



PLANNING AND ZONING CASE CHECKLIST

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

P&Z CASE # SP2022-007 P&Z DATE 03/15/21 CC DATE _____ APPROVED/DENIED _____
ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

ZONING APPLICATION
<input type="checkbox"/> SPECIFIC USE PERMIT
<input type="checkbox"/> ZONING CHANGE
<input type="checkbox"/> PD CONCEPT PLAN
<input type="checkbox"/> PD DEVELOPMENT PLAN

SITE PLAN APPLICATION
<input checked="" type="checkbox"/> SITE PLAN
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN
<input type="checkbox"/> PHOTOMETRIC PLAN
<input type="checkbox"/> BUILDING ELEVATIONS
<input type="checkbox"/> MATERIAL SAMPLES
<input type="checkbox"/> COLOR RENDERING

PLATTING APPLICATION
<input type="checkbox"/> MASTER PLAT
<input type="checkbox"/> PRELIMINARY PLAT
<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> REPLAT
<input type="checkbox"/> ADMINISTRATIVE/MINOR PLAT
<input type="checkbox"/> VACATION PLAT
<input type="checkbox"/> LANDSCAPE PLAN
<input type="checkbox"/> TREESCAPE PLAN

<input type="checkbox"/> COPY OF ORDINANCE (ORD.# _____)
<input checked="" type="checkbox"/> APPLICATIONS
<input checked="" type="checkbox"/> RECEIPT
<input checked="" type="checkbox"/> LOCATION MAP
<input type="checkbox"/> HOA MAP
<input type="checkbox"/> PON MAP
<input type="checkbox"/> FLU MAP
<input type="checkbox"/> NEWSPAPER PUBLIC NOTICE
<input type="checkbox"/> 500-FT. BUFFER PUBLIC NOTICE
<input type="checkbox"/> PROJECT REVIEW
<input type="checkbox"/> STAFF REPORT
<input type="checkbox"/> CORRESPONDENCE
<input type="checkbox"/> COPY-ALL PLANS REQUIRED
<input type="checkbox"/> COPY-MARK-UPS
<input type="checkbox"/> CITY COUNCIL MINUTES-LASERFICHE
<input type="checkbox"/> MINUTES-LASERFICHE
<input type="checkbox"/> PLAT FILED DATE _____
<input type="checkbox"/> CABINET # _____
<input type="checkbox"/> SLIDE # _____
NOTES: _____

ZONING MAP UPDATED _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13

SUBDIVISION **Gideon Grove, Phase 2** LOT BLOCK

GENERAL LOCATION ALONG THE SOUTH SIDE OF JOHN KING BLVD. NEAR THE INTERSECTION OF E. QUAIL RUN ROAD WITH E. QUAIL RUN ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **ORD. NO. 17-25, PD-84** CURRENT USE **VACANT / AGRICULTURAL**

PROPOSED ZONING **ORD. NO. 17-25, PD-84** PROPOSED USE **SINGLE-FAMILY RESIDENTIAL**

ACREAGE **30.0.60 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **84**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Development (US), Inc.** APPLICANT **Michael Joyce Properties**

CONTACT PERSON **John Vick** CONTACT PERSON **Meredith Joyce**

ADDRESS **14400 The Lakes Blvd.** ADDRESS **767 Justin Road**

CITY, STATE & ZIP **Pflugerville, TX 78660** CITY, STATE & ZIP **Rockwall, TX 75087**

PHONE **469-659-6150** PHONE **512-694-6394**

E-MAIL **john.vick@qualico.com** E-MAIL **meredith@michaeljoyceproperties.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

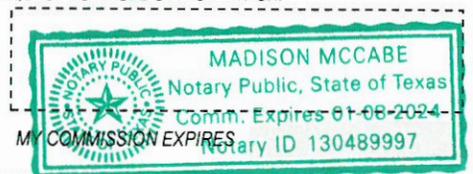
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

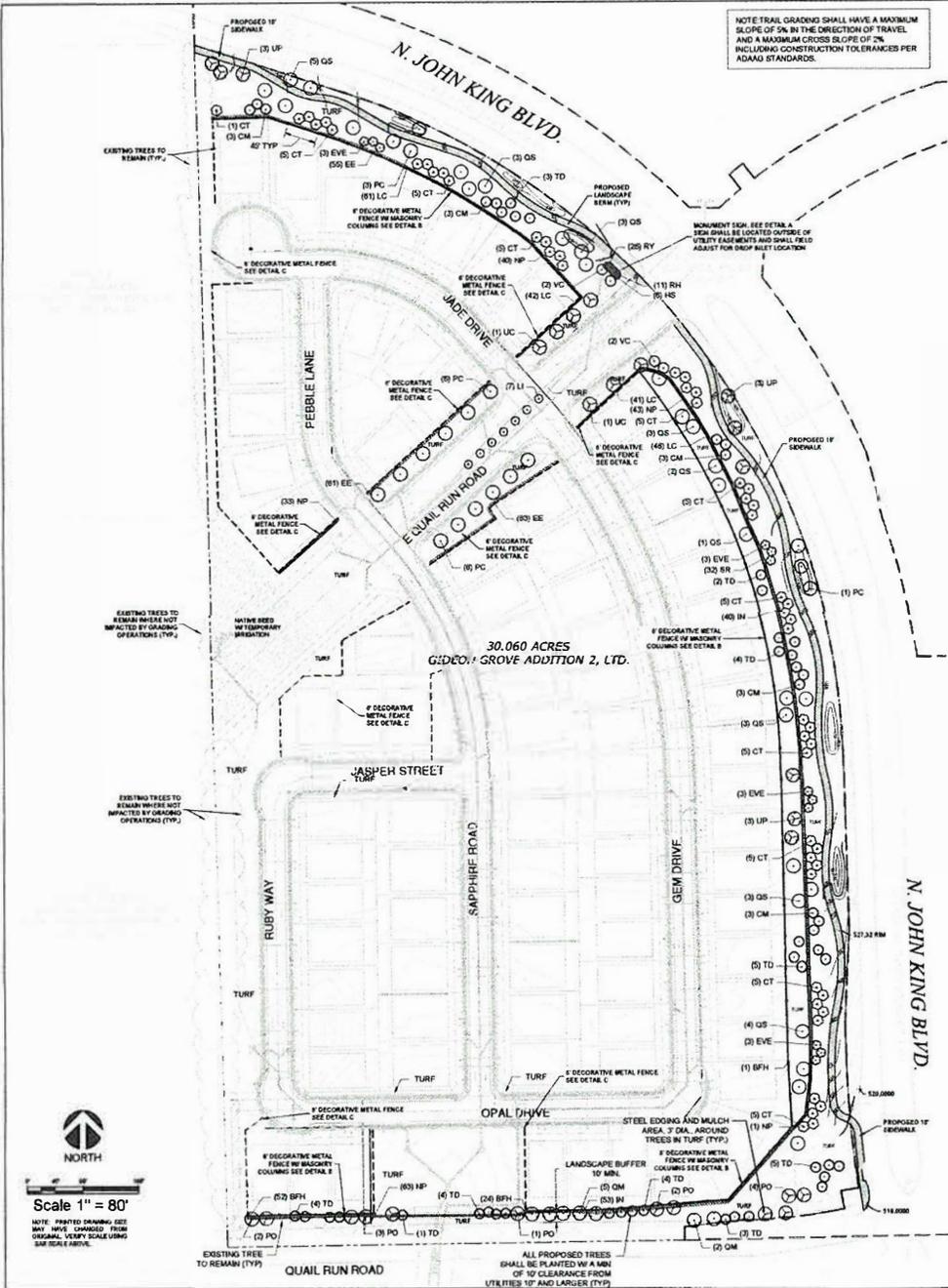
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022.

OWNER'S SIGNATURE

John Vick
Madison McCabe

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





LANDSCAPE CALCULATIONS

JOHN KING BOULEVARD
FRONTAGE LENGTH: 2,028 LF
CANOPY TREES REQUIRED: 81 TREES (3 PER 100 LF OF FRONTAGE)
CANOPY TREES PROVIDED: 81 TREES
UNDERSTORY TREES REQUIRED: 82 TREES (4 PER 100 LF OF FRONTAGE)
UNDERSTORY TREES PROVIDED: 82 TREES
SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED

E. QUAIL RUN ROAD (NORTH SIDE)
FRONTAGE LENGTH: 721 LF
CANOPY TREES REQUIRED: 15 TREES (1 PER 50 LF OF FRONTAGE)
CANOPY TREES PROVIDED: 18 TREES
CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED

E. QUAIL RUN ROAD (SOUTH SIDE)
FRONTAGE LENGTH: 784 LF
CANOPY TREES REQUIRED: 16 TREES (1 PER 50 LF OF FRONTAGE)
CANOPY TREES PROVIDED: 17 TREES
CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED

OLD E. QUAIL RUN ROAD
FRONTAGE LENGTH: 958 LF
CANOPY TREES REQUIRED: 30 TREES (1 PER 32 LF OF FRONTAGE)
CANOPY TREES PROVIDED: 35 PROVIDED TREES + 4 EXISTING TREES TO REMAIN
SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PARKING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 2" DEEP PANELS (FOR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTS. ALL TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
(1) PC	16	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) QS	27	QUERCUS SHUMARER	BALNARD RED OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) TD	35	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) UC	7	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) UP	9	ULMUS X HOMESTEADY	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) CM	15	CRATAEGUS MULLIS	DOWNY HAWTHORNE	CONT.	2" CAL MIN	6-8' HT.	
(1) CT	51	CERISUS CANADENSIS TENENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 2" CAL OVERALL	6-8' HT MIN	
(1) EVE	12	SIPHORA AFFINIS	EVE'S MEDALACE	CONT.	1.5" CAL	8-8' HT.	
(1) LI	7	LAGERSTROEMIA INDICA WATERMELON RED	CRAPE MYRTLE	CONT.	3-5 CANES, 2" CAL OVERALL	6-8' HT MIN	
(1) VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 2" CAL OVERALL	6-8' HT MIN	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
(1) BFH	108	ILEX CORNUTA BURFORDI	BURFORD HOLLY	5 GAL	42" OC		30" HT MIN
(1) EE	228	ELAEAGNUS X EBENACE	ELAEAGNUS	5 GAL	48" OC		30" HT MIN
(1) HS	8	HIBISCUS SYRACUS	ROSE OF SHARON	5 GAL	48" OC		30" HT MIN
(1) IN	83	ILEX X HELLIS R. STEVENS	HELLER X STEVENS HOLLY	5 GAL	48" OC		30" HT MIN
(1) LC	254	LORAPETALUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	38" OC		30" HT MIN
(1) NP	258	NEROLIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC		30" HT MIN
(1) RH	11	RAPHANOLEPSIS INDICA	INDIAN HAWTHORNE	5 GAL	38" OC		18" HT MIN
(1) RY	26	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC		18" HT MIN
(1) SR	73	SPIRAEA CANTONENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC		30" HT MIN
GRASS/COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING
(1) NATIVE	25,367 SF	NATIVE SEED	NATIVE TURF GRASS	HYDROMULCH			
(1) TURF	285,254 SF	CYNODON DACTYLON 'TIF 419'	BERNARDIA GRASS	SOO			

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM 6' CLEARANCE FROM ANY CITY UTILITY THAT IS 10" IN DIAM. AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1/4" SHREDED WOOD MULCH, NATURAL, UNWEEDED, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



08/04/2021

Skorburg Company
8214 Westchester Drive
Dallas, TX

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

Date:	08/04/2021
Drawn By:	MNB
Checked By:	MB/RM

PRELIMINARY PLAT NO. P2020-046

LP-1

PLANTING SPECIFICATIONS

GENERAL

1. QUALIFICATION OF LANDSCAPE CONTRACTOR
 - a. LANDSCAPE WORKER SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR.
 - b. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL PLANTING MATERIALS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 - c. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 - d. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. SCOPE OF WORK
 - a. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
 - b. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 - c. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 - d. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

PRODUCTS

1. CONCRETE AND MASONRY PRODUCTS SHALL BE NEW.
 - a. BRICKS SHALL BE FULL BODY, HARD BURNED, AND SHALL BE OF A RED OR BROWN COLOR.
 - b. CONCRETE SHALL BE 4000 PSI STRENGTH, 4" MINIMUM SLAB THICKNESS, AND SHALL BE FINISHED WITH A BROOM OR TYPICAL FINISH.
 - c. CONCRETE SHALL BE 4000 PSI STRENGTH, 4" MINIMUM SLAB THICKNESS, AND SHALL BE FINISHED WITH A BROOM OR TYPICAL FINISH.
2. SOIL PREPARATION
 - a. SOIL PREPARATION SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN 1/4" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - b. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL MAKE SOIL SAMPLES FROM THE CONTRACTOR'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN 1/2 GALS FROM EACH QUART OF SOIL TAKEN FROM THE SOIL SURFACE AND 1/2 GALS OF SOIL TAKEN FROM EACH QUART OF SOIL TAKEN FROM THE SOIL SURFACE AND 1/2 GALS OF SOIL TAKEN FROM EACH QUART OF SOIL TAKEN FROM THE SOIL SURFACE.
 - c. THE CONTRACTOR SHALL SUBMIT SOIL TESTING LABORATORY REPORTS TO THE ARCHITECT WITHIN 10 BUSINESS DAYS OF THE DATE OF TESTING.
 - d. THE CONTRACTOR SHALL SUBMIT SOIL TESTING LABORATORY REPORTS TO THE ARCHITECT WITHIN 10 BUSINESS DAYS OF THE DATE OF TESTING.
3. SOIL AMENDMENTS
 - a. SOIL AMENDMENTS SHALL BE APPLIED TO ALL AREAS WHERE THE SOIL IS FOUND TO BE UNDESIRABLE FOR PLANTING.
 - b. SOIL AMENDMENTS SHALL BE APPLIED TO ALL AREAS WHERE THE SOIL IS FOUND TO BE UNDESIRABLE FOR PLANTING.
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METHODS

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IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM SHALL BE DESIGNED TO PROVIDE SUFFICIENT WATER TO ALL PLANTS INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE WATER.
3. ALL NONPLANT PLANTED AREAS SHALL BE DRAIN IRRIGATED. SPOOLED AND HEADED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE INDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO THE MAXIMUM EXTENT POSSIBLE TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED IRRIGATION RATE, IRRIGATION RATE CONTROL, AND SPRAY HEADS (WHENEVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTORIZED IRRIGATION CONTROLS FEASIBLE FOR THE SYSTEM'S CAPABILITIES.

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTER A PROPOSAL FOR THE LANDSCAPE ARCHITECT'S DESIGN OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE EVENT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SURFACE TOTAL TOP OF BELLS AS INDICATED ON THE GRADING PLANS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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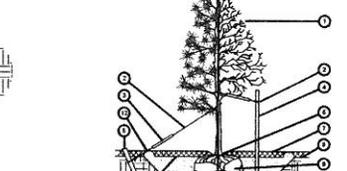
STEEL EDGING

1. STEEL EDGING SHALL BE INSTALLED TO SEPARATE PLANTING AREAS FROM DRIVEWAYS, PARKWAYS, OR ISLANDS.
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SHRUB AND PERENNIAL PLANTING

1. ALL SHRUBS AND PERENNIALS SHALL BE PLANTED AT EQUAL SPACING UNLESS OTHERWISE SPECIFIED.
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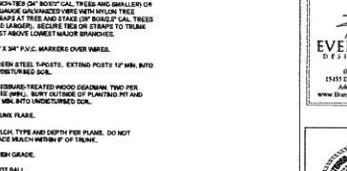
ROOT BARRIER - PLAN VIEW



GENERAL GRADING AND PLANTING NOTES

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PLANT SPACING



GENERAL GRADING AND PLANTING NOTES

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DATE

03/18/2021

DATE

03/18/2021

DATE

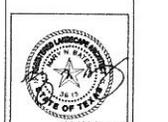
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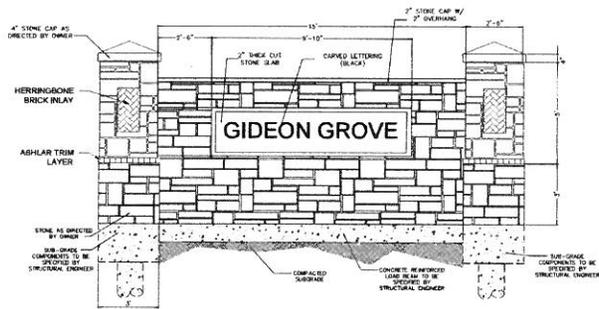


Skorburg Company
8214 Westchester Drive
Dallas, TX

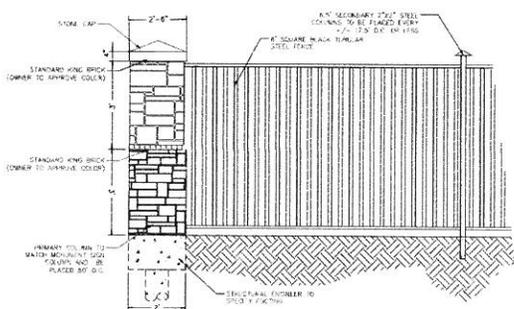
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE DETAILS & SPECIFICATIONS

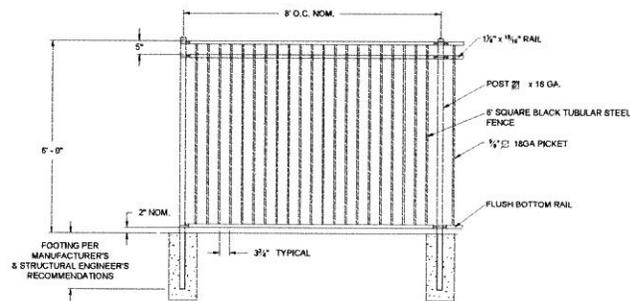
LP-2



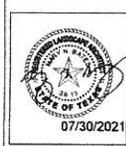
A MONUMENT SIGN DETAIL
NOT TO SCALE



B 6\"/>



C 6\"/>



Owner
Skorburg Company
 8214 Westchester Drive
 Dallas, TX

Project Name
Gideon Grove Phase 2
 John King Boulevard and E Quail Run Road
 Rockwall, TX

LANDSCAPE
 DETAILS

Date	Comment

Project Number
 Date: 07/30/2021
 Drawn By: MNB
 Checked By: MB/RM

LP-3



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13

SUBDIVISION **Gideon Grove, Phase 2** LOT BLOCK

GENERAL LOCATION ALONG THE SOUTH SIDE OF JOHN KING BLVD. NEAR THE INTERSECTION OF E. QUAIL RUN ROAD WITH E. QUAIL RUN ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **ORD. NO. 17-25, PD-84** CURRENT USE **VACANT / AGRICULTURAL**

PROPOSED ZONING **ORD. NO. 17-25, PD-84** PROPOSED USE **SINGLE-FAMILY RESIDENTIAL**

ACREAGE **30.0.60 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **84**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Development (US), Inc.** APPLICANT **Michael Joyce Properties**

CONTACT PERSON **John Vick** CONTACT PERSON **Meredith Joyce**

ADDRESS **14400 The Lakes Blvd.** ADDRESS **767 Justin Road**

CITY, STATE & ZIP **Pflugerville, TX 78660** CITY, STATE & ZIP **Rockwall, TX 75087**

PHONE **469-659-6150** PHONE **512-694-6394**

E-MAIL **john.vick@qualico.com** E-MAIL **meredith@michaeljoyceproperties.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ February 2022 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

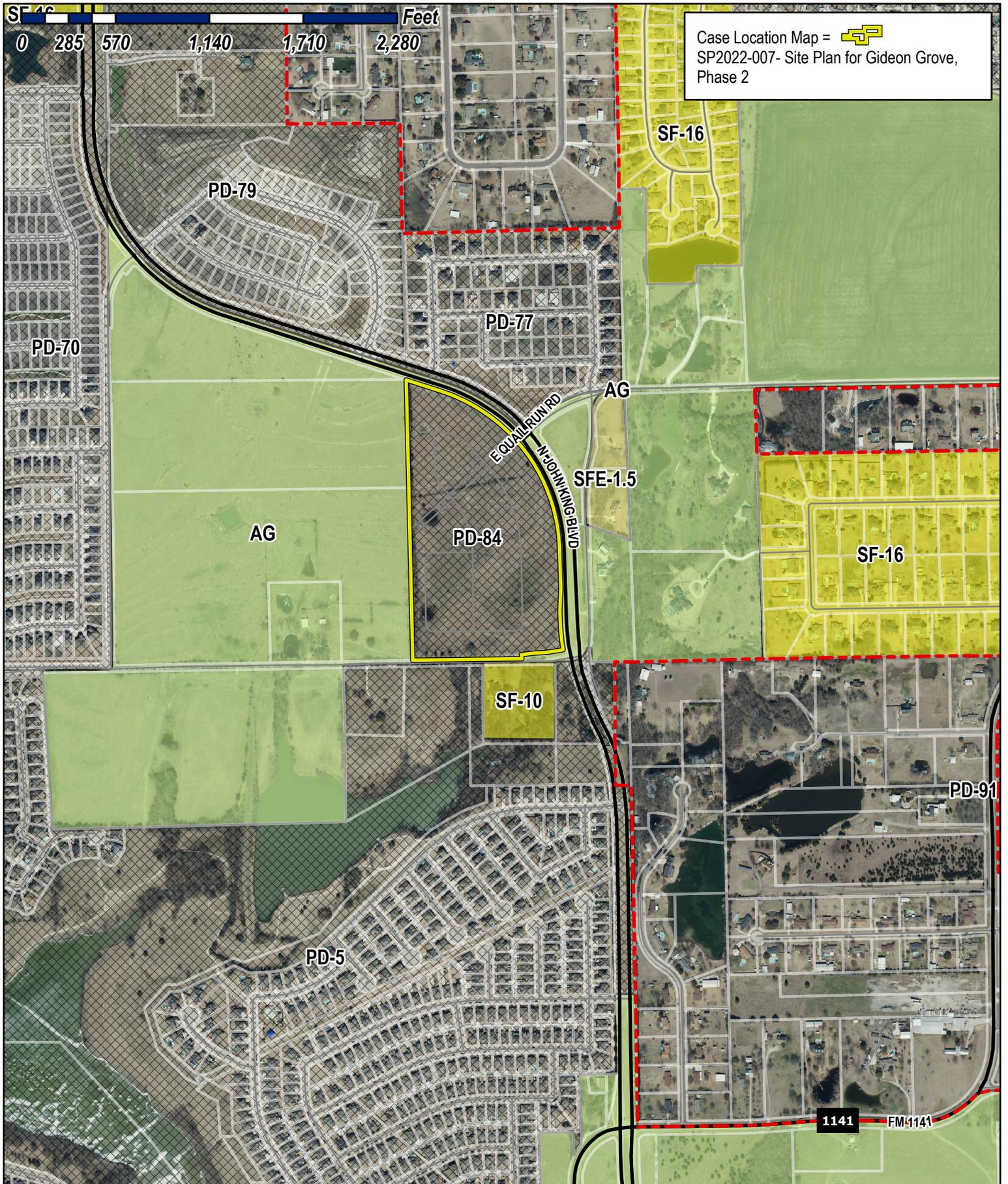
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2022.

OWNER'S SIGNATURE

John Vick
Madison McCabe

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





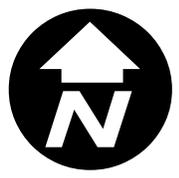
Case Location Map = 
 SP2022-007- Site Plan for Gideon Grove,
 Phase 2

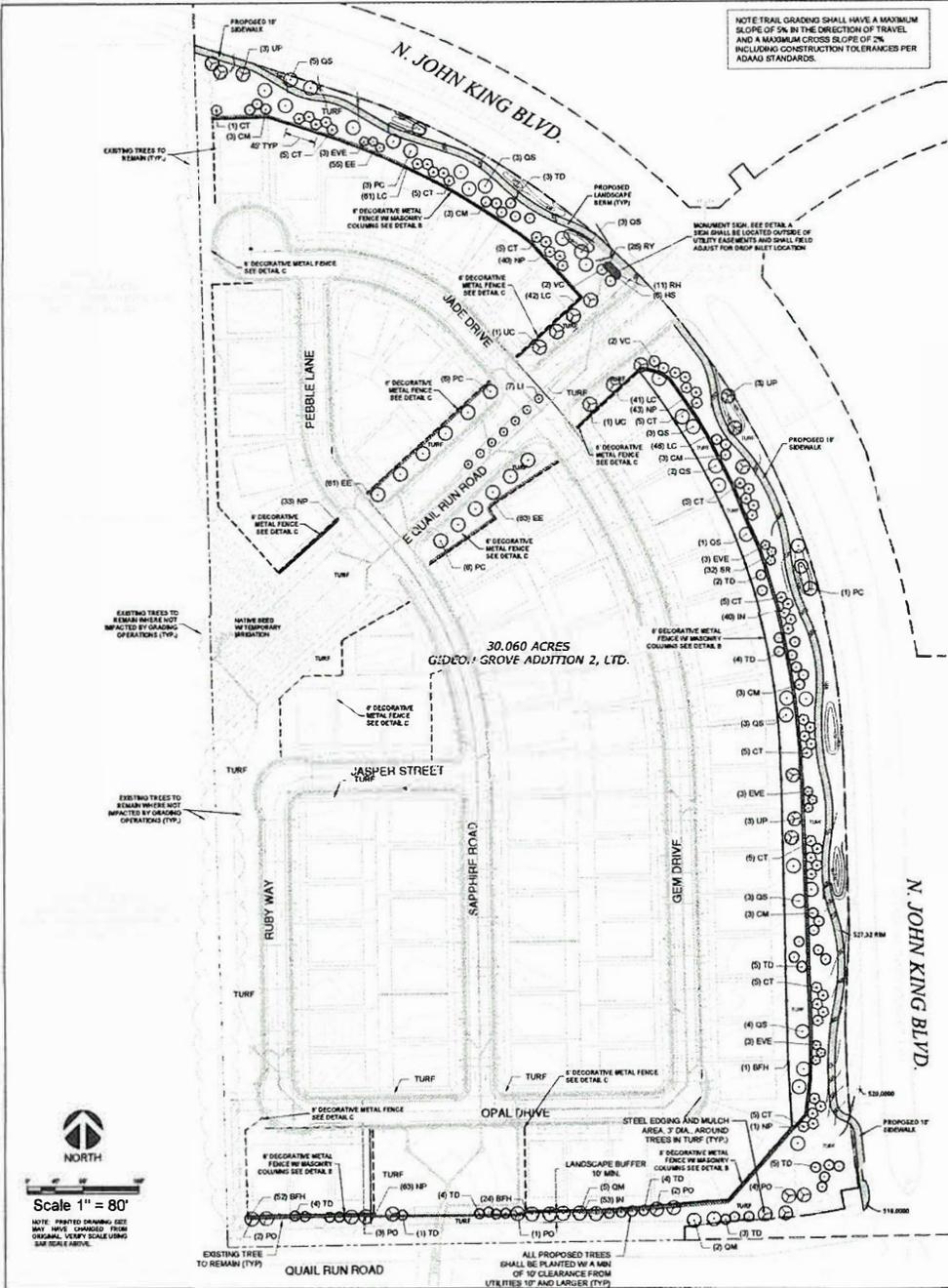


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LANDSCAPE CALCULATIONS

JOHN KING BOULEVARD
FRONTAGE LENGTH: 2,028 LF
CANOPY TREES REQUIRED: 81 TREES (3 PER 100 LF OF FRONTAGE)
CANOPY TREES PROVIDED: 81 TREES
UNDERSTORY TREES REQUIRED: 82 TREES (4 PER 100 LF OF FRONTAGE)
UNDERSTORY TREES PROVIDED: 82 TREES
SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED

E. QUAIL RUN ROAD (NORTH SIDE)
FRONTAGE LENGTH: 721 LF
CANOPY TREES REQUIRED: 15 TREES (1 PER 50 LF OF FRONTAGE)
CANOPY TREES PROVIDED: 18 TREES
CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED

E. QUAIL RUN ROAD (SOUTH SIDE)
FRONTAGE LENGTH: 784 LF
CANOPY TREES REQUIRED: 16 TREES (1 PER 50 LF OF FRONTAGE)
CANOPY TREES PROVIDED: 17 TREES
CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED

OLD E. QUAIL RUN ROAD
FRONTAGE LENGTH: 958 LF
CANOPY TREES REQUIRED: 30 TREES (1 PER 32 LF OF FRONTAGE)
CANOPY TREES PROVIDED: 35 PROVIDED TREES + 4 EXISTING TREES TO REMAIN
SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PARKING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 2" DEEP PANELS (FOR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTS. ALL TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CALL	SIZE
(1) PC	16	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) QS	27	QUERCUS SHUMARER	BALNARD RED OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) TD	35	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) UC	7	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) UP	9	ULMUS X HOMESTEADY	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
(1) CM	15	CRATAEGUS MULLIS	DOWNY HAWTHORNE	CONT.	2" CAL MIN	6-8' HT.	
(1) CT	51	CERESUS CANADENSIS TENENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 2" CAL OVERALL	6-8' HT MIN	
(1) EVE	12	SIPHORA AFFINIS	EVE'S MEDICAL	CONT.	1.5" CAL	8-8' HT.	
(1) LI	7	LAGERSTROEMIA INDICA WATERMELON RED	CRABE MYRTLE	CONT.	3-5 CANES, 2" CAL OVERALL	6-8' HT MIN	
(1) VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 2" CAL OVERALL	6-8' HT MIN	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
(1) BFH	108	ILEX CORNUTA BURFORDI	BURFORD HOLLY	5 GAL	42" OC		30" HT MIN
(1) EE	228	ELAEAGNUS X EBENACE	ELAEAGNUS	5 GAL	48" OC		30" HT MIN
(1) HS	8	HIBISCUS SYRACUS	ROSE OF SHARON	5 GAL	48" OC		30" HT MIN
(1) IN	83	ILEX X HELLIS R. STEVENS	HELLER X STEVENS HOLLY	5 GAL	48" OC		30" HT MIN
(1) LC	254	LORAPETALUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	38" OC		30" HT MIN
(1) NP	258	NEROLIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC		30" HT MIN
(1) RH	11	RAPHANOLEPSIS INDICA	INDIAN HAWTHORNE	5 GAL	38" OC		18" HT MIN
(1) RY	26	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC		18" HT MIN
(1) SR	73	SPIRAEA CAMTOMENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC		30" HT MIN
GRASS/COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING
(1) NATIVE	25,307 SF	NATIVE SEED	NATIVE TURF GRASS	HYDROMULCH			
(1) TURF	285,254 SF	CYNODON DACTYLON 'TIF 419'	BERNARD GRASS	500			

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM 6' CLEARANCE FROM ANY CITY UTILITY THAT IS 10" IN DIAM. AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1/4" SHREDED WOOD MULCH, NATURAL, UNWEEDED, OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



08/04/2021

Skorburg Company
8214 Westchester Drive
Dallas, TX

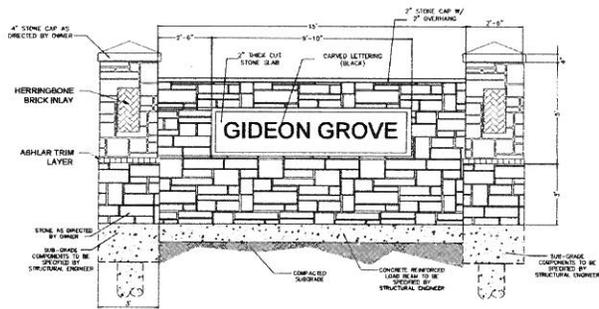
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

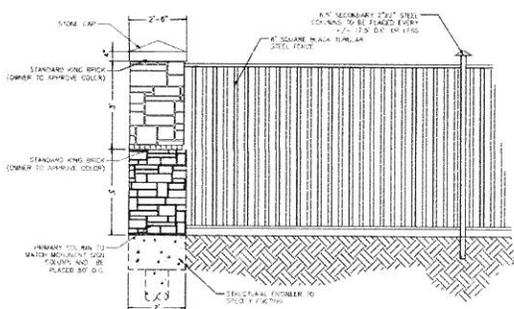
Date:	08/04/2021
Drawn By:	MNB
Checked By:	MB/RM

PRELIMINARY PLAT NO. P2020-046

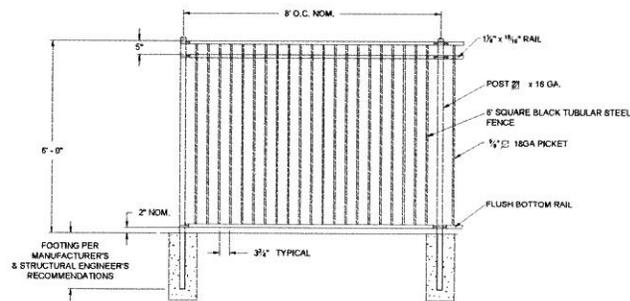
LP-1



A MONUMENT SIGN DETAIL
NOT TO SCALE



B 6" DECORATIVE METAL FENCE WITH MASONRY COLUMN
NOT TO SCALE



C 6" DECORATIVE METAL FENCE
NOT TO SCALE



Owner
Skorburg Company
8214 Westchester Drive
Dallas, TX

Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE
DETAILS

Date	Comment

Project Number
Date: 07/30/2021
Drawn By: MNB
Checked By: MB/RM

LP-3

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 2/25/2022

PROJECT NUMBER: SP2022-007
PROJECT NAME: Site Plan for Gideon Grove Phase 2
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	02/25/2022	Approved w/ Comments

02/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for Phase 2 of the Gideon Grove Subdivision being a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-007) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC).

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District 84 (PD-84).

M.5 Provide the standard signature block with signature space for the Planning & Zoning Chairman and Planning Director on the Treescape Plan and all sheets of the Screening/Buffering Plans. (Subsection 03.04.A, of Article 11)

M.6 Within the Hardscape Plan provide an exhibit for a Board-On-Board Wood Fence, that demonstrates they will have a decorative top rail or cap.

M.7 Provide staff with an exhibit showing fence locations, where fence types shall be color coded and each residential lots side and rear yard allowed fence type should be indicated.

M.8 Both sides of E. Quail Run Road and Old Quail Run Road are deficient in the trees indicated on the landscape plan. The calculations on the trees needed are correct; there just are not that many shown on the plans.

M.9 Show all the required lot trees on the landscape plan, per the zoning ordinance 17-25.

M.10 The berm along John King Boulevard should be generally continuous. What is shown currently does not meet the landscape buffer requirements of Planned Development District 84 (PD-84). It should match what is shown on the grading plan on the Civils.

M.11 Currently E. Quail Run Road terminates on the property, however since the Right-of-Way is already dedicate, the landscaping and berm must continue down the north and south side of the future E. Quail Run Road.

M.12 There is a sewer line that will run parallel to Old E. Quail Run Road along the south property line; the trees are currently too close to this sewer line and must be moved and remain in the landscape buffer. This may require that landscaping buffer to be increased in size.

M.13 Engineering indicates that the trees on the west property line will need to be removed per the Civil Plans. If this is true an updated Treescape Plan will need to be provided.

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on March 7, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 15, 2022 Planning & Zoning Meeting.

I.16 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on February 28, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on March 15, 2022.

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	02/24/2022	Needs Review

- 02/24/2022: - Keep trees 10' away from the 12" water line in John King.
 - No signage/structures in easements. Show sewer and drainage easements near sign.
 - Berm to be located per the approved grading plan and not on top of sewer line.
 - Show the paving ending per the engineering plans an E Quail Run.
 - All of these trees will be removed during grading. Please make revisions to tree mitigation and resubmit to P&Z for approval.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	02/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/23/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/22/2022	Approved

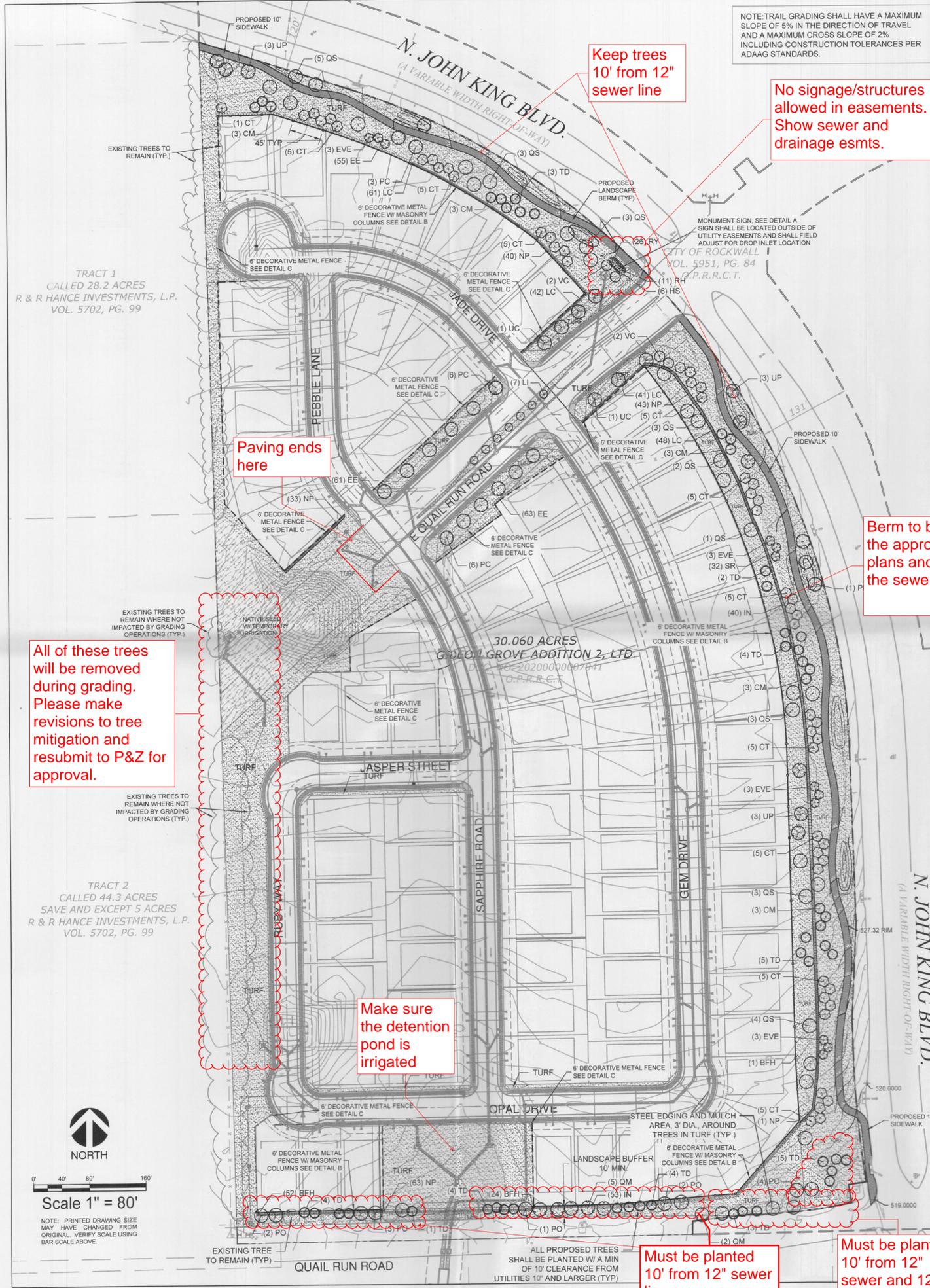
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	02/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	02/22/2022	Approved w/ Comments

02/22/2022: If the area on the south end is a detention pond, the area must have 1 canopy tree and 1 accent trees planted around the perimeter for every 750 sqft of detention.



NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

Keep trees 10' from 12" sewer line

No signage/structures allowed in easements. Show sewer and drainage esmts.

Paving ends here

Berm to be located per the approved grading plans and not on top of the sewer line

All of these trees will be removed during grading. Please make revisions to tree mitigation and resubmit to P&Z for approval.

Make sure the detention pond is irrigated

Need to show and label ex. 12" sewer and 12" water along Quail Run and John King

Must be planted 10' from 12" sewer line

Must be planted 10' from 12" sewer and 12" water

LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS

JOHN KING BOULEVARD
 FRONTAGE LENGTH: 2,028 LF
 CANOPY TREES REQUIRED: 61 TREES (3 PER 100 LF OF FRONTAGE)
 CANOPY TREES PROVIDED: 61 TREES
 UNDERSTORY TREES REQUIRED: 82 TREES (4 PER 100 LF OF FRONTAGE)
 UNDERSTORY TREES PROVIDED: 82 TREES
 SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT
 SHRUBS PROVIDED: PROVIDED AS REQUIRED

E QUAIL RUN ROAD (NORTH SIDE)
 FRONTAGE LENGTH: 721 LF
 CANOPY TREES REQUIRED: 15 TREES (1 PER 50 LF OF FRONTAGE)
 CANOPY TREES PROVIDED: 16 TREES
 UNDERSTORY TREES REQUIRED: 16 TREES
 UNDERSTORY TREES PROVIDED: 16 TREES
 SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT
 SHRUBS PROVIDED: PROVIDED AS REQUIRED

E QUAIL RUN ROAD (SOUTH SIDE)
 FRONTAGE LENGTH: 794 LF
 CANOPY TREES REQUIRED: 16 TREES (1 PER 50 LF OF FRONTAGE)
 CANOPY TREES PROVIDED: 17 TREES
 UNDERSTORY TREES REQUIRED: 17 TREES
 UNDERSTORY TREES PROVIDED: 17 TREES
 SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT
 SHRUBS PROVIDED: PROVIDED AS REQUIRED

OLD E QUAIL RUN ROAD
 FRONTAGE LENGTH: 958 LF
 CANOPY TREES REQUIRED: 39 TREES (1 PER 25 LF OF FRONTAGE)
 CANOPY TREES PROVIDED: 35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
 UNDERSTORY TREES REQUIRED: 35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
 UNDERSTORY TREES PROVIDED: 35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
 SHRUBS REQUIRED: CONTINUOUS HEDGE, 30"-48" IN HT
 SHRUBS PROVIDED: PROVIDED AS REQUIRED

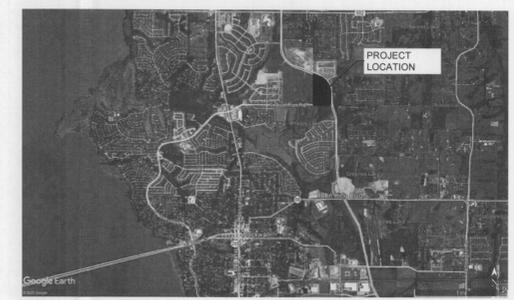
ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	PC	18	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	QS	27	QUERCUS SHUMARDII	SHUMARD RED OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	TD	35	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UC	7	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UP	9	ULMUS X 'HOMESTEAD'	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	TD	35	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UC	7	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	UP	9	ULMUS X 'HOMESTEAD'	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
	CM	15	CRATAEGUS MOLLIS	DOWNY HAWTHORNE	CONT.	2" CAL MIN	6'-8' HT
	CT	51	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT MIN
	EVE	12	SOPHORA AFFINIS	EVE'S NECKLACE	CONT.	1.5" CAL	6'-8' HT.
	LI	7	LAGERSTROEMIA INDICA 'WATERMELON RED'	CRAPE MYRTLE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT MIN
	VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 2" CAL OVERALL	6'-8' HT MIN
	BFH	108	ILEX CORNUTA 'BUFORDII'	BURFURD HOLLY	5 GAL	42" OC	30" HT MIN
	EE	220	ELAEAGNUS X EBBINGEI	ELAEAGNUS	5 GAL	48" OC	30" HT MIN
	HS	6	HIBISCUS SYRIACUS	ROSE OF SHARON	5 GAL	48" OC	30" HT MIN
	IN	93	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	5 GAL	48" OC	30" HT MIN
	LC	234	LORAPETULUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	36" OC	30" HT MIN
	NP	258	NERIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC	30" HT MIN
	RH	11	RAPHIOLEPSIS INDICA	INDIAN HAWTHORNE	5 GAL	36" OC	18" HT MIN
	RY	26	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC	18" HT MIN
	SR	73	SPIRAEA CANTONIENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC	30" HT MIN
	NATIVE	25,357 SF	NATIVE SEED	NATIVE TURF GRASS	HYDROMULCH		
	TURF	285,234 SF	CYNODON DACTYLON 'TIF 419'	BERMUDA GRASS	SOD		

VICINITY MAP



UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



Owner
Skorburg Company
 8214 Westchester Drive
 Dallas, TX

Project Name
Gideon Grove Phase 2
 John King Boulevard and E Quail Run Road
 Rockwall, TX

LANDSCAPE PLAN

Date	Comment

Project Number
 Date: 08/04/2021
 Drawn By: MNB
 Checked By: MB/RM

LP-1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-007

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

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- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

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- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS PROPERTY ID #10188, JOHN KING BLVD. A PORTION OF TRACT 1-01 OR S.R. BARNES SURVEY, ABSTRACT NO. 13

SUBDIVISION **Gideon Grove, Phase 2** LOT BLOCK

GENERAL LOCATION ALONG THE SOUTH SIDE OF JOHN KING BLVD. NEAR THE INTERSECTION OF E. QUAIL RUN ROAD WITH E. QUAIL RUN ROAD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **ORD. NO. 17-25, PD-84** CURRENT USE **VACANT / AGRICULTURAL**

PROPOSED ZONING **ORD. NO. 17-25, PD-84** PROPOSED USE **SINGLE-FAMILY RESIDENTIAL**

ACREAGE **30.0.60 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **84**

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OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Qualico Development (US), Inc.** APPLICANT **Michael Joyce Properties**

CONTACT PERSON **John Vick** CONTACT PERSON **Meredith Joyce**

ADDRESS **14400 The Lakes Blvd.** ADDRESS **767 Justin Road**

CITY, STATE & ZIP **Pflugerville, TX 78660** CITY, STATE & ZIP **Rockwall, TX 75087**

PHONE **469-659-6150** PHONE **512-694-6394**

E-MAIL **john.vick@qualico.com** E-MAIL **meredith@michaeljoyceproperties.com**

NOTARY VERIFICATION [REQUIRED]

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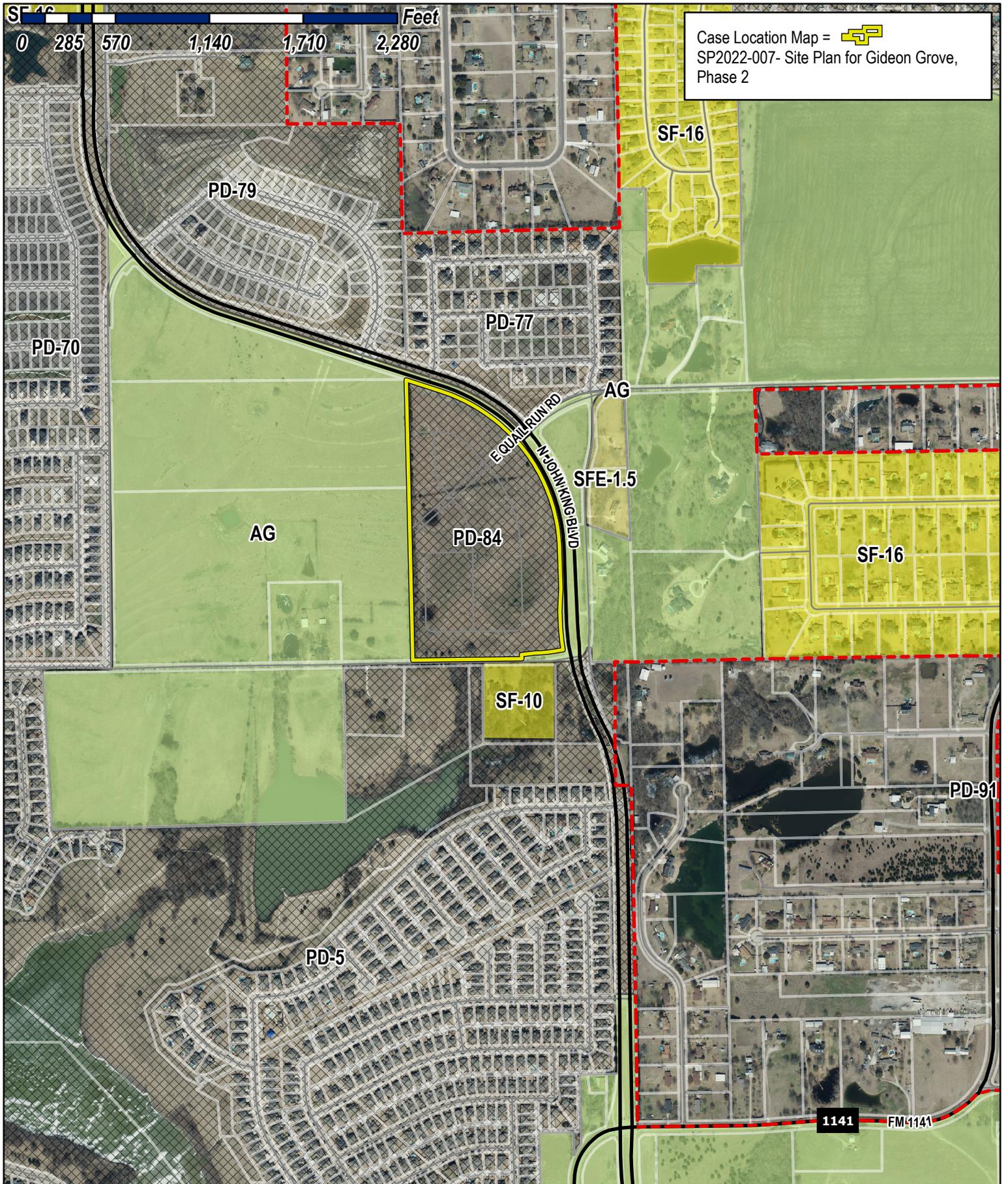
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OWNER'S SIGNATURE

John Vick
Madison McCabe

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 
 SP2022-007- Site Plan for Gideon Grove,
 Phase 2

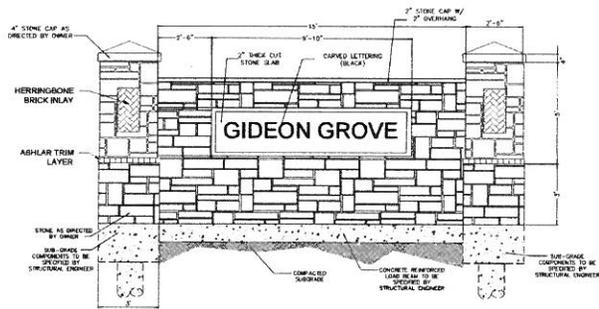


City of Rockwall

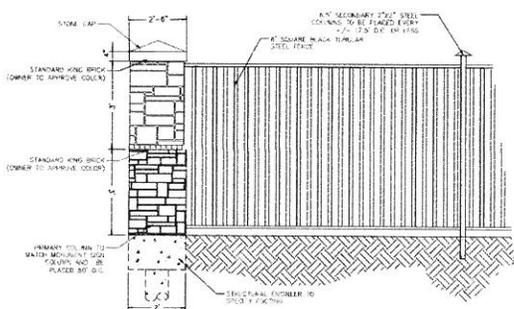
Planning & Zoning Department
 385 S. Goliad Street
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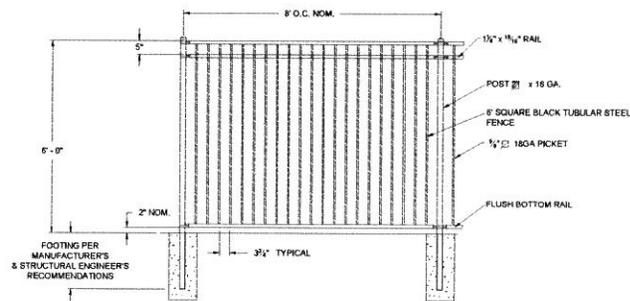




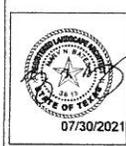
A MONUMENT SIGN DETAIL
NOT TO SCALE



B 6\"/>



C 6\"/>



Owner
Skorburg Company
8214 Westchester Drive
Dallas, TX

Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE
DETAILS

Date	Comment

Project Number
Date: 07/30/2021
Drawn By: MNB
Checked By: MB/RM

LP-3



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Henry Lee, *Planner*

DATE: March 15, 2022

SUBJECT: SP2022-007; *Site Plan for Gideon Grove Phase 2 Subdivision*

The applicant, Meredith Joyce of Michael Joyce Properties, is requesting the approval of a site plan for Phase 2 of the Gideon Grove Subdivision. The subject property is a 30.36-acre tract of land (*i.e. being a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13*) generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard. Currently, Phase 2 of the Gideon Grove Subdivision has been approved for a *Preliminary Plat* [Case No. P2020-046] and *Final Plat* [Case No. P2021-019], and -- *in accordance with the submittal schedule contained in the Planned Development District* -- the applicant has submitted an application for a *Site Plan*. As part of this site plan application the applicant has submitted a site plan, landscape plan, and hardscape plan.

The site plan indicates that 84 single-family lots and eleven (11) open space lots will be provided in accordance with the requirements of Planned Development District 84 (PD-84). The landscape plan shows that three (3) canopy and four (4) accent trees will be provided per 100 linear feet of frontage along John King Boulevard, one (1) canopy tree will be provided per 50 linear feet of frontage along E. Quail Run Road, and one (1) canopy tree will be provided per 25 linear feet of frontage along Old E. Quail Run Road. Staff should note that the tree mitigation balance identified in the approved treescape plan [Case No. P2020-046] has been accounted for in the landscape plan, and the mitigation balance has been satisfied. The hardscape plan details the entry monumentation signage and the fence type for each lot (*i.e. wrought iron fence, wood fence, and a wrought iron fence with masonry columns*) as required throughout the subdivision by the Planned Development District. The submitted site plan conforms to all the applicable technical requirements of Planned Development District 84 (PD-84) and the Unified Development Code (UDC), and based on this the case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the March 15, 2021 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

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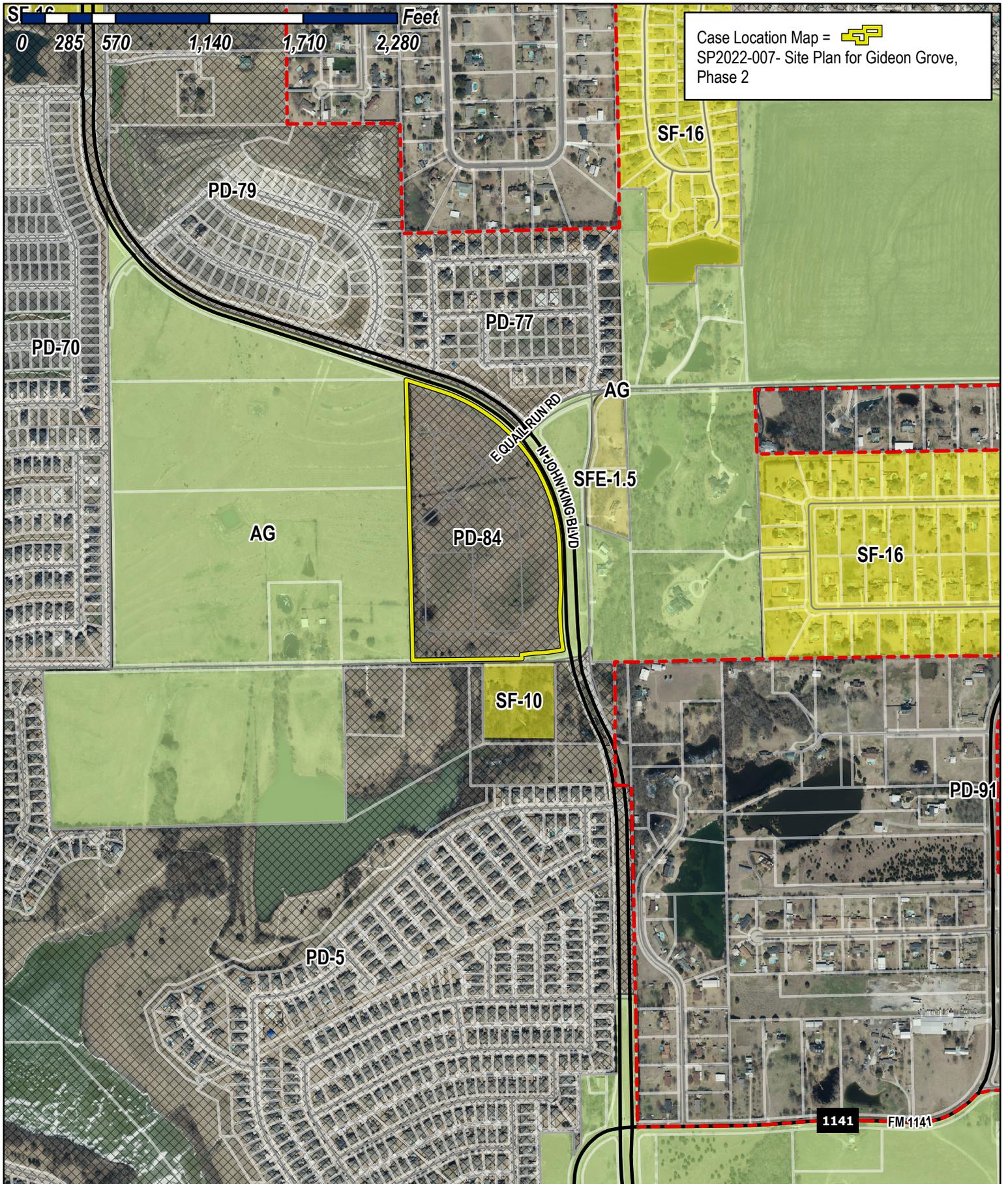
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John Vick
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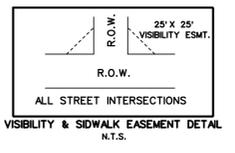
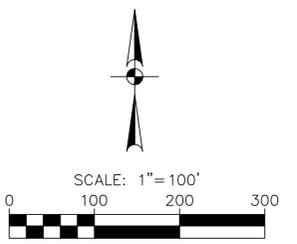
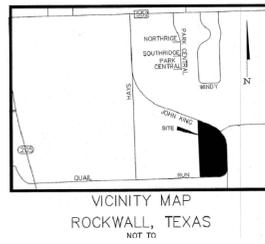


City of Rockwall

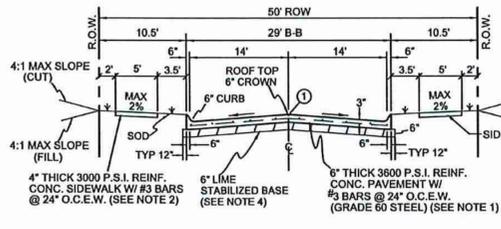
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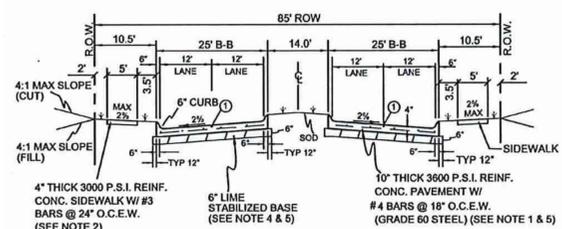




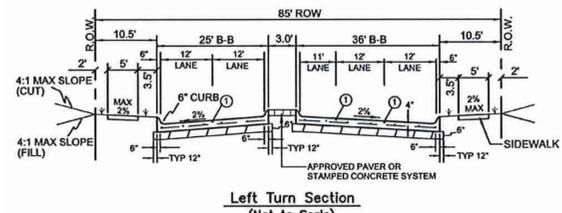
LINE	BEARING	DISTANCE
L1	S 81°07'57" W	25.65'
L2	S 10°46'55" E	26.00'
L3	S 79°13'04" W	17.32'
L4	S 83°21'26" W	82.52'
L5	S 01°51'14" W	32.50'
L6	S 01°12'10" W	41.19'
L7	S 84°30'41" E	41.61'
L8	S 87°09'12" E	7.02'
L9	S 85°45'04" E	36.21'
L10	N 05°05'54" E	7.30'
L11	S 04°50'48" W	40.71'
L12	S 02°40'48" W	7.02'
L13	S 02°40'48" W	39.68'
L14	S 02°40'48" W	15.00'
L15	N 71°38'09" E	15.00'
L16	N 48°46'40" E	71.30'
L17	S 84°30'41" E	39.68'
L18	N 06°06'28" E	4.21'
L19	S 04°06'28" E	40.55'
L20	S 42°09'12" E	15.12'
L21	S 05°50'48" W	4.83'
L22	N 87°09'12" W	35.36'
L23	N 87°09'12" W	17.07'
L24	N 87°09'12" W	17.07'
L25	N 42°09'12" W	15.12'
L26	S 14°51'12" E	4.35'
L27	N 41°25'46" W	20.00'
L28	S 42°09'12" E	10.67'
L29	N 20°21'43" W	44.21'
L30	N 23°49'06" W	23.71'
L31	N 20°21'43" W	46.21'
L32	N 30°13'35" W	21.75'
L33	N 47°50'48" E	7.87'
L34	N 88°30'19" E	22.39'
L35	N 88°30'19" E	29.05'
L36	S 54°52'10" W	13.19'
L37	S 47°50'48" W	35.63'



50' R.O.W. Residential Street (Not to Scale)



85' ROW - Minor 4 Lane Divided Arterial Regular Section (Not to Scale)



Left Turn Section (Not to Scale)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	124.00'	1040.00'	6°01'17"	S 36°59'21" E	1195.86'
C2	191.03'	1571.00'	6°58'01"	S 05°32'42" E	190.91'
C3	131.05'	742.50'	10°08'40"	S 84°16'24" W	130.86'
C4	588.50'	826.00'	40°52'15"	S 21°43'04" E	576.10'
C5	79.00'	50.00'	89°32'39"	S 43°58'46" W	71.30'
C6	78.54'	50.00'	90°00'00"	N 45°45'30" W	70.71'
C7	78.54'	50.00'	90°00'00"	N 44°14'30" E	70.71'
C8	372.00'	515.00'	41°3'42"	N 21°27'11" W	364.04'
C9	106.44'	150.00'	40°59'28"	N 21°49'28" W	104.22'
C10	236.31'	275.00'	49°14'08"	N 12°12'71" W	239.10'
C11	12.87'	800.00'	0°55'18"	N 36°03'55" W	12.87'
C12	6.55'	850.00'	0°26'29"	N 01°30'12" W	6.55'
C13	4.39'	46.39'	268°58'59"	S 14°51'12" E	4.35'
C14	379.82'	60.50'	355°42'22"	N 64°25'20" W	0.31'
C15	4.39'	46.39'	268°58'59"	S 14°51'12" E	4.35'
C16	1.87'	9.50'	23°20'43"	S 77°34'08" W	3.84'
C17	4.81'	9.50'	28°58'58"	N 13°43'10" E	4.25'
C18	4.81'	9.50'	28°58'58"	N 13°43'10" E	4.25'
C19	4.35'	9.50'	26°14'59"	S 77°38'11" E	4.31'
C20	17.41'	490.00'	0°00'00"	N 48°15'59" E	17.41'
C21	176.41'	176.00'	4°58'04"	S 03°58'46" E	16.15'
C22	38.52'	25.00'	66°51'25"	S 62°00'16" E	14.91'
C23	43.95'	25.00'	100°43'26"	N 48°15'59" E	38.50'
C24	5.36'	300.00'	1°00'41"	S 89°07'06" W	5.30'
C25	14.64'	9.50'	388°12'23"	S 14°51'12" E	14.31'
C26	269.25'	57.50'	268°17'23"	S 42°45'26" W	82.52'
C27	89.19'	850.00'	6°00'42"	S 51°22'41" W	89.19'
C28	96.98'	850.00'	6°32'14"	S 51°06'55" W	96.93'
C29	15.16'	782.50'	1°06'37"	N 47°45'04" E	15.16'
C30	332.03'	1028.88'	18°29'13"	S 62°00'16" E	330.99'
C31	609.84'	970.00'	36°01'19"	S 19°17'36" E	599.85'
C32	151.51'	60.50'	143°29'25"	S 62°00'16" E	144.91'
C33	150.29'	60.50'	142°19'38"	N 42°56'24" W	144.52'
C34	150.46'	60.50'	142°19'18"	N 44°14'30" E	144.50'
C35	85.00'	85.00'	90°00'42"	S 51°22'41" W	85.13'
C36	85.00'	96.98'	6°32'14"	S 51°06'55" W	96.93'

PD SITE PLAN FOR GIDEON GROVE PHASE 2

OWNER/DEVELOPER
QUALICO DEVELOPERS (US), INC.
14400 THE LAKES BLVD.
PFLUGERVILLE, TX 78060
PHONE: (469) 659-6150
EMAIL: JOHN.VICK@QUALICO.COM
CONTACT: JOHN VICK

CONTAINING LOTS 1-12, 4X BLK A; LOTS 1-4, 1X, 3X BLK B; LOTS 1-29, 1X, 18X, 23X, 27X, 28X BLK C; LOTS 1-26, 1X, 14X BLK D; LOTS 1-13, 1X, 6X BLK E FOR A TOTAL OF 84 SINGLE FAMILY LOTS AND 12 OPEN SPACE LOTS

BEING 30.060 ACRES OF LAND SITUATED IN THE S.R. BARNES SURVEY, ABSTRACT 13 LOCATED IN CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022.

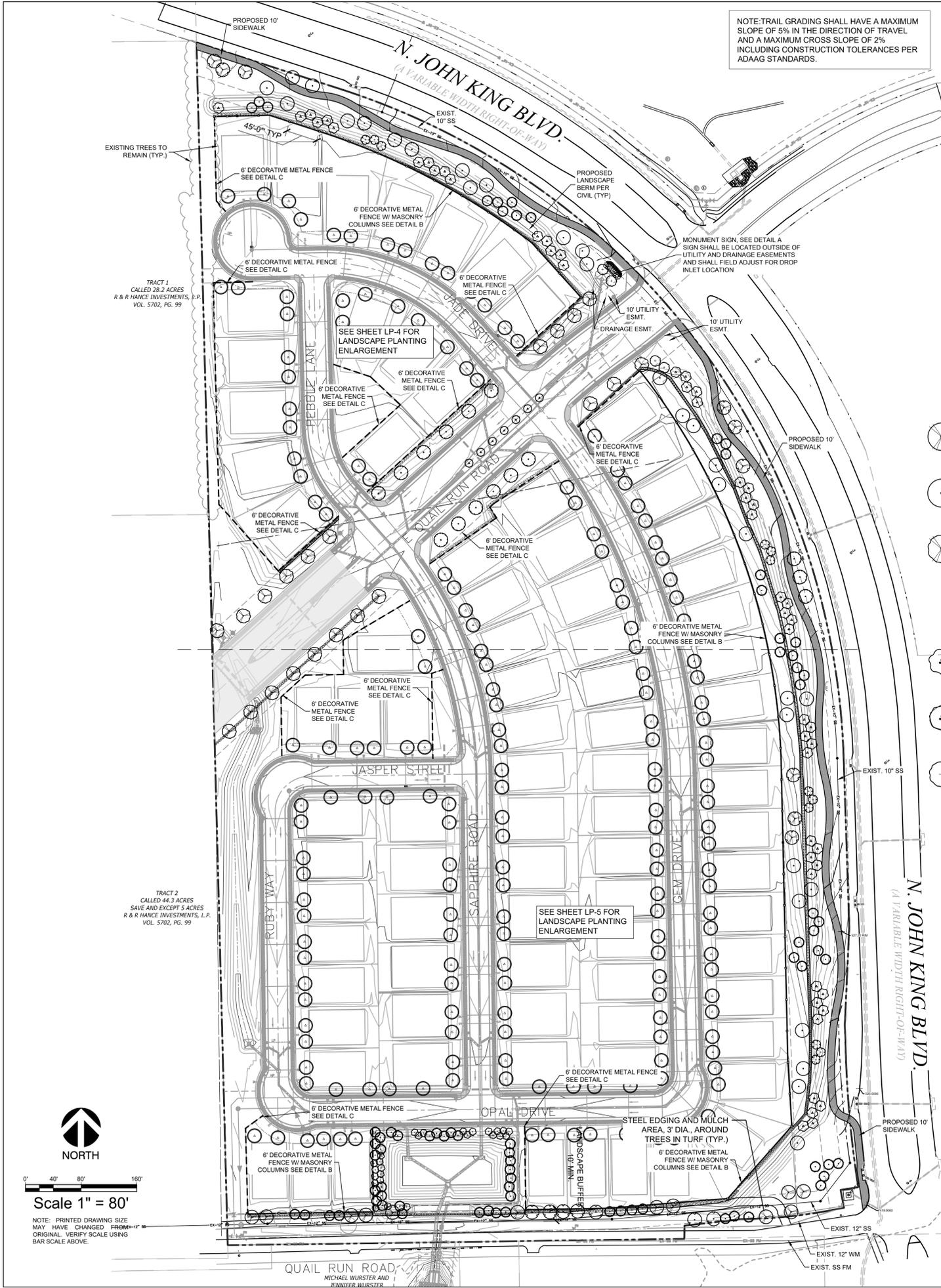
WITNESS OUR HANDS, this ____ day of ____, 2022

Planning & Zoning omission, chairman

Director of Planning and Zoning

PAPE-DAWSON ENGINEERS
FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
6500 WEST FWY, STE 700 | FORT WORTH, TX 76116 | 817.870.3668
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

PIERCE-MURRAY LAND SOLUTIONS
Engineering & Surveying
800 TALLYHO CIRCLE
FURCO, TEXAS 75053
(817) 239-5646
(800) 539-2256
TPLS FIRM REGISTRATION NO. 10194437



NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS

JOHN KING BOULEVARD	2,028 LF
FRONTAGE LENGTH:	61 TREES (3 PER 100 LF OF FRONTAGE)
CANOPY TREES REQUIRED:	61 TREES
CANOPY TREES PROVIDED:	82 TREES (4 PER 100 LF OF FRONTAGE)
UNDERSTORY TREES REQUIRED:	82 TREES
UNDERSTORY TREES PROVIDED:	82 TREES
SHRUBS REQUIRED:	CONTINUOUS HEDGE, 30"-48" IN HT
SHRUBS PROVIDED:	PROVIDED AS REQUIRED

E QUAIL RUN ROAD (NORTH SIDE)	721 LF
FRONTAGE LENGTH:	15 TREES (1 PER 50 LF OF FRONTAGE)
CANOPY TREES REQUIRED:	16 TREES
CANOPY TREES PROVIDED:	16 TREES
SHRUBS REQUIRED:	CONTINUOUS HEDGE, 30"-48" IN HT
SHRUBS PROVIDED:	PROVIDED AS REQUIRED

E QUAIL RUN ROAD (SOUTH SIDE)	794 LF
FRONTAGE LENGTH:	16 TREES (1 PER 50 LF OF FRONTAGE)
CANOPY TREES REQUIRED:	17 TREES
CANOPY TREES PROVIDED:	17 TREES
SHRUBS REQUIRED:	CONTINUOUS HEDGE, 30"-48" IN HT
SHRUBS PROVIDED:	PROVIDED AS REQUIRED

OLD E QUAIL RUN ROAD	958 LF
FRONTAGE LENGTH:	39 TREES (1 PER 25 LF OF FRONTAGE)
CANOPY TREES REQUIRED:	35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN
CANOPY TREES PROVIDED:	39 TREES
SHRUBS REQUIRED:	CONTINUOUS HEDGE, 30"-48" IN HT
SHRUBS PROVIDED:	PROVIDED AS REQUIRED

VICINITY MAP



EVERGREEN DESIGN GROUP
 (800) 680-6630
 1545 Dallas Pkwy., Ste 600
 Addison, TX 75001
 www.EvergreenDesignGroup.com

LANDSCAPE ARCHITECT
 STATE OF TEXAS

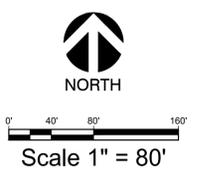
03/04/2022

UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
PC	18	PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
PO	12	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
QM	7	QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
QS	27	QUERCUS SHUMARDII	SHUMARD RED OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
TD	60	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
UC	21	ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
UP	9	ULMUS X 'HOMESTEAD'	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.	
UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
CM	15	CRATAEGUS MOLLIS	DOWNY HAWTHORNE	CONT.	3" CAL MIN	6'-8" HT	
CT	51	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 3" OVERALL	6'-8" HT MIN	
EVE	12	SOPHORA AFFINIS	EVE'S NECKLACE	CONT.	3" CAL MIN	6-8' HT.	
LI	7	LAGERSTROEMIA INDICA 'WATERMELON RED'	CRAPE MYRTLE	CONT.	3-5 CANES, 3" OVERALL	6'-8" HT MIN	
MP	25	PRUNUS MEXICANA	MEXICAN PLUM	CONT.	3" CAL MIN	MIN. 8' HT.	
VC	4	VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 3" OVERALL	6'-8" HT MIN	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE
BFH	108	ILEX CORNUTA 'BUFORDII'	BURFURD HOLLY	5 GAL	42" OC	30" HT MIN	
EE	220	ELAEGNUS X EBBINGEI	ELAEGANUS	5 GAL	48" OC	30" HT MIN	
HS	6	HIBISCUS SYRIACUS	ROSE OF SHARON	5 GAL	48" OC	30" HT MIN	
IN	93	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	5 GAL	48" OC	30" HT MIN	
LC	234	LORAPETULUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	36" OC	30" HT MIN	
NP	383	NERIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC	30" HT MIN	
RH	11	RAPHIOLEPSIS INDICA	INDIAN HAWTHORNE	5 GAL	36" OC	18" HT MIN	
RY	26	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC	18" HT MIN	
SR	73	SPIRAEA CANTONIENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC	30" HT MIN	



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

Owner
QUALICO COMMUNITIES
 6950 TPC DRIVE, SUITE 350
 MCKINNEY, TEXAS 75070

Project Name
Gideon Grove Phase 2
 John King Boulevard and E Quail Run Road
 Rockwall, TX

LANDSCAPE PLAN

Date	Comment

Project Number
 Date **08/04/2021**
 Drawn By **MNB**
 Checked By **MB/RM**

LP-1

PLANTING SPECIFICATIONS

- GENERAL**
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

- PRODUCTS**
- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINERED AND BALLED-AND-BURLAPPED PLANTS:**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POD-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY IN WRITING (BY EMAIL OR LETTER) OF ANY UNACCEPTABLE PLANTS. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
 - SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
 - TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
 - COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS; NOT EXCEEDING 0.5 PERCENT NITRAT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
 - FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
 - MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS TOP DRESSING OF TREES AND SHRUBS.
 - TREE STAKING AND GUYING
 - STAKES: 6" LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 61, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAINING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
 - STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE SOL-MET OR APPROVAL.
 - PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

- METHODS**
- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - PREPLANT TURF FERTILIZER (10-20-10) OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - IRON SULPHATE - 2 LBS. PER CU. YD.

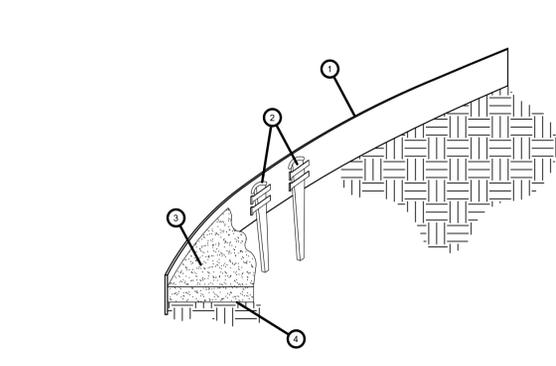
- B. GRADING AND PLANTING**
- 1. THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.**
- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.**
- b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.**
- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE REQUIRED TO ACCORD TO THE ROUGH GRADE PROVIDED. THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.**
- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.**
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.**
- f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.**
- 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.**

- B. SUBMITTALS**
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 - SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A PALER OR MEASURING STOCK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES, SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIE WIRING, AND LANDSCAPE FABRICS (IF ANY).
 - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - TRENCHING NEAR EXISTING TREES:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

- D. TREE PLANTING**
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE OR CONTAINER AND REMOVE ANY POTENTIALLY GROUNDING CABLES OR OTHER ROOT DEFECTS. THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE CRZ WITH TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT AN ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION TO THE ON-SITE SOIL.
 - TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1"-2" TREES: TWO STAKES PER TREE
 - 2 1/2"-4" TREES: THREE STAKES PER TREE
 - TREES OVER 4" CALIPER: GUY AS NEEDED
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.
 - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE WATERING BASIN WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING**
- DIG THE PLANTING HOLES TO A DEPTH 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- F. SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - LAY SOD WITHIN THE CRZ WITHIN THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- G. MULCH**
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS OR CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE**
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INSPECTOR FINDS WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- J. LANDSCAPE MAINTENANCE**
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND THE END OF ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOVING AND RELOCATION OF LAWN, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS.
 - THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 - SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
 - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO THE END OF THE MAINTENANCE PERIOD.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS SHALL BE TWELVE INCHES OR MORE RESEDDING (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- K. WARRANTY PERIOD, GUARANTEE AND REPLACEMENTS**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
 - PROVIDE A MINIMUM OF TWO COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

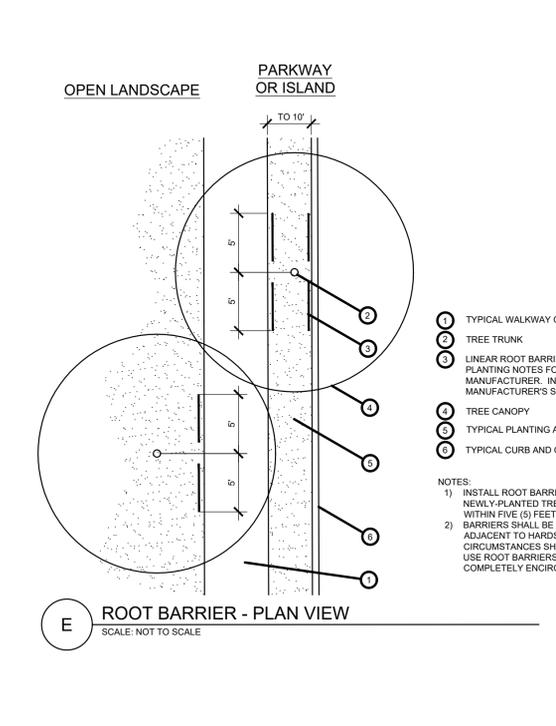
IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDS AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



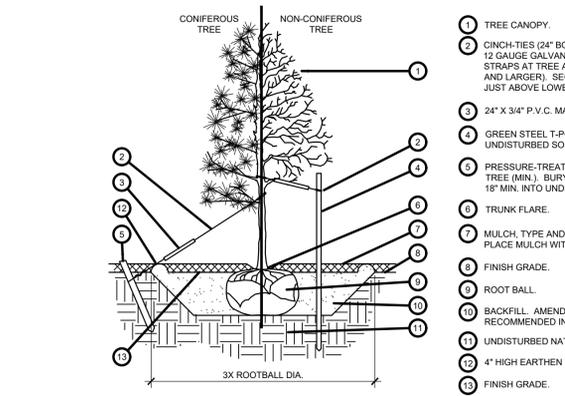
- 1** ROLLED-TOP STEEL EDGING PER PLANS.
2 TAPERED STEEL STAKES.
3 MULCH, TYPE AND DEPTH PER PLANS.
4 FINISH GRADE.
- NOTES:**
- INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 - BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 - TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING
 SCALE: NOT TO SCALE



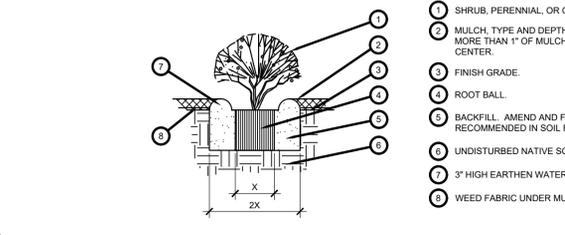
E ROOT BARRIER - PLAN VIEW
 SCALE: NOT TO SCALE

- GENERAL GRADING AND PLANTING NOTES**
- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
 - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED. THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - ALL PLANTING LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE OR REJECT ALL PLANTS DELIVERED TO THE JOB SITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
 - THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
 - SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

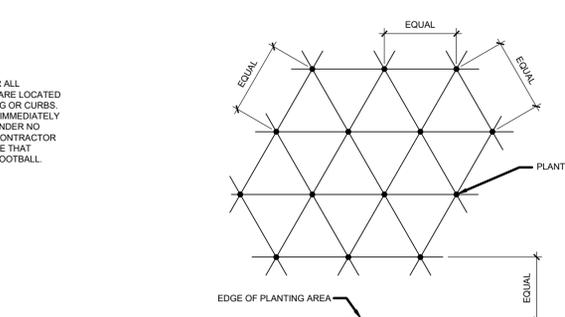


- 1** TREE CANOPY
2 60CH-TIES (2" BOX/2" CAL. TREES AND SMALLER) OR 1/2 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4 GREEN STEEL T-POSTS, EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN. 1" BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6 TRUNK FLARE.
7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8 FINISH GRADE.
9 ROOT BALL.
10 BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11 UNDISTURBED NATIVE SOIL.
12 4" HIGH EARTHEN WATERING BASIN.
13 FINISH GRADE.
- NOTES:**
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2" ABOVE FINISH GRADE.
 - FOR B&B TREES, CUT OFF 2" OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 - REMOVE ALL NURSERY STAKES AFTER PLANTING.
 - FOR TREES 36" BOX/2.5" CAL. BOR LARGER, REMOVE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
 - STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING
 SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING
 SCALE: NTS



C PLANT SPACING
 SCALE: NTS

NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
 TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
 ON A SOIL TEST, PER SPECIFICATIONS, AND THE FINISH GRADES TO BE ESTABLISHED.
 STEP 1: 100 SF / 1.95 = 51 PLANTS
 STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

EVERGREEN DESIGN GROUP

(800) 688-6630
 1545 Dallas Pkwy., Ste 600
 Addison, TX 75001
 www.EvergreenDesignGroup.com

LANDSCAPE ARCHITECT
 STATE OF TEXAS
 3613

03/04/2022

QUALICO COMMUNITIES
 6950 TPC DRIVE, SUITE 350
 MCKINNEY, TEXAS 75070

Project Number
 Date
 Drawn By
 Checked By

08/04/2021
 MNB
 MB/RM

LANDSCAPE DETAILS & SPECIFICATIONS

Date
 Comment

APPROVED:
 I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for said addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

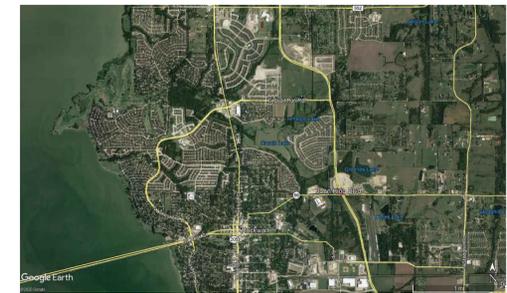
MAYOR, CITY OF ROCKWALL
 CITY SECRETARY
 CITY ENGINEER

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

LP-2

MATCHLINE - SEE SHEET LP-4

VICINITY MAP



EVERGREEN
DESIGN GROUP
(800) 688-6630
15455 Dallas Pkwy, Ste 600
Addicks, TX 75001
www.EvergreenDesignGroup.com



03/04/2022

QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Owner

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

Project Name

LANDSCAPE PLAN

Date Comment

Project Number

Date 08/04/2021

Drawn By MNB

Checked By MB/RM

LP-5

NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LOT TREE SCHEDULE

LOT TREES 184
TWO (2), THREE (3) INCH TREES MEASURED (6) INCHES ABOVE THE ROOT BALL SHALL BE PLACED IN THE FRONT YARD OF EACH LOT. CORNER LOTS SHALL PROVIDE AN ADDITIONAL (2) TREES IN THE SIDE YARD FACING THE STREET. TREES MUST BE PLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

TREES MUST BE SELECTED FROM THE FOLLOWING LIST:
BALD CYPRESS, CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACEBARK ELM, ALLEE ELM, CHINESE PISTACHE, SHUMARD OAK, SYCAMORE, BURR OAK, TEXAS REDBUD, EVE'S NECKLACE, MEXICAN PLUM, DOWNY HAWTHORNE, CRAPE MYRTLE, TEXAS MOUNTAIN LAUREL, VITEX, AND DESERT WILLOW



Scale 1" = 40'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

Planning & Zoning Commission, Chairman _____ Date _____

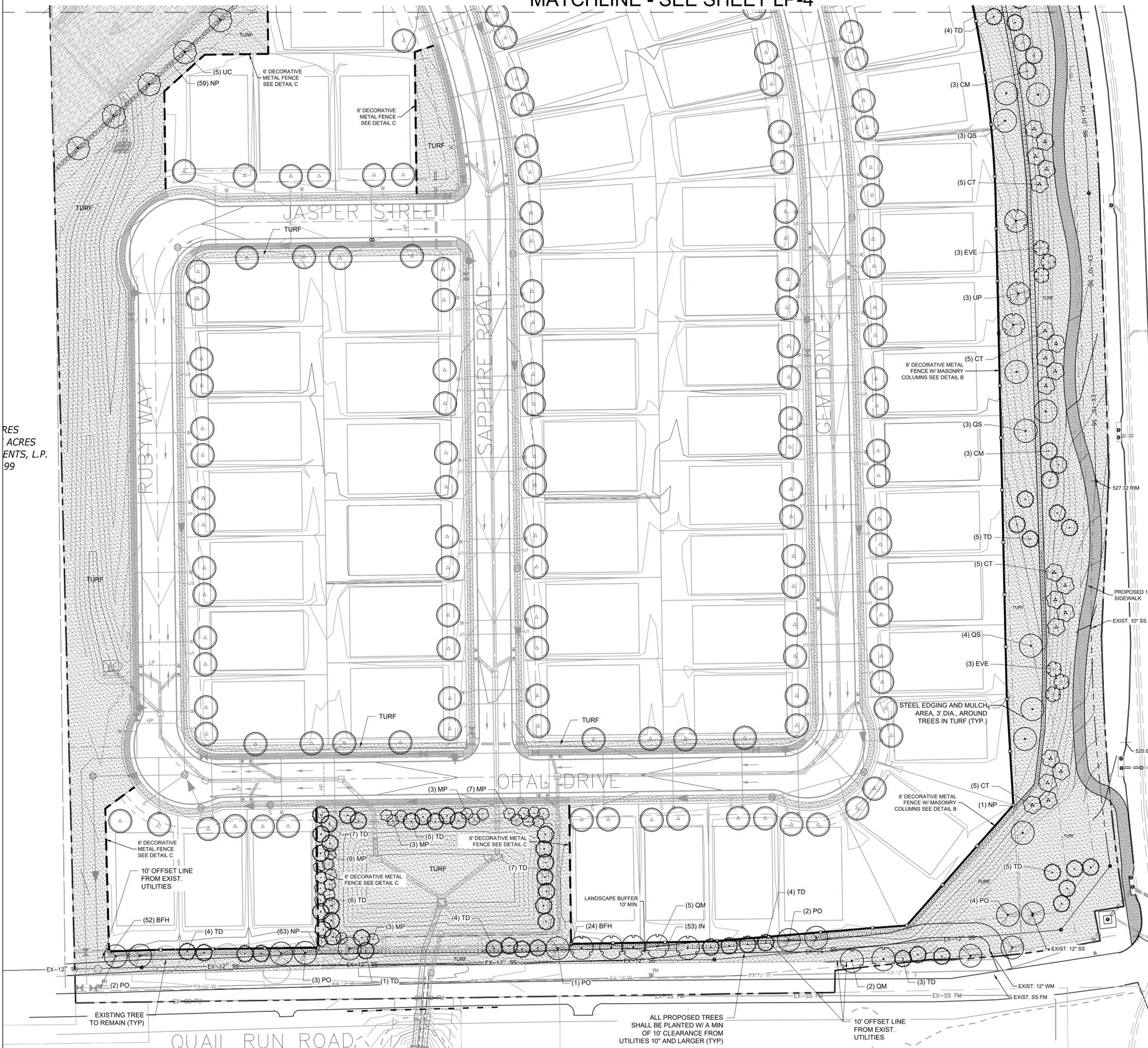
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WITNESS OUR HANDS, this _____ day of _____, 2022.

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

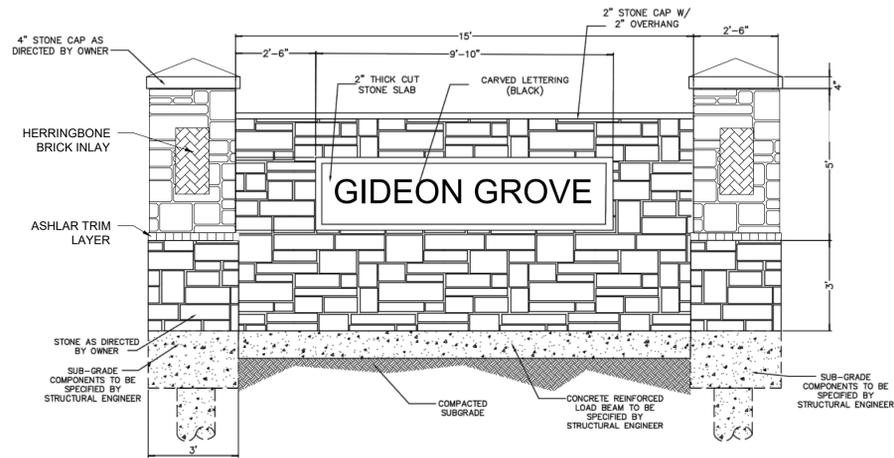


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MENTS, L.P.
99

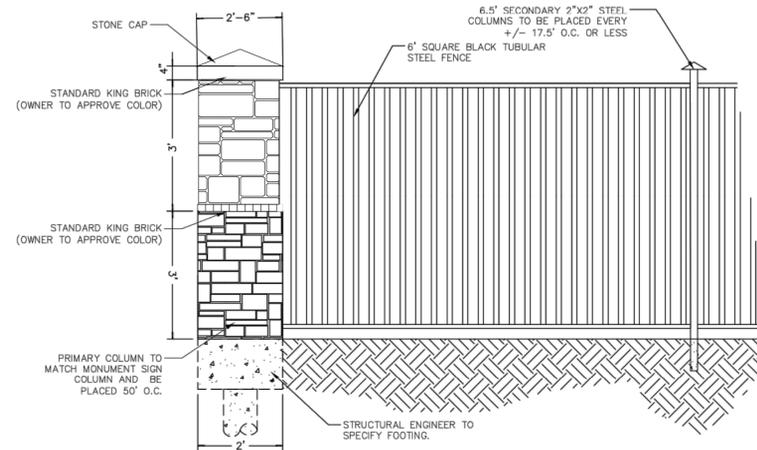
ALL PROPOSED TREES SHALL BE PLANTED W/ A MIN OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER (TYP)

10' OFFSET LINE FROM EXIST. UTILITIES

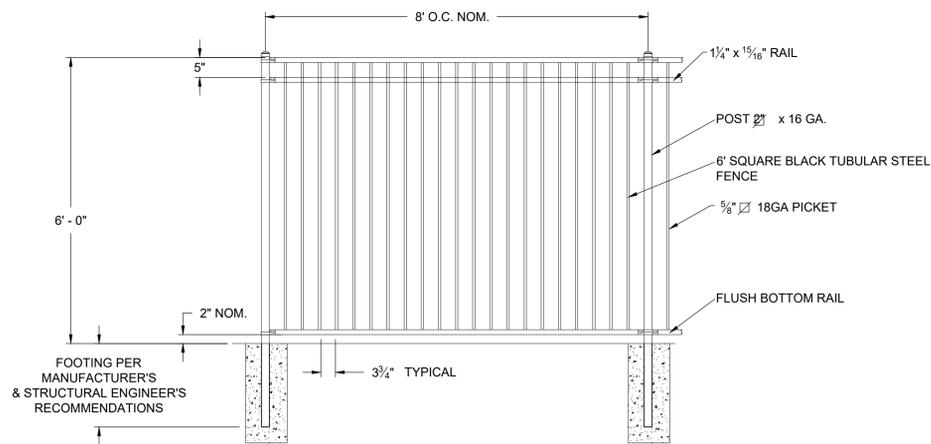
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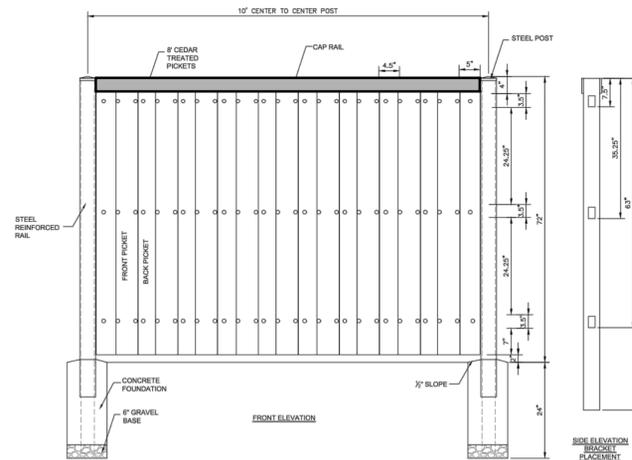
A MONUMENT SIGN DETAIL
NOT TO SCALE



B 6' DECORATIVE METAL FENCE WITH MASONRY COLUMN
NOT TO SCALE



C 6' DECORATIVE METAL FENCE
NOT TO SCALE



D 6' WOOD FENCE DETAIL
NOT TO SCALE

03/04/2022

Owner
QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE
DETAILS

Date Comment

Project Number

Date 08/04/2021

Drawn By MNB

Checked By MB/RM

LP-3

Planning & Zoning Commission, Chairman _____ Date _____

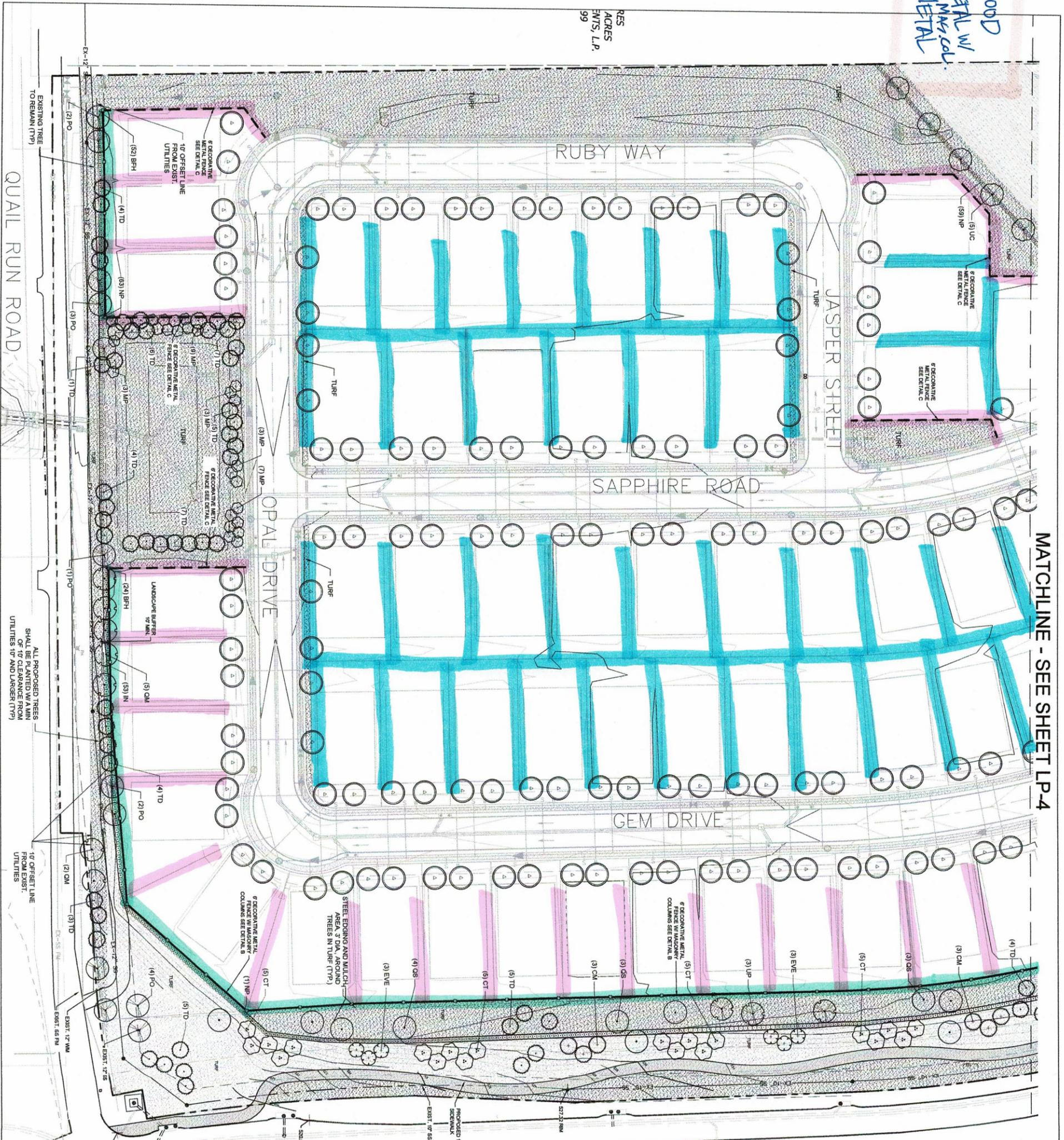
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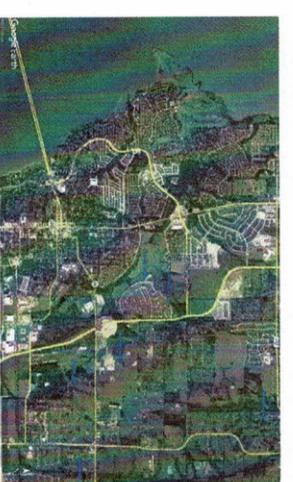
WITNESS OUR HANDS, this _____ day of _____, 2022.

MAYOR, CITY OF ROCKWALL _____ CITY SECRETARY _____ CITY ENGINEER _____

WOOD
METAL W/ MULCH
METAL



MATCHLINE - SEE SHEET LP-4



VICINITY MAP

UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS 4'-10" IN SIZE AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF FINE-TEXTURED PLANTING AREAS EXCEPT FOR TURF AND SEEDBED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. UNLESS OTHERWISE SPECIFIED, ALL MULCHES SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE GENERAL DRAWING AND PLANTING NOTES AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE CENTERED ON TREE ROOT PLANTING AREAS AND SHALL BE INSTALLED AT THE POINT OF ROOT ADJACENCY TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

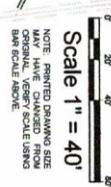
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LOT TREE SCHEDULE

LOT TREES
TWO (2), THREE (3) INCH TREES
MINIMUM 10' FROM FRONT YARD
FRONT YARD OF EACH LOT. CORNER
LOTS SHALL PROVIDE AN
ADDITIONAL (2) TREES IN THE SIDE
YARD FACING THE STREET. TREES
MUST BE PLACED PRIOR TO THE
ISSUANCE OF A CERTIFICATE OF
OCCUPANCY (CO).

TREES MUST BE SELECTED FROM THE
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HOMESTEAD ELM, LAGEBARK ELM, ALLEE ELM,
CHINESE PISTACHE, SHUWARD OAK,
SYCAMORE, BURR OAK, TEXAS REDBUD, EVE'S
HECKLAGE, MEXICAN PLUM, DOWNY
HAWTHORNE, GROPE WATTLE, TEXAS
MAGNOLIA, LAUREL, VINEA, AND DESERT
WILLOW

SEE SHEET LP-1 FOR FULL LANDSCAPE SCHEDULE



Planning & Zoning Commission, Chairman
Approved: _____ Date: _____
City of Rockwall, Texas
This approved plan and budgeting shall be an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.
This approved plan and budgeting shall be an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.
WITNESSED MY HAND, this _____ day of _____, 2022.

PROJECT NO.: SP2022-007 PRELIMINARY PLAN NO.: P2020-046
CITY ENGINEER
CITY SECRETARY
CITY CLERK

EVERGREEN DESIGN GROUP
15455 Dallas Parkway, Suite 600
Addicks, TX 75001
www.EvergreenDesignGroup.com

03/04/2022

Owner
QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Project Name
Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

LANDSCAPE PLAN

Date	Comment

Project Number: _____
Date: 08/04/2021
Drawn By: MNB
Checked By: MBR/CM

LP-5

Lee, Henry

From: Lee, Henry
Sent: Friday, February 25, 2022 2:59 PM
To: 'meredith@michaeljoyceproperties.com'
Subject: Project Comments SP2022-007
Attachments: Project Comments (02.25.2022).pdf; Engineering Mark-Ups (02.25.2022).pdf

Good Afternoon,

Attached are the project comments and engineering markups for Case No. SP2022-007. Please address these comments and have revisions returned to staff by March 7, 2022. The schedule for this case is as follows:

Planning and Zoning Commission Meeting Work Session Meeting: February 28, 2022
Planning and Zoning Commission Meeting: March 15, 2022

All meetings will be held at 6:00 PM in the City Council Chambers of City Hall at 385 S. Goliad Street. Please note that a representative will need to be present at all meetings for this case to be approved. If you have any additional questions please let me know.

Thank you,



HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

Lee, Henry

From: Lee, Henry
Sent: Monday, March 7, 2022 11:28 AM
To: 'meredith@michaeljoyceproperties.com'
Subject: SP2022-007 Revision Reminder
Attachments: Project Comments (02.25.2022).pdf; Engineering Mark-Ups (02.25.2022).pdf

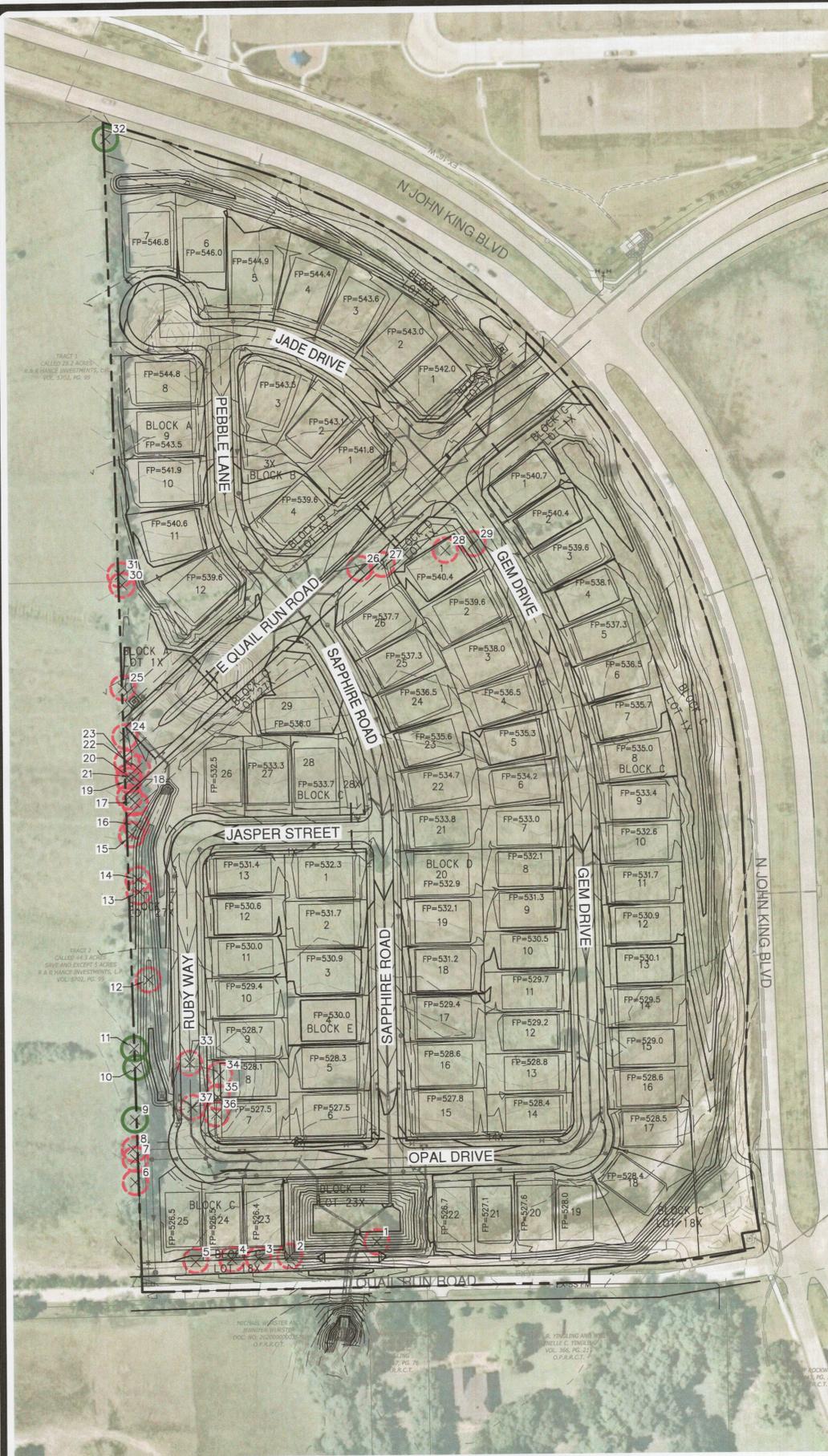
Good Morning,

This email serves as a reminder that I need revisions for your site plan case, SP2022-007. I have attached the project comments again for ease of access. The deadline for revised plans is today, however if I can get an update of where you are with revisions I can extend the deadline to tomorrow. Let me know if you have any questions.

Thank you,



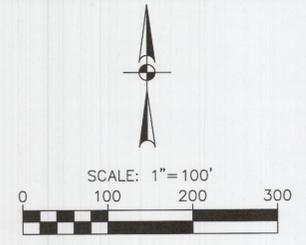
HENRY LEE
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087



EXISTING TREE INFORMATION

TREE #	CALIPER (IN)	TREE SPECIES	REMARKS	EXEMPTIONS	REQ. MITIGATION	MITIGATION INCHES
001	10	CEDAR ELM	TO BE REMOVED	SECONDARY PROTECTED	1": 1"	10
002	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
003	8	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
004	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
005	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
006	14	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	7
007	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	8
008	45	ASH	TO BE REMOVED	FEATURED PROTECTED	1": 2"	90
009	44	HACKBERRY	TO BE PRESERVED	FEATURED PROTECTED	NO CREDIT DUE TO SPECIES	0
010	12	CEDAR ELM	TO BE PRESERVED	SECONDARY PROTECTED	NO CREDIT DUE TO SIZE	0
011	24	HACKBERRY	TO BE PRESERVED	SECONDARY PROTECTED	NO CREDIT DUE TO SPECIES	0
012	8	WILLOW	TO BE PRESERVED	NOT PROTECTED	0	0
013	16	HACKBERRY	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	8
014	4	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
015	8	CEDAR ELM	TO BE REMOVED	NOT PROTECTED	0	0
016	8	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
017	8	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
018	7	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
019	4	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
020	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
021	4	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
022	4	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
023	20	PECAN	TO BE REMOVED	FEATURED PROTECTED	1": 1"	20
024	6	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
025	12	EASTERN RED CEDAR	TO BE REMOVED	SECONDARY PROTECTED	1": 0.5"	6
026	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
027	7	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
028	7	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
029	8	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
030	6	HACKBERRY	TO BE REMOVED	NOT PROTECTED	0	0
031	4	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
032	6	EASTERN RED CEDAR	TO BE REMOVED	NOT PROTECTED	0	0
033	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
034	20	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
035	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
036	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0
037	8	WILLOW	TO BE REMOVED	NOT PROTECTED	0	0

TOTAL EXISTING INCHES 426
 MITIGATION INCHES 173
 PRESERVED INCHES 0
 TOTAL REPLACEMENT INCHES 173
 TOTAL INCHES PLANTED PER LOT REQUIREMENTS 516 (343 EXCEEDED)

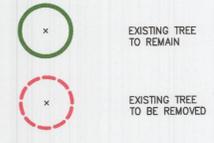


BENCHMARKS

BM NO. 1
 X-OUT SET IN CONCRETE LOCATED IN THE CENTER OF A CURB INLET IN THE SOUTHWESTERLY CURB LINE OF NORTH JOHN KING BOULEVARD AND BEING +/- 235' SOUTHWEST OF THE NORTHWEST CORNER OF THE SUBJECT TRACT AND +/- 535' NORTHWEST OF THE INTERSECTION OF N. JOHN KING BOULEVARD AND EAST QUAIL RUN ROAD. ELEV: 546.16'

BM NO. 2
 X-OUT SET IN CONCRETE LOCATED IN THE CENTER OF A CURB INLET IN THE WEST CURB LINE OF NORTH JOHN KING BOULEVARD AND BEING +/- 662' NORTH OF THE INTERSECTION NORTH JOHN KING BOULEVARD AND WEST QUAIL RUN ROAD AND +/- 723' SOUTHWEST OF THE INTERSECTION OF N. JOHN KING BOULEVARD AND EAST QUAIL RUN ROAD. ELEV: 530.38'

TREE LEGEND



TREE REQUIREMENT NOTE

REQUIRED TREE PLANTING:
 INTERIOR LOT - 82; 203'/EA; 492"
 CORNER LOT - 2; 403'/EA; 24"
 TOTAL LOT REPLACEMENT = 516"

UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF THE UTILITY INFORMATION ON THE PLANS. THE CONTRACTOR SHALL CONTACT A UTILITY LOCATING SERVICE 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND OF ALL EXISTING UTILITIES AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

RESPONSIBILITY NOTE

ALL RESPONSIBILITY FOR THE ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF DESIGN.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.

WITNESS OUR HANDS, this 23 day of March, 2022

[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning and Zoning

PAPE-DAWSON ENGINEERS
 FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
 6500 W FWY, STE 700 | FT. WORTH, TX 76102 | 817.870.3668
 TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

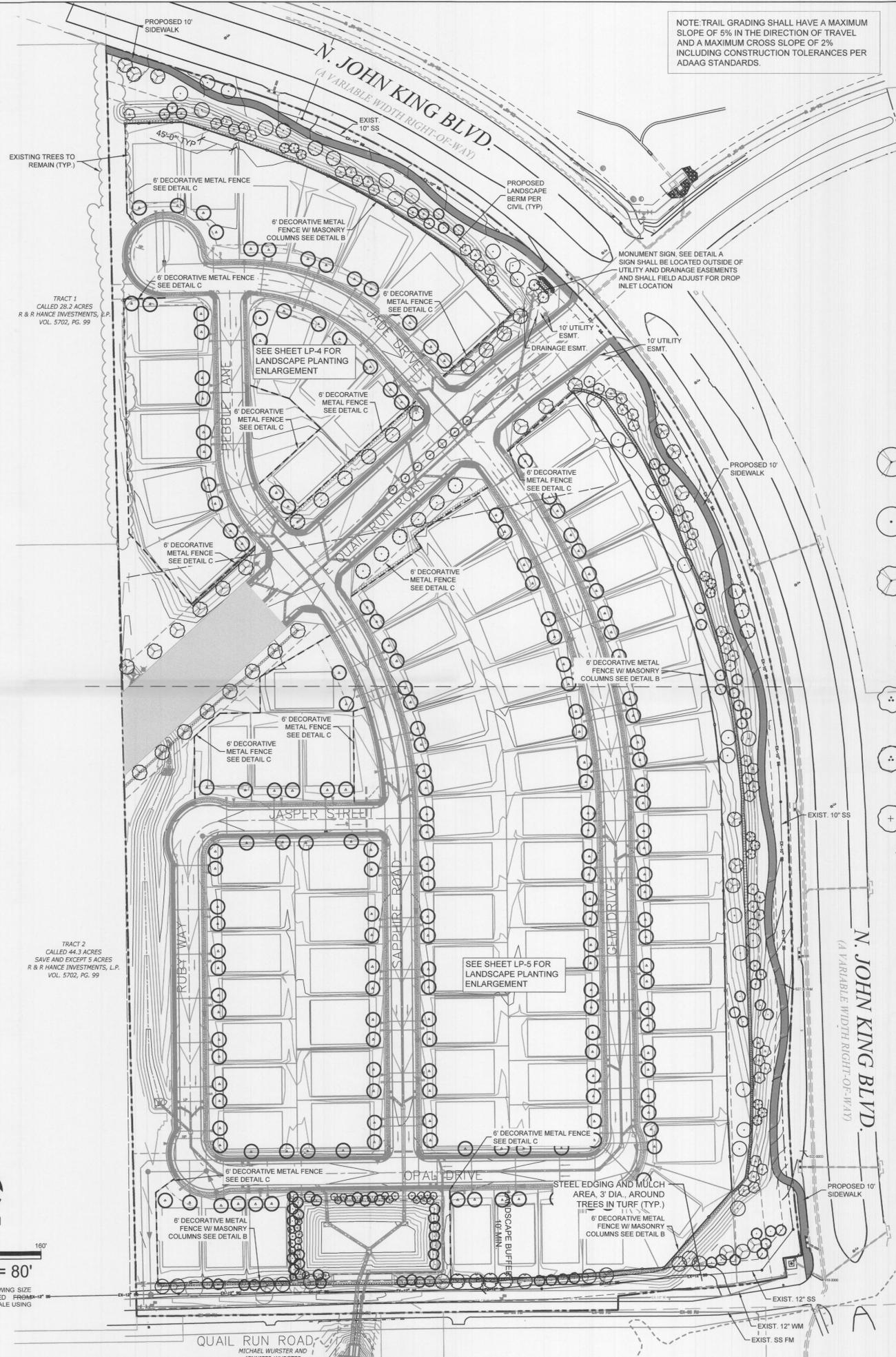
GIDEON GROVE - PHASE 2 TREESCAPE PLAN
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 LOTS 1-12, 4X, BLOCK A; LOTS 1-4, 1X, 3X, BLOCK B;
 LOTS 1-29, 1X, 18X, 23X, 27X, 28X, BLOCK C; LOTS 1-26,
 1X, 14X, BLOCK D; LOTS 1-13, 1X, 6X, BLOCK E

PLAT NO.	#
JOB NO.	6128300
DATE	April 21
DESIGNER	JZ
CHECKED	ASR DRAWN JZ
SHEET	01

SP2022-007

Date: Apr 15, 2021, 3:39pm User ID: lstephens
 File: S:\projects\6128300\2.0 Design\2.4 Civil\2.4.3 Plan Sheets\TREE-01-6128300.dwg

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL. AERIAL IMAGERY PROVIDED BY GOOGLE EARTH UNLESS OTHERWISE NOTED. Imagery © 2016, CAPSOL Digital Globe, Texas OrthoImagery Program, USDA Farm Service Agency.



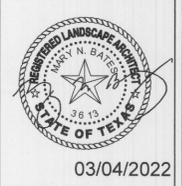
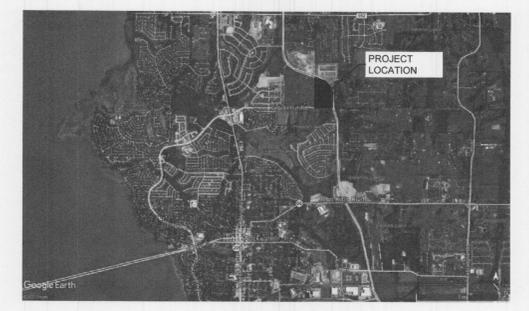
NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS

JOHN KING BOULEVARD FRONTAGE LENGTH: CANOPY TREES REQUIRED: CANOPY TREES PROVIDED: UNDERSTORY TREES REQUIRED: UNDERSTORY TREES PROVIDED: SHRUBS REQUIRED: SHRUBS PROVIDED:	2,028 LF 61 TREES (3 PER 100 LF OF FRONTAGE) 61 TREES 82 TREES (4 PER 100 LF OF FRONTAGE) 82 TREES CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED
E QUAIL RUN ROAD (NORTH SIDE) FRONTAGE LENGTH: CANOPY TREES REQUIRED: CANOPY TREES PROVIDED: SHRUBS REQUIRED: SHRUBS PROVIDED:	721 LF 15 TREES (1 PER 50 LF OF FRONTAGE) 16 TREES CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED
E QUAIL RUN ROAD (SOUTH SIDE) FRONTAGE LENGTH: CANOPY TREES REQUIRED: CANOPY TREES PROVIDED: SHRUBS REQUIRED: SHRUBS PROVIDED:	794 LF 16 TREES (1 PER 50 LF OF FRONTAGE) 17 TREES CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED
OLD E QUAIL RUN ROAD FRONTAGE LENGTH: CANOPY TREES REQUIRED: CANOPY TREES PROVIDED: SHRUBS REQUIRED: SHRUBS PROVIDED:	958 LF 39 TREES (1 PER 25 LF OF FRONTAGE) 35 PROPOSED TREES + 4 EXISTING TREES TO REMAIN CONTINUOUS HEDGE, 30"-48" IN HT PROVIDED AS REQUIRED

VICINITY MAP



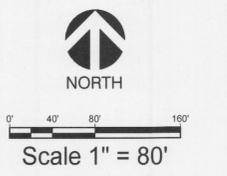
03/04/2022

Owner
QUALICO COMMUNITIES
 6950 TPC DRIVE, SUITE 350
 MCKINNEY, TEXAS 75070

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
PC	18		PISTACIA CHINENSIS	CHINESE PISTACHE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
PO	12		PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	CONT.	4" CAL MIN	10' - 12' HT. MIN.
QM	7		QUERCUS MACROCARPA	BURR OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
QS	27		QUERCUS SHUMARDII	SHUMARD RED OAK	CONT.	4" CAL MIN	10' - 12' HT. MIN.
TD	60		TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	4" CAL MIN	10' - 12' HT. MIN.
UC	21		ULMUS CRASSIFOLIA	CEDAR ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
UP	9		ULMUS X 'HOMESTEAD'	HOMESTEAD ELM	CONT.	4" CAL MIN	10' - 12' HT. MIN.
UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
CM	15		CRATAEGUS MOLLIS	DOWNY HAWTHORNE	CONT.	3" CAL MIN	6'-8" HT
CT	51		CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	CONT.	3-5 CANES, 3" OVERALL	6'-8" HT MIN
EVE	12		SOPHORA AFFINIS	EVE'S NECKLACE	CONT.	3" CAL MIN	6-8' HT.
LI	7		LAGERSTROEMIA INDICA 'WATERMELON RED'	CRAPE MYRTLE	CONT.	3-5 CANES, 3" OVERALL	6'-8" HT MIN
MP	25		PRUNUS MEXICANA	MEXICAN PLUM	CONT.	3" CAL MIN	MIN. 8' HT.
VC	4		VITEX AGNUS-CASTUS	CHASTE TREE	CONT.	3-5 CANES, 3" OVERALL	6'-8" HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
BFH	108		ILEX CORNUTA 'BUFORDII'	BURFURD HOLLY	5 GAL	42" OC	30" HT MIN
EE	220		ELAEAGNUS X EBBINGEI	ELAEAGNUS	5 GAL	48" OC	30" HT MIN
HS	6		HIBISCUS SYRIACUS	ROSE OF SHARON	5 GAL	48" OC	30" HT MIN
IN	93		ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	5 GAL	48" OC	30" HT MIN
LC	234		LORAPETULUM CHINENSIS	CHINESE FRINGE FLOWER	5 GAL	36" OC	30" HT MIN
NP	383		NERIUM OLEANDER 'PETITE PINK'	PETITE PINK OLEANDER	5 GAL	42" OC	30" HT MIN
RH	11		RAPHIOLEPSIS INDICA	INDIAN HAWTHORNE	5 GAL	36" OC	18" HT MIN
RY	26		HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	30" OC	18" HT MIN
SR	73		SPIRAEA CANTONIENSIS	BRIDAL VEIL SPIREA	5 GAL	48" OC	30" HT MIN

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
NATIVE		25,357 SF	NATIVE SEED	NATIVE TURF GRASS	HYDROMULCH
TURF		292,616 SF	CYNODON DACTYLON 'TIF 419'	BERMUDA GRASS	SOD



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.

WITNESS OUR HANDS, this 23 day of March, 2022.

Michael Wurster, Chairman
 Planning & Zoning Commission, Chairman

Billie, Director of Planning and Zoning

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

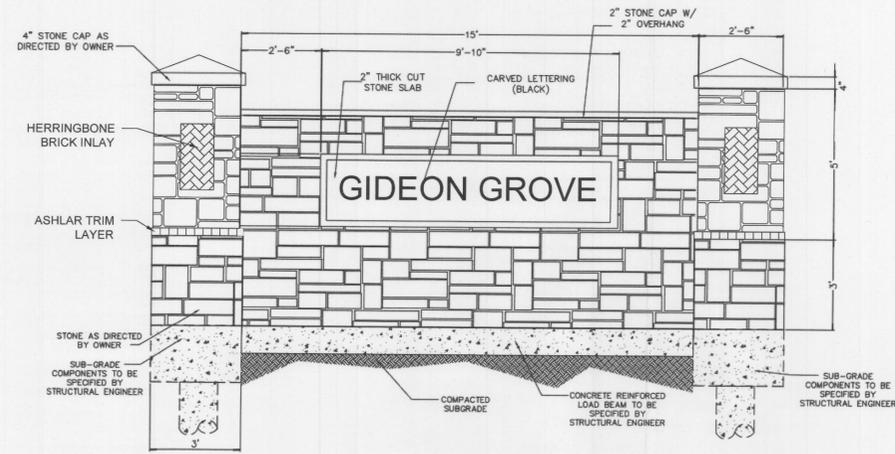
Project Name
Gideon Grove Phase 2
 John King Boulevard and E Quail Run Road
 Rockwall, TX

LANDSCAPE PLAN

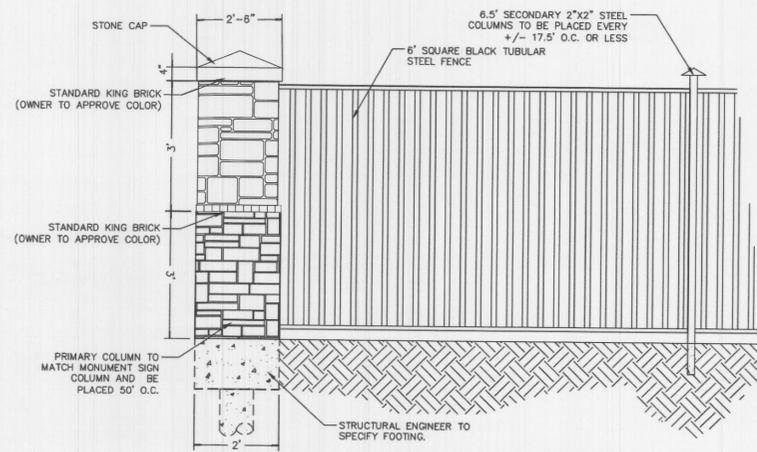
Date	Comment

Project Number
 Date 08/04/2021
 Drawn By MNB
 Checked By MB/RM

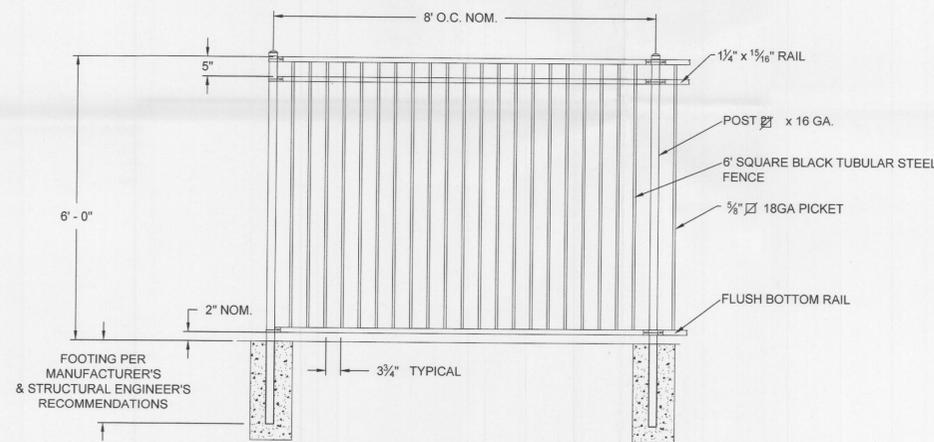
LP-1



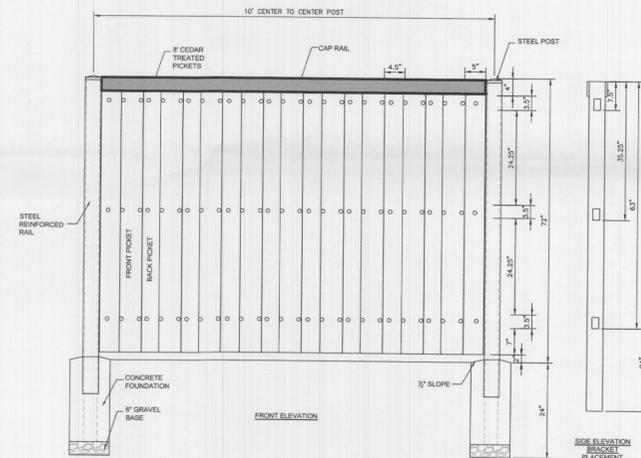
A MONUMENT SIGN DETAIL
NOT TO SCALE



B 6' DECORATIVE METAL FENCE WITH MASONRY COLUMN
NOT TO SCALE



C 6' DECORATIVE METAL FENCE
NOT TO SCALE



D 6' WOOD FENCE DETAIL
NOT TO SCALE

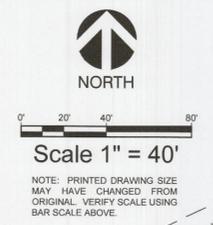
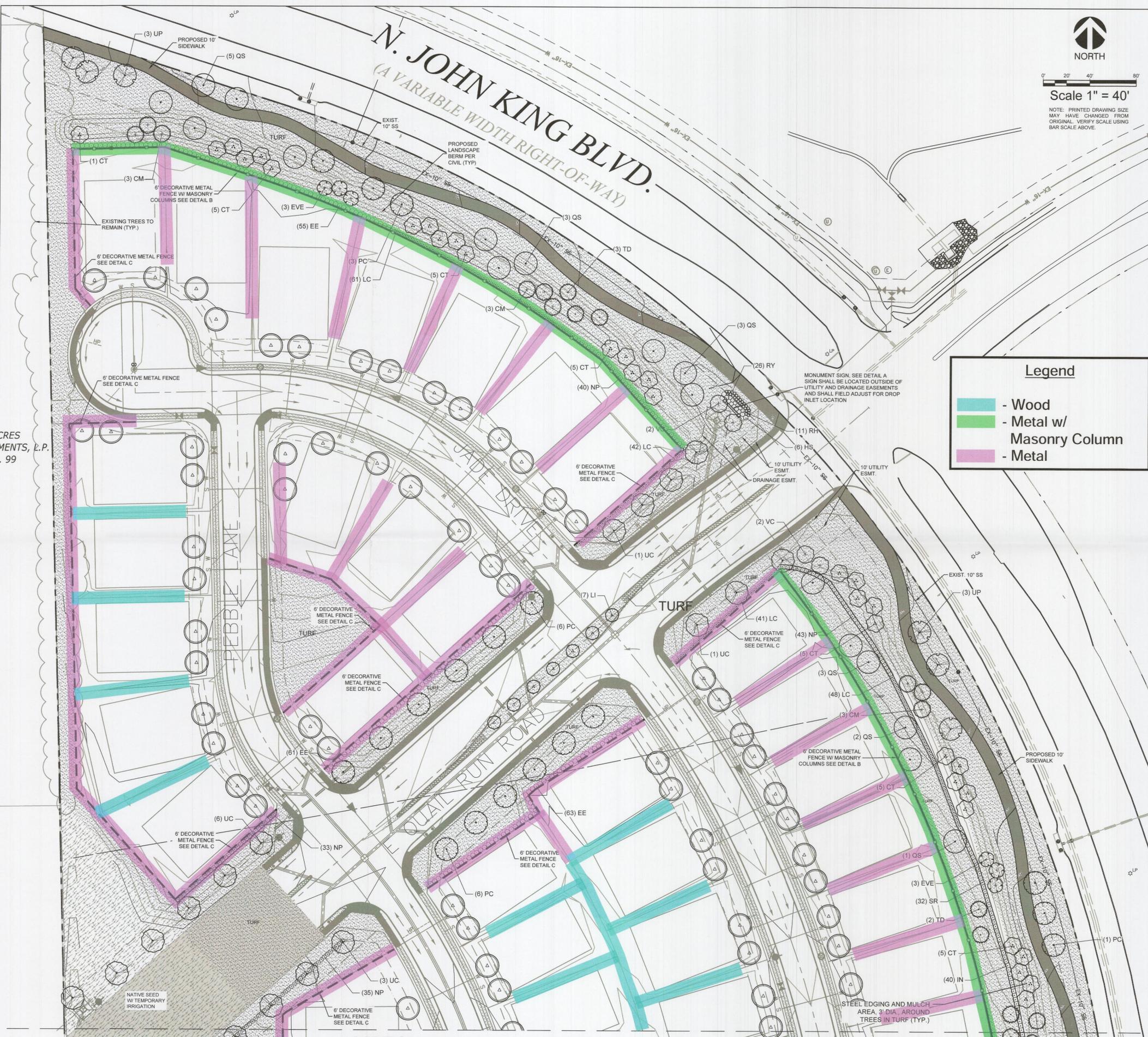
Date	Comment

APPROVED:
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WITNESS OUR HANDS, this 23 day of March, 2022.

[Signature]
Director of Planning and Zoning

[Signature]
Planning & Zoning Commission, Chairman



VICINITY MAP



EVERGREEN
DESIGN GROUP
1800 680-6630
15455 Dallas Pkwy., Ste. 600
Addison, TX 75001
www.EvergreenDesignGroup.com



03/04/2022

QUALICO COMMUNITIES
6950 TPC DRIVE, SUITE 350
MCKINNEY, TEXAS 75070

Owner

Gideon Grove Phase 2
John King Boulevard and E Quail Run Road
Rockwall, TX

Project Name

UTILITY CLEARANCE

ALL PROPOSED TREES SHALL BE PLANTED WITH A MINIMUM OF 5' CLEARANCE FROM ANY CITY UTILITY THAT IS <10" IN SIZE, AND WITH A MINIMUM OF 10' CLEARANCE FROM UTILITIES 10" AND LARGER.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL. NO TREES SHALL BE PLANTED WITHIN 5' OF ANY UTILITY THAT IS LESS THAN 10" IN DIAMETER AND 10' FROM ANY UTILITY THAT IS 10" AND LARGER.

NOTE: TRAIL GRADING SHALL HAVE A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% INCLUDING CONSTRUCTION TOLERANCES PER ADAAG STANDARDS.

Legend

- Wood
- Metal w/ Masonry Column
- Metal

LOT TREE SCHEDULE

LOT TREES 184

TWO (2), THREE (3) INCH TREES MEASURED (6) INCHES ABOVE THE ROOT BALL SHALL BE PLACED IN THE FRONT YARD OF EACH LOT. CORNER LOTS SHALL PROVIDE AN ADDITIONAL (2) TREES IN THE SIDE YARD FACING THE STREET. TREES MUST BE PLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

TREES MUST BE SELECTED FROM THE FOLLOWING LIST:
BALD CYPRESS, CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACEBARK ELM, ALLEE ELM, CHINESE PISTACHE, SHUMARD OAK, SYCAMORE, BURR OAK, TEXAS REDBUD, EVE'S NECKLACE, MEXICAN PLUM, DOWNY HAWTHORNE, CRAPE MYRTLE, TEXAS MOUNTAIN LAUREL, VITEX, AND DESERT WILLOW

SEE SHEET LP-1 FOR FULL LANDSCAPE SCHEDULE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 23 day of March, 2022.

WITNESS OUR HANDS, this 23 day of March, 2022.

[Signature]
Planning & Zoning Commission, Chairman

[Signature]
Director of Planning and Zoning

CASE NO.: SP2022-007 PRELIMINARY PLAT NO.: P2020-046

LANDSCAPE PLAN

Date	Comment

Project Number
Date 08/04/2021
Drawn By MNB
Checked By MB/RM

LP-4

CREMENTS, L.P.
99

MATCHLINE - SEE SHEET LP-5



March 18, 2022

TO: Meredith Joyce
Michael Joyce Properties
767 Justin Road
Rockwall, TX 75087

FROM: Henry Lee
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2022-007; *Site Plan for Gideon Grove Phase 2*

Meredith Joyce:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on March 15, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On March 15, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the site plan by a vote of 4-0, with the condition of providing staff a photometric plan, and with Commissioners Chodun, Thomas, and Conway absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,

A handwritten signature in black ink, appearing to read "Henry Lee", is written over a light blue horizontal line.

Henry Lee, *Planner*
City of Rockwall Planning and Zoning Department