S Clark Street	Single-Family Home				
503 S Clark Street	Other	1975	N/A	600	Metal
507 S Clark Street	Single-Family Home	1975	884	670	Brick
509 S Clark Street	Single-Family Home	1945	768	240	Siding
510 S Clark Street	Other	1970		N/A	Metal
511 S Clark Street	Vacant		Subject Property		
512 S Clark Street	Other	1960		N/A	Siding
513 S Clark Street	Single-Family Home	1966	744	N/A	Siding
402 & 404 Storrs Street	Duplex	N/A	N/A	N/A	Brick
406, 500, & 502 Storrs Street	Tri-Plex	N/A	N/A	N/A	Brick
504-A & 504-B Storrs Street	Duplex	1999	1,260	N/A	Brick
518 & 520 Storrs Street	Duplex	1999	1,260	N/A	Brick
514 & 516 Storrs Street	Duplex	1989	1,270	N/A	Brick
510 & 512 Storrs Street	Duplex	1985	1,218	N/A	Brick
602 Storrs Street	Single-Family Home	1890	3,222	N/A	Siding
604 Storrs Street	Single-Family Home	1990	1,262	48	Siding
605 Storrs Street	Single-Family Home	1980	1,554	370	Siding
606 Storrs Street	Single-Family Home	1990	929	N/A	Siding
607 Storrs Street	Single-Family Home	1993	1,170	N/A	Siding
608 Storrs Street	Single-Family Home	1950	735	196	Siding
609 Storrs Street	Single-Family Home	1990	1,168	N/A	Siding
610 Storrs Street	Single-Family Home	1985	1,130	100	Siding
612 Storrs Street	Single-Family Home	1960	696	320	Siding
Averages:		1978	1,233		



402 S Clark Street



403 S Clark Street



404 S Clark Street



405 S Clark Street



406 S Clark Street



408 S Clark Street



410 S Clark Street



501 S Clark Street



503 S Clark Street



507 S Clark Street



509 S Clark Street



510 S Clark Street



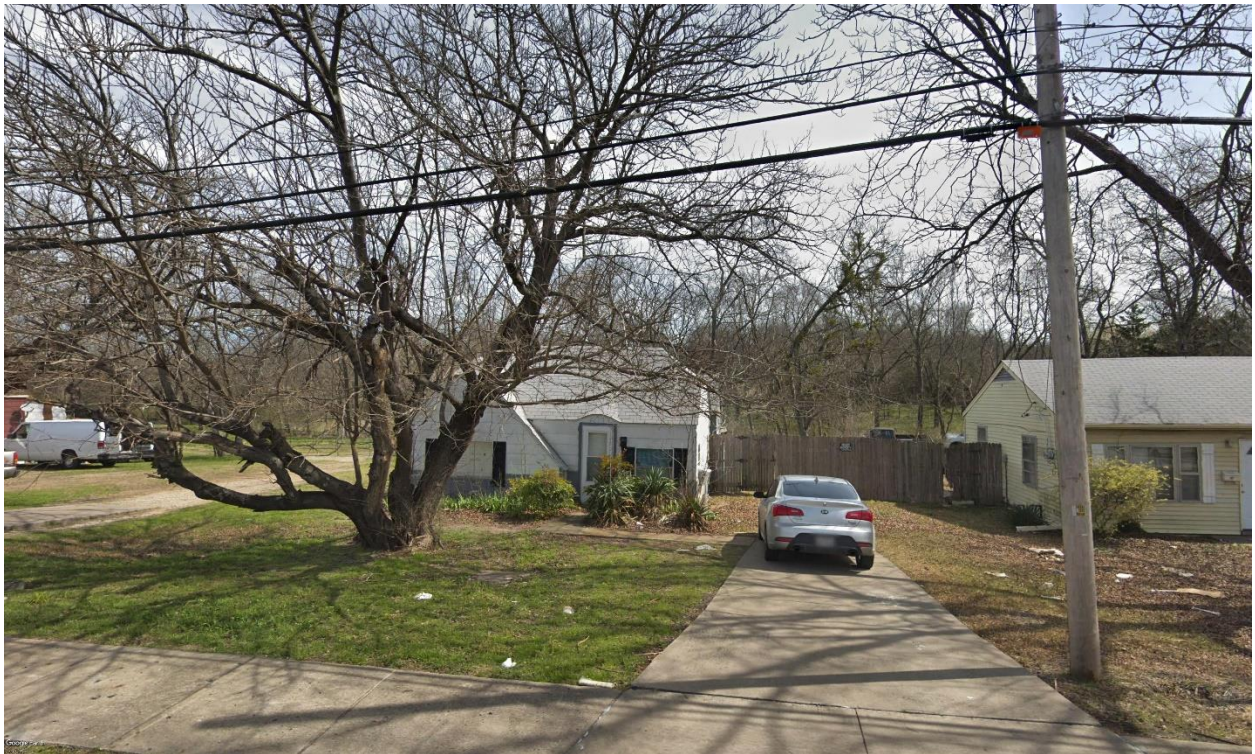
511 S Clark Street



512 S Clark Street



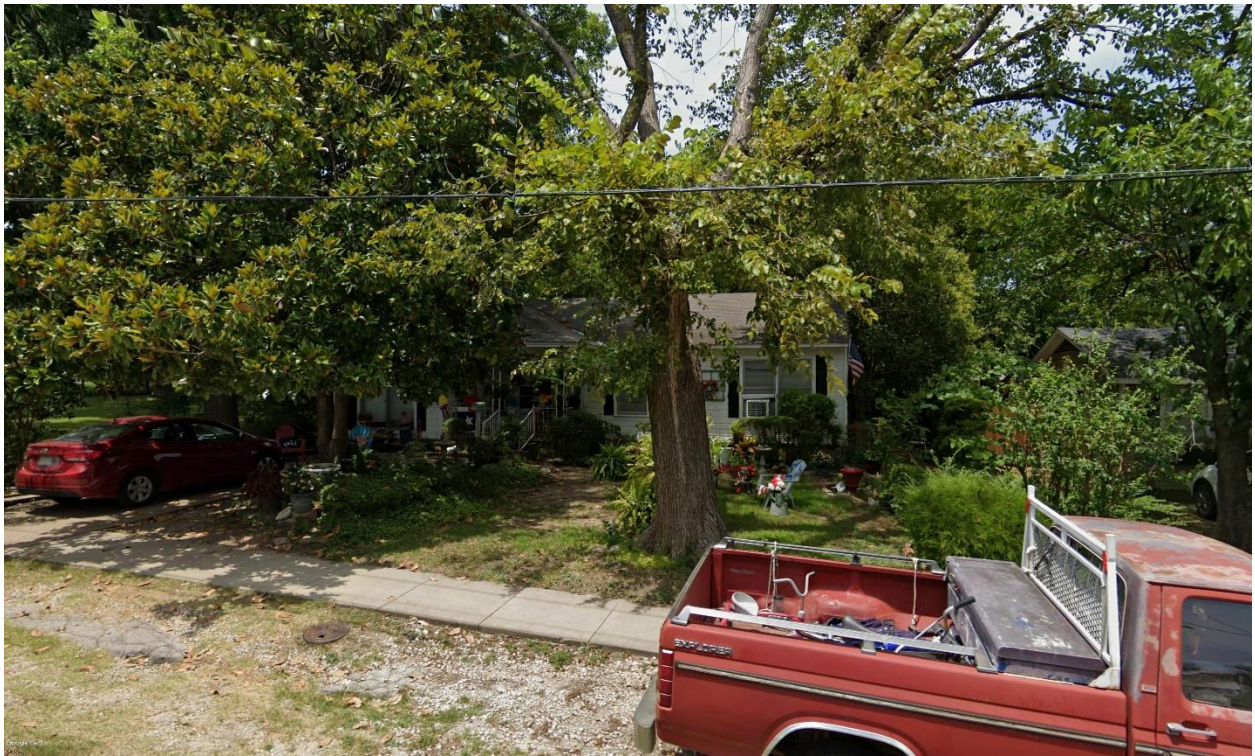
513 S Clark Street



601 S Clark Street



604 Storrs Street



605 Storrs Street



606 Storrs Street



607 Storrs Street



608 Storrs Street



609 Storrs Street



610 Storrs Street



612 Storrs Street

402 & 404 Storrs Street

Write a description for your map.

Legend



406, 500, & 502 Storrs Street

Write a description for your map.

Legend



504-A & 504-B Storrs Street

Legend



510 & 512 Storrs Street

Legend



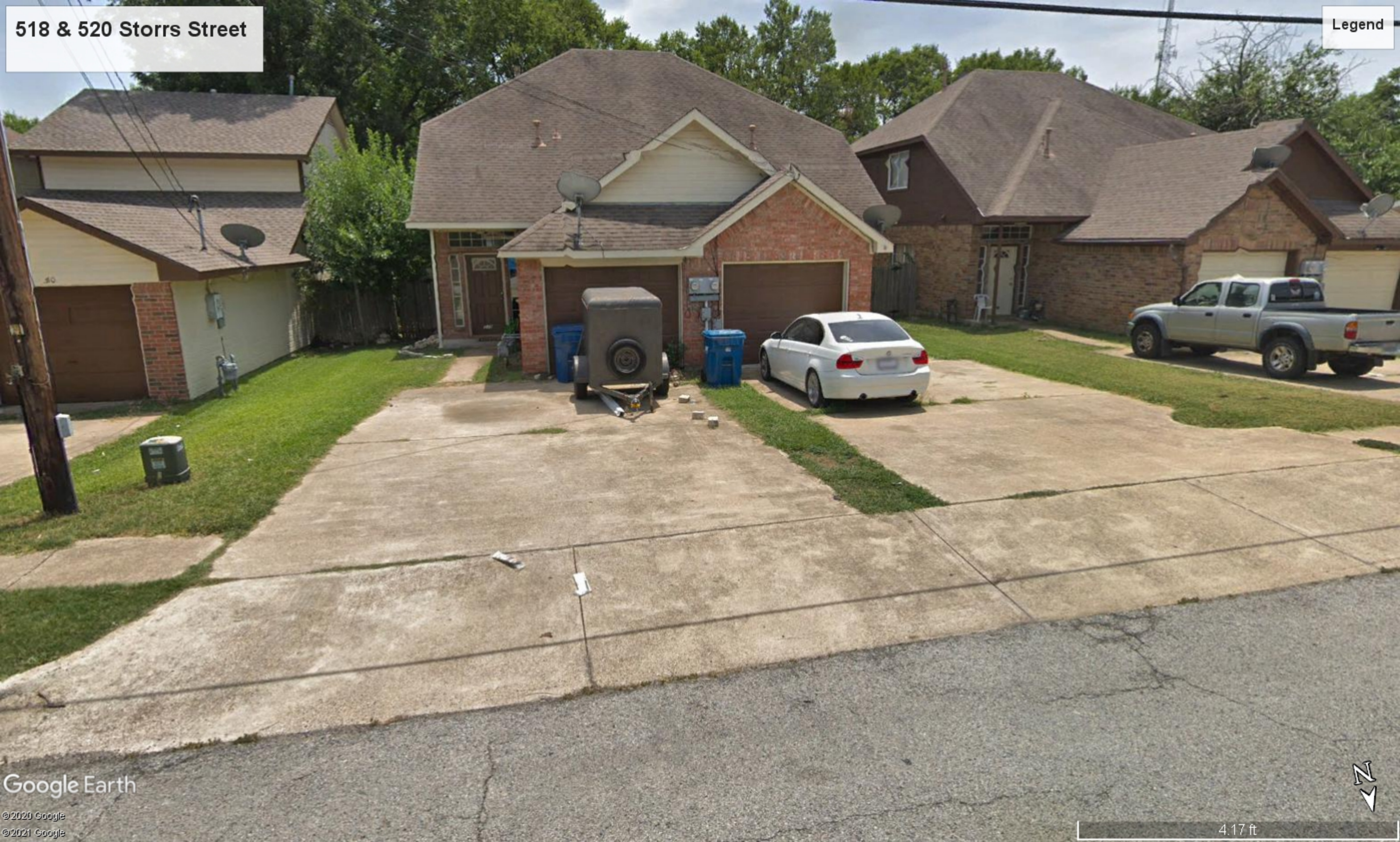
Google Earth

©2020 Google
©2021 Google

5.46 ft

518 & 520 Storrs Street

Legend



Google Earth

©2020 Google
©2021 Google



4.17 ft

514 & 516 Storrs Street

Legend



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a duplex on a 0.165-acre parcel of land being described as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a duplex in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a duplex on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a duplex on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF JULY, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 21, 2021

2nd Reading: July 6, 2021

Exhibit 'A'
Location Map and Survey

Address: 511 S. Clark Street

Legal Description: Lot 6, Harris Addition



**Exhibit 'B':
Residential Plot Plan**

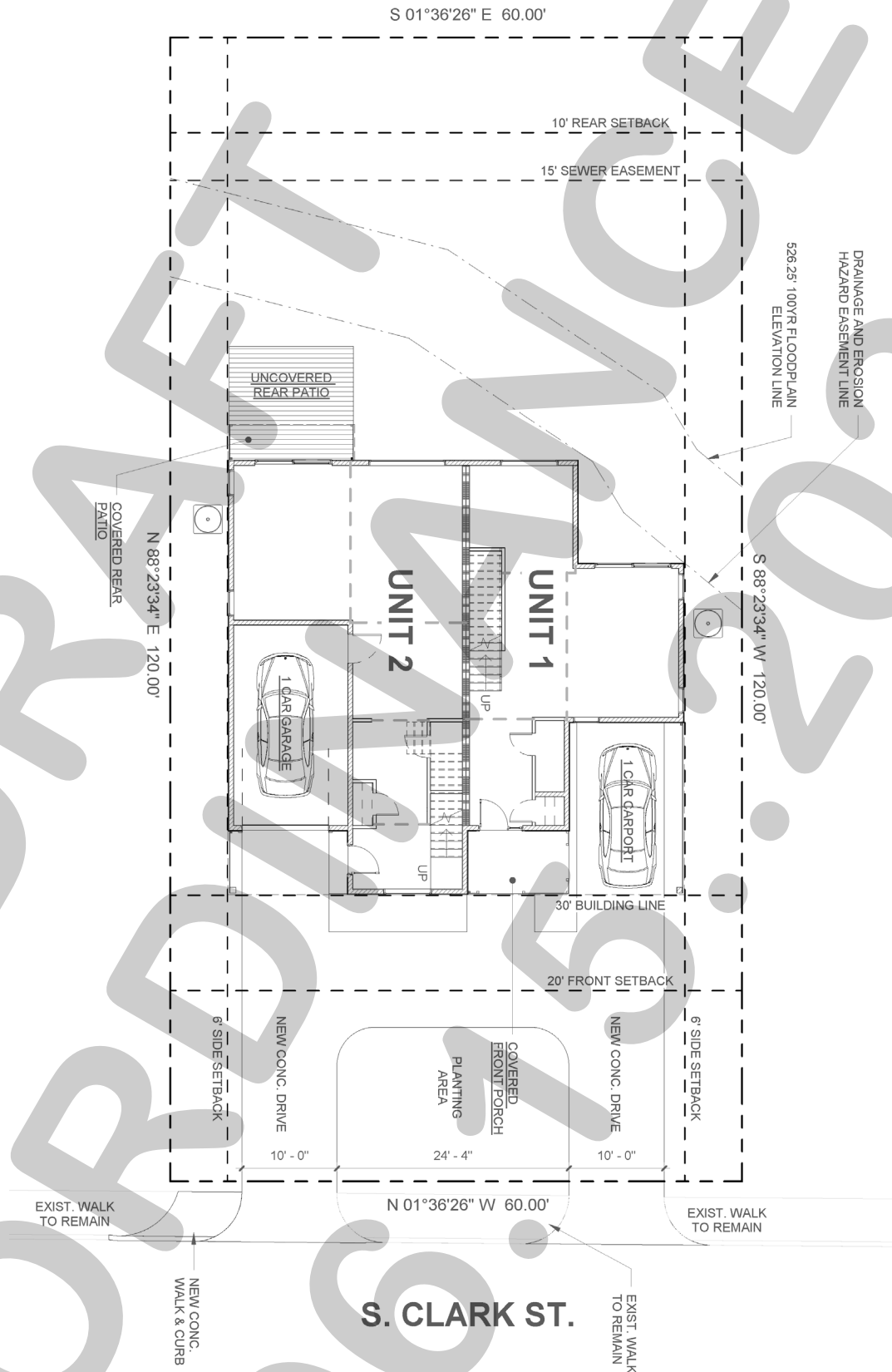


Exhibit 'C':
Building Elevations



[illegible]



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: June 21, 2021
APPLICANT: Jason Castro
CASE NUMBER: Z2021-015; *Specific Use Permit (SUP) for a Residential Infill for 511 S. Clark Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. On April 13, 1960, the subject property was platted as Lot 6 of the Harris Addition. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 5, 1972 and remained a commercially zoned property until at least December 6, 1993. Based on the December 7, 1993 historic zoning map, the subject property had been changed to Heavy Commercial (HC) District. On April 5, 2005, the historic zoning map indicates a change in zoning from Heavy Commercial (HC) District to Two-Family (2F) District. This is the current zoning designation of the subject property. The subject property is currently vacant.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a duplex on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 511 S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is 509 S. Clark Street (*i.e. Lot 7 of the Harris Addition*), which is zoned Two-Family (2F) District. This property has an existing single-family home. Adjacent to 509 S. Clark Street are several parcels of land that contain single-family homes that are zoned Single-Family 7 (SF-7) District. Beyond this are five (5) single-family homes on five (5) parcels of land (*i.e. Lots 49A, 49B, 50, 51 105A-1 of the B. F. Boydston Addition*) zoned Single-Family 7 (SF-7) District. All of these properties are within the Old Town Rockwall Historic District. Beyond this is Hartman Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several existing single-family homes sites (*i.e. Lot 1-6A of the Harris Addition*), which are zoned Two-Family (2F) District. Adjacent to the Harris Addition is 703 S. Clark Street (*i.e. Lot 1, Block 1, Allen Hogue Subdivision*), which is zoned Planned Development District 52 (PD-52) for Two-Family (2F) district land uses. Beyond this is E. Boydston Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 1.50-acre vacant tract of land (i.e. *Block 108 of the B F Boydston Addition*) zoned Two-Family (2F) District. Continuing east are two (2) tracts of land: [1] a 1.792-acre tract of land (i.e. *Tract 44-01 of the R. Ballard Survey, Abstract No. 29*) and [2] a 2.6-acre tract of land (i.e. *Tract 65 of the R. Ballard Survey, Abstract No. 29*). Both of these tracts are zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) properties that contain legal non-conforming land uses and that are zoned Commercial (C) District. These properties are located within the Mill Co. Subdivision. Adjacent to these non-conforming land uses are eight (8) single-family homes zoned Two-Family (2F) District. Beyond this is Tyler Street, which is classified as a R2 (i.e. *residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the Harris Addition and within 500-feet of the Mill Co. and Integrity Additions. All of these subdivisions are considered to be established subdivisions and have been in existence for more than ten (10) years, consist of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being zoned Two-Family (2F) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on S. Clark Street and Storrs Street compared to the duplex proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Clark Street, Storrs Street, and the Subject Property	Proposed Duplex
Building Height	One (1) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the duplex will face S. Clark Street
Year Built	1945-2006	N/A
Building SF on Property	696 SF – 2,049 SF	Unit #1, 1,408 SF & Unit #2, 1,8921 SF (A/C Area)
Building Architecture	Single Family Homes	Duplex – Farm House Architecture
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	20-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Brick and Siding	Fiber Cement: Lap Siding and Board & Batten
Paint and Color	Red, White, Grey, Green, Blue and Brown	Unknown
Roofs	Composite and Asphalt Shingles	Asphalt Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and no garages.	A one (1) car garage will be attached to Unit #2, and is 6' 8" behind the front façade. Unit #1 will have a carport that is flush with the front façade.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In addition, Section 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) states, “(t)wo off-street parking spaces plus one (1) garage parking space for each dwelling unit is required.” In this case, the applicant is proposing a flat front-entry garage (*i.e. one [1] single-car garage for Unit #2*) that sets back approximately 6’ 8” from the front façade. Unit #1 will have a carport that is integrated with the front porch and is flush with the front façade of the duplex. According to the applicant’s architect, the carport is to provide a visually similar appearance to the existing housing stock, which have front facing one (1) car garages (*or no garage*). With this being said, if approved the Planning and Zoning Commission and City Council will be waiving the following: [1] no garage being provided for *Unit #1*, [2] a garage that does not meet the required garage orientation requirements (*i.e. that is not setback 20-feet from the front façade [Unit #2]*), and [3] a carport that does not meet the required carport orientation requirements (*i.e. that is not setback 20-feet from the front façade [Unit #1]*). Staff should note that this garage & carport orientation are not uncharacteristic of the neighborhood. Some of the single-family homes in the neighborhood have a garage that is in front of, flush or behind the front façade of the single-family home. In some cases, there is not a garage, but a front entry driveway; however, these are single-family homes and no other duplexes exist without garages in the general area. With the exception of the aforementioned waivers, the proposed duplex meets all of the density and dimensional requirements stipulated for a property in a Two-Family (2F) District as required by the Unified Development Code (UDC). For the purpose of comparing the proposed duplex to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Clark Street, Storrs Street, and the proposed building elevations in the attached packet. The approval of the architecture and waivers for this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed duplex will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On May 20, 2021, staff mailed 71 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner’s Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Three (3) property owner notifications from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant’s request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant’s request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of this ordinance.
 - (b) The construction of a duplex on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of this ordinance.
 - (c) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of

Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On June 15, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* with the conditions of approval by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Moeller absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **511 S. Clark Street Rockwall, TX 75087**

SUBDIVISION **J.E. HARRIS SUBDIVISION**

LOT **6** BLOCK _____

GENERAL LOCATION **DOWNTOWN 2 NEIGHBORHOOD**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **TWO-FAMILY (2F)**

CURRENT USE **VACANT**

PROPOSED ZONING _____

PROPOSED USE **TWO-FAMILY (DUPLEX)**

ACREAGE **0.165**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER **Castro Development LLC**

☐ APPLICANT _____

CONTACT PERSON **Jason Castro**

CONTACT PERSON _____

ADDRESS **16424 FALLKIRK DRIVE**

ADDRESS _____

CITY, STATE & ZIP **DALLAS, TX 75248**

CITY, STATE & ZIP _____

PHONE **214.232.2750**

PHONE _____

E-MAIL **jason@castropropertygroup.com**

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

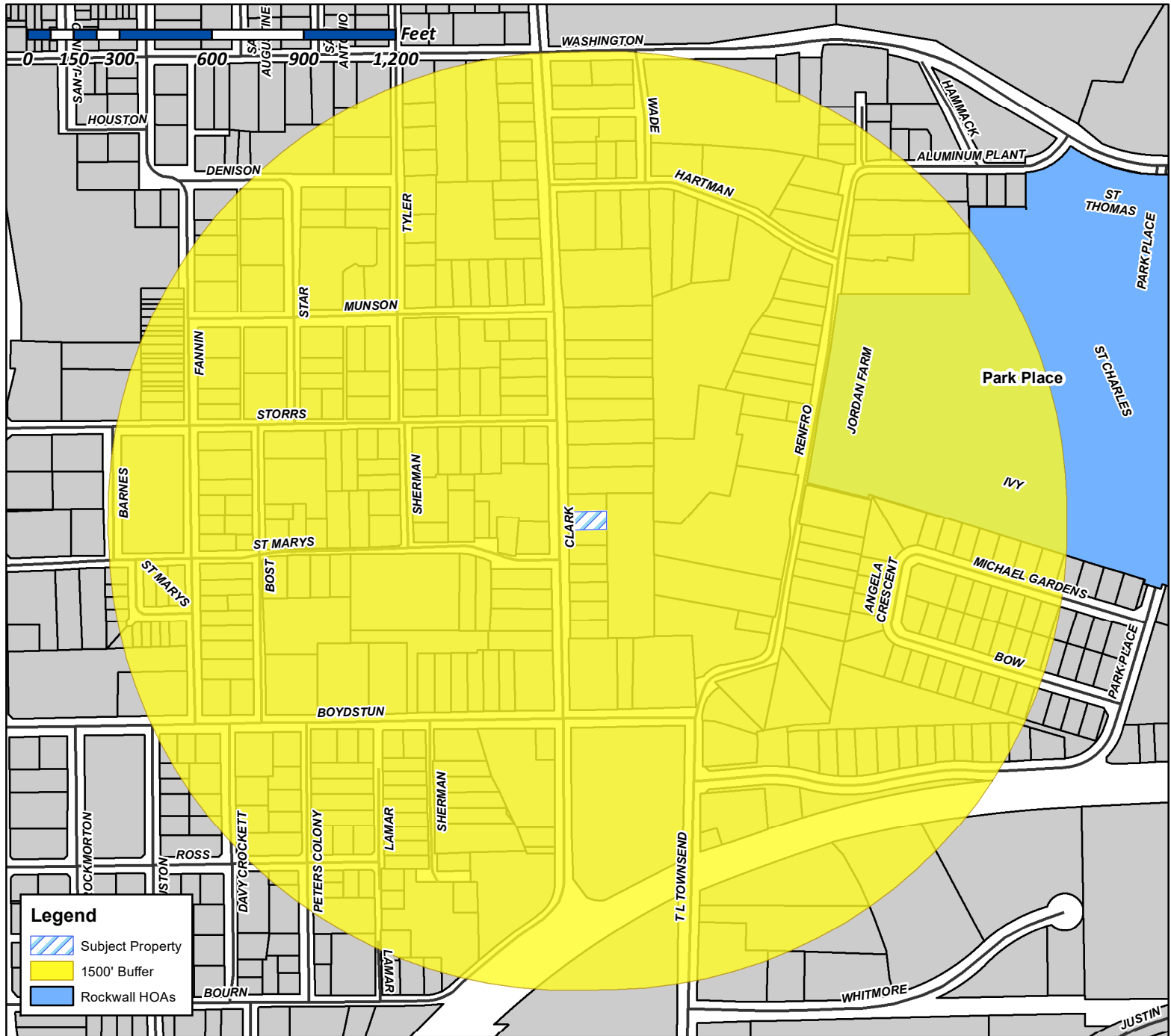




City of Rockwall

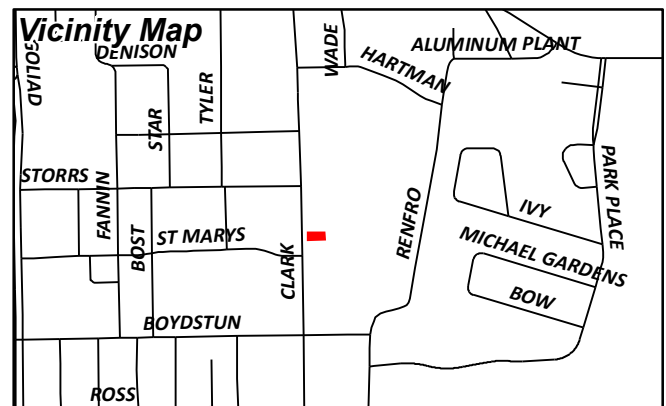
Planning & Zoning Department
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Case Number: Z2021-015
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 5/13/2021
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Thursday, May 20, 2021 10:49 AM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-015]
Attachments: HOA Map Z2021-015.pdf; Public Notice (05.20.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *May 21, 2021*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, June 15, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 21, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-015 SUP for Residential Infill at 511 S. Clark Street

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

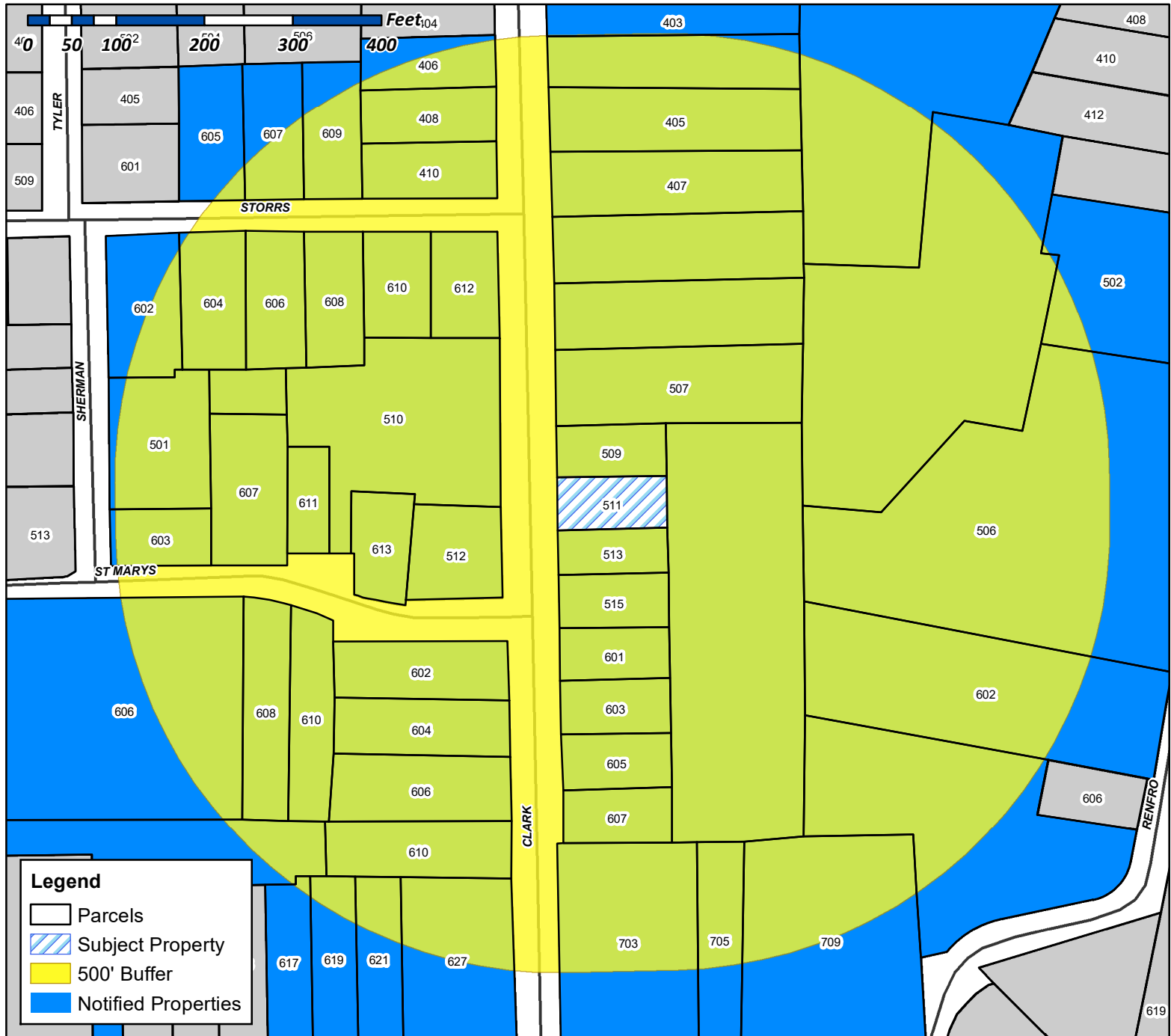
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

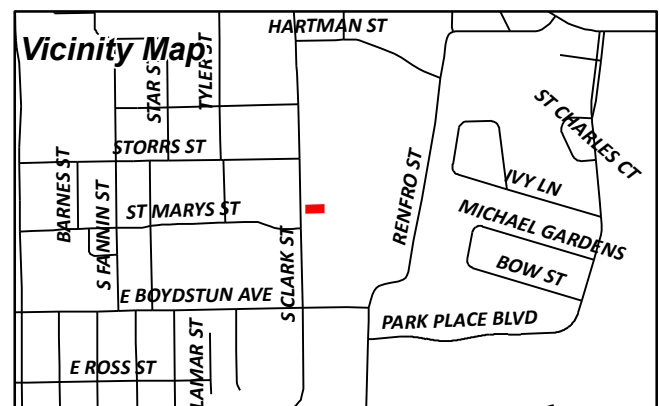
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2021-015
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two-Family (2F) District
Case Address: 511 S. Clark Street

Date Created: 5/13/2021

For Questions on this Case Call (972) 771-7745





= RESPONSE RECEIVED

MCCALLUM DARRELL
1 SOAPBERRY LN
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
215 GRIFFIN AVENUE
FATE, TX 75189

BOWEN CHASE AND
PERRY BOWEN
230 MYERS ROAD
HEATH, TX 75032

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
3299 ROCHELLE RD
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE
401 E KAUFMAN ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
401 S CLARK ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
403 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
405 S CLARK STREET
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S CLARK ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
501 SHERMAN ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
501 S CLARK
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
503 S CLARK
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

HAMANN KRISTIE M
511 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
515 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W
602 STORRS STREET
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
602 S CLARK ST
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
603 ST MARYS ST
ROCKWALL, TX 75087

RIVERA SARA ELIA
603 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
604 S CLARK ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
606 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
608 ST MARYS ST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
ROCKWALL, TX 75087

GADDIS DANNY E
609 STORRS ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
610 S CLARK ST
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRS ST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-015: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 15, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 21, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 21, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

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PLEASE RETURN THE BELOW FORM

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

We are opposed to the request for building more duplexes in our neighborhood. We have several new homes in our neighborhood and others that are being renovated. Duplexes and more rental properties will not be a good decision for this area.

Name: Amy & Wes Davis

Address: 1606 Storrs Street Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

ALL HOUSES ON CLACK ARE SINGLE FAMILY HOMES.
LOT DOES NOT SEEM TO BE OF A SIZE TO ACCOMMODATE
A DUPLEX. ALREADY TOO MANY DUPLEXES IN THIS
AREA OF OLD TOWN.

Name: MICHAEL JAMGOCHIAN

Address: 602 STORRS ST ROCKWALL TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PLEASE RETURN THE BELOW FORM

Case No. Z2021-015: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

I don't think a duplex would help the property values in this area so I am opposed to this sub.

Name:

Sherri Johnston

Address:

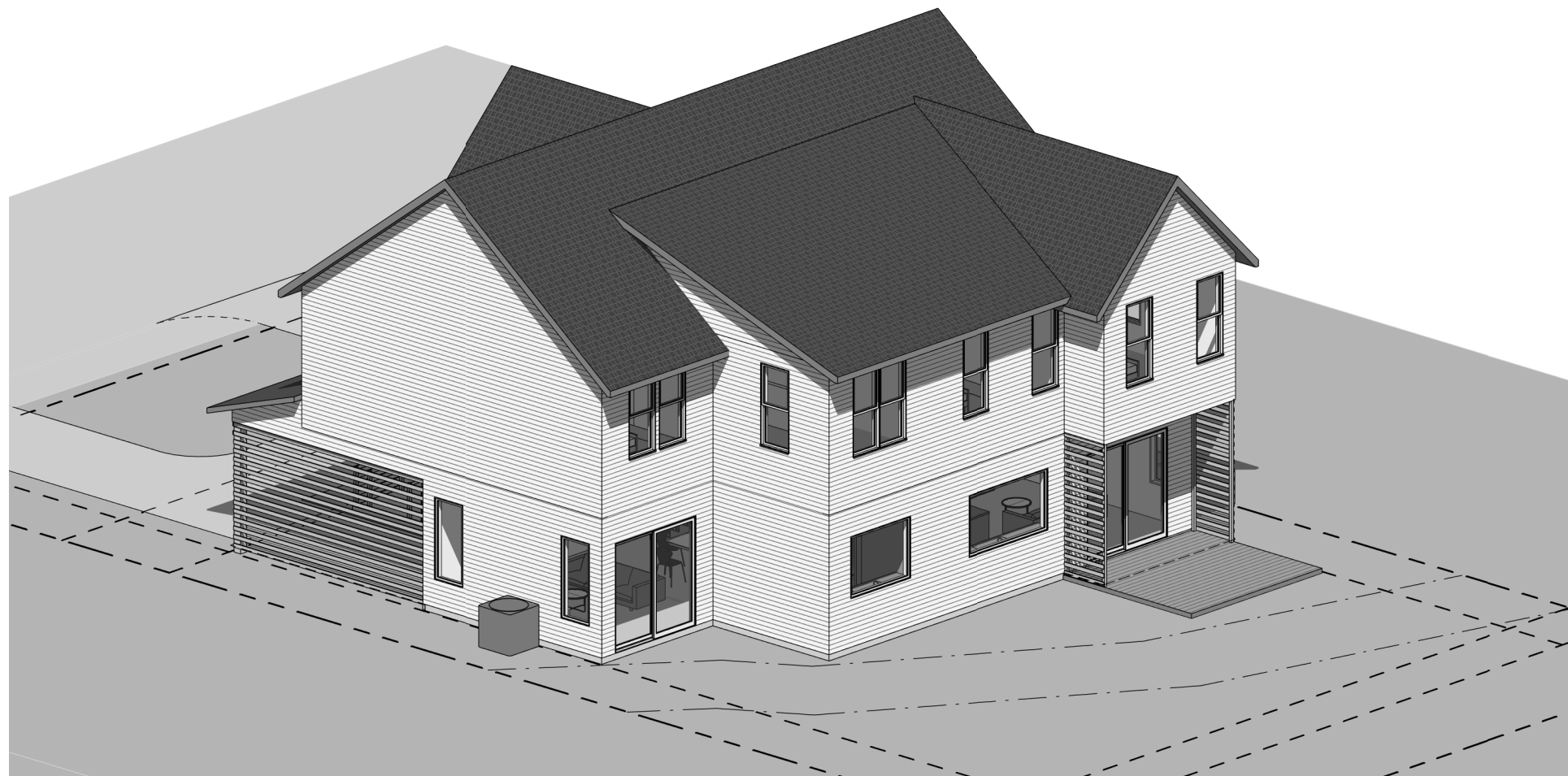
610 Storrs Street Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

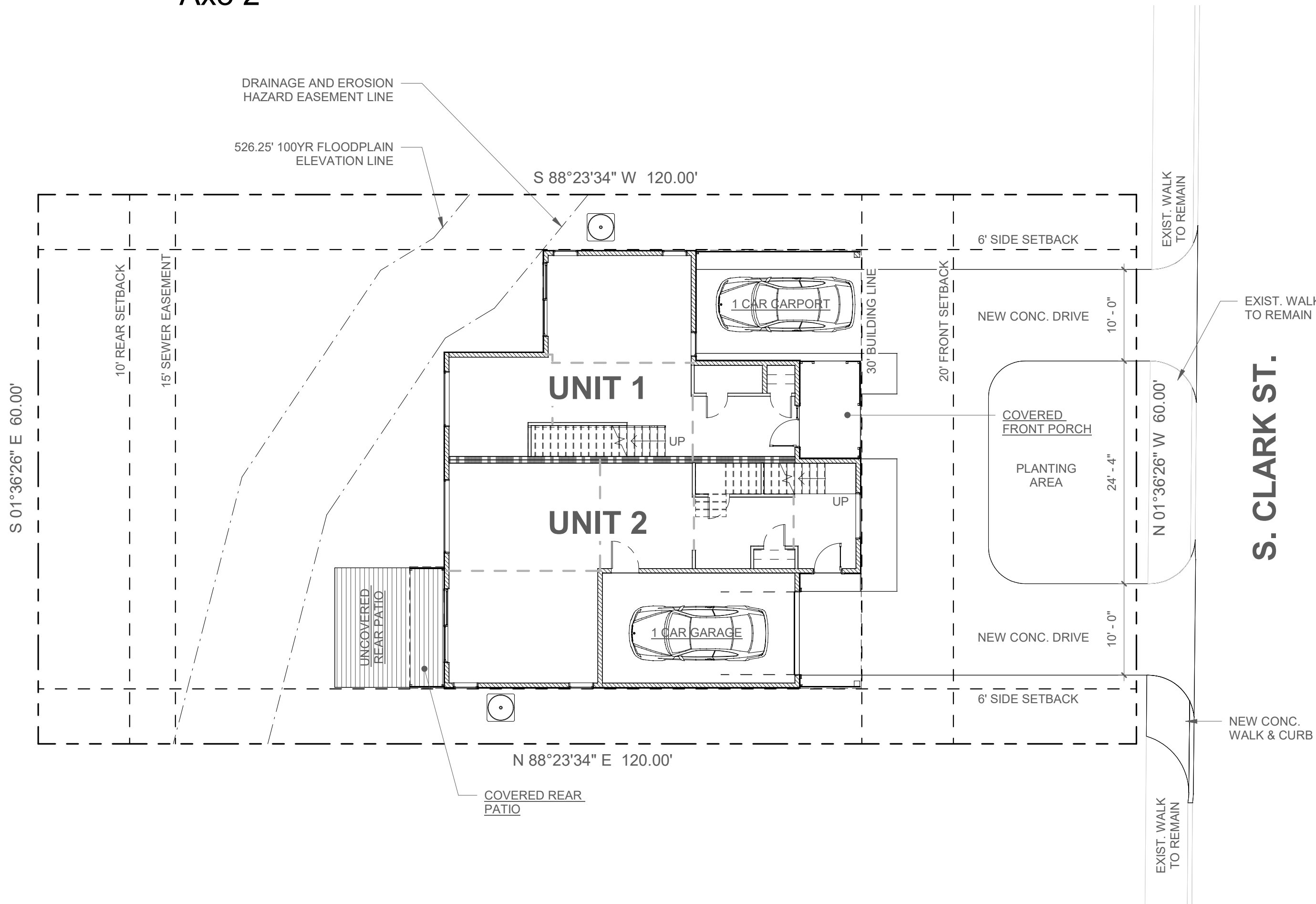
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Axo 1



Axo 2



GENERAL PROJECT NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT ON ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT SHALL BE VERIFIED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THE PROPER COMPACTION OF ALL UTILITY COMPANY TRENCHES.
- DIMENSIONS ARE PROVIDED FOR THE LOCATION OF PROJECT ELEMENTS. DRAWINGS SHALL NOT BE SCALED.
- AS REQUIRED BY THE IRC/DALLAS BUILDING CODE THE CONTRACTOR SHALL PERMANENTLY IDENTIFY ANY WALL OR ASSEMBLY REQUIRED TO HAVE PROTECTED OPENINGS. THIS INCLUDES ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND SMOKE BARRIERS. IDENTIFICATION SHALL BE ACHIEVED BY SIGN OR STICKLING AT SIZES AND LOCATIONS REQUIRED BY CODE.
- ALL PENETRATIONS AT GYPSUM BOARD PARTITION WALLS ARE TO BE THOROUGHLY SEALED IN A MANNER APPROPRIATE TO THE WALL TYPE THAT IS BEING PENETRATED, I.E. WEATHER TIGHT, ACOUSTICAL, NON-RATED, AND FIRE RATED. EXPOSED GYPSUM BOARD IS TO BE SEALED, TAPED AND FLOATED FOR BEST QUALITY APPEARANCE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED IN WALLS AND ROOF STRUCTURE TO SUPPORT ELECTRIC WATER COOLER, LAVATORIES, TOILET FIXTURES AND ACCESSORIES, GRAB BARS, ELECTRICAL PANELS, ACCESS ROOF LADDER, HANDRAILS, ETC.
- MOUNTING HEIGHTS: WHERE MOUNTING HEIGHTS ARE NOT INDICATED, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENTS ISSUE OF THE TEXAS ACCESSIBILITY STANDARDS FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE OWNER FOR FINAL DECISION.
- CONTRACTOR IS TO REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR ANY HINGED ACCESS PANELS NOT INDICATED IN THE ARCH. DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS WITH DRYWALL, TILE, E.I.F.S. AND PLASTER WORK.
- PENETRATIONS INTO OR THROUGH VERTICAL OR HORIZONTAL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY A SYSTEM LISTED BY A RECOGNIZED TESTING AGENCY. PROVIDE A DETAIL AND LISTING NUMBER.
- PRIOR TO LAYING OUT AND FRAMING WALLS VERIFY THERE IS SUFFICIENT SPACE FOR ALL PLUMBING FIXTURES, EQUIPMENT, APPLIANCES AND ELECTRICAL FIXTURES WITH THE MANUFACTURER'S CUT SHEETS. CONFIRM THERE IS SUFFICIENT SPACE FOR THE OPERATION OF ALL EQUIPMENT INCLUDING DOOR SWINGS AND THROW AS WELL AS REQUIRED CLEAR SPACE FOR VENTILATION, ETC.
- WINDOWS WITH A SILL MORE THAN 6'-0" ABOVE THE ADJACENT EXTERIOR GRADE SHALL HAVE THEIR SILL SET AT A MINIMUM OF 2'-0" ABOVE THE FINISHED FLOOR OR HAVE HARDWARE MEETING SECTION R312 REQUIREMENTS.
- THE GC SHALL VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE PROVIDED BY OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE WORK IS STARTED.
- ERRORS OR OMISSIONS IN SCHEDULES SUCH AS ROOM FINISH, DOOR, WINDOW, ETC. DO NOT RELIEVE THE GC FROM PERFORMING THE WORK AS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS.
- VERIFY ALL SIZE AND LOCATIONS FOR FOR ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK WITH THE TRADES INVOLVED. COORDINATE LOCATIONS NOT INDICATED ON DRAWINGS WITH DESIGN TEAM AND OWNER.
- PRIOR TO CONSTRUCTING STAIRS AND OTHER ELEMENTS THE CONTRACTOR SHALL VERIFY THE BUILT FLOOR TO FLOOR CONDITION IN THE FIELD. CONTRACTOR SHALL CONFIRM WITH THE OWNER FINISHED FLOOR MATERIALS AND TAKE THEIR THICKNESS INTO ACCOUNT WHEN DETERMINING RISER AND TREAD DIMENSIONS. RISERS SHALL BE NO TALLER THAN 7.75" OR AS LIMITED BY CODE.
- PRIOR TO ELECTRICAL AND PLUMBING ROUGH-IN, THE CONTRACTOR SHALL CONFIRM REQUIRED LOCATIONS FOR THESE SERVICES WITH CUTSHEETS FOR THE FIXTURES, APPLIANCES AND EQUIPMENT THAT WILL BE INSTALLED.

DRAWING SYMBOL LEGEND

	TYPICAL EXISTING WALL		WINDOW TAG
	TYPICAL REMOVED WALL		WALL TYPE
	TYPICAL 3-1/2" STUD INTERIOR WALL		DOOR TAG
	INTERIOR WALL WITH SOUND INTERIOR		SECTION CUT TAG
	TYPICAL 5 1/2" STUD INTERIOR WALL		ELEVATION TAG
	TYPICAL SIDING EXTERIOR WALL		DETAIL TAG
	TYPICAL CEMENT PLASTER EXTERIOR WALL		
	TYPICAL MASONRY EXTERIOR WALL		

LOCATION MAP



SHEET LIST

SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REV #	REV DATE
02 - GENERAL				
G-100	COVER SHEET & SITE PLAN	01/15/2021		
08 - ARCHITECTURAL				
A-100	LEVEL 1 FLOOR PLAN	01/15/2021		
A-101	LEVEL 2 FLOOR PLAN	01/15/2021		
A-200	OVERALL BUILDING ELEVATIONS	01/15/2021		
A-201	OVERALL BUILDING ELEVATIONS	01/15/2021		

APPLICABLE BUILDING CODES

2015 INTERNATIONAL PLUMBING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE WITH ROCKWALL AMENDMENTS
2014 NATIONAL ELECTRICAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL RESIDENTIAL CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL EXISTING BUILDING CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH ROCKWALL AMENDMENTS
2015 INTERNATIONAL FUEL & GAS CODE WITH ROCKWALL AMENDMENTS

PROJECT DIRECTORY

OWNER CASTRO DEVELOPMENT 1006 CLERMONT ST. DALLAS, TX 75223	ARCHITECT OBJECT & ARCHITECTURE 4815 TERRY STREET DALLAS, TX 75223
CONTACT: JASON CASTRO 214.232.2750 JASON@CASTROPROPERTYGROUP.COM	CONTACT: RYAN M. WITHROW 214.240.1995 RYAN@OBJ-ARC.COM

PROJECT INFORMATION

DESCRIPTION:	NEW TWO STORY TWO FAMILY (DUPLEX) RESIDENCE
ADDRESS:	511 S. CLARK STREET ROCKWALL, TX 75087
CITY:	ROCKWALL
COUNTY:	ROCKWALL COUNTY
LOT:	6
BLOCK:	J.E. HARRIS SUBDIVISION

SITE INFORMATION

ZONING REGULATIONS	
ZONE:	TWO-FAMILY (2F)
MAIN USE:	TWO FAMILY RESIDENCE (DUPLEX)
FRONT SETBACK:	20 FT.
SIDE SETBACKS:	6 FT.
REAR SETBACK:	10 FT. FOR SINGLE FAMILY, 10 FT. OTHER STRUCTURES
UNIT DENSITY:	NO MAXIMUM DWELLING UNIT DENSITY.
MAX ALLOWED HT:	32 FT.
LOT COVERAGE:	45% MAX

AREA CALCULATIONS	
CONDITIONED AREAS:	
UNIT 1 FIRST FLOOR A/C AREA:	636 SQ.FT.
UNIT 1 SECOND FLOOR A/C AREA:	772 SQ.FT.
UNIT 1 TOTAL A/C AREA:	1,408 SQ.F.
UNIT 2 FIRST FLOOR A/C AREA:	786 SQ.FT.
UNIT 2 SECOND FLOOR A/C AREA:	1,106 SQ.FT.
UNIT 2 TOTAL A/C AREA:	1,892 SQ.FT.

UNCONDITIONED AREAS:	
UNIT 1 FRONT PORCH/CARPORT AREA:	287 SQ.FT.
UNIT 2 FRONT PORCH COVERED AREA:	83 SQ.FT.
UNIT 2 GARAGE AREA:	271 SQ.FT.
UNIT 2 REAR PATIO COVERED AREA:	49 SQ.FT.

TOTAL UNCONDITIONED AREAS:	690 SQ.FT.
-----------------------------------	------------

LOT AREA:	7,200 SQ.FT. (PER SURVEY)
LOT COVERED AREA:	2,112 SQ.FT.
COVERAGE:	29.3 %

CONDITIONED AREAS CALCULATED PER ANSI Z765 STANDARDS

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF RYAN WITHROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE:

01/15/2021

THIS DOCUMENT IS NOT FOR
REGULATORY APPROVAL,
PERMITTING OR CONSTRUCTION.

ARCHITECT

Object &
Architecture

4815 Terry Street
Dallas, Texas 75223
www.obj-arc.com

00703-01

CLARK
DUPLEX

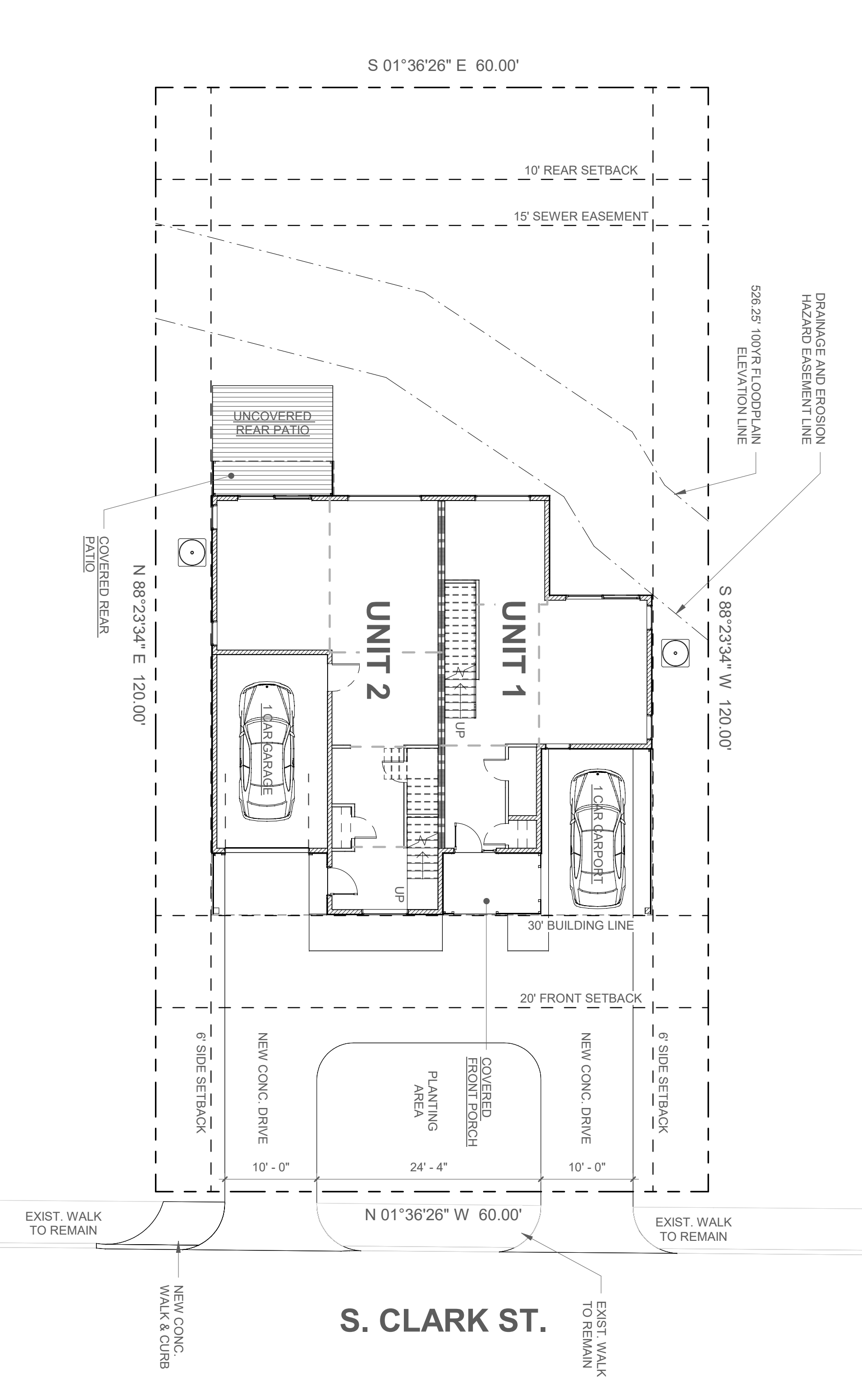
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

COVER SHEET &
SITE PLAN



G-100





1 01-EAST
1/4" = 1'-0"



2 04-WEST
1/4" = 1'-0"

SHEET ISSUE DATE:
01/15/2021

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REGULATORY APPROVAL,
PERMITTING OR CONSTRUCTION.

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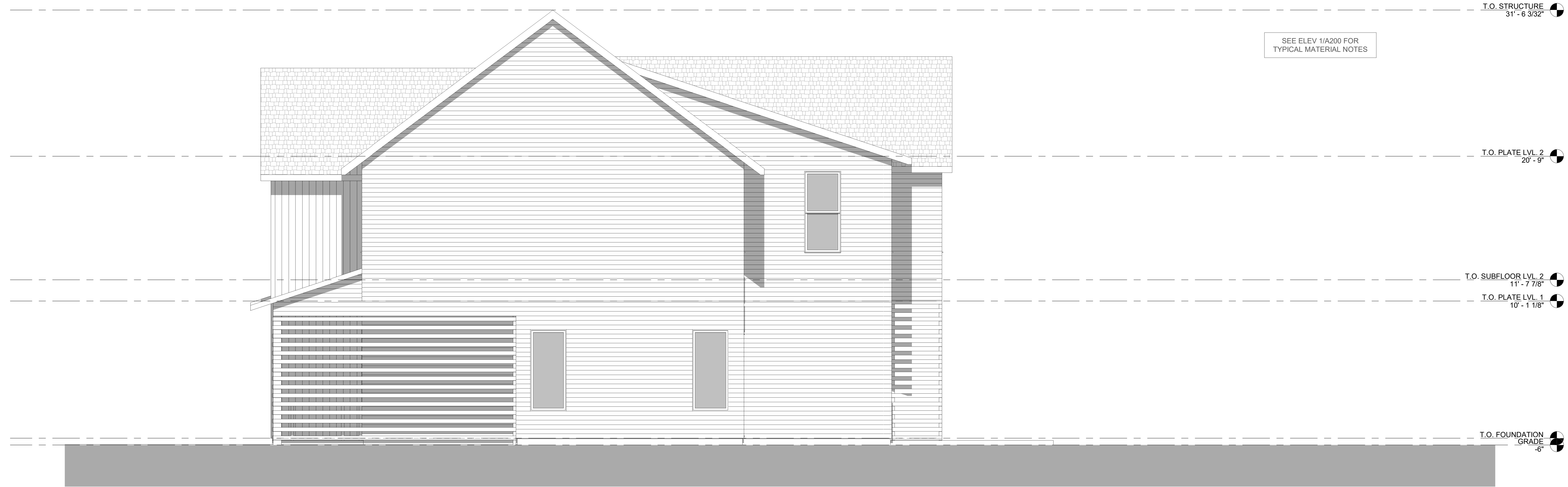
CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

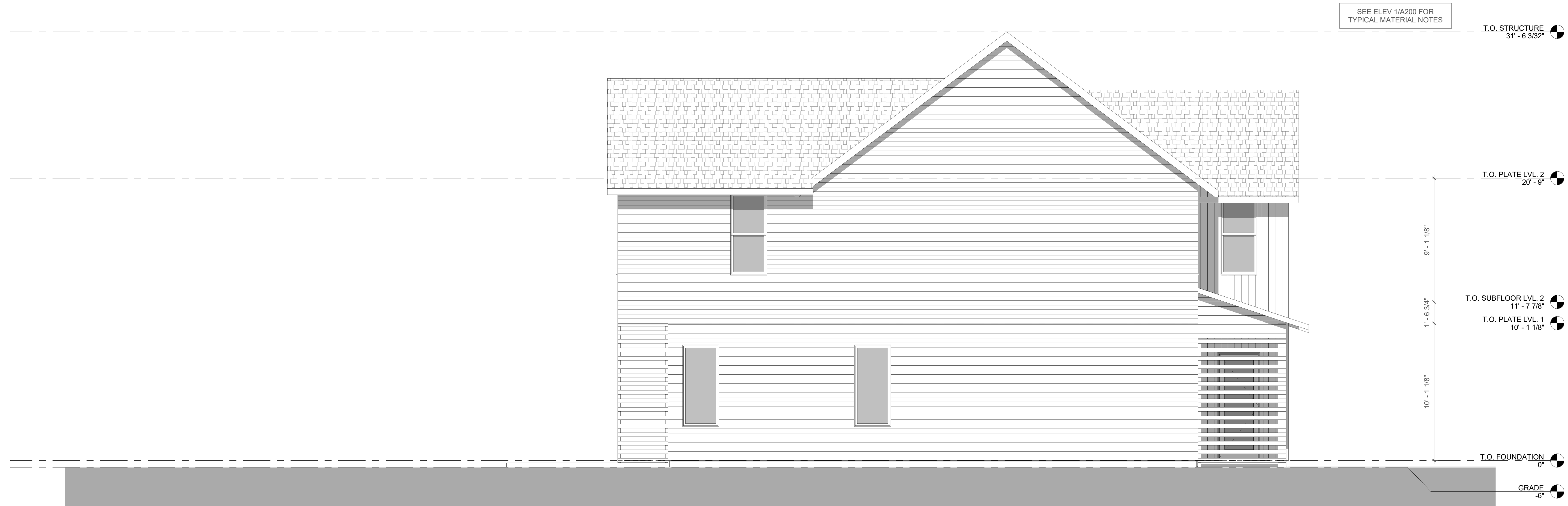
SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-200



1 02-NORTH
1/4" = 1'-0"



2 03-SOUTH
1/4" = 1'-0"

SHEET ISSUE DATE:
01/15/2021

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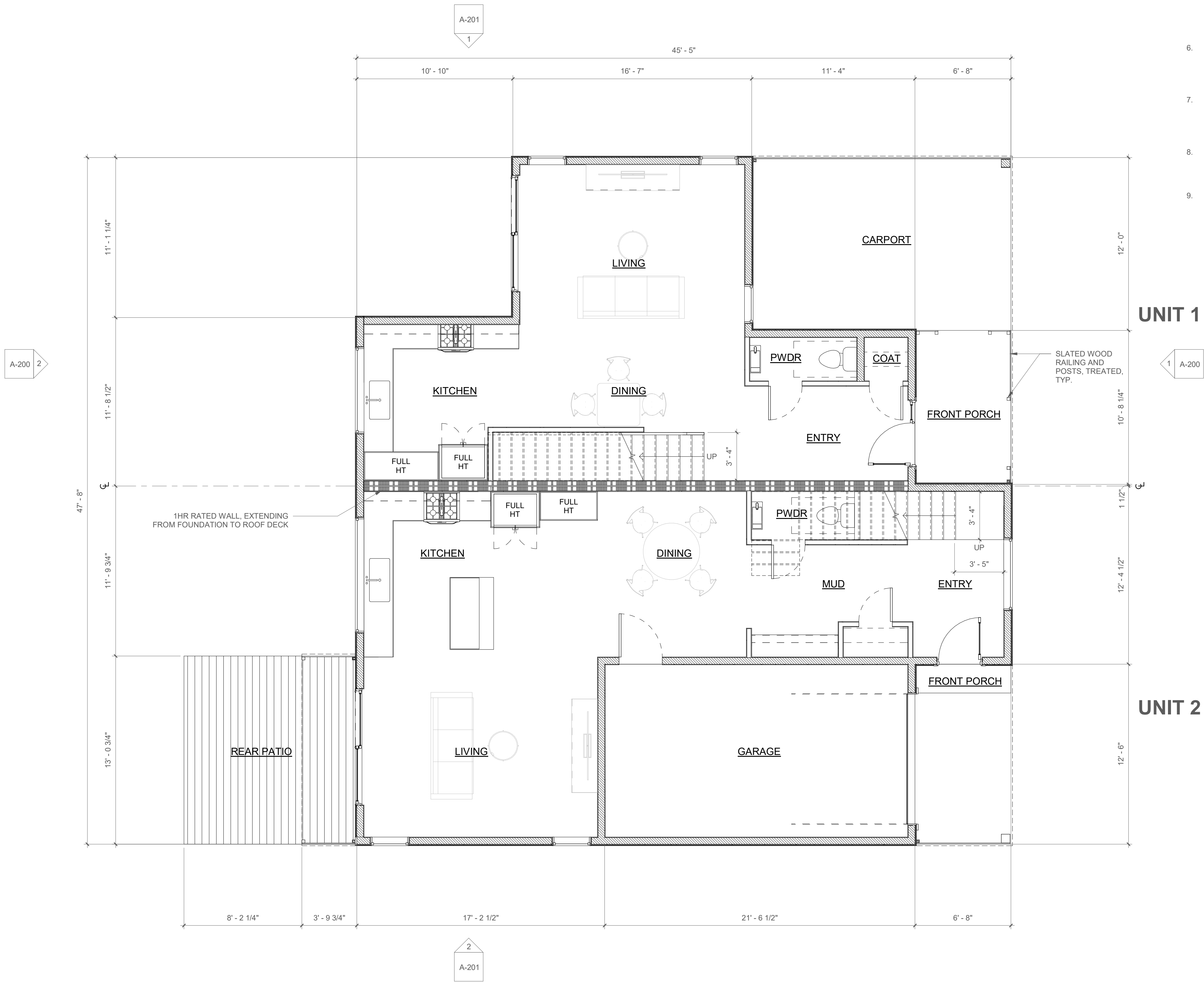
CLARK
DUPLEX

511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

OVERALL
BUILDING
ELEVATIONS

A-201



GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO THE FACE OF THE STUD, UNLESS NOTED OTHERWISE SUCH AS TO FACE OF MASONRY (MASRY) OR BRICK. DIMENSIONS TO DOORS ARE TO THE FACE OF THE OPENING AND NOT OUTSIDE OF FRAME. DOORS MARKED WITH "FLUSH" ARE TO BE LOCATED SO THAT THE OPENING IS FLUSH WITH THE INDICATED WALL. WINDOWS NOT DIMENSIONED ARE TO BE LOCATED CENTERED WITHIN THE INDICATED OPENING.
2. U.N.O. ALL NEW WALLS TO RECEIVE 1/2" GYP BD SHEATHING EXCEPT IN WET LOCATIONS. WET LOCATIONS TO RECEIVE TILE ON 1/2" CEMENTITIOUS TILE BACKER OVER #15 TAR PAPER. ALL SHEATHING IN DAMP LOCATIONS SHALL RECEIVE WATER RESISTANT GYP BD.
3. WINDOWS MARKED "EGRESS" ON THE PLAN SHALL ADHERE TO THE 2015 DALLAS BUILDING CODE REQUIREMENTS FOR EGRESSIBLE OPENINGS.
4. PRIOR TO THE PURCHASE OF ANY PLUMBING FIXTURES OR APPLIANCES REFER TO THE DALLAS GREEN CODE PHASE 2 TO CONFIRM THAT FUTURE/APPLIANCE WILL MEET ALL FLOW RATE/WATER USAGE AND ENERGY EFFICIENCY REQUIREMENTS.
5. U.N.O. EXTERIOR WALLS ARE 2X6 STUD WALLS WITH CONTINUOUS SHEATHING (CONFIRM WITH STRUCTURAL DWGS). U.N.O. INTERIOR WALLS ARE 2X4 WOOD STUD WALLS WITH 1/2" GYP BD BOTH SIDES EXCEPT IN WET AND DAMP LOCATIONS.
6. BEFORE CONSTRUCTING STAIRS VERIFY ACTUAL BUILT FLOOR-TO-FLOOR HEIGHT IN THE FIELD. NOTIFY DESIGN TEAM OF ANY NECESSARY CHANGES. MAXIMUM ALLOWABLE RISER HEIGHT IS 7.6". MINIMUM HEADROOM AT STAIRS IS 8'-0".
7. MAINTAIN MINIMUM OF 24" CLEAR IN FRONT OF TOILETS. SELECT TOILET FIXTURES SUCH THAT DISTANCE FROM EDGE OF TOILET TO WALL IS MINIMUM OF 2'-0" ESPECIALLY IN BATHROOM LESS THAN 5'-0" WIDE.
8. AT ALL ENCLOSED STAIRS WITH ACCESS TO SPACE BENEATH STAIRS INSTALL 5/8" TYPE X GYP BD AT UNDERSIDE OF STAIRS AND SMOKE AND FIRE BLOCK AS REQUIRED BY CODE.
9. REFER TO SHEET A2.2 FOR TYPICAL FLASHING AT WINDOWS AND DOORS.

THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF DYAN WITROW AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

SHEET ISSUE DATE:
01/15/2021

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CLARK
DUPLEX

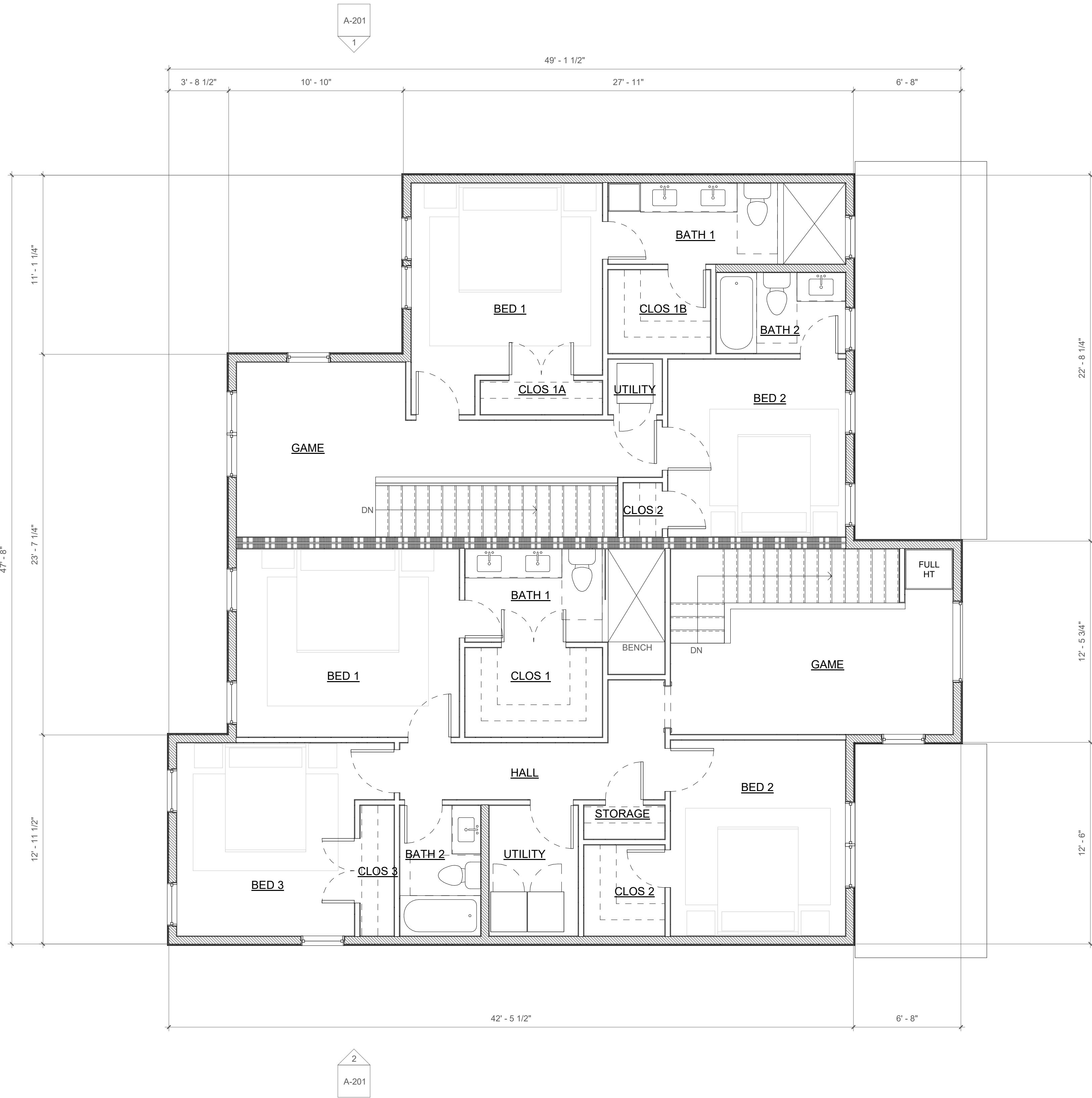
511 S. Clark Street
Rockwall, TX 75087

SUP APPROVAL

LEVEL 2 FLOOR
PLAN



A-101





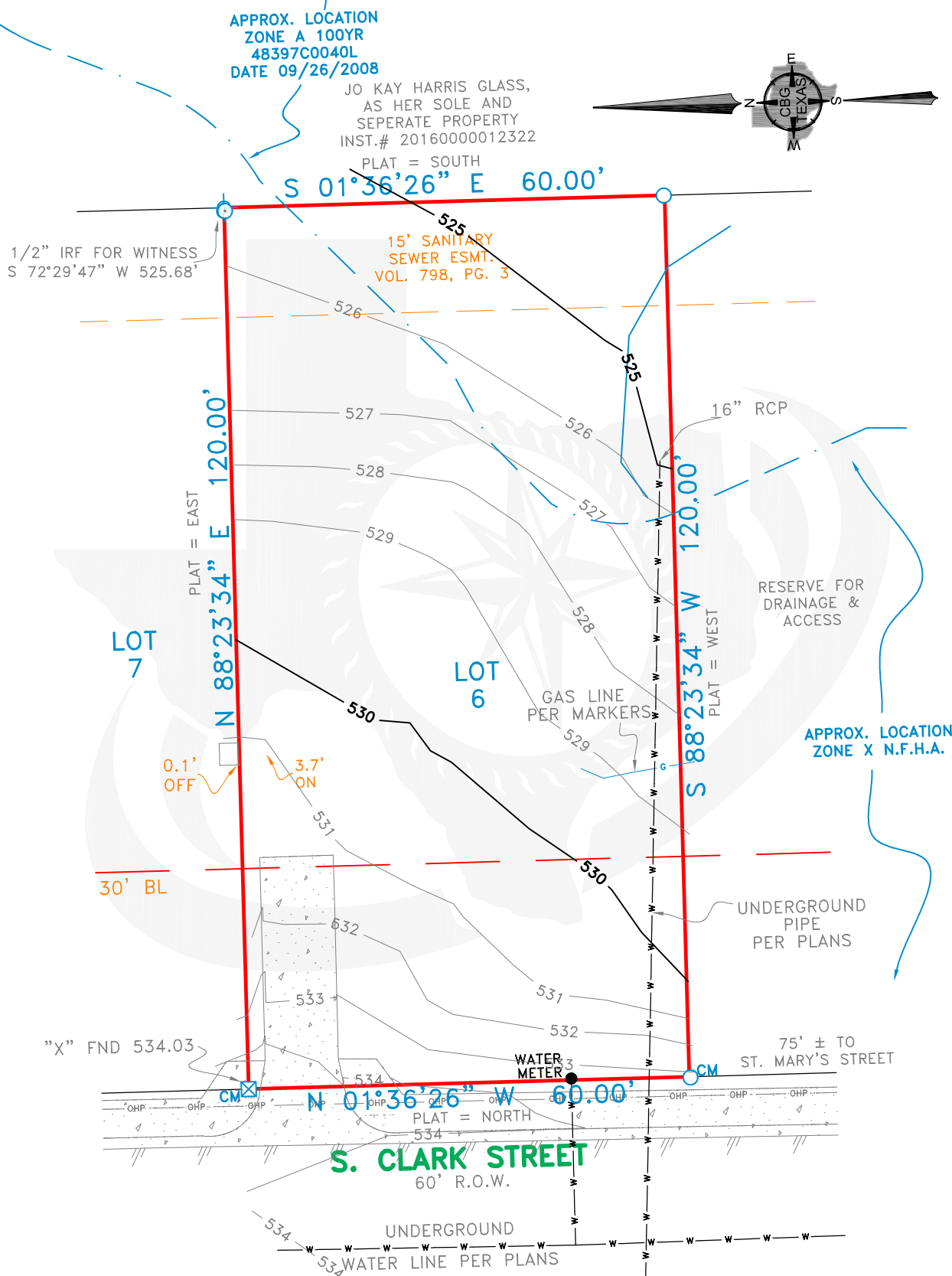
511 S. Clark Street

Lots 6, J.E. HARRIS SUBDIVISION OUT OF THE B.F. BOYDSTUN SURVEY,
an Addition in Rockwall County, Texas, according to the Map or Plat
recorded in Volume 1, Page 7 now in Cabinet A, Slide 7, Plat
Records of Rockwall County, Texas.



LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /// EDGE OF ASPHALT
- /// EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



EXCEPTIONS:

NOTE: GF NO. DERIVED FROM PRIOR
TITLE WORK ISSUED = 07/28/2020

ELEVATIONS DERIVED FROM TBM
ROCKWALL MON. NO. 2884

BEARINGS ARE BASED OFF OF NAD 83
TEXAS NORTH CENTRAL

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone A and DOES lie within the 100 year flood zone. EXCEPT AS SHOWN

This survey is made in conjunction with the information provided by Castro Property Group. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: EAN

Scale: 1" = 20'

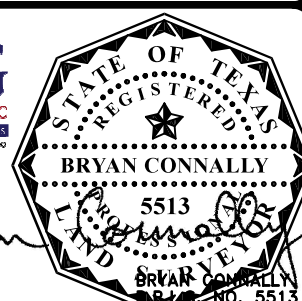
Date: 03/17/2021

GF No.: 20-509065-RL

Job No. 2013905-01



12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com



Accepted by: Purchaser

Date: _____

Purchaser

Object & Architecture

Ryan Withrow, Architect
4815 Terry Street
Dallas, Texas 75223
214 240 1995
ryan@obj-arc.com
www.obj-arc.com

May 13, 2021

Castro - Clark Duplex
511 S. Clark Street
Rockwall, TX 75087

City of Rockwall,

We are proposing the development of a duplex residence (two single family units separated by a 1-hour rated wall running from foundation to the underside of the roof decking) on a vacant lot within a district that is currently zoned for two-family residences.

The new duplex residence is proposed to be a total of 3,300 sqft of conditioned area with a two car garage. Unit One is 1,408 sqft of conditioned area and Unit Two is 1,892 sqft of conditioned area. Unit One will have two bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game/landing area, and a utility room. Unit Two will have three bedrooms, two full bathrooms, a powder bath, an open living/kitchen/dining area, a game room, and a utility room.

The residence will have a modern farmhouse style utilizing durable fiber cement lap siding and fiber cement board and batten siding and asphalt shingle roofing. The dwellings will meet the 2015 IECC with a minimum of R-19 batt insulation in the exterior walls, R-38 insulation at the roof, and windows with proposed U-value of 0.33 and an SHGC of 0.26.

This property has a portion of the lot which is within the 100yr floodplain. Our topographic survey is included in the application package and has been reviewed by City of Rockwall engineers. On the following page I have included their markups which we have taken into consideration when designing this duplex residence.

I hope that you find this application to be complete and satisfactory. If you have any questions about the information above, please feel free to contact me.

Sincerely,

Ryan Withrow, Architect
Object & Architecture PLLC
TBAE License #26945

Explanation of Site Hardships

Request

We are requesting two ordinance requirements be waived for the development of a two-family residence at 511 S. Clark Street so that the site may be developed to its highest and best use and to develop the site commensurately with the surrounding area. The first ordinance requirement we are requesting to be waived is a required 20 ft. setback from the front facade of the residence to the front facing garage. The second ordinance requirement we are requesting to be waived is the requirement that two off-street parking spaces be located in a garage.

Context

The property is located in a Two-Family Zoning district and the lot size is 7,200 sqft per the survey submitted with this application packet. The site slopes gradually away from Clark Street to the rear of the site. A large portion of the site is located within the 100-yr floodplain. We have worked with P&Z and Engineering during our design and SUP process and Engineering set the floodplain line as well as the additional 10' erosion control setback line. We re-designed our initial submittal to conform to this setback line.

Explanations

1. The size of the 100-yr floodplain line and the erosion control setback line significantly affects the ability of the lot to be developed commensurate with the surrounding area and to the standard size of residence that today's market expects. The 100-yr floodplain plus the erosion control setback line covers 31.6% of the lot. This lot also requires a 30' Building Line setback from the front property line. The front setback (including the 30' Building Line) plus the side yard setbacks not within the floodplain or erosion control setback covers 33.0% of the lot. This leaves the lot with only 35.3% of the lot leftover as buildable area.
2. The irregular shape of the floodplain significantly affects the ability of the lot to be developed, especially when considering the most efficient and effective way of configuring the required fire separation walls for two family dwellings is to build the separation wall in a straight line. As can be seen in Image 1 below, the shape of the floodplain and erosion control setback line affect our ability to adequately design an L-shaped driveway which would obscure the garage door from view of the street. Therefore, front facing garages create the most efficient layout to develop this lot. However, the requirement of setting the garage 20' from the front facade is not possible in the garage layout shown in Image 1.

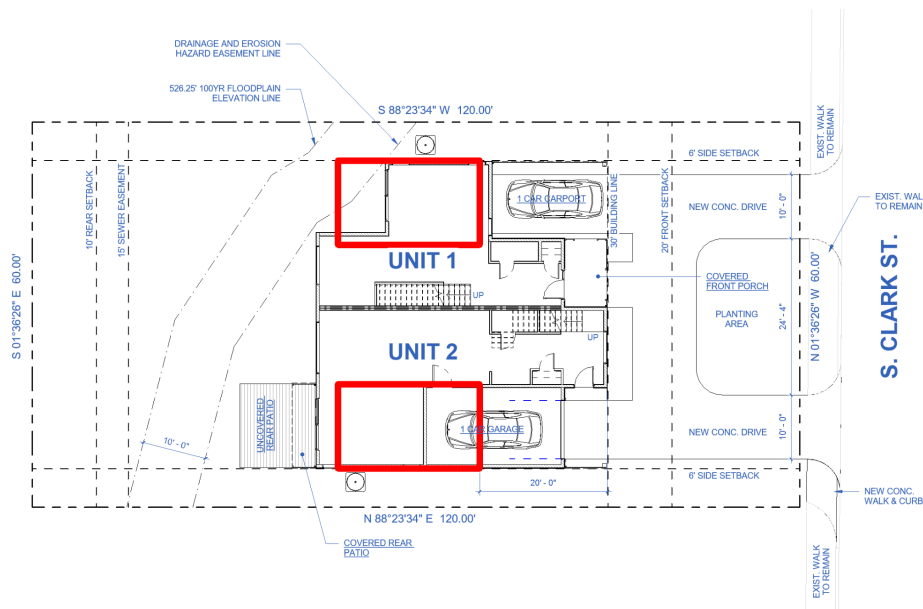


Image 1

In Image 2 below we've shown that grouping both garages together would comply with the 20' garage setback requirement and not be within the erosion control setback line, but due to the shape of the floodplain line a two car garage eats up a significant amount of the buildable area and is highly restrictive for creating an efficient and useful two family residence layout.

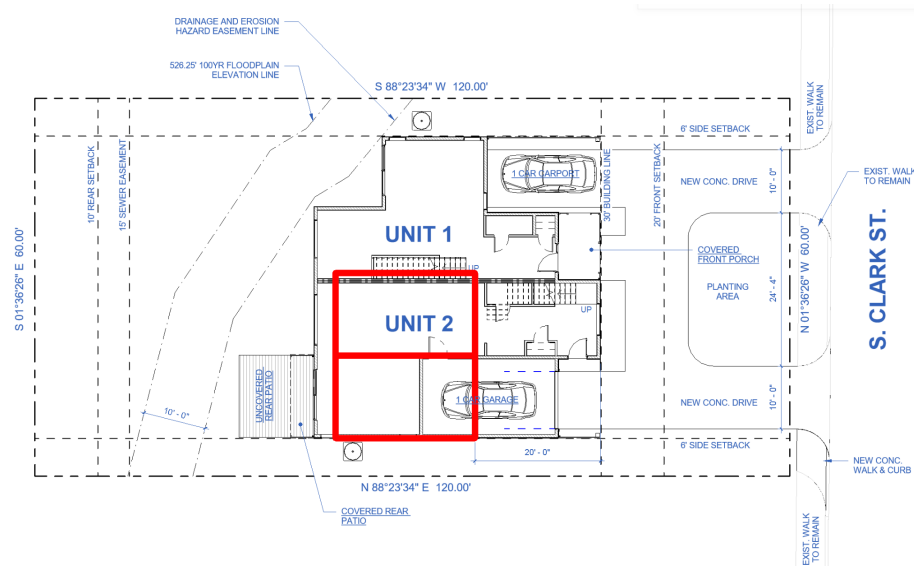


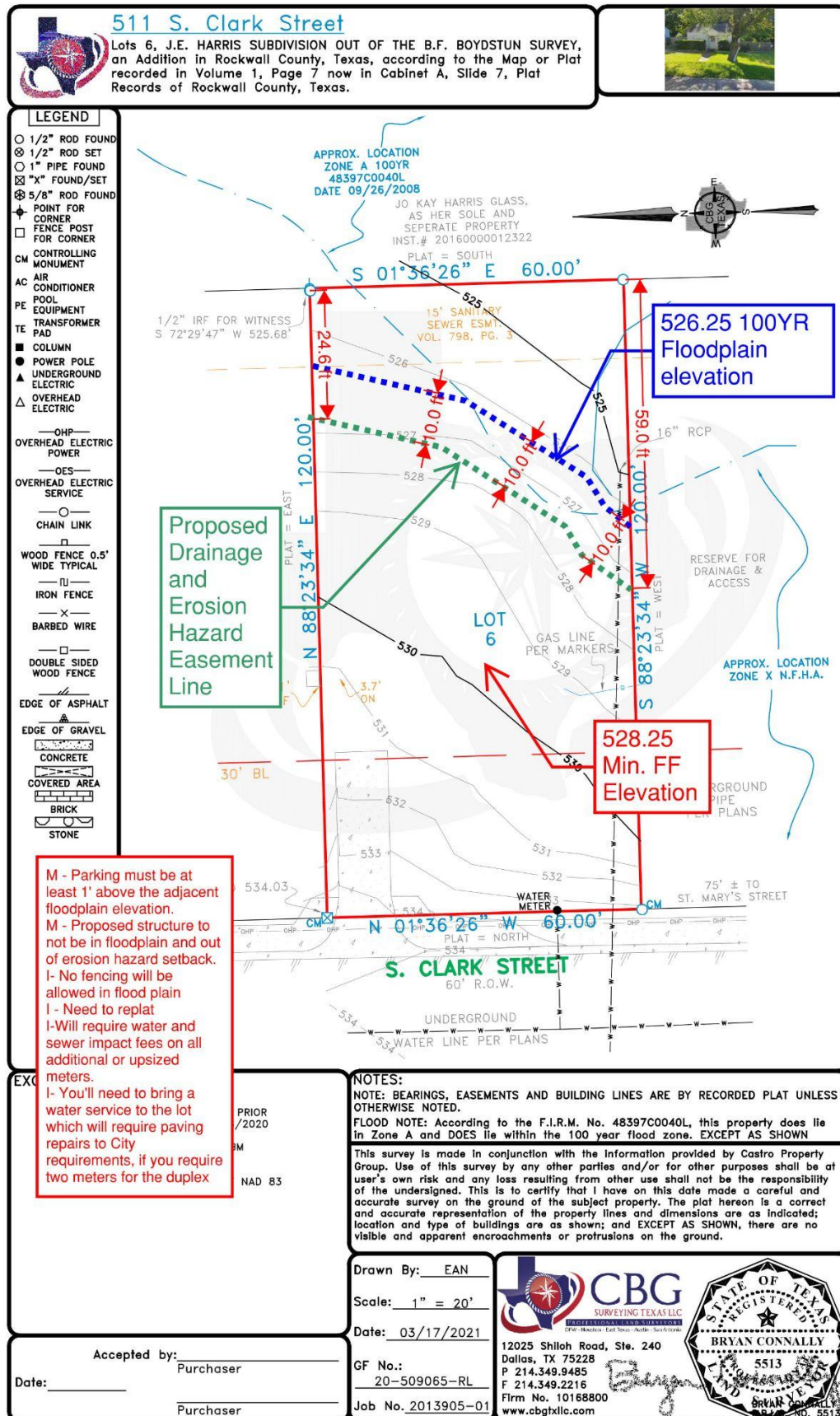
Image 2

- This proposed two-family residence has the visual look of being a single family residence. We believe this creates the most desirable outcome for both this lot as well as the surrounding properties. Providing two separate one-car garages on either side of the fire separation wall would visually make this development look like a duplex. A front-facing two-car garage with a 20' setback from the front facade of the house significantly restricts the buildable area and prevents an efficient and regular layout.

Conclusion

For the above stated reasons we believe reducing the requirements for two garage parking spaces and waiving the 20' garage setback for the front facing garage allows this site to overcome the hardships presented by the floodplain, allows us to develop a two-family residence that reflects the spirit of the zoning ordinance, and respects the surrounding neighbors by creating a visually appealing residence that meets current market standards of development.

Thank you for your input and consideration.



Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
402 S Clark Street	Single-Family Home	1987	1,090	216	Brick
403 S Clark Street	Single-Family Home	1966	720	N/A	Siding
404 S Clark Street	Single-Family Home	1983	1,097	N/A	Brick
405 S Clark Street	Single-Family Home	2006	1,682	N/A	Brick
406 S Clark Street	Single-Family Home	1990	1,348	144	Brick
408 S Clark Street	Single-Family Home	2006	2,049	N/A	Brick
410 S Clark Street	Single-Family Home	1989	1,112	N/A	Siding
501 S Clark Street	Single-Family Home				
503 S Clark Street	Other	1975	N/A	600	Metal
507 S Clark Street	Single-Family Home	1975	884	670	Brick
509 S Clark Street	Single-Family Home	1945	768	240	Siding
510 S Clark Street	Other	1970		N/A	Metal
511 S Clark Street	Vacant		Subject Property		
512 S Clark Street	Other	1960		N/A	Siding
513 S Clark Street	Single-Family Home	1966	744	N/A	Siding
402 & 404 Storrs Street	Duplex	N/A	N/A	N/A	Brick
406, 500, & 502 Storrs Street	Tri-Plex	N/A	N/A	N/A	Brick
504-A & 504-B Storrs Street	Duplex	1999	1,260	N/A	Brick
518 & 520 Storrs Street	Duplex	1999	1,260	N/A	Brick
514 & 516 Storrs Street	Duplex	1989	1,270	N/A	Brick
510 & 512 Storrs Street	Duplex	1985	1,218	N/A	Brick
602 Storrs Street	Single-Family Home	1890	3,222	N/A	Siding
604 Storrs Street	Single-Family Home	1990	1,262	48	Siding
605 Storrs Street	Single-Family Home	1980	1,554	370	Siding
606 Storrs Street	Single-Family Home	1990	929	N/A	Siding
607 Storrs Street	Single-Family Home	1993	1,170	N/A	Siding
608 Storrs Street	Single-Family Home	1950	735	196	Siding
609 Storrs Street	Single-Family Home	1990	1,168	N/A	Siding
610 Storrs Street	Single-Family Home	1985	1,130	100	Siding
612 Storrs Street	Single-Family Home	1960	696	320	Siding
Averages:		1978	1,233		



402 S Clark Street



403 S Clark Street



404 S Clark Street



405 S Clark Street



406 S Clark Street



408 S Clark Street



410 S Clark Street



501 S Clark Street



503 S Clark Street



507 S Clark Street



509 S Clark Street



510 S Clark Street



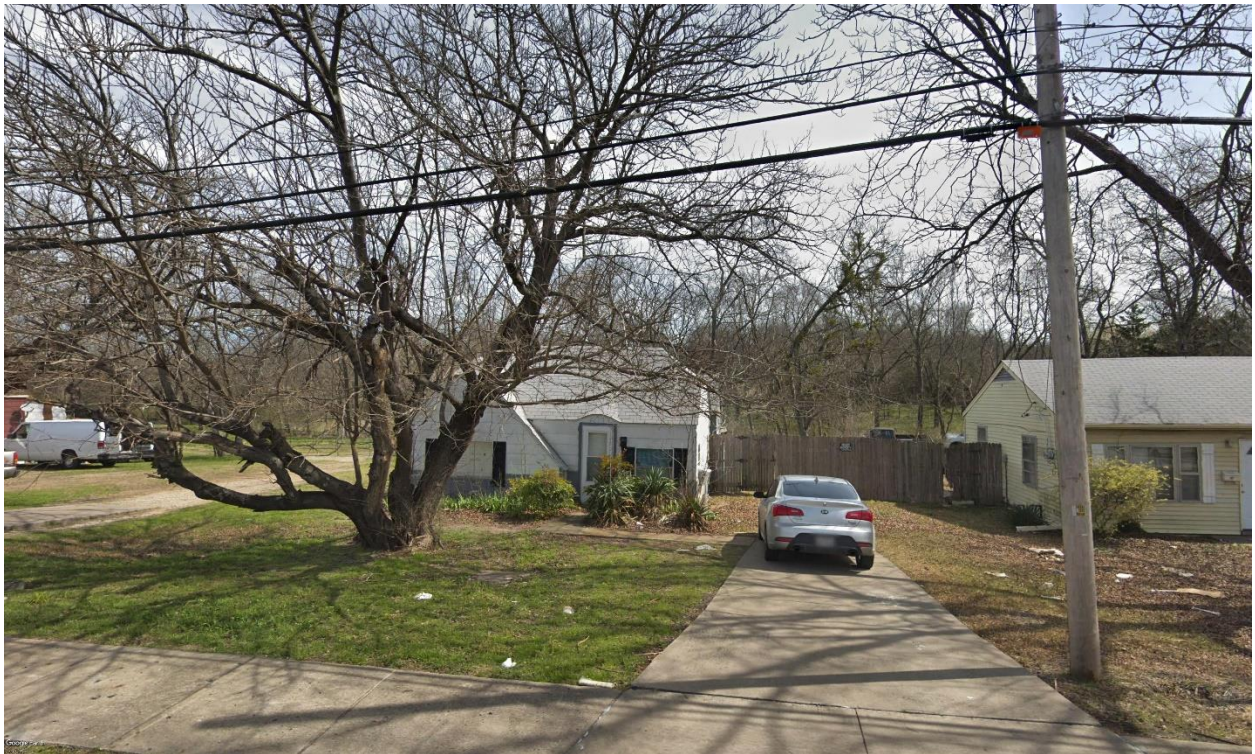
511 S Clark Street



512 S Clark Street



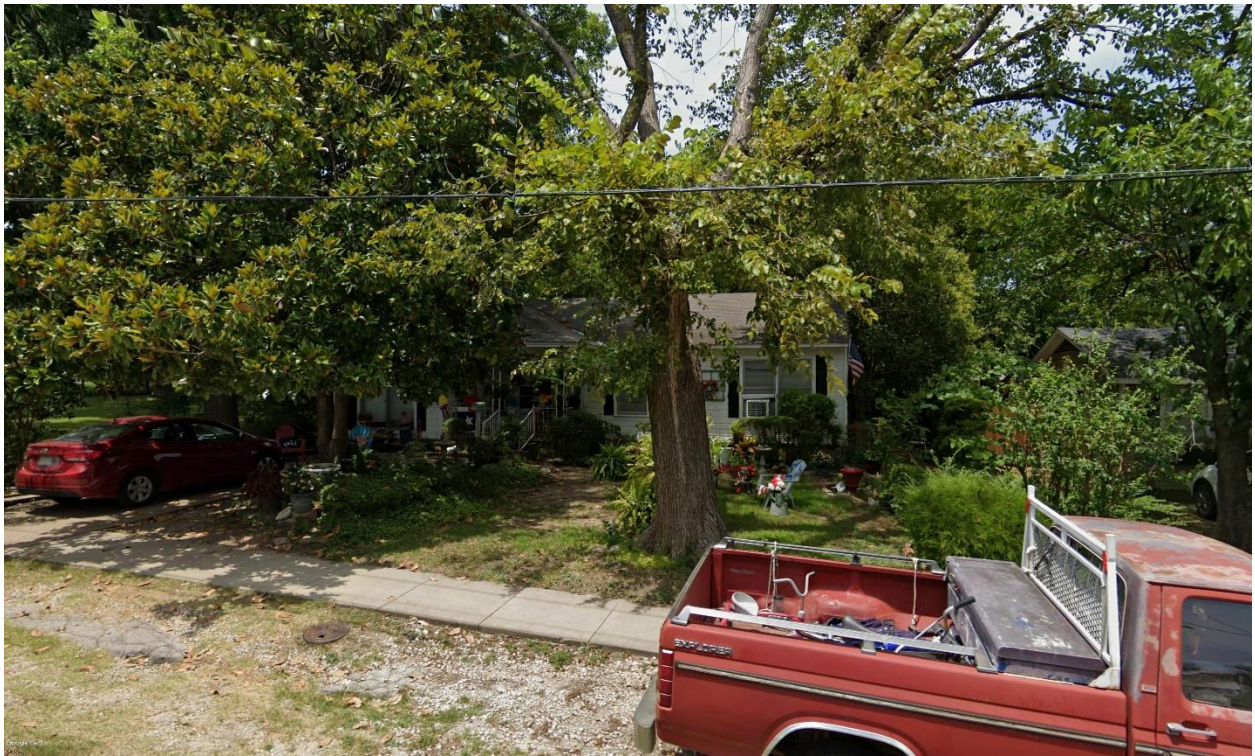
513 S Clark Street



601 S Clark Street



604 Storrs Street



605 Storrs Street



606 Storrs Street



607 Storrs Street



608 Storrs Street



609 Storrs Street



610 Storrs Street



612 Storrs Street

402 & 404 Storrs Street

Write a description for your map.

Legend



406, 500, & 502 Storrs Street

Write a description for your map.

Legend



504-A & 504-B Storrs Street

Legend



510 & 512 Storrs Street

Legend



Google Earth

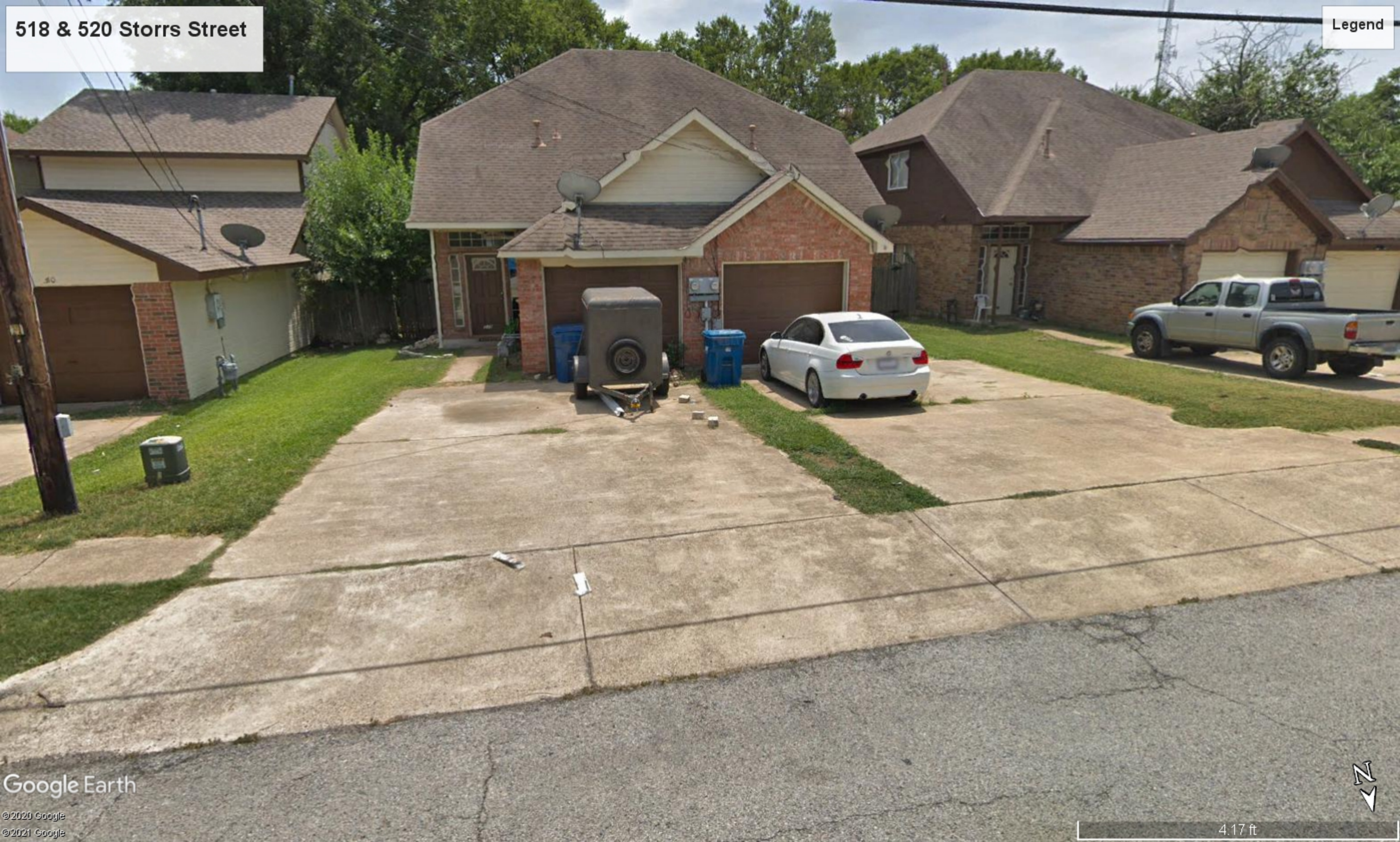
©2020 Google
©2021 Google

5.46 ft



518 & 520 Storrs Street

Legend



Google Earth

©2020 Google
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4.17 ft

514 & 516 Storrs Street

Legend



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A DUPLEX ON A 0.165-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a duplex on a 0.165-acre parcel of land being described as Lot 6 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a duplex in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.11, *Two-Family (2F) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a duplex on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a duplex on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6th DAY OF JULY, 2021.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 21, 2021

2nd Reading: July 6, 2021

Exhibit 'A'
Location Map and Survey

Address: 511 S. Clark Street

Legal Description: Lot 6, Harris Addition



**Exhibit 'B':
Residential Plot Plan**

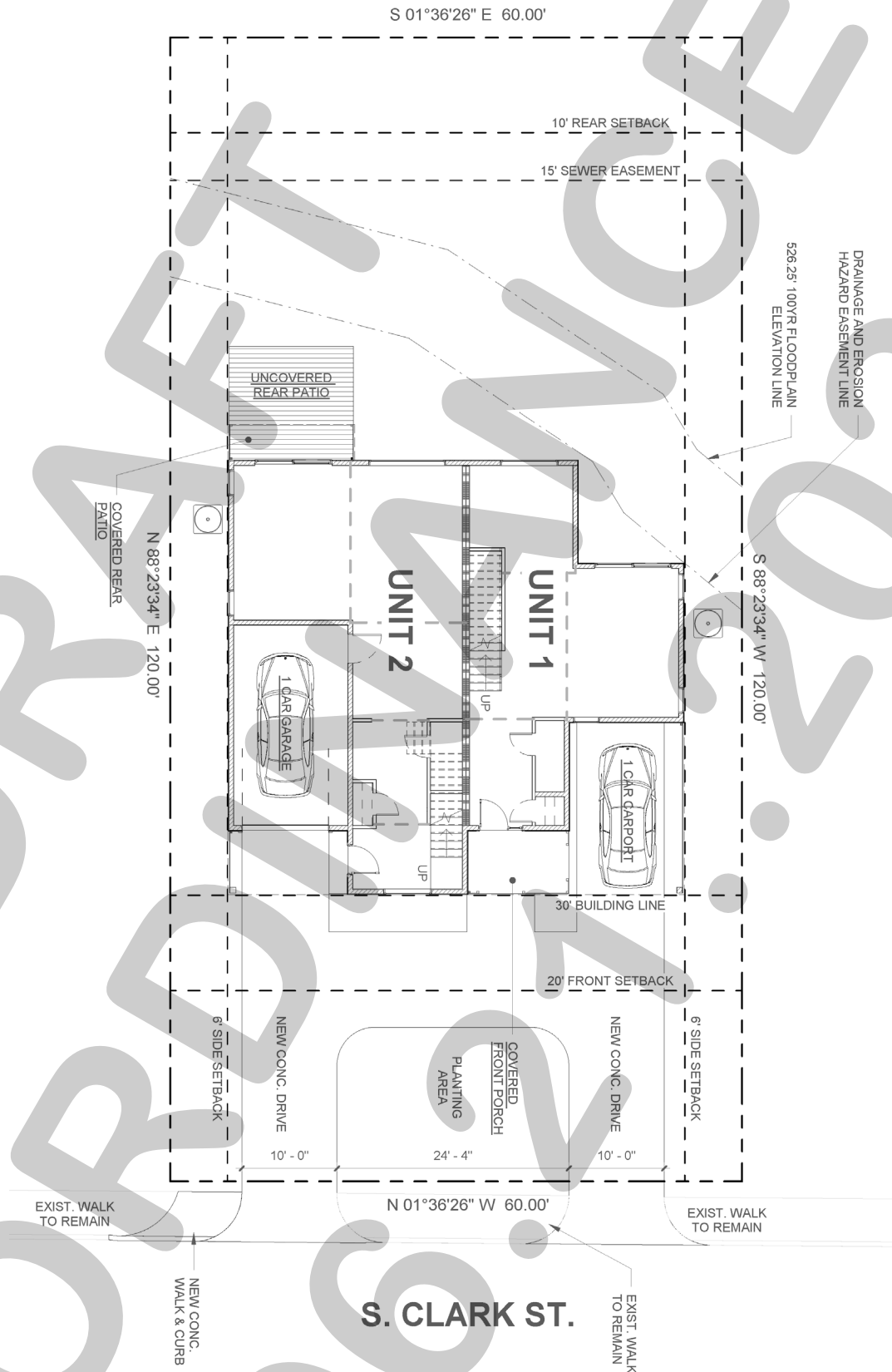
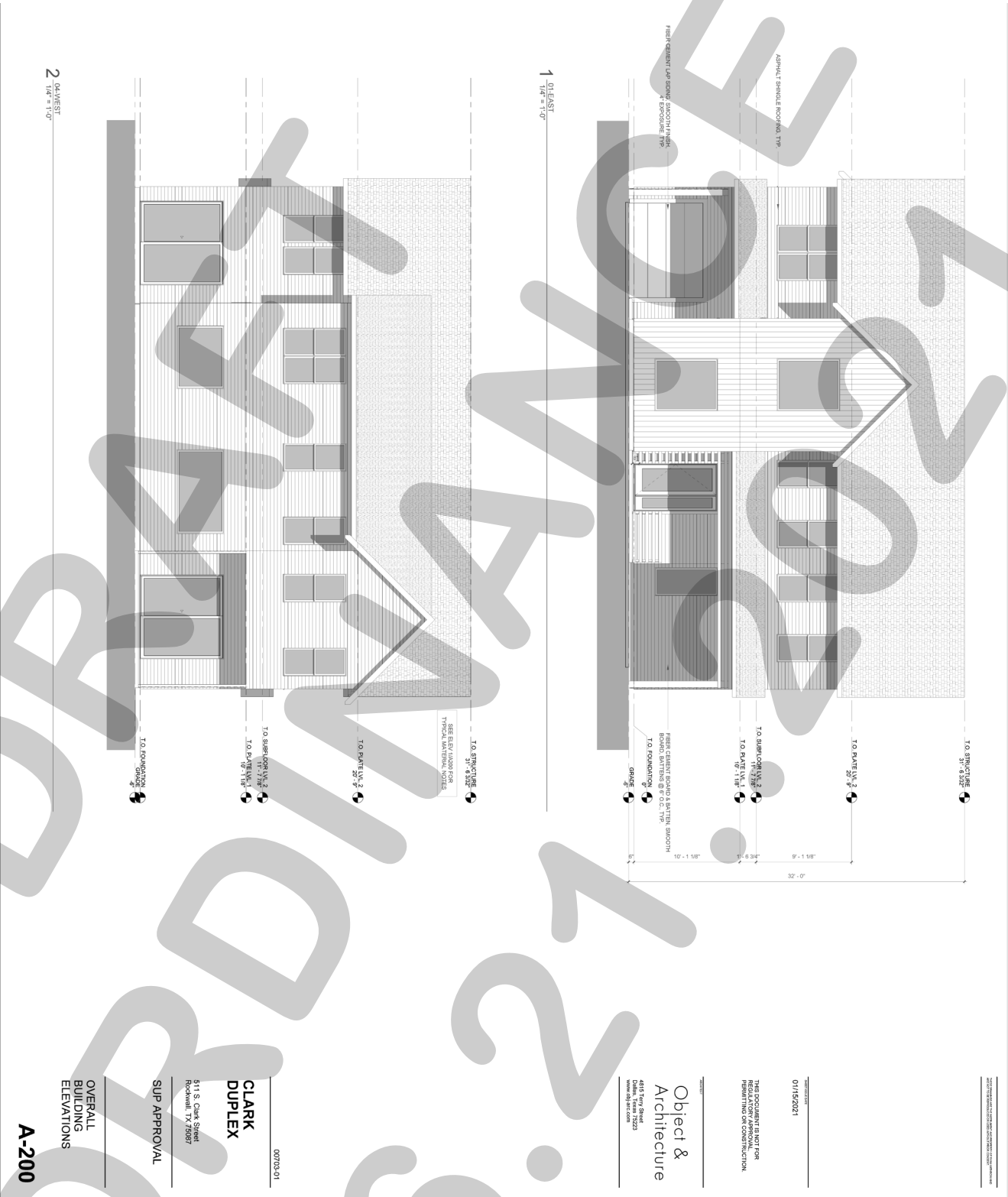


Exhibit 'C':
Building Elevations



Architectural drawings of the Clark Duplex, including elevations and a site plan. The drawings show a two-story building with a gabled roof, multiple windows, and a small porch. The site plan shows the building's location on a lot with surrounding streets and landscaping. The drawings are labeled with dimensions and notes.

00703.01

01/15/2021

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Object &
Architecture
4415 Tenth Place
Dallas, Texas 75223
(214) 742-1100

CLARK
DUPLEX
00703.01
511 S. Clark Street
Rockwall, TX 75087
SUP. APPROVAL

OVERALL
BUILDING
ELEVATIONS
A-201



July 12, 2021

TO: Jason Castro
Castro Development LLC
16424 Fallkirk Drive
Dallas, TX 75248

FROM: David Gonzales, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2021-015; *Specific Use Permit (SUP) for a Residential Infill for 511 S. Clark Street*

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on July 6, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
 - (b) The construction of a duplex on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
 - (c) Once construction of the duplex has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 15, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* with the conditions of approval by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Moeller absent.

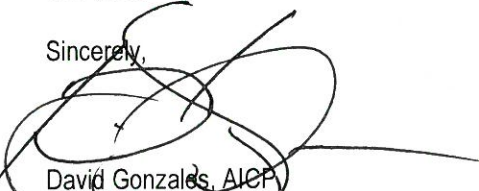
City Council

On June 21, 2021, the City Council approved a motion to approve the Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision with the conditions of approval by a vote of 7-0 [1st Reading].

On July 6, 2021, the City Council approved a motion to approve the Specific Use Permit by a vote of 6-0, with Council Member Johannesen absent [2nd Reading].

Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 771-7745.

Sincerely,



David Gonzales, AICP
Planning and Zoning Manager

Gonzales, David

From: Gonzales, David
Sent: Friday, June 11, 2021 11:06 AM
To: Jason Castro
Cc: 'Ryan Withrow'
Subject: P&Z Public Hearing Next Week
Attachments: Packet [P&Z] (06.15.2021) R.PDF

Mr. Castro,

Please find attached staff's report for next week's Planning and Zoning public hearing scheduled for June 15, 2021. The meeting will begin at 6:00 PM in the City's Council Chambers. Staff requests the applicant or a representative be present for this meeting. As a note, the City Council public hearing will be held on June 21, 2021, same location and time.

Let me know if you have any questions.

Thank you,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER

PLANNING & ZONING DIVISION • CITY OF ROCKWALL

972.772.6488 OFFICE

DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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Gonzales, David

From: Ryan Withrow <ryan@obj-arc.com>
Sent: Friday, June 11, 2021 8:52 AM
To: Gonzales, David
Cc: Jason Castro; Jason Castro
Subject: Re: FW: P&Z Work Session Next Week
Attachments: Clark Duplex Duplex - SUP Appeal.pdf

David,

Please find our explanation of site hardships attached. Please let me know if you need anything further.

Thanks,

Ryan Withrow
Architect

Object & Architecture
214 240 1995
[Website](#)
[Instagram](#)

On Thu, May 27, 2021 at 3:48 PM Gonzales, David <DGonzales@rockwall.com> wrote:

Ryan,

The issues brought forward are items that can be handled through the SUP process; however, since these are zoning related items (*i.e. front facing garage and the garage set-back requirement*) these typically require a variance. With the SUP being a zoning request, and since the building elevations are attached to the draft ordinance for consideration, the Planning and Zoning Commission and City Council would be considering these as a part of the request. The SUP request is discretionary for the City Council, pending a recommendation from the Planning Commission. My case memo will reflect this. What you will need to do is provide a letter explaining the challenges/hardship with the site so that the approving bodies can understand the site constraints.

Let me know if you have any further questions.

Thank you,



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DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

From: Ryan Withrow [mailto:ryan@obj-arc.com]
Sent: Thursday, May 27, 2021 10:14 AM
To: Gonzales, David <DGonzales@rockwall.com>
Cc: Jason Castro <jason@castropropertygroup.com>; Jason Castro <build@castropropertygroup.com>
Subject: Re: FW: P&Z Work Session Next Week

Good morning David,

I wanted to follow up with you regarding the P&Z Worksession comments we received on Tuesday evening.

1. Garage (one car min) required for both units. The commissioners generally liked that our design doesn't look like a duplex, however, adding a second garage to our existing design would make the home look like a duplex. If we wanted to receive a variance for this requirement, and only provide a garage for one unit, would that need to be a separate variance or could that be approved through this SUP?
2. 20' recess for front facing garages. If we move the garage(s) 20' behind the front facade it leaves very little space leftover due to the floodplain restrictions (marked in bold red in image below). If this requirement could be dismissed due to site hardship then can this be allowed via this SUP application or will it need a separate variance request?
3. If we are required to receive variances for these items, can we still receive a SUP or would we need to have variances granted first before SUP approval?

Thanks,

Ryan Withrow

Architect

Object & Architecture
214 240 1995

[Website](#)

[Instagram](#)

From: Gonzales, David <DGonzales@rockwall.com>
Date: Friday, May 21, 2021 at 2:09 PM

To: Jason Castro <jason@castropropertygroup.com>

Subject: P&Z Work Session Next Week

Mr. Castro,

Here are staff comments regarding your project for next week's Planning and Zoning Commission (P&Z) work session on Tuesday, May 25, 2021. The meeting will begin at 6:00 PM in the City's Council Chambers. As the applicant, you will be presenting your case before the P&Z for discussion. Please refer to the comments for all information and dates regarding this request.

Thank you,



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Gonzales, David

From: Gonzales, David
Sent: Thursday, May 27, 2021 3:48 PM
To: 'Ryan Withrow'
Cc: Jason Castro; Jason Castro
Subject: RE: FW: P&Z Work Session Next Week

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Let me know if you have any further questions.

Thank you,



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From: Ryan Withrow [mailto:ryan@obj-arc.com]
Sent: Thursday, May 27, 2021 10:14 AM
To: Gonzales, David
Cc: Jason Castro ; Jason Castro
Subject: Re: FW: P&Z Work Session Next Week

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3. If we are required to receive variances for these items, can we still receive a SUP or would we need to have variances granted first before SUP approval?

Thanks,

Ryan Withrow
Architect

Object & Architecture
214 240 1995
[Website](#)
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From: Gonzales, David <DGonzales@rockwall.com>
Date: Friday, May 21, 2021 at 2:09 PM
To: Jason Castro <jason@castropropertygroup.com>
Subject: P&Z Work Session Next Week

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applicant, you will be presenting your case before the P&Z for discussion. Please refer to the comments for all information and dates regarding this request.

Thank you,



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Gonzales, David

From: Gonzales, David
Sent: Friday, May 21, 2021 4:02 PM
To: 'Jason Castro'
Subject: RE: P&Z Work Session Next Week

Yes, you can have someone else attend in your place.

Have a great weekend,



DAVID GONZALES, AICP

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From: Jason Castro [<mailto:jason@castropropertygroup.com>]
Sent: Friday, May 21, 2021 3:13 PM
To: Gonzales, David
Subject: Re: P&Z Work Session Next Week

Hi David,

A few questions:

Can architect go in my place? I will be out of town that evening.

Notes I see are:

- 1) we need a grading plan for permits. Do I need a grading plan for this session or to get the SUP?
- 2) How are we getting back to existing ground elevation? I think this has to do with the temporary pile of fill Dirt on property but don't quite understand the question. Is this a literal question? If so, I believe it is implying that I must remove the dirt pile before we grade the property once we have permits? Am I understanding that correctly?

Thanks,



Jason Castro

c. 214-232-2750

e. Jason@castropropertygroup.com

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On May 21, 2021, at 2:09 PM, Gonzales, David <DGonzales@rockwall.com> wrote:

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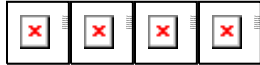
Thank you,

[B&W Logo Only]David Gonzales, AICP
planning & zoning manager
Planning & Zoning Division • City of Rockwall
972.772.6488 Office
dgonzales@rockwall.com<<mailto:dgonzales@rockwall.com>>
385 S. Goliad Street • Rockwall, TX 75087

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Website<https://urldefense.proofpoint.com/v2/url?u=http-3A__www.rockwall.com_Planning_index.asp&d=DwMFAG&c=euGZstcaTDllvimEN8b7jXrwqOf-v5A_Cdp gnVfiiMM&r=0pZQCnwrO0T-iKB74V20IfQoHBwqUg0JMX7-Hf_ZLV0&m=RSt_KQjSqHOB5Wx8m1asFKxUI9coVShgztgB3EWfgTk&s=m5iXEs973uyJk-Tx87q8XrwOSQ7Xx-B6rA-PwzsmAUU&e=>> | Municipal Code
Website<https://urldefense.proofpoint.com/v2/url?u=http-3A__library.municode.com_index.aspx-3FclientID-3D14830-26stateID-3D43-26statename-3DTexas&d=DwMFAG&c=euGZstcaTDllvimEN8b7jXrwqOf-v5A_Cdp gnVfiiMM&r=0pZQCnwrO0T-iKB74V20IfQoHBwqUg0JMX7-Hf_ZLV0&m=RSt_KQjSqHOB5Wx8m1asFKxUI9coVShgztgB3EWfgTk&s=tZaID3p-0gHaMfhxRCmDGpYy-8PycWr8PLClzGR712U&e=>>
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Maps<https://urldefense.proofpoint.com/v2/url?u=http-3A__gis.rockwall.com_flexviewers_Rockwall-

5FiMap_index.html&d=DwMFAG&c=euGZstcaTDllvimEN8b7jXrwqOf-v5A_CdpgnVfiiMM&r=0pZQCnwrO0T-iKB74V20IfQoHBwqUg0JMX7-Hf_ZLV0&m=RSt_KQjSqHOB5Wx8m1asFKxUI9coVShgztgB3EWfgTk&s=voKN0vFdz9GEtAn_6U6FpoxhNM9ERKhSRhVLvoffRdY&e=>|MAIN STREET DIVISION<https://urldefense.proofpoint.com/v2/url?u=http-3A_mainstreet.rockwall.com_index.asp&d=DwMFAG&c=euGZstcaTDllvimEN8b7jXrwqOf-v5A_CdpgnVfiiMM&r=0pZQCnwrO0T-iKB74V20IfQoHBwqUg0JMX7-Hf_ZLV0&m=RSt_KQjSqHOB5Wx8m1asFKxUI9coVShgztgB3EWfgTk&s=XH5qrcJW-y3xkCIGOixryEbzOfRdYccaXTOqfmQPpyQ8&e=>

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Gonzales, David

From: Johnston, Sarah
Sent: Friday, May 21, 2021 4:00 PM
To: 'Jason Castro'
Cc: Gonzales, David
Subject: RE: P&Z Work Session Next Week

Jason,

1. You will need a grading plan for the building permit only. No grading plan is needed for the SUP process.
2. First, the fill permit was denied since you showed the dirt to be changing the floodplain limits. Second, I assume the house finish floor grade will be approximately 532' and the floodplain near the southeast corner of the building is 527.5'. How do you plan to make up this difference in elevation? A couple options would be to build a retaining wall, or you could have an exposed/grade beam on the house.

Hopefully that clarifies what I meant with my comments below.

Thank you,
Sarah Johnston

Sarah Johnston, P.E.
Public Works – Engineering Division
City of Rockwall
385 S. Goliad
Rockwall, TX 75087
972-771-7746
972-771-7748 (fax)

From: Gonzales, David
Sent: Friday, May 21, 2021 3:17 PM
To: Johnston, Sarah
Subject: FW: P&Z Work Session Next Week

Can you look at Jason's questions below please...thanks,



DAVID GONZALES, AICP
PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM

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From: Jason Castro [<mailto:jason@castropropertygroup.com>]
Sent: Friday, May 21, 2021 3:13 PM
To: Gonzales, David <DGonzales@rockwall.com>
Subject: Re: P&Z Work Session Next Week

Hi David,

A few questions:

Can architect go in my place? I will be out of town that evening.

Notes I see are:

- 1) we need a grading plan for permits. Do I need a grading plan for this session or to get the SUP?
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Thanks,



Jason Castro

c. 214-232-2750

e. Jason@castropropertygroup.com

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Follow me on [Twitter](#) & [Instagram](#)

On May 21, 2021, at 2:09 PM, Gonzales, David <DGonzales@rockwall.com> wrote:

Mr. Castro,

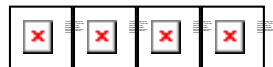
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Thank you,

[B&W Logo Only]David Gonzales, AICP
planning & zoning manager
Planning & Zoning Division • City of Rockwall
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dgonzales@rockwall.com<<mailto:dgonzales@rockwall.com>>
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Gonzales, David

From: Gonzales, David
Sent: Friday, May 21, 2021 2:08 PM
To: 'Jason Castro'
Subject: P&Z Work Session Next Week
Attachments: Packet [WS] (05.25.2021).pdf

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Thank you,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

Gonzales, David

From: Gamez, Angelica
Sent: Thursday, May 20, 2021 10:49 AM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2021-015]
Attachments: HOA Map Z2021-015.pdf; Public Notice (05.20.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 21, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 15, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 21, 2021 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2021-015 SUP for Residential Infill at 511 S. Clark Street

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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Gonzales, David

From: Gonzales, David
Sent: Wednesday, March 24, 2021 5:01 PM
To: 'Jason Castro'
Subject: RE: 511 SOUTH CLARK STREET
Attachments: Topographic Survey [Engineering Mark-Ups] (03.24.2021).pdf; Site Plan (01.15.2021).pdf

Jason,

Here is the topo survey review and mark-ups from the engineering department for your review. Based on the site plan that was originally submitted (see attached), you may need to redesign/ shift the structure so that it is not within the floodplain or erosion hazard setback.

Let me know if you have any questions.

Thank you,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER
PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

From: Jason Castro [<mailto:jason@castropropertygroup.com>]
Sent: Wednesday, March 24, 2021 10:04 AM
To: Gonzales, David
Subject: Re: 511 SOUTH CLARK STREET

Sounds good – thanks!



Jason Castro

Castro Property Group

P: 214.232.2750

E: jason@castropropertygroup.com

W: www.castropropertygroup.com



From: Gonzales, David <DGonzales@rockwall.com>
Date: Wednesday, March 24, 2021 at 9:59 AM

To: Jason Castro <jason@castropropertygroup.com>

Subject: RE: 511 SOUTH CLARK STREET

Jason,

I forwarded the topographic survey to the engineering department for review. Once I have the findings, I can better answer your questions.

Thank you for your patience,



DAVID GONZALES, AICP

PLANNING & ZONING MANAGER

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[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

From: Jason Castro [<mailto:jason@castropropertygroup.com>]

Sent: Tuesday, March 23, 2021 6:17 PM

To: Gonzales, David <DGonzales@rockwall.com>

Subject: 511 SOUTH CLARK STREET

Hi David,

I have a few updates.

1) I verified that no grading work had been done at the property. there were a few loads of dirt dropped of but the piles are still there and haven't been touch and we do not plan to touch them or bring in any more dirt until we have the proper permisisions.

2) It looks like the surveyors made it out last Wednesday, 3/17 according to the new survey, which is attached. I believe this was before we had spoken about activity happening on the lot so I hope this helps to avoid any confusion on the matter. It looks just like the prior survey, but with the elevations included.

With that said, it looks like we are ready to reapply for the SPU. can you remind me of the timelines and dates for meetings?

Thank you!

[Texas law requires all license holders to provide the following Information About Brokerage Services form to prospective clients.](#)



Jason Castro

c. 214-232-2750

e. Jason@CastroPropertyGroup.com

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