



## PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # Z2021-056 P&Z DATE 01/11/22 CC DATE 01/18/22 APPROVED/DENIED  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

### SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

### PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# \_\_\_\_\_)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☒ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE \_\_\_\_\_
  - ☐ CABINET # \_\_\_\_\_
  - ☐ SLIDE # \_\_\_\_\_

NOTES: \_\_\_\_\_

ZONING MAP UPDATED \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NE CORNER OF SH-66 AND N JOHN KING BLVD

SUBDIVISION LADERA ROCKWALL

LOT 1 BLOCK A

GENERAL LOCATION NE CORNER OF SH-66 AND N JOHN KING BLVD

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD	CURRENT USE	SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING	PD	PROPOSED USE	SINGLE FAMILY RESIDENTIAL
ACREAGE	37.8	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	RW LADERA, LLC	<input type="checkbox"/> APPLICANT	McADAMS CO.
CONTACT PERSON	JOHN DELIN	CONTACT PERSON	ALEC BIDWELL
ADDRESS	361 W. BYRON NELSON BLVD. STE 104	ADDRESS	201 COUNTRY VIEW DR.
CITY, STATE & ZIP	ROCKWALL, TX 76262	CITY, STATE & ZIP	ROCKWALL, TX 76262
PHONE	817-430-3318	PHONE	469-496-2043
E-MAIL	JOHN@INTEGRITYGROUPS.COM	E-MAIL	ABIDWELL@MCADAMSCO.COM

## NOTARY VERIFICATION [REQUIRED]

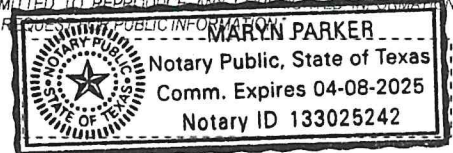
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN DELIN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE SIXTEENTH DAY OF DECEMBER, 2021 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIES OF INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF DECEMBER, 2021.

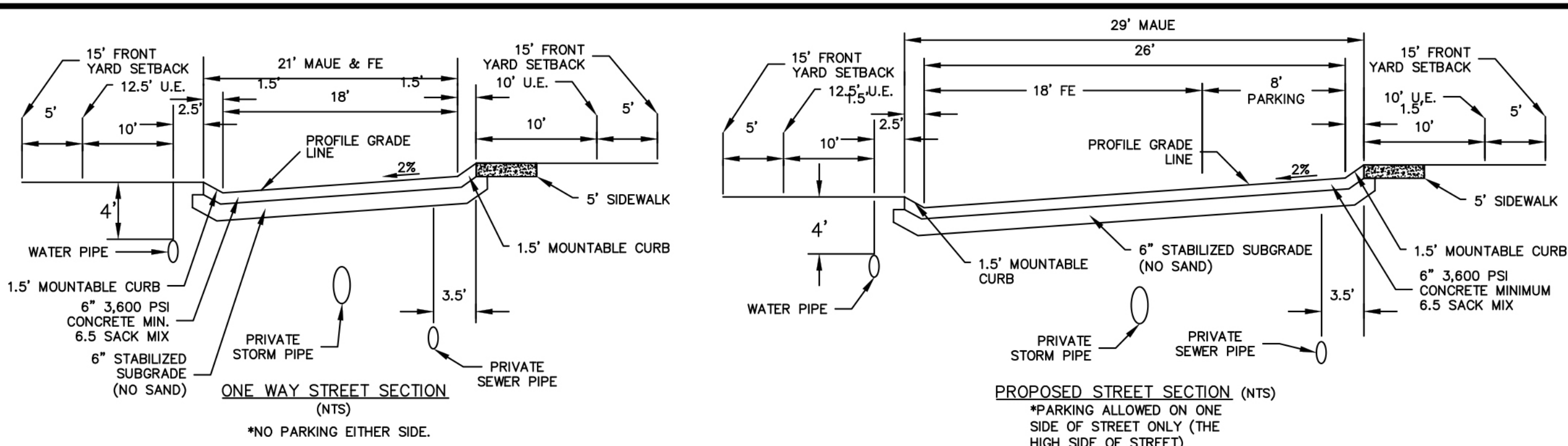
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



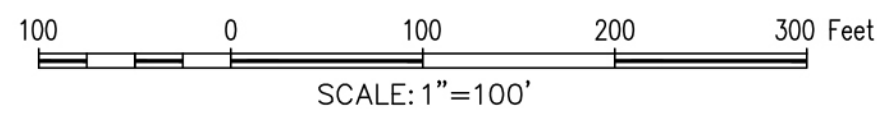
MY COMMISSION EXPIRES





Site Data Summary		
Item	Total	% of Total
Acreage of Proposed Site	37.800 Acres	100%
Flood Plain Acreage	8.86	23.44%
Open Space Acreage	15.2	40.20%
Total Number of Dwelling Units by Type **		
Unit 1: 44.5'x80'	11	
Unit 2: 42'x77'	27	
Unit 3: 42'x72'	10	
Unit 4: 42'x70'	26	
Unit 5: 54'x60'	21	
Unit 6: 64'x50'	6	
Unit 7: 36'x59'	16	
Total Units***:	117	
Minimum Dwelling Unit Size:	1,600 SF	
Minimum Open Space:	38%	
Maximum Lot Density:	3.1 DU/acre	
Maximum Height:	35'	
Setbacks:		
Front:	15'	
Side:	6' between units	
Rear:	20' between units	

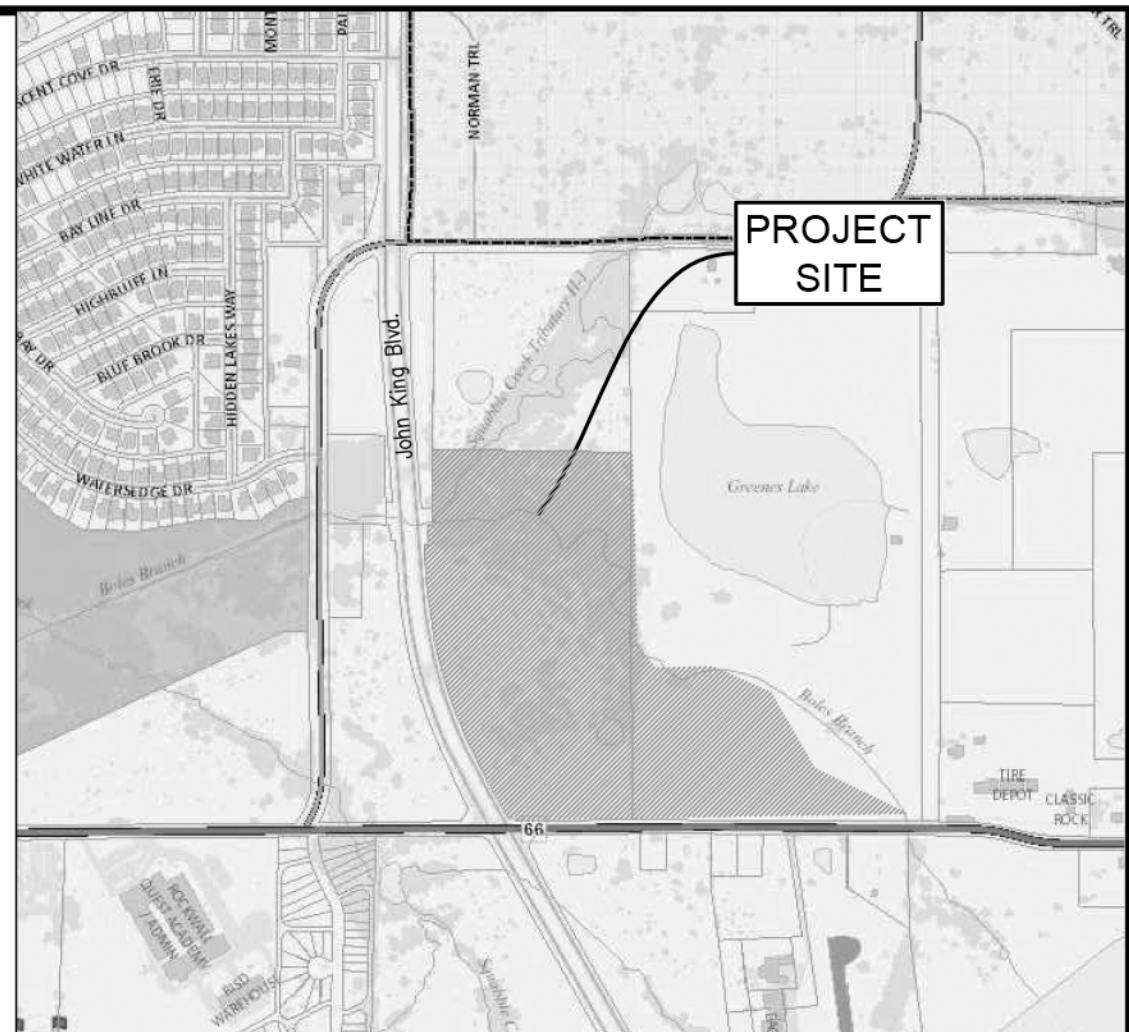
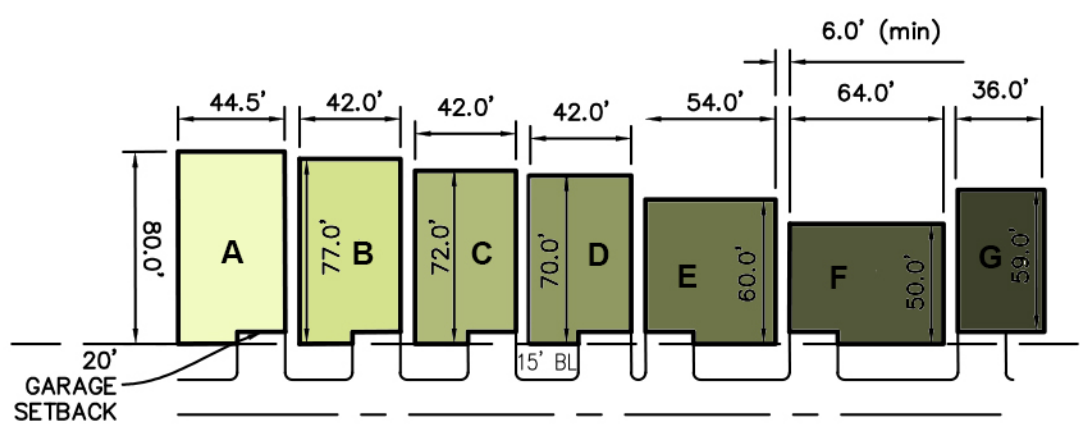
\* Excludes 50% of the total Flood Plain Area  
\*\* Unit breakdown subject to change based on homeowner preference  
\*\*\* Total units may increase but not more than maximum density allows



BM: CITY OF ROCKWALL CONTROL MONUMENT "COR-1" CALLED ELEV. 523.27.  
MEASURED ELEV. = 523.56  
BM: CITY OF ROCKWALL CONTROL MONUMENT "COR-2" CALLED ELEV. 529.10.  
MEASURED ELEV. = 529.37

#### GENERAL NOTES

- LADERA ROCKWALL SHALL BE COMPLETED IN TWO PHASES.
- THE LADERA HOA SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL YARDS, OPEN SPACE, LANDSCAPE, DRAINAGE AND PAVING.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PARKING SPOTS ARE 9' WIDE AND 20' DEPTH UNLESS OTHERWISE NOTED. PARALLEL PARKING IS 9' WIDE AND 22' DEEP.
- TXDOT PERMIT REQUIRED FOR WORK IN TXDOT R.O.W.
- FOR MORE INFORMATION ON THE CROSS SECTIONS FOR THE ULTIMATE 100 YR FLOODPLAIN REFER TO "HYDROLOGIC AND HYDRAULIC STUDY IN SUPPORT OF LADERA ROCKWALL DEVELOPMENT" PREPARED BY JEA-HYDROTECH ENGINEERING, INC.



Vicinity Map Not To Scale

#### LEGAL DESCRIPTION

BEING all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being all of Lot 1, Block A, Ladera Rockwall, an addition to the City of Rockwall, recorded in Document Number 2019000016594 of the Plat Records, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. Peoples, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at the intersection of the south line of said Lot 1 the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

THENCE S 88°18'19"W, with the south line of said Lot 1 and the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

THENCE N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

THENCE N 00°10'47" W, with the east line of said Lot 1 and the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

THENCE N 89°54'11" E, with the north line of said Lot 1 and the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

THENCE S 01°28'09" E, with the west line of said Lot 1, and the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

THENCE over, across, and through said 73.2744 acre tract and with the east line of said Lot 1 the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

THENCE S 89°18'14" W, with the south line of said Lot 1, the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the POINT OF BEGINNING and containing approximately 37.800 acres of land.



**OWNER/DEVELOPER**  
RW LADERA, LLC  
361 W. BYRON NELSON BLVD, STE 104  
ROANOKE, TX 76262  
Ph. 817.430.3318  
Contact: John Dellin

The John R. McAdams Company Inc.  
111 Hillside Drive  
Lewisville, Texas 75057  
972.435.9712  
201 Country View Drive  
Rockwall, Texas 75087  
940.246.1012  
TBPE: 19762 TBPLS: 10194440  
www.mcadamsco.com

**LADERA ROCKWALL PHASE II**  
Lot 2, Block A & Lot 1, Block B  
LADERA ROCKWALL  
37,800 Acres  
in the  
M. JONES SURVEY, ABSTRACT NO. 122  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

**SITE & DIMENSIONAL CONTROL PLAN (PHI-PHII)**

**PRELIMINARY PLANS**  
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
G&A I MCADAMS,  
TBPE: 19762  
JUSTIN L. LANSLOWNE,  
P.E. #121990  
DATE 12/17/2021

Drawn By: MD  
Date: 12/17/2021  
Scale: 1"=100'  
Revisions:

17191

CP



CITY OF ROCKWALL

ORDINANCE NO. 18-32

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 85 (PD-85) [ORDINANCE NO. 17-55] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO INCORPORATE A 9.762-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT INTO PLANNED DEVELOPMENT DISTRICT 85 (PD-85) CREATING A 47.694-ACRE PLANNED DEVELOPMENT DISTRICT IDENTIFIED AS TRACTS 4-01 & 5 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by the John Delin of Integrity Group, LLC for the approval of a zoning change amending Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] for the purpose of incorporating a 9.762-acre tract of land zoned Agricultural (AG) District into Planned Development District (PD-85), allowing limited General Retail (GR) District and Single Family 7 (SF-7) District land uses on a 47.694-acre tract of land identified as Tract 4-01 & 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No. 17-55*; and,

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plans*, contained in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;



**SECTION 5.** That development of *Tract 1* of the *Subject Property* -- as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (including Subsections 5(b) through 5(f) below), shall be the exclusive procedures applicable to the subdivision and platting of *Area 3* as depicted in *Exhibit 'B'* of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) *Open Space Master Plan*
  - (2) *Master Plat*
  - (3) *Preliminary Plat*
  - (4) *PD Site Plan*
  - (5) *Final Plat*
- (c) *Open Space Master Plan*. An *Open Space Master Plan* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Open Space Master Plan* for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *Master Plat* and an *Open Space Master Plan Application* for the development.
- (f) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted for approval.

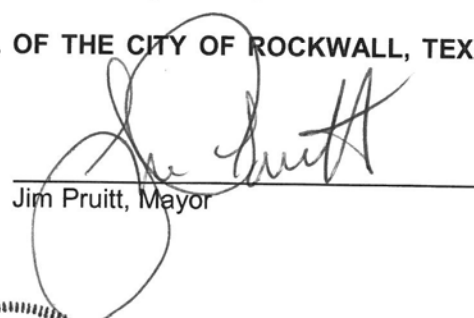
**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS  
THE 6<sup>TH</sup> DAY OF AUGUST, 2018.**

  
Jim Pruitt, Mayor

**ATTEST:**

  
Kristy Cole, City Secretary

**APPROVED AS TO FORM:**

  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: July 16, 2018

2<sup>nd</sup> Reading: August 6, 2018



**Exhibit 'A':**  
*Legal Description*

Legal Description for Tract 1:

Tract 1 9.894 acres M. B. Jones Survey, Abstract No. 122 B. Jones Survey, Abstract No. 122 City of Rockwall Rockwall County, Texas

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. G&A CONSULTANTS", being in the north line of U. , being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 724.55 feet; E, a distance 724.55 feet;

*THENCE* S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

*THENCE* N 02°39'30" W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar found;

*THENCE* N 01°20'56" W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 G&A CONSULTANTS", being the southwest corner of a called 1.837 , being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at G&A CONSULTANTS", being the southeast corner thereof, and being at , being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

*THENCE* N 01°20'56" W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of G&A CONSULTANTS", being in the south line of a 10.942 acre tract of , being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called G&A CONSULTANTS", being the most northwesterly corner of a called , being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins

Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A E, a

**Exhibit 'A':**  
*Legal Description*

distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and , and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and , and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 28°49'11" W, a distance of 32.25 feet to the *POINT OF BEGINNING* and containing approximately 9.894 acres of land.



**Exhibit 'A':**  
*Legal Description*

*Legal Description for Tract 2:*

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar found at the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

*THENCE* S 88°18'19"W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Northwesterly with the east line of said 3.989 acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

*THENCE* N 00°10'47" W, with the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000 acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

*THENCE* N 89°54'11" E, with the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744 acre tract;

**Exhibit 'A':**  
*Legal Description*

*THENCE* S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

*THENCE* over, across, and through said 73.2744 acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

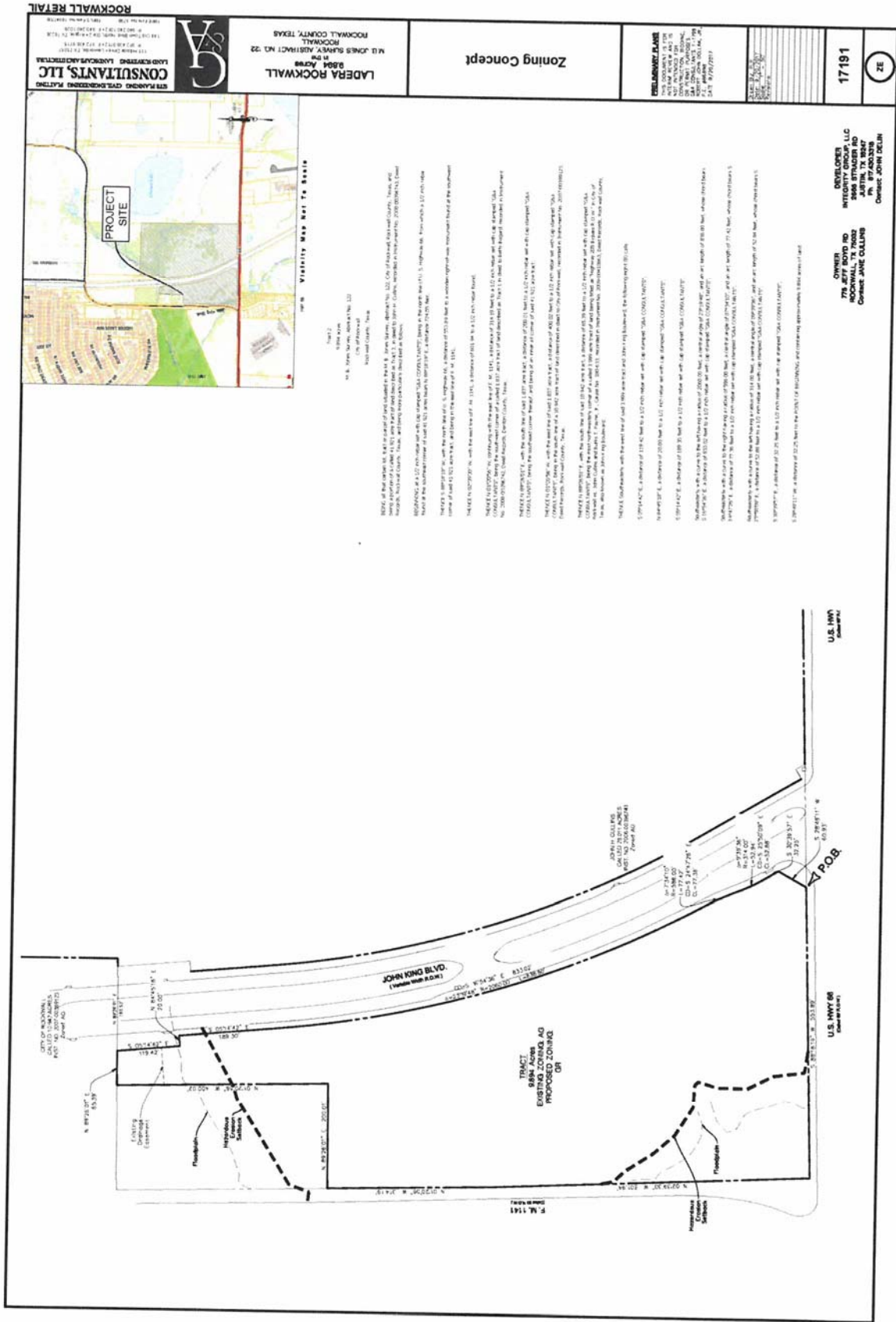
S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744 acre tract and the north line of U.S. Highway 66;

*THENCE* S 89°18'14" W, with the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the *POINT OF BEGINNING* and containing approximately 37.800 acres of land.



**Exhibit 'B':**  
*Concept Plan: Tract 1*





**Exhibit 'C':**  
*PD Development Standards*

***PD Development Standards.***

***Tract 1: 9.894-Acres of Non-Residential Property***

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 1* of the *Subject Property*; however, the following additions and conditions shall apply:

The following land uses shall be expressly prohibited on the *Subject Property*:

- ☒ Convent or Monastery
- ☒ Hotel or Motel
- ☒ Hotel, Residence
- ☒ Cemetery/Mausoleum
- ☒ Mortuary or Funeral Chapel
- ☒ Social Service Provider
- ☒ Billiard Parlor or Pool Hall
- ☒ Carnival, Circus, or Amusement Ride
- ☒ Commercial Amusement/Recreation (*Outside*)
- ☒ Gun Club, Skeet or Target Range (*Indoor*)
- ☒ Astrologer, Hypnotist, or Psychic Art and Science
- ☒ Night Club, Discotheque, or Dance Hall
- ☒ Secondhand Dealer
- ☒ Car Wash, Self Service
- ☒ Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
- ☒ Service Station
- ☒ Mining and Extraction (*Sand, Gravel, Oil & Other*)
- ☒ Helipad
- ☒ Railroad Yard or Shop
- ☒ Transit Passenger Facility

The following additional use shall be permitted through a Specific Use Permit (SUP) on the *Subject Property*:

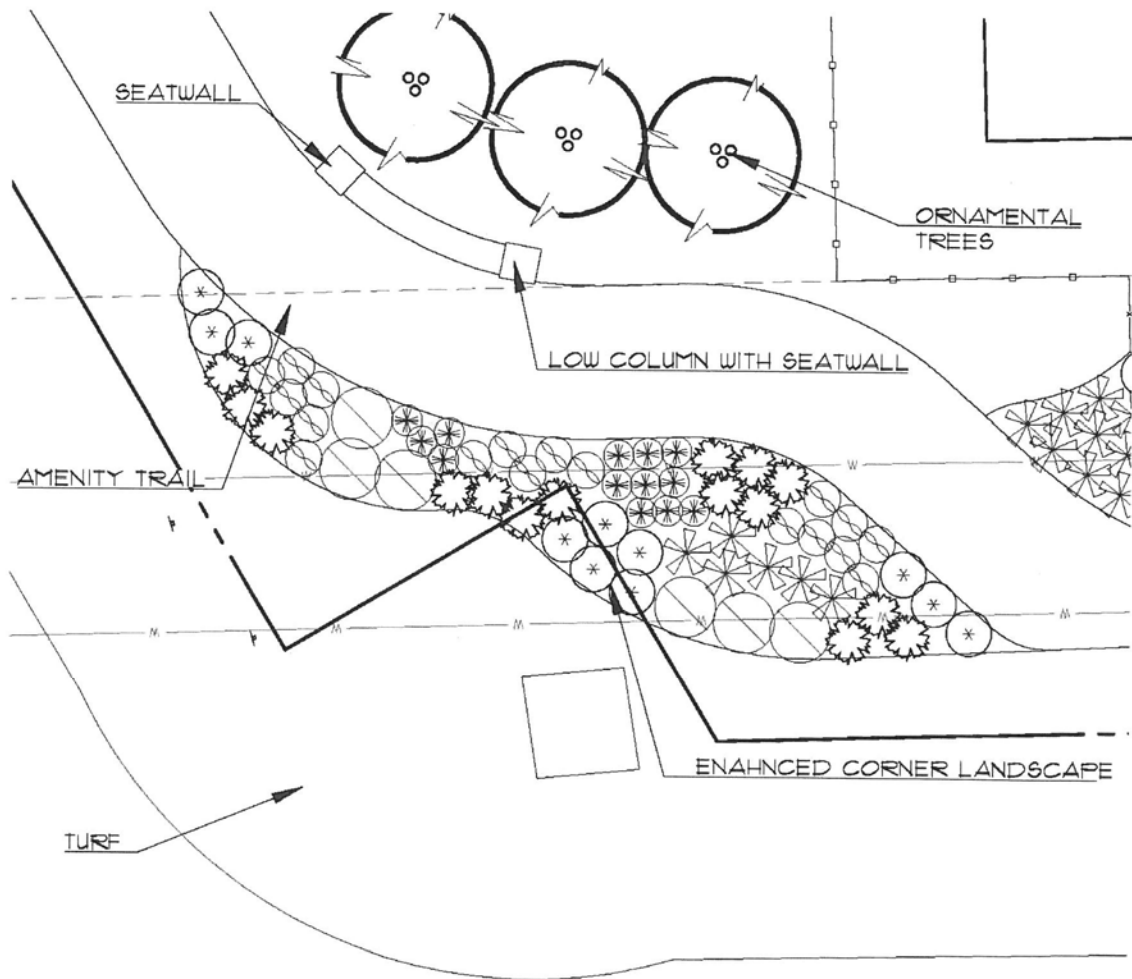
- ☒ Garden Supply/Plant Nursery

- (2) *Density and Dimensional Requirements.* Any development on *Tract 1* of the *Subject Property* shall be subject to the development standards required for properties in a General Retail (GR) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall adhere to the following:
- (a) *Landscape Buffer (SH-66).* A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to SH-66.



**Exhibit 'C':**  
**PD Development Standards**

- (b) *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 15-foot landscape buffer adjacent to John King Boulevard.
- (c) *Landscape Buffer (FM-1141)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to FM-1141.
- (4) *Intersection Enhancements*. In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide an intersection enhancement at the corner of the intersection of Williams Street (SH-66) and John King Boulevard that generally conforms to the following design:



**Exhibit 'C':**  
**PD Development Standards**

**Tract 2: 28.011-Acres of Residential Property**

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 2* of the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- ☒ Activity Center
- ☒ Community Pool
- ☒ Gazebos/Pavilions
- ☒ Sports Courts

- (2) **Unit Composition and Layout.** The unit composition and layout shall generally conform to the *Concept Plan* for *Tract 2* depicted in *Exhibit 'B'* and stated as follows:

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	20	15.48%
2 & 3	42' x 77'	1,600 SF	31	59.52%
4	54' x 60'	1,600 SF	41	16.67%
5	64' x 50'	2,100 SF	6	08.33%
<b>Total Units:</b>			<b>122</b>	

- (3) **Density and Dimensional Requirements.** The maximum permissible density for the *Subject Property* shall not exceed 3.2-units/acre; however, in no case should the proposed development exceed 122 single-family, residential units. The *Subject Property* shall maintain conformance with the following requirements:

- (a) **Condominium Requirement.** The property shall be established as a condominium development pursuant to the requirements of *Chapter 82* of the *Texas Property Code*, and platted as a single lot.
- (b) **Lot Dimensional Requirements.** The proposed condominium lot shall adhere to the following setbacks:

<i>Minimum Lot Width</i>	<b>1,500'</b>
<i>Minimum Lot Depth</i>	<b>490'</b>
<i>Minimum Lot Area</i>	<b>28.0-Acres</b>
<i>Minimum Setback Adjacent to John King Boulevard</i>	<b>95'</b>
<i>Minimum Setback Adjacent to SH-66</i>	<b>20'</b>
<i>Minimum Setback Adjacent to the Eastern &amp; Northern Property Lines</i>	<b>10'</b>

*Continued on next page ...*

**Exhibit 'C':**  
**PD Development Standards**

- (c) *Internal Artificial Lot Requirements.* The units constructed on the proposed condominium lot shall adhere to the following dimensional requirements for artificial lots:

Minimum Setback from a Private Street <sup>(1) (2) (3)</sup>	15'
Minimum Side Yard Distance Between Units	6'
Minimum Side Yard Setback from a Private Street <sup>(1) (2)</sup>	10'
Minimum Rear Yard Distance Between Units	20'
Maximum Height	35'

General Notes:

- <sup>1</sup>: This setback shall be measured from the back of curb.  
<sup>2</sup>: Variances of up to five (5) feet may be granted by the Director of Planning and Zoning on a case-by-case basis for artificial lots on curve-linear streets.  
<sup>3</sup>: The minimum length of a driveway shall be 20-feet as measured from the edge of the approach to the garage door.

- (4) *Building Standards.* All development shall adhere to the following building standards:

- (A) *Masonry Requirement.* The minimum masonry requirement for the exterior façades -- excluding doors and windows -- of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted to be used to meet up to 40% of the masonry requirement.
- (B) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on the front elevation of all structures. Porches and rear elevations shall have a minimum of a 4:12 roof pitch.
- (C) *Garage Orientation.* Garages shall oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration. If a front entry garage configuration is utilized it shall face the street and shall be located even with the front building façade of the primary structure. On *traditional swing* (or *j-swing*) garages a second single garage door facing the street is permitted if it is located behind the width of the double garage door.
- (D) *Anti-Monotony Restrictions.* The development shall adhere to the following Anti-Monotony requirements (for spacing requirements see the illustration on the following page):
- (1) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
  - (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - (a) Number of Stories
    - (b) Brick Color
    - (c) Roof Type and Layout
    - (d) Articulation of the Front Façade
  - (3) All roof shingles shall be an architectural or dimensional shingle, and have a 30-year rating. (*3-Tab Roofing Shingles are prohibited*).

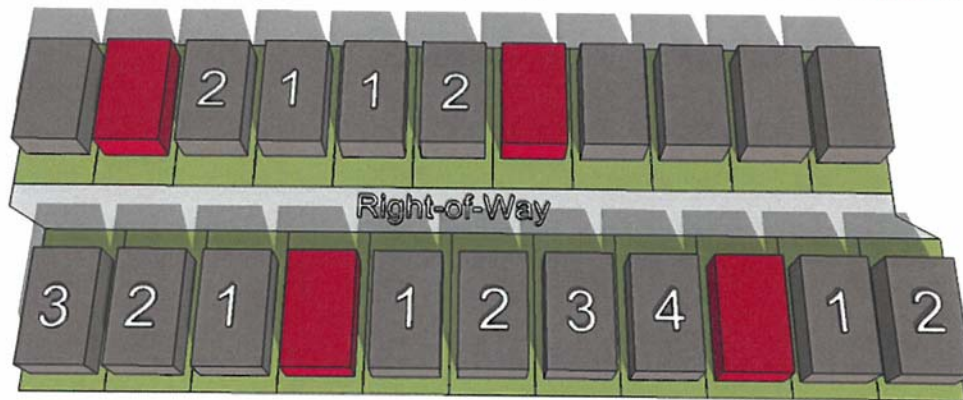


**Exhibit 'C':**  
**PD Development Standards**

*Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.*



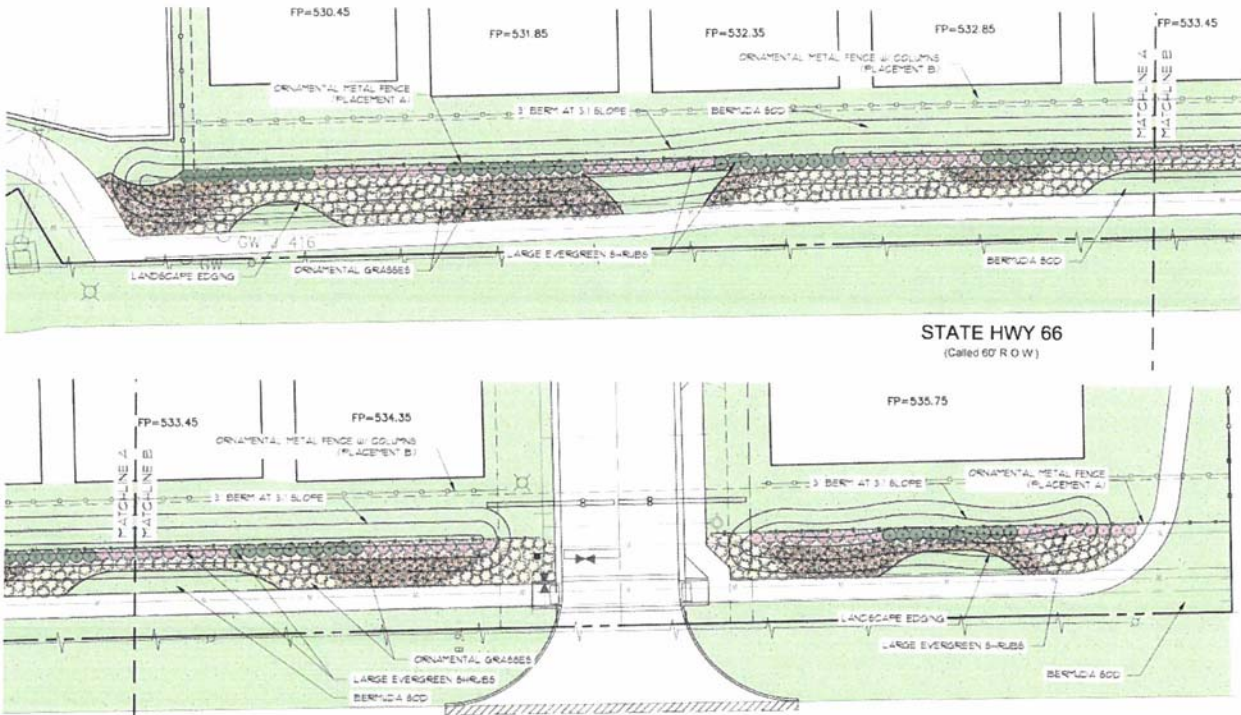
*Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.*



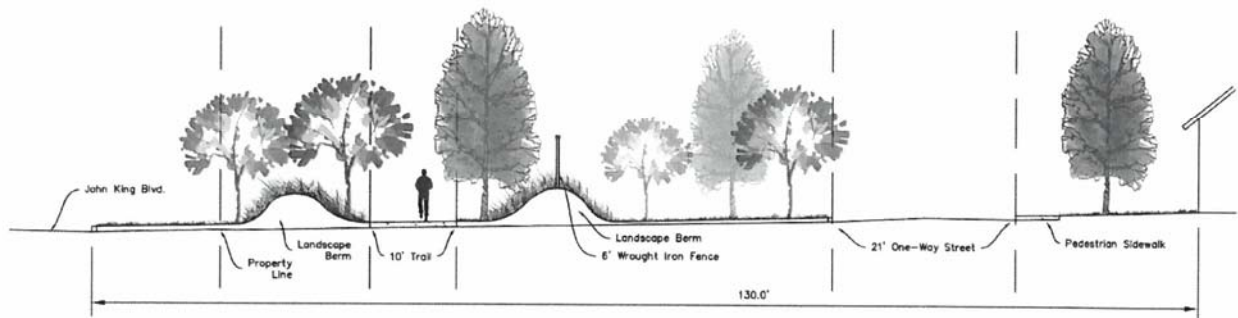
- (E) *Fencing Standards.* All residential privacy fencing shall be six (6) foot wrought iron/tubular steel fencing for transparent fencing and six (6) foot Simtek (or a similar product) fencing for non-transparent fencing. Fencing located along the exterior of the condominium lot shall be a minimum of six (6) foot wrought iron/tubular steel fencing with masonry columns a maximum of 45-feet on center. The masonry columns shall only be required adjacent to John King Boulevard and SH-66.
- (F) *Landscape and Hardscape Standards.*
- (1) *Residential Landscape.* All canopy trees planted within the condominium lot and not situated within a required landscape buffer shall be a minimum of three (3) inches in caliper and accent trees shall be a minimum of four (4) feet in height. All tree plantings shall conform to the City's tree planting guidelines and requirements stipulated in Appendix F, *Landscaping Guidelines and Requirements*, of the Unified Development Code.
  - (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA) and shall conform to the following:
    - (a) *Landscape Buffer (SH-66).* A minimum of a 20-foot landscape buffer shall be provided along the frontage of SH-66 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. The landscaping shall be generally as depicted below. The developer shall also be

**Exhibit 'C':**  
**PD Development Standards**

responsible for the construction of a five (5) foot sidewalk situated within the 20-foot landscape buffer adjacent to SH-66.



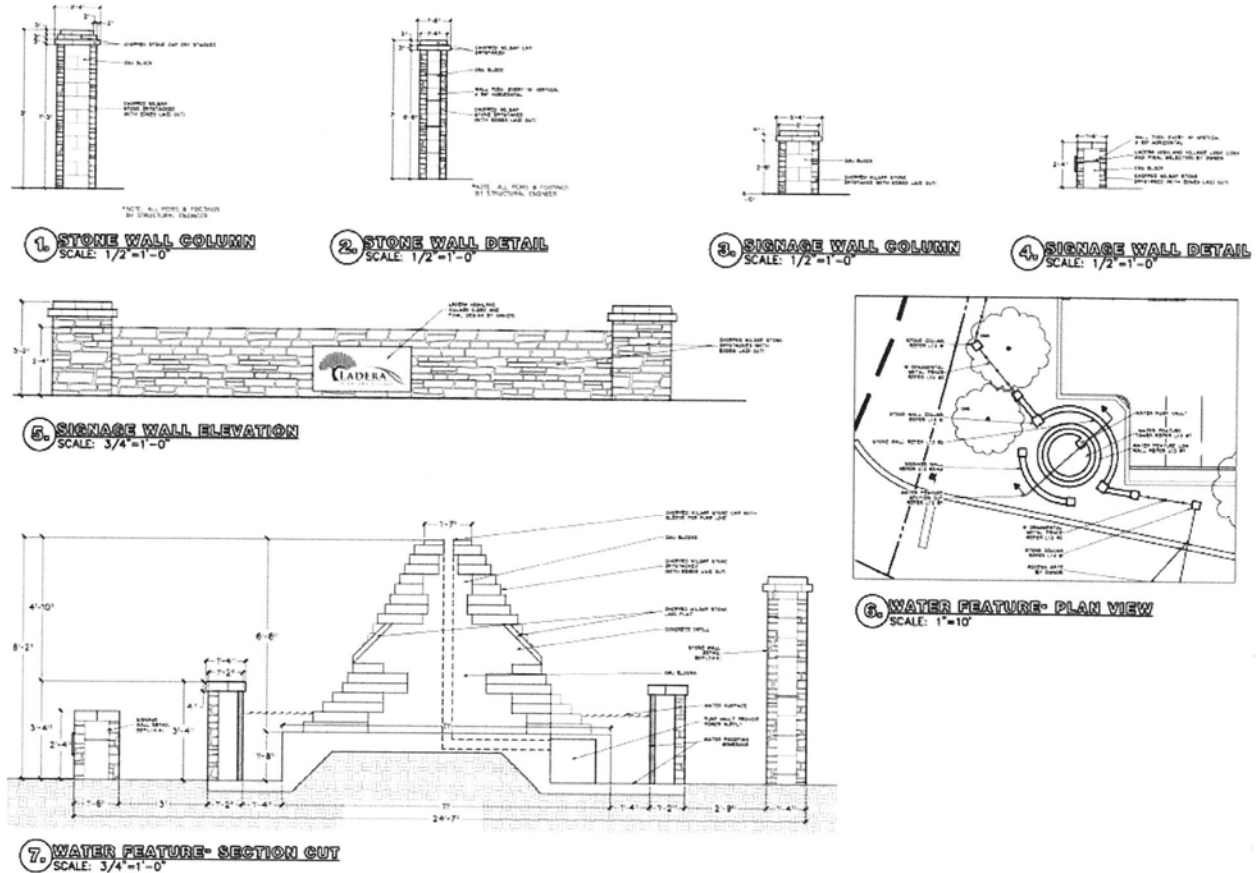
- (b) *Landscape Buffer and Sidewalks (John King Boulevard).* A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard. The required wrought iron fence along John King Boulevard may be situated within 40-feet of the right-of-way line. In addition, the design of the buffer shall generally conform to the following cross section:





**Exhibit 'C':**  
**PD Development Standards**

- (3) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (4) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (G) *Trail Enhancements.* In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide a trail enhancement element that generally conforms to the following design:

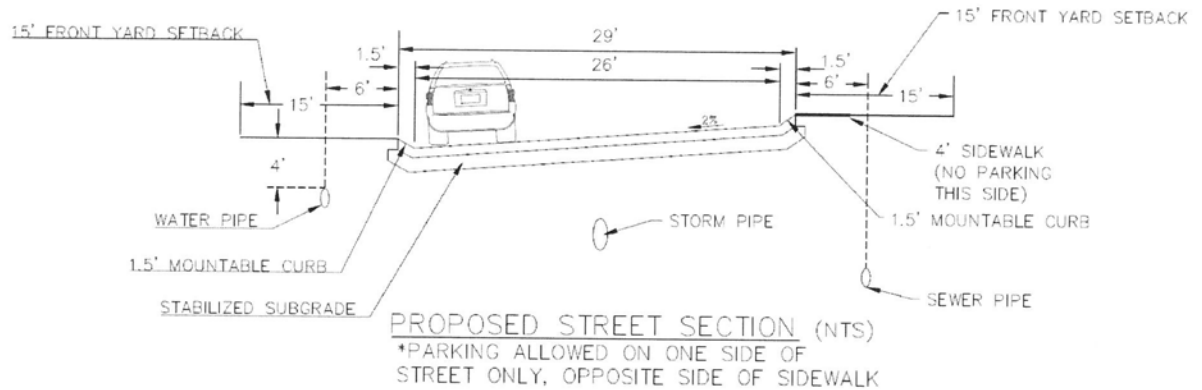


- (H) *Lighting.* Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to concentrate light within the development area.

Continued on next page ...

**Exhibit 'C':**  
**PD Development Standards**

- (I) *Private Streets.* With the exception of the 21-foot, one-way street situated adjacent to John King Boulevard the street cross sections for this development should conform to the following cross section:



- (J) *Open Space.* The development shall consist of a minimum of 47.88% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall maintain all common open space areas. For the purposes of this Planned Development District open space shall include all front yards, rear yards, common areas, buffers and floodplain installed by the developer, but does not include any landscaping, trees, patios and other improvements installed by the homeowner. Floodplain shall be calculated at a rate of 50% (e.g. ½-acre for every acre provided).
- (K) *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
- (L) *Condominium Owner's Association (COA).* A Condominium Owner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Chapter 82, Uniform Condominium Act*, of the *Texas Property Code*. The COA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, and screening fences associated with this development, but it is not required to maintain additional landscaping or improvements added by the homeowner.
- (M) *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

**Exhibit 'C':**  
*PD Development Standards*

- (N) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code [*Ordinance No. 04-38*] shall apply to any application for variances to this ordinance.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NE CORNER OF SH-66 AND N JOHN KING BLVD

SUBDIVISION LADERA ROCKWALL

LOT 1 BLOCK A

GENERAL LOCATION NE CORNER OF SH-66 AND N JOHN KING BLVD

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD	CURRENT USE	SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING	PD	PROPOSED USE	SINGLE FAMILY RESIDENTIAL
ACREAGE	37.8	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	RW LADERA, LLC	<input type="checkbox"/> APPLICANT	McADAMS CO.
CONTACT PERSON	JOHN DELIN	CONTACT PERSON	ALEC BIDWELL
ADDRESS	361 W. BYRON NELSON BLVD. STE 104	ADDRESS	201 COUNTRY VIEW DR.
CITY, STATE & ZIP	ROCKWALL, TX 76262	CITY, STATE & ZIP	ROCKWALL, TX 76262
PHONE	817-430-3318	PHONE	469-496-2043
E-MAIL	JOHN@INTEGRITYGROUPS.COM	E-MAIL	ABIDWELL@MCADAMSCO.COM

## NOTARY VERIFICATION [REQUIRED]

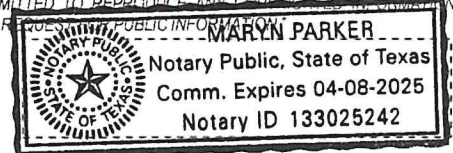
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN DELIN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE SIXTEENTH DAY OF DECEMBER, 2021 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIES OF INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF DECEMBER, 2021.

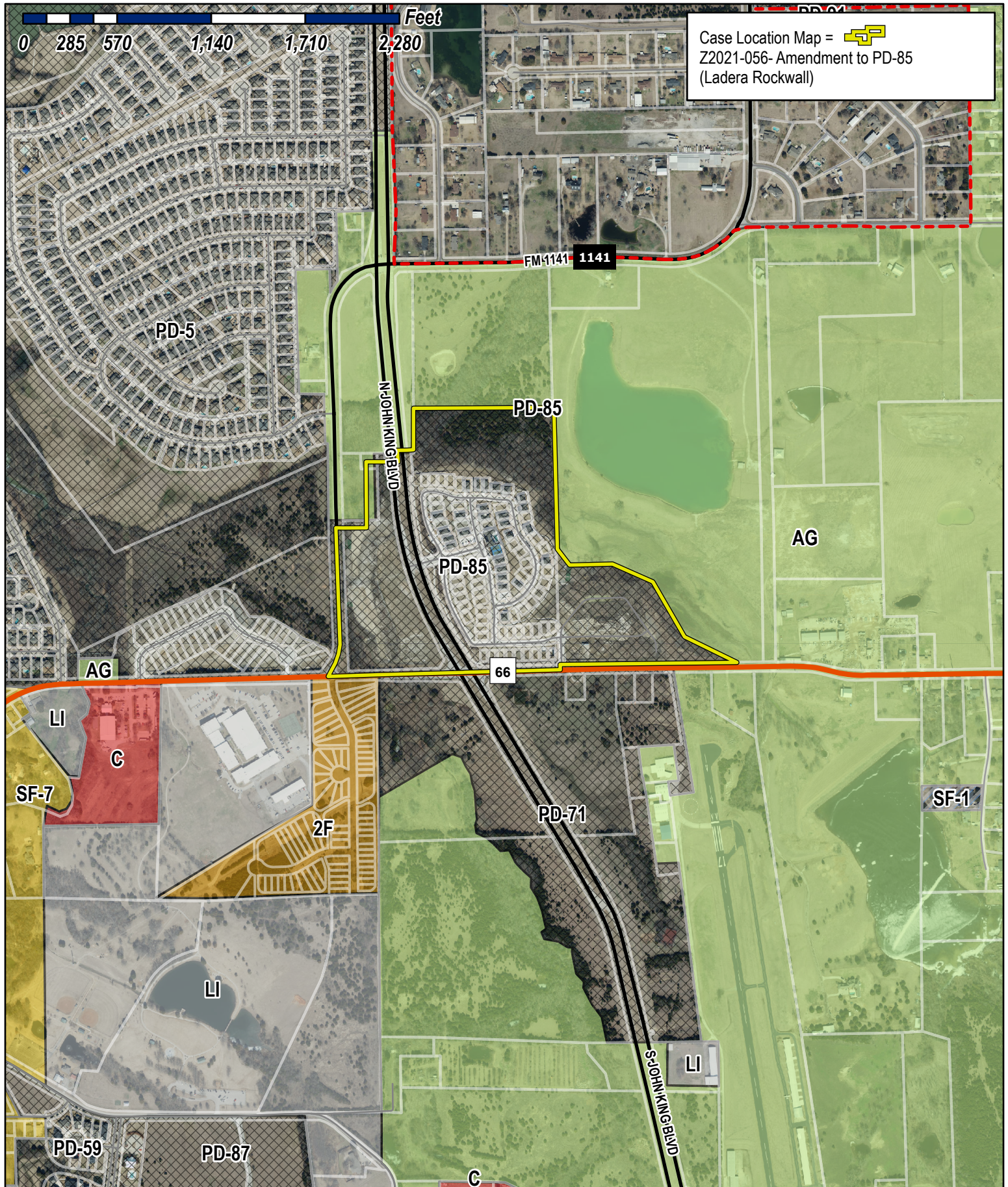
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES





## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



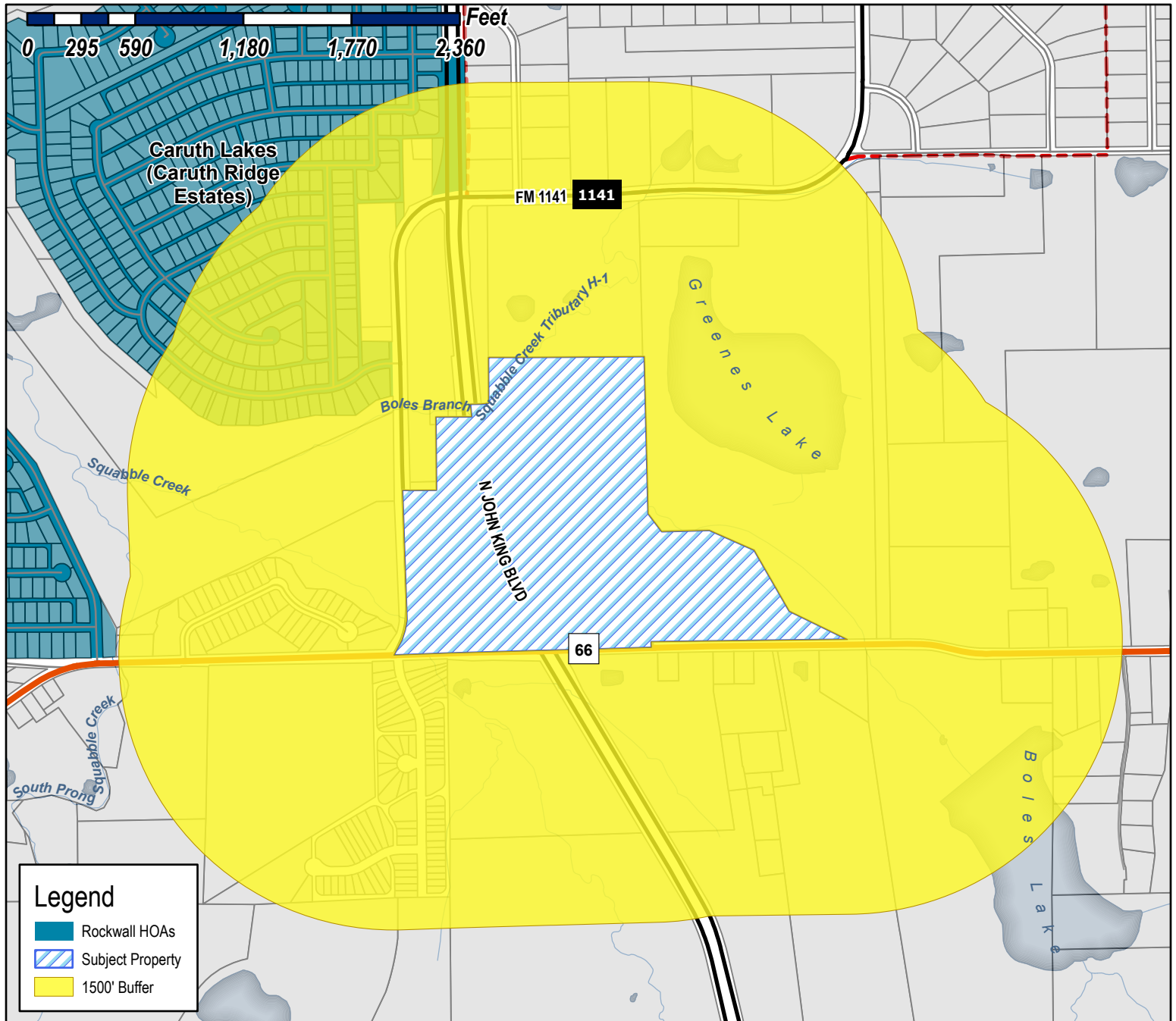




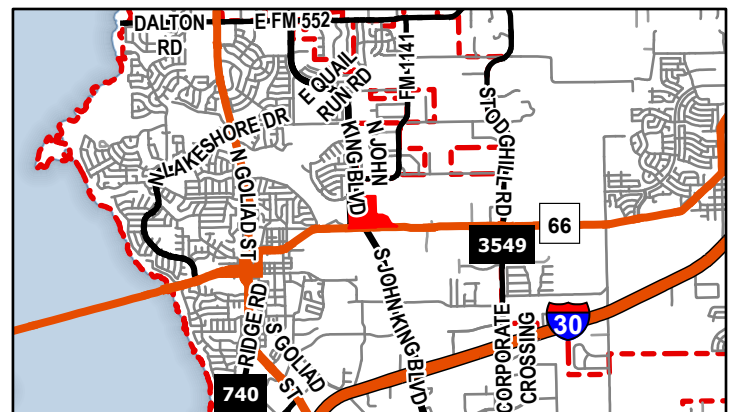
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2021-056  
**Case Name:** Amendment to PD-85  
(Ladera Rockwall)  
**Case Type:** Zoning  
**Zoning:** Planned Development District 85  
(PD-85)  
**Case Address:** Corner of N. John King & SH66  
**Date Saved:** 12/16/2021  
For Questions on this Case Call (972) 771-7745

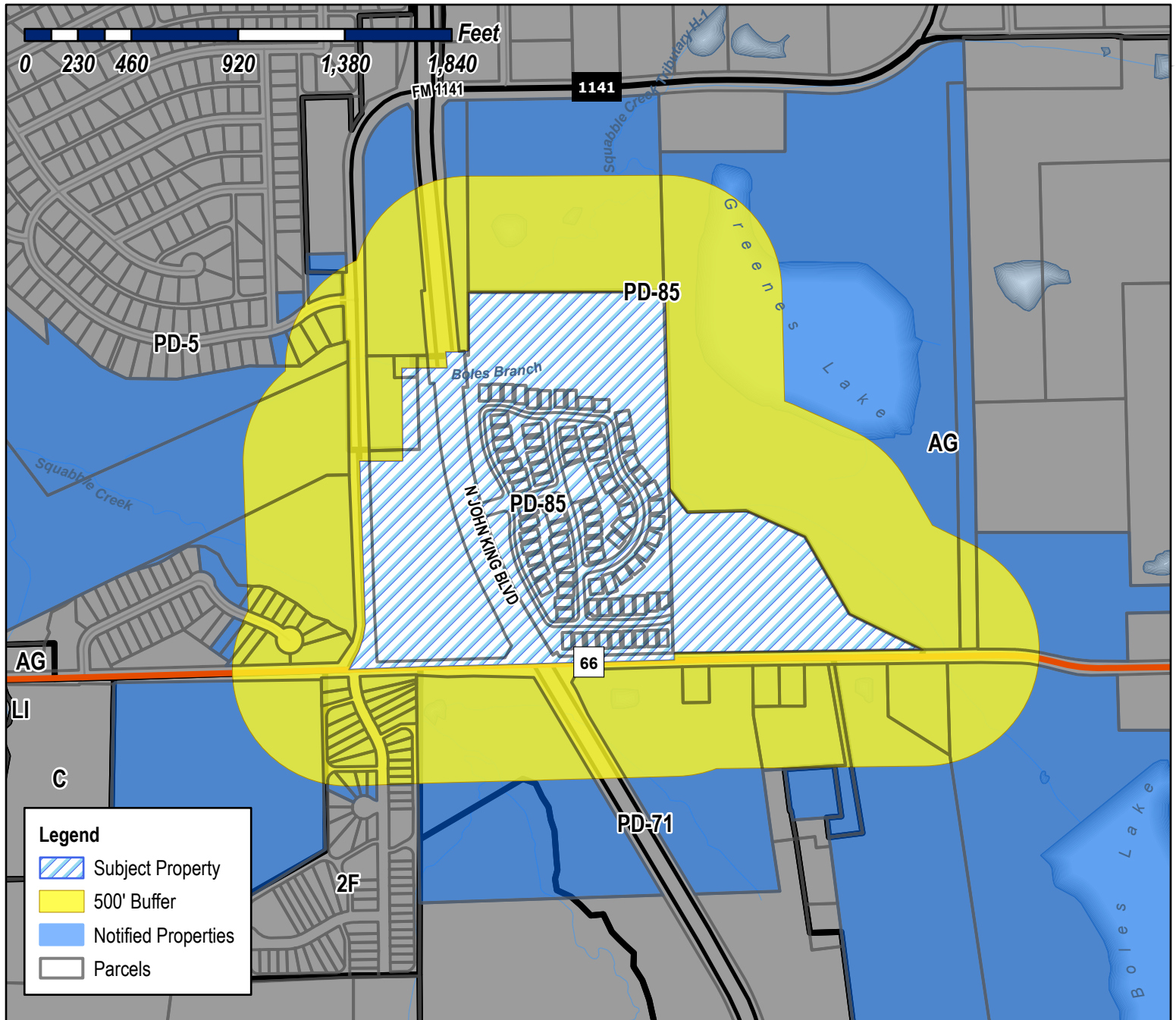
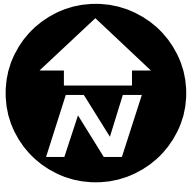




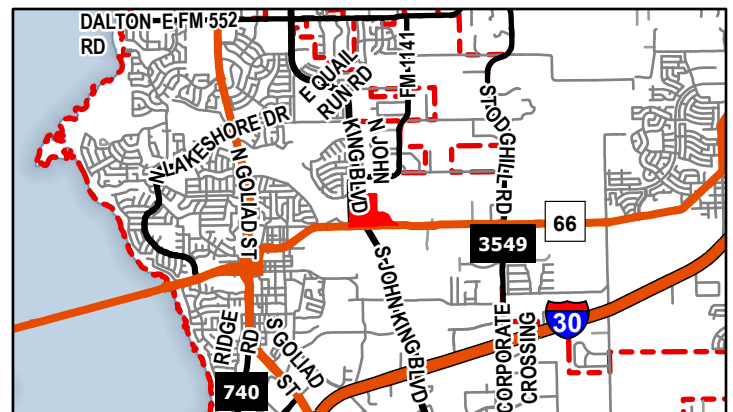
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File: Z:\2017\17191\Drawings\FP & Const Plans\Sheets\17191 SITE  
Plotted: 12/17/2021 1:18 PM, by Alex Brown; Saved: 12/17/2021 12:02 PM, by abidwell



CITY OF ROCKWALL

ORDINANCE NO. 18-32

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 85 (PD-85) [ORDINANCE NO. 17-55] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO INCORPORATE A 9.762-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT INTO PLANNED DEVELOPMENT DISTRICT 85 (PD-85) CREATING A 47.694-ACRE PLANNED DEVELOPMENT DISTRICT IDENTIFIED AS TRACTS 4-01 & 5 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by the John Delin of Integrity Group, LLC for the approval of a zoning change amending Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] for the purpose of incorporating a 9.762-acre tract of land zoned Agricultural (AG) District into Planned Development District (PD-85), allowing limited General Retail (GR) District and Single Family 7 (SF-7) District land uses on a 47.694-acre tract of land identified as Tract 4-01 & 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No. 17-55*; and,

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plans*, contained in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;



**SECTION 5.** That development of *Tract 1* of the *Subject Property* -- as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (including Subsections 5(b) through 5(f) below), shall be the exclusive procedures applicable to the subdivision and platting of *Area 3* as depicted in *Exhibit 'B'* of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) *Open Space Master Plan*
  - (2) *Master Plat*
  - (3) *Preliminary Plat*
  - (4) *PD Site Plan*
  - (5) *Final Plat*
- (c) *Open Space Master Plan*. An *Open Space Master Plan* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Open Space Master Plan* for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *Master Plat* and an *Open Space Master Plan Application* for the development.
- (f) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted for approval.

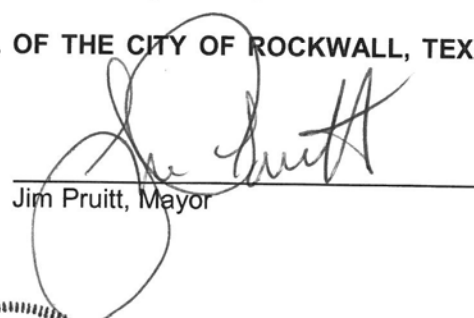
**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

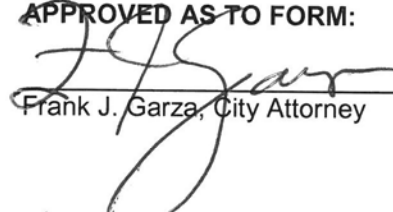
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS  
THE 6<sup>TH</sup> DAY OF AUGUST, 2018.**

  
Jim Pruitt, Mayor

**ATTEST:**

  
Kristy Cole, City Secretary

**APPROVED AS TO FORM:**

  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: July 16, 2018

2<sup>nd</sup> Reading: August 6, 2018

**Exhibit 'A':**  
*Legal Description*

Legal Description for Tract 1:

Tract 1 9.894 acres M. B. Jones Survey, Abstract No. 122 B. Jones Survey, Abstract No. 122 City of Rockwall Rockwall County, Texas

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. G&A CONSULTANTS", being in the north line of U. , being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 724.55 feet; E, a distance 724.55 feet;

*THENCE* S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

*THENCE* N 02°39'30" W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar found;

*THENCE* N 01°20'56" W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 G&A CONSULTANTS", being the southwest corner of a called 1.837 , being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at G&A CONSULTANTS", being the southeast corner thereof, and being at , being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

*THENCE* N 01°20'56" W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of G&A CONSULTANTS", being in the south line of a 10.942 acre tract of , being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called G&A CONSULTANTS", being the most northwesterly corner of a called , being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins

Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A E, a

**Exhibit 'A':**  
*Legal Description*

distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and , and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and , and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 28°49'11" W, a distance of 32.25 feet to the *POINT OF BEGINNING* and containing approximately 9.894 acres of land.



**Exhibit 'A':**  
*Legal Description*

*Legal Description for Tract 2:*

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar found at the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

*THENCE* S 88°18'19"W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Northwesterly with the east line of said 3.989 acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

*THENCE* N 00°10'47" W, with the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000 acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

*THENCE* N 89°54'11" E, with the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744 acre tract;

**Exhibit 'A':**  
*Legal Description*

*THENCE* S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

*THENCE* over, across, and through said 73.2744 acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

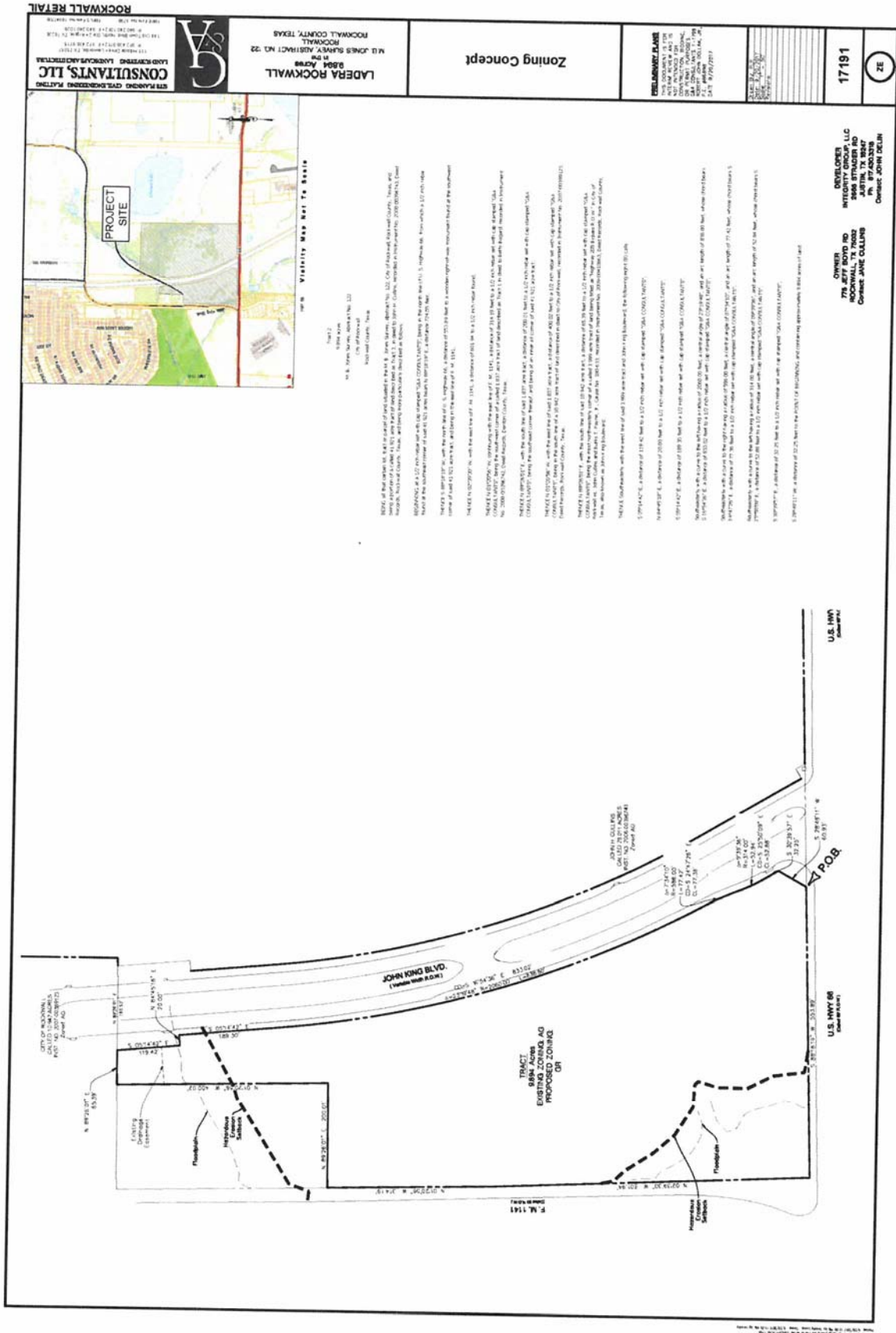
S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744 acre tract and the north line of U.S. Highway 66;

*THENCE* S 89°18'14" W, with the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the *POINT OF BEGINNING* and containing approximately 37.800 acres of land.



**Exhibit 'B':**  
*Concept Plan: Tract 1*







**Exhibit 'C':**  
*PD Development Standards*

***PD Development Standards.***

***Tract 1: 9.894-Acres of Non-Residential Property***

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 1* of the *Subject Property*; however, the following additions and conditions shall apply:

The following land uses shall be expressly prohibited on the *Subject Property*:

- ☒ Convent or Monastery
- ☒ Hotel or Motel
- ☒ Hotel, Residence
- ☒ Cemetery/Mausoleum
- ☒ Mortuary or Funeral Chapel
- ☒ Social Service Provider
- ☒ Billiard Parlor or Pool Hall
- ☒ Carnival, Circus, or Amusement Ride
- ☒ Commercial Amusement/Recreation (*Outside*)
- ☒ Gun Club, Skeet or Target Range (*Indoor*)
- ☒ Astrologer, Hypnotist, or Psychic Art and Science
- ☒ Night Club, Discotheque, or Dance Hall
- ☒ Secondhand Dealer
- ☒ Car Wash, Self Service
- ☒ Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
- ☒ Service Station
- ☒ Mining and Extraction (*Sand, Gravel, Oil & Other*)
- ☒ Helipad
- ☒ Railroad Yard or Shop
- ☒ Transit Passenger Facility

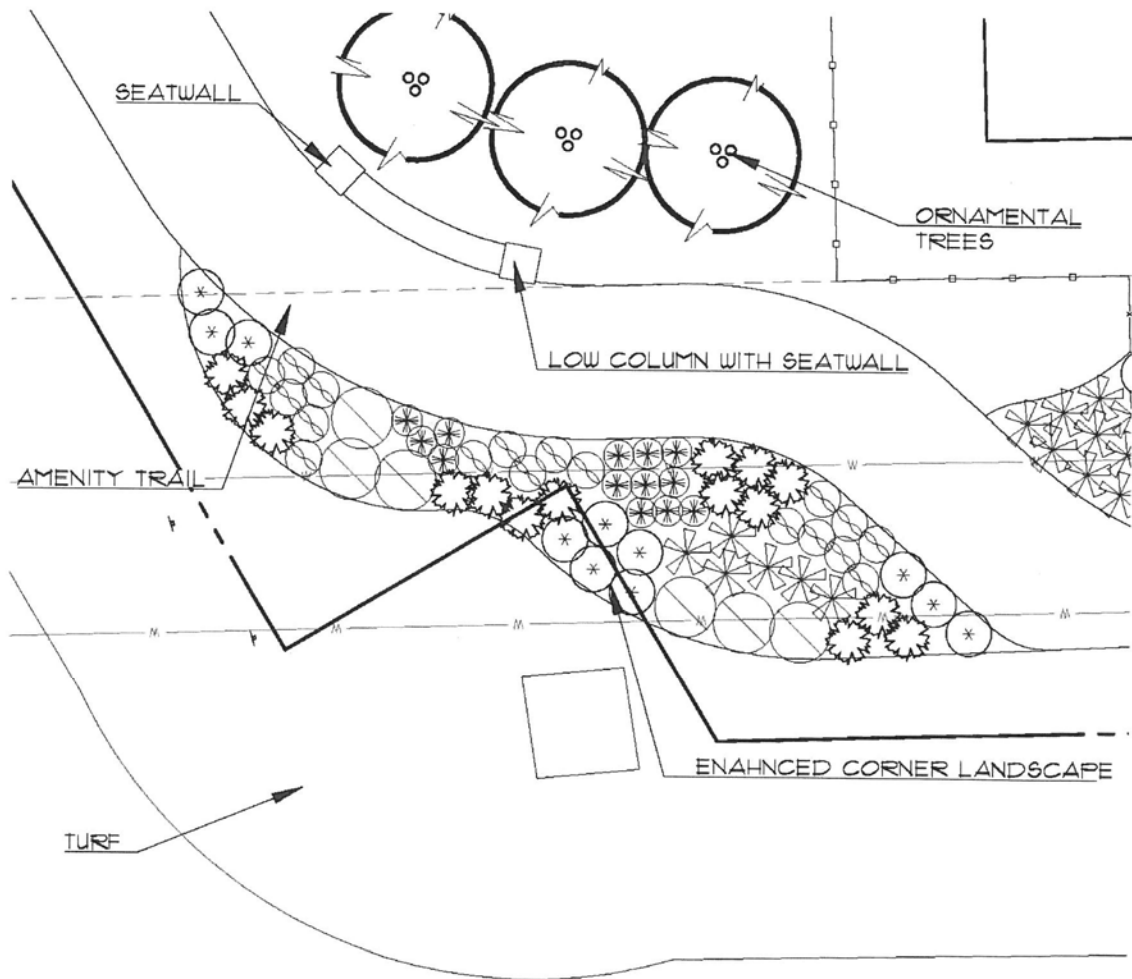
The following additional use shall be permitted through a Specific Use Permit (SUP) on the *Subject Property*:

- ☒ Garden Supply/Plant Nursery

- (2) *Density and Dimensional Requirements.* Any development on *Tract 1* of the *Subject Property* shall be subject to the development standards required for properties in a General Retail (GR) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall adhere to the following:
- (a) *Landscape Buffer (SH-66).* A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to SH-66.

**Exhibit 'C':**  
**PD Development Standards**

- (b) *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 15-foot landscape buffer adjacent to John King Boulevard.
- (c) *Landscape Buffer (FM-1141)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to FM-1141.
- (4) *Intersection Enhancements*. In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide an intersection enhancement at the corner of the intersection of Williams Street (SH-66) and John King Boulevard that generally conforms to the following design:





**Exhibit 'C':**  
**PD Development Standards**

**Tract 2: 28.011-Acres of Residential Property**

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 2* of the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- ☒ Activity Center
- ☒ Community Pool
- ☒ Gazebos/Pavilions
- ☒ Sports Courts

- (2) **Unit Composition and Layout.** The unit composition and layout shall generally conform to the *Concept Plan* for *Tract 2* depicted in *Exhibit 'B'* and stated as follows:

<i>Unit Type</i>	<i>Unit Dimensions</i>	<i>Minimum Unit Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units</i>
1	44.5' x 80'	1,600 SF	20	15.48%
2 & 3	42' x 77'	1,600 SF	31	59.52%
4	54' x 60'	1,600 SF	41	16.67%
5	64' x 50'	2,100 SF	6	08.33%
<i>Total Units:</i>			122	

- (3) **Density and Dimensional Requirements.** The maximum permissible density for the *Subject Property* shall not exceed 3.2-units/acre; however, in no case should the proposed development exceed 122 single-family, residential units. The *Subject Property* shall maintain conformance with the following requirements:

- (a) **Condominium Requirement.** The property shall be established as a condominium development pursuant to the requirements of *Chapter 82* of the *Texas Property Code*, and platted as a single lot.
- (b) **Lot Dimensional Requirements.** The proposed condominium lot shall adhere to the following setbacks:

<i>Minimum Lot Width</i>	1,500'
<i>Minimum Lot Depth</i>	490'
<i>Minimum Lot Area</i>	28.0-Acres
<i>Minimum Setback Adjacent to John King Boulevard</i>	95'
<i>Minimum Setback Adjacent to SH-66</i>	20'
<i>Minimum Setback Adjacent to the Eastern &amp; Northern Property Lines</i>	10'

*Continued on next page ...*

**Exhibit 'C':**  
**PD Development Standards**

- (c) *Internal Artificial Lot Requirements.* The units constructed on the proposed condominium lot shall adhere to the following dimensional requirements for artificial lots:

Minimum Setback from a Private Street <sup>(1) (2) (3)</sup>	15'
Minimum Side Yard Distance Between Units	6'
Minimum Side Yard Setback from a Private Street <sup>(1) (2)</sup>	10'
Minimum Rear Yard Distance Between Units	20'
Maximum Height	35'

General Notes:

- <sup>1</sup>: This setback shall be measured from the back of curb.  
<sup>2</sup>: Variances of up to five (5) feet may be granted by the Director of Planning and Zoning on a case-by-case basis for artificial lots on curve-linear streets.  
<sup>3</sup>: The minimum length of a driveway shall be 20-feet as measured from the edge of the approach to the garage door.

- (4) *Building Standards.* All development shall adhere to the following building standards:

- (A) *Masonry Requirement.* The minimum masonry requirement for the exterior façades -- excluding doors and windows -- of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted to be used to meet up to 40% of the masonry requirement.
- (B) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on the front elevation of all structures. Porches and rear elevations shall have a minimum of a 4:12 roof pitch.
- (C) *Garage Orientation.* Garages shall oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration. If a front entry garage configuration is utilized it shall face the street and shall be located even with the front building façade of the primary structure. On *traditional swing* (or *j-swing*) garages a second single garage door facing the street is permitted if it is located behind the width of the double garage door.
- (D) *Anti-Monotony Restrictions.* The development shall adhere to the following Anti-Monotony requirements (for spacing requirements see the illustration on the following page):
- (1) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
  - (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - (a) Number of Stories
    - (b) Brick Color
    - (c) Roof Type and Layout
    - (d) Articulation of the Front Façade
  - (3) All roof shingles shall be an architectural or dimensional shingle, and have a 30-year rating. (*3-Tab Roofing Shingles are prohibited*).

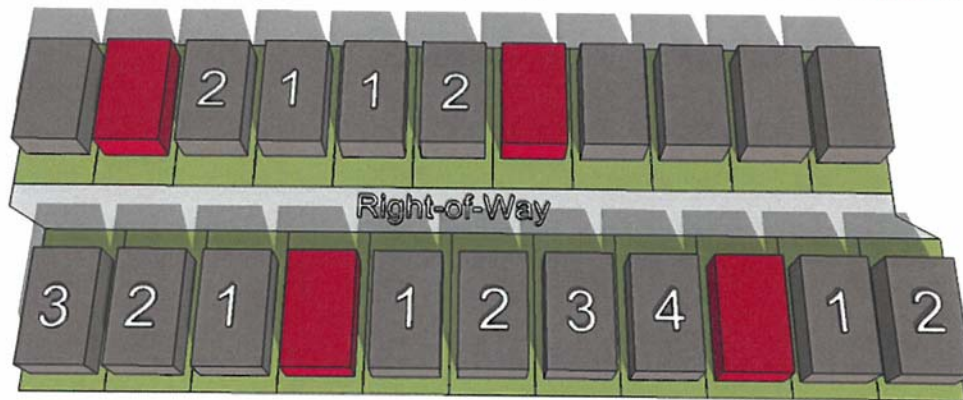


**Exhibit 'C':**  
**PD Development Standards**

*Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.*



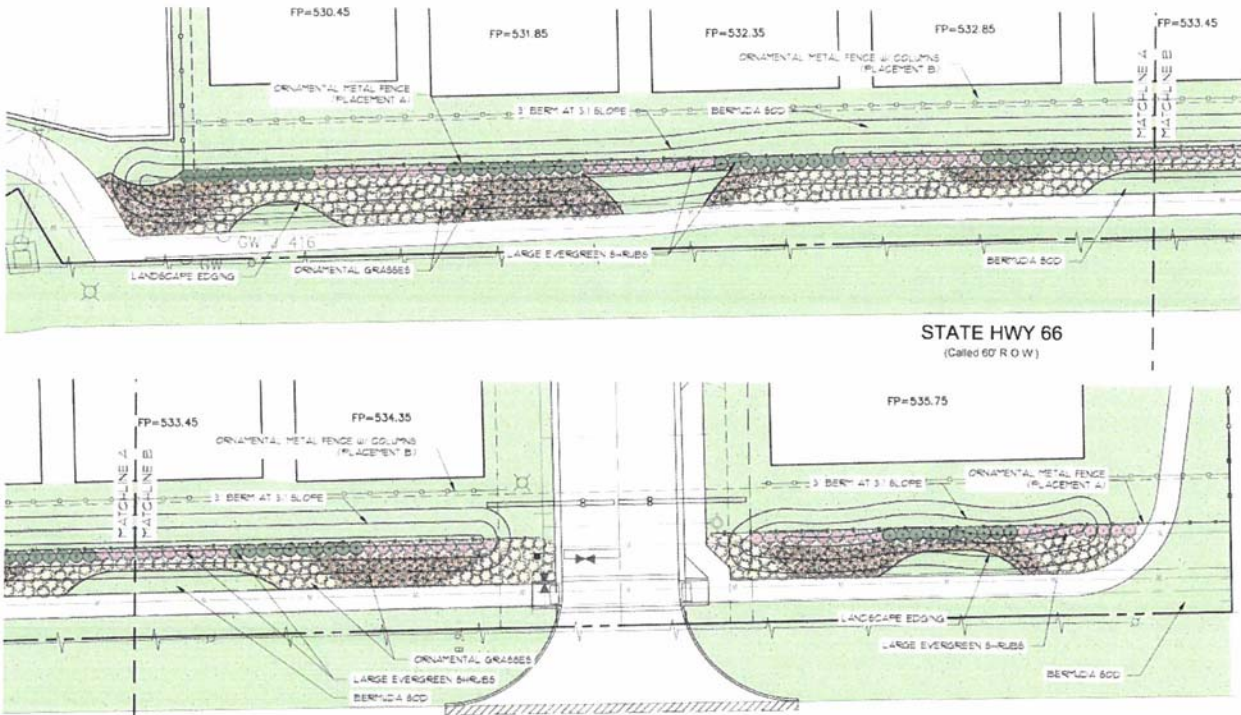
*Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.*



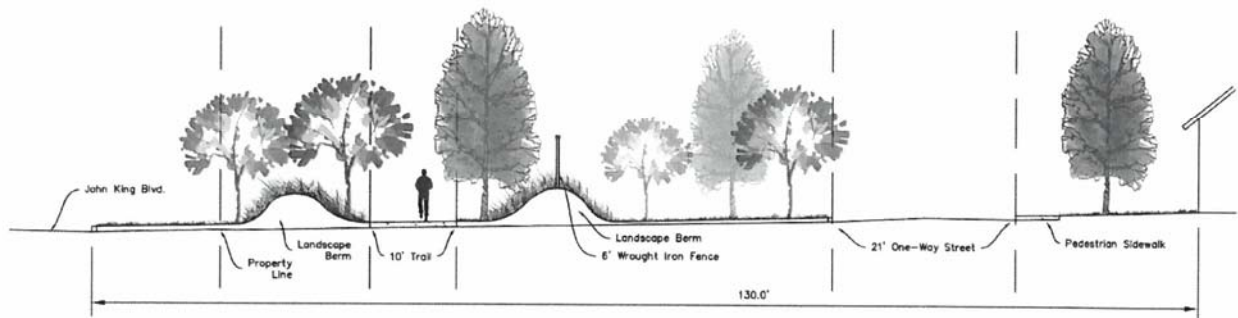
- (E) *Fencing Standards.* All residential privacy fencing shall be six (6) foot wrought iron/tubular steel fencing for transparent fencing and six (6) foot Simtek (or a similar product) fencing for non-transparent fencing. Fencing located along the exterior of the condominium lot shall be a minimum of six (6) foot wrought iron/tubular steel fencing with masonry columns a maximum of 45-feet on center. The masonry columns shall only be required adjacent to John King Boulevard and SH-66.
- (F) *Landscape and Hardscape Standards.*
- (1) *Residential Landscape.* All canopy trees planted within the condominium lot and not situated within a required landscape buffer shall be a minimum of three (3) inches in caliper and accent trees shall be a minimum of four (4) feet in height. All tree plantings shall conform to the City's tree planting guidelines and requirements stipulated in Appendix F, *Landscaping Guidelines and Requirements*, of the Unified Development Code.
  - (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA) and shall conform to the following:
    - (a) *Landscape Buffer (SH-66).* A minimum of a 20-foot landscape buffer shall be provided along the frontage of SH-66 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. The landscaping shall be generally as depicted below. The developer shall also be

**Exhibit 'C':**  
**PD Development Standards**

responsible for the construction of a five (5) foot sidewalk situated within the 20-foot landscape buffer adjacent to SH-66.

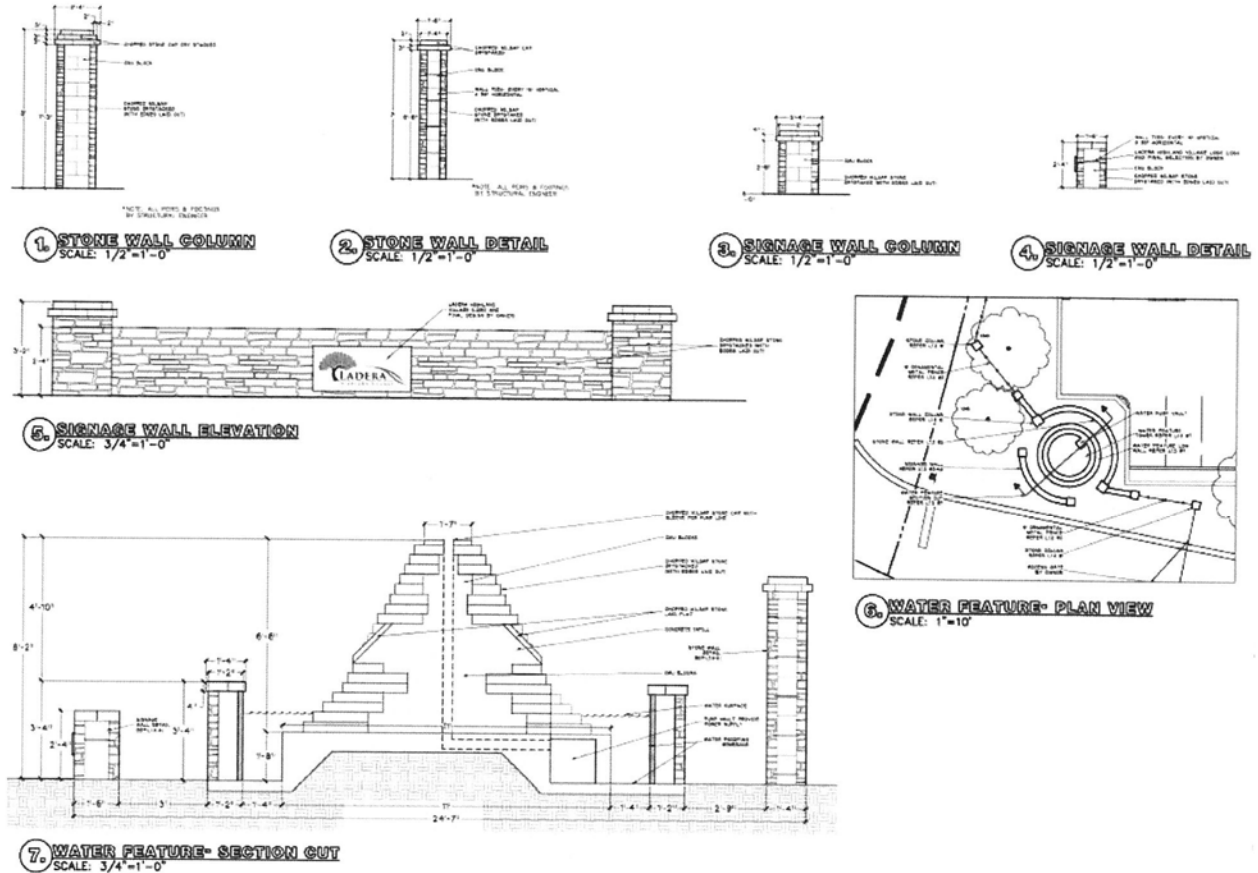


- (b) *Landscape Buffer and Sidewalks (John King Boulevard).* A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard. The required wrought iron fence along John King Boulevard may be situated within 40-feet of the right-of-way line. In addition, the design of the buffer shall generally conform to the following cross section:



**Exhibit 'C':**  
**PD Development Standards**

- (3) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (4) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (G) *Trail Enhancements.* In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide a trail enhancement element that generally conforms to the following design:



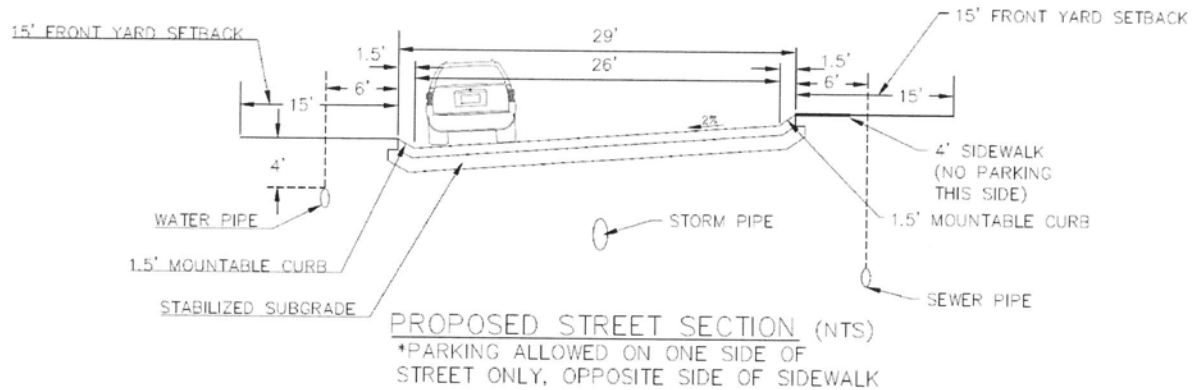
- (H) *Lighting.* Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to concentrate light within the development area.

*Continued on next page ...*



**Exhibit 'C':**  
**PD Development Standards**

- (I) *Private Streets.* With the exception of the 21-foot, one-way street situated adjacent to John King Boulevard the street cross sections for this development should conform to the following cross section:



- (J) *Open Space.* The development shall consist of a minimum of 47.88% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall maintain all common open space areas. For the purposes of this Planned Development District open space shall include all front yards, rear yards, common areas, buffers and floodplain installed by the developer, but does not include any landscaping, trees, patios and other improvements installed by the homeowner. Floodplain shall be calculated at a rate of 50% (e.g. 1/2-acre for every acre provided).
- (K) *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
- (L) *Condominium Owner's Association (COA).* A Condominium Owner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Chapter 82, Uniform Condominium Act*, of the *Texas Property Code*. The COA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, and screening fences associated with this development, but it is not required to maintain additional landscaping or improvements added by the homeowner.
- (M) *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

**Exhibit 'C':**  
*PD Development Standards*

- (N) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code [*Ordinance No. 04-38*] shall apply to any application for variances to this ordinance.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 12/21/2021

PROJECT NUMBER: Z2021-056  
PROJECT NAME: Amendment to Planned Development District 85 (Ladera)  
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Ryan Miller  
CASE MANAGER PHONE: 972-772-6441  
CASE MANAGER EMAIL: rmiller@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by John Delin of Integrity Group, LLC for the approval of an Zoning Amendment to Planned Development District 85 (PD-85) [Ordinance No. 18-32] for a 47.694-acre tract of land identified as Lot 1, Block A, and Lot 1, Block B, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	12/20/2021	Approved w/ Comments

12/20/2021: Z2021-056; Amendment to PD-85 for Ladera of Rockwall

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Zoning Amendment to Planned Development District 85 (PD-85) [Ordinance No. 18-32] for a 47.694-acre tract of land identified as Lot 1, Block A, and Lot 1, Block B, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, and located at the northeast corner of the intersection of SH-66 and John King Boulevard.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email [rmiller@rockwall.com](mailto:rmiller@rockwall.com).

M.3 For reference, include the case number (Z2021-056) in the lower right-hand corner of all pages on future submittals.

M.4 Please review the attached Draft Ordinance prior to the December 28, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than January 4, 2022. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 4, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 11, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on December 28, 2021.

I.6 The projected City Council meeting dates for this case will be January 18, 2022 (1st Reading) and February 7, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Amy Williams	12/21/2021	Approved w/ Comments

12/21/2021: General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls, signs, overhangs, or canopies allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:



- Detention is required.
- Manning's C-value is determined by Zoning.
- Detention outfall must be above the floodplain.
- No vertical walls in detention.

Water and Wastewater Items:

- Must loop an 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Water and sewer must be 10' apart.

Roadway Paving Items:

- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

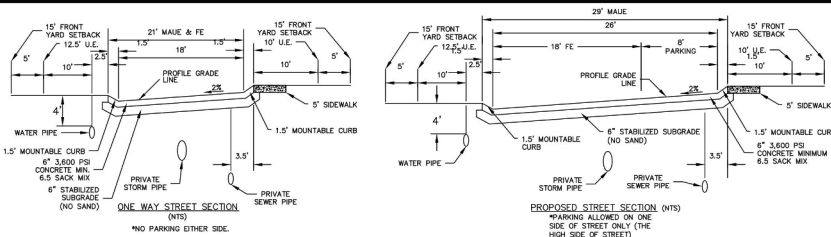
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/20/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/20/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/17/2021	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ryan Miller	12/21/2021	N/A
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Ryan Miller	12/21/2021	N/A
No Comments			



Site Data Summary

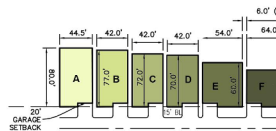
Item	Total	% of Total
Acres of Proposed Site	37.800 Acres	100%
Flood Plain Acreage	8.86	23.44%
Open Space Acreage	15.2	40.20%
Total Number of Dwelling Units by Type**		
Unit 1: 44'x80'	11	
Unit 2: 42'x77'	27	
Unit 3: 42'x72'	10	
Unit 4: 42'x70'	26	
Unit 5: 54'x60'	21	
Unit 6: 64'x50'	6	
Unit 7: 36'x59'	16	
Total Units***	117	
Minimum Dwelling Unit Size:	1,600 SF	
Minimum Open Space:	38%	
Maximum Lot Density:	3.1 DU/acre	
Maximum Height:	35'	
Setbacks:		
Front:	15'	
Side:	6' between units	
Rear:	20' between units	

\*\* Excludes 50% of the total Flood Plain Area  
 \*\*\* Unit breakdown subject to change based on homeowner preference  
 \*\*\*\* Total units may increase but not more than maximum density allows



BN: CITY OF ROCKWALL CONTROL MONUMENT "COR-1" CALLED BY MEASURED ELEV. = 529.36  
 BN: CITY OF ROCKWALL CONTROL MONUMENT "COR-2" CALLED BY MEASURED ELEV. = 529.37

- GENERAL NOTES
1. LADERA ROCKWALL SHALL BE COMPLETED IN PHASES.
  2. THE LADERA HOA SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL YARDS, OPEN SPACE, DRAINAGE, AND PAVING.
  3. ALL DIMENSIONS SHOWN ARE TO BACK OF UNLESS OTHERWISE NOTED.
  4. ALL PARKING SPOTS ARE 9' WIDE AND 20' UNLESS OTHERWISE NOTED. PARALLEL PARK WIDE AND 22' DEEP.
  5. TxDOT PERMIT REQUIRED FOR WORK IN THE HIGHWAY RIGHT-OF-WAY.
  6. FOR MORE INFORMATION ON THE CROSS SECTION, SEE THE ULTIMATE 100 YR FLOODPLAIN REFER TO "HYDROLOGIC AND HYDRAULIC STUDY IN SUPPORT OF LADERA ROCKWALL DEVELOPMENT" PREPARED BY JEA-HYDROTECH ENGINEERING, INC.



### General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls, signs, overhangs, or canopies allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

### Drainage Items:

- Detention is required.
- Manning's C-value is determined by Zoning.
- Detention outfall must be above the floodplain.
- No vertical walls in detention.

### Water and Wastewater Items:

- Must loop an 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Water and sewer must be 10' apart.

### Roadway Paving Items:

- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.

### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

"THENCE S 89°18'14\"/>

NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
 GAA I MCADAMS,  
 JUSTIN L. LANDSCAPING,  
 P.E. #121990  
 DATE 12/17/2021

Drawn By: MP  
 Date: 12/17/2021  
 Scale: 1\"/>

17191

OWNER/DEVELOPER  
 RW LADERA, LLC  
 361 W. BYRON NELSON BLVD. STE. 104  
 ROCKWALL, TX 75087  
 PH. 817.430.3318  
 Contact: John Deth

CP



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NE CORNER OF SH-66 AND N JOHN KING BLVD

SUBDIVISION LADERA ROCKWALL

LOT 1 BLOCK A

GENERAL LOCATION NE CORNER OF SH-66 AND N JOHN KING BLVD

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD	CURRENT USE	SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING	PD	PROPOSED USE	SINGLE FAMILY RESIDENTIAL
ACREAGE	37.8	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	RW LADERA, LLC	<input type="checkbox"/> APPLICANT	McADAMS CO.
CONTACT PERSON	JOHN DELIN	CONTACT PERSON	ALEC BIDWELL
ADDRESS	361 W. BYRON NELSON BLVD. STE 104	ADDRESS	201 COUNTRY VIEW DR.
CITY, STATE & ZIP	ROCKWALL, TX 76262	CITY, STATE & ZIP	ROCKWALL, TX 76262
PHONE	817-430-3318	PHONE	469-496-2043
E-MAIL	JOHN@INTEGRITYGROUPS.COM	E-MAIL	ABIDWELL@MCADAMSCO.COM

## NOTARY VERIFICATION [REQUIRED]

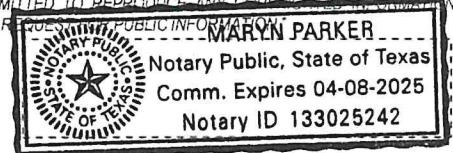
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN DELIN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE SIXTEENTH DAY OF DECEMBER, 2021 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIES OF INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF DECEMBER, 2021.

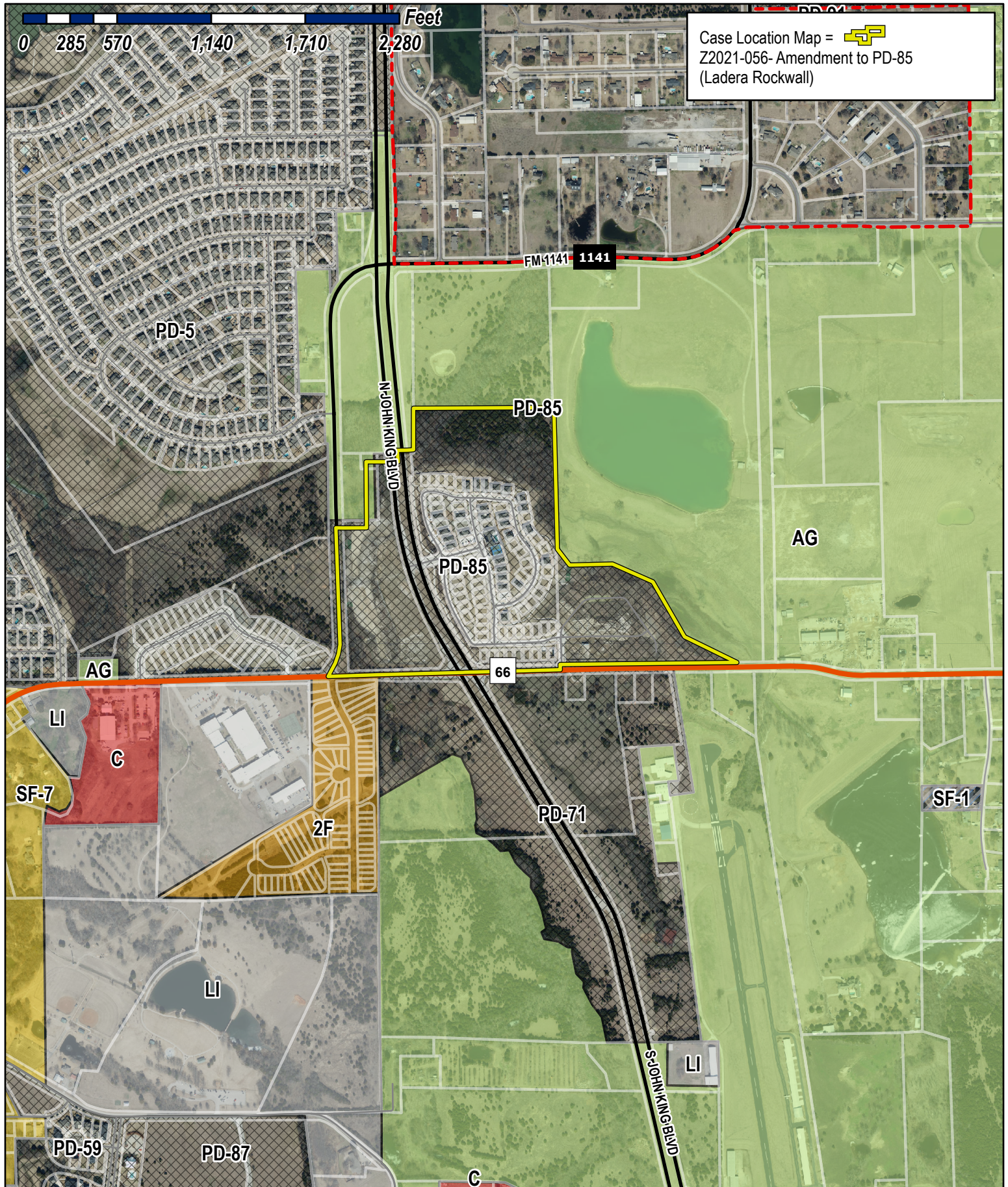
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES





## City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



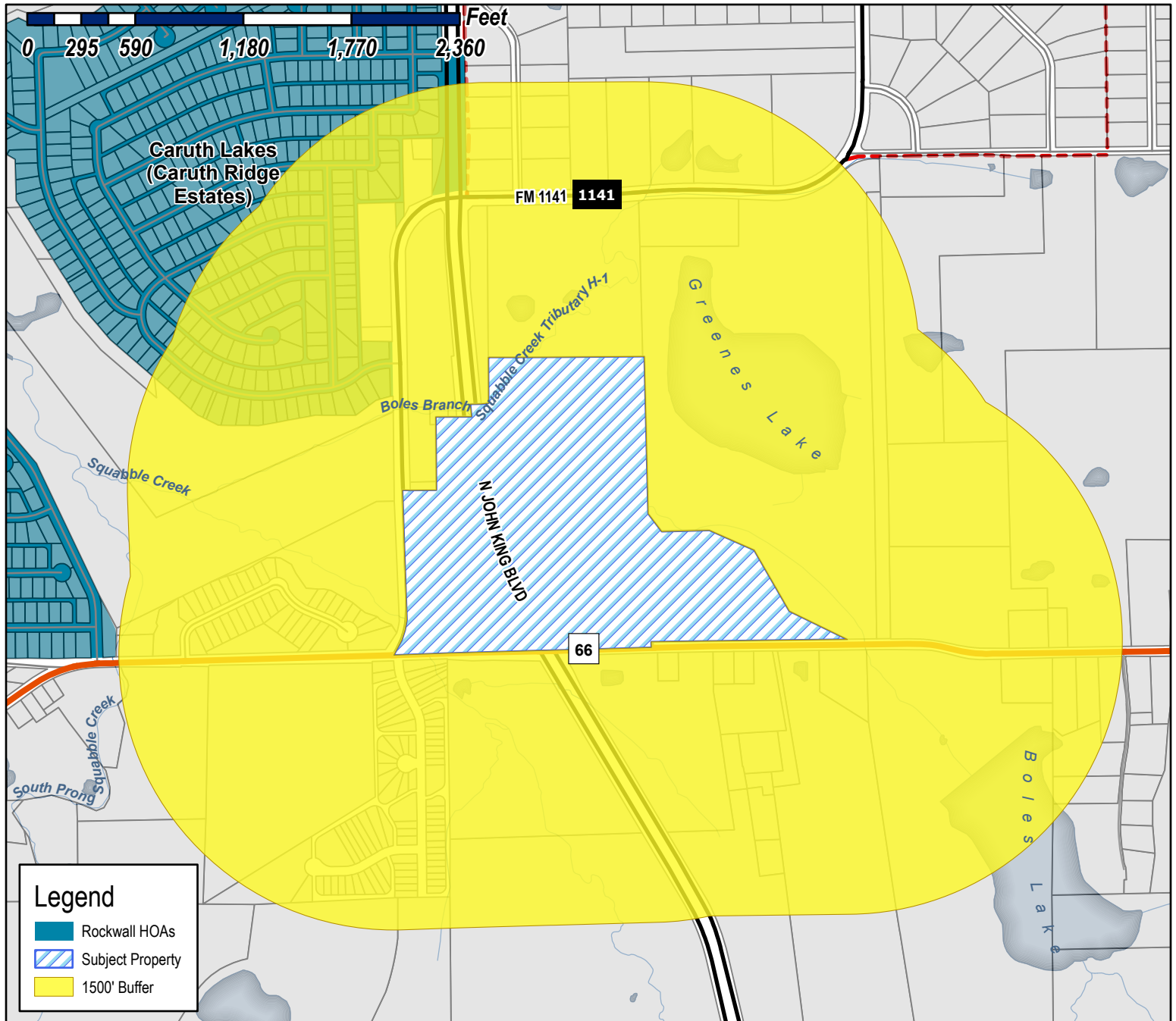




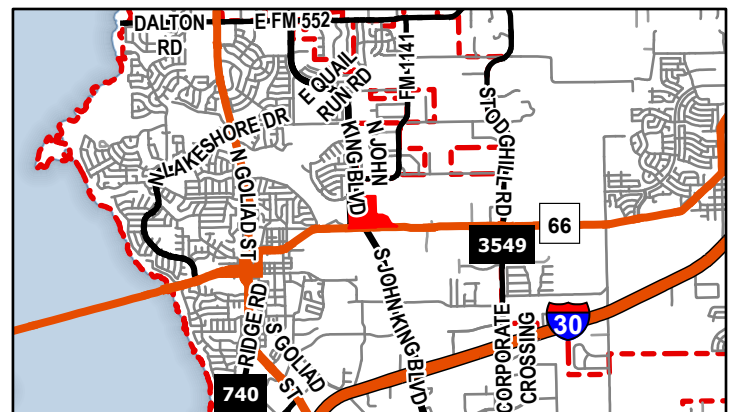
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2021-056  
**Case Name:** Amendment to PD-85  
(Ladera Rockwall)  
**Case Type:** Zoning  
**Zoning:** Planned Development District 85  
(PD-85)  
**Case Address:** Corner of N. John King & SH66  
**Date Saved:** 12/16/2021  
For Questions on this Case Call (972) 771-7745



## Miller, Ryan

---

**From:** Gamez, Angelica  
**Sent:** Tuesday, December 21, 2021 10:52 AM  
**Cc:** Miller, Ryan; Lee, Henry  
**Subject:** Neighborhood Notification Program [ Z2021-056]  
**Attachments:** Public Notice (12.20.2021).pdf; HOA Map (12.16.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on December 24, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, January 11, 2022 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 18, 2022 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2021-056: Zoning Amendment to PD-85**

Hold a public hearing to discuss and consider a request by John Delin of Integrity Group, LLC for the approval of an Zoning Amendment to Planned Development District 85 (PD-85) [*Ordinance No. 18-32*] for a 47.694-acre tract of land identified as Lot 1, Block A, and Lot 1, Block B, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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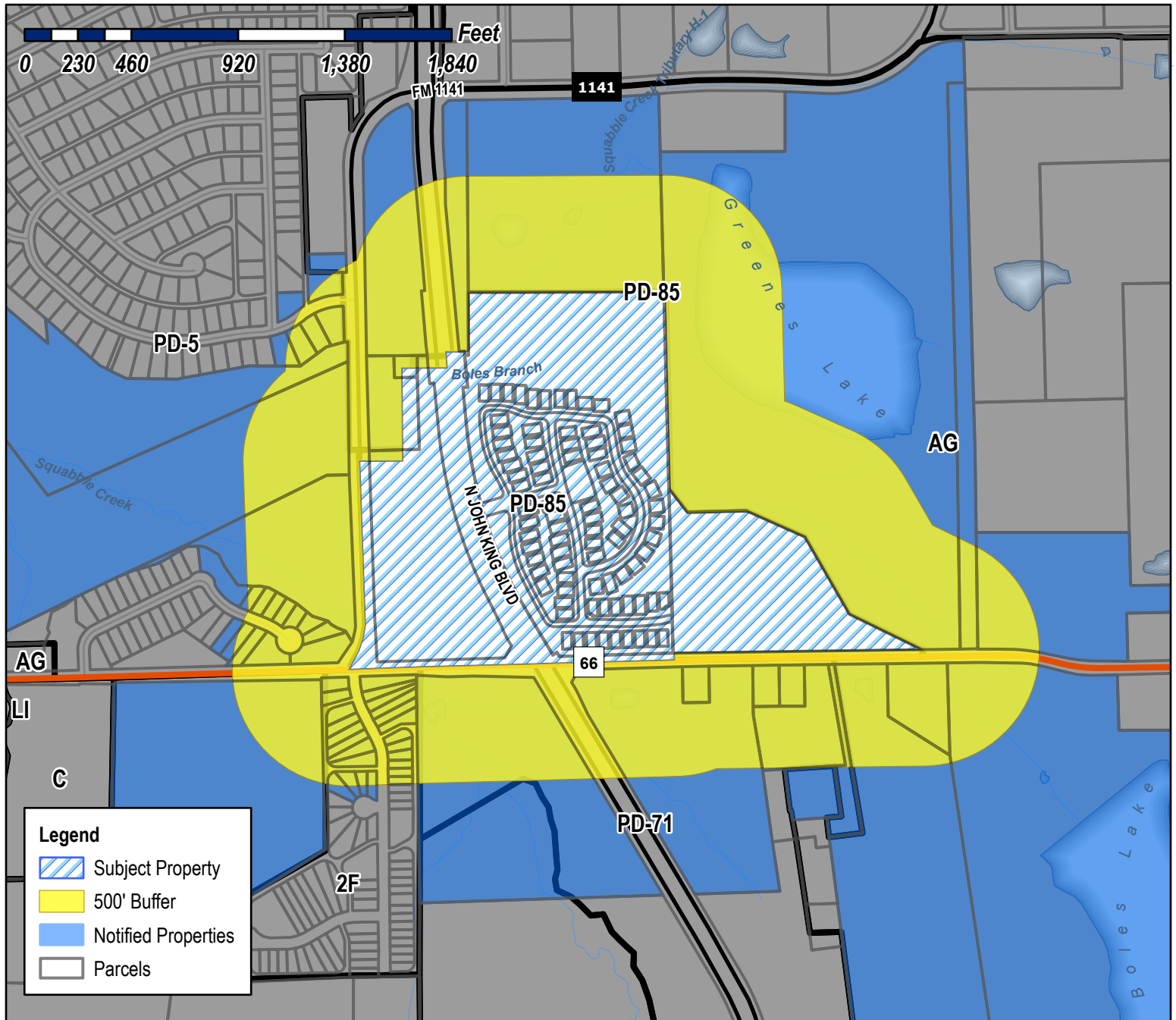




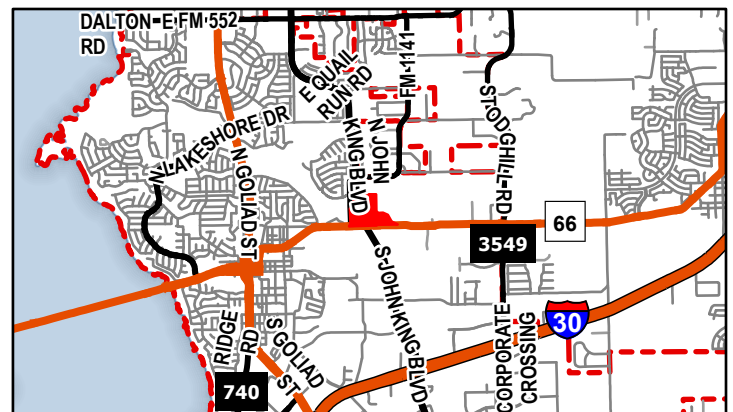
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2021-056  
**Case Name:** Amendment to PD-85  
(Ladera Rockwall)  
**Case Type:** Zoning  
**Zoning:** Planned Development District 85  
(PD-85)  
**Case Address:** Corner of N. John King & SH66  
**Date Saved:** 12/16/2021  
For Questions on this Case Call (972) 771-7745



KEHM NATALIE & DONAVON  
1050 HIDDEN LAKES WAY  
ROCKWALL, TX 75087

ROCKWALL I S D  
1050 WILLIAMS  
ROCKWALL, TX 75087

SEE BETTY  
110 WESTMINISTER  
ROCKWALL, TX 75032

RYDER HEATH JAMES AND MELANIE ANN  
1383 WATER EDGE DRIVE  
ROCKWALL, TX 75087

WOODUL GREG C AND NETA J  
1389 WATERS EDGE DR  
ROCKWALL, TX 75087

ELLIOTT CHRISTOPHER ANDREW & HEATHER R  
1395 WATERS EDGE DRIVE  
ROCKWALL, TX 75087

GROGAN DANIEL R  
1405 WATERS EDGE DRIVE  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
150 TURTLE CREEK SUITE 104-E  
DALLAS, TX 75207

RW LADERA LLC  
1605 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1609 MADRID WAY  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
1612 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1613 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1616 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1617 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1620 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1621 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1624 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1625 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1628 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1629 MADRID WAY  
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION  
ATTN BILL BRICKER  
1630 WILLIAMS  
ROCKWALL, TX 75087

RW LADERA LLC  
1632 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1633 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1636 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1637 MADRID WAY  
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION  
ATTN BILL BRICKER  
1673 HWY 66  
ROCKWALL, TX 75087

PEOPLES MICHAEL L JR AND  
SHERYL NEWMAN PEOPLES  
1700 STATE HIGHWAY 66  
ROCKWALL, TX 75087

PEOPLES MIKE L  
1936 HWY 66  
ROCKWALL, TX 75087

PEOPLES MICHAEL L  
2026 HWY 66  
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORP  
ATTN:BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

CTDIGLAND LLC  
361 W BYRON NELSON BLVD SUITE 104  
ROANOKE, TX 76262

RWLADERA LLC  
361 W BYRON NELSON BLVD SUITE 104  
ROANOKE, TX 76262

HONZELL DAVID AND PATRICIA  
414 E. COACHLIGHT TRAIL  
ROCKWALL, TX 75087

DAVIS WILLIAM PAUL JR  
510 TURTLE COVE BLVD STE 200  
ROCKWALL, TX 75087

CARUTH RIDGE ESTATES HOMEOWNERS  
ASSOCIATION INC  
C/O VISION COMMUNITIES MANAGEMENT INC  
5757 ALPHA RD STE 680  
DALLAS, TX 75240

STONEFIELD HOMES LLC  
802 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
804 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
806 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
806 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
809 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
809 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
810 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
810 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
811 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
814 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
814 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
815 BELLA CT  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
815 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
816 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
817 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
817 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
818 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
818 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
819 RIO VISTA LN  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
820 BELLA DR  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
820 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
821 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
821 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
822 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
822 RIO VISTA LN  
ROCKWALL, TX 75087



INTEGRITY RETIREMENT GROUP LLC  
824 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
825 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
825 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
826 MARATHON CT  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
826 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
828 SENDERA LN  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
829 BELLA CT  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
830 BELLA DR  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
831 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
832 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
833 BELLA CT  
ROCKWALL, TX 75087

RW LADERA LLC  
836 SENDERA LN  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
837 BELLA CT  
ROCKWALL, TX 75087

RW LADERA LLC  
840 SENDERA LN  
ROCKWALL, TX 75087

SEE BETTY  
880 FM 1141  
ROCKWALL, TX 75087

DIMISSEW SAMUEL  
956 S WEATHERRED DR  
RICHARDSON, TX 75080

WHITTLE ROBERT S  
PO BOX 369  
ROCKWALL, TX 75087

WHITTLE HIGHLANDS, LLC  
PO BOX 369  
ROCKWALL, TX 75087

PEOPLES MIKE L  
PO BOX 41  
ROCKWALL, TX 75087

RW LADERA LLC  
361 W BYRON NELSON BLVD  
SUITE 104  
ROANOKE, TX 76262

INTEGRITY RETIREMENT GROUP LLC  
361 W BYRON NELSON BLVD  
SUITE 104  
ROANOKE, TX 76262

RILEY RODNEY H & JANET E  
802 RIO VISTA LN  
ROCKWALL, TX 75087

WALLACE MARTHA G  
826 BELLA DRIVE  
ROCKWALL, TX 75087

HOPKINS TEENA  
834 BELLA DR  
ROCKWALL, TX 76262

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Case No. Z2021-056: Zoning Amendment to PD-85

*Hold a public hearing to discuss and consider a request by John Delin of Integrity Group, LLC for the approval of an Zoning Amendment to Planned Development District 85 (PD-85) [Ordinance No. 18-32] for a 47.694-acre tract of land identified as Lot 1, Block A, and Lot 1, Block B, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 11, 2022 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 18, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 18, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2021-056: Zoning Amendment to PD-85

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

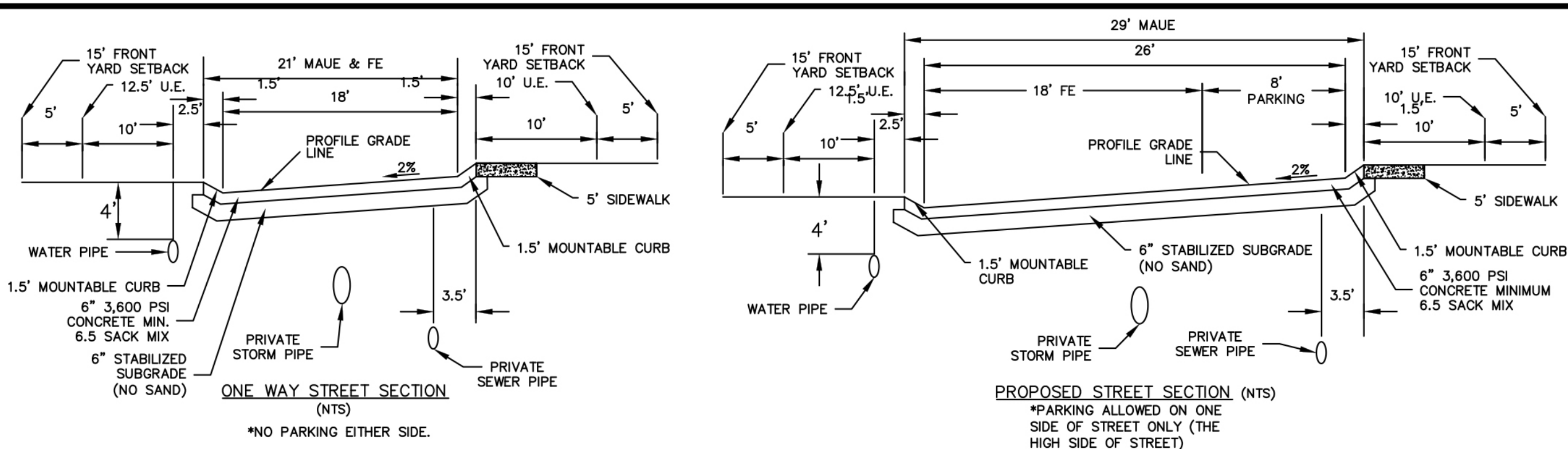
Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

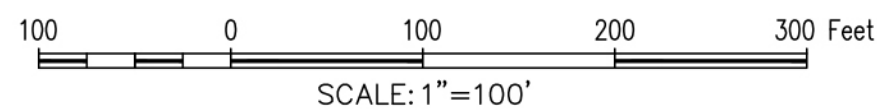
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





Site Data Summary		
Item	Total	% of Total
Acreage of Proposed Site	37.800 Acres	100%
Flood Plain Acreage	8.86	23.44%
Open Space Acreage	15.2	40.20%
Total Number of Dwelling Units by Type **		
Unit 1: 44.5'x80'	11	
Unit 2: 42'x77'	27	
Unit 3: 42'x72'	10	
Unit 4: 42'x70'	26	
Unit 5: 54'x60'	21	
Unit 6: 64'x50'	6	
Unit 7: 36'x59'	16	
Total Units***:	117	
Minimum Dwelling Unit Size:	1,600 SF	
Minimum Open Space:	38%	
Maximum Lot Density:	3.1 DU/acre	
Maximum Height:	35'	
Setbacks:		
Front:	15'	
Side:	6' between units	
Rear:	20' between units	

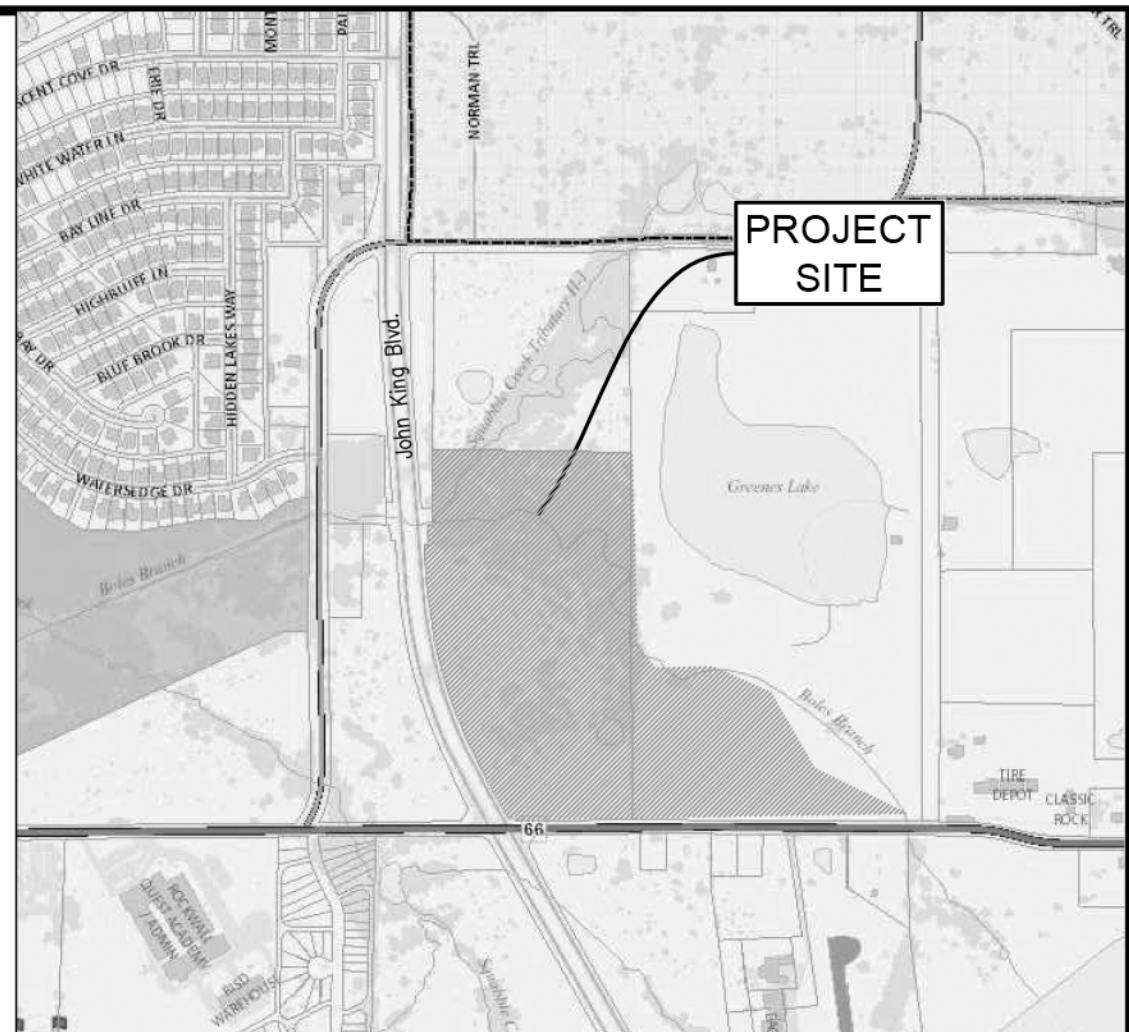
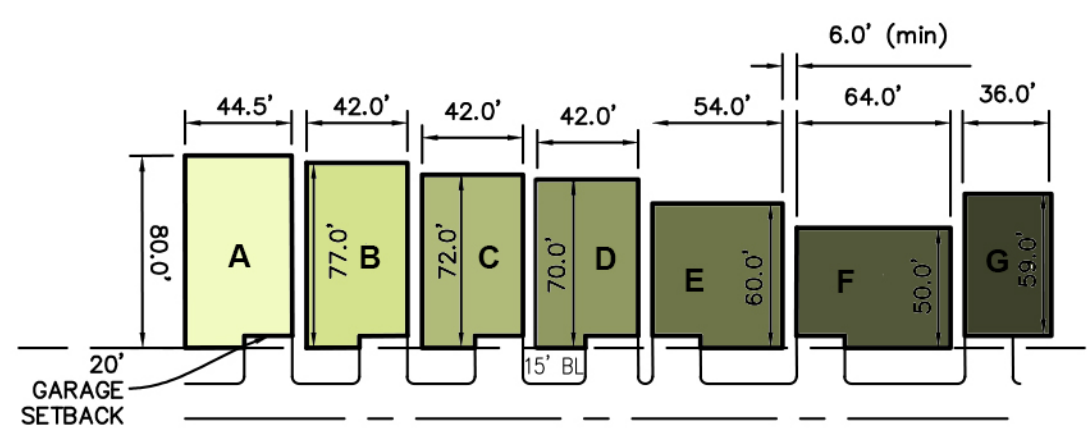
\* Excludes 50% of the total Flood Plain Area  
\*\* Unit breakdown subject to change based on homeowner preference  
\*\*\* Total units may increase but not more than maximum density allows



BM: CITY OF ROCKWALL CONTROL MONUMENT "COR-1" CALLED ELEV. 523.27.  
MEASURED ELEV. = 523.56  
BM: CITY OF ROCKWALL CONTROL MONUMENT "COR-2" CALLED ELEV. 529.10.  
MEASURED ELEV. = 529.37

#### GENERAL NOTES

- LADERA ROCKWALL SHALL BE COMPLETED IN TWO PHASES.
- THE LADERA HOA SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL YARDS, OPEN SPACE, LANDSCAPE, DRAINAGE AND PAVING.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PARKING SPOTS ARE 9' WIDE AND 20' DEPTH UNLESS OTHERWISE NOTED. PARALLEL PARKING IS 9' WIDE AND 22' DEEP.
- TXDOT PERMIT REQUIRED FOR WORK IN TXDOT R.O.W.
- FOR MORE INFORMATION ON THE CROSS SECTIONS FOR THE ULTIMATE 100 YR FLOODPLAIN REFER TO "HYDROLOGIC AND HYDRAULIC STUDY IN SUPPORT OF LADERA ROCKWALL DEVELOPMENT" PREPARED BY JEA-HYDROTECH ENGINEERING, INC.



Vicinity Map Not To Scale

#### LEGAL DESCRIPTION

BEING all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being all of Lot 1, Block A, Ladera Rockwall, an addition to the City of Rockwall, recorded in Document Number 2019000016594 of the Plat Records, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. Peoples, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at the intersection of the south line of said Lot 1 the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

THENCE S 88°18'19"W, with the south line of said Lot 1 and the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

THENCE N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

THENCE N 00°10'47" W, with the east line of said Lot 1 and the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

being the northwest corner of said Lot 1 and being the southwest corner of a 16.000 acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

THENCE N 89°54'11" E, with the north line of said Lot 1 and the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

being the northerly northeast corner of said Lot 1, being the southeast corner of said 16.000 acre tract and being in the west line of said 73.2744 acre tract;

THENCE S 01°28'09" E, with the west line of said Lot 1, and the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

THENCE over, across, and through said 73.2744 acre tract and with the east line of said Lot 1 the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

being in the south line of said 73.2744 acre tract and the north line of U.S. Highway 66;

THENCE S 89°18'14" W, with the south line of said Lot 1, the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the POINT OF BEGINNING and containing approximately 37.800 acres of land.



**OWNER/DEVELOPER**  
RW LADERA, LLC.  
361 W. BYRON NELSON BLVD, STE. 104  
ROANOK, TX 76262  
Ph. 817.430.3318  
Contact: John Dellin

The John R. McAdams Company Inc.  
111 Hillside Drive  
Lewisville, Texas 75057  
972.435.9712  
201 Country View Drive  
Rockwall, Texas 75087  
940.246.1012  
TBPE: 19762 TBPLS: 10194440  
www.mcadamsco.com

**MCADAMS**

**LADERA ROCKWALL PHASE II**  
Lot 2, Block A & Lot 1, Block B  
LADERA ROCKWALL  
37,800 Acres  
in the  
M. JONES SURVEY, ABSTRACT NO. 122  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

**SITE & DIMENSIONAL CONTROL PLAN (PHI-PHII)**

**PRELIMINARY PLANS**  
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
G&A I MCADAMS,  
TBPE: 19762  
JUSTIN L. LANSLOWNE,  
P.E. #121990  
DATE 12/17/2021

Drawn By: MD  
Date: 12/17/2021  
Scale: 1"=100'  
Revisions:

**17191**

**CP**



CITY OF ROCKWALL

ORDINANCE NO. 18-32

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 85 (PD-85) [ORDINANCE NO. 17-55] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO INCORPORATE A 9.762-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT INTO PLANNED DEVELOPMENT DISTRICT 85 (PD-85) CREATING A 47.694-ACRE PLANNED DEVELOPMENT DISTRICT IDENTIFIED AS TRACTS 4-01 & 5 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by the John Delin of Integrity Group, LLC for the approval of a zoning change amending Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] for the purpose of incorporating a 9.762-acre tract of land zoned Agricultural (AG) District into Planned Development District (PD-85), allowing limited General Retail (GR) District and Single Family 7 (SF-7) District land uses on a 47.694-acre tract of land identified as Tract 4-01 & 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No. 17-55*; and,

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plans*, contained in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;



**SECTION 5.** That development of *Tract 1* of the *Subject Property* -- as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (including Subsections 5(b) through 5(f) below), shall be the exclusive procedures applicable to the subdivision and platting of *Area 3* as depicted in *Exhibit 'B'* of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) *Open Space Master Plan*
  - (2) *Master Plat*
  - (3) *Preliminary Plat*
  - (4) *PD Site Plan*
  - (5) *Final Plat*
- (c) *Open Space Master Plan.* An *Open Space Master Plan* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Open Space Master Plan* for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *Master Plat* and an *Open Space Master Plan Application* for the development.
- (f) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted for approval.

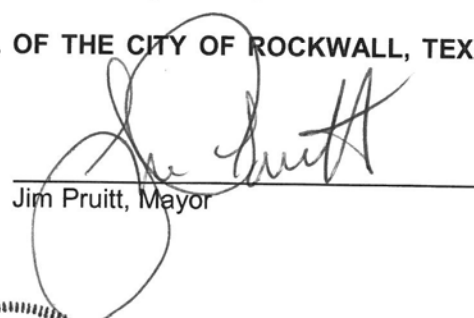
**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS  
THE 6<sup>TH</sup> DAY OF AUGUST, 2018.**

  
Jim Pruitt, Mayor

**ATTEST:**

  
Kristy Cole, City Secretary

**APPROVED AS TO FORM:**

  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: July 16, 2018

2<sup>nd</sup> Reading: August 6, 2018



**Exhibit 'A':**  
*Legal Description*

Legal Description for Tract 1:

Tract 1 9.894 acres M. B. Jones Survey, Abstract No. 122 B. Jones Survey, Abstract No. 122 City of Rockwall Rockwall County, Texas

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. G&A CONSULTANTS", being in the north line of U. , being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 724.55 feet; E, a distance 724.55 feet;

*THENCE* S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

*THENCE* N 02°39'30" W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar found;

*THENCE* N 01°20'56" W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 G&A CONSULTANTS", being the southwest corner of a called 1.837 , being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at G&A CONSULTANTS", being the southeast corner thereof, and being at , being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

*THENCE* N 01°20'56" W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of G&A CONSULTANTS", being in the south line of a 10.942 acre tract of , being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called G&A CONSULTANTS", being the most northwesterly corner of a called , being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins

Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A E, a

**Exhibit 'A':**  
*Legal Description*

distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and , and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and , and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 28°49'11" W, a distance of 32.25 feet to the *POINT OF BEGINNING* and containing approximately 9.894 acres of land.



**Exhibit 'A':**  
*Legal Description*

*Legal Description for Tract 2:*

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar found at the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

*THENCE* S 88°18'19"W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Northwesterly with the east line of said 3.989 acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

*THENCE* N 00°10'47" W, with the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000 acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

*THENCE* N 89°54'11" E, with the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744 acre tract;

**Exhibit 'A':**  
*Legal Description*

*THENCE* S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

*THENCE* over, across, and through said 73.2744 acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

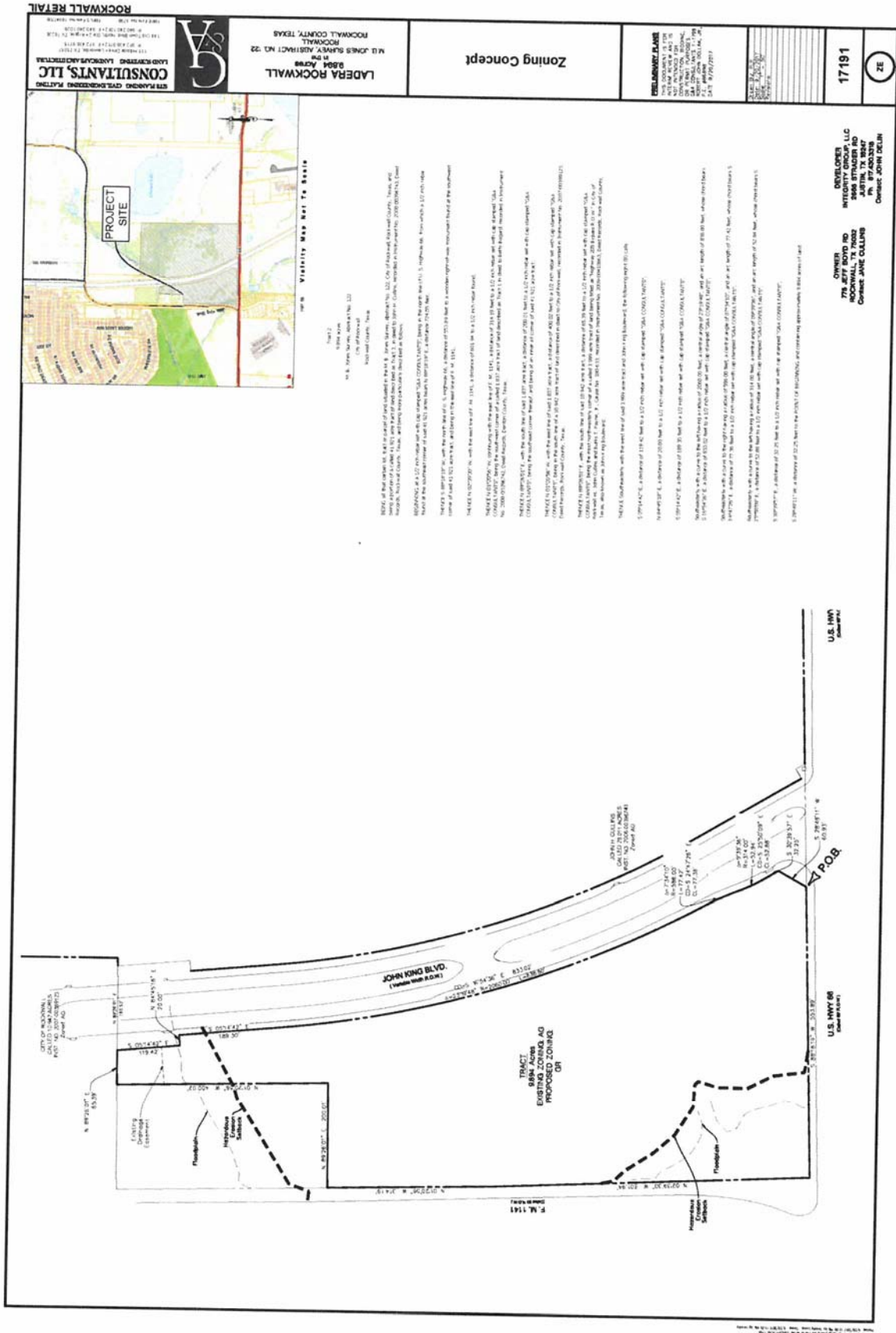
S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744 acre tract and the north line of U.S. Highway 66;

*THENCE* S 89°18'14" W, with the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the *POINT OF BEGINNING* and containing approximately 37.800 acres of land.



**Exhibit 'B':**  
*Concept Plan: Tract 1*



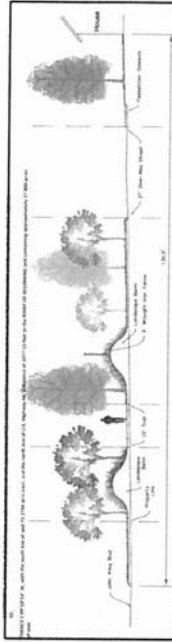
**Exhibit 'B':**  
*Concept Plan: Tract 2*



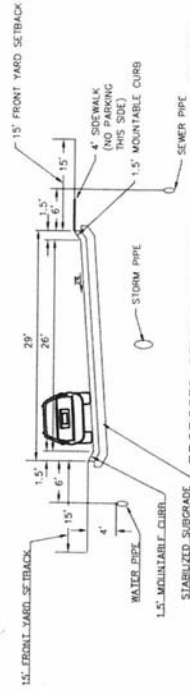
**Vicinity Map Not To Scale**

1. Letter A (Buckley) shall be completed in one phase.
2. The Letter HOA shall be responsible for the maintenance of the driveway, lawn space, and landscape.
3. On-street parking shall be provided on the parking on one side of the street between the driveway and the driveway in the street section above the driveway.
4. On-street parking shall be defined as parking in residential driveway spaces, on-street parking spaces along the street.
5. Maxillary columns of 45' minimum, minimum of 45' only required along John King Hwy and U.S. Hwy 66.
6. U.I. #41356, 1-bour rated design and assembly of steel design complies with Table R302.1(1) of the 2015 IRC.

5. UL #E356, 1-hour rated exterior wall assemblies used design complies with Table R302.1(1) of the 2015 IRC.



John King Overlay Cross Section



PROPOSED STREET SECTION  
(NTS)

•PARKING ALLOWED ON ONE SIDE OF STREET ONLY, OPPOSITE SIDE OF SIDEWALK

**DEVELOPER**  
INTEGRITY GROUP, LLC  
2565 STRADER RD  
JUSTIN, TX 76247  
PH. 817.430.3318  
Contact: JOHN DELIN

[illegible]

\* Excludes 50% of the Total Flood Plan Area  
 \*\* Unit Breakdown subject to change based on homeowner preference  
 \*\*\* Total units may increase but not more than maximum density allowed

- \* Excludes 50% of the Total Flood Plain Area
- \*\* Unit Breakdown subject to change based on homeowner preference
- \*\*\* Total units may increase but not more than maximum density allows

0.07

0.02

Diagram of a four-story building with a central vertical shaft and four rooms labeled 一, 二, 三, 四 from top to bottom.

A diagram showing a four-stage pipeline. It consists of four yellow rectangular boxes arranged horizontally, labeled 1, 2, 3, and 4 from left to right. Each box is connected to the next by a grey trapezoidal shape. A line with an arrow points from the text 'Instruction 1' to the first box (stage 1).

1000

STATE HWY 66  
(Cardinal 607 at 0.50 mi.)

Z2018-027: Ladera Rockwall  
Ordinance No. 18-32; PD-85



**Exhibit 'C':**  
*PD Development Standards*

***PD Development Standards.***

***Tract 1: 9.894-Acres of Non-Residential Property***

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 1* of the *Subject Property*; however, the following additions and conditions shall apply:

The following land uses shall be expressly prohibited on the *Subject Property*:

- ☒ Convent or Monastery
- ☒ Hotel or Motel
- ☒ Hotel, Residence
- ☒ Cemetery/Mausoleum
- ☒ Mortuary or Funeral Chapel
- ☒ Social Service Provider
- ☒ Billiard Parlor or Pool Hall
- ☒ Carnival, Circus, or Amusement Ride
- ☒ Commercial Amusement/Recreation (*Outside*)
- ☒ Gun Club, Skeet or Target Range (*Indoor*)
- ☒ Astrologer, Hypnotist, or Psychic Art and Science
- ☒ Night Club, Discotheque, or Dance Hall
- ☒ Secondhand Dealer
- ☒ Car Wash, Self Service
- ☒ Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
- ☒ Service Station
- ☒ Mining and Extraction (*Sand, Gravel, Oil & Other*)
- ☒ Helipad
- ☒ Railroad Yard or Shop
- ☒ Transit Passenger Facility

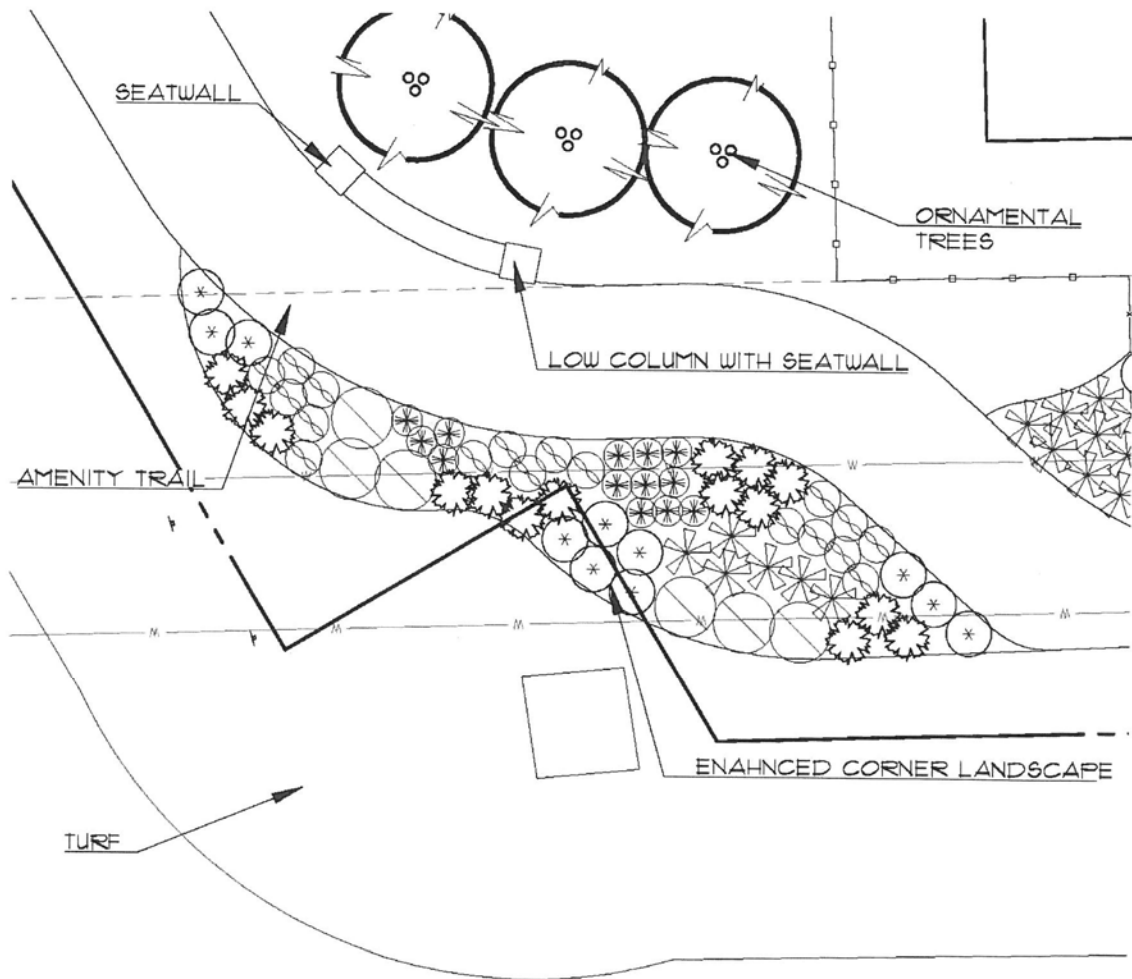
The following additional use shall be permitted through a Specific Use Permit (SUP) on the *Subject Property*:

- ☒ Garden Supply/Plant Nursery

- (2) *Density and Dimensional Requirements.* Any development on *Tract 1* of the *Subject Property* shall be subject to the development standards required for properties in a General Retail (GR) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall adhere to the following:
- (a) *Landscape Buffer (SH-66).* A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to SH-66.

**Exhibit 'C':**  
**PD Development Standards**

- (b) *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 15-foot landscape buffer adjacent to John King Boulevard.
- (c) *Landscape Buffer (FM-1141)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to FM-1141.
- (4) *Intersection Enhancements*. In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide an intersection enhancement at the corner of the intersection of Williams Street (SH-66) and John King Boulevard that generally conforms to the following design:





**Exhibit 'C':**  
**PD Development Standards**

**Tract 2: 28.011-Acres of Residential Property**

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 2* of the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- ☒ Activity Center
- ☒ Community Pool
- ☒ Gazebos/Pavilions
- ☒ Sports Courts

- (2) **Unit Composition and Layout.** The unit composition and layout shall generally conform to the *Concept Plan* for *Tract 2* depicted in *Exhibit 'B'* and stated as follows:

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	20	15.48%
2 & 3	42' x 77'	1,600 SF	31	59.52%
4	54' x 60'	1,600 SF	41	16.67%
5	64' x 50'	2,100 SF	6	08.33%
<b>Total Units:</b>			<b>122</b>	

- (3) **Density and Dimensional Requirements.** The maximum permissible density for the *Subject Property* shall not exceed 3.2-units/acre; however, in no case should the proposed development exceed 122 single-family, residential units. The *Subject Property* shall maintain conformance with the following requirements:

- (a) **Condominium Requirement.** The property shall be established as a condominium development pursuant to the requirements of *Chapter 82* of the *Texas Property Code*, and platted as a single lot.
- (b) **Lot Dimensional Requirements.** The proposed condominium lot shall adhere to the following setbacks:

<i>Minimum Lot Width</i>	<b>1,500'</b>
<i>Minimum Lot Depth</i>	<b>490'</b>
<i>Minimum Lot Area</i>	<b>28.0-Acres</b>
<i>Minimum Setback Adjacent to John King Boulevard</i>	<b>95'</b>
<i>Minimum Setback Adjacent to SH-66</i>	<b>20'</b>
<i>Minimum Setback Adjacent to the Eastern &amp; Northern Property Lines</i>	<b>10'</b>

*Continued on next page ...*

**Exhibit 'C':**  
**PD Development Standards**

- (c) *Internal Artificial Lot Requirements.* The units constructed on the proposed condominium lot shall adhere to the following dimensional requirements for artificial lots:

Minimum Setback from a Private Street <sup>(1) (2) (3)</sup>	15'
Minimum Side Yard Distance Between Units	6'
Minimum Side Yard Setback from a Private Street <sup>(1) (2)</sup>	10'
Minimum Rear Yard Distance Between Units	20'
Maximum Height	35'

General Notes:

- <sup>1</sup>: This setback shall be measured from the back of curb.  
<sup>2</sup>: Variances of up to five (5) feet may be granted by the Director of Planning and Zoning on a case-by-case basis for artificial lots on curve-linear streets.  
<sup>3</sup>: The minimum length of a driveway shall be 20-feet as measured from the edge of the approach to the garage door.

- (4) *Building Standards.* All development shall adhere to the following building standards:

- (A) *Masonry Requirement.* The minimum masonry requirement for the exterior façades -- excluding doors and windows -- of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted to be used to meet up to 40% of the masonry requirement.
- (B) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on the front elevation of all structures. Porches and rear elevations shall have a minimum of a 4:12 roof pitch.
- (C) *Garage Orientation.* Garages shall oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration. If a front entry garage configuration is utilized it shall face the street and shall be located even with the front building façade of the primary structure. On *traditional swing* (or *j-swing*) garages a second single garage door facing the street is permitted if it is located behind the width of the double garage door.
- (D) *Anti-Monotony Restrictions.* The development shall adhere to the following Anti-Monotony requirements (for spacing requirements see the illustration on the following page):
- (1) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
  - (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - (a) Number of Stories
    - (b) Brick Color
    - (c) Roof Type and Layout
    - (d) Articulation of the Front Façade
  - (3) All roof shingles shall be an architectural or dimensional shingle, and have a 30-year rating. (*3-Tab Roofing Shingles are prohibited*).

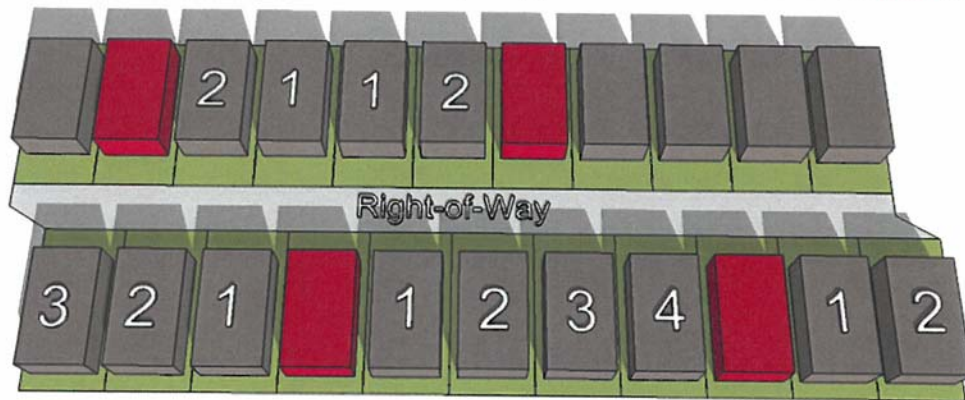


**Exhibit 'C':**  
**PD Development Standards**

*Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.*



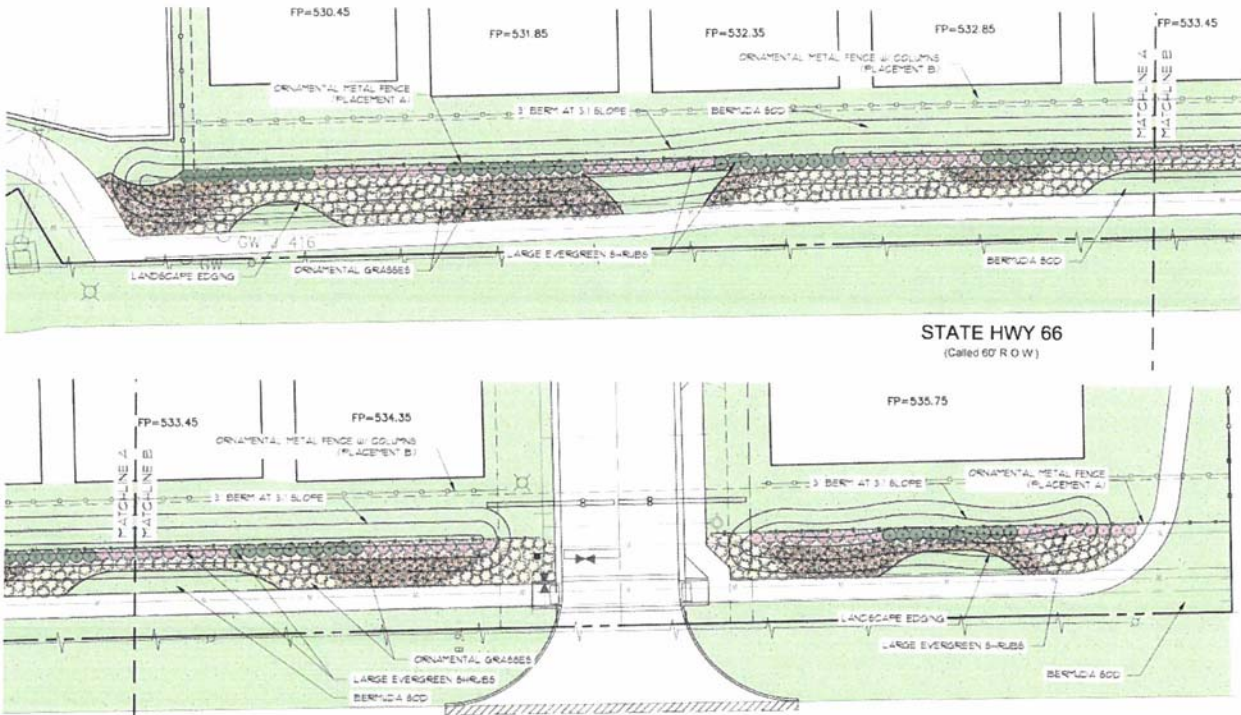
*Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.*



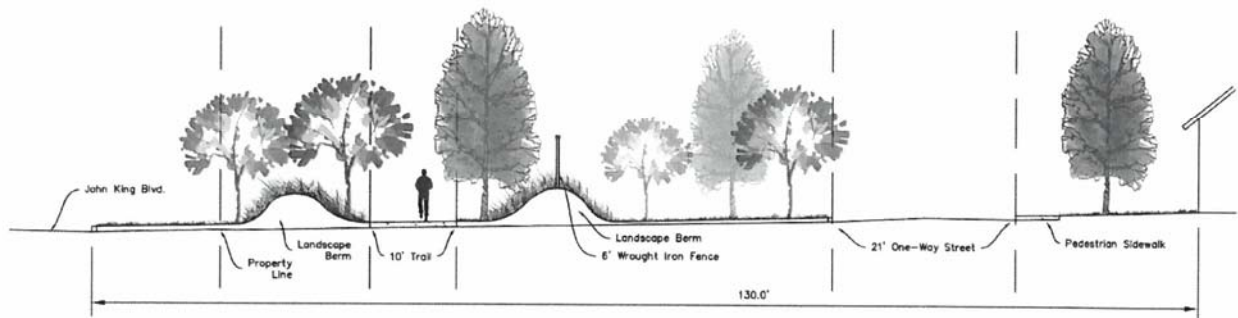
- (E) *Fencing Standards.* All residential privacy fencing shall be six (6) foot wrought iron/tubular steel fencing for transparent fencing and six (6) foot Simtek (or a similar product) fencing for non-transparent fencing. Fencing located along the exterior of the condominium lot shall be a minimum of six (6) foot wrought iron/tubular steel fencing with masonry columns a maximum of 45-feet on center. The masonry columns shall only be required adjacent to John King Boulevard and SH-66.
- (F) *Landscape and Hardscape Standards.*
- (1) *Residential Landscape.* All canopy trees planted within the condominium lot and not situated within a required landscape buffer shall be a minimum of three (3) inches in caliper and accent trees shall be a minimum of four (4) feet in height. All tree plantings shall conform to the City's tree planting guidelines and requirements stipulated in Appendix F, *Landscaping Guidelines and Requirements*, of the Unified Development Code.
  - (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA) and shall conform to the following:
    - (a) *Landscape Buffer (SH-66).* A minimum of a 20-foot landscape buffer shall be provided along the frontage of SH-66 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. The landscaping shall be generally as depicted below. The developer shall also be

**Exhibit 'C':**  
**PD Development Standards**

responsible for the construction of a five (5) foot sidewalk situated within the 20-foot landscape buffer adjacent to SH-66.



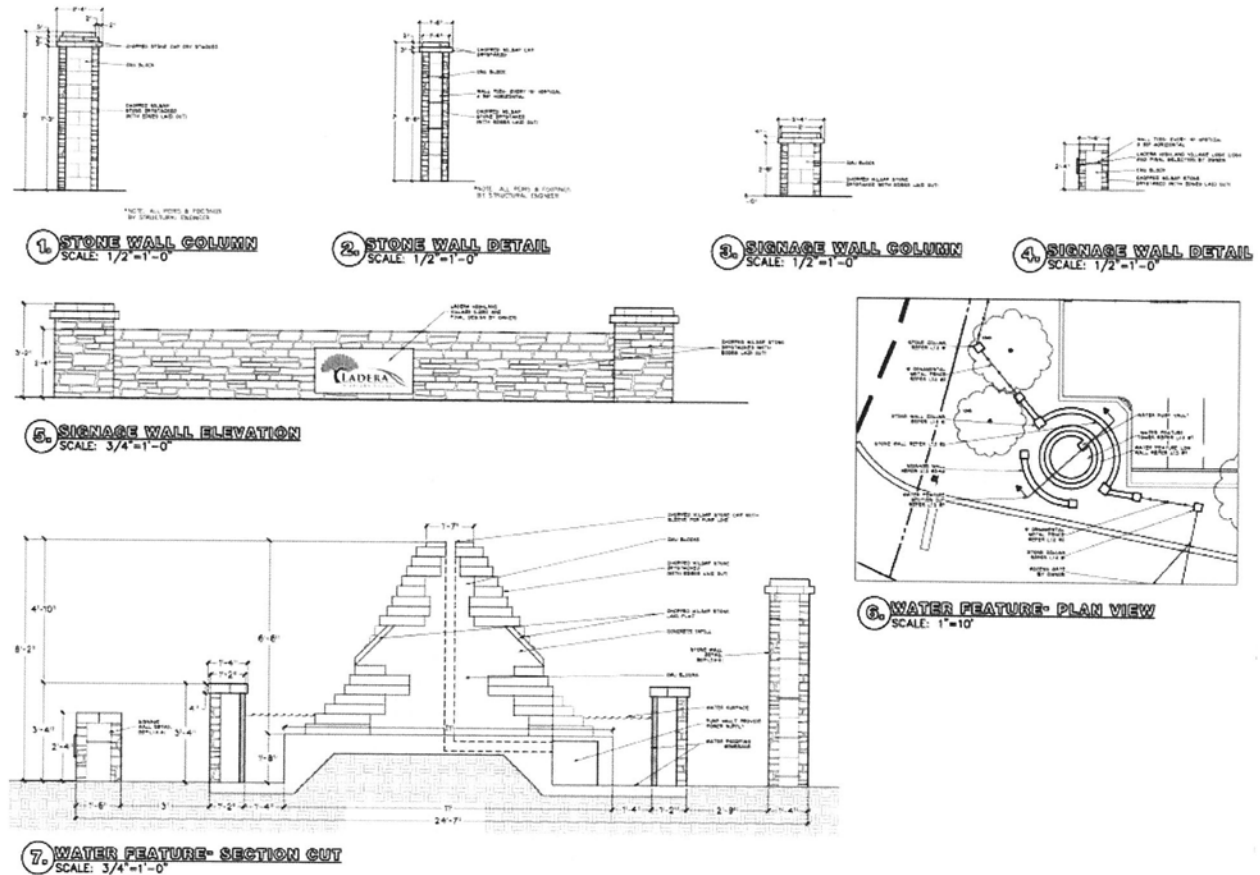
- (b) *Landscape Buffer and Sidewalks (John King Boulevard).* A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard. The required wrought iron fence along John King Boulevard may be situated within 40-feet of the right-of-way line. In addition, the design of the buffer shall generally conform to the following cross section:





**Exhibit 'C':**  
**PD Development Standards**

- (3) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (4) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (G) *Trail Enhancements.* In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide a trail enhancement element that generally conforms to the following design:

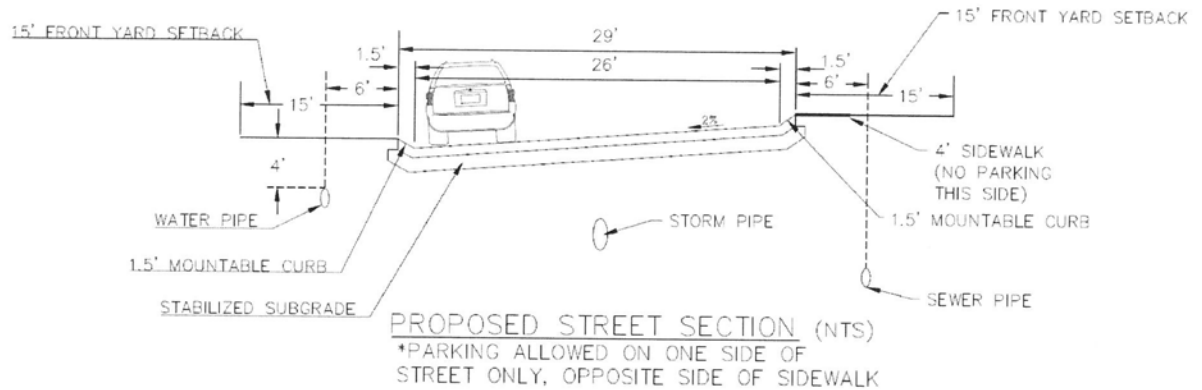


- (H) *Lighting.* Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to concentrate light within the development area.

*Continued on next page ...*

**Exhibit 'C':**  
**PD Development Standards**

- (I) *Private Streets.* With the exception of the 21-foot, one-way street situated adjacent to John King Boulevard the street cross sections for this development should conform to the following cross section:



- (J) *Open Space.* The development shall consist of a minimum of 47.88% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall maintain all common open space areas. For the purposes of this Planned Development District open space shall include all front yards, rear yards, common areas, buffers and floodplain installed by the developer, but does not include any landscaping, trees, patios and other improvements installed by the homeowner. Floodplain shall be calculated at a rate of 50% (e.g.  $\frac{1}{2}$ -acre for every acre provided).
- (K) *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
- (L) *Condominium Owner's Association (COA).* A Condominium Owner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Chapter 82, Uniform Condominium Act*, of the *Texas Property Code*. The COA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, and screening fences associated with this development, but it is not required to maintain additional landscaping or improvements added by the homeowner.
- (M) *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.



**Exhibit 'C':**  
*PD Development Standards*

- (N) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code [*Ordinance No. 04-38*] shall apply to any application for variances to this ordinance.

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 85 (PD-85) [ORDINANCE NO. 18-32] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO INCORPORATE A 9.762-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT INTO PLANNED DEVELOPMENT DISTRICT 85 (PD-85) CREATING A 47.694-ACRE PLANNED DEVELOPMENT DISTRICT IDENTIFIED AS TRACTS 4-01 & 5 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by the John Delin of Integrity Group, LLC for the approval of a zoning change amending Planned Development District 85 (PD-85) [Ordinance No. 18-32] for the purpose of changing the *Concept Plan* for the *Subject Property* being a 47.694-acre tract of land identified as Tract 4-01 & 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 85 (PD-85) [Ordinance No. 18-32] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No. 18-32*; and,

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plans*, contained in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of



approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of *Tract 1* of the *Subject Property* -- as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of *Area 3* as depicted in *Exhibit 'B'* of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Open Space Master Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Open Space Master Plan.* An *Open Space Master Plan* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Open Space Master Plan* for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *Master Plat* and an *Open Space Master Plan Application* for the development.
- (f) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF FEBRUARY, 2022.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: January 18, 2022

2<sup>nd</sup> Reading: February 7, 2022



**Exhibit 'A':**  
**Legal Description**

Legal Description for Tract 1:

Tract 1 9.894 acres M. B. Jones Survey, Abstract No. 122 B. Jones Survey, Abstract No. 122 City of Rockwall Rockwall County, Texas

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. G&A CONSULTANTS", being in the north line of U. , being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 724.55 feet; E, a distance 724.55 feet;

*THENCE* S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

*THENCE* N 02°39'30" W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar found;

*THENCE* N 01°20'56" W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 G&A CONSULTANTS", being the southwest corner of a called 1.837 , being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at G&A CONSULTANTS", being the southeast corner thereof, and being at , being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

*THENCE* N 01°20'56" W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of G&A CONSULTANTS", being in the south line of a 10.942 acre tract of , being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called G&A CONSULTANTS", being the most northwesterly corner of a called , being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins

Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A E, a

**Exhibit 'A':**  
***Legal Description***

distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and , and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and , and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 28°49'11" W, a distance of 32.25 feet to the *POINT OF BEGINNING* and containing approximately 9.894 acres of land.



**Exhibit 'A':**  
**Legal Description**

Legal Description for Tract 2:

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar found at the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

*THENCE* S 88°18'19"W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Northwesterly with the east line of said 3.989 acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

*THENCE* N 00°10'47" W, with the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000 acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

*THENCE* N 89°54'11" E, with the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744 acre tract;

**Exhibit 'A':**  
*Legal Description*

*THENCE* S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

*THENCE* over, across, and through said 73.2744 acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744 acre tract and the north line of U.S. Highway 66;

*THENCE* S 89°18'14" W, with the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the *POINT OF BEGINNING* and containing approximately 37.800 acres of land.



[illegible]

City of Rockwall, Texas

**Exhibit 'B':**  
*Concept Plan: Tract 2*





**Exhibit 'C':**  
**PD Development Standards**

**PD Development Standards.**

Tract 1: 9.894-Acres of Non-Residential Property

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 1* of the *Subject Property*; however, the following additions and conditions shall apply:

The following land uses shall be expressly prohibited on the *Subject Property*:

- ☒ Convent or Monastery
- ☒ Hotel or Motel
- ☒ Hotel, Residence
- ☒ Cemetery/Mausoleum
- ☒ Mortuary or Funeral Chapel
- ☒ Social Service Provider
- ☒ Billiard Parlor or Pool Hall
- ☒ Carnival, Circus, or Amusement Ride
- ☒ Commercial Amusement/Recreation (*Outside*)
- ☒ Gun Club, Skeet or Target Range (*Indoor*)
- ☒ Astrologer, Hypnotist, or Psychic Art and Science
- ☒ Night Club, Discotheque, or Dance Hall
- ☒ Secondhand Dealer
- ☒ Car Wash, Self Service
- ☒ Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
- ☒ Service Station
- ☒ Mining and Extraction (*Sand, Gravel, Oil & Other*)
- ☒ Helipad
- ☒ Railroad Yard or Shop
- ☒ Transit Passenger Facility

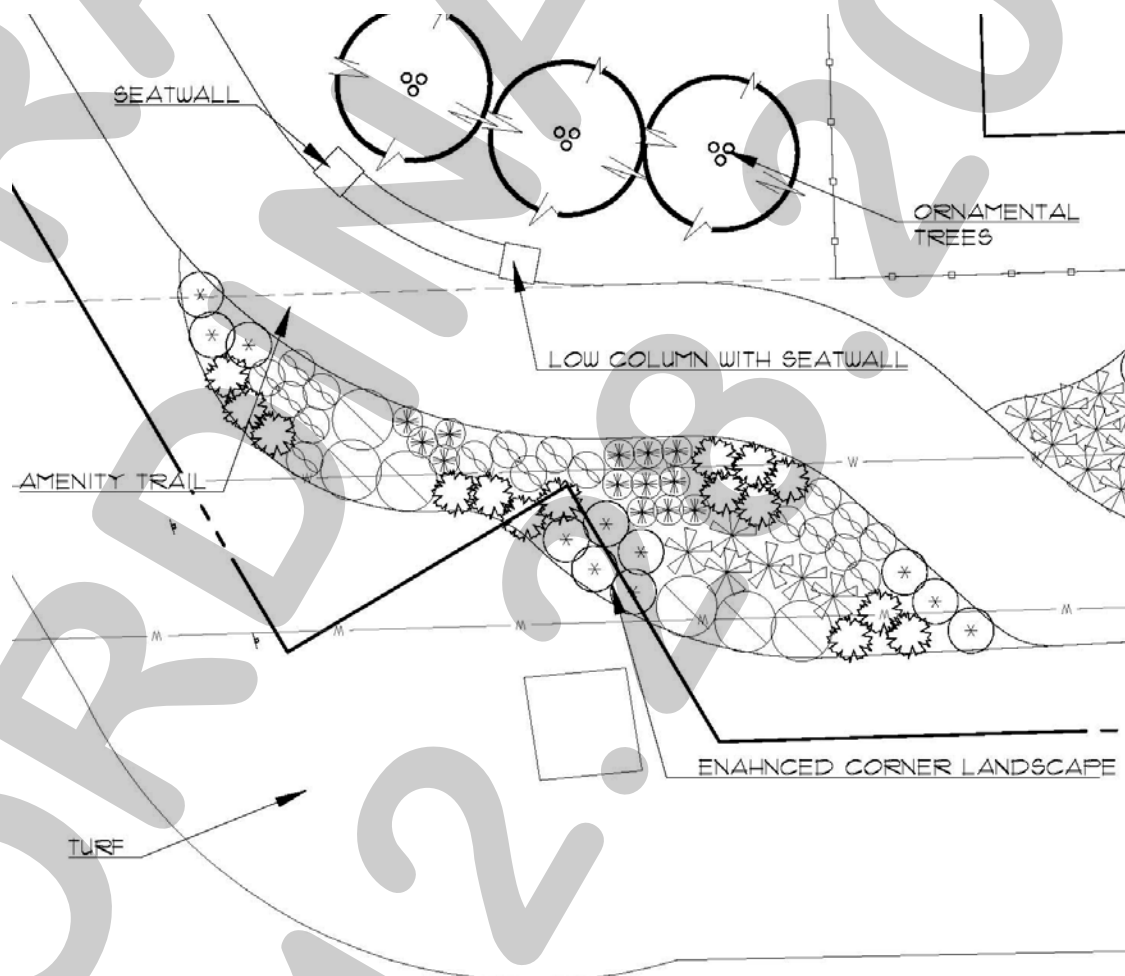
The following additional use shall be permitted through a Specific Use Permit (SUP) on the *Subject Property*:

- ☒ Garden Supply/Plant Nursery

- (2) *Density and Dimensional Requirements.* Any development on *Tract 1* of the *Subject Property* shall be subject to the development standards required for properties in a General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall adhere to the following:
- (a) *Landscape Buffer (SH-66).* A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to SH-66.

**Exhibit 'C':**  
**PD Development Standards**

- (b) *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 15-foot landscape buffer adjacent to John King Boulevard.
- (c) *Landscape Buffer (FM-1141)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to FM-1141.
- (4) *Intersection Enhancements*. In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide an intersection enhancement at the corner of the intersection of Williams Street (SH-66) and John King Boulevard that generally conforms to the following design:





**Exhibit 'C':**  
**PD Development Standards**

Tract 2: 28.011-Acres of Residential Property

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 2* of the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- ☒ Activity Center
- ☒ Community Pool
- ☒ Gazebos/Pavilions
- ☒ Sports Courts

- (2) **Unit Composition and Layout.** The unit composition and layout shall generally conform to the *Concept Plan* for *Tract 2* depicted in *Exhibit 'B'* and stated as follows:

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	11	09.40%
2	42' x 77'	1,600 SF	27	23.07%
3	42' x 72'	1,600 SF	10	08.55%
4	42' x 70'	1,600 SF	26	22.22%
5	54' x 60'	1,600 SF	21	17.95%
6	64' x 50'	2,100 SF	6	05.13%
7	36' x 59'	1,600 SF	16	13.68%
Total Units:			117	

- (3) **Density and Dimensional Requirements.** The maximum permissible density for the *Subject Property* shall not exceed 3.1-units/acre; however, in no case should the proposed development exceed 117 single-family, residential units. The *Subject Property* shall maintain conformance with the following requirements:

- (a) **Condominium Requirement.** The property shall be established as a condominium development pursuant to the requirements of *Chapter 82* of the *Texas Property Code*, and platted as a single lot.
- (b) **Lot Dimensional Requirements.** The proposed condominium lot shall adhere to the following setbacks:

Minimum Lot Width	1,500'
Minimum Lot Depth	490'
Minimum Lot Area	28.0-Acres
Minimum Setback Adjacent to John King Boulevard	95'
Minimum Setback Adjacent to SH-66	20'
Minimum Setback Adjacent to the Eastern & Northern Property Lines	10'

*Continued on next page ...*

**Exhibit 'C':**  
**PD Development Standards**

- (c) *Internal Artificial Lot Requirements.* The units constructed on the proposed condominium lot shall adhere to the following dimensional requirements for artificial lots:

<i>Minimum Setback from a Private Street</i> <sup>(1) (2) (3)</sup>	15'
<i>Minimum Side Yard Distance Between Units</i>	6'
<i>Minimum Side Yard Setback from a Private Street</i> <sup>(1) (2)</sup>	10'
<i>Minimum Rear Yard Distance Between Units</i>	20'
<i>Maximum Height</i>	35'

*General Notes:*

- <sup>1</sup>: This setback shall be measured from the back of curb.  
<sup>2</sup>: Variances of up to five (5) feet may be granted by the Director of Planning and Zoning on a case-by-case basis for artificial lots on curve-linear streets.  
<sup>3</sup>: The minimum length of a driveway shall be 20-feet as measured from the edge of the approach to the garage door.

- (4) *Building Standards.* All development shall adhere to the following building standards:

- (A) *Masonry Requirement.* The minimum masonry requirement for the exterior façades -- excluding doors and windows -- of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted to be used to meet up to 40% of the masonry requirement.
- (B) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on the front elevation of all structures. Porches and rear elevations shall have a minimum of a 4:12 roof pitch.
- (C) *Garage Orientation.* Garages shall oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration. If a front entry garage configuration is utilized it shall face the street and shall be located even with the front building façade of the primary structure. On *traditional swing* (or *j-swing*) garages a second single garage door facing the street is permitted if it is located behind the width of the double garage door.
- (D) *Anti-Monotony Restrictions.* The development shall adhere to the following Anti-Monotony requirements (for spacing requirements see the illustration on the following page):
- (1) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
  - (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - (a) Number of Stories
    - (b) Brick Color
    - (c) Roof Type and Layout
    - (d) Articulation of the Front Façade
  - (3) All roof shingles shall be an architectural or dimensional shingle, and have a 30-year rating. (*3-Tab Roofing Shingles are prohibited*).



**Exhibit 'C':**  
**PD Development Standards**

*Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.*



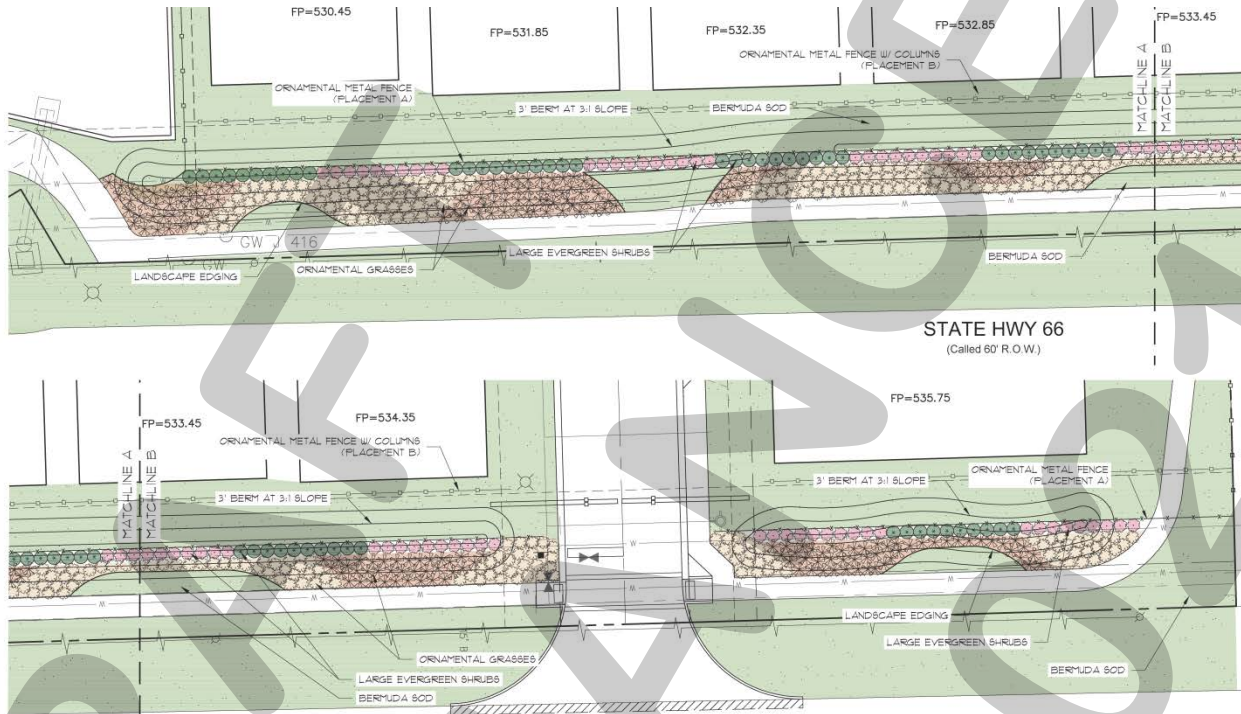
*Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.*



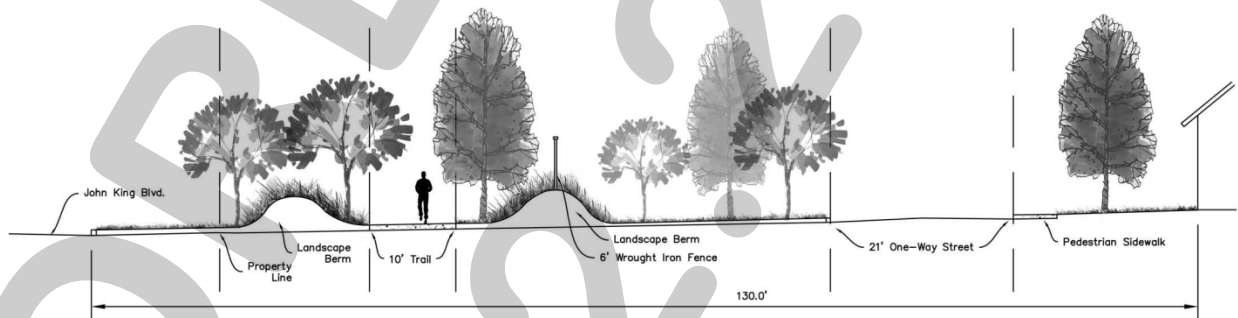
- (E) **Fencing Standards.** All residential privacy fencing shall be six (6) foot wrought iron/tubular steel fencing for transparent fencing and six (6) foot Simtek (or a similar product) fencing for non-transparent fencing. Fencing located along the exterior of the condominium lot shall be a minimum of six (6) foot wrought iron/tubular steel fencing with masonry columns a maximum of 45-feet on center. The masonry columns shall only be required adjacent to John King Boulevard and SH-66.
- (F) **Landscape and Hardscape Standards.**
- (1) **Residential Landscape.** All canopy trees planted within the condominium lot and not situated within a required landscape buffer shall be a minimum of three (3) inches in caliper and accent trees shall be a minimum of four (4) feet in height. All tree plantings shall conform to the City's tree planting guidelines and requirements stipulated in Appendix F, *Landscaping Guidelines and Requirements*, of the Unified Development Code.
  - (2) **Landscape Buffers.** All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA) and shall conform to the following:
    - (a) **Landscape Buffer (SH-66).** A minimum of a 20-foot landscape buffer shall be provided along the frontage of SH-66 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. The landscaping shall be generally as depicted below. The developer shall also be

## Exhibit 'C': PD Development Standards

responsible for the construction of a five (5) foot sidewalk situated within the 20-foot landscape buffer adjacent to SH-66.

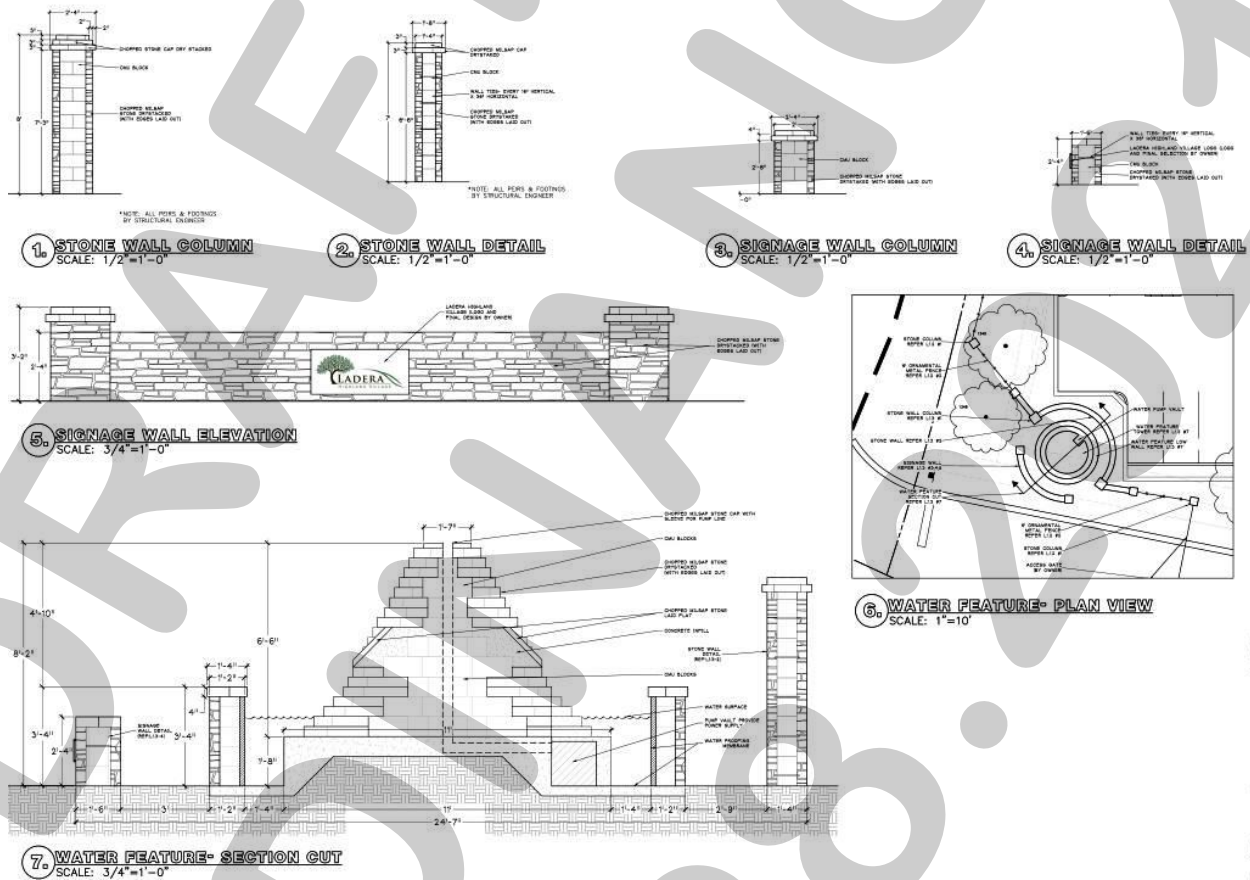


- (b) *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard. The required wrought iron fence along John King Boulevard may be situated within 40-feet of the right-of-way line. In addition, the design of the buffer shall generally conform to the following cross section:



**Exhibit 'C':**  
**PD Development Standards**

- (3) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (4) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (G) *Trail Enhancements.* In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide a trail enhancement element that generally conforms to the following design:



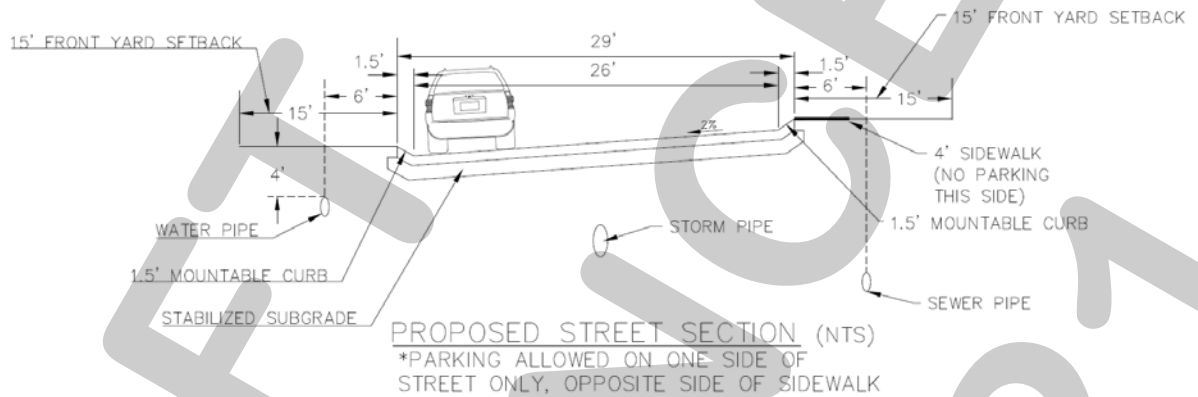
- (H) *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to concentrate light within the development area.

*Continued on next page ...*



**Exhibit 'C':**  
**PD Development Standards**

- (I) *Private Streets.* With the exception of the 21-foot, one-way street situated adjacent to John King Boulevard the street cross sections for this development should conform to the following cross section:



- (J) *Open Space.* The development shall consist of a minimum of 40.20% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall maintain all common open space areas. For the purposes of this Planned Development District open space shall include all front yards, rear yards, common areas, buffers and floodplain installed by the developer, but does not include any landscaping, trees, patios and other improvements installed by the homeowner. Floodplain shall be calculated at a rate of 50% (e.g. ½-acre for every acre provided).
- (K) *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
- (L) *Condominium Owner's Association (COA).* A Condominium Owner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Chapter 82, Uniform Condominium Act*, of the *Texas Property Code*. The COA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, and screening fences associated with this development, but it is not required to maintain additional landscaping or improvements added by the homeowner.
- (M) *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

**Exhibit 'C':**  
*PD Development Standards*

- (N) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code [Ordinance No. 20-02] shall apply to any application for variances to this ordinance.



## CITY OF ROCKWALL

### PLANNING AND ZONING COMMISSION CASE MEMO

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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**TO:** Planning and Zoning Commission  
**DATE:** January 11, 2022  
**APPLICANT:** John Delin; *Integrity Group, LLC*  
**CASE NUMBER:** Z2021-056; *Amendment to Planned Development District 85 (PD-85)*

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#### SUMMARY

Hold a public hearing to discuss and consider a request by John Delin of Integrity Group, LLC for the approval of an Zoning Amendment to Planned Development District 85 (PD-85) [*Ordinance No. 18-32*] for a 47.694-acre tract of land identified as Lot 1, Block A, and Lot 1, Block B, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

#### BACKGROUND

The majority of the subject property was annexed into the City of Rockwall and zoned Agricultural (AG) District on March 16, 1998 by *Case No. A1998-001 (Ordinance No. 98-10)*. The remainder of the property was annexed on March 2, 1960 by *Case No. A1960-001 (Ordinance No. 60-01)*. In 2007-2008, the City of Rockwall acquired a portion of the property for the future right-of-way for John King Boulevard. This divided the property into two (2) tracts of land, a 9.894-acre tract of land on the west side of John King Boulevard (*i.e. Tract 1*) and a 28.011-acre tract of land on the east side of John King Boulevard (*i.e. Tract 2*).

On October 16, 2017, the City Council approved Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] establishing limited General Retail (GR) District land uses on *Tract 1*, and Single-Family 7 (SF-7) District land uses on *Tract 2*. As part of this approval, *Tract 2* was approved for an age restricted, senior living community that consisted of 84-89 single-family homes setup in a condominium regime (*i.e. the single-family homes were individually owned but were situated on a single lot owned and maintained by the homeowner's association*). This plan also laid out 12.80-acres of open space, and provided for a ten (10) foot hike/bike trail along John King Boulevard and an intersection enhancement at the corner of John King Boulevard and SH-66 in accordance with the *John King Boulevard Design Concept Plan*.

After receiving approval for the Planned Development District, the applicant -- *John Delin of Integrity Group, LLC* -- contacted staff to notify them that the title company had missed locating a 30' North Texas Municipal Water District (NTMWD) easement on the survey that runs parallel to SH-66. This inhibited the applicant's ability to provide the required landscape and hardscape elements required by *Ordinance No. 17-55*. In response to this, the applicant filed an application requesting a variance to these requirements and proposing an alternative landscape plan. This was approved by the City Council on February 19, 2018.

On June 15, 2018, the applicant submitted an application proposing to amend Planned Development District 85 (PD-85) for the purpose of incorporating an additional 9.789-acre tract of land into *Tract 2* and expanding the total single-family lot count to a maximum of 122 single-family homes. This was approved by the City Council on August 6, 2018 through the adoption of *Ordinance No. 18-32*.

In November of 2021, staff contacted the applicant to inform him that a portion of the lots proposed for Phase 2 of the Ladera Subdivision were situated within the Runway Protection Zone of the Ralph Hall Municipal Airport. This was discovered by staff when working with Aviation Division of the Texas Department of Transportation (TXDOT) on a proposed project in the southern RPZ. To remedy this issue, staff and the applicant have been working with the TXDOT Aviation Division to revise the concept plan to conform to the Federal Aviation Administration's (FAA's) guidelines.



## PURPOSE

On December 18, 2021, the applicant -- *John Delin of Integrity Group, LLC* -- submitted an application requesting to amend Planned Development District 85 (PD-85) to incorporate a new concept plan that would reduce the number of lots from 122 to 117 and remove all proposed units from the Runway Protection Zone of the Ralph Hall Municipal Airport.

## ADJACENT LAND USES AND ACCESS

The subject property is located on both sides of John King Boulevard north of SH-66. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property on the east side of John King Boulevard is a vacant, 15.935-acre parcel of land zoned Agricultural (AG) District. Beyond this is FM-1141, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's *Master Thoroughfare Plan* contained in the OURHometown Vision 2040 Comprehensive Plan. North of this thoroughfare is a single-family subdivision, which is situated outside the corporate limits of the City of Rockwall. On the east side of John King Boulevard north of the subject property is a 1.837-acre tract of land zoned Agricultural (AG) District. Beyond this parcel is a one (1) acre tract of land followed by a 5.702-acre tract of land. Both of these tracts of land are owned by the City of Rockwall and zoned Agricultural (AG) District.

South: Directly south of the subject property is Williams Street (*i.e. the current alignment of SH-66*), which is identified as a *Minor Collector* on the City's *Master Thoroughfare Plan* contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare is a portion of a 28.8836-acre tract of land, which is vacant and zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses. Adjacent to this property and south of the western boundary of the subject property is a vacant 17.861-acre tract of land that was subdivided into 78 duplex lots in 1984. This property is zoned Two-Family (2F) District. Adjacent to this property is an undefined portion of Planned Development District 71 (PD-71), which allows for limited Commercial (C) District land uses.

East: Directly east of the subject property is the remainder of the 65.274-acre tract of land (*i.e. less the 9.789-acres of land being incorporated into Planned Development District 85 [PD-85]*) that is a portion of a larger 148.825-acre tract of land that is zoned Agricultural (AG) District. Situated on the property is an accessory building. Beyond this are various tracts of land zoned Agricultural (AG) District.

West: Directly west of the subject property is FM-1141, which is identified as a *Minor Collector* on the City's *Master Thoroughfare Plan* contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Highlands Subdivision, which consists of 36 single-family lots on 11.00-acres. This subdivision is zoned Planned Development District 5 (PD-5) for Zero Lot Line (ZL-5) District uses.

## CHARACTERISTICS OF THE REQUEST

The applicant has submitted an updated concept plan and Planned Development District ordinance detailing the proposed changes to *Tract 1*. Currently, Planned Development District 85 (PD-85) [*Ordinance No. 18-32*] allows the following lot mix on *Tract 1*:

TABLE 2: PROPOSED LOT MIX

<i>Unit Type</i>	<i>Unit Dimensions</i>	<i>Minimum Unit Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units</i>
1	44.5' x 80'	1,600 SF	20	16.39%
2	42' x 77'	1,600 SF	29	23.77%
3	42' x 72'	1,600 SF	2	01.64%
4	42' x 70'	1,600 SF	41	33.61%
5	54' x 60'	1,600 SF	24	19.67%
6	64' x 50'	2,100 SF	6	04.92%
<i>Total Units:</i>			122	

Under the proposed ordinance the lot mix would be changed as following:

**TABLE 2: PROPOSED LOT MIX**

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	11	09.40%
2	42' x 77'	1,600 SF	27	23.07%
3	42' x 72'	1,600 SF	10	08.55%
4	42' x 70'	1,600 SF	26	22.22%
5	54' x 60'	1,600 SF	21	17.95%
6	64' x 50'	2,100 SF	6	05.13%
7	36' x 59'	1,325 SF	16	13.68%
Total Units:			117	

This new lot mix and the updated concept plan show that the total number of homes will be reduced from 122 to 117. This reduces the density of the development from 3.20 dwelling units per acre to 3.10 dwelling units per acre, and increases the open space from 47.88% to 52.19%. Staff should point out that the applicant is proposing to incorporate a new lot product (*i.e. Unit Type 7*) that will include a unit dimension of 36' x 59' and require a minimum unit size of 1,325 SF. All other aspects of the proposed development including the dimensional requirements will remain the same as to what was approved under *Ordinance No. 18-32*.

### **INFRASTRUCTURE**

Since the applicant's request decreases the residential and the proposed building footprint of the development, no additional infrastructure improvements -- beyond was approved with *Ordinance No. 18-32* -- are necessary to adequately serve the development.

### **CONFORMANCE TO THE CITY'S CODES**

Since the applicant's request does not change the *Development Standards* contained within Planned Development District 85 (PD-85), the amendment does not change the plans conformance to the City's codes.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northeast Residential District and is designated for High Density Residential land uses. The High Density Residential land use designation "...consists of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre." Prior to the OURHometown Vision 2040 Comprehensive Plan, the OURHometown 2000 Comprehensive Plan -- *which this development was adopted under* -- defined High Density Residential as any development that exceeded three (3) units per gross acre. Based on the applicants request to decrease residential density from 3.20 dwelling units per acre to 3.10 dwelling units per acre, the subject property can be reclassified as Medium Density Residential. This land use designation "...consists of residential subdivisions greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ..." In this case, Planned Development District 85 (PD-85) already incorporates limited General Retail (GR) District land uses and Single-Family 7 (SF-7) District land uses, and amenities that include: [1] an amenities center, [2] pickle ball courts, [3] a swimming pool, and [4] open space in excess of 20%. Based on this staff has included a condition of approval that would change the designation of the subject property from High Density Residential to Medium Density Residential should the City Council choose to grant the applicant's request.

Since the proposed amendment [1] increases the open space from 47.88% to 52.19%, [2] decreases the residential density from 3.20 dwelling units per acre to 3.10 dwelling units per acre, and [3] provides the ability to change the land use designation of the subject property from High Density Residential to Medium Density Residential, the applicant's request to amend Planned Development District 85 (PD-85) brings the development in to better compliance with the OURHometown Vision 2040 Comprehensive Plan.

## NOTIFICATIONS

On December 16, 2021, staff mailed 84 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices concerning this case.

## CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to amend Planned Development District 85 (PD-85) [*Ordinance No. 18-32*], then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance; and,
- (2) By approving this Zoning Amendment, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the subject property from a High Density Residential designation to a Medium Density Residential designation; and,
- (3) Any construction resulting from the approval of this Zoning Amendment shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NE CORNER OF SH-66 AND N JOHN KING BLVD

SUBDIVISION LADERA ROCKWALL

LOT 1 BLOCK A

GENERAL LOCATION NE CORNER OF SH-66 AND N JOHN KING BLVD

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD	CURRENT USE	SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING	PD	PROPOSED USE	SINGLE FAMILY RESIDENTIAL
ACREAGE	37.8	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	RW LADERA, LLC	<input type="checkbox"/> APPLICANT	McADAMS CO.
CONTACT PERSON	JOHN DELIN	CONTACT PERSON	ALEC BIDWELL
ADDRESS	361 W. BYRON NELSON BLVD. STE 104	ADDRESS	201 COUNTRY VIEW DR.
CITY, STATE & ZIP	ROCKWALL, TX 76262	CITY, STATE & ZIP	ROCKWALL, TX 76262
PHONE	817-430-3318	PHONE	469-496-2043
E-MAIL	JOHN@INTEGRITYGROUPS.COM	E-MAIL	ABIDWELL@MCADAMSCO.COM

## NOTARY VERIFICATION [REQUIRED]

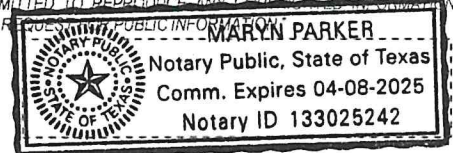
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN DELIN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE SIXTEENTH DAY OF DECEMBER, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIES OF INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF DECEMBER, 2021.

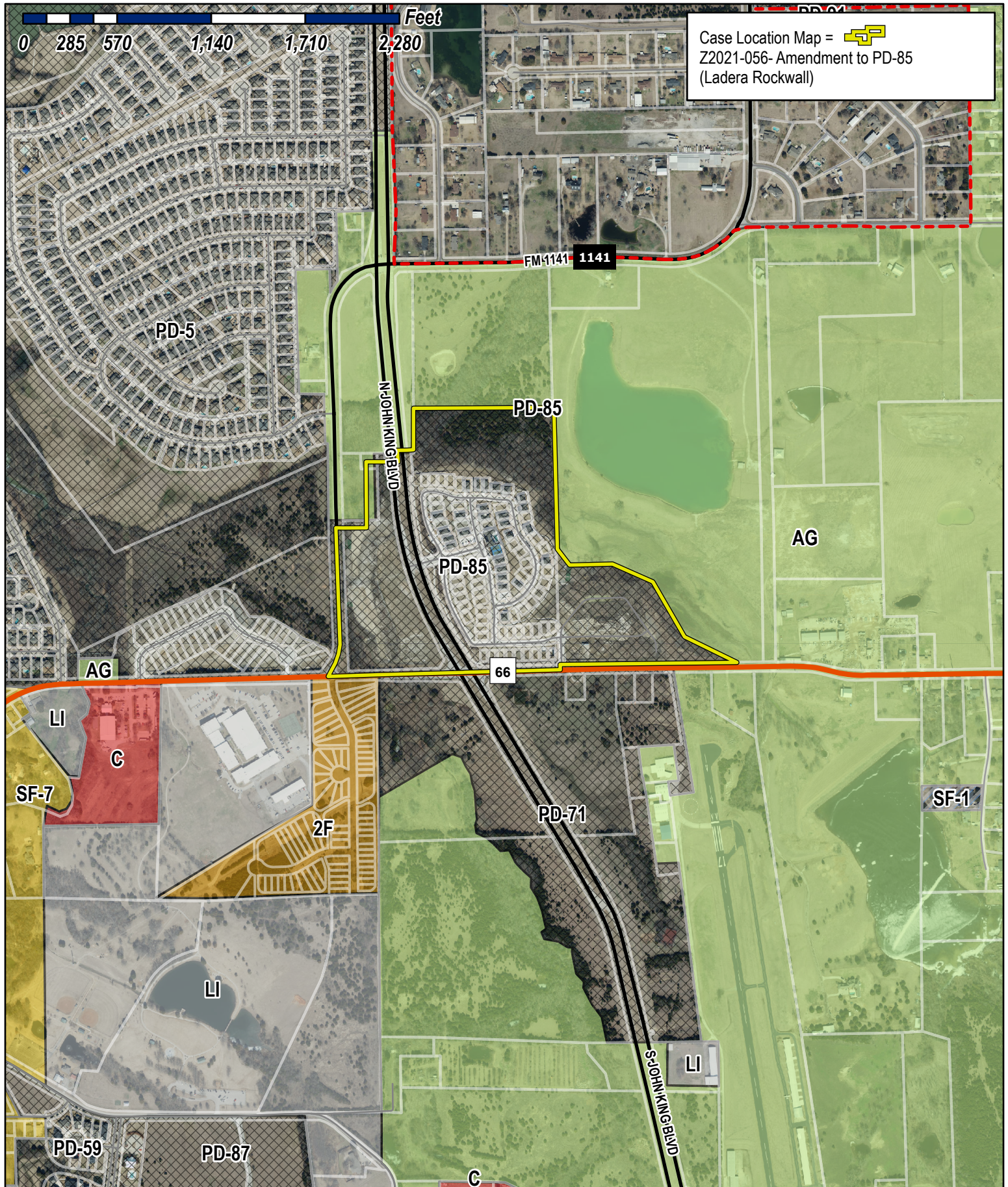
OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES





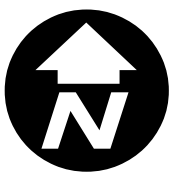
Case Location Map =   
 Z2021-056- Amendment to PD-85  
 (Ladera Rockwall)



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



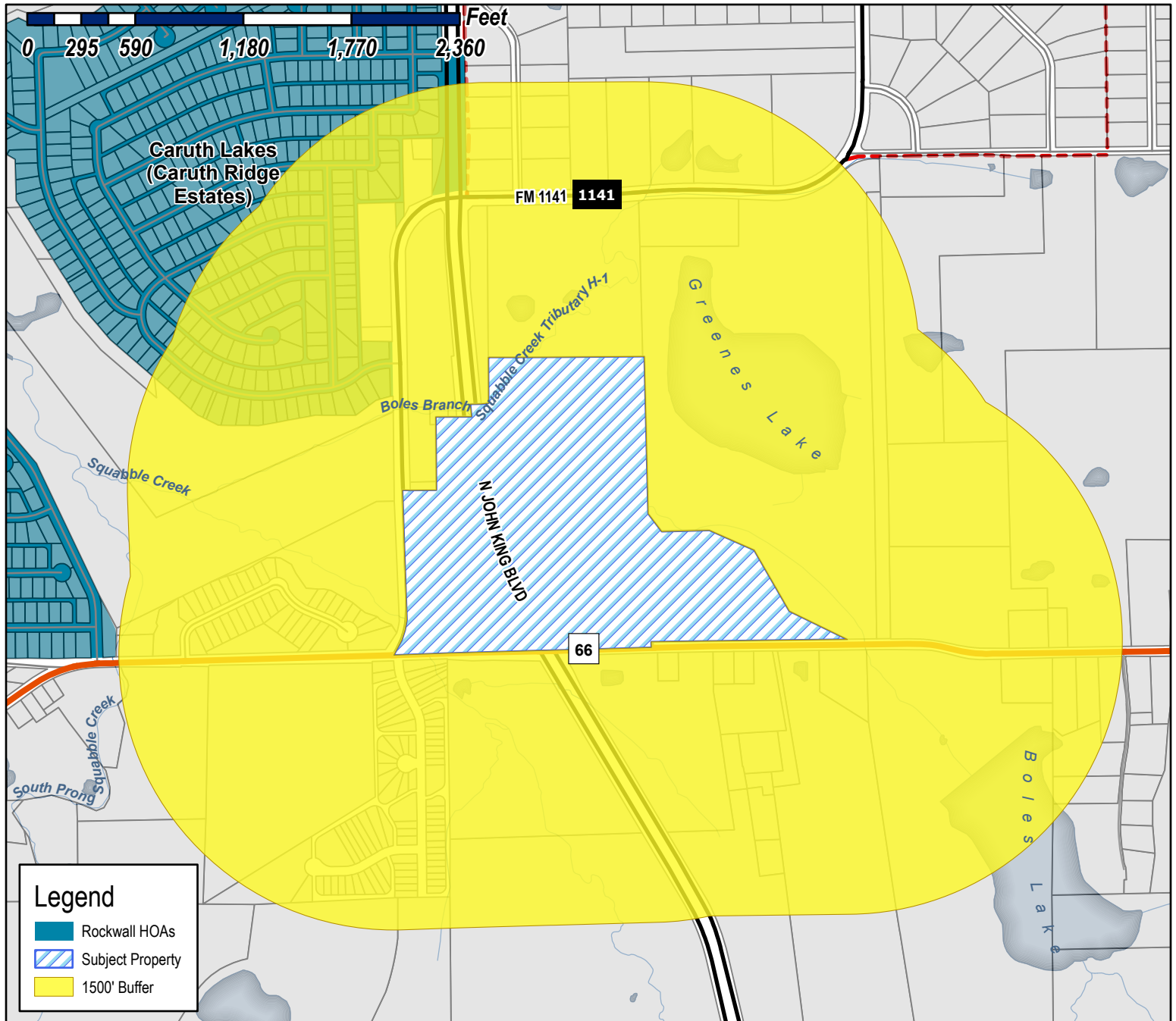




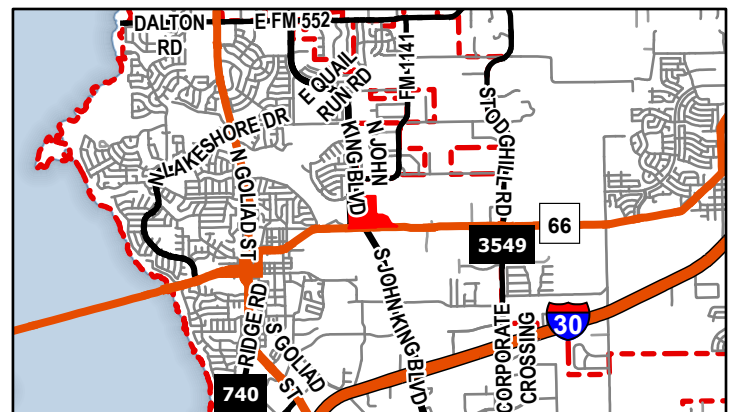
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2021-056  
**Case Name:** Amendment to PD-85  
(Ladera Rockwall)  
**Case Type:** Zoning  
**Zoning:** Planned Development District 85  
(PD-85)  
**Case Address:** Corner of N. John King & SH66  
**Date Saved:** 12/16/2021  
For Questions on this Case Call (972) 771-7745





## Miller, Ryan

---

**From:** Gamez, Angelica  
**Sent:** Tuesday, December 21, 2021 10:52 AM  
**Cc:** Miller, Ryan; Lee, Henry  
**Subject:** Neighborhood Notification Program [ Z2021-056]  
**Attachments:** Public Notice (12.20.2021).pdf; HOA Map (12.16.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on December 24, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, January 11, 2022 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 18, 2022 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2021-056: Zoning Amendment to PD-85**

Hold a public hearing to discuss and consider a request by John Delin of Integrity Group, LLC for the approval of an Zoning Amendment to Planned Development District 85 (PD-85) [*Ordinance No. 18-32*] for a 47.694-acre tract of land identified as Lot 1, Block A, and Lot 1, Block B, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

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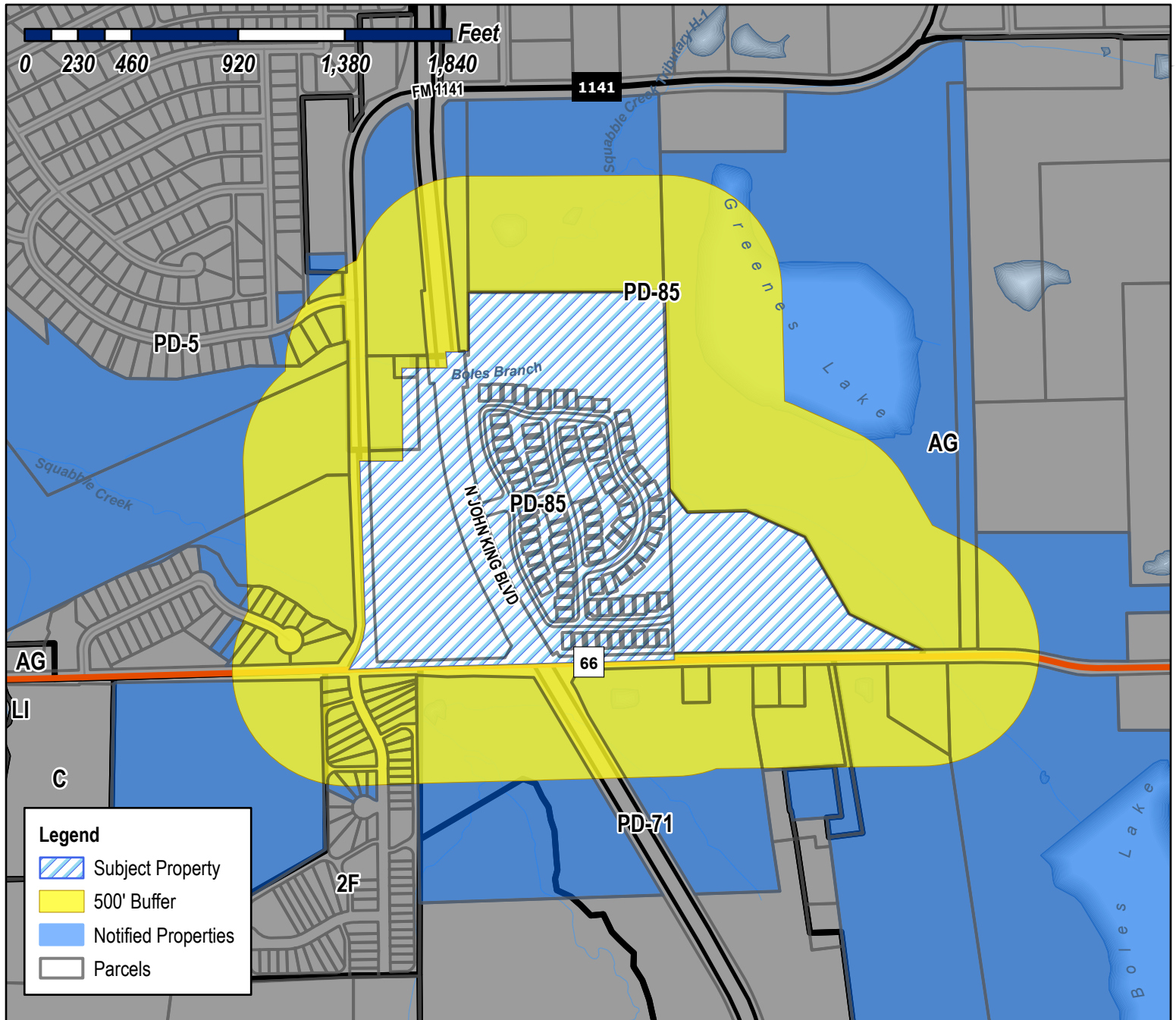
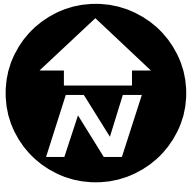
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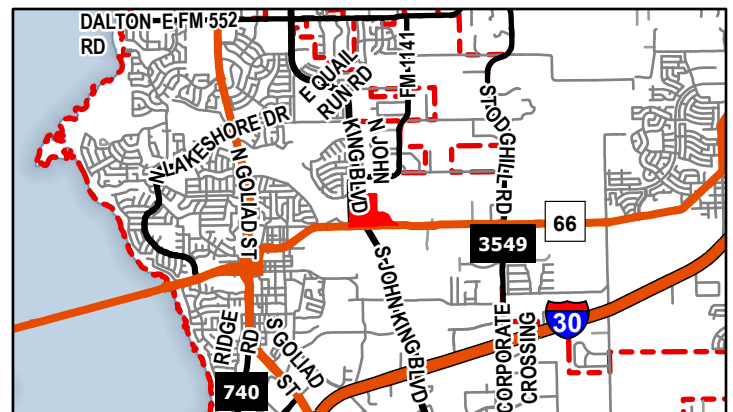
# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2021-056  
**Case Name:** Amendment to PD-85  
(Ladera Rockwall)  
**Case Type:** Zoning  
**Zoning:** Planned Development District 85  
(PD-85)  
**Case Address:** Corner of N. John King & SH66  
**Date Saved:** 12/16/2021  
For Questions on this Case Call (972) 771-7745



KEHM NATALIE & DONAVON  
1050 HIDDEN LAKES WAY  
ROCKWALL, TX 75087

ROCKWALL I S D  
1050 WILLIAMS  
ROCKWALL, TX 75087

SEE BETTY  
110 WESTMINISTER  
ROCKWALL, TX 75032

RYDER HEATH JAMES AND MELANIE ANN  
1383 WATER EDGE DRIVE  
ROCKWALL, TX 75087

WOODUL GREG C AND NETA J  
1389 WATERS EDGE DR  
ROCKWALL, TX 75087

ELLIOTT CHRISTOPHER ANDREW & HEATHER R  
1395 WATERS EDGE DRIVE  
ROCKWALL, TX 75087

GROGAN DANIEL R  
1405 WATERS EDGE DRIVE  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
150 TURTLE CREEK SUITE 104-E  
DALLAS, TX 75207

RW LADERA LLC  
1605 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1609 MADRID WAY  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
1612 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1613 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1616 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1617 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1620 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1621 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1624 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1625 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1628 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1629 MADRID WAY  
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION  
ATTN BILL BRICKER  
1630 WILLIAMS  
ROCKWALL, TX 75087

RW LADERA LLC  
1632 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1633 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1636 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1637 MADRID WAY  
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION  
ATTN BILL BRICKER  
1673 HWY 66  
ROCKWALL, TX 75087

PEOPLES MICHAEL L JR AND  
SHERYL NEWMAN PEOPLES  
1700 STATE HIGHWAY 66  
ROCKWALL, TX 75087

PEOPLES MIKE L  
1936 HWY 66  
ROCKWALL, TX 75087

PEOPLES MICHAEL L  
2026 HWY 66  
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORP  
ATTN:BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087



CTDIGLAND LLC  
361 W BYRON NELSON BLVD SUITE 104  
ROANOKE, TX 76262

RWLADERA LLC  
361 W BYRON NELSON BLVD SUITE 104  
ROANOKE, TX 76262

HONZELL DAVID AND PATRICIA  
414 E. COACHLIGHT TRAIL  
ROCKWALL, TX 75087

DAVIS WILLIAM PAUL JR  
510 TURTLE COVE BLVD STE 200  
ROCKWALL, TX 75087

CARUTH RIDGE ESTATES HOMEOWNERS  
ASSOCIATION INC  
C/O VISION COMMUNITIES MANAGEMENT INC  
5757 ALPHA RD STE 680  
DALLAS, TX 75240

STONEFIELD HOMES LLC  
802 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
804 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
806 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
806 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
809 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
809 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
810 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
810 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
811 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
814 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
814 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
815 BELLA CT  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
815 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
816 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
817 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
817 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
818 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
818 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
819 RIO VISTA LN  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
820 BELLA DR  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
820 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
821 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
821 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
822 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
822 RIO VISTA LN  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
824 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
825 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
825 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
826 MARATHON CT  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
826 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
828 SENDERA LN  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
829 BELLA CT  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
830 BELLA DR  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
831 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
832 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
833 BELLA CT  
ROCKWALL, TX 75087

RW LADERA LLC  
836 SENDERA LN  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
837 BELLA CT  
ROCKWALL, TX 75087

RW LADERA LLC  
840 SENDERA LN  
ROCKWALL, TX 75087

SEE BETTY  
880 FM 1141  
ROCKWALL, TX 75087

DIMISSEW SAMUEL  
956 S WEATHERRED DR  
RICHARDSON, TX 75080

WHITTLE ROBERT S  
PO BOX 369  
ROCKWALL, TX 75087

WHITTLE HIGHLANDS, LLC  
PO BOX 369  
ROCKWALL, TX 75087

PEOPLES MIKE L  
PO BOX 41  
ROCKWALL, TX 75087

RW LADERA LLC  
361 W BYRON NELSON BLVD  
SUITE 104  
ROANOKE, TX 76262

INTEGRITY RETIREMENT GROUP LLC  
361 W BYRON NELSON BLVD  
SUITE 104  
ROANOKE, TX 76262

RILEY RODNEY H & JANET E  
802 RIO VISTA LN  
ROCKWALL, TX 75087

WALLACE MARTHA G  
826 BELLA DRIVE  
ROCKWALL, TX 75087

HOPKINS TEENA  
834 BELLA DR  
ROCKWALL, TX 76262

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Case No. Z2021-056: Zoning Amendment to PD-85

*Hold a public hearing to discuss and consider a request by John Delin of Integrity Group, LLC for the approval of an Zoning Amendment to Planned Development District 85 (PD-85) [Ordinance No. 18-32] for a 47.694-acre tract of land identified as Lot 1, Block A, and Lot 1, Block B, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 11, 2022 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 18, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 18, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2021-056: Zoning Amendment to PD-85

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

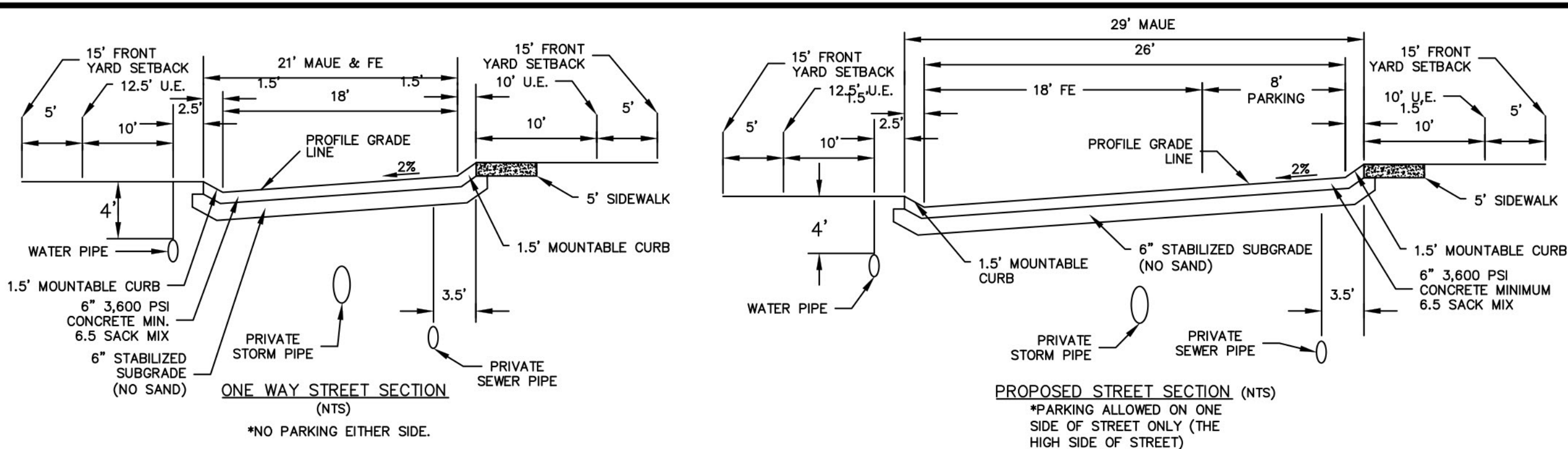
Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

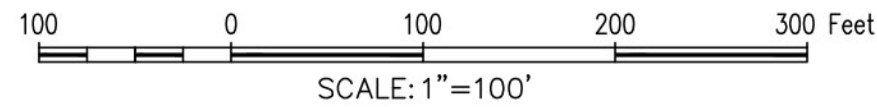
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





Site Data Summary		
Item	Total	% of Total
Acreage of Proposed Site	37.800 Acres	100%
Flood Plain Acreage	7.12	18.84%
Open Space Acreage	19.73*	52.19%
Total Number of Dwelling Units by Type**		
Unit 1: 44.5'x80'	11	
Unit 2: 42'x77'	27	
Unit 3: 42'x72'	3	
Unit 4: 42'x70'	34	
Unit 5: 54'x60'	20	
Unit 6: 64'x50'	6	
Unit 7: 36'x59'	16	
Total Units***	117	
Minimum Dwelling Unit Size:	1,325 SF	
Minimum Open Space:	38%	
Maximum Lot Density:	3.2 DU/acre	
Maximum Height:	35'	
Setbacks:		
Front:	15'	
Side:	6' between units	
Rear:	20' between units	

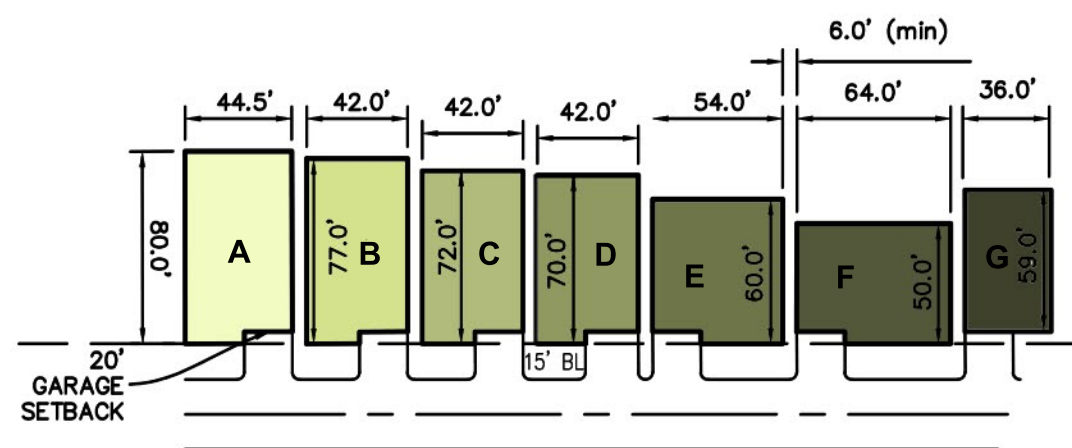
\* Excludes 50% of the total Flood Plain Area  
\*\* Unit breakdown subject to change in accordance with the lot variations identified in the Planned Development District ordinance  
\*\*\* Total units may increase but not more than maximum density allows



BM: CITY OF ROCKWALL CONTROL MONUMENT "COR-1" CALLED ELEV. 523.27.  
MEASURED ELEV. = 523.56  
BM: CITY OF ROCKWALL CONTROL MONUMENT "COR-2" CALLED ELEV. 529.10.  
MEASURED ELEV. = 529.37

#### GENERAL NOTES

- LADERA ROCKWALL SHALL BE COMPLETED IN TWO PHASES.
- THE LADERA HOA SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL YARDS, OPEN SPACE, LANDSCAPE, DRAINAGE AND PAVING.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PARKING SPOTS ARE 9' WIDE AND 20' DEPTH UNLESS OTHERWISE NOTED. PARALLEL PARKING IS 9' WIDE AND 22' DEEP.
- TXDOT PERMIT REQUIRED FOR WORK IN TXDOT R.O.W.
- FOR MORE INFORMATION ON THE CROSS SECTIONS FOR THE ULTIMATE 100 YR FLOODPLAIN REFER TO "HYDROLOGIC AND HYDRAULIC STUDY IN SUPPORT OF LADERA ROCKWALL DEVELOPMENT" PREPARED BY JEA-HYDROTECH ENGINEERING, INC.





CITY OF ROCKWALL

ORDINANCE NO. 18-32

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 85 (PD-85) [ORDINANCE NO. 17-55] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO INCORPORATE A 9.762-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT INTO PLANNED DEVELOPMENT DISTRICT 85 (PD-85) CREATING A 47.694-ACRE PLANNED DEVELOPMENT DISTRICT IDENTIFIED AS TRACTS 4-01 & 5 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by the John Delin of Integrity Group, LLC for the approval of a zoning change amending Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] for the purpose of incorporating a 9.762-acre tract of land zoned Agricultural (AG) District into Planned Development District (PD-85), allowing limited General Retail (GR) District and Single Family 7 (SF-7) District land uses on a 47.694-acre tract of land identified as Tract 4-01 & 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No. 17-55*; and,

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plans*, contained in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of *Tract 1* of the *Subject Property* -- as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (including Subsections 5(b) through 5(f) below), shall be the exclusive procedures applicable to the subdivision and platting of *Area 3* as depicted in *Exhibit 'B'* of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) *Open Space Master Plan*
  - (2) *Master Plat*
  - (3) *Preliminary Plat*
  - (4) *PD Site Plan*
  - (5) *Final Plat*
- (c) *Open Space Master Plan*. An *Open Space Master Plan* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Open Space Master Plan* for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *Master Plat* and an *Open Space Master Plan Application* for the development.
- (f) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

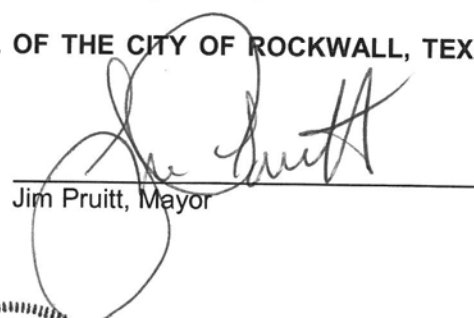
**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;



**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS  
THE 6<sup>TH</sup> DAY OF AUGUST, 2018.**

  
Jim Pruitt, Mayor

**ATTEST:**

  
Kristy Cole, City Secretary

**APPROVED AS TO FORM:**

  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: July 16, 2018

2<sup>nd</sup> Reading: August 6, 2018

**Exhibit 'A':**  
*Legal Description*

Legal Description for Tract 1:

Tract 1 9.894 acres M. B. Jones Survey, Abstract No. 122 B. Jones Survey, Abstract No. 122 City of Rockwall Rockwall County, Texas

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. G&A CONSULTANTS", being in the north line of U. , being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 724.55 feet; E, a distance 724.55 feet;

*THENCE* S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

*THENCE* N 02°39'30" W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar found;

*THENCE* N 01°20'56" W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 G&A CONSULTANTS", being the southwest corner of a called 1.837 , being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at G&A CONSULTANTS", being the southeast corner thereof, and being at , being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

*THENCE* N 01°20'56" W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of G&A CONSULTANTS", being in the south line of a 10.942 acre tract of , being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called G&A CONSULTANTS", being the most northwesterly corner of a called , being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins

Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A E, a

**Exhibit 'A':**  
*Legal Description*

distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and , and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and , and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 28°49'11" W, a distance of 32.25 feet to the *POINT OF BEGINNING* and containing approximately 9.894 acres of land.



**Exhibit 'A':**  
*Legal Description*

*Legal Description for Tract 2:*

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar found at the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

*THENCE* S 88°18'19"W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Northwesterly with the east line of said 3.989 acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

*THENCE* N 00°10'47" W, with the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000 acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

*THENCE* N 89°54'11" E, with the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744 acre tract;

**Exhibit 'A':**  
*Legal Description*

*THENCE* S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

*THENCE* over, across, and through said 73.2744 acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

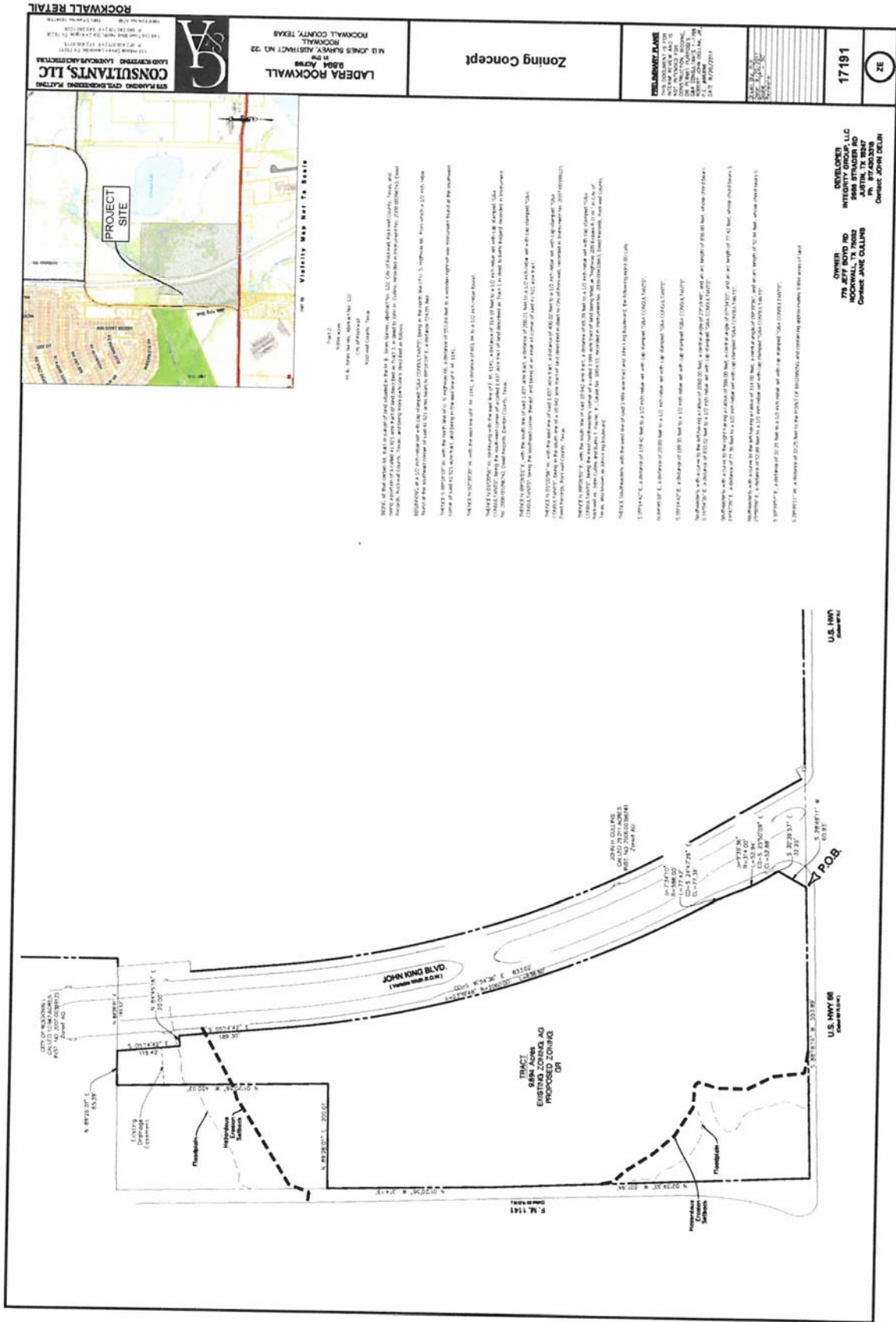
S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744 acre tract and the north line of U.S. Highway 66;

*THENCE* S 89°18'14" W, with the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the *POINT OF BEGINNING* and containing approximately 37.800 acres of land.

**Exhibit 'B':**  
*Concept Plan: Tract 1*







**Exhibit 'C':**  
*PD Development Standards*

***PD Development Standards.***

***Tract 1: 9.894-Acres of Non-Residential Property***

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 1* of the *Subject Property*; however, the following additions and conditions shall apply:

The following land uses shall be expressly prohibited on the *Subject Property*:

- ☒ Convent or Monastery
- ☒ Hotel or Motel
- ☒ Hotel, Residence
- ☒ Cemetery/Mausoleum
- ☒ Mortuary or Funeral Chapel
- ☒ Social Service Provider
- ☒ Billiard Parlor or Pool Hall
- ☒ Carnival, Circus, or Amusement Ride
- ☒ Commercial Amusement/Recreation (*Outside*)
- ☒ Gun Club, Skeet or Target Range (*Indoor*)
- ☒ Astrologer, Hypnotist, or Psychic Art and Science
- ☒ Night Club, Discotheque, or Dance Hall
- ☒ Secondhand Dealer
- ☒ Car Wash, Self Service
- ☒ Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
- ☒ Service Station
- ☒ Mining and Extraction (*Sand, Gravel, Oil & Other*)
- ☒ Helipad
- ☒ Railroad Yard or Shop
- ☒ Transit Passenger Facility

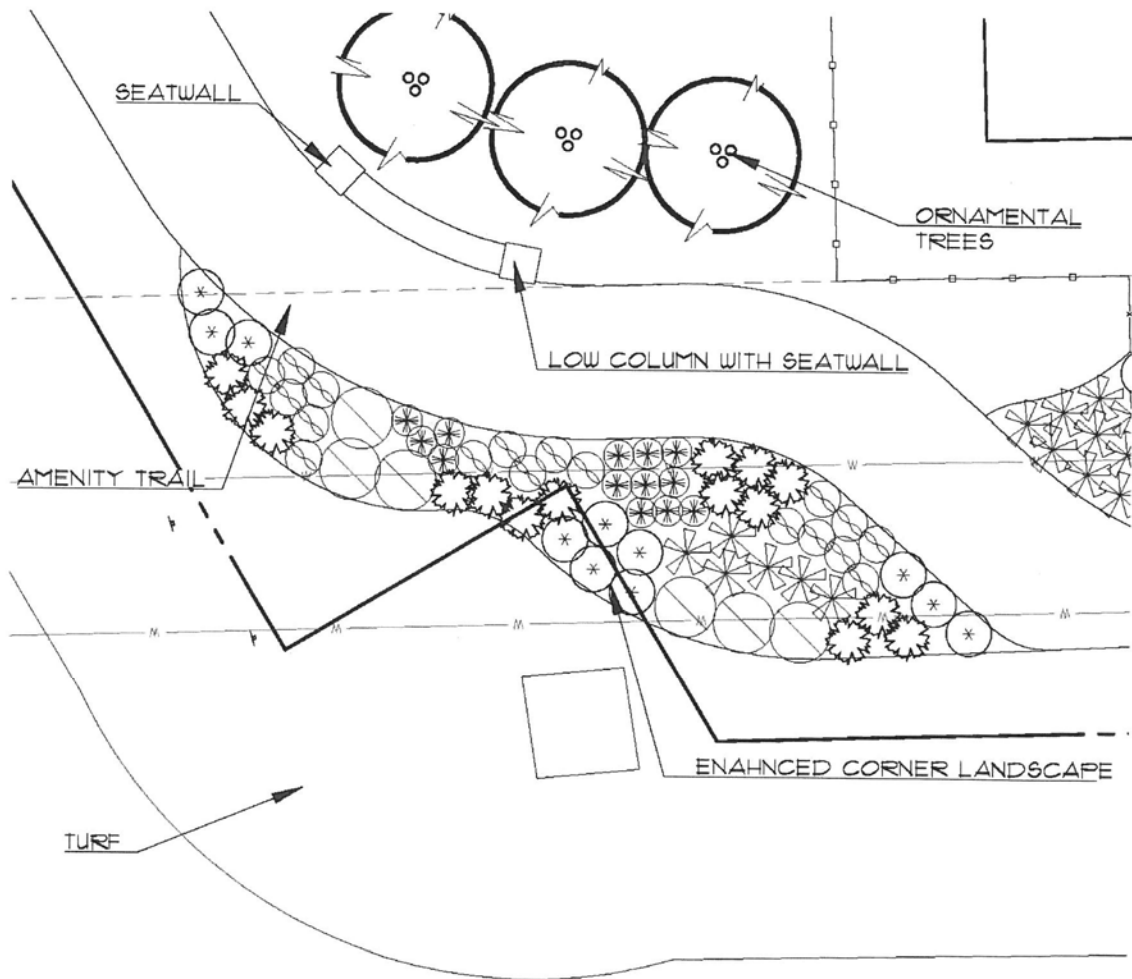
The following additional use shall be permitted through a Specific Use Permit (SUP) on the *Subject Property*:

- ☒ Garden Supply/Plant Nursery

- (2) *Density and Dimensional Requirements.* Any development on *Tract 1* of the *Subject Property* shall be subject to the development standards required for properties in a General Retail (GR) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall adhere to the following:
- (a) *Landscape Buffer (SH-66).* A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to SH-66.

**Exhibit 'C':**  
**PD Development Standards**

- (b) *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 15-foot landscape buffer adjacent to John King Boulevard.
- (c) *Landscape Buffer (FM-1141)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to FM-1141.
- (4) *Intersection Enhancements*. In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide an intersection enhancement at the corner of the intersection of Williams Street (SH-66) and John King Boulevard that generally conforms to the following design:





**Exhibit 'C':**  
**PD Development Standards**

**Tract 2: 28.011-Acres of Residential Property**

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 2* of the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- ☒ Activity Center
- ☒ Community Pool
- ☒ Gazebos/Pavilions
- ☒ Sports Courts

- (2) **Unit Composition and Layout.** The unit composition and layout shall generally conform to the *Concept Plan* for *Tract 2* depicted in *Exhibit 'B'* and stated as follows:

<i>Unit Type</i>	<i>Unit Dimensions</i>	<i>Minimum Unit Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units</i>
1	44.5' x 80'	1,600 SF	20	15.48%
2 & 3	42' x 77'	1,600 SF	31	59.52%
4	54' x 60'	1,600 SF	41	16.67%
5	64' x 50'	2,100 SF	6	08.33%
<i>Total Units:</i>			122	

- (3) **Density and Dimensional Requirements.** The maximum permissible density for the *Subject Property* shall not exceed 3.2-units/acre; however, in no case should the proposed development exceed 122 single-family, residential units. The *Subject Property* shall maintain conformance with the following requirements:

- (a) **Condominium Requirement.** The property shall be established as a condominium development pursuant to the requirements of *Chapter 82* of the *Texas Property Code*, and platted as a single lot.
- (b) **Lot Dimensional Requirements.** The proposed condominium lot shall adhere to the following setbacks:

<i>Minimum Lot Width</i>	1,500'
<i>Minimum Lot Depth</i>	490'
<i>Minimum Lot Area</i>	28.0-Acres
<i>Minimum Setback Adjacent to John King Boulevard</i>	95'
<i>Minimum Setback Adjacent to SH-66</i>	20'
<i>Minimum Setback Adjacent to the Eastern &amp; Northern Property Lines</i>	10'

*Continued on next page ...*

**Exhibit 'C':**  
**PD Development Standards**

- (c) *Internal Artificial Lot Requirements.* The units constructed on the proposed condominium lot shall adhere to the following dimensional requirements for artificial lots:

Minimum Setback from a Private Street <sup>(1) (2) (3)</sup>	15'
Minimum Side Yard Distance Between Units	6'
Minimum Side Yard Setback from a Private Street <sup>(1) (2)</sup>	10'
Minimum Rear Yard Distance Between Units	20'
Maximum Height	35'

General Notes:

- <sup>1</sup>: This setback shall be measured from the back of curb.  
<sup>2</sup>: Variances of up to five (5) feet may be granted by the Director of Planning and Zoning on a case-by-case basis for artificial lots on curve-linear streets.  
<sup>3</sup>: The minimum length of a driveway shall be 20-feet as measured from the edge of the approach to the garage door.

- (4) *Building Standards.* All development shall adhere to the following building standards:

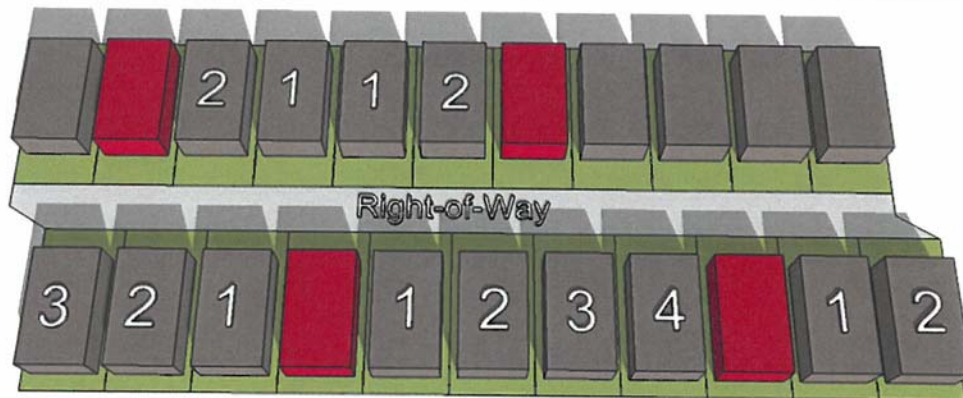
- (A) *Masonry Requirement.* The minimum masonry requirement for the exterior façades -- excluding doors and windows -- of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted to be used to meet up to 40% of the masonry requirement.
- (B) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on the front elevation of all structures. Porches and rear elevations shall have a minimum of a 4:12 roof pitch.
- (C) *Garage Orientation.* Garages shall oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration. If a front entry garage configuration is utilized it shall face the street and shall be located even with the front building façade of the primary structure. On *traditional swing* (or *j-swing*) garages a second single garage door facing the street is permitted if it is located behind the width of the double garage door.
- (D) *Anti-Monotony Restrictions.* The development shall adhere to the following Anti-Monotony requirements (for spacing requirements see the illustration on the following page):
- (1) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
  - (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - (a) Number of Stories
    - (b) Brick Color
    - (c) Roof Type and Layout
    - (d) Articulation of the Front Façade
  - (3) All roof shingles shall be an architectural or dimensional shingle, and have a 30-year rating. (*3-Tab Roofing Shingles are prohibited*).

**Exhibit 'C':**  
**PD Development Standards**

*Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.*



*Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.*

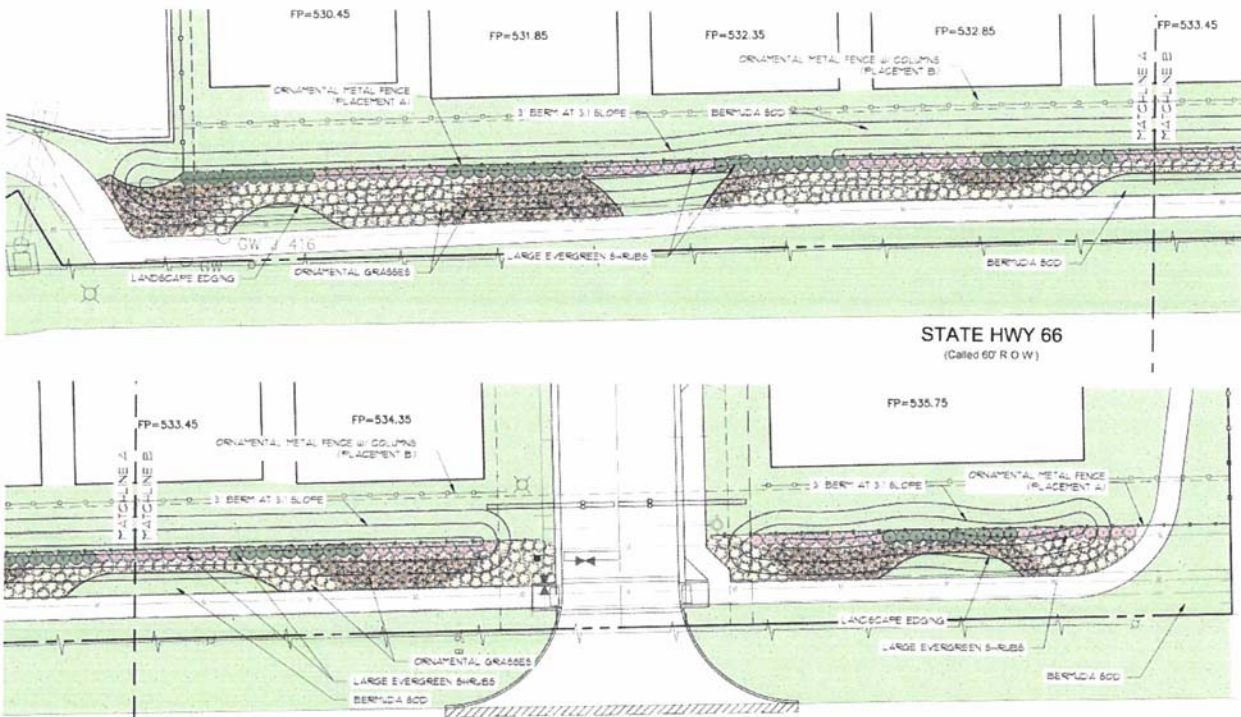


- (E) *Fencing Standards.* All residential privacy fencing shall be six (6) foot wrought iron/tubular steel fencing for transparent fencing and six (6) foot Simtek (or a similar product) fencing for non-transparent fencing. Fencing located along the exterior of the condominium lot shall be a minimum of six (6) foot wrought iron/tubular steel fencing with masonry columns a maximum of 45-feet on center. The masonry columns shall only be required adjacent to John King Boulevard and SH-66.
- (F) *Landscape and Hardscape Standards.*
- (1) *Residential Landscape.* All canopy trees planted within the condominium lot and not situated within a required landscape buffer shall be a minimum of three (3) inches in caliper and accent trees shall be a minimum of four (4) feet in height. All tree plantings shall conform to the City's tree planting guidelines and requirements stipulated in Appendix F, *Landscaping Guidelines and Requirements*, of the Unified Development Code.
  - (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA) and shall conform to the following:
    - (a) *Landscape Buffer (SH-66).* A minimum of a 20-foot landscape buffer shall be provided along the frontage of SH-66 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. The landscaping shall be generally as depicted below. The developer shall also be

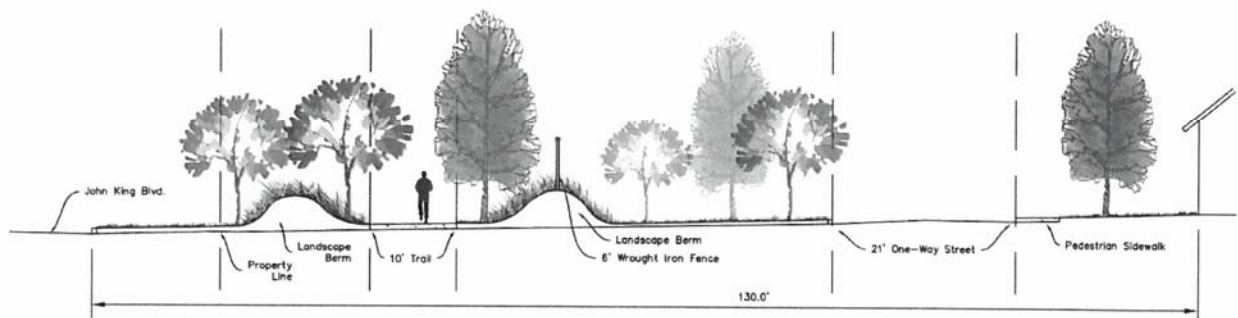


**Exhibit 'C':**  
**PD Development Standards**

responsible for the construction of a five (5) foot sidewalk situated within the 20-foot landscape buffer adjacent to SH-66.

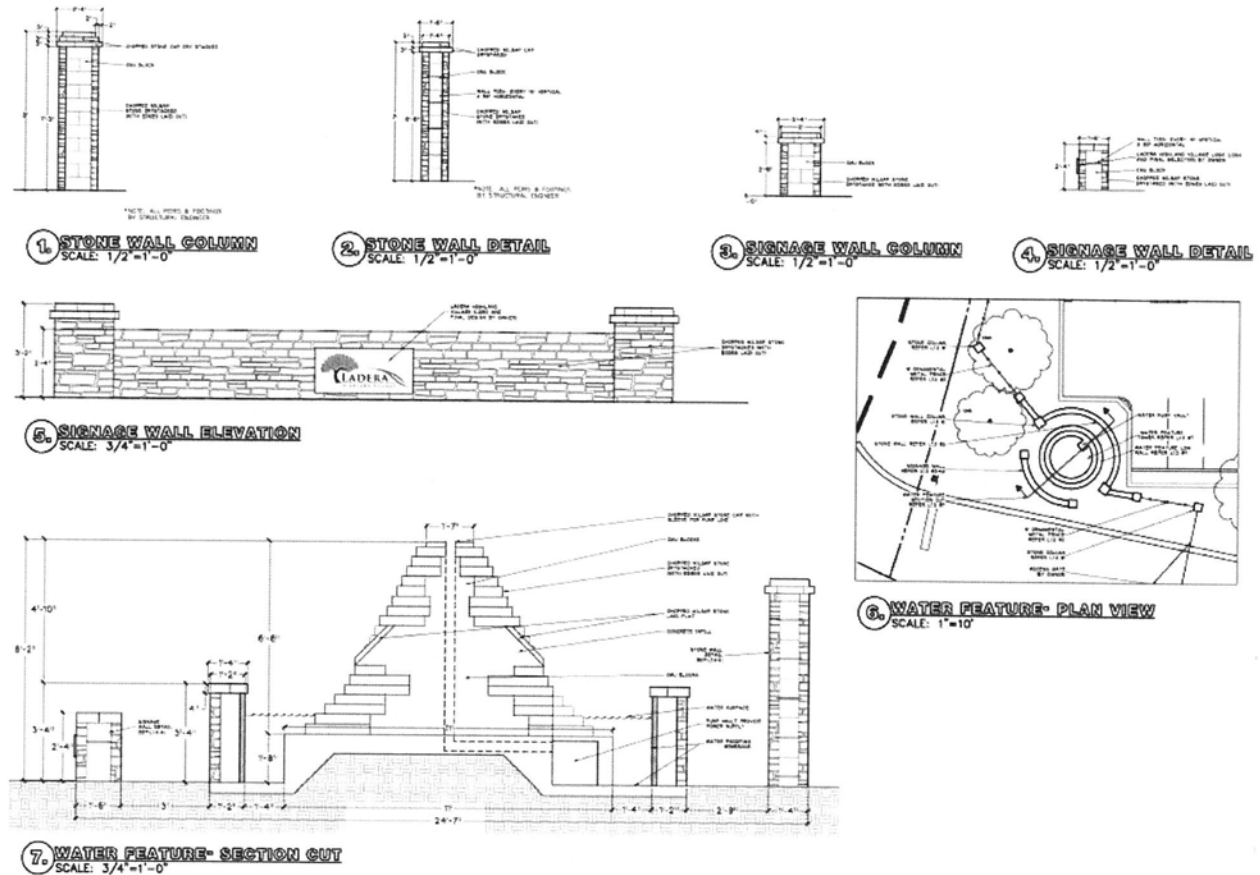


- (b) *Landscape Buffer and Sidewalks (John King Boulevard).* A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard. The required wrought iron fence along John King Boulevard may be situated within 40-feet of the right-of-way line. In addition, the design of the buffer shall generally conform to the following cross section:



**Exhibit 'C':**  
**PD Development Standards**

- (3) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (4) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (G) *Trail Enhancements.* In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide a trail enhancement element that generally conforms to the following design:

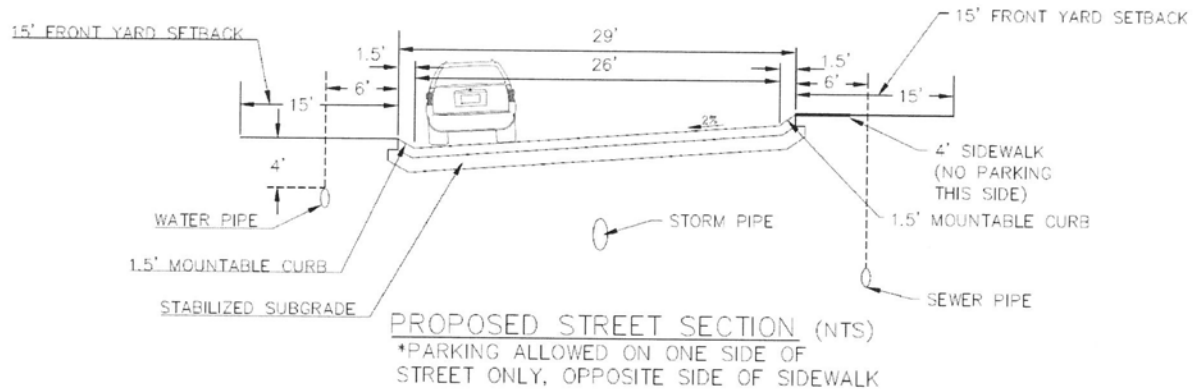


- (H) *Lighting.* Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to concentrate light within the development area.

*Continued on next page ...*

**Exhibit 'C':**  
**PD Development Standards**

- (I) *Private Streets.* With the exception of the 21-foot, one-way street situated adjacent to John King Boulevard the street cross sections for this development should conform to the following cross section:



- (J) *Open Space.* The development shall consist of a minimum of 47.88% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall maintain all common open space areas. For the purposes of this Planned Development District open space shall include all front yards, rear yards, common areas, buffers and floodplain installed by the developer, but does not include any landscaping, trees, patios and other improvements installed by the homeowner. Floodplain shall be calculated at a rate of 50% (e.g.  $\frac{1}{2}$ -acre for every acre provided).
- (K) *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
- (L) *Condominium Owner's Association (COA).* A Condominium Owner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Chapter 82, Uniform Condominium Act*, of the *Texas Property Code*. The COA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, and screening fences associated with this development, but it is not required to maintain additional landscaping or improvements added by the homeowner.
- (M) *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.



**Exhibit 'C':**  
*PD Development Standards*

- (N) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code [*Ordinance No. 04-38*] shall apply to any application for variances to this ordinance.

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 85 (PD-85) [ORDINANCE NO. 18-32] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO INCORPORATE A 9.762-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT INTO PLANNED DEVELOPMENT DISTRICT 85 (PD-85) CREATING A 47.694-ACRE PLANNED DEVELOPMENT DISTRICT IDENTIFIED AS TRACTS 4-01 & 5 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by the John Delin of Integrity Group, LLC for the approval of a zoning change amending Planned Development District 85 (PD-85) [Ordinance No. 18-32] for the purpose of changing the *Concept Plan* for the *Subject Property* being a 47.694-acre tract of land identified as Tract 4-01 & 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 85 (PD-85) [Ordinance No. 18-32] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No. 18-32*; and,

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plans*, contained in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of *Tract 1* of the *Subject Property* -- as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of *Area 3* as depicted in *Exhibit 'B'* of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Open Space Master Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Open Space Master Plan.* An *Open Space Master Plan* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Open Space Master Plan* for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *Master Plat* and an *Open Space Master Plan Application* for the development.
- (f) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted for approval.



**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF FEBRUARY, 2022.**

**ATTEST:**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: January 18, 2022

2<sup>nd</sup> Reading: February 7, 2022

**Exhibit 'A':**  
**Legal Description**

Legal Description for Tract 1:

Tract 1 9.894 acres M. B. Jones Survey, Abstract No. 122 B. Jones Survey, Abstract No. 122 City of Rockwall Rockwall County, Texas

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. G&A CONSULTANTS", being in the north line of U. , being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 724.55 feet; E, a distance 724.55 feet;

*THENCE* S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

*THENCE* N 02°39'30" W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar found;

*THENCE* N 01°20'56" W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 G&A CONSULTANTS", being the southwest corner of a called 1.837 , being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at G&A CONSULTANTS", being the southeast corner thereof, and being at , being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

*THENCE* N 01°20'56" W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of G&A CONSULTANTS", being in the south line of a 10.942 acre tract of , being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called G&A CONSULTANTS", being the most northwesterly corner of a called , being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins

Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A E, a

**Exhibit 'A':**  
*Legal Description*

distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and , and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and , and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 28°49'11" W, a distance of 32.25 feet to the *POINT OF BEGINNING* and containing approximately 9.894 acres of land.



**Exhibit 'A':**  
**Legal Description**

Legal Description for Tract 2:

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921-acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744-acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a ½-inch rebar found at the southeast corner of said 41.921-acre tract, and the southwest corner of said 73.2744-acre tract and being in the north line of U. S. Highway 66;

*THENCE* S 88°18'19"W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Northwesterly with the east line of said 3.989-acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet-to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73-feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942-acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942-acre tract, a distance of 15.52-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

*THENCE* N 00°10'47" W, with the east line of said 10.942-acre tract, a distance of 271.63-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000-acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

*THENCE* N 89°54'11" E, with the south line of said 16.000-acres, a distance of 842.15 feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744-acre tract;

**Exhibit 'A':**  
*Legal Description*

*THENCE* S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

*THENCE* over, across, and through said 73.2744-acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 30°00'00" R, a distance of 384.58-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744-acre tract and the north line of U.S. Highway 66;

*THENCE* S 89°18'14" W, with the south line of said 73.2744-acre tract, and the north line of U.S. Highway 66, a distance of 1077.53-feet to the *POINT OF BEGINNING* and containing approximately 37.800-acres of land.

**Z2021-056: Ladera of Rockwall**  
**Ordinance No. 22-XX; PD-85**

**Page 8**

**City of Rockwall, Texas**

City of Rockwall, Texas



**Exhibit 'B':**  
*Concept Plan: Tract 2*



**Exhibit 'C':**  
**PD Development Standards**

**PD Development Standards.**

Tract 1: 9.894-Acres of Non-Residential Property

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 1* of the *Subject Property*; however, the following additions and conditions shall apply:

The following land uses shall be expressly prohibited on the *Subject Property*:

- ☒ Convent or Monastery
- ☒ Hotel or Motel
- ☒ Hotel, Residence
- ☒ Cemetery/Mausoleum
- ☒ Mortuary or Funeral Chapel
- ☒ Social Service Provider
- ☒ Billiard Parlor or Pool Hall
- ☒ Carnival, Circus, or Amusement Ride
- ☒ Commercial Amusement/Recreation (*Outside*)
- ☒ Gun Club, Skeet or Target Range (*Indoor*)
- ☒ Astrologer, Hypnotist, or Psychic Art and Science
- ☒ Night Club, Discotheque, or Dance Hall
- ☒ Secondhand Dealer
- ☒ Car Wash, Self Service
- ☒ Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
- ☒ Service Station
- ☒ Mining and Extraction (*Sand, Gravel, Oil & Other*)
- ☒ Helipad
- ☒ Railroad Yard or Shop
- ☒ Transit Passenger Facility

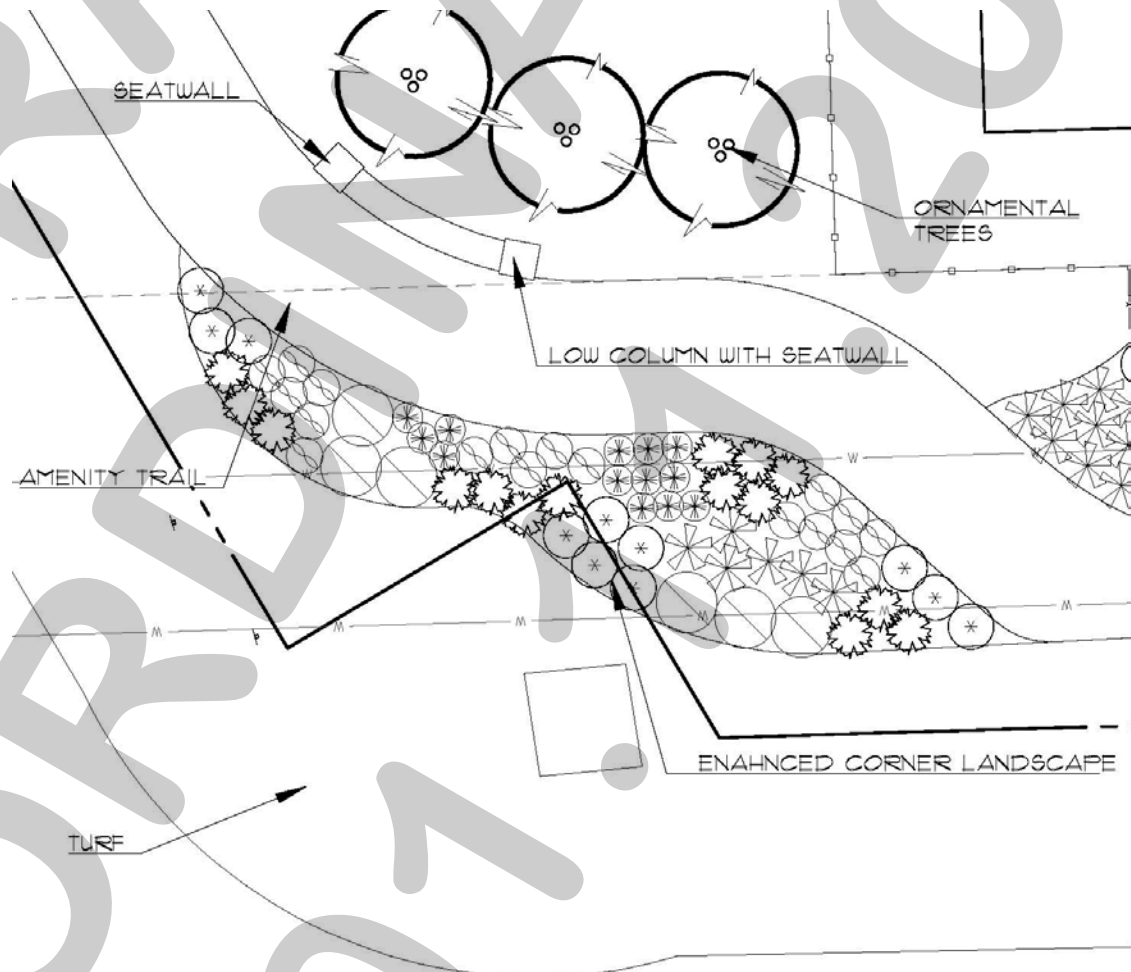
The following additional use shall be permitted through a Specific Use Permit (SUP) on the *Subject Property*:

- ☒ Garden Supply/Plant Nursery

- (2) *Density and Dimensional Requirements.* Any development on *Tract 1* of the *Subject Property* shall be subject to the development standards required for properties in a General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall adhere to the following:
- (a) *Landscape Buffer (SH-66).* A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to SH-66.

**Exhibit 'C':**  
**PD Development Standards**

- (b) **Landscape Buffer and Sidewalks (John King Boulevard).** A minimum of a 15-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 15-foot landscape buffer adjacent to John King Boulevard.
- (c) **Landscape Buffer (FM-1141).** A minimum of a 15-foot landscape buffer shall be provided along the frontage of FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to FM-1141.
- (4) **Intersection Enhancements.** In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide an intersection enhancement at the corner of the intersection of Williams Street (SH-66) and John King Boulevard that generally conforms to the following design:





**Exhibit 'C':**  
**PD Development Standards**

Tract 2: 28.011-Acres of Residential Property

- (1) Permitted Uses. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 2* of the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- ☒ Activity Center
- ☒ Community Pool
- ☒ Gazebos/Pavilions
- ☒ Sports Courts

- (2) Unit Composition and Layout. The unit composition and layout shall generally conform to the *Concept Plan* for *Tract 2* depicted in *Exhibit 'B'* and stated as follows:

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	11	09.40%
2	42' x 77'	1,600 SF	27	23.07%
3	42' x 72'	1,600 SF	10	08.55%
4	42' x 70'	1,600 SF	26	22.22%
5	54' x 60'	1,600 SF	21	17.95%
6	64' x 50'	2,100 SF	6	05.13%
7	36' x 59'	1,325 SF	16	13.68%
Total Units:			117	

NOTES REGARDING LOT VARIATIONS TO THE UNIT COMPOSITION:

Regardless of the above unit mix the following variations shall be permitted:

- (1) Lot 1 as depicted on the concept plan in *Exhibit 'B'* of this ordinance may be developed with interchange *Unit Types* 2, 3 & 4.
- (2) Lot 2 as depicted on the concept plan in *Exhibit 'B'* of this ordinance may be developed with interchange *Unit Types* 3 & 4.
- (3) Lot 3 as depicted on the concept plan in *Exhibit 'B'* of this ordinance may be developed with interchange *Unit Types* 3 & 4.
- (3) Density and Dimensional Requirements. The maximum permissible density for the *Subject Property* shall not exceed 3.1-units/acre; however, in no case should the proposed development exceed 117 single-family, residential units. The *Subject Property* shall maintain conformance with the following requirements:

- (a) Condominium Requirement. The property shall be established as a condominium development pursuant to the requirements of *Chapter 82* of the *Texas Property Code*, and platted as a single lot.
- (b) Lot Dimensional Requirements. The proposed condominium lot shall adhere to the following setbacks:

Minimum Lot Width	1,000'
Minimum Lot Depth	490'
Minimum Lot Area	37.80-Acres
Minimum Setback Adjacent to John King Boulevard	95'
Minimum Setback Adjacent to SH-66	20'
Minimum Setback Adjacent to the Eastern & Northern Property Lines	10'
Minimum Setback Adjacent to the RPZ	0'
Minimum Lot Setback for the Eastern Property Adjacent to the RPZ	5'

**Exhibit 'C':**  
**PD Development Standards**

- (c) Internal Artificial Lot Requirements. The units constructed on the proposed condominium lot shall adhere to the following dimensional requirements for artificial lots:

Minimum Setback from a Private Street <sup>(1), (2) &amp; (3)</sup>	15'
Minimum Side Yard Distance Between Units	6'
Minimum Side Yard Setback from a Private Street <sup>(1) &amp; (2)</sup>	10'
Minimum Rear Yard Distance Between Units	20'
Maximum Height	35'

General Notes:

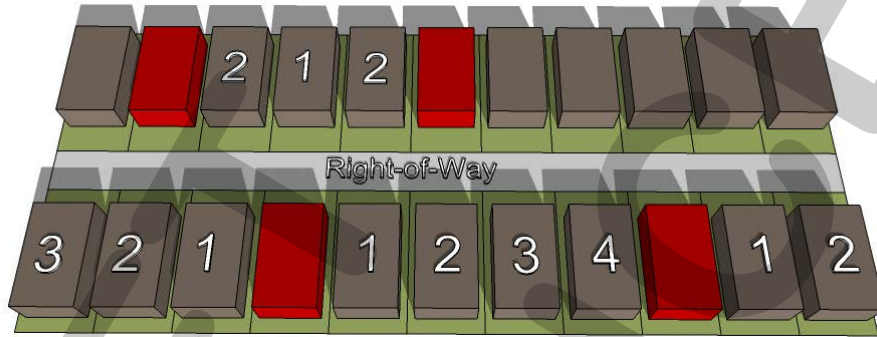
- <sup>1</sup>: This setback shall be measured from the back of curb.  
<sup>2</sup>: Variances of up to five (5) feet may be granted by the Director of Planning and Zoning on a case-by-case basis for artificial lots on curve-linear streets.  
<sup>3</sup>: The minimum length of a driveway shall be 20-feet as measured from the edge of the approach to the garage door.

- (4) Building Standards. All development shall adhere to the following building standards:

- (A) Masonry Requirement. The minimum masonry requirement for the exterior façades -- *excluding doors and windows* -- of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a *comparable* -- to be determined by staff) shall be permitted to be used to meet up to 40% of the masonry requirement.
- (B) Roof Pitch. A minimum of an 8:12 roof pitch is required on the front elevation of all structures. Porches and rear elevations shall have a minimum of a 4:12 roof pitch.
- (C) Garage Orientation. Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration. If a front entry garage configuration is utilized it shall face the street and shall be located even with the front building façade of the primary structure. On *traditional swing* (or *j-swing*) garages a second single garage door facing the street is permitted if it is located behind the width of the double garage door.
- (D) Anti-Monotony Restrictions. The development shall adhere to the following Anti-Monotony requirements (for spacing requirements see the illustration on the following page):
- (1) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
  - (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - (a) Number of Stories
    - (b) Brick Color
    - (c) Roof Type and Layout
    - (d) Articulation of the Front Façade
  - (3) All roof shingles shall be an architectural or dimensional shingle, and have a 30-year rating. (*3-Tab Roofing Shingles are prohibited*).

**Exhibit 'C':**  
**PD Development Standards**

*Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.*



*Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.*

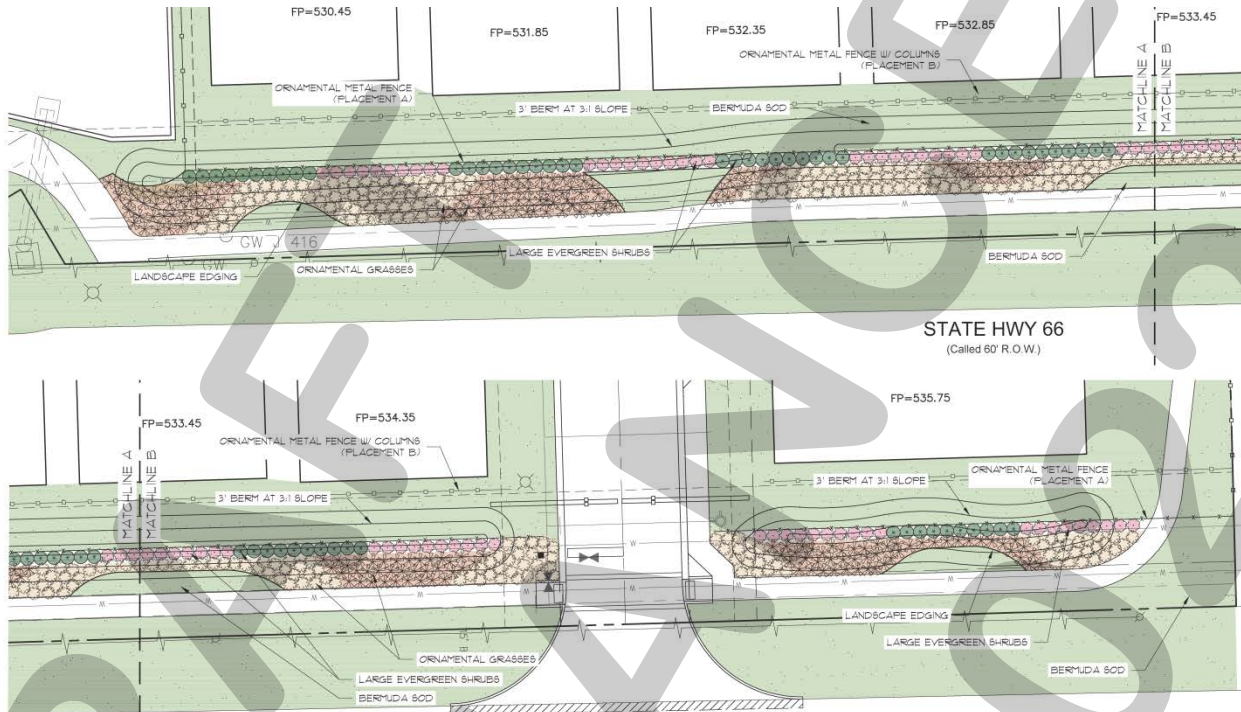


- (E) Fencing Standards. All residential privacy fencing shall be six (6) foot wrought iron/tubular steel fencing for transparent fencing and six (6) foot Simtek (or a similar product) fencing for non-transparent fencing. Fencing located along the exterior of the condominium lot shall be a minimum of six (6) foot wrought iron/tubular steel fencing with masonry columns a maximum of 45-feet on center. The masonry columns shall only be required adjacent to John King Boulevard and SH-66.
- (F) Landscape and Hardscape Standards.
- (1) Residential Landscape. All canopy trees planted within the condominium lot and not situated within a required landscape buffer shall be a minimum of three (3) inches in caliper and accent trees shall be a minimum of four (4) feet in height. All tree plantings shall conform to the City's tree planting guidelines and requirements stipulated in Appendix F, *Landscaping Guidelines and Requirements*, of the Unified Development Code.
  - (2) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA) and shall conform to the following:
    - (a) Landscape Buffer (SH-66). A minimum of a 20-foot landscape buffer shall be provided along the frontage of SH-66 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. The landscaping shall be generally as depicted below. The developer shall also be

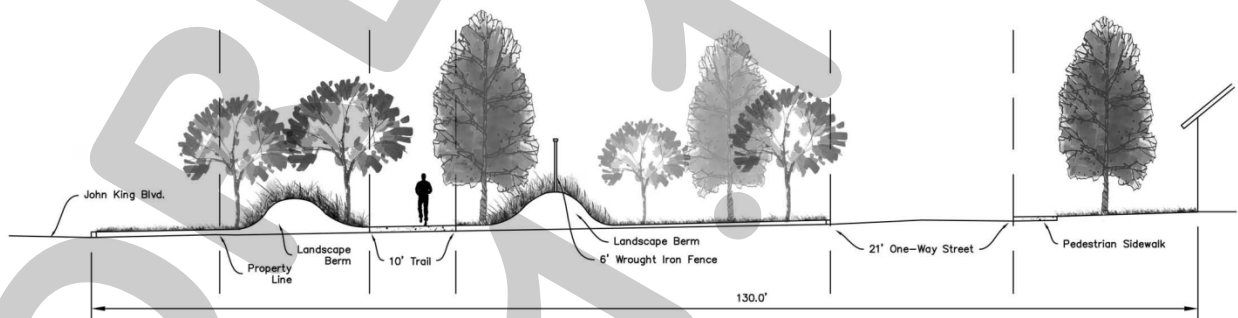


**Exhibit 'C':**  
**PD Development Standards**

responsible for the construction of a five (5) foot sidewalk situated within the 20-foot landscape buffer adjacent to SH-66.

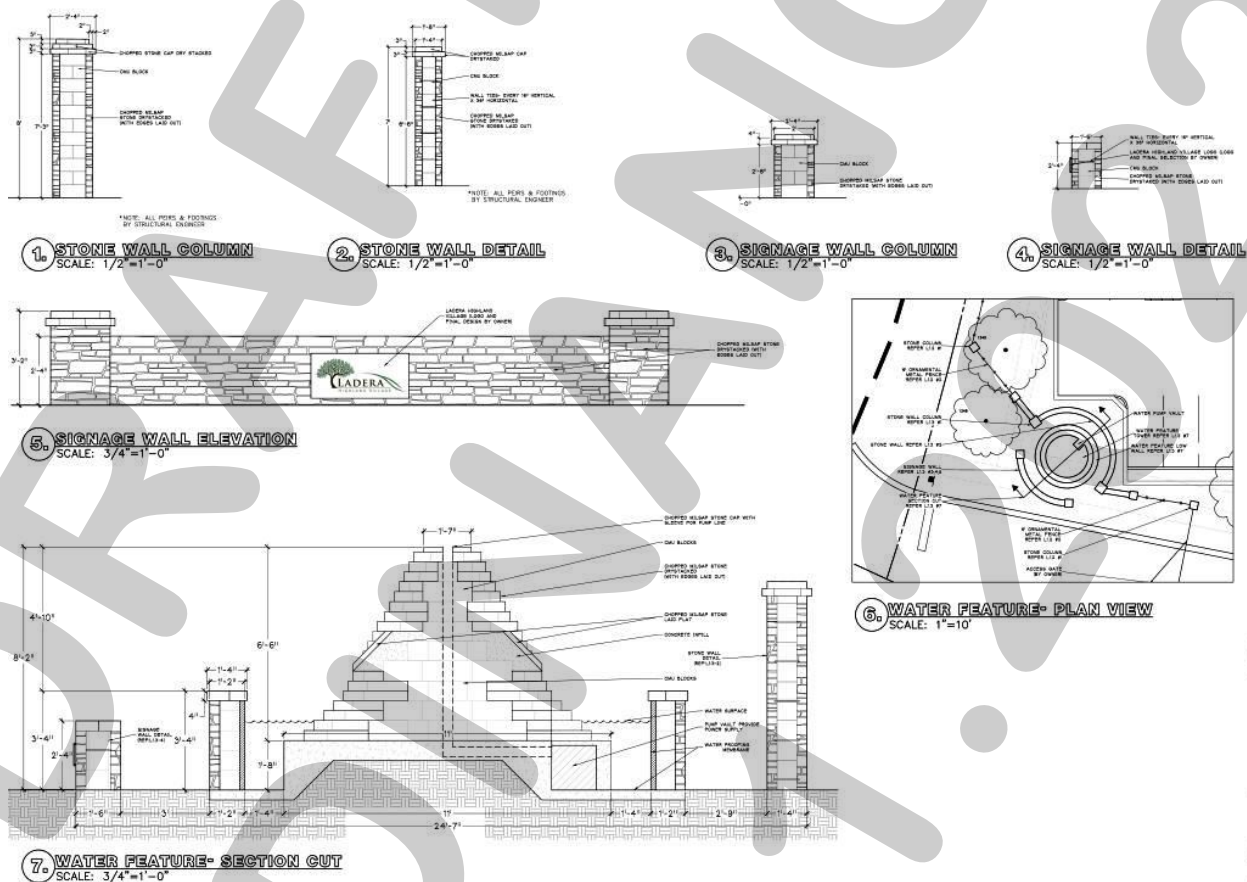


- (b) Landscape Buffer and Sidewalks (John King Boulevard). A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard. The required wrought iron fence along John King Boulevard may be situated within 40-feet of the right-of-way line. In addition, the design of the buffer shall generally conform to the following cross section:



**Exhibit 'C':**  
**PD Development Standards**

- (3) **Irrigation Requirements.** Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (4) **Hardscape.** Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (G) **Trail Enhancements.** In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide a trail enhancement element that generally conforms to the following design:

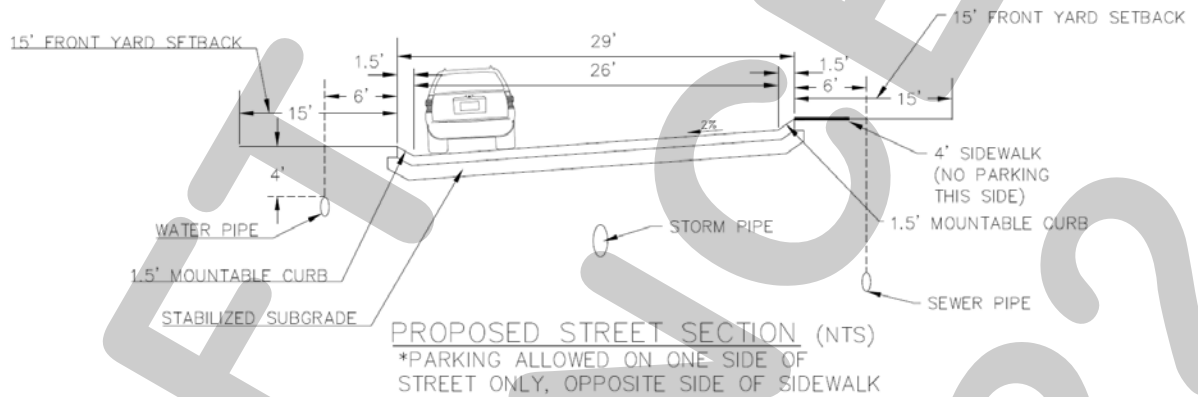


- (H) **Lighting.** Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to concentrate light within the development area.

Continued on next page ...

**Exhibit 'C':**  
**PD Development Standards**

- (I) Private Streets. With the exception of the 21-foot, one-way street situated adjacent to John King Boulevard the street cross sections for this development should conform to the following cross section:



- (J) Open Space. The development shall consist of a minimum of 38.00% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall maintain all common open space areas. For the purposes of this Planned Development District open space shall include all front yards, rear yards, common areas, buffers and floodplain installed by the developer, but does not include any landscaping, trees, patios and other improvements installed by the homeowner. Floodplain shall be calculated at a rate of 50% (e.g. ½-acre for every acre provided).
- (K) Neighborhood Signage. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
- (L) Condominium Owner's Association (COA). A Condominium Owner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Chapter 82, Uniform Condominium Act*, of the *Texas Property Code*. The COA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, and screening fences associated with this development, but it is not required to maintain additional landscaping or improvements added by the homeowner.
- (M) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.



**Exhibit 'C':**  
*PD Development Standards*

- (N) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code [Ordinance No. 20-02] shall apply to any application for variances to this ordinance.



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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TO: Mayor and City Council

DATE: January 18, 2022

APPLICANT: John Delin; *Integrity Group, LLC*

CASE NUMBER: Z2021-056; *Amendment to Planned Development District 85 (PD-85)*

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### SUMMARY

Hold a public hearing to discuss and consider a request by John Delin of Integrity Group, LLC for the approval of an Zoning Amendment to Planned Development District 85 (PD-85) [*Ordinance No. 18-32*] for a 47.694-acre tract of land identified as Lot 1, Block A, and Lot 1, Block B, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

### BACKGROUND

The majority of the subject property was annexed into the City of Rockwall and zoned Agricultural (AG) District on March 16, 1998 by *Case No. A1998-001 (Ordinance No. 98-10)*. The remainder of the property was annexed on March 2, 1960 by *Case No. A1960-001 (Ordinance No. 60-01)*. In 2007-2008, the City of Rockwall acquired a portion of the property for the future right-of-way for John King Boulevard. This divided the property into two (2) tracts of land, a 9.894-acre tract of land on the west side of John King Boulevard (*i.e. Tract 1*) and a 28.011-acre tract of land on the east side of John King Boulevard (*i.e. Tract 2*).

On October 16, 2017, the City Council approved Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] establishing limited General Retail (GR) District land uses on *Tract 1*, and Single-Family 7 (SF-7) District land uses on *Tract 2*. As part of this approval, *Tract 2* was approved for an age restricted, senior living community that consisted of 84-89 single-family homes setup in a condominium regime (*i.e. the single-family homes were individually owned but were situated on a single lot owned and maintained by the homeowner's association*). This plan also laid out 12.80-acres of open space, and provided for a ten (10) foot hike/bike trail along John King Boulevard and an intersection enhancement at the corner of John King Boulevard and SH-66 in accordance with the *John King Boulevard Design Concept Plan*.

After receiving approval for the Planned Development District, the applicant -- *John Delin of Integrity Group, LLC* -- contacted staff to notify them that the title company had missed locating a 30' North Texas Municipal Water District (NTMWD) easement on the survey that runs parallel to SH-66. This inhibited the applicant's ability to provide the required landscape and hardscape elements required by *Ordinance No. 17-55*. In response to this, the applicant filed an application requesting a variance to these requirements and proposing an alternative landscape plan. This was approved by the City Council on February 19, 2018.

On June 15, 2018, the applicant submitted an application proposing to amend Planned Development District 85 (PD-85) for the purpose of incorporating an additional 9.789-acre tract of land into *Tract 2* and expanding the total single-family lot count to a maximum of 122 single-family homes. This was approved by the City Council on August 6, 2018 through the adoption of *Ordinance No. 18-32*.

In November of 2021, staff contacted the applicant to inform him that a portion of the lots proposed for Phase 2 of the Ladera Subdivision were situated within the Runway Protection Zone of the Ralph Hall Municipal Airport. This was discovered by staff when working with Aviation Division of the Texas Department of Transportation (TXDOT) on a proposed project in the southern RPZ. To remedy this issue, staff and the applicant have been working with the TXDOT Aviation Division to revise the concept plan to conform to the Federal Aviation Administration's (FAA's) guidelines.

## PURPOSE

On December 18, 2021, the applicant -- *John Delin of Integrity Group, LLC* -- submitted an application requesting to amend Planned Development District 85 (PD-85) to incorporate a new concept plan that would reduce the number of lots from 122 to 117 and remove all proposed units from the Runway Protection Zone of the Ralph Hall Municipal Airport.

## ADJACENT LAND USES AND ACCESS

The subject property is located on both sides of John King Boulevard north of SH-66. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property on the east side of John King Boulevard is a vacant, 15.935-acre parcel of land zoned Agricultural (AG) District. Beyond this is FM-1141, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's *Master Thoroughfare Plan* contained in the OURHometown Vision 2040 Comprehensive Plan. North of this thoroughfare is a single-family subdivision, which is situated outside the corporate limits of the City of Rockwall. On the east side of John King Boulevard north of the subject property is a 1.837-acre tract of land zoned Agricultural (AG) District. Beyond this parcel is a one (1) acre tract of land followed by a 5.702-acre tract of land. Both of these tracts of land are owned by the City of Rockwall and zoned Agricultural (AG) District.

South: Directly south of the subject property is Williams Street (*i.e. the current alignment of SH-66*), which is identified as a *Minor Collector* on the City's *Master Thoroughfare Plan* contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare is a portion of a 28.8836-acre tract of land, which is vacant and zoned Planned Development District 71 (PD-71) for limited Commercial (C) District land uses. Adjacent to this property and south of the western boundary of the subject property is a vacant 17.861-acre tract of land that was subdivided into 78 duplex lots in 1984. This property is zoned Two-Family (2F) District. Adjacent to this property is an undefined portion of Planned Development District 71 (PD-71), which allows for limited Commercial (C) District land uses.

East: Directly east of the subject property is the remainder of the 65.274-acre tract of land (*i.e. less the 9.789-acres of land being incorporated into Planned Development District 85 [PD-85]*) that is a portion of a larger 148.825-acre tract of land that is zoned Agricultural (AG) District. Situated on the property is an accessory building. Beyond this are various tracts of land zoned Agricultural (AG) District.

West: Directly west of the subject property is FM-1141, which is identified as a *Minor Collector* on the City's *Master Thoroughfare Plan* contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Highlands Subdivision, which consists of 36 single-family lots on 11.00-acres. This subdivision is zoned Planned Development District 5 (PD-5) for Zero Lot Line (ZL-5) District uses.

## CHARACTERISTICS OF THE REQUEST

The applicant has submitted an updated concept plan and Planned Development District ordinance detailing the proposed changes to *Tract 1*. Currently, Planned Development District 85 (PD-85) [*Ordinance No. 18-32*] allows the following lot mix on *Tract 1*:

TABLE 2: PROPOSED LOT MIX

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	20	16.39%
2	42' x 77'	1,600 SF	29	23.77%
3	42' x 72'	1,600 SF	2	01.64%
4	42' x 70'	1,600 SF	41	33.61%
5	54' x 60'	1,600 SF	24	19.67%
6	64' x 50'	2,100 SF	6	04.92%
Total Units:			122	



Under the proposed ordinance the lot mix would be changed as following:

**TABLE 2: PROPOSED LOT MIX**

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	11	09.40%
2	42' x 77'	1,600 SF	27	23.07%
3	42' x 72'	1,600 SF	10	08.55%
4	42' x 70'	1,600 SF	26	22.22%
5	54' x 60'	1,600 SF	21	17.95%
6	64' x 50'	2,100 SF	6	05.13%
7	36' x 59'	1,325 SF	16	13.68%
Total Units:			117	

This new lot mix and the updated concept plan show that the total number of homes will be reduced from 122 to 117. This reduces the density of the development from 3.20 dwelling units per acre to 3.10 dwelling units per acre, and increases the open space from 47.88% to 52.19%. Staff should point out that the applicant is proposing to incorporate a new lot product (*i.e. Unit Type 7*) that will include a unit dimension of 36' x 59' and require a minimum unit size of 1,325 SF. All other aspects of the proposed development including the dimensional requirements will remain the same as to what was approved under *Ordinance No. 18-32*.

### **INFRASTRUCTURE**

Since the applicant's request decreases the residential and the proposed building footprint of the development, no additional infrastructure improvements -- beyond was approved with *Ordinance No. 18-32* -- are necessary to adequately serve the development.

### **CONFORMANCE TO THE CITY'S CODES**

Since the applicant's request does not change the *Development Standards* contained within Planned Development District 85 (PD-85), the amendment does not change the plans conformance to the City's codes.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northeast Residential District and is designated for High Density Residential land uses. The High Density Residential land use designation "...consists of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre." Prior to the OURHometown Vision 2040 Comprehensive Plan, the OURHometown 2000 Comprehensive Plan -- *which this development was adopted under* -- defined High Density Residential as any development that exceeded three (3) units per gross acre. Based on the applicants request to decrease residential density from 3.20 dwelling units per acre to 3.10 dwelling units per acre, the subject property can be reclassified as Medium Density Residential. This land use designation "...consists of residential subdivisions greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ..." In this case, Planned Development District 85 (PD-85) already incorporates limited General Retail (GR) District land uses and Single-Family 7 (SF-7) District land uses, and amenities that include: [1] an amenities center, [2] pickle ball courts, [3] a swimming pool, and [4] open space in excess of 20%. Based on this staff has included a condition of approval that would change the designation of the subject property from High Density Residential to Medium Density Residential should the City Council choose to grant the applicant's request.

Since the proposed amendment [1] increases the open space from 47.88% to 52.19%, [2] decreases the residential density from 3.20 dwelling units per acre to 3.10 dwelling units per acre, and [3] provides the ability to change the land use designation of the subject property from High Density Residential to Medium Density Residential, the applicant's request to amend Planned Development District 85 (PD-85) brings the development in to better compliance with the OURHometown Vision 2040 Comprehensive Plan.

## **NOTIFICATIONS**

On December 16, 2021, staff mailed 84 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices concerning this case.

## **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request to amend Planned Development District 85 (PD-85) [*Ordinance No. 18-32*], then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance; and,
- (2) By approving this Zoning Amendment, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the subject property from a High Density Residential designation to a Medium Density Residential designation; and,
- (3) Any construction resulting from the approval of this Zoning Amendment shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## **PLANNING AND ZONING COMMISSION**

On January 11, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the amendment to Planned Development District 85 (PD-85) by a vote of 6-0, with Commissioner Thomas absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NE CORNER OF SH-66 AND N JOHN KING BLVD

SUBDIVISION LADERA ROCKWALL

LOT 1 BLOCK A

GENERAL LOCATION NE CORNER OF SH-66 AND N JOHN KING BLVD

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD	CURRENT USE	SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING	PD	PROPOSED USE	SINGLE FAMILY RESIDENTIAL
ACREAGE	37.8	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER <b>RW LADERA, LLC</b>	<input type="checkbox"/> APPLICANT <b>McADAMS CO.</b>
CONTACT PERSON <b>JOHN DELIN</b>	CONTACT PERSON <b>ALEC BIDWELL</b>
ADDRESS <b>361 W. BYRON NELSON BLVD. STE 104</b>	ADDRESS <b>201 COUNTRY VIEW DR.</b>
CITY, STATE & ZIP <b>ROCKWALL, TX 76262</b>	CITY, STATE & ZIP <b>ROCKWALL, TX 76262</b>
PHONE <b>817-430-3318</b>	PHONE <b>469-496-2043</b>
E-MAIL <b>JOHN@INTEGRITYGROUPS.COM</b>	E-MAIL <b>ABIDWELL@MCADAMSCO.COM</b>

## NOTARY VERIFICATION [REQUIRED]

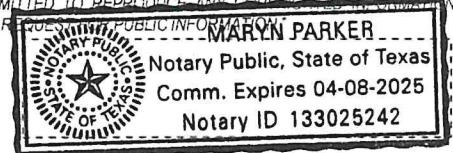
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN DELIN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE SIXTEENTH DAY OF DECEMBER, 2021 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIES OF INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF DECEMBER, 2021.

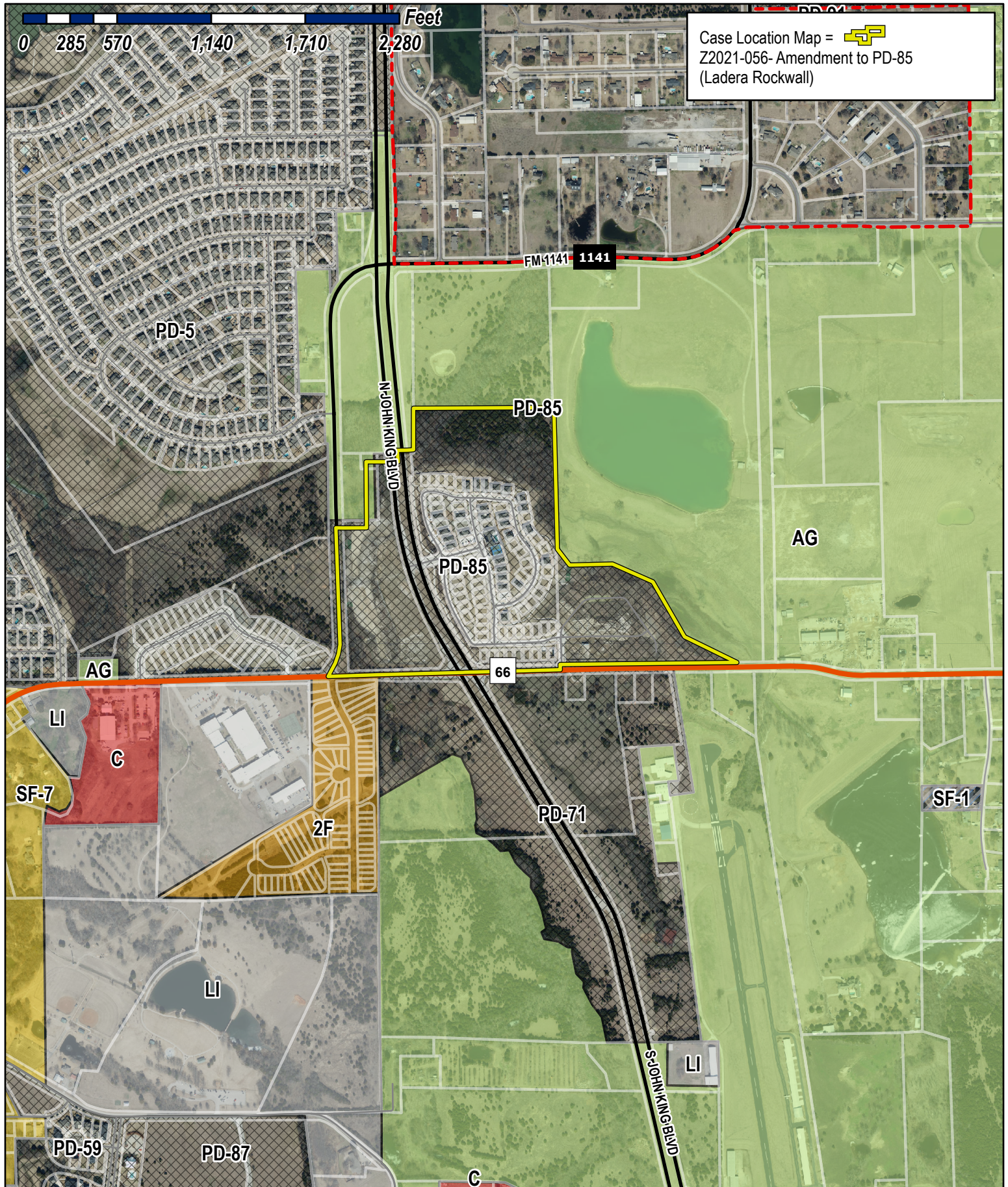
OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES





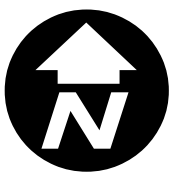
Case Location Map =   
 Z2021-056- Amendment to PD-85  
 (Ladera Rockwall)



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



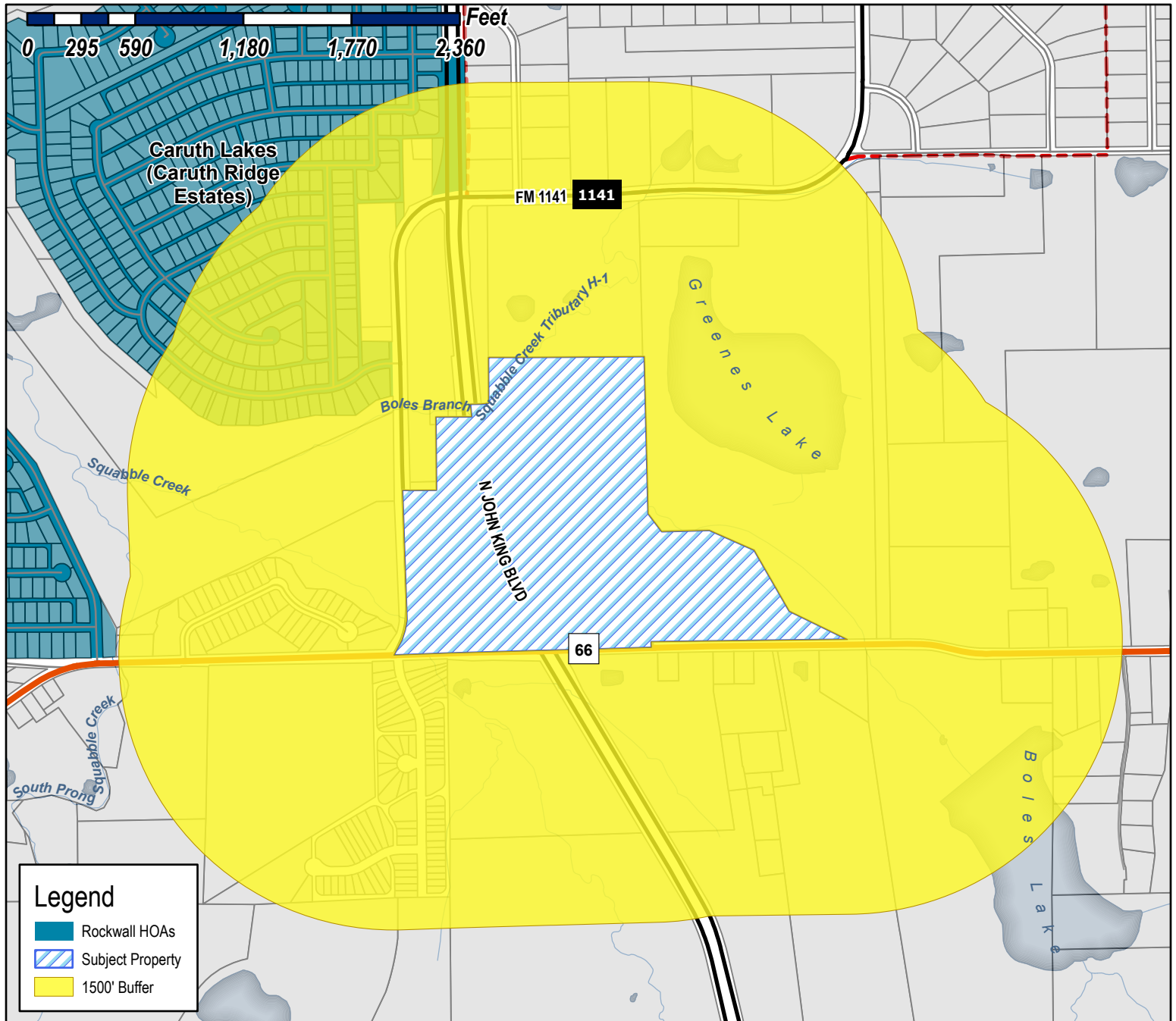




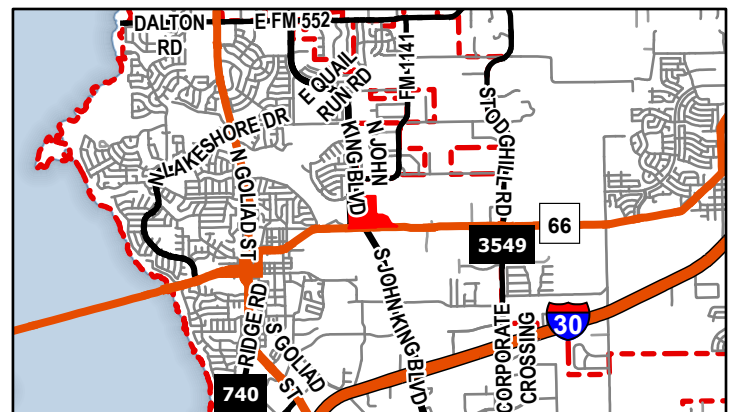
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2021-056  
**Case Name:** Amendment to PD-85  
(Ladera Rockwall)  
**Case Type:** Zoning  
**Zoning:** Planned Development District 85  
(PD-85)  
**Case Address:** Corner of N. John King & SH66  
**Date Saved:** 12/16/2021  
For Questions on this Case Call (972) 771-7745



## Miller, Ryan

---

**From:** Gamez, Angelica  
**Sent:** Tuesday, December 21, 2021 10:52 AM  
**Cc:** Miller, Ryan; Lee, Henry  
**Subject:** Neighborhood Notification Program [ Z2021-056]  
**Attachments:** Public Notice (12.20.2021).pdf; HOA Map (12.16.2021).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on December 24, 2021. The Planning and Zoning Commission will hold a public hearing on Tuesday, January 11, 2022 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 18, 2022 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2021-056: Zoning Amendment to PD-85**

Hold a public hearing to discuss and consider a request by John Delin of Integrity Group, LLC for the approval of an Zoning Amendment to Planned Development District 85 (PD-85) [*Ordinance No. 18-32*] for a 47.694-acre tract of land identified as Lot 1, Block A, and Lot 1, Block B, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

Thank you,

*Angelica Gamez*

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

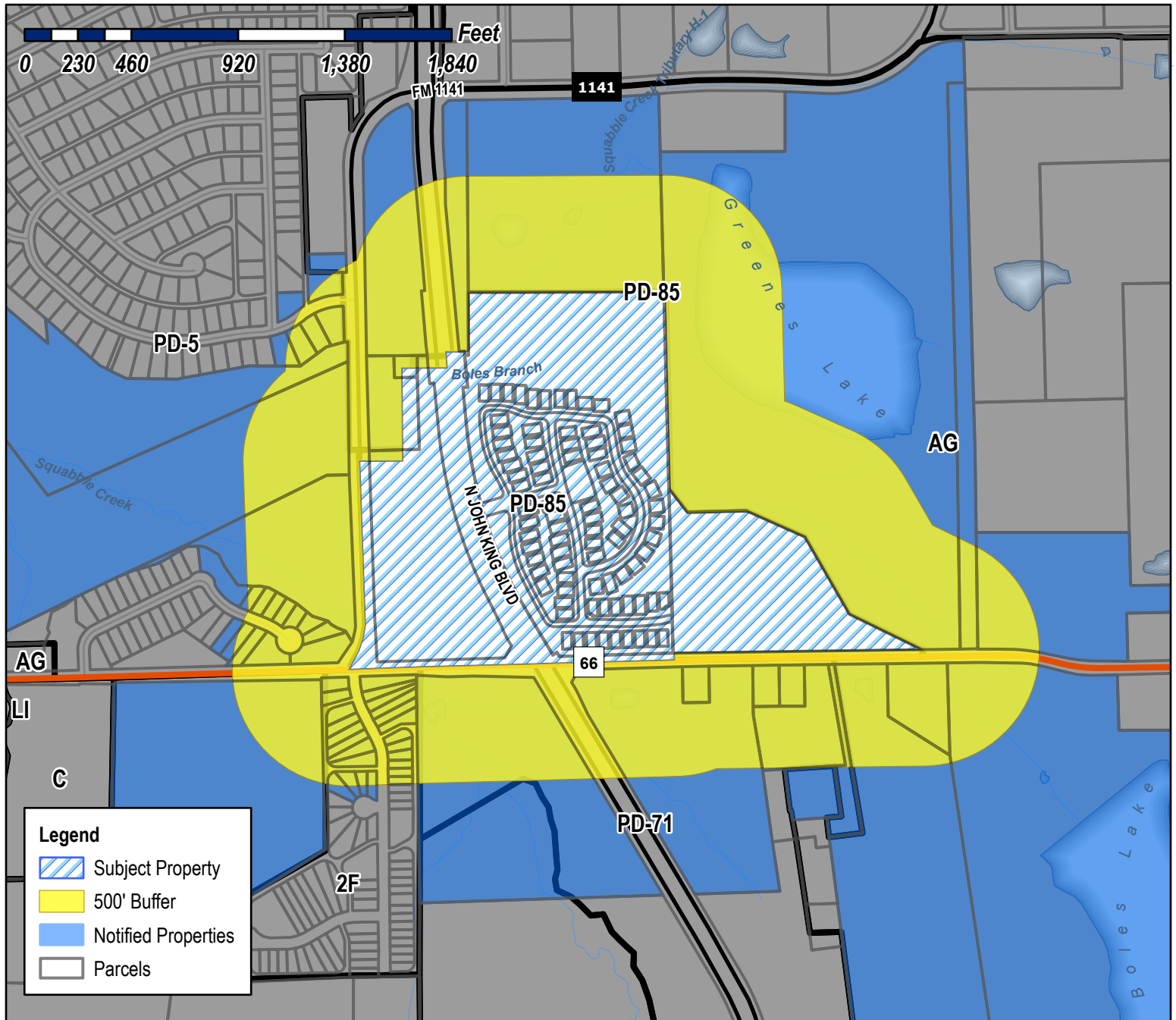




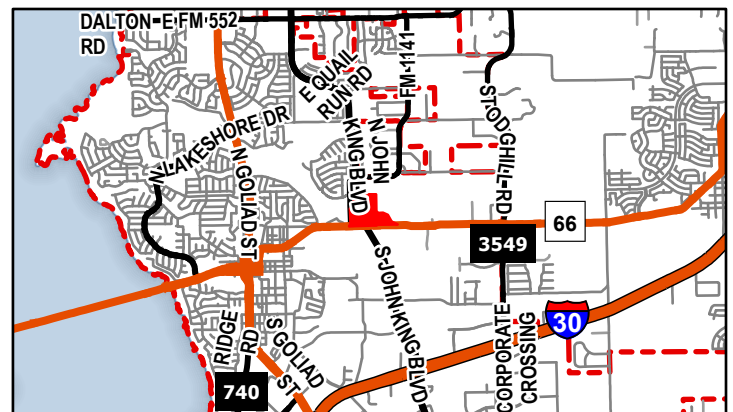
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2021-056  
**Case Name:** Amendment to PD-85  
(Ladera Rockwall)  
**Case Type:** Zoning  
**Zoning:** Planned Development District 85  
(PD-85)  
**Case Address:** Corner of N. John King & SH66  
**Date Saved:** 12/16/2021  
For Questions on this Case Call (972) 771-7745



KEHM NATALIE & DONAVON  
1050 HIDDEN LAKES WAY  
ROCKWALL, TX 75087

ROCKWALL I S D  
1050 WILLIAMS  
ROCKWALL, TX 75087

SEE BETTY  
110 WESTMINISTER  
ROCKWALL, TX 75032

RYDER HEATH JAMES AND MELANIE ANN  
1383 WATER EDGE DRIVE  
ROCKWALL, TX 75087

WOODUL GREG C AND NETA J  
1389 WATERS EDGE DR  
ROCKWALL, TX 75087

ELLIOTT CHRISTOPHER ANDREW & HEATHER R  
1395 WATERS EDGE DRIVE  
ROCKWALL, TX 75087

GROGAN DANIEL R  
1405 WATERS EDGE DRIVE  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
150 TURTLE CREEK SUITE 104-E  
DALLAS, TX 75207

RW LADERA LLC  
1605 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1609 MADRID WAY  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
1612 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1613 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1616 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1617 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1620 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1621 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1624 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1625 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1628 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1629 MADRID WAY  
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION  
ATTN BILL BRICKER  
1630 WILLIAMS  
ROCKWALL, TX 75087

RW LADERA LLC  
1632 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1633 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1636 MADRID WAY  
ROCKWALL, TX 75087

RW LADERA LLC  
1637 MADRID WAY  
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORPORATION  
ATTN BILL BRICKER  
1673 HWY 66  
ROCKWALL, TX 75087

PEOPLES MICHAEL L JR AND  
SHERYL NEWMAN PEOPLES  
1700 STATE HIGHWAY 66  
ROCKWALL, TX 75087

PEOPLES MIKE L  
1936 HWY 66  
ROCKWALL, TX 75087

PEOPLES MICHAEL L  
2026 HWY 66  
ROCKWALL, TX 75087

ROCKWALL PROPERTY CORP  
ATTN:BILL BRICKER  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

CTDIGLAND LLC  
361 W BYRON NELSON BLVD SUITE 104  
ROANOKE, TX 76262

RWLADERA LLC  
361 W BYRON NELSON BLVD SUITE 104  
ROANOKE, TX 76262

HONZELL DAVID AND PATRICIA  
414 E. COACHLIGHT TRAIL  
ROCKWALL, TX 75087

DAVIS WILLIAM PAUL JR  
510 TURTLE COVE BLVD STE 200  
ROCKWALL, TX 75087

CARUTH RIDGE ESTATES HOMEOWNERS  
ASSOCIATION INC  
C/O VISION COMMUNITIES MANAGEMENT INC  
5757 ALPHA RD STE 680  
DALLAS, TX 75240

STONEFIELD HOMES LLC  
802 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
804 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
806 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
806 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
809 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
809 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
810 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
810 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
811 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
814 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
814 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
815 BELLA CT  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
815 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
816 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
817 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
817 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
818 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
818 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
819 RIO VISTA LN  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
820 BELLA DR  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
820 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
821 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
821 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
822 MARATHON CT  
ROCKWALL, TX 75087

RW LADERA LLC  
822 RIO VISTA LN  
ROCKWALL, TX 75087



INTEGRITY RETIREMENT GROUP LLC  
824 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
825 BELLA CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
825 MARATHON CT  
ROCKWALL, TX 75087

STONEFIELD HOMES LLC  
826 MARATHON CT  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
826 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
828 SENDERA LN  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
829 BELLA CT  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
830 BELLA DR  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
831 RIO VISTA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
832 SENDERA LN  
ROCKWALL, TX 75087

RW LADERA LLC  
833 BELLA CT  
ROCKWALL, TX 75087

RW LADERA LLC  
836 SENDERA LN  
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC  
837 BELLA CT  
ROCKWALL, TX 75087

RW LADERA LLC  
840 SENDERA LN  
ROCKWALL, TX 75087

SEE BETTY  
880 FM 1141  
ROCKWALL, TX 75087

DIMISSEW SAMUEL  
956 S WEATHERRED DR  
RICHARDSON, TX 75080

WHITTLE ROBERT S  
PO BOX 369  
ROCKWALL, TX 75087

WHITTLE HIGHLANDS, LLC  
PO BOX 369  
ROCKWALL, TX 75087

PEOPLES MIKE L  
PO BOX 41  
ROCKWALL, TX 75087

RW LADERA LLC  
361 W BYRON NELSON BLVD  
SUITE 104  
ROANOKE, TX 76262

INTEGRITY RETIREMENT GROUP LLC  
361 W BYRON NELSON BLVD  
SUITE 104  
ROANOKE, TX 76262

RILEY RODNEY H & JANET E  
802 RIO VISTA LN  
ROCKWALL, TX 75087

WALLACE MARTHA G  
826 BELLA DRIVE  
ROCKWALL, TX 75087

HOPKINS TEENA  
834 BELLA DR  
ROCKWALL, TX 76262

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Case No. Z2021-056: Zoning Amendment to PD-85

*Hold a public hearing to discuss and consider a request by John Delin of Integrity Group, LLC for the approval of an Zoning Amendment to Planned Development District 85 (PD-85) [Ordinance No. 18-32] for a 47.694-acre tract of land identified as Lot 1, Block A, and Lot 1, Block B, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 11, 2022 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 18, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 18, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2021-056: Zoning Amendment to PD-85

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

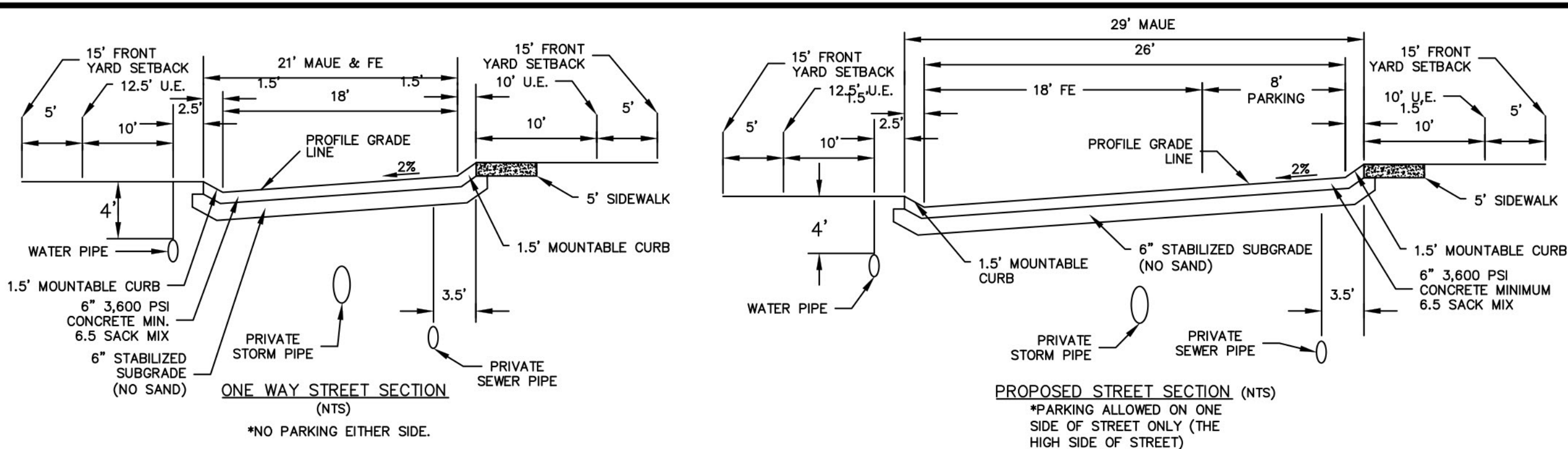
Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

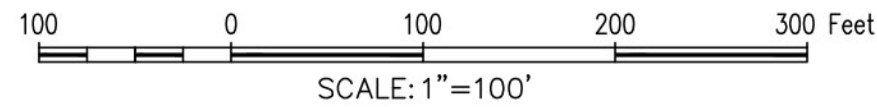
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





Site Data Summary		
Item	Total	% of Total
Acreage of Proposed Site	37.800 Acres	100%
Flood Plain Acreage	7.12	18.84%
Open Space Acreage	19.73*	52.19%
Total Number of Dwelling Units by Type**		
Unit 1: 44.5'x80'	11	
Unit 2: 42'x77'	27	
Unit 3: 42'x72'	3	
Unit 4: 42'x70'	34	
Unit 5: 54'x60'	20	
Unit 6: 64'x50'	6	
Unit 7: 36'x59'	16	
Total Units***	117	
Minimum Dwelling Unit Size:	1,325 SF	
Minimum Open Space:	38%	
Maximum Lot Density:	3.2 DU/acre	
Maximum Height:	35'	
Setbacks:		
Front:	15'	
Side:	6' between units	
Rear:	20' between units	

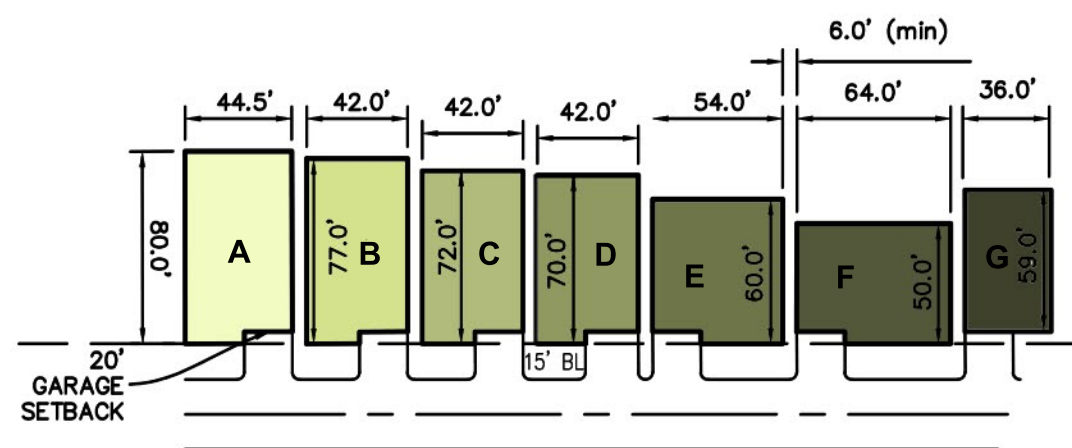
\* Excludes 50% of the total Flood Plain Area  
\*\* Unit breakdown subject to change in accordance with the lot variations identified in the Planned Development District ordinance  
\*\*\* Total units may increase but not more than maximum density allows



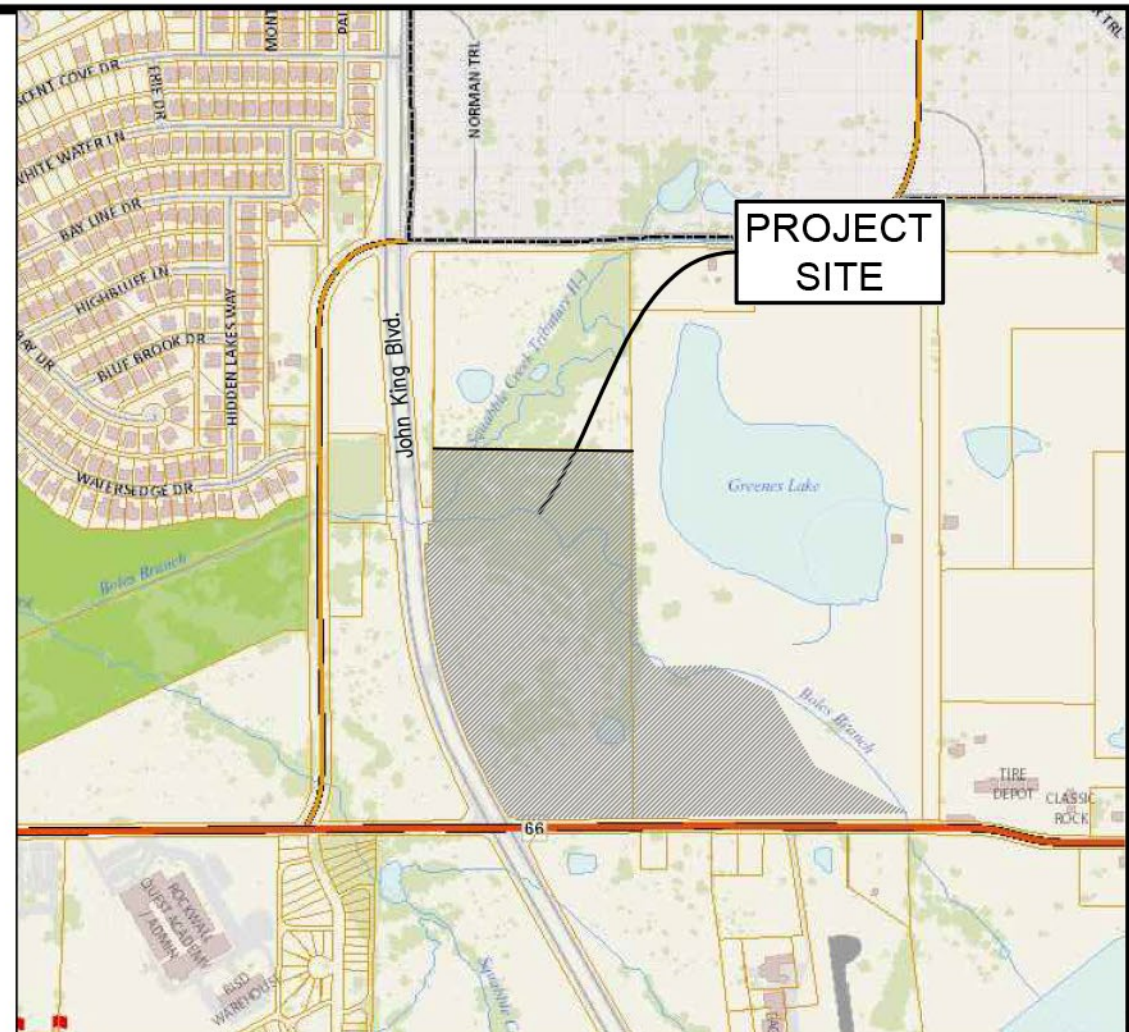
BM: CITY OF ROCKWALL CONTROL MONUMENT "COR-1" CALLED ELEV. 523.27.  
MEASURED ELEV. = 523.56  
BM: CITY OF ROCKWALL CONTROL MONUMENT "COR-2" CALLED ELEV. 529.10.  
MEASURED ELEV. = 529.37

#### GENERAL NOTES

- LADERA ROCKWALL SHALL BE COMPLETED IN TWO PHASES.
- THE LADERA HOA SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL YARDS, OPEN SPACE, LANDSCAPE, DRAINAGE AND PAVING.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PARKING SPOTS ARE 9' WIDE AND 20' DEPTH UNLESS OTHERWISE NOTED. PARALLEL PARKING IS 9' WIDE AND 22' DEEP.
- TXDOT PERMIT REQUIRED FOR WORK IN TXDOT R.O.W.
- FOR MORE INFORMATION ON THE CROSS SECTIONS FOR THE ULTIMATE 100 YR FLOODPLAIN REFER TO "HYDROLOGIC AND HYDRAULIC STUDY IN SUPPORT OF LADERA ROCKWALL DEVELOPMENT" PREPARED BY JEA-HYDROTECH ENGINEERING, INC.



MIKE L. PEOPLES  
CALLED 73.2744 ACRES  
850/15



Vicinity Map Not To Scale

#### LEGAL DESCRIPTION

BEING all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being all of Lot 1, Block A, Ladera Rockwall, an addition to the City of Rockwall, recorded in Document Number 2019000016594 of the Plat Records, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00398743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. Peoples, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at the intersection of the south line of said Lot 1 the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

THENCE S 88°18'19"W, with the south line of said Lot 1 and the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS", being the most southerly southwest corner of said Lot 1 and being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burke T. Payne, Jr., Cause No. 180-833, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

THENCE Northwestly with the east line of said Lot 1, the 3.989 acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

Northwestly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS"; in the south line of a called 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

THENCE N 89°28'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

THENCE N 00°10'47" W, with the east line of said Lot 1 and the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS", being the northwest corner of said Lot 1 and being the southwest corner of a 16.000 acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

THENCE N 89°54'11" E, with the north line of said Lot 1 and the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS"; being the northerly northeast corner of said Lot 1, being the southeast corner of said 16.000 acre tract and being in the west line of said 73.2744 acre tract;

THENCE S 01°28'09" E, with the west line of said Lot 1, and the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

THENCE over, across, and through said 73.2744 acre tract and with the east line of said Lot 1 the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar found with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744 acre tract and the north line of U.S. Highway 66;

THENCE S 89°18'14" W, with the south line of said Lot 1, the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the POINT OF BEGINNING and containing approximately 37.800 acres of land.

CASE #: Z2021-056

OWNER/DEVELOPER  
RW LADERA, LLC.  
361 W. BYRON NELSON BLVD, STE 104  
ROANOKE, TX 76262  
Ph. 817.430.3318  
Contact: John Dellin

The John R. McAdams Company Inc.  
111 Hillside Drive  
Lewisville, Texas 75057  
972.435.9712  
201 County View Drive  
Rockwall, Texas 75087  
940.246.1017  
TBPE: 19762 TBPLS: 10194440  
www.mcadamsco.com

**MCADAMS**

**LADERA ROCKWALL PHASE II**  
Lot 2, Block A & Lot 1, Block B  
LADERA ROCKWALL  
37,800 Acres  
in the  
M. JONES SURVEY, ABSTRACT NO. 122  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

**SITE & DIMENSIONAL CONTROL PLAN (PHI-PIII)**

**PRELIMINARY PLANS**  
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
G&A | MCADAMS, TBPE: 19762  
JUSTIN L. LANSLOWNE, P.E. #121990  
DATE 1/7/2022

Drawn By: MD  
Date: 12/17/2021  
Scale: 1"=100'  
Revisions:

17191

CP



CITY OF ROCKWALL

ORDINANCE NO. 18-32

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 85 (PD-85) [ORDINANCE NO. 17-55] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO INCORPORATE A 9.762-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT INTO PLANNED DEVELOPMENT DISTRICT 85 (PD-85) CREATING A 47.694-ACRE PLANNED DEVELOPMENT DISTRICT IDENTIFIED AS TRACTS 4-01 & 5 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by the John Delin of Integrity Group, LLC for the approval of a zoning change amending Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] for the purpose of incorporating a 9.762-acre tract of land zoned Agricultural (AG) District into Planned Development District (PD-85), allowing limited General Retail (GR) District and Single Family 7 (SF-7) District land uses on a 47.694-acre tract of land identified as Tract 4-01 & 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 85 (PD-85) [*Ordinance No. 17-55*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No. 17-55*; and,

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plans*, contained in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of *Tract 1* of the *Subject Property* -- as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (including Subsections 5(b) through 5(f) below), shall be the exclusive procedures applicable to the subdivision and platting of *Area 3* as depicted in *Exhibit 'B'* of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) *Open Space Master Plan*
  - (2) *Master Plat*
  - (3) *Preliminary Plat*
  - (4) *PD Site Plan*
  - (5) *Final Plat*
- (c) *Open Space Master Plan*. An *Open Space Master Plan* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Open Space Master Plan* for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *Master Plat* and an *Open Space Master Plan Application* for the development.
- (f) *PD Site Plan*. A *PD Site Plan* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted for approval.

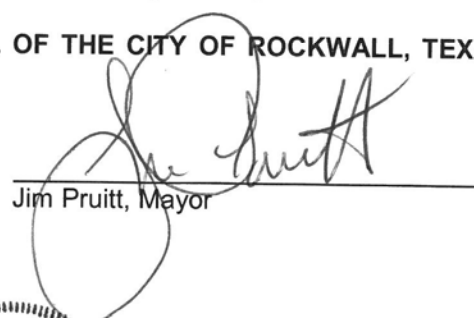
**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS  
THE 6<sup>TH</sup> DAY OF AUGUST, 2018.**

  
Jim Pruitt, Mayor

**ATTEST:**

  
Kristy Cole, City Secretary

**APPROVED AS TO FORM:**

  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: July 16, 2018

2<sup>nd</sup> Reading: August 6, 2018



**Exhibit 'A':**  
*Legal Description*

Legal Description for Tract 1:

Tract 1 9.894 acres M. B. Jones Survey, Abstract No. 122 B. Jones Survey, Abstract No. 122 City of Rockwall Rockwall County, Texas

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. G&A CONSULTANTS", being in the north line of U. , being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 724.55 feet; E, a distance 724.55 feet;

*THENCE* S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

*THENCE* N 02°39'30" W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar found;

*THENCE* N 01°20'56" W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 G&A CONSULTANTS", being the southwest corner of a called 1.837 , being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at G&A CONSULTANTS", being the southeast corner thereof, and being at , being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

*THENCE* N 01°20'56" W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of G&A CONSULTANTS", being in the south line of a 10.942 acre tract of , being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called G&A CONSULTANTS", being the most northwesterly corner of a called , being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins

Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A E, a

**Exhibit 'A':**  
*Legal Description*

distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and , and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and , and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 28°49'11" W, a distance of 32.25 feet to the *POINT OF BEGINNING* and containing approximately 9.894 acres of land.

**Exhibit 'A':**  
**Legal Description**

Legal Description for Tract 2:

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744 acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar found at the southeast corner of said 41.921 acre tract, and the southwest corner of said 73.2744 acre tract and being in the north line of U. S. Highway 66;

*THENCE* S 88°18'19"W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Northwesterly with the east line of said 3.989 acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73 feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 15.52 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

*THENCE* N 00°10'47" W, with the east line of said 10.942 acre tract, a distance of 271.63 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000 acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

*THENCE* N 89°54'11" E, with the south line of said 16.000 acres, a distance of 842.15 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744 acre tract;



**Exhibit 'A':**  
*Legal Description*

*THENCE* S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

*THENCE* over, across, and through said 73.2744 acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

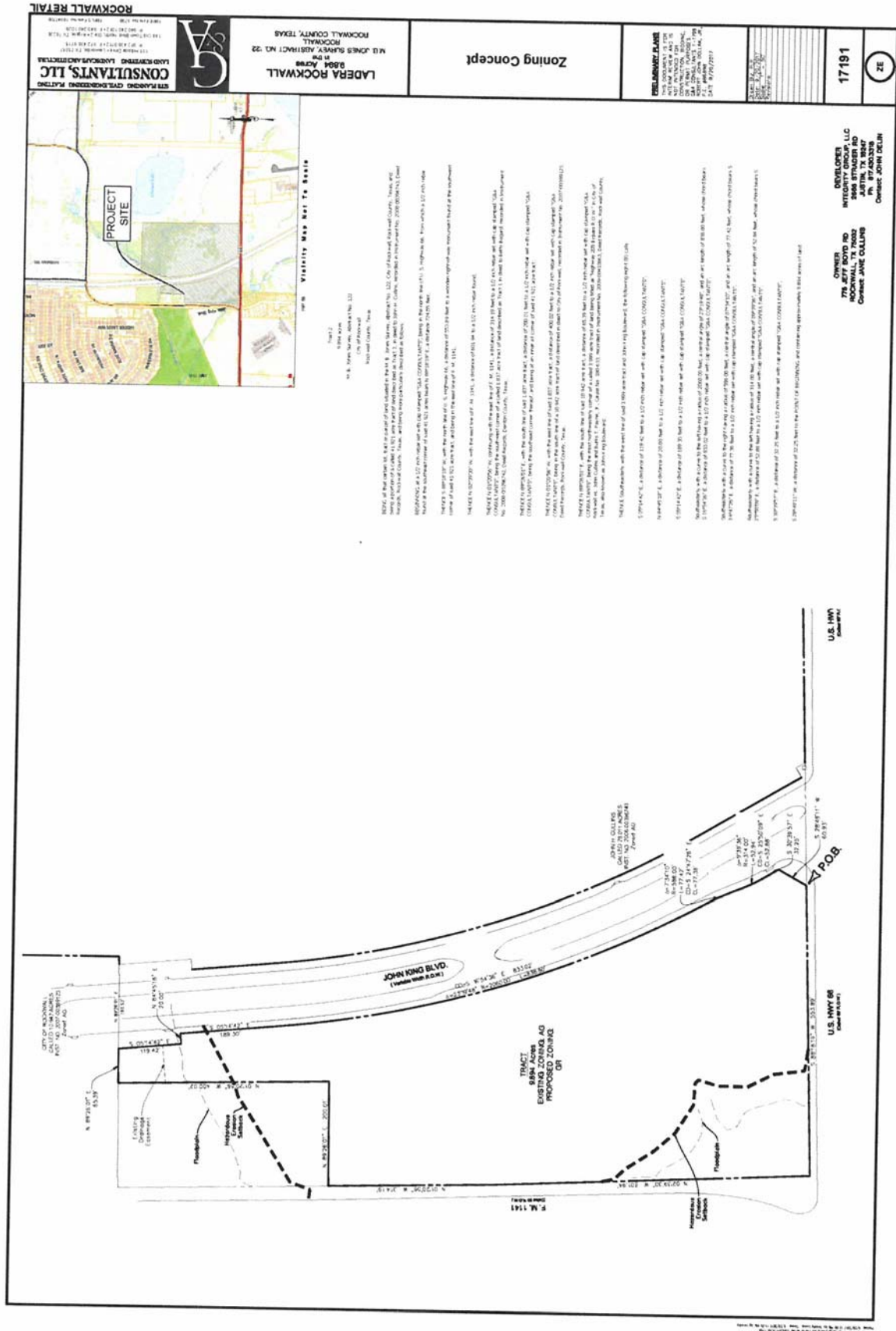
S 66°00'00" E, a distance of 266.78 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 30°00'00" R, a distance of 384.58 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744 acre tract and the north line of U.S. Highway 66;

*THENCE* S 89°18'14" W, with the south line of said 73.2744 acre tract, and the north line of U.S. Highway 66, a distance of 1077.53 feet to the *POINT OF BEGINNING* and containing approximately 37.800 acres of land.

**Exhibit 'B':**  
*Concept Plan: Tract 1*



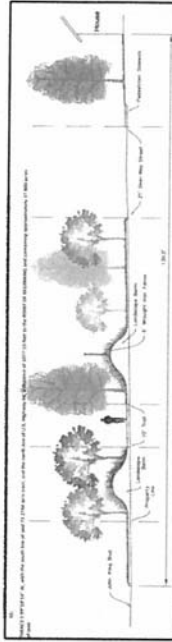
**Exhibit 'B':**  
*Concept Plan: Tract 2*



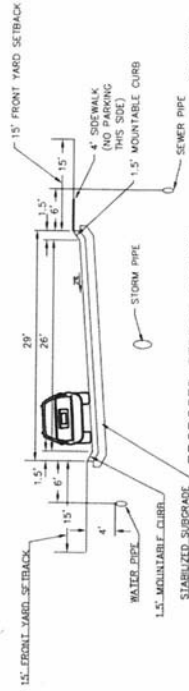
**Vicinity Map Not To Scale**

1. Letter A (Buckley) shall be completed in one phase.
2. The Letter HOA shall be responsible for the maintenance of the driveway, lawn space, and landscape.
3. On-street parking shall be provided on the parking on one side of the street between the driveway and the driveway in the street section above the driveway.
4. On-street parking shall be defined as parking in residential driveway spaces and on-street parking spaces along the street.
5. Maxillary columns of 45' minimum, minimum of 45' only required above John King Hwy and 5' of 5' Hwy Bay.
6. U/L #41356, 1-bay rated design and assembly tested design complies with Table R302.1(1) of the 2015 IRC.

5. UL #E356, 1-hour rated exterior wall assemblies used design complies with Table R302.1(1) of the 2015 IRC.



John King Overlay Cross Section



PROPOSED STREET SECTION  
(NTS)

•PARKING ALLOWED ON ONE SIDE OF STREET ONLY, OPPOSITE SIDE OF SIDEWALK

**DEVELOPER**  
INTEGRITY GROUP, LLC  
2565 STRADER RD  
JUSTIN, TX 76247  
PH. 817/430.3318  
Contact: JOHN DELIN

[illegible]

\* Excludes 50% of the Total Flood Plan Area  
 \*\* Unit Breakdown subject to change based on homeowner preference  
 \*\*\* Total units may increase but not more than maximum density allowed

- \* Excludes 50% of the Total Flood Plain Area
- \*\* Unit breakdown subject to change based on homeowner preference
- \*\*\* Total units may increase but not more than maximum density allows

0.07

0.02

A diagram of a four-story building layout. The building is represented by a vertical rectangle divided into four horizontal sections, each representing a floor. Each floor contains a single rectangular room. The rooms are numbered 1, 2, 3, and 4 from top to bottom. The rooms are shaded in light yellow. The building is surrounded by a green area representing a lawn or garden. The building is oriented vertically, with the entrance at the bottom.

A diagram of a four-stage pipeline. It consists of four yellow rectangular blocks labeled 1, 2, 3, and 4, connected by three light blue trapezoidal blocks. An arrow points from the right side of stage 3 to the left side of stage 4.

1000

STATE HWY 66  
(Cardinal 607 at 0 mi.)



**Exhibit 'C':**  
**PD Development Standards**

**PD Development Standards.**

**Tract 1: 9.894-Acres of Non-Residential Property**

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 1* of the *Subject Property*; however, the following additions and conditions shall apply:

The following land uses shall be expressly prohibited on the *Subject Property*:

- ☒ Convent or Monastery
- ☒ Hotel or Motel
- ☒ Hotel, Residence
- ☒ Cemetery/Mausoleum
- ☒ Mortuary or Funeral Chapel
- ☒ Social Service Provider
- ☒ Billiard Parlor or Pool Hall
- ☒ Carnival, Circus, or Amusement Ride
- ☒ Commercial Amusement/Recreation (*Outside*)
- ☒ Gun Club, Skeet or Target Range (*Indoor*)
- ☒ Astrologer, Hypnotist, or Psychic Art and Science
- ☒ Night Club, Discotheque, or Dance Hall
- ☒ Secondhand Dealer
- ☒ Car Wash, Self Service
- ☒ Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
- ☒ Service Station
- ☒ Mining and Extraction (*Sand, Gravel, Oil & Other*)
- ☒ Helipad
- ☒ Railroad Yard or Shop
- ☒ Transit Passenger Facility

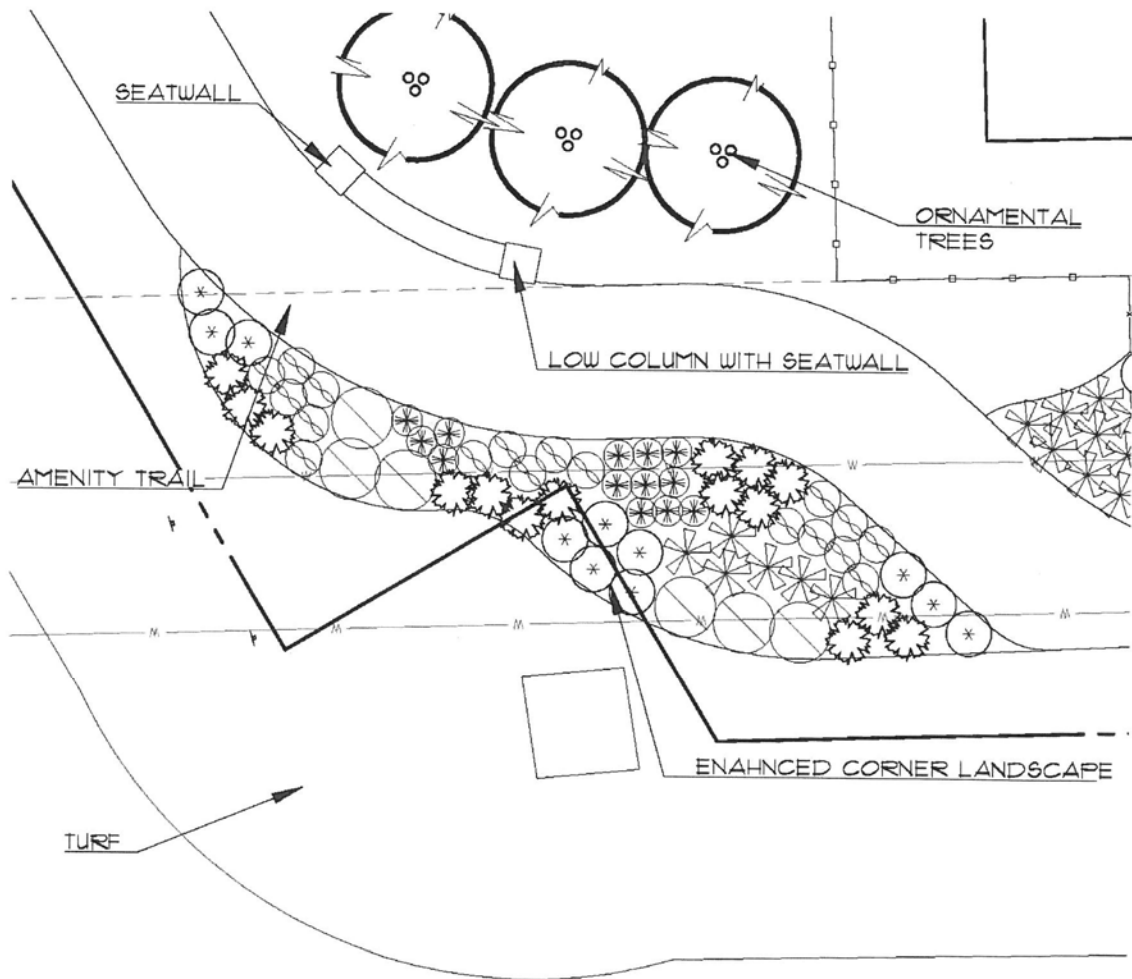
The following additional use shall be permitted through a Specific Use Permit (SUP) on the *Subject Property*:

- ☒ Garden Supply/Plant Nursery

- (2) *Density and Dimensional Requirements.* Any development on *Tract 1* of the *Subject Property* shall be subject to the development standards required for properties in a General Retail (GR) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall adhere to the following:
- (a) *Landscape Buffer (SH-66).* A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to SH-66.

**Exhibit 'C':**  
**PD Development Standards**

- (b) *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 15-foot landscape buffer adjacent to John King Boulevard.
- (c) *Landscape Buffer (FM-1141)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to FM-1141.
- (4) *Intersection Enhancements*. In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide an intersection enhancement at the corner of the intersection of Williams Street (SH-66) and John King Boulevard that generally conforms to the following design:



**Exhibit 'C':**  
**PD Development Standards**

**Tract 2: 28.011-Acres of Residential Property**

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 2* of the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- ☒ Activity Center
- ☒ Community Pool
- ☒ Gazebos/Pavilions
- ☒ Sports Courts

- (2) **Unit Composition and Layout.** The unit composition and layout shall generally conform to the *Concept Plan* for *Tract 2* depicted in *Exhibit 'B'* and stated as follows:

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	20	15.48%
2 & 3	42' x 77'	1,600 SF	31	59.52%
4	54' x 60'	1,600 SF	41	16.67%
5	64' x 50'	2,100 SF	6	08.33%
<b>Total Units:</b>			<b>122</b>	

- (3) **Density and Dimensional Requirements.** The maximum permissible density for the *Subject Property* shall not exceed 3.2-units/acre; however, in no case should the proposed development exceed 122 single-family, residential units. The *Subject Property* shall maintain conformance with the following requirements:

- (a) **Condominium Requirement.** The property shall be established as a condominium development pursuant to the requirements of *Chapter 82* of the *Texas Property Code*, and platted as a single lot.

- (b) **Lot Dimensional Requirements.** The proposed condominium lot shall adhere to the following setbacks:

<i>Minimum Lot Width</i>	<b>1,500'</b>
<i>Minimum Lot Depth</i>	<b>490'</b>
<i>Minimum Lot Area</i>	<b>28.0-Acres</b>
<i>Minimum Setback Adjacent to John King Boulevard</i>	<b>95'</b>
<i>Minimum Setback Adjacent to SH-66</i>	<b>20'</b>
<i>Minimum Setback Adjacent to the Eastern &amp; Northern Property Lines</i>	<b>10'</b>

*Continued on next page ...*



**Exhibit 'C':**  
**PD Development Standards**

- (c) *Internal Artificial Lot Requirements.* The units constructed on the proposed condominium lot shall adhere to the following dimensional requirements for artificial lots:

Minimum Setback from a Private Street <sup>(1) (2) (3)</sup>	15'
Minimum Side Yard Distance Between Units	6'
Minimum Side Yard Setback from a Private Street <sup>(1) (2)</sup>	10'
Minimum Rear Yard Distance Between Units	20'
Maximum Height	35'

General Notes:

- <sup>1</sup>: This setback shall be measured from the back of curb.  
<sup>2</sup>: Variances of up to five (5) feet may be granted by the Director of Planning and Zoning on a case-by-case basis for artificial lots on curve-linear streets.  
<sup>3</sup>: The minimum length of a driveway shall be 20-feet as measured from the edge of the approach to the garage door.

- (4) *Building Standards.* All development shall adhere to the following building standards:

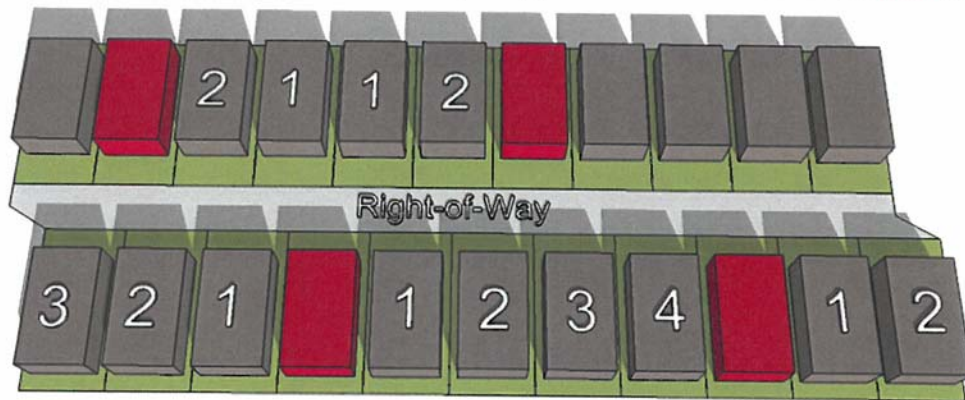
- (A) *Masonry Requirement.* The minimum masonry requirement for the exterior façades -- excluding doors and windows -- of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted to be used to meet up to 40% of the masonry requirement.
- (B) *Roof Pitch.* A minimum of an 8:12 roof pitch is required on the front elevation of all structures. Porches and rear elevations shall have a minimum of a 4:12 roof pitch.
- (C) *Garage Orientation.* Garages shall oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration. If a front entry garage configuration is utilized it shall face the street and shall be located even with the front building façade of the primary structure. On *traditional swing* (or *j-swing*) garages a second single garage door facing the street is permitted if it is located behind the width of the double garage door.
- (D) *Anti-Monotony Restrictions.* The development shall adhere to the following Anti-Monotony requirements (for spacing requirements see the illustration on the following page):
- (1) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
  - (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - (a) Number of Stories
    - (b) Brick Color
    - (c) Roof Type and Layout
    - (d) Articulation of the Front Façade
  - (3) All roof shingles shall be an architectural or dimensional shingle, and have a 30-year rating. (*3-Tab Roofing Shingles are prohibited*).

**Exhibit 'C':**  
**PD Development Standards**

*Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.*



*Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.*

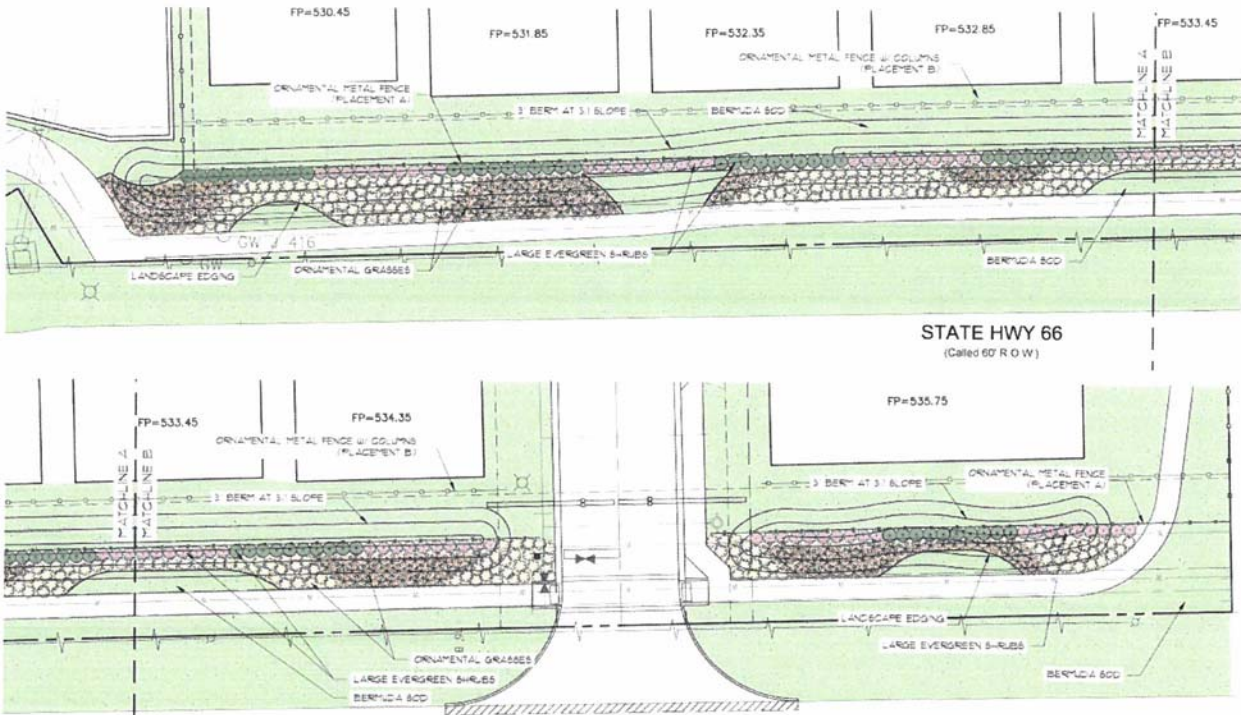


- (E) *Fencing Standards.* All residential privacy fencing shall be six (6) foot wrought iron/tubular steel fencing for transparent fencing and six (6) foot Simtek (or a similar product) fencing for non-transparent fencing. Fencing located along the exterior of the condominium lot shall be a minimum of six (6) foot wrought iron/tubular steel fencing with masonry columns a maximum of 45-feet on center. The masonry columns shall only be required adjacent to John King Boulevard and SH-66.
- (F) *Landscape and Hardscape Standards.*
- (1) *Residential Landscape.* All canopy trees planted within the condominium lot and not situated within a required landscape buffer shall be a minimum of three (3) inches in caliper and accent trees shall be a minimum of four (4) feet in height. All tree plantings shall conform to the City's tree planting guidelines and requirements stipulated in Appendix F, *Landscaping Guidelines and Requirements*, of the Unified Development Code.
  - (2) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA) and shall conform to the following:
    - (a) *Landscape Buffer (SH-66).* A minimum of a 20-foot landscape buffer shall be provided along the frontage of SH-66 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. The landscaping shall be generally as depicted below. The developer shall also be

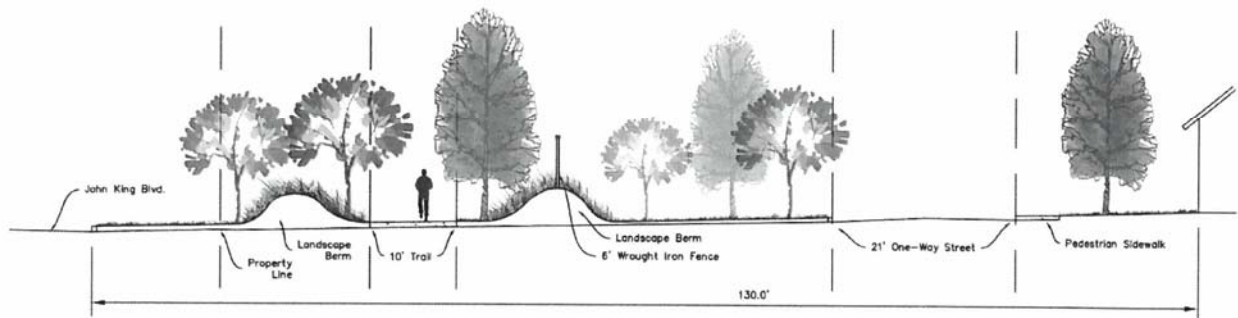


**Exhibit 'C':**  
**PD Development Standards**

responsible for the construction of a five (5) foot sidewalk situated within the 20-foot landscape buffer adjacent to SH-66.



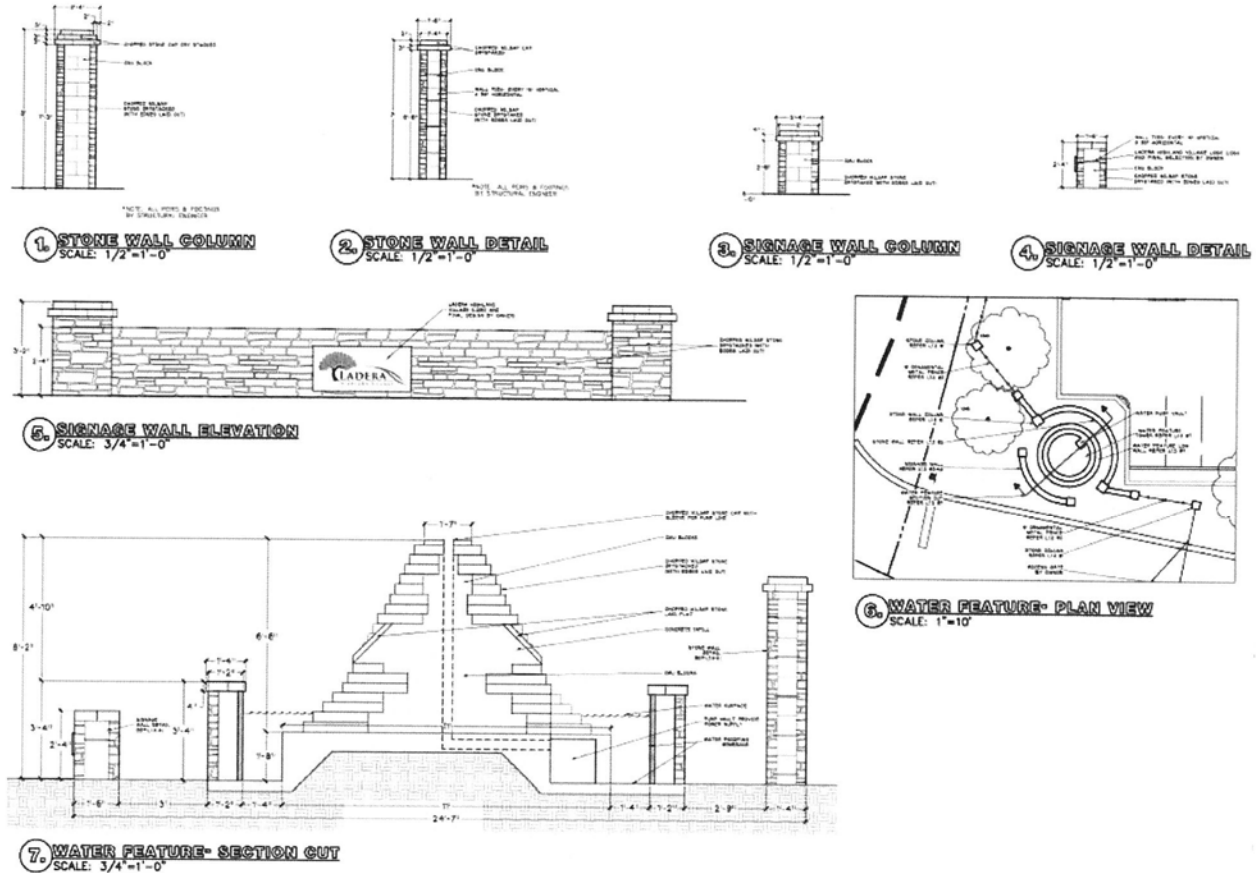
- (b) *Landscape Buffer and Sidewalks (John King Boulevard).* A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard. The required wrought iron fence along John King Boulevard may be situated within 40-feet of the right-of-way line. In addition, the design of the buffer shall generally conform to the following cross section:





**Exhibit 'C':**  
**PD Development Standards**

- (3) *Irrigation Requirements.* Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (4) *Hardscape.* Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (G) *Trail Enhancements.* In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide a trail enhancement element that generally conforms to the following design:

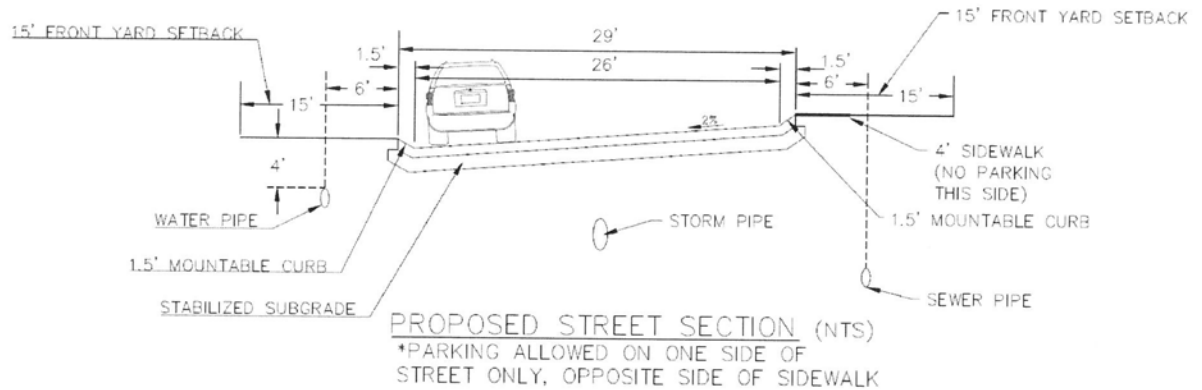


- (H) *Lighting.* Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to concentrate light within the development area.

*Continued on next page ...*

**Exhibit 'C':**  
**PD Development Standards**

- (I) *Private Streets.* With the exception of the 21-foot, one-way street situated adjacent to John King Boulevard the street cross sections for this development should conform to the following cross section:



- (J) *Open Space.* The development shall consist of a minimum of 47.88% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall maintain all common open space areas. For the purposes of this Planned Development District open space shall include all front yards, rear yards, common areas, buffers and floodplain installed by the developer, but does not include any landscaping, trees, patios and other improvements installed by the homeowner. Floodplain shall be calculated at a rate of 50% (e.g.  $\frac{1}{2}$ -acre for every acre provided).
- (K) *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
- (L) *Condominium Owner's Association (COA).* A Condominium Owner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Chapter 82, Uniform Condominium Act*, of the *Texas Property Code*. The COA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, and screening fences associated with this development, but it is not required to maintain additional landscaping or improvements added by the homeowner.
- (M) *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

**Exhibit 'C':**  
*PD Development Standards*

- (N) *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code [*Ordinance No. 04-38*] shall apply to any application for variances to this ordinance.



CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 85 (PD-85) [ORDINANCE NO. 18-32] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO INCORPORATE A 9.762-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT INTO PLANNED DEVELOPMENT DISTRICT 85 (PD-85) CREATING A 47.694-ACRE PLANNED DEVELOPMENT DISTRICT IDENTIFIED AS TRACTS 4-01 & 5 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by the John Delin of Integrity Group, LLC for the approval of a zoning change amending Planned Development District 85 (PD-85) [Ordinance No. 18-32] for the purpose of changing the *Concept Plan* for the *Subject Property* being a 47.694-acre tract of land identified as Tract 4-01 & 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 85 (PD-85) [Ordinance No. 18-32] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No. 18-32*; and,

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plans*, contained in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of *Tract 1* of the *Subject Property* -- as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of *Area 3* as depicted in *Exhibit 'B'* of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Open Space Master Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Open Space Master Plan.* An *Open Space Master Plan* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Open Space Master Plan* for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *Master Plat* and an *Open Space Master Plan Application* for the development.
- (f) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF FEBRUARY, 2022.**

**ATTEST:**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

\_\_\_\_\_  
Kristy Cole, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: January 18, 2022

2<sup>nd</sup> Reading: February 7, 2022



**Exhibit 'A':**  
**Legal Description**

Legal Description for Tract 1:

Tract 1 9.894 acres M. B. Jones Survey, Abstract No. 122 B. Jones Survey, Abstract No. 122 City of Rockwall Rockwall County, Texas

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. G&A CONSULTANTS", being in the north line of U. , being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 724.55 feet; E, a distance 724.55 feet;

*THENCE* S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

*THENCE* N 02°39'30" W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar found;

*THENCE* N 01°20'56" W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 G&A CONSULTANTS", being the southwest corner of a called 1.837 , being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at G&A CONSULTANTS", being the southeast corner thereof, and being at , being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

*THENCE* N 01°20'56" W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of G&A CONSULTANTS", being in the south line of a 10.942 acre tract of , being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called G&A CONSULTANTS", being the most northwesterly corner of a called , being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins

Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A E, a

**Exhibit 'A':**  
*Legal Description*

distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and , and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and , and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 28°49'11" W, a distance of 32.25 feet to the *POINT OF BEGINNING* and containing approximately 9.894 acres of land.

**Exhibit 'A':**  
**Legal Description**

Legal Description for Tract 2:

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921-acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744-acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a ½-inch rebar found at the southeast corner of said 41.921-acre tract, and the southwest corner of said 73.2744-acre tract and being in the north line of U. S. Highway 66;

*THENCE* S 88°18'19"W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Northwesterly with the east line of said 3.989-acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet-to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73-feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942-acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942-acre tract, a distance of 15.52-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

*THENCE* N 00°10'47" W, with the east line of said 10.942-acre tract, a distance of 271.63-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000-acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

*THENCE* N 89°54'11" E, with the south line of said 16.000-acres, a distance of 842.15 feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744-acre tract;



**Exhibit 'A':**  
*Legal Description*

*THENCE* S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

*THENCE* over, across, and through said 73.2744-acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 30°00'00" R, a distance of 384.58-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744-acre tract and the north line of U.S. Highway 66;

*THENCE* S 89°18'14" W, with the south line of said 73.2744-acre tract, and the north line of U.S. Highway 66, a distance of 1077.53-feet to the *POINT OF BEGINNING* and containing approximately 37.800-acres of land.

[illegible]

**Exhibit 'B':**  
*Concept Plan: Tract 2*





**Exhibit 'C':**  
**PD Development Standards**

**PD Development Standards.**

Tract 1: 9.894-Acres of Non-Residential Property

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 1* of the *Subject Property*; however, the following additions and conditions shall apply:

The following land uses shall be expressly prohibited on the *Subject Property*:

- ☒ Convent or Monastery
- ☒ Hotel or Motel
- ☒ Hotel, Residence
- ☒ Cemetery/Mausoleum
- ☒ Mortuary or Funeral Chapel
- ☒ Social Service Provider
- ☒ Billiard Parlor or Pool Hall
- ☒ Carnival, Circus, or Amusement Ride
- ☒ Commercial Amusement/Recreation (*Outside*)
- ☒ Gun Club, Skeet or Target Range (*Indoor*)
- ☒ Astrologer, Hypnotist, or Psychic Art and Science
- ☒ Night Club, Discotheque, or Dance Hall
- ☒ Secondhand Dealer
- ☒ Car Wash, Self Service
- ☒ Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
- ☒ Service Station
- ☒ Mining and Extraction (*Sand, Gravel, Oil & Other*)
- ☒ Helipad
- ☒ Railroad Yard or Shop
- ☒ Transit Passenger Facility

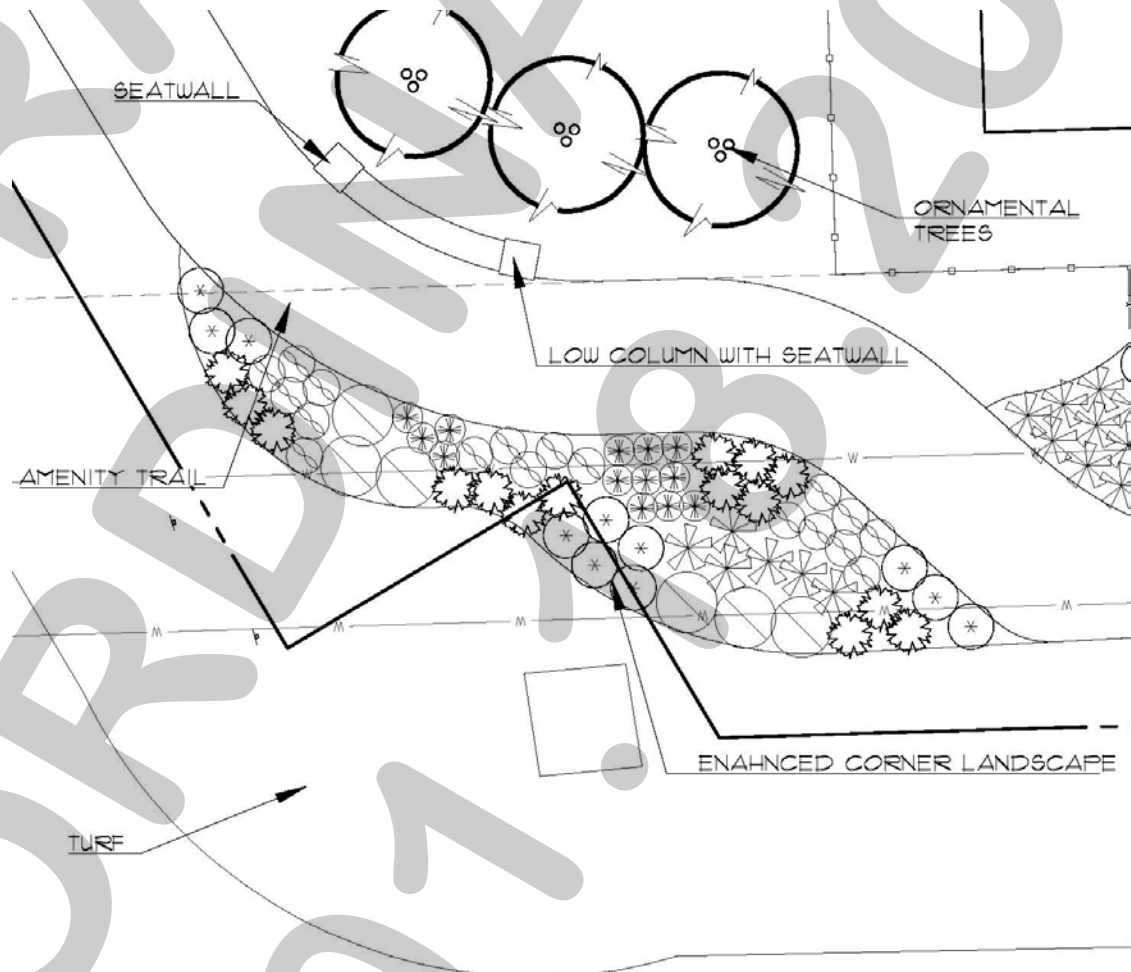
The following additional use shall be permitted through a Specific Use Permit (SUP) on the *Subject Property*:

- ☒ Garden Supply/Plant Nursery

- (2) *Density and Dimensional Requirements.* Any development on *Tract 1* of the *Subject Property* shall be subject to the development standards required for properties in a General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall adhere to the following:
- (a) *Landscape Buffer (SH-66).* A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to SH-66.

**Exhibit 'C':**  
**PD Development Standards**

- (b) *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 15-foot landscape buffer adjacent to John King Boulevard.
- (c) *Landscape Buffer (FM-1141)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to FM-1141.
- (4) *Intersection Enhancements*. In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide an intersection enhancement at the corner of the intersection of Williams Street (SH-66) and John King Boulevard that generally conforms to the following design:



**Exhibit 'C':**  
**PD Development Standards**

Tract 2: 28.011-Acres of Residential Property

- (1) Permitted Uses. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 2* of the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- ☒ Activity Center
- ☒ Community Pool
- ☒ Gazebos/Pavilions
- ☒ Sports Courts

- (2) Unit Composition and Layout. The unit composition and layout shall generally conform to the *Concept Plan* for *Tract 2* depicted in *Exhibit 'B'* and stated as follows:

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	11	09.40%
2	42' x 77'	1,600 SF	27	23.07%
3	42' x 72'	1,600 SF	10	08.55%
4	42' x 70'	1,600 SF	26	22.22%
5	54' x 60'	1,600 SF	21	17.95%
6	64' x 50'	2,100 SF	6	05.13%
7	36' x 59'	1,325 SF	16	13.68%
Total Units:			117	

NOTES REGARDING LOT VARIATIONS TO THE UNIT COMPOSITION:

Regardless of the above unit mix the following variations shall be permitted:

- (1) Lot 1 as depicted on the concept plan in *Exhibit 'B'* of this ordinance may be developed with interchange *Unit Types* 2, 3 & 4.
- (2) Lot 2 as depicted on the concept plan in *Exhibit 'B'* of this ordinance may be developed with interchange *Unit Types* 3 & 4.
- (3) Lot 3 as depicted on the concept plan in *Exhibit 'B'* of this ordinance may be developed with interchange *Unit Types* 3 & 4.
- (3) Density and Dimensional Requirements. The maximum permissible density for the *Subject Property* shall not exceed 3.1-units/acre; however, in no case should the proposed development exceed 117 single-family, residential units. The *Subject Property* shall maintain conformance with the following requirements:

- (a) Condominium Requirement. The property shall be established as a condominium development pursuant to the requirements of *Chapter 82* of the *Texas Property Code*, and platted as a single lot.
- (b) Lot Dimensional Requirements. The proposed condominium lot shall adhere to the following setbacks:

Minimum Lot Width	1,000'
Minimum Lot Depth	490'
Minimum Lot Area	37.80-Acres
Minimum Setback Adjacent to John King Boulevard	95'
Minimum Setback Adjacent to SH-66	20'
Minimum Setback Adjacent to the Eastern & Northern Property Lines	10'
Minimum Setback Adjacent to the RPZ	0'
Minimum Lot Setback for the Eastern Property Adjacent to the RPZ	5'



**Exhibit 'C':**  
**PD Development Standards**

- (c) Internal Artificial Lot Requirements. The units constructed on the proposed condominium lot shall adhere to the following dimensional requirements for artificial lots:

Minimum Setback from a Private Street <sup>(1), (2) &amp; (3)</sup>	15'
Minimum Side Yard Distance Between Units	6'
Minimum Side Yard Setback from a Private Street <sup>(1) &amp; (2)</sup>	10'
Minimum Rear Yard Distance Between Units	20'
Maximum Height	35'

General Notes:

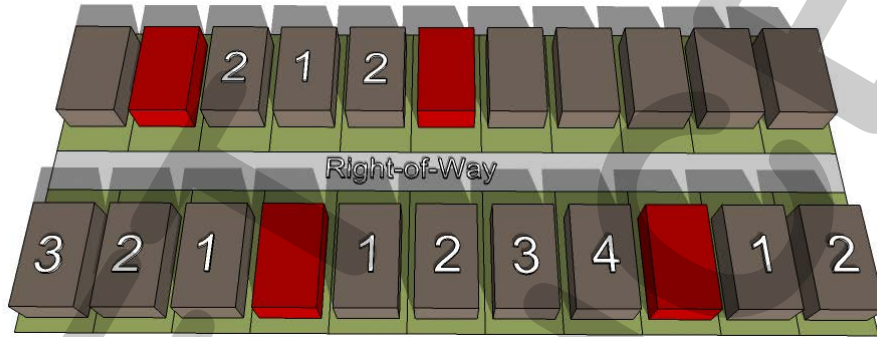
- <sup>1</sup>: This setback shall be measured from the back of curb.  
<sup>2</sup>: Variances of up to five (5) feet may be granted by the Director of Planning and Zoning on a case-by-case basis for artificial lots on curve-linear streets.  
<sup>3</sup>: The minimum length of a driveway shall be 20-feet as measured from the edge of the approach to the garage door.

- (4) Building Standards. All development shall adhere to the following building standards:

- (A) Masonry Requirement. The minimum masonry requirement for the exterior façades -- *excluding doors and windows* -- of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted to be used to meet up to 40% of the masonry requirement.
- (B) Roof Pitch. A minimum of an 8:12 roof pitch is required on the front elevation of all structures. Porches and rear elevations shall have a minimum of a 4:12 roof pitch.
- (C) Garage Orientation. Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration. If a front entry garage configuration is utilized it shall face the street and shall be located even with the front building façade of the primary structure. On *traditional swing* (or *j-swing*) garages a second single garage door facing the street is permitted if it is located behind the width of the double garage door.
- (D) Anti-Monotony Restrictions. The development shall adhere to the following Anti-Monotony requirements (for spacing requirements see the illustration on the following page):
- (1) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
  - (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - (a) Number of Stories
    - (b) Brick Color
    - (c) Roof Type and Layout
    - (d) Articulation of the Front Façade
  - (3) All roof shingles shall be an architectural or dimensional shingle, and have a 30-year rating. (*3-Tab Roofing Shingles are prohibited*).

**Exhibit 'C':**  
**PD Development Standards**

*Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.*



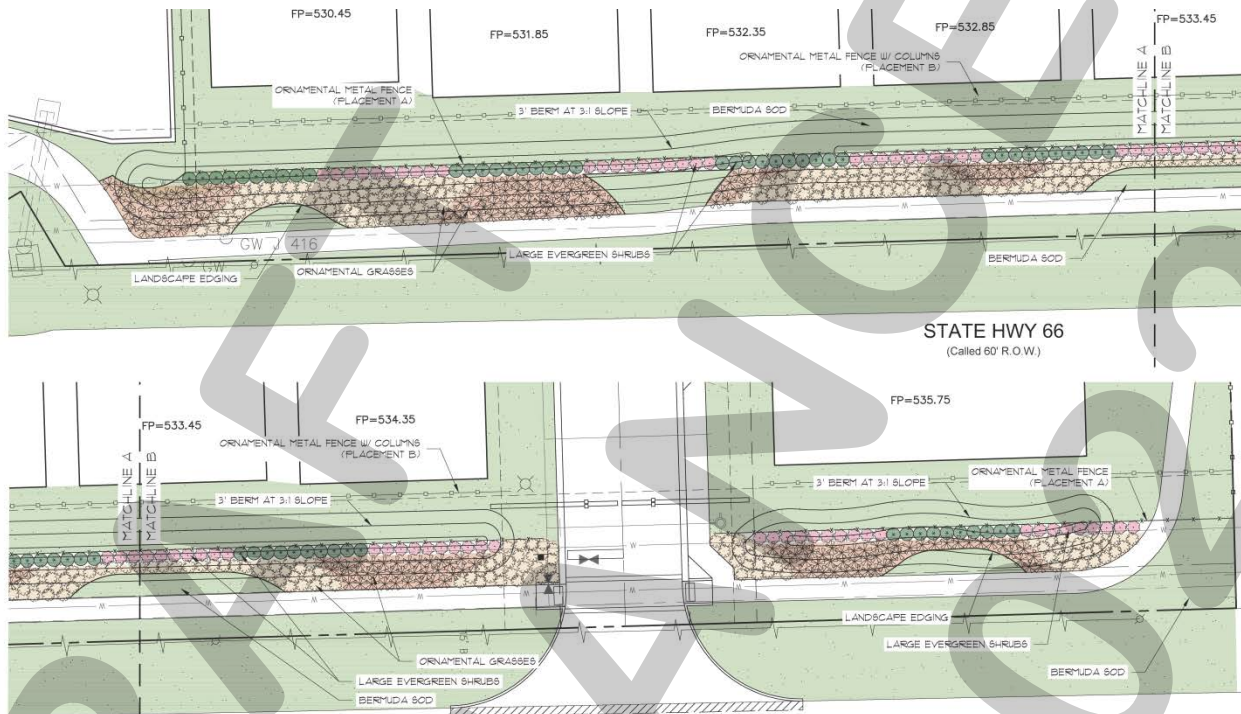
*Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.*



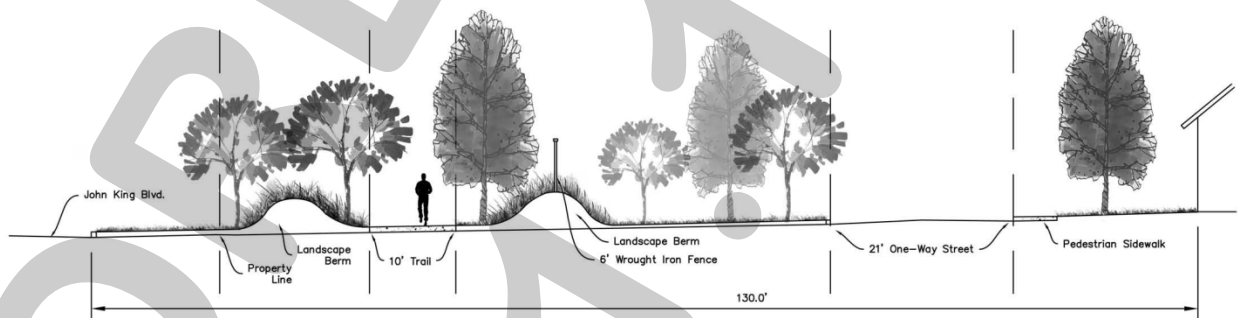
- (E) Fencing Standards. All residential privacy fencing shall be six (6) foot wrought iron/tubular steel fencing for transparent fencing and six (6) foot Simtek (or a similar product) fencing for non-transparent fencing. Fencing located along the exterior of the condominium lot shall be a minimum of six (6) foot wrought iron/tubular steel fencing with masonry columns a maximum of 45-feet on center. The masonry columns shall only be required adjacent to John King Boulevard and SH-66.
- (F) Landscape and Hardscape Standards.
- (1) Residential Landscape. All canopy trees planted within the condominium lot and not situated within a required landscape buffer shall be a minimum of three (3) inches in caliper and accent trees shall be a minimum of four (4) feet in height. All tree plantings shall conform to the City's tree planting guidelines and requirements stipulated in Appendix F, *Landscaping Guidelines and Requirements*, of the Unified Development Code.
  - (2) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA) and shall conform to the following:
    - (a) Landscape Buffer (SH-66). A minimum of a 20-foot landscape buffer shall be provided along the frontage of SH-66 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. The landscaping shall be generally as depicted below. The developer shall also be

**Exhibit 'C':**  
**PD Development Standards**

responsible for the construction of a five (5) foot sidewalk situated within the 20-foot landscape buffer adjacent to SH-66.



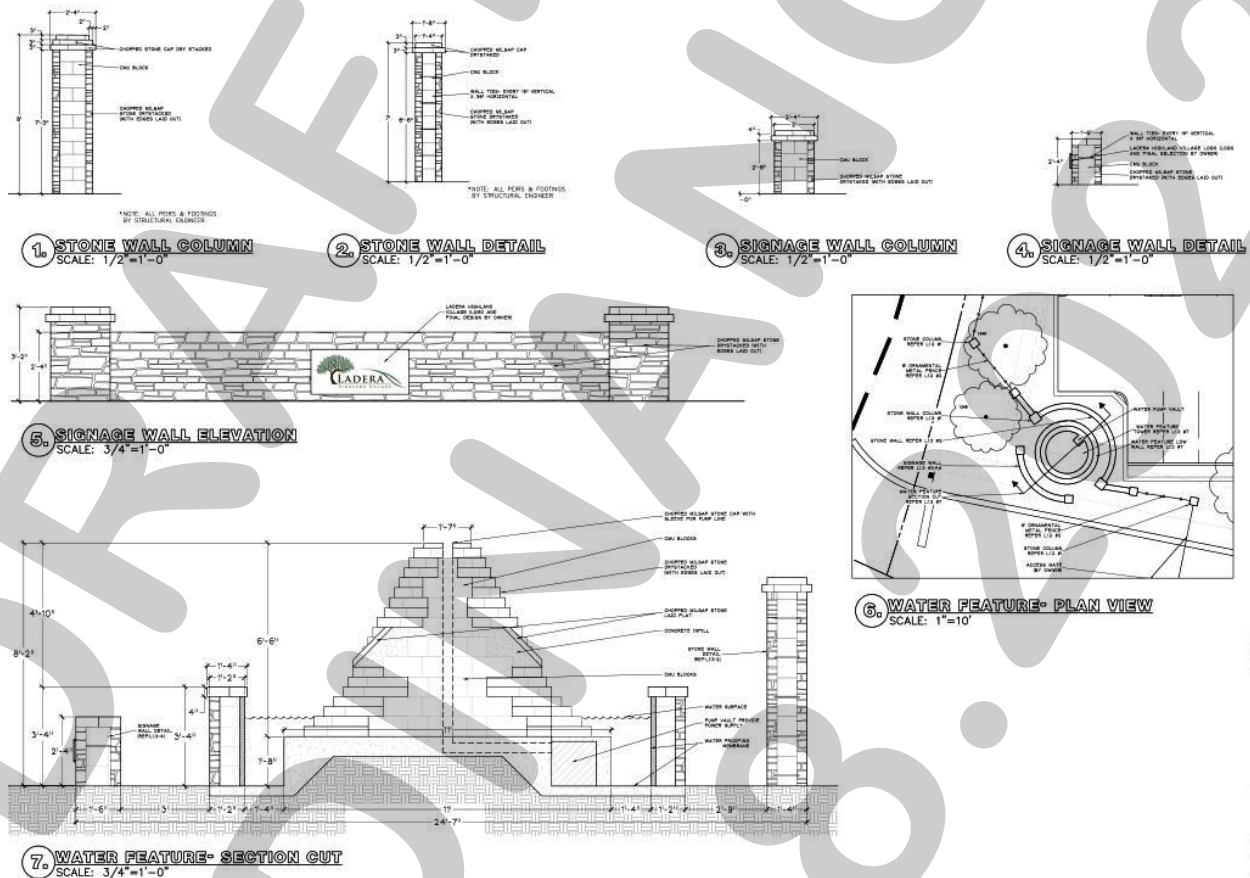
- (b) Landscape Buffer and Sidewalks (John King Boulevard). A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard. The required wrought iron fence along John King Boulevard may be situated within 40-feet of the right-of-way line. In addition, the design of the buffer shall generally conform to the following cross section:





**Exhibit 'C':**  
**PD Development Standards**

- (3) **Irrigation Requirements.** Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (4) **Hardscape.** Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (G) **Trail Enhancements.** In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide a trail enhancement element that generally conforms to the following design:

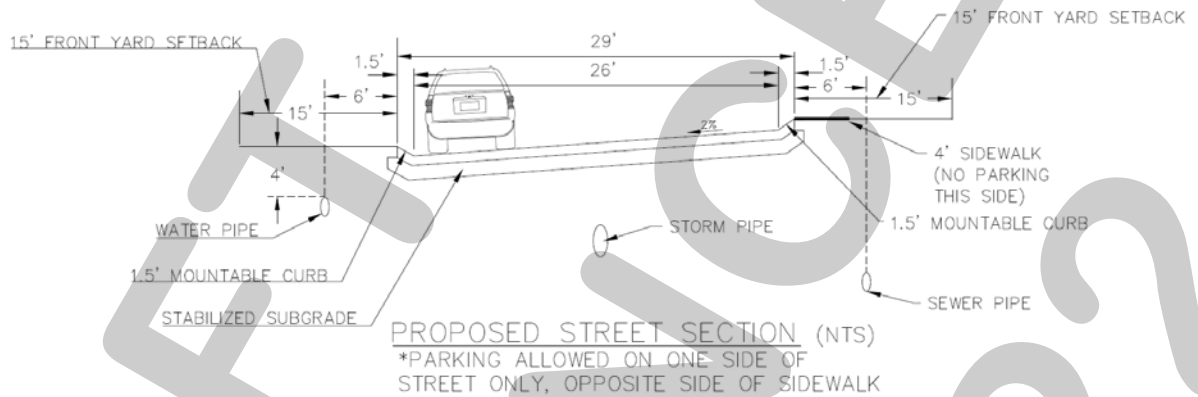


- (H) **Lighting.** Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to concentrate light within the development area.

Continued on next page ...

**Exhibit 'C':**  
**PD Development Standards**

- (I) Private Streets. With the exception of the 21-foot, one-way street situated adjacent to John King Boulevard the street cross sections for this development should conform to the following cross section:



- (J) Open Space. The development shall consist of a minimum of 38.00% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall maintain all common open space areas. For the purposes of this Planned Development District open space shall include all front yards, rear yards, common areas, buffers and floodplain installed by the developer, but does not include any landscaping, trees, patios and other improvements installed by the homeowner. Floodplain shall be calculated at a rate of 50% (e.g. ½-acre for every acre provided).
- (K) Neighborhood Signage. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
- (L) Condominium Owner's Association (COA). A Condominium Owner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Chapter 82, Uniform Condominium Act*, of the *Texas Property Code*. The COA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, and screening fences associated with this development, but it is not required to maintain additional landscaping or improvements added by the homeowner.
- (M) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

**Exhibit 'C':**  
*PD Development Standards*

- (N) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code [Ordinance No. 20-02] shall apply to any application for variances to this ordinance.



## Miller, Ryan

---

**From:** Alec Bidwell <ABidwell@mcadamsco.com>  
**Sent:** Friday, December 17, 2021 1:47 PM  
**To:** Miller, Ryan; Johnston, Sarah  
**Cc:** John Delin; Justin Lansdowne; Alex Brown  
**Subject:** Ladera Rockwall Site Plan  
**Attachments:** Development Application for the City of Rockwall.pdf; 2021.121.17 17191\_SITE.pdf

Good Afternoon Ryan and Sarah,

Please see the attached Application and Site Layout for Ladera Rockwall. Please let us know if we can provide anything further or if you have any questions and have a great weekend.

Thanks,



**Alec Bidwell EIT**  
designer I

**direct** 469.496.2043 **mobile** 972.804.5762  
[abidwell@mcadamsco.com](mailto:abidwell@mcadamsco.com)  
201 Country View Drive, Roanoke, TX 76262

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## Miller, Ryan

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**From:** Bill Macke <Bill.Macke@txdot.gov>  
**Sent:** Monday, December 20, 2021 11:50 AM  
**To:** Miller, Ryan  
**Cc:** Jim Halley  
**Subject:** RE: F46 - RE: North RPZ of the City of Rockwall's Airport

Good morning, Ryan.

After a quick, arm's-length review of the revised zoning exhibit for the residential project north of Rockwall's airport, it looks like the houses in question have been moved outside the runway protection zone. The remaining land uses requiring coordination with FAA are possibly for any sports fields or places of public assembly if the green area to the east of the houses is to be used as a park or sports fields. Otherwise, the proposed plan should be easy to coordinate with FAA.

I still recommend and encourage you to work with the developer to file obstruction and evaluation and airport airspace analysis studies with the FAA. There is a notice criteria tool the FAA provides to determine if a proponent of construction near an airport needs to file with the FAA. The tool may be found here:

<https://oeaaa.faa.gov/oeaaa/external/gisTools/gisAction.jsp?action=showNoNoticeRequiredToolForm>

I used the tool with estimated locations of where new houses will be located and it looks like like FAA requests studies be filed.

Regarding the land-swap with the Boys and Girls Club on the south side of the airport, does this portion of the RPZ become Airport Property? If so, we'll want to update the Airport Property Map for the airport.

Bill Macke  
TxDOT Aviation Planning  
Office: 512-416-4558  
[bill.macke@txdot.gov](mailto:bill.macke@txdot.gov)

---

**From:** Miller, Ryan <RMiller@rockwall.com>  
**Sent:** Friday, December 17, 2021 3:04 PM  
**To:** Bill Macke <Bill.Macke@txdot.gov>  
**Cc:** Jim Halley <James.Halley@txdot.gov>  
**Subject:** RE: F46 - RE: North RPZ of the City of Rockwall's Airport

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Bill ... I wanted to give you a quick update concerning the situations we spoke about in the below emails, and get you to take a quick look at a new zoning exhibit for one of the projects. With regard to the housing development on the north side of the airport, the City has been working with the developer to resolve the issue of having houses in the RPZ. Today the developer submitted the attached concept plan for a zoning amendment. Basically it removes all of the houses from the RPZ, and we will be going through the zoning process to make this adjustment starting on December 28th. I just wondered if you saw any issues with this proposed plan or have any comments that we need to include in our zoning case? With regard to the Boys and Girls Club on the south side of the airport, the City successfully was able to facilitate a land swap to secure this portion of the RPZ (so this is no longer a concern). Thanks again for all your help and please let me know if you need any additional information or have any questions.



**Ryan C. Miller, AICP**

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL

972.772.6441 OFFICE

[RMILLER@ROCKWALL.COM](mailto:RMILLER@ROCKWALL.COM)

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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**From:** Bill Macke <[Bill.Macke@txdot.gov](mailto:Bill.Macke@txdot.gov)>

**Sent:** Monday, September 27, 2021 10:50 AM

**To:** Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>

**Cc:** Jim Halley <[James.Halley@txdot.gov](mailto:James.Halley@txdot.gov)>

**Subject:** F46 - RE: North RPZ of the City of Rockwall's Airport

Good morning, Ryan.

I took a quick look at the exhibits and concept rendering you provided for the residential development off the north end of the runway. This Runway Protection Zone (RPZ) issue will be a bit more problematic than the Boys And Girls Club proposal at the south end. On the south side, it looked like it was parking facilities and maybe a corner of a commercial use building that encroached in the RPZ. With the proposed development on the north end, we are looking at residential structures in the RPZ.

Checking the Airport Property Map, the Airport did not and does not own the property. It also does not look like Rockwall has any easements over this area. About the only thing that would protect this area for airport use would be a local zoning ordinance, such as a height hazard zoning ordinance, or some sort of local use ordinance and it looks like the proponent was granted a variance.

TxDOT Aviation and FAA's recommendation is to discourage residential uses within the RPZ. From the Airport Exhibit PDF you provided, lots/structures/units 908, 906, 902, 909, and 903 are going to be problematic as they are well within the Approach RPZ.

There is a draft FAA Advisory Circular (AC 150/5190-4B) that addresses airport land use compatibility planning. There is language in the draft document that reads that when residential uses cannot be prevented near an airport, there are techniques that can be used to minimize or mitigate the effects of such incompatible development. A few of these include:

- Placement of residential structures on the outer edge of a parcel rather than directly underneath a runway's approach or departure path outside of RPZs
- Disclosing noise impact and discouraging residential development within 65 dB DNL noise contour.
- Minimizing the development of multi-family residential units (apartments, etc.).
- Requiring developers to use sound-insulating building materials to minimize aircraft noise effects.



As to what to do, my recommendation is similar to the Boys and Girls Club development: make sure the developer has filed airspace studies and the City of Rockwall should perform a compatible land use in the RPZ alternatives analysis.

Additional steps I would recommend is that Rockwall work with the developer and insert certain language in the property records and deed documents and disclose to the residents/owners of the house that there is an airport nearby and airplanes have a right to fly over their houses and there will be associated noise. I've attached some sample language on what should be put in deeds.

As to impacts to the airport, the most likely recommendation from FAA will be to displace the landing threshold far enough down the runway to 'move' the RPZ off the residential areas. This will affect landing distance available. Currently the 3,373' runway has 2,901' available for landing.

Bill Macke  
TxDOT Aviation Planning  
Office: 512-416-4558  
[bill.macke@txdot.gov](mailto:bill.macke@txdot.gov)

---

**From:** Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>  
**Sent:** Friday, September 24, 2021 4:07 PM  
**To:** Bill Macke <[Bill.Macke@txdot.gov](mailto:Bill.Macke@txdot.gov)>  
**Subject:** FW: North RPZ of the City of Rockwall's Airport

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Bill ... I apologize. These are the ones I meant to send you.



**Ryan C. Miller, AICP**  
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
[RMILLER@ROCKWALL.COM](mailto:RMILLER@ROCKWALL.COM)  
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**From:** Miller, Ryan  
**Sent:** Tuesday, September 14, 2021 3:40 PM  
**To:** 'jim.halley@txdot.gov'

**Cc:** Boyd, Joey <[JBoyd@rockwall.com](mailto:JBoyd@rockwall.com)>

**Subject:** North RPZ of the City of Rockwall's Airport

Jim ... Joey and I just left you a voice mail about another minor issue. In looking at the RPZ on the southside of the runway, we saw another potential issue with our northern RPZ. Attached is the concept plan and zoning documents from a zoning case that was approved in 2018. This case allowed single family residences in a portion of the RPZ (*see the attached Airport Exhibit*). These have not been constructed and the applicant is currently working through the civil engineering process. Once we realized this issue, we put a stop on the project and called you. When you have a chance we would like to discuss this with you to see how we can move forward. Thanks again for working with us through these issues. We really appreciate your help.



**Ryan C. Miller, AICP**

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[RMILLER@ROCKWALL.COM](mailto:RMILLER@ROCKWALL.COM)

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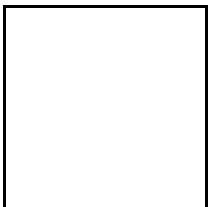
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## Miller, Ryan

---

**From:** John Delin <john@integritygroups.com>  
**Sent:** Wednesday, December 22, 2021 9:47 AM  
**To:** Miller, Ryan  
**Subject:** RE: F46 - RE: North RPZ of the City of Rockwall's Airport  
**Attachments:** Elevation 524.pdf; Notice Criteria Tool-530.pdf

Here you go. Same criteria as before.

Thanks

**John Delin**

817.252.4281 D  
817.919.8111 C  
[john@integritygroups.com](mailto:john@integritygroups.com)

[IntegrityGroups.com](http://IntegrityGroups.com) | [LaderaTexas.com](http://LaderaTexas.com)  
[361 W Byron Nelson Blvd Ste. 104, Roanoke, TX 76262](http://361 W Byron Nelson Blvd Ste. 104, Roanoke, TX 76262)  
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**From:** Miller, Ryan <RMiller@rockwall.com>  
**Sent:** Monday, December 20, 2021 1:29 PM  
**To:** John Delin <john@integritygroups.com>  
**Subject:** FW: F46 - RE: North RPZ of the City of Rockwall's Airport

John ... Heads up ... I sent the updated concept plan to TXDOT aviation for review and they are good with everything; however, they would like you to file a sight obstruction study with the FAA. If you have any questions please let me know. Thanks.



**Ryan C. Miller, AICP**  
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
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**From:** Bill Macke <[Bill.Macke@txdot.gov](mailto:Bill.Macke@txdot.gov)>  
**Sent:** Monday, December 20, 2021 11:50 AM  
**To:** Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>  
**Cc:** Jim Halley <[James.Halley@txdot.gov](mailto:James.Halley@txdot.gov)>  
**Subject:** RE: F46 - RE: North RPZ of the City of Rockwall's Airport

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<https://oeaaa.faa.gov/oeaaa/external/gisTools/gisAction.jsp?action=showNoNoticeRequiredToolForm>

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Bill Macke  
TxDOT Aviation Planning  
Office: 512-416-4558  
[bill.macke@txdot.gov](mailto:bill.macke@txdot.gov)

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## Miller, Ryan

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**From:** John Delin <john@integritygroups.com>  
**Sent:** Thursday, January 6, 2022 10:46 AM  
**To:** Miller, Ryan  
**Subject:** FW: Ladera Rockwall Site  
**Attachments:** 2022.01.05 17191 SITE.pdf; 17191 SITE-overall.pdf

**Importance:** High

Good morning. give me a call about this pls. Couple of questions. Do we need to label the area we're going to deed over?

John

**John Delin**

817.252.4281 D  
817.919.8111 C  
[john@integritygroups.com](mailto:john@integritygroups.com)

[IntegrityGroups.com](https://www.integritygroups.com) | [LaderaTexas.com](https://www.laderatexas.com)  
[361 W Byron Nelson Blvd Ste. 104, Roanoke, TX 76262](#)  
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**From:** Alec Bidwell <ABidwell@mcadamsco.com>  
**Sent:** Thursday, January 6, 2022 10:26 AM  
**To:** John Delin <john@integritygroups.com>  
**Subject:** RE: Ladera Rockwall Site

This message's attachments contains at least one web link. This is often used for phishing attempts. Please only interact with this attachment if you know its source and that the content is safe. If in doubt, confirm the legitimacy with the sender by phone.

John,

Please see the attached revised site plan with the trail being show. Please let me know if we need to make further changes.

Thanks,





**Alec Bidwell EIT**  
designer I

**direct** 469..496.2043 **mobile** 972.804.5762  
[abidwell@mcadamsco.com](mailto:abidwell@mcadamsco.com)  
201 Country View Drive, Roanoke, TX 76262

[www.mcadamsco.com](http://www.mcadamsco.com)  
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---

**From:** Alec Bidwell  
**Sent:** Thursday, January 6, 2022 9:40 AM  
**To:** 'John Delin' <[john@integritygroups.com](mailto:john@integritygroups.com)>  
**Cc:** Justin Lansdowne <[JLansdowne@mcadamsco.com](mailto:JLansdowne@mcadamsco.com)>  
**Subject:** RE: Ladera Rockwall Site

Good Morning John,

Please see the attached overall site Plan and site plan for just Phase II. On the revision we made the following changes:

- Unit 95 was rotated to create 2' between RPZ and unit
- Fence has been 20' off of lots and if lots are further than 20' from RPZ, the fence ran along the RPZ
- Types of Units have been changed from A-G to 1-7

Please let us know if you would like us to make further changes.

Thanks,



**Alec Bidwell EIT**  
designer I

**direct** 469..496.2043 **mobile** 972.804.5762  
[abidwell@mcadamsco.com](mailto:abidwell@mcadamsco.com)  
201 Country View Drive, Roanoke, TX 76262

[www.mcadamsco.com](http://www.mcadamsco.com)  
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**From:** Alec Bidwell  
**Sent:** Wednesday, January 5, 2022 12:27 PM  
**To:** John Delin <[john@integritygroups.com](mailto:john@integritygroups.com)>  
**Cc:** Justin Lansdowne <[JLansdowne@mcadamsco.com](mailto:JLansdowne@mcadamsco.com)>  
**Subject:** Ladera Rockwall Site

John,

Please see the attached revised layout for Phase II of Ladera Rockwall. As part of this revision:

- Unit 100 has changed from Unit Type E to Unit type D
  - We had to make the unit narrower as we lost some road length due to the RPZ moving West

- 99 and 95 are shaded to show what it would look like if garage setback was 20' (it would be right up against the RPZ) and a bolded line to show what the unit would look like if we were to go to 15' garage setback
- The shack has been shown
- The Fence is 20' off the back of units 94-99
- 10' Mow Strip has been provided

We did have one question for you, on our original Phase II plans, we showed a connection to the sidewalk along SH 66 in the Southeast corner. Do you still want to have another connection to the sidewalk there?

Thanks,



**Alec Bidwell EIT**  
designer I

**direct** 469..496.2043 **mobile** 972.804.5762  
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## Miller, Ryan

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**From:** John Delin <[john@integritygroups.com](mailto:john@integritygroups.com)>  
**Sent:** Thursday, January 6, 2022 8:35 AM  
**To:** Miller, Ryan  
**Subject:** Ordinance Corrections  
**Attachments:** Ordinance Corrections 01.06.21.pdf; Ordinance Corrections 2 01.06.21.pdf

Here you go. let me know your thoughts. Also, doing final review of site plan.

Thanks sir.

**John Delin**

817.252.4281 D

817.919.8111 C

[john@integritygroups.com](mailto:john@integritygroups.com)

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## Miller, Ryan

---

**From:** John Delin <john@integritygroups.com>  
**Sent:** Friday, January 7, 2022 1:26 PM  
**To:** Miller, Ryan  
**Subject:** RE: Ordinance Corrections

Thanks sir. I'm good with. Appreciate it.

**John Delin**

817.252.4281 D  
817.919.8111 C  
[john@integritygroups.com](mailto:john@integritygroups.com)

[IntegrityGroups.com](http://IntegrityGroups.com) | [LaderaTexas.com](http://LaderaTexas.com)  
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**From:** Miller, Ryan <RMiller@rockwall.com>  
**Sent:** Friday, January 7, 2022 11:32 AM  
**To:** John Delin <john@integritygroups.com>  
**Subject:** RE: Ordinance Corrections

John ... Attached is the updated ordinance. I am still waiting on Alec to provide the color concept plan, but will you check to make sure everything is the way it needs to be and let me know. Thanks.



**Ryan C. Miller, AICP**  
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL  
972.772.6441 OFFICE  
[RMILLER@ROCKWALL.COM](mailto:RMILLER@ROCKWALL.COM)  
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**From:** John Delin <[john@integritygroups.com](mailto:john@integritygroups.com)>  
**Sent:** Thursday, January 6, 2022 8:35 AM  
**To:** Miller, Ryan <[RMiller@rockwall.com](mailto:RMiller@rockwall.com)>  
**Subject:** Ordinance Corrections

Here you go. let me know your thoughts. Also, doing final review of site plan.

Thanks sir.

**John Delin**

817.252.4281 D  
817.919.8111 C  
[john@integritygroups.com](mailto:john@integritygroups.com)

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CITY OF ROCKWALL

ORDINANCE NO. 22-08

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 85 (PD-85) [ORDINANCE NO. 18-32] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO INCORPORATE A 9.762-ACRE TRACT OF LAND ZONED AGRICULTURAL (AG) DISTRICT INTO PLANNED DEVELOPMENT DISTRICT 85 (PD-85) CREATING A 47.694-ACRE PLANNED DEVELOPMENT DISTRICT IDENTIFIED AS TRACTS 4-01 & 5 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by the John Delin of Integrity Group, LLC for the approval of a zoning change amending Planned Development District 85 (PD-85) [Ordinance No. 18-32] for the purpose of changing the *Concept Plan* for the *Subject Property* being a 47.694-acre tract of land identified as Tract 4-01 & 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 85 (PD-85) [Ordinance No. 18-32] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No. 18-32*; and,

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plans*, contained in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;



**SECTION 4.** That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of *Tract 1* of the *Subject Property* -- as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance -- shall be in conformance with the schedule listed below (except as set forth below with regard to simultaneous processing and approvals).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 5(b) through 5(f) below*), shall be the exclusive procedures applicable to the subdivision and platting of *Area 3* as depicted in *Exhibit 'B'* of this ordinance.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for an *Open Space Master Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
  - (1) Open Space Master Plan
  - (2) Master Plat
  - (3) Preliminary Plat
  - (4) PD Site Plan
  - (5) Final Plat
- (c) *Open Space Master Plan.* An *Open Space Master Plan* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, and shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with an *Open Space Master Plan* for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the City concurrently with a *Master Plat* and an *Open Space Master Plan Application* for the development.
- (f) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat Application* for the development.
- (g) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* as depicted in *Exhibit 'B'* of this ordinance shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and


each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

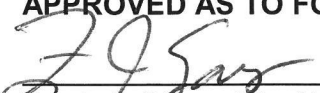
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF FEBRUARY, 2022.**

  
\_\_\_\_\_  
Kevin Fowler, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: January 18, 2022

2<sup>nd</sup> Reading: February 7, 2022

**Exhibit 'A':**  
**Legal Description**

Legal Description for Tract 1:

Tract 1 9.894 acres M. B. Jones Survey, Abstract No. 122 B. Jones Survey, Abstract No. 122 City of Rockwall Rockwall County, Texas

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921 acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the north line of U. G&A CONSULTANTS", being in the north line of U. , being in the north line of U. S. Highway 66, from which a 1/2 inch rebar found at the southeast corner of said 41.921 acres bears N 88°18'19" E, a distance 724.55 feet; E, a distance 724.55 feet;

*THENCE* S 88°18'19" W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden W, with the north line of U. S. Highway 66, a distance of 553.89 feet to a wooden right-of-way monument found at the southwest corner of said 41.921 acre tract, and being in the east line of F. M. 1141;

*THENCE* N 02°39'30" W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar W, with the east line of F. M. 1141, a distance of 601.94 to a 1/2 inch rebar found;

*THENCE* N 01°20'56" W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 W, continuing with the east line of F. M. 1141, a distance of 314.19 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a called 1.837 G&A CONSULTANTS", being the southwest corner of a called 1.837 , being the southwest corner of a called 1.837 acre tract of land described as Tract 1 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Denton County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 E, with the south line of said 1.837 acre tract, a distance of 200.01 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof, and being at G&A CONSULTANTS", being the southeast corner thereof, and being at , being the southeast corner thereof, and being at an inner ell corner of said 41.921 acre tract;

*THENCE* N 01°20'56" W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 W, with the east line of said 1.837 acre tract, a distance of 400.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of a 10.942 acre tract of G&A CONSULTANTS", being in the south line of a 10.942 acre tract of , being in the south line of a 10.942 acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 E, with the south line of said 10.942 acre tract, a distance of 65.39 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most northwesterly corner of a called G&A CONSULTANTS", being the most northwesterly corner of a called , being the most northwesterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins

Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Southeasterly with the west line of said 3.989 acre tract and John King Boulevard, the following eight (8) calls:

S 05°14'42" E, a distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A E, a



**Exhibit 'A':**  
*Legal Description*

distance of 119.42 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 20.00 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 05°14'42" E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 189.30 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 2060.00 feet, a central angle of 23°19'48", and , and an arc length of 838.80 feet, whose chord bears S 16°54'36" E, a distance of 833.02 feet to a 1/2 E, a distance of 833.02 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the right having a radius of 586.00 feet, a central angle of 07°34'10", and an arc length of 77.42 feet, whose chord bears S 24°47'26" E, a distance of 77.36 feet to a 1/2 E, a distance of 77.36 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

Southeasterly with a curve to the left having a radius of 314.00 feet, a central angle of 09°39'36", and , and an arc length of 52.94 feet, whose chord bears S 25°50'09" E, a distance of 52.88 feet to a 1/2 inch E, a distance of 52.88 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS"; G&A CONSULTANTS";

S 30°39'57" E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A E, a distance of 32.25 feet to a 1/2 inch rebar set with cap stamped "G&A G&A CONSULTANTS";

S 28°49'11" W, a distance of 32.25 feet to the *POINT OF BEGINNING* and containing approximately 9.894 acres of land.

**Exhibit 'A':**  
**Legal Description**

Legal Description for Tract 2:

*BEING* all that certain lot, tract or parcel of land situated in the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being a portion of a called 41.921-acre tract of land described as Tract 3, in deed to John H. Cullins, recorded in Instrument No. 2008-00396743, Deed Records, Rockwall County, Texas, and being part of a called 73.2744-acre tract of land described in deed to Mike L. People, recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a ½-inch rebar found at the southeast corner of said 41.921-acre tract, and the southwest corner of said 73.2744-acre tract and being in the north line of U. S. Highway 66;

*THENCE* S 88°18'19"W, with the north line of U. S. Highway 66, a distance of 490.46 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS", being the most southeasterly corner of a called 3.989 acre tract of land being titled as "Highway 205 Bypass R.O.W." in City of Rockwall vs. John Cullins and Burks T. Payne, Jr., Cause No. 180-633, recorded in Instrument No. 2009-00410863, Deed Records, Rockwall County, Texas, also known as John King Boulevard;

*THENCE* Northwesterly with the east line of said 3.989-acre tract and John King Boulevard, the following seven (7) calls:

N 30°39'57" W, a distance of 19.44-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 59°20'03" W, a distance of 21.30-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 30°39'57" W, a distance of 211.63 feet-to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

Northwesterly with a curve to the right having a radius of 1940.00 feet, a central angle of 25°25'15", and an arc length of 860.73-feet, whose chord bears N 17°57'20" W, a distance of 853.69 feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 158.73-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 84°45'18" E, a distance of 20.00-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 05°14'42" W, a distance of 136.88-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS" in the south line of a called 10.942-acre tract of land described in deed to City of Rockwall, recorded in Instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

*THENCE* N 89°26'01" E, with the south line of said 10.942-acre tract, a distance of 15.52-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof;

*THENCE* N 00°10'47" W, with the east line of said 10.942-acre tract, a distance of 271.63-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being the southwest corner of a 16.000-acre tract of land described as Tract 2 in deed to Betty Bogard, recorded in Instrument No. 2008-00396742, Deed Records, Rockwall County, Texas;

*THENCE* N 89°54'11" E, with the south line of said 16.000-acres, a distance of 842.15 feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being the southeast corner thereof and being in the west line of said 73.2744-acre tract;

**Exhibit 'A':**  
*Legal Description*

*THENCE* S 01°28'09" E, with the west line of said 73.2744 acre tract of land, a distance of 845.72 feet to a 1/2 inch rebar set with cap stamped "G&A CONSULTANTS";

*THENCE* over, across, and through said 73.2744-acre tract the following five (5) courses and distances:

S 37°47'00" E, a distance of 135.09-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

N 88°31'51" E, a distance of 259.75-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 66°00'00" E, a distance of 266.78-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

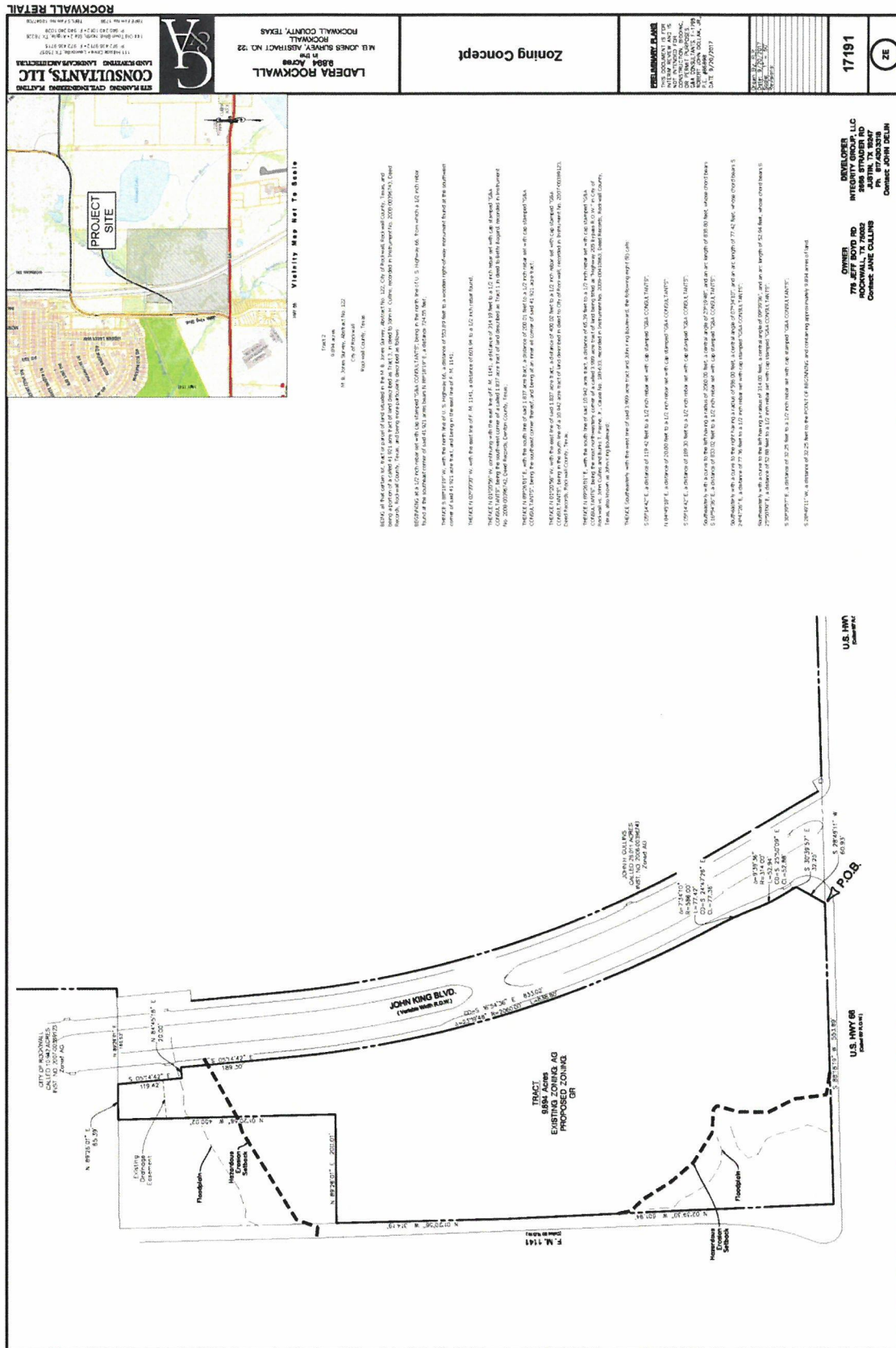
S 30°00'00" R, a distance of 384.58-feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS";

S 64°00'00" E, a distance of 352.92 feet to a ½-inch rebar set with cap stamped "G&A CONSULTANTS", being in the south line of said 73.2744-acre tract and the north line of U.S. Highway 66;

*THENCE* S 89°18'14" W, with the south line of said 73.2744-acre tract, and the north line of U.S. Highway 66, a distance of 1077.53-feet to the *POINT OF BEGINNING* and containing approximately 37.800-acres of land.



# Exhibit 'B': Concept Plan: Tract 1



**Exhibit 'B':**  
*Concept Plan: Tract 2*

[illegible]

**Exhibit 'C':**  
*PD Development Standards*

***PD Development Standards.***

*Tract 1: 9.894-Acres of Non-Residential Property*

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 1* of the *Subject Property*; however, the following additions and conditions shall apply:

The following land uses shall be expressly prohibited on the *Subject Property*:

- ☒ Convent or Monastery
- ☒ Hotel or Motel
- ☒ Hotel, Residence
- ☒ Cemetery/Mausoleum
- ☒ Mortuary or Funeral Chapel
- ☒ Social Service Provider
- ☒ Billiard Parlor or Pool Hall
- ☒ Carnival, Circus, or Amusement Ride
- ☒ Commercial Amusement/Recreation (*Outside*)
- ☒ Gun Club, Skeet or Target Range (*Indoor*)
- ☒ Astrologer, Hypnotist, or Psychic Art and Science
- ☒ Night Club, Discotheque, or Dance Hall
- ☒ Secondhand Dealer
- ☒ Car Wash, Self Service
- ☒ Retail Store with Gasoline Product Sales (*Any Amount of Dispensers*)
- ☒ Service Station
- ☒ Mining and Extraction (*Sand, Gravel, Oil & Other*)
- ☒ Helipad
- ☒ Railroad Yard or Shop
- ☒ Transit Passenger Facility

The following additional use shall be permitted through a Specific Use Permit (SUP) on the *Subject Property*:

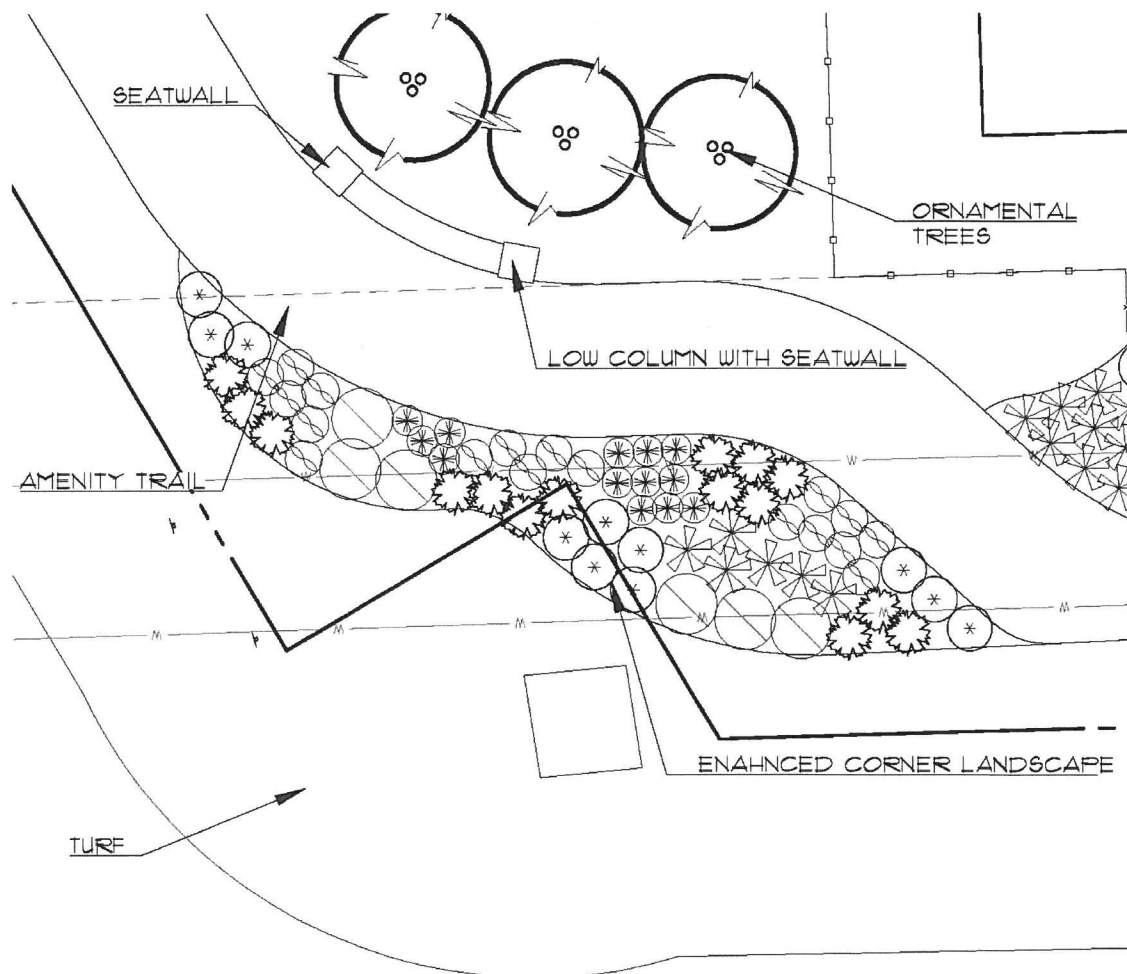
- ☒ Garden Supply/Plant Nursery

- (2) *Density and Dimensional Requirements.* Any development on *Tract 1* of the *Subject Property* shall be subject to the development standards required for properties in a General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (3) *Landscape Buffers.* All landscape buffers and plantings located within the buffers shall adhere to the following:
- (a) *Landscape Buffer (SH-66).* A minimum of a 15-foot landscape buffer shall be provided along the frontage of SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to SH-66.



**Exhibit 'C':**  
**PD Development Standards**

- (b) *Landscape Buffer and Sidewalks (John King Boulevard)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 15-foot landscape buffer adjacent to John King Boulevard.
- (c) *Landscape Buffer (FM-1141)*. A minimum of a 15-foot landscape buffer shall be provided along the frontage of FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a five (5) foot sidewalk situated within the 15-foot landscape buffer adjacent to FM-1141.
- (4) *Intersection Enhancements*. In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide an intersection enhancement at the corner of the intersection of Williams Street (SH-66) and John King Boulevard that generally conforms to the following design:



**Exhibit 'C':**  
**PD Development Standards**

Tract 2: 28.011-Acres of Residential Property

- (1) Permitted Uses. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on *Tract 2* of the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- ☒ Activity Center
- ☒ Community Pool
- ☒ Gazebos/Pavilions
- ☒ Sports Courts

- (2) Unit Composition and Layout. The unit composition and layout shall generally conform to the *Concept Plan* for *Tract 2* depicted in *Exhibit 'B'* and stated as follows:

Unit Type	Unit Dimensions	Minimum Unit Size (SF)	Dwelling Units (#)	Dwelling Units
1	44.5' x 80'	1,600 SF	11	09.40%
2	42' x 77'	1,600 SF	27	23.07%
3	42' x 72'	1,600 SF	10	08.55%
4	42' x 70'	1,600 SF	26	22.22%
5	54' x 60'	1,600 SF	21	17.95%
6	64' x 50'	2,100 SF	6	05.13%
7	36' x 59'	1,325 SF	16	13.68%
Total Units:			117	

NOTES REGARDING LOT VARIATIONS TO THE UNIT COMPOSITION:

Regardless of the above unit mix the following variations shall be permitted:

- (1) Lot 1 as depicted on the concept plan in *Exhibit 'B'* of this ordinance may be developed with interchange *Unit Types 2, 3 & 4*.
- (2) Lot 2 as depicted on the concept plan in *Exhibit 'B'* of this ordinance may be developed with interchange *Unit Types 3 & 4*.
- (3) Lot 3 as depicted on the concept plan in *Exhibit 'B'* of this ordinance may be developed with interchange *Unit Types 3 & 4*.
- (3) Density and Dimensional Requirements. The maximum permissible density for the *Subject Property* shall not exceed 3.1-units/acre; however, in no case should the proposed development exceed 117 single-family, residential units. The *Subject Property* shall maintain conformance with the following requirements:
- (a) Condominium Requirement. The property shall be established as a condominium development pursuant to the requirements of *Chapter 82* of the *Texas Property Code*, and platted as a single lot.
- (b) Lot Dimensional Requirements. The proposed condominium lot shall adhere to the following setbacks:

Minimum Lot Width	1,000'
Minimum Lot Depth	490'
Minimum Lot Area	37.80-Acres
Minimum Setback Adjacent to John King Boulevard	95'
Minimum Setback Adjacent to SH-66	20'
Minimum Setback Adjacent to the Eastern & Northern Property Lines	10'
Minimum Setback Adjacent to the RPZ	0'
Minimum Lot Setback for the Eastern Property Adjacent to the RPZ	5'

**Exhibit 'C':**  
**PD Development Standards**

- (c) Internal Artificial Lot Requirements. The units constructed on the proposed condominium lot shall adhere to the following dimensional requirements for artificial lots:

Minimum Setback from a Private Street <sup>(1), (2) &amp; (3)</sup>	15'
Minimum Side Yard Distance Between Units	6'
Minimum Side Yard Setback from a Private Street <sup>(1) &amp; (2)</sup>	10'
Minimum Rear Yard Distance Between Units	20'
Maximum Height	35'

General Notes:

- <sup>1</sup>: This setback shall be measured from the back of curb.  
<sup>2</sup>: Variances of up to five (5) feet may be granted by the Director of Planning and Zoning on a case-by-case basis for artificial lots on curve-linear streets.  
<sup>3</sup>: The minimum length of a driveway shall be 20-feet as measured from the edge of the approach to the garage door.

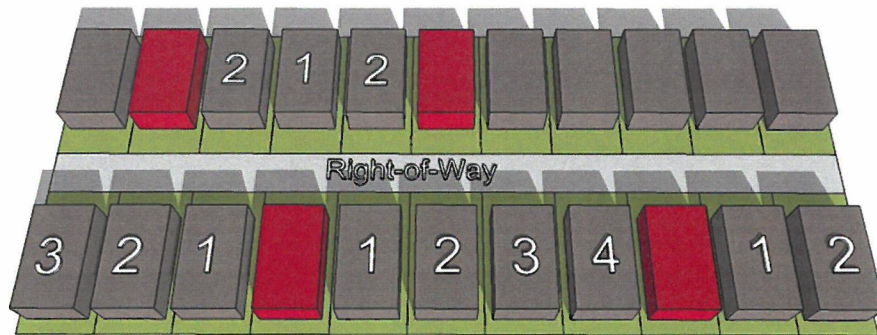
- (4) Building Standards. All development shall adhere to the following building standards:

- (A) Masonry Requirement. The minimum masonry requirement for the exterior façades -- excluding doors and windows -- of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, and cultured stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) shall be permitted to be used to meet up to 40% of the masonry requirement.
- (B) Roof Pitch. A minimum of an 8:12 roof pitch is required on the front elevation of all structures. Porches and rear elevations shall have a minimum of a 4:12 roof pitch.
- (C) Garage Orientation. Garages shall be oriented in a *traditional swing* (or *j-swing*) or in a front entry configuration. If a front entry garage configuration is utilized it shall face the street and shall be located even with the front building façade of the primary structure. On *traditional swing* (or *j-swing*) garages a second single garage door facing the street is permitted if it is located behind the width of the double garage door.
- (D) Anti-Monotony Restrictions. The development shall adhere to the following Anti-Monotony requirements (for spacing requirements see the illustration on the following page):
- (1) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.
  - (2) Front building elevations shall not repeat along any block face without at least four (4) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - (a) Number of Stories
    - (b) Brick Color
    - (c) Roof Type and Layout
    - (d) Articulation of the Front Façade
  - (3) All roof shingles shall be an architectural or dimensional shingle, and have a 30-year rating. (3-Tab Roofing Shingles are prohibited).

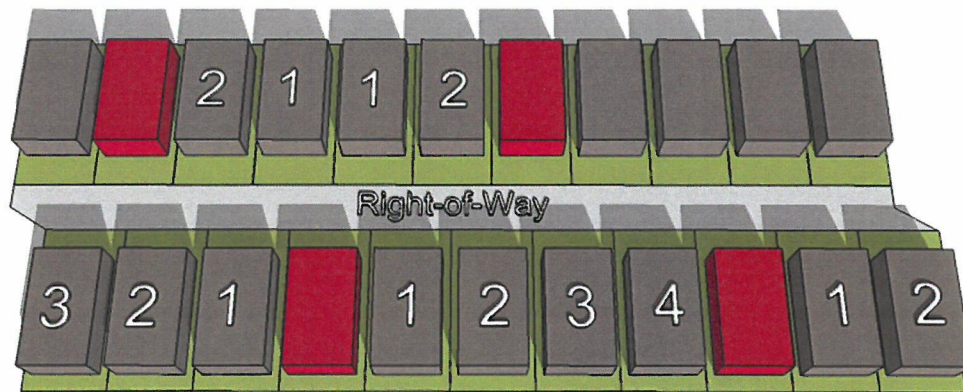


**Exhibit 'C':**  
**PD Development Standards**

*Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.*



*Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.*



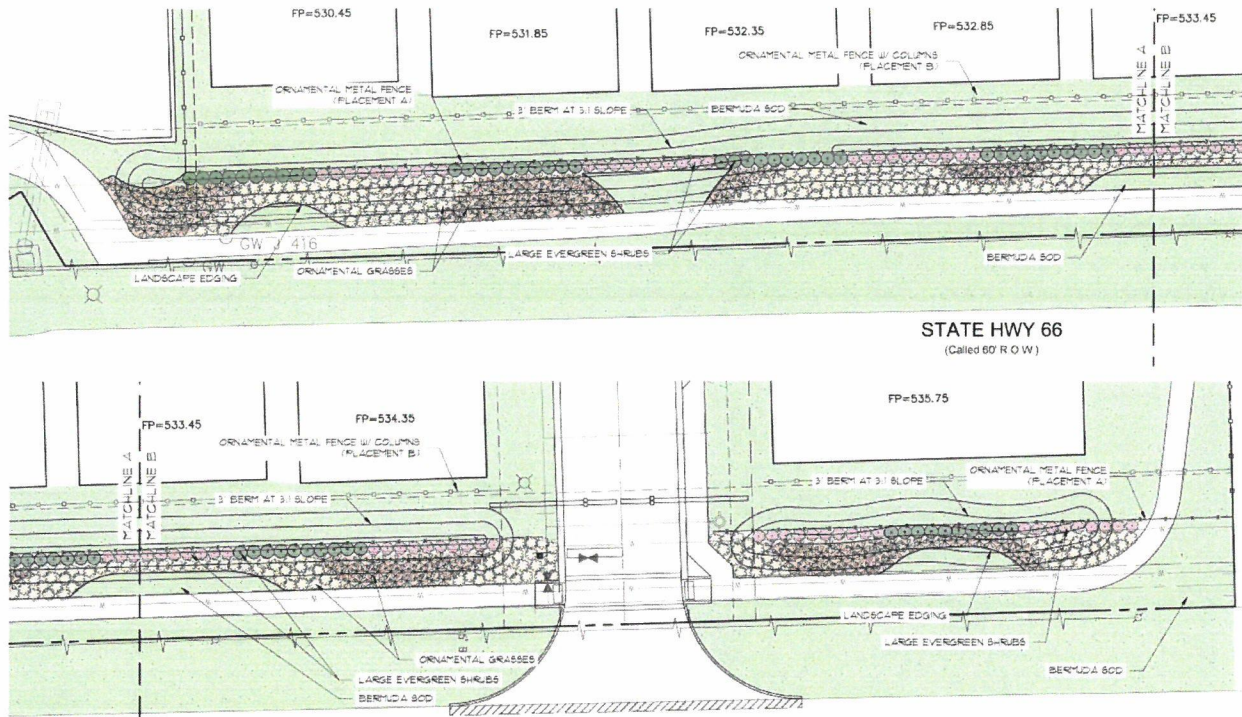
- (E) Fencing Standards. All residential privacy fencing shall be six (6) foot wrought iron/tubular steel fencing for transparent fencing and six (6) foot Simtek (or a similar product) fencing for non-transparent fencing. Fencing located along the exterior of the condominium lot shall be a minimum of six (6) foot wrought iron/tubular steel fencing with masonry columns a maximum of 45-feet on center. The masonry columns shall only be required adjacent to John King Boulevard and SH-66.

- (F) Landscape and Hardscape Standards.

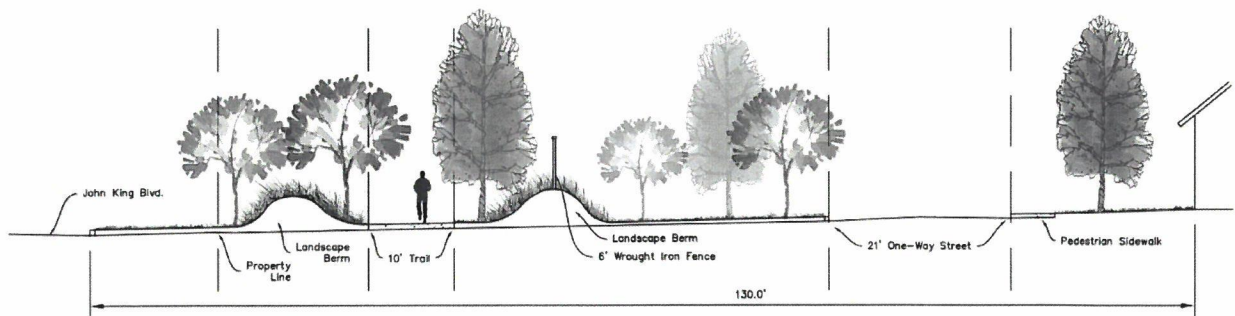
- (1) Residential Landscape. All canopy trees planted within the condominium lot and not situated within a required landscape buffer shall be a minimum of three (3) inches in caliper and accent trees shall be a minimum of four (4) feet in height. All tree plantings shall conform to the City's tree planting guidelines and requirements stipulated in Appendix F, *Landscaping Guidelines and Requirements*, of the Unified Development Code.
- (2) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA) and shall conform to the following:
  - (a) Landscape Buffer (SH-66). A minimum of a 20-foot landscape buffer shall be provided along the frontage of SH-66 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. The landscaping shall be generally as depicted below. The developer shall also be

## Exhibit 'C': PD Development Standards

responsible for the construction of a five (5) foot sidewalk situated within the 20-foot landscape buffer adjacent to SH-66.



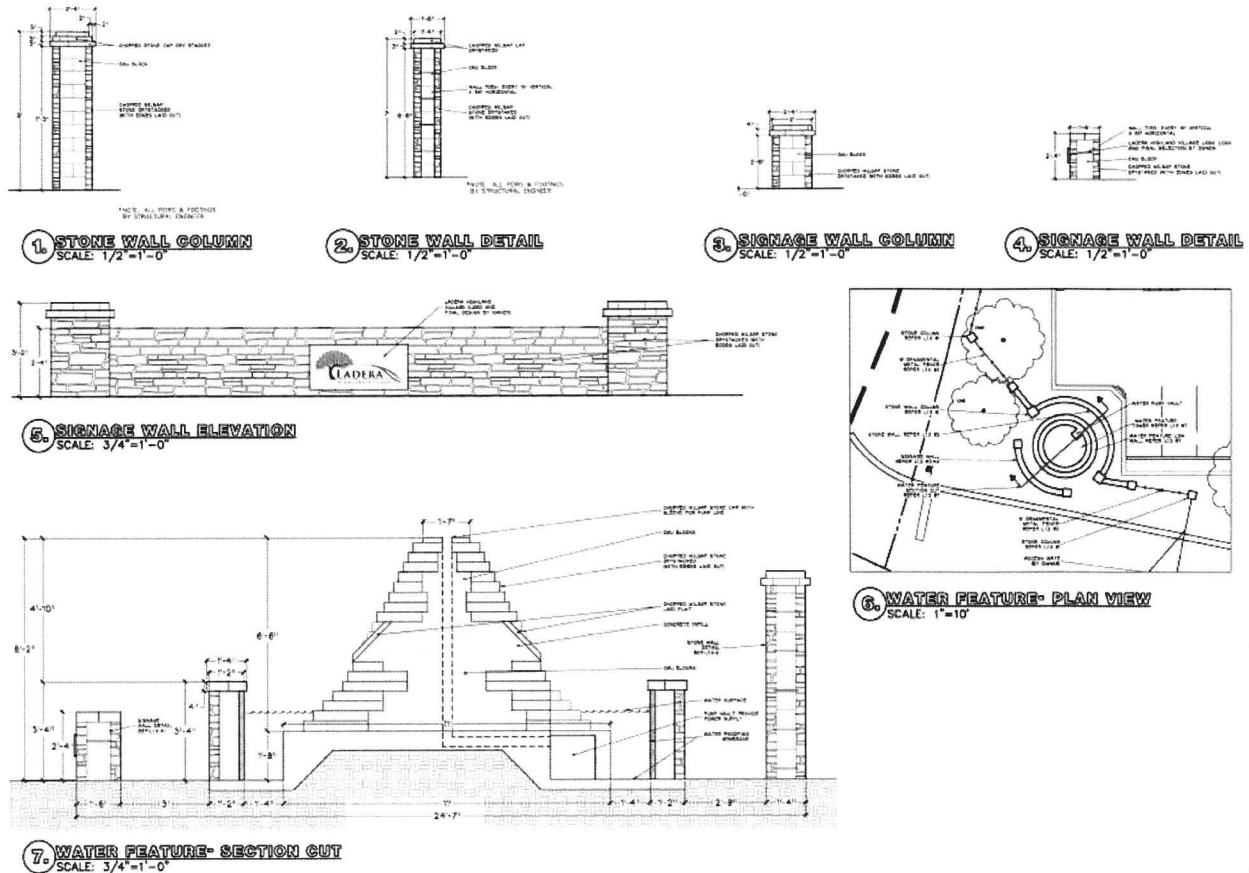
- (b) **Landscape Buffer and Sidewalks (John King Boulevard)**. A minimum of a 50-foot landscape buffer shall be provided along the frontage of John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. The developer shall also be responsible for the construction of a ten (10) foot sidewalk situated within the 50-foot landscape buffer adjacent to John King Boulevard. The required wrought iron fence along John King Boulevard may be situated within 40-feet of the right-of-way line. In addition, the design of the buffer shall generally conform to the following cross section:





## Exhibit 'C': PD Development Standards

- (3) **Irrigation Requirements.** Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (4) **Hardscape.** Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (G) **Trail Enhancements.** In accordance with the *John King Boulevard Design Concept Plan* the applicant shall be required to provide a trail enhancement element that generally conforms to the following design:



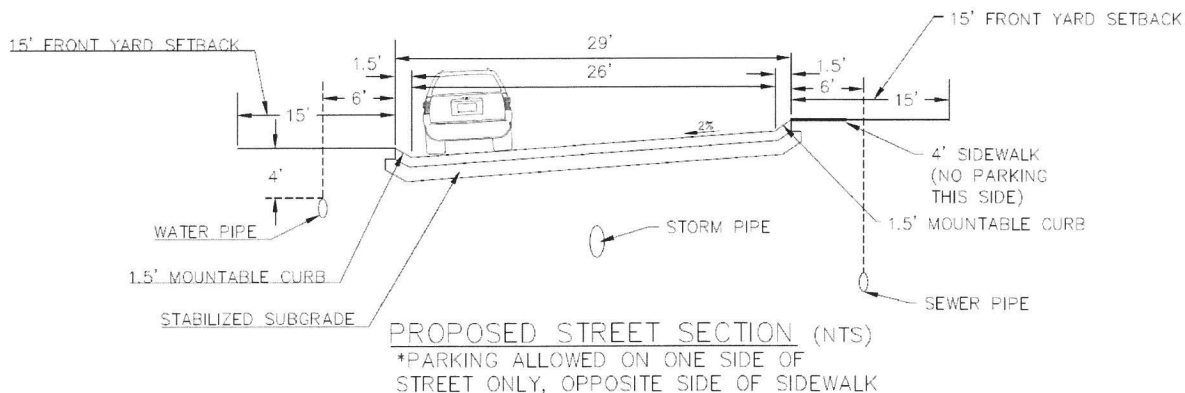
- (H) **Lighting.** Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to concentrate light within the development area.

Continued on next page ...



**Exhibit 'C':**  
**PD Development Standards**

- (I) Private Streets. With the exception of the 21-foot, one-way street situated adjacent to John King Boulevard the street cross sections for this development should conform to the following cross section:



- (J) Open Space. The development shall consist of a minimum of 38.00% open space as calculated from the gross land area, and generally conform to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall maintain all common open space areas. For the purposes of this Planned Development District open space shall include all front yards, rear yards, common areas, buffers and floodplain installed by the developer, but does not include any landscaping, trees, patios and other improvements installed by the homeowner. Floodplain shall be calculated at a rate of 50% (e.g. ½-acre for every acre provided).
- (K) Neighborhood Signage. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*.
- (L) Condominium Owner's Association (COA). A Condominium Owner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Chapter 82, Uniform Condominium Act*, of the *Texas Property Code*. The COA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, amenity centers, and screening fences associated with this development, but it is not required to maintain additional landscaping or improvements added by the homeowner.
- (M) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (3-phase lines), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to re-locate existing overhead power-lines along the perimeter of the *Subject Property*. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

**Exhibit 'C':**  
*PD Development Standards*

- (N) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code [*Ordinance No. 20-02*] shall apply to any application for variances to this ordinance.



February 14, 2022

TO: Alec Bidwell  
McAdams, Co.  
201 Country View Drive  
Roanoke, TX 76262

CC: John Delin  
RW Ladera, LLC  
361 W. Byron Nelson Boulevard, Suite 104  
Roanoke, TX 76262

FROM: Ryan Miller, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2021-056; *Amendment to PD-85 for Ladera Rockwall*

Mr. Delin:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on July 6, 2021. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance; and,
- (2) By approving this Zoning Amendment, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of the subject property from a High Density Residential designation to a Medium Density Residential designation; and,
- (3) Any construction resulting from the approval of this Zoning Amendment shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On January 11, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the amendment to Planned Development District 85 (PD-85) by a vote of 6-0, with Commissioner Thomas absent.

City Council

On January 18, 2022, the City Council approved a motion to approve the Zoning Amendment with the conditions of approval by a vote of 7-0.

On February 7, 2022, the City Council approved a motion to approve the Zoning Amendment with the conditions of approval by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 22-08*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 771-7745.

Sincerely,

Ryan Miller, AICP  
Director of Planning and Zoning