



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1818, 1824, AND 1860 AIRPORT ROAD

SUBDIVISION RBB/GCF PROPERTIES, LP PROPERTY D. HARR SURVEY ABSTRACT NO. 102

GENERAL LOCATION 16.89 ACRES SW OF AIRPORT AND INDIAN TRAIL

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI

CURRENT USE VACANT

PROPOSED ZONING N/A

PROPOSED USE WAREHOUSE

ACREAGE 16.89

LOTS [CURRENT] 1

LOTS [PROPOSED] 2

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER PLATFORM ROCKWALL, LP

☐ APPLICANT KIMLEY-HORN

CONTACT PERSON JUSTIN DAY

CONTACT PERSON PATRICK HOGAN, P.E.

ADDRESS 4131 SPICEWOOD SPRINGS ROAD, SUITE E4

ADDRESS 13455 NOEL ROAD TWO GALLERIA OFFICE TOWER, SUITE 700

CITY, STATE & ZIP AUSTIN, TX 78759

CITY, STATE & ZIP DALLAS, TX 75240

PHONE 512-225-1400

PHONE 972-770-1312

E-MAIL JDAY@INTREPID-EQUITY.COM

E-MAIL PATRICK.HOGAN@KIMLEY-HORN.COM

NOTARY VERIFICATION [REQUIRED]

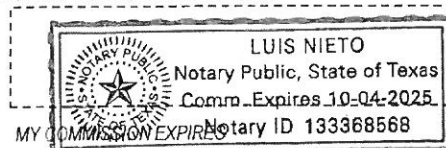
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JUSTIN Thomas Day [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF November 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF November 2022

OWNER'S SIGNATURE Justin Thomas Day

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





November 14, 2022

Henry Lee, AICP
City of Rockwall – Planning & Zoning
385 S. Goliad St.
Rockwall, TX 75087

**RE: *Platform Rockwall
Variance Request***

Dear Mr. Lee

On behalf of Platform Rockwall, we wish to submit a variance request to the City of Rockwall.

The variance is in regard to section 3.4.4.A of the City of Rockwall standards of design and construction to allow for the use of a retaining wall within the detention facility for the site. The design material of the wall will be coordinated with engineering and planning staff.

As noted during the Site Plan approval process compensatory measures, the owner has already agreed to is:

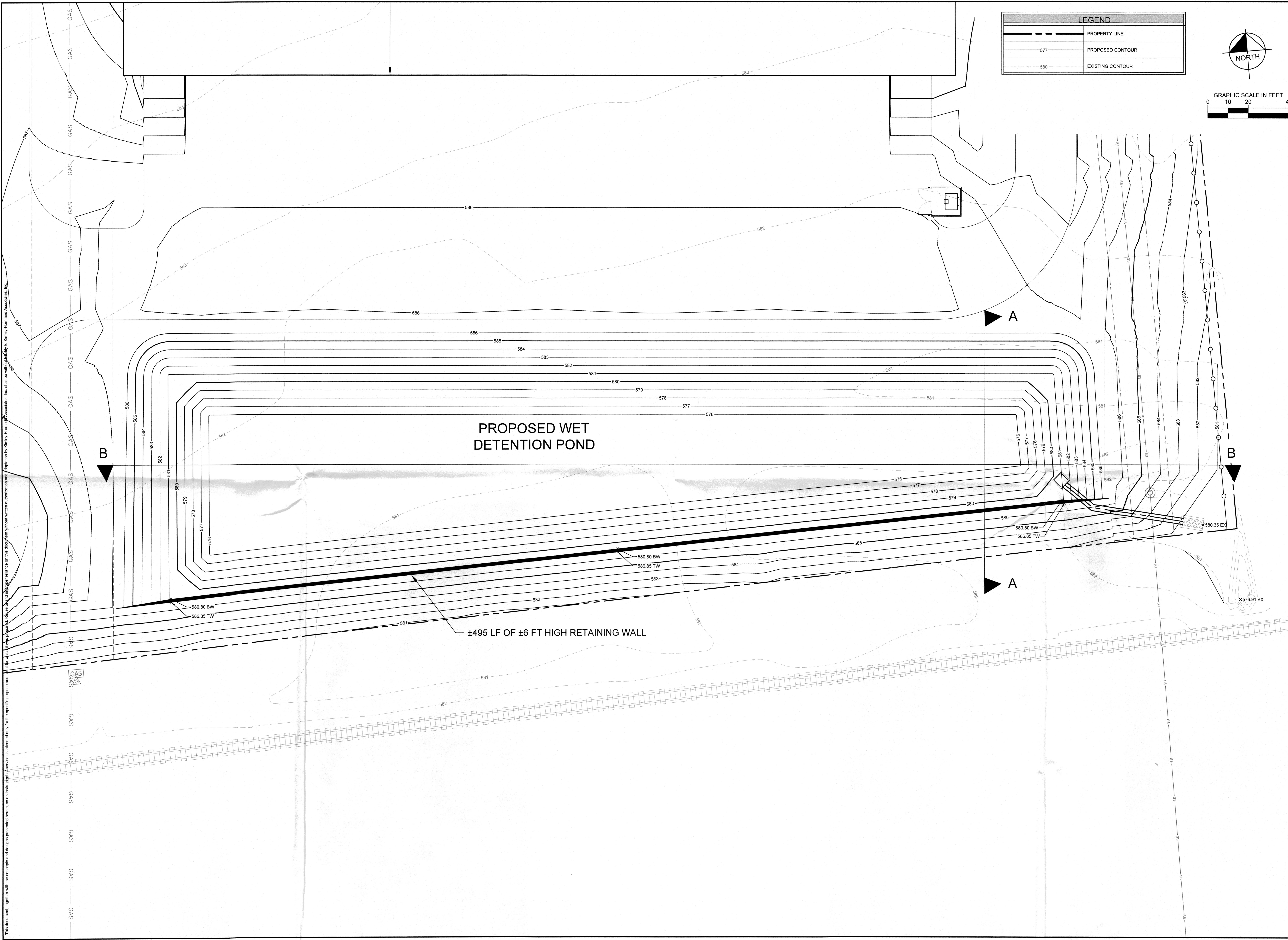
- Increase the new tree canopies by 5% beyond the minimum requirement
- Provide a bicycle rack at each building
- Provide sunscreens above the windows
- Provide building articulation on the front facades at smaller intervals utilizing panel steps.
- Provide additional vertical articulation at smaller intervals
- Increased landscape buffer by 20' on the east side of the property.

Reference supplemental documents for proposed location and preliminary design.

Regards,

KIMLEY-HORN AND ASSOCIATES, INC.

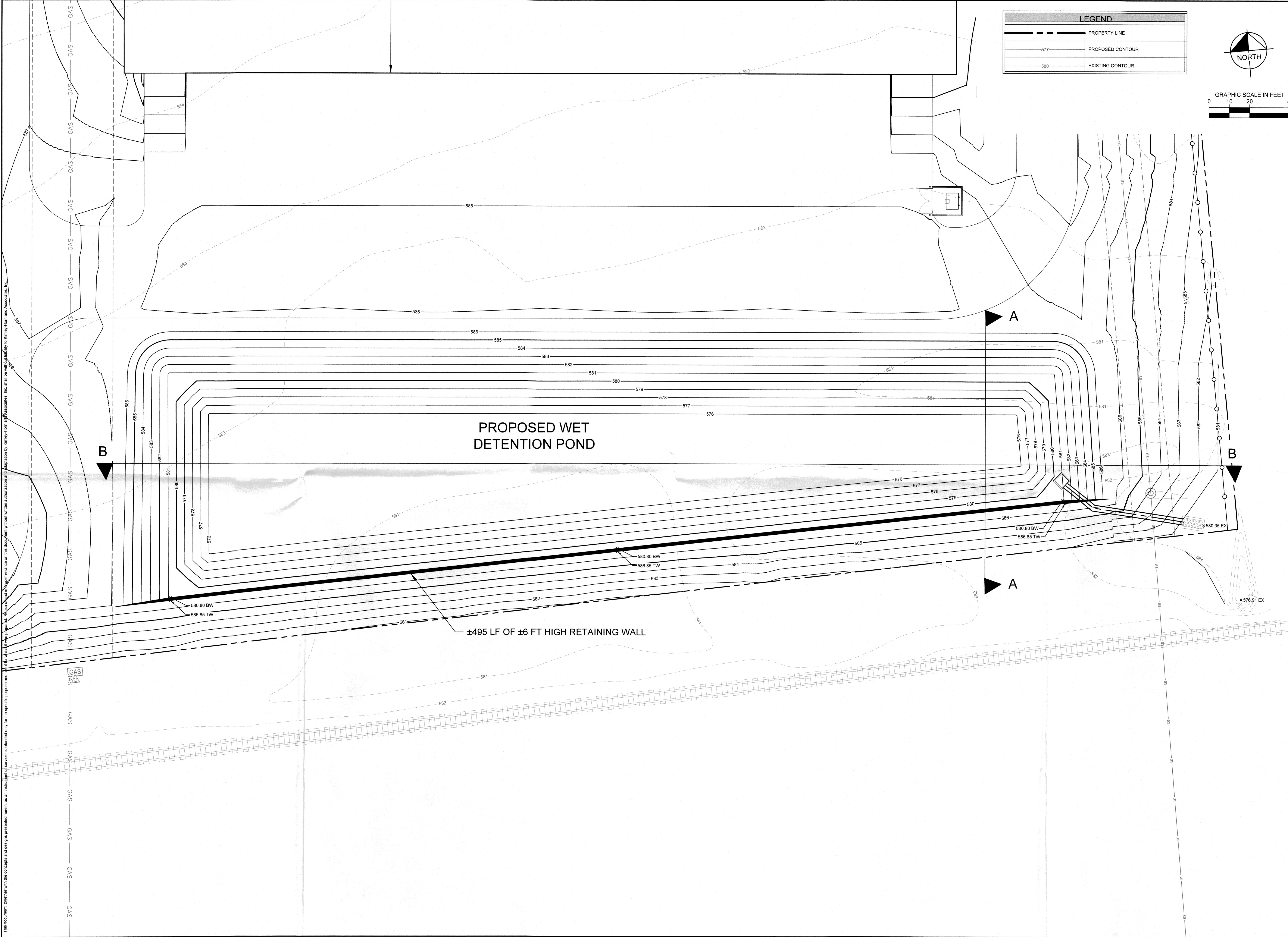
Patrick Hogan, P.E.



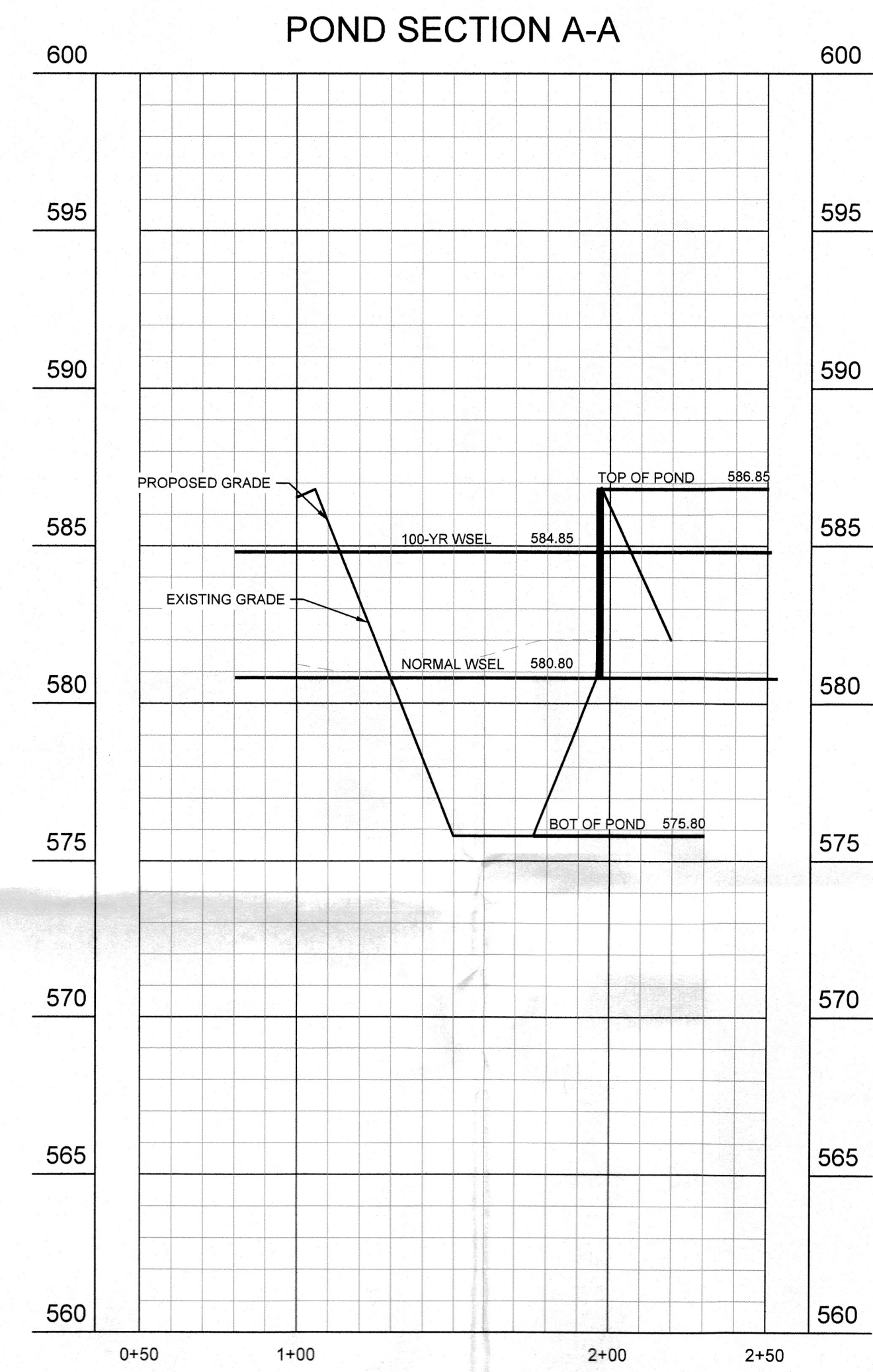
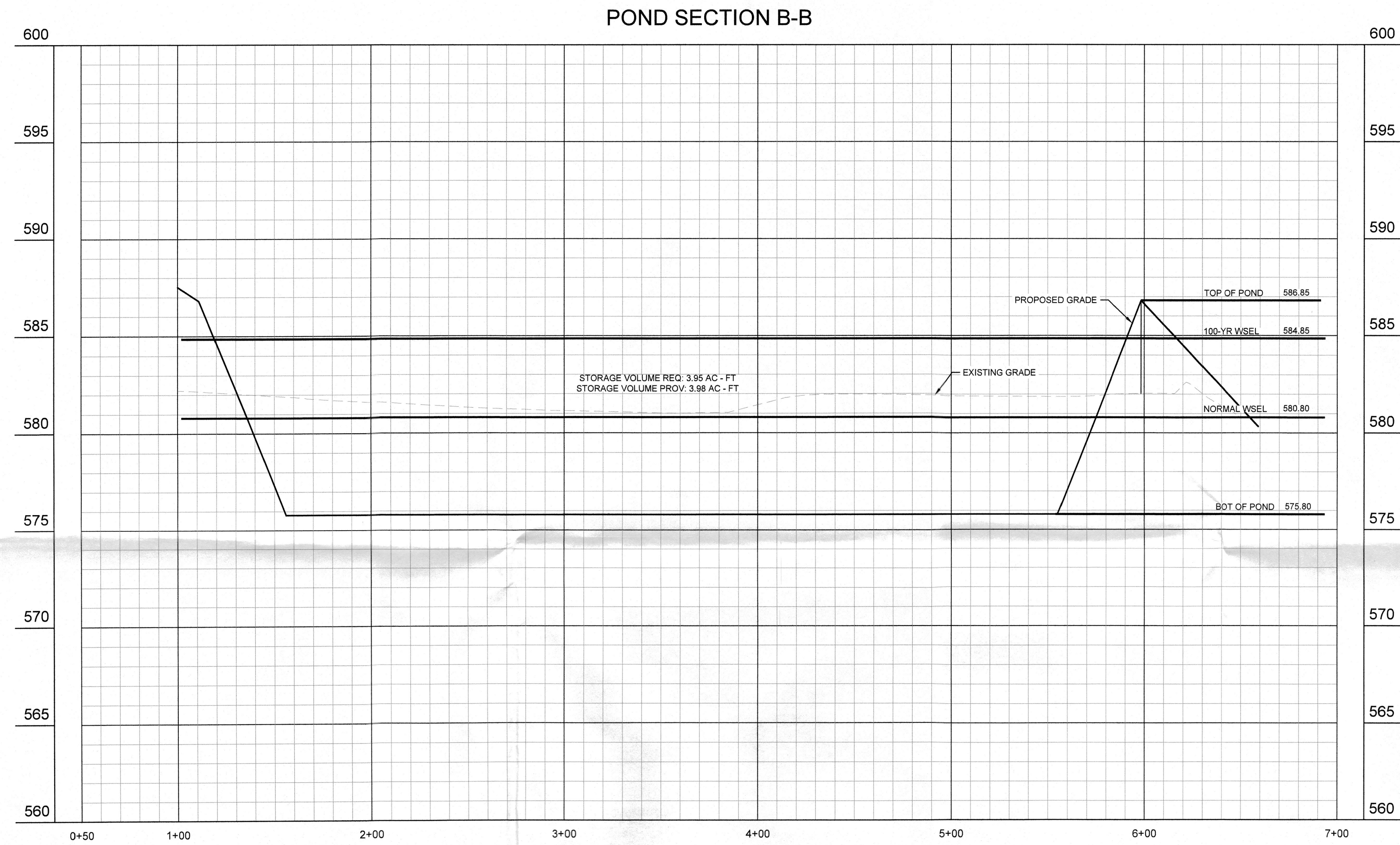
EX	DETENTION EXHIBIT	PLATFORM ROCKWALL	GROSS ACREAGE 16.88 AC					DATE 06/29/2022					SCALE AS SHOWN ...					DESIGNED BY ...					DRAWN BY ZRH					CHECKED BY PJH					ROCKWALL, TEXAS ROCKWALL COUNTY				
			Kimley»Horn															13465 NOEL ROAD, T-100 GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240 PHONE: 972-770-1300 FAX: 972-239-3820 WWW.KIMLEY-HORN.COM TX F-928 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.																			
			PRELIMINARY															FOR REVIEW ONLY Not for construction or permit purposes.																			
			Kimley»Horn															Engineer: PATRICK J. HOGAN P.E. No. 133888 Date: 06/28/22																			




IMAGES
DATE: 06/29/2022 11:15:42 AM
DATE SAVED: 11/11/2022 11:15:42 AM
DRAWN BY: KIMLEY-HORN AND ASSOCIATES, INC.
DRAWN DATE: 06/29/2022
DRAWN NAME: KIMLEY-HORN AND ASSOCIATES, INC.

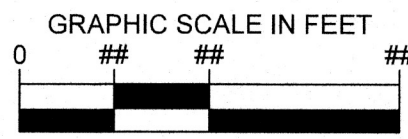
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and shall be void of any other purpose or use. No other reference to this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be made.

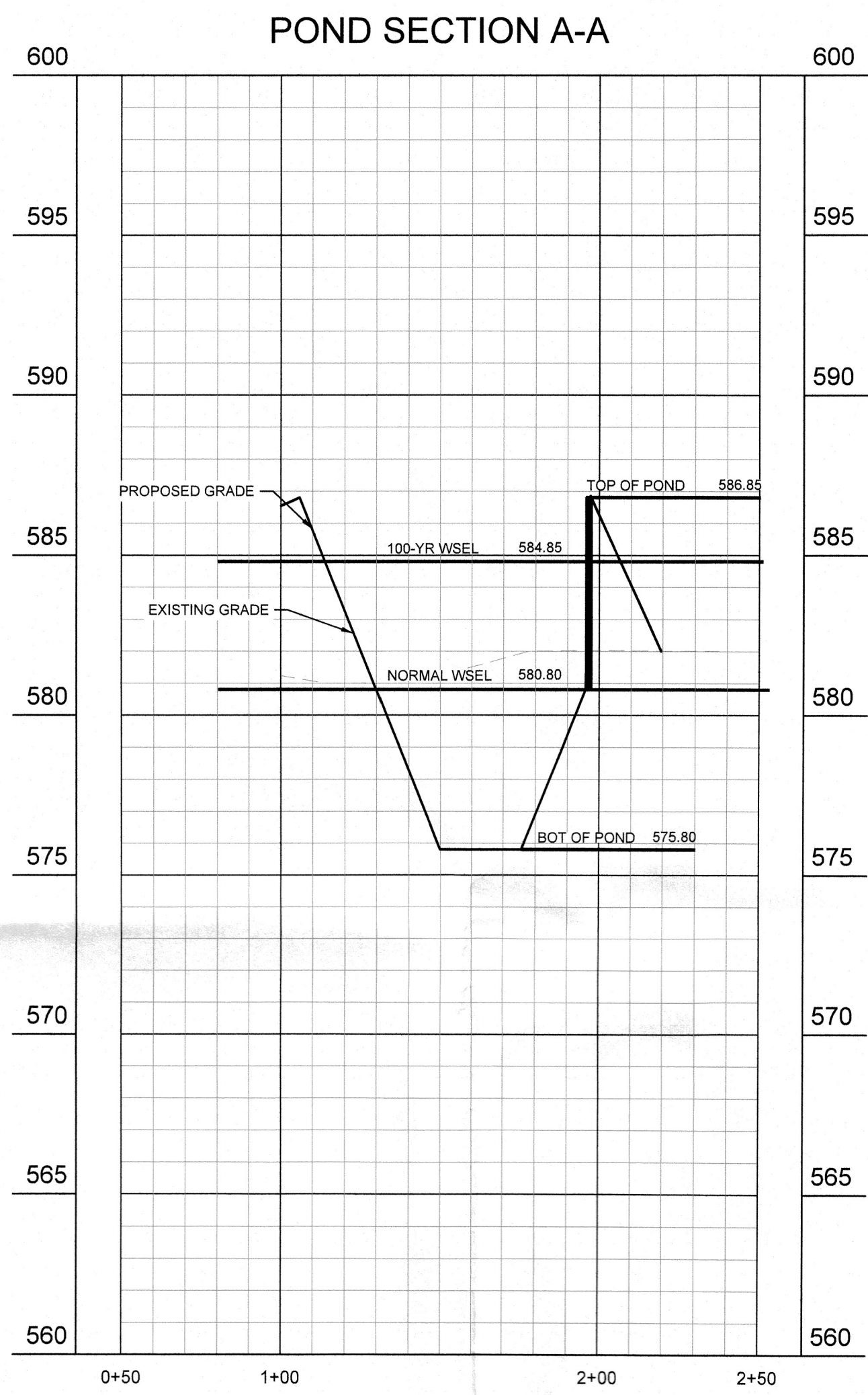
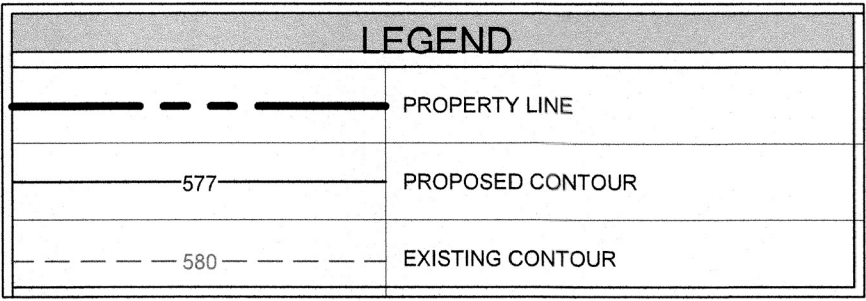


EX	DETENTION EXHIBIT	PLATFORM ROCKWALL	<div><div>PRELIMINARY</div><div>FOR REVIEW ONLY Not for construction or permit purposes.</div><div>Kimley»Horn</div><div>Engineer: PATRICK J. HOGAN P.E. No. 133888 Date: 06/29/22</div></div>	<div><div>13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240 PHONE: 972-770-1300 FAX: 972-238-3820 WWW.KIMLEY-HORN.COM TX F-928 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.</div></div>	No.	REVISIONS	DATE	BY
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LEGEND	
	PROPERTY LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR

[illegible]

[illegible]



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
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STAFF USE ONLY

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CITY ENGINEER:

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- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST (\$100.00)

NOTES:

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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 823 E. Interstate 30 Rockwall, TX 75032

SUBDIVISION Rockwall Market Center East

LOT 1 BLOCK A

GENERAL LOCATION I-30 & Mims Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial

CURRENT USE

Shopping Center

PROPOSED ZONING Commercial

PROPOSED USE

Office

ACREAGE 0.636

LOTS [CURRENT] 2

LOTS [PROPOSED] 3

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Kohl's Dept Stores

☒ APPLICANT Carroll Architects, Inc.

CONTACT PERSON Eric Borkenhagen

CONTACT PERSON Jeff Carroll

ADDRESS N56 W. 17000 Ridgewood Dr.

ADDRESS 750 E. Interstate 30
Suite 110

CITY, STATE & ZIP Menomonee Falls, WI. 53051

CITY, STATE & ZIP Rockwall, Texas 75087

PHONE 262-703-7000

PHONE 214-632-1762

E-MAIL eric.borkenhagen@kohls.com

E-MAIL jc@carrollarch.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ERIC BORKENHAGEN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ 20____. BY SIGNING THIS APPLICATION I AGREE THAT THE CITY OF ROCKWALL (THE "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY UNPUBLISHED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8 DAY OF November, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



Kohl's Department Stores, Inc

Eric N. Borkenhagen, P.E.
(262) 703-6014
Fax: (262) 703-7105
eric.borkenhagen@kohls.com

November 7, 2022

Bethany Ross
City of Rockwall- Planning & Zoning
385 S Goliad St
Rockwall TX 75087

Re: Kohl's Department Store
Potential Vet Clinic Outparcel

To whom it may concern:

It is Kohl's Department Stores understanding that a variance is needed as it relates to required parking counts at our Rockwall TX store, at 823 E Interstate 30, to allow for a potential veterinary clinic in front of this store. Kohl's understands and agrees that we would be left with 259 parking stalls to serve our store if this development occurred. It is our understanding that the operating documents for the shopping center allow for shared parking between the tenants within the shopping center. We have no issues with the developer of the vet clinic requesting to be on the next Planning & Zoning agenda as part of the approval of their project. Thank you for your time on this matter and we do appreciate being a part of your community.

Sincerely,



Kohl's Department Stores, Inc.
Eric Borkenhagen
Real Estate Manager

Jeff Carroll

From: Jeff Carroll
Sent: Friday, November 4, 2022 4:53 PM
To: bross@rockwall.com
Subject: Kohl's Parking issue

Bethany,

The square footage breakdown

Retail – 76,202 SF / 250 SF = 304.80

Office – 3,531 SF / 300 SF = 11.77

Whse – 13,111 SF / 1000 = 13.11

Total Parking required = 329. 68 (330 Spaces)

Total on site = 259 Spaces

Vet clinic has (19) extra spaces

Total spaces for variance = 52 spaces

Let me know if this is what you think we need to show. If not please mark up and I'll send to them.

Thx,
JC



Jeffrey Carroll, Architect

Carroll Architects, Inc.

750 E. Interstate 30, Ste. 110

Rockwall, Texas 75087

T. 972.732.6085

C. 214.632.1762



An aerial photograph of a parking lot and surrounding area. A large red boundary outlines a specific section of the lot. Yellow numbers are placed near various cars, likely indicating a count or category. A dashed yellow line separates a portion of the lot, labeled '-92', from the rest. A white text box in the bottom left corner provides a summary of the counts.

Total: 351
OPL: 92
Total minus OP = 259

IRRIGATION PERFORMANCE NOTES

1. All equipment reference Toro equipment catalog unless otherwise indicated.
2. LAWN SPRAY HEADS ARE 570C-4P installed per detail.
3. SHRUB SPRAY HEADS ARE 570C-12P installed as per detail.
4. ELECTRIC CONTROL VALVES shall be 1000CR installed per detail shown. Size valves as shown on plans. Valves shall be installed in valve boxes large enough to permit manual operation, removal of solenoid and/or valve cover without any earth excavation.
5. QUICK COUPLER VALVES shall be VD75R installed as per detail shown. Swing joints shall be constructed using 3/4" sch. 80 elbows. Contractor shall supply owner with three (3) couplers and three (3) hose swivel els.
6. AUTOMATIC CONTROLLER shall be installed at location shown. Power (120V) shall be located in a junction box within five feet (5') of controller location by other trades.
7. All 24 volt valve wiring is to be UF 14 single conductor. All wire splices are to be permanent and waterproof.
8. SLEEVES shall be installed by General Contractor. Sleeve material shall be Sch. 40. Sizes as indicated on plans.
9. Ten days prior to start of construction, contractor shall verify static water pressure. If static pressure is less than 50 PSI, do not start work, until notified to do so by owner.
10. All mainline and lateral piping shall have a minimum of 12" of cover. All piping under paving shall have a minimum of 18" of cover.
11. The irrigation contractor shall coordinate installation of the system with the landscape contractor so that all plant material will be watered in accordance with the intent of the plans and specifications.
12. The irrigation contractor shall select proper arc and radius for each nozzle to insure 100% and proper coverage of all lawn and plant material. All nozzles in parking lots and planting beds shall be low angle to minimize overspray on pavement surfaces.

IRRIGATION PERFORMANCE SPECIFICATIONS

1. The contractor shall submit irrigation system head layout and materials list to architect for review and approval prior to installation.
2. Plans shall be drawn to the same scale as this plan.
3. Contractor shall provide accurate record drawings of the completed irrigation system to the owner prior to final payment.
4. Square head spacing of heads shall not be permitted. Contractor shall use triangular head spacing in all cases.
5. The general contractor shall provide the electrical to 120 volt site of the electrical controller. Irrigation contractor to make connections as required.
6. The general contractor shall provide the water connection specified on the plans.
7. The irrigation contractor shall coordinate location and size of meter required.
8. The irrigation contractor shall attach to the meter and begin the work.
9. The irrigation contractor shall select the proper arc and radius for each nozzle to provide 100% coverage of all landscape areas shown on site.
10. The irrigation system shall conform with all local city and county codes and ordinances.
11. Irrigation contractor shall verify and exercise extreme care in excavating and working near existing trees, power lines, above and below ground, existing utilities, and proposed utility areas.
12. Irrigation and landscape contractor to verify all existing utilities services on site prior to beginning work. If any question as to location arises notify architect and owner.
13. The irrigation sleeves required are by the General contractor and are located on this plan and shall be coordinated by the contractor with the Civil Engineering plans.

LANDSCAPE IRRIGATION WARRANTY

1. From time of final acceptance and payment of the completed work.
2. Irrigation system shall be warranted for one year parts and labor.

LEGEND

Landscape contractor shall warrant all plant material for a period of one year.

1-DBH PLANT MATERIAL KEY
PLANT SYMBOL - QUANTITY

4" P.V.C. IRRIGATION SLEEVE
SEE DETAIL

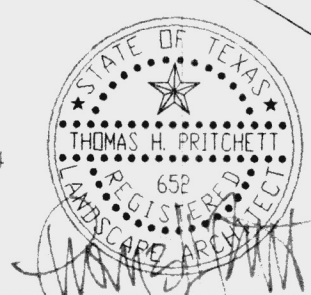
EXISTING 60' ROADWAY EASEMENT

SOIL AMENDMENT NOTES

- Soil Amendment "A" For Shrub and Ground Cover Beds (General)
1. Prior to soil amending, the sub-grade shall be 8" below finish grade to allow for the following amendments and fertilizer. The layer of soil amendments shall be 4" deep with a layer of mulch 2" deep as specified leaving a finish grade 2" below the adjacent paved areas. Excavation and/or fill may be required to achieve these grades.
 2. Application Rates for Soil Amendments:
 - a) Organic Soil Conditioner - 2" layer
 - b) Fertilizer - 10 lbs./1,000 sq. ft. of bed area.
 3. Amendments shall be uniformly spread and thoroughly cultivated to a light and friable consistency, by means of a mechanical rototiller into the top 2" of sub-grade which will make a bed of approximately 6" total depth of amended soil.
- Soil Amendment "B" Prepared back fill for Trees and Large Shrubs (3 gallon and larger)
1. Backfill material prior to back fill provide tree area and gravel.
 - a) Topsoil - 3 parts
 - b) Peat moss - 1 part
 - c) Sharp sand - 1 part
 2. Soil Amendment "C" Soil Preparation for Lawn and Grass Areas.
 - a) Pre-plant weed control Roundup to be applied uniformly to treat for weeds.
 - b) Soil amendments for lawn and grass areas:
 - i) For hydro-seeding preparation and soil soil operations.
 - ii) Prior to soil amending, the sub-grade shall be 2" below finish grade to allow for the following amendments and fertilizer. The layer of soil amendments shall be 4" deep leaving a finish grade 2" below the adjacent paved areas. Excavation and/or fill may be required to achieve these grades.
 - c) Application Rates for Soil Amendments:
 - i) Topsoil - 12" layer on 100% of cut area.
 - ii) Fertilizer - 10 lbs./1,000 sq. ft. of bed area.
 - d) Amendments shall be uniformly spread and thoroughly cultivated to a light and friable consistency, by means of a mechanical rototiller into the top 2" of sub-grade which will make a bed of approximately 4" depth of amended soil.

T. H. PRITCHETT / ASSOCIATES

LANDSCAPE ARCHITECTURAL DESIGN AND SITE PLANNING
3017 WESTMINSTER DRIVE FARMERS BRANCH, TEXAS 75234
972-484-7373 FAX 972-484-1230
TOM @ LANDDESIGNPLAN.COM



PSA ENGINEERING
17400 DALLAS PARKWAY, SUITE 110
DALLAS, TEXAS 75287
(972) 248-9651 FAX (972) 248-9681

DESIGN: TOM PRITCHETT
DRAWN: THP
CHECKED: TOM PRITCHETT
PSA PROJECT NO: 9812
SCALE: 1"=60'

HOME DEPOT

(FUTURE)

LANDSCAPE NOTES

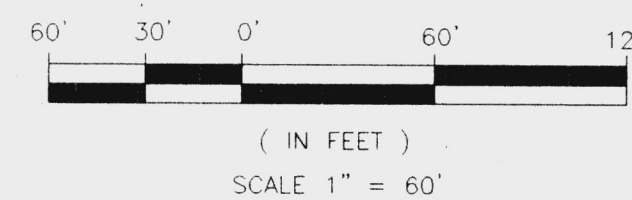
1. Contractor shall be responsible for being familiar with all underground utilities, pipes, and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
2. Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions, and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Landscape Architect at 1972-484-7373. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
3. Contractor shall be responsible for any coordination with General Contractor and Subcontractors as required to accomplish planting operations.
4. If conflicts arise between size of areas and plans, Contractor is to contact Landscape Architect for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate the materials.
5. All plant material shall be approved by the Landscape Architect and Owner prior to installation.
6. Final location of all plant material shall be subject to the approval of the Landscape Architect and Owner.
7. Contractor shall notify Landscape Architect 48 hours prior to commencement of work to coordinate project inspection schedules. See specifications for observation schedule.
8. Contractor is responsible for maintaining all shrub and ground cover areas in a weed-free, debris-free, and bermuda-free condition. All bermuda shall be dug out by the roots and removed from the site.
9. All planting areas shall slope away from buildings towards the area drains at a 2% minimum slope. Finish grade shall be 1" below finish paving surface in adjacent lawn areas and 2" in shrub areas. Some soil elevation may be required to accomplish finish grade. (See soil preparation specifications.)
10. Crown of all plant root systems shall be slightly higher after setting adjacent soil.
11. See details and specifications for staking and guying methods, plant pit dimensions and back fill requirements. Contractor shall be responsible for the tree's stability for the duration of the warranty period.
12. Shrubs, groundcovers, and seasonal color shall be triangularly spaced at spacing shown on plant list and shall receive a 2" layer of bark mulch.
13. All ground covers to be held back 12" from edge of shrub planting areas and 6" from edge of paving.
14. Seasonal color will be selected by the Landscape Architect prior to the installation time.
15. All trees shall be located a minimum of 4 feet from walls, headers, walks, and other trees within the project. If conflicts arise between size of areas and plans, Contractor is to contact Landscape Architect for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate the materials.
16. Slope areas shall not have planting installed until all gullies to ruts have filled in with adjacent soil and compacted.
17. Landscape Contractor to receive site graded 1.0 of 1" of finish grade.
18. It is the Contractor's responsibility to furnish plant materials free of pest or plant disease.
19. It is the Contractor's obligation to warranty all plant materials for 365 days from final completion date.

PLANT LIST

TREE TYPES					
SYMBOL	PLANT NAME	BOTANICAL NAME	SIZE	HEIGHT	SPREAD
TREE TYPES					
LD-30	Live Oak	Quercus virginiana	3" cal.	10-12 ft.	4-5 ft.
RD-30	Red Oak	Quercus shumardii	3" cal.	10-12 ft.	4-5 ft.
BC-30	Bald Cypress	Taxodium distichum	3" cal.	10-12 ft.	4-5 ft.
LC-30	Leland Cypress	Cupressocyparis leylandii	3" cal.	10-12 ft.	4-5 ft.
CE-30	Cedar Elm	Ulmus crassifolia	3" cal.	10-12 ft.	4-5 ft.
YH-30	Youpan Holly	Ilex vomitoria	3" cal.	8-10 ft.	4-5 ft.
CM-30	Cremynette	Lagerströmia indica, red	3" cal.	8-10 ft.	4-5 ft.
SHRUB TYPES					
SAV	Savanna Holly	Ilex savanna	2 1/2" cal.	6 ft.	4 ft.
CAR	Cherry Laurel	Prunus caroliniana	2 1/2" cal.	6 ft.	4 ft.
DBH	Dwarf Burford Holly	Ilex cornuta/burfordii 'nana'	5 gal.	18"	18"
NBW	Dwarf Nandina	Nandina domestica 'nana'	1 gal.	12"	12"
JUN	Pfitzer Juniper	Juniperus chinensis	5 gal.	18"	18"
DYH	Dwarf Youpan Holly	Ilex vomitoria 'nana'	3 gal.	18"	18"
IND	Indian Hawthorne	Raphalepis indica	5 gal.	18"	18"
GROUNDCOVER TYPES					
MG	Monkey Grass	Phloxipogon japonicus	4" pots	12"	as shown
AJ	Asian Jasmine	Trachelospermum asiaticum	4" pots	12"	as shown
LS	Liriope Speciosa	Liriope speciosa	4" pots	12"	as shown
LM	Liriope	Liriope muscaris 'gigantica'	4" pots	12"	as shown
SCA	Seasonal Color	Selected for season by LA	4" pots	12"	as shown
DAY	Daylily	Heimericallis spp. Red	4" pots	12"	as shown
GRASS TYPES					
SDD	Bermuda Grass	Solid Sod, bermuda grass			

LANDSCAPE GENERAL NOTES CITY OF ROCKWALL, TEXAS

- SECTION 20-26 MANDATORY PROVISIONS
- (A) LANDSCAPE BUFFER STRIP
The site is not adjacent to a residential zoning district. There is an Elementary School to the south provided is a living screen.
- (B) SCREENING OF OFF STREET LOADING DOCKS
The off street loading area is screened with a fence.
- (C) ACCEPTABLE LANDSCAPE MATERIALS
All large trees used to meet this ordinance are 3" caliper and greater.
- (D) PROTECTION OF LANDSCAPE AREAS
All landscape areas are protected by concrete curbs.
- (E) IRRIGATION REQUIREMENTS
All landscape on site is irrigated by an automatic under ground irrigation system. See performance specifications.
- (F) SCREENING FROM RESIDENTIAL USES
There are no adjacent residential uses.
- (G) STREET LANDSCAPING
The site is adjacent to I.H. 30 and the 10 foot buffer strip is not required. The other road edges have a 10 foot buffer strip.
- (H) Right of way Landscape Requirements
The landscape area between the I.H. 30 curb and site property line is landscaped with sod. The grading and irrigation of this area is to be completed in the plans as shown.
- (I) THE CITY OF ROCKWALL
The irrigation plans shall be provided to the City by the selected contractor for approval and double check inspection.
- (J) PARKING LOT LANDSCAPING
The parking lot is landscaped with over 10,615 sq. ft. or over 5% landscape as shown.
- (K) SCREENING TRASH DUMPSTERS
The dumpsters are screened and behind wooden gates.
- (L) DIMENSIONS OF LANDSCAPE
The landscape areas are as shown. No planting areas is less than five feet wide.
- (M) REQUIRED LANDSCAPE
The minimum landscape area for this site is illustrated at 10%. The reduction from 15% is below the site is 1992,657 square feet and over 44,264 square feet are provided. The plan shows over 11 % landscape.
- (N) THE MINIMUM LANDSCAPE AREA FOR COMMERCIAL USES IS 10% INCLUDING CREDITS
The site has 515 total parking spaces. @ 1 per 20 the required trees on site are 26. There are over 26 trees shown on site. The sidewalks are concrete around the building area.
- SECTION 20-27 Credits towards Landscaping to reduce area by (Five) 5%.
- (B) Credit for Surface Parking Screening
The parking lot is shown to be screened from all public streets.
- (D) Credit for R.O.W. Landscaping as shown on I.H. 30 and Market
The landscape area in the R.O.W. on all roads is landscaped and irrigated.



PLAN PREPARED FOR PRELIMINARY
CITY OF ROCKWALL REVIEW 1/19/99

99-10

JERMARC ROCKWALL LTD

5949 SHERRY LANE, SUITE 700
DALLAS, TEXAS 75225
(214) 265-1414

LANDSCAPE & IRRIGATION

PLAN

ROCKWALL MARKET CENTER EAST
ROCKWALL, TEXAS

SHEET

LA.IRR.1

JAN.16,1999

86,000 S.F. Prototype
Brick Veneer

Kohl's Department Stores, Inc.
N56 W17000 Ridgewood Drive
Menomonee Falls, Wisconsin 53051

17400 DALLAS PARKWAY, SUITE 11
DALLAS, TEXAS 7528
(972) 248-9651 FAX (972) 248-968

Korsunsky Krank Erickson
Architects, Inc.

300 First Avenue North
Minneapolis, MN 55401
612/339-4200
FAX 342-9267

PARCEL 1	9.0142 ACRES	(392657 SF)
BUILDING AREA	86000 SF	
PARKING REQUIRED	430 SPACES	
PARKING SHOWN	523 SPACES + 15 HANDICAP SPACES	

AN ADDITION TO CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
E. P. GAINES CHISUM SURVEY, ABSTRACT NO. 64

No.	Date	Revision	Description

Project	PSA 9823.KOL	Sheet
Date	01-20-99	
Drawn by	MIR	
Checked by	PSS	

Copyright © 1997 by KKE Architects

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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

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- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1818, 1824, AND 1860 AIRPORT ROAD

SUBDIVISION RBB/GCF PROPERTIES, LP PROPERTY D. HARR SURVEY ABSTRACT NO. 102

GENERAL LOCATION 16.89 ACRES SW OF AIRPORT AND INDIAN TRAIL

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI

CURRENT USE VACANT

PROPOSED ZONING N/A

PROPOSED USE WAREHOUSE

ACREAGE 16.89

LOTS [CURRENT] 1

LOTS [PROPOSED] 2

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER PLATFORM ROCKWALL, LP

☐ APPLICANT KIMLEY-HORN

CONTACT PERSON JUSTIN DAY

CONTACT PERSON PATRICK HOGAN, P.E.

ADDRESS 4131 SPICEWOOD SPRINGS ROAD, SUITE E4

ADDRESS 13455 NOEL ROAD TWO GALLERIA OFFICE TOWER, SUITE 700

CITY, STATE & ZIP AUSTIN, TX 78759

CITY, STATE & ZIP DALLAS, TX 75240

PHONE 512-225-1400

PHONE 972-770-1312

E-MAIL JDAY@INTREPID-EQUITY.COM

E-MAIL PATRICK.HOGAN@KIMLEY-HORN.COM

NOTARY VERIFICATION [REQUIRED]

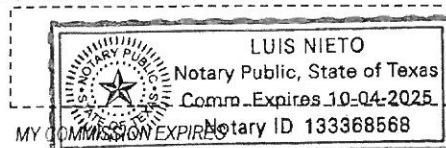
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JUSTIN Thomas Day [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

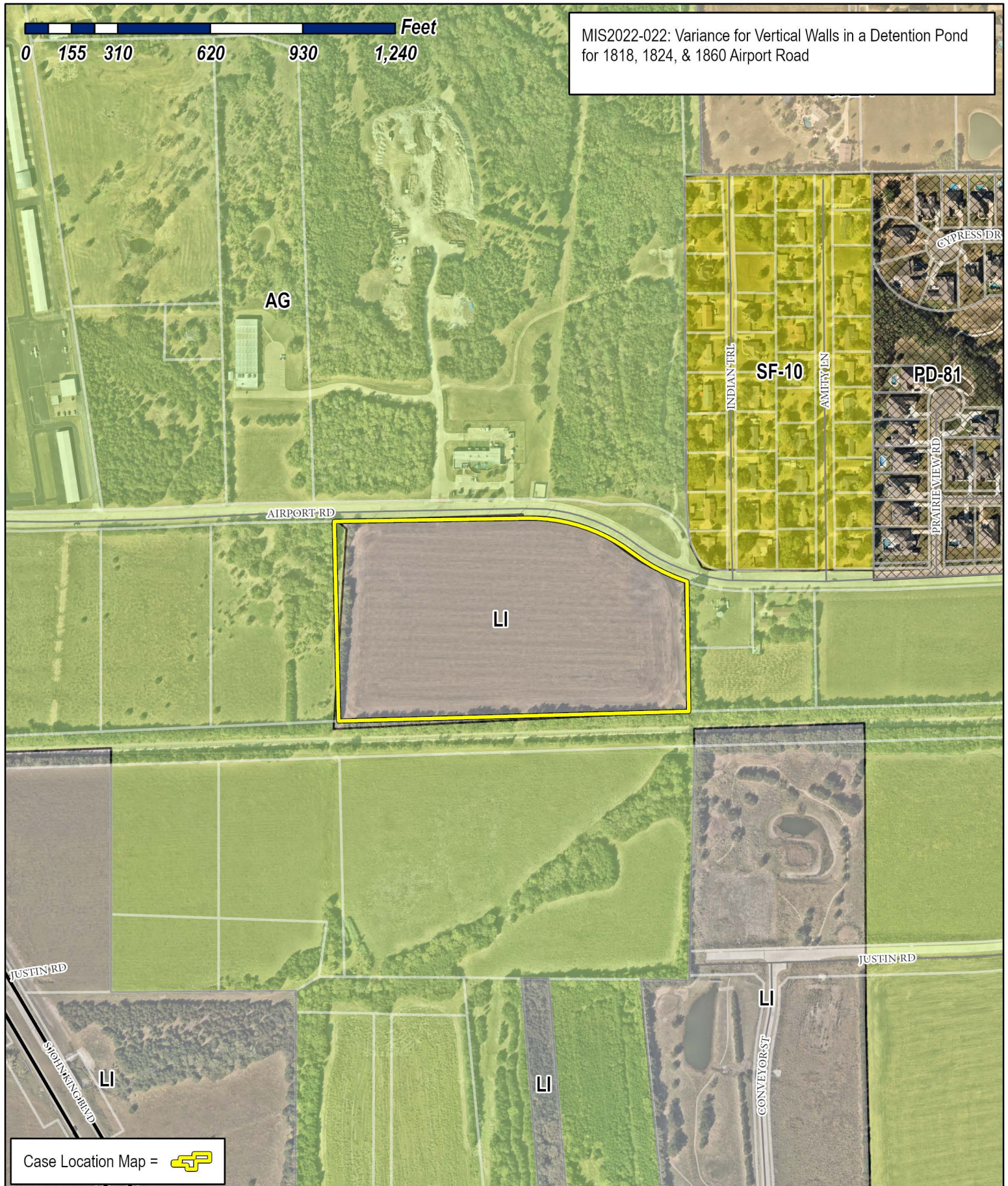
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GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF November 2022

OWNER'S SIGNATURE Justin Thomas Day

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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November 14, 2022

Henry Lee, AICP
City of Rockwall – Planning & Zoning
385 S. Goliad St.
Rockwall, TX 75087

**RE: *Platform Rockwall
Variance Request***

Dear Mr. Lee

On behalf of Platform Rockwall, we wish to submit a variance request to the City of Rockwall.

The variance is in regard to section 3.4.4.A of the City of Rockwall standards of design and construction to allow for the use of a retaining wall within the detention facility for the site. The design material of the wall will be coordinated with engineering and planning staff.

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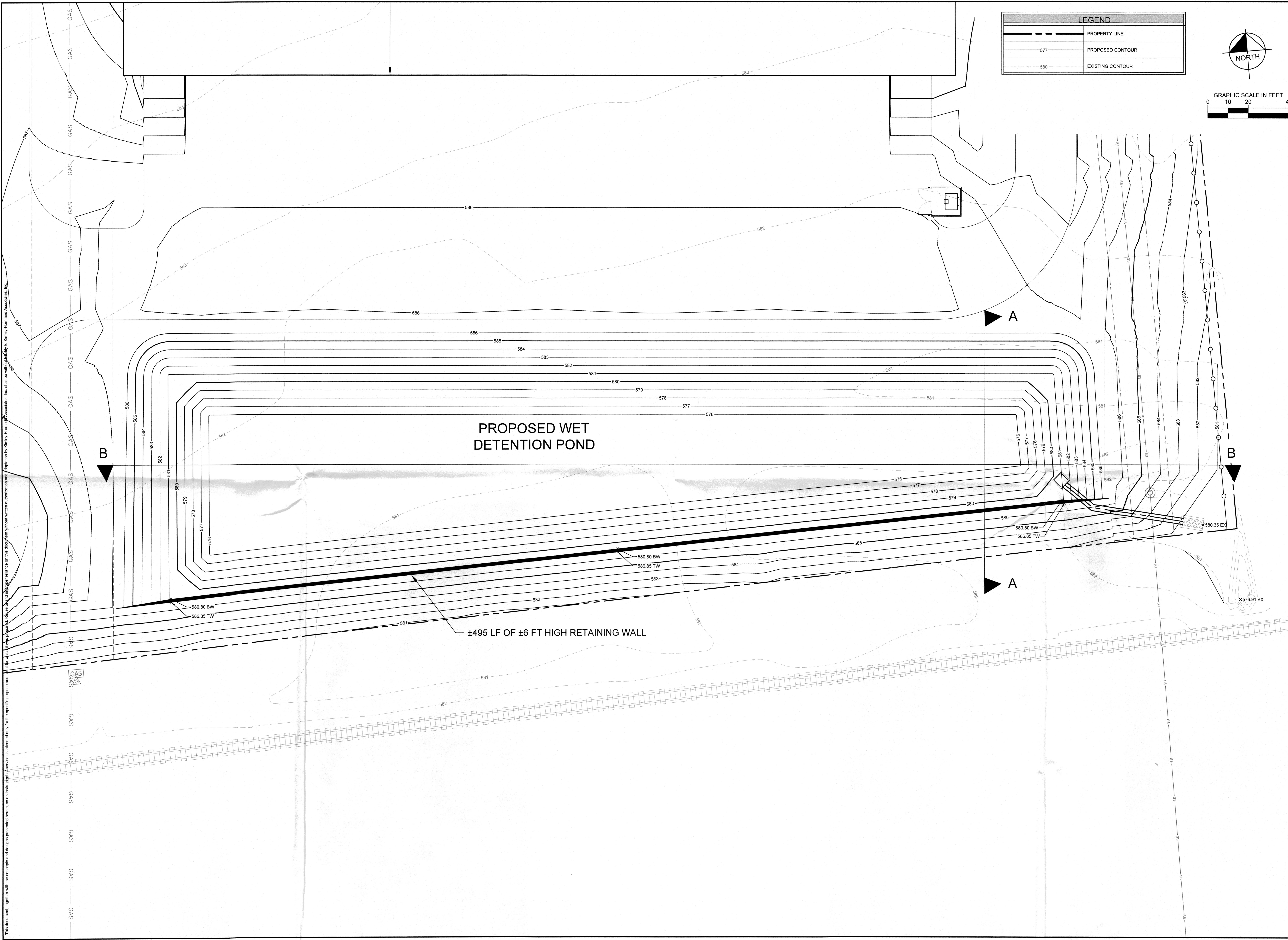
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- Provide additional vertical articulation at smaller intervals
- Increased landscape buffer by 20' on the east side of the property.

Reference supplemental documents for proposed location and preliminary design.

Regards,

KIMLEY-HORN AND ASSOCIATES, INC.

Patrick Hogan, P.E.



EX	DETENTION EXHIBIT	PLATFORM ROCKWALL	GROSS ACREAGE 16.88 AC		DATE 06/29/2022	SCALE AS SHOWN ...	DESIGNED BY ...	DRAWN BY ZRH	CHECKED BY PJH	ROCKWALL, TEXAS ROCKWALL COUNTY	<div>Kimley»Horn</div> <div>13465 NOEL ROAD, T-100 GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240 PHONE: 972-770-1300 FAX: 972-239-3820 WWW.KIMLEY-HORN.COM TX F-928 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.</div>				No.	REVISIONS	DATE	BY					
			<div>PRELIMINARY</div> <div>FOR REVIEW ONLY Not for construction or permit purposes.</div> <div>Kimley»Horn</div> <div>Engineer: PATRICK J. HOGAN P.E. No. 133888 Date: 06/28/22</div>																				

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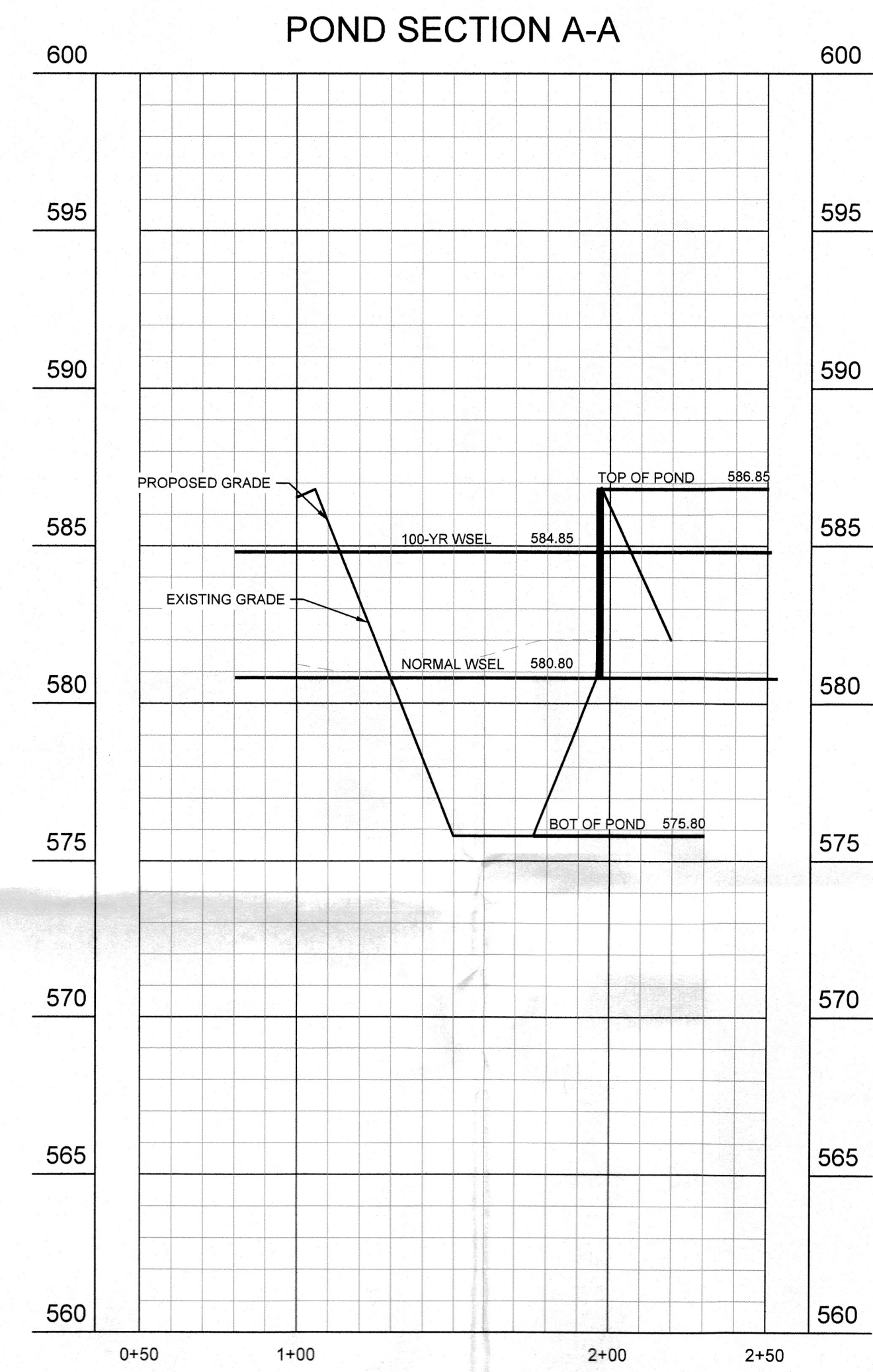
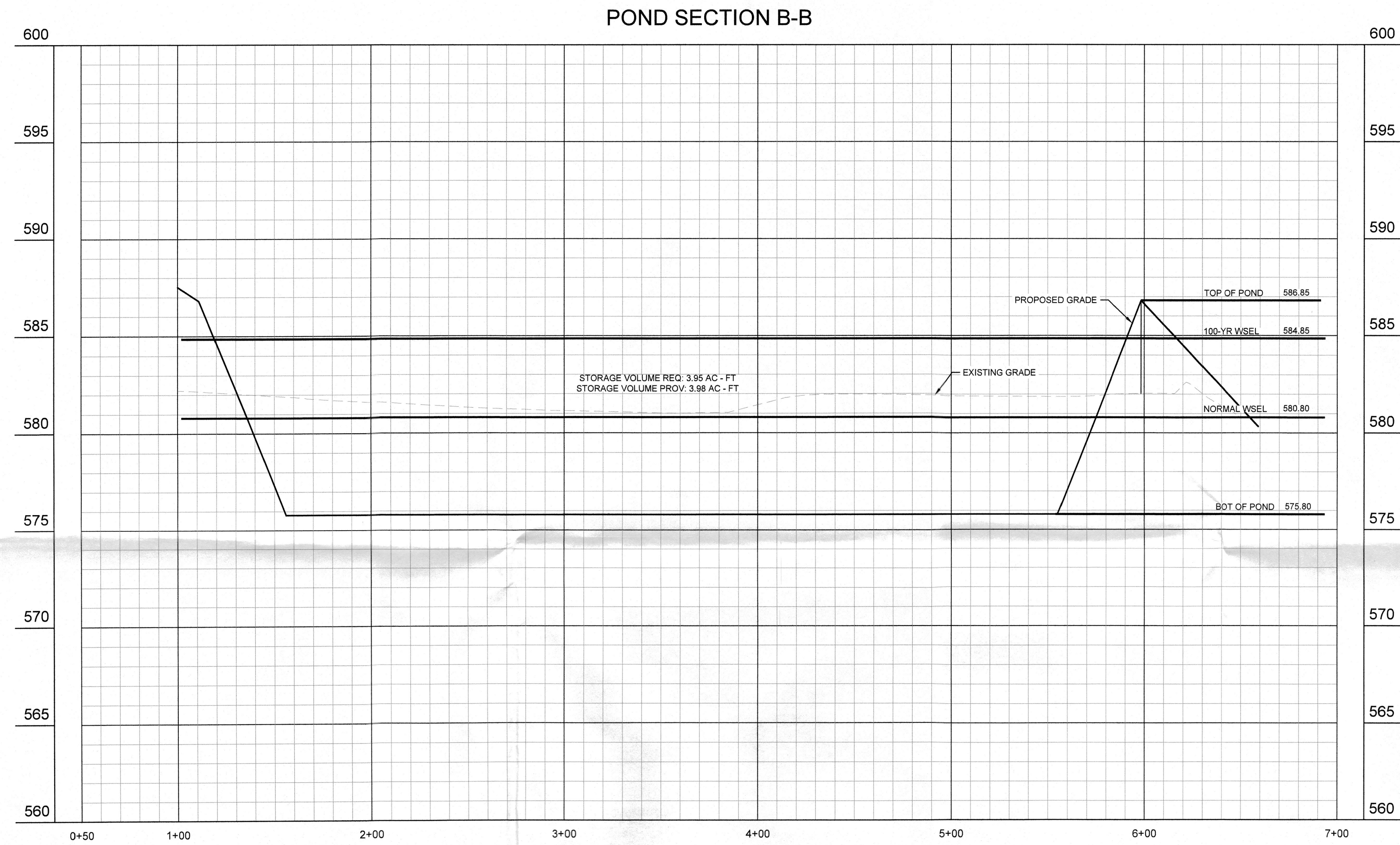
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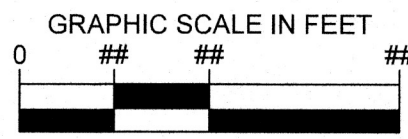
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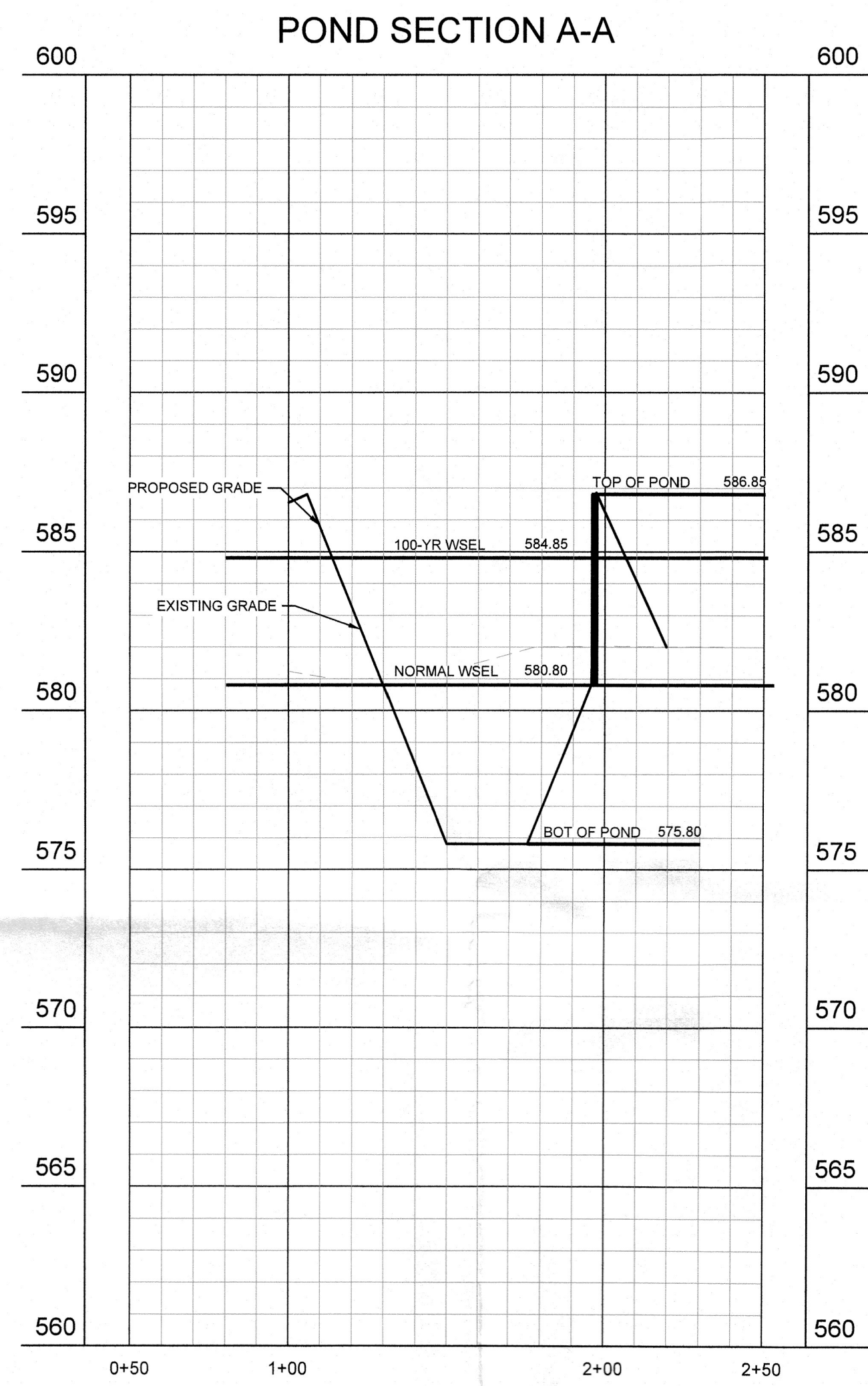
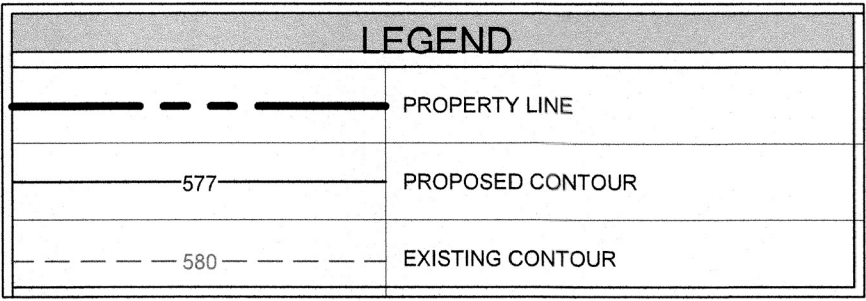
EX

EX



LEGEND	
	PROPERTY LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR

[illegible]



PGP	PRELIMINARY WET POND CROSS SECTIONS	PLATFORM ROCKWALL	GROSS ACREAGE 16.88 AC DATE 06/29/2022 SCALE AS SHOWN DESIGNED BY DRAWN BY ZRH CHECKED BY PJH	ROCKWALL, TEXAS ROCKWALL COUNTY	Kimley»Horn 13465 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 1000, DALLAS, TEXAS 75244 PHONE: 972-770-1300 FAX: 972-238-3820 WWW.KIMLEY-HORN.COM TX F-820 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.	No.	REVISIONS	DATE	BY



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Bethany Ross, *Planner*

DATE: November 29, 2022

SUBJECT: MIS2022-022; *Variance for a Vertical Wall in a Detention Pond for 1818, 1824 & 1860 Airport Road*

On October 15, 2021, the applicant -- *Patrick Hogan, PE, of Kimley Horn* -- submitted an application requesting the approval of a site plan [Case No. SP2021-030] for the purpose of developing a multi-tenant warehouse/distribution facility that will consist of three (3) buildings totaling 199,179 SF of building area on the subject property. This case was approved on November 9, 2021. Based on the submitted information during the site plan process, staff identified four (4) exceptions to the architectural and landscape requirements of the Unified Development Code (UDC). These were exceptions included [1] providing less than the required 20% stone on the building, [2] the use of 100% concrete tilt-wall construction, [3] a building not conforming to the horizontal and vertical articulation requirements, and [4] an alternative residential screening plan for the residential adjacency. To offset these exceptions, the applicant provided six (6) compensatory measures that included:

- (1) Increasing the new tree canopy by five (5) percent beyond the minimum requirement,
- (2) Providing a bicycle rack at each building,
- (3) Providing sunscreens above the windows,
- (4) Providing building articulation on the front facades at smaller intervals utilizing panel steps,
- (5) Providing additional vertical articulation at smaller intervals, and
- (6) Increasing the landscape buffer by 20-feet on the east side of the property.

As was pointed out in staff's case memo at the time only three (3) of these compensatory measures met the requirements of the Unified Development Code (UDC). This was due to #3, #4, and #5 being ordinance requirements that resulted in the requested exceptions. Regardless of this, the case was approved with the proposed three (3) compensatory measures. Following the approval of the site plan, the applicant submitted civil engineering plans to the Engineering Department. Upon review of the civil engineering plans, staff indicated to the applicant that the detention area was not larger enough for the proposed development and needed to be increased. Based on this the applicant indicated to staff that they would be requesting a variance for vertical walls in the depicted detention pond.

On November 14, 2022, the applicant submitted a development application requesting the variance. The applicant did not indicate any additional compensatory measures to off-set the requested variance. According to Subsection 3.4.4.A, *Geometry, Restrictions and Appurtenances*, of the City's *Engineering Standards for Design and Construction Manual*, "(d)etention ponds shall have a side slope 4:1 or flatter. No retaining walls are allowed in detention ponds." In this case, the applicant is required a volume greater than what can be achieved at a 4:1 slope, and based on this is requesting a variance to allow retaining walls in the detention area. According to Subsection 09.03, *Criteria for Granting a Variance or Exception*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)n reviewing exceptions to the *General Standards*, the Planning and Zoning Commission is asked to review the request to determine the following:

- (A) If the proposed compensatory measures sufficiently offset the requested exception.
- (B) If such a request will substantially or permanently injure the appropriate use of adjacent property.
- (C) If such a request will adversely affect the health, safety, and/or general welfare of the public.
- (D) If such a request will be contrary to the public interest.
- (E) If such a request will authorize the operation of a use other than those uses specifically authorized for the district in which the subject property is located.
- (F) If such a request will be in harmony with the spirit and intent of the Unified Development Code (UDC), Comprehensive Plan, and/or other City policies.
- (G) If such a request will alter the essential character of the district in which the subject property is located.

(H) If such a request will substantially weaken the general purpose of the zoning requirements established for the district in which the subject property is located.”

In this case, the applicant's request does not appear to create a negative or adverse effect on any of the adjacent properties; however, variances to the City's *Standards of Design and Construction Manual* are not common, and -- *while variances are reviewed on a case-by-case basis* -- this request has the potential to be precedence setting. As an alternative to the vertical walls, staff has suggested a split system utilizing underground detention and detention in the proposed truck court; however, the applicant has chosen to proceed with this request. In addition, staff should point out the applicant has not provided sufficient reasoning showing that this variance would constitute a hardship and that the current standard cannot be achieved. With this being said, approval of a variance to the City's *Engineering Standards of Design and Construction* is a discretionary decision for the Planning and Zoning Commission. In the attached packet, staff has also included a copy of the applicant's letter, and a detention exhibit showing the proposed vertical walls. Should the Planning and Zoning Commission have any questions, staff will be available at the November 29, 2022 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

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CITY ENGINEER:

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SUBDIVISION RBB/GCF PROPERTIES, LP PROPERTY D. HARR SURVEY ABSTRACT NO. 102

GENERAL LOCATION 16.89 ACRES SW OF AIRPORT AND INDIAN TRAIL

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI

CURRENT USE VACANT

PROPOSED ZONING N/A

PROPOSED USE WAREHOUSE

ACREAGE 16.89

LOTS [CURRENT] 1

LOTS [PROPOSED] 2

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CONTACT PERSON JUSTIN DAY

CONTACT PERSON PATRICK HOGAN, P.E.

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ADDRESS 13455 NOEL ROAD TWO GALLERIA OFFICE TOWER, SUITE 700

CITY, STATE & ZIP AUSTIN, TX 78759

CITY, STATE & ZIP DALLAS, TX 75240

PHONE 512-225-1400

PHONE 972-770-1312

E-MAIL JDAY@INTREPID-EQUITY.COM

E-MAIL PATRICK.HOGAN@KIMLEY-HORN.COM

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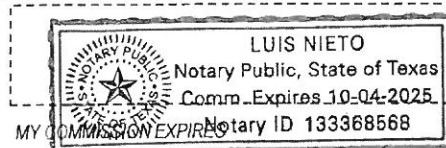
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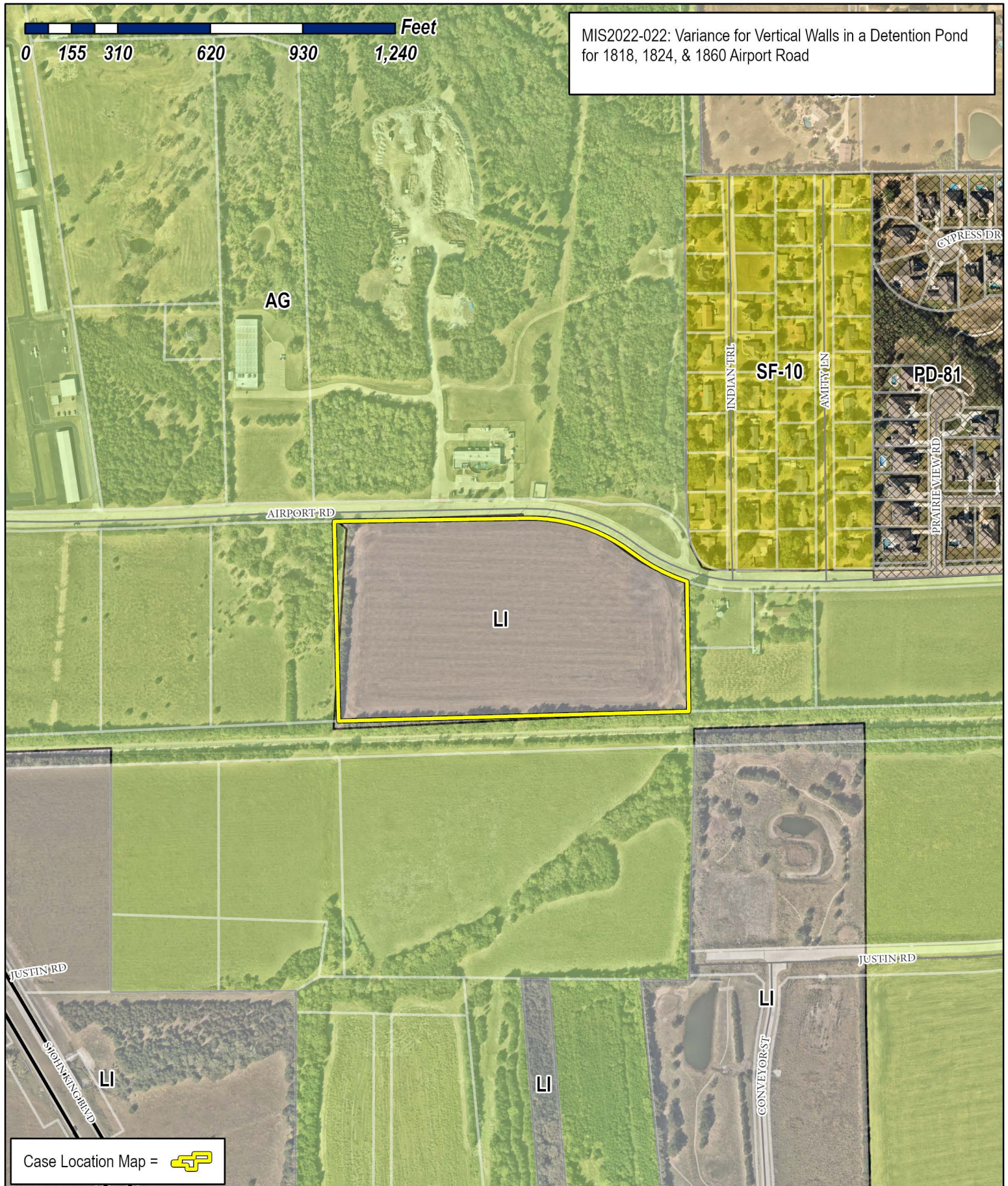
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OWNER'S SIGNATURE Justin Thomas Day

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



City of Rockwall

Planning & Zoning Department
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November 14, 2022

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City of Rockwall – Planning & Zoning
385 S. Goliad St.
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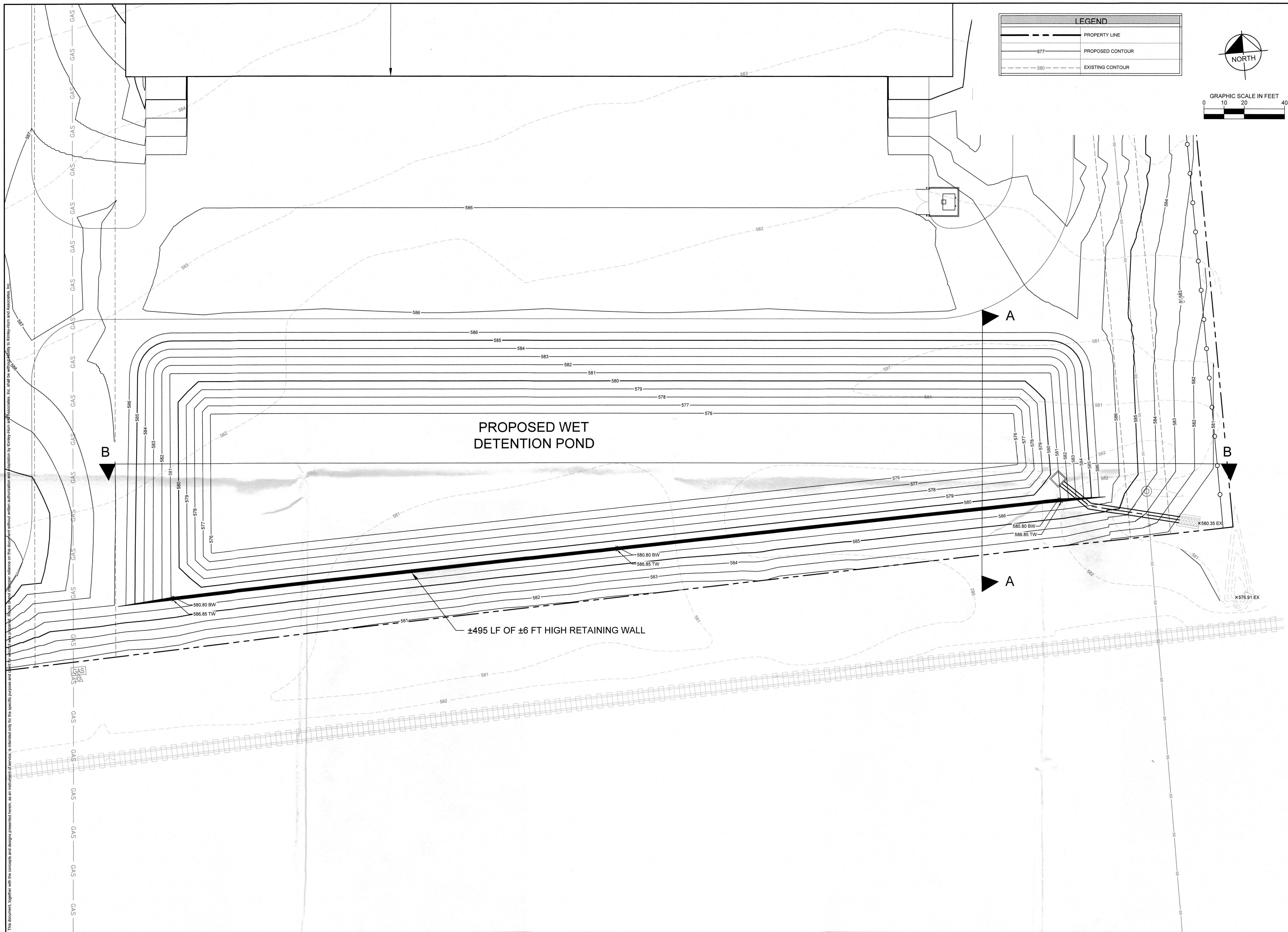
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Regards,

KIMLEY-HORN AND ASSOCIATES, INC.

Patrick Hogan, P.E.

[illegible]

xSurv : xBldr : xSite-02 : oFG-02 : xEdi
 11/11/2022 11:47 AM
 HOGAN, PATRICK 11/14/2022 11:54 AM
 KIDAL_CIVIL0645946000 - INTREPID ROCKWALL4_DESIGN/CAD/EXHIBITS
 GRADING_EXHIBIT.DWG, [Layout1]

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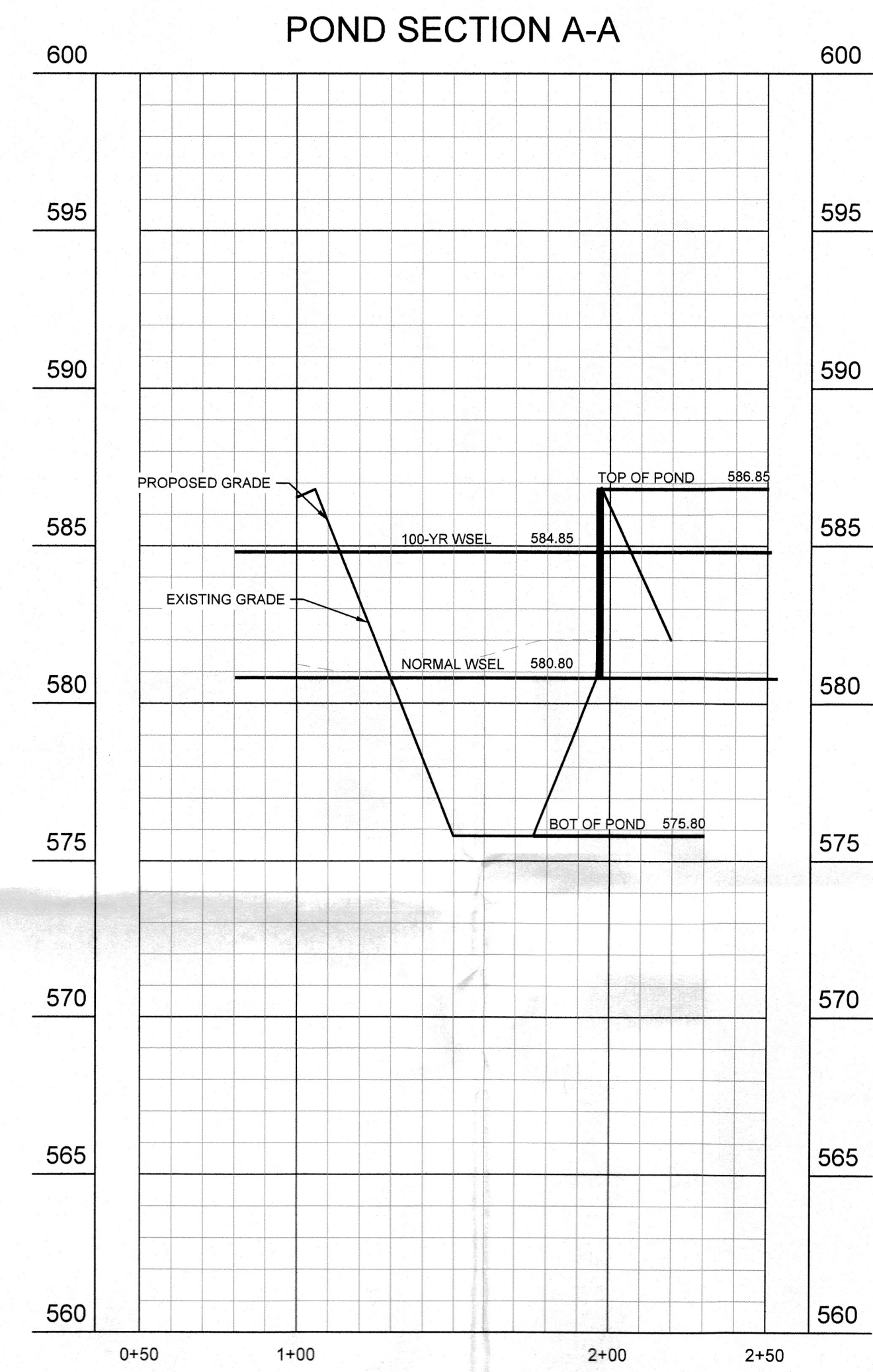
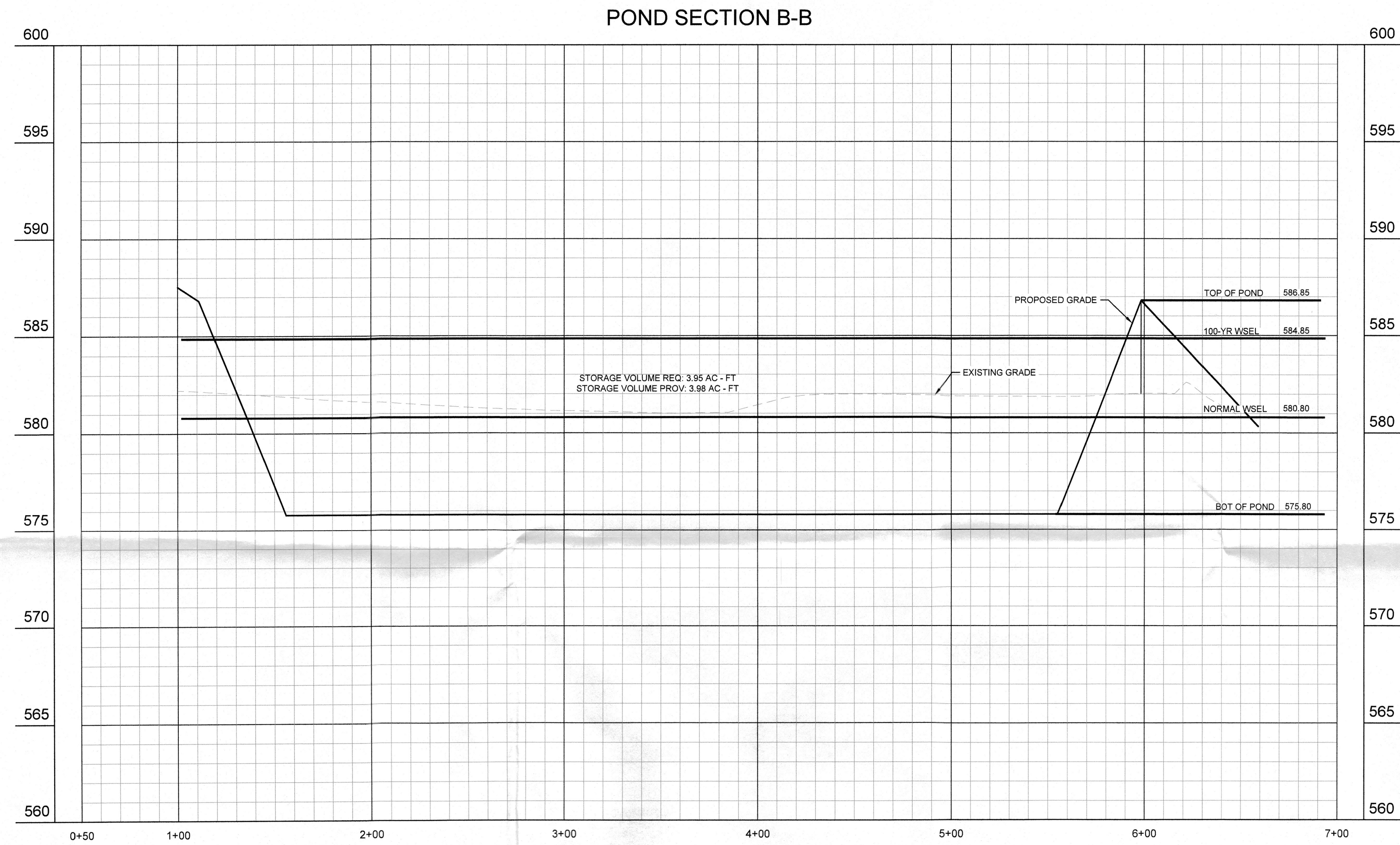
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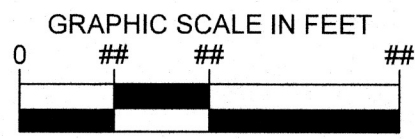
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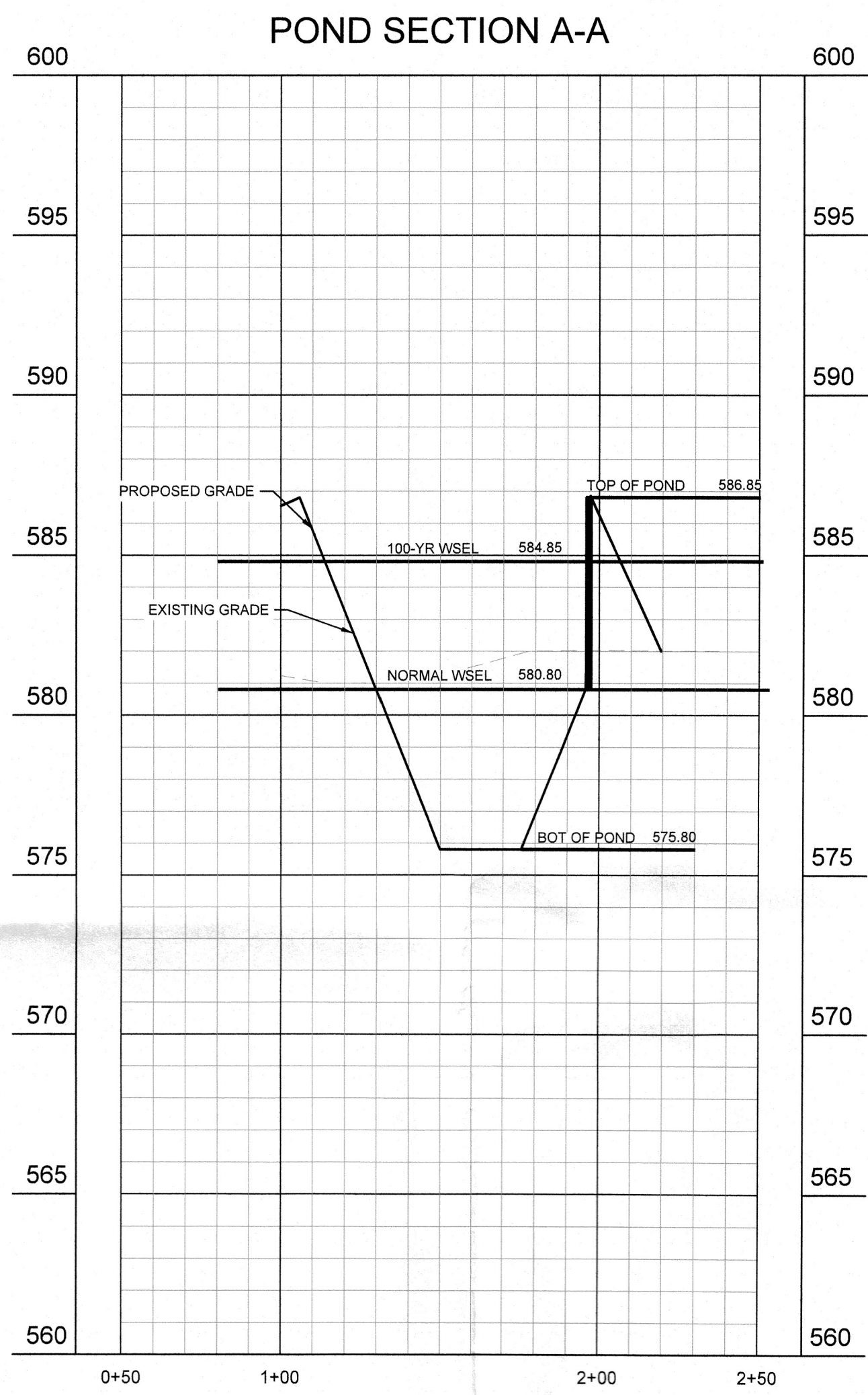
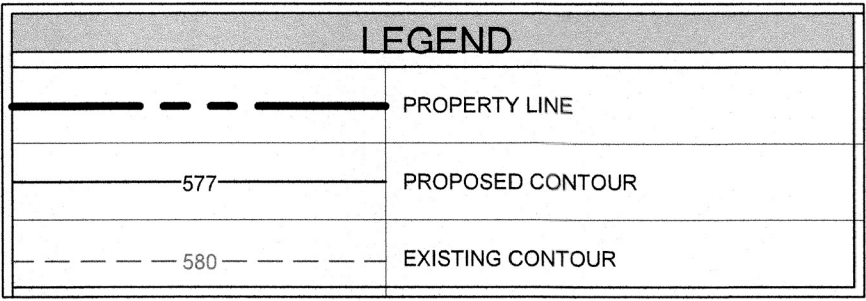
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LEGEND	
	PROPERTY LINE
	PROPOSED CONTOUR
	EXISTING CONTOUR



PGP	PRELIMINARY WET POND CROSS SECTIONS	PLATFORM ROCKWALL	ROCKWALL, TEXAS ROCKWALL COUNTY	GROSS ACREAGE 16.88 AC	DATE 06/29/2022	SCALE AS SHOWN	DESIGNED BY ...	DRAWN BY ZRH	CHECKED BY PJH	<div><div><div>PRELIMINARY</div><div>FOR REVIEW ONLY</div><div>Not for construction or permit purposes.</div><div><div><div>Kimley»Horn</div></div><div>Engineer: PATRICK J. HOGAN</div><div>P.E. No. 133868 Date: 06/29/22</div></div></div><div><div><div>Kimley»»Horn</div><div>13485 NOBLE ROAD, SUITE 200, GALLERIA OFFICE TOWER, DALLAS, TEXAS 75246 PHONE: 972-770-1300 FAX: 972-238-3820 WWW.KIMLEY-HORN.COM TX F-428 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.</div></div></div></div>	No.	REVISIONS	DATE	BY



PGP	PRELIMINARY WET POND CROSS SECTIONS	PLATFORM ROCKWALL	GROSS ACREAGE 16.88 AC DATE 06/29/2022 SCALE AS SHOWN DESIGNED BY DRAWN BY ZRH CHECKED BY PJH	ROCKWALL, TEXAS ROCKWALL COUNTY	Kimley»Horn 13465 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 1000, DALLAS, TEXAS 75244 PHONE: 972-770-1300 FAX: 972-238-3820 WWW.KIMLEY-HORN.COM TX F-820 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.	No.	REVISIONS	DATE	BY



November 30, 2022

TO: Patrick Hogan, P.E.
13455 Noel Road Two Galleria Office Tower
Suite 700
Dallas, TX 75240

CC: Justin Day
Platform Rockwall, LP
4131 Spicewood Springs Road
Austin, TX 78759

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: MIS2022-022: Variance for Vertical Walls in a Detention Pond for 1818, 1824, and 1860 Airport Road

Patrick:

This letter serves to notify you that the above referenced case that you submitted for consideration by the City of Rockwall was denied by the Planning and Zoning Commission on November 29, 2022. The following is a record of all voting records:

Planning and Zoning Commission

On November 29, 2022, the Planning and Zoning Commission approved a motion to deny the miscellaneous case by a vote of 5-1, with Commissioner Womble dissenting and Commissioner Hustings absent.

According to Subsection 01.05, *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(a) request for site plan, plat, miscellaneous case, Certificate of Appropriateness (COA), small matching grant, or building permit fee waiver which has been previously denied with prejudice by the Historic Preservation Advisory Board (HPAB), Planning and Zoning Commission, or City Council may be resubmitted within one (1) year if there is: [1] an actual change in condition relating to the lot or tract of land -- or any portion thereof -- or any surrounding properties, or [2] the new request is more restrictive or less intense than the previous request." Please note that a failure to indicate a denial is with or without prejudice in making a motion to deny a request shall be considered a denial with prejudice. Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me at (972) 771-7745.

Sincerely,

Bethany Ross, Planner
City of Rockwall Planning and Zoning Department