



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # 22021-044 P&Z DATE 11/9/21 CC DATE 11/15/21 APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input checked="" type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input checked="" type="checkbox"/> HOA MAP
<input checked="" type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-044

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DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
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NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 478 RENEW DR ROCKWALL, TX
 SUBDIVISION Rockwall Lake Properties LOT 1405, 1406 BLOCK
 GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE
PROPOSED ZONING	PROPOSED USE
ACREAGE	LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER <u>Alex Flores</u>	<input type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON
ADDRESS <u>1650 John King Blvd APT 3710</u>	ADDRESS
CITY, STATE & ZIP <u>Rockwall, TX 75032</u>	CITY, STATE & ZIP
PHONE <u>(469) 534-5809</u>	PHONE
E-MAIL <u>afchomes75@gmail.com</u>	E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alex Flores [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 515.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF October, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October, 20 21

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES July 30, 2024

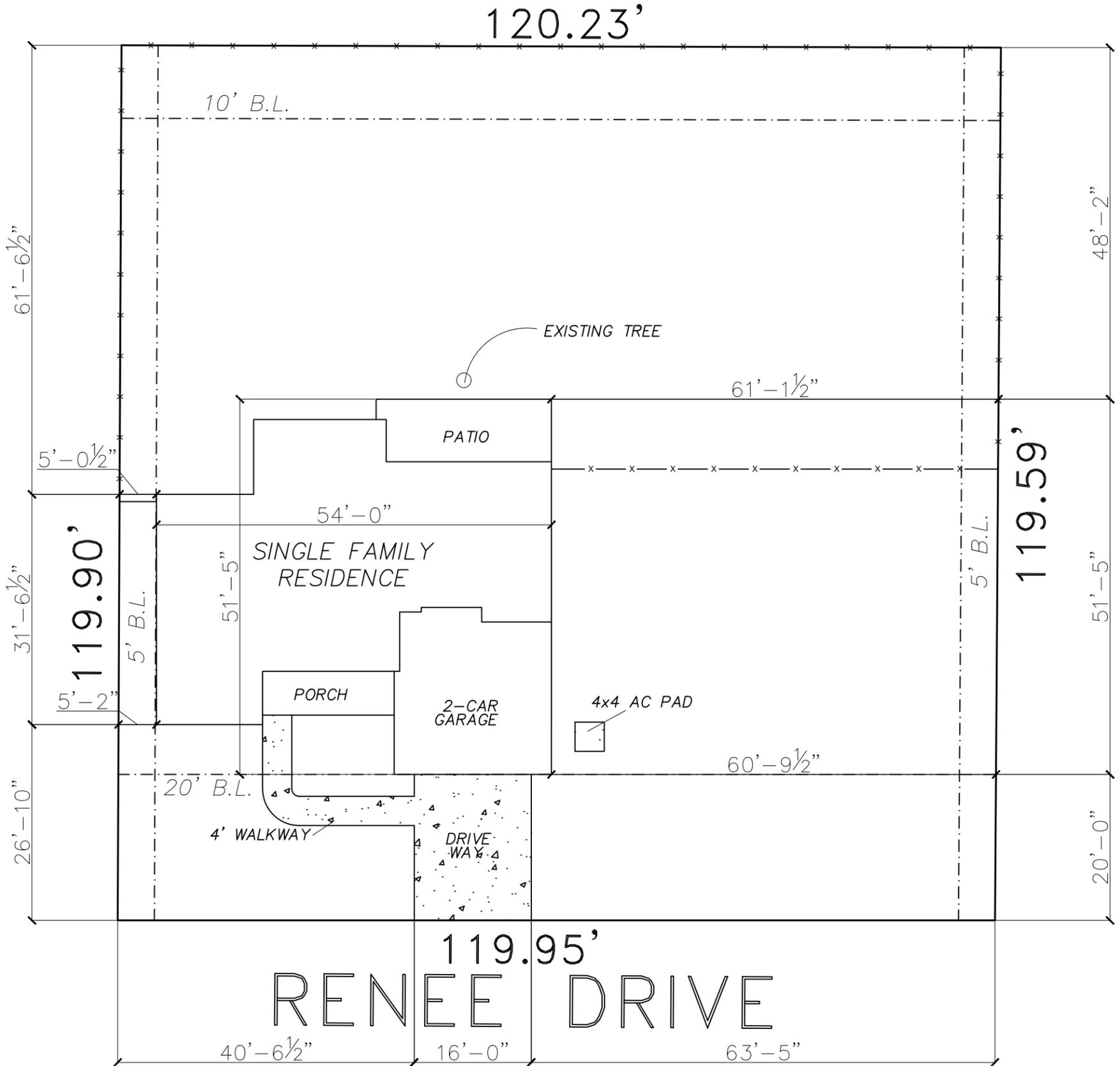


NORTH
SCALE: 1' = 16'-0"

AREA CALCULATIONS

LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE.	2769 SF
% TOTAL IMP. COVERAGE.	19.3 % COVERAGE
DRIVEWAY COVERAGE	320 SF
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FLAT WORK	0 SF
SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF

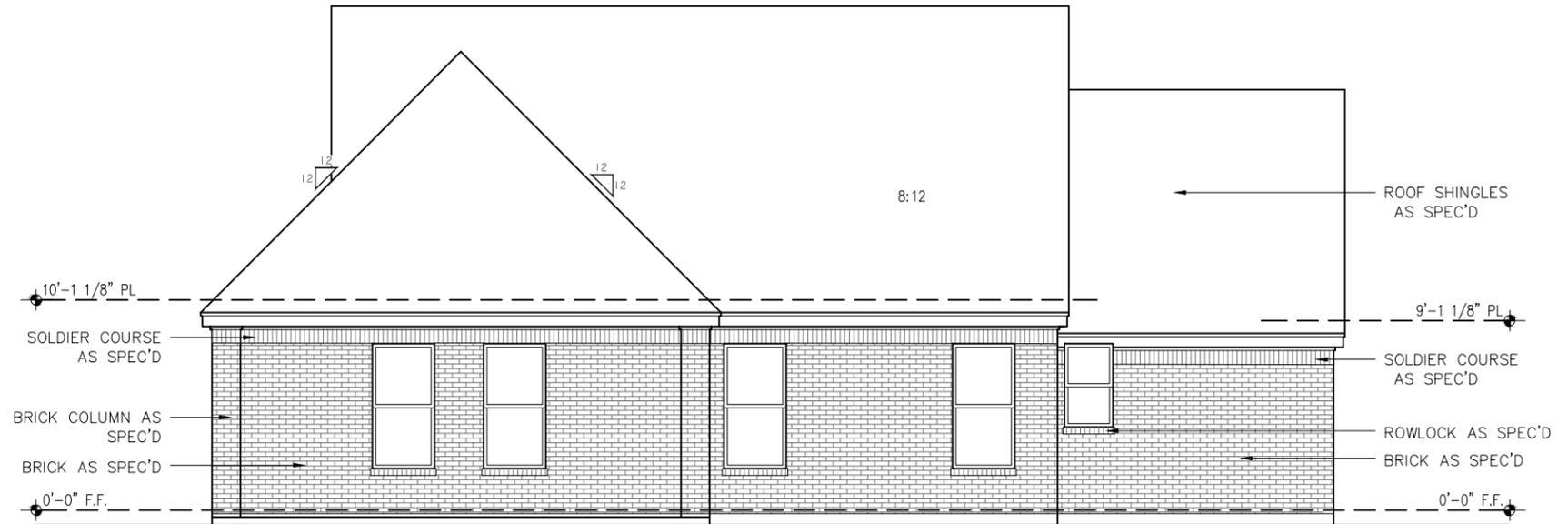
* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

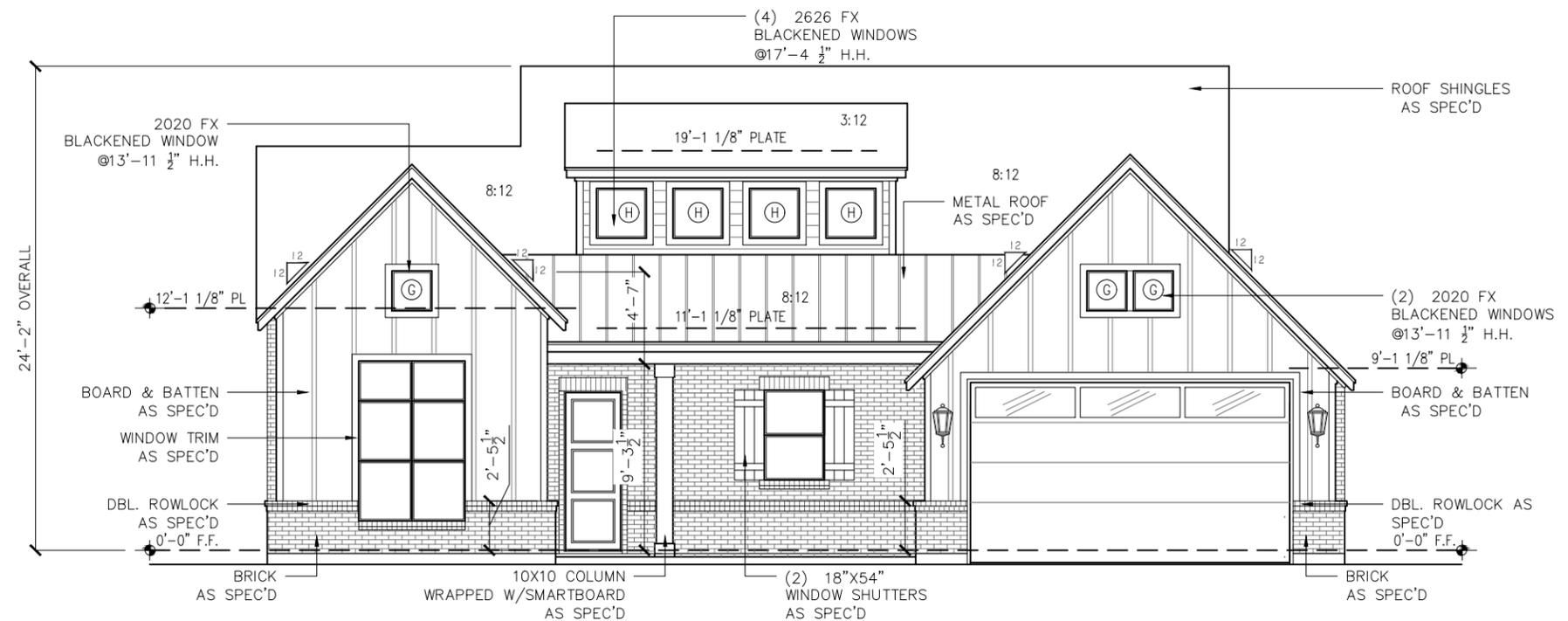
LEGEND	- DRAINAGE FLOW	B.L. - BUILDING LINE
	- PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
	- EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT
	- CURLEX	S.S.E. - SANITARY SEWER EASEMENT
	- RETAINING WALL	T.E. - TRANSFORMER EASEMENT
	- REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT
	- REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT
		M.E. - MAINTENANCE EASEMENT
		V.E. - VISIBILITY EASEMENT
		- EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021	DDS GROUP
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A	
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL	
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	PLOT PLAN SP1
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY DSGG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.	

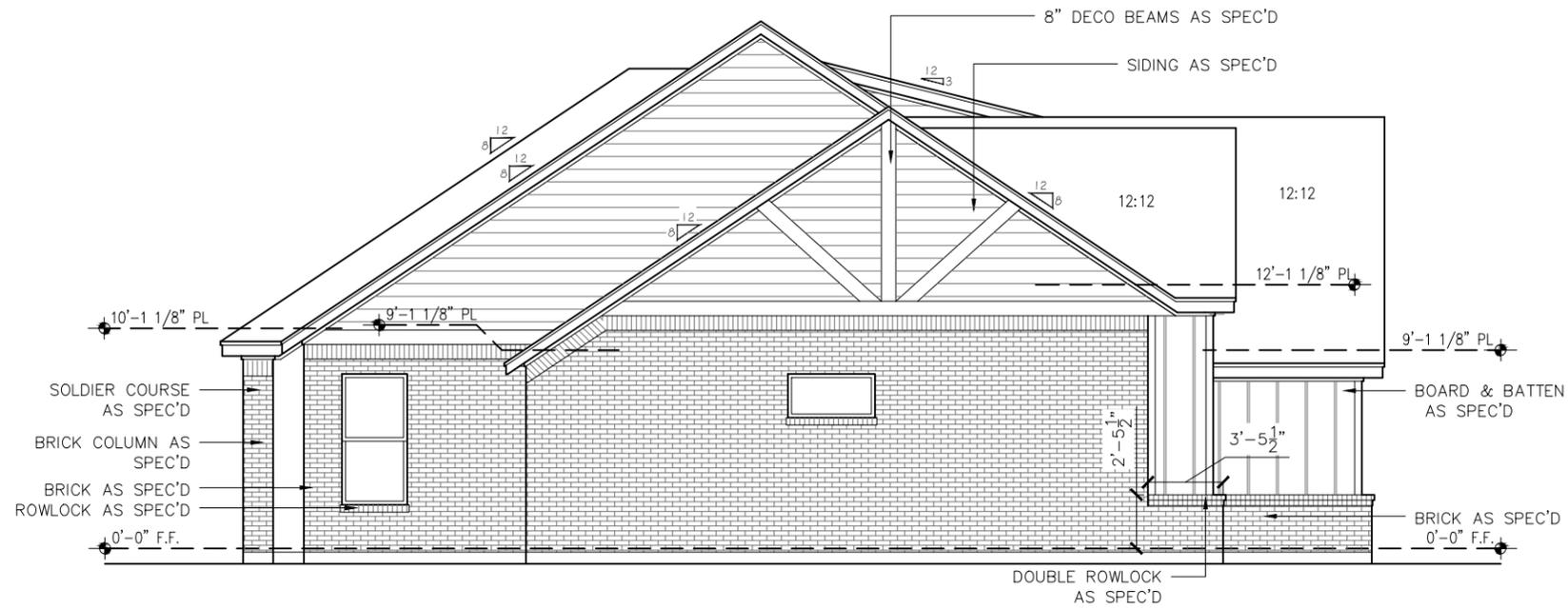


1 PROPOSED REAR ELEVATION
 SCALE: 1/8" = 1'-0"

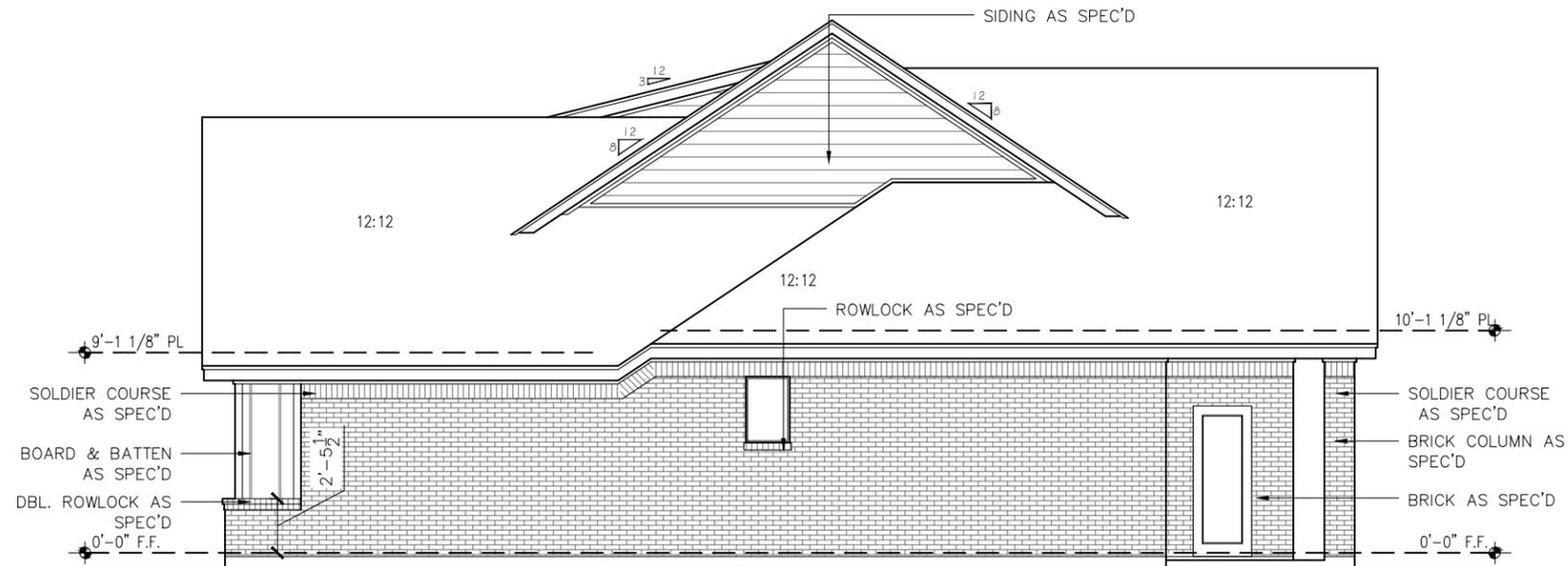
MASONRY CALCULATIONS				
AREA	SIDING	%SDNG.	MASON.	%MAS.
REAR	124 SF	26.1%	351 SF	73.9%
FRONT	273 SF	46.3%	316 SF	53.7%
LEFT	172 SF	25.0%	517 SF	75.0%
RIGHT	79 SF	17.5%	373 SF	82.5%
TOTAL	648 SF	29.4%	1,557 SF	70.6%
TOTAL STONE		46 SF		
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				



2 PROPOSED FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
3. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
4. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
5. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
6. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
7. U.N.O. ALL DOORS TO BE 6'-8."
8. U.N.O. ALL ANGLED WALLS TO BE AT 45 DEGREES.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
10. ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
11. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS: 8' PLATE: 6'-10", 9' PLATE: 7'-10", 10' PLATE: 8'-10"
12. "CORNERS" AND "T'S" SHALL BE TRUE, NOT CALIFORNIA STYLE.
13. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
14. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
15. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
16. PROVIDE FIRE-RATED SHEETROCK AT UTILITY/GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
17. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
18. U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

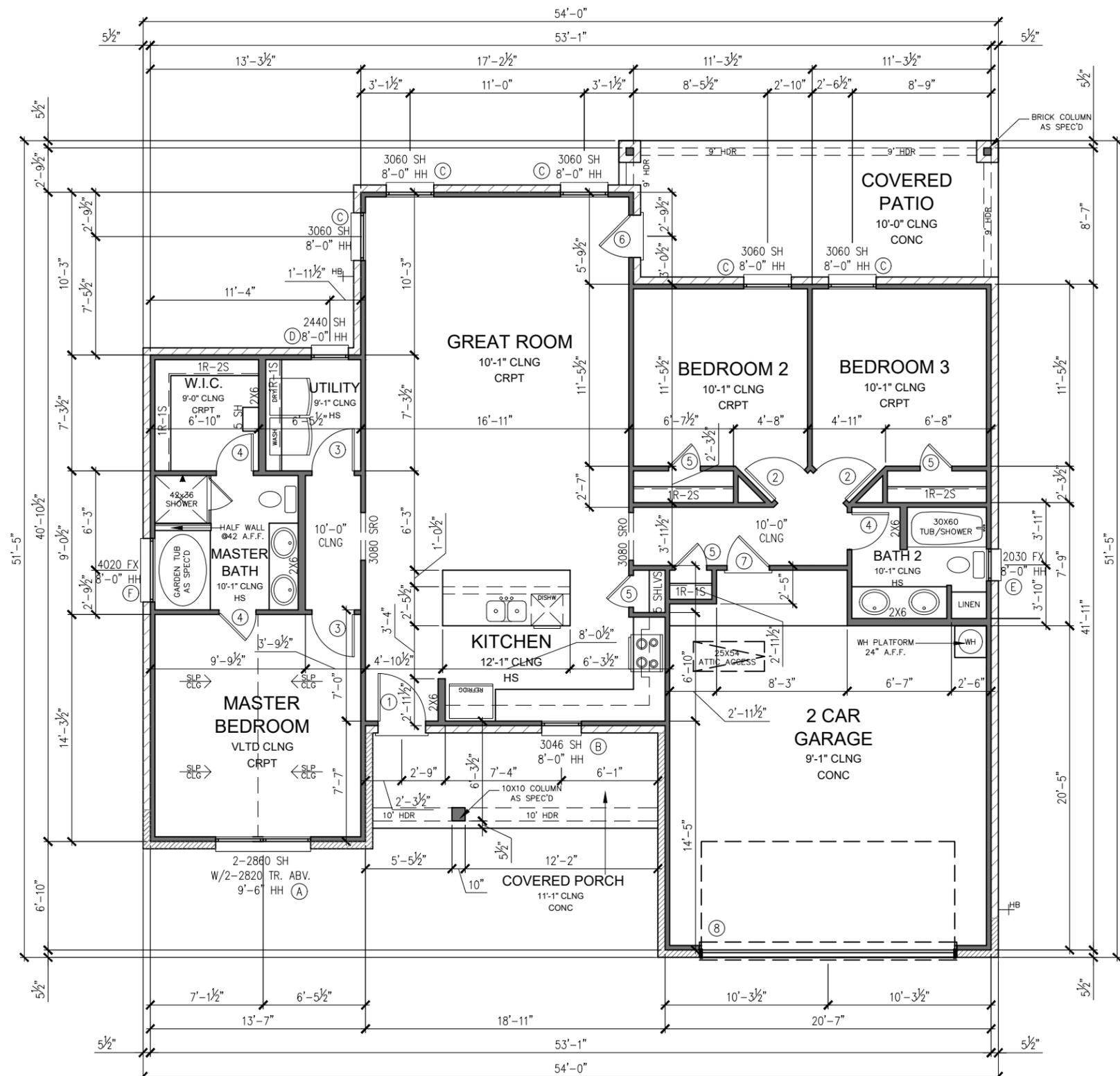
SQUARE FOOTAGE TABLE

AREA	MASONRY
FLOOR PLAN	1,529 SF
TOTAL LIVING	1,529 SF
GARAGE	477 SF
FRONT PORCH	108 SF
PATIO	198 SF
TOTAL COMBINED	2,312 SF
TOTAL SLAB	2,312 SF

MASONRY LEGEND



WALL LEGEND



WINDOW SCHEDULE

LETTER	QUANTITY	TYPE	DESCRIP.
A	1	2-2868	VINYL 3 STAR ENERGY - SH W/2820 TRANSFORM ABV.
B	1	3046	VINYL 3 STAR ENERGY - SINGLE HUNG
C	5	3060	VINYL 3 STAR ENERGY - SINGLE HUNG
D	1	2440	VINYL 3 STAR ENERGY - SINGLE HUNG
E	1	3030	VINYL 3 STAR ENERGY - FIXED OPQ
F	1	4020	VINYL 3 STAR ENERGY - FIXED OPQ
G	3	2020	VINYL 3 STAR ENERGY - FIXED OPQ
H	4	2626	VINYL 3 STAR ENERGY - FIXED OPQ

DOOR SCHEDULE

NUMBER	QUANTITY	TYPE	DESCRIP.
1	1	3080	EXTERIOR ENTRY DOOR
2	2	2668	INTERIOR
3	2	2868	INTERIOR
4	3	2468	INTERIOR
5	4	2068	INTERIOR
6	1	2868	EXTERIOR 1-LT
7	1	2868	EXTERIOR INSULATED DOOR
8	1	16080	GARAGE OHD DOOR

1 PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



DDS GROUP
123 W. MAIN ST. #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM 214-966-0550
SERVICES@DDSGROUP.COM 469-999-0800

DESIGNER:
DDSG-JO

PROJECT #:

478 RENEE DRIVE
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A1



DEVELOPMENT APPLICATION

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STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-044

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E-MAIL <u>afchomes75@gmail.com</u>	E-MAIL

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Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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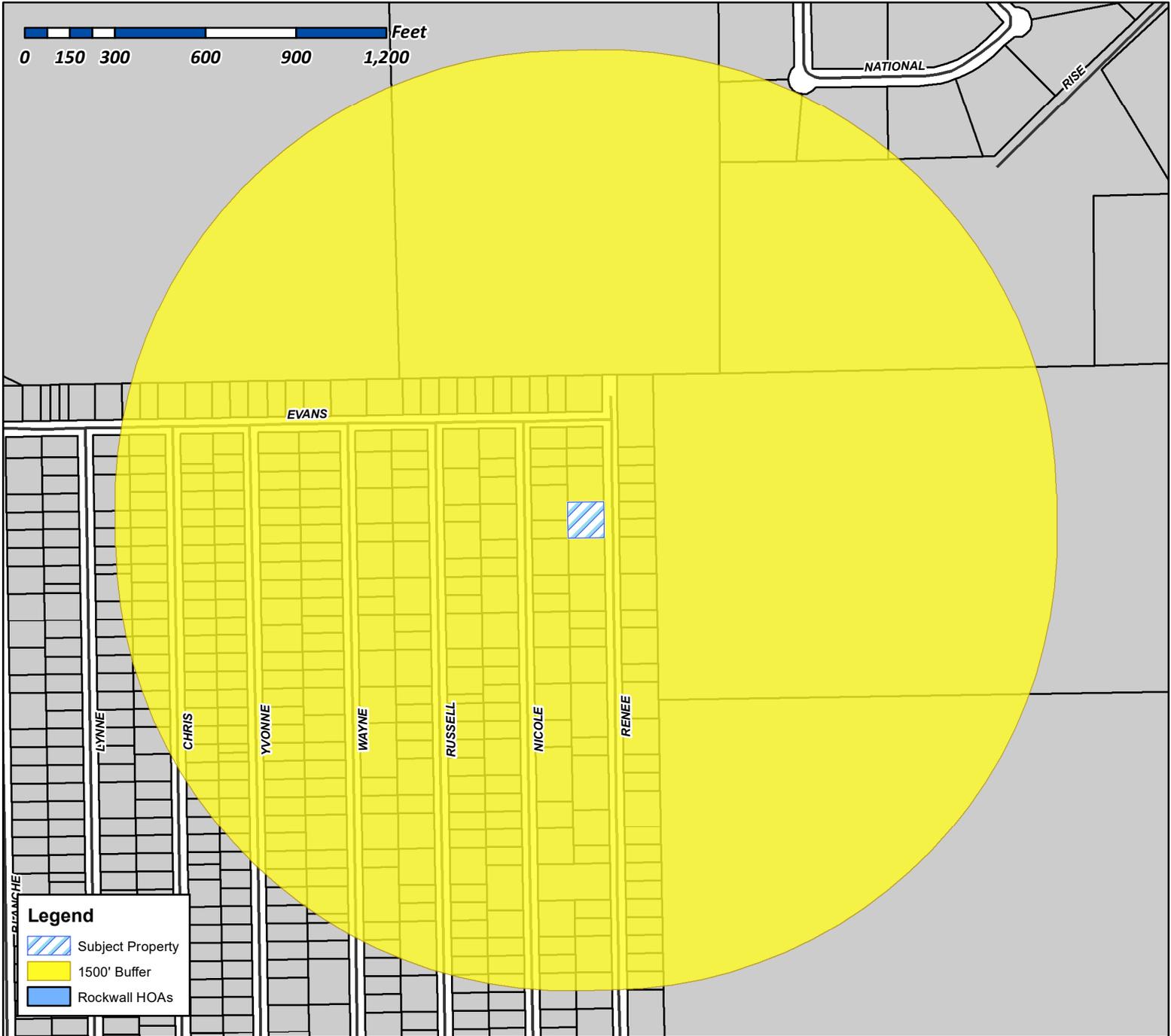
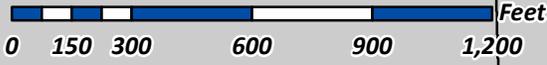




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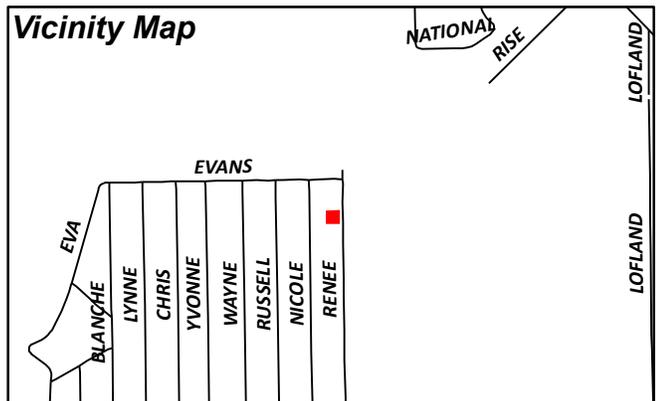
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Case Number: Z2021-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 478 Renee Drive

Date Created: 10/18/2021
For Questions on this Case Call (972) 771-7745

Vicinity Map

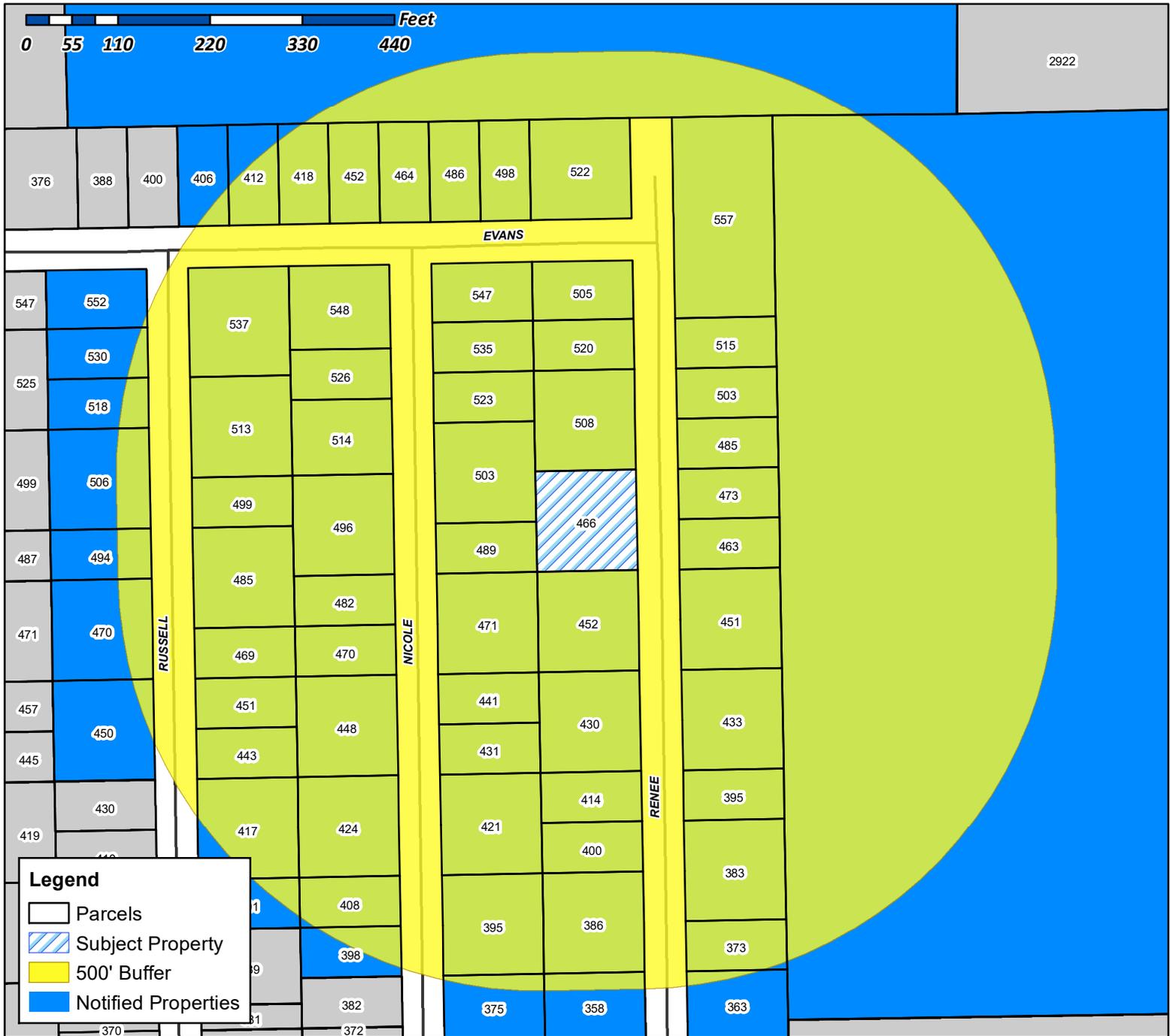




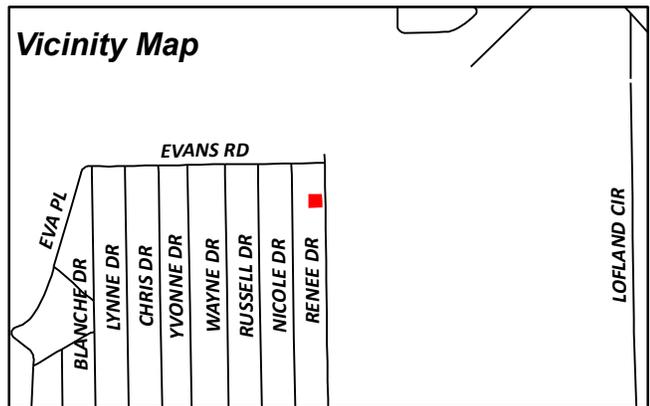
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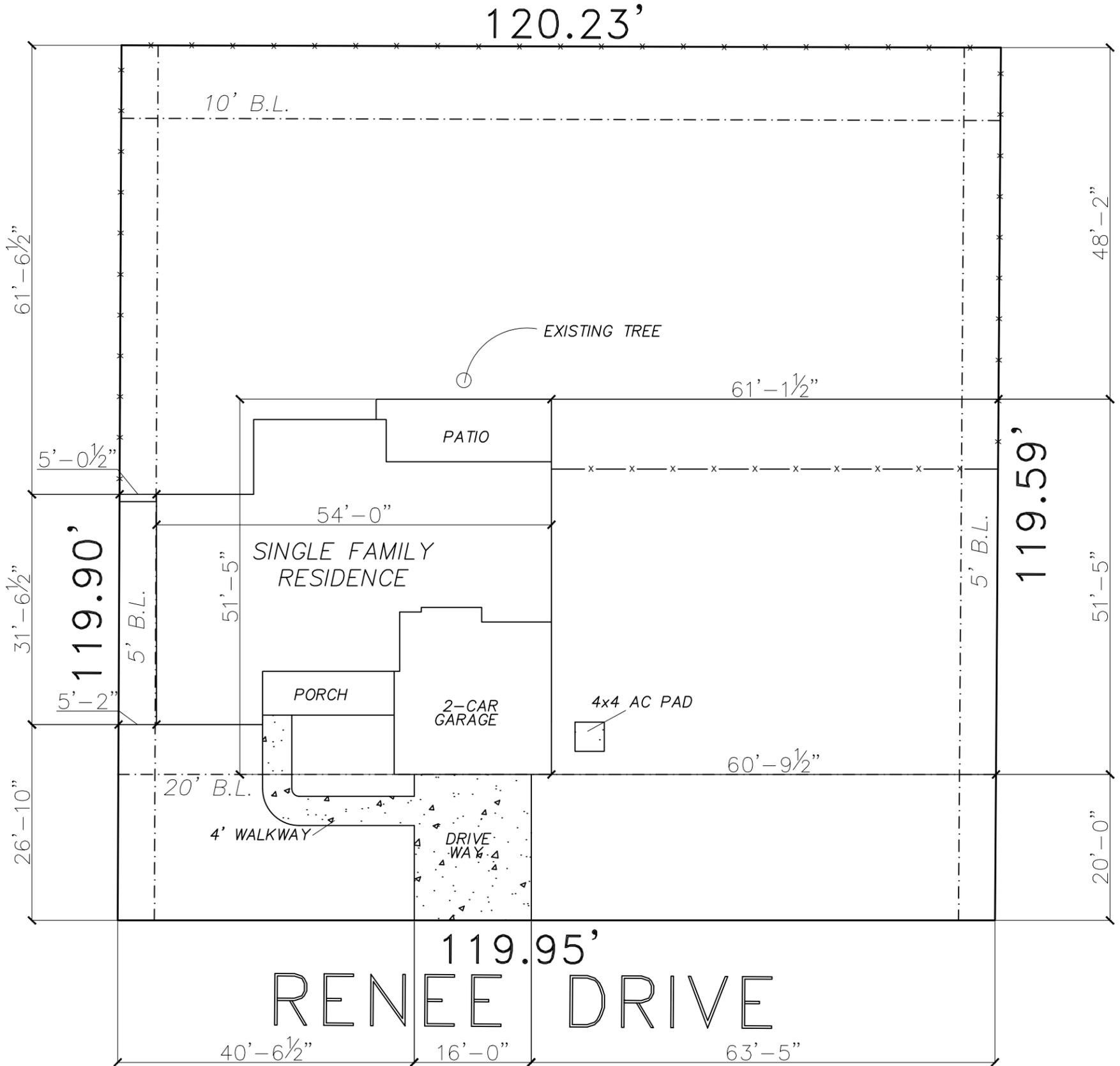


NORTH
SCALE: 1' = 16'-0"

AREA CALCULATIONS

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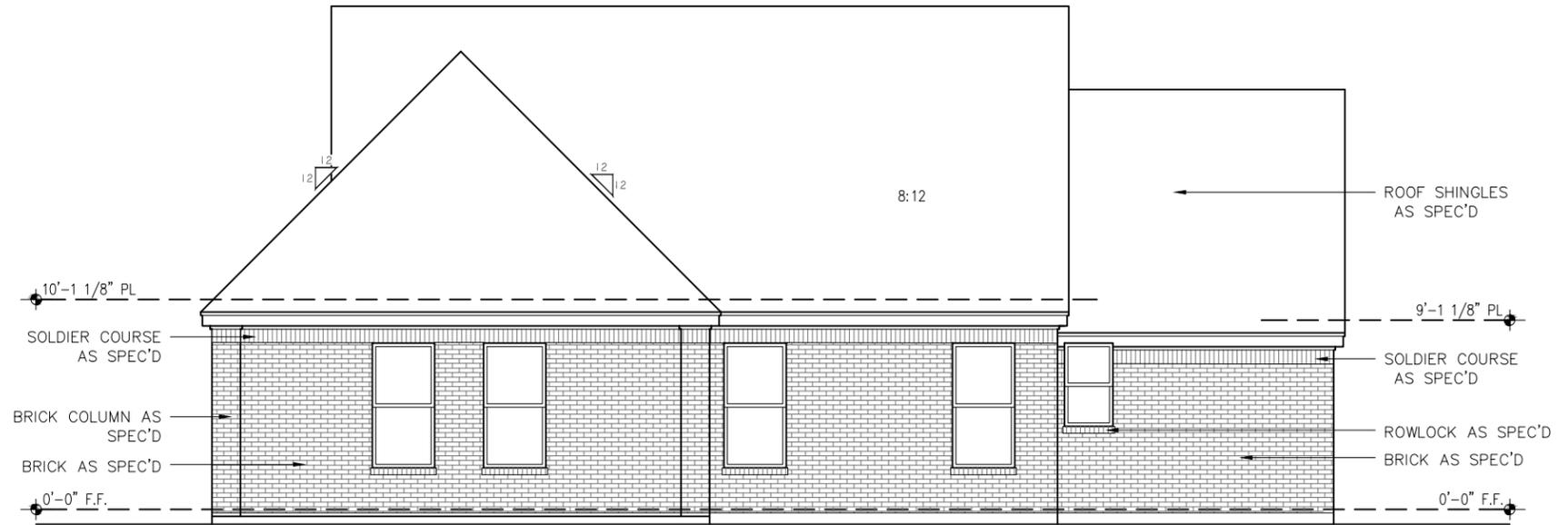
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CUSTOMER SIGNATURE: _____
DATE: _____
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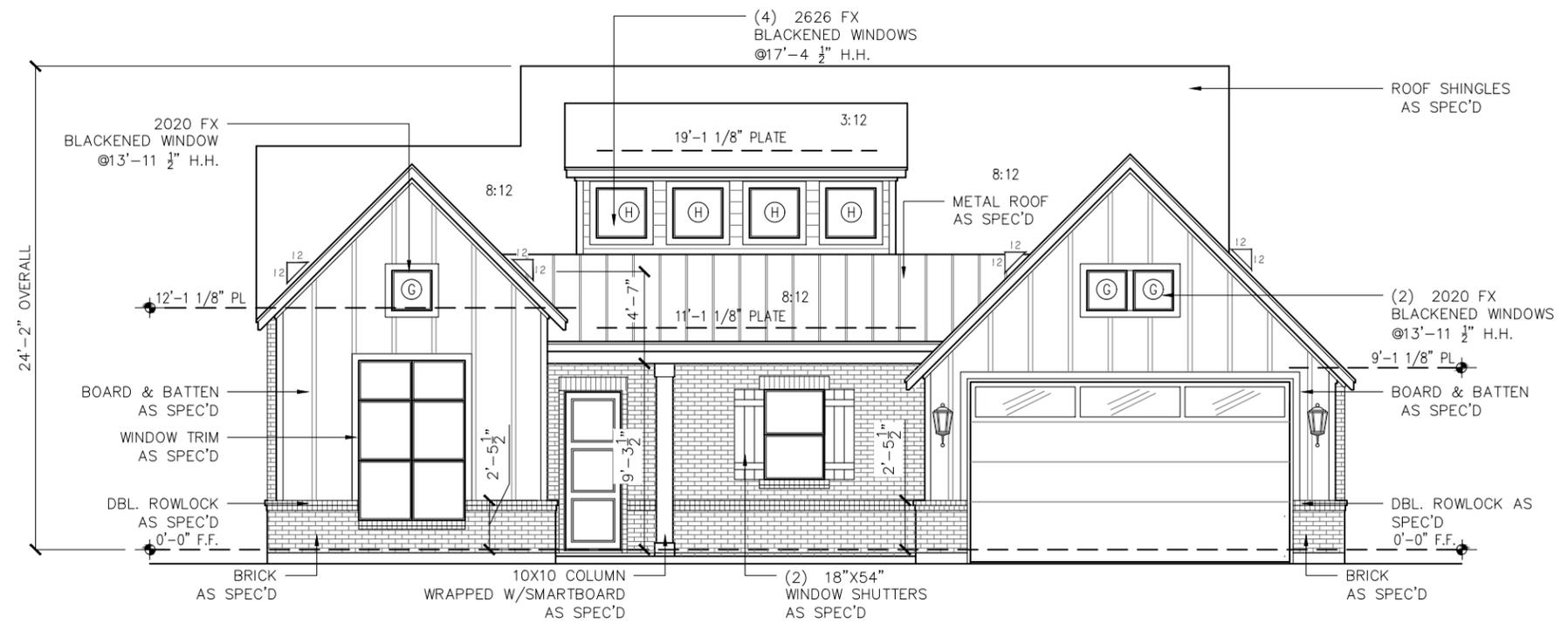
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BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021	DDS GROUP
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A	
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL	
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	PLOT PLAN SP1
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY DSGG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.	

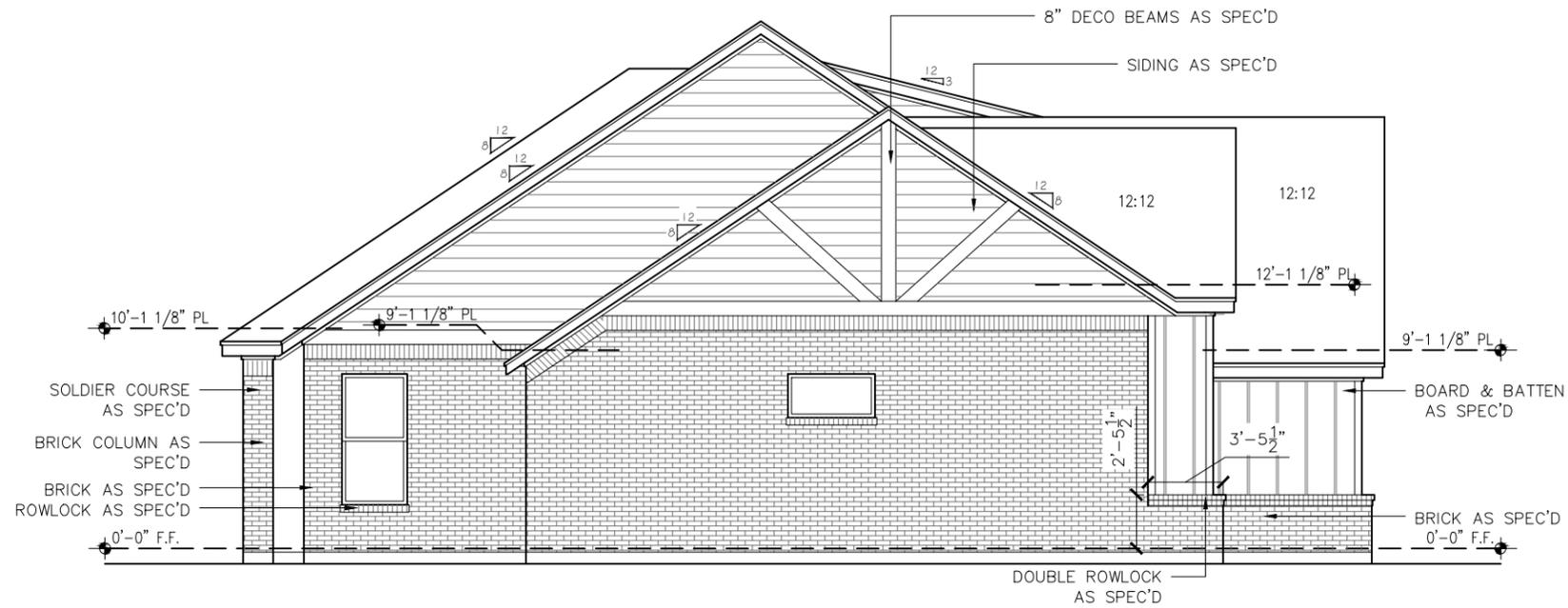


1 PROPOSED REAR ELEVATION
 SCALE: 1/8" = 1'-0"

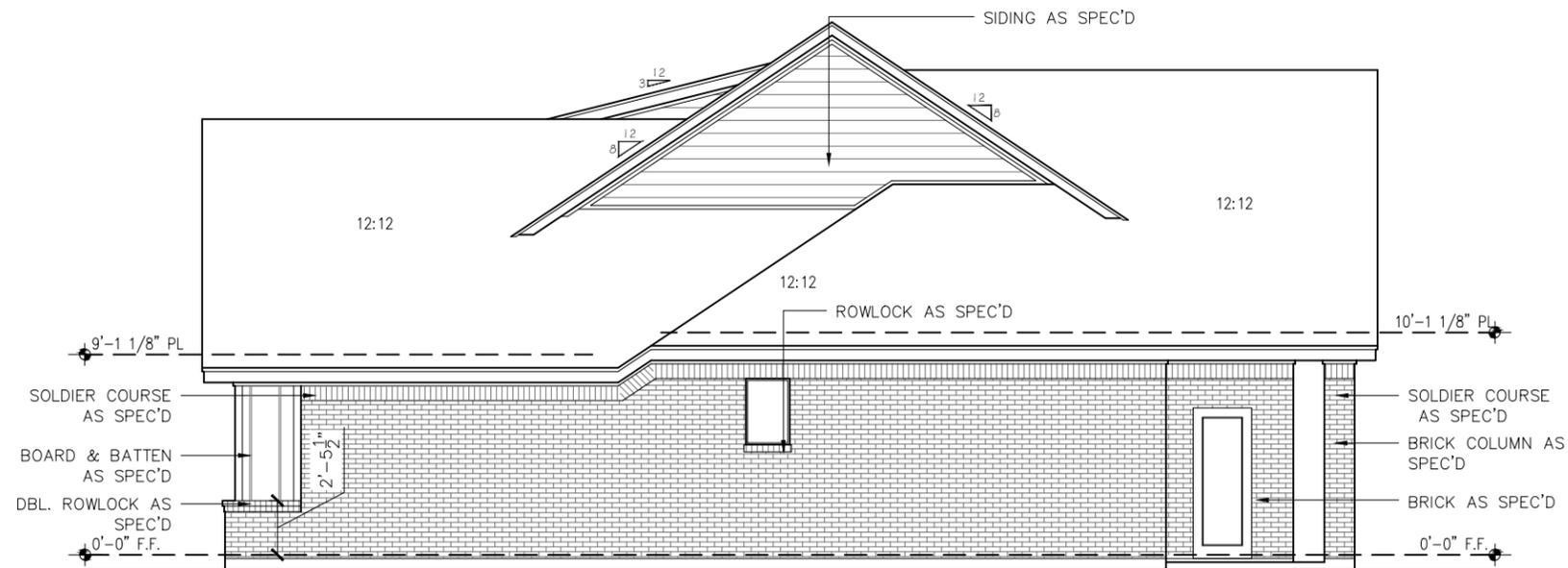
MASONRY CALCULATIONS				
AREA	SIDING	%SDNG.	MASON.	%MAS.
REAR	124 SF	26.1%	351 SF	73.9%
FRONT	273 SF	46.3%	316 SF	53.7%
LEFT	172 SF	25.0%	517 SF	75.0%
RIGHT	79 SF	17.5%	373 SF	82.5%
TOTAL	648 SF	29.4%	1,557 SF	70.6%
TOTAL STONE	46 SF			
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				



2 PROPOSED FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
3. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
4. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
5. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
6. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
7. U.N.O. ALL DOORS TO BE 6'-8."
8. U.N.O. ALL ANGLED WALLS TO BE AT 45 DEGREES.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
10. ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
11. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS: 8' PLATE: 6'-10", 9' PLATE: 7'-10", 10' PLATE: 8'-10"
12. "CORNERS" AND "T'S" SHALL BE TRUE, NOT CALIFORNIA STYLE.
13. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
14. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
15. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
16. PROVIDE FIRE-RATED SHEETROCK AT UTILITY/GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
17. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
18. U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

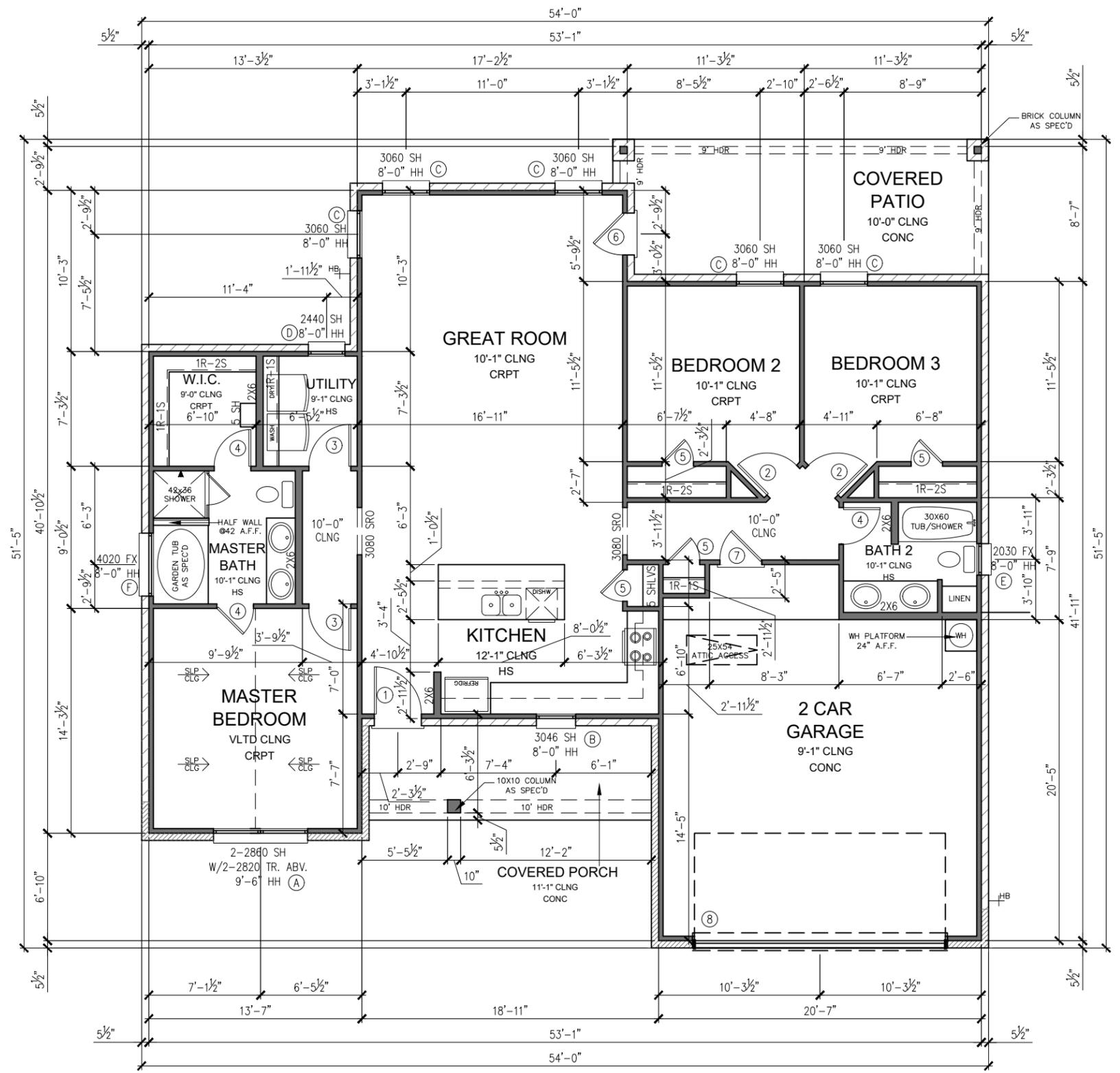
SQUARE FOOTAGE TABLE

AREA	MASONRY
FLOOR PLAN	1,529 SF
TOTAL LIVING	1,529 SF
GARAGE	477 SF
FRONT PORCH	108 SF
PATIO	198 SF
TOTAL COMBINED	2,312 SF
TOTAL SLAB	2,312 SF

MASONRY LEGEND



WALL LEGEND



WINDOW SCHEDULE

LETTER	QUANTITY	TYPE	DESCRIP.
A	1	2-2868	VINYL 3 STAR ENERGY - SH W/2820 TRANSFORM ABV.
B	1	3046	VINYL 3 STAR ENERGY - SINGLE HUNG
C	5	3060	VINYL 3 STAR ENERGY - SINGLE HUNG
D	1	2440	VINYL 3 STAR ENERGY - SINGLE HUNG
E	1	3030	VINYL 3 STAR ENERGY - FIXED OPQ
F	1	4020	VINYL 3 STAR ENERGY - FIXED OPQ
G	3	2020	VINYL 3 STAR ENERGY - FIXED OPQ
H	4	2626	VINYL 3 STAR ENERGY - FIXED OPQ

DOOR SCHEDULE

NUMBER	QUANTITY	TYPE	DESCRIP.
1	1	3080	EXTERIOR ENTRY DOOR
2	2	2668	INTERIOR
3	2	2868	INTERIOR
4	3	2468	INTERIOR
5	4	2068	INTERIOR
6	1	2868	EXTERIOR 1-LT
7	1	2868	EXTERIOR INSULATED DOOR
8	1	16080	GARAGE OHD DOOR

1 PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



DDS GROUP
123 W. MAIN ST. #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM 214-966-0550
SERVICES@DDSGROUP.COM 469-999-0800

DESIGNER:
DDSG-JO

PROJECT #:

478 RENEE DRIVE
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A1

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 10/22/2021

PROJECT NUMBER: Z2021-044
PROJECT NAME: SUP for Residential Infill at 478 Renee
SITE ADDRESS/LOCATIONS: 478 RENEE DR, ROCKWALL, 75032

CASE MANAGER: Andrew Reyna
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: areyna@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Andrew Reyna	10/19/2021	Approved w/ Comments

10/15/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.330-acre parcel of land identified as Lot 1401 & 1402 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75(PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive.

I.2 For questions or comments concerning this case please contact Andrew Reyna in the Planning Department at (972) 772-6488 or email areyna@rockwall.com

M.3 For reference, include the case number (Z2021-044) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 Please review the attached Draft Ordinance prior to the October 26, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than November 2, 2021.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on November 2, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the November 9, 2021 Planning and Zoning Commission regular meeting.

I.8 The Planning and Zoning Commission work session meeting for this case will be held on October 26, 2021. The Planning & Zoning regular meeting will be held November 9, 2021.

I.9 The projected City Council meeting dates for this case will be November 15, 2021 [1st Reading] and December 6, 2021 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	10/21/2021	Approved w/ Comments
10/21/2021: M - Need to plumb additional sewer to the front for future connection I - Need driveway Culvert for the building permit. To be signed and sealed by Engineer, (to include: Drainage Area Map, Calcs, Culvert plan and profile.)			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	10/21/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	10/20/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	10/18/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Andrew Reyna	10/22/2021	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	10/19/2021	Approved
10/19/2021: No comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 478 RENEW DR ROCKWALL, TX
 SUBDIVISION Rockwall Lake Properties LOT 1405, 1406 BLOCK
 GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE
PROPOSED ZONING	PROPOSED USE
ACREAGE	LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER <u>Alex Flores</u>	<input type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON
ADDRESS <u>1650 John King Blvd APT 3710</u>	ADDRESS
CITY, STATE & ZIP <u>Rockwall, TX 75032</u>	CITY, STATE & ZIP
PHONE <u>(469) 534-5809</u>	PHONE
E-MAIL <u>afchomes75@gmail.com</u>	E-MAIL

NOTARY VERIFICATION [REQUIRED]

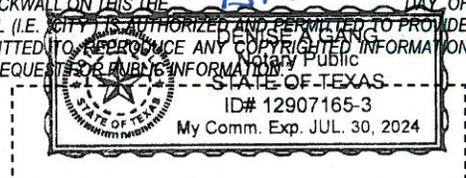
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alex Flores [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 515.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF October, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October, 20 21

OWNER'S SIGNATURE Alex Flores

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



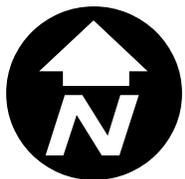
MY COMMISSION EXPIRES July 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

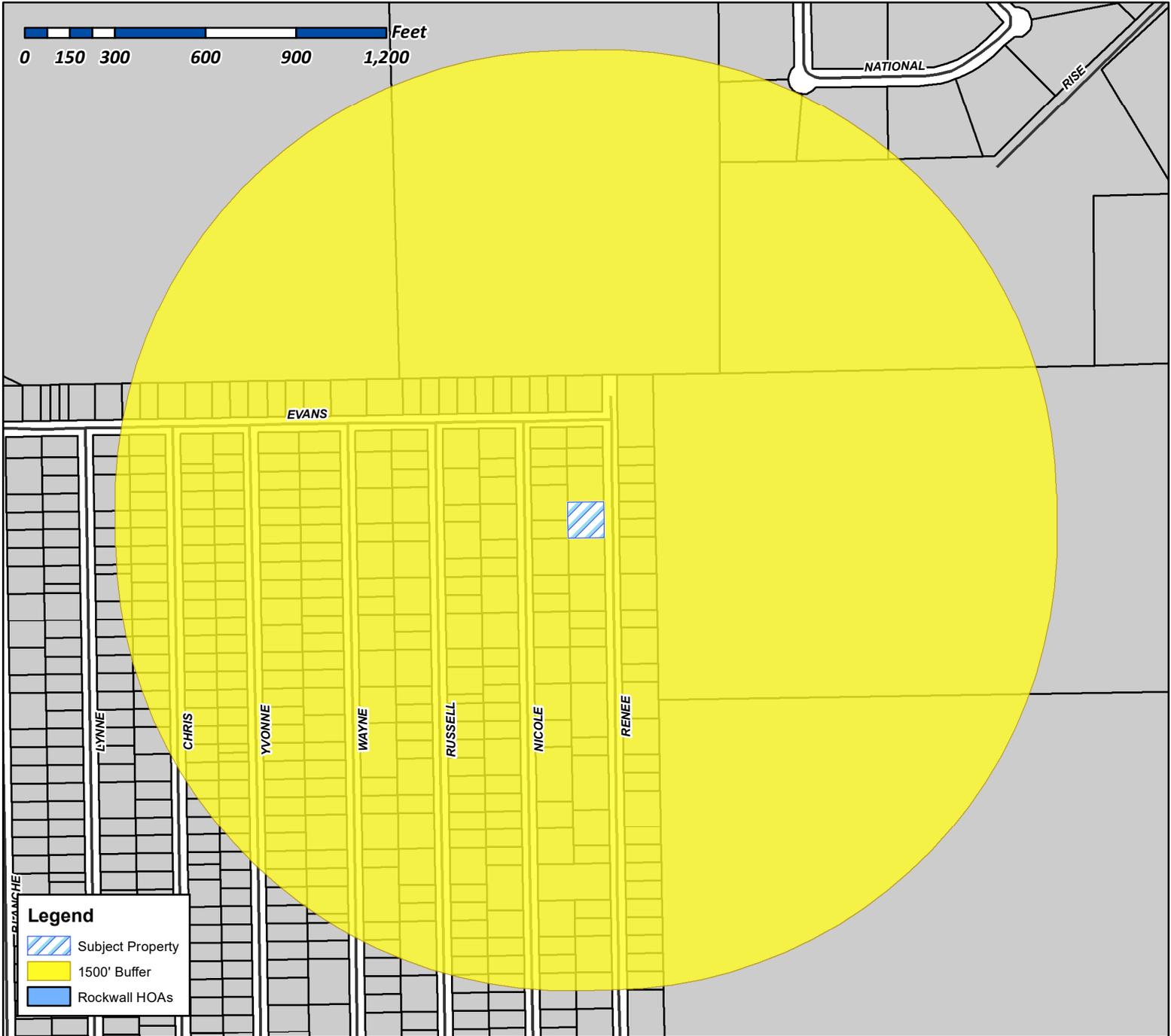
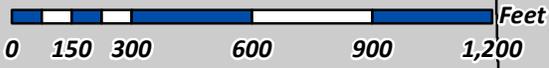




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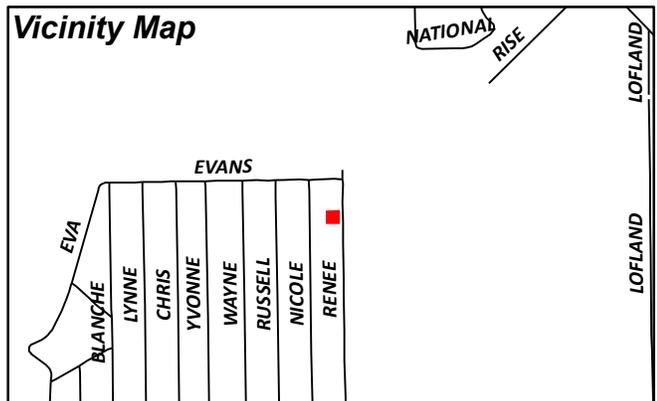
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Case Number: Z2021-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 478 Renee Drive

Date Created: 10/18/2021
For Questions on this Case Call (972) 771-7745

Vicinity Map

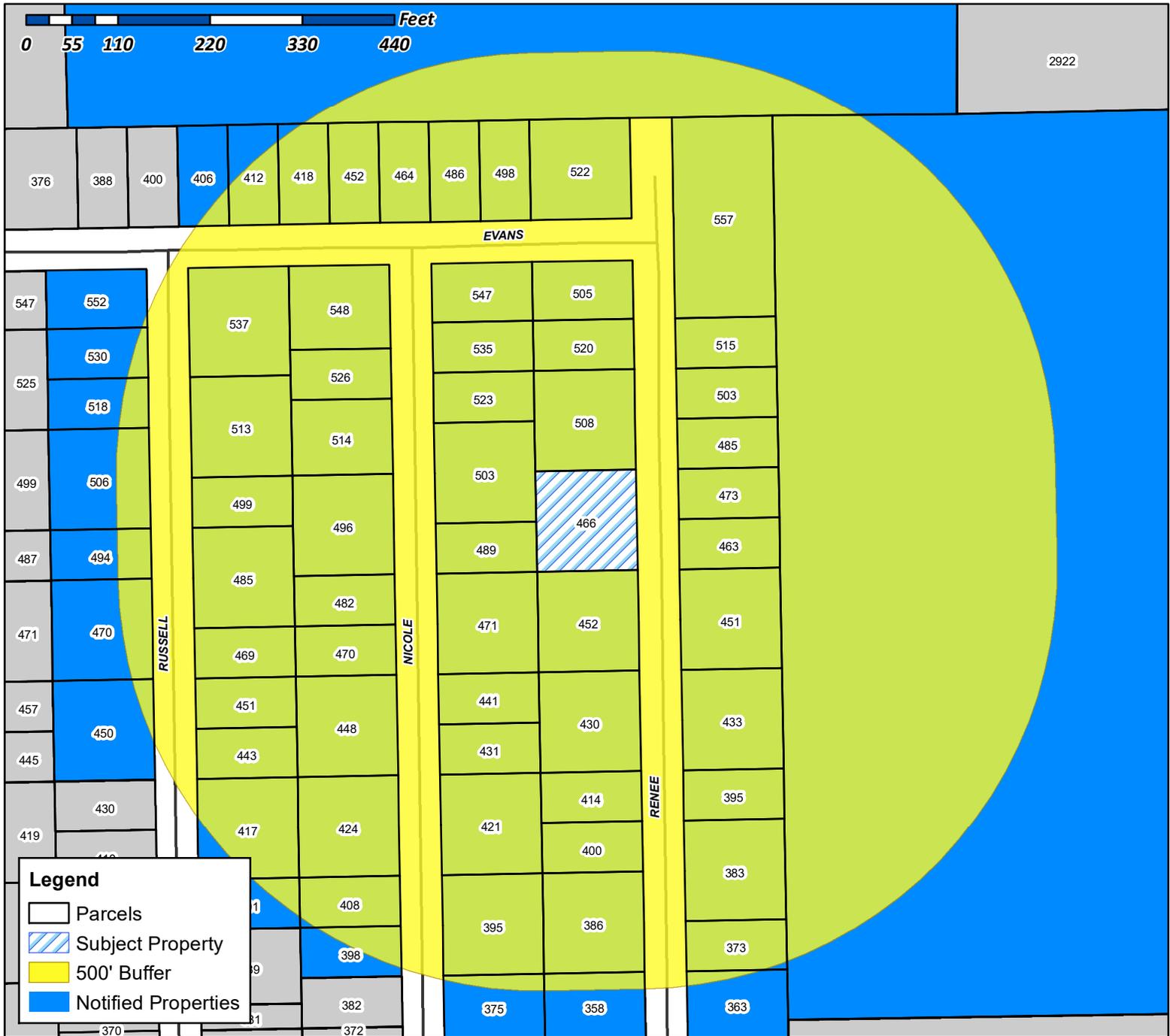




City of Rockwall

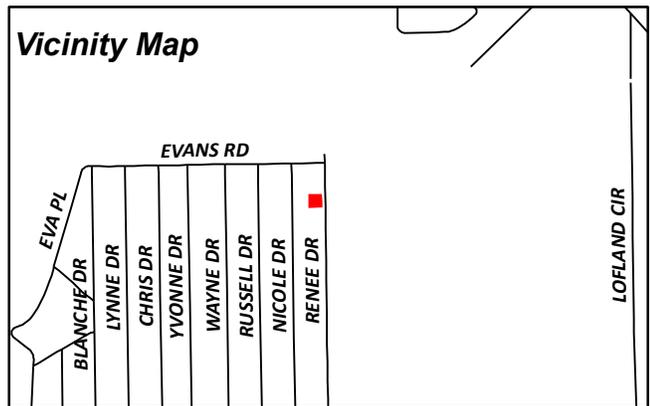
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SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OLIVARES JAIME B & MARTINA G
1209 QUAIL DR
GARLAND, TX 75040

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

FLORES ALEJANDRO
1950 JOHN KING BLVD APT 3710
ROCKWALL, TX 75032

LOPEZ JOSE CARMONA
221 NICOLE
ROCKWALL, TX 75032

ESPARZA MARCO A
312 RENEE DR
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
321 PANOLA CT
ROYSE CITY, TX 75189

YANEZ ALONSO TORRES
358 RENEE DR
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
363 RENEE DR
ROCKWALL, TX 75032

BARRIENTOS ERIKA
3701 W. ROCHELLE RD
IRVING, TX 75062

MCINTIRE JUANITA
373 RENEE DR
ROCKWALL, TX 75032

MCCLOUD JOY ANN
375 NICOLE DR
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
383 LAKESIDE DR
ROCKWALL, TX 75032

ESPARZA MARCO A
383 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME B & MARTINA G
386 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO AND ORALIA VARGAS
395 NICOLE DR
ROCKWALL, TX 75087

GUTIERREZ EFREN
395 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO & ORALIA
398 NICOLE DR
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
400 RENEE DR
ROCKWALL, TX 75032

MUNROE MYLES DR
BAHAMAS FAITH MINISTRIES INTER
401 RUSSELL DR
ROCKWALL, TX 75032

GAMEZ PETRA K MARTINEZ
406 EVANS
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
408 NICOLE
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING
412 EVANS RD
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
414 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ALFREDO GUEVARA
417 RUSSELL DR
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING
418 EVANS RD
ROCKWALL, TX 75032

DELGADO FRANCISCO PEREZ &
GUADALUPE PEREZ
421 NICOLE DR
ROCKWALL, TX 75032

LOPEZ JOSE CARMONA
424 NICOLE
ROCKWALL, TX 75032

LOPEZ SILVIA
430 RENEE DR
ROCKWALL, TX 75032

DRCE TRUST
431 NICOLE DR
ROCKWALL, TX 75032

GUTIERREZ EFREN
433 RENEE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

DRCE TRUST
441 NICOLE DR
ROCKWALL, TX 75032

GALLEGOS JOSE ISMAEL OLVERA
443 RUSSELL DR
ROCKWALL, TX 75032

GALLEGOS JOSE ISMAEL OLVERA
448 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
448 NICOLE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
450 RUSSELL DR
ROCKWALL, TX 75032

WHEELER JANIS & KEVIN M
451 RENEE DR
ROCKWALL, TX 75032

BARRIENTOS ERIKA
451 RUSSELL DR
ROCKWALL, TX 75032

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
452 EVANS RD
ROCKWALL, TX 75032

VERA MIGUEL & GUADALUPE
452 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
463 RENEE DR
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
464 EVANS RD
ROCKWALL, TX 75032

FLORES ALEJANDRO
466 RENEE DR
ROCKWALL, TX 75032

SOSA LORENA
469 RUSSELL DRIVE
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
470 NICOLE
ROCKWALL, TX 75032

JIMENEZ LEONARDO
470 RUSSELL DR
ROCKWALL, TX 75032

MONTALVO ABRAHAM JESUS
471 NICOLE DRIVE
ROCKWALL, TX 75032

YANEZ ALONSO TORRES
473 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
482 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
485 RENEE DR
ROCKWALL, TX 75032

TELL MARK ALLEN
485 RUSSELL DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
486 EVANS RD
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
489 NICOLE DR
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL LOT 1252
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
496 NICOLE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
498 EVANS RD
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
503 RENEE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR
ROCKWALL, TX 75032

VALDEZ JOSE G
508 RENEE DR
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA
513 RUSSELL DR
ROCKWALL, TX 75032

DIAZ-ALMARAZ CARLOS OMAR
514 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
515 RENEE DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
518 RUSSELL DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
520 RENEE DR
ROCKWALL, TX 75032

JIMENEZ LEONARDO
5201 KELSO LN
GARLAND, TX 75043

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

PEREZ REYNA JUAN MARTIN
526 NICOLE
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
535 NICOLEDR
ROCKWALL, TX 75032

OBRIEN ELLEN K
537 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS
552 RUSSELL DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
557 RENEE DR
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ
703 TOWNSEND DR
ROCKWALL, TX 75087

VINE CONSTRUCTION AND ROOFING
7331 WESTER WAY
DALLAS, TX 75248

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

MUNROE MYLES DR
BAHAMAS FAITH MINISTRIES INTER
P O BOX N-9583
NASSAU, BAHAMAS,

DRCE TRUST
PO BOX 2051
DEL MAR, CA 92014

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-044: SUP for Residential Infill at 478 Renee Drive

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Andrew Reyna
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-044: SUP for Residential Infill at 478 Renee Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

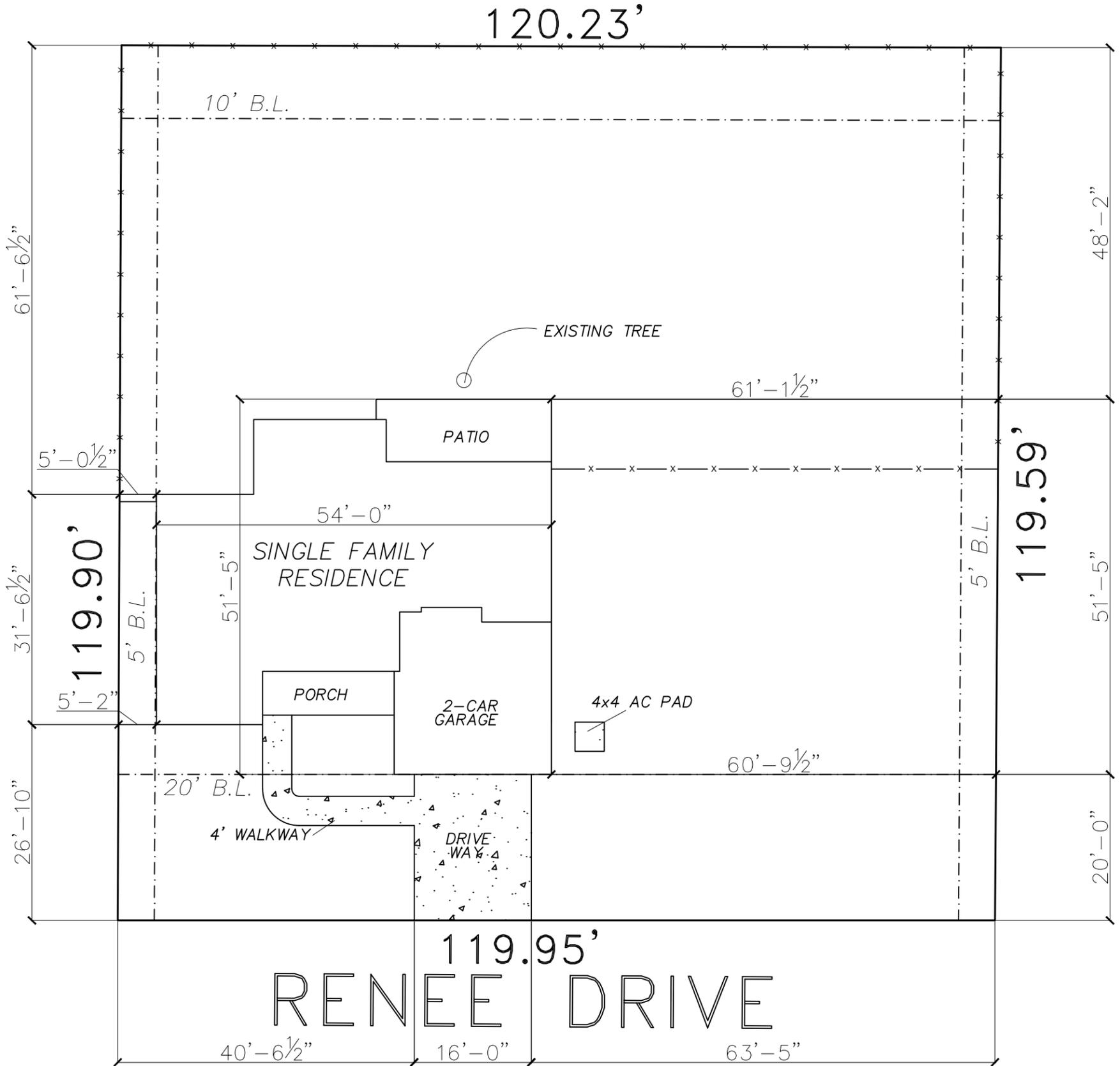


NORTH
SCALE: 1' = 16'-0"

AREA CALCULATIONS

LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE.	2769 SF
% TOTAL IMP. COVERAGE.	19.3 % COVERAGE
DRIVEWAY COVERAGE	320 SF
% DRIVEWAY COVERAGE	2.2 % COVERAGE
WALKWAY COVERAGE	122 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.11 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF

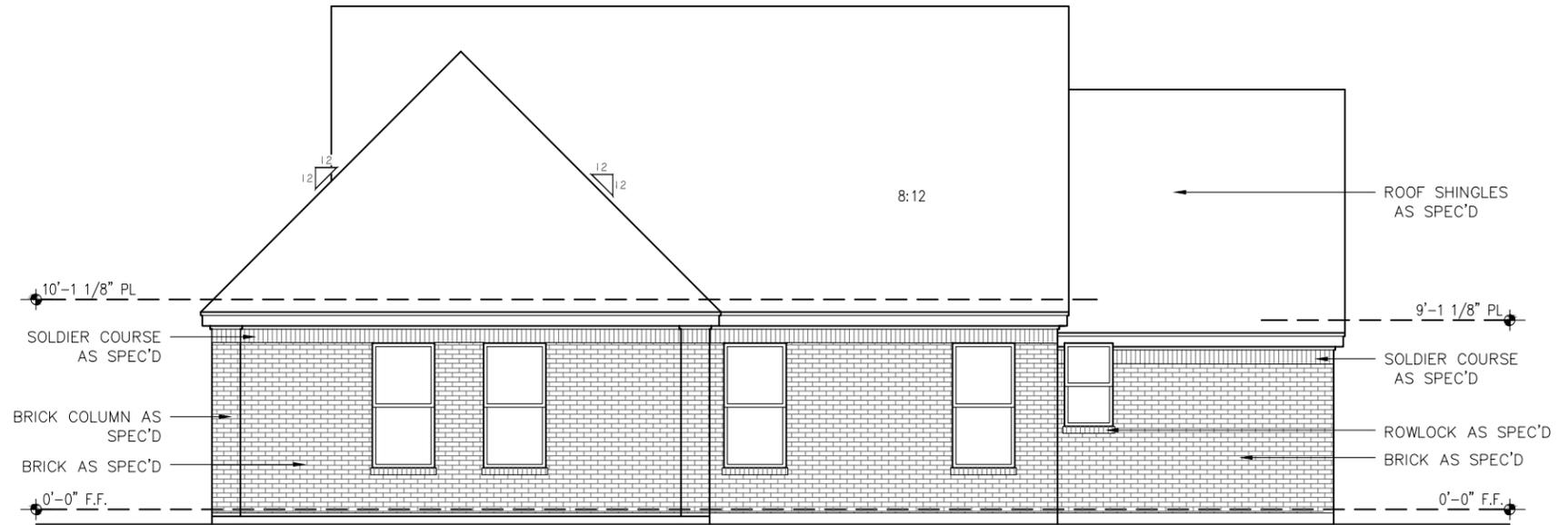
* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____
 DATE: _____
 NOTES: _____

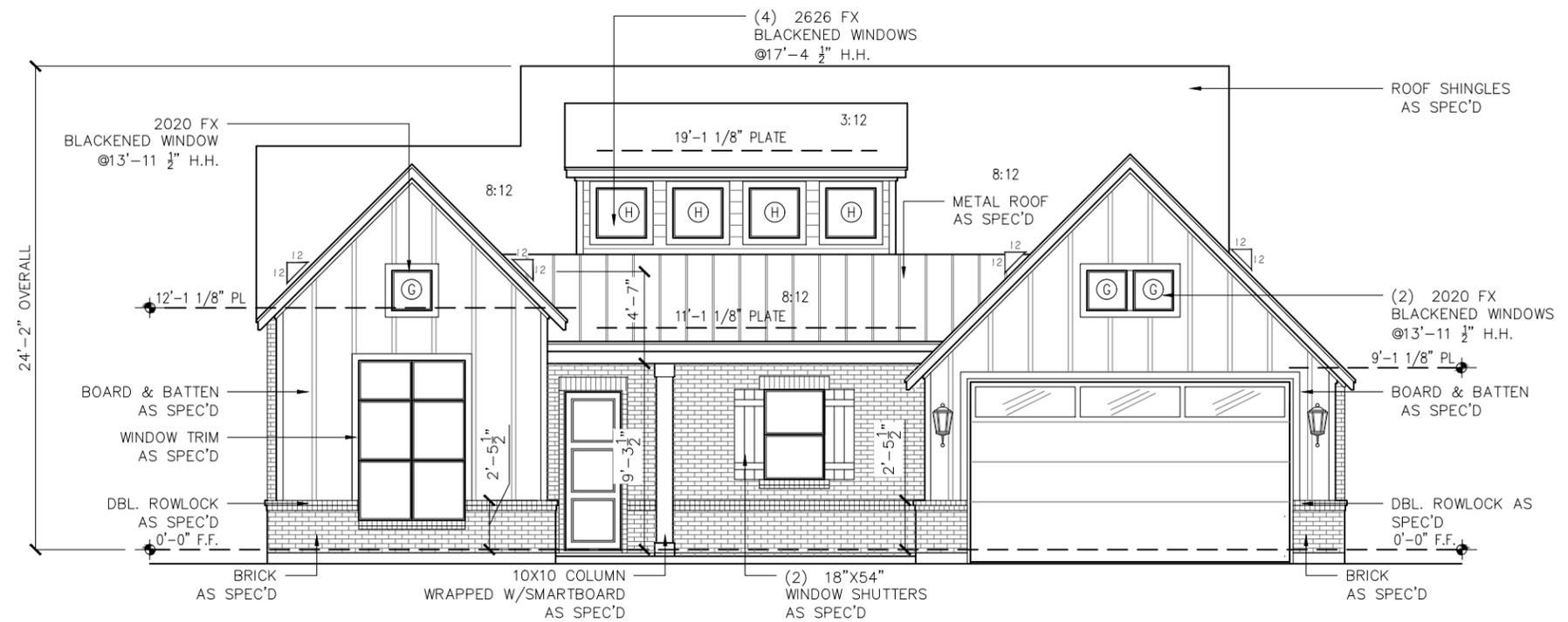
LEGEND	- DRAINAGE FLOW	B.L. - BUILDING LINE
	- PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
	- EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT
	- CURLEX	S.S.E. - SANITARY SEWER EASEMENT
	- RETAINING WALL	T.E. - TRANSFORMER EASEMENT
	- REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT
	- REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT
		M.E. - MAINTENANCE EASEMENT
		V.E. - VISIBILITY EASEMENT
		- EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021	DDS GROUP
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A	
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL	
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY DSGG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.	PLOT PLAN SP1

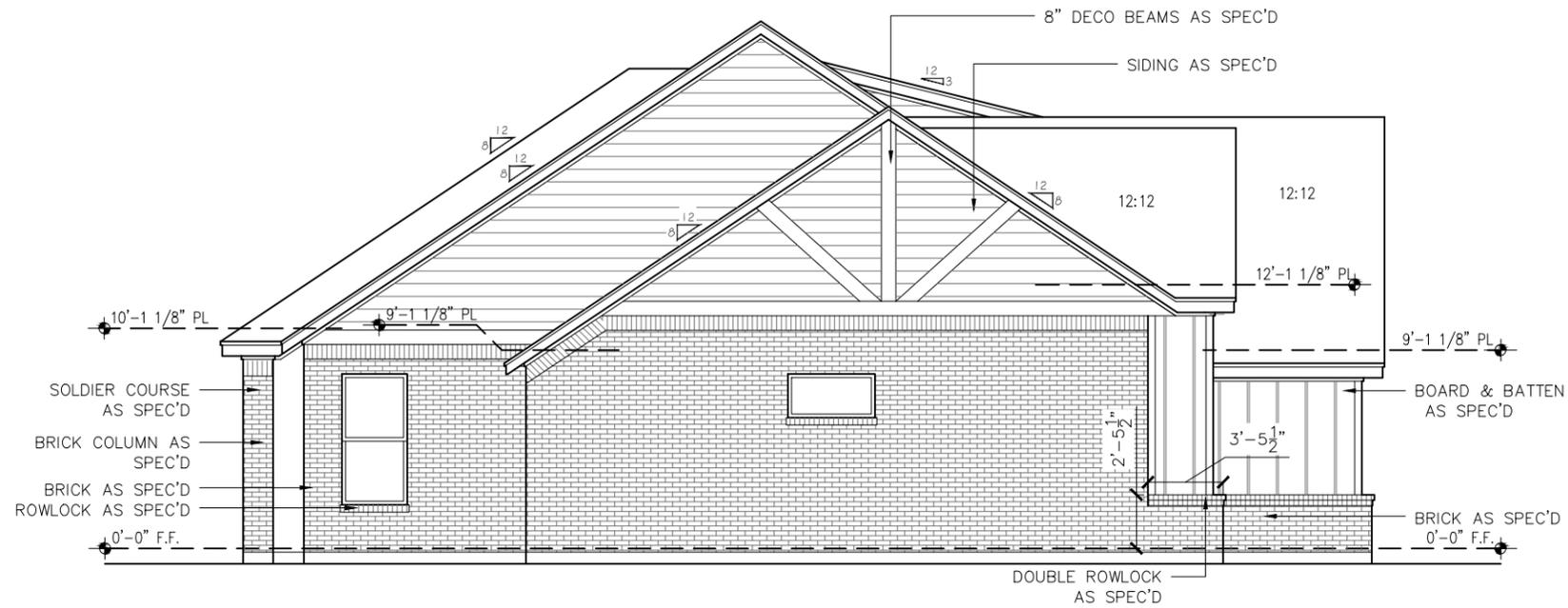


1 PROPOSED REAR ELEVATION
 SCALE: 1/8" = 1'-0"

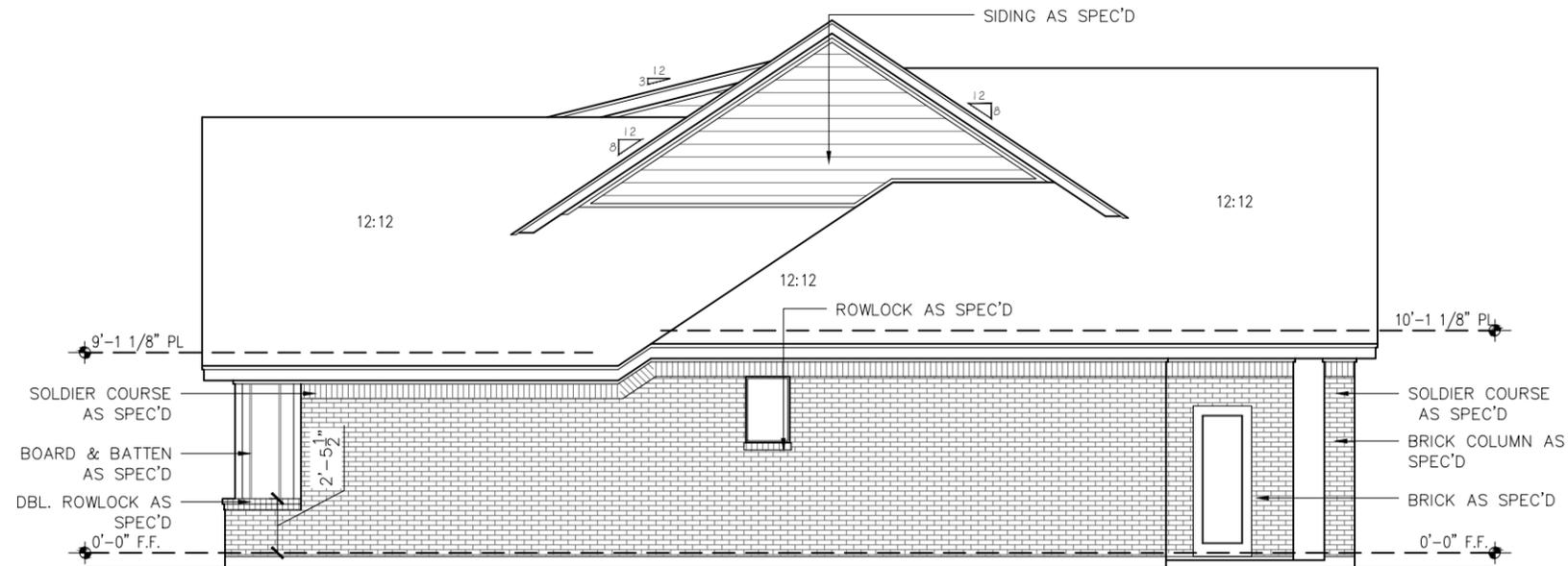
MASONRY CALCULATIONS				
AREA	SIDING	%SDNG.	MASON.	%MAS.
REAR	124 SF	26.1%	351 SF	73.9%
FRONT	273 SF	46.3%	316 SF	53.7%
LEFT	172 SF	25.0%	517 SF	75.0%
RIGHT	79 SF	17.5%	373 SF	82.5%
TOTAL	648 SF	29.4%	1,557 SF	70.6%
TOTAL STONE	46 SF			
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				



2 PROPOSED FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
3. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
4. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
5. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
6. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
7. U.N.O. ALL DOORS TO BE 6'-8."
8. U.N.O. ALL ANGLED WALLS TO BE AT 45 DEGREES.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
10. ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
11. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS: 8' PLATE: 6'-10", 9' PLATE: 7'-10", 10' PLATE: 8'-10"
12. "CORNERS" AND "T'S" SHALL BE TRUE, NOT CALIFORNIA STYLE.
13. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
14. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
15. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
16. PROVIDE FIRE-RATED SHEETROCK AT UTILITY/GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
17. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
18. U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

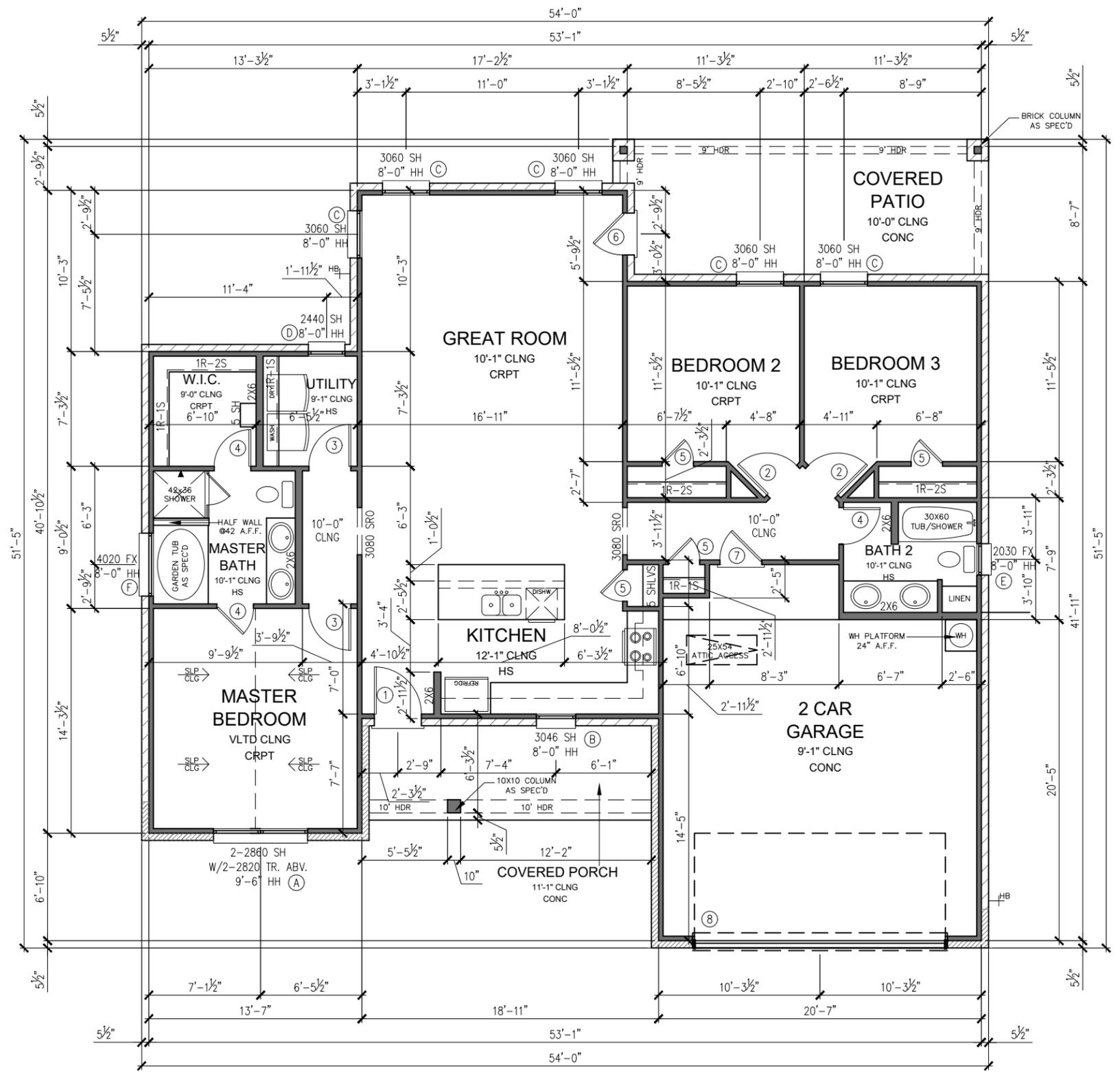
SQUARE FOOTAGE TABLE

AREA	MASONRY
FLOOR PLAN	1,529 SF
TOTAL LIVING	1,529 SF
GARAGE	477 SF
FRONT PORCH	108 SF
PATIO	198 SF
TOTAL COMBINED	2,312 SF
TOTAL SLAB	2,312 SF

MASONRY LEGEND



WALL LEGEND



WINDOW SCHEDULE

LETTER	QUANTITY	TYPE	DESCRIP.
A	1	2-2868	VINYL 3 STAR ENERGY - SH W/2820 TRANSFORM ABV.
B	1	3046	VINYL 3 STAR ENERGY - SINGLE HUNG
C	5	3060	VINYL 3 STAR ENERGY - SINGLE HUNG
D	1	2440	VINYL 3 STAR ENERGY - SINGLE HUNG
E	1	3030	VINYL 3 STAR ENERGY - FIXED OPQ
F	1	4020	VINYL 3 STAR ENERGY - FIXED OPQ
G	3	2020	VINYL 3 STAR ENERGY - FIXED OPQ
H	4	2626	VINYL 3 STAR ENERGY - FIXED OPQ

DOOR SCHEDULE

NUMBER	QUANTITY	TYPE	DESCRIP.
1	1	3080	EXTERIOR ENTRY DOOR
2	2	2668	INTERIOR
3	2	2868	INTERIOR
4	3	2468	INTERIOR
5	4	2068	INTERIOR
6	1	2868	EXTERIOR 1-LT
7	1	2868	EXTERIOR INSULATED DOOR
8	1	16080	GARAGE OHD DOOR

1 PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



DDS GROUP
123 W. MAIN ST. #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM 214-966-0550
SERVICES@DDSGROUP.COM 469-999-0800

DESIGNER:
DDSG-JO

PROJECT #:

478 RENEE DRIVE
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A1

478 Renee Drive: Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
414 Renee Dr.	Modular Home	1980	980	100	Siding
430 Renee Dr.	Modular Home	1980	980	208	Siding
433 Renee Dr.	Modular Home	1988	1400	400	Siding
451 Renee Dr.	Modular Home	1997	1680	300	Siding
452 Renee Dr.	Modular Home	1982	840	240	Siding
473 Renee Dr.	Modular Home	1987	924	300	Siding
485 Renee Dr.	Vacant	N/A	N/A	N/A	N/A
503 Renee Dr.	Vacant	N/A	N/A	N/A	N/A
515 Renee Dr,	Vacant	N/A	N/A	N/A	N/A
508 Renee Dr.	Modular Home	1974	1136	336	Siding
505 Evans Rd.	Single-Family Home	1981	1344	N/A	Wood/Siding
523 Nicole Dr.	Modular Home	1965	1064	N/A	Siding
503 Nicole Dr.	Modular Home	N/A	N/A	364	Siding
489 Nicole Dr.	Modular Home	1988	1200	N/A	Siding
471 Nicole Dr	Modular Home	1997	1680	N/A	Siding
Averages:		1982	1174.22	306.86	

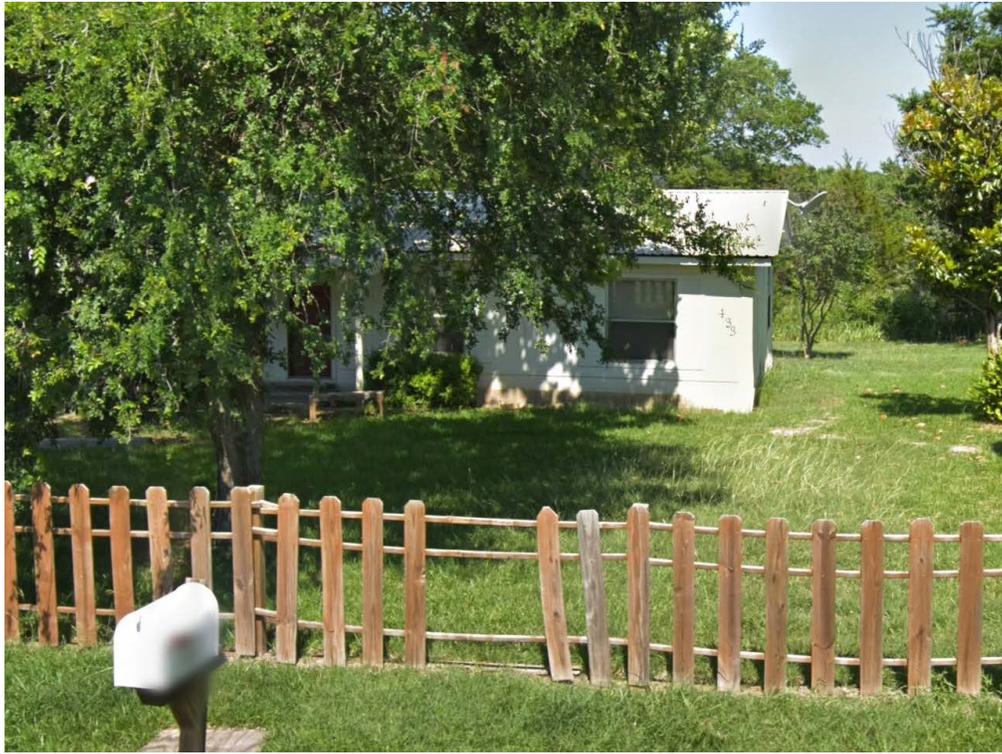
414 Renee Dr.



430 Renee Dr.



433 Renee Dr.



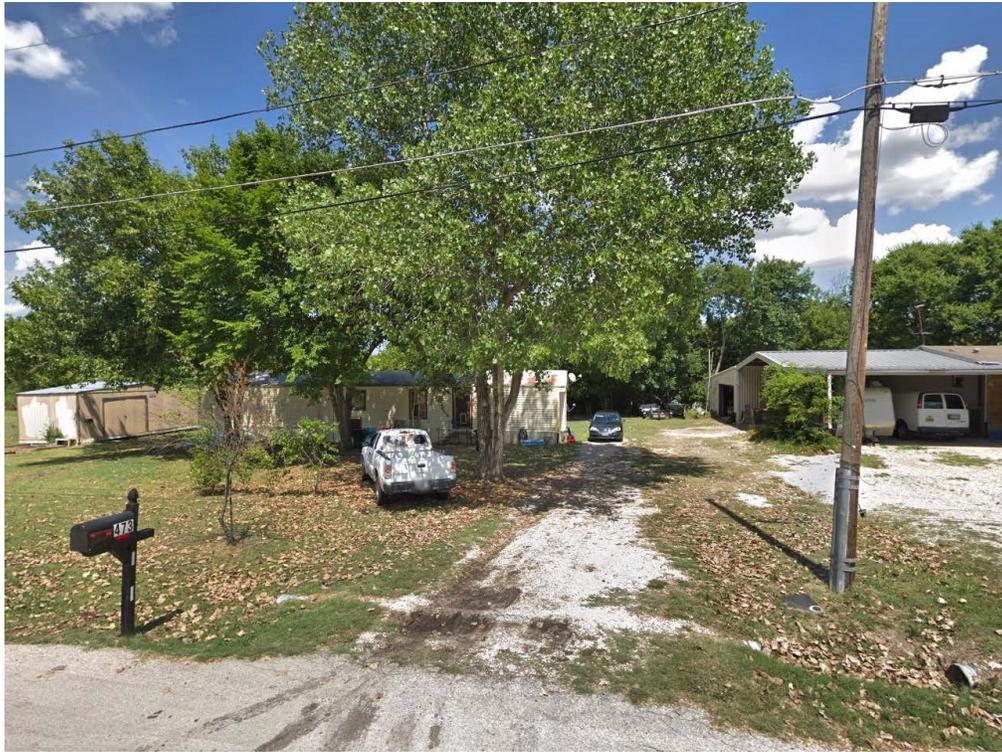
451 Renee Dr.



452 Renee Dr.



473 Renee Dr.



508 Renee Dr.



505 Evans Rd.



523 Nicole Dr.



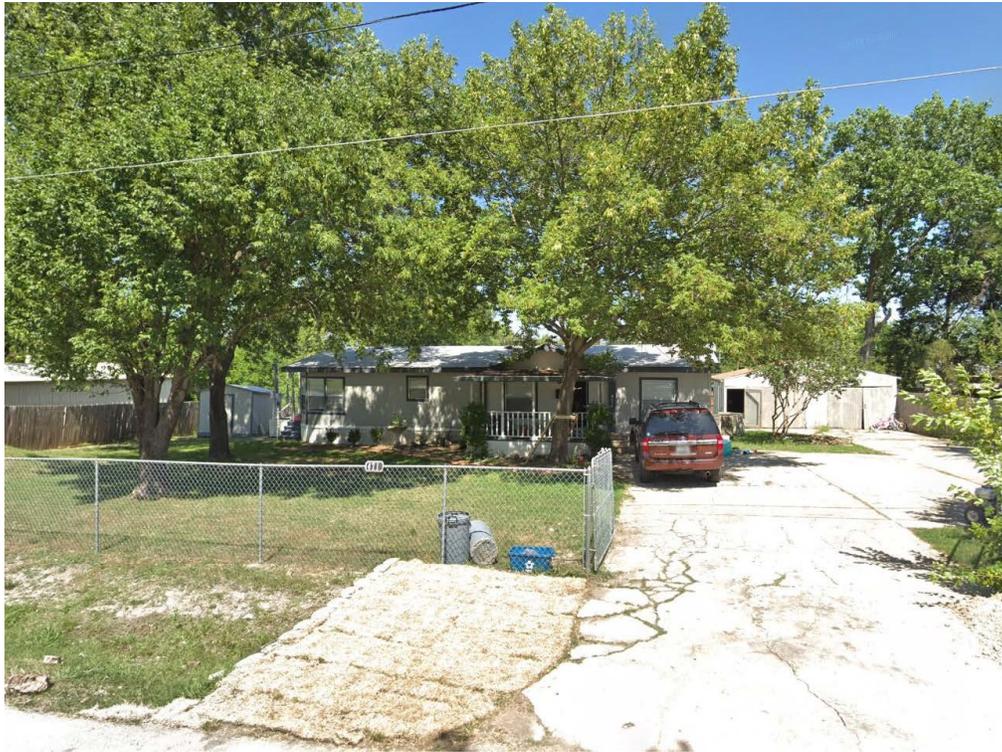
503 Nicole Dr.



489 Nicole Dr.



471 Nicole Dr.



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK M, LAKE ROCKWALL ESTATES EAST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Alex Flores for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home on a 0.33-acre parcel of land identified as Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF DECEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 15, 2021

2nd Reading: December 6, 2021

Exhibit 'A'
Location Map

Address: 478 Renee Drive

Legal Description: Lot 2, Block M, Lake Rockwall Estates East



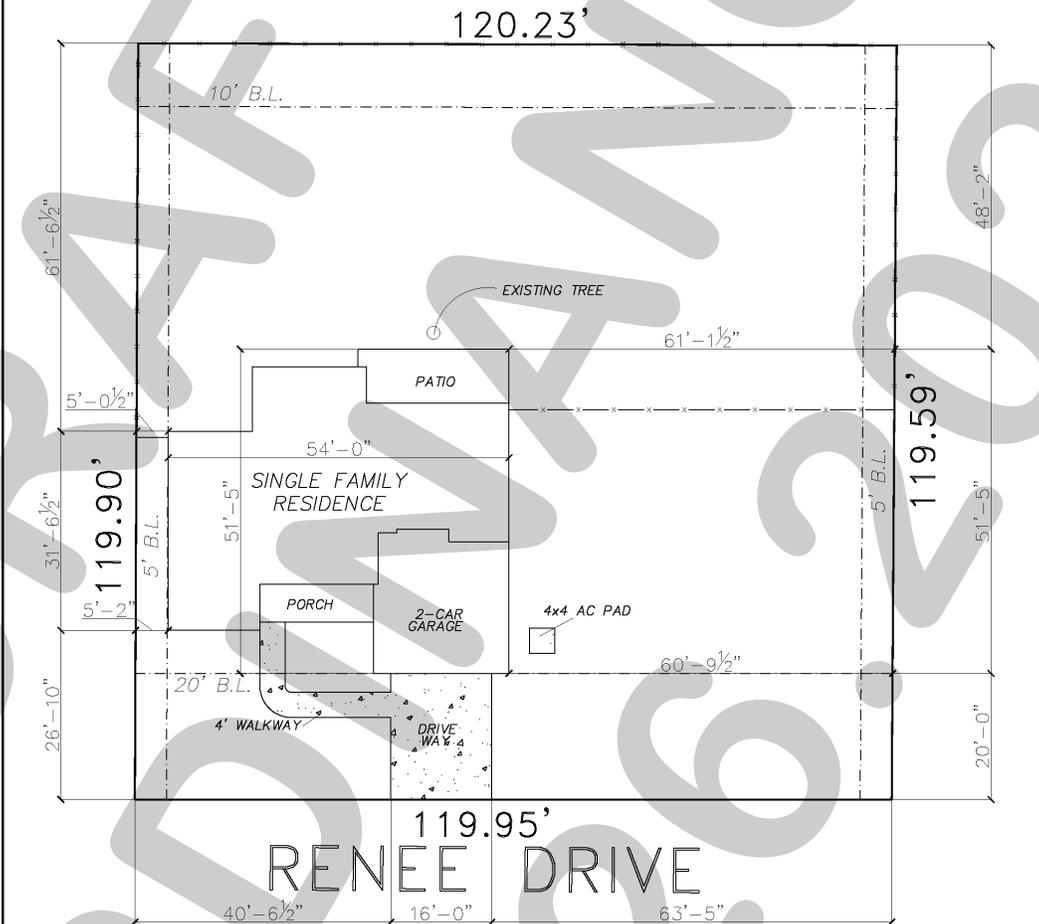
**Exhibit 'B':
Residential Plot Plan**



NORTH
SCALE: 1" = 16'-0"

AREA CALCULATIONS	
LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE	2769 SF
% TOTAL IMP. COVERAGE	19.3 % COVERAGE
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SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	- DRAINAGE FLOW
	- PROPOSED FENCE
	- EXISTING FENCE
	- CURLEX
	- RETAINING WALL
	- REQUIRED TREE PLANTING
	- REQUIRED BUSH

B.L. - BUILDING LINE	
D.E. - DRAINAGE EASEMENT	
P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT	
T.E. - TRANSFORMER EASEMENT	
U.E. - UTILITY EASEMENT	
W.M.E. - WALL MAINT. EASEMENT	
M.E. - MAINTENANCE EASEMENT	
V.E. - VISIBILITY EASEMENT	
	- EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021	DDS GROUP
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A	
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL	PLOT PLAN SP1
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A		

NOTE: ARCHITECTURAL PLANS TAKE PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY DDSG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THIS RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL PLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. PLATWORK IS ONLY A REPRESENTATION.

**Exhibit 'C':
Building Elevations**

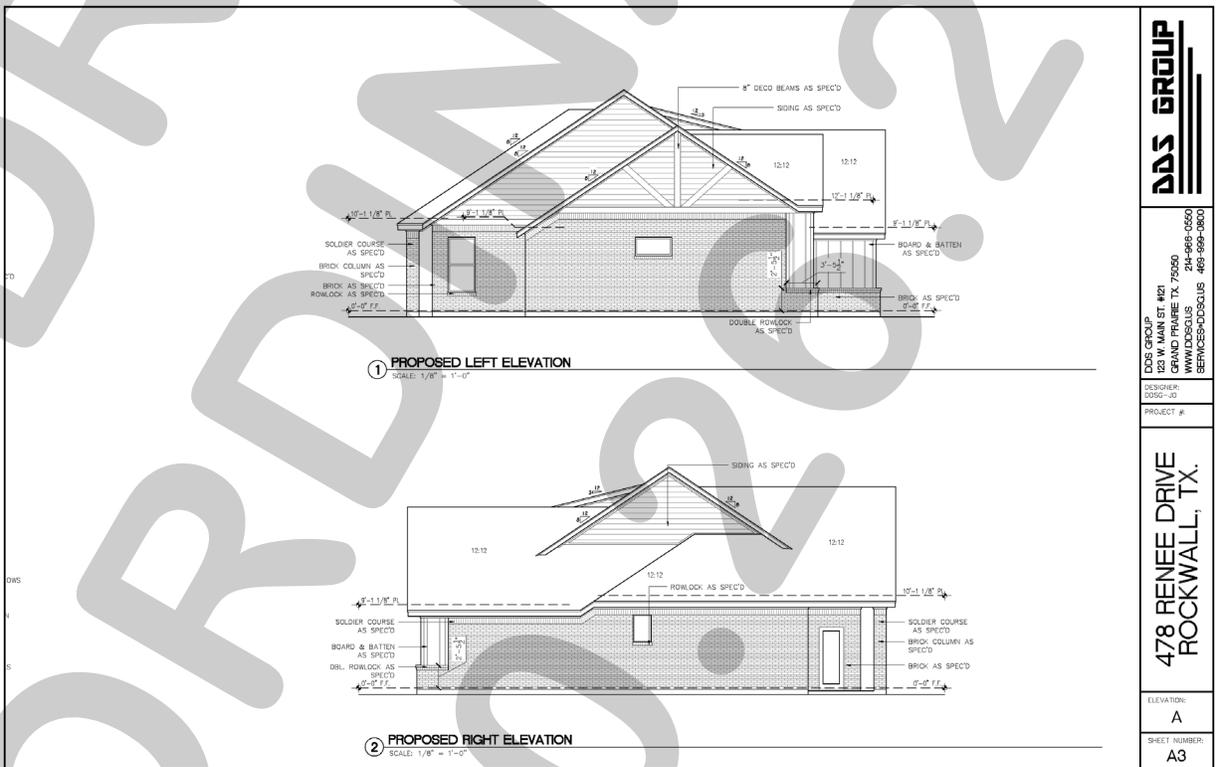


DDS GROUP
123 W MAIN ST. #21
ROCKWALL, TX 75080
WWW.DDSGROUP.COM
214-968-0550
469-669-3800

DESIGNER: DDS-GJ
PROJECT #:

**478 RENEE DRIVE
ROCKWALL, TX.**

ELEVATION: A
SHEET NUMBER: A2



DDS GROUP
123 W MAIN ST. #21
ROCKWALL, TX 75080
WWW.DDSGROUP.COM
214-968-0550
469-669-3800

DESIGNER: DDS-GJ
PROJECT #:

**478 RENEE DRIVE
ROCKWALL, TX.**

ELEVATION: A
SHEET NUMBER: A3



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 9, 2021
APPLICANT: Alex Flores
CASE NUMBER: Z2021-044; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive.

BACKGROUND

The subject property was originally platted as Lot 1406 of the Rockwall Lake Estates #2 Addition. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. On July 6, 2021, the subject property was replatted as Lot 2, Block M, Lake Rockwall Estates East Addition.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 478 Renee Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Evans Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are three (3) residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is a 60.00-acre tract of vacant land (*i.e. Tract 4 of the J. R. Johnson Survey, Abstract No. 128*) that is zoned Agricultural (AG) District.

West: Directly west of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Nicole Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence since prior to 1968, consists of more than five (5) lots, and more than 90% of the developable lots are developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Renee Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Renee Drive and the Subject Property	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face east towards Renee Drive.
Year Built	1965-1997	N/A
Building SF on Property	840 SF – 1,680 SF	1,529 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 20 to 35-Feet	20-Feet
Side	The side yard setbacks are 0 to 33-Feet	5-Feet
Rear	The rear yard setbacks are 10 to 38-Feet	10-Feet
Building Materials	Wood, Metal, & Vinyl Siding	Brick
Paint and Color	Brown, Tan, Blue, White, & Orange	N/A
Roofs	Composite Shingles & Metal	Composite Shingle
Driveways/Garages	Flat-Front Entry, Carports, and Homes without Garages	The garage will be oriented in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i) single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage six (6) feet, ten (10) inches in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past.

With the exception of the garage setback requirements, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed single-family home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Renee Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On October 22, 2021, staff mailed 88 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 478 RENEW DR ROCKWALL, TX
 SUBDIVISION Rockwall Lake Properties LOT 1405, 1406 BLOCK
 GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE
PROPOSED ZONING	PROPOSED USE
ACREAGE	LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER <u>Alex Flores</u>	<input type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON
ADDRESS <u>1650 John King Blvd APT 3710</u>	ADDRESS
CITY, STATE & ZIP <u>Rockwall, TX 75032</u>	CITY, STATE & ZIP
PHONE <u>(469) 534-5809</u>	PHONE
E-MAIL <u>afchomes75@gmail.com</u>	E-MAIL

NOTARY VERIFICATION [REQUIRED]

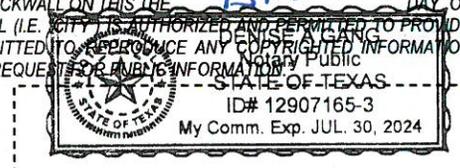
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alex Flores [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 515.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF October, 20 21. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October, 20 21

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES July 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

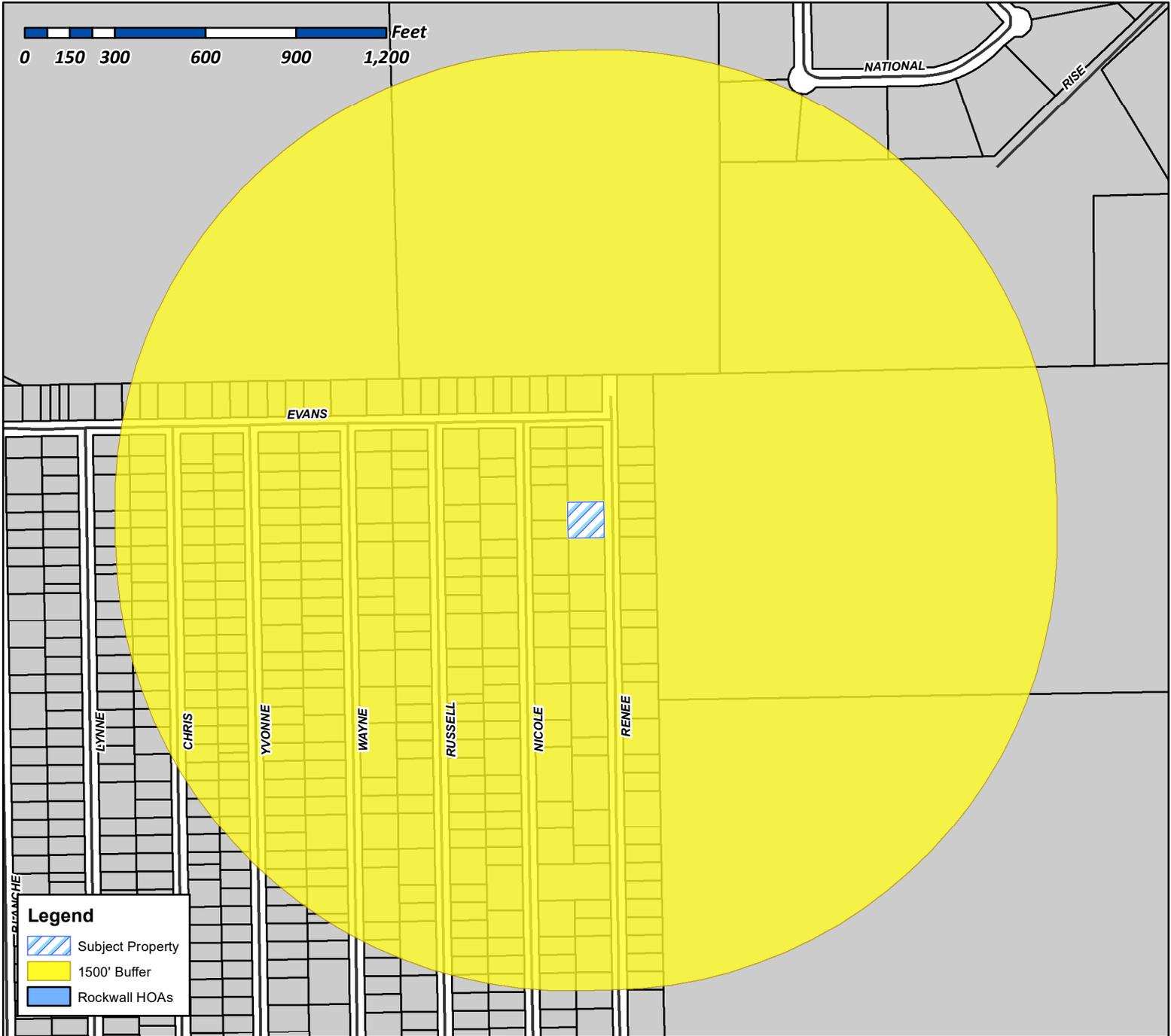
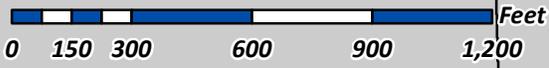




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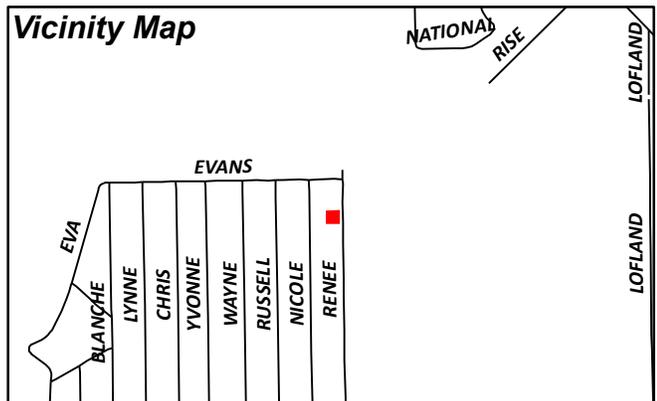
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Case Number: Z2021-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 478 Renee Drive

Date Created: 10/18/2021
For Questions on this Case Call (972) 771-7745

Vicinity Map

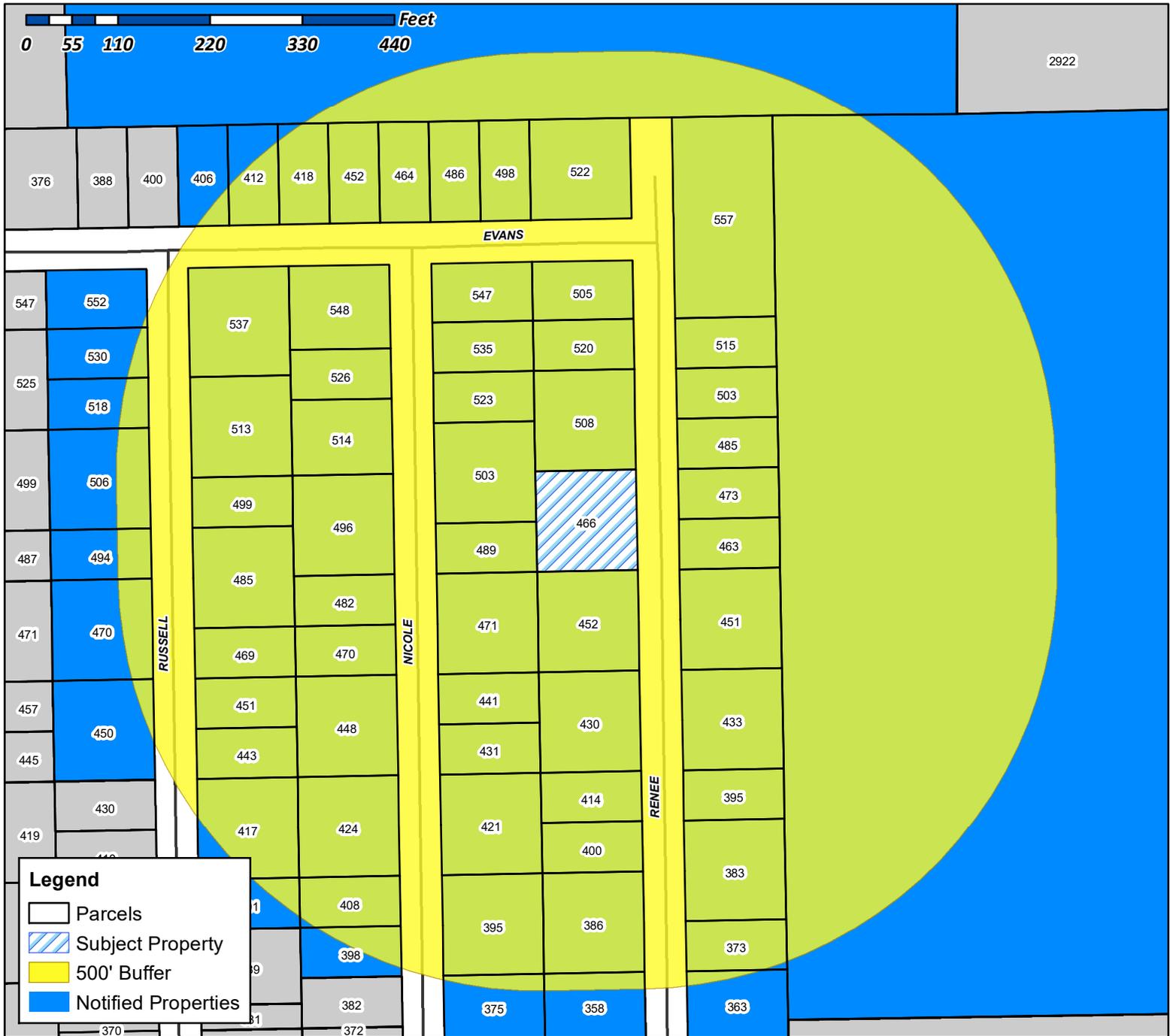




City of Rockwall

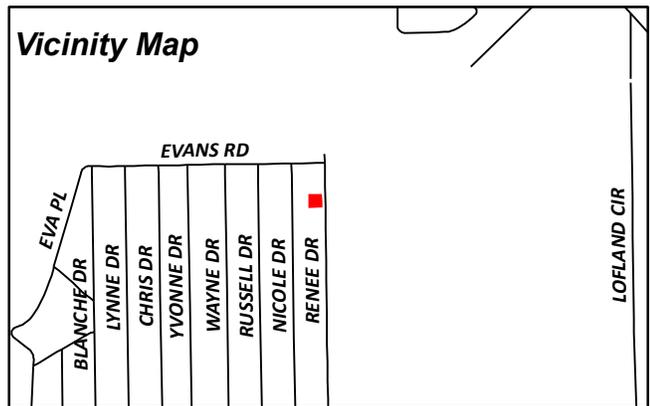
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SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OLIVARES JAIME B & MARTINA G
1209 QUAIL DR
GARLAND, TX 75040

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

FLORES ALEJANDRO
1950 JOHN KING BLVD APT 3710
ROCKWALL, TX 75032

LOPEZ JOSE CARMONA
221 NICOLE
ROCKWALL, TX 75032

ESPARZA MARCO A
312 RENEE DR
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
321 PANOLA CT
ROYSE CITY, TX 75189

YANEZ ALONSO TORRES
358 RENEE DR
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
363 RENEE DR
ROCKWALL, TX 75032

BARRIENTOS ERIKA
3701 W. ROCHELLE RD
IRVING, TX 75062

MCINTIRE JUANITA
373 RENEE DR
ROCKWALL, TX 75032

MCCLOUD JOY ANN
375 NICOLE DR
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
383 LAKESIDE DR
ROCKWALL, TX 75032

ESPARZA MARCO A
383 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME B & MARTINA G
386 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO AND ORALIA VARGAS
395 NICOLE DR
ROCKWALL, TX 75087

GUTIERREZ EFREN
395 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO & ORALIA
398 NICOLE DR
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
400 RENEE DR
ROCKWALL, TX 75032

MUNROE MYLES DR
BAHAMAS FAITH MINISTRIES INTER
401 RUSSELL DR
ROCKWALL, TX 75032

GAMEZ PETRA K MARTINEZ
406 EVANS
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
408 NICOLE
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING
412 EVANS RD
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
414 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ALFREDO GUEVARA
417 RUSSELL DR
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING
418 EVANS RD
ROCKWALL, TX 75032

DELGADO FRANCISCO PEREZ &
GUADALUPE PEREZ
421 NICOLE DR
ROCKWALL, TX 75032

LOPEZ JOSE CARMONA
424 NICOLE
ROCKWALL, TX 75032

LOPEZ SILVIA
430 RENEE DR
ROCKWALL, TX 75032

DRCE TRUST
431 NICOLE DR
ROCKWALL, TX 75032

GUTIERREZ EFREN
433 RENEE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

DRCE TRUST
441 NICOLE DR
ROCKWALL, TX 75032

GALLEGOS JOSE ISMAEL OLVERA
443 RUSSELL DR
ROCKWALL, TX 75032

GALLEGOS JOSE ISMAEL OLVERA
448 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
448 NICOLE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
450 RUSSELL DR
ROCKWALL, TX 75032

WHEELER JANIS & KEVIN M
451 RENEE DR
ROCKWALL, TX 75032

BARRIENTOS ERIKA
451 RUSSELL DR
ROCKWALL, TX 75032

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
452 EVANS RD
ROCKWALL, TX 75032

VERA MIGUEL & GUADALUPE
452 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
463 RENEE DR
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
464 EVANS RD
ROCKWALL, TX 75032

FLORES ALEJANDRO
466 RENEE DR
ROCKWALL, TX 75032

SOSA LORENA
469 RUSSELL DRIVE
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
470 NICOLE
ROCKWALL, TX 75032

JIMENEZ LEONARDO
470 RUSSELL DR
ROCKWALL, TX 75032

MONTALVO ABRAHAM JESUS
471 NICOLE DRIVE
ROCKWALL, TX 75032

YANEZ ALONSO TORRES
473 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
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ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
485 RENEE DR
ROCKWALL, TX 75032

TELL MARK ALLEN
485 RUSSELL DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
486 EVANS RD
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
489 NICOLE DR
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL LOT 1252
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
496 NICOLE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
498 EVANS RD
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
503 RENEE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR
ROCKWALL, TX 75032

VALDEZ JOSE G
508 RENEE DR
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA
513 RUSSELL DR
ROCKWALL, TX 75032

DIAZ-ALMARAZ CARLOS OMAR
514 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
515 RENEE DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
518 RUSSELL DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
520 RENEE DR
ROCKWALL, TX 75032

JIMENEZ LEONARDO
5201 KELSO LN
GARLAND, TX 75043

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

PEREZ REYNA JUAN MARTIN
526 NICOLE
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
535 NICOLEDR
ROCKWALL, TX 75032

OBRIEN ELLEN K
537 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS
552 RUSSELL DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
557 RENEE DR
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ
703 TOWNSEND DR
ROCKWALL, TX 75087

VINE CONSTRUCTION AND ROOFING
7331 WESTER WAY
DALLAS, TX 75248

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

MUNROE MYLES DR
BAHAMAS FAITH MINISTRIES INTER
P O BOX N-9583
NASSAU, BAHAMAS,

DRCE TRUST
PO BOX 2051
DEL MAR, CA 92014

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-044: SUP for Residential Infill at 478 Renee Drive

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Andrew Reyna
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-044: SUP for Residential Infill at 478 Renee Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

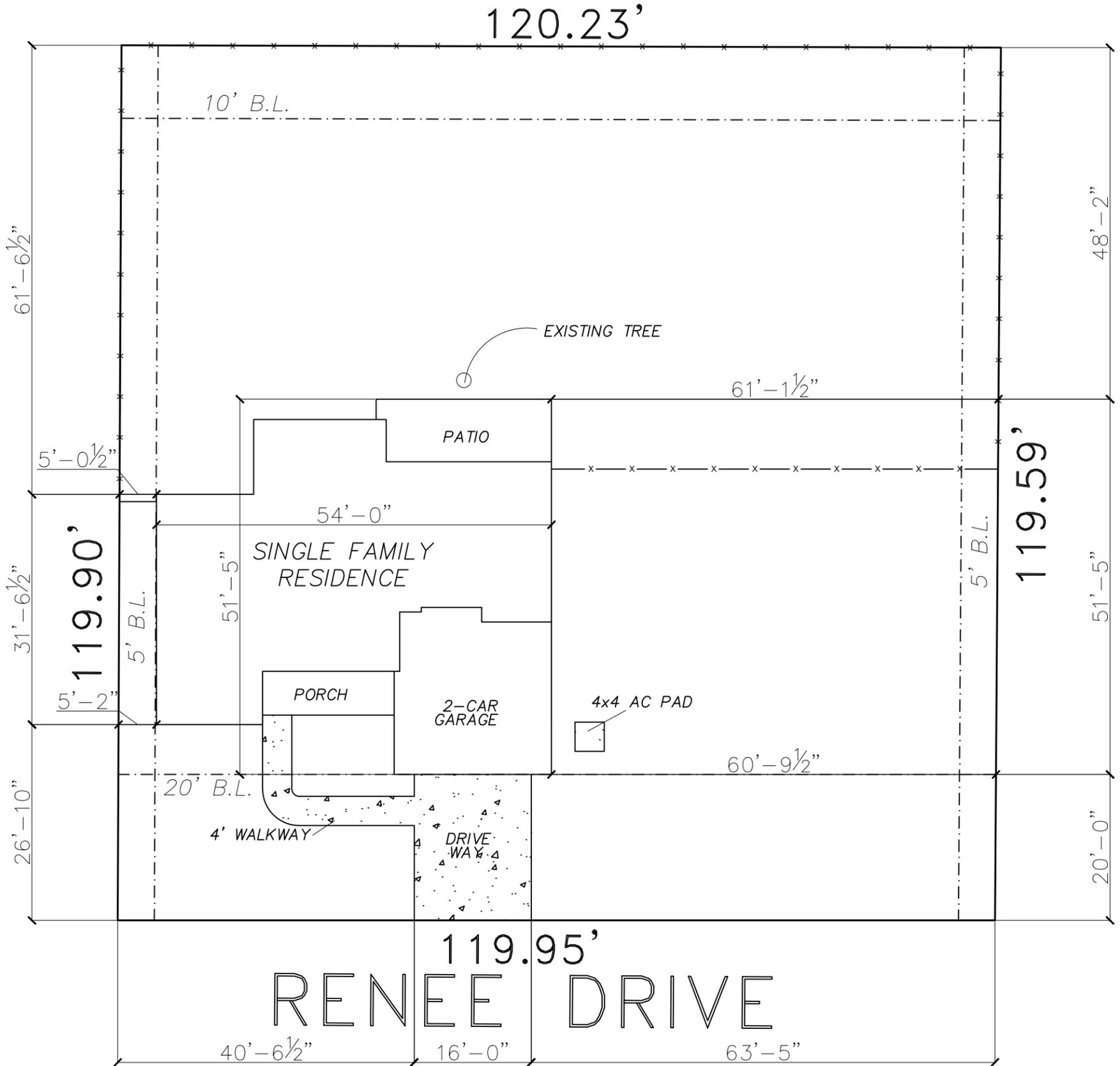


NORTH
SCALE: 1' = 16'-0"

AREA CALCULATIONS

LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE.	2769 SF
% TOTAL IMP. COVERAGE.	19.3 % COVERAGE
DRIVEWAY COVERAGE	320 SF
% DRIVEWAY COVERAGE	2.2 % COVERAGE
WALKWAY COVERAGE	122 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.11 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF

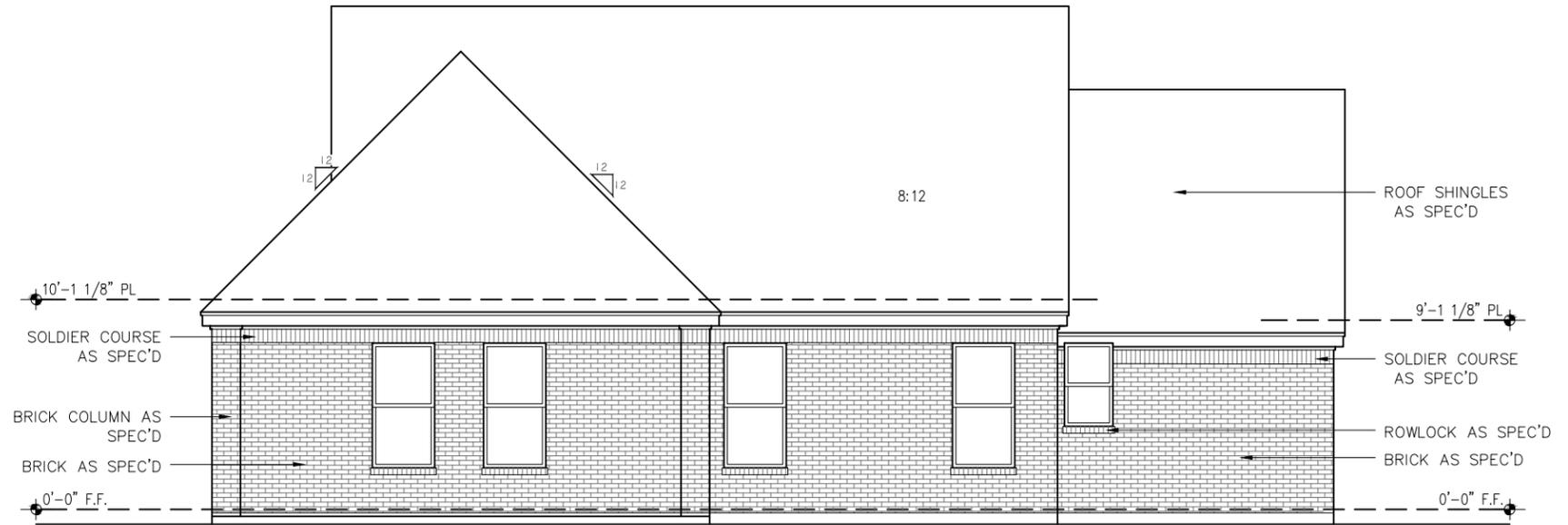
* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

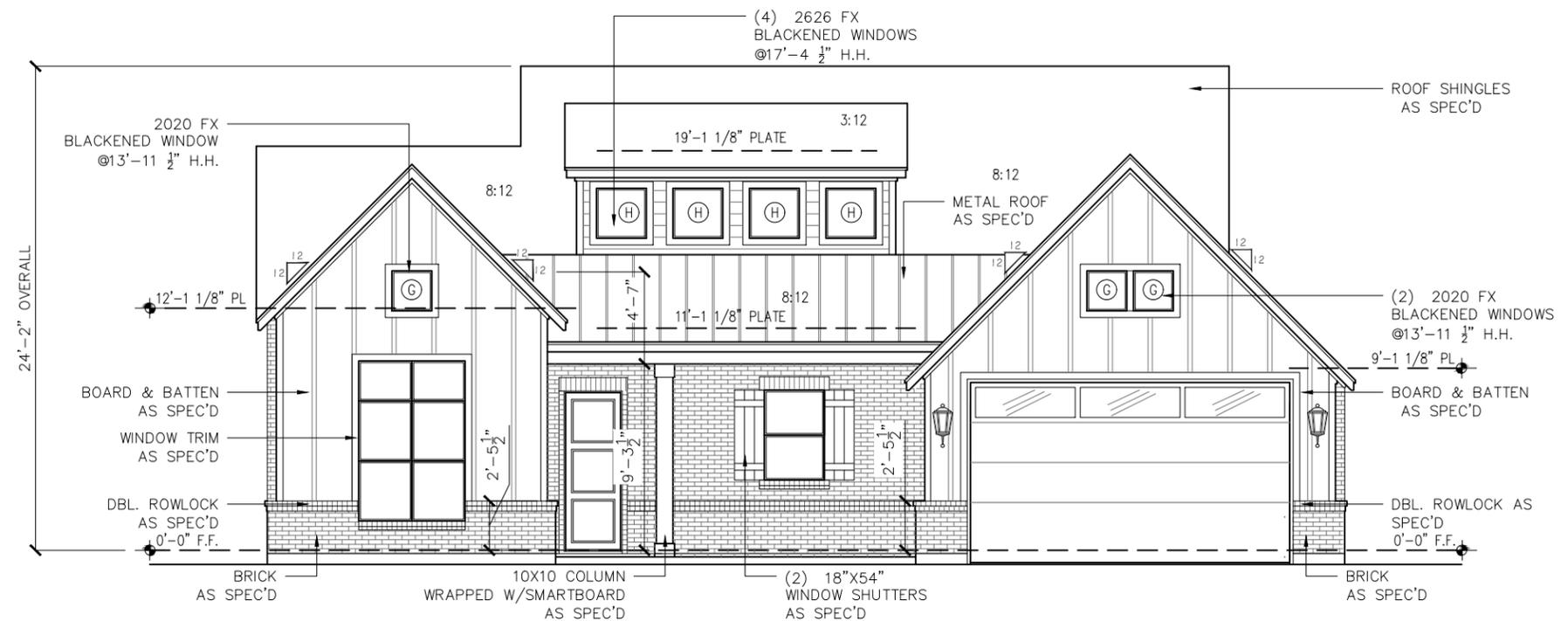
LEGEND	- DRAINAGE FLOW	B.L. - BUILDING LINE
	- PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
	- EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT
	- CURLEX	S.S.E. - SANITARY SEWER EASEMENT
	- RETAINING WALL	T.E. - TRANSFORMER EASEMENT
	- REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT
	- REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT
		M.E. - MAINTENANCE EASEMENT
		V.E. - VISIBILITY EASEMENT
		- EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021	DDS GROUP
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A	
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL	
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY DSGG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.	PLOT PLAN SP1

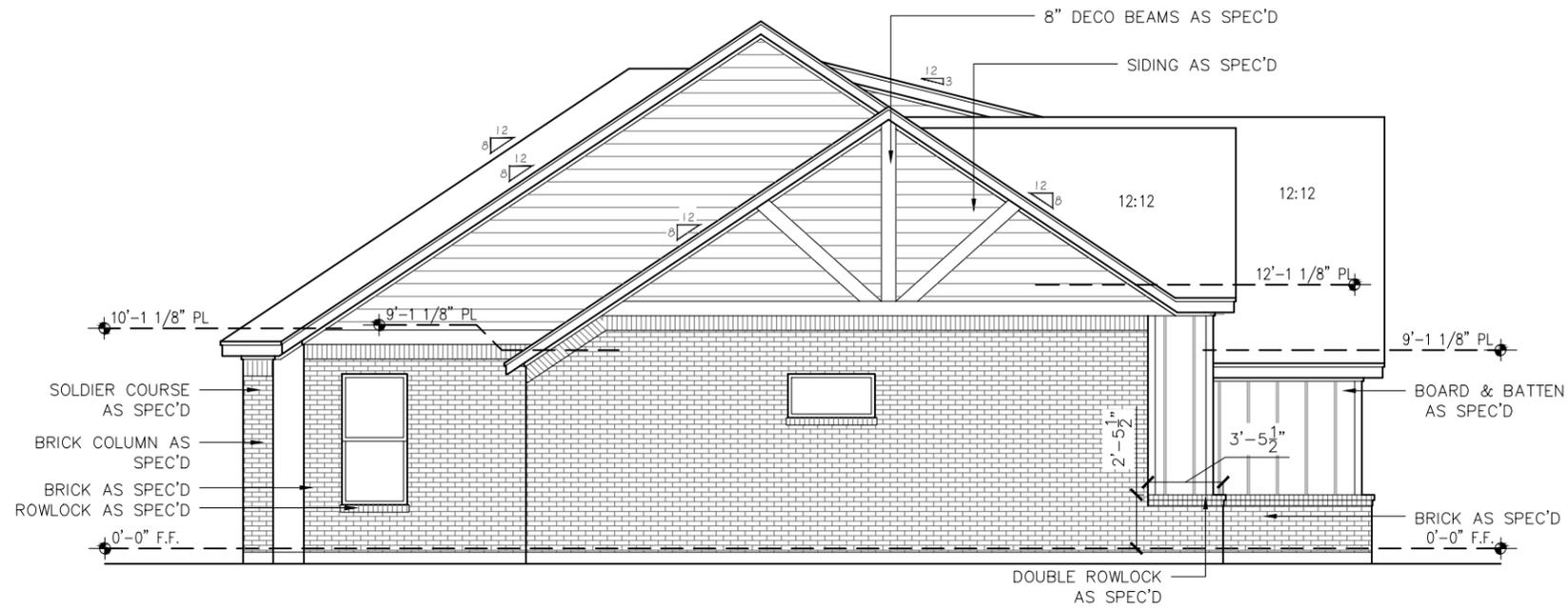


1 PROPOSED REAR ELEVATION
 SCALE: 1/8" = 1'-0"

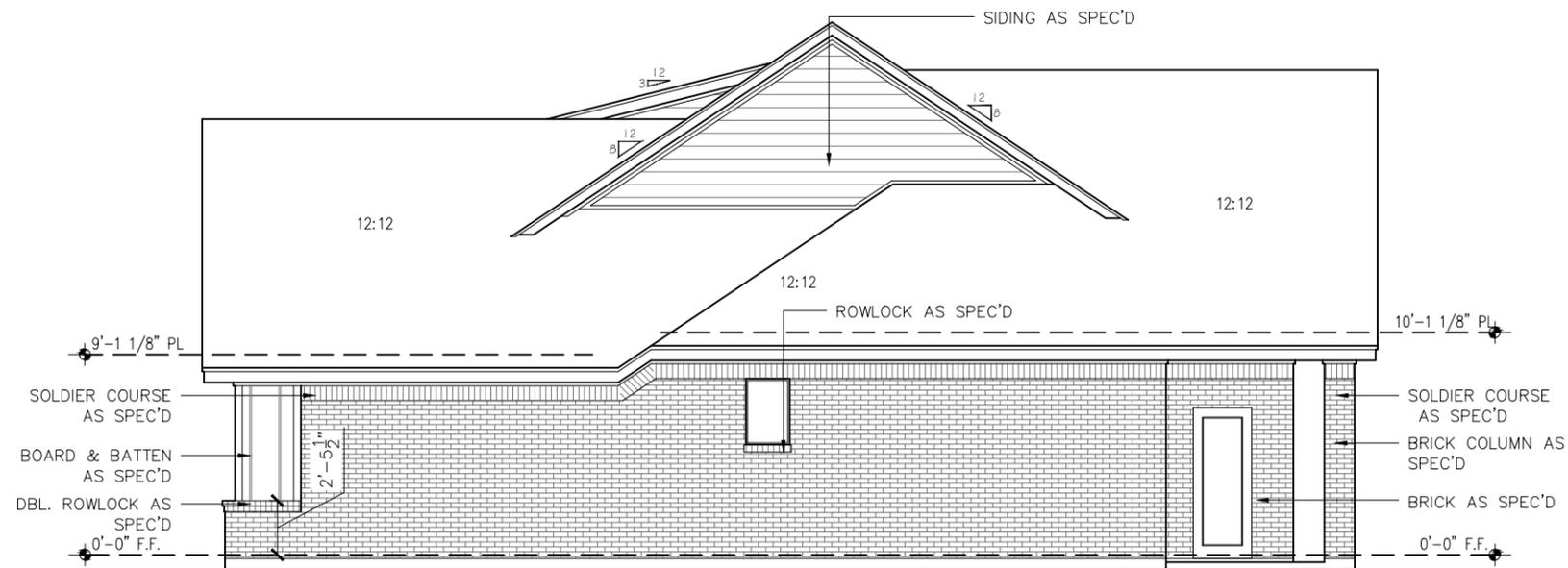
MASONRY CALCULATIONS				
AREA	SIDING	%SDNG.	MASON.	%MAS.
REAR	124 SF	26.1%	351 SF	73.9%
FRONT	273 SF	46.3%	316 SF	53.7%
LEFT	172 SF	25.0%	517 SF	75.0%
RIGHT	79 SF	17.5%	373 SF	82.5%
TOTAL	648 SF	29.4%	1,557 SF	70.6%
TOTAL STONE	46 SF			
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				



2 PROPOSED FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
3. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
4. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
5. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
6. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
7. U.N.O. ALL DOORS TO BE 6'-8."
8. U.N.O. ALL ANGLED WALLS TO BE AT 45 DEGREES.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
10. ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
11. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS: 8' PLATE: 6'-10", 9' PLATE: 7'-10", 10' PLATE: 8'-10"
12. "CORNERS" AND "T'S" SHALL BE TRUE, NOT CALIFORNIA STYLE.
13. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
14. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
15. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
16. PROVIDE FIRE-RATED SHEETROCK AT UTILITY/GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
17. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
18. U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

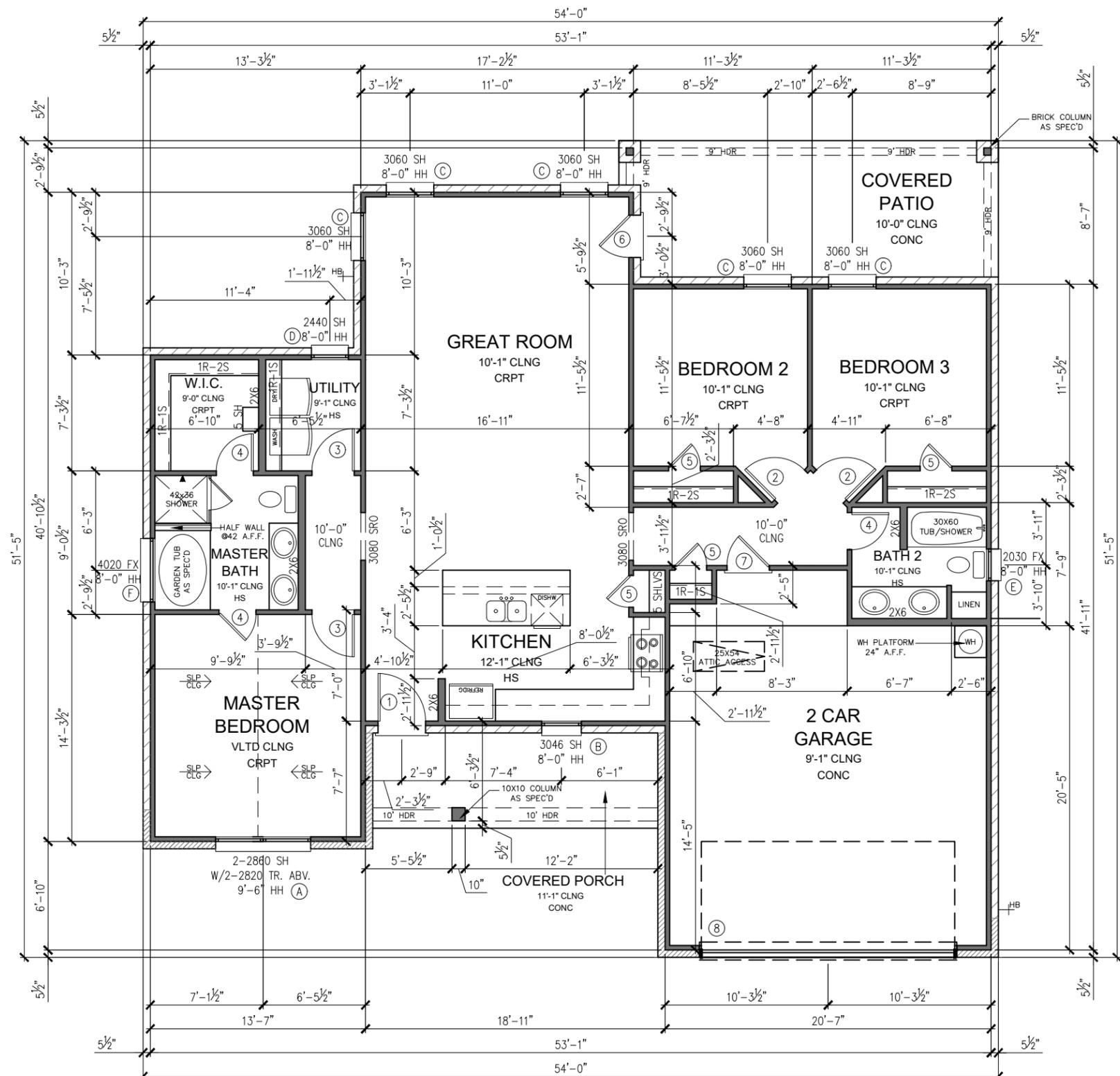
SQUARE FOOTAGE TABLE

AREA	MASONRY
FLOOR PLAN	1,529 SF
TOTAL LIVING	1,529 SF
GARAGE	477 SF
FRONT PORCH	108 SF
PATIO	198 SF
TOTAL COMBINED	2,312 SF
TOTAL SLAB	2,312 SF

MASONRY LEGEND



WALL LEGEND



WINDOW SCHEDULE

LETTER	QUANTITY	TYPE	DESCRIP.
A	1	2-2868	VINYL 3 STAR ENERGY - SH W/2820 TRANSFORM ABV.
B	1	3046	VINYL 3 STAR ENERGY - SINGLE HUNG
C	5	3060	VINYL 3 STAR ENERGY - SINGLE HUNG
D	1	2440	VINYL 3 STAR ENERGY - SINGLE HUNG
E	1	3030	VINYL 3 STAR ENERGY - FIXED OPQ
F	1	4020	VINYL 3 STAR ENERGY - FIXED OPQ
G	3	2020	VINYL 3 STAR ENERGY - FIXED OPQ
H	4	2626	VINYL 3 STAR ENERGY - FIXED OPQ

DOOR SCHEDULE

NUMBER	QUANTITY	TYPE	DESCRIP.
1	1	3080	EXTERIOR ENTRY DOOR
2	2	2668	INTERIOR
3	2	2868	INTERIOR
4	3	2468	INTERIOR
5	4	2068	INTERIOR
6	1	2868	EXTERIOR 1-LT
7	1	2868	EXTERIOR INSULATED DOOR
8	1	16080	GARAGE OHD DOOR

1 PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



DDS GROUP
123 W. MAIN ST. #121
GRAND PRAIRIE TX. 75050
WWW.DDSGROUP.COM 214-966-0550
SERVICES@DDSGROUP.COM 469-999-0800

DESIGNER:
DDSG-JO

PROJECT #:

478 RENEE DRIVE
ROCKWALL, TX.

ELEVATION:
A

SHEET NUMBER:
A1

478 Renee Drive: Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
414 Renee Dr.	Modular Home	1980	980	100	Siding
430 Renee Dr.	Modular Home	1980	980	208	Siding
433 Renee Dr.	Modular Home	1988	1400	400	Siding
451 Renee Dr.	Modular Home	1997	1680	300	Siding
452 Renee Dr.	Modular Home	1982	840	240	Siding
473 Renee Dr.	Modular Home	1987	924	300	Siding
485 Renee Dr.	Vacant	N/A	N/A	N/A	N/A
503 Renee Dr.	Vacant	N/A	N/A	N/A	N/A
515 Renee Dr,	Vacant	N/A	N/A	N/A	N/A
508 Renee Dr.	Modular Home	1974	1136	336	Siding
505 Evans Rd.	Single-Family Home	1981	1344	N/A	Wood/Siding
523 Nicole Dr.	Modular Home	1965	1064	N/A	Siding
503 Nicole Dr.	Modular Home	N/A	N/A	364	Siding
489 Nicole Dr.	Modular Home	1988	1200	N/A	Siding
471 Nicole Dr	Modular Home	1997	1680	N/A	Siding
Averages:		1982	1174.22	306.86	

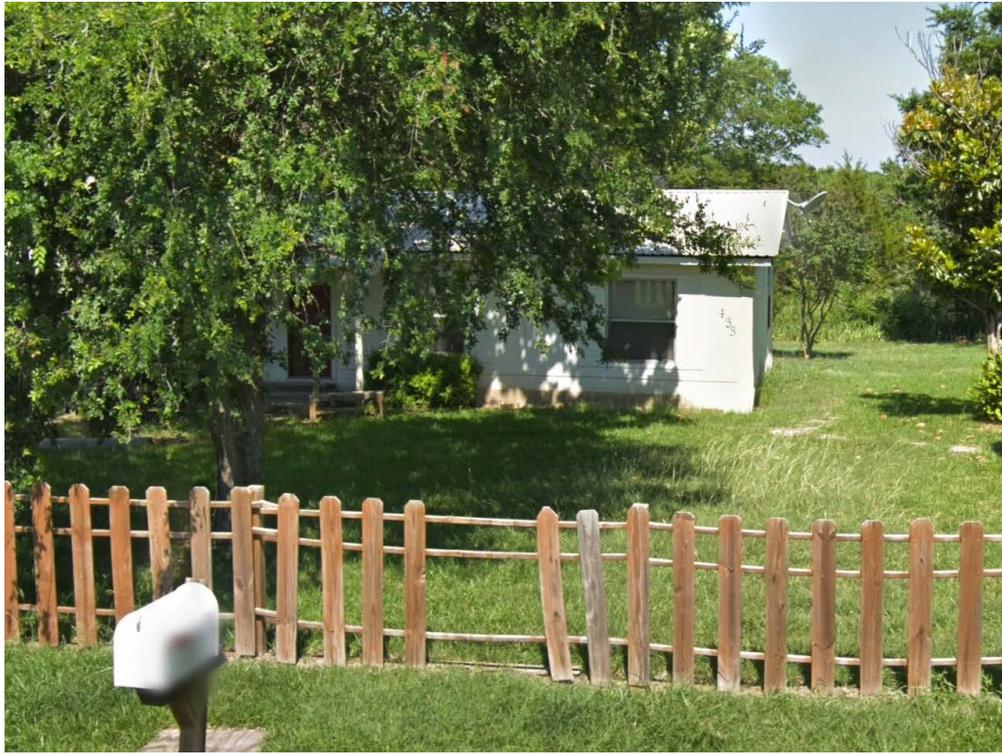
414 Renee Dr.



430 Renee Dr.



433 Renee Dr.



451 Renee Dr.



452 Renee Dr.



473 Renee Dr.



508 Renee Dr.



505 Evans Rd.



523 Nicole Dr.



503 Nicole Dr.



489 Nicole Dr.



471 Nicole Dr.



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK M, LAKE ROCKWALL ESTATES EAST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Alex Flores for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home on a 0.33-acre parcel of land identified as Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF DECEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 15, 2021

2nd Reading: December 6, 2021

Exhibit 'A'
Location Map

Address: 478 Renee Drive

Legal Description: Lot 2, Block M, Lake Rockwall Estates East



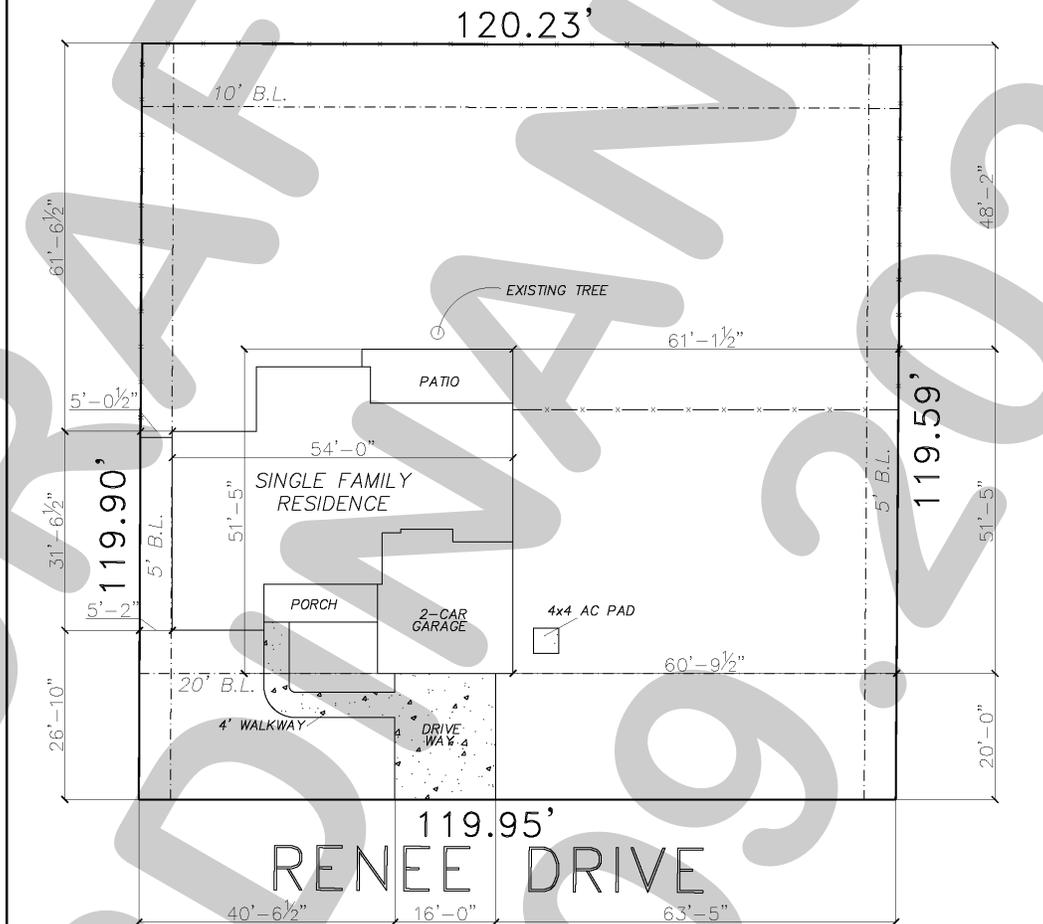
**Exhibit 'B':
Residential Plot Plan**



NORTH
SCALE: 1" = 16'-0"

AREA CALCULATIONS	
LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE	2769 SF
% TOTAL IMP. COVERAGE	19.3 % COVERAGE
DRIVEWAY COVERAGE	320 SF
% DRIVEWAY COVERAGE	2.2 % COVERAGE
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4'x4' A.C. PAD COVERAGE	16 SF
% 4'x4' A.C. PAD COVERAGE	0.11 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____
DATE: _____
NOTES: _____

- LEGEND**
- DRAINAGE FLOW
 - - - PROPOSED FENCE
 - EXISTING FENCE
 - ▨ CURLEX
 - ▩ RETAINING WALL
 - ⊙ REQUIRED TREE PLANTING
 - ⊠ REQUIRED BUSH

- B.L. - BUILDING LINE
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- V.E. - VISIBILITY EASEMENT
- ⊠ - EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

PLOT PLAN | SP1

NOTE: ARCHITECTURAL PLANS TAKE PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY DDSG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THIS RECORDED PLAN. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL PLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. PLATWORK IS ONLY A REPRESENTATION.

**Exhibit 'C':
Building Elevations**

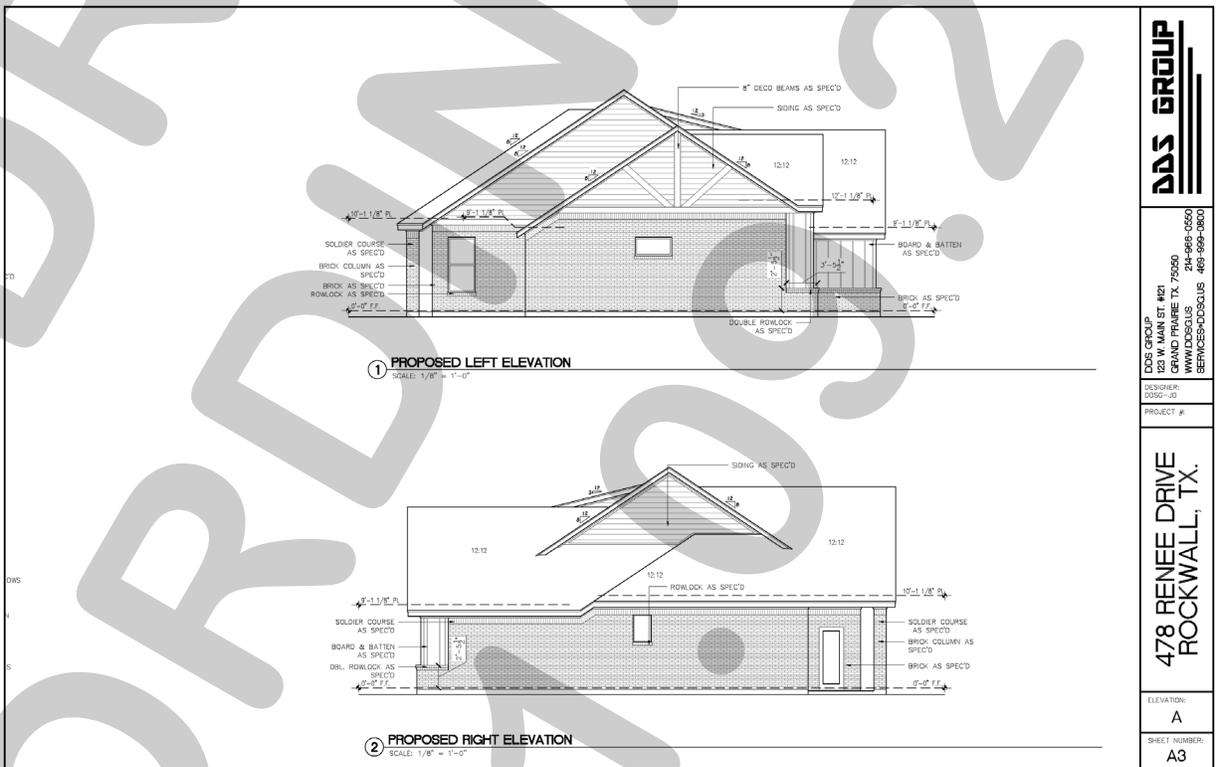


DDS GROUP
123 W. MAIN ST. #21
ROCKWALL, TX 75080
214-968-0550
WWW.DDSGROUP.COM
SERVICES@DDSGROUP.COM

DESIGNER: DDS-GJ
PROJECT #:

**478 RENEE DRIVE
ROCKWALL, TX.**

ELEVATION: A
SHEET NUMBER: A2



DDS GROUP
123 W. MAIN ST. #21
ROCKWALL, TX 75080
214-968-0550
WWW.DDSGROUP.COM
SERVICES@DDSGROUP.COM

DESIGNER: DDS-GJ
PROJECT #:

**478 RENEE DRIVE
ROCKWALL, TX.**

ELEVATION: A
SHEET NUMBER: A3



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: November 15, 2021
APPLICANT: Alex Flores
CASE NUMBER: Z2021-044; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive.

BACKGROUND

The subject property was originally platted as Lot 1406 of the Rockwall Lake Estates #2 Addition. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. On July 6, 2021, the subject property was replatted as Lot 2, Block M, Lake Rockwall Estates East Addition.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 478 Renee Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Evans Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are three (3) residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is a 60.00-acre tract of vacant land (*i.e. Tract 4 of the J. R. Johnson Survey, Abstract No. 128*) that is zoned Agricultural (AG) District.

West: Directly west of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Nicole Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates East Subdivision. This subdivision has been in existence since prior to 1968, consists of more than five (5) lots, and more than 90% of the developable lots are developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Renee Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Renee Drive and the Subject Property	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face east towards Renee Drive.
Year Built	1965-1997	N/A
Building SF on Property	840 SF – 1,680 SF	1,529 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks are 20 to 35-Feet	20-Feet
Side	The side yard setbacks are 0 to 33-Feet	5-Feet
Rear	The rear yard setbacks are 10 to 38-Feet	10-Feet
Building Materials	Wood, Metal, & Vinyl Siding	Brick
Paint and Color	Brown, Tan, Blue, White, & Orange	N/A
Roofs	Composite Shingles & Metal	Composite Shingle
Driveways/Garages	Flat-Front Entry, Carports, and Homes without Garages	The garage will be oriented in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i) single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage six (6) feet, ten (10) inches in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past.

With the exception of the garage setback requirements, the proposed single-family home meets all of the density and dimensional requirements for the Single-Family 7 (SF-7) District as stipulated by Planned Development District 75 (PD-75) and the Unified Development Code (UDC). For the purpose of comparing the proposed single-family home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Renee Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On October 22, 2021, staff mailed 88 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On November 9, 2021 the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 5-0, with Commissioner(s) Thomas and Moeller absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22021-044

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 4708 REWEE DR ROCKWALL, TX
 SUBDIVISION Rockwall Lake Properties LOT 1405, 1406 BLOCK
 GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE
PROPOSED ZONING	PROPOSED USE
ACREAGE	LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER <u>ALEX FLORES</u>	<input type="checkbox"/> APPLICANT
CONTACT PERSON	CONTACT PERSON
ADDRESS <u>1650 John King Blvd</u>	ADDRESS
<u>APT 3710</u>	
CITY, STATE & ZIP <u>Rockwall, TX 75032</u>	CITY, STATE & ZIP
PHONE <u>(469) 534-5809</u>	PHONE
E-MAIL <u>afchomes75@gmail.com</u>	E-MAIL

NOTARY VERIFICATION [REQUIRED]

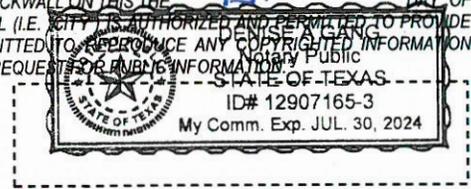
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alex Flores [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF October, 20 21 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October, 20 21

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES July 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

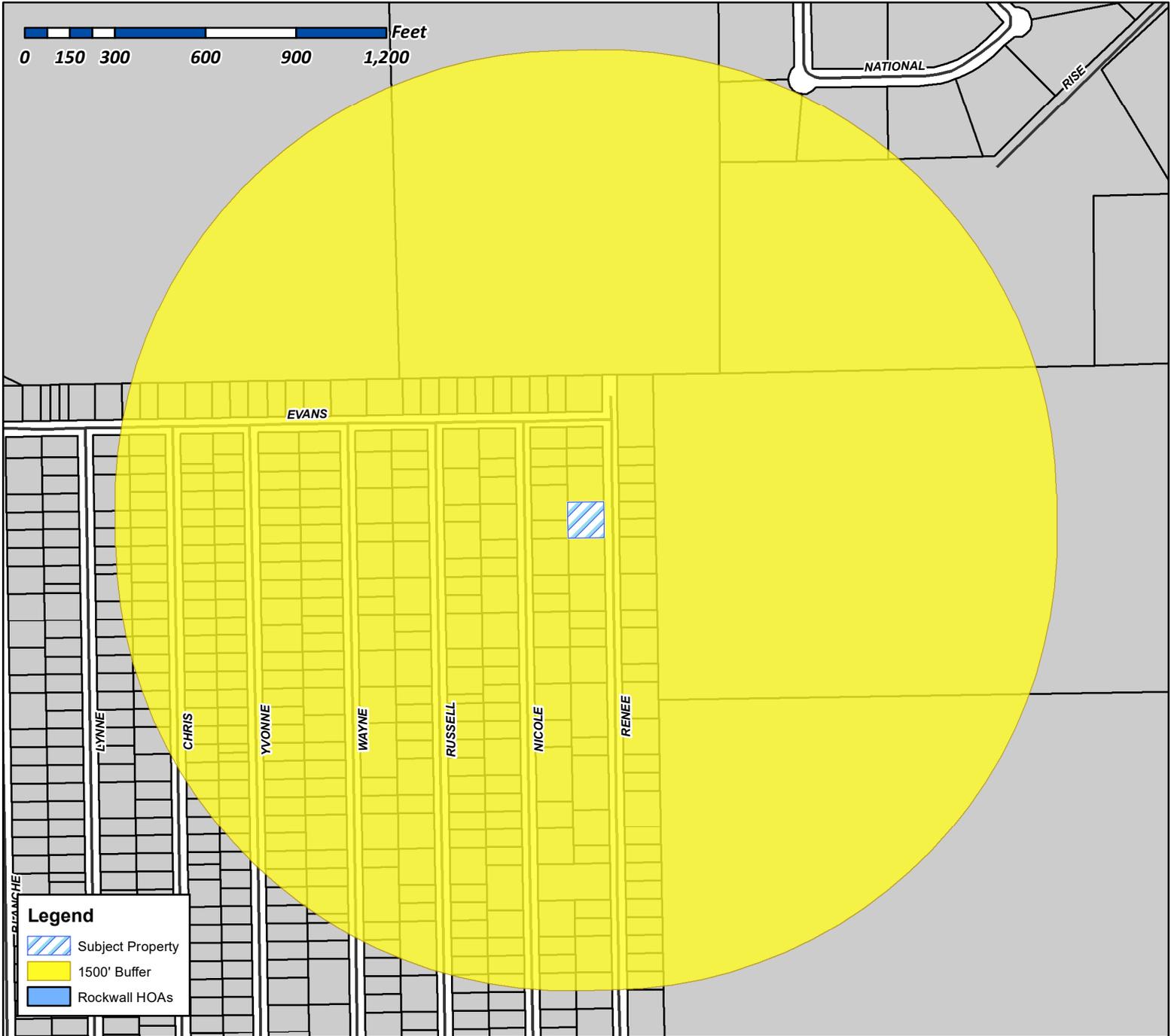
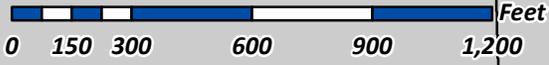




City of Rockwall

Planning & Zoning Department
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Rockwall, Texas 75087
(P): (972) 771-7745
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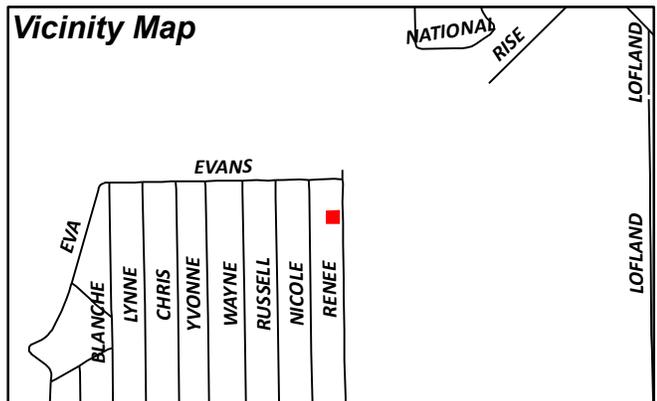
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Case Number: Z2021-044
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 478 Renee Drive

Date Created: 10/18/2021
For Questions on this Case Call (972) 771-7745

Vicinity Map

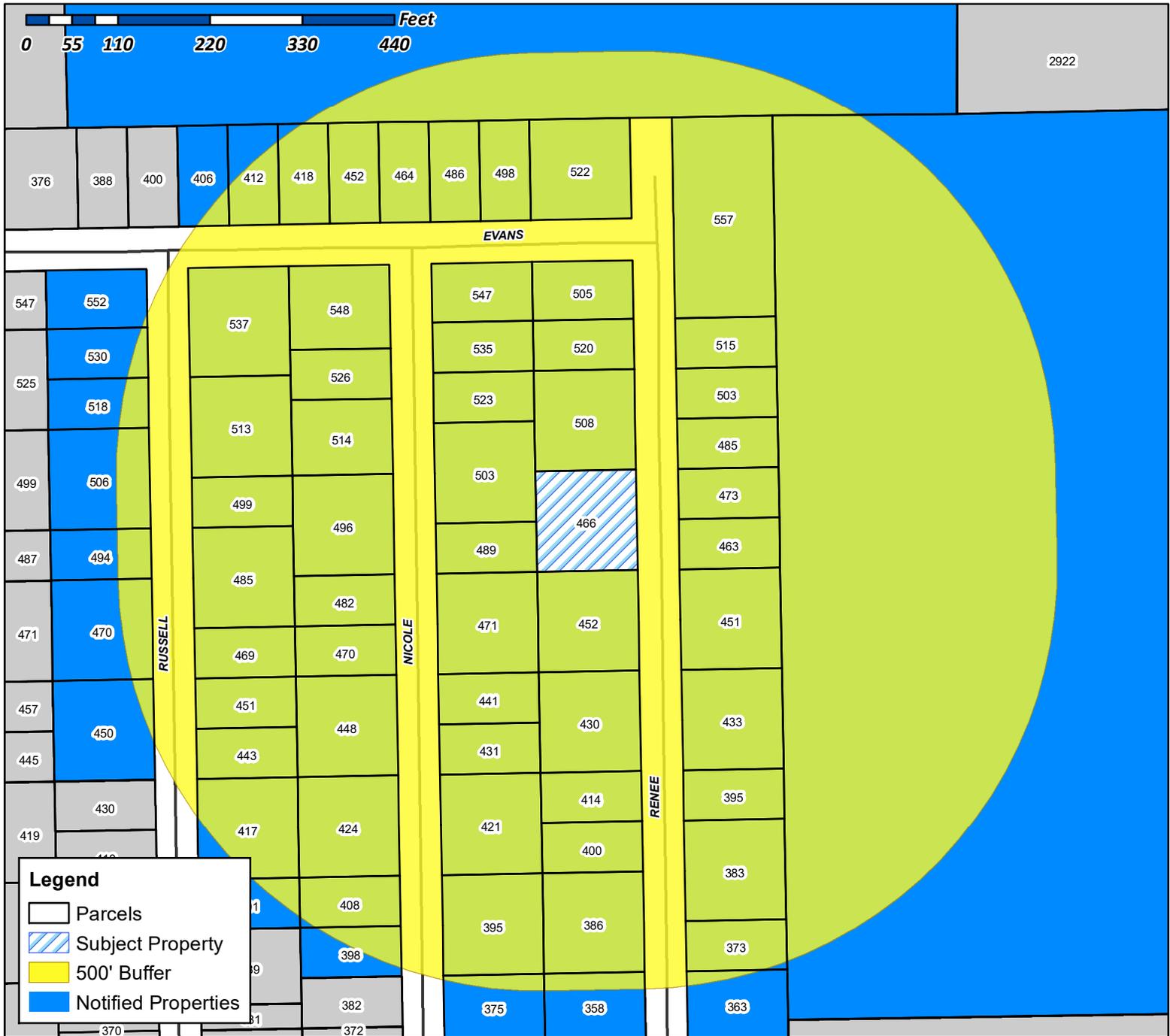




City of Rockwall

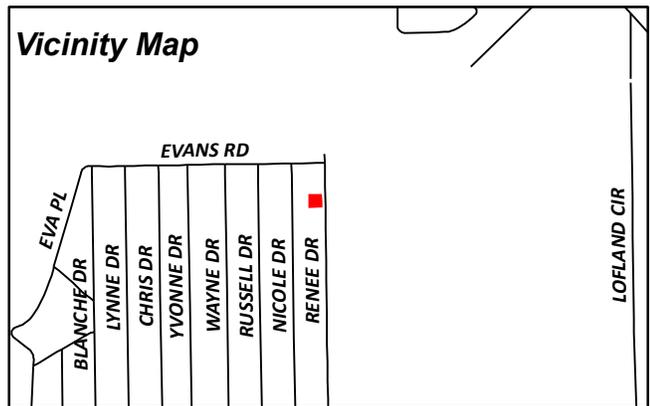
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OLIVARES JAIME B & MARTINA G
1209 QUAIL DR
GARLAND, TX 75040

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

FLORES ALEJANDRO
1950 JOHN KING BLVD APT 3710
ROCKWALL, TX 75032

LOPEZ JOSE CARMONA
221 NICOLE
ROCKWALL, TX 75032

ESPARZA MARCO A
312 RENEE DR
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
321 PANOLA CT
ROYSE CITY, TX 75189

YANEZ ALONSO TORRES
358 RENEE DR
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
363 RENEE DR
ROCKWALL, TX 75032

BARRIENTOS ERIKA
3701 W. ROCHELLE RD
IRVING, TX 75062

MCINTIRE JUANITA
373 RENEE DR
ROCKWALL, TX 75032

MCCLOUD JOY ANN
375 NICOLE DR
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
383 LAKESIDE DR
ROCKWALL, TX 75032

ESPARZA MARCO A
383 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME B & MARTINA G
386 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO AND ORALIA VARGAS
395 NICOLE DR
ROCKWALL, TX 75087

GUTIERREZ EFREN
395 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO & ORALIA
398 NICOLE DR
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
400 RENEE DR
ROCKWALL, TX 75032

MUNROE MYLES DR
BAHAMAS FAITH MINISTRIES INTER
401 RUSSELL DR
ROCKWALL, TX 75032

GAMEZ PETRA K MARTINEZ
406 EVANS
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
408 NICOLE
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING
412 EVANS RD
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
414 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ALFREDO GUEVARA
417 RUSSELL DR
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING
418 EVANS RD
ROCKWALL, TX 75032

DELGADO FRANCISCO PEREZ &
GUADALUPE PEREZ
421 NICOLE DR
ROCKWALL, TX 75032

LOPEZ JOSE CARMONA
424 NICOLE
ROCKWALL, TX 75032

LOPEZ SILVIA
430 RENEE DR
ROCKWALL, TX 75032

DRCE TRUST
431 NICOLE DR
ROCKWALL, TX 75032

GUTIERREZ EFREN
433 RENEE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

DRCE TRUST
441 NICOLE DR
ROCKWALL, TX 75032

GALLEGOS JOSE ISMAEL OLVERA
443 RUSSELL DR
ROCKWALL, TX 75032

GALLEGOS JOSE ISMAEL OLVERA
448 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
448 NICOLE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
450 RUSSELL DR
ROCKWALL, TX 75032

WHEELER JANIS & KEVIN M
451 RENEE DR
ROCKWALL, TX 75032

BARRIENTOS ERIKA
451 RUSSELL DR
ROCKWALL, TX 75032

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
452 EVANS RD
ROCKWALL, TX 75032

VERA MIGUEL & GUADALUPE
452 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
463 RENEE DR
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
464 EVANS RD
ROCKWALL, TX 75032

FLORES ALEJANDRO
466 RENEE DR
ROCKWALL, TX 75032

SOSA LORENA
469 RUSSELL DRIVE
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
470 NICOLE
ROCKWALL, TX 75032

JIMENEZ LEONARDO
470 RUSSELL DR
ROCKWALL, TX 75032

MONTALVO ABRAHAM JESUS
471 NICOLE DRIVE
ROCKWALL, TX 75032

YANEZ ALONSO TORRES
473 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
482 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
485 RENEE DR
ROCKWALL, TX 75032

TELL MARK ALLEN
485 RUSSELL DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
486 EVANS RD
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
489 NICOLE DR
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL LOT 1252
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
496 NICOLE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
498 EVANS RD
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
503 RENEE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR
ROCKWALL, TX 75032

VALDEZ JOSE G
508 RENEE DR
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA
513 RUSSELL DR
ROCKWALL, TX 75032

DIAZ-ALMARAZ CARLOS OMAR
514 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
515 RENEE DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
518 RUSSELL DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
520 RENEE DR
ROCKWALL, TX 75032

JIMENEZ LEONARDO
5201 KELSO LN
GARLAND, TX 75043

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

PEREZ REYNA JUAN MARTIN
526 NICOLE
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
535 NICOLEDR
ROCKWALL, TX 75032

OBRIEN ELLEN K
537 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS
552 RUSSELL DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
557 RENEE DR
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ
703 TOWNSEND DR
ROCKWALL, TX 75087

VINE CONSTRUCTION AND ROOFING
7331 WESTER WAY
DALLAS, TX 75248

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

MUNROE MYLES DR
BAHAMAS FAITH MINISTRIES INTER
P O BOX N-9583
NASSAU, BAHAMAS,

DRCE TRUST
PO BOX 2051
DEL MAR, CA 92014

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2021-044: SUP for Residential Infill at 478 Renee Drive

Hold a public hearing to discuss and consider a request by Alex Flores for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 9, 2021 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 15, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Andrew Reyna
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 15, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2021-044: SUP for Residential Infill at 478 Renee Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

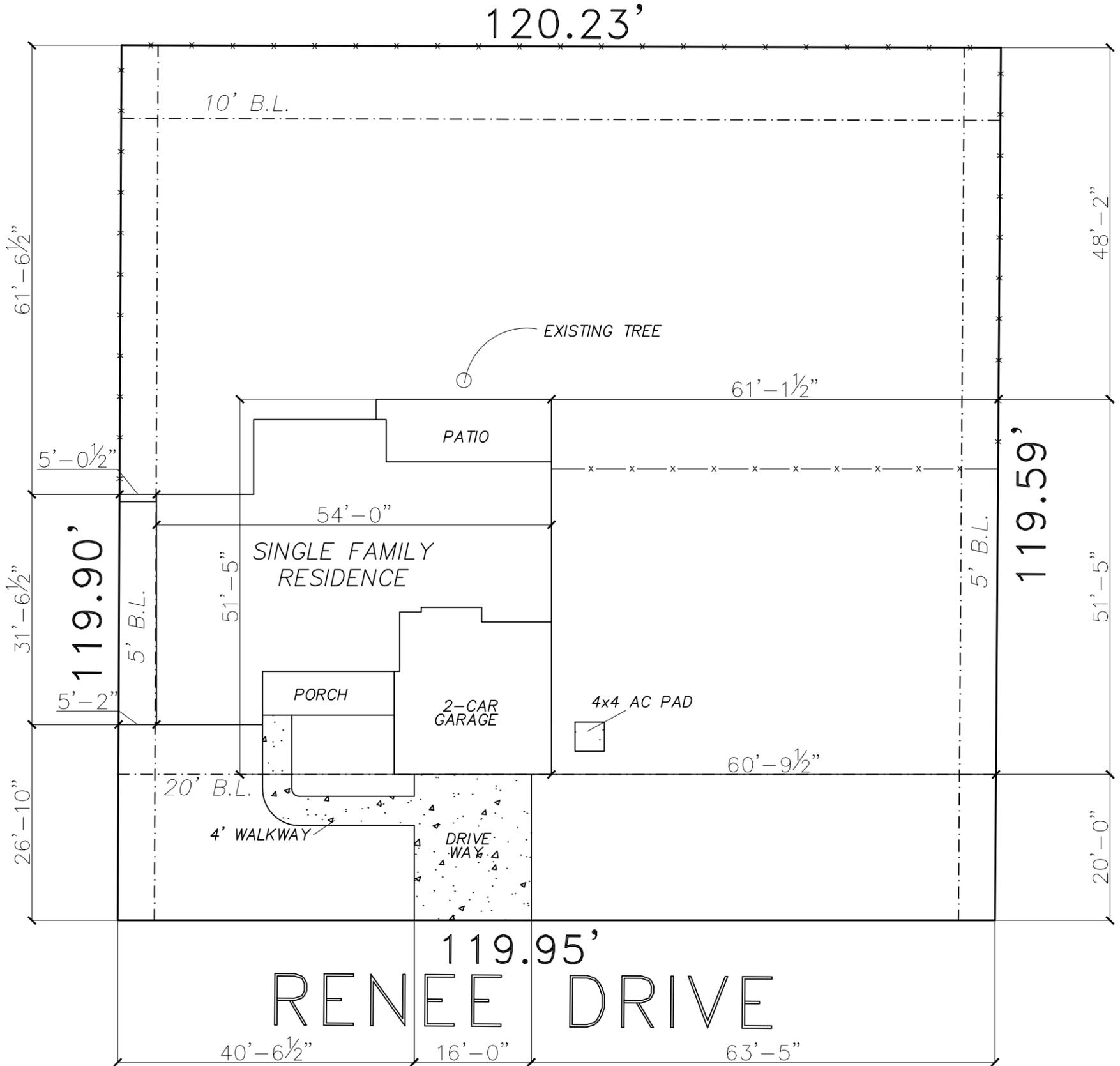


NORTH
SCALE: 1' = 16'-0"

AREA CALCULATIONS

LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE.	2769 SF
% TOTAL IMP. COVERAGE.	19.3 % COVERAGE
DRIVEWAY COVERAGE	320 SF
% DRIVEWAY COVERAGE	2.2 % COVERAGE
WALKWAY COVERAGE	122 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.11 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF

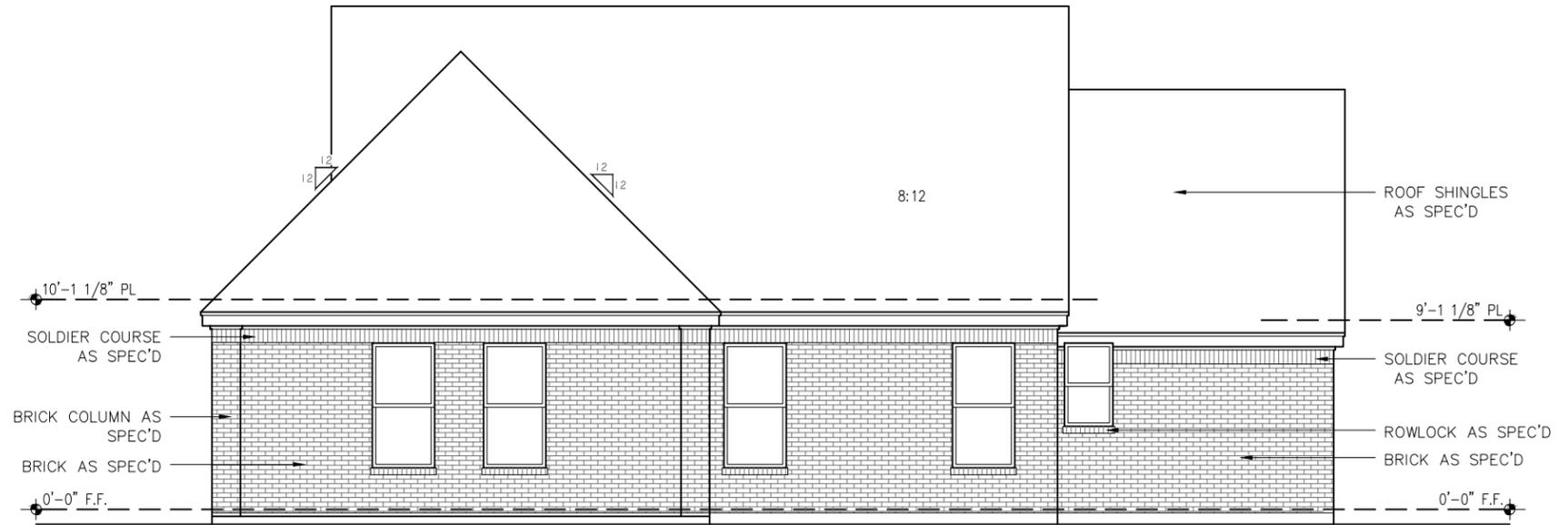
* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

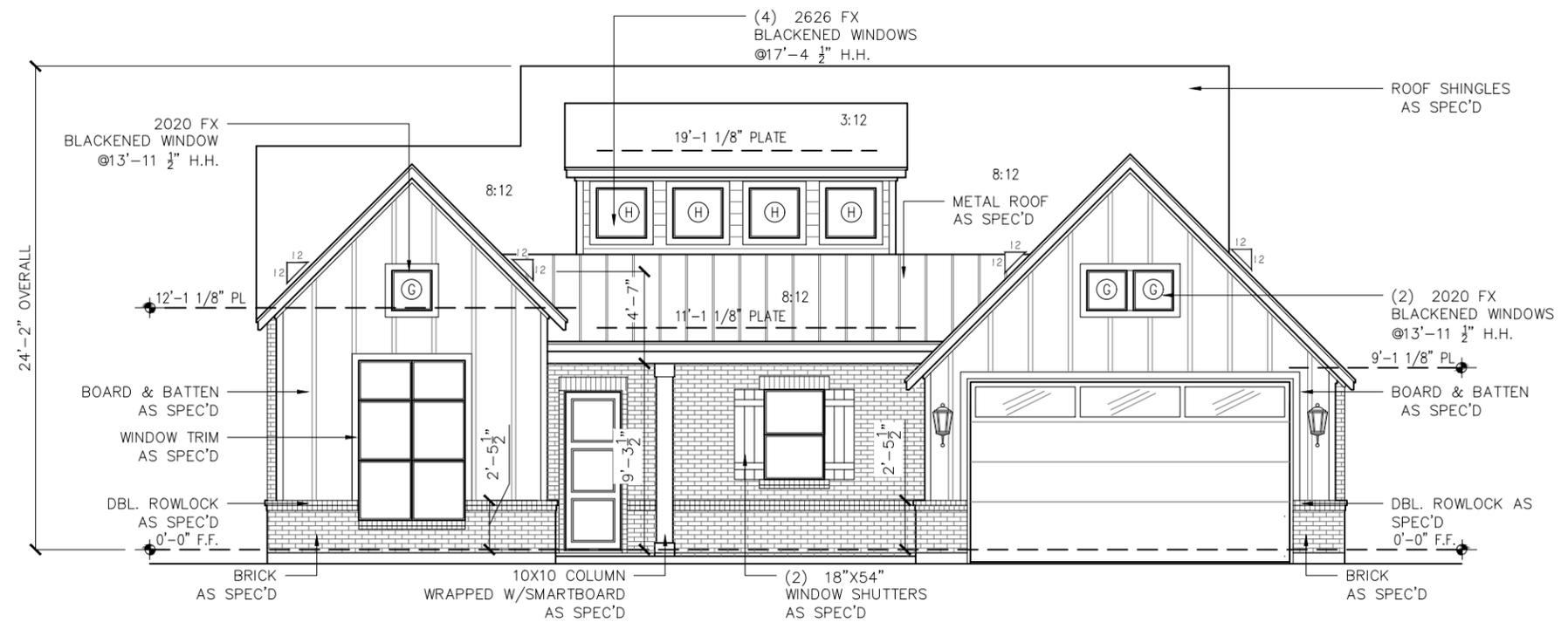
LEGEND	- DRAINAGE FLOW	B.L. - BUILDING LINE
	- PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
	- EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT
	- CURLEX	S.S.E. - SANITARY SEWER EASEMENT
	- RETAINING WALL	T.E. - TRANSFORMER EASEMENT
	- REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT
	- REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT
		M.E. - MAINTENANCE EASEMENT
		V.E. - VISIBILITY EASEMENT
		- EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021	DDS GROUP
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A	
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL	
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A	PLOT PLAN SP1
PHASE: N/A	SWING: RIGHT	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY DSGG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.	

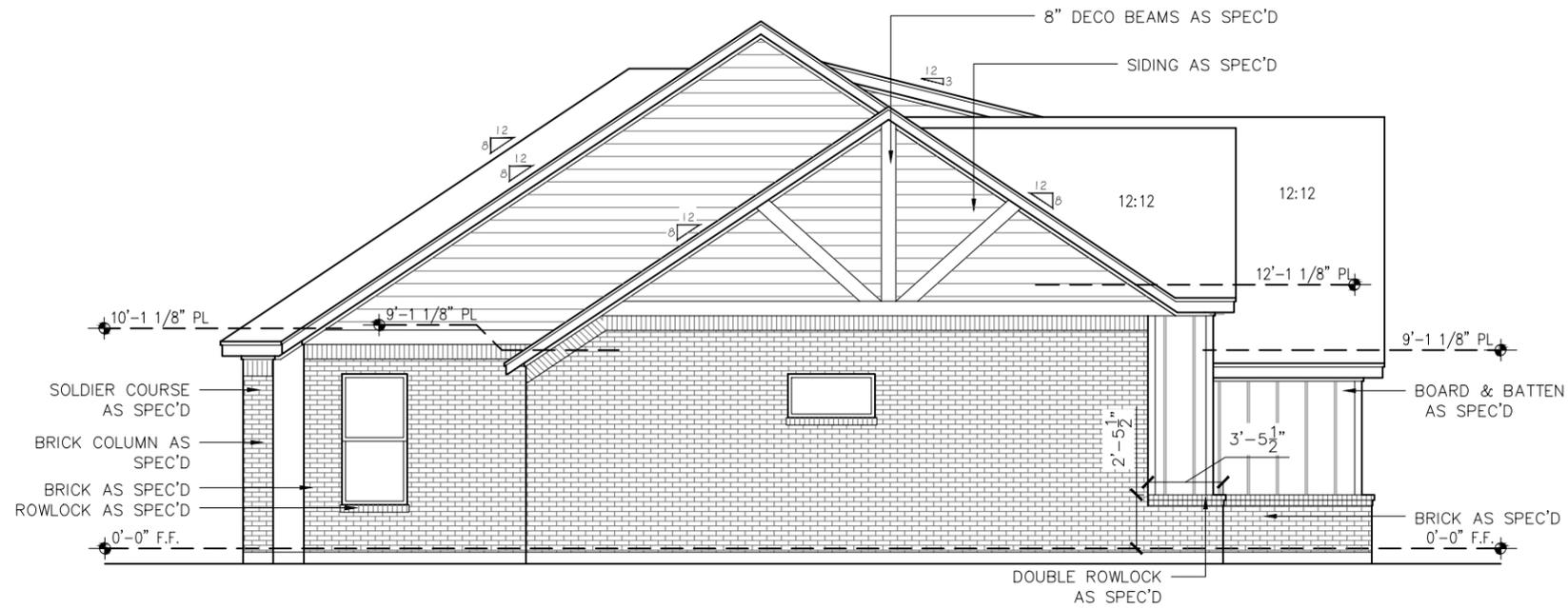


1 PROPOSED REAR ELEVATION
 SCALE: 1/8" = 1'-0"

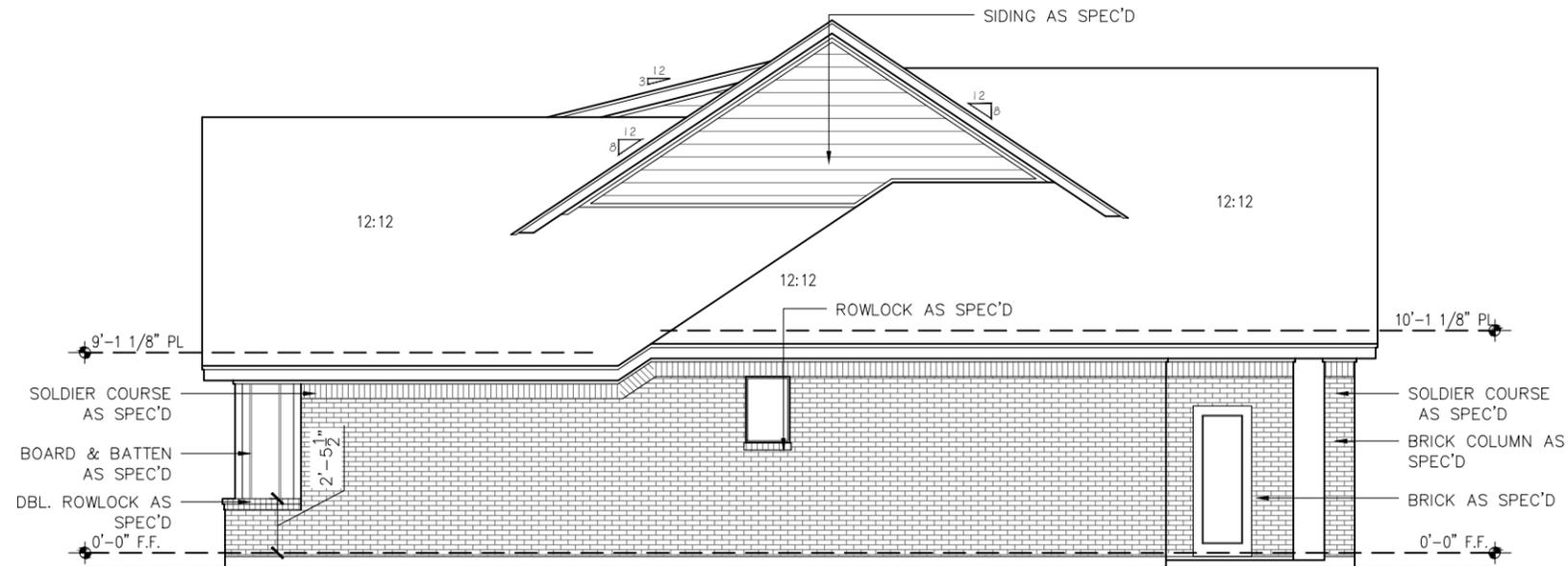
MASONRY CALCULATIONS				
AREA	SIDING	%SDNG.	MASON.	%MAS.
REAR	124 SF	26.1%	351 SF	73.9%
FRONT	273 SF	46.3%	316 SF	53.7%
LEFT	172 SF	25.0%	517 SF	75.0%
RIGHT	79 SF	17.5%	373 SF	82.5%
TOTAL	648 SF	29.4%	1,557 SF	70.6%
TOTAL STONE	46 SF			
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				



2 PROPOSED FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
3. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
4. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
5. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
6. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
7. U.N.O. ALL DOORS TO BE 6'-8."
8. U.N.O. ALL ANGLED WALLS TO BE AT 45 DEGREES.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
10. ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
11. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS: 8' PLATE: 6'-10", 9' PLATE: 7'-10", 10' PLATE: 8'-10"
12. "CORNERS" AND "T'S" SHALL BE TRUE, NOT CALIFORNIA STYLE.
13. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
14. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
15. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
16. PROVIDE FIRE-RATED SHEETROCK AT UTILITY/GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
17. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
18. U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

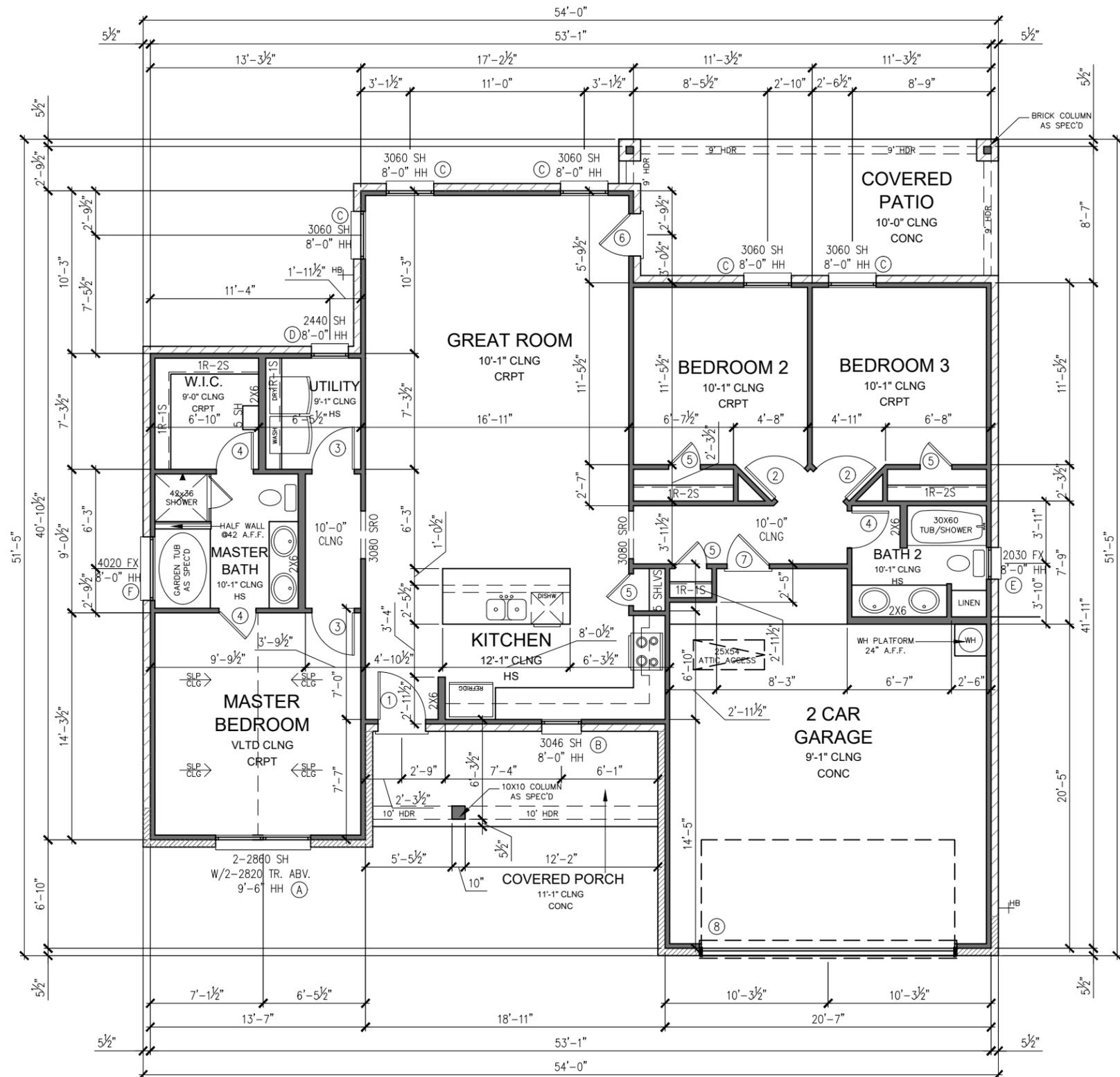
SQUARE FOOTAGE TABLE

AREA	MASONRY
FLOOR PLAN	1,529 SF
TOTAL LIVING	1,529 SF
GARAGE	477 SF
FRONT PORCH	108 SF
PATIO	198 SF
TOTAL COMBINED	2,312 SF
TOTAL SLAB	2,312 SF

MASONRY LEGEND



WALL LEGEND



WINDOW SCHEDULE

LETTER	QUANTITY	TYPE	DESCRIP.
A	1	2-2868	VINYL 3 STAR ENERGY - SH W/2820 TRANSFORM ABV.
B	1	3046	VINYL 3 STAR ENERGY - SINGLE HUNG
C	5	3060	VINYL 3 STAR ENERGY - SINGLE HUNG
D	1	2440	VINYL 3 STAR ENERGY - SINGLE HUNG
E	1	3030	VINYL 3 STAR ENERGY - FIXED OPQ
F	1	4020	VINYL 3 STAR ENERGY - FIXED OPQ
G	3	2020	VINYL 3 STAR ENERGY - FIXED OPQ
H	4	2626	VINYL 3 STAR ENERGY - FIXED OPQ

DOOR SCHEDULE

NUMBER	QUANTITY	TYPE	DESCRIP.
1	1	3080	EXTERIOR ENTRY DOOR
2	2	2668	INTERIOR
3	2	2868	INTERIOR
4	3	2468	INTERIOR
5	4	2068	INTERIOR
6	1	2868	EXTERIOR 1-LT
7	1	2868	EXTERIOR INSULATED DOOR
8	1	16080	GARAGE OHD DOOR

1 PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

478 Renee Drive: Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
414 Renee Dr.	Modular Home	1980	980	100	Siding
430 Renee Dr.	Modular Home	1980	980	208	Siding
433 Renee Dr.	Modular Home	1988	1400	400	Siding
451 Renee Dr.	Modular Home	1997	1680	300	Siding
452 Renee Dr.	Modular Home	1982	840	240	Siding
473 Renee Dr.	Modular Home	1987	924	300	Siding
485 Renee Dr.	Vacant	N/A	N/A	N/A	N/A
503 Renee Dr.	Vacant	N/A	N/A	N/A	N/A
515 Renee Dr,	Vacant	N/A	N/A	N/A	N/A
508 Renee Dr.	Modular Home	1974	1136	336	Siding
505 Evans Rd.	Single-Family Home	1981	1344	N/A	Wood/Siding
523 Nicole Dr.	Modular Home	1965	1064	N/A	Siding
503 Nicole Dr.	Modular Home	N/A	N/A	364	Siding
489 Nicole Dr.	Modular Home	1988	1200	N/A	Siding
471 Nicole Dr	Modular Home	1997	1680	N/A	Siding
Averages:		1982	1174.22	306.86	

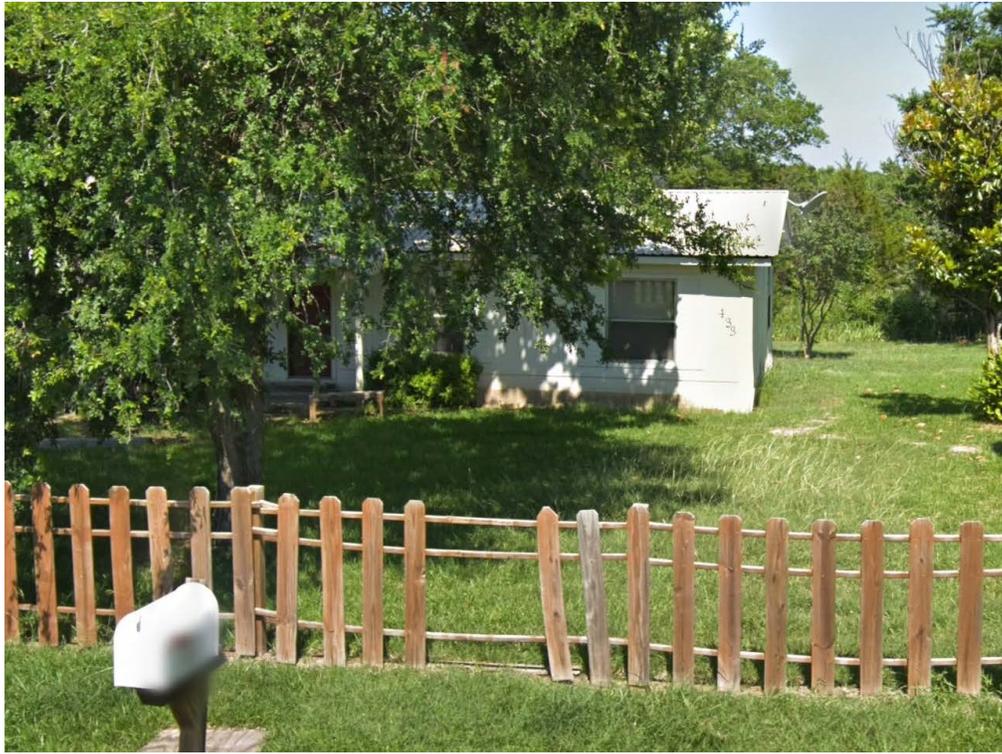
414 Renee Dr.



430 Renee Dr.



433 Renee Dr.



451 Renee Dr.



452 Renee Dr.



473 Renee Dr.



508 Renee Dr.



505 Evans Rd.



523 Nicole Dr.



503 Nicole Dr.



489 Nicole Dr.



471 Nicole Dr.



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK M, LAKE ROCKWALL ESTATES EAST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Alex Flores for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home on a 0.33-acre parcel of land identified as Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF DECEMBER, 2021.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 15, 2021

2nd Reading: December 6, 2021

Exhibit 'A'
Location Map

Address: 478 Renee Drive

Legal Description: Lot 2, Block M, Lake Rockwall Estates East



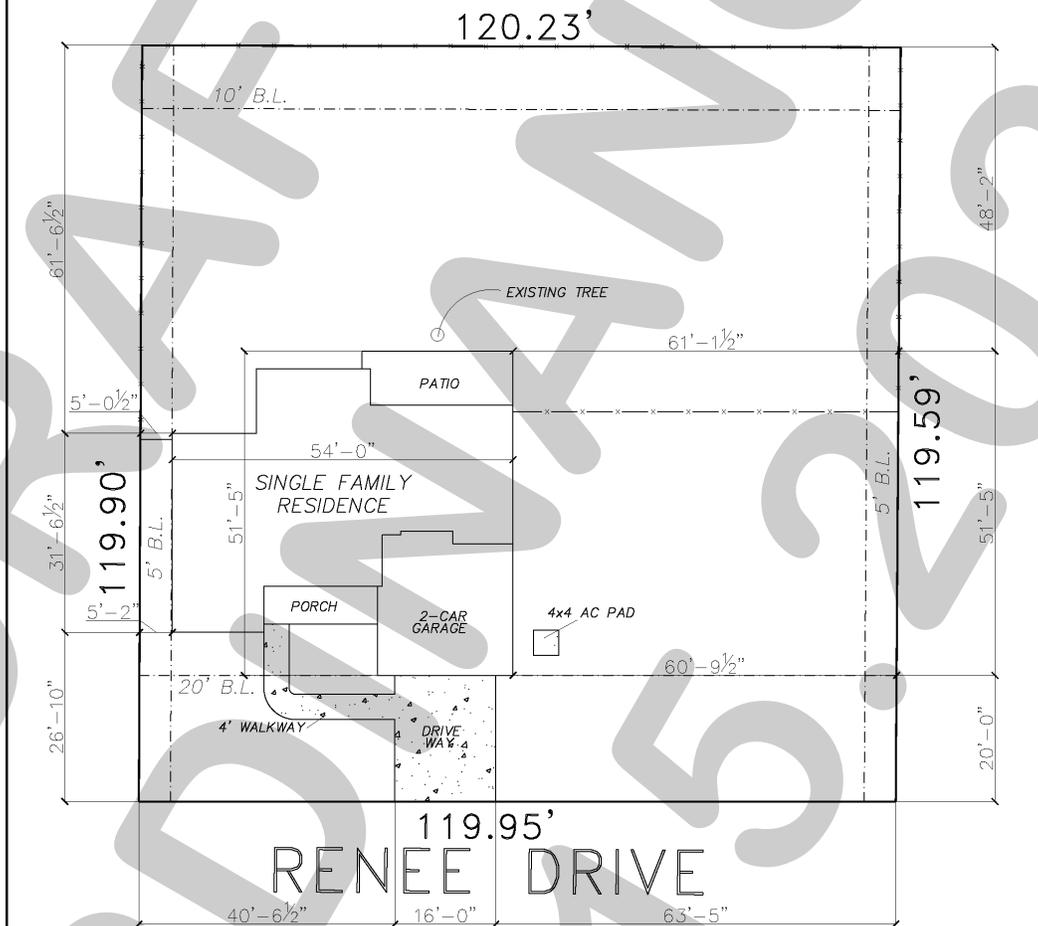
Exhibit 'B': Residential Plot Plan



NORTH
SCALE: 1" = 16'-0"

AREA CALCULATIONS	
LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE	2769 SF
% TOTAL IMP. COVERAGE	19.3 % COVERAGE
DRIVEWAY COVERAGE	320 SF
% DRIVEWAY COVERAGE	2.2 % COVERAGE
WALKWAY COVERAGE	122 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'x4' A.C. PAD COVERAGE	16 SF
% 4'x4' A.C. PAD COVERAGE	0.11 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

- LEGEND**
- DRAINAGE FLOW
 - - - PROPOSED FENCE
 - EXISTING FENCE
 - ▨ CURLEX
 - ▩ RETAINING WALL
 - ⊙ REQUIRED TREE PLANTING
 - REQUIRED BUSH

- B.L. - BUILDING LINE
- D.E. - DRAINAGE EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.E. - SANITARY SEWER EASEMENT
- T.E. - TRANSFORMER EASEMENT
- U.E. - UTILITY EASEMENT
- W.M.E. - WALL MAINT. EASEMENT
- M.E. - MAINTENANCE EASEMENT
- V.E. - VISIBILITY EASEMENT
- ⬢ EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM		DATE: 09-10-2021	
ADDITION: ROCKWALL COUNTY		DRAWN BY: DDSG-A.A	
ADDRESS: 478 RENEE DRIVE		CITY: ROCKWALL	
LOT: 1405-1406	BLOCK: N/A	PLAN: N/A	ELEVATION: N/A
PHASE: N/A		SWING: RIGHT	
OPTION: N/A			
		PLOT PLAN	SP1

NOTE: ARCHITECTURAL PLANS TAKE PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY DDSG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THIS RECORDED PLAN. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.

**Exhibit 'C':
Building Elevations**



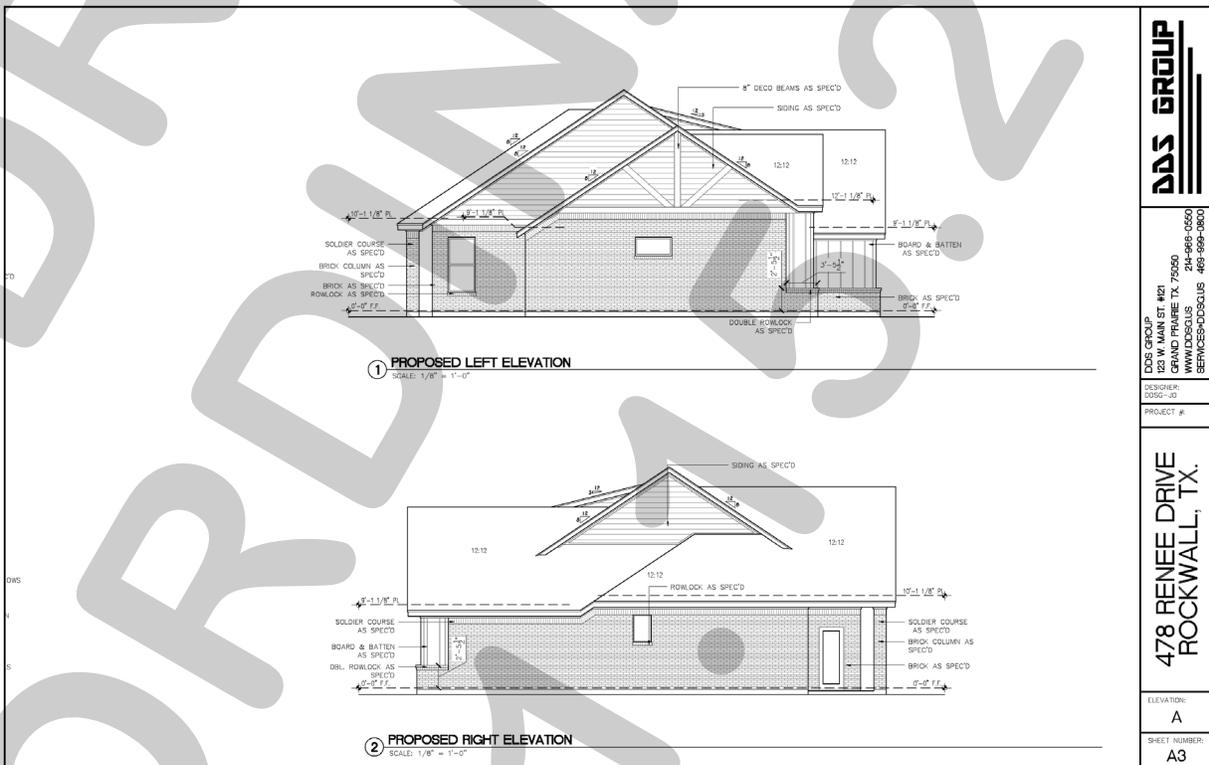
DDS GROUP

DDS GROUP
123 W MAIN ST. #21
GRAND PRairie TX, 75050
WWW.DDSGROUP.COM
214-968-0550
469-669-3800

DESIGNER: DDS-JD
PROJECT #:

**478 RENEE DRIVE
ROCKWALL, TX.**

ELEVATION: A
SHEET NUMBER: A2



DDS GROUP

DDS GROUP
123 W MAIN ST. #21
GRAND PRairie TX, 75050
WWW.DDSGROUP.COM
214-968-0550
469-669-3800

DESIGNER: DDS-JD
PROJECT #:

**478 RENEE DRIVE
ROCKWALL, TX.**

ELEVATION: A
SHEET NUMBER: A3



December 8, 2021

TO: Alex Flores
1650 John King Blvd Apt 3710
Rockwall, TX, 75087

FROM: Andrew Reyna
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2021-044; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

Alex Flores:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was approved by the City Council on December 6, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On November 9, 2021, The Planning & Zoning Commission approved a motion to approve the SUP by a vote of 5-0, with Commissioner(s) Thomas and Moeller absent.

City Council

On December 6, 2021, the City Council approved a motion to approve the specific use permit with the conditions of approval by a vote of 7-0. 2nd Reading.

Included with this letter is a copy of Ordinance No. 21-55, S-262, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 771-6488.

Sincerely,

Andrew Reyna
Planner, City of Rockwall

CITY OF ROCKWALL

ORDINANCE NO. 21-55

SPECIFIC USE PERMIT NO. S-262

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK M, LAKE ROCKWALL ESTATES EAST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Alex Flores for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home on a 0.33-acre parcel of land identified as Lot 2, Block M, Lake Rockwall Estates East Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family*

7 (SF-7) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
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- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF DECEMBER, 2021.**

Kevin Fowler, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: November 15, 2021

2nd Reading: December 6, 2021

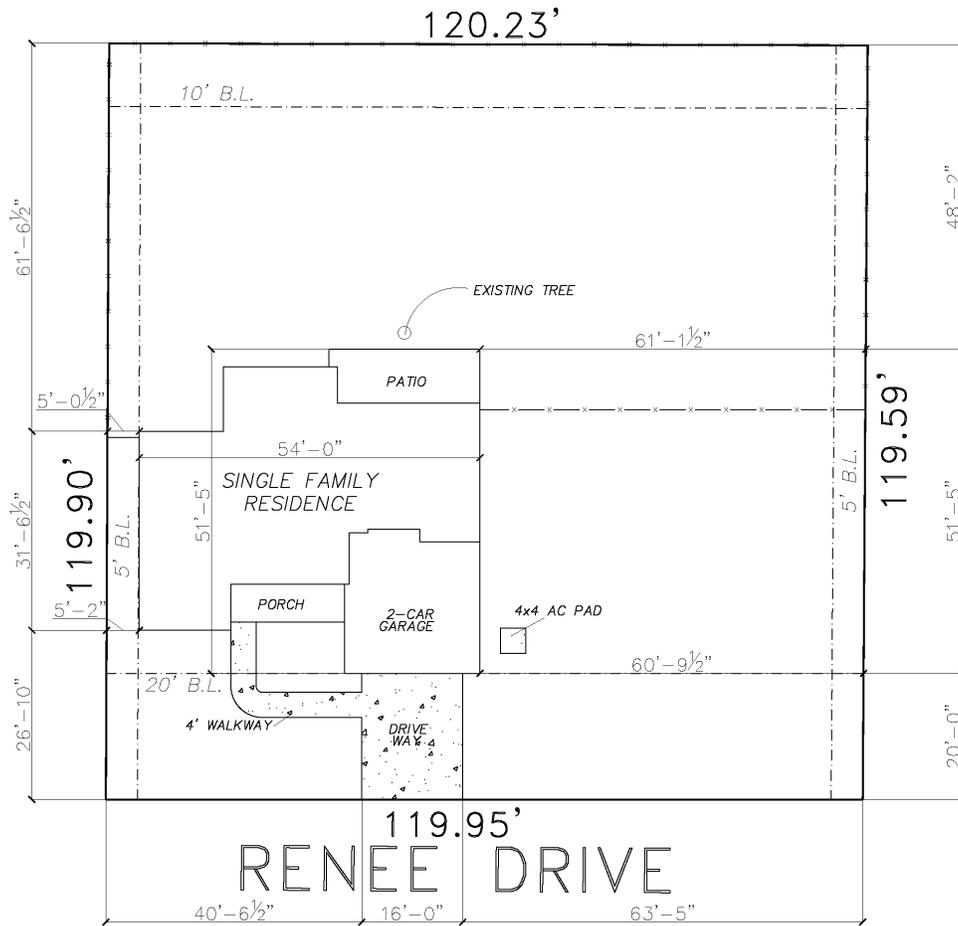
Address: 478 Renee Drive
Legal Description: Lot 2, Block M, Lake Rockwall Estates East





NORTH
SCALE: 1" = 16'-0"

AREA CALCULATIONS	
LOT AREA	14380 SF
SLAB COVERAGE	2311 SF
% BUILDING COVERAGE	16.1 % COVERAGE
TOTAL IMP. COVERAGE	2769 SF
% TOTAL IMP. COVERAGE	19.3 % COVERAGE
DRIVEWAY COVERAGE	320 SF
% DRIVEWAY COVERAGE	2.2 % COVERAGE
WALKWAY COVERAGE	122 SF
% WALKWAY COVERAGE	0.8 % COVERAGE
4'x4' A.C. PAD COVERAGE	16 SF
% 4'x4' A.C. PAD COVERAGE	0.11 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	1290 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	0 SF
LOT FRONTAGE	0 SF
FENCE	306 LINEAR SF
* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.	



CUSTOMER SIGNATURE: _____
DATE: _____
NOTES:

LEGEND	
	- DRAINAGE FLOW
	- PROPOSED FENCE
	- EXISTING FENCE
	- CURLEX
	- RETAINING WALL
	- REQUIRED TREE PLANTING
	- REQUIRED BUSH

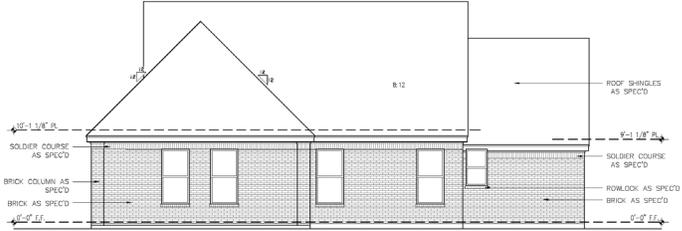
B.L. - BUILDING LINE	
D.E. - DRAINAGE EASEMENT	
P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT	
T.E. - TRANSFORMER EASEMENT	
U.E. - UTILITY EASEMENT	
W.M.E. - WALL MAINT. EASEMENT	
M.E. - MAINTENANCE EASEMENT	
V.E. - VISIBILITY EASEMENT	
	- EXPOSED AGGREGATE CONCRETE

BUILDER: ALEX FLORES CUSTOM	DATE: 09-10-2021
ADDITION: ROCKWALL COUNTY	DRAWN BY: DDSG-A.A
ADDRESS: 478 RENEE DRIVE	CITY: ROCKWALL
LOT: 1405-1406 BLOCK: N/A	PLAN: N/A ELEVATION: N/A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

PLOT PLAN SP1

NOTE: ARCHITECTURAL PLANS TAKE PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY DSGO ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DATE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THIS RECORDED PLAN. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL PLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. PLATWORK IS ONLY A REPRESENTATION.

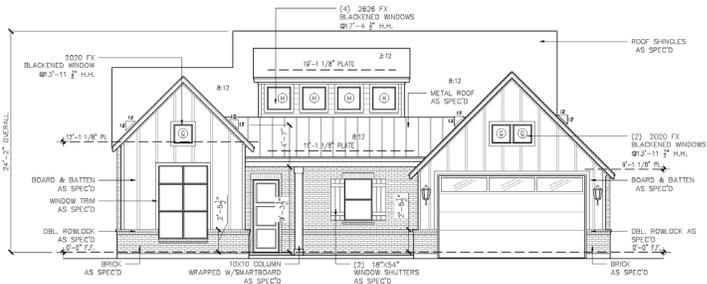


1 PROPOSED REAR ELEVATION
SCALE: 1/8" = 1'-0"

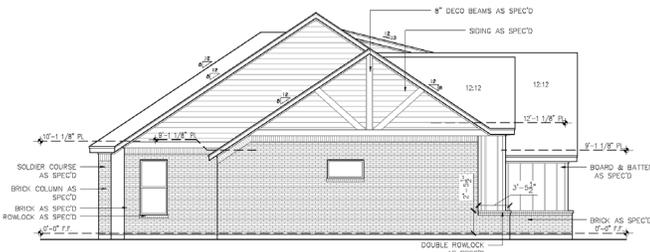
MASONRY CALCULATIONS

AREA	STONE	BRICK	ROWLOCK	SQ.FT.
REAR	124.50	28.75	20.00	173.25
FRONT	273.50	46.30	316.80	636.60
LEFT	172.50	30.00	517.00	819.50
RIGHT	78.50	17.00	373.50	469.00
TOTAL	649.00	122.05	1427.30	2298.35
TOTAL STONE	649.00			

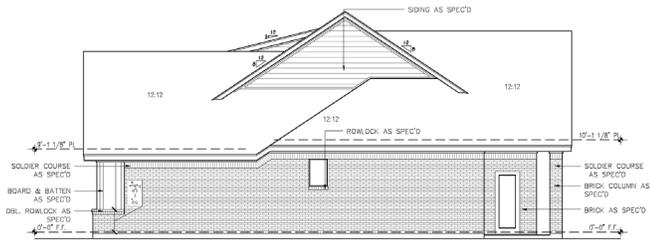
SEE PLAN AND SECTION FOR EXACT DIMENSIONS



2 PROPOSED FRONT ELEVATION
SCALE: 1/8" = 1'-0"



1 PROPOSED LEFT ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED RIGHT ELEVATION
SCALE: 1/8" = 1'-0"