



## PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2022-006 P&Z DATE 03/15/22 CC DATE \_\_\_\_\_ APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

### SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

### PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# \_\_\_\_\_)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☐ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE \_\_\_\_\_
  - ☐ CABINET # \_\_\_\_\_
  - ☐ SLIDE # \_\_\_\_\_

NOTES: \_\_\_\_\_

ZONING MAP UPDATED \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-006

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **726 E Interstate 30 Rockwall, TX 75087**

SUBDIVISION **Grandy's Addition**

LOT **1** BLOCK **A**

GENERAL LOCATION **IH30 Overlay**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Fast food restaurant**

PROPOSED ZONING **Commercial**

PROPOSED USE **Fast food restaurant**

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **Hector Rodriguez**

☒ APPLICANT **Creativo Designs**

CONTACT PERSON **Hector Rodriguez**

CONTACT PERSON **Luis Chico**

ADDRESS **1185 108th St**

ADDRESS **602 SRL Thornton fwy suite B**

CITY, STATE & ZIP **Grand Prairie, Tx 75050**

CITY, STATE & ZIP **Dallas, tx 75203**

PHONE **469-506-0865**

PHONE **214-884-8168**

E-MAIL

E-MAIL **cs@creativodesignsusa.com**

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Hector Rodriguez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 190.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

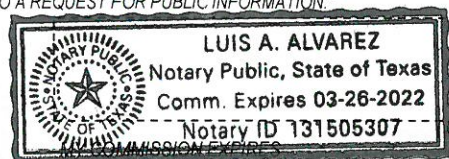
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 2022

OWNER'S SIGNATURE

Hector Rodriguez

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

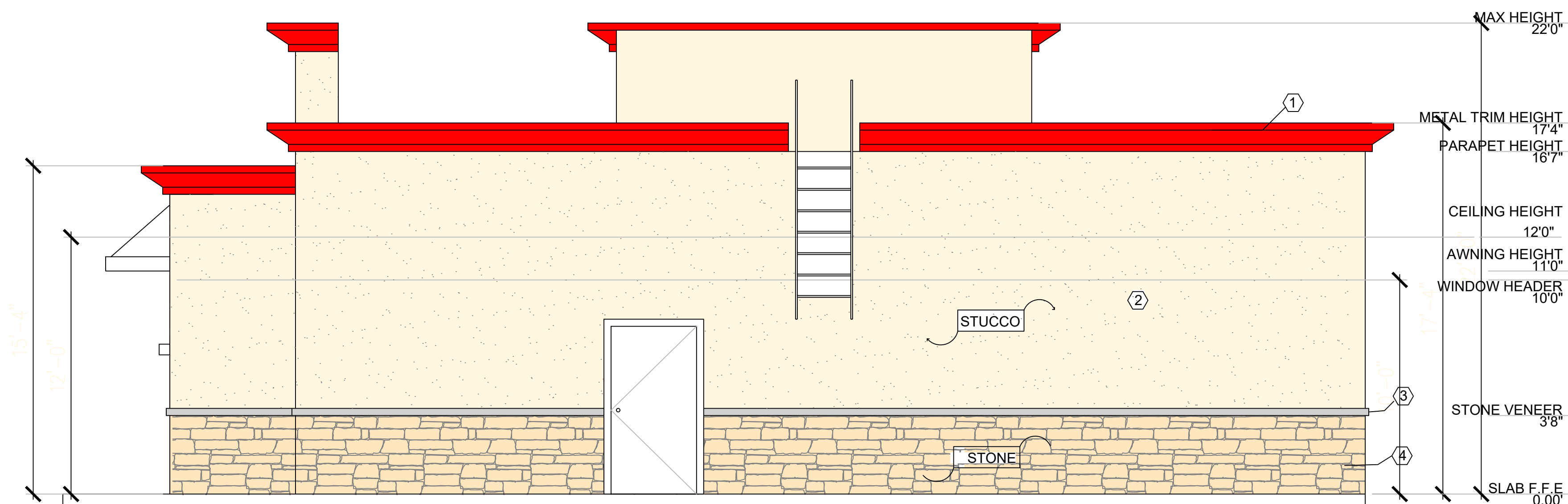
Luis A. Alvarez







FRONT ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"



REAR ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"

1 EXTERIOR TRIM AROUND BUILDING SW 6868 REAL RED

2 EXTERIOR WALLS (ABOVE STUCCO BAND/STONE OR GRAY PAINT),

3 OUTSIDE TRIM MOLDINGS, SW 7017 DORIAN GRAY

4 EXTERIOR STONE

SW 6868 REAL RED

6126 NAVAJO WHITE

PRO-FIT LEDGESTONE

SW 6868 REAL RED Sherwin-Williams Color
sR = 200.663
sG = 66.999
sB = 73.620
#C9474E

SW 6126 NAVAJO WHITE Sherwin-Williams Color
sR = 233.166
sG = 222.635
sB = 200.668
#E9DFC9

SW 7017 DORIAN GRAY Sherwin-Williams Color
sR = 172.588
sG = 169.664
sB = 161.194
#AEABA3



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ADDRESS:

SCOPE OF WORK:

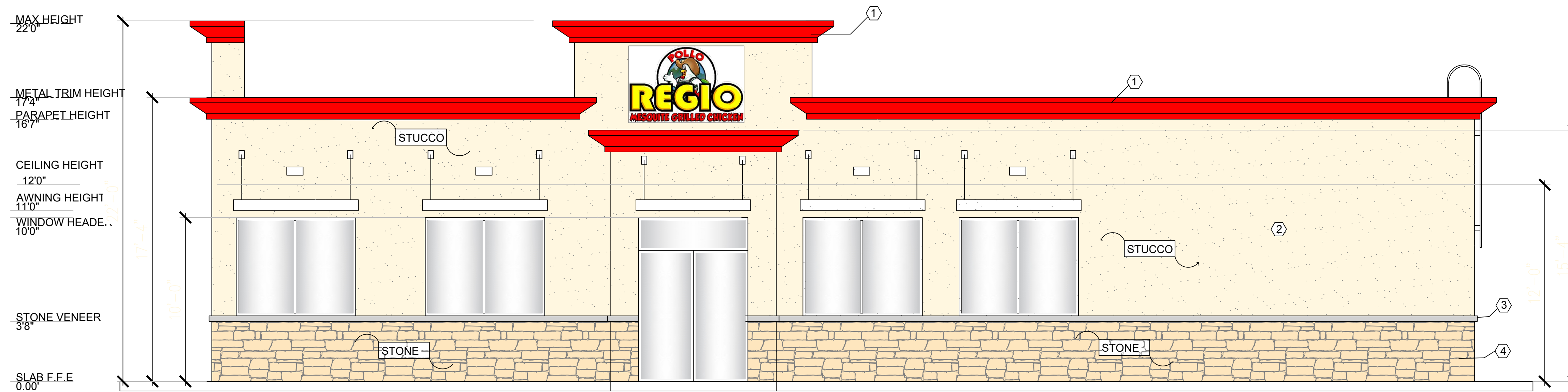
DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

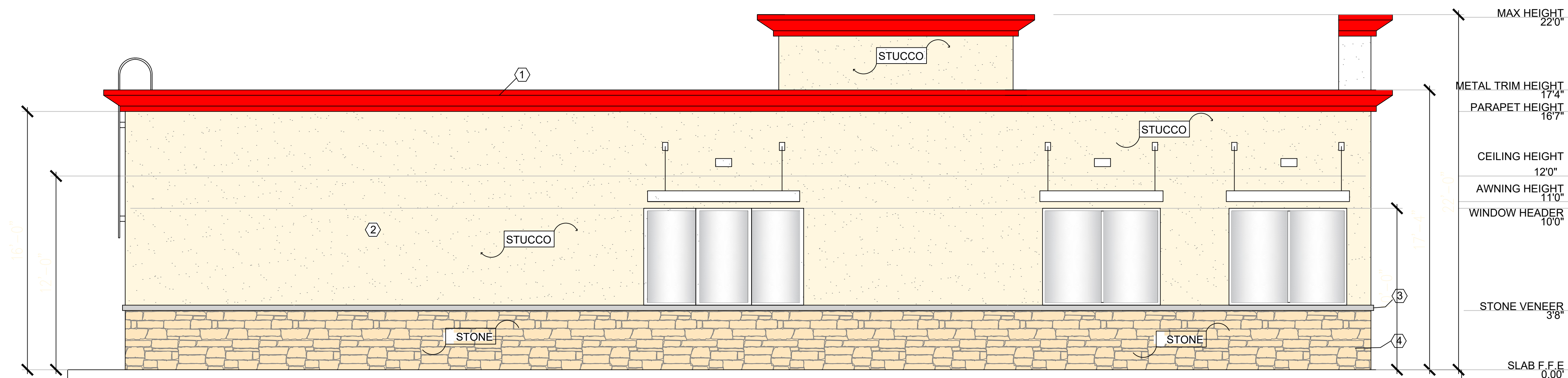
REMODEL

SCALE: N.T.S.  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.  
12 OF 12  
DRAWN: EACB



RIGHT ELEVATION (EAST)  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION (WEST)  
SCALE: 1/4" = 1'-0"



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REMODEL

SCALE: 1/4" = 1'-0"  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.

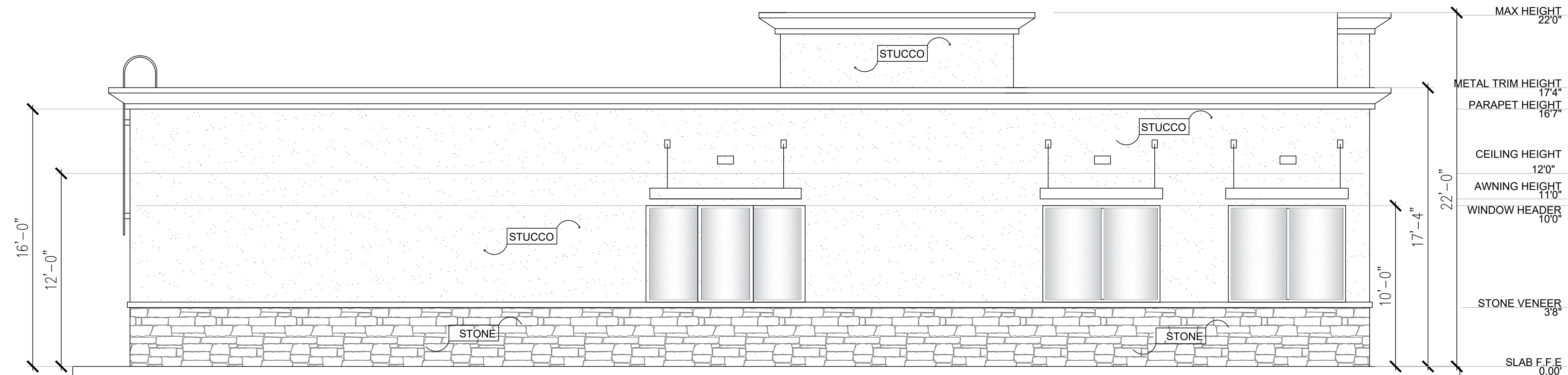
11 OF 12

DRAWN: EACB





RIGHT ELEVATION (EAST)  
SCALE: 1/4"=1'-0"



LEFT ELEVATION (WEST)  
SCALE: 1/4"=1'-0"



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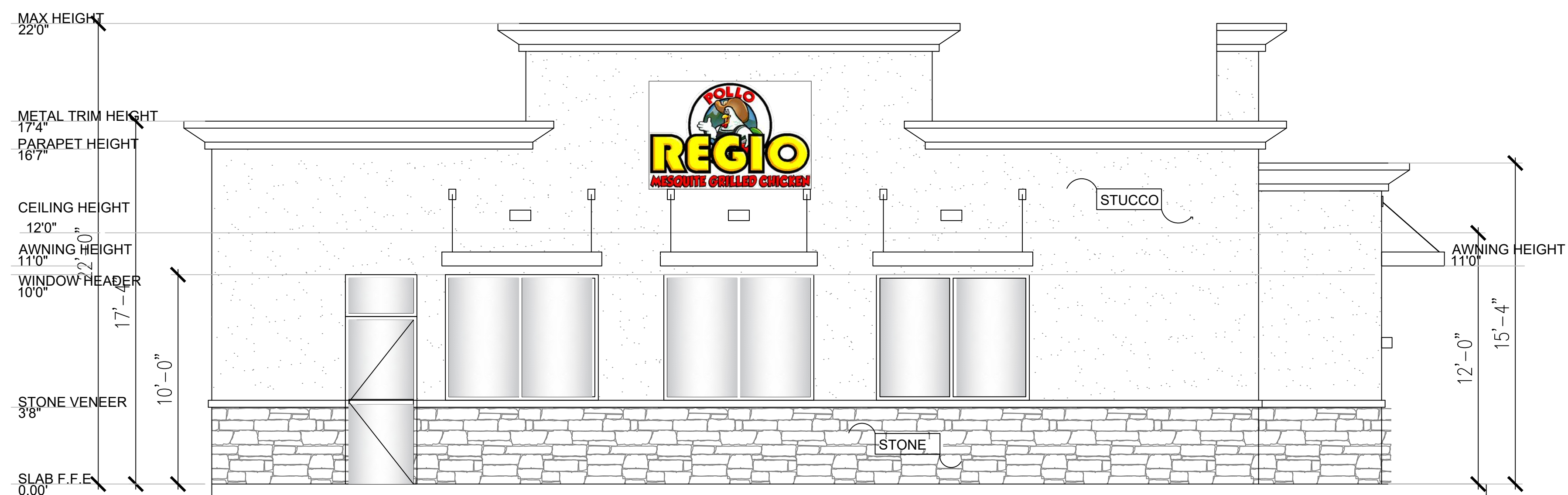
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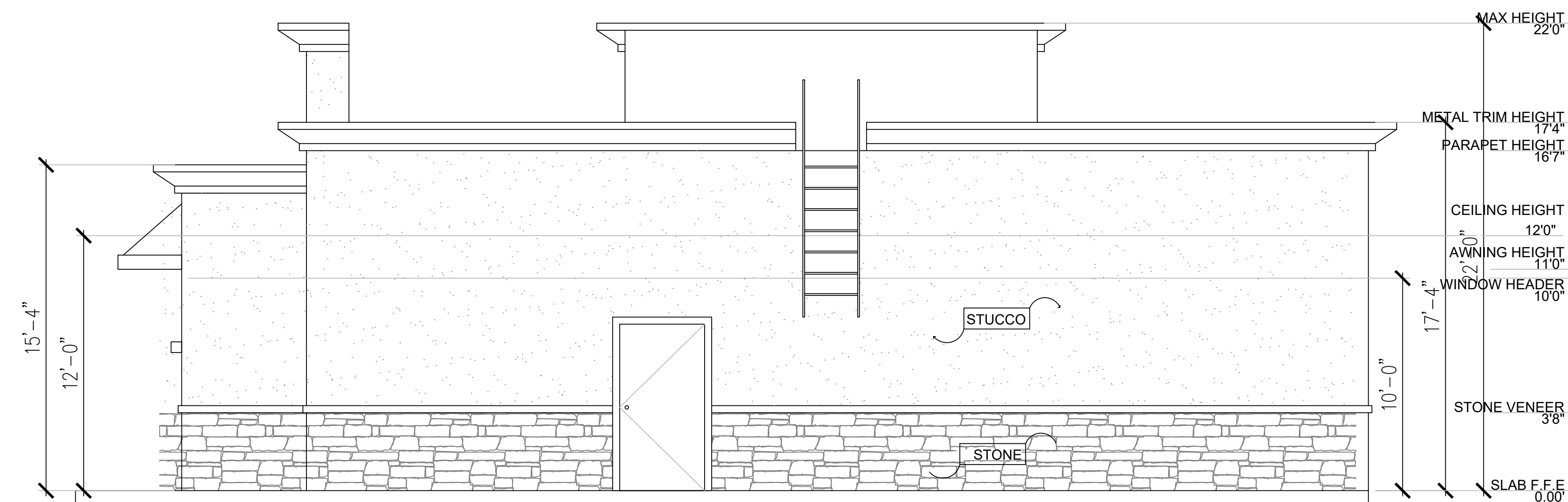
REMODEL

SCALE: 1/4"=1'-0"  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.  
**11 OF 12**  
DRAWN: EACB



FRONT ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"



REAR ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"



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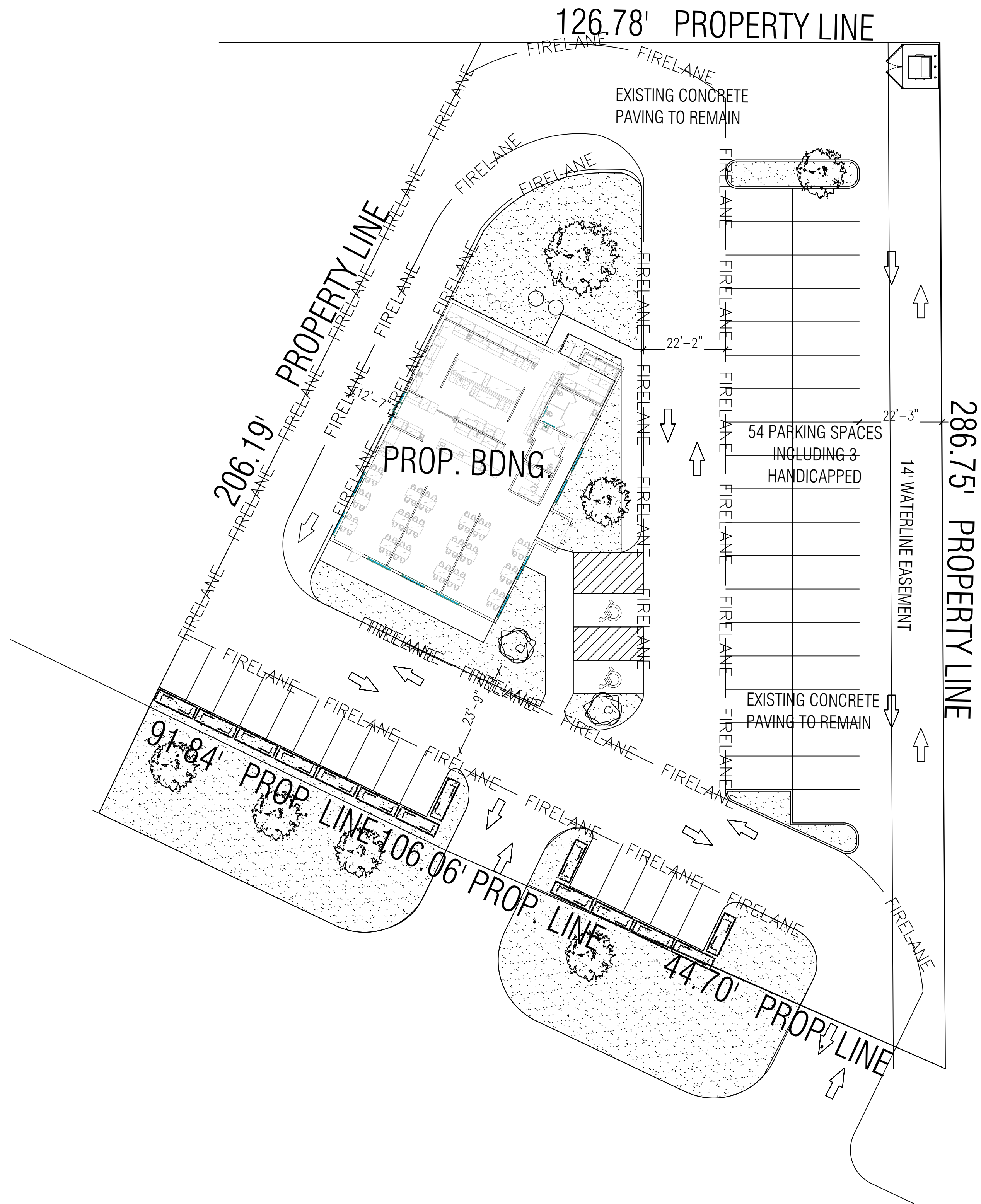
REMODEL

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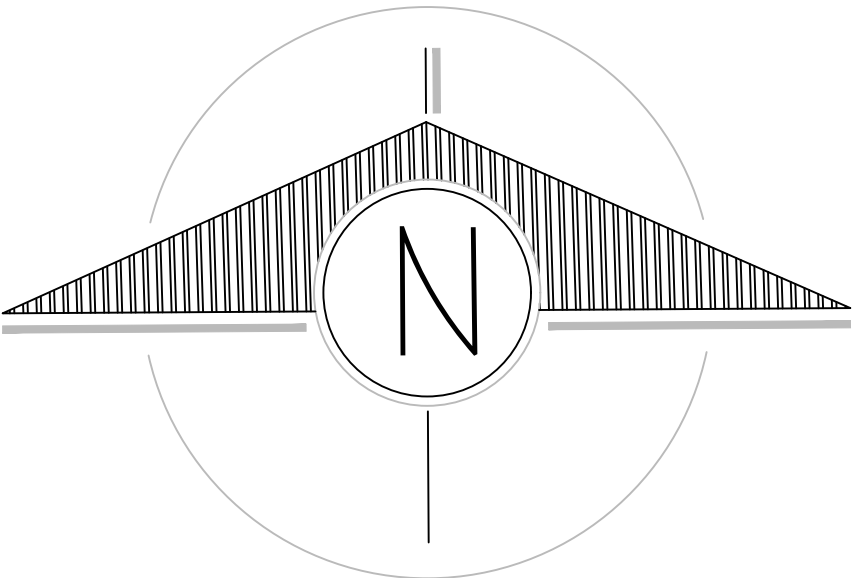
SCALE: N.T.S.  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.  
**12 OF 12**  
DRAWN: EACB





REFERENCE MAP



LEGAL DESCRIPTION:

TALLEY TOWN REP  
BLK 2 LOT 2R ACS 3.0080

SQUARE FOOTAGE

EXG.BUILDING 2,478 SQ FT  
EXG.METAL BUILDING 578 SQ FT  
PROP.AREA 3,900 SQ FT

TOTAL COVERAGE 6,956 SQ FT  
LOT SIZE 124.966 SQ FT  
TOTAL COVERAGE 05 %

SQUARE FOOTAGE

RESTAURANT	3,956 S.F.
TOTAL:	3,956 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	09 %

PARKING ANALYSIS

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
WAREHOUSE	3,956	1,000	RESTAURANT	39
PARKING REQUIRED				39
PARKING PROVIDED				54



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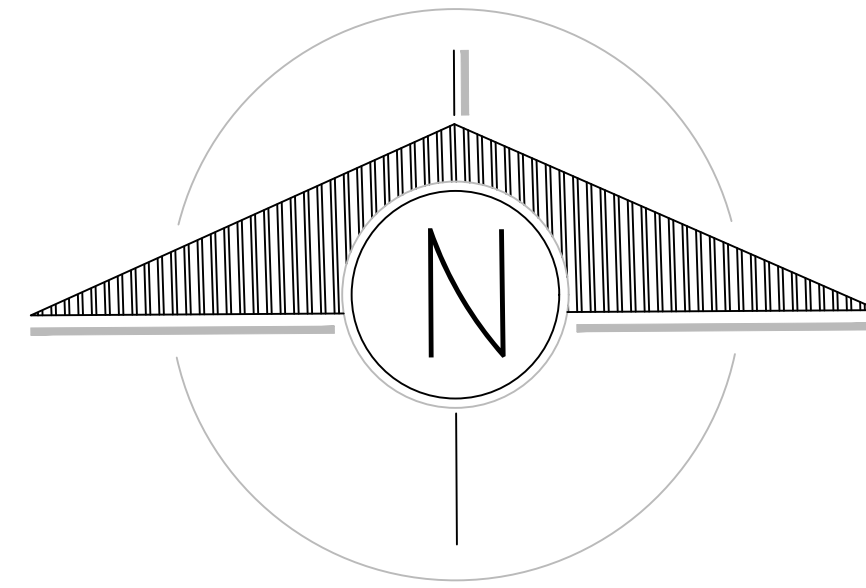
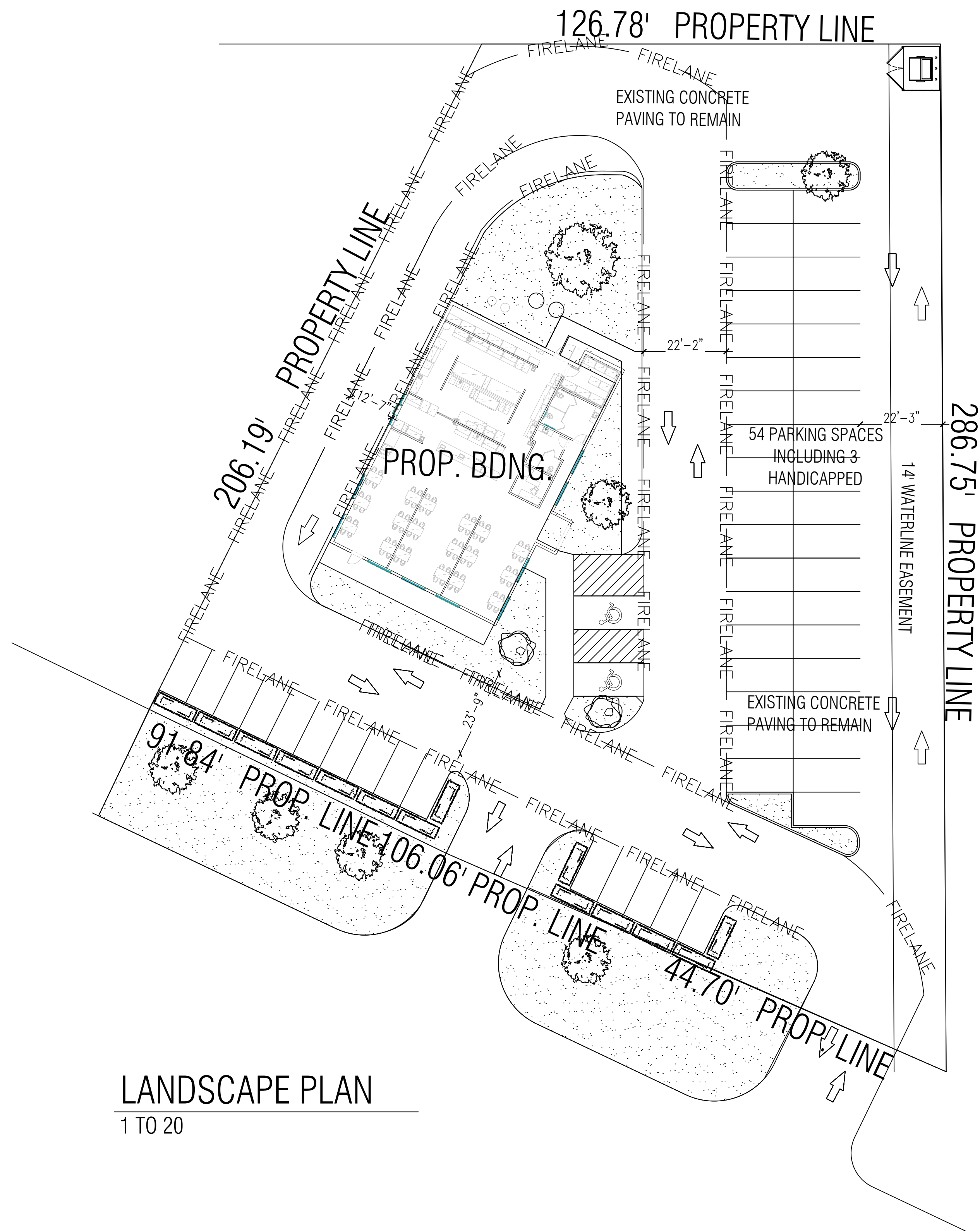
726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

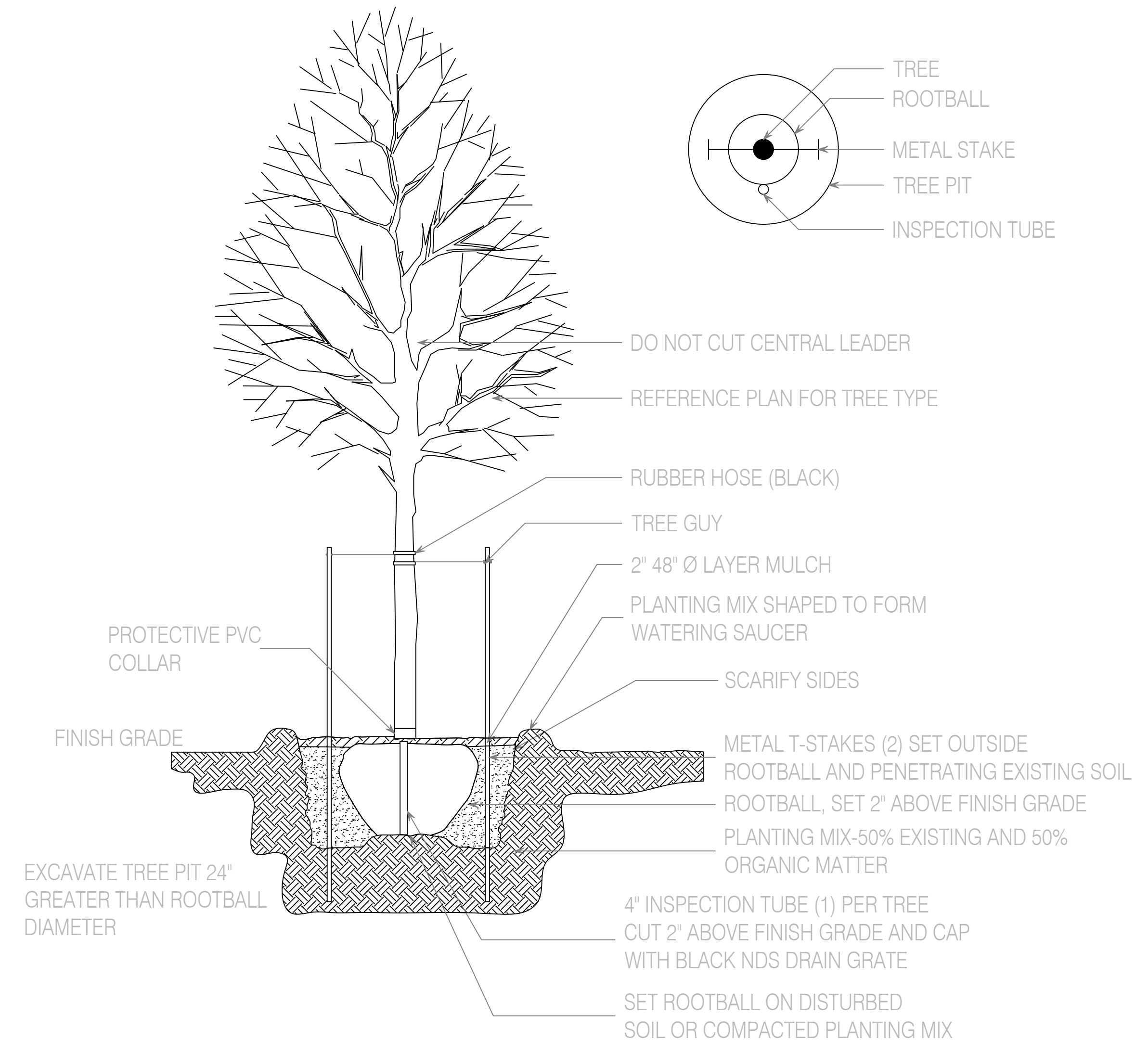
SCALE: 1 TO 20  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: SITE PLAN

DRAWING No.  
1 OF 12  
DRAWN: EACB





ELEMENT	QTY.
EXISTING ACCENT TREE, 8 FT TALL	2
EXISTING CANOPY TREE, 10 FT DRIP LINE	7
EXISTING CONTINUOUS 10FT L, 2FT D, 2 FT TALL SHRUB	14
GRASS COVERED GROUND SURFACE	100 % COV.



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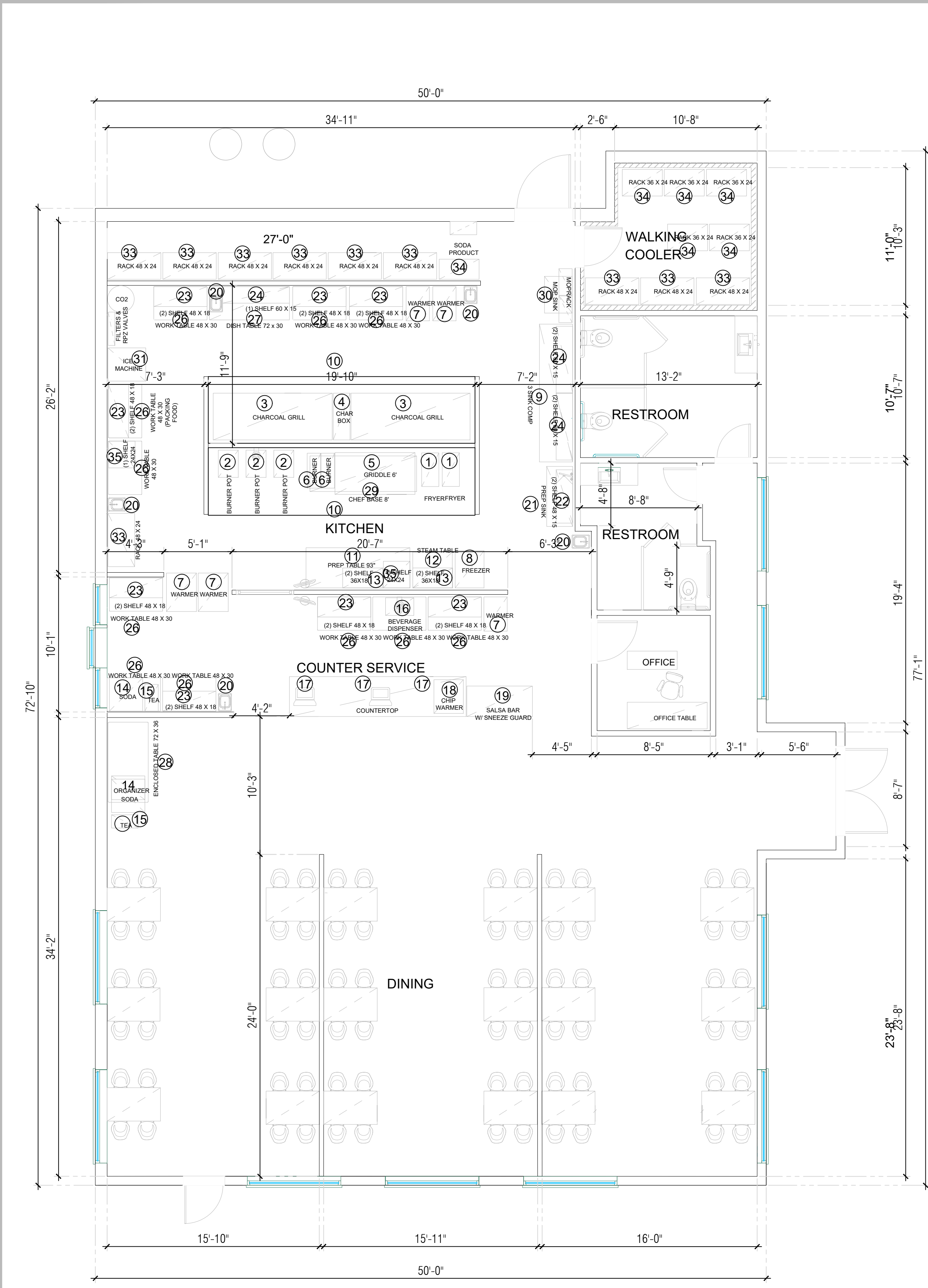
726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087  
REMODEL

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SCALE: 1 TO 20  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: LANDSCAPE

DRAWING No.  
**1A** OF **12**  
DRAWN: EACB

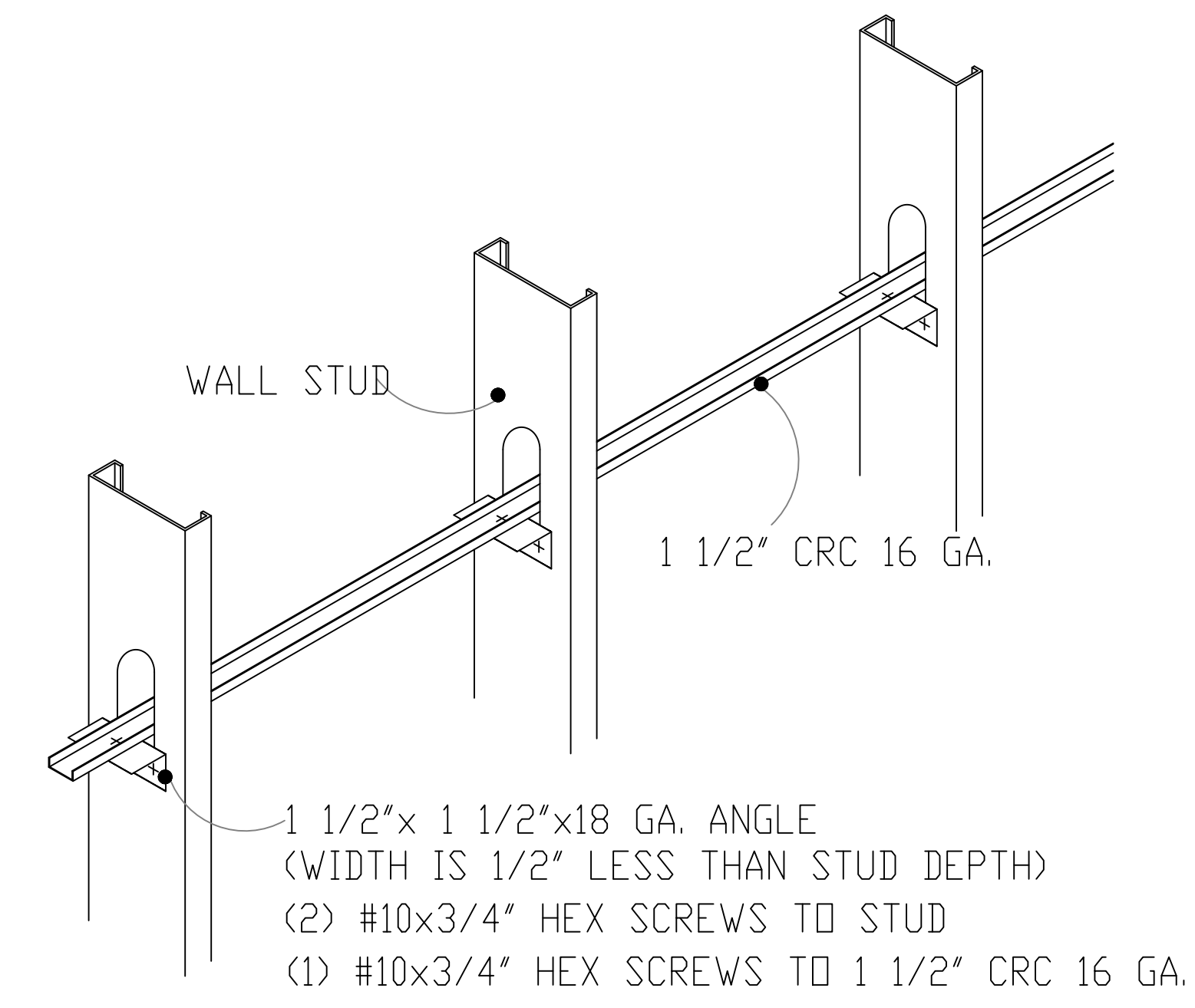
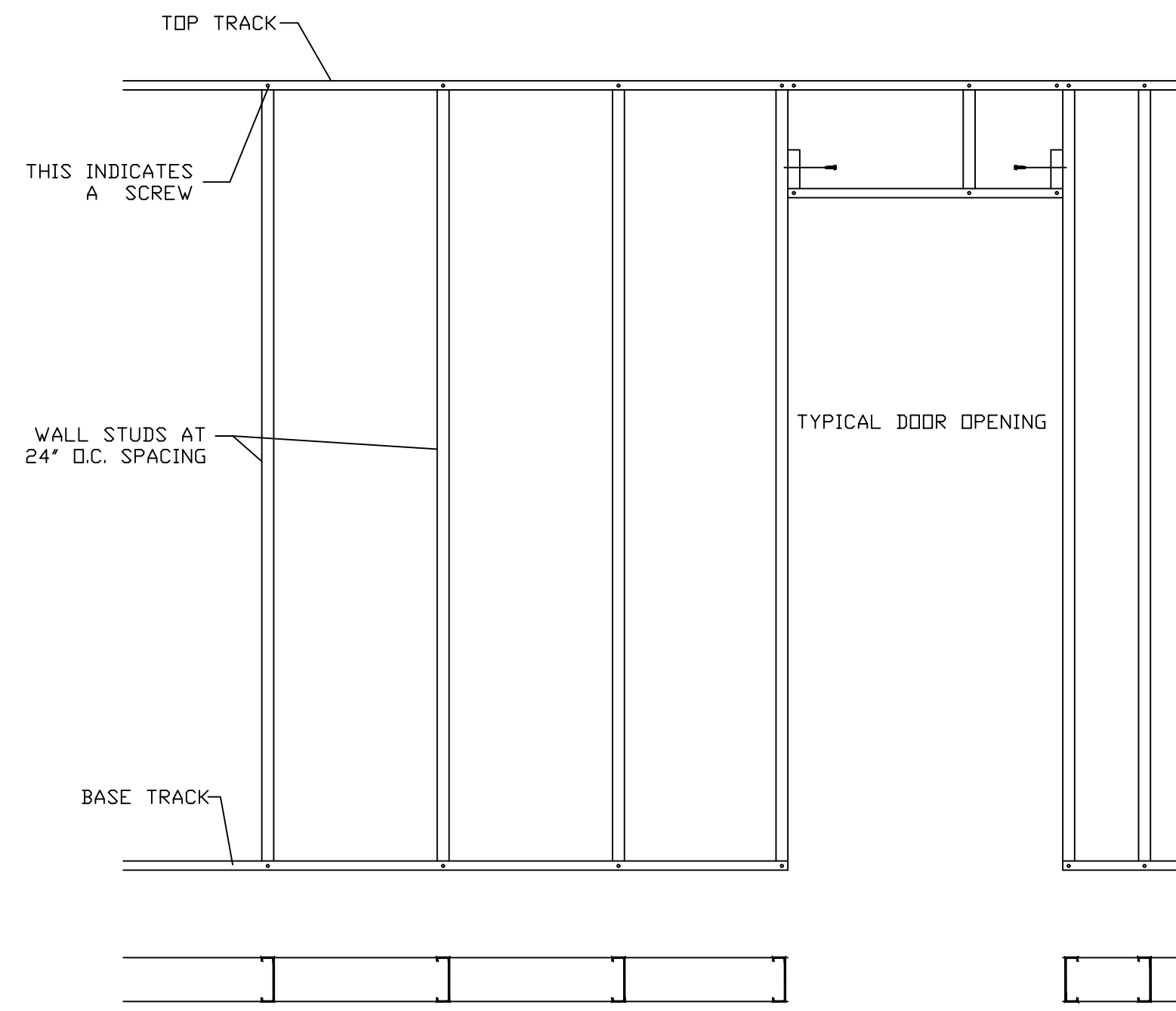




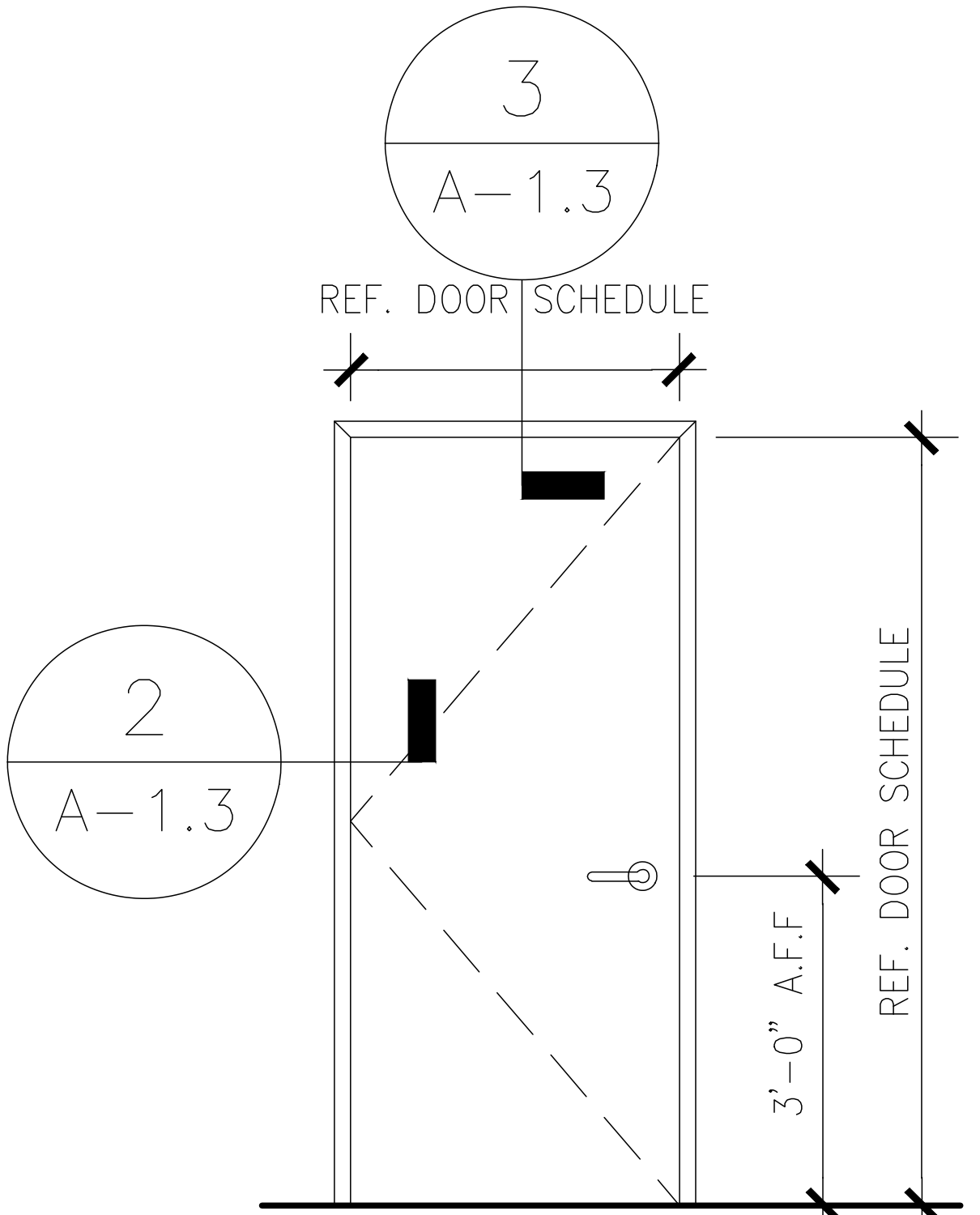
KITCHEN EQUIPEMENT

No.	DESCRIPTION	QTY.
1	LIQUID PROPANE 50 LB STAINLESS FLOOR FRYER	2
2	COOKING, BURNER POT GAS COUNTERTOP RANGE/ HOT PLATE	3
3	CHARCOIL GRILL	2
4	CHARCOIL BOX	1
5	STAINLESS STEEL GRIDDLE 6'	1
6	STAINLESS HOT PLATE BURNER	1
7	FULL HEIGHT NON-INSULATED MOBILE HEATED CABINET W/ (18)	5
8	SOLID DOOR REACH-IN REFRIGERATOR	1
9	STAINLESS STEEL THREE COMPARTMENT COMMERCIAL SINK, NO DRAINBOARDS.	1
10	COMMERCIAL KITCHEN HOOD, 20'X4'10"	2
11	93' PREPARATION STAINLESS STEEL	1
12	STEAM TABLE, TWO OPEN WELLS	1
13	36X18" STAINLESS STEEL WALL MOUNTED SHELVES	2
14	SODA FOUNTAIN	2
15	5 GAL TEA DISPENSER	2
16	3 TANKS COMMERCIAL COOLING BEVERAGE DISPENSER	1
17	POINTS OF SALE	3
18	TOP LOAD CHIP WARMER W/ 26 GALLON CAPACITY - STAINLESS	1
19	STAINLESS STEEL REFRIGERATED BUFFET DISPLAY TABLE W/ SNEEZE GUARD.	1
20	HAND STAINLESS STEEL COMMERCIAL SINGLE SINK	5
21	PREPARATION STAINLESS STEEL SINGLE SINK	1
22	48X15" STAINLESS STEEL WALL MOUNTED SHELVES	1
23	48X18" STAINLESS STEEL WALL MOUNTED SHELVES	8
24	60X15" STAINLESS STEEL WALL MOUNTED SHELVES	3
26	48X30" PREPARATION STAINLESS STEEL	8
27	72X30" PREPARATION STAINLESS STEEL	1
28	72X36" PREPARATION STAINLESS STEEL	1
29	STAINLESS STEEL CHEF BASE 8'	1
30	MOP SINK FLOOR MOUNTED	1
31	ICE MAKER	1
32	SODA PRODUCT RACK	1
33	48X24" RACK	9
34	36X24" RACK	5
35	24X24" STAINLESS STEEL WALL MOUNTED SHELVES	2

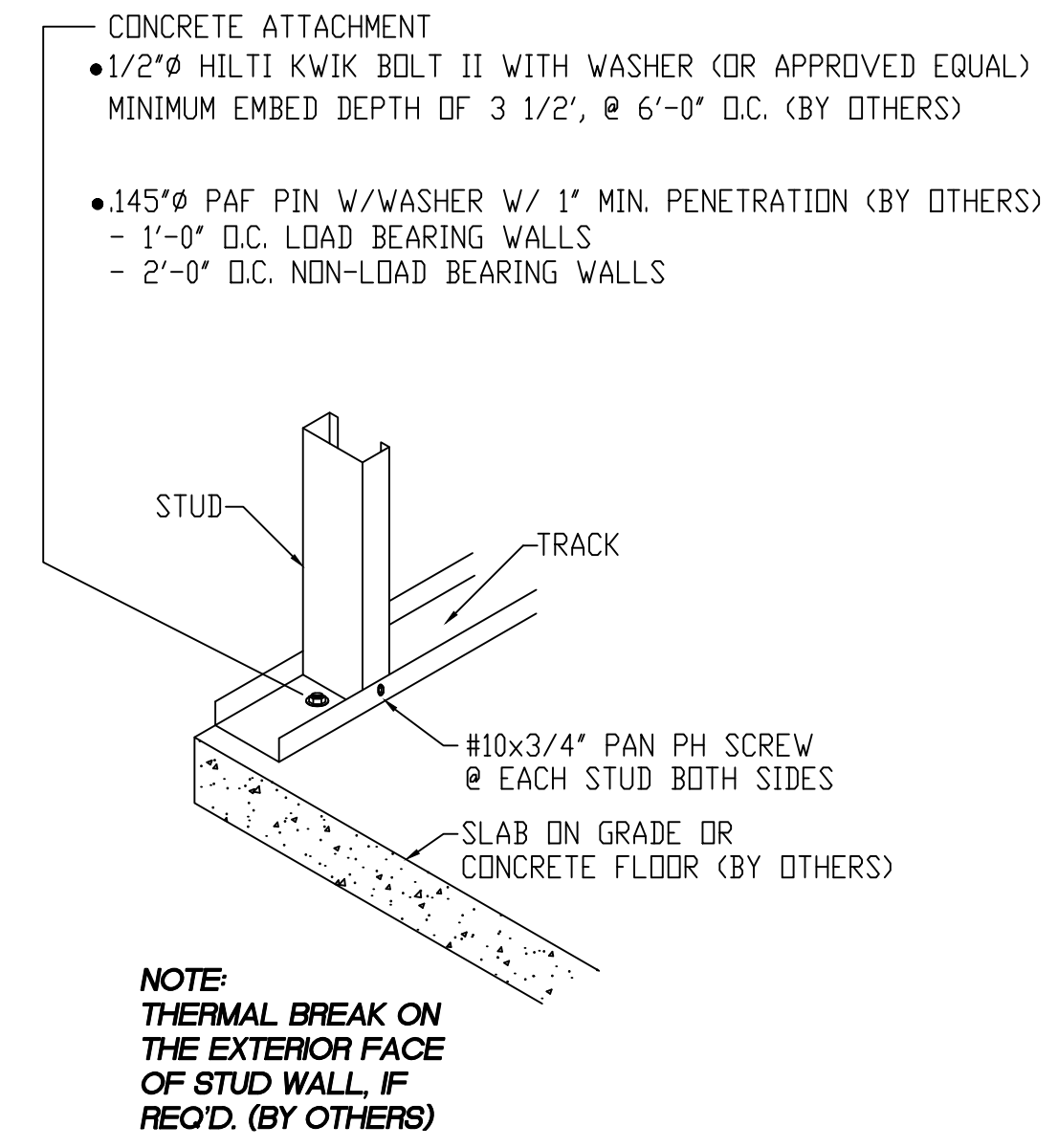
(NO WASHABLE PLATES WILL BE USE, ONLY DISPOSABLE FOAM PLATES/CONTAINERS).



NOTES:  
FOR STUD HEIGHTS 10'-0" AND LESS, INSTALL CRC AT MID HEIGHT  
FOR STUD HEIGHTS GREATER THAN 10'-0" INSTALL AT THIRD POINT



B NEW INTERIOR NON-RATED SOLID WOOD DOOR



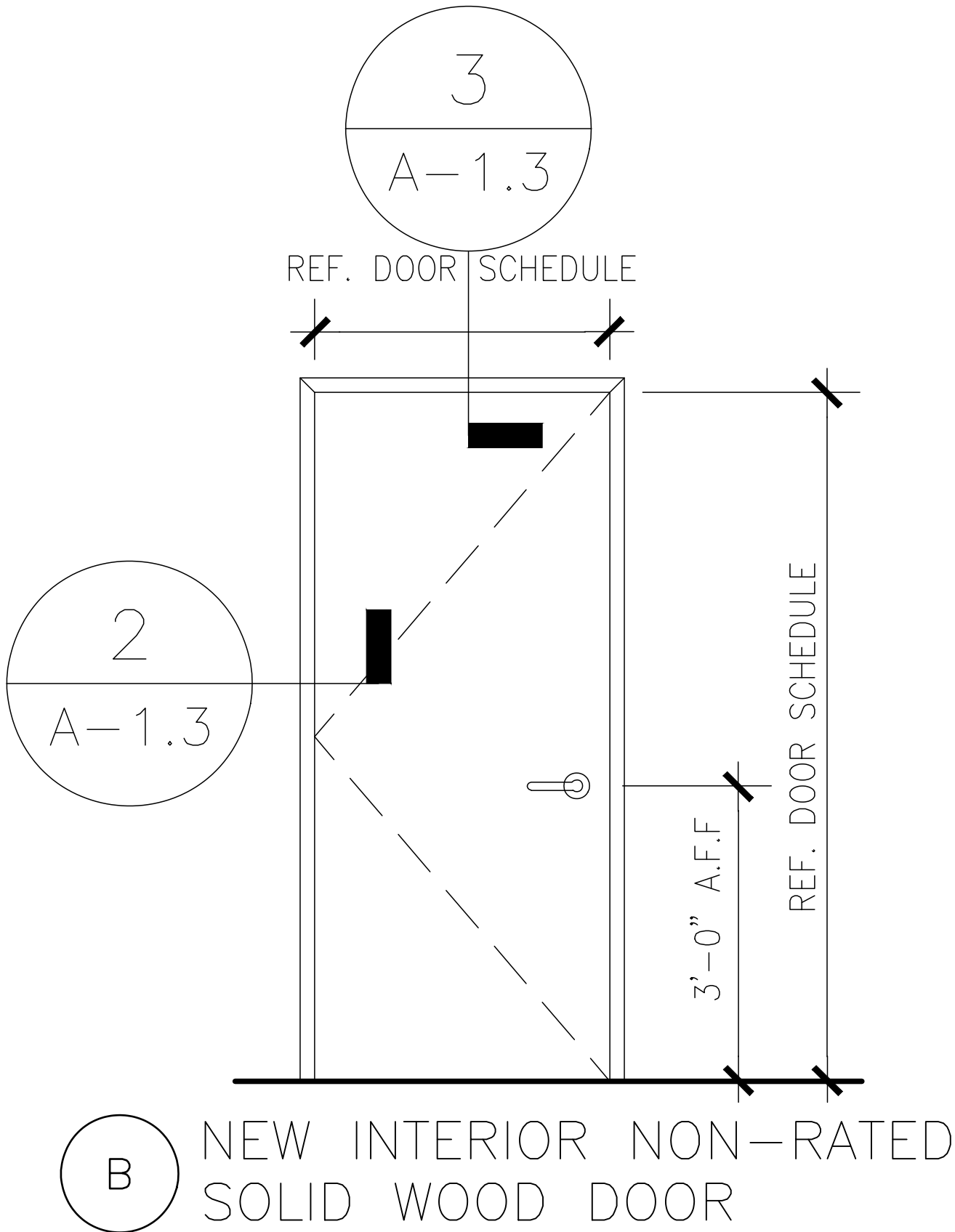
PROP. FLOOR PLAN  
SCALE: 3/16"=1'-0"



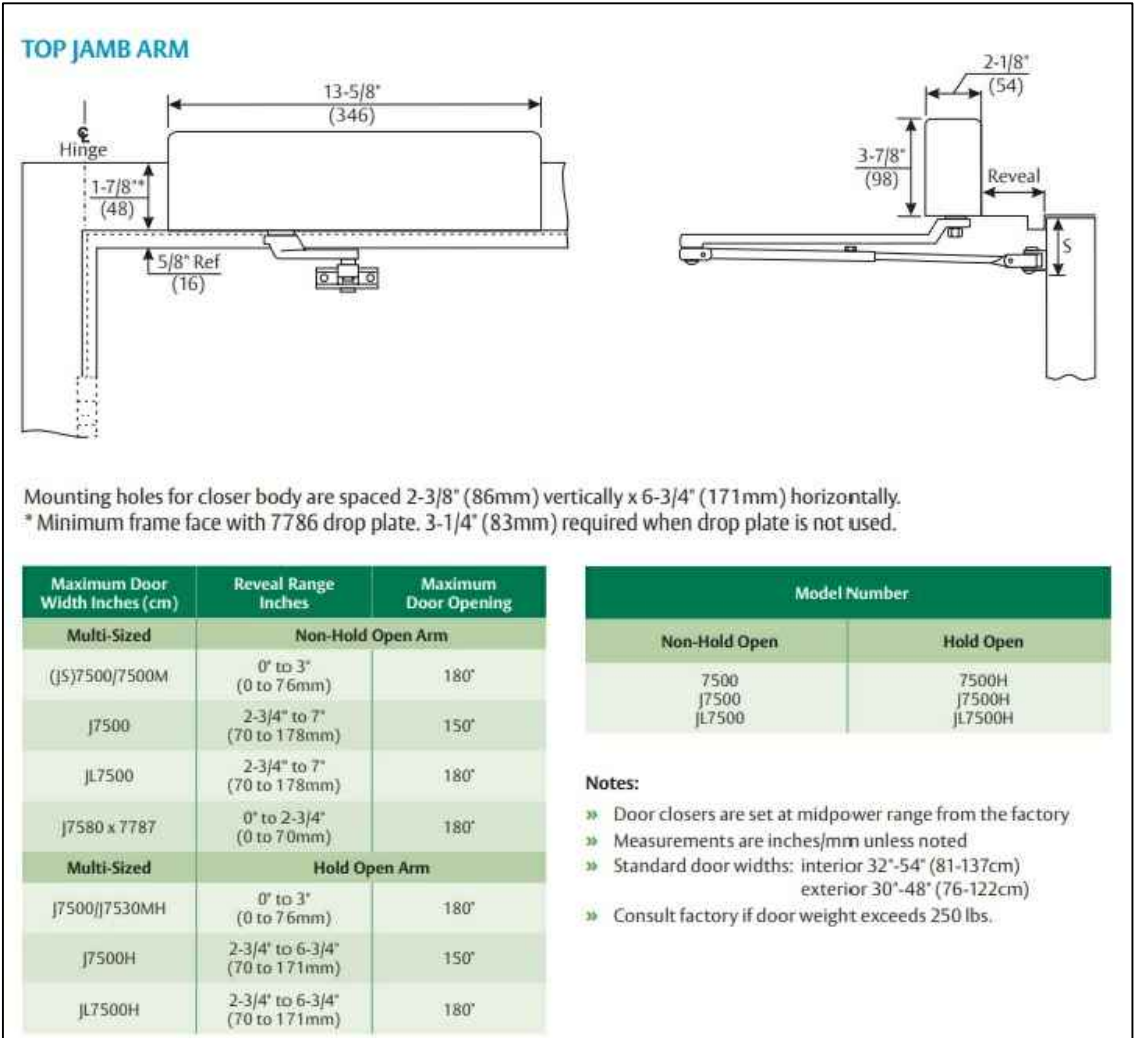
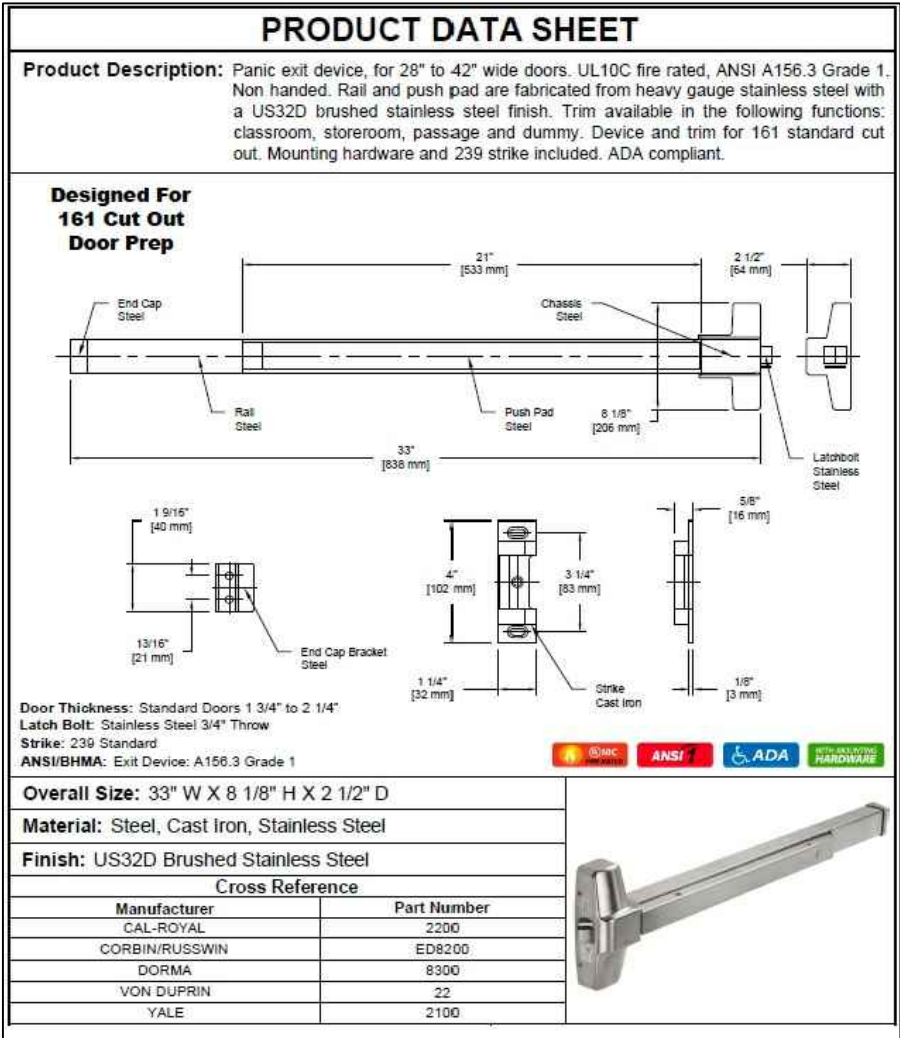
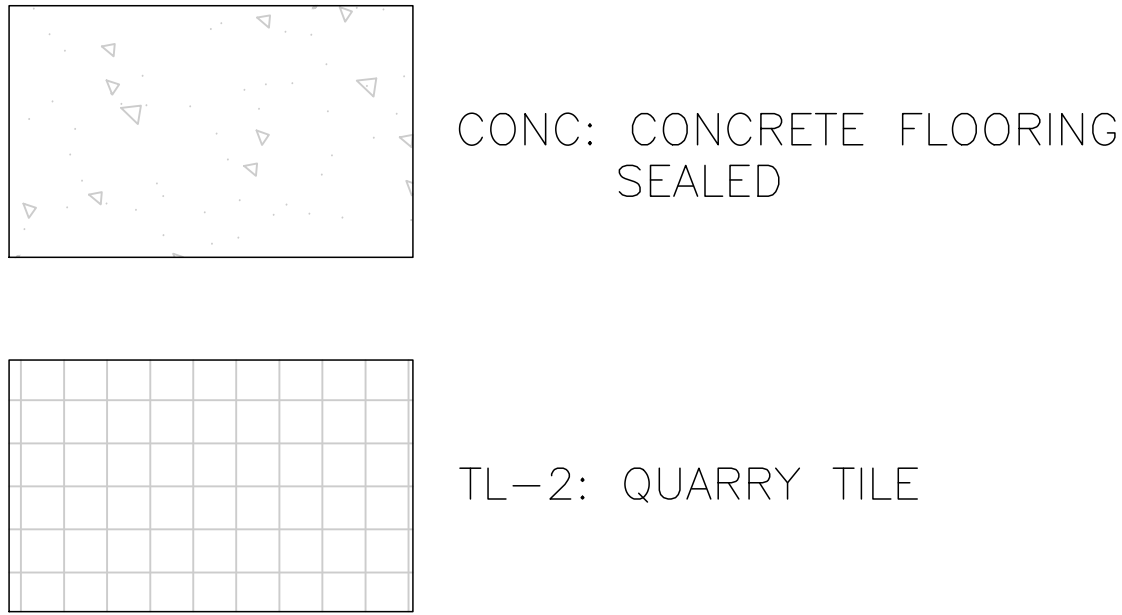


PROP. FLOOR PLAN  
SCALE: 3/16"=1'-0"

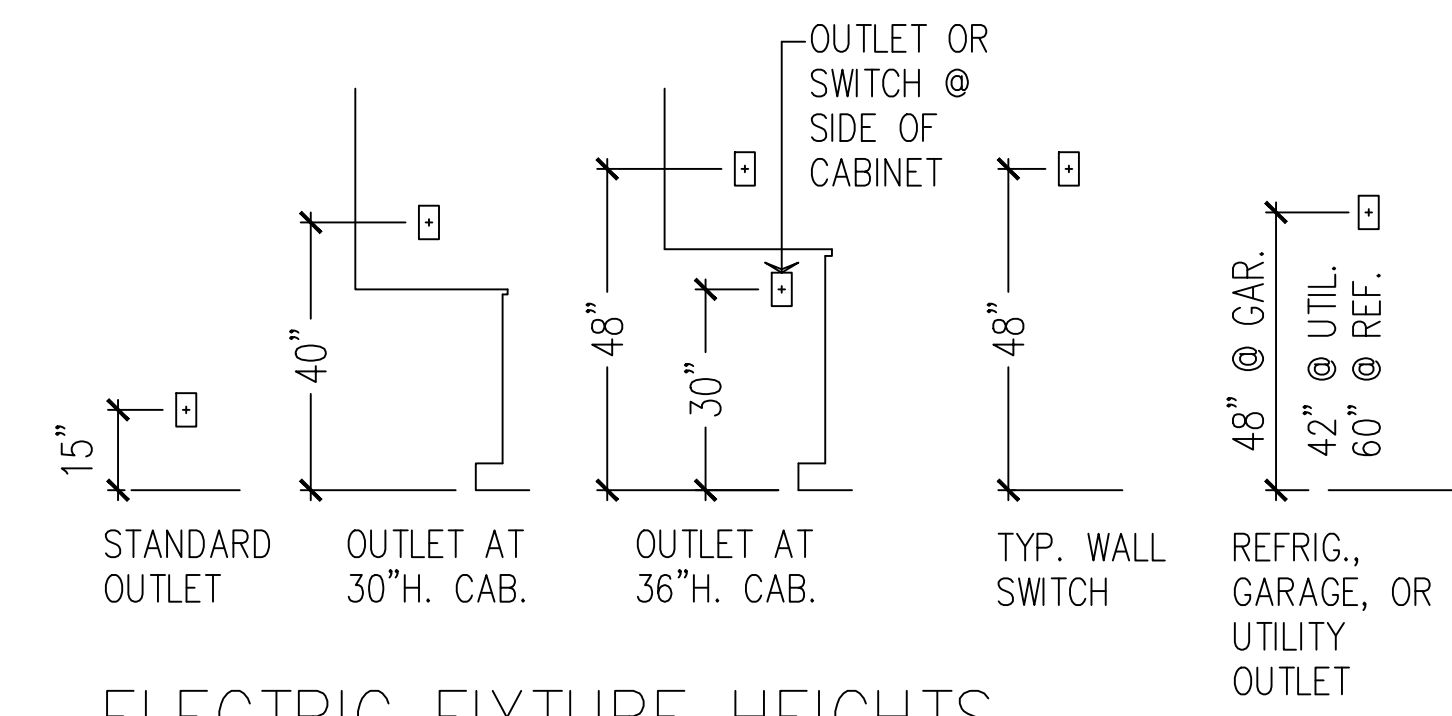
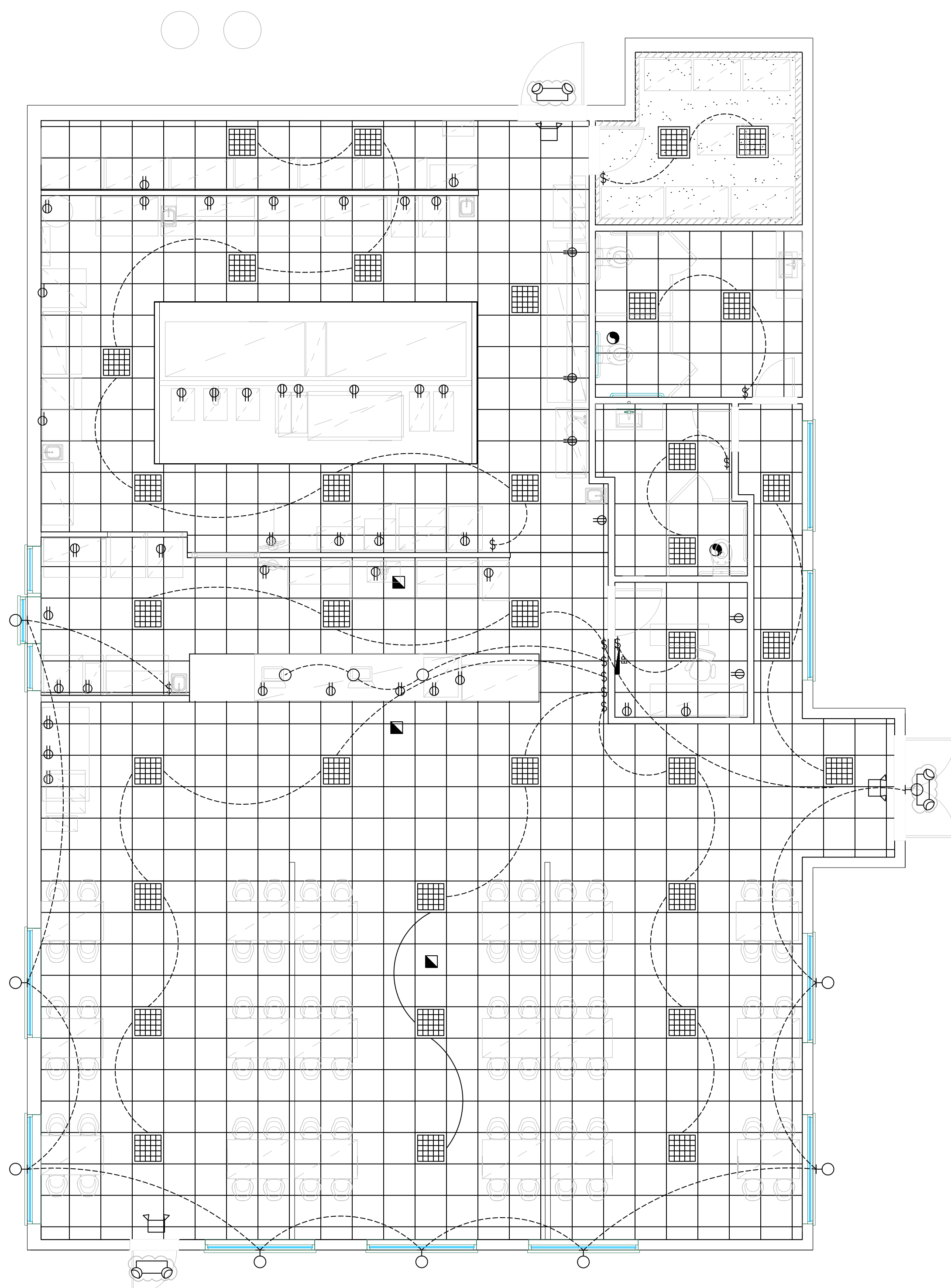
ROOM FINISH LEGEND					
ROOMS	FLOORS	#	BASE	WALLS	CEILINGS
DINING AREA	CONCRETE (W/SEALANT)	1	RUBBER COVE BASE	PAINTED GYP. BOARD	CEILING TILES
KITCHEN/SERVICE AREA	6X6 "QUARRY TILE	2	TILE COVE BASE	STAINLESS STEEL	VINYL CLADDED
RESTROOM	6X6 "QUARRY TILE	3	TILE COVE BASE	STAINLESS STEEL	CEILING TILES
WALKING COOLER	CONCRTETE	4		CUSTOM WALL PANEL	GYP. CEILING



FINISH LEGEND







ELECTRIC FIXTURE HEIGHTS

(UNLESS NOTED OTHERWISE)

GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

- |  |  |  |   |
|--|--|--|---|
|  | 110 VOLT RECEPTACLE                            |  | SINGLE POLE SWITCH                      |
|  | WP WATERPROOF RECEPTACLE                       |  | THREE WAY SWITCH                        |
|  | CL6 110 VOLT IN CEILING                        |  | FOUR WAY SWITCH                         |
|  | GFI 110 VOLT with GROUND FAULT INTERRUPTER     |  | DIMMER SWITCH                           |
|  | FLR 110 VOLT IN FLOOR                          |  | RHEOSTAT SWITCH                         |
|  | 220V 220 VOLT RECEPTACLE                       |  | CEILING MOUNTED LIGHT                   |
|  | 110 VOLT DIRECT HARD WIRE                      |  | HANGING LIGHT                           |
|  | HOSE BIBB                                      |  | RECESSED, ADJUSTABLE CAN LIGHT          |
|  | TELEPHONE OUTLET w/ CATS VOICE & DATA          |  | WP WATERPROOF RECESSED ADJUSTABLE CAN L |
|  | PUSH BUTTON (DOORBELL OR GARAGE DOOR OPENER)   |  | WALL MOUNTED LIGHT                      |
|  | SMOKE DETECTOR (HARD WIRE WITH BATTERY BACKUP) |  | EXHAUST FAN (50 cfm MIN.)               |
|  | Fire Exit                                      |  | 2x2 FLUORESCENT FIXTURE 25 W            |
|  | T THERMOSTAT                                   |  | EXIT LIGHT, BATTERY TYPE WITH CHARGER   |
|  | ELEC. PANEL                                    |  | EMERGENCY ILLUMINATION                  |

GREEN/ENERGY CODE COMPLIANCE OUTLINE 2012 IECC	
1.	WATER EFFICIENCY:
1.1.	ALL LAV. FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
1.2.	ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
1.3.	ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE
2.	STORM WATER:
2.1.	70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE
3.	POLY SEAL:
3.1.	WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK
3.2.	SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK
3.3.	ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK
3.4.	ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK
3.5.	BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS
3.6.	DUCT TIGHTNESS TESTING IS MANDATORY. TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4 FT <sup>3</sup> /MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
3.6.1.	EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE
4.	INSULATION:
4.1.	2:12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF
4.2.	ALL PIER AND BEAM/ RAISED FLOORS MUST BE INSULATED WITH R – 19 INSULATION OR HIGHER
4.2.1.	EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R – 5 CONTINUOUS OR R – 13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH
4.3.	ALL EXTERIOR WALLS MUST BE INSULATED WITH R – 20 CAVITY OR R – 13 CAVITY WITH R – 5 CONTINUOUS INSULATION OR HIGHER
4.4.	CEILINGS MUST BE INSULATED WITH R – 49 IF THERE IS ATTIC SPACE AND R – 30 IF NO ATTIC SPACE (CATHEDRAL) AND THAT IS LIMITED TO 500 SQ. FT. TOTAL OR 20% OF CEILING WHICHEVER IS LESS
4.5.	ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
5.	HVAC/SERVICE WATER:
5.1.	ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R – 8 DUCTING
5.2.	MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R – 13 INSULATION
6.	WINDOWS AND DOORS:
6.1.	MUST HAVE A U-FACTOR OF .32 OR LESS
6.2.	MUST HAVE A SHGC OF .25 OR LESS
7.	LIGHTING:
7.1.	ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE
7.2.	MINIMUM OF 75% OF LIGHTING MUST BE HIGH EFFICIENCY (ANYTHING BUT INCANDESCENT)

ELECTRICAL PLAN

SCALE: 3/16"=1'-0"



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ADDRESS:

SCOPE OF WORK:

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REMODEL

SCALE:	3/16"=1'-0"	DRAWING No.	
DATE:	02/11/2022		
SQ FT:	3,956		
TYPE:	ELECTRICAL PLAN	DRAWN:	EACB

5 OF 12



## PLUMBING PLAN

SCALE: 3/16"=1'-0"



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SCOPE OF WORK:











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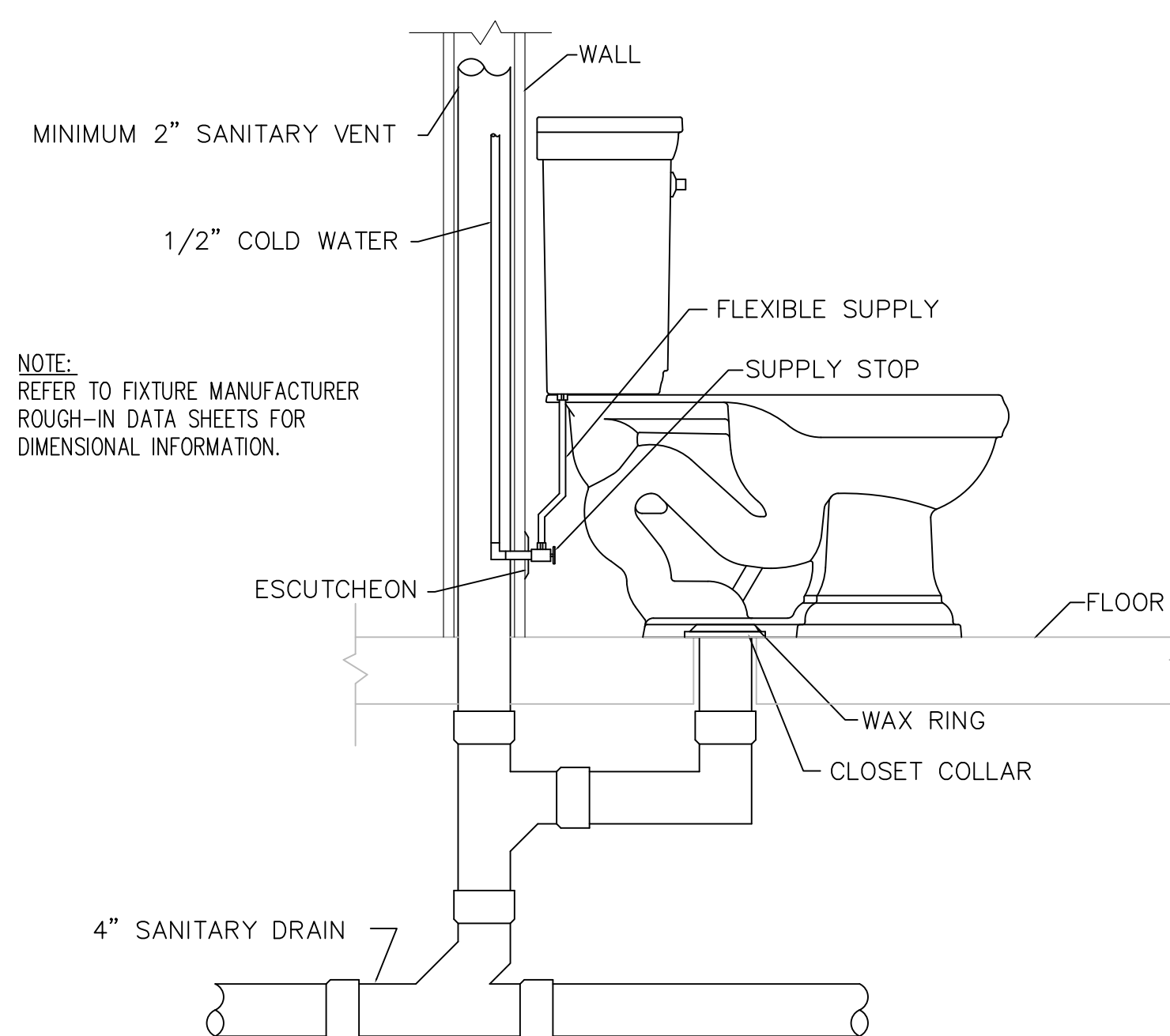
REMODEL

<h1> <b>FIXTURE CONNECTION</b> </h1>					
MARK	FIXTURE	WASTE	VENT	CW	HW
WC	WATER CLOSET	4"	2"	1"	—
FD	FLOOR DRAIN	3"	2"	—	—
HS	HAND SINK	2"	1½"	¾"	¾"
WH	WATER HEATER	—	—	¾"	¾"

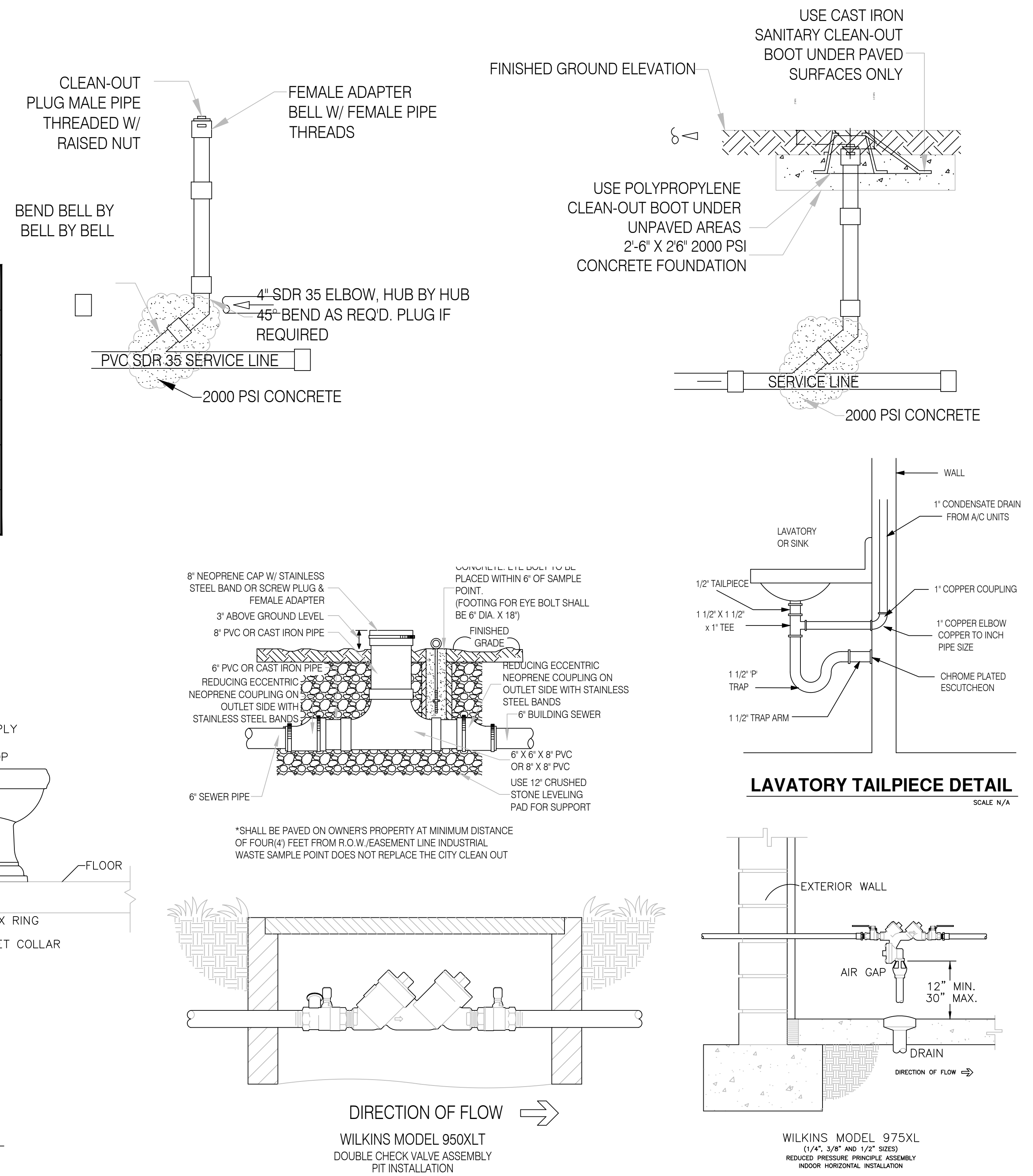
**NOTES:**

- SIZES SHOWN ARE MINIMUM UNIFORM PLUMBING CODE REQUIREMENTS FOR TRAPS, TRAP ARM & ROUGH-IN CONNECTION.
- IF CAST IRON NO-HUB PIPE IS USED, WASTE AND VENT PIPE SHALL BE 2" MINIMUM.

PLUMBING LEGEND	
SYMBOL	ITEM DESCRIPTION
 S.S.  S.S. 	SANITARY SEWER
 HW  HW 	HOT WATER
 CW  CW 	COLD WATER
	HOSE BIBB



## TANK WATER CLOSET



WILKINS MODEL 975XL  
(1/4", 3/8" AND 1/2" SIZES)  
REDUCED PRESSURE PRINCIPLE ASSEMBLY  
INDOOR HORIZONTAL INSTALLATION

SCALE:	3/16" = 1'-0"
DATE:	02/11/2022
SQ FT:	3,956
TYPE:	ELECTRICAL PLAN

DRAWING No.

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6 OF 12

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DRAWN: EACB



PROJECT	PROPOSED RESTAURANT	CALCULATED BY	LCH	DATE	1/7/2022
ADDRESS	726 I-30 FRONTAGE ROAD	COMPANY	CREATIVO DESIGNS	REF. NO.	22407

BACKGROUND  
AS DEFINED IN THE UNIFORM PLUMBING CODE, APPENDIX H GREASE INTERCEPTORS ARE DESIGNED TO CONTROL AND PREVENT HARMFUL SUBSTANCES FROM ENTERING THE SANITARY DRAINAGE SYSTEM. THE WORKSHEET WAS DESIGNED TO ASSIST THE ENGINEER IN CHOOSING THE PROPER GREASE INTERCEPTOR.

INSTRUCTIONS  
FOLLOW THE STEPS TO DETERMINE GREASE INTERCEPTOR SIZE

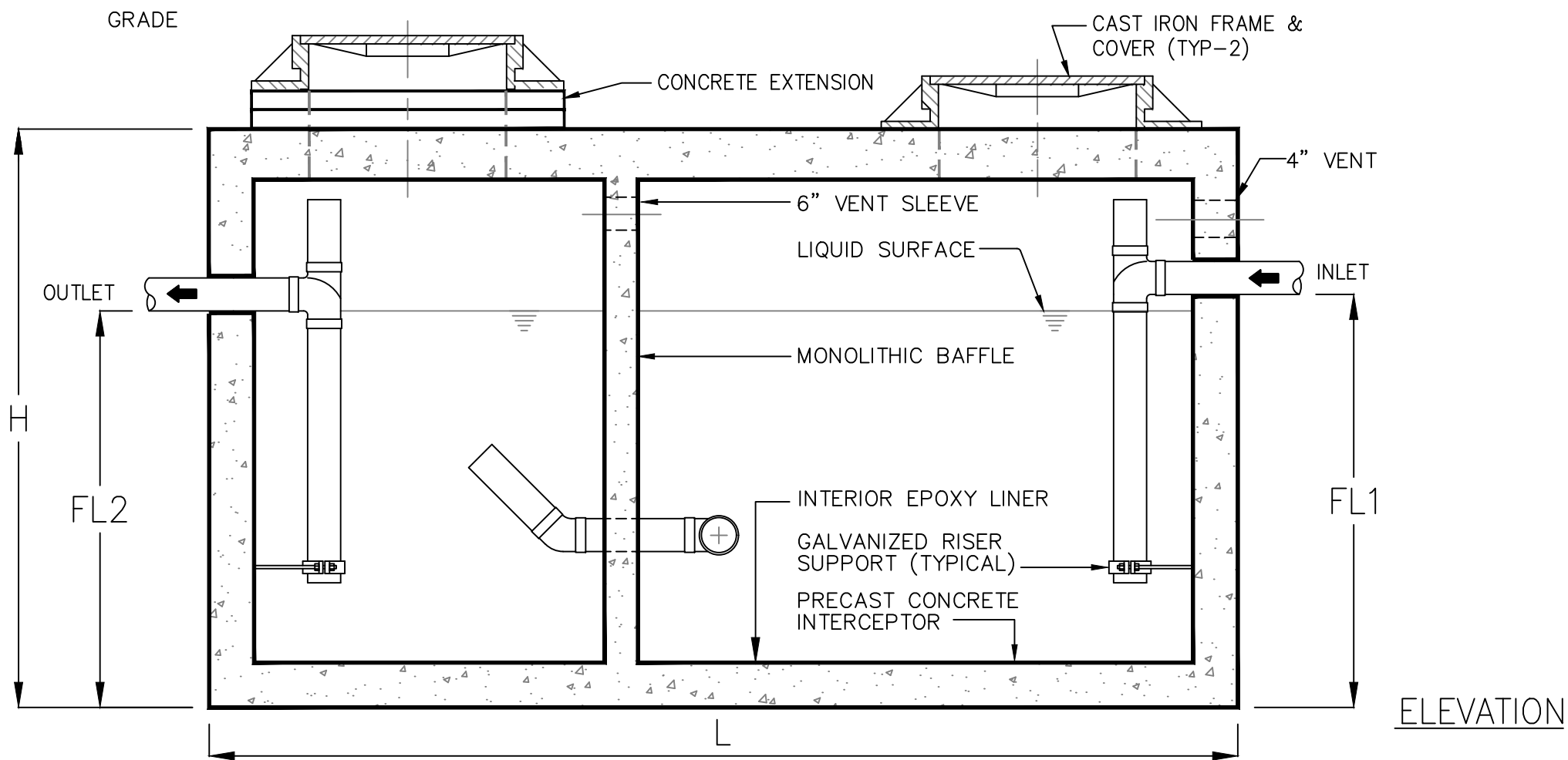
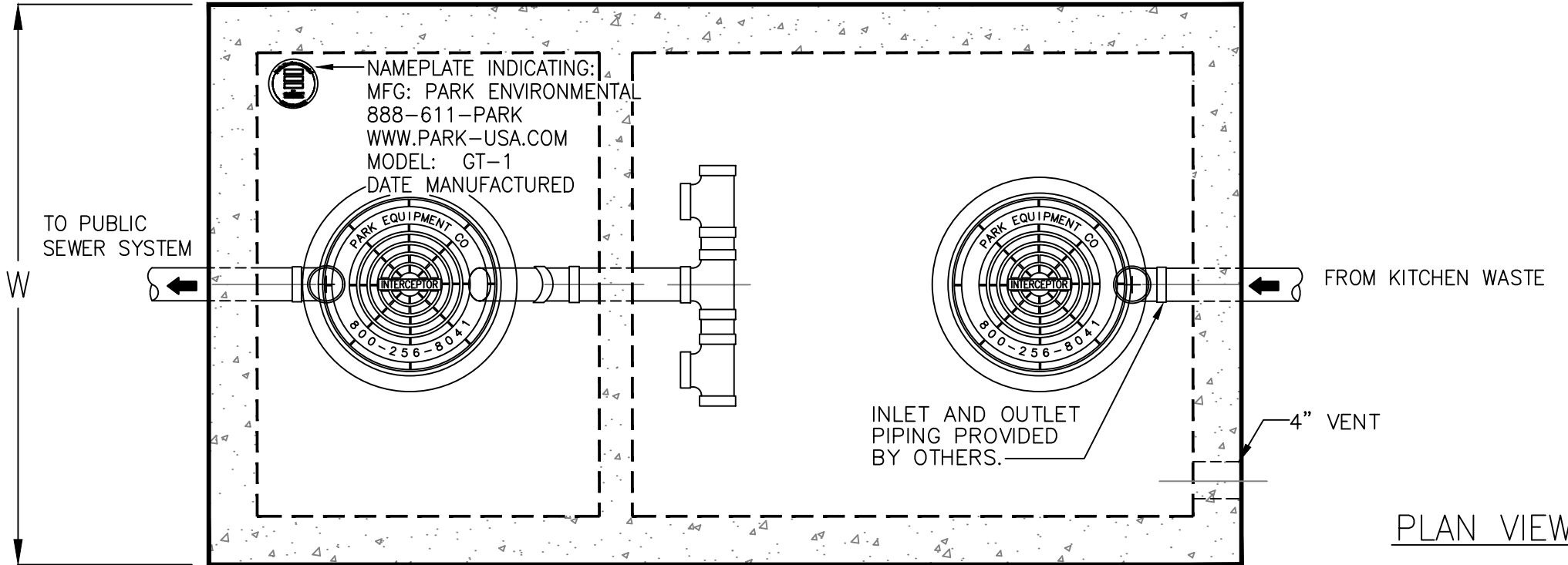
NUMBER OF MEALS PER PEAK HOURS		WASTE FLOW RATE		RETENTION TIME		STORAGE FACTOR		INTERCEPTOR SIZE (CALCULATED)
210.00	X	2	X	1.50	X	1.00	=	630.00

RECOMMENDED MINIMUM SIZE GREASE INTERCEPTOR

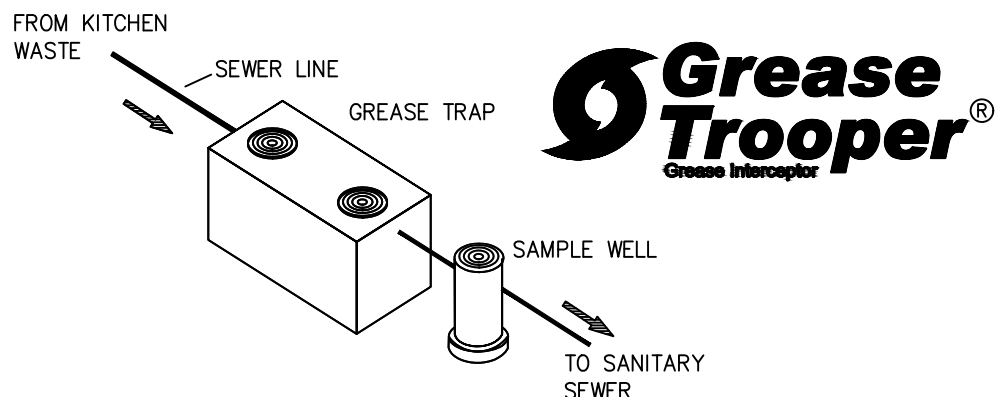
500

NUMBER OF MEALS PER PEAK HOUR RECOMMENDED FORMULA	NOTES			
SEATING CAPACITY OR NUMBER OF PERSONS		MEAL FACTOR		NUMBER OF MEALS PER PEAK HOUR
72	X	1.00	=	72.00
ENTER SEATING CAPACITY				
ESTABLISHMENT TYPE FAST FOOD RESTAURANT LEISURE DINING CAFETERIA/HOSPITAL		MIN. PER MEAL 1.33 1.00 0.67 0.50		MIN. PER MEAL 45 60 90 120
WASTE FLOW RATE CONDITION A. WITH A DISHWASHING MACHINE B. WITHOUT A DISHWASHING MACHINE C. SINGLE SERVICE KITCHEN D. FOOD WASTE DISPOSER ONLY		FLOW RATE 6 GALLON FLOW 5 GALLON FLOW 2 GALLON FLOW 1 GALLON FLOW		
RETENTION TIME COMMERCIAL KITCHEN WASTE DISHWASHER SINGLE SERVICE KITCHEN SINGLE SERVICE		25 HOURS 1.5 HOURS		
SINGLE SERVICE KITCHEN IS DEFINED AS: A KITCHEN WHICH USES "DISPOSABLE" PLATES AND UTENSILS				
STORAGE FACTOR KITCHEN TYPE A. FULLY EQUIPPED COMMERCIAL KITCHEN HOURS OF OPERATION 8 HOURS 12 HOURS 16 HOURS 24 HOURS		STORAGE FACTOR 1 1.5 2 3		
SINGLE SERVICE KITCHEN IS DEFINED AS: A KITCHEN WHICH USES "DISPOSABLE" PLATES AND UTENSILS				
CALCULATE LIQUID CAPACITY MULTIPLY THE VALUES OBTAINED FROM STEP #1, #2, #3, AND #4. THE RESULT IS THE APPROXIMATE GREASE INTERCEPTOR FOR THE APPLICATION				
SELECT GREASE INTERCEPTOR USING THE APPROXIMATE REQUIRED LIQUID CAPACITY FROM STEP #5 SELECT AN APPROPRIATE SIZE AS RECOMMENDED BY THE MANUFACTURER.				

DISCLAIMER  
THIS PROGRAM IS DESIGNED FOR THE EASY SELECTION OF GREASE INTERCEPTORS. CHECK WITH THE LOCAL PLUMBING AUTHORITY FOR SPECIFIC REQUIREMENTS. NOT WARRANTY. EITHER EXPRESSED OR IMPLIED IS GIVEN WITH RESPECT TO THE ACCURACY OR SUPEREDITY OF THE INFORMATION PROVIDED HEREIN, AND THE USER MUST ASSUME ALL RESPONSIBILITY FOR CONNECTION WITH THE USE THEREOF. PLEASE CONTACT MANUFACTURER FOR SPECIFICATIONS.



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Typical applications include commercial and industrial food service kitchens where excessive grease may interfere with the proper drainage of the sewer system. The grease interceptor is generally buried below grade for gravity flow sewer systems. A sample well is utilized on the outlet side for sampling by the local water authority.

### Specifications

CONCRETE : Class II concrete with design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor, first stage of wall and baffle with sectional riser to required depth. (Monolithic baffle required, slide-in type is not acceptable)

REINFORCEMENT: Grade 60 reinforced with steel rebar conforming to ASTM A615 on required centers or equal.

C.I. CASTINGS: Manhole frames, covers or grates are manufactured of grey cast iron conforming to ASTM A48-76 Class 30. Manhole shall be nominal 24 inch diameter and be traffic duty.

MODEL NO.	CAPACITY USGal	GREASE CAP. (LBS)	EMPTY WT (LBS)	LENGTH L	WIDTH W	HEIGHT H	INLET FL1	OUTLET FL2
GT-500	500	1,200	9,500	7'-10"	4'-4"	4'-6"	3'-3"	3'-0"
GT-750	750	1,700	9,900	7'-10"	4'-4"	6'-0"	4'-5"	4'-2"
GT-1000	1,000	2,300	13,350	8'-8"	5'-0"	6'-0"	4'-9"	4'-6"
GT-1250	1,250	2,900	14,650	9'-2"	5'-8"	6'-0"	4'-9"	4'-6"
GT-1500	1,500	3,500	16,050	9'-2"	5'-8"	7'-0"	5'-9"	5'-6"
GT-2000	2,000	4,600	21,250	9'-0"	6'-0"	8'-0"	6'-9"	6'-6"
GT-2500	2,500	5,700	27,050	13'-0"	7'-0"	7'-0"	5'-9"	5'-6"
GT-3000	3,000	6,900	33,150	13'-0"	7'-0"	8'-0"	6'-9"	6'-6"
GT-3500	3,500	8,000	38,550	13'-0"	7'-0"	8'-6"	7'-3"	7'-0"
GT-4000	4,000	9,300	38,100	16'-0"	8'-6"	7'-0"	5'-9"	5'-6"

OTHER SIZES ARE AVAILABLE. CONTACT US FOR MORE INFORMATION

### Engineering Data

The grease interceptor is structurally & hydraulically engineered to conform to regional plumbing codes recommended in most cities. Consult with local authorities for specific application requirements.

Shop drawings shall include complete structural & bouyancy calculations certified by a licensed professional engineer.

Consult with Park Equipment Company for exact excavation dimensions & shipping information.

Model 950XLT  
Top Access Double Check Valve Assembly

SPECIFICATION SUBMITTAL SHEET

**APPLICATION**  
Designed for installation on potable water lines to protect against both backphorage and backpressure of polluted water into the potable water supply. A tethered test cock cap is provided to protect against fouling caused by insects, dirt and debris. Assembly shall provide protection where a potential non-health hazard exists.

**FEATURES**  
 Sizes: 3/4" 1" 1 1/4" 1 1/2" 2"  
 Maximum working water pressure 175 PSI  
 Maximum working water temperature 180°F  
 Hydrostatic test pressure 350 PSI  
 End connections Threaded  
 ANSI B1.20.1

**OPTIONS**  
(Suffixes can be combined)  
☐ L - less ball valves  
☐ FT - with Fast Test Test cocks  
☐ U - with union ball valves  
☐ S - with bronze "Y" type strainer

**ACCESSORIES**  
(Suffixes can be combined)  
☐ Repair kit (rubber only)  
☐ Thermal expansion tank (Model WXTP)  
☐ Bronze wye strainer  
☐ Stainless steel ball valve handles  
☐ OT-SET Quick Test Fitting Set  
☐ Test Cock Lock (Model TCL24)

**STANDARDS COMPLIANCE**  
(Unless otherwise noted, applies to 3/4" thru 2" Horizontal)  
 • ASSEI Listed 1015 (Vertical flow-up 1 1/4" thru 2")  
 • IAPMOE Listed  
 • AWWA Compliant C510  
 • CSAE Certified (Vertical flow-up 1 1/2" & 2")  
 • NYC MEA 428-89-M VOL 3  
 • Approved by the Foundation for Cross Connection Control and Hydraulic Research at the University of Southern California

**MATERIALS**  
 Main valve body Cast Bronze ASTM B 584  
 Access covers Cast Bronze ASTM B 584  
 Fasteners Stainless Steel, 300 Series  
 Elastomers Silicone (FDA approved)  
 Polymers Buna Nitrile (FDA approved)  
 Springs Noryl™, NSF Listed  
 Test cock cover Stainless steel, 300 series  
 Plastic

**DIMENSIONS & WEIGHTS (do not include pkg.)**

MODEL SIZE	DIMENSIONS (approximate)										WEIGHT	
	A	B	C	D	E	F	G	H	I	J		
3/4"	10	13	13	13	13	13	13	13	13	13	13	13
1"	13	16	16	16	16	16	16	16	16	16	16	16
1 1/4"	16	19	19	19	19	19	19	19	19	19	19	19
1 1/2"	19	22	22	22	22	22	22	22	22	22	22	22
2"	22	25	25	25	25	25	25	25	25	25	25	25

Page 1 of 2

Model 975XL  
Reduced Pressure Principle Assembly

**Application**  
Designed for installation on water lines to protect against both backphorage and backpressure of contaminated water into the potable water supply. Assembly shall provide protection where a potential health hazard exists.

**Standards Compliance**  
 • ASSEI Listed 1015  
 • IAPMOE Listed  
 • ULB Classified (less shut-off valves or with OS&V valves)  
 • C-ULB Classified  
 • CSAE Certified B94.4  
 • AWWA compliant C511  
 • Approved by the Foundation for Cross Connection Control and Hydraulic Research at the University of Southern California  
 • NYC MEA 428-89-M VOL 3

**Materials**  
 Main valve body Cast Bronze ASTM B 584  
 Access covers Cast Bronze ASTM B 584  
 Fasteners Stainless Steel, 300 Series  
 Elastomers Silicone (FDA approved)  
 Polymers Buna Nitrile (FDA approved)  
 Springs Noryl™, NSF Listed  
 Stainless Steel, 300 series

**Features**  
 Size: 3/4", 1", 1 1/4", 1 1/2", 2"  
 Maximum working water pressure 175 PSI  
 Maximum working water temperature 180°F  
 Hydrostatic test pressure 350 PSI  
 End connections Threaded  
 ANSI B1.20.1

**Options**  
(Suffixes can be combined)  
☐ L - less ball valves, main pipe thread  
☐ U - with union ball valves  
☐ MS - with integral relief valve monitor switch  
☐ S - with bronze "Y" type strainer  
☐ FDC - with fire hydrant connections; 2" only  
☐ FT - with fast test cocks  
☐ TCU - with test cocks up  
☐ SE - with steel elbows (3/4" & 1")

**Accessories**  
☐ Air gap (Model AG)  
☐ Repair kits  
☐ Thermal expansion tank (Model XT)  
☐ Soft seated check valve (Model 40XL)  
☐ Shock arrester (Model 1250XL)  
☐ OT-SET Quick Test Fitting Set  
☐ Ball valve handle locks

Relief Valve discharge port:  
 3/4", 1" - 0.63 sq. in.  
 1 1/4", 2" - 1.19 sq. in.

**Dimensions & Weights (do not include pkg.)**

MODEL MODEL SIZE	DIMENSIONS (approximate)										WITH BALL VALVES
	A	B	C	D	E	F	G	H	I	J	
3/4"	10	13	13	13	13	13	13	13	13	13	13
1"	13	16	16	16	16	16	16	16	16	16	16
1 1/4"	16	19	19	19	19	19	19	19	19	19	19
1 1/2"	19	22	22	22	22	22	22	22	22	22	22
2"	22	25	25	25	25	25	25	25	25	25	25

Page 1 of 2

## GREASE TRAP



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REMODEL

SCALE: 3/16"=1'-0"

DATE: 02/11/2022

SQ FT: 3,956

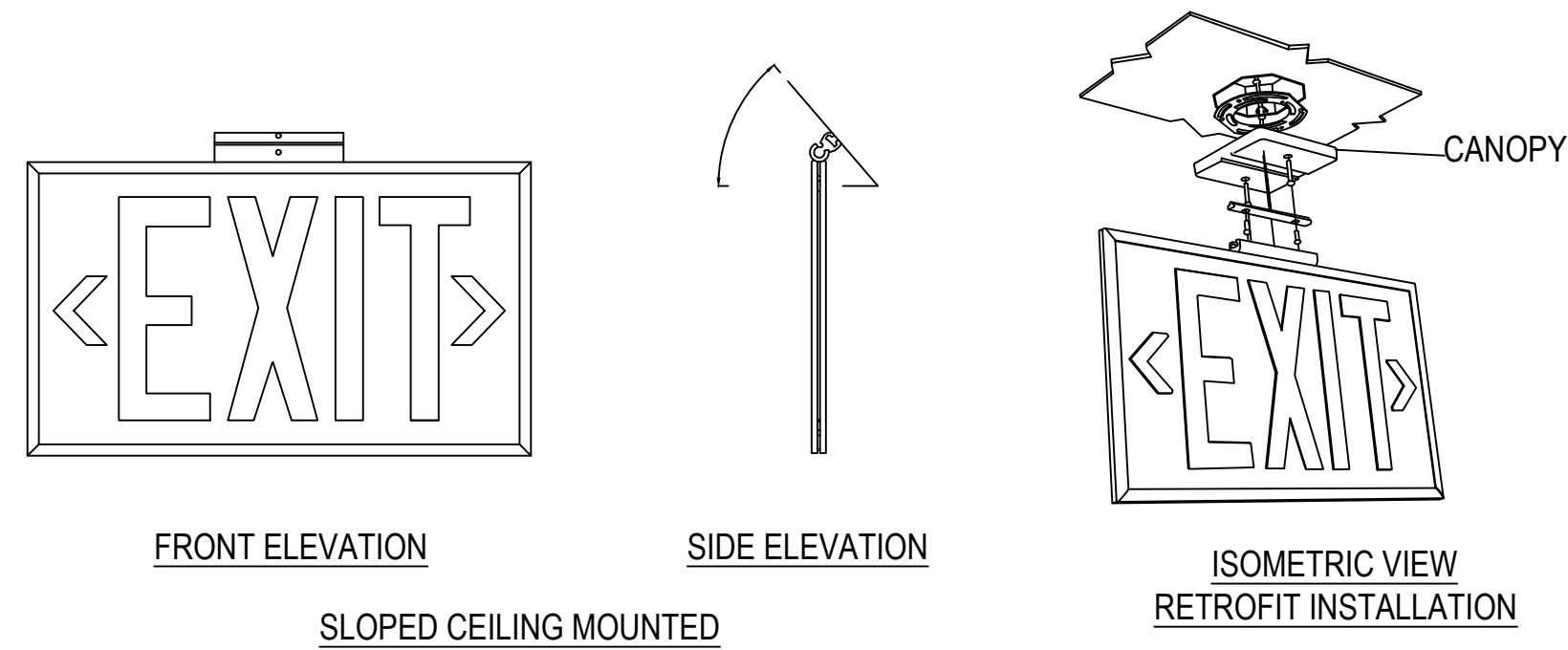
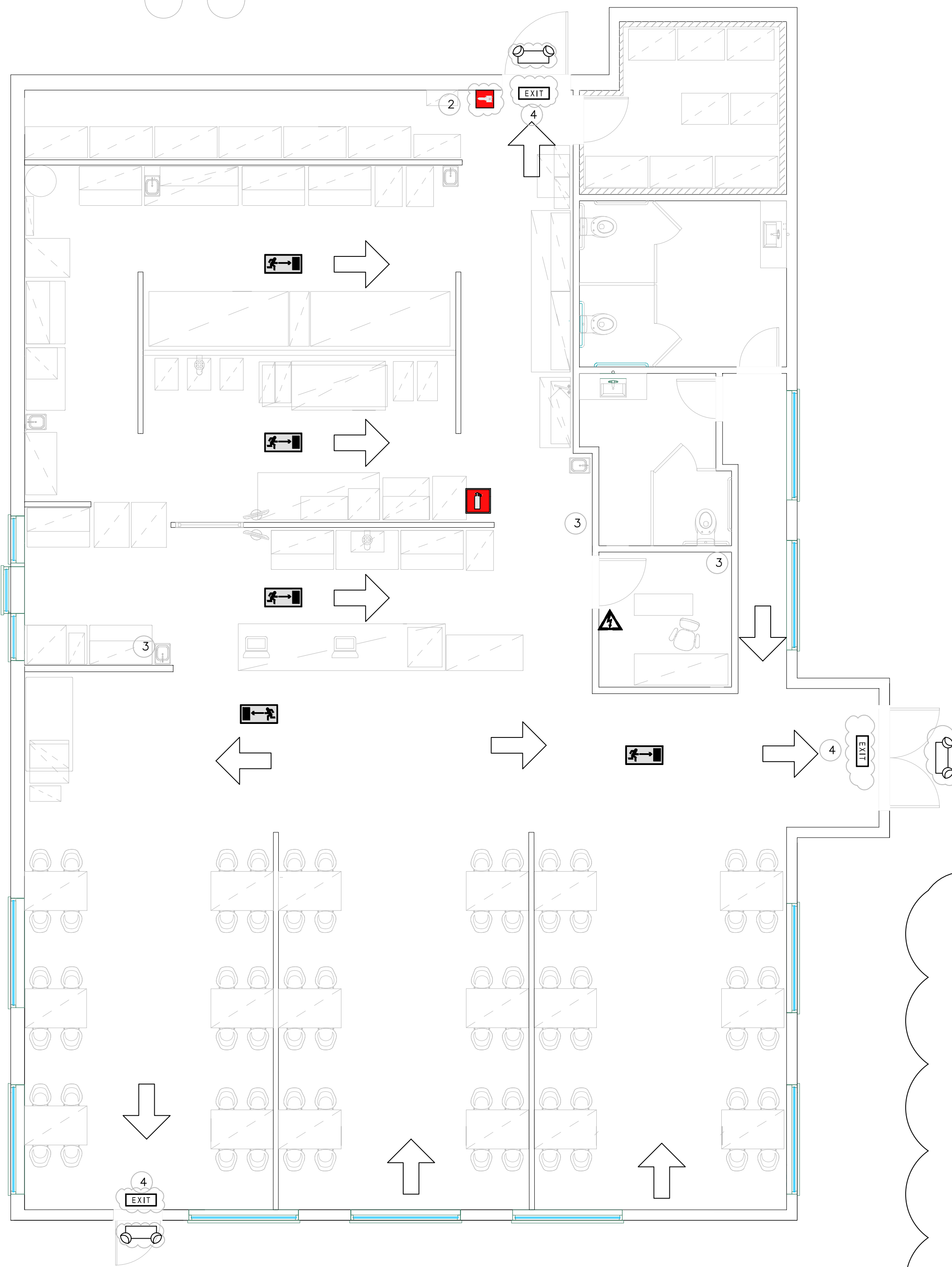
TYPE: GREASE TRAP

DRAWING No.

7 OF 12

DRAWN: EACB





RETROFIT CANOPY ADAPTER  
ECOGLO'S ACCESSORY COVER PLATE GIVES YOU ALL THE BENEFITS OF LOW COST INSTALLATION AND MAINTENANCE WITHOUT THE FRUSTRATIONS THAT OTHER SYSTEMS HAVE. NO SPECIAL TOOLS ARE REQUIRED. SIMPLY ATTACH UNIVERSAL MOUNTING BRACKET TO AN EXISTING OCTAGON BOX, FASTEN THE ECOGLO CANOPY TO THE MOUNTING BRACKET AS SHOWN IN THE DIAGRAM. SLIDE THE SIGN INTO THE CANOPY INSTEAD OF SCREWING IT DIRECTLY INTO A CEILING OR WALL.  
WHEN REPLACING OR REMOVING AN ELECTRICALLY-POWERED EXIT THE POWER MUST BE TERMINATED AT THE SOURCE NOT IN THE WALL CAVITY BEFORE INSTALLING THE ECOGLO EXIT SIGN. CHECK WITH THE LOCAL ELECTRICAL CODE REQUIREMENTS FIRST BEFORE INSTALLATION  
SLOPED CEILING ADAPTOR  
THE HINGED MOUNTING ADAPTER ACCOMMODATES SLOPES FROM 0 TO APPROXIMATELY 49 DEGREES AND IS INSTALLED SIMILAR TO THE STANDARD CEILING CONFIGURATION

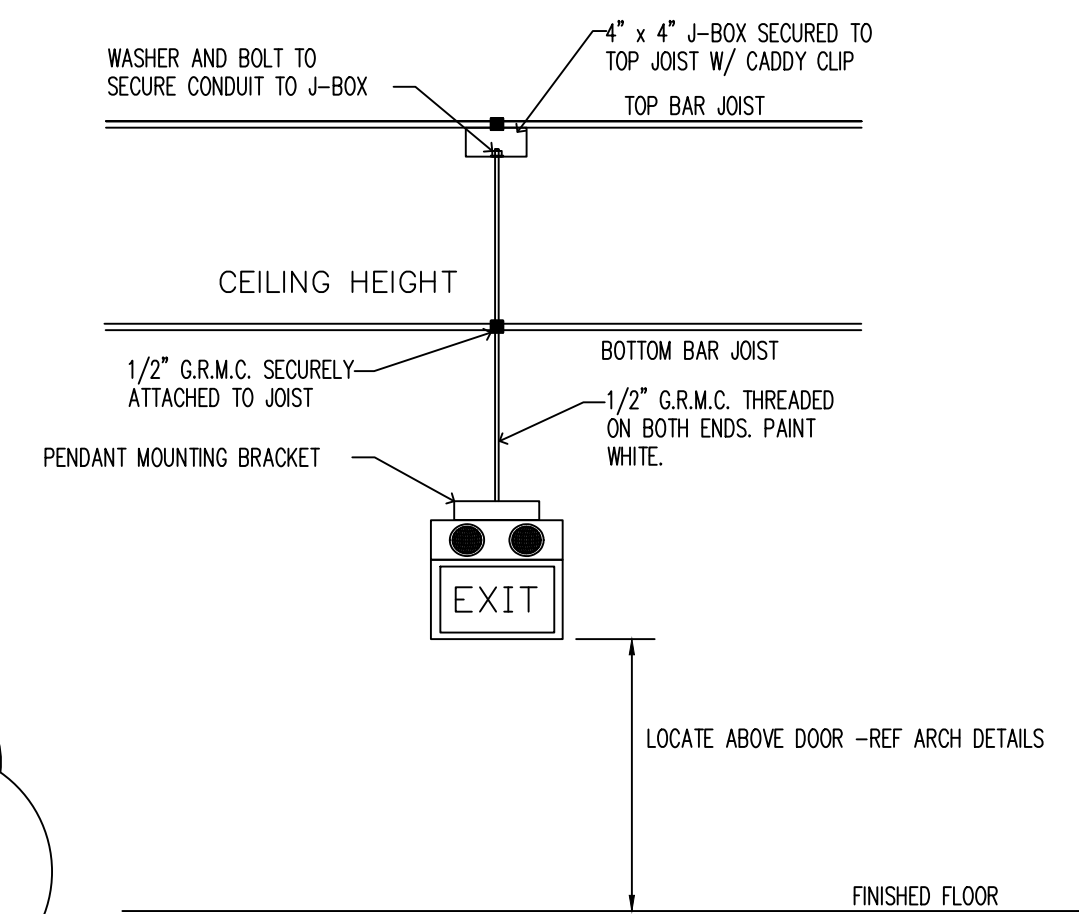
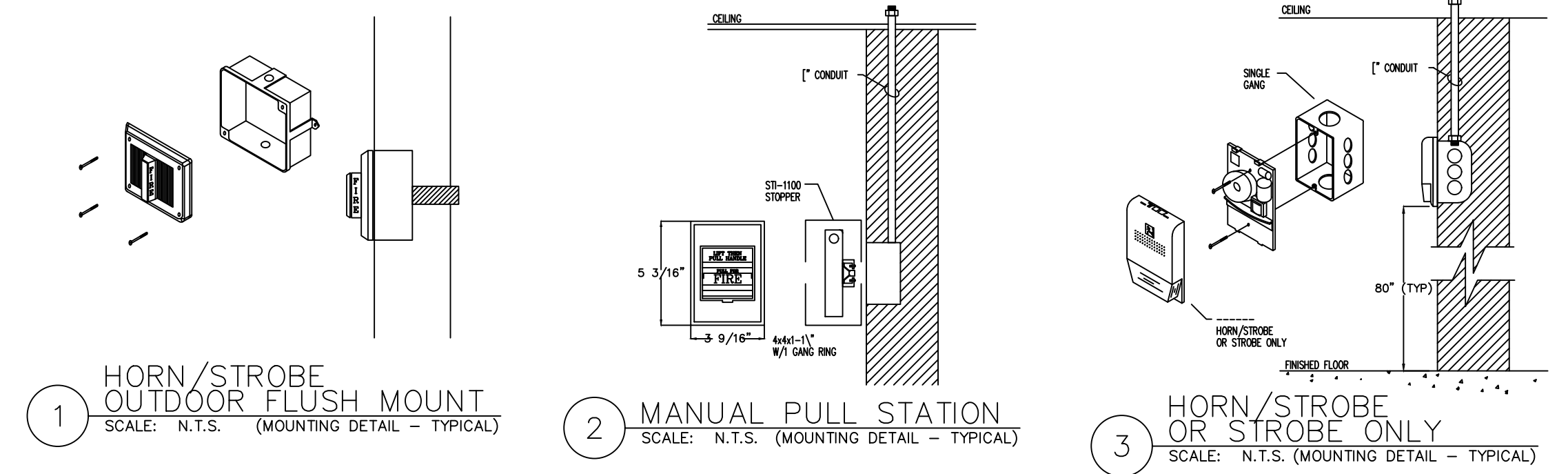
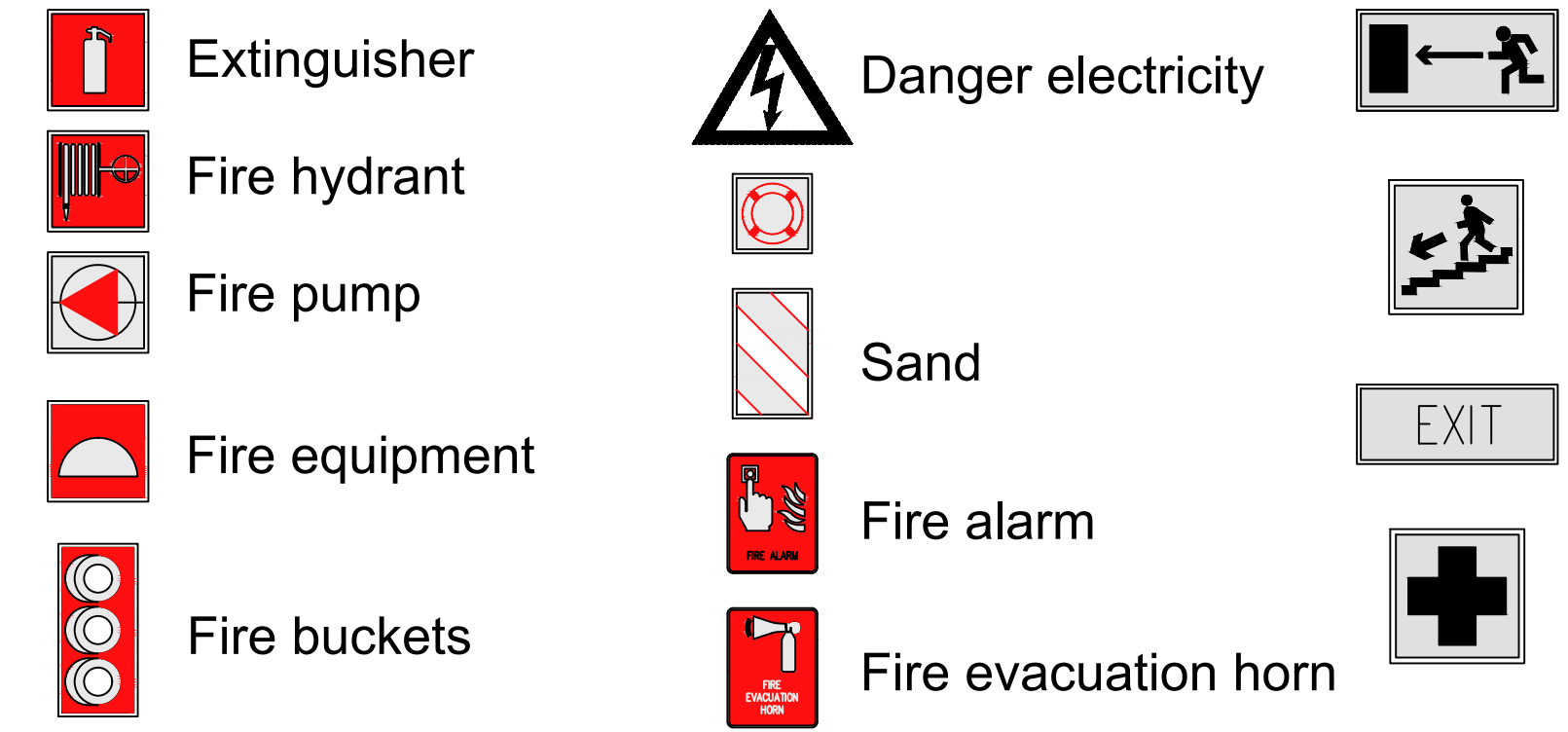
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
  3. DO NOT SCALE DRAWING.
  4. THESE DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES AND ARE FOR INFORMATION PURPOSES ONLY. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

## PHOTOLUMINESCENT EXIT SIGNS

EXIT SIGN: RETROFIT CANOPY ADAPTER AND SLOPED CEILING ADAPTER

Short Term Outage Less than 1 hour	Prolonged Power Outage Outage continues >1 hour	Prolonged Outage- Refrigerators and Freezers
<b>Don't panic.</b> Flashlights can be found at entrance of each room. <b>Assess extent of outage</b> in your area. Red emergency outlets should be used for critical functions, such as freezers and refrigerators. <b>Keep refrigerators and freezers closed</b> during duration of outage. <b>Move</b> to location near a window or area with adequate lighting.	<b>Check elevators</b> for trapped occupants. If found, contact University Police at <b>9-911</b> from any campus phone or <b>(414)229-9911</b> from cellphone. <b>Unplug</b> personal computers and all non-essential electrical equipment and appliances. <b>Open windows</b> for additional light and ventilation, if appropriate.	<b>If outage is temporary</b> , items may stay in original refrigerator or freezer. <b>Keep door closed at all times.</b> <b>If outage is due to failure of an individual unit</b> , contents should be transferred to a functioning unit. <b>If outage is due to area power outage</b> , contents should be transferred to a refrigerator/freezer that is plugged in to a red emergency power outlet.

## Electrical Outage



## EMERGENCY AND SAFETY PLAN

SCALE: 3/16"=1'-0"



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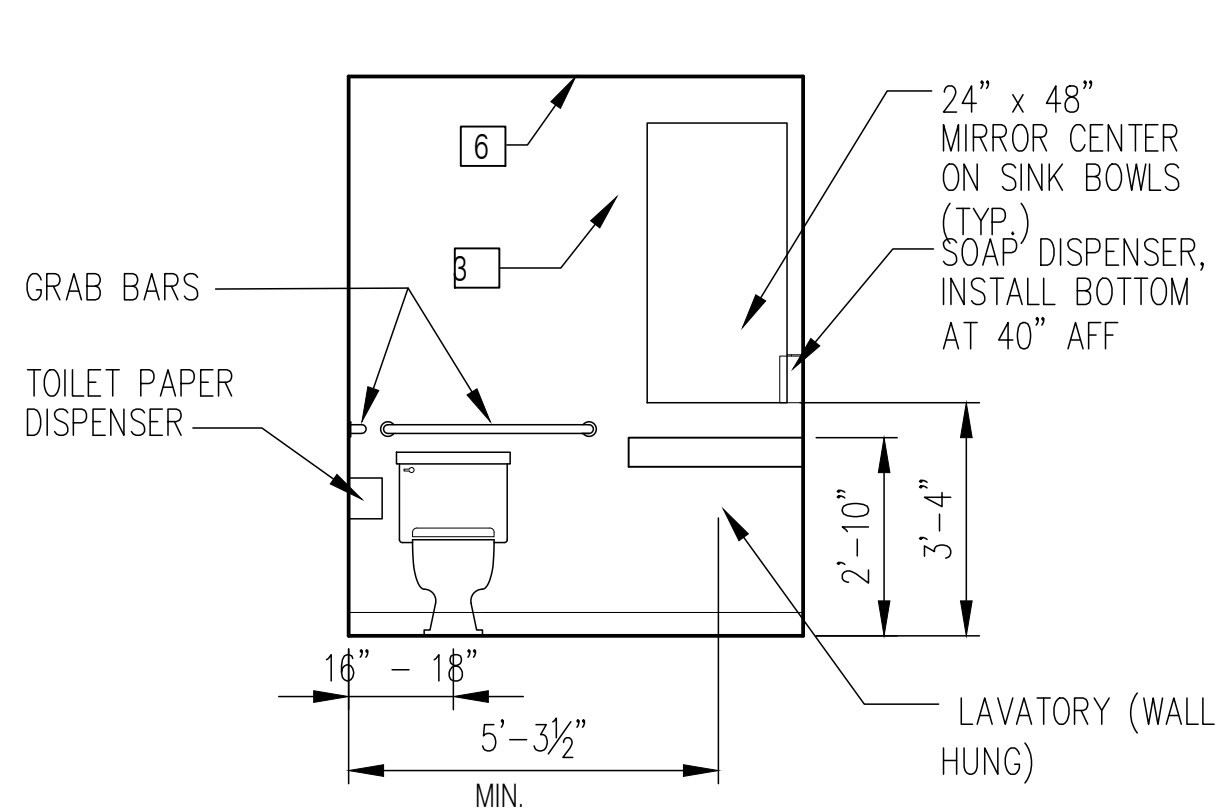
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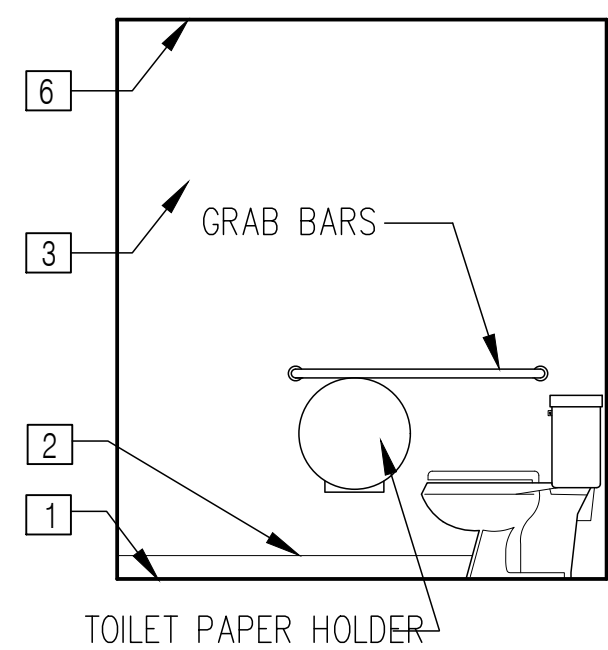
DRAWING No.  
9 OF 12  
DRAWN: EACB





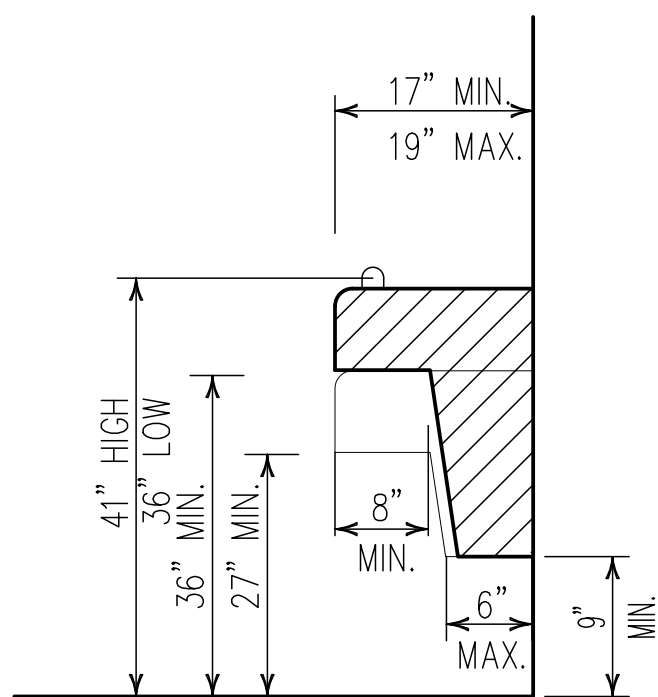
TYP. TOILET ROOM ELEVATION

SCALE: N.T.S.



TYP. TOILET ROOM ELEVATION

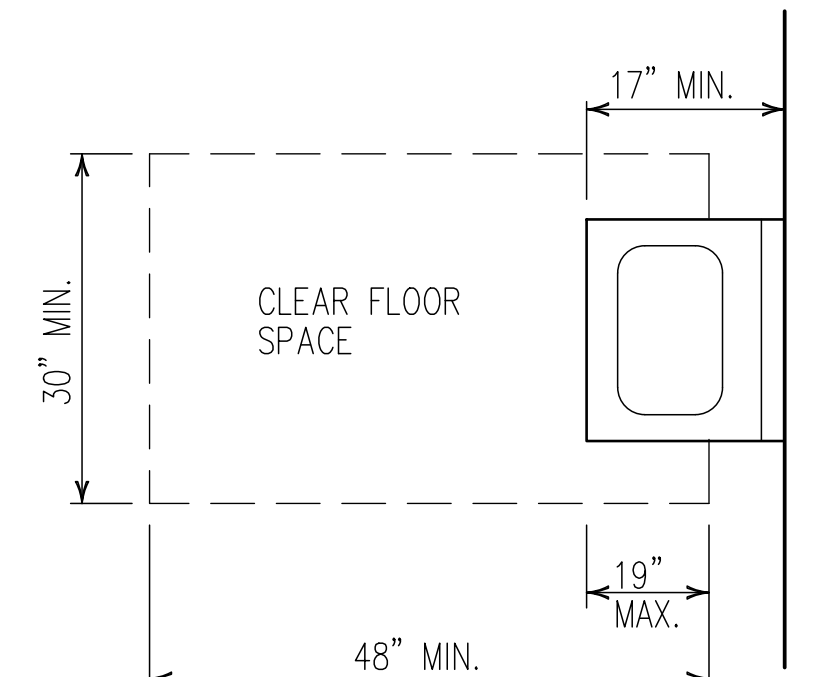
SCALE: N.T.S.



NOTE:  
 2 WATER COOLER UNITS TO BE INSTALLED  
 (1 - HIGH AND 1 - LOW)  
 LOW UNIT SPOUT TO BE SET AT 36" AFF, MAXIMUM

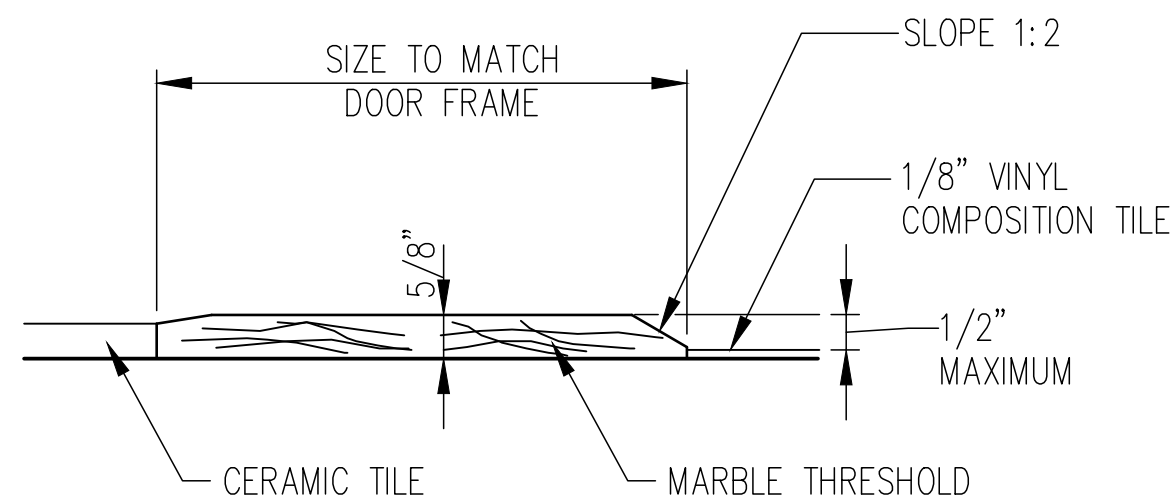
WATER COOLER CLEARANCES

SCALE: N.T.S.



CLEAR FLOOR SPACE AT LAVATORY

SCALE: N.T.S.



THRESHOLD DETAIL

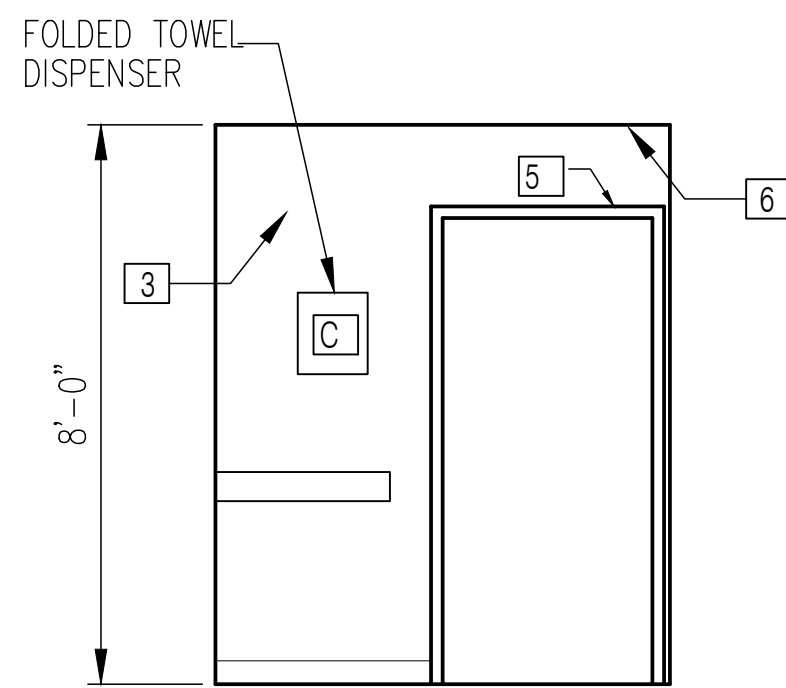
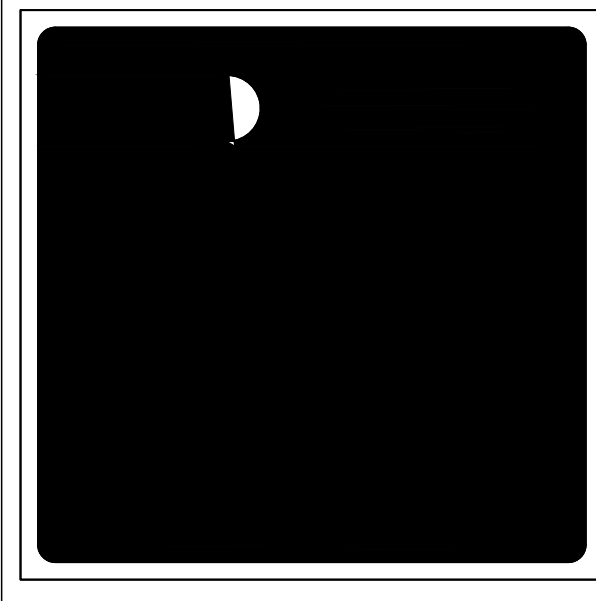
SCALE: N.T.S.

TOILET ROOM FINISH SCHEDULE

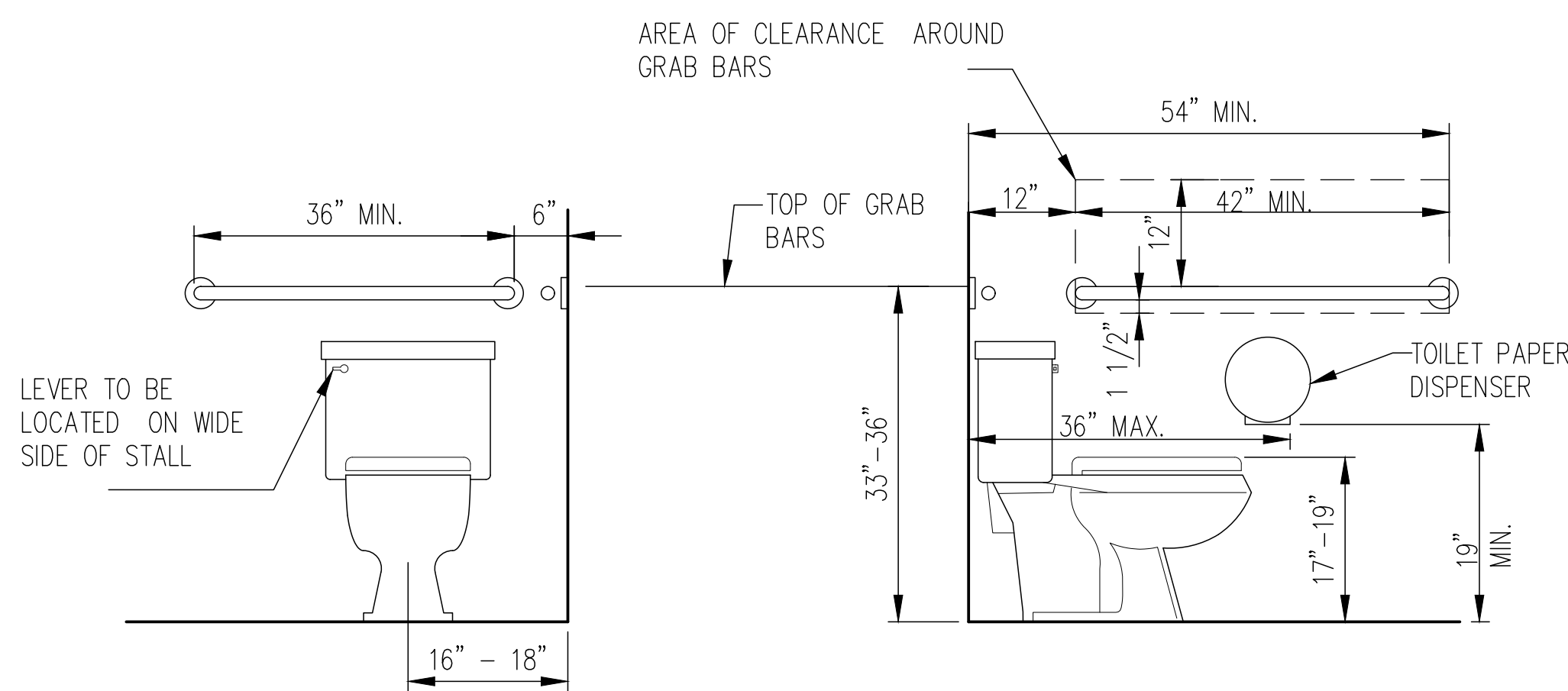
- 1 CERAMIC TILE FLOOR (6x6 OR 8x8)  
 COLOR: DAL-TILE #V S06 - GRAY  
 GRANITE  
 GROUT COLOR TO MATCH TILE
- 2 CERAMIC COVE BASE (6" HIGH)  
 COLOR: DAL-TILE #X114 DESERT GRAY
- 3 GYPSUM BOARD - PAINTED  
 COLOR: TO BE DETERMINED
- 5 H.M. DOOR AND FRAME, PAINT TO MATCH  
 COLOR: P-L "HEATHSTONE"  
 POR-2316-000
- 6 GYPSUM BOARD CEILING PAINT  
 COLOR: WHITE, SEMI GLOSS
- 7 LAVATORY (WALL HUNG)  
 COLOR: WHITE
- 8 PILLAR TAP METERING FAUCET  
 MODEL #1340M.105 (AMERICAN STANDARD)  
 CAST SPOUT 1.5 GPM VANDAL RESISTANT

TOILET ROOM SIGNAGE

A. PLACE "ADA" TOILET ROOM SIGNAGE ON WALL ADJACENT TO THE LATCH SIDE. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3 IN. OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR



NOTE:  
 ALL ACCESSORIES TO BE MOUNTED WHERE POINT OF DISPENSING AND/OR ANY OPERATING HEIGHT IS A MAXIMUM OF 40" A.F.F.

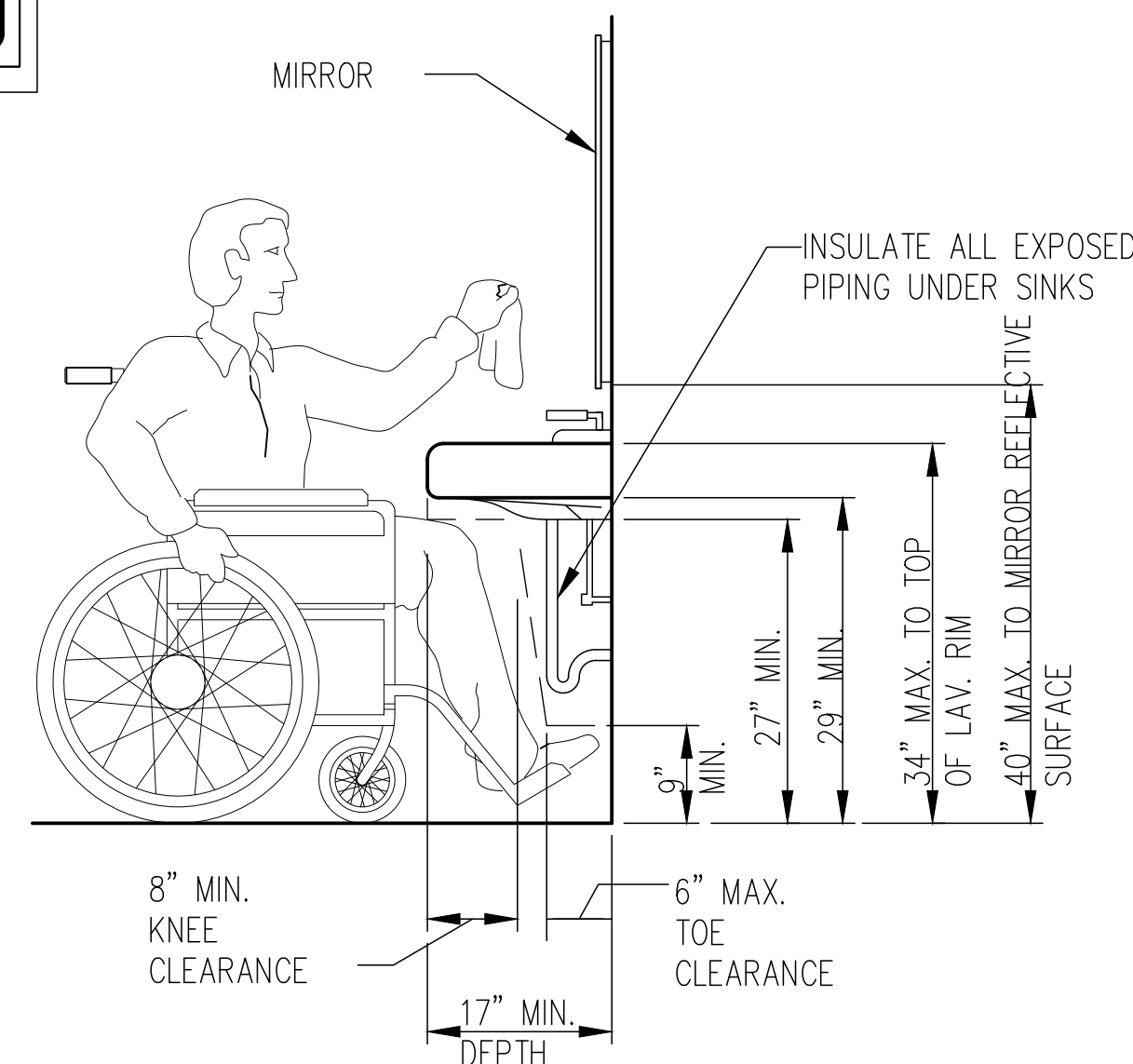


FRONT ELEVATION

SCALE: N.T.S.

SIDE ELEVATION

SCALE: N.T.S.



LAVATORY CLEARANCES

SCALE: N.T.S.

BATHROOM SPECIFICATION SPECIFICATIONS

MATERIALS

- A. MIRROR TO BE "BRADLEY - FIXED TILT" MODEL #740 OR EQUAL
- B. GYPSUM BOARD IN TOILET ROOMS TO BE WATER RESISTANT.

TOILET ACCESSORIES

- A. GRAB BARS SHALL BE 1 1/2" O.D., 18 GAUGE, TYPE 304 STAINLESS STEEL WITH A SATIN FINISH. RAIL SHALL BE DESIGNED FOR WALL TO WALL MOUNTING WITH CONCEALED ANCHORS.

ACCEPTABLE MANUFACTURERS:

- AMERICA SPECIALTIES, INC., BOBRICK, MC KINNEY/PARKER  
 AND  
 BRADLEY CORPORATION.
- B. SOAP DISPENSERS, DIAPER DISPENSER, ALUMINUM DOUBLE ROLL PAPER HOLDER FOR EACH WATER CLOSET AND TOWEL HOLDERS, ETC. TO BE SUPPLIED, AND INSTALLED BY GENERAL CONTRACTOR.
  - C. FOLDED TOWEL DISPENSER: SUPPLIED, AND INSTALLED BY GENERAL CONTRACTOR. KIMBERLY CLARK MODEL KCC 09905 SMOKE GRAY, OR EQUAL PRODUCT. INSTALLED PER ADA SPECS.



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 214.884.8168 214.886.2866  
 cs@creativodesignsusa.com

ADDRESS:

SCOPE OF WORK:

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

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REMODEL

SCALE: N.T.S.  
 DATE: 02/11/2022  
 SQ FT: 3,956  
 TYPE: ADA

DRAWING No.  
 10 OF 12  
 DRAWN: EACB





## PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SP2022-006 P&Z DATE 03/15/22 CC DATE \_\_\_\_\_ APPROVED/DENIED \_\_\_\_\_  
ARCHITECTURAL REVIEW BOARD DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

### SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

### PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# \_\_\_\_\_)
- ☒ APPLICATIONS
- ☒ RECEIPT
- ☐ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE \_\_\_\_\_
  - ☐ CABINET # \_\_\_\_\_
  - ☐ SLIDE # \_\_\_\_\_

NOTES: \_\_\_\_\_

ZONING MAP UPDATED \_\_\_\_\_





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-006

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **726 E Interstate 30 Rockwall, TX 75087**

SUBDIVISION **Grandy's Addition**

LOT **1** BLOCK **A**

GENERAL LOCATION **IH30 Overlay**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Fast food restaurant**

PROPOSED ZONING **Commercial**

PROPOSED USE **Fast food restaurant**

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **Hector Rodriguez**

☒ APPLICANT **Creativo Designs**

CONTACT PERSON **Hector Rodriguez**

CONTACT PERSON **Luis Chico**

ADDRESS **1185 108th St**

ADDRESS **602 SRL Thornton fwy suite B**

CITY, STATE & ZIP **Grand Prairie, Tx 75050**

CITY, STATE & ZIP **Dallas, tx 75203**

PHONE **469-506-0865**

PHONE **214-884-8168**

E-MAIL

E-MAIL **cs@creativodesignsusa.com**

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Hector Rodriguez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 190.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

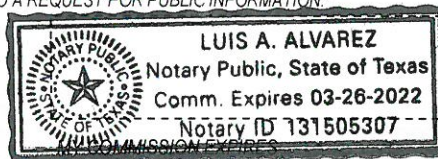
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 2022

OWNER'S SIGNATURE

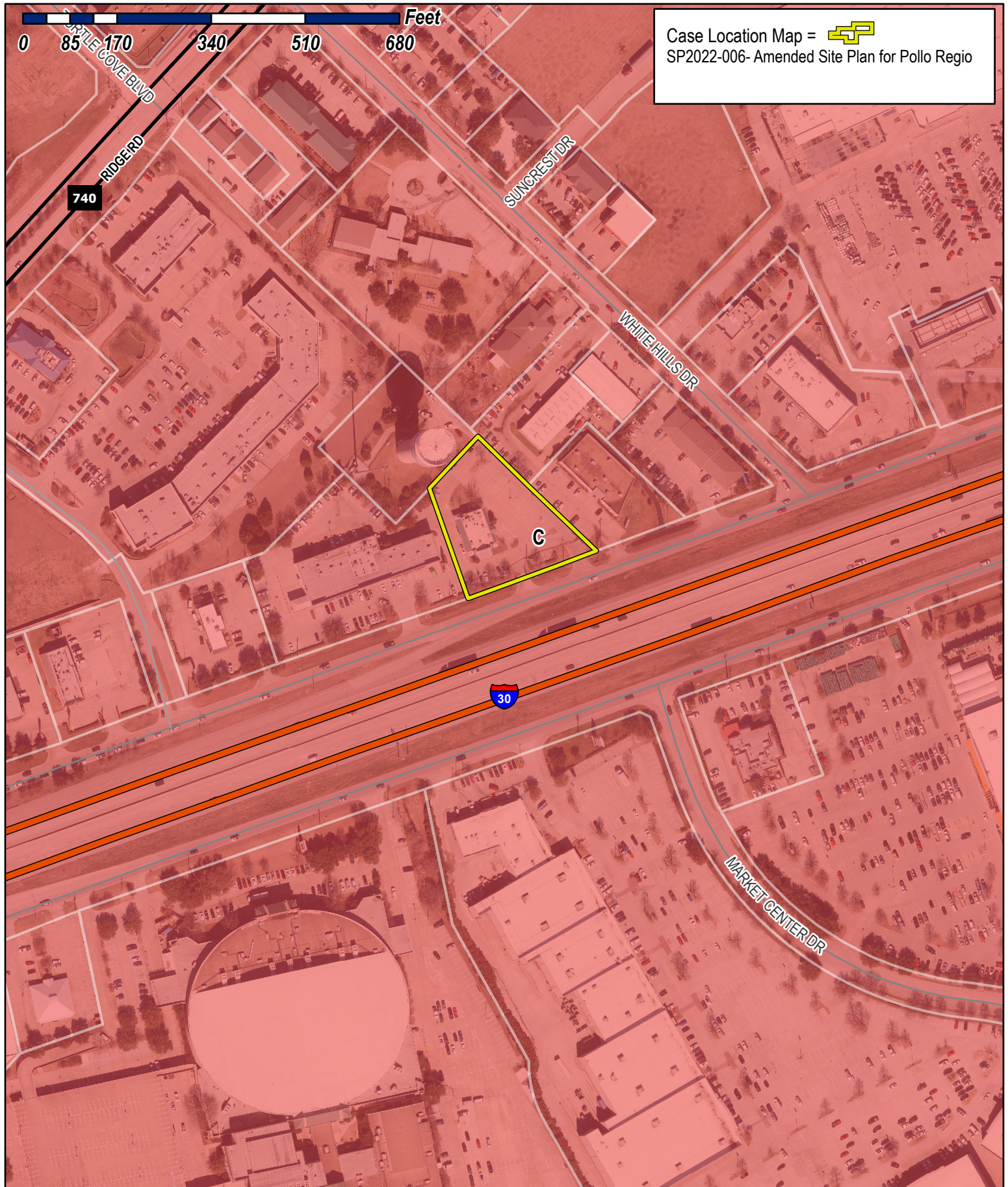
Hector Rodriguez

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Luis A. Alvarez







Case Location Map =   
SP2022-006- Amended Site Plan for Pollo Regio



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

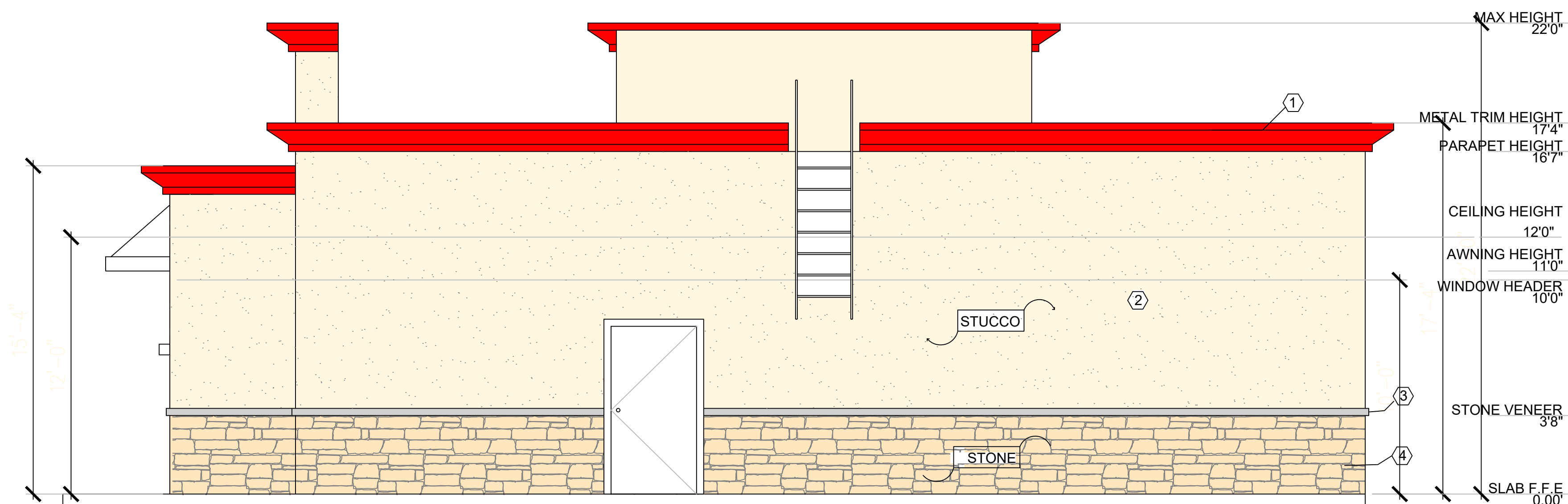
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







FRONT ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"



REAR ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"

1 EXTERIOR TRIM AROUND BUILDING SW 6868 REAL RED

2 EXTERIOR WALLS (ABOVE STUCCO BAND/STONE OR GRAY PAINT),

3 OUTSIDE TRIM MOLDINGS, SW 7017 DORIAN GRAY

4 EXTERIOR STONE

SW 6868 REAL RED

6126 NAVAJO WHITE

PRO-FIT LEDGESTONE

SW 6868 REAL RED Sherwin-Williams Color
sR = 200.663
sG = 66.999
sB = 73.620
#C9474E

SW 6126 NAVAJO WHITE Sherwin-Williams Color
sR = 233.166
sG = 222.635
sB = 200.668
#E9DFC9

SW 7017 DORIAN GRAY Sherwin-Williams Color
sR = 172.588
sG = 169.664
sB = 161.194
#AEABA3



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726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

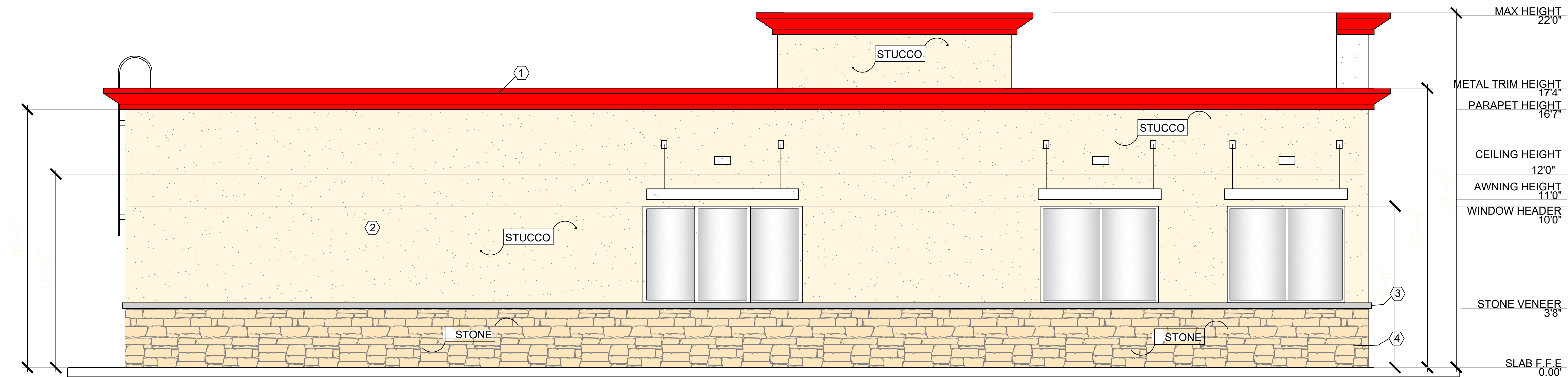
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DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.  
12 OF 12  
DRAWN: EACB





RIGHT ELEVATION (EAST)  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION (WEST)  
SCALE: 1/4" = 1'-0"



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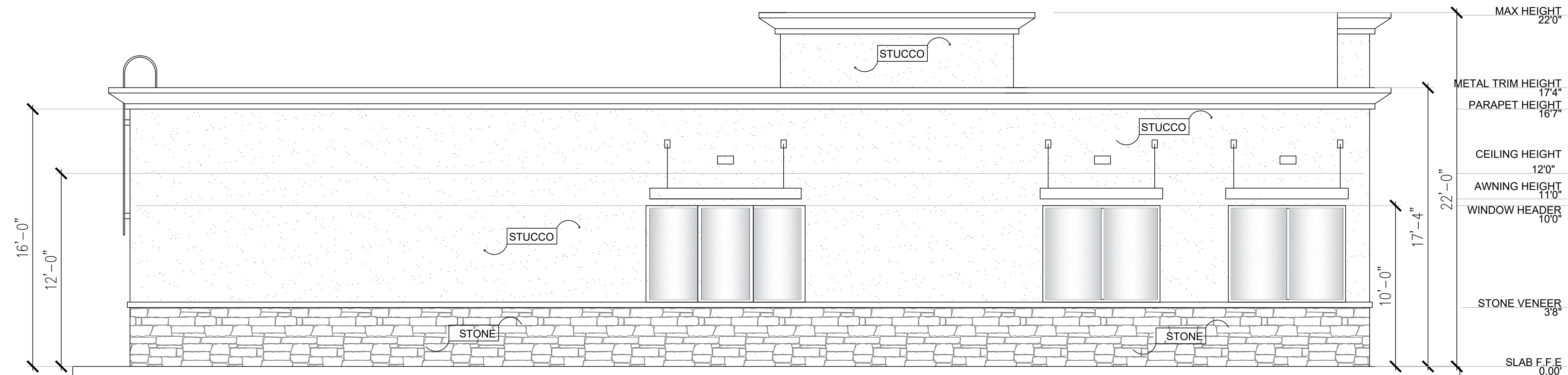
11 OF 12

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RIGHT ELEVATION (EAST)  
SCALE: 1/4"=1'-0"



LEFT ELEVATION (WEST)  
SCALE: 1/4"=1'-0"



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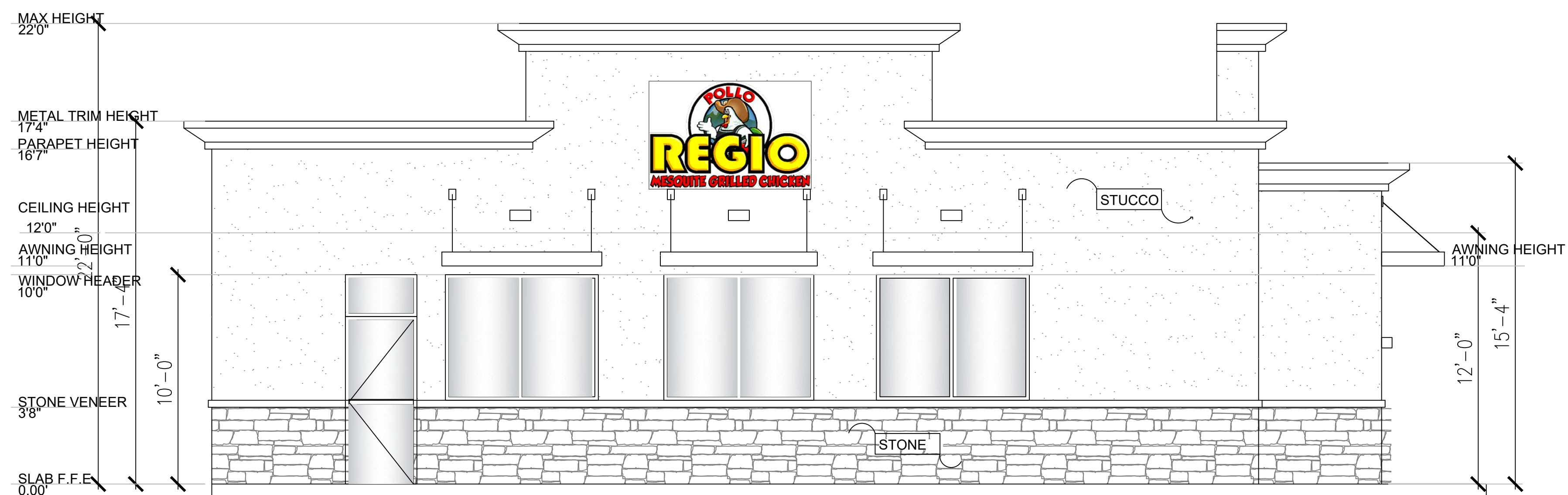
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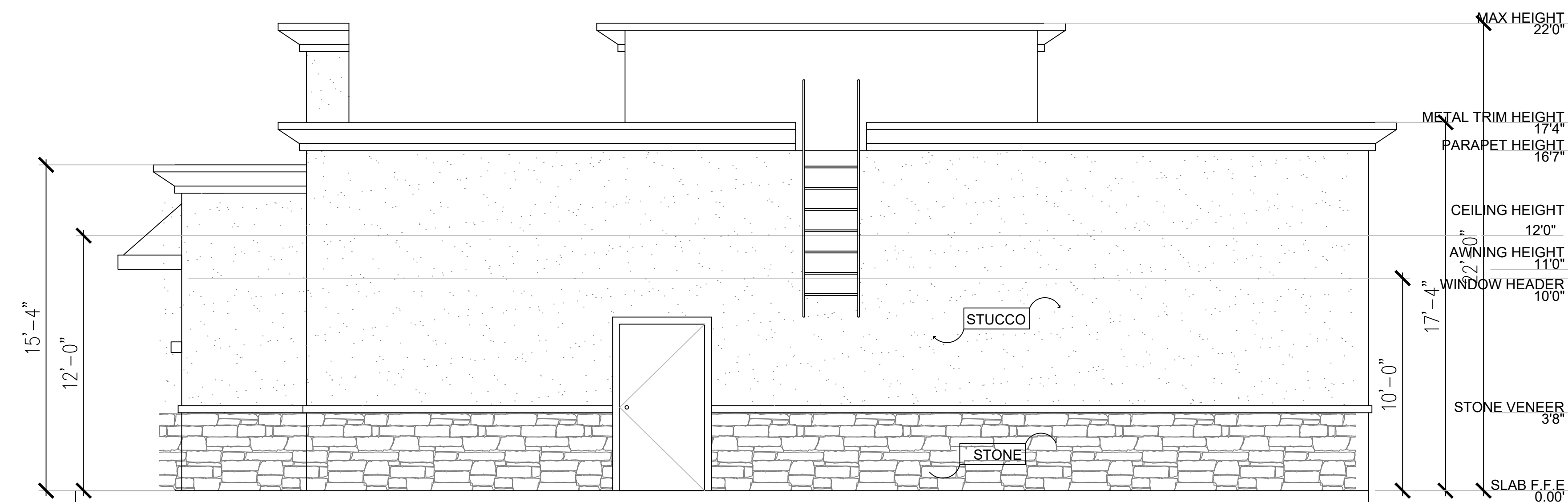
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DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.  
**11 OF 12**  
DRAWN: EACB





FRONT ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"



REAR ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"



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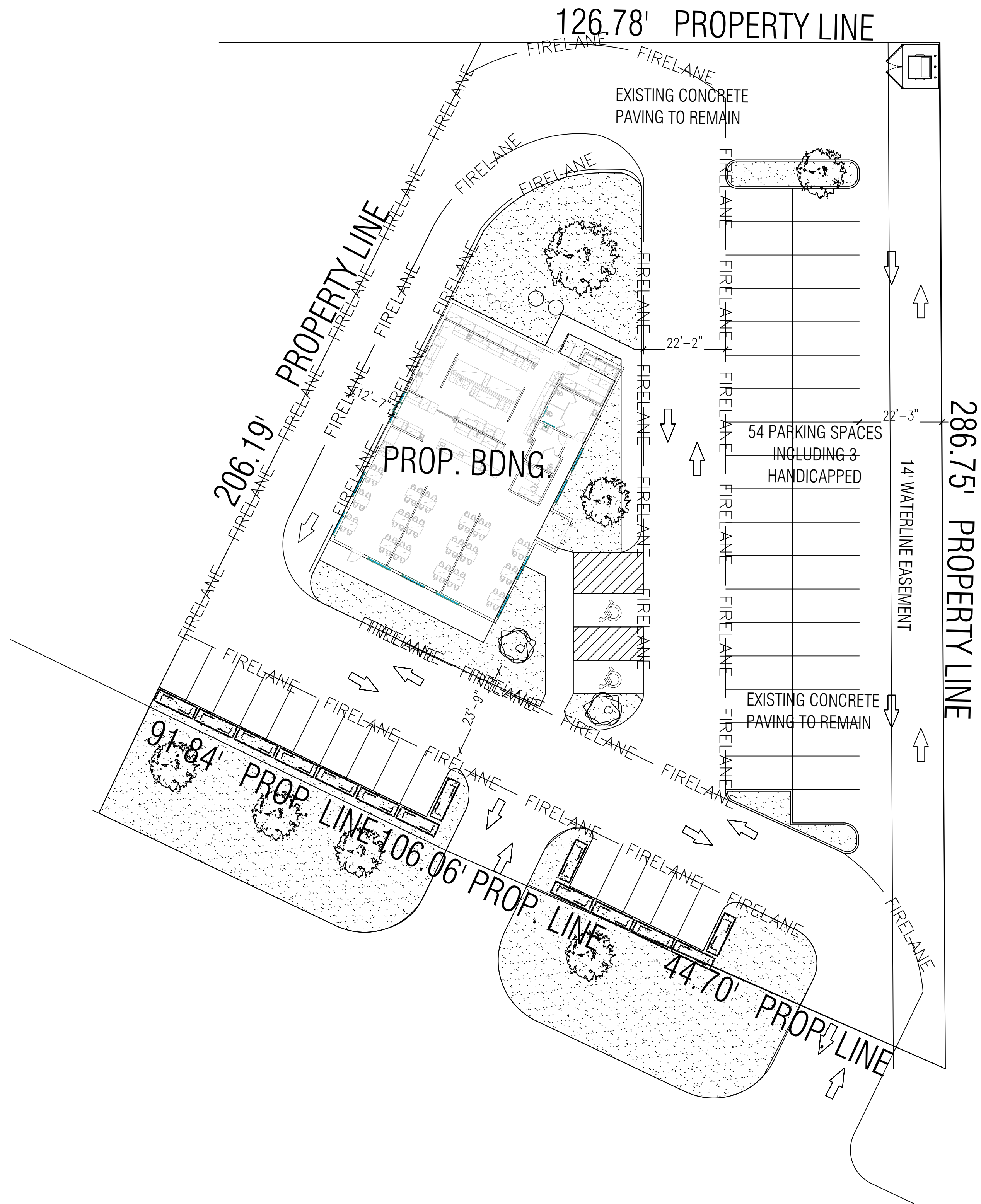
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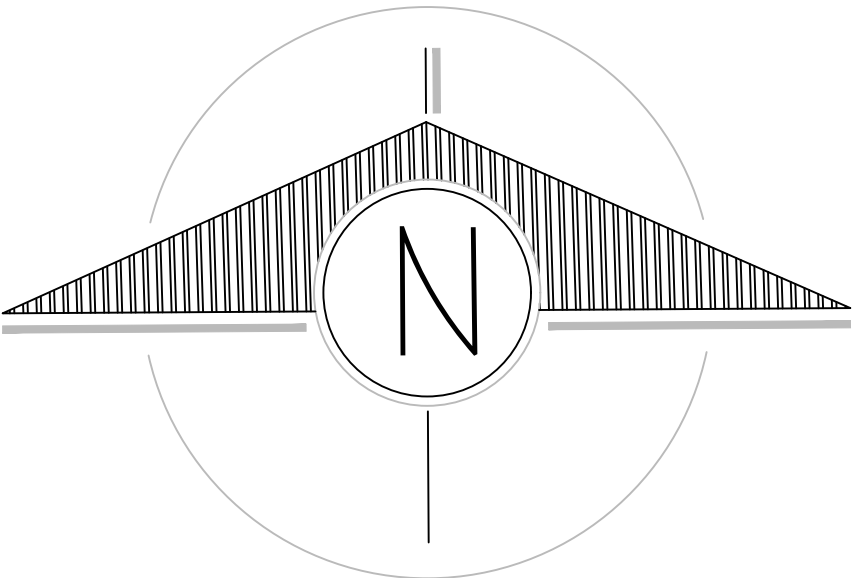
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TYPE: ADA

DRAWING No.  
**12 OF 12**  
DRAWN: EACB





REFERENCE MAP



LEGAL DESCRIPTION:

TALLEY TOWN REP  
BLK 2 LOT 2R ACS 3.0080

SQUARE FOOTAGE

EXG.BUILDING 2,478 SQ FT  
EXG.METAL BUILDING 578 SQ FT  
PROP.AREA 3,900 SQ FT

TOTAL COVERAGE 6,956 SQ FT  
LOT SIZE 124.966 SQ FT  
TOTAL COVERAGE 05 %

SQUARE FOOTAGE

RESTAURANT	3,956 S.F.
TOTAL:	3,956 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	09 %

PARKING ANALYSIS

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
WAREHOUSE	3,956	1,000	RESTAURANT	39
PARKING REQUIRED				39
PARKING PROVIDED				54



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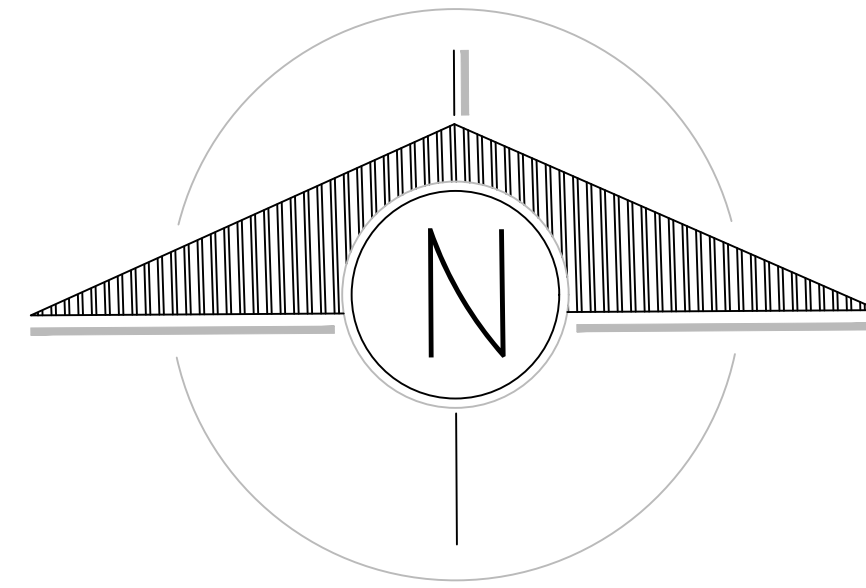
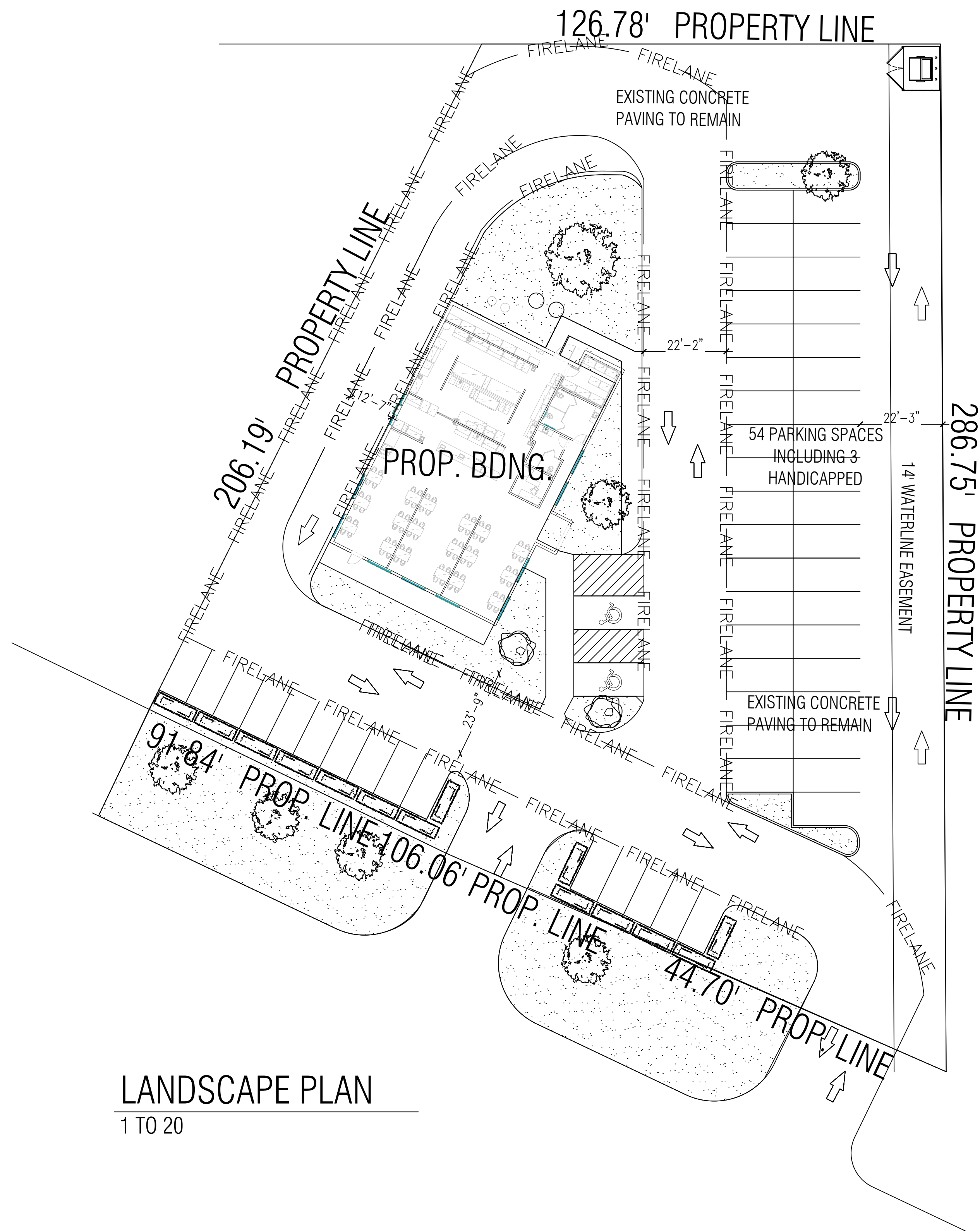
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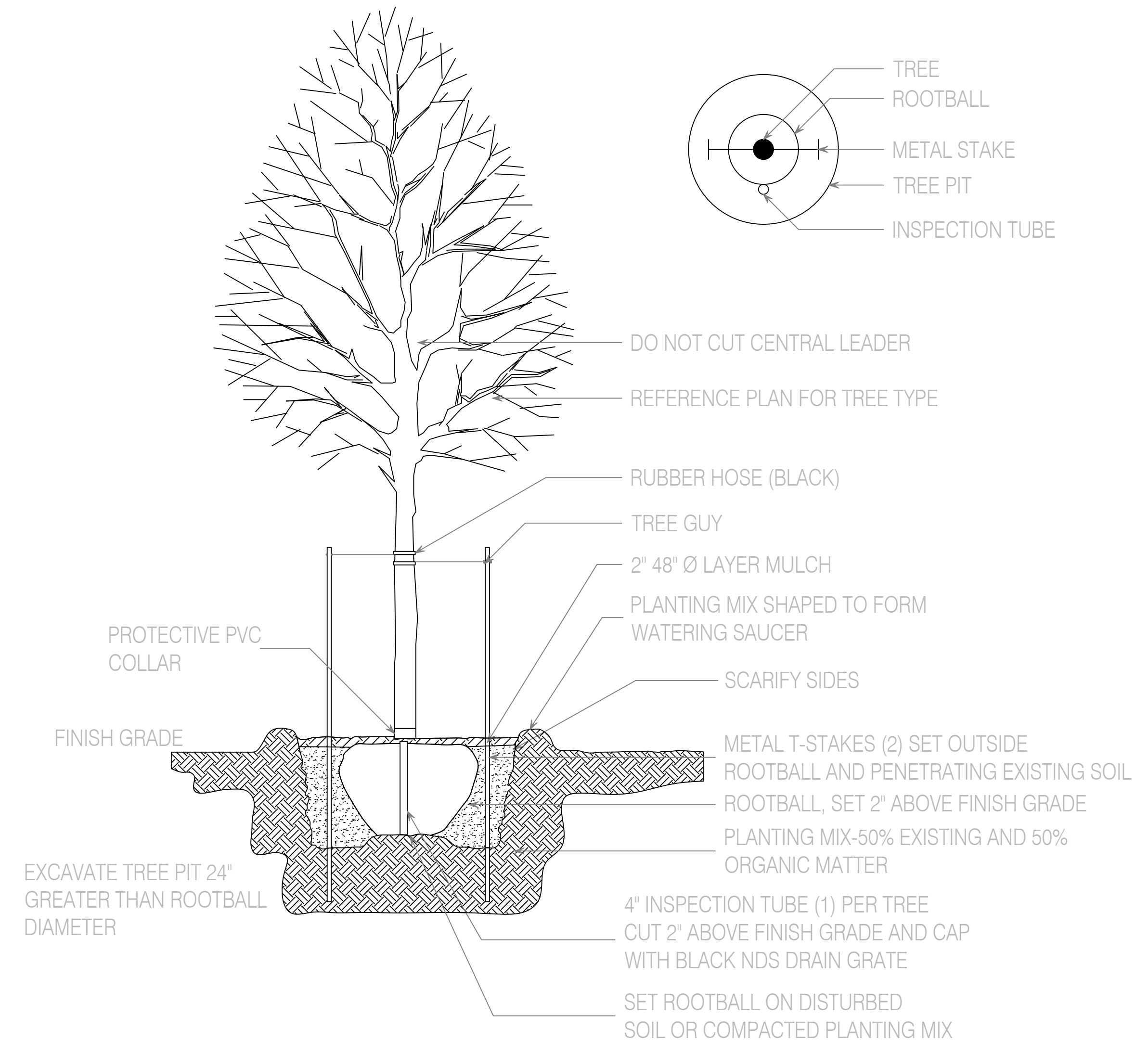
SCALE: 1 TO 20  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: SITE PLAN

DRAWING No.  
1 OF 12  
DRAWN: EACB





ELEMENT	QTY.
EXISTING ACCENT TREE, 8 FT TALL	2
EXISTING CANOPY TREE, 10 FT DRIP LINE	7
EXISTING CONTINUOUS 10FT L, 2FT D, 2 FT TALL SHRUB	14
GRASS COVERED GROUND SURFACE	100 % COV.



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SCOPE OF WORK:

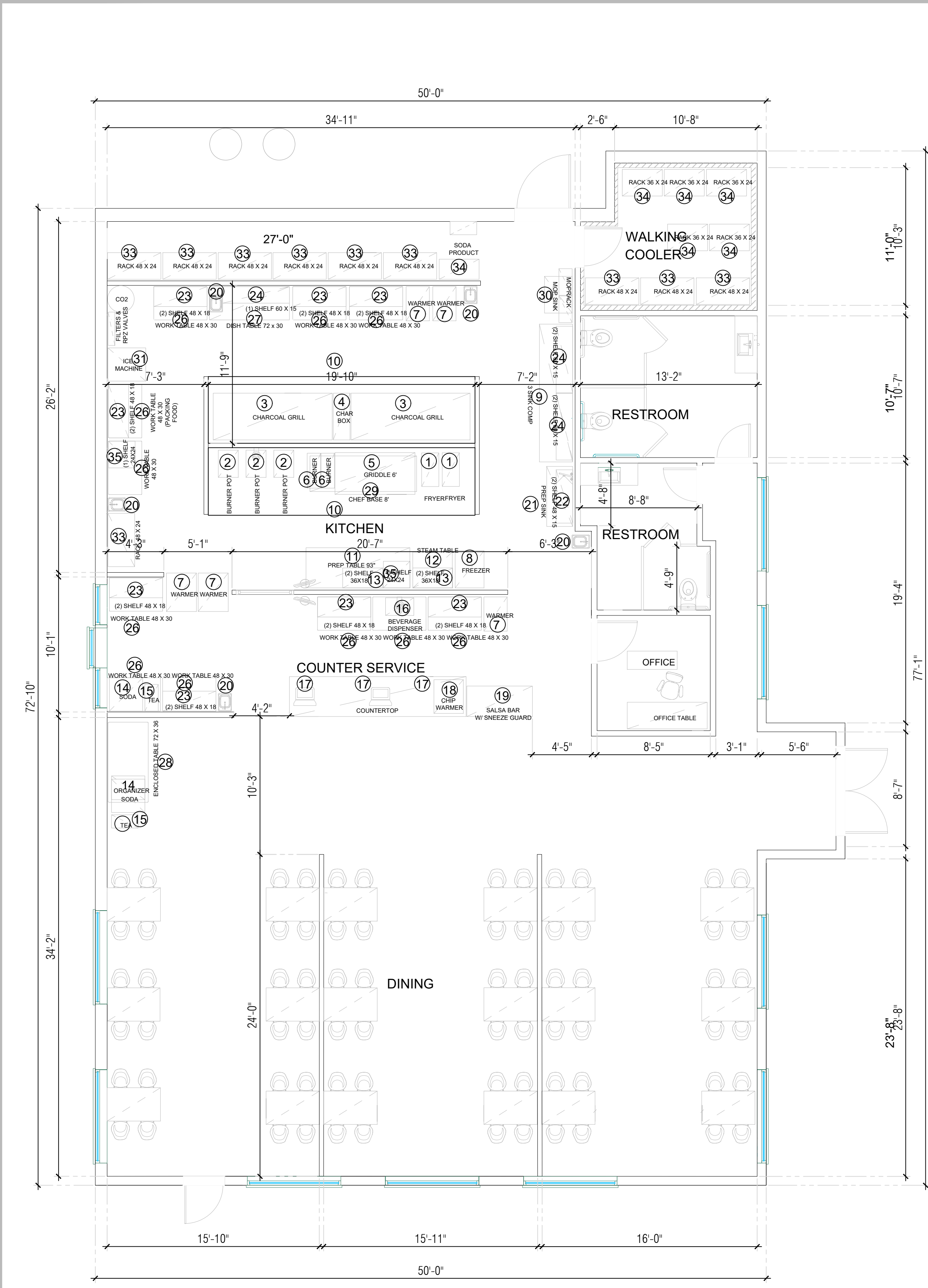
726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087  
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SCALE: 1 TO 20  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: LANDSCAPE

DRAWING No.  
**1A** OF **12**  
DRAWN: EACB

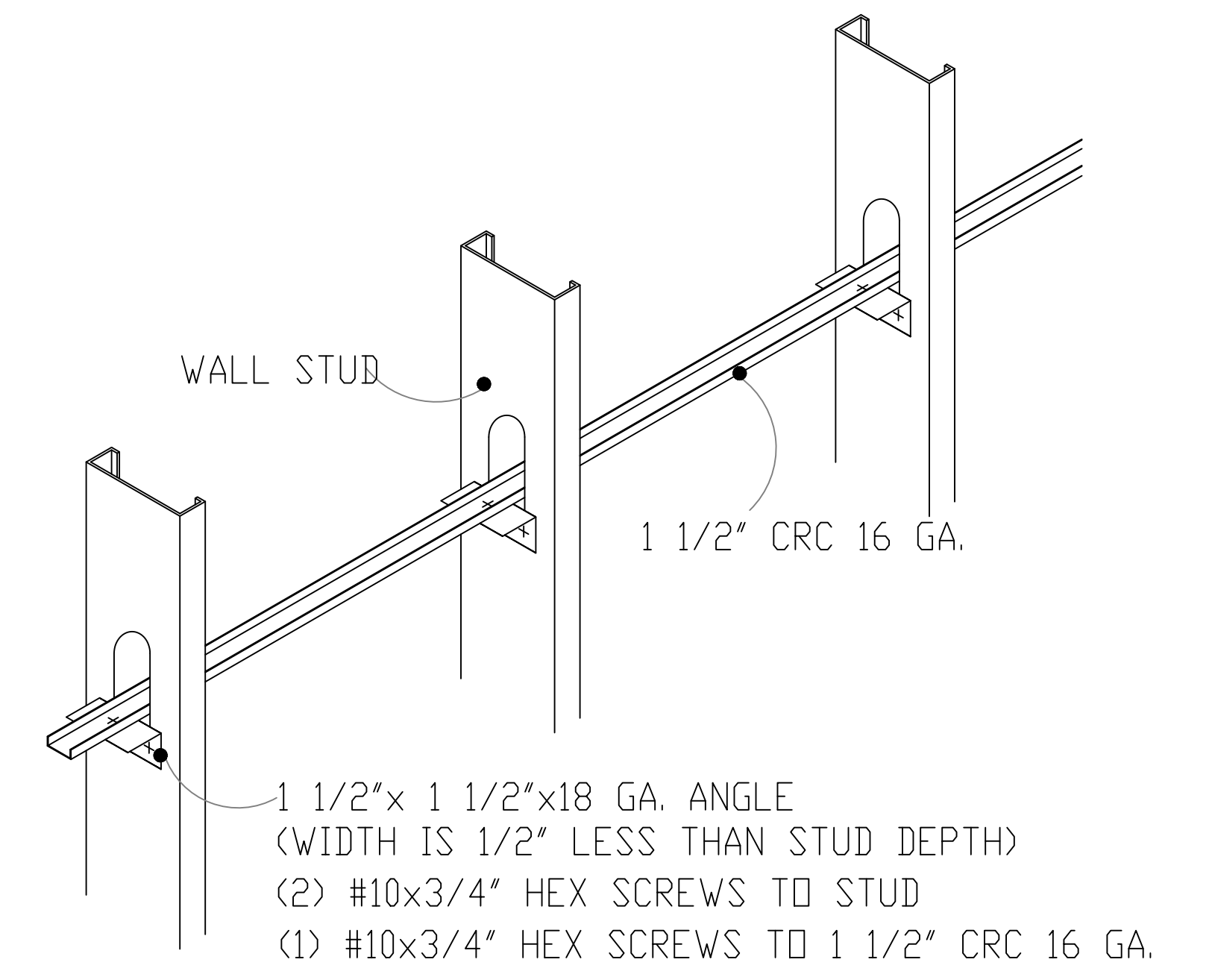
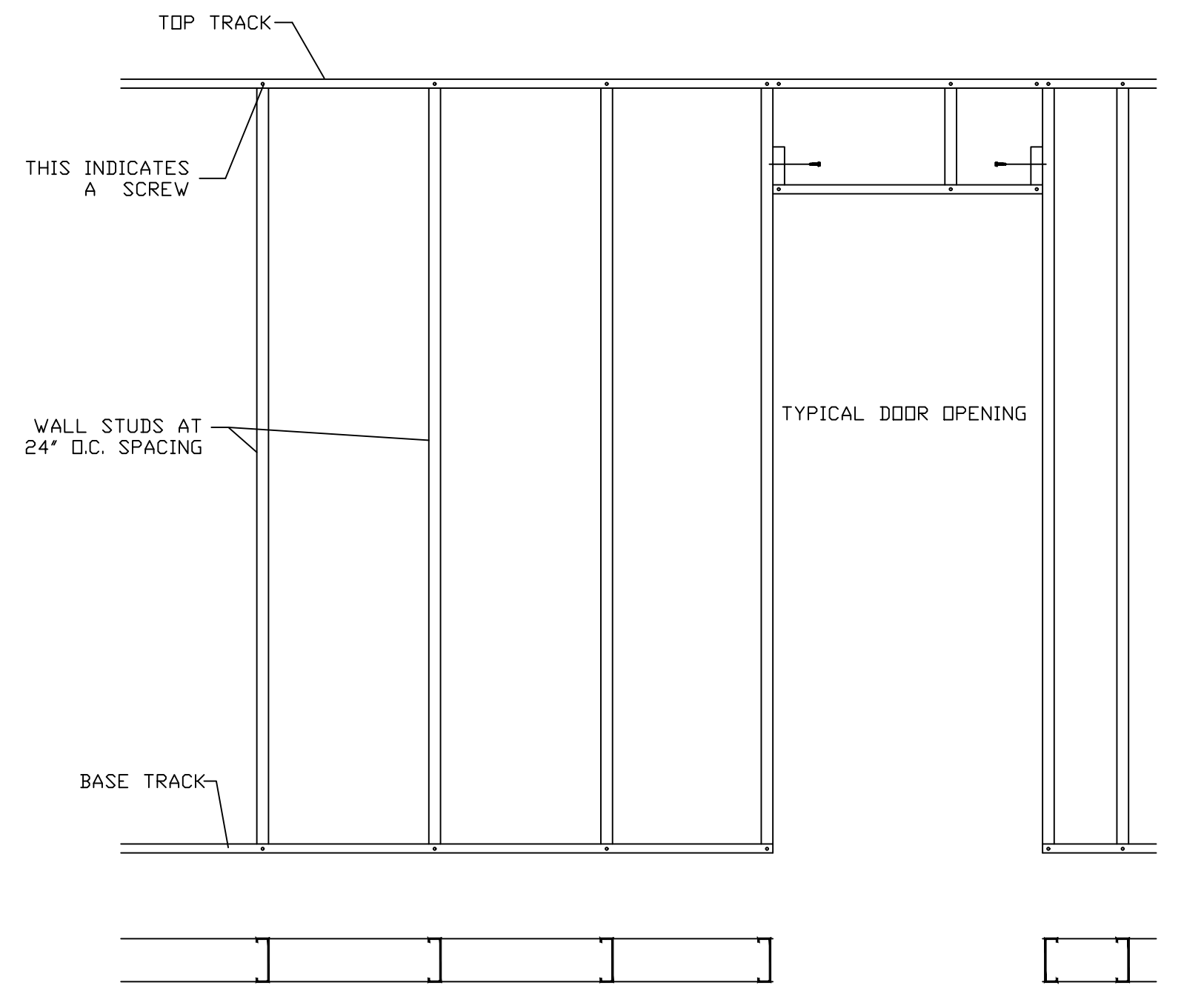




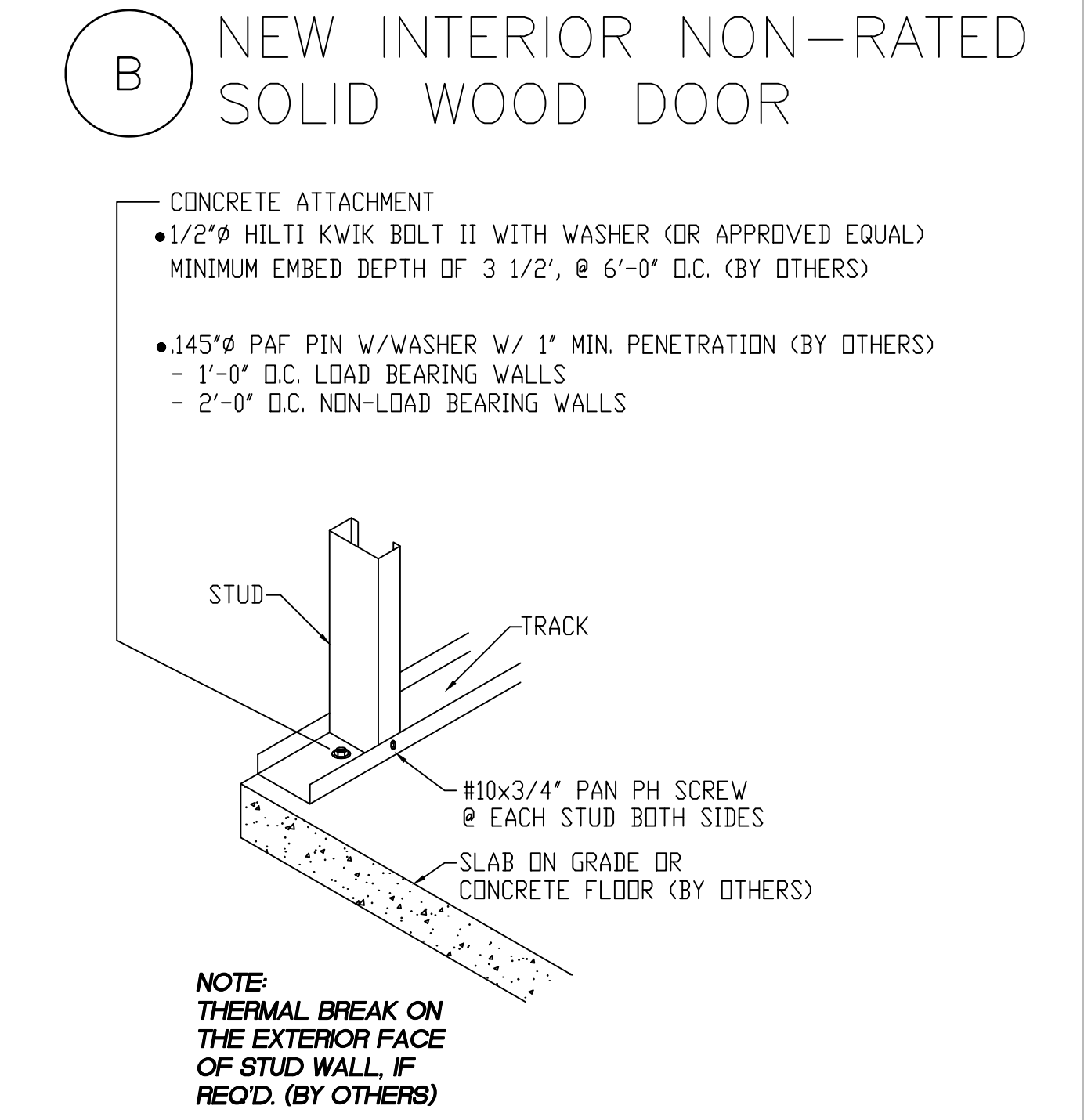
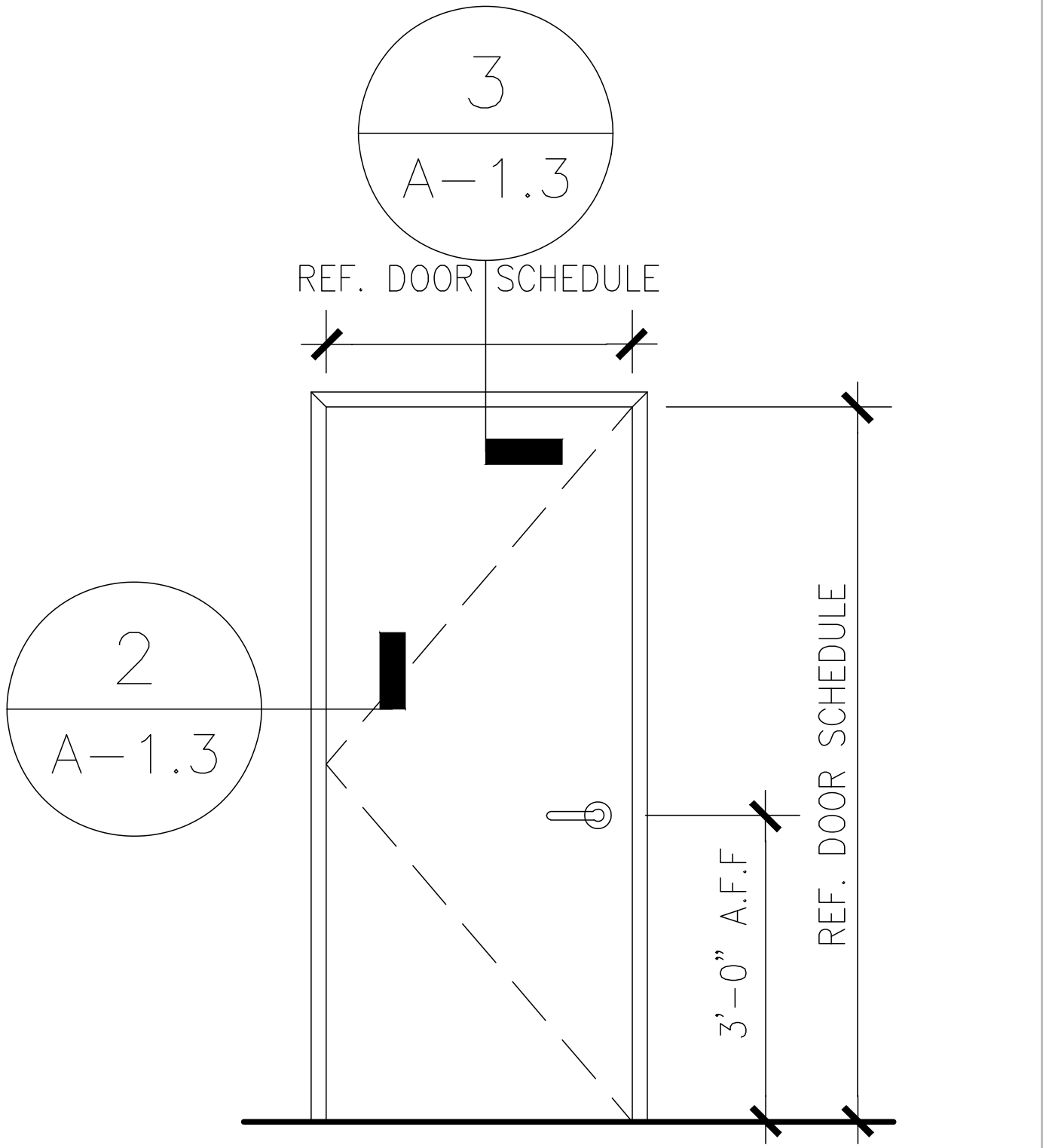
KITCHEN EQUIPEMENT

No.	DESCRIPTION	QTY.
1	LIQUID PROPANE 50 LB STAINLESS FLOOR FRYER	2
2	COOKING, BURNER POT GAS COUNTERTOP RANGE/ HOT PLATE	3
3	CHARCOIL GRILL	2
4	CHARCOIL BOX	1
5	STAINLESS STEEL GRIDDLE 6'	1
6	STAINLESS HOT PLATE BURNER	1
7	FULL HEIGHT NON-INSULATED MOBILE HEATED CABINET W/ (18)	5
8	SOLID DOOR REACH-IN REFRIGERATOR	1
9	STAINLESS STEEL THREE COMPARTMENT COMMERCIAL SINK, NO DRAINBOARDS.	1
10	COMMERCIAL KITCHEN HOOD, 20'X4'10"	2
11	93' PREPARATION STAINLESS STEEL	1
12	STEAM TABLE, TWO OPEN WELLS	1
13	36X18" STAINLESS STEEL WALL MOUNTED SHELVES	2
14	SODA FOUNTAIN	2
15	5 GAL TEA DISPENSER	2
16	3 TANKS COMMERCIAL COOLING BEVERAGE DISPENSER	1
17	POINTS OF SALE	3
18	TOP LOAD CHIP WARMER W/ 26 GALLON CAPACITY - STAINLESS	1
19	STAINLESS STEEL REFRIGERATED BUFFET DISPLAY TABLE W/ SNEEZE GUARD.	1
20	HAND STAINLESS STEEL COMMERCIAL SINGLE SINK	5
21	PREPARATION STAINLESS STEEL SINGLE SINK	1
22	48X15" STAINLESS STEEL WALL MOUNTED SHELVES	1
23	48X18" STAINLESS STEEL WALL MOUNTED SHELVES	8
24	60X15" STAINLESS STEEL WALL MOUNTED SHELVES	3
26	48X30" PREPARATION STAINLESS STEEL	8
27	72X30" PREPARATION STAINLESS STEEL	1
28	72X36" PREPARATION STAINLESS STEEL	1
29	STAINLESS STEEL CHEF BASE 8'	1
30	MOP SINK FLOOR MOUNTED	1
31	ICE MAKER	1
32	SODA PRODUCT RACK	1
33	48X24" RACK	9
34	36X24" RACK	5
35	24X24" STAINLESS STEEL WALL MOUNTED SHELVES	2

(NO WASHABLE PLATES WILL BE USE, ONLY DISPOSABLE FOAM PLATES/CONTAINERS).



NOTES:  
FOR STUD HEIGHTS 10'-0" AND LESS, INSTALL CRC AT MID HEIGHT  
FOR STUD HEIGHTS GREATER THAN 10'-0" INSTALL AT THIRD POINT



STUD WALL TO CONC. ATTACHMENT N.T.S.

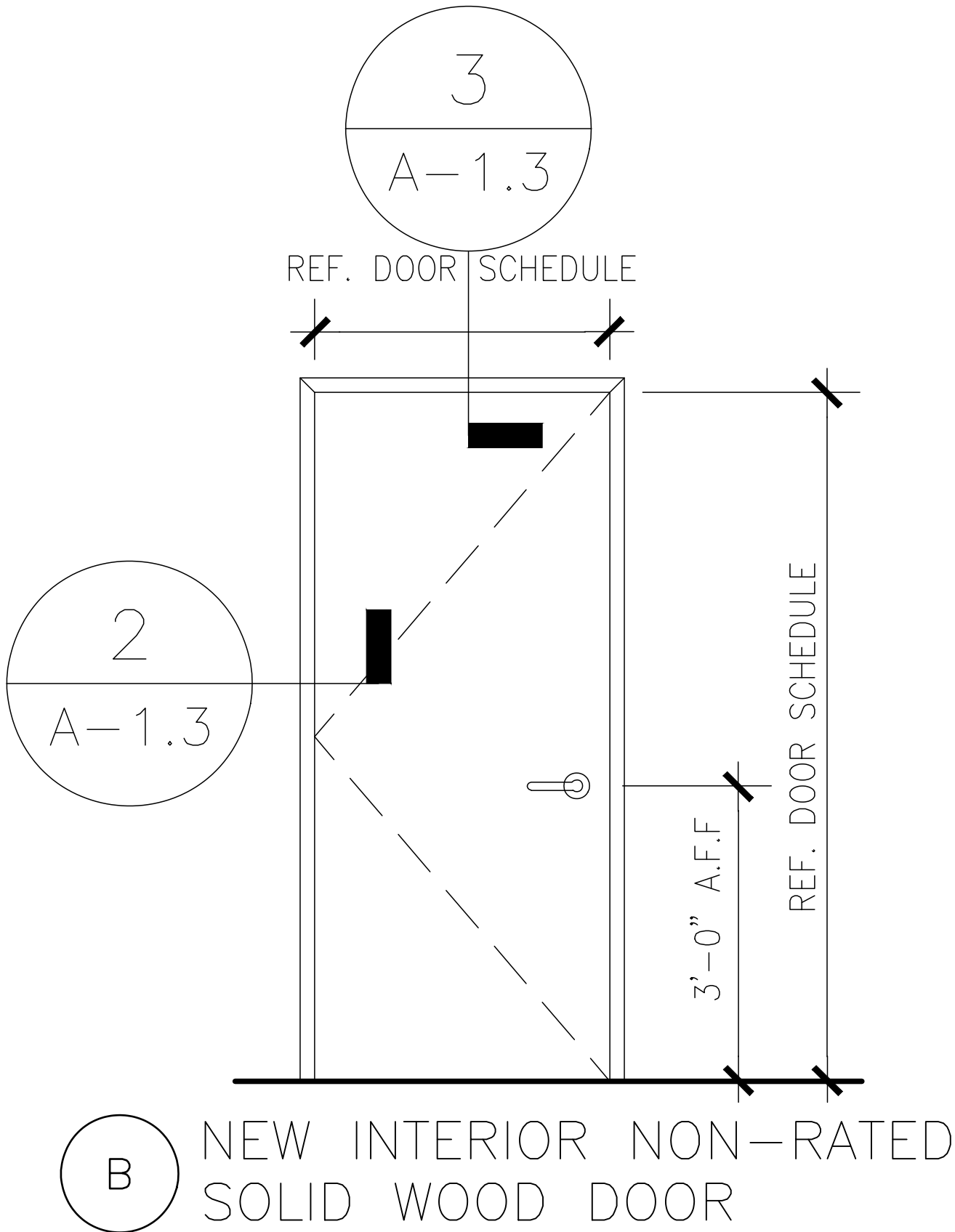
PROP. FLOOR PLAN  
SCALE: 3/16"=1'-0"





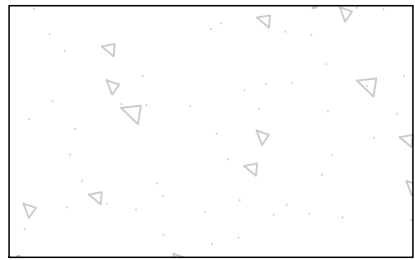
PROP. FLOOR PLAN  
SCALE: 3/16"=1'-0"

ROOM FINISH LEGEND					
ROOMS	FLOORS	#	BASE	WALLS	CEILINGS
DINING AREA	CONCRETE (W/SEALANT)	1	RUBBER COVE BASE	PAINTED GYP. BOARD	CEILING TILES
KITCHEN/SERVICE AREA	6X6 "QUARRY TILE	2	TILE COVE BASE	STAINLESS STEEL	VINYL CLADDED
RESTROOM	6X6 "QUARRY TILE	3	TILE COVE BASE	STAINLESS STEEL	CEILING TILES
WALKING COOLER	CONCRTETE	4		CUSTOM WALL PANEL	GYP. CEILING

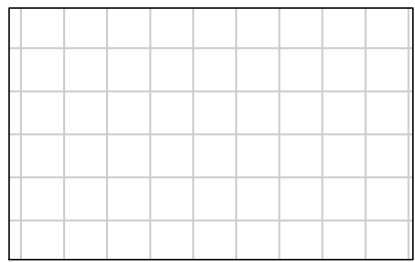


B NEW INTERIOR NON-RATED SOLID WOOD DOOR

FINISH LEGEND



CONC: CONCRETE FLOORING SEALED

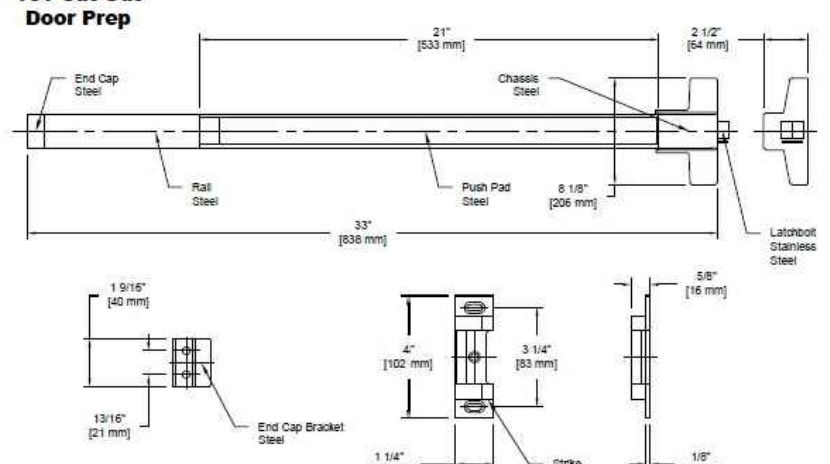


TL-2: QUARRY TILE

**PRODUCT DATA SHEET**

**Product Description:** Panic exit device, for 28" to 42" wide doors. UL10C fire rated, ANSI A156.3 Grade 1, Non-handed. Rail and push pad are fabricated from heavy gauge stainless steel with a US32D brushed stainless steel finish. Trim available in the following functions: classroom, storeroom, passage and dummy. Device and trim for 161 standard cut out. Mounting hardware and 250 strike included. ADA compliant.

**Designed For**  
161 Cut Out Door Prep

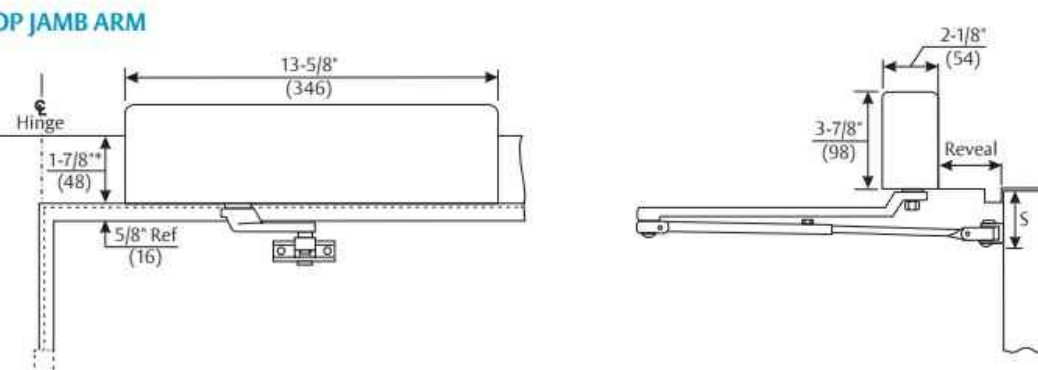


Door Thickness: Standard Doors 1 3/4" to 2 1/4"  
Latch Bolt: Stainless Steel 3/4" Throw  
Stroke: 250 Standard  
ANSI/BHMA: Exit Device, A156.3 Grade 1

**Overall Size:** 33" W X 8 1/8" H X 2 1/2" D  
**Material:** Steel, Cast Iron, Stainless Steel  
**Finish:** US32D Brushed Stainless Steel

Manufacturer	Part Number
CAL-ROYAL	2500
CORBINRUSSWIN	ED0200
DORMA	8300
VON DUPON	25
YALE	2100

**TOP JAMB ARM**



Mounting holes for closer body are spaced 2-3/8" (86mm) vertically x 6-3/4" (171mm) horizontally.  
\* Minimum frame face with 7/8" drop plate. 3-1/4" (83mm) required when drop plate is not used.

Maximum Door Width Inches (cm)	Reveal Range Inches	Maximum Door Opening	Model Number	
Multi-Sized			Non-Hold Open Arm	Hold Open
(J57500/J500M)	0" to 3" (0 to 76mm)	180"		
(J7500)	2-3/4" to 7" (70 to 178mm)	150"		
(J7500)	2-3/4" to 7" (70 to 178mm)	180"		
(J7580 x 7787)	0" to 2-3/4" (0 to 76mm)	180"		
Multi-Sized			Hold Open Arm	
(J5000/J7530MH)	0" to 3" (0 to 76mm)	180"		
(J7500H)	2-3/4" to 6-3/4" (70 to 171mm)	150"		
(J7500H)	2-3/4" to 6-3/4" (70 to 171mm)	180"		

**Notes:**

- Door closers are set at midpower range from the factory
- Measurements are inches/mm unless noted
- Standard door widths: interior 32"-54" (81-137cm) exterior 30"-48" (76-122cm)
- Consult factory if door weight exceeds 250 lbs.



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DALLAS, TEXAS 75203  
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cs@creativodesignsusa.com

ADDRESS:

SCOPE OF WORK:

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726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087  
REMODEL

SCALE: 3/16"=1'-0"  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: FINISH FLOOR

DRAWING No.  
4 OF 12  
DRAWN: EACB



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: SP2022-006  
PROJECT NAME: Amended Site Plan for Pollo Regio  
SITE ADDRESS/LOCATIONS: 726 E INTERSTATE 30, ROCKWALL, 75087

CASE MANAGER: Henry Lee  
CASE MANAGER PHONE: 972.772.6434  
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved w/ Comments

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Restaurant with 2,000 SF or More with Drive-Through or Drive-In (i.e. Pollo Regio) on a 1.03-acre parcel of land identified as Lot 1, block A, Grandy's Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 726 E. IH-30.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com. March 7, 2022 is the deadline to have all comments; please provide staff revised plans before March 7, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-006) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Identify the owner and developer (Subsection 03.04.A, of Article 11).

M.5 Provide a vicinity map as well as a numeric/graphic scale. (Subsection 03.04.A, pf Article 11)

M.6 Provide the City standard Site Plan Signature Block on all sheets of the plans. Also remove the placeholder text (i.e. [Day] [Month] [Year]).

I.7 All signage will be covered in a separate permit, so please remove the company branding/signage from the elevations. (Subsection 06.02.F, of Article 05)

M.8 Provide a physical material sample board that has samples of the materials being proposed for the building. (Subsection 03.04.A, pf Article 11)

M.9 Please provide a site plan that is separate from the landscape plan provided. (Subsection 03.04.A, pf Article 11)

M.10 Site Plan:

(1) Provide the total lot area in acres and square feet. (Subsection 03.04. B, of Article 11)

(2) Provide the square footage of the building (Subsection 03.04. B, of Article 11)

(3) Label the adjacent street name. (Subsection 03.04. B, of Article 11)

(4) Consider merging the parking and landscape/site plans. They contain mostly the same information and would make it easier to view all of the information. (Subsection 03.04, of Article 11)

(5) Indicate the dimension of a typical parking space. (Subsection 05.03, of Article 06)

(6) Indicate any existing or new fencing on the subject property. Currently on site there is fencing on the rear of the building to screen equipment that would need to be removed and replaced with new screening that meets the Unified Development Code (UDC). (Subsection 08.02. F, of Article 05)

(7) Will there be any pad mounted equipment? If so indicate the subsequent screening (Subsection 01.05. C, of Article 05)

(8) Cross hatch any roof mounted equipment on the elevations to ensure they are screened properly. (Subsection 01.05. C, of Article 05)



(9) The dumpster enclosure will need to be updated to match the materials being proposed on the primary building. The gate will also need to be replaced with a self-latching gate. Provide a detail of the dumpster enclosure to ensure conformance. (Subsection 01.05. B, of Article 05)

M.11 Landscape Plan:

- (1) Provide the site data required in section 2.1 of the site plan check list: Miscellaneous and density and dimensional Requirements. (See Section 2.1)
- (2) Indicate the pervious vs. impervious cover. (Subsection 01.01. B, of Article 05)
- (3) Provide a landscape table that indicates the size and species of the landscaping on site. This table should be reflected on the plan itself. (Subsection 05.03. B, of Article 08)
- (4) Indicate the existing landscape buffers. (Subsection 05.01, of Article 08)
- (5) All parking spaces shall be located within 80-feet of a canopy tree. The east row of parking does not meet this requirement and a parking island will need to be constructed. (Subsection 05.03. E, of Article 08)
- (6) Provide a note that all irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08)

M.12 Photometric Plan:

- (1) If any new lighting is being added or any light fixtures are being replaced on the subject property, a photometric plan will need to be provided, along with cutsheets. (Subsection 03.03, of Article 07)

M.13 Building Elevations:

- (1) Provide the material percentages for all materials on the building. (Subsection 06.02. C, of Article 05)
- (2) Stucco cannot be utilized on more than 45% on each façade. (Subsection 06.02. C, of Article 05)
- (3) The use of 90% masonry material is required. (Subsection 06.02. C, of Article 05)
- (4) The use of 20% natural or quarried stone must be used on each façade. (Subsection 06.02. C, of Article 05)
- (5) All commercial buildings under 6,000 SF must have a pitched roof. This requirement is met on site currently, however you are requesting to utilize a parapet and bring the building out of conformance. (Subsection 02.03. C. 2, of Article 05)
- (6) The parapet must be finished on both sides. Provide a note indicating this. (Subsection 04.01, of Article 05)
- (7) The vertical elements on the building that will be used for signage may not be thin projecting elements. These elements must extend back towards the building to make them appear as they are part of the building and not a wall; parapets must be used in a fashion to create an enclosed system on all sides. (Subsection 04.01. A. 1, of Article 05)

M.14 Currently the building elevations are in conformance with the Overlay District Standards (Subsection 06.02, of Article 05), however the proposed request would bring the building elevations out of conformance in the following ways:

- (1) Less than 20% natural or quarried stone on each façade
- (2) Greater than 45% stucco on each façade
- (3) Parapet roof

For each of these non-conformities, a variance would be requested. That being said for each variance requested the UDC requires two (2) offsetting compensatory measures for each variance. In this case, with just the elevations that would be 6 compensatory measures. Examples of compensatory measures include: increased landscaping, undergrounding power lines, increased building articulation, increased use of stone, etc. That being said with the existing building conforming to the Overlay District Standards it would be an uphill battle with the Architectural Review Board (ARB) and the Planning and Zoning Commission for approval of the current proposed building. Please work with staff to address these comments.

I.15 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.16 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning & Zoning Meeting.

I.17 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2022.



2) Planning & Zoning meeting/public hearing meeting will be held on March 15, 2022.

I.18 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

02/24/2022: - Dumpster area to drain to an oil/water separator and then to the storm line.

- Show and label the 24' existing fire lane.
- Show 20' utility easement and 14" water line easement along IH 30.
- Make sure all parking is 20'x9'
- No trees within 10' of sewer line and 16' water lines along IH-30
- Need to show and label all existing water, sewer, and storm lines
- Need to show and label all existing easements
- Drive aisles are a min. 24' wide including fire lane
- Ex. sign will need to be moved out of the easement if the sign is being changed (except for the face of the sign)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: 1. All existing landscape must be in good health to count towards landscape requirements

2. All parking spaces must be within 80' of a tree



This isn't a dedicated fire lane

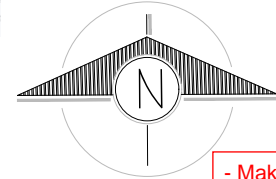
Must add an oil/water separator to dumpster area to drain to storm system

Show and label ex. 24' fire lane

Show 20' utility easement and 14' water line easement along IH-30



REFERENCE MAP



LEGAL DESCRIPTION:

REP  
BLK 2 LOT 2K ACS 3.0080

SQUARE FOOTAGE

EXG.BUILDING 2,478 SQ FT  
EXG.METAL BUILDING 578 SQ FT  
PROP.AREA 3,900 SQ FT  
  
TOTAL COVERAGE 6,956 SQ FT  
LOT SIZE 124.966 SQ FT  
TOTAL COVERAGE 05 %

SQUARE FOOTAGE

RESTAURANT	3,956 S.F.
TOTAL:	3,956 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	09 %

PARKING ANALYSIS

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
WAREHOUSE	3,956	1,000	RESTAURANT	39
PARKING REQUIRED				39
PARKING PROVIDED				54

- Make sure all parking is 20'x9'
- No trees within 10' of sewer line and 16' water lines along IH-30
- Need to show and label all existing water, sewer, and storm lines
- Need to show and label all existing easements
- Drive aisle are a min. 24' wide including fire lane
- Ex. sign will need to be moved out of the easement is the sign is being changed (except for the face of the sign)



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ADDRESS:  
SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

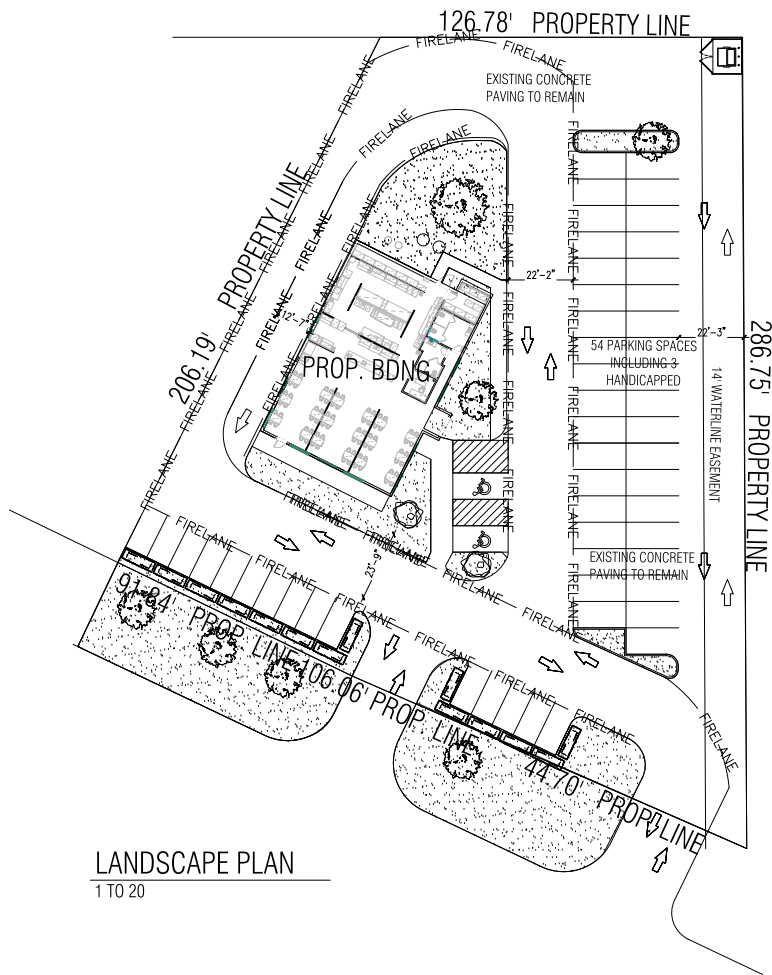
REMODEL

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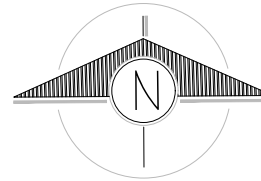
SCALE: 1 TO 20  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: SITE PLAN

DRAWING No.  
1 OF 12  
DRAWN: EACB

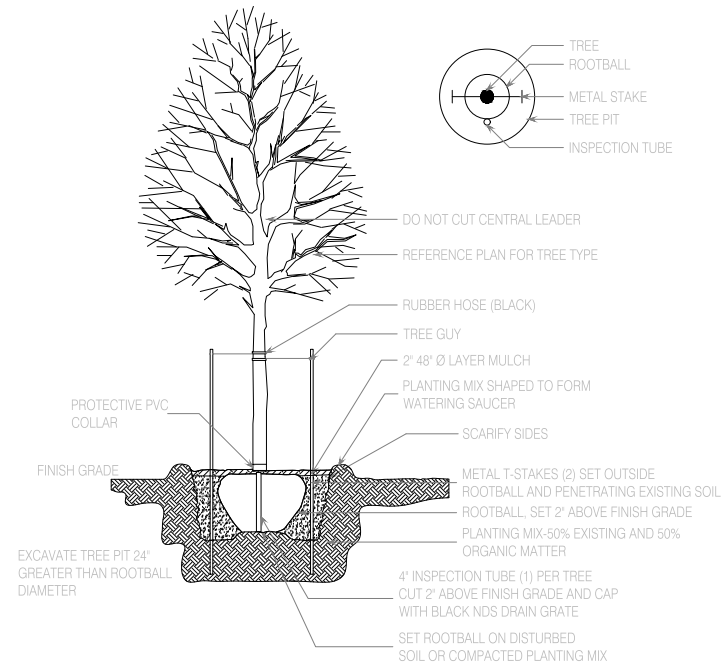




LANDSCAPE PLAN  
1 TO 20



ELEMENT	QTY.
EXISTING ACCENT TREE, 8 FT TALL	2
EXISTING CANOPY TREE, 10 FT DRIP LINE	7
EXISTING CONTINUOUS 10FT L, 2FT D, 2 FT TALL SHRUB	14
GRASS COVERED GROUND SURFACE	100 % COV.



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SCALE: **1 TO 20**  
DATE: 02/11/2022  
SQ.FT: 3,956  
TYPE: **LANDSCAPE**

DRAWING No.  
**1A** OF **12**  
DRAWN: EACB





## CITY OF ROCKWALL

### PLANNING AND ZONING COMMISSION CASE MEMO

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** March 15, 2022  
**APPLICANT:** Luis Chico; *Creativo Designs*  
**CASE NUMBER:** SP2022-006; *Amended Site Plan for Pollo Regio*

---

#### **SUMMARY**

Discuss and consider a request by Luis Chico of Creativo Designs on behalf of Hector Rodriguez for the approval of a Site Plan for a *Restaurant with 2,000 SF or More with Drive-Through or Drive-In (i.e. Pollo Regio)* on a 1.03-acre parcel of land identified as Lot 1, block A, Grandy's Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 726 E. IH-30, and take any action necessary.

#### **BACKGROUND**

The subject property was annexed in 1960 [Case No. A1960-004; Ordinance No. 60-04], is zoned Commercial (C) District, and is situated within the IH-30 Overlay (IH-30 OV) District. On June 17, 1996, the City Council approved a site plan [Case No. PZ1996-035] for a restaurant (i.e. Grandy's) on the subject property. On December 2, 1996, the City Council approved a variance to allow a sign that exceeds the maximum allowable height for a sign in a Commercial (C) District. On July 15, 1996, the City Council approved a replat [Case No. PZ1996-047] establishing the necessary firelane and public access easements for the site. According to the Rockwall Central Appraisal District (RCAD), the existing restaurant was constructed in 1996. On January 13, 1997, a Certificate of Occupancy (CO) for a restaurant was issued [CO1997-0363] by the Building Inspections Department. The restaurant was closed between July 2018 and March 2019.

#### **PURPOSE**

The applicant is requesting the approval of an amended site plan for the renovation of the existing 3,764 SF *Restaurant with Drive-Through* situated on the subject property for the purpose of establishing a *Restaurant with Drive-Through (i.e. Pollo Regio)*.

#### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 726 E. IH-30. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property, there is a municipal water utility facility (i.e. *Southside Water Tower*), a daycare facility (i.e. *Whitehills Child Development Center*), a house of worship (i.e. *First Presbyterian Church of Rockwall*) and an office building (i.e. *White Hills Offices*). Following this is a White Hills Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this, there are several office buildings (i.e. *Citibank Building, Apple Orthodontics, etc.*). These properties are all zoned Commercial (C) District.

South: Directly south of the subject property is IH-30, which is identified as a TXDOT6D (i.e. *Texas Department of Transportation, six [6] line, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this, there is a shopping center (i.e. *Rockwall Market Center*) that contains several commercial/retail businesses (i.e. *Mattress Firm, Office Max, etc.*).

East: Directly east of the subject property, there are several commercial businesses (i.e. *RE/MAX Properties, Firestone Complete Auto Care, etc.*). Following this, is White Hills Drive, which is identified as a *Minor Collector* on the



City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this, there are several commercial/retail businesses (i.e. Car Toys, Wal-Mart, etc.). All of these properties are zoned Commercial (C) District.

West: Directly west of the subject property are several commercial businesses (i.e. Enterprise Rent-A-Car, Chase Bank, etc.) followed by Vigor Way, which is a private roadway. Beyond this there are several commercial/retail businesses (i.e. Denny's Valvoline Oil Change, etc.). All of these properties are zoned Commercial (C) District.

### **DENSITY AND DIMENSIONAL REQUIREMENTS**

The applicant is proposing to renovate the existing 3,764 SF *Restaurant with Drive-Through*. The proposed renovations include expanding the proposed building footprint to 3,956 SF, recladding the exterior of the building with a combination of stone and stucco, and adding vertical articulation elements. Outside of the changes to the building elevations the overall site plan will generally remain the same. A summary of the density and dimensional requirements for the subject property, and the proposed projects conformance to these standards is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	44,997.48 SF; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	60-Feet	246.83-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	211.01-Feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-Feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-Feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-Feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	22-Feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	9.0%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	40 Parking Spaces	54 Parking Spaces; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	20%	X<20%; <i>Legally Non-Conforming</i>
<i>Maximum Impervious Coverage</i>	85-90%	X<90%; <i>In Conformance</i>

### **TREESCAPE PLAN**

The landscape plan submitted by the applicant indicates that no trees will be removed from the site and that no mitigation will be required.

### **CONFORMANCE WITH THE CITY'S CODES**

According to the Rockwall County Appraisal District (RCAD) the existing building was constructed in 1996, which was prior to the adoption of the Unified Development Code (UDC). Based on this, the existing building is considered to be a legally non-conforming structure. Currently, the existing building meets the roof design standards, but not the horizontal building articulation requirements. The applicant is proposing to reface the building and change the pitched roof design to a parapet roof design to give the appearance of a flat roof, which brings the building further out of conformance with the *General Overlay District Standards*. With this being said, the proposed redesign does meet the minimum vertical articulation requirements and does not change the existing building's conformance to the horizontal building articulation requirements.

### **VARIANCES BY THE APPLICANT**

As stated above, the applicant's request generally conforms to the majority of the City's codes; however, staff has identified the following variances brought about by increases to the non-conformity of the existing structure that will result from the proposed development:

- (1) Building Materials. According to Subsection 06.02(C), *Architectural Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...cementitious materials (e.g. stucco, cementitious lap siding, or similar materials approved by the Director of Planning and Zoning or his/her designee) shall be limited to 50% of the building's exterior façade." In this case the applicant is proposing the use of more than 50% stucco on the northern and western building elevations.

- (2) Roof Design Standards. According to Subsection 06.02(C)(2), Roof Design Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC) states that "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof." In this case the applicant is requesting a parapet roof system.

According to Subsection 09.02, Variances to the General Overlay District Standards, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in Section 06.02, General Overlay District Standards, of Article 05, District Development Standards, where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship." With this being said, the proposed building elevations do incorporate greater than 20% natural stone on the north, east, and west building façades. Subsection 09.02, Variances to the General Overlay District Standards, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "(i)n cases where a variance or variances is/are being requested, the applicant shall provide two (2) compensatory measures that directly offset the requested variance." Based on the two (2) proposed variances to the roof design standards and overlay district masonry material requirements, the applicant is required to provide four (4) compensatory measures; however, the applicant is only proposing to make changes to the building where they have proposed the use of more than 20% stone on three (3) sides of the building. Staff has suggested to the applicant that additional landscaping should be provided as a compensatory measure to help bring the site closer into compliance with the current requirements of the Unified Development Code (UDC); however, the applicant's landscape plan shows no changes from the current landscaping on the site. Staff has added a Condition of Approval that would require additional landscaping, for the Planning and Zoning Commission's consideration. With this being said, requests for variances to the General Overlay District Standards and the proposed compensatory measures intended to off-set the variances being requested are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The OURHometown Vision 2040 Comprehensive Plan indicates the subject property is located within the IH-30 Corridor District. This district is composed primarily of a Special Commercial Corridor (SC). The IH-30 Corridor District will continue to serve as the City's primary retail corridor in the future. The subject property is zoned Commercial (C) District, and the applicant's request appears to be in conformance with Future Land Use Plan and the District Strategies outlined for the IH-30 Corridor District as stipulated in the OURHometown Vision 2040 Comprehensive Plan.

### **ARCHITECTURAL REVIEW BOARD (ARB):**

The Architectural Review Board (ARB) reviewed the building elevations provided by the applicant on February 28, 2022, and made the following recommendations: [1] add depth the vertical wing walls so they are not flat, [2] replace the cultured stone with a natural/quarried stone, [3] add a tower element to the drive-thru side, [4] provide a projection on the "south" side (*i.e. the side facing IH-30*) so that elevation is not flat, and [5] increase the height of the stone to the canopies on the projecting elements. The applicant has provided updated building elevations that meet the ARB's requests. These will be reviewed by the ARB at the meeting on March 15, 2022.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's request for an amended site plan for an existing restaurant with drive-through, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit.
- (2) As compensatory measures, staff would recommend that additional canopy and accent trees be added to the subject property in order to bring the overall site closer into compliance with the City's current requirements. If approved by the Planning and Zoning Commission, the applicant will need to work with staff to submit an updated landscape plan prior to the acceptance of civil engineering plans and/or a building permit.



- (3) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-006

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **726 E Interstate 30 Rockwall, TX 75087**

SUBDIVISION **Grandy's Addition**

LOT **1** BLOCK **A**

GENERAL LOCATION **IH30 Overlay**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Fast food restaurant**

PROPOSED ZONING **Commercial**

PROPOSED USE **Fast food restaurant**

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **Hector Rodriguez**

☒ APPLICANT **Creativo Designs**

CONTACT PERSON **Hector Rodriguez**

CONTACT PERSON **Luis Chico**

ADDRESS **1185 108th St**

ADDRESS **602 SRL Thornton fwy suite B**

CITY, STATE & ZIP **Grand Prairie, Tx 75050**

CITY, STATE & ZIP **Dallas, tx 75203**

PHONE **469-506-0865**

PHONE **214-884-8168**

E-MAIL

E-MAIL **cs@creativodesignsusa.com**

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Hector Rodriguez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 190.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

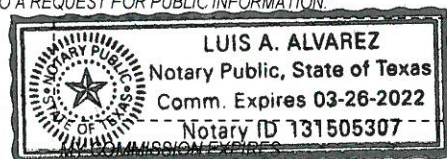
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 2022

OWNER'S SIGNATURE

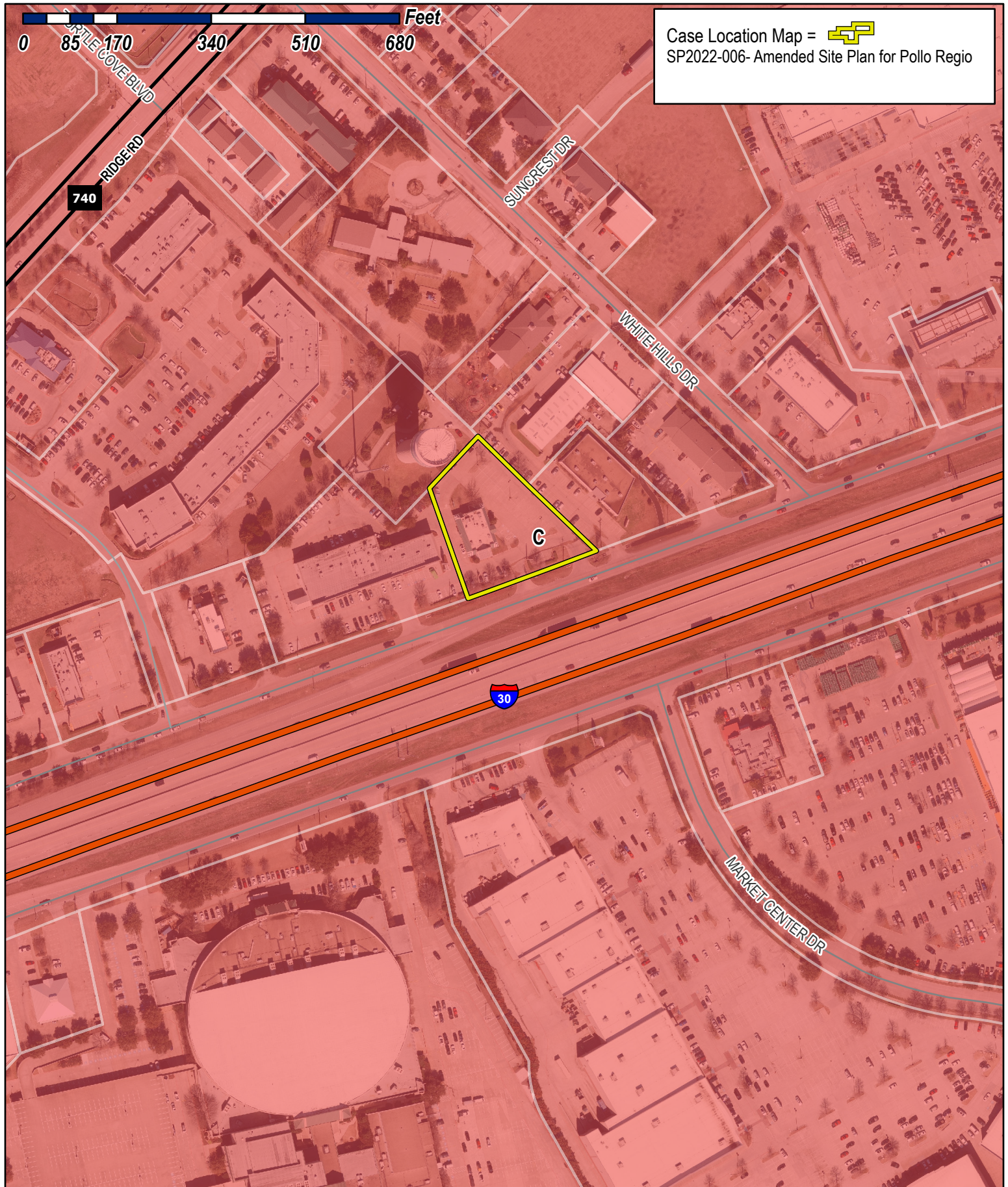
Hector Rodriguez

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Luis A. Alvarez







Case Location Map =   
SP2022-006- Amended Site Plan for Pollo Regio



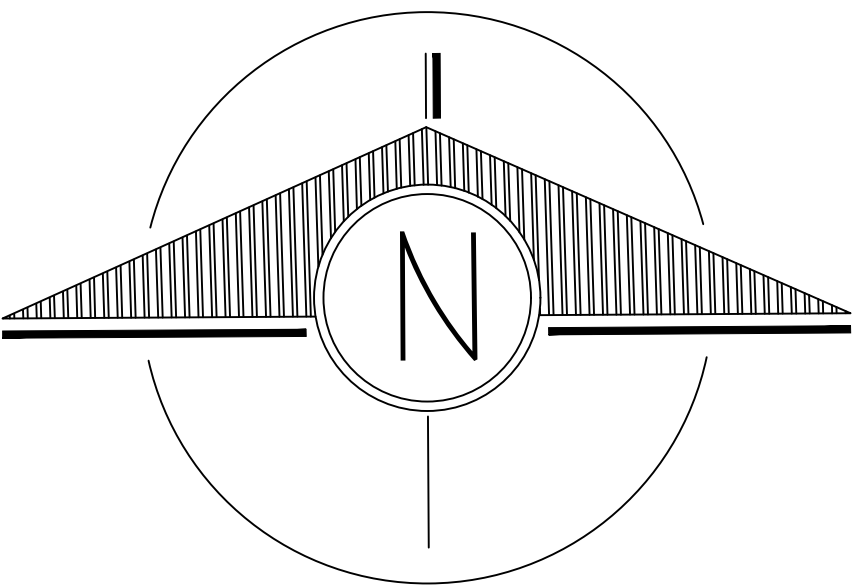
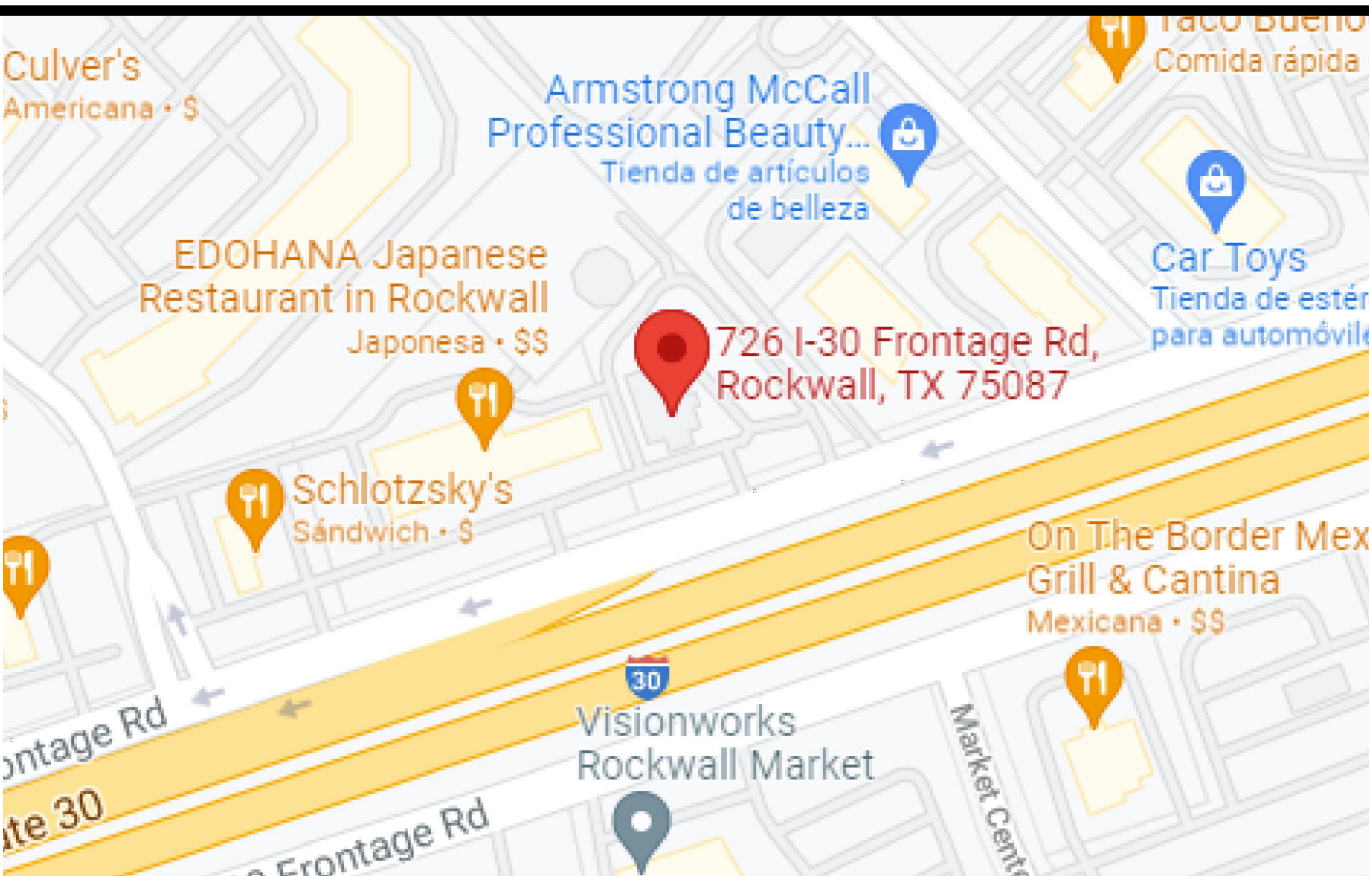
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

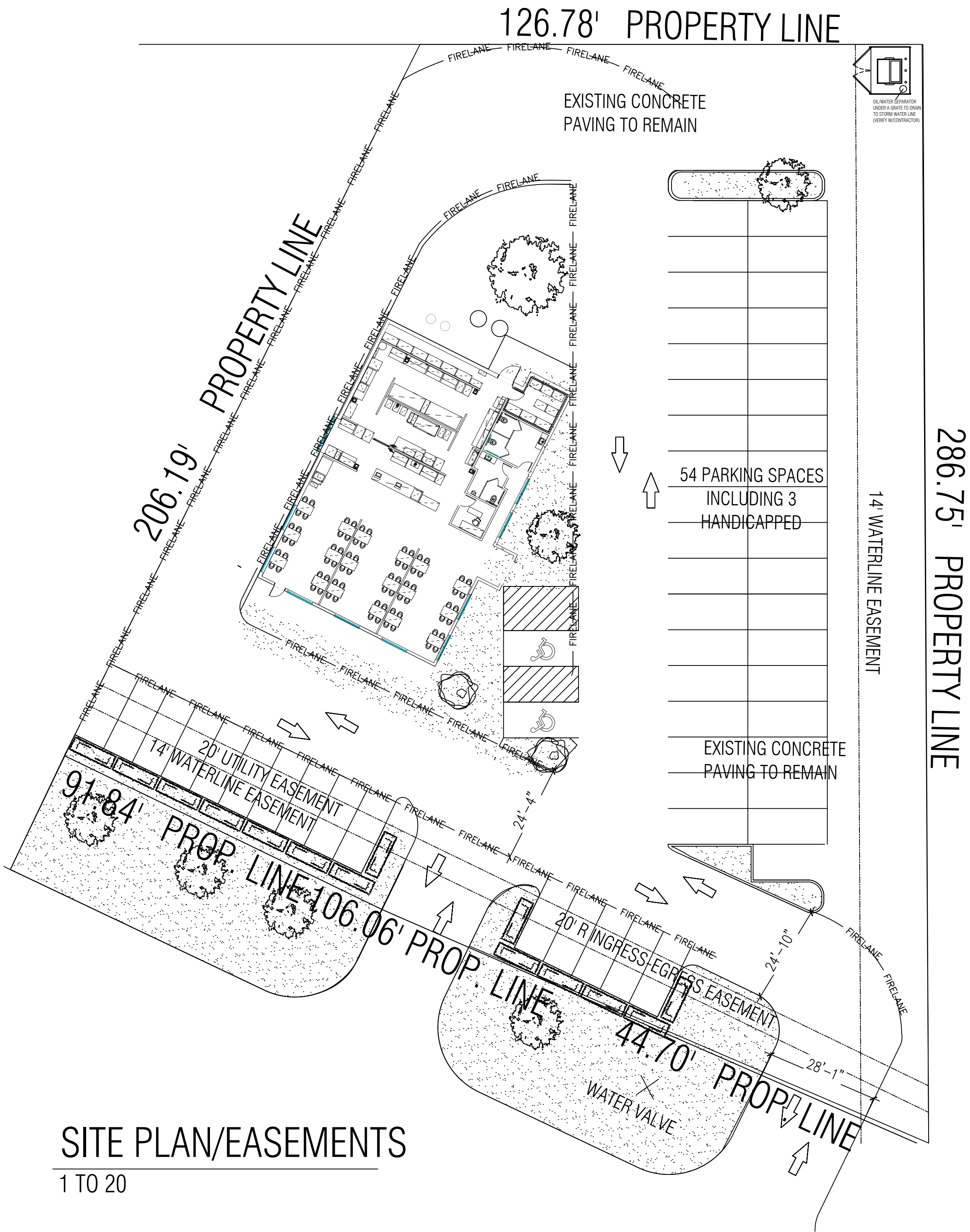
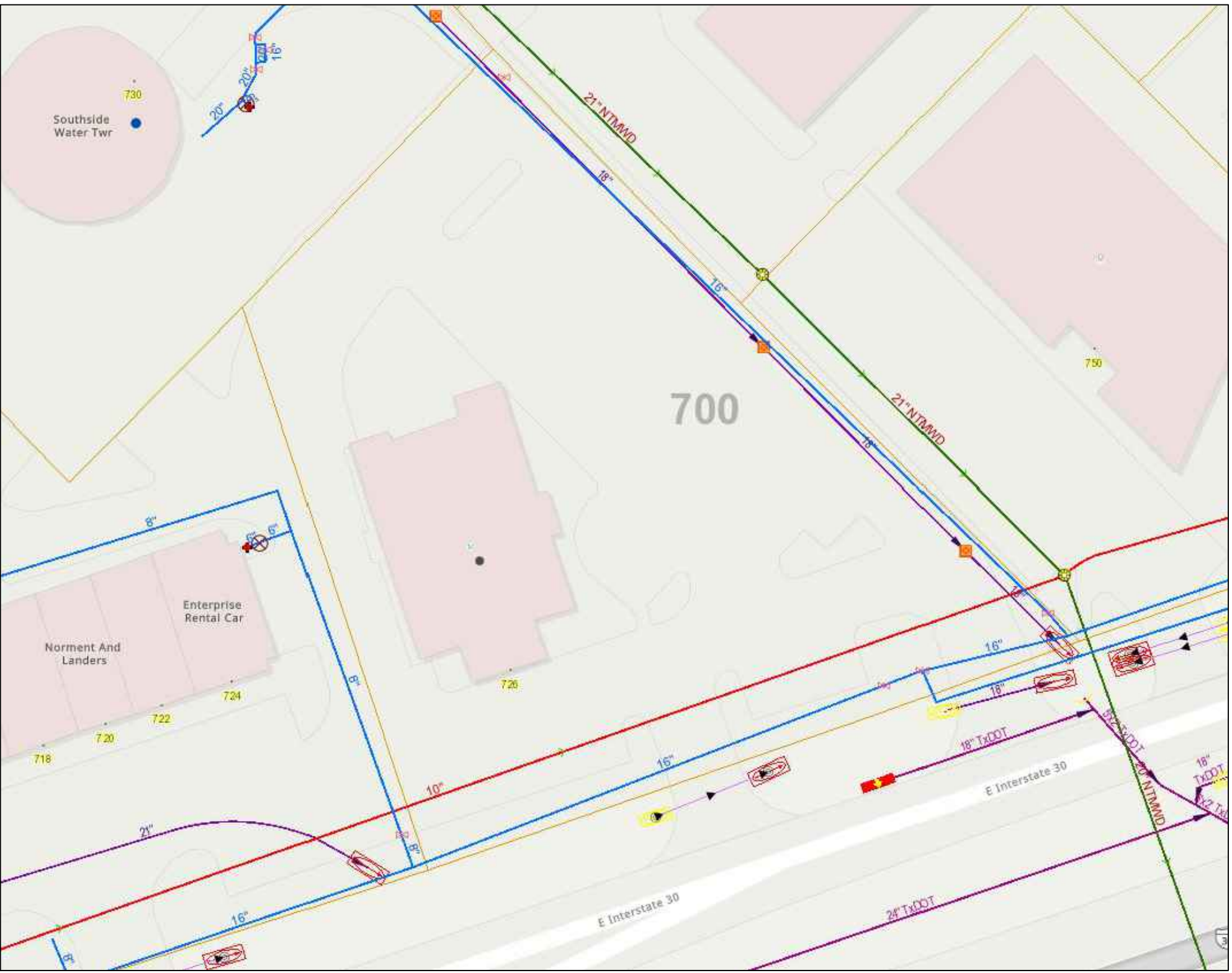
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







SQUARE FOOTAGE	
RESTAURANT	3,753 S.F.
TOTAL:	3,753 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	10 %
ACREAGE	LOT: 0.993 BUILDING: 0.086



SITE PLAN/EASEMENTS  
1 TO 20

OWNER: JH PR GROUP HOLDINGS LLC  
DEVELOPER: MTY REMODELING & CONSTRUCTION

SITE PLAN SIGNATURE BLOCK  
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, \_\_\_\_  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman  
\_\_\_\_\_  
Director of Planning and Zoning



CREATIVODESIGNS  
602 SRL THORNTON FWY SUITE B  
DALLAS, TEXAS 75203  
214.884.8168 214.886.2866  
cs@creativodesignsusa.com

ADDRESS:  
SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087  
REMODEL

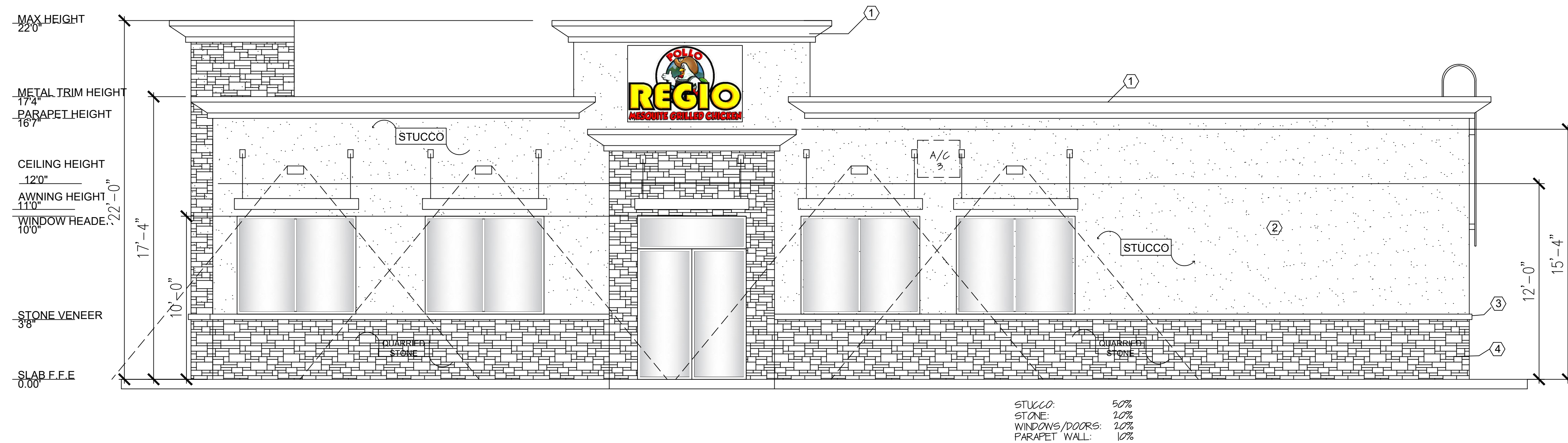
CASE # SP2022-006

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

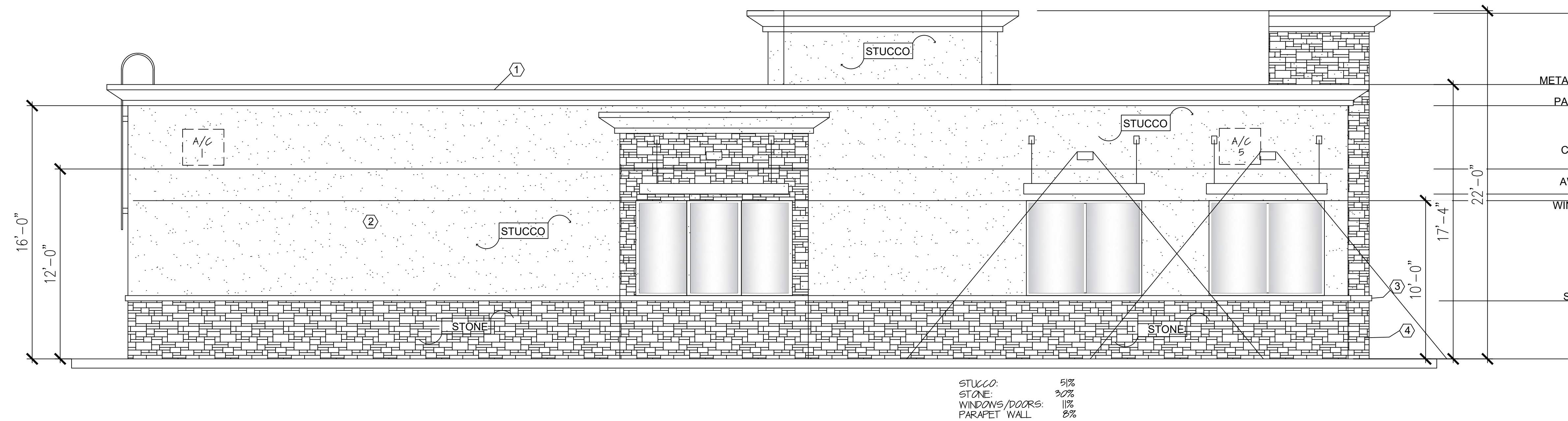
SCALE: 1 TO 20  
DATE: 03/08/2022  
SQ FT: 3,956  
TYPE: SITE PLAN

DRAWING No.  
1 OF 12  
DRAWN: EACB





RIGHT ELEVATION (EAST)  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION (WEST)  
SCALE: 1/4" = 1'-0"

SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



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602 SRL THORNTON FWY SUITE B  
DALLAS, TEXAS 75203  
214.884.8168 214.886.2866  
cs@creativodesignsusa.com

ADDRESS:

SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

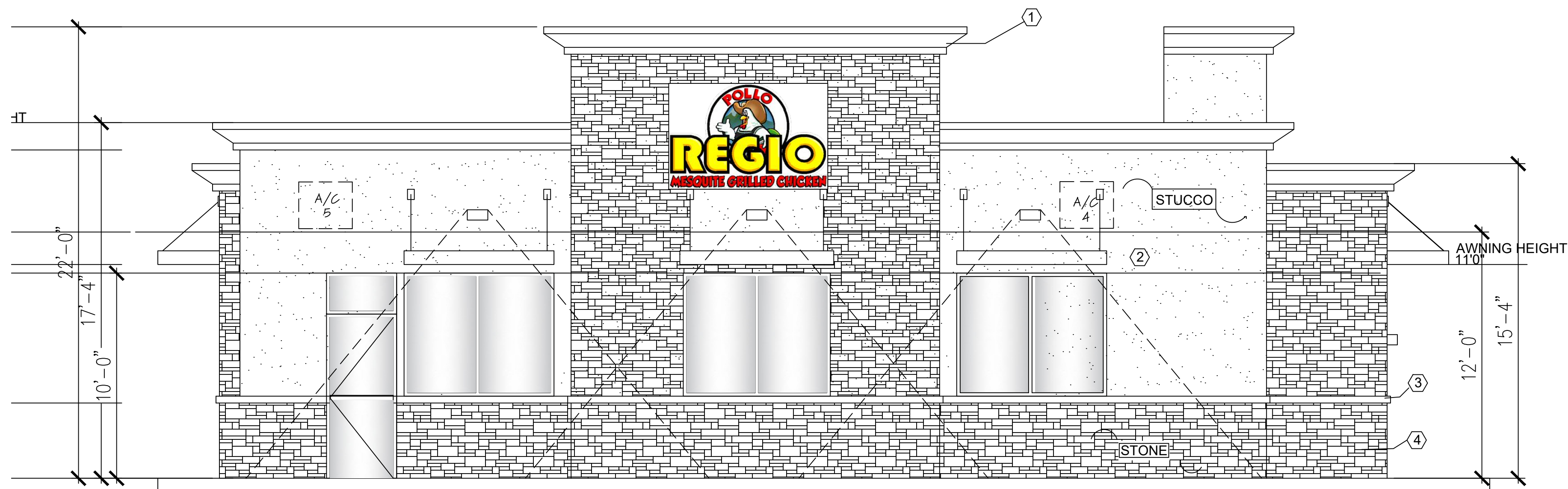
CASE # SP2022-006

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SCALE:	1/4" = 1'-0"
DATE:	03/08/2022
SQ FT:	3,956
TYPE:	ADA

DRAWING No.	
11 OF 12	
DRAWN:	EACB





FRONT ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"

STUCCO: 20%  
STONE: 50%  
WINDOWS/DOORS: 15%  
PARAPET WALL: 15%

1 EXTERIOR TRIM AROUND BUILDING SW 6868 REAL RED

2 EXTERIOR WALLS (ABOVE STUCCO BAND/STONE OR GRAY PAINT),

3 OUTSIDE TRIM MOLDINGS, SW 7017 DORIAN GRAY

4 EXTERIOR STONE

SW 6868 REAL RED  
Sherwin-Williams Color

sR = 200.663  
sG = 66.999  
sB = 73.620

#C9474E

SW 6126 NAVAJO WHITE  
Sherwin-Williams Color

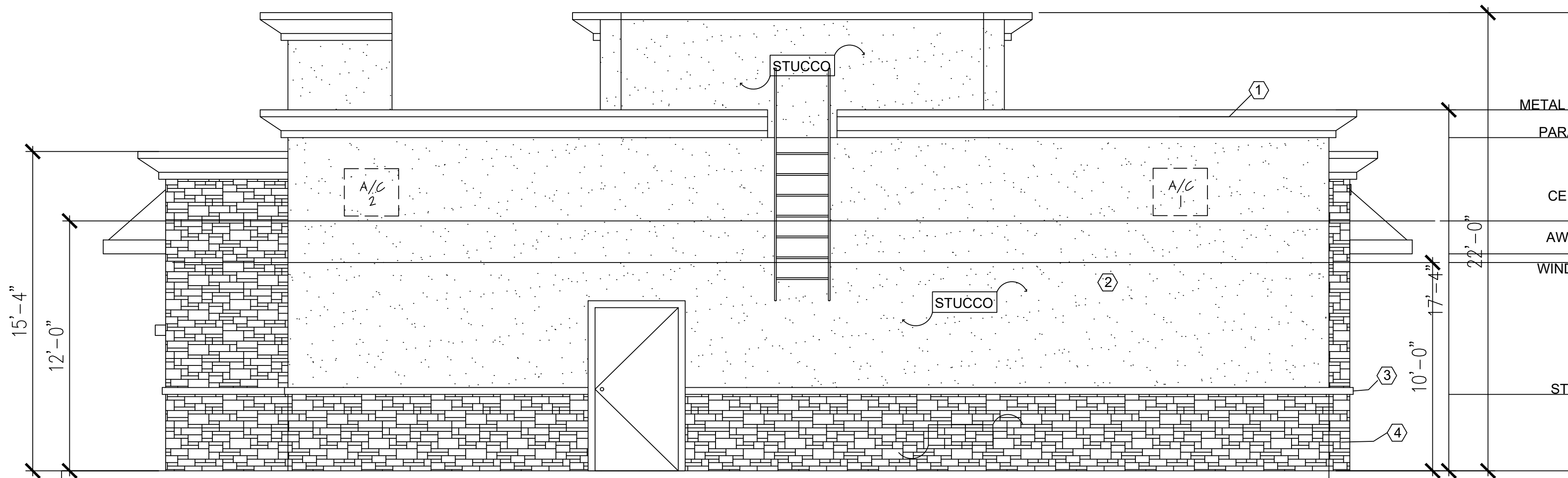
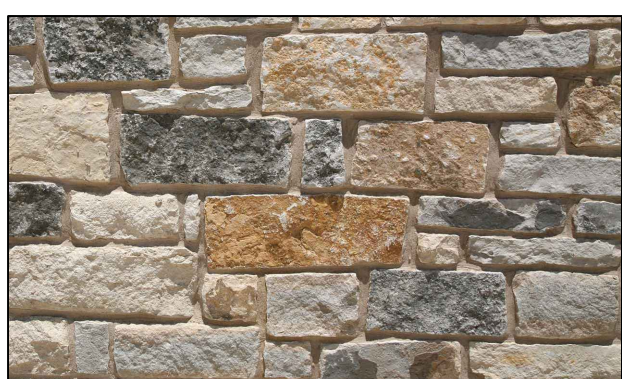
sR = 233.166  
sG = 222.635  
sB = 200.668

#E9DFC9

SW 7017 DORIAN GRAY  
Sherwin-Williams Color

sR = 172.588  
sG = 169.664  
sB = 161.194

#AEABA3



REAR ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"

STUCCO: 60%  
STONE: 20%  
WINDOWS/DOORS: 12%  
PARAPET WALL: 8%

6126 NAVAJO WHITE

TEXAS MIX NATURAL CHOP

SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



CREATIVODESIGNS  
602 SRL THORNTON FWY SUITE B  
DALLAS, TEXAS 75203  
214.884.8168 214.886.2866  
cs@creativodesignsusa.com

ADDRESS:

SCOPE OF WORK:

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726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

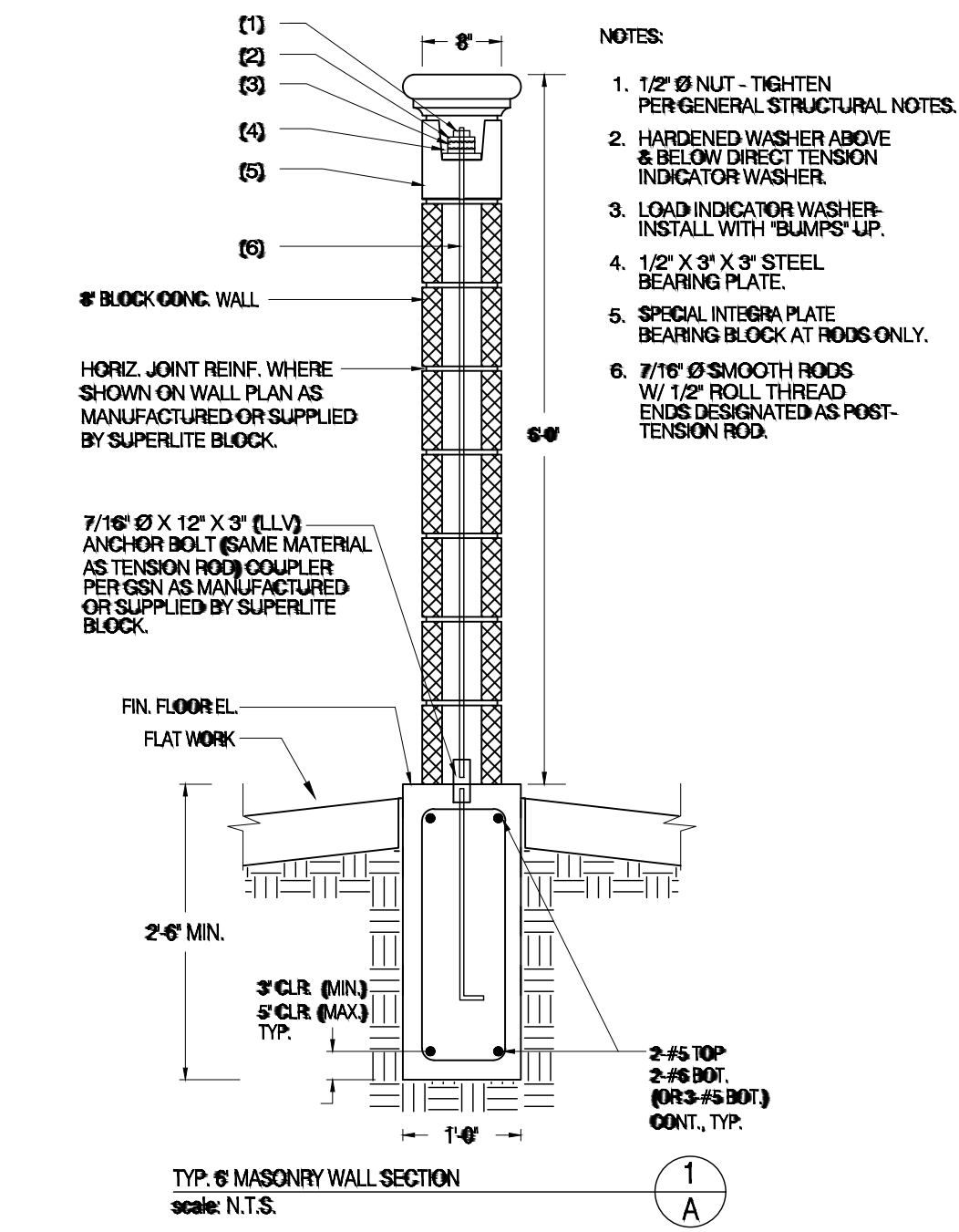
REMODEL

CASE # SP2022-006

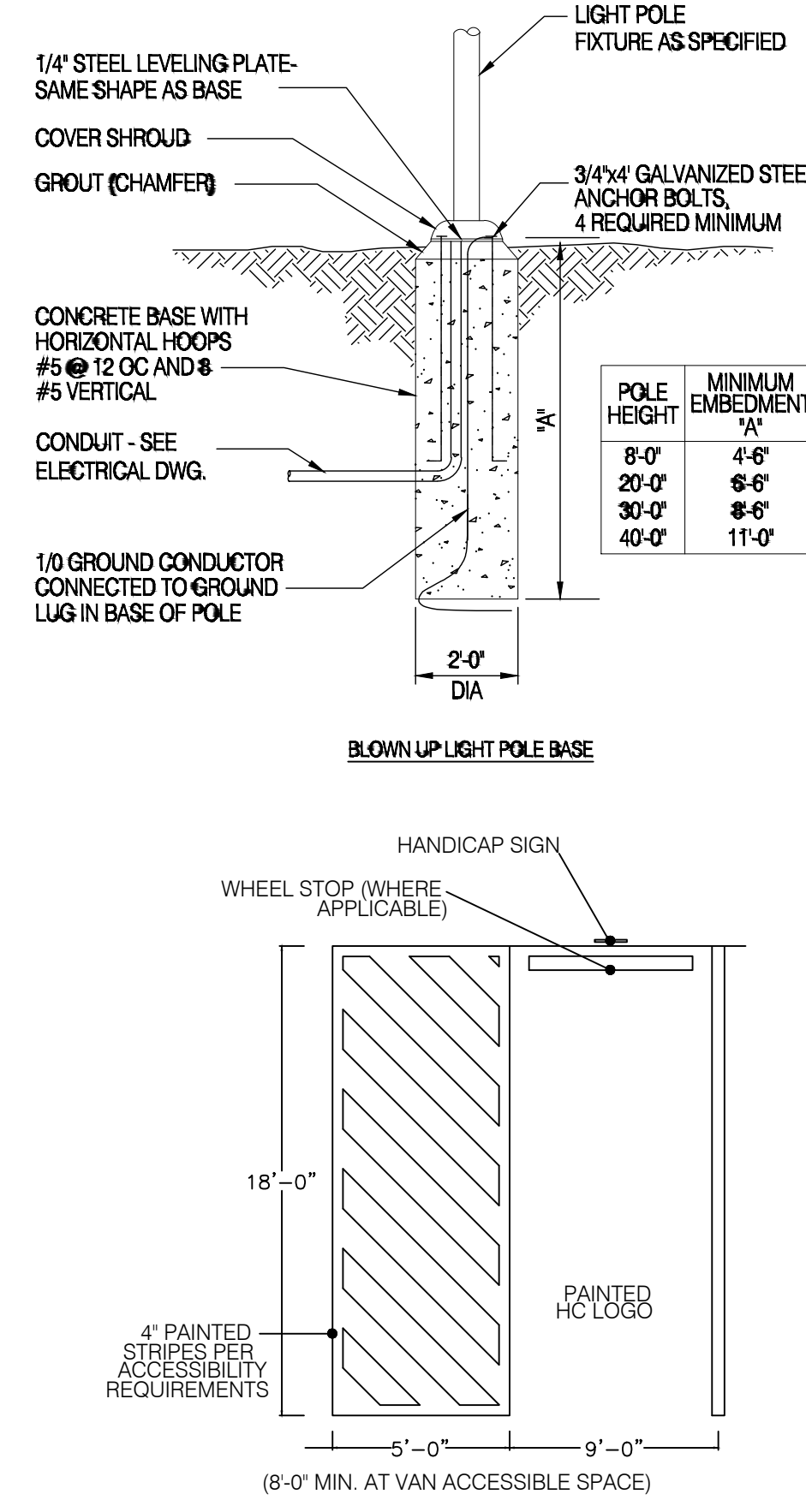
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DATE: 03/08/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.  
12 OF 12  
DRAWN: EACB

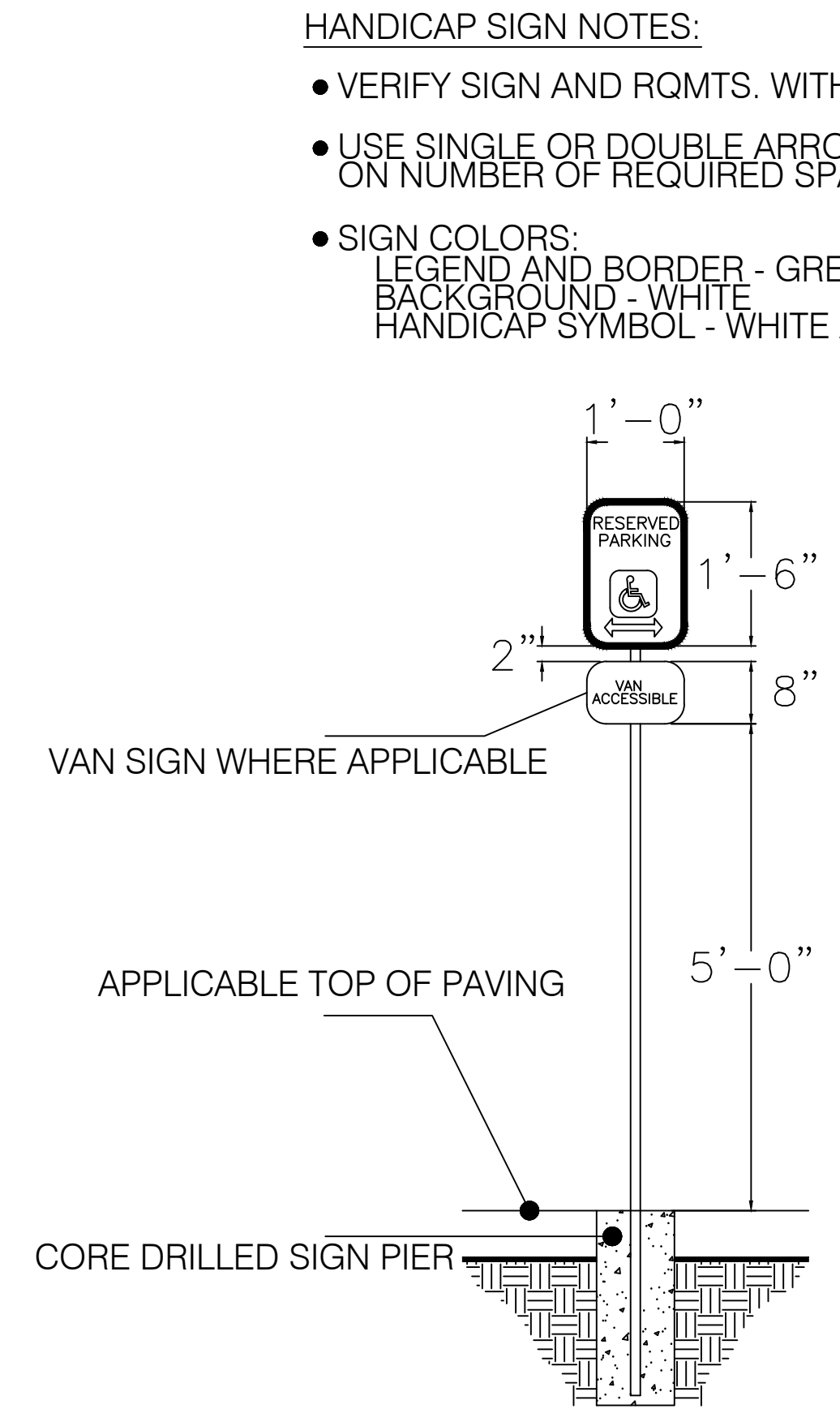




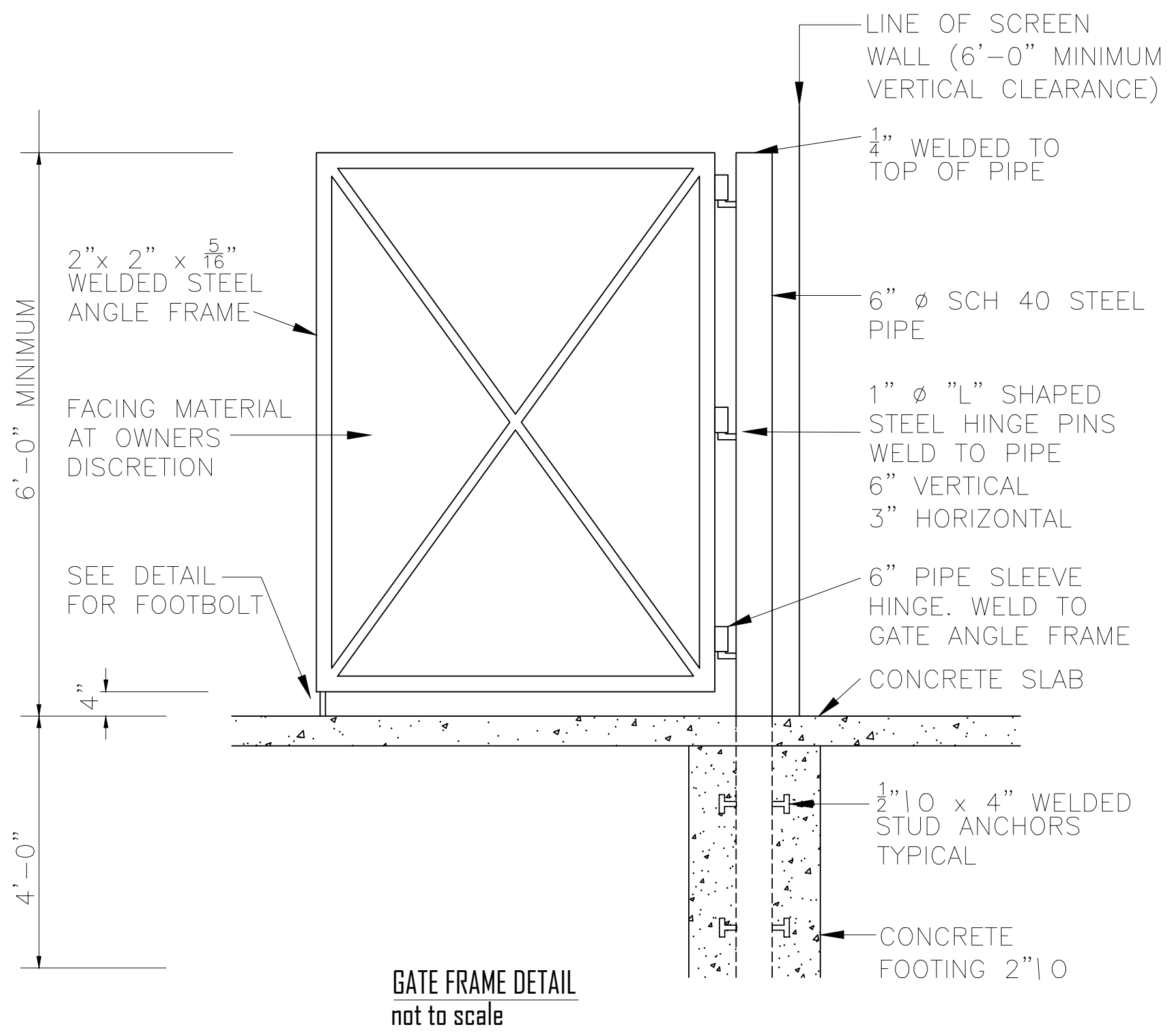
- INSTALLATION NOTES**
- FOOTING: PLACE AND SECURE FOOTING REINFORCING.
  - STEM WALL: PLACE AND SECURE 2 #6 IN TOP OF STEM. MARK ON FORMS LOCATION OF ANCHOR BOLTS FOR POST TENSIONING RODS IN WALL. STAB ANCHOR BOLTS IN STEM.
  - INTEGRA WALL SYSTEM: INSTALL POST TENSIONING RODS IN COUPLERS ON ANCHOR BOLTS. BEGIN MASONRY WALL AT LOCATIONS WHERE GROUT IS SPECIFIED. GROUT LIFTS MAY NOT EXCEED 4'-0". CELL SHALL BE WELL RODDED TO INSURE GROUT FULLY ENGAGES REINFORCING ROD IN MASONRY CELL. IT IS ACCEPTABLE TO USE MORTAR AS GROUT IN 8" MAXIMUM LIFTS. INSTALL ALL HARDWARE FOR BEAM BEARINGS ETC.
  - LINTELS: SHORE LINTELS OVER 6'-0" UNLESS 1 BEAM LINTELS ARE USED. GROUT SHALL CURE FOR A MINIMUM OF 3 DAYS PRIOR TO REMOVING SHORES.



**TYPICAL HANDICAP SIGNAGE**  
NOT TO SCALE

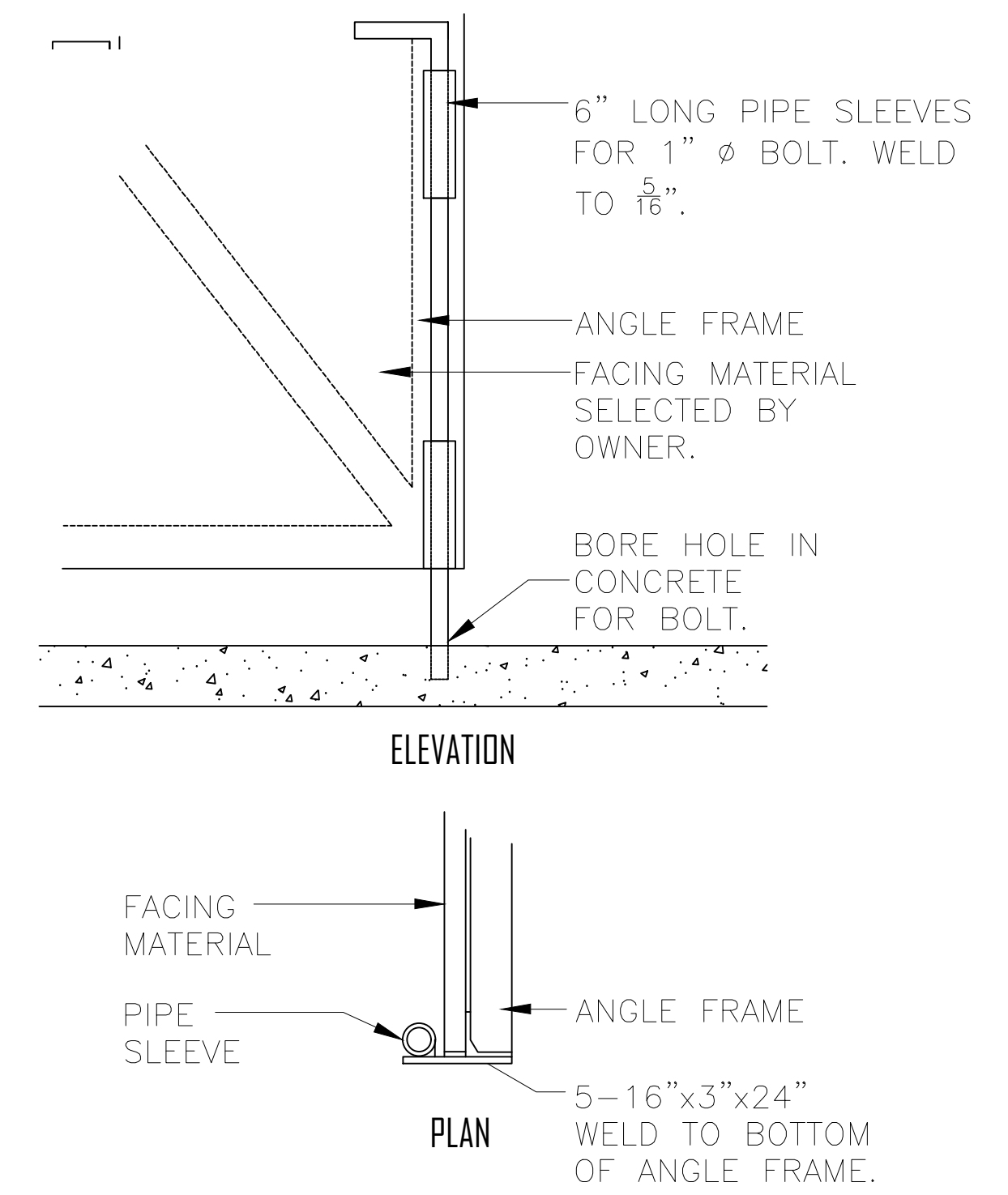
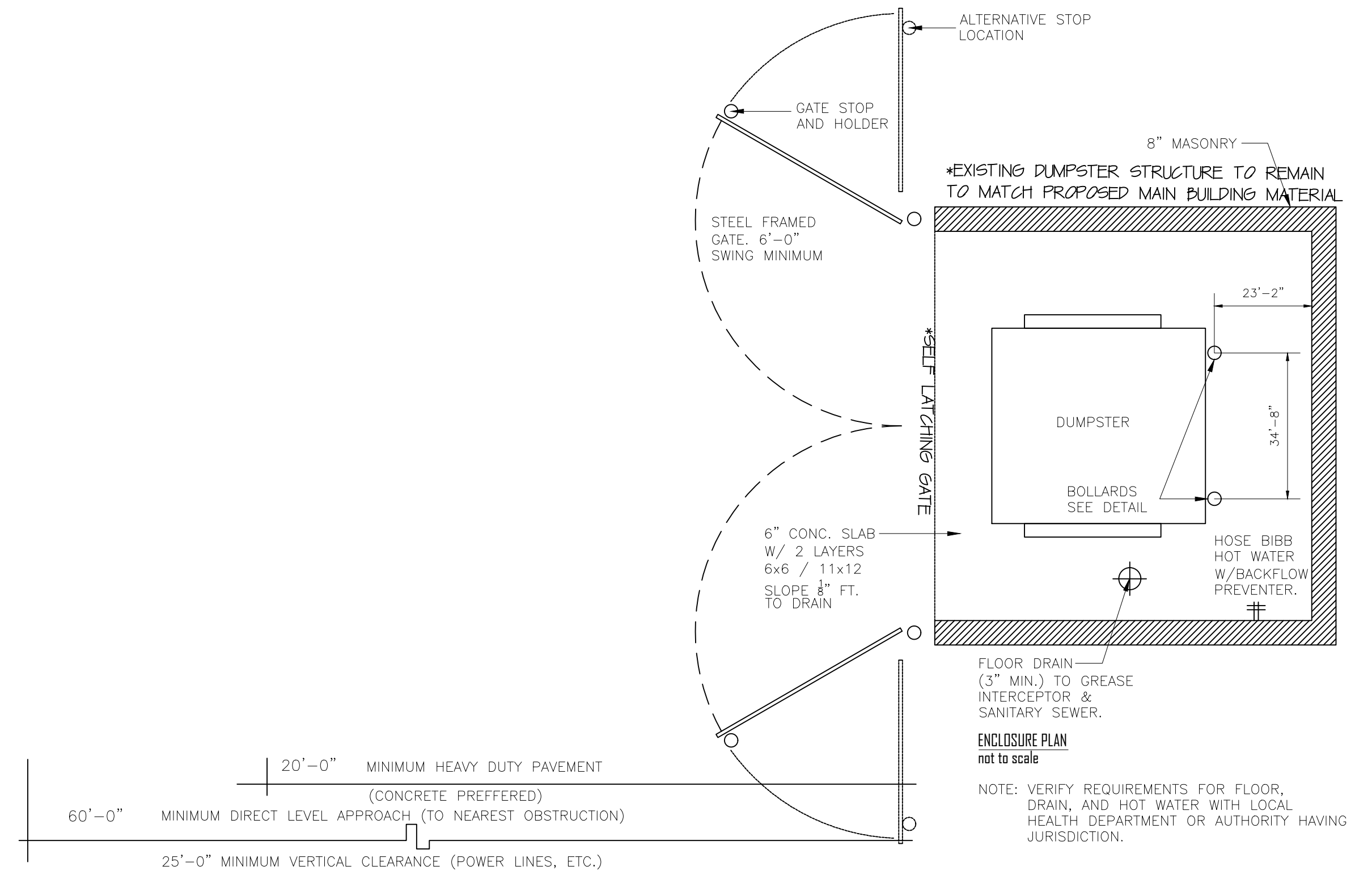


**TYPICAL HANDICAP SIGNAGE**  
NOT TO SCALE



**GATE FRAME DETAIL**  
not to scale

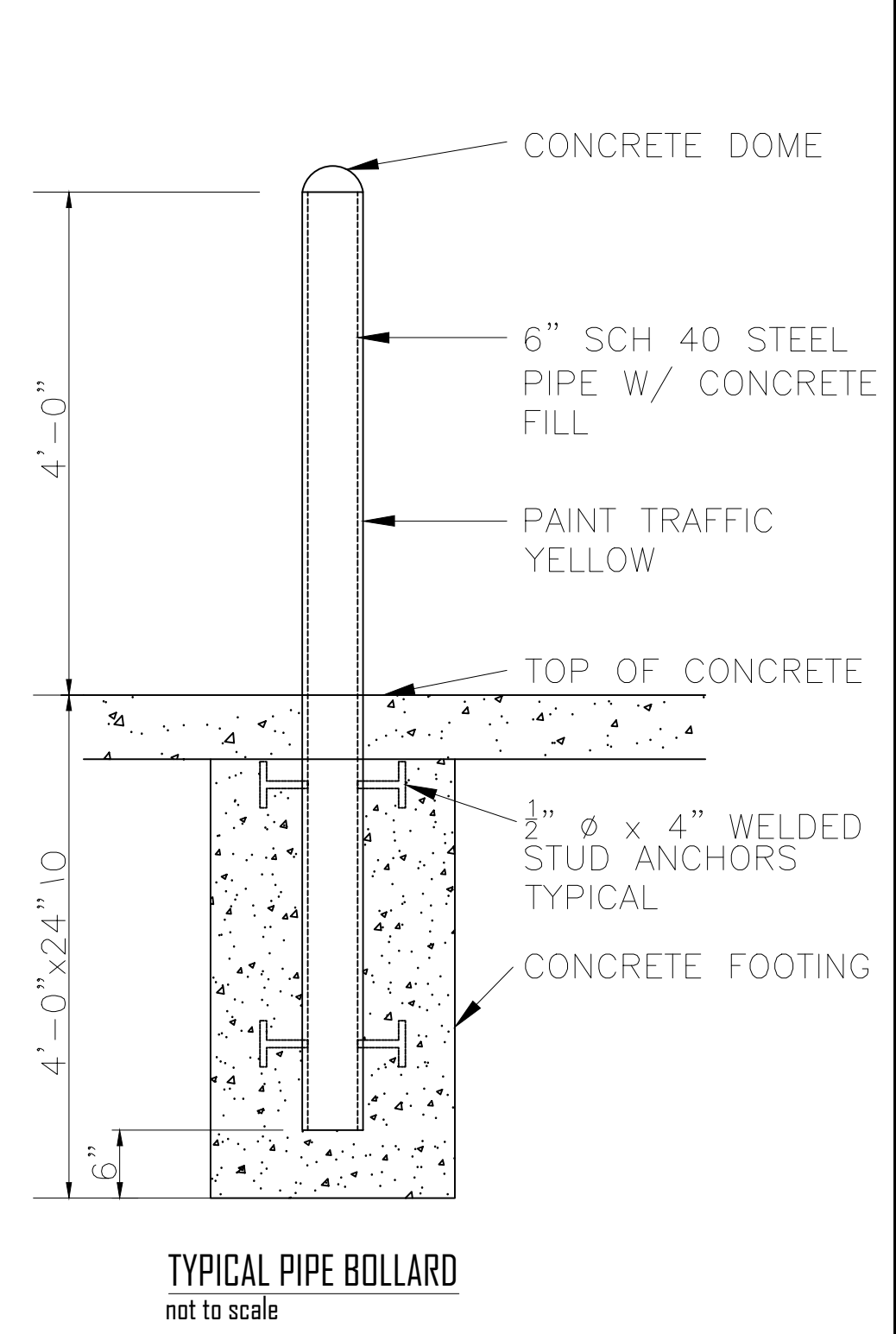
- HANDICAP SIGN NOTES:**
- VERIFY SIGN AND RQMTS. WITH CITY.
  - USE SINGLE OR DOUBLE ARROW DEPENDING ON NUMBER OF REQUIRED SPACES.
  - SIGN COLORS:  
LEGEND AND BORDER - GREEN  
BACKGROUND - WHITE  
HANDICAP SYMBOL - WHITE AND BLUE



**TYPICAL PIPE BOLLARD**  
not to scale



**TYPICAL FOOTBOLT**  
not to scale



**TYPICAL PIPE BOLLARD**  
not to scale

**SITE PLAN SIGNATURE BLOCK**

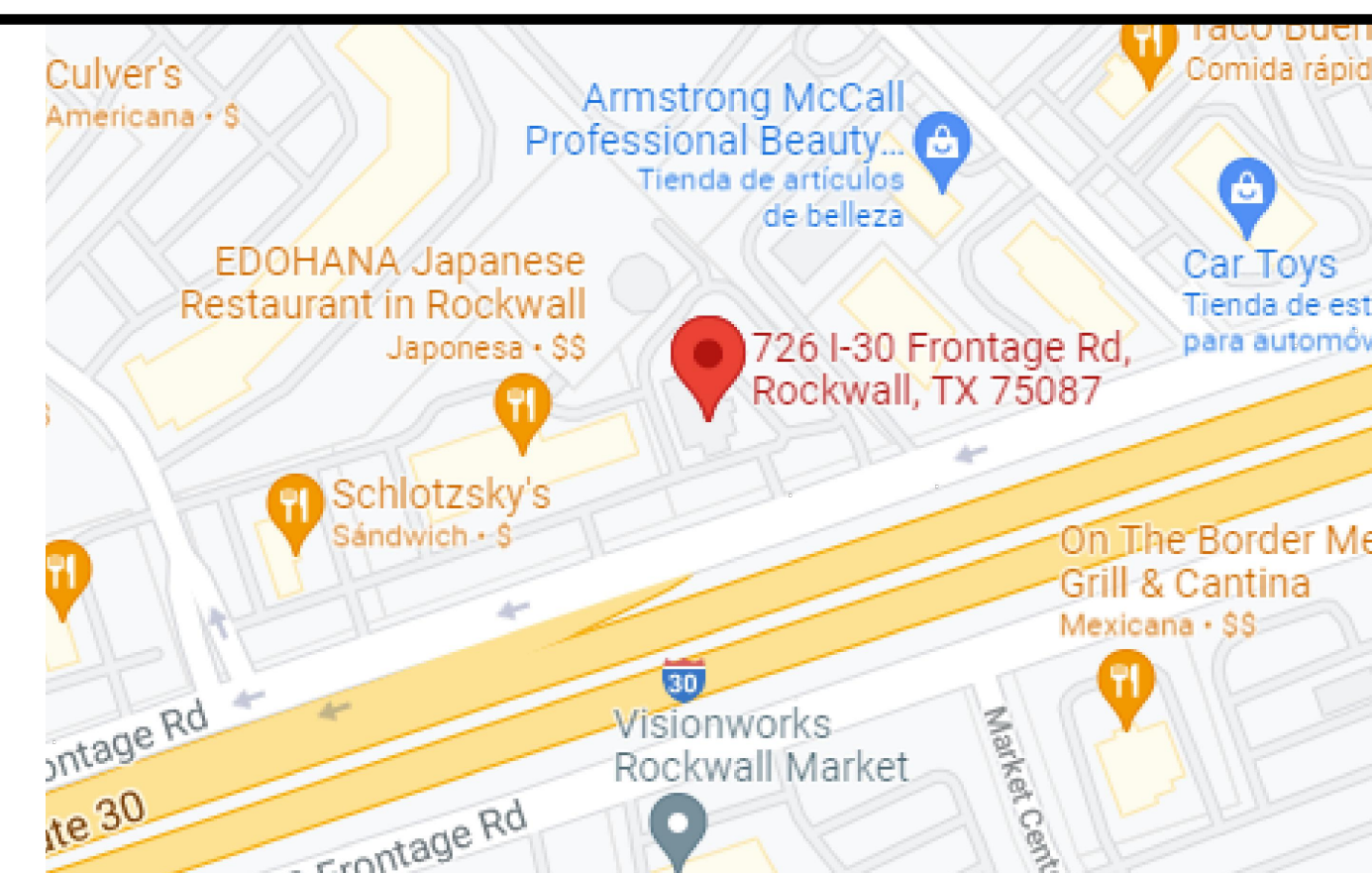
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning





TALLEY TOWN REP  
BLK 2 LOT 2R ACS 3.0080

EXG.BUILDING 2,478 SQ FT  
EXG.METAL BUILDING 578 SQ FT  
PROP.AREA 3,900 SQ FT

TOTAL COVERAGE 6,956 SQ FT  
LOT SIZE 124.966 SQ FT  
TOTAL COVERAGE 05 %

RESTAURANT	3,753 S.F.
TOTAL:	3,753 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	10 %
ACREAGE	LOT: 0.993 BUILDING: 0.086

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
RESTAURANT	3,753	100	RESTAURANT	40
PARKING REQUIRED				40
PARKING PROVIDED				54

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Director of Planning and Zoning



DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

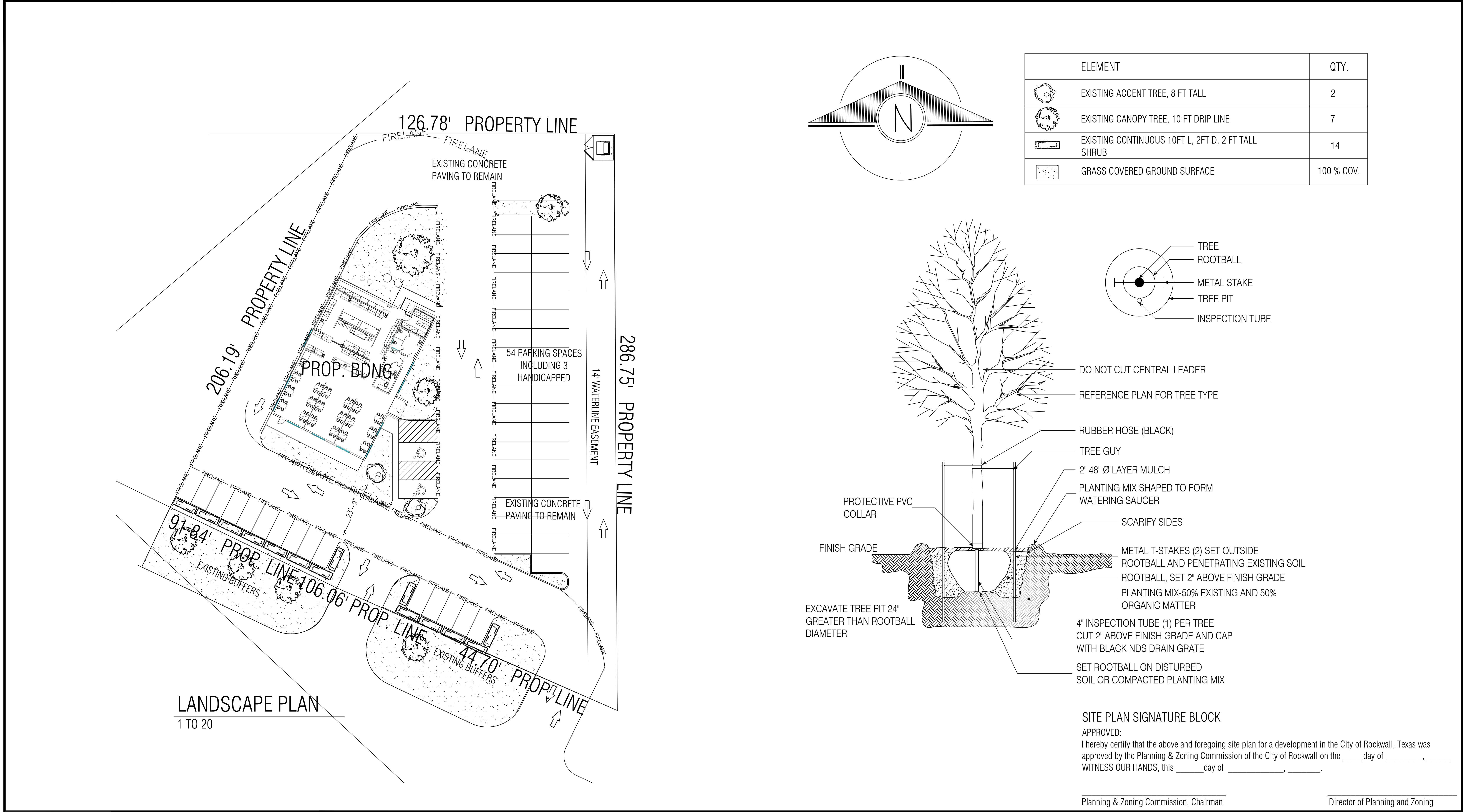
CASE # SP2022-006

DRAWING No.

1 OF 12

DRAWN: EACB









# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-006

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **726 E Interstate 30 Rockwall, TX 75087**

SUBDIVISION **Grandy's Addition**

LOT **1** BLOCK **A**

GENERAL LOCATION **IH30 Overlay**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Fast food restaurant**

PROPOSED ZONING **Commercial**

PROPOSED USE **Fast food restaurant**

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **Hector Rodriguez**

☒ APPLICANT **Creativo Designs**

CONTACT PERSON **Hector Rodriguez**

CONTACT PERSON **Luis Chico**

ADDRESS **1185 108th St**

ADDRESS **602 SRL Thornton fwy suite B**

CITY, STATE & ZIP **Grand Prairie, Tx 75050**

CITY, STATE & ZIP **Dallas, tx 75203**

PHONE **469-506-0865**

PHONE **214-884-8168**

E-MAIL

E-MAIL **cs@creativodesignsusa.com**

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Hector Rodriguez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 190.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

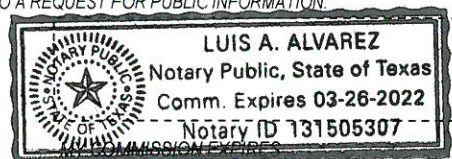
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 2022

OWNER'S SIGNATURE

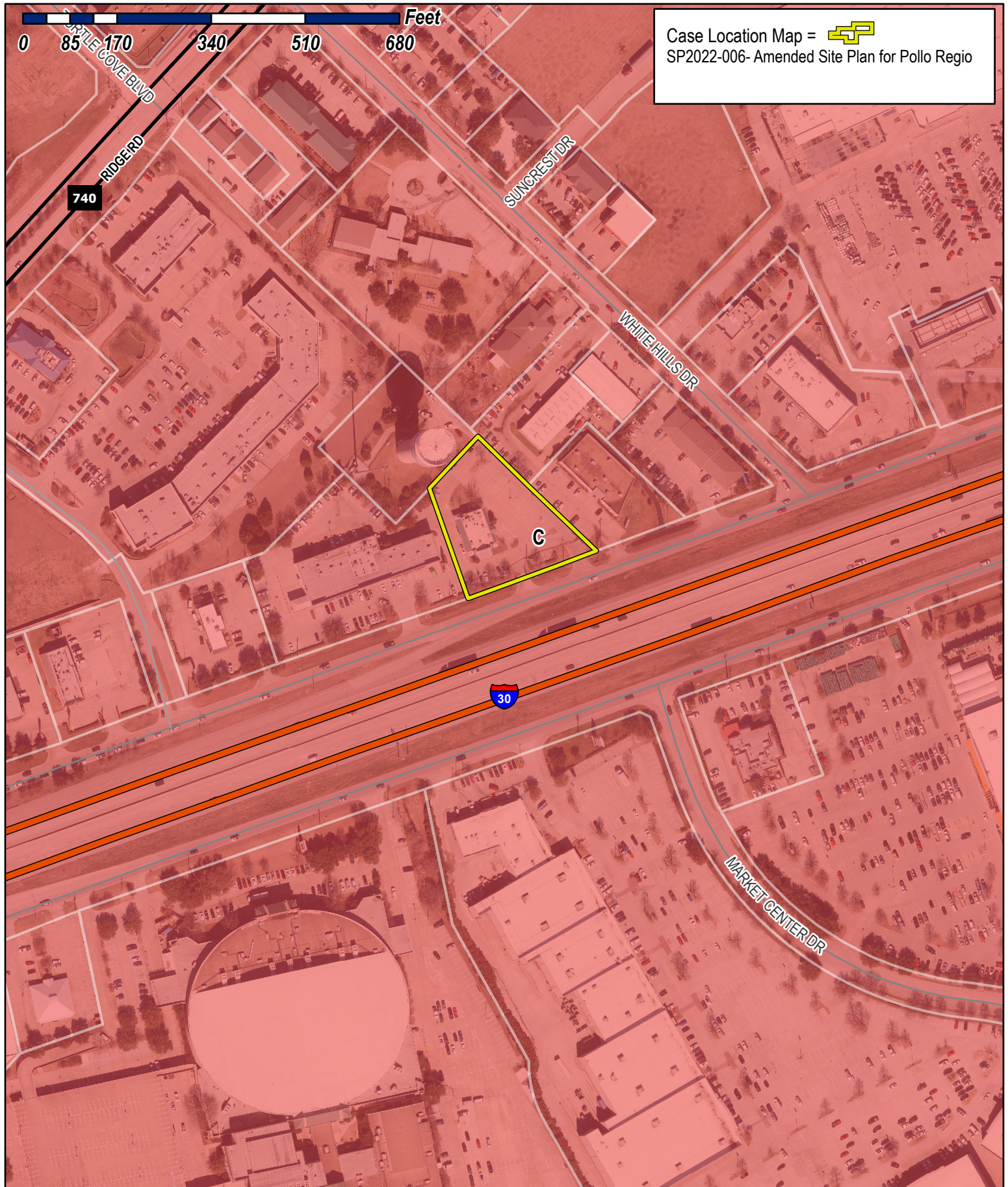
Hector Rodriguez


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Luis A. Alvarez







Case Location Map =   
SP2022-006- Amended Site Plan for Pollo Regio



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

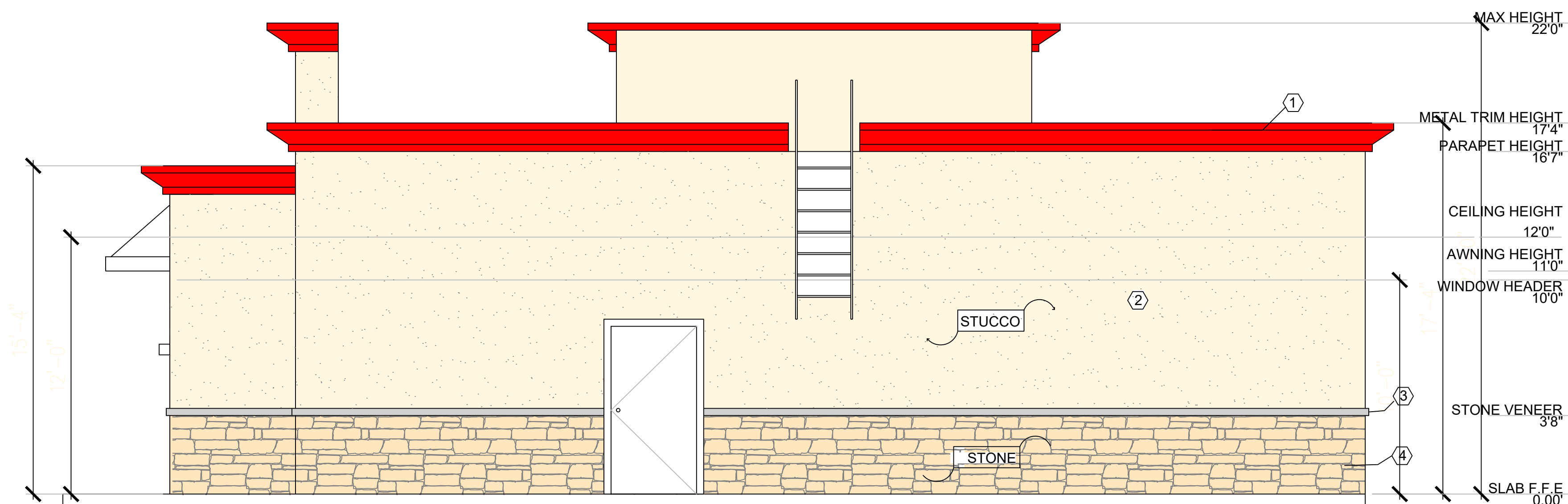
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FRONT ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"



REAR ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"

1 EXTERIOR TRIM AROUND BUILDING SW 6868 REAL RED

2 EXTERIOR WALLS (ABOVE STUCCO BAND/STONE OR GRAY PAINT),

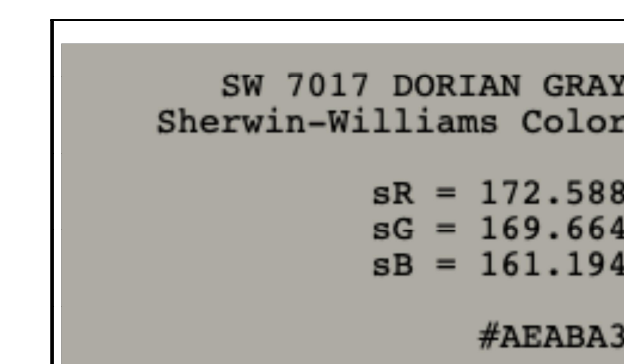
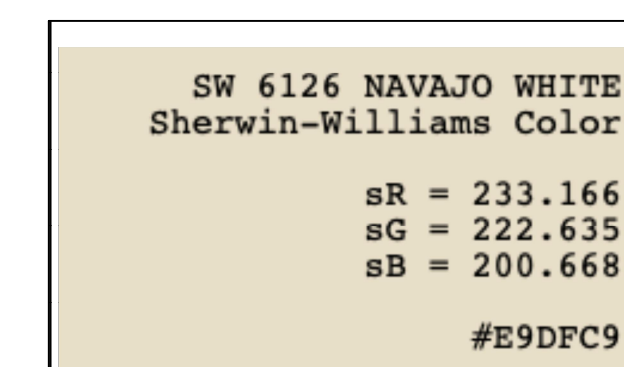
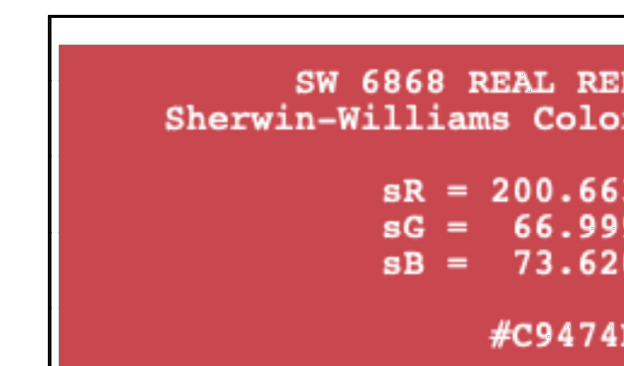
3 OUTSIDE TRIM MOLDINGS, SW 7017 DORIAN GRAY

4 EXTERIOR STONE

SW 6868 REAL RED

6126 NAVAJO WHITE

PRO-FIT LEDGESTONE



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DALLAS, TEXAS 75203  
214.884.8168 214.886.2866  
cs@creativodesignsusa.com

ADDRESS:

SCOPE OF WORK:

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

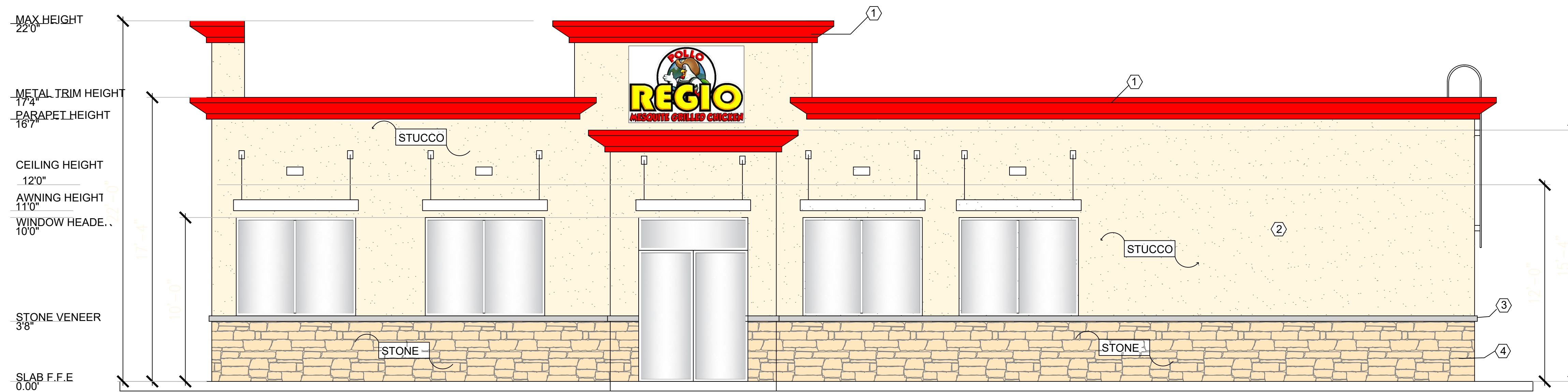
726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

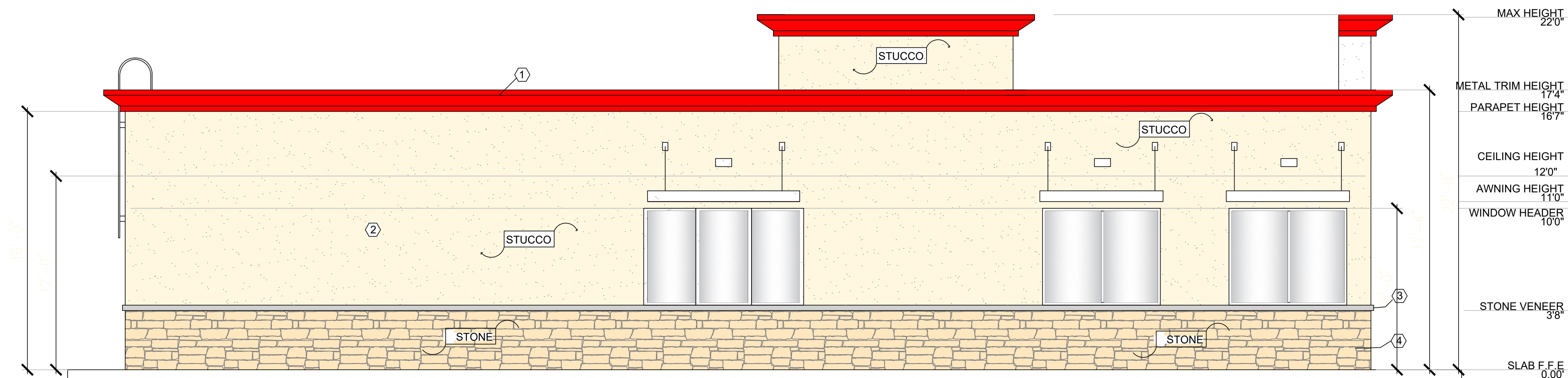
SCALE: N.T.S.  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.  
12 OF 12  
DRAWN: EACB





RIGHT ELEVATION (EAST)  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION (WEST)  
SCALE: 1/4" = 1'-0"



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726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

SCALE: 1/4" = 1'-0"  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.

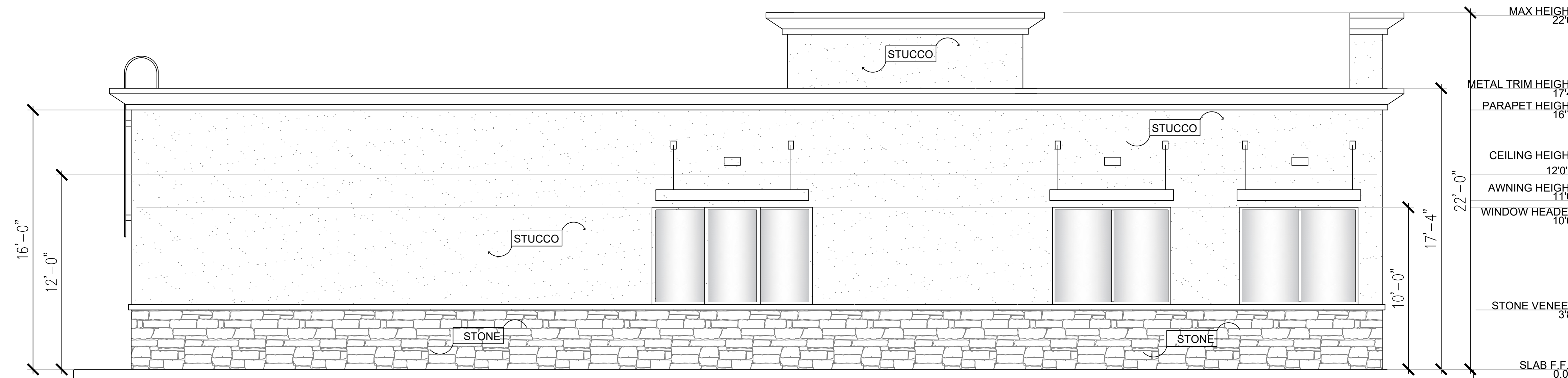
11 OF 12

DRAWN: EACB





RIGHT ELEVATION (EAST)  
SCALE: 1/4"=1'-0"



LEFT ELEVATION (WEST)  
SCALE: 1/4"=1'-0"



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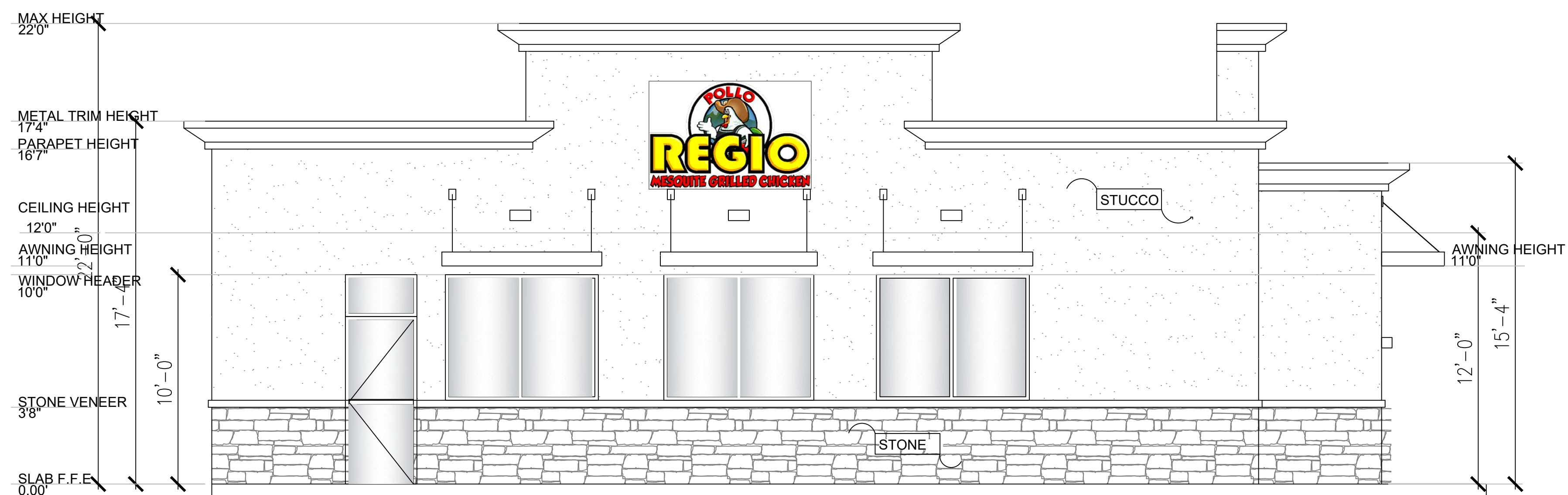
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REMODEL

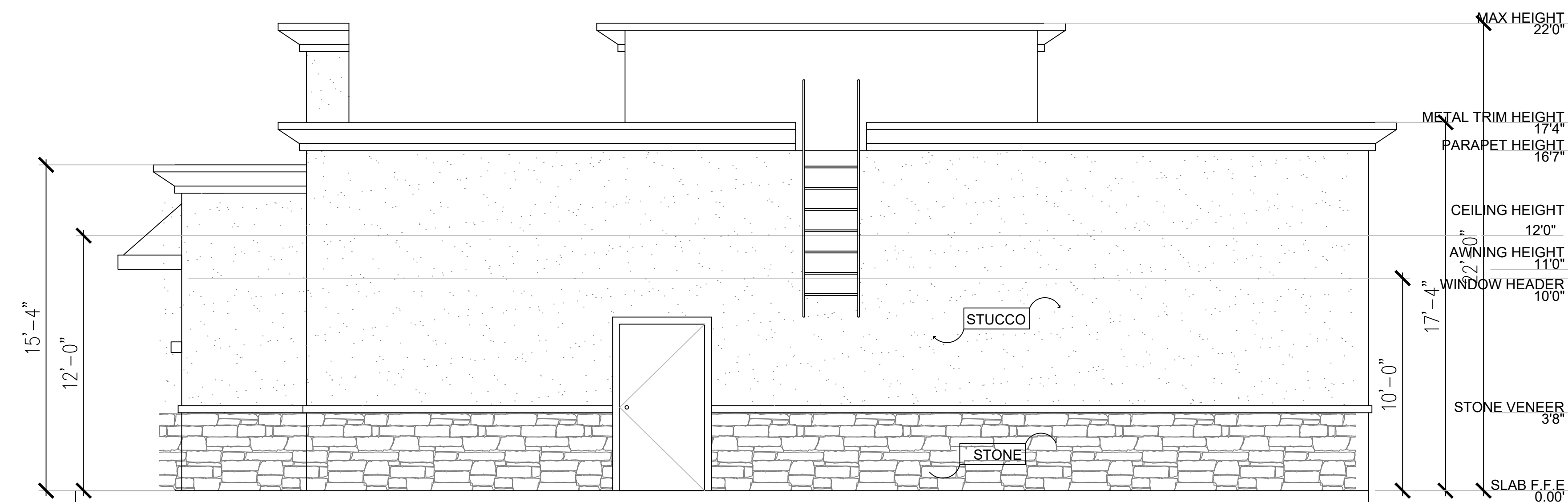
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DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.  
**11** OF **12**  
DRAWN: EACB





FRONT ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"



REAR ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"



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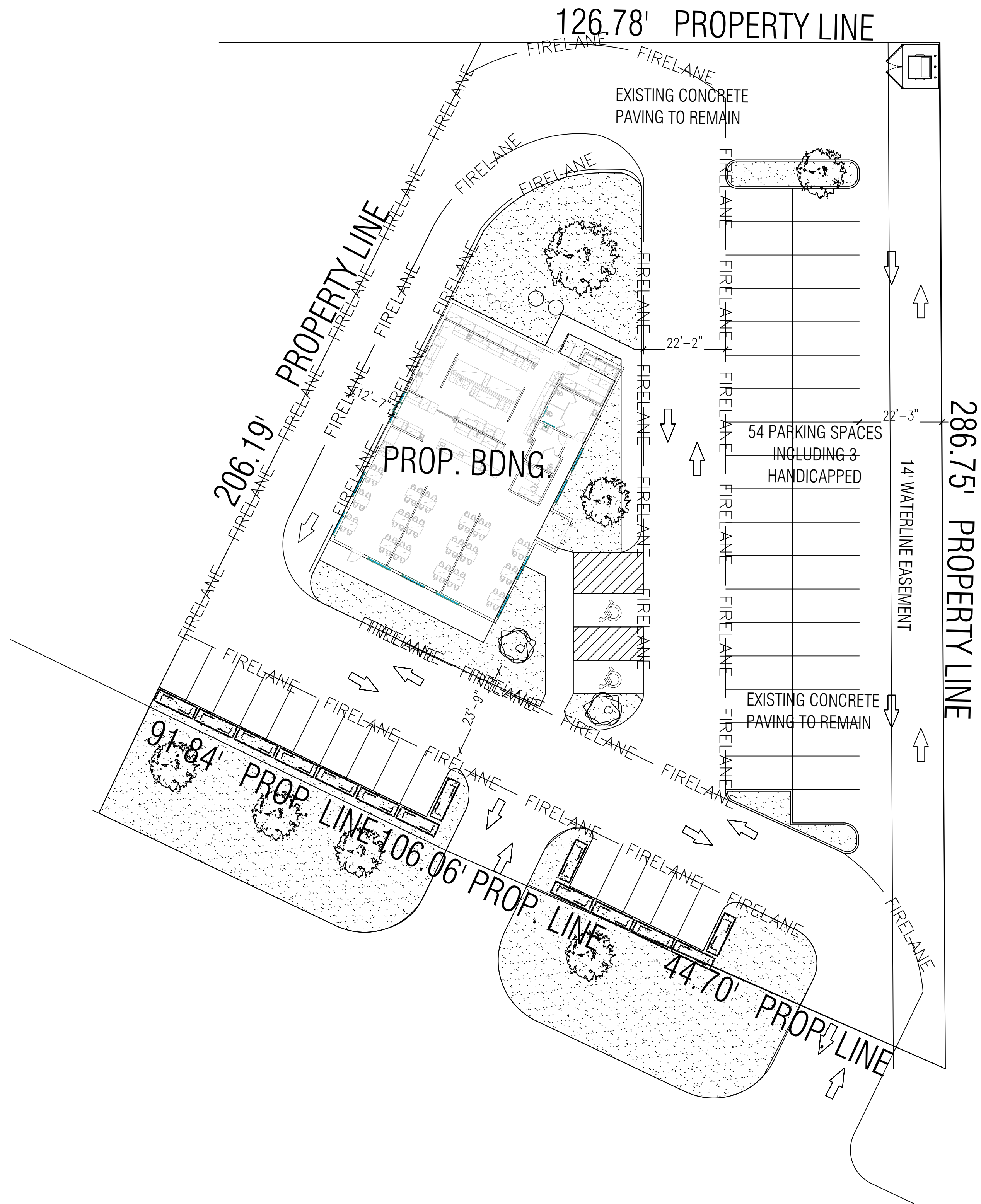
REMODEL

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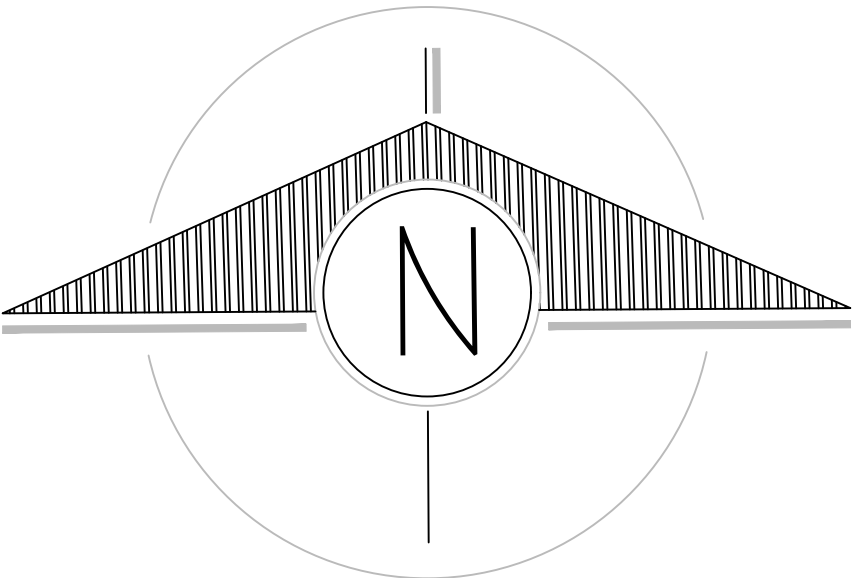
SCALE: N.T.S.  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.  
**12 OF 12**  
DRAWN: EACB





REFERENCE MAP



LEGAL DESCRIPTION:

TALLEY TOWN REP  
BLK 2 LOT 2R ACS 3.0080

SQUARE FOOTAGE

EXG.BUILDING 2,478 SQ FT  
EXG.METAL BUILDING 578 SQ FT  
PROP.AREA 3,900 SQ FT

TOTAL COVERAGE 6,956 SQ FT  
LOT SIZE 124.966 SQ FT  
TOTAL COVERAGE 05 %

SQUARE FOOTAGE

RESTAURANT	3,956 S.F.
TOTAL:	3,956 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	09 %

PARKING ANALYSIS

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
WAREHOUSE	3,956	1,000	RESTAURANT	39
PARKING REQUIRED				39
PARKING PROVIDED				54



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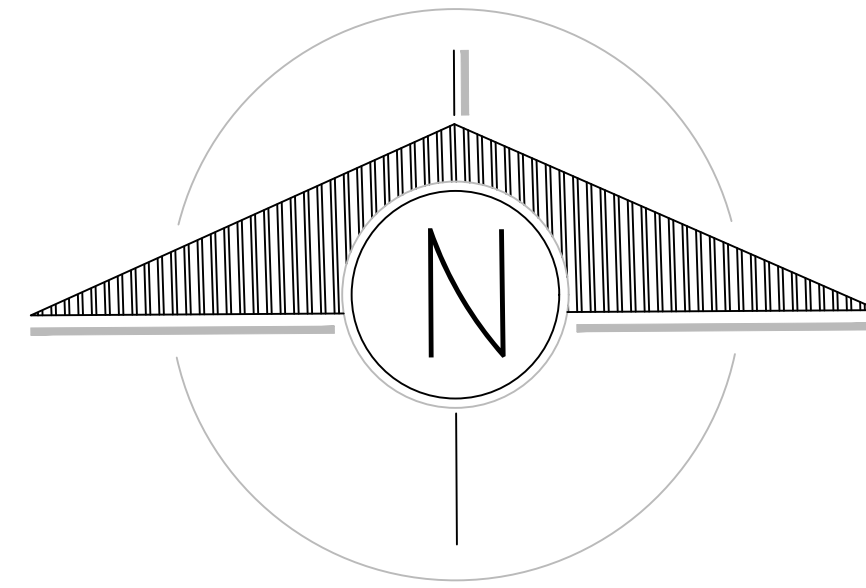
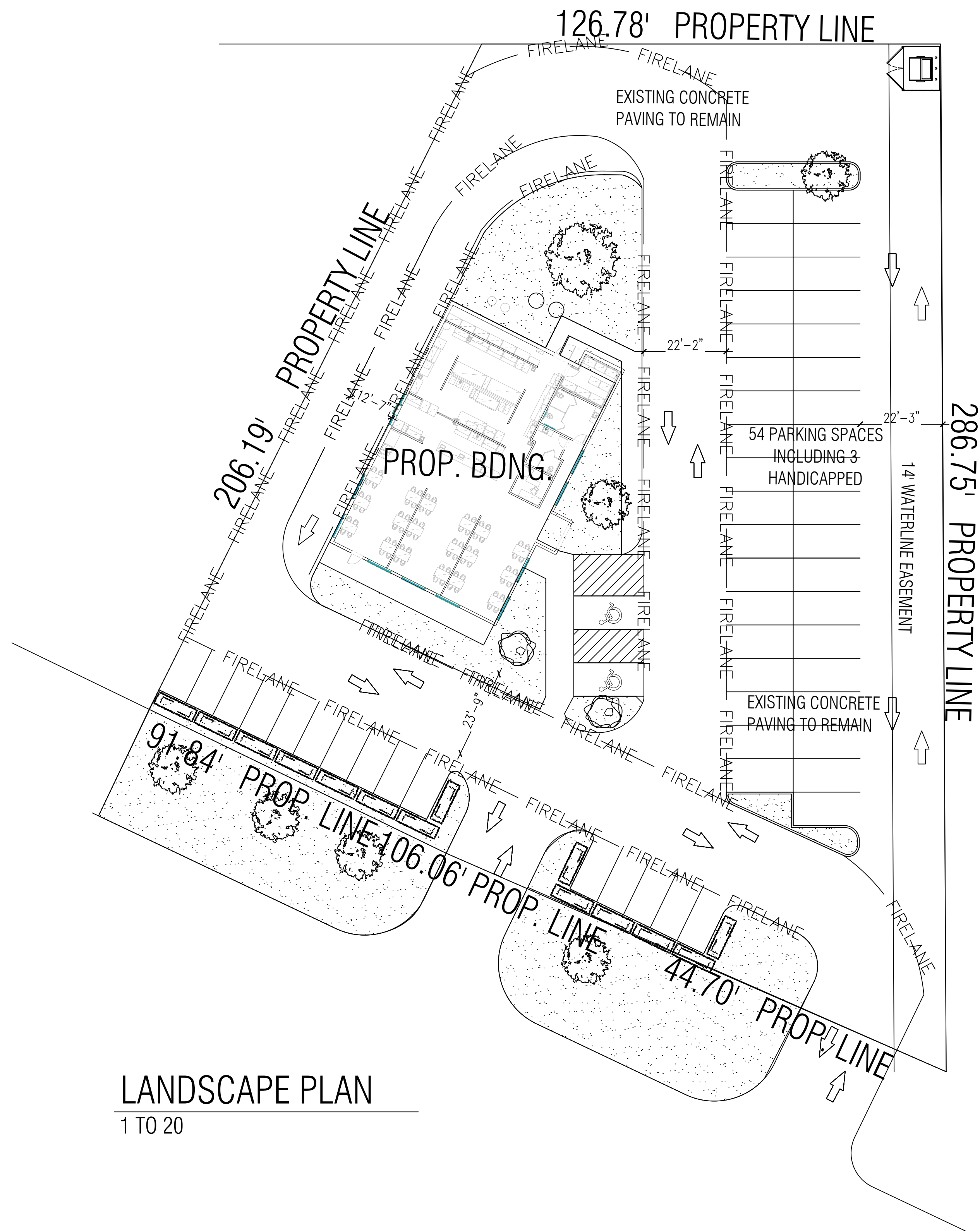
726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

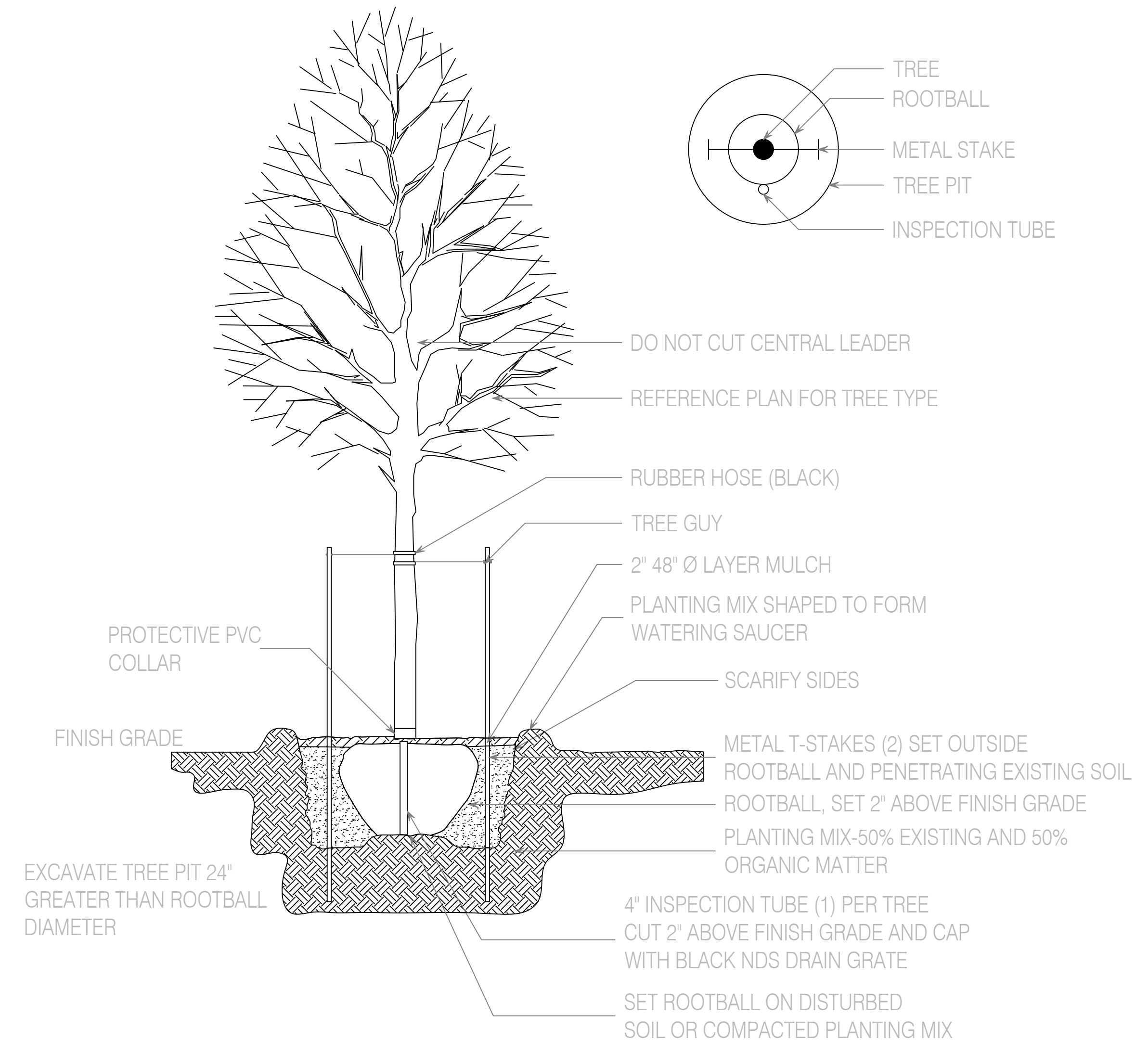
SCALE: 1 TO 20  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: SITE PLAN

DRAWING No.  
1 OF 12  
DRAWN: EACB





ELEMENT	QTY.
EXISTING ACCENT TREE, 8 FT TALL	2
EXISTING CANOPY TREE, 10 FT DRIP LINE	7
EXISTING CONTINUOUS 10FT L, 2FT D, 2 FT TALL SHRUB	14
GRASS COVERED GROUND SURFACE	100 % COV.



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ADDRESS:  
SCOPE OF WORK:

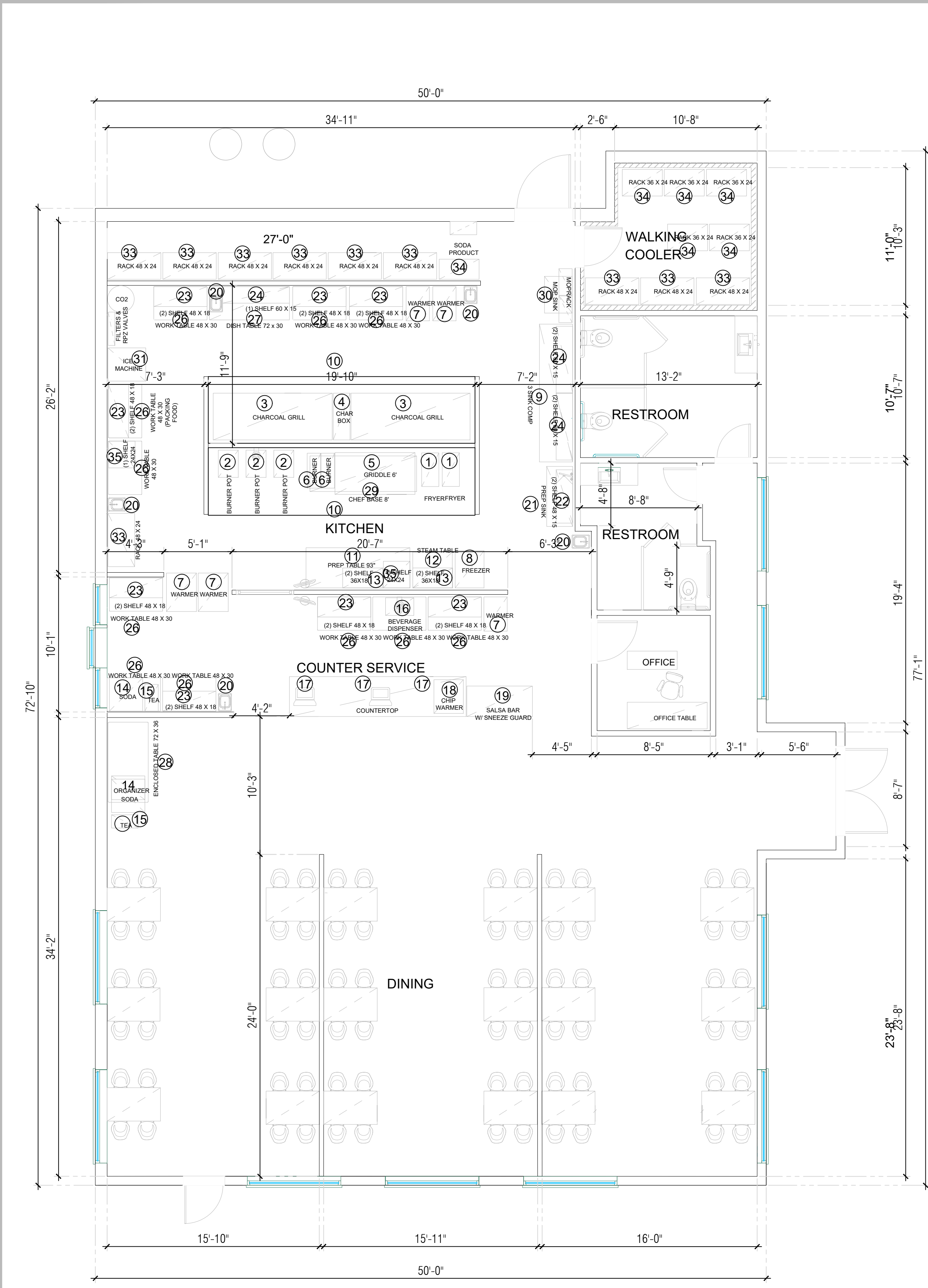
726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087  
REMODEL

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SCALE: 1 TO 20  
DATE: 02/11/2022  
SQ FT: 3,956  
TYPE: LANDSCAPE

DRAWING No.  
1A OF 12  
DRAWN: EACB

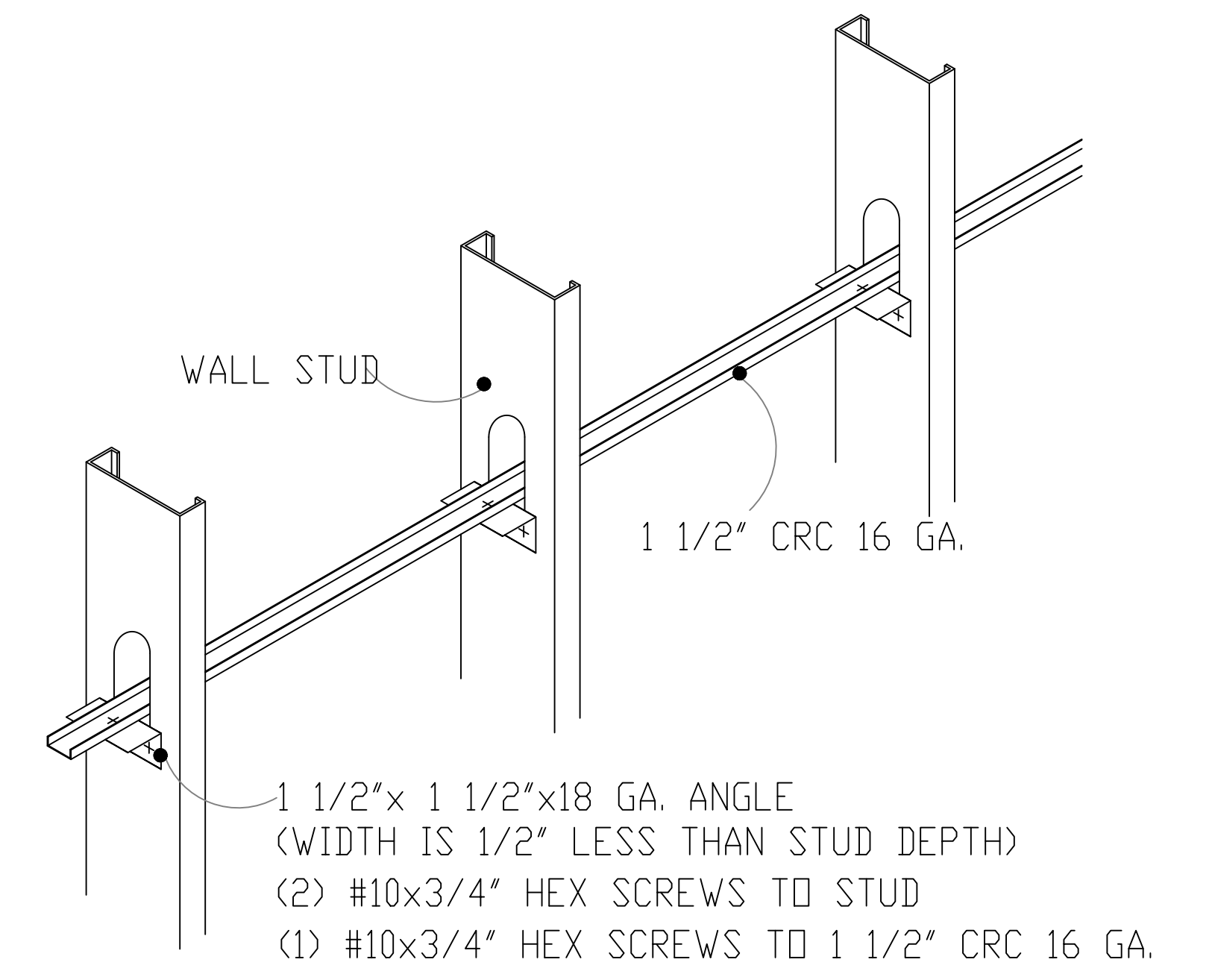
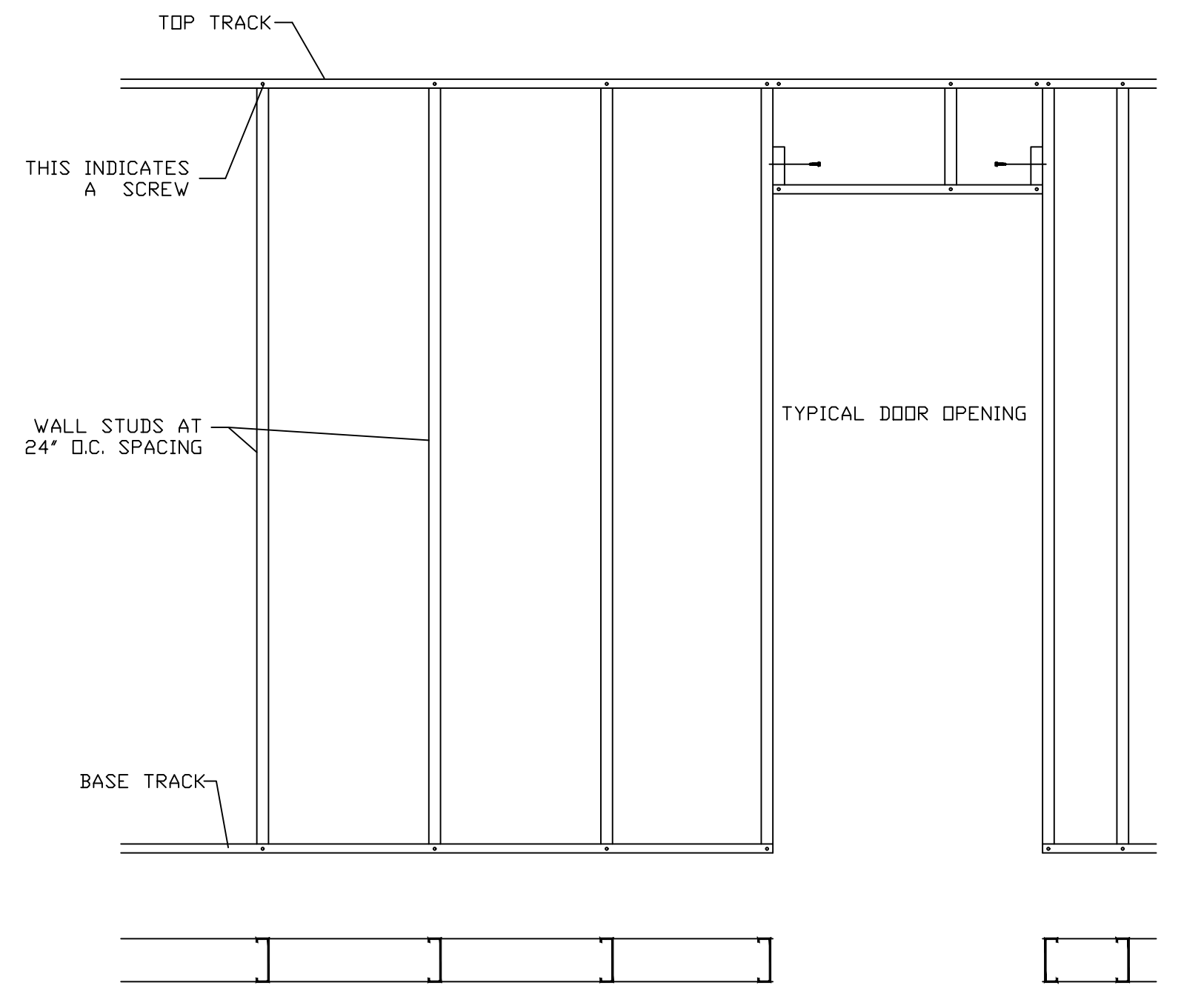




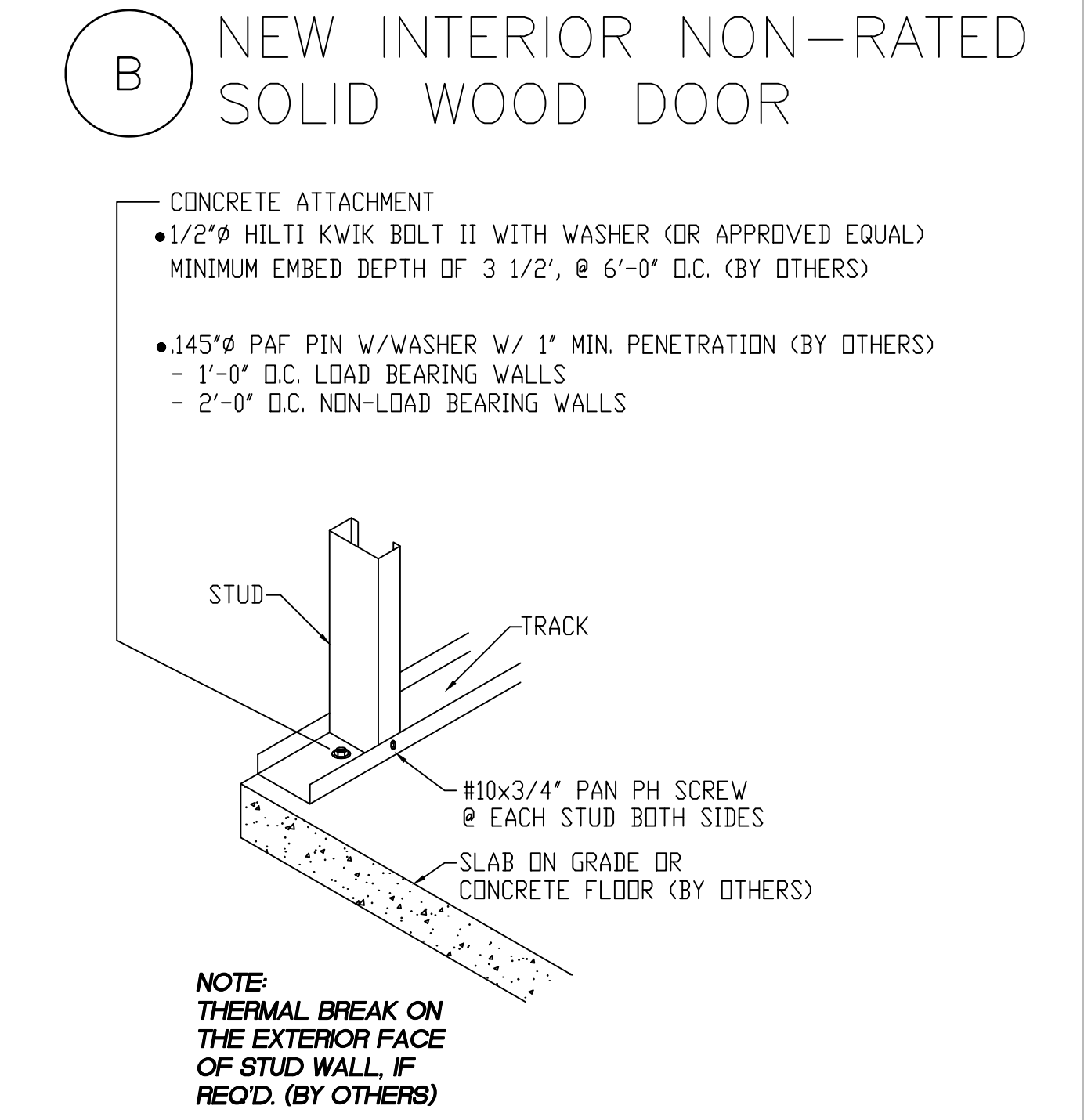
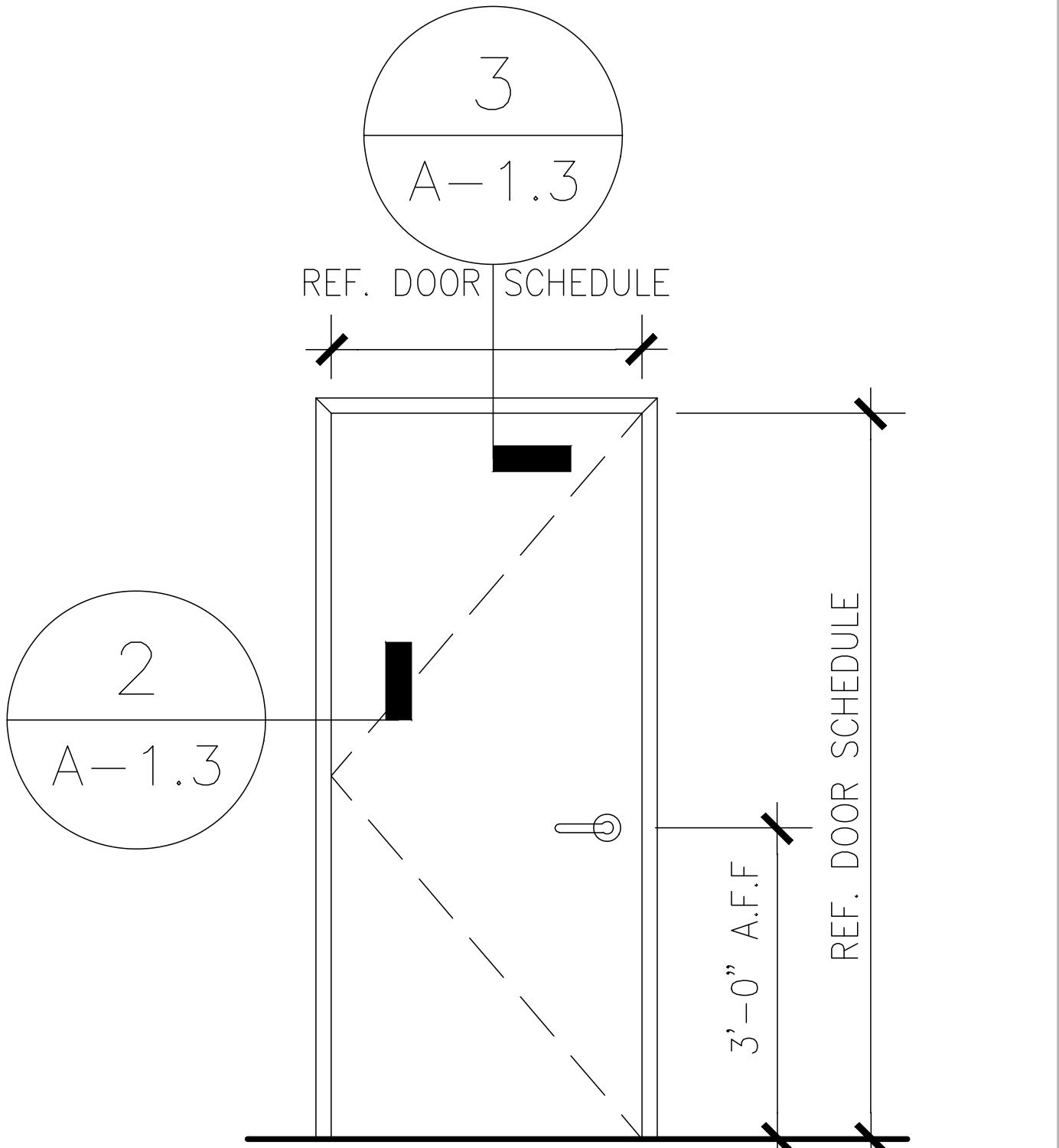
KITCHEN EQUIPEMENT

No.	DESCRIPTION	QTY.
1	LIQUID PROPANE 50 LB STAINLESS FLOOR FRYER	2
2	COOKING, BURNER POT GAS COUNTERTOP RANGE/ HOT PLATE	3
3	CHARCOIL GRILL	2
4	CHARCOIL BOX	1
5	STAINLESS STEEL GRIDDLE 6'	1
6	STAINLESS HOT PLATE BURNER	1
7	FULL HEIGHT NON-INSULATED MOBILE HEATED CABINET W/ (18)	5
8	SOLID DOOR REACH-IN REFRIGERATOR	1
9	STAINLESS STEEL THREE COMPARTMENT COMMERCIAL SINK, NO DRAINBOARDS.	1
10	COMMERCIAL KITCHEN HOOD, 20'X4'10"	2
11	93' PREPARATION STAINLESS STEEL	1
12	STEAM TABLE, TWO OPEN WELLS	1
13	36X18" STAINLESS STEEL WALL MOUNTED SHELVES	2
14	SODA FOUNTAIN	2
15	5 GAL TEA DISPENSER	2
16	3 TANKS COMMERCIAL COOLING BEVERAGE DISPENSER	1
17	POINTS OF SALE	3
18	TOP LOAD CHIP WARMER W/ 26 GALLON CAPACITY - STAINLESS	1
19	STAINLESS STEEL REFRIGERATED BUFFET DISPLAY TABLE W/ SNEEZE GUARD.	1
20	HAND STAINLESS STEEL COMMERCIAL SINGLE SINK	5
21	PREPARATION STAINLESS STEEL SINGLE SINK	1
22	48X15" STAINLESS STEEL WALL MOUNTED SHELVES	1
23	48X18" STAINLESS STEEL WALL MOUNTED SHELVES	8
24	60X15" STAINLESS STEEL WALL MOUNTED SHELVES	3
26	48X30" PREPARATION STAINLESS STEEL	8
27	72X30" PREPARATION STAINLESS STEEL	1
28	72X36" PREPARATION STAINLESS STEEL	1
29	STAINLESS STEEL CHEF BASE 8'	1
30	MOP SINK FLOOR MOUNTED	1
31	ICE MAKER	1
32	SODA PRODUCT RACK	1
33	48X24" RACK	9
34	36X24" RACK	5
35	24X24" STAINLESS STEEL WALL MOUNTED SHELVES	2

(NO WASHABLE PLATES WILL BE USE, ONLY DISPOSABLE FOAM PLATES/CONTAINERS).



NOTES:  
FOR STUD HEIGHTS 10'-0" AND LESS, INSTALL CRC AT MID HEIGHT  
FOR STUD HEIGHTS GREATER THAN 10'-0" INSTALL AT THIRD POINT



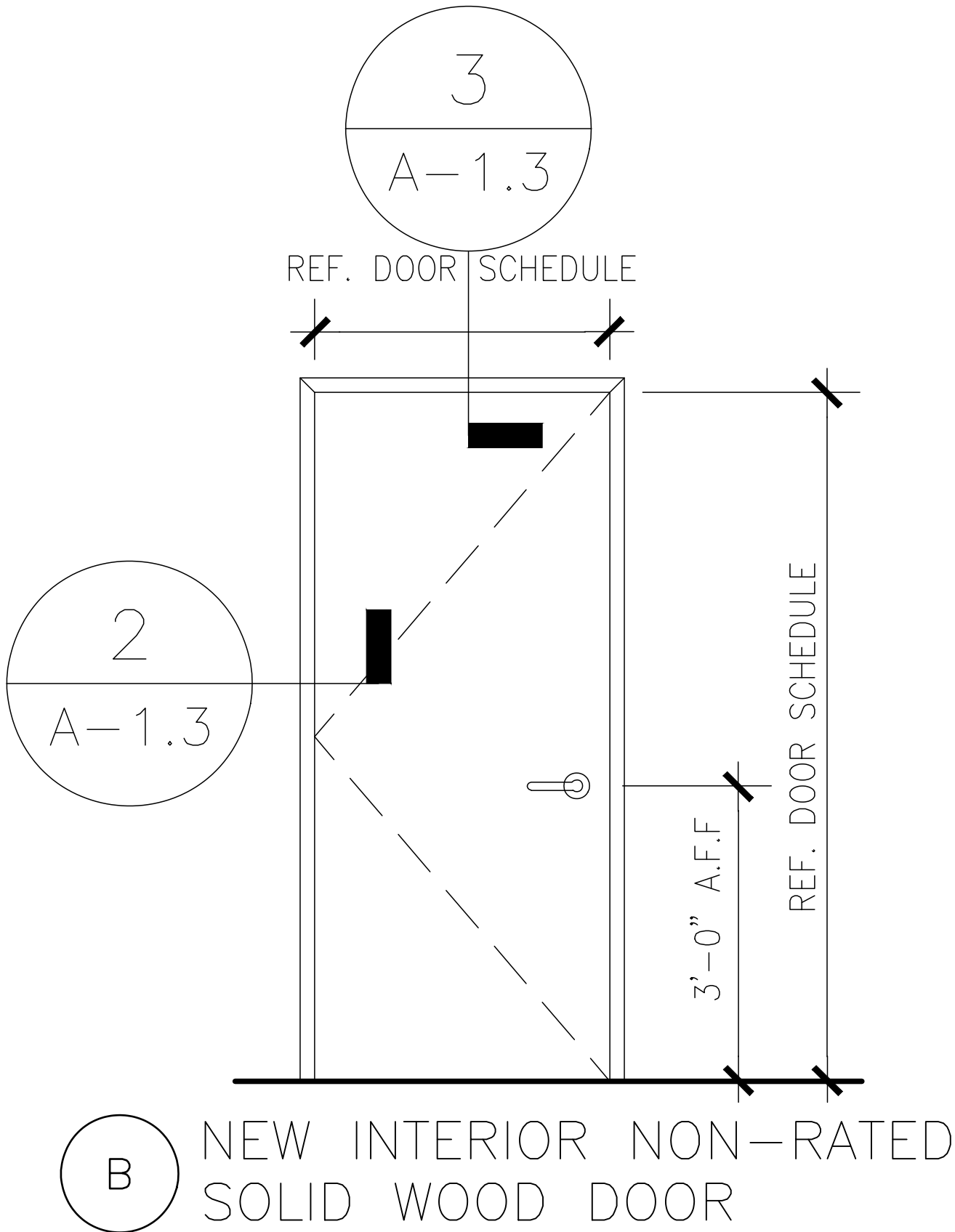
PROP. FLOOR PLAN  
SCALE: 3/16"=1'-0"





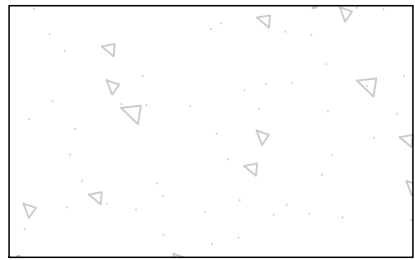
PROP. FLOOR PLAN  
SCALE: 3/16"=1'-0"

ROOM FINISH LEGEND					
ROOMS	FLOORS	#	BASE	WALLS	CEILINGS
DINING AREA	CONCRETE (W/SEALANT)	1	RUBBER COVE BASE	PAINTED GYP. BOARD	CEILING TILES
KITCHEN/SERVICE AREA	6X6 "QUARRY TILE	2	TILE COVE BASE	STAINLESS STEEL	VINYL CLADDED
RESTROOM	6X6 "QUARRY TILE	3	TILE COVE BASE	STAINLESS STEEL	CEILING TILES
WALKING COOLER	CONCRTETE	4		CUSTOM WALL PANEL	GYP. CEILING

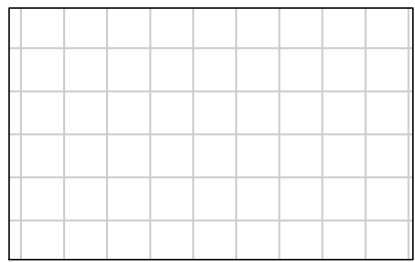


B NEW INTERIOR NON-RATED SOLID WOOD DOOR

FINISH LEGEND



CONC: CONCRETE FLOORING SEALED

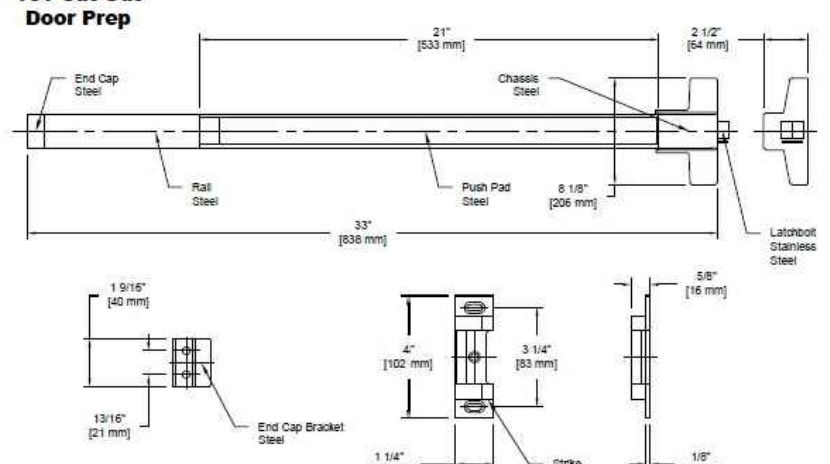


TL-2: QUARRY TILE

**PRODUCT DATA SHEET**

**Product Description:** Panic exit device, for 28" to 42" wide doors. UL10C fire rated, ANSI A156.3 Grade 1, Non-handed. Rail and push pad are fabricated from heavy gauge stainless steel with a US32D brushed stainless steel finish. Trim available in the following functions: classroom, storeroom, passage and dummy. Device and trim for 161 standard cut out. Mounting hardware and 250 strike included. ADA compliant.

**Designed For**  
161 Cut Out Door Prep

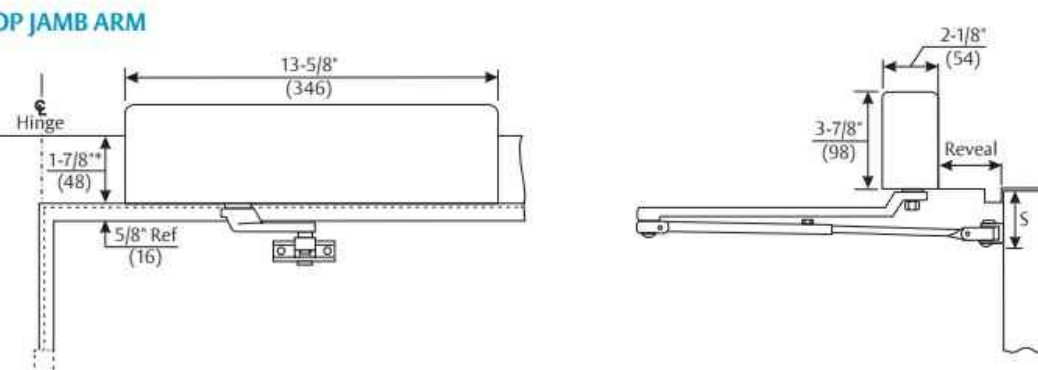


Door Thickness: Standard Doors 1 3/4" to 2 1/4"  
Latch Bolt: Stainless Steel 3/4" Throw  
Stroke: 250 Standard  
ANSI/BHMA: Exit Device, A156.3 Grade 1

**Overall Size:** 33" W X 8 1/8" H X 2 1/2" D  
**Material:** Steel, Cast Iron, Stainless Steel  
**Finish:** US32D Brushed Stainless Steel

Manufacturer	Part Number
CAL-ROYAL	2500
CORBINRUSSWIN	ED0200
DORMA	8300
VON DUPON	25
YALE	2100

**TOP JAMB ARM**



Mounting holes for closer body are spaced 2-3/8" (86mm) vertically x 6-3/4" (171mm) horizontally.  
\* Minimum frame face with 7/8" drop plate. 3-1/4" (83mm) required when drop plate is not used.

Maximum Door Width Inches (cm)	Reveal Range Inches	Maximum Door Opening	Model Number	
Multi-Sized			Non-Hold Open Arm	Hold Open
(J57500/J500M)	0" to 3" (0 to 76mm)	180"	7500	7500H
(J7500)	2-3/4" to 7" (70 to 178mm)	150"	J7500	J7500H
(J7500)	2-3/4" to 7" (70 to 178mm)	180"		
(J7580 x 7787)	0" to 2-3/4" (0 to 76mm)	180"		
Multi-Sized			Hold Open Arm	
(J5000/J7530MH)	0" to 3" (0 to 76mm)	180"		
(J7500H)	2-3/4" to 6-3/4" (70 to 171mm)	150"		
(J7500H)	2-3/4" to 6-3/4" (70 to 171mm)	180"		

**Notes:**

- Door closers are set at midpower range from the factory
- Measurements are inches/mm unless noted
- Standard door widths: interior 32"-54" (81-137cm) exterior 30"-48" (76-122cm)
- Consult factory if door weight exceeds 250 lbs.



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602 SRL THORNTON FWY SUITE B  
DALLAS, TEXAS 75203  
214.884.8168 214.886.2866  
cs@creativodesignsusa.com

ADDRESS:

SCOPE OF WORK:

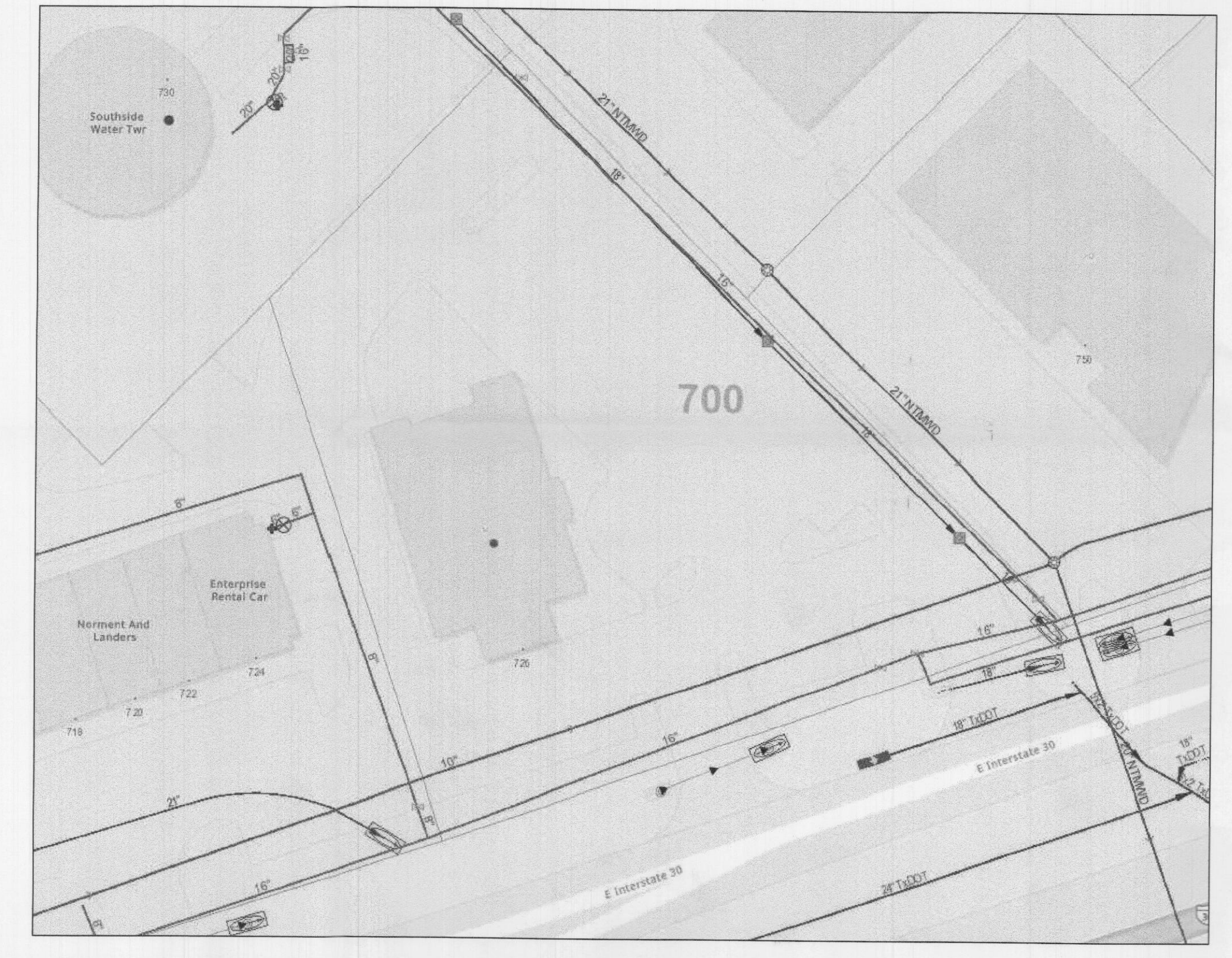
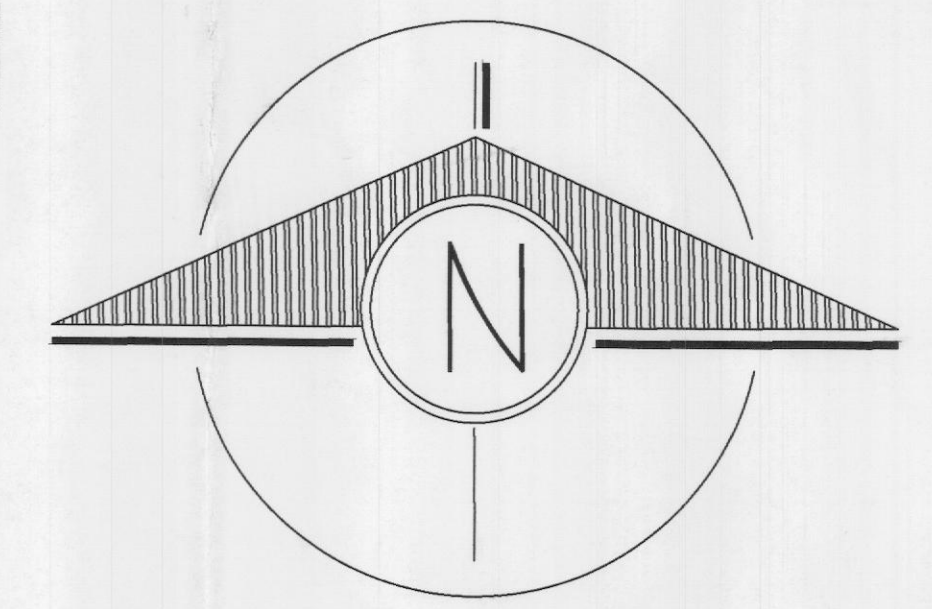
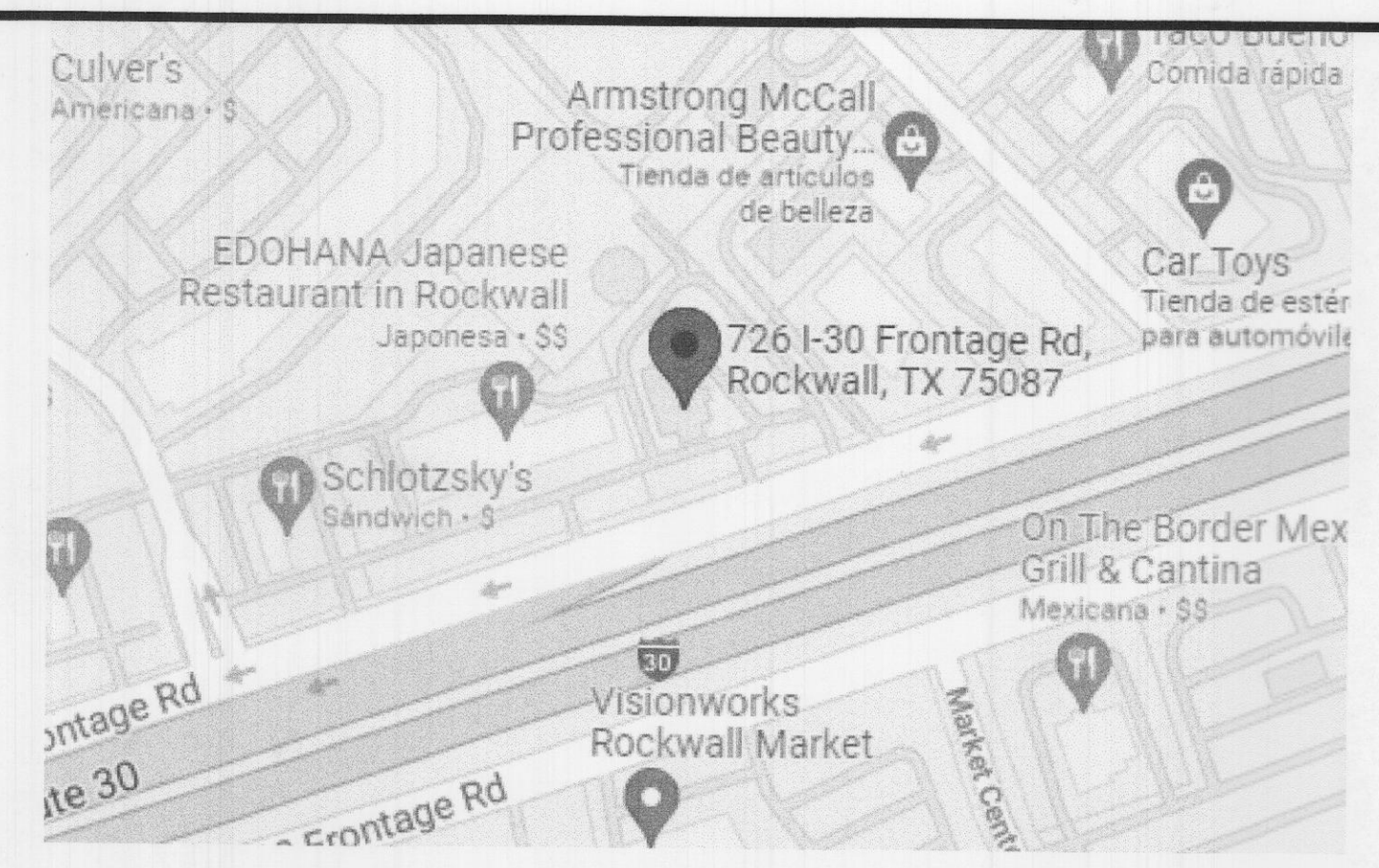
DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087  
REMODEL

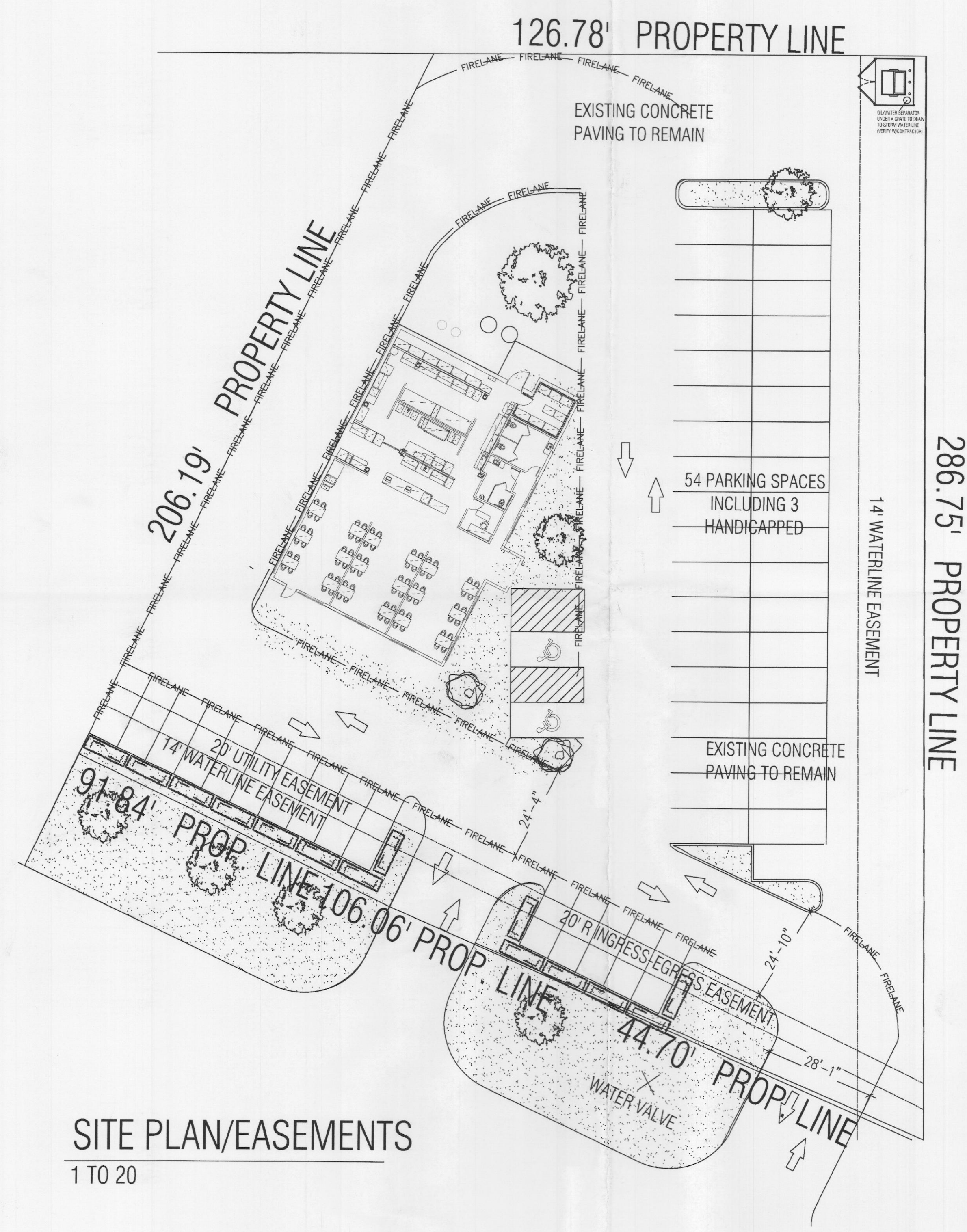
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SQ FT: 3,956  
TYPE: FINISH FLOOR

DRAWING No.  
4 OF 12  
DRAWN: EACB





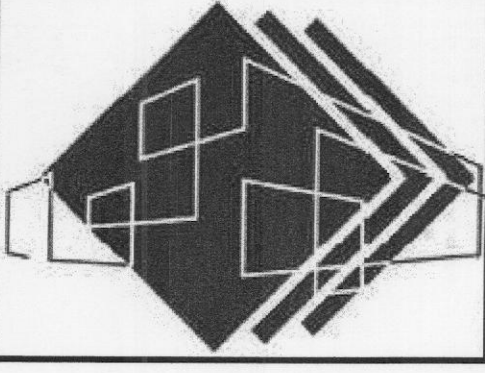
SQUARE FOOTAGE	
RESTAURANT	3,753 S.F.
TOTAL:	3,753 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	10 %
ACREAGE	LOT: 0.993 BUILDING: 0.086



SITE PLAN/EASEMENTS  
1 TO 20

OWNER: JH PR GROUP HOLDINGS LLC  
DEVELOPER: MTY REMODELING & CONSTRUCTION

SITE PLAN SIGNATURE BLOCK  
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.  
WITNESS OUR HANDS, this 23 day of March, 2022.  
\_\_\_\_\_  
Planning & Zoning Commission, Chairman  
\_\_\_\_\_  
Director of Planning and Zoning



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214.884.8168 214.886.2866  
cs@creativodesignsusa.com

ADDRESS:  
SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087  
REMODEL

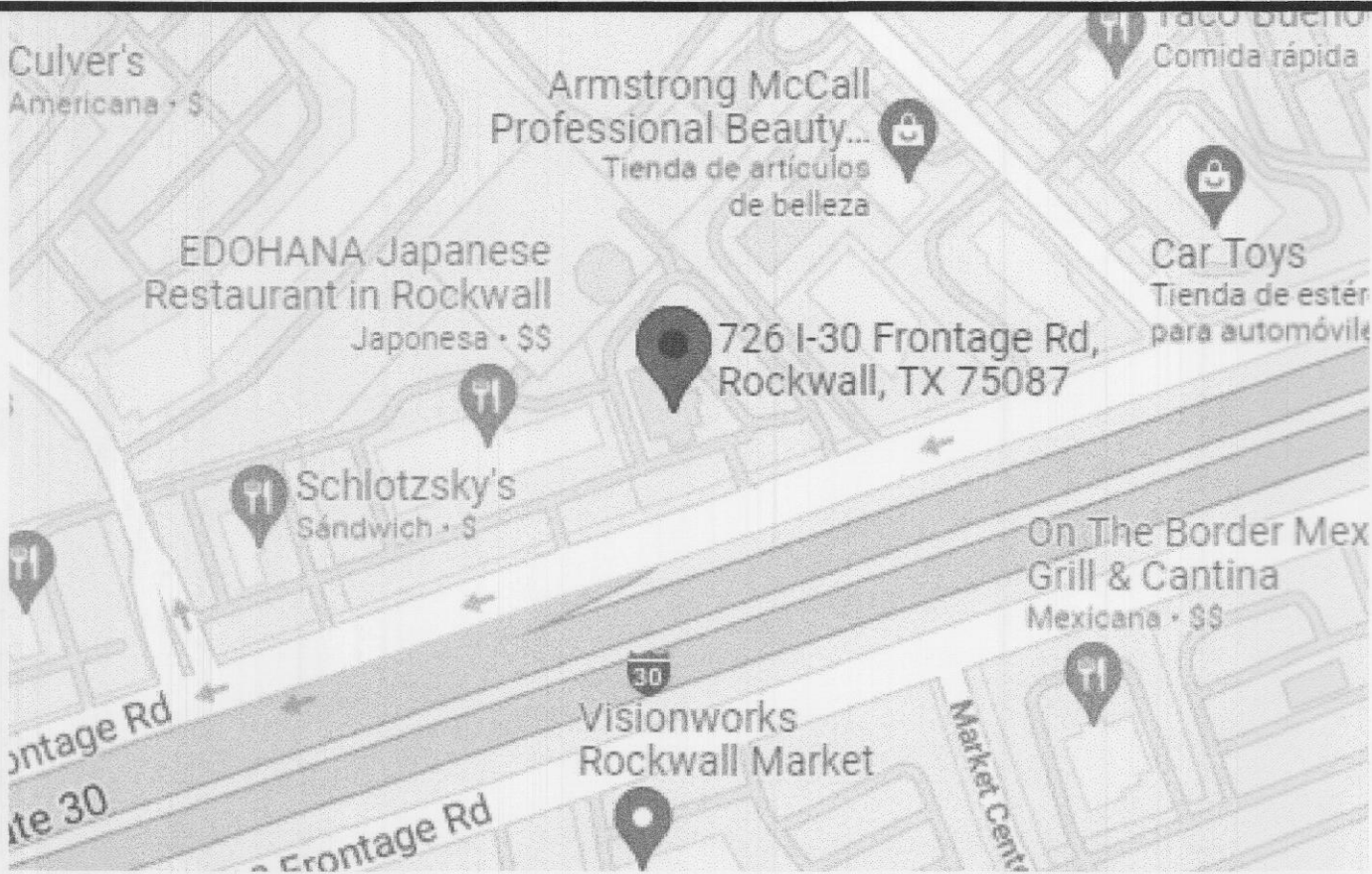
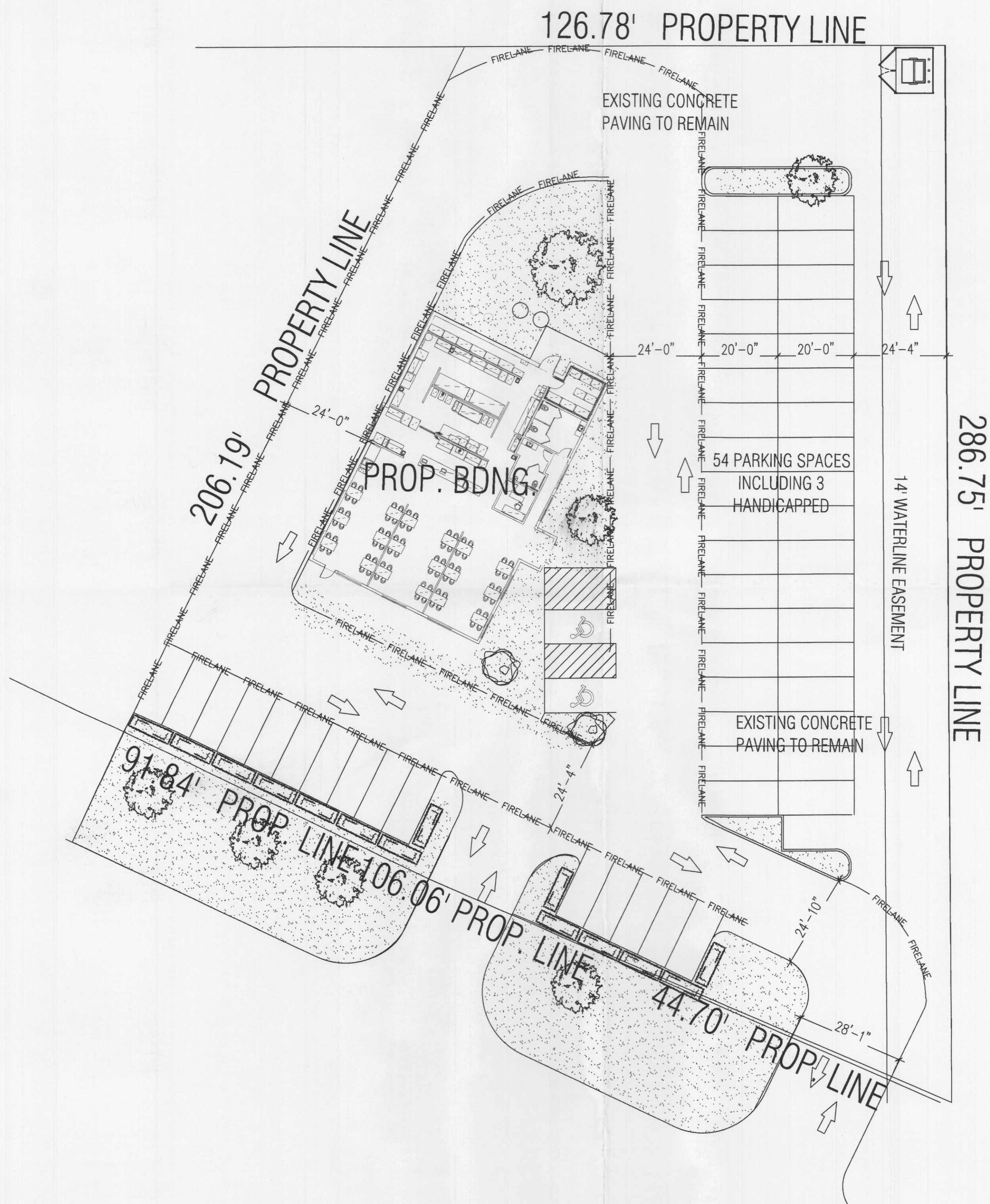
CASE # SP2022-006

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SCALE: 1 TO 20  
DATE: 03/08/2022  
SQ FT: 3,956  
TYPE: SITE PLAN

DRAWING No.  
1 OF 12  
DRAWN: EACB





REFERENCE MAP

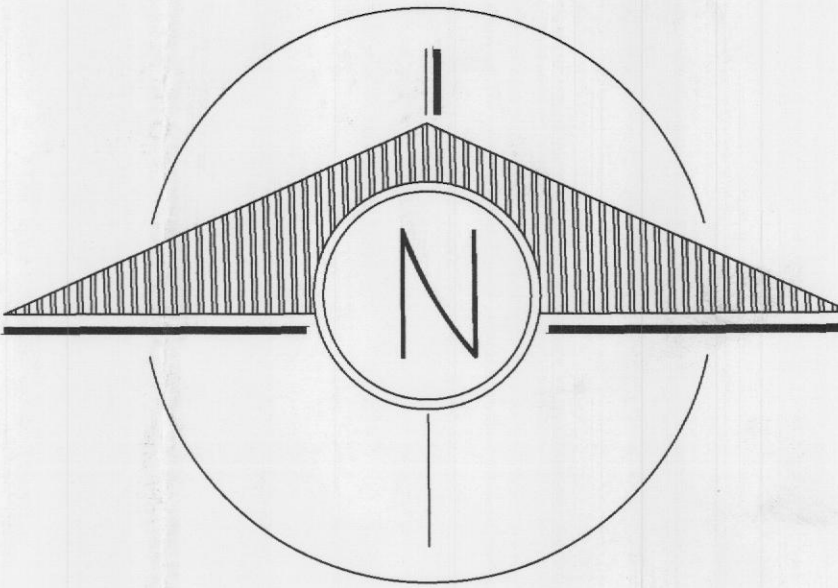
LEGAL DESCRIPTION:

TALLEY TOWN REP  
BLK 2 LOT 2R ACS 3.0080

SQUARE FOOTAGE

EXG.BUILDING 2,478 SQ FT  
EXG.METAL BUILDING 578 SQ FT  
PROP.AREA 3,900 SQ FT

TOTAL COVERAGE 6,956 SQ FT  
LOT SIZE 124.966 SQ FT  
TOTAL COVERAGE 05 %



SQUARE FOOTAGE

RESTAURANT	3,753 S.F.
TOTAL:	3,753 S.F.
LOT SIZE	43,290 S.F.
% OF LOT	10 %
ACREAGE	LOT: 0.993 BUILDING: 0.086

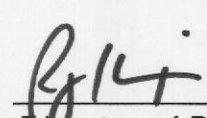
PARKING ANALYSIS

BUILDING/TENANT	SQUARE FOOTAGE	APPL. RATIO	USE	PARKING REQUIRED
RESTAURANT	3,753	100	RESTAURANT	40
PARKING REQUIRED				40
PARKING PROVIDED				54

SITE PLAN SIGNATURE BLOCK

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Planning & Zoning Commission, Chairman

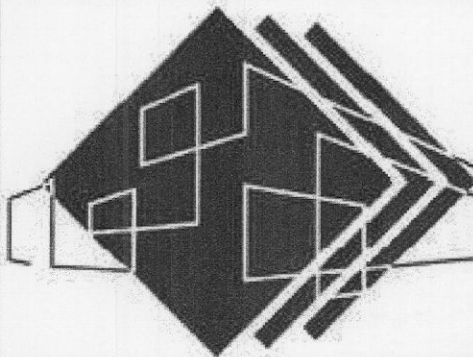
  
Director of Planning and Zoning

OWNER: JH PR GROUP HOLDINGS LLC  
DEVELOPER: MTY REMODELING & CONSTRUCTION

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

CASE # SP2022-006



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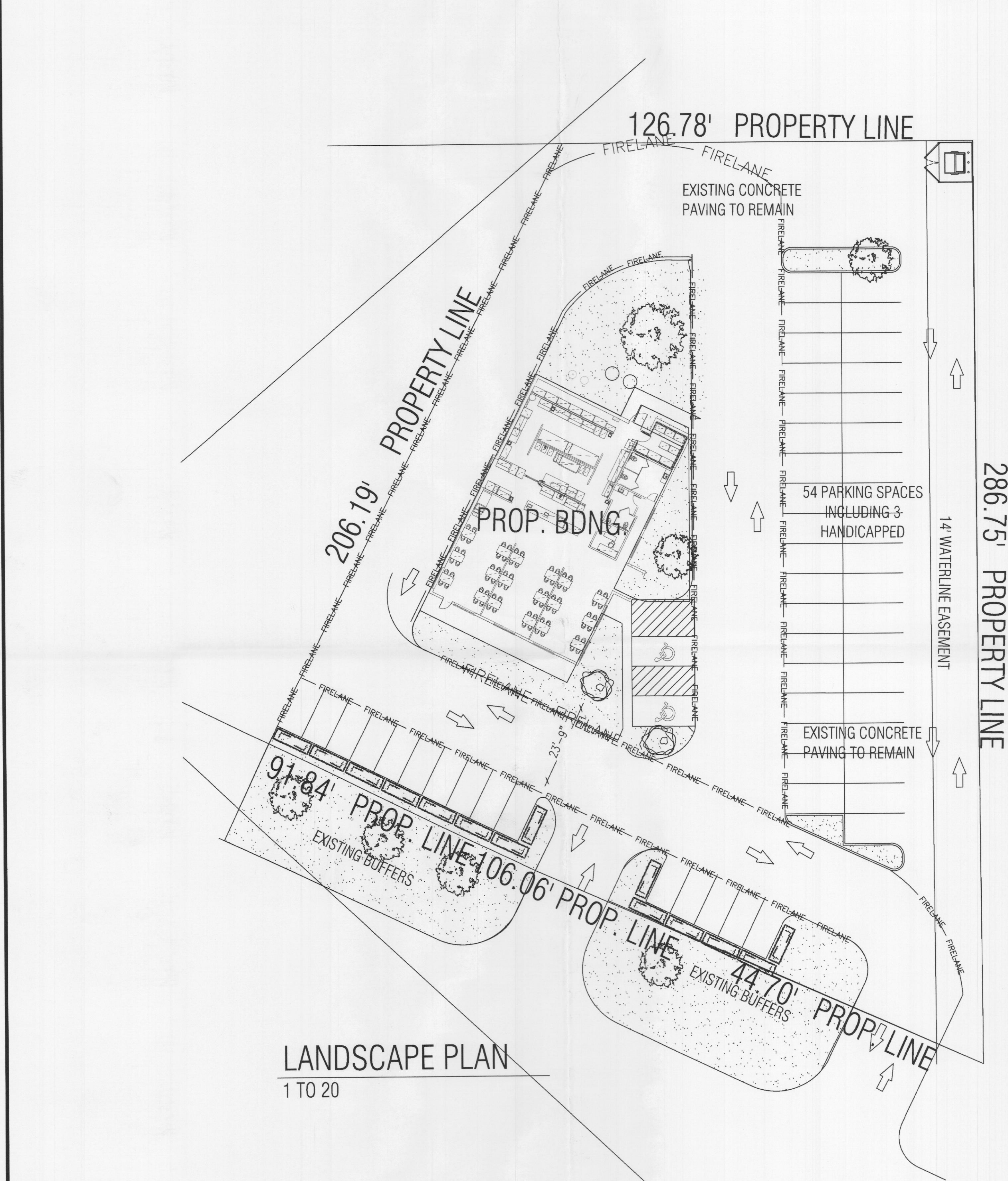
SCOPE OF WORK:

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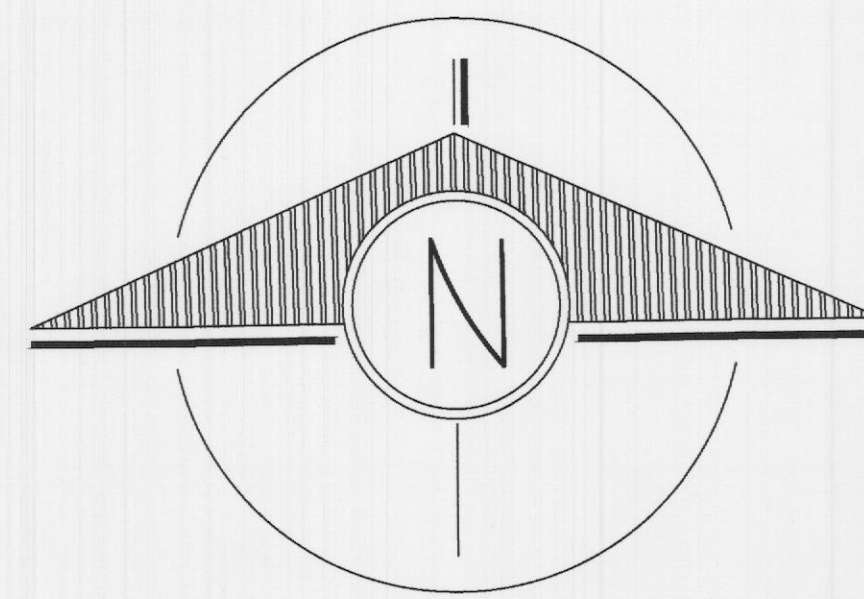
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DATE: 03/08/2022  
SQ FT: 3,956  
TYPE: SITE PLAN

DRAWING No.  
1 OF 12  
DRAWN: EACB

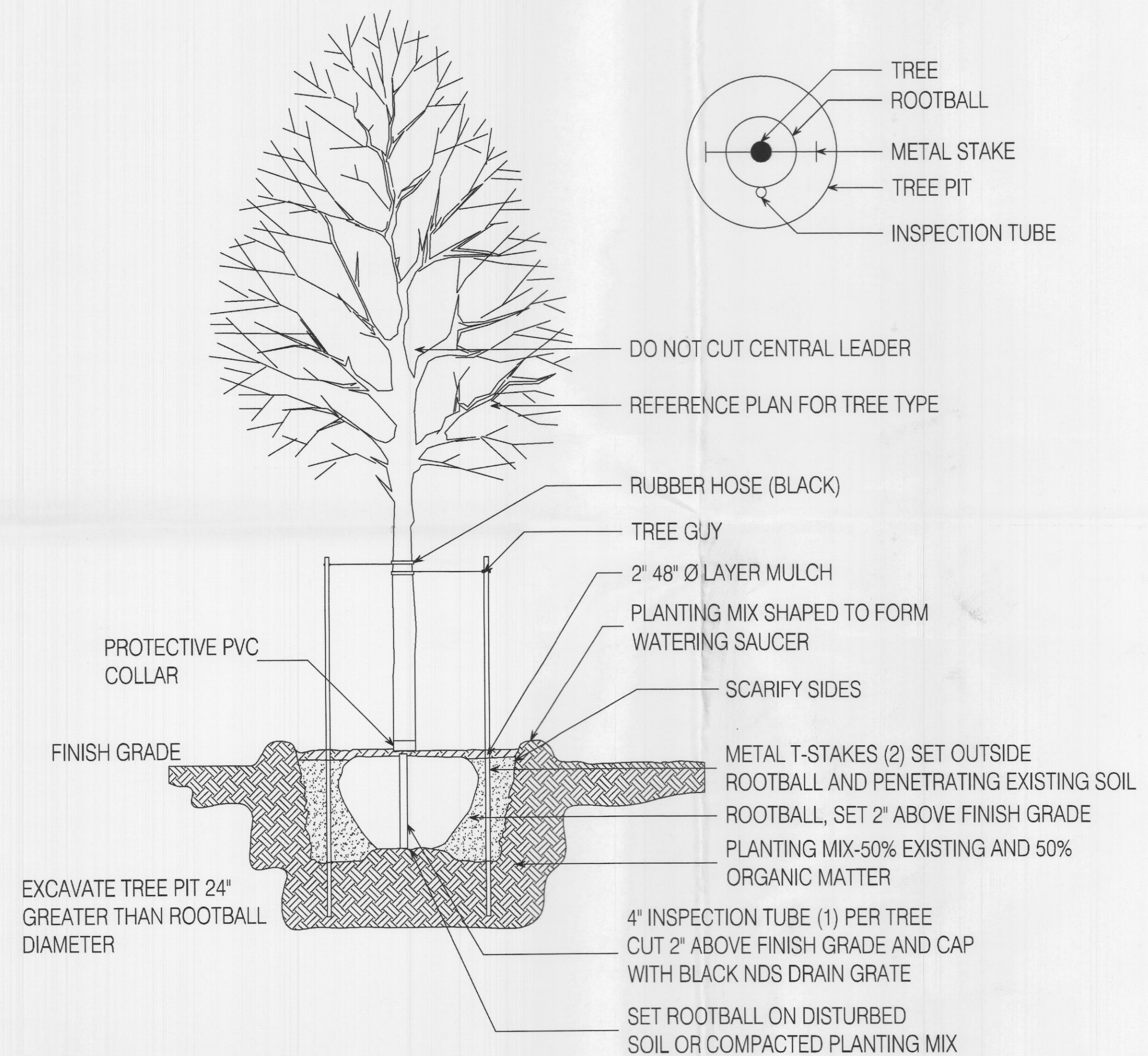




LANDSCAPE PLAN  
1 TO 20



ELEMENT	QTY.
EXISTING ACCENT TREE, 8 FT TALL	2
EXISTING CANOPY TREE, 10 FT DRIP LINE	7
EXISTING CONTINUOUS 10FT L, 2FT D, 2 FT TALL SHRUB	14
GRASS COVERED GROUND SURFACE	100 % COV.



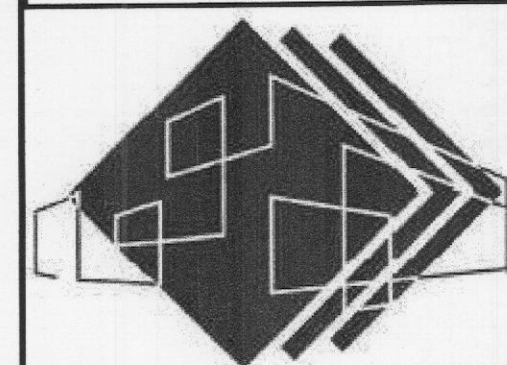
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Director of Planning and Zoning



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726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

CASE # SP2022-006

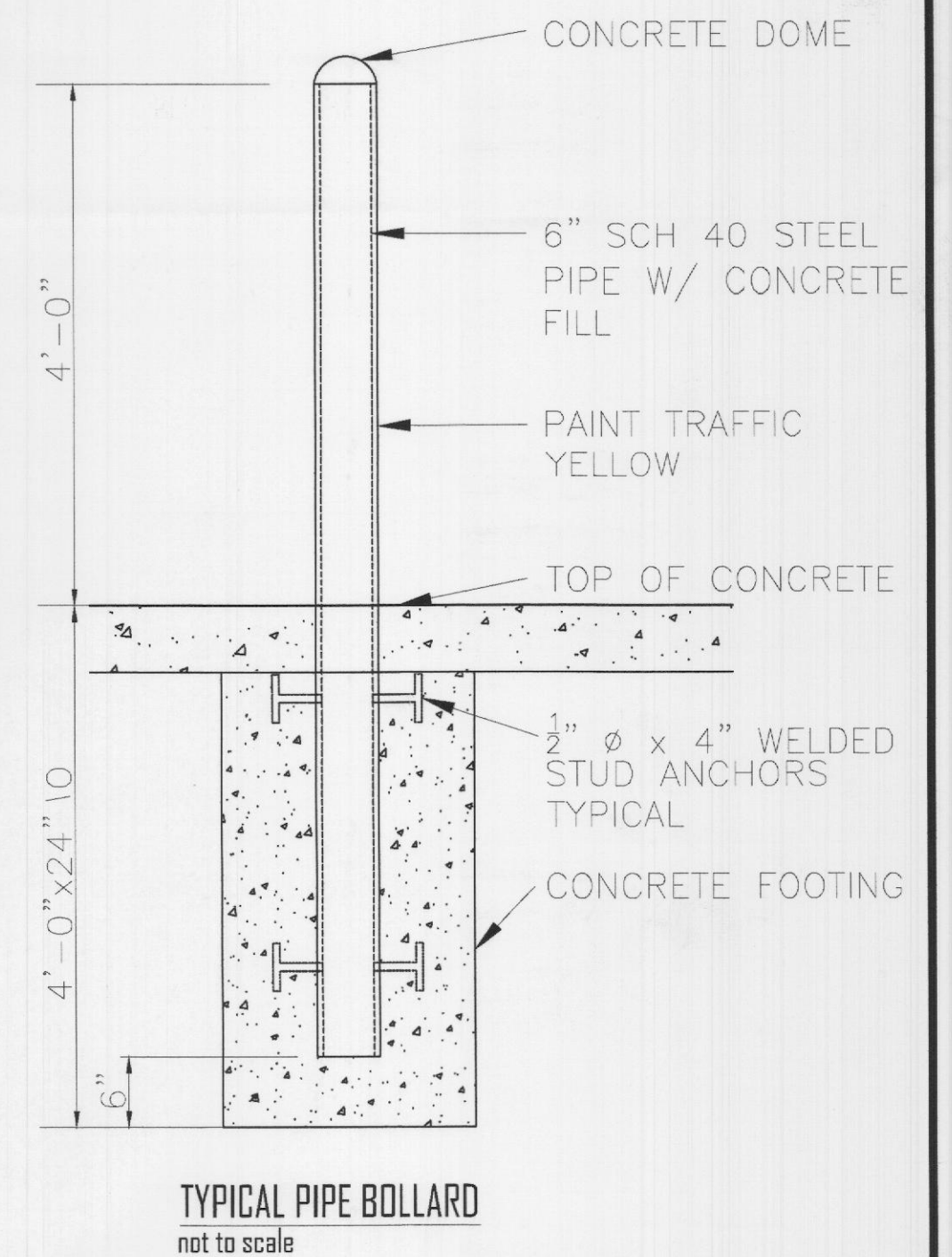
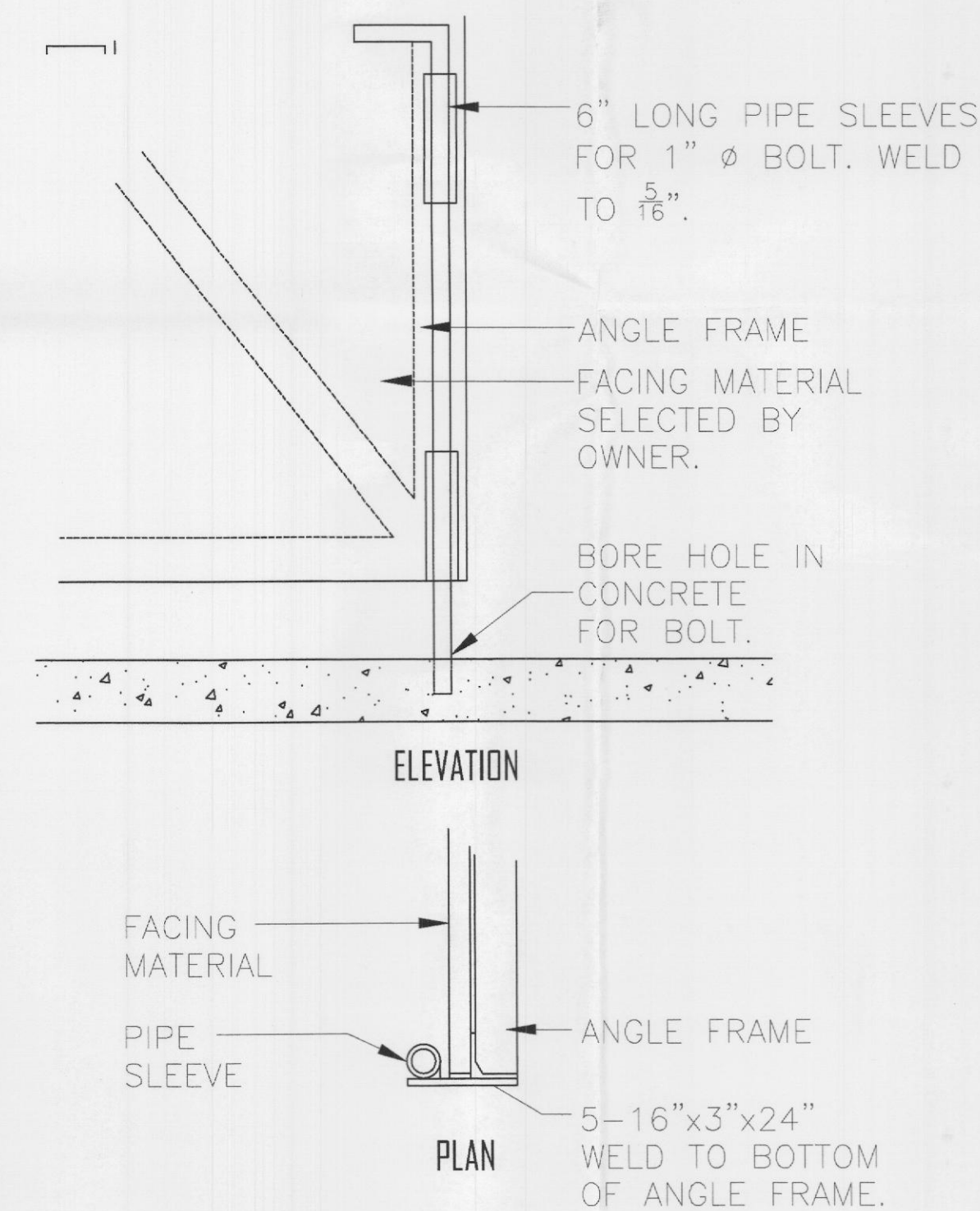
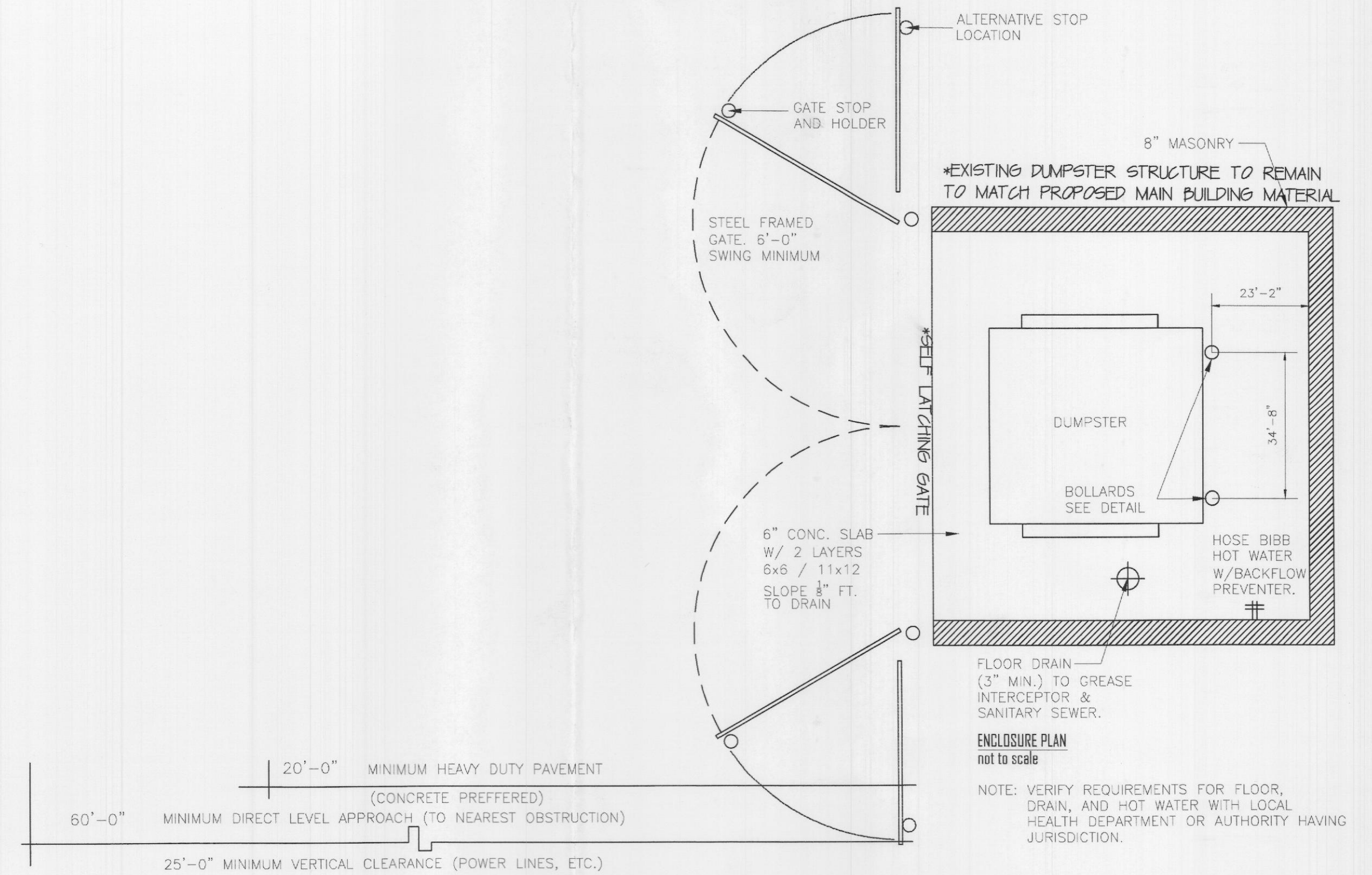
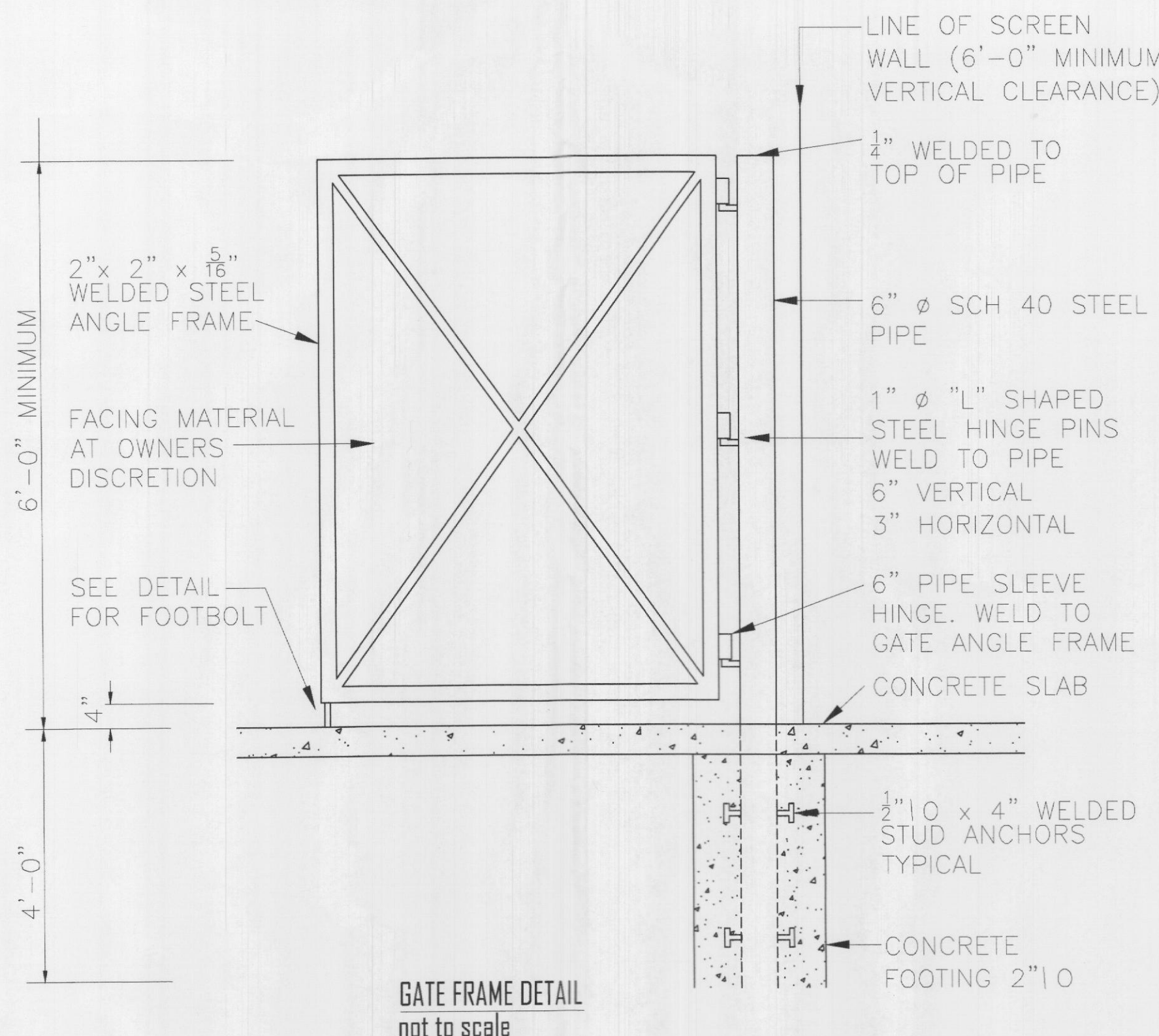
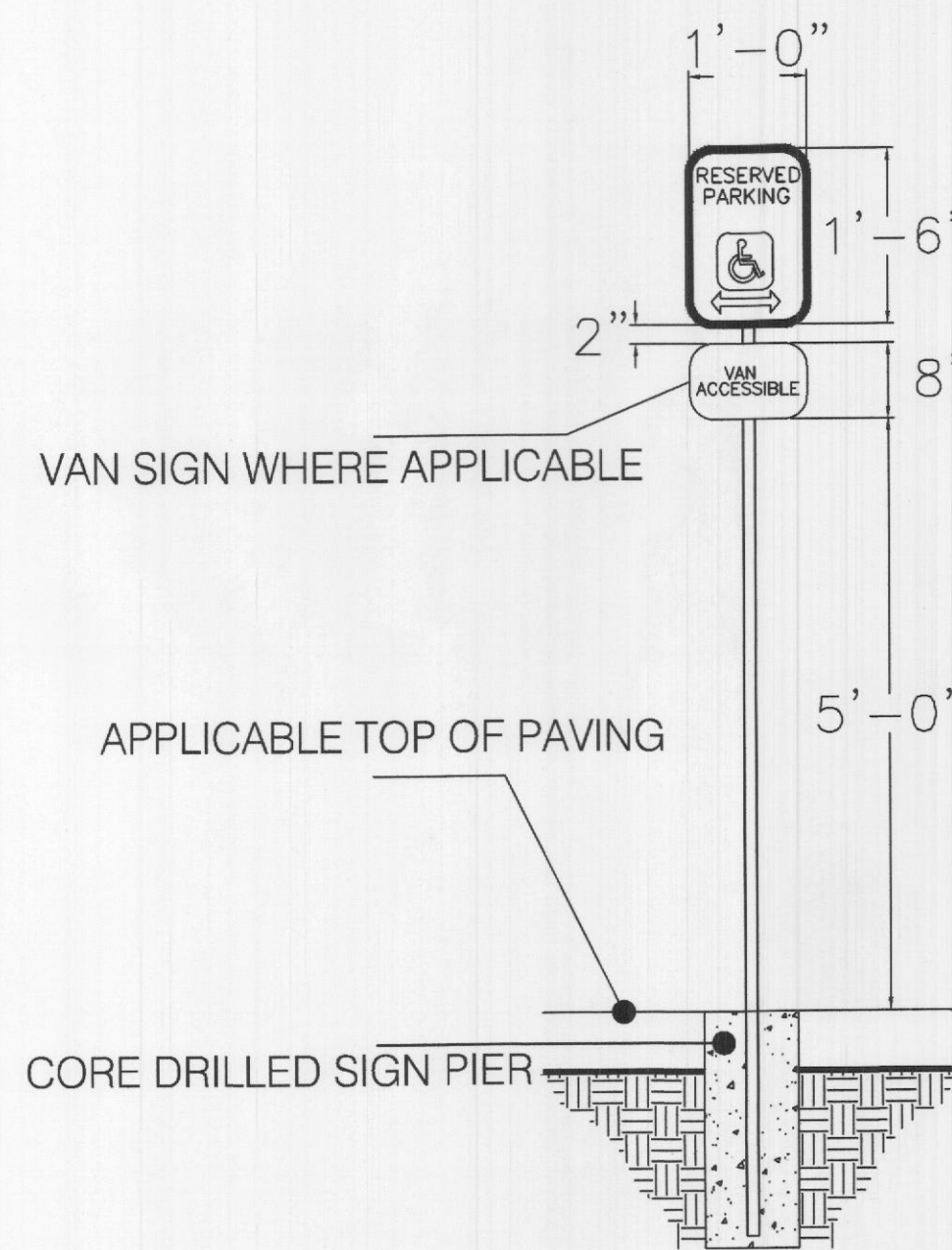
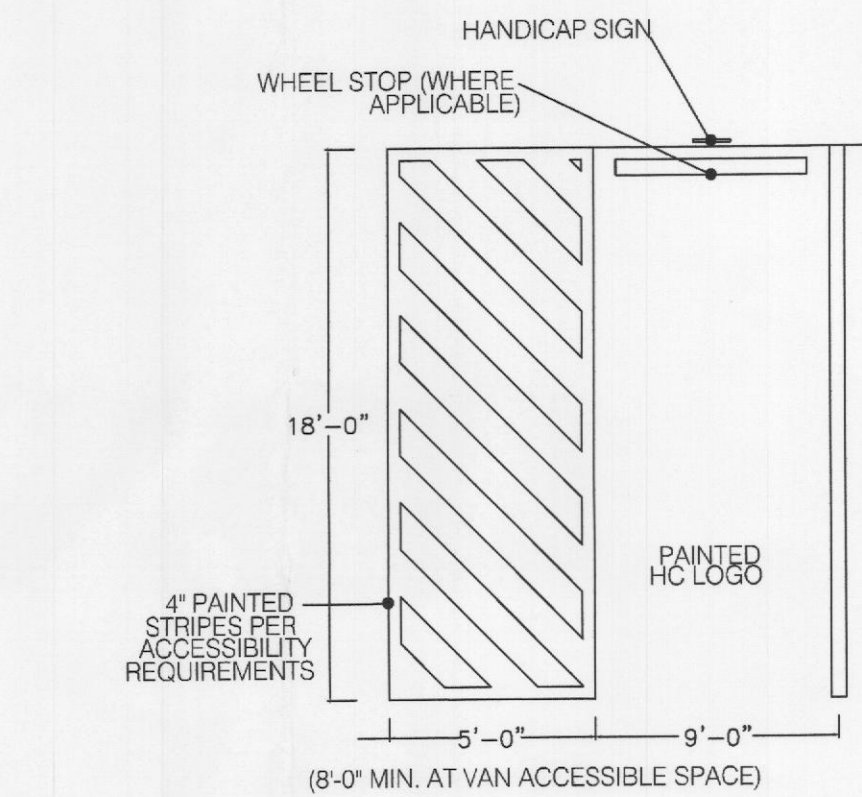
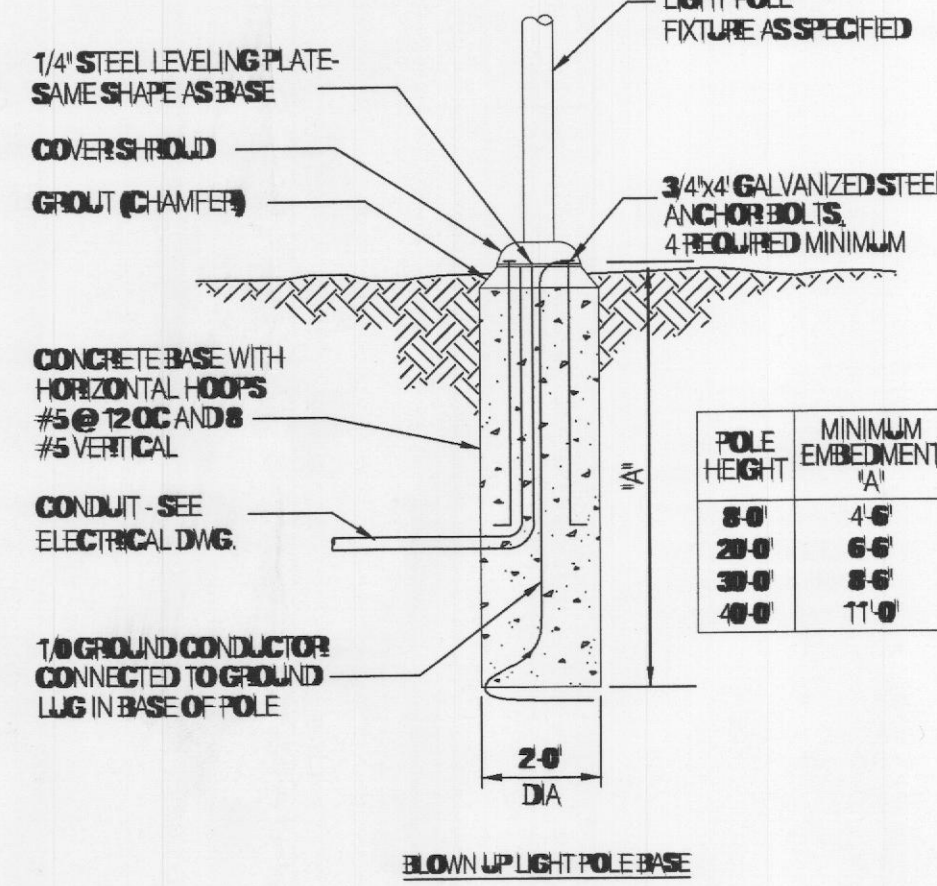
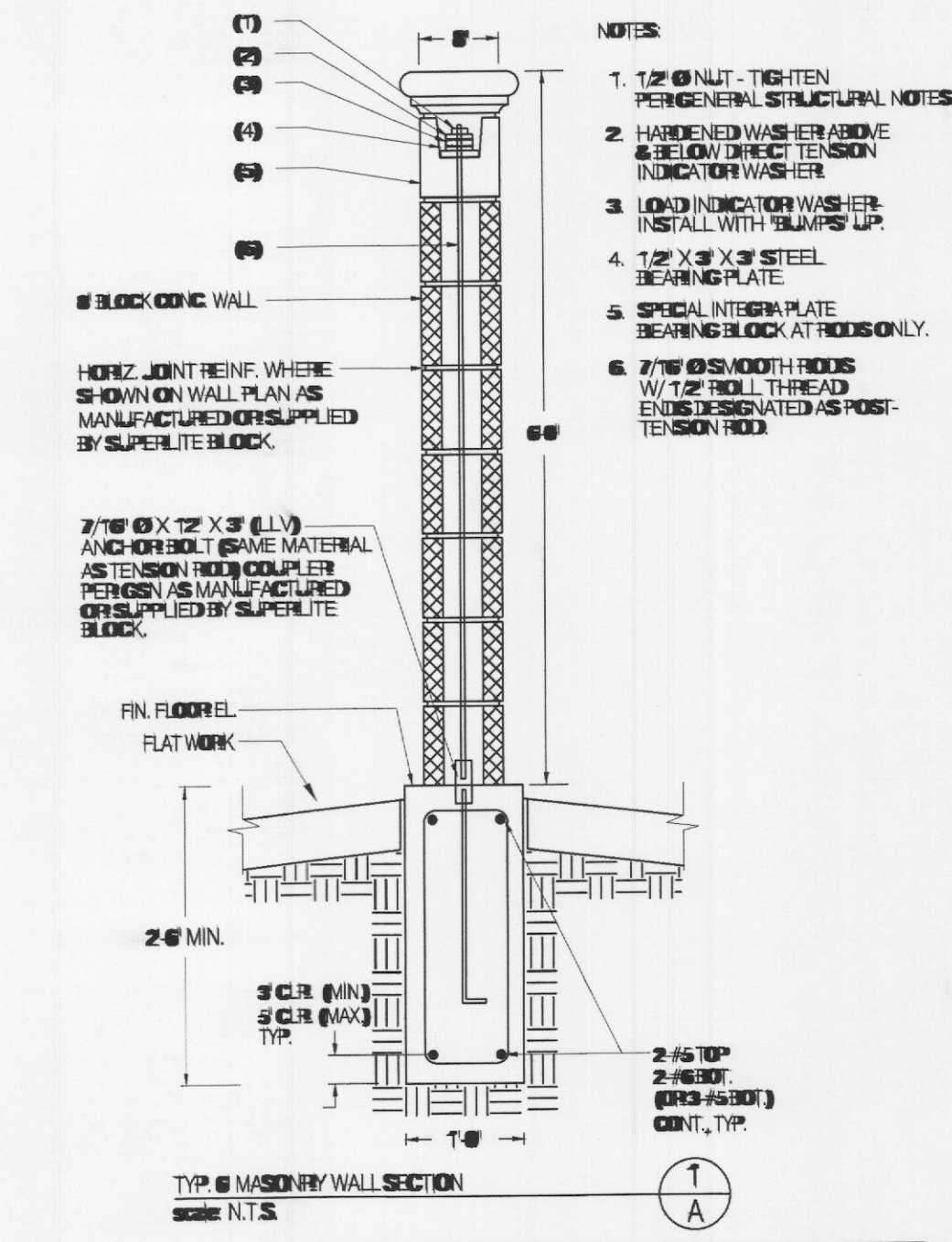
SCALE: 1 TO 20  
DATE: 03/08/2022  
SQ FT: 3,956  
TYPE: LANDSCAPE

DRAWING No.

1A OF 12

DRAWN: EAC





**TYPICAL FOOTBOLT**  
not to scale

**SITE PLAN SIGNATURE BLOCK**

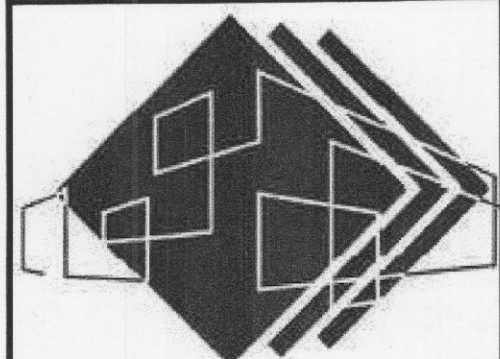
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning



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ADDRESS:

SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

CASE # SP2022-006

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SCALE: NTS

DATE: 03/08/2022

SQ FT: 3,956

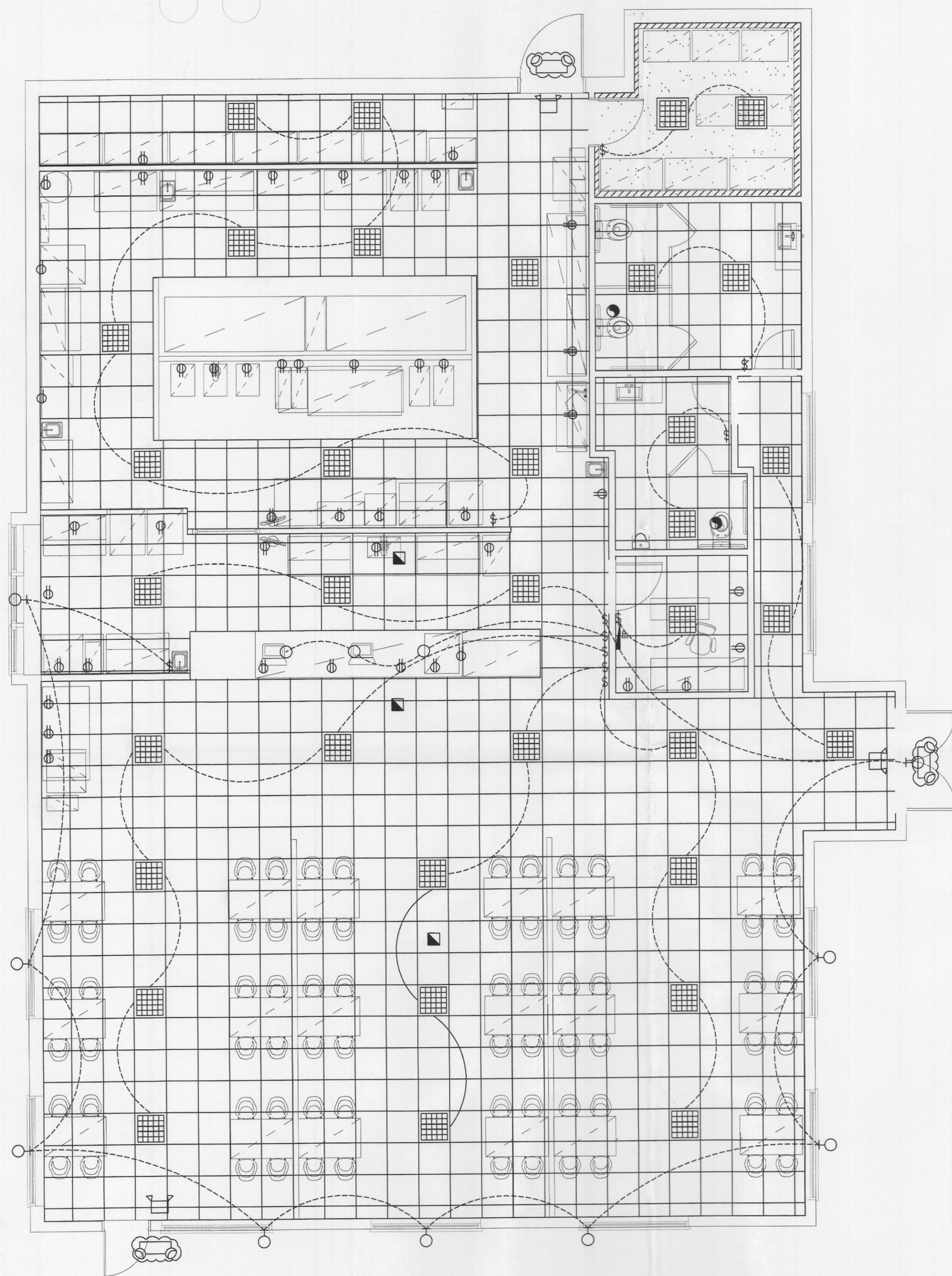
TYPE: DETAILS

DRAWING No.

2 OF 12

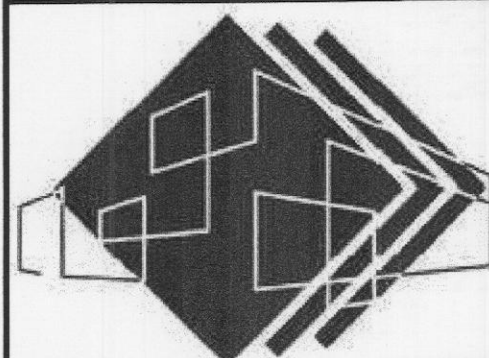
DRAWN: EACB





# ELECTRICAL PLAN

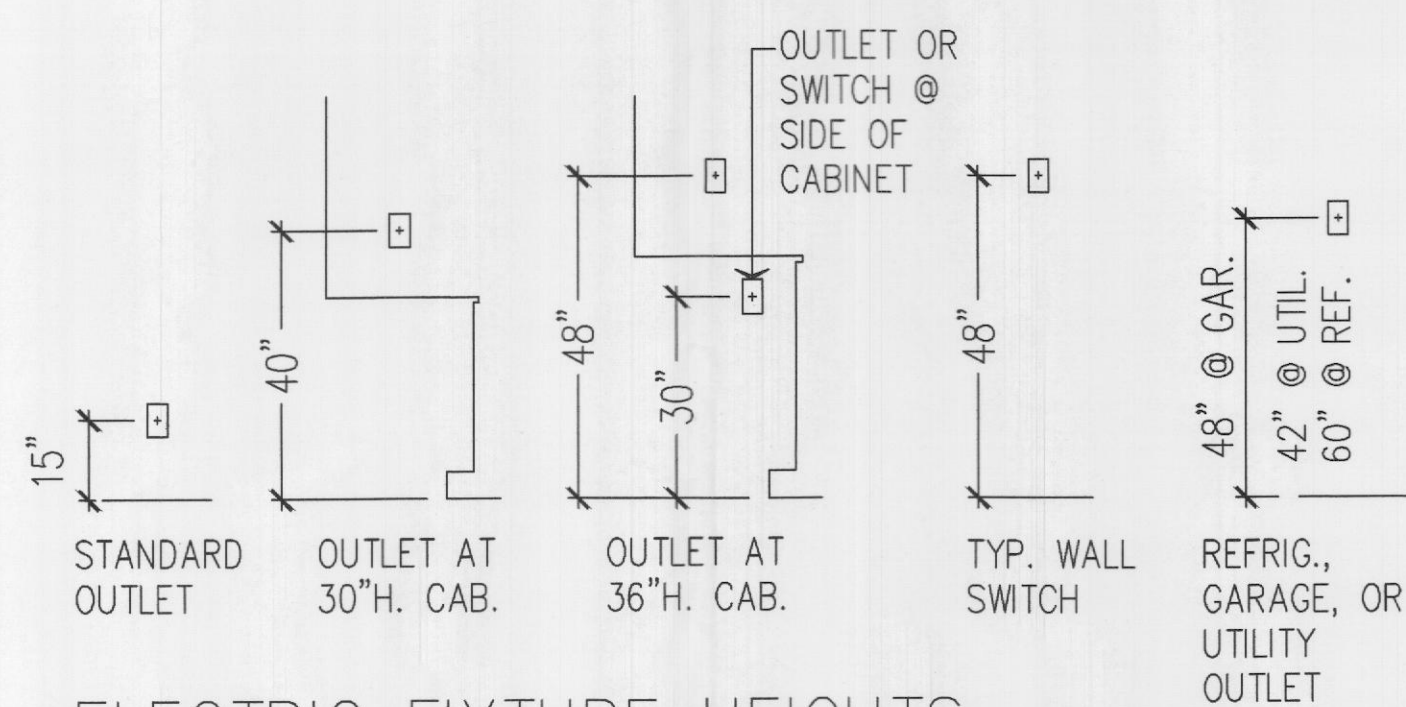
SCALE: 3/16"=1'-0"



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ADDRESS:  
SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087  
REMODEL  
CASE # SP2022-006  
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## ELECTRIC FIXTURE HEIGHTS

(UNLESS NOTED OTHERWISE)

### GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

110 VOLT RECEPTACLE	SINGLE POLE SWITCH
WP WATERPROOF RECEPTACLE	3 THREE WAY SWITCH
CLG 110 VOLT IN CEILING	4 FOUR WAY SWITCH
GFI 110 VOLT with GROUND FAULT INTERRUPTER	DIM DIMMER SWITCH
FLR 110 VOLT IN FLOOR	RHEO RHEOSTAT SWITCH
220V 220 VOLT RECEPTACLE	CEILING MOUNTED LIGHT
110 VOLT DIRECT HARD WIRE	HANGING LIGHT
HOSE BIBB	RECESSED, ADJUSTABLE CAN LIGHT
TELEPHONE OUTLET w/ CAT5 VOICE & DATA	WP WATERPROOF RECESSED ADJUSTABLE CAN L
PUSH BUTTON (DOORBELL OR GARAGE DOOR OPENER)	WALL MOUNTED LIGHT
SMOKE DETECTOR/CARBON MONOXIDE (HARD WIRE WITH BATTERY BACKUP)	EXHAUST FAN (50 cfm MIN.)
Fire Exit	2x2 FLUORESCENT FIXTURE 25 W
T THERMOSTAT	EXIT LIGHT, BATTERY TYPE WITH CHARGER
EP ELEC. PANEL	EMERGENCY ILLUMINATION



## WALL PACKS SPECS

Specs at a Glance*			
# of LEDs	42 LEDs	66 LEDs	90 LEDs
Wattage (w)	27	43	54
Lumens (lm)	2,155	3,386	4,873
Efficacy (LPW)	75	75	88
Equivalency	100w HID	150w HID	250w HID
CCT	3000K, 4000K, 5000K		
CRI	≥85		
Optics	Type II Very Short		
Input Voltage	120-277 Voltage Sensing		
Warranty	5 Years		
Certifications	UL Listed for Wet Locations, ARRA		
Ambient Temp	-35°F to 40°C (-31°F to 104°F)		

\* 5000K CCT tested

### GREEN/ENERGY CODE COMPLIANCE OUTLINE 2012 IECC

1. WATER EFFICIENCY:
  - 1.1. ALL LAV. FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
  - 1.2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
  - 1.3. ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE
2. STORM WATER:
  - 2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE
3. POLY SEAL:
  - 3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK
  - 3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK
  - 3.3. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK
  - 3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK
  - 3.5. BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS
  - 3.6. DUCT TIGHTNESS TESTING IS MANDATORY. TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4 FT<sup>3</sup>/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
    - 3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE
4. INSULATION:
  - 4.1. 2:12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF
  - 4.2. ALL PIER AND BEAM/ RAISED FLOORS MUST BE INSULATED WITH R - 19 INSULATION OR HIGHER
    - 4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R - 5 CONTINUOUS OR R - 13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH
  - 4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R - 20 CAVITY OR R - 13 CAVITY WITH R - 5 CONTINUOUS INSULATION OR HIGHER
  - 4.4. CEILINGS MUST BE INSULATED WITH R - 49 IF THERE IS ATTIC SPACE AND R - 30 IF NO ATTIC SPACE (CATHEDRAL) AND THAT IS LIMITED TO 500 SQ. FT. TOTAL OR 20% OF CEILING WHICHEVER IS LESS
  - 4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
5. HVAC/SERVICE WATER:
  - 5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R - 8 DUCTING
  - 5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R - 13 INSULATION
6. WINDOWS AND DOORS:
  - 6.1. MUST HAVE A U-FACTOR OF .32 OR LESS
  - 6.2. MUST HAVE A SHGC OF .25 OR LESS
7. LIGHTING:
  - 7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE
  - 7.2. MINIMUM OF 75% OF LIGHTING MUST BE HIGH EFFICIENCY (ANYTHING BUT INCANDESCENT)

### SITE PLAN SIGNATURE BLOCK

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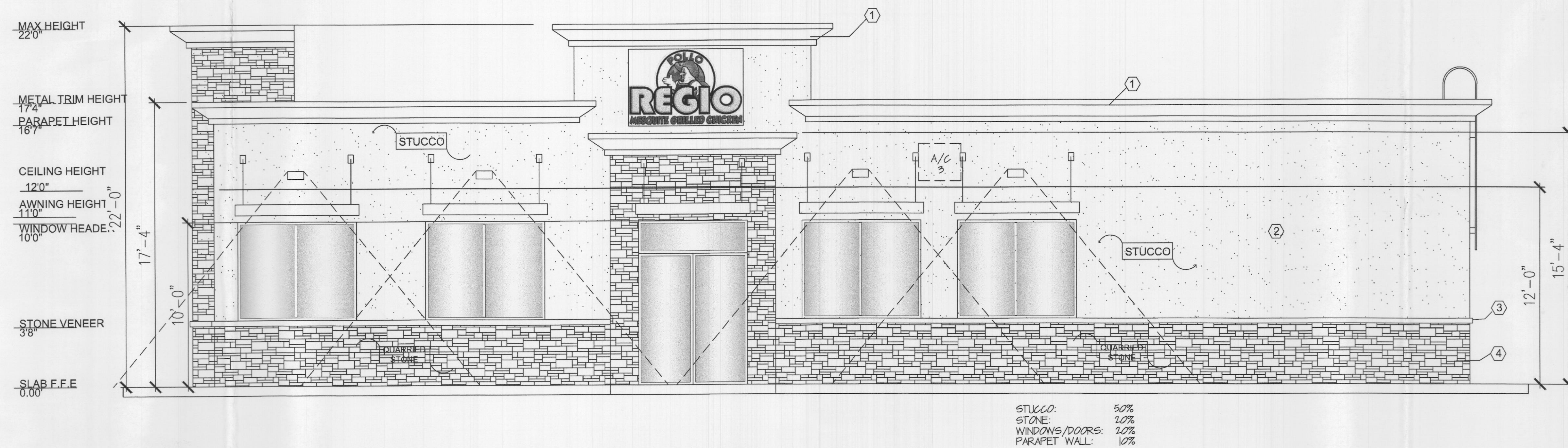
  
Planning & Zoning Commission, Chairman

  
Director of Planning and Zoning

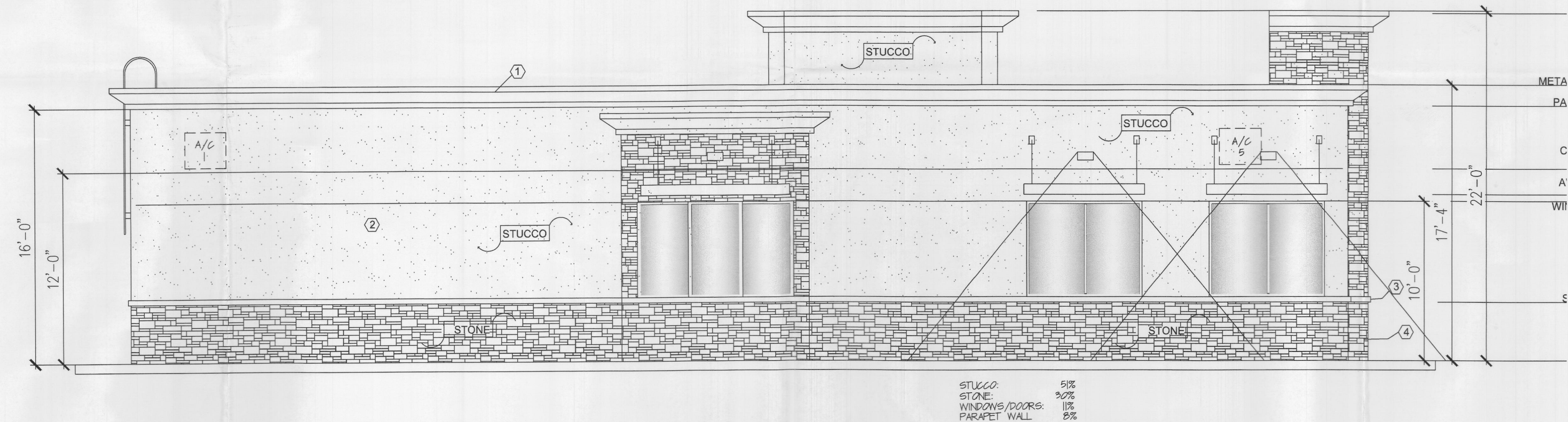
SCALE: 3/16"=1'-0"  
DATE: 03/08/2022  
SQ FT: 3,956  
TYPE: ELECTRICAL PLAN

DRAWING No.  
5 OF 12  
DRAWN: EACB





RIGHT ELEVATION (EAST)  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION (WEST)  
SCALE: 1/4" = 1'-0"

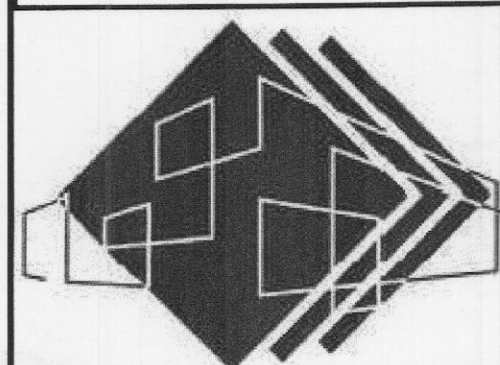
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SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

CASE # SP2022-006

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

SCALE: 1/4" = 1'-0"  
DATE: 03/08/2022  
SQ FT: 3,956  
TYPE: ADA

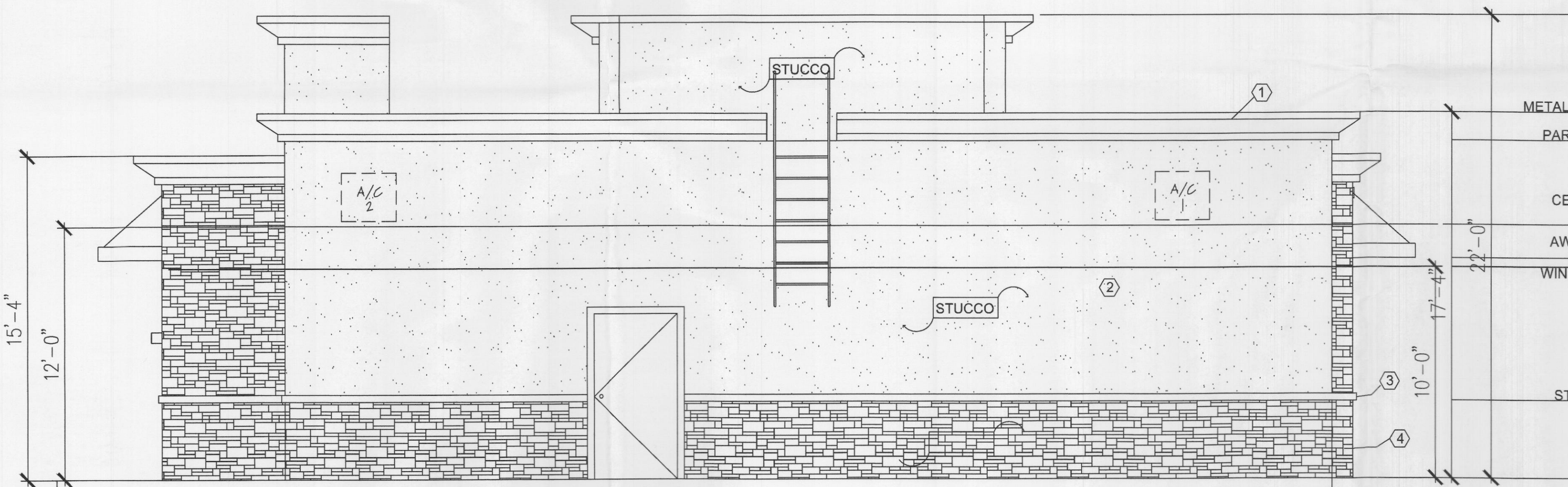
DRAWING No.  
**11 OF 12**  
DRAWN: EACB





FRONT ELEVATION (SOUTH)  
SCALE: 1/4" = 1'-0"

STUCCO: 20%  
STONE: 50%  
WINDOWS/DOORS: 15%  
PARAPET WALL: 15%



REAR ELEVATION (NORTH)  
SCALE: 1/4" = 1'-0"

STUCCO: 60%  
STONE: 30%  
WINDOWS/DOORS: 2%  
PARAPET WALL: 8%

1 EXTERIOR TRIM AROUND BUILDING SW 6868 REAL RED

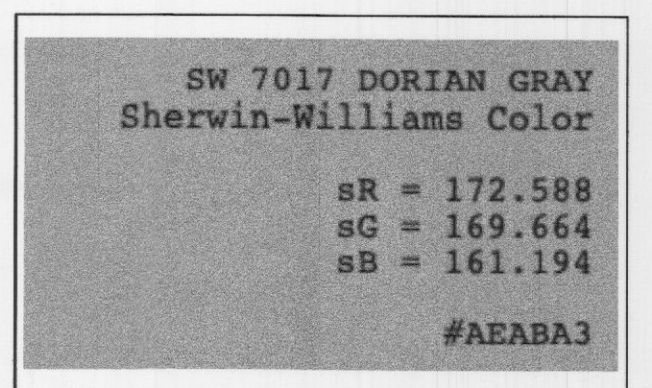
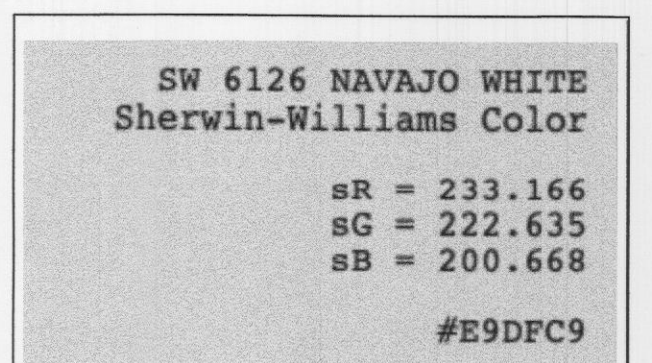
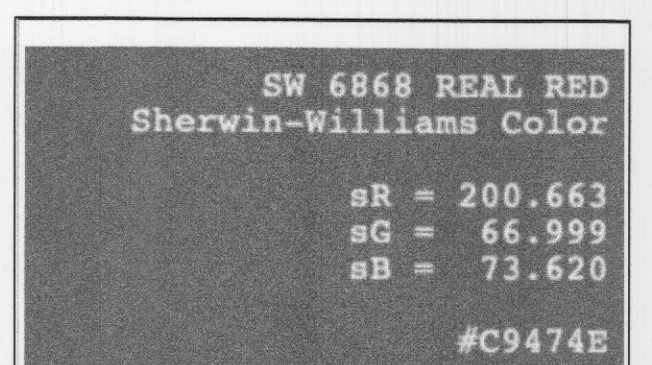
2 EXTERIOR WALLS (ABOVE  
STUCCO BAND/STONE OR GRAY  
PAINT),

3 OUTSIDE TRIM MOLDINGS, SW  
7017 DORIAN GRAY

4 EXTERIOR STONE

6126 NAVAJO WHITE

TEXAS MIX NATURAL  
CHOP

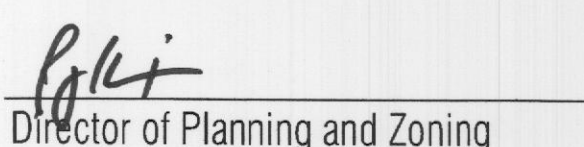


#### SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022. WITNESS OUR HANDS, this 23 day of March, 2022.

  
Planning & Zoning Commission, Chairman

  
Director of Planning and Zoning

CREATIVODESIGNS  
602 SRL THORNTON FWY SUITE B  
DALLAS, TEXAS 75203  
214.884.8168 214.886.2866  
cs@creativodesignsusa.com

ADDRESS:  
SCOPE OF WORK:

726 I-30 FRONTAGE ROAD ROCKWALL TX. 75087

REMODEL

CASE # SP2022-006

DUE TO THE VARIANCE IN GEOGRAPHIC LOCATIONS, DESIGNER WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. BUYER IS ENTITLED TO RENOVATE/REPLACE THE MEP DESIGN IF DESIRED. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. CREATIVO DESIGNS USA IS A COMPANY OF LCHICO ENTERPRISES, LLC Copyright 2021

SCALE: N.T.S.  
DATE: 03/08/2022  
SQ FT: 3,956  
TYPE: ADA

DRAWING No.  
12 OF 12  
DRAWN: EACB



## Lee, Henry

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**From:** Lee, Henry  
**Sent:** Friday, February 25, 2022 2:58 PM  
**To:** 'cs@creativodesignsusa.com'  
**Subject:** FW: Project Comments SP2022-006  
**Attachments:** Project Comments (02.25.2022).pdf; Engineering Mark-Ups (02.25.2022).pdf

Good Afternoon

Attached are the project comments and engineering markups for Case No. SP2022-006. Please address these comments and have revisions returned to staff by March 7, 2022. The schedule for this case is as follows:

Planning and Zoning Commission Meeting Work Session Meeting: February 28, 2022  
Planning and Zoning Commission Meeting: March 15, 2022

All meetings will be held at 6:00 PM in the City Council Chambers of City Hall at 385 S. Goliad Street. Please note that a representative will need to be present at all meetings for this case to be approved. If you have any additional questions please let me know.

Thank you,



HENRY LEE  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087





March 18, 2022

TO: Luis Chico  
Creativo Designs  
602 SRL Thornton Freeway, Suite B  
Dallas, TX 75203

FROM: Henry Lee  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2022-006; *Amended Site Plan for Pollo Regio*

Luis Chico:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on March 15, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) As compensatory measures, staff would recommend that additional canopy and accent trees be added to the subject property in order to bring the overall site closer into compliance with the City's current requirements. If approved by the Planning and Zoning Commission, the applicant will need to work with staff to submit an updated landscape plan prior to the acceptance of civil engineering plans and/or a building permit.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On March 15, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the site plan by a vote of 4-0, with the condition of providing staff a photometric plan, and with Commissioners Chodun, Thomas, and Conway absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 771-7745.

Sincerely,

Henry Lee, Planner  
City of Rockwall Planning and Zoning Department