



PLANNING AND ZONING CASE CHECKLIST

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET
ROCKWALL, TX 75087

P&Z CASE # SP2022-039 P&Z DATE August 9, 2022 CC DATE N/A Approved/Denied

ARCHITECTURAL REVIEW BOARD DATE August 9, 2022 HPAB DATE N/A PARK BOARD DATE N/A

Zoning Application

- Specific Use Permit
- Zoning Change
- PD Concept Plan
- PD Development Plan

Site Plan Application

- Site Plan
- Landscape Plan
- Treescape Plan
- Photometric Plan
- Building Elevations
- Material Samples
- Color Rendering

Platting Application

- Master Plat
- Preliminary Plat
- Final Plat
- Replat
- Administrative/Minor Plat
- Vacation Plat
- Landscape Plan
- Treescape Plan

HPAB Application

- Exhibit

Miscellaneous Application

- Variance/Exception Request

- Copy of Ordinance (ORD#_____)
- Applications
- Receipt
- Location Map
- HOA Map
- PON Map
- FLU Map
- Newspaper Public Notice
- 500-foot Buffer Public Notice
- Project Review
- Staff Report
- Correspondence
- Copy-all Plans Required
- Copy-Mark-Ups
- City Council Minutes – Laserfiche
- Minutes-Laserfiche
- Plat Filled Date _____
 - Cabinet # _____
 - Slide # _____

Notes: _____

Zoning Map Updated _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION **Town Place Marriott Addition**

LOT **3**

BLOCK **B**

GENERAL LOCATION **NWC I-30 & Greencrest Boulevard**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Undeveloped**

PROPOSED ZONING **Commercial**

PROPOSED USE

ACREAGE **1.93**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **2**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Texas RTG Patio Partners-II LLC**

APPLICANT **DEC**

CONTACT PERSON **Nicholas Roth**

CONTACT PERSON **Daniel Stewart**

ADDRESS **4004 Summit Boulevard NE
Suite 600**

ADDRESS **5300 Town & Country Boulevard
Suite 150**

CITY, STATE & ZIP **Atlanta, Georgia 30319**

CITY, STATE & ZIP **Frisco Texas 75034**

PHONE **678-338-4545**

PHONE **469-850-0060**

E-MAIL **nroth@roomstogo.com**

E-MAIL **dstewart@dec-en.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Peter Weitzner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 288.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF July, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF July, 2022.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF GEORGIA





DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- PLAT TYPE.
 - MINOR/AMENDING PLAT.
 - MASTER PLAT.
 - PRELIMINARY PLAT.
 - FINAL PLAT.
 - REPLAT.
 - VACATION PLAT.

Staff requires two (2), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
 - ONE (1) PDF COPY OF THE PLAT
 - ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- TREESCAPE PLAN [IF APPLICABLE].
- LANDSCAPE PLAN [IF APPLICABLE].
- APPLICATION AND APPLICATION FEE.

SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- PLAN SET. A plan set is composed of the following items (failure to submit all of the items required shall constitute an incomplete application):
 - SITE PLAN.
 - LANDSCAPE PLAN.
 - TREESCAPE PLAN.
 - PHOTOMETRIC PLAN.
 - BUILDING ELEVATIONS.

Staff requires the submittal of two (2) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- PHYSICAL BUILDING MATERIAL SAMPLE BOARD (11" x 17"). See the *Material Sample Board Design Guidelines* in this development packet. Individual material samples or sample boards that are larger than 11" x 17" will not be accepted.
- VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires two (2), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.

ABBREVIATIONS

BFR	BARRIER FREE RAMP
CI	CURB INLET
CP	CONCRETE PAVEMENT
ESMT	EASEMENT
EV	ELECTRIC VAULT
EX	EXISTING
EXIST	EXISTING
FH	FIRE HYDRANT
GI	GRATE INLET
HDWL	HEADWALL
MH	MANHOLE
PP	POWER POLE
PVMT	PAVEMENT
R	RADIUS
ROW	RIGHT OF WAY
SF	SQUARE FEET
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SQ	SQUARE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TCM	TELECOMMUNICATIONS MARKER
TCP	TELECOMMUNICATIONS PEDESTAL
TCV	TELECOMMUNICATIONS VAULT
TMH	TELECOMMUNICATIONS MANHOLE
WM	WATER METER
WMH	WATER MANHOLE
WS	WATER SERVICE
WTR	WATER

LOT 2 BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 20190000019144
OWNER: GREENCREST TPS HOTEL, LP

LOT 1, BLOCK A
TEXAS ROADHOUSE ADDITION
DOC. NO. 20180000006790
OWNER: ROADHOUSE ENTERPRISES, INC.

LOT 1, BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 20190000019144
OWNER: ROCKWALL RENTAL PROPERTIES, LP

LOT 2
2.40 AC.
104,565 SF

ROOMS TO GO PATIO
11,896 SF
LOT 1
1.93 AC.
84,194 SF

	EXISTING	PROPOSED
PROPERTY LINE		
BUILDING		
CURB		
STORM DRAIN		
STORM DRAIN MANHOLE/JUNCTION BOX		
CURB INLET		
GRATE INLET		
WATER LINE		
FIRE HYDRANT		
WATER METER BOX		
WATER VALVE		
SANITARY SEWER LINE		
SANITARY SEWER MANHOLE		
POWER POLE		
UNDERGROUND UTILITY MARKER		
UNDERGROUND TELECOM LINE		
UNDERGROUND ELECTRIC LINE		
UNDERGROUND GAS LINE		
OVERHEAD LINE		
GAS METER		
ACCESSIBLE PARKING		
SIGN		

- DIMENSION CONTROL GENERAL NOTES**
- BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY EAGLE SURVEYING, DATED 07/05/2022.
 - PROPERTY LINES & EASEMENTS: REFER TO THE TOPOGRAPHIC SURVEY TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
 - DIMENSION CONTROL: ALL PAVING DIMENSIONS AND COORDINATES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
 - CURB RADII: ALL CURB RADII SHALL BE TWO FEET (2') AT THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS: REFER TO THE BUILDING PLANS FOR EXACT BUILDING DIMENSIONS.

L= 22.04'
R= 415.00'
= 003°02'37"
CL= 22.04'
CB= N81°36'37"W

L= 174.44'
R= 485.00'
= 020°36'27"
CL= 173.50'
CB= N73°10'49"W

L= 153.72'
R= 3669.86'
= 002°24'00"
CL= 153.71'
CB= S50°34'06"W

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE		
BUILDING		
CURB		
STORM DRAIN		
STORM DRAIN MANHOLE/JUNCTION BOX		
CURB INLET		
GRATE INLET		
WATER LINE		
FIRE HYDRANT		
WATER METER BOX		
WATER VALVE		
SANITARY SEWER LINE		
SANITARY SEWER MANHOLE		
POWER POLE		
UNDERGROUND UTILITY MARKER		
UNDERGROUND TELECOM LINE		
UNDERGROUND ELECTRIC LINE		
UNDERGROUND GAS LINE		
OVERHEAD LINE		
GAS METER		
ACCESSIBLE PARKING		
SIGN		

PAVEMENT LEGEND

	EXISTING CONCRETE PAVEMENT
	4' REINFORCED CONCRETE SIDEWALK
	5' REINFORCED CONCRETE PAVEMENT (5' CP)
	6' REINFORCED CONCRETE PAVEMENT (6' CP)
	7' REINFORCED CONCRETE PAVEMENT (7' CP)

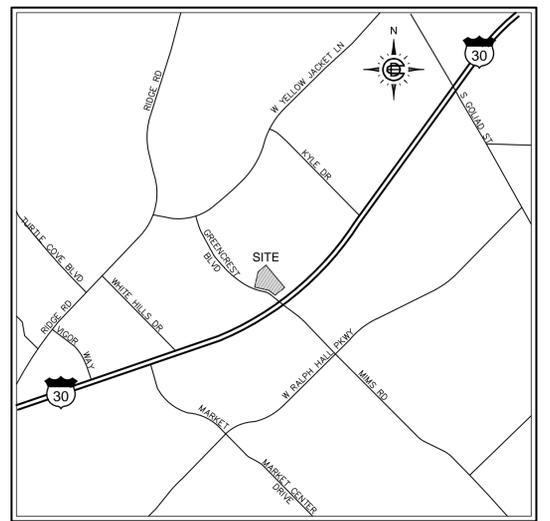
SITE DATA

LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	
9'x18'	48 SPACES
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84194 SQ. FT.

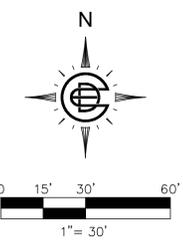
APPROVED
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022
WITNESS OUR HANDS, THIS _____ DAY OF _____, 2022
Planning & Zoning Commission, Chairman Director of Planning & Zoning

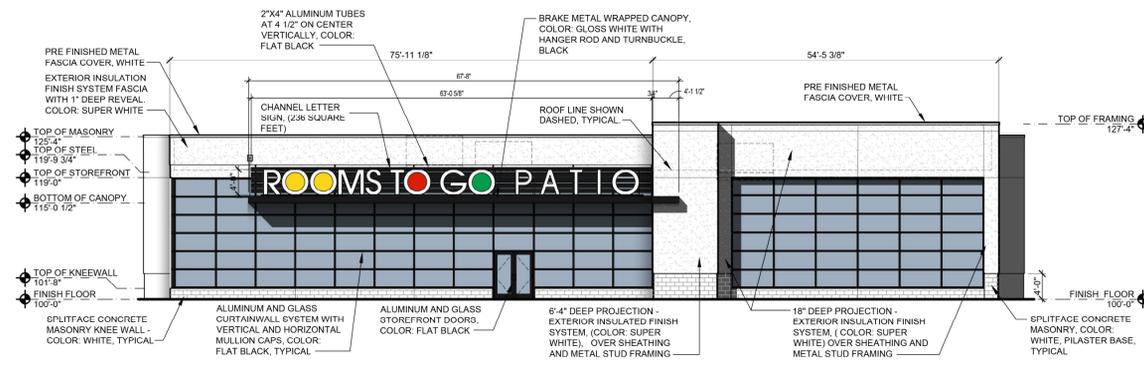
CITY OF ROCKWALL CASE NO.:

SITE PLAN	
ROOMS TO GO PATIO	
NWC E. IH30 & GREENCREST BOULEVARD	
CITY OF ROCKWALL, TEXAS	
<p>OWNER/DEVELOPER TEXAS RTG PATIO PARTNERS-II, LLC 4004 SUMMIT BOULEVARD NE, SUITE 600 ATLANTA, GEORGIA 30319 CONTACT: NICHOLAS ROTH PHONE: (678) 338-4545 EMAIL: nroth@roomstogo.com</p>	
<p>DESIGN 5300 TOWN & COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-850-0060 TBP# FIRM NO. F-20255</p>	
<p>ENGINEER/APPLICANT DEC, LLP 5300 TOWN & COUNTRY BLVD, SUITE 150 FRISCO, TEXAS, 75034 CONTACT: DANIEL STEWART, P.E. PHONE: (469) 850-0060 EMAIL: dstewart@dec-llp.com</p>	
ISSUE DATE	DEC FILE NO.
07/15/22	10046
CITY FILE NO.	SHEET NO.
-	1



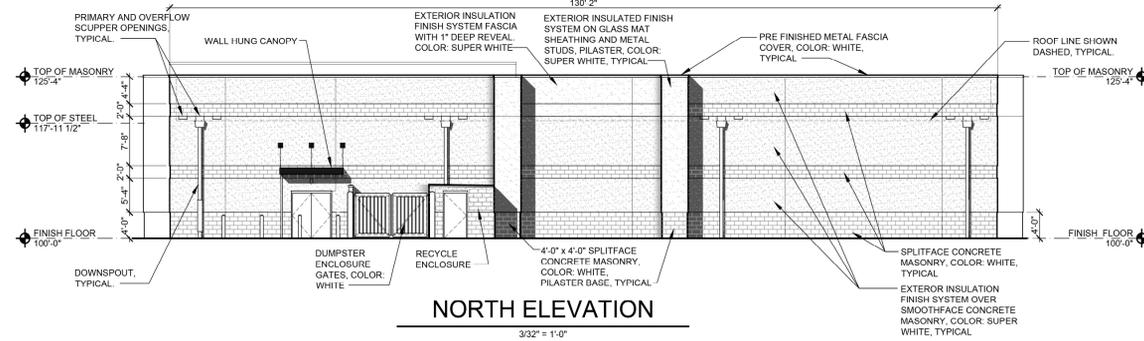
VICINITY MAP
N.T.S.





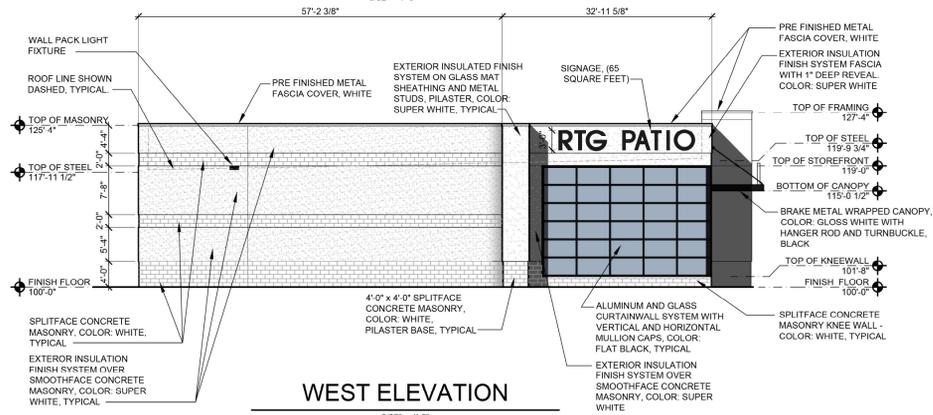
SOUTH ELEVATION

3/32" = 1'-0"



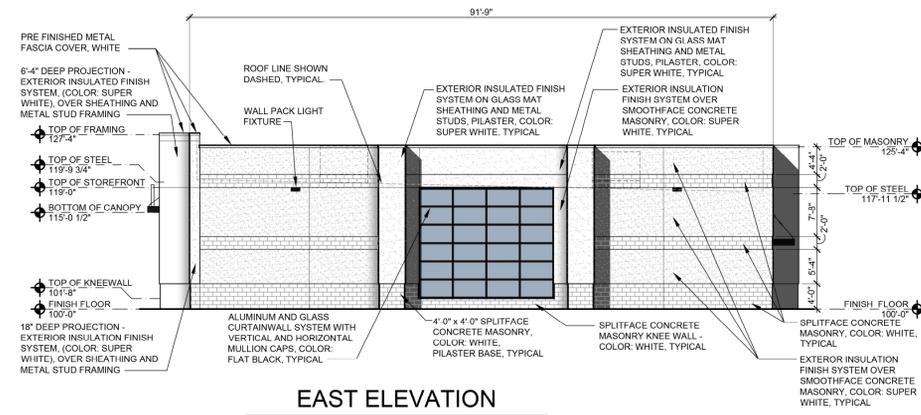
NORTH ELEVATION

3/32" = 1'-0"



WEST ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

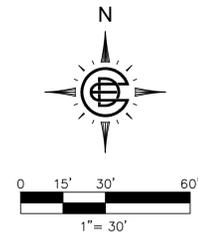
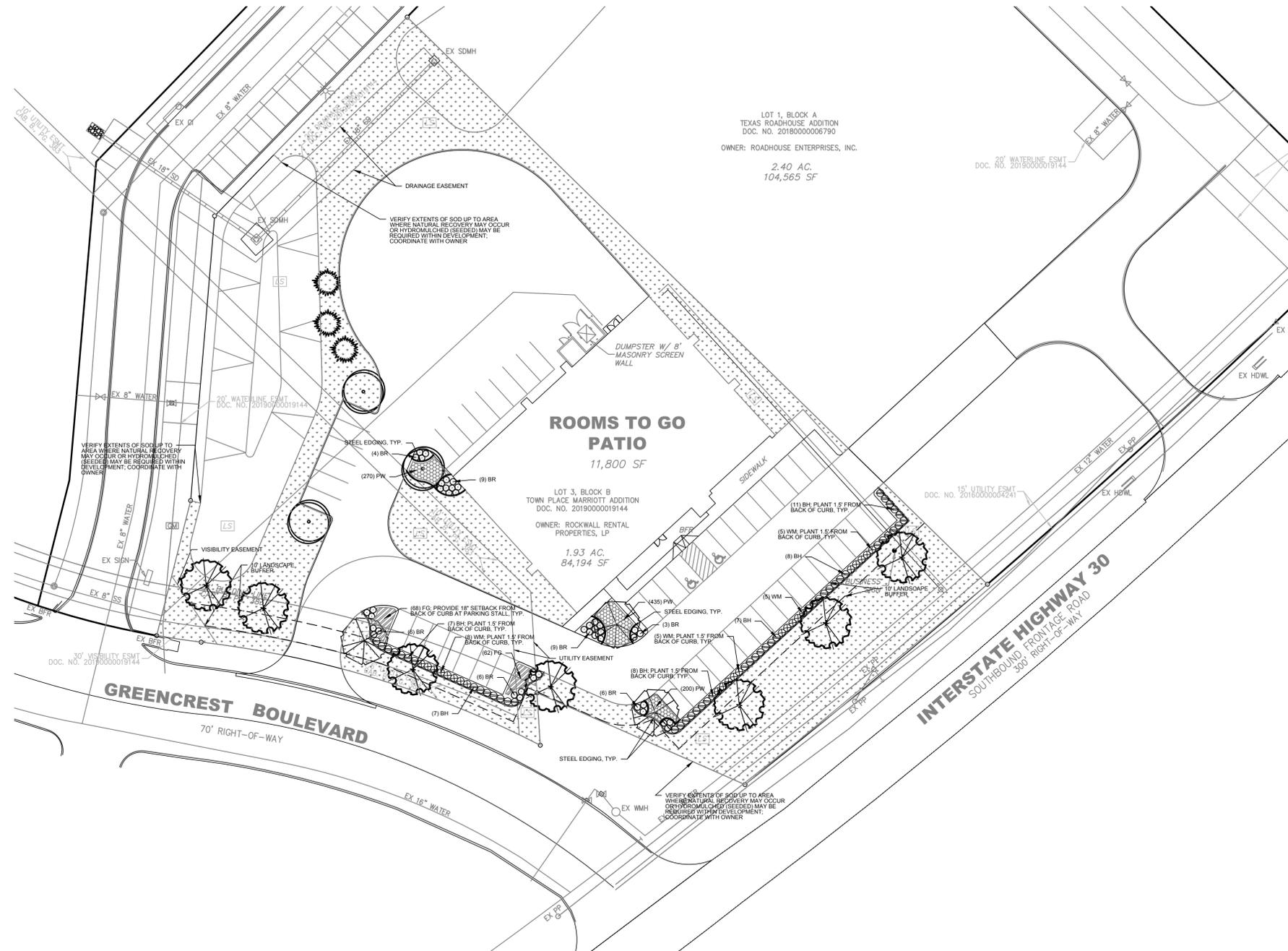
MATERIAL	FINISHES
SPLIT FACE CONCRETE MASONRY UNIT, PILASTERS, KNEE WALL, AND DUMPSTER SCREEN WALL	8" HIGH INTEGRALLY COLORED SPLIT-FACE CONCRETE MASONRY UNITS APPLY WATER REPELLENT (REFER SPECIFICATION 09900), MANUFACTURERS: (ADAMS OLD CASTLE) COLOR: #6021 OR APPROVED EQUAL
EXTERIOR INSULATION FINISH SYSTEM ON SMOOTHFACE CONCRETE MASONRY BANDS	DRYVIT SYSTEM "SANDPEBBLE", COLOR: #101 SUPER WHITE
EXTERIOR INSULATION FINISH SYSTEM FASCIA, PILASTERS AND FIELD	DRYVIT SYSTEM "SANDPEBBLE" FINE", COLOR: #101 SUPER WHITE
PRE FINISHED METAL COPING AND FASCIA COVER	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
CURTAINWALL MULLIONS AND ENTRY DOORS	KYNAR FINISH - BLACK ON EXTERIOR AND INTERIOR
PREFINISHED METAL ROOF AT RECYCLE AREA	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
WALL HUNG CANOPY	ALL EXPOSED COMPONENTS FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
ALUMINUM SOFFIT PANEL	NON - VENTED ALUMINUM SOFFIT PANEL, COLOR - PRE-FINISHED TO MATCH CANOPY WHITE

CASCO

12 SUNNEN DR. SUITE. 100
ST. LOUIS, MO 63143
ARCHITECTS/ENGINEERS
314-821-1100

**ROOMS
TO GO**

ROCKWALL, TEXAS
7/7/2022



SITE DATA	
LOT AREA:	4.33 ACRES
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,800 SQ. FT.
FLOOR/AREA RATIO:	0.06
PARKING REQUIRED:	
9'x18'	46 SPACES (1/250)
ACCESSIBLE	2 SPACES
TOTAL	48 SPACES
PARKING PROVIDED:	
9'x18'	48 SPACES (1/246)
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES

SITE REQUIREMENTS

REQUIRED SITE:
15% OF TOTAL AREA TO BE DEVELOPED SHALL BE LANDSCAPED =

PROVIDED SITE:
>15% OF TOTAL AREA LANDSCAPED = +/- 32,000 SF

INTERIOR PARKING LOT LANDSCAPE

REQUIRED SITE:
PARKING AND MANEUVERING GREATER THAN 20,000 SF:
1 TREE REQUIRED PER 10 PARKING SPACES

PROVIDED SITE:
5 TREES PROVIDED FOR 52 PARKING SPACES
NO SITE CREDITS WERE USED IN CALCULATIONS

GENERAL NOTES

- REFERENCE SHEET L1.3 FOR PLANTING DETAILS.
- AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
- REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
- COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
- CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
- QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
- CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

LANDSCAPE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
SHRUBS/ORNAMENTAL PLANTS				
⊕	23 EA	DWARF WAX MYRTLE (WM)	<i>Myrica cerifera 'pusilla'</i>	5 gal., 12"-15" ht. x 8"-10" sp., full
⊗	48 EA	DWARF BURFORD HOLLY (BH)	<i>Ilex cornuta 'Burfordii nana'</i>	5 gal., 12"-15" ht. x 8"-10" sp., full
⊙	43 EA	BARBERRY (BR)	<i>Berberis thunbergii 'Crimson Pygmy'</i>	5 gal., 10"-12" ht. x 10"-12" sp.,
ORNAMENTAL GRASS AND GROUNDCOVER				
▨	130 EA	MEXICAN FEATHERGRASS (FG)	<i>Nassella tenuissima</i>	1 gal., heavily rooted, full, 15" o.c. spacing
▩	905 EA	PURPLE WINTERCREEPER (PW)	<i>Euonymus fortunei 'coloratus'</i>	4" pots, 1"-2" ht. x 6"-8" sp, 8" o.c. spacing
TURF AND AGGREGATE				
▽	+/-26,044 SF	BERMUDAGRASS	<i>Cynodon dactylon</i>	sod, full

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.

CROSS TIMBERS STUDIO
 CROSS TIMBERS STUDIO
 CLIFTON HALL, ASLA
 GRANDVIEW, TX 76050
 PH: 972-896-1900
 TBAE REG. NUMBER: BR 3558

#	MM/DD/YY	TEXT	REVISIONS
REV	DATE	REMARKS	

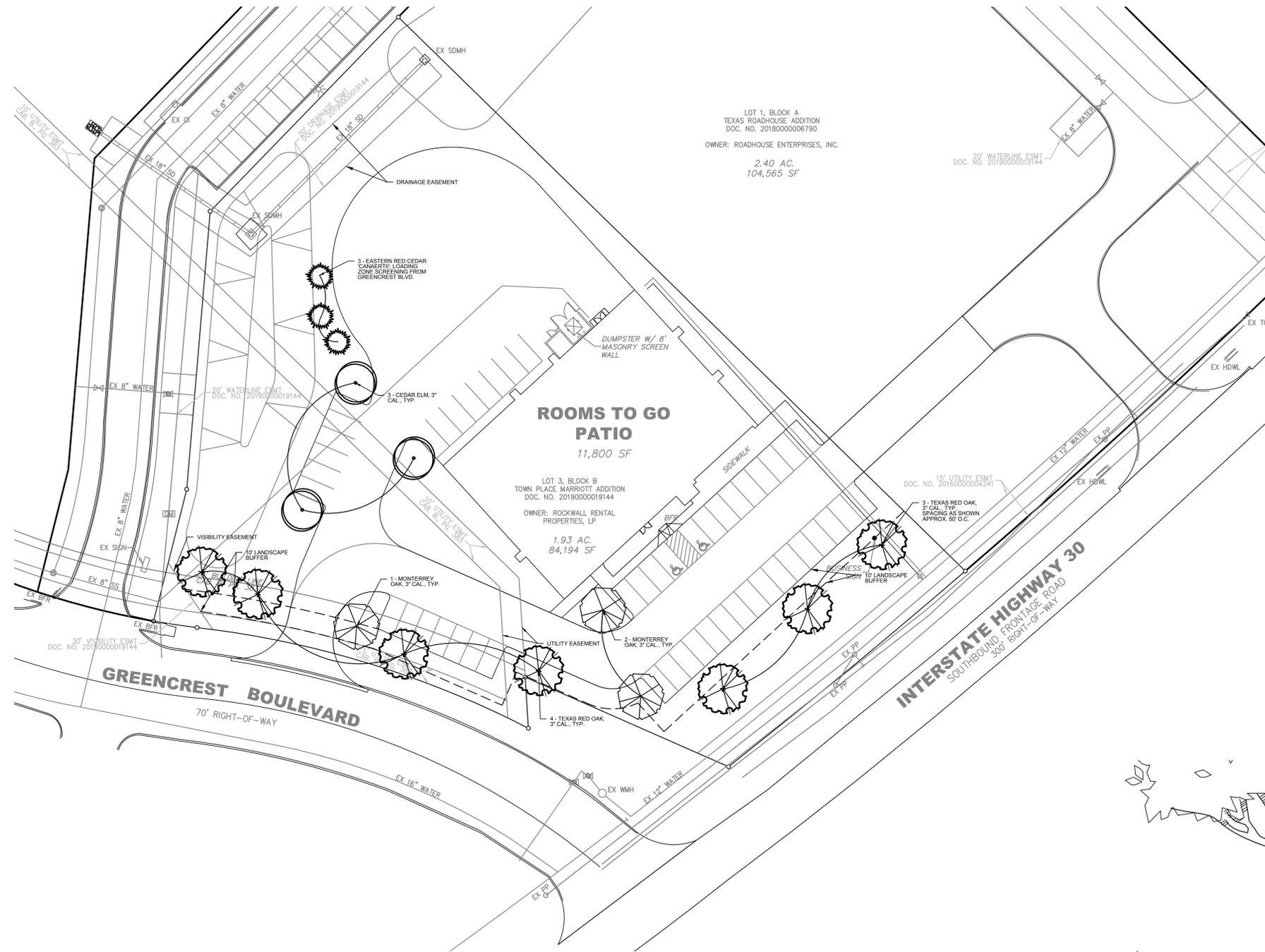
LANDSCAPE PLAN

ROOMS TO GO PATIO

NWC E. IH30 & GREENCREST BOULEVARD

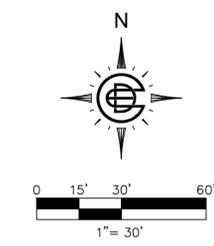
CITY OF ROCKWALL, TEXAS

PRELIMINARY FOR REVIEW ONLY These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806	DESIGN	
	ISSUE DATE 07/15/22	DEC FILE NO. 10046
CITY FILE NO. -	SHEET NO. L1.2	



LOT 1, BLOCK A
TEXAS ROADHOUSE ADDITION
DOC. NO. 2018000006790
OWNER: ROADHOUSE ENTERPRISES, INC.
2.40 AC.
104,565 SF

LOT 3, BLOCK B
TOWN PLACE WARRIOTT ADDITION
DOC. NO. 20190000019144
OWNER: ROCKWALL RENTAL PROPERTIES, LP
1.93 AC.
84,194 SF



SITE DATA	
LOT AREA:	4.33 ACRES
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,800 SQ. FT.
FLOOR/AREA RATIO:	0.06
PARKING REQUIRED:	
9'x18'	46 SPACES (1/250)
ACCESSIBLE	2 SPACES
TOTAL	48 SPACES
PARKING PROVIDED:	
9'x18'	48 SPACES (1/246)
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES

SITE TREE REQUIREMENTS

NO EXISTING TREES ON SITE

REQUIRED SITE:

1 TREE PER 50 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
IH 30 FRONTAGE RD. (154 LF) = 3 TREES
GREENCREST BLVD. (278 LF) = 6 TREES

NO PARKING SPACE SHALL BE FURTHER THAN 80' FROM A TREE

PROVIDED SITE:

1 TREE PER 50 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
IH 30 FRONTAGE RD. (154 LF) = 3 TREES
GREENCREST BLVD. (278 LF) = 6 TREES

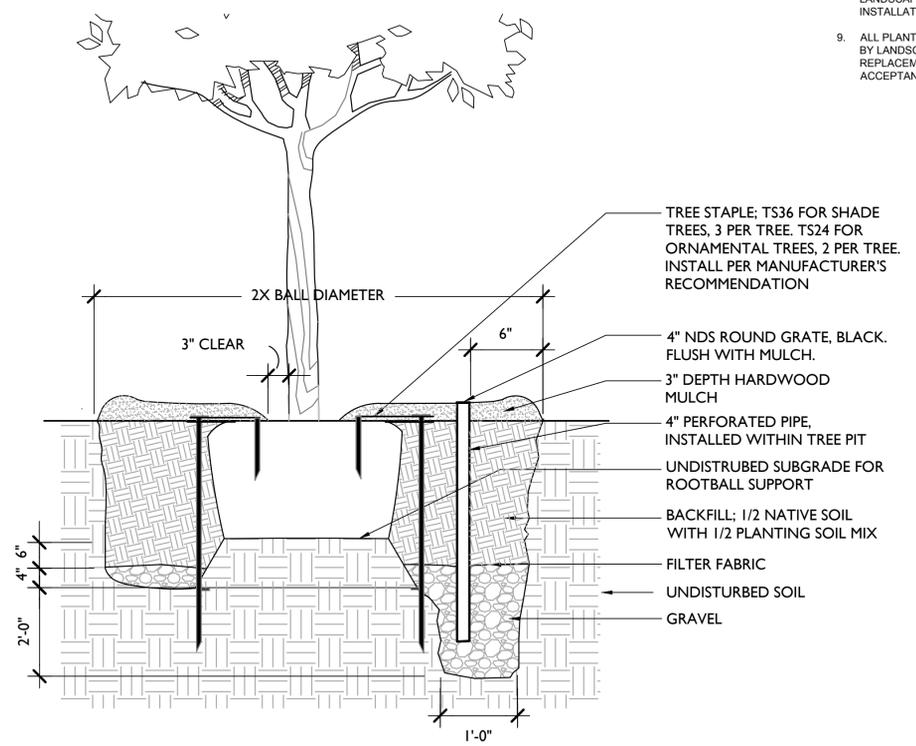
ALL PARKING SPACES WITH 80' FROM A TREE

- GENERAL NOTES**
- REFERENCE DETAIL THIS SHEET FOR TREE PLANTING DETAIL.
 - AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
 - REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
 - COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
 - CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
 - QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
 - NO TREE SHALL BE CLOSER THAN 2 1/2 FEET TO PAVEMENT AND NO CLOSER THAN 5' TO ANY UTILITY.
 - CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

TREE SCHEDULE

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
LARGE CANOPY TREES			
3 EA	CEDAR ELM	<i>Ulmus crassifolia</i>	100 gal., 3" cal. min. 10'-12' ht. x 6'-8' sp.
7 EA	TEXAS RED OAK	<i>Taxodium distichum</i>	100 gal., 3" cal. min. 10'-12' ht. x 6'-8' sp.
3 EA	MONTERREY OAK	<i>Quercus polymorpha</i>	100 gal., 3" cal. min. 10'-12' ht. x 6'-8' sp.
3 EA	EASTERN RED CEDAR 'CANAERTII'	<i>Juniperus virginiana 'Canaertii'</i>	45 gal., 6'-8' ht. x 4' sp. min. at base, full to ground

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.



A ORNAMENTAL AND SHADE TREE STAKING
SECTION
NOT TO SCALE

CROSS TIMBERS STUDIO
CROSS TIMBERS STUDIO
CLIFTON HALL, ASLA
GRANDVIEW, TX 76050
PH: 972-896-1900
TBAE REG. NUMBER: BR 3558

#	MM/DD/YY	TEXT	REVISIONS
REV	DATE	REMARKS	

TREESCAPE PLAN

ROOMS TO GO PATIO

NWC E. IH30 & GREENCREST BOULEVARD

CITY OF ROCKWALL, TEXAS

DESIGN

PRELIMINARY FOR REVIEW ONLY
These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:
Clifton D. Hall
L.A.#2806

ISSUE DATE	DEC FILE NO.
07/15/22	10046
CITY FILE NO.	SHEET NO.
-	L1.1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION **Town Place Marriott Addition**

LOT **3**

BLOCK **B**

GENERAL LOCATION **NWC I-30 & Greencrest Boulevard**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Undeveloped**

PROPOSED ZONING **Commercial**

PROPOSED USE

ACREAGE **1.93**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **2**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Texas RTG Patio Partners-II LLC**

APPLICANT **DEC**

CONTACT PERSON **Nicholas Roth**

CONTACT PERSON **Daniel Stewart**

ADDRESS **4004 Summit Boulevard NE
Suite 600**

ADDRESS **5300 Town & Country Boulevard
Suite 150**

CITY, STATE & ZIP **Atlanta, Georgia 30319**

CITY, STATE & ZIP **Frisco Texas 75034**

PHONE **678-338-4545**

PHONE **469-850-0060**

E-MAIL **nroth@roomstogo.com**

E-MAIL **dstewart@dec-en.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Peter Weitzner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 288.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF July, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF July, 2022.

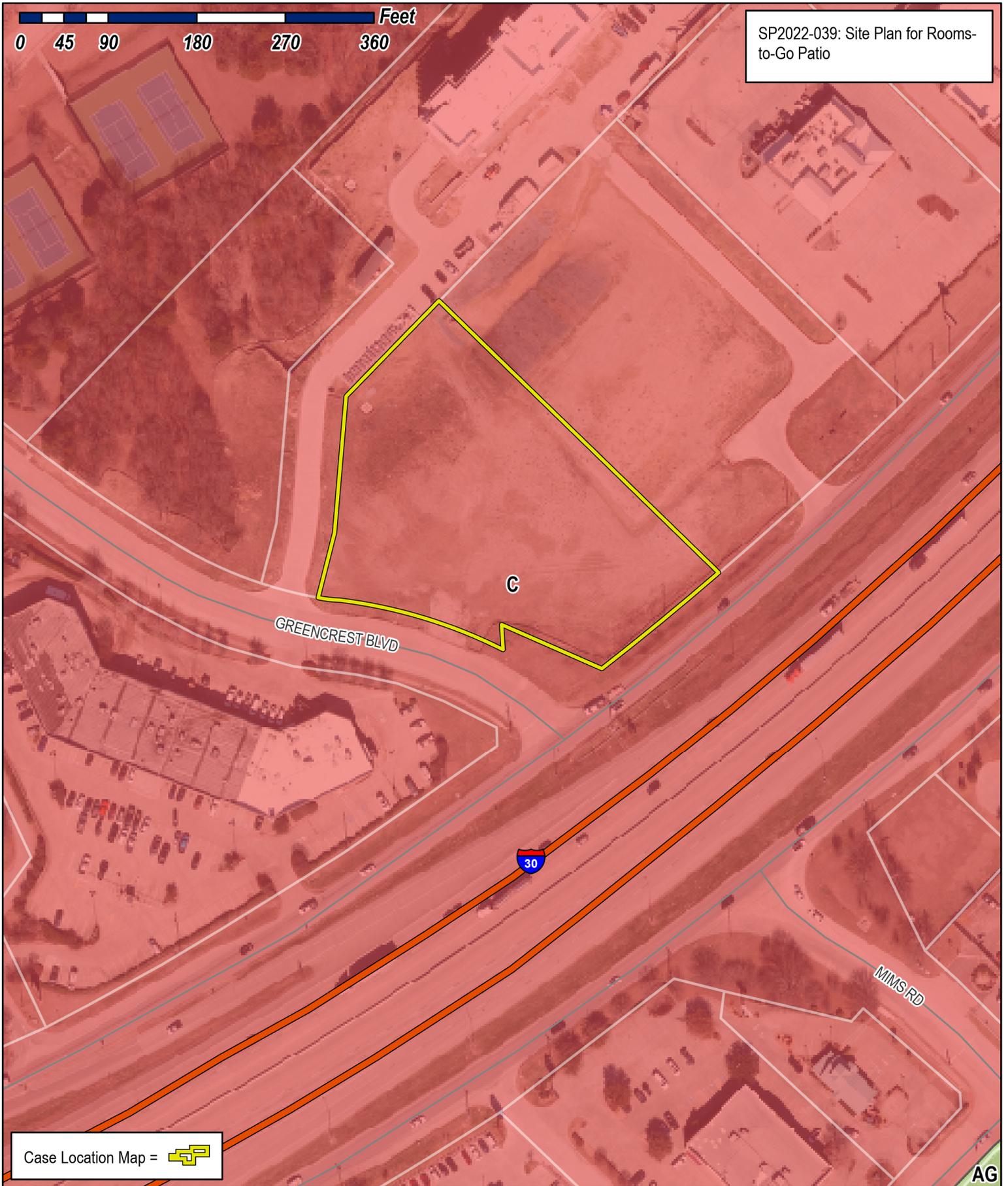
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF GEORGIA





SP2022-039: Site Plan for Rooms-to-Go Patio



Case Location Map = 

AG



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



ABBREVIATIONS

BFR	BARRIER FREE RAMP
CI	CURB INLET
CP	CONCRETE PAVEMENT
ESMT	EASEMENT
EV	ELECTRIC VAULT
EX	EXISTING
EXIST	EXISTING
FH	FIRE HYDRANT
GI	GRATE INLET
HDWL	HEADWALL
MH	MANHOLE
PP	POWER POLE
PVMT	PAVEMENT
R	RADIUS
ROW	RIGHT OF WAY
SF	SQUARE FEET
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SQ	SQUARE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TCM	TELECOMMUNICATIONS MARKER
TCP	TELECOMMUNICATIONS PEDESTAL
TCV	TELECOMMUNICATIONS VAULT
TMH	TELECOMMUNICATIONS MANHOLE
WM	WATER METER
WMH	WATER MANHOLE
WS	WATER SERVICE
WTR	WATER

LOT 2 BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 2019000019144
OWNER: GREENCREST TPS HOTEL, LP

LOT 1, BLOCK A
TEXAS ROADHOUSE ADDITION
DOC. NO. 2018000006790
OWNER: ROADHOUSE ENTERPRISES, INC.

LOT 1, BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 2019000019144
OWNER: ROCKWALL RENTAL PROPERTIES, LP

LOT 2, BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 2019000019144
OWNER: ROCKWALL RENTAL PROPERTIES, LP

ROOMS TO GO PATIO
11,896 SF
LOT 1
1.93 AC.
84,194 SF

LOT 2
2.40 AC.
104,565 SF

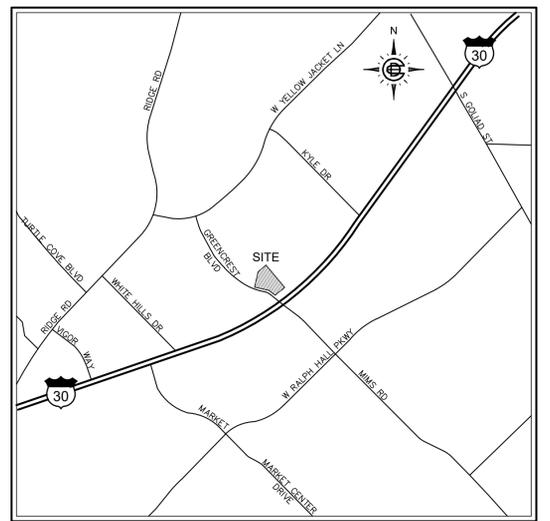
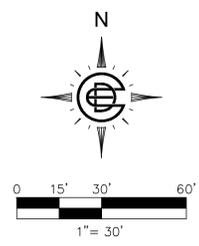
LEGEND	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING	▒	▒
CURB	▬	▬
STORM DRAIN	▬	▬
STORM DRAIN MANHOLE/JUNCTION BOX	SDMH	SDMH
CURB INLET	CI	CI
GRATE INLET	GI	GI
WATER LINE	WATER	WATER
FIRE HYDRANT	⊕	FH
WATER METER BOX	⊗	⊗
WATER VALVE	⊕	⊕
SANITARY SEWER LINE	EX SS	SS
SANITARY SEWER MANHOLE	⊗	SSMH
POWER POLE	PP	PP
UNDERGROUND UTILITY MARKER	Δ	Δ
UNDERGROUND TELECOM LINE	---	---
UNDERGROUND ELECTRIC LINE	---	---
UNDERGROUND GAS LINE	---	---
OVERHEAD LINE	---	---
GAS METER	GM	GM
ACCESSIBLE PARKING	♿	♿
SIGN	♣	♣

- DIMENSION CONTROL GENERAL NOTES**
- BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY EAGLE SURVEYING, DATED 07/05/2022.
 - PROPERTY LINES & EASEMENTS: REFER TO THE TOPOGRAPHIC SURVEY TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
 - DIMENSION CONTROL: ALL PAVING DIMENSIONS AND COORDINATES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
 - CURB RADII: ALL CURB RADII SHALL BE TWO FEET (2') AT THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS: REFER TO THE BUILDING PLANS FOR EXACT BUILDING DIMENSIONS.

L= 22.04'
R= 415.00'
= 003 02'37"
CL= 22.04'
CB= N81 36'37"W

L= 174.44'
R= 485.00'
= 020 36'27"
CL= 173.50'
CB= N73 10'49"W

L= 153.72'
R= 3669.86'
= 002 24'00"
CL= 153.71'
CB= S50 34'06"W



VICINITY MAP
N.T.S.

PAVEMENT LEGEND

[Pattern]	EXISTING CONCRETE PAVEMENT
[Pattern]	4" REINFORCED CONCRETE SIDEWALK
[Pattern]	5" REINFORCED CONCRETE PAVEMENT (5" CP)
[Pattern]	6" REINFORCED CONCRETE PAVEMENT (6" CP)
[Pattern]	7" REINFORCED CONCRETE PAVEMENT (7" CP)

SITE DATA

LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	48 SPACES
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84194 SQ. FT.

APPROVED

WITNESS OUR HANDS, THIS _____ DAY OF _____, 2022

CITY OF ROCKWALL CASE NO.:

SITE PLAN

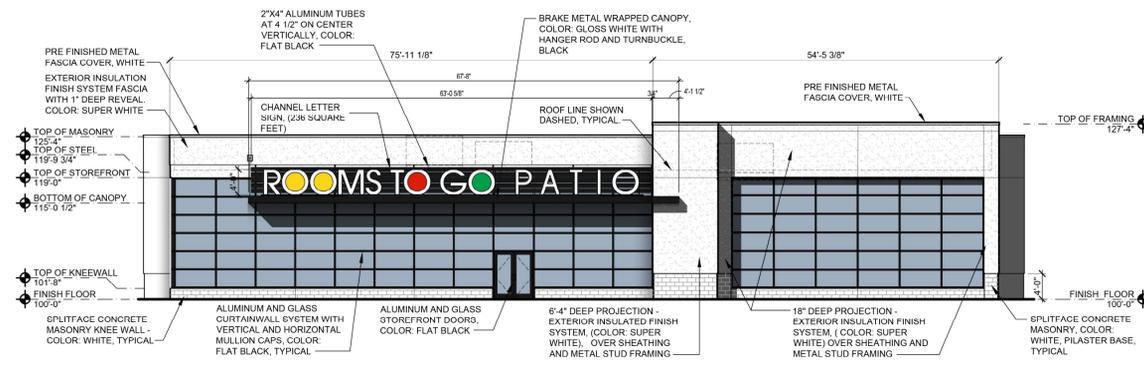
ROOMS TO GO PATIO

NWC E. IH30 GREENCREST BOULEVARD

CITY OF ROCKWALL, TEXAS

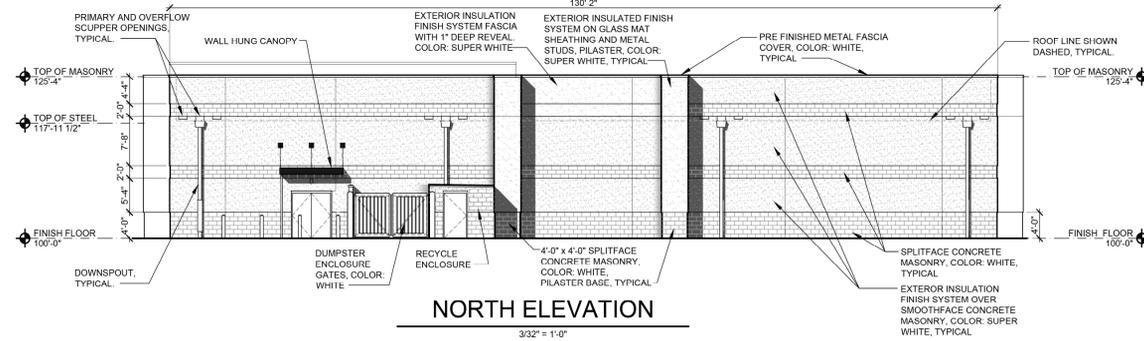
<p>OWNER/DEVELOPER TEXAS RTG PATIO PARTNERS-III, LLC 4004 SUMMIT BOULEVARD NE, SUITE 600 ATLANTA, GEORGIA 30319 CONTACT: NICHOLAS ROTH PHONE: (678) 338-4545 EMAIL: nroth@rtgpartners.com</p>	<p>DESIGN</p> <p>3300 TOWN COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-850-0060 TBP# FIRM NO. F-20255</p>	
	<p>ENGINEER/APPLICANT DEC, LLP 5300 TOWN COUNTRY BLVD, SUITE 150 FRISCO, TEXAS 75034 CONTACT: DANIEL STEWART, P.E. PHONE: (469) 850-0060 EMAIL: daniel@dec.com</p>	<p>ISSUE DATE 07/15/22</p>
	<p>CITY FILE NO. -</p>	<p>SHEET NO. 1</p>

P:\001\1001046 - Rooms To Go Patio - Rockwall TX\DWG\10046 SITE PLAN.dwg Sheet 1 of 1 7/15/2022 11:27:26 AM Scott.Nash@rtg.com



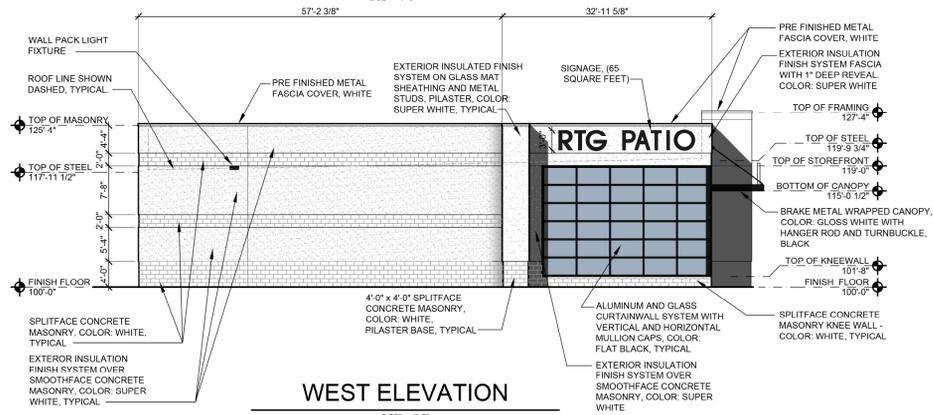
SOUTH ELEVATION

3/32" = 1'-0"



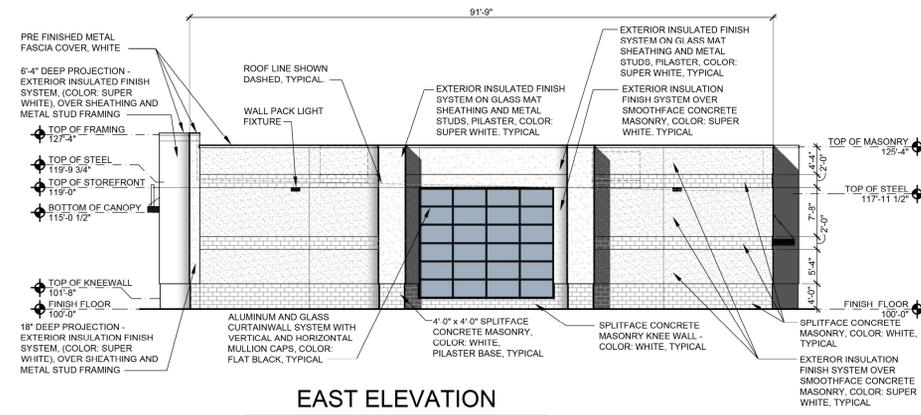
NORTH ELEVATION

3/32" = 1'-0"



WEST ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

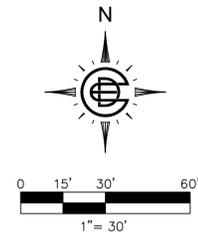
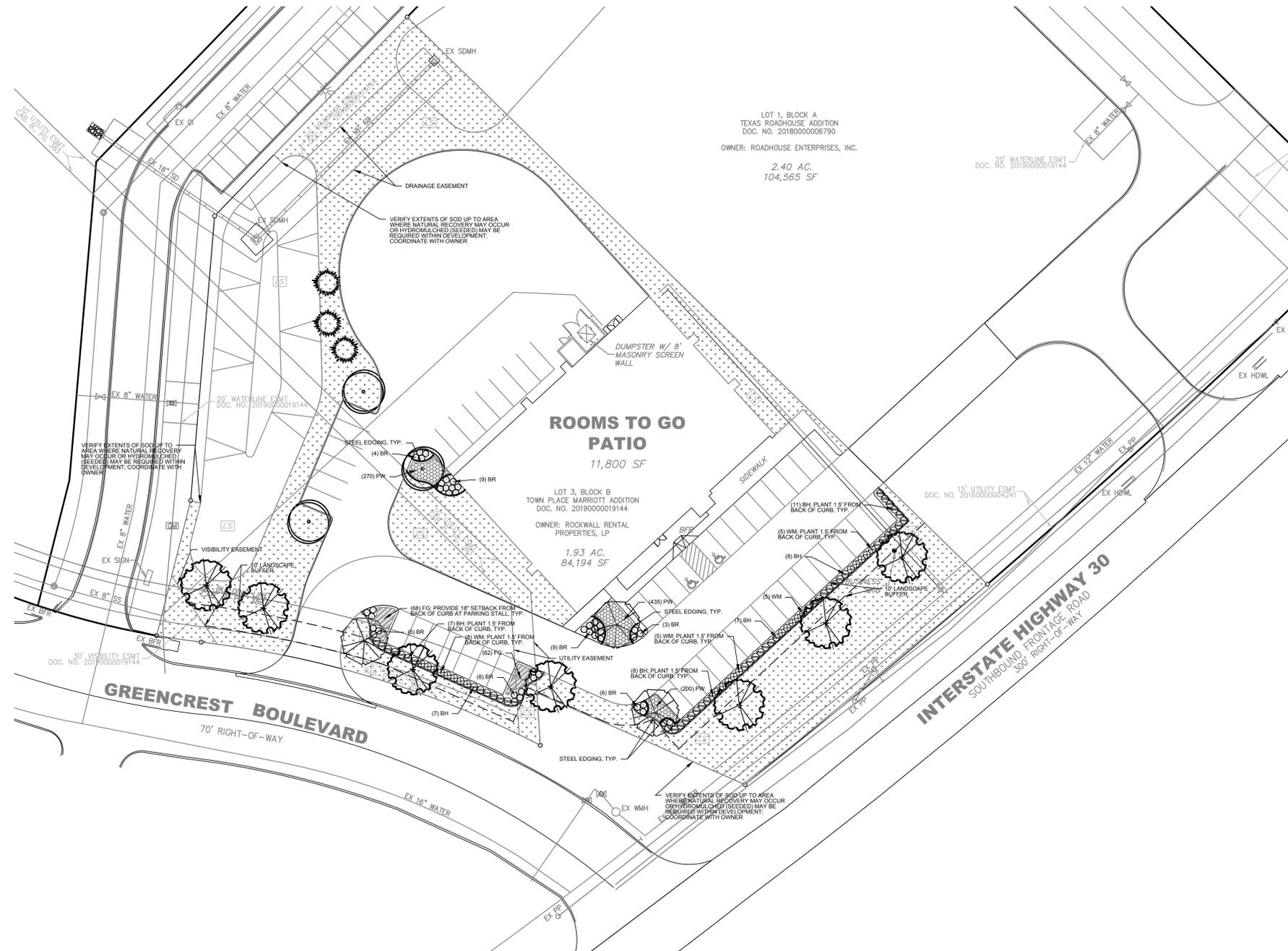
MATERIAL	FINISHES
SPLIT FACE CONCRETE MASONRY UNIT, PILASTERS, KNEE WALL, AND DUMPSTER SCREEN WALL	8" HIGH INTEGRALLY COLORED SPLIT-FACE CONCRETE MASONRY UNITS APPLY WATER REPELLENT (REFER SPECIFICATION 09900), MANUFACTURERS: (ADAMS OLD CASTLE) COLOR: #6021 OR APPROVED EQUAL
EXTERIOR INSULATION FINISH SYSTEM ON SMOOTHFACE CONCRETE MASONRY BANDS	DRYVIT SYSTEM "SANDPEBBLE", COLOR: #101 SUPER WHITE
EXTERIOR INSULATION FINISH SYSTEM FASCIA, PILASTERS AND FIELD	DRYVIT SYSTEM "SANDPEBBLE" FINE", COLOR: #101 SUPER WHITE
PRE FINISHED METAL COPING AND FASCIA COVER	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
CURTAINWALL MULLIONS AND ENTRY DOORS	KYNAR FINISH - BLACK ON EXTERIOR AND INTERIOR
PREFINISHED METAL ROOF AT RECYCLE AREA	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
WALL HUNG CANOPY	ALL EXPOSED COMPONENTS FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
ALUMINUM SOFFIT PANEL	NON - VENTED ALUMINUM SOFFIT PANEL, COLOR - PRE-FINISHED TO MATCH CANOPY WHITE

CASCO

12 SUNNEN DR. SUITE. 100
ST. LOUIS, MO 63143
ARCHITECTS/ENGINEERS
314-821-1100

**ROOMS
TO GO**

ROCKWALL, TEXAS
7/7/2022



SITE DATA	
LOT AREA:	4.33 ACRES
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,800 SQ. FT.
FLOOR/AREA RATIO:	0.06
PARKING REQUIRED:	
9'x18'	46 SPACES (1/250)
ACCESSIBLE	2 SPACES
TOTAL	48 SPACES
PARKING PROVIDED:	
9'x18'	48 SPACES (1/246)
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES

SITE REQUIREMENTS

REQUIRED SITE:
15% OF TOTAL AREA TO BE DEVELOPED SHALL BE LANDSCAPED =

PROVIDED SITE:
>15% OF TOTAL AREA LANDSCAPED = +/- 32,000 SF

INTERIOR PARKING LOT LANDSCAPE

REQUIRED SITE:
PARKING AND MANEUVERING GREATER THAN 20,000 SF:
1 TREE REQUIRED PER 10 PARKING SPACES

PROVIDED SITE:
5 TREES PROVIDED FOR 52 PARKING SPACES
NO SITE CREDITS WERE USED IN CALCULATIONS

GENERAL NOTES

- REFERENCE SHEET L1.3 FOR PLANTING DETAILS.
- AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
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- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

LANDSCAPE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
SHRUBS/ORNAMENTAL PLANTS				
⊕	23 EA	DWARF WAX MYRTLE (WM)	<i>Myrica cerifera 'pusilla'</i>	5 gal., 12"-15" ht. x 8"-10" sp., full
⊗	48 EA	DWARF BURFORD HOLLY (BH)	<i>Ilex cornuta 'Burfordii nana'</i>	5 gal., 12"-15" ht. x 8"-10" sp., full
⊙	43 EA	BARBERRY (BR)	<i>Berberis thunbergii 'Crimson Pygmy'</i>	5 gal., 10"-12" ht. x 10"-12" sp.,
ORNAMENTAL GRASS AND GROUNDCOVER				
▨	130 EA	MEXICAN FEATHERGRASS (FG)	<i>Nassella tenuissima</i>	1 gal., heavily rooted, full, 15" o.c. spacing
▩	905 EA	PURPLE WINTERCREEPER (PW)	<i>Euonymus fortunei 'coloratus'</i>	4" pots, 1"-2" ht. x 6"-8" sp, 8" o.c. spacing
TURF AND AGGREGATE				
▽	+/-26,044 SF	BERMUDAGRASS	<i>Cynodon dactylon</i>	sod, full

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.

CROSS TIMBERS STUDIO
 CROSS TIMBERS STUDIO
 CLIFTON HALL, ASLA
 GRANDVIEW, TX 76050
 PH: 972-896-1900
 TBAE REG. NUMBER: BR 3558

#	MM/DD/YY	TEXT	REVISIONS
REV	DATE	REMARKS	

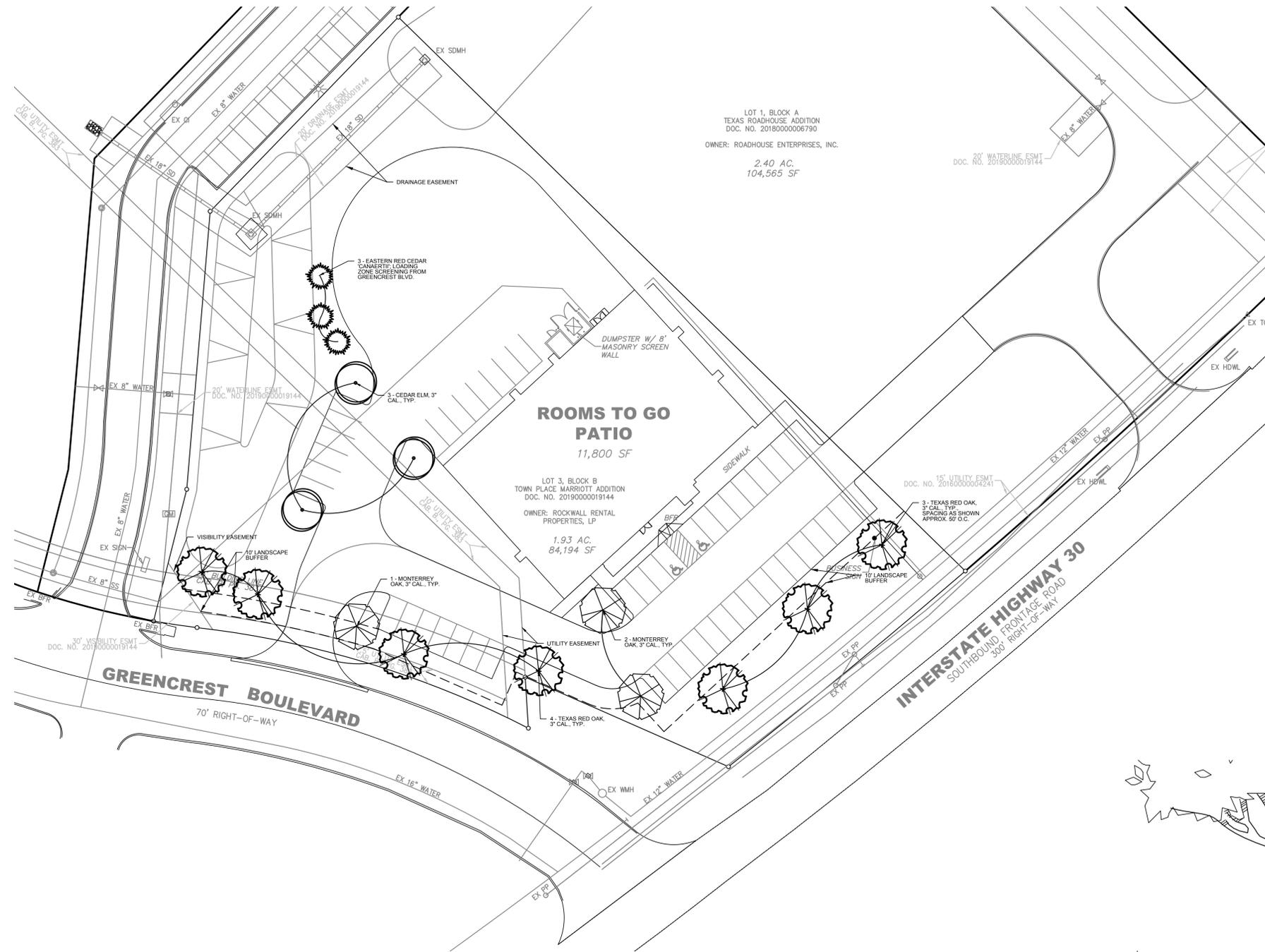
LANDSCAPE PLAN

ROOMS TO GO PATIO

NWC E. IH30 & GREENCREST BOULEVARD

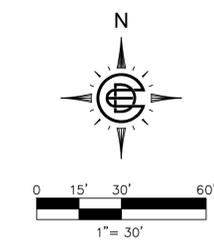
CITY OF ROCKWALL, TEXAS

PRELIMINARY FOR REVIEW ONLY These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806	DESIGN	
	ISSUE DATE 07/15/22	DEC FILE NO. 10046
CITY FILE NO. -	SHEET NO. L1.2	



LOT 1, BLOCK A
TEXAS ROADHOUSE ADDITION
DOC. NO. 2018000006790
OWNER: ROADHOUSE ENTERPRISES, INC.
2.40 AC.
104,565 SF

LOT 3, BLOCK B
TOWN PLACE WARRIOTT ADDITION
DOC. NO. 20190000019144
OWNER: ROCKWALL RENTAL PROPERTIES, LP
1.93 AC.
84,194 SF



SITE DATA	
LOT AREA:	4.33 ACRES
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,800 SQ. FT.
FLOOR/AREA RATIO:	0.06
PARKING REQUIRED:	
9'x18'	46 SPACES (1/250)
ACCESSIBLE	2 SPACES
TOTAL	48 SPACES
PARKING PROVIDED:	
9'x18'	48 SPACES (1/246)
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES

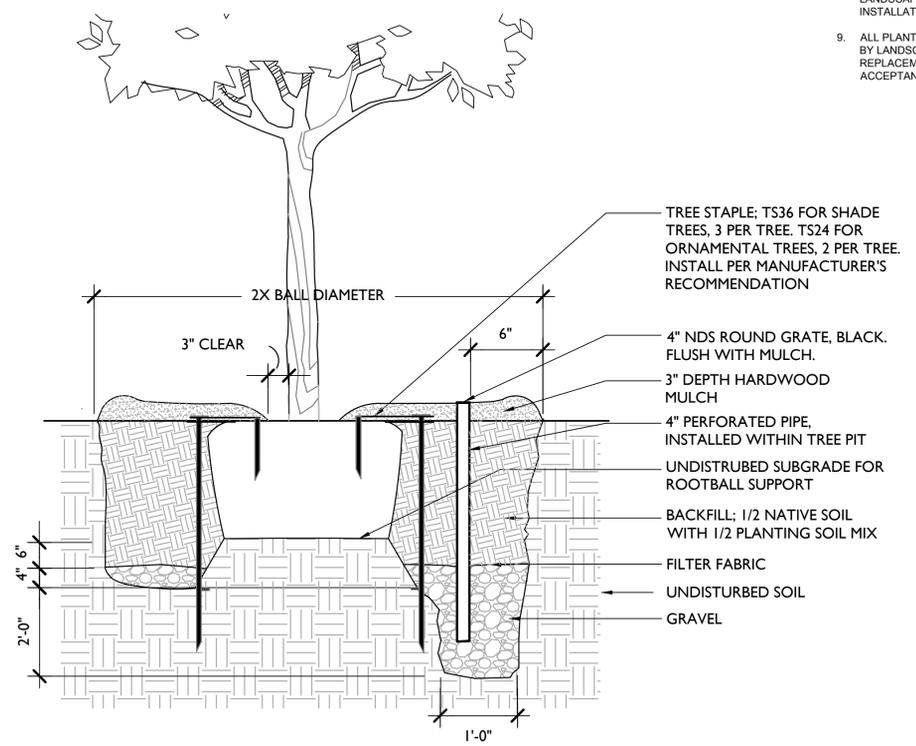
- SITE TREE REQUIREMENTS**
- NO EXISTING TREES ON SITE
- REQUIRED SITE:
- 1 TREE PER 50 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
IH 30 FRONTAGE RD. (154 LF) = 3 TREES
GREENCREST BLVD. (278 LF) = 6 TREES
- NO PARKING SPACE SHALL BE FURTHER THAN 80' FROM A TREE
- PROVIDED SITE:
- 1 TREE PER 50 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
IH 30 FRONTAGE RD. (154 LF) = 3 TREES
GREENCREST BLVD. (278 LF) = 6 TREES
- ALL PARKING SPACES WITH 80' FROM A TREE

- GENERAL NOTES**
- REFERENCE DETAIL THIS SHEET FOR TREE PLANTING DETAIL.
 - AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
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 - QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
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 - CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

TREE SCHEDULE

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
LARGE CANOPY TREES			
3 EA	CEDAR ELM	<i>Ulmus crassifolia</i>	100 gal., 3" cal. min. 10'-12' ht. x 6'-8' sp.
7 EA	TEXAS RED OAK	<i>Taxodium distichum</i>	100 gal., 3" cal. min. 10'-12' ht. x 6'-8' sp.
3 EA	MONTERREY OAK	<i>Quercus polymorpha</i>	100 gal., 3" cal. min. 10'-12' ht. x 6'-8' sp.
3 EA	EASTERN RED CEDAR 'CANAERTII'	<i>Juniperus virginiana 'Canaertii'</i>	45 gal., 6'-8' ht. x 4' sp. min. at base, full to ground

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.



A ORNAMENTAL AND SHADE TREE STAKING
SECTION
NOT TO SCALE

CROSS TIMBERS STUDIO
CROSS TIMBERS STUDIO
CLIFTON HALL, ASLA
GRANDVIEW, TX 76050
PH: 972-896-1900
TBAE REG. NUMBER: BR 3558

#	MM/DD/YY	TEXT	REMARKS

TREESCAPE PLAN

ROOMS TO GO PATIO

NWC E. IH30 & GREENCREST BOULEVARD

CITY OF ROCKWALL, TEXAS

DESIGN

PRELIMINARY FOR REVIEW ONLY
These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:
Clifton D. Hall
L.A.#2806

ISSUE DATE	DEC FILE NO.
07/15/22	10046
CITY FILE NO.	SHEET NO.
-	L1.1

D-Series Size 2 LED Area Luminaire

Specifications

- Width: 11.5"
- Height: 10.5"
- Length: 15"
- Height H: 11.5"
- Height L: 10.5"
- Weight: 25 lbs

Ordering Information

EXAMPLE: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2

Item	Qty	Label	Description	Notes
DSK2	1	OL3	DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2	

Accessories

- DSK2-1: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-2: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-3: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-4: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-5: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-6: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-7: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-8: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-9: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-10: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-11: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-12: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
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- DSK2-15: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-16: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-17: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
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- DSK2-19: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-20: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2

Ordering Information

EXAMPLE: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2

Item	Qty	Label	Description	Notes
DSK2	1	OL3	DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2	

Accessories

- DSK2-1: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-2: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-3: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-4: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-5: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-6: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
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- DSK2-20: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2

Ordering Information

EXAMPLE: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2

Item	Qty	Label	Description	Notes
DSK2	1	OL3	DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2	

Accessories

- DSK2-1: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK2-2: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
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- DSK2-20: DSK2 LED P7 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2

D-Series Size 0 LED Area Luminaire

Specifications

- Width: 11.5"
- Height: 10.5"
- Length: 15"
- Height H: 11.5"
- Height L: 10.5"
- Weight: 25 lbs

Ordering Information

EXAMPLE: DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2

Item	Qty	Label	Description	Notes
DSK0	1	F4	DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2	

Accessories

- DSK0-1: DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK0-2: DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK0-3: DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK0-4: DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK0-5: DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK0-6: DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
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Ordering Information

EXAMPLE: DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2

Item	Qty	Label	Description	Notes
DSK0	1	F4	DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2	

Accessories

- DSK0-1: DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
- DSK0-2: DSK0 LED P6 40K T3M MVOLT SPN NLTAIR2 PRHN DDBD2
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Part#: SP3730TII

Project:

Pole O.A.	Burial Depth	Wind Speed	Gust	EPA Capacity
37'	7'	170mph	3 sec.	4.0

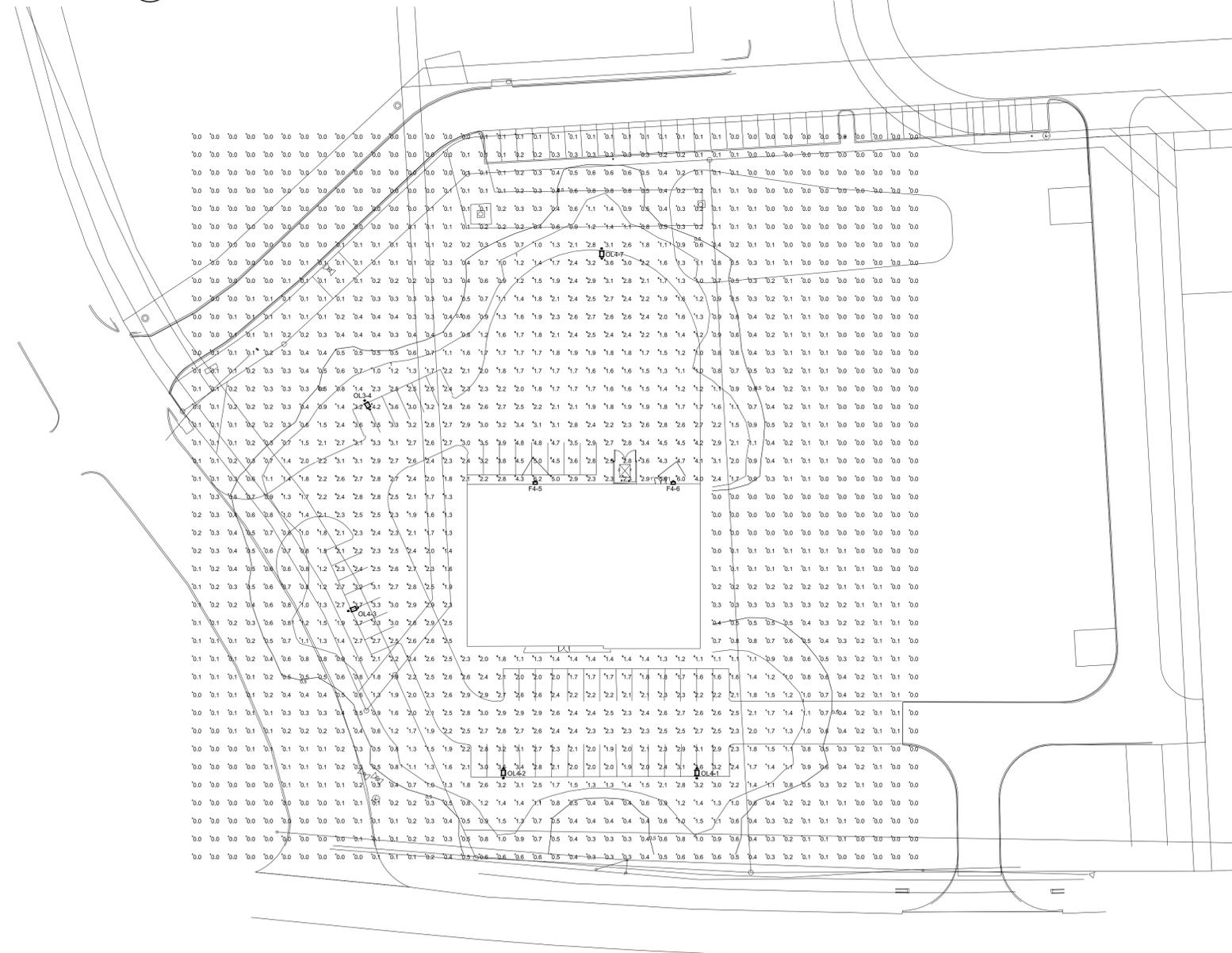
Max. Allow. Weight (lbs) **3,500lb** 0.5" Diameter **270 ksi** 6,500psi **2,400**

POLE MOUNTED LUMINAIRE - TYPE OL3 AND OL4

WALL MOUNTED LUMINAIRE TYPE F4

2 SITE LUMINAIRES
SCALE: NOT TO SCALE

3 LIGHT POLE
SCALE: NOT TO SCALE



BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ELECTRICAL CONTRACTOR SHALL DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

- NOTES:**
- SITE PHOTOMETRICS PERFORMED WITHOUT CONTRIBUTION OF EXISTING ADJACENT PARKING LOT OR STREETLIGHTS.
 - REFER TO LUMINAIRE LOCATIONS FOR MOUNTING HEIGHT (MH).
 - ILLUMINATION CALCULATIONS PERFORMED ON A MAINTAINED BASIS WITH LLF=0.91 FOR LED LUMINAIRES AT FINISHED GRADE.
 - ALL LUMINAIRES USED FOR SITE LIGHTING SHALL BE FULL CUTOFF.
 - ALL LUMINAIRES SHOWN IN SCHEDULE ARE "LITHONIA". EQUAL FULL CUT OFF LUMINAIRES WITH SAME TYPE OF DISTRIBUTION AND LIGHT SOURCE WILL BE CONSIDERED FOR APPROVAL.
 - ANY DEVIATION FROM THE LUMINAIRES SHOWN WILL REQUIRE A PHOTOMETRICS PLAN TO ENSURE THE LUMINAIRES MEET EXTERIOR LIGHTING REQUIREMENTS.
 - SITE LIGHTING POLES SHALL PRE-CAST CONCRETE POLES AS SHOWN ON LIGHT POLE DETAIL.
 - LUMINAIRES SHALL BE CONTROLLED BY PHOTOCELL ON, ASTRONOMICAL TIME CLOCK OFF, EXCEPT SECURITY LIGHTS CONTROLLED PHOTOCELL ON, PHOTOCELL OFF.
 - ALL POLE MOUNT LUMINAIRES SHALL BE NATURAL ALUMINUM IN COLOR. WALL MOUNT LUMINAIRES SHALL BE WHITE IN COLOR.

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
OL3	OL3	1	DSK2 LED P3 40K T3M MVOLT	DSK2 LED P3 40K T3M MVOLT	LED	DSK2_LED_P3_40K_T3M_mv_VLT.as	27448	0.91	217
OL4	OL4	4	DSK2 LED P3 40K TFTM MVOLT	DSK2 LED P3 40K T3M MVOLT	LED	DSK2_LED_P3_40K_TFTM_mv_VLT.as	28254	0.91	217
F4	F4	2	DSK0 LED P6 40K T3M MVOLT	DSK0 LED P6 40K T3M MVOLT	LED	DSK0_LED_P6_40K_T3M_mv_VLT.as	15964	0.91	134

LUMINAIRE LOCATIONS

No.	Label	MH	Orientation	TIR
1	OL4	30.0	0.0	0.0
2	OL4	30.0	0.0	0.0
3	OL4	30.0	70.0	0.0
4	OL3	30.0	150.0	0.0
5	F4	17.0	0.0	0.0
6	F4	17.0	0.0	0.0
7	OL4	30.0	180.0	0.0

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Area	+	0.9 fc	6.2 fc	0.0 fc	N/A	N/A
RTG Parking	X	2.4 fc	6.2 fc	1.0 fc	6.2:1	2.4:1

Drawn By/Checked By: ZT
 Project Number: 2202184
 Bid Date: -
 Owner Date: -

SITE LIGHTING PHOTOMETRICS

E0.2

ROOMS PATIO SHOWROOM
 TO GO
 NEQ IH 30 & GREENCREST BLVD
 ROCKWALL, TX

CONSTR. DOC. & REVISIONS
 No. Description
 1 SITE APPROVAL
 Date: 07/13/22

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/22/2022

PROJECT NUMBER: SP2022-039
PROJECT NAME: Site Plan for Rooms-to-Go Patio
SITE ADDRESS/LOCATIONS: 904 E INTERSTATE 30

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Daniel Stewart of DEC on behalf of Nicholas Roth of Texas RTG Patio Partners-II, LLC for the approval of a Site Plan for a General Retail Store (i.e. Rooms-To-Go Patio) on a 1.93-acre portion of a larger 4.333-acre parcel of land identified as Lot 3, Block B, Town Place Marriott Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	07/21/2022	Approved w/ Comments

07/21/2022: SP2022-039; Site Plan for Rooms to Go Patio

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Daniel Stewart of DEC on behalf of Nicholas Roth of Texas RTG Patio Partners-II, LLC for the approval of a Site Plan for a General Retail Store (i.e. Rooms-To-Go Patio) on a 1.93-acre portion of a larger 4.333-acre parcel of land identified as Lot 3, Block B, Town Place Marriott Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. August 2, 2022 is the deadline to have all comments; please provide staff revised plans before August 2, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-039) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.5 Add the standard signature block below to all pages of the revised plan submittals. (Subsection 03.04.A, of Article 11, of the Unified Development Code).

SITE PLAN SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan:

(1) Include the Legal Description (Lot 3, Block A, Town Place Marriot Addition, City of Rockwall, Rockwall County, Texas) in the title block (Subsection 03.04.A, of Article 11, of the Unified Development Code).

(2) Indicate and label all sidewalks proposed for the site. A 5-foot sidewalk is required along Greencrest Boulevard and the IH-30 Frontage road (subsection 03.04.B, of Article 11,

UDC).

- (3) All overhead utilities located within an Overlay District shall be placed underground. (Subsection 06.02.H, Article 05, UDC).
- (4) Indicate the centerline for the IH-30 Frontage road. (Subsection 03.04.B, of Article 11, UDC).
- (5) All head-in parking shall be 9' X 20'. (Subsection 2.20.3(a), City of Rockwall Standards of Design and Construction)
- (6) Are there any roof mounted or pad mounted utility equipment? If so, indicate them on the site plan and building elevations and show any subsequent required screening. (Subsection 01.05. C, of Article 05)

M.7 Landscape Plan:

- (1) Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs the amount of landscaping required and provided. (Subsection 01.01.B, of Article 05, UDC)
- (2) A 20-foot landscape buffer is required along IH-30 Frontage Road. All landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway (IH-30 Frontage). (Subsection 06.02.E, Article 05, of the UDC).
- (3) A minimum of a ten (10) foot wide landscape buffer shall be required along Greencrest Boulevard. All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency. (Subsection 05.01B.1, Article 08, UDC)
- (4) Buildings and Paving (e.g. parking lots) shall not be permitted within any landscape buffer, however, sidewalks and trails shall be permitted. (Subsection 05.01.C, Article 08, UDC)
- (5) All Canopy trees must be a minimum of 4" caliper. (Subsection 07)
- (6) Add tree schedule to Landscape Plan. No treescape plan is need if there are no existing trees on-site. A treescape plan is a plan showing the exact location, size (i.e. trunk diameter and height), and common name of all trees, four (4) inches and greater and indicating the trees that are proposed to be removed, transplanted or replaced. (Subsection 03.01, Article 09, UDC).
- (7) All parking spaces shall be within 80' of a canopy tree. (Subsection 05.03.E, Article 08, UDC)
- (8) Trees must be planted at least five (5) feet from water, sewer, and storm sewer lines. (Subsection 05.03.E, of Article 08, UDC)
- (9) The developer shall establish grass and maintain the seeded area, including watering, until a "permanent stand of grass" is obtained at which time the project will be accepted by the City. A "stand of grass" consists of 75% to 80% coverage and minimum height of one-inch (1") in height. (Subsection 4.2, Coverage, Engineering Standards of Design and Construction).
- (10) All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod – hydro mulch shall be prohibited in these areas) prior to issuance of a Certificate of Occupancy. (Subsection 05.03.G, of Article 08, UDC).

M.8 Photometric Plan:

- (1) Provide the same site data information required on the Site Plan.
- (2) Please indicate the FC measurement for each of the proposed lights. The maximum outdoor maintained, computed, and measured illumination level within any nonresidential development shall not exceed 20 FC at any point on the site. (Subsection 03.03.G, of Article 07, UDC)
- (3) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 3.03.C, of Article 07, UDC)

M.9 Building Elevations:

- (1) Indicate exterior elevations adjacent to public right-of-way.
- (2) Exterior walls should consist of 90% masonry materials and 20% stone excluding doors and windows. (Subsection 06.02.C, of Article 05, UDC)
- (3) Primary Materials shall include stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (CMU) (i.e. CMUs that have been sandblasted, burnished or that have a split face -- light weight block or smooth faced CMU shall be prohibited). (Subsection 06.02.C.1 (a), of Article 05, UDC).
- (4) Cementitious materials shall be limited to 50% of the building's exterior façade and stucco shall not be used within the first four (4) feet from grade on a building's façade. (Subsection 06.02C. 1(a.2), of Article 05, UDC)
- (5) Indicate the surface area of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01, Article 05, UDC)
- (6) Indicate the roofing materials and color. (Subsection 04.01A.1, of Article 05, UDC).
- (7) Indicate all roof mounted mechanical equipment and indicate how these will be screened from view (i.e. screening with parapets taller than the RTUs or adding louver screening). (Subsection 01.05.C, of Article 05, UDC)

- (8) The proposed building does not meet the Commercial Building Standards. Specifically:
- the south elevation does not meet the wall projections or projection heights of 5 foot and does not include a primary architectural element;
 - the North elevation does not meet the maximum wall length requirement of 75 feet or the wall projection/projection height requirement of 5 feet;
 - the west elevation does not meet the maximum wall length requirement of 75 feet or meet the wall projection/projection height requirement of 5 feet; and
 - the east elevation does not meet the wall length of 75 feet and wall projection/projection height requirement of 5 feet. (Subsection 04.01.C.1, of Article 05, UDC)
- (9) A minimum of four (4) architectural elements are required for any building less than 50,000 SF (Subsection 06.02.C4, of Article 05, UDC).
- (10) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation, and features. In addition, a minimum of one (1) row of trees (i.e. four (4) more accent or canopy trees) shall be planted along the perimeter of the subject property to the rear of the building. (Subsection 06.02.C5, of Article 05, UDC).
- (11) Provide an exhibit of the dumpster enclosure. Dumpsters shall have self-latching gates. Please provide a note indicating that the dumpster is self-latching. (Subsection 01.05.B, of Article 05, UDC)

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on August 2, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 2, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 9, 2022 Planning & Zoning Meeting.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on July 26, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on August 9, 2022.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	07/22/2022	Needs Review

- 07/22/2022: - What is the box labeled LS?
- Must have 10' separation between fire sprinkler line and all utilities including domestic water line.
 - Remove sign from site plan.
 - Must install manhole at the end of the public line prior to tying into with private sewer service.
 - Parking adjacent to the building must be 20x9' minimum.
 - Driveway spacing to be 200' from IH 30 and then 100' between driveways.
 - All shrubs and trees to be planted 4' from back of curb for 18' parking spaces
 - Review City's tree separation from utility easements.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.

- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.

Roadway Paving Items:

- Parking to be 20'x9' minimum.
- No dead-end parking allowed without City approved turnaround
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Show dumpster location
- Fire hydrants to have 5' clearance around them, including the parking spaces.
- Need to show ex. fire hydrants. May need addition hydrant(s).

Drainage Items:

- Detention is required. Max slide slope is 4:1. No walls in detention easements. No public utilities allowed in detention easements. Rational method C-value is based on zoning.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Bethany Ross	07/22/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/18/2022	Needs Review

07/18/2022: Show location of proposed FDC.
 FDC shall be facing and visible from the fire lane.
 FDC must be within 100 feet of a fire hydrant.
 The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.

Show proposed location of fire hydrants providing hose coverage to the building. If existing fire hydrants are utilized, show the hose lay pathway clear of obstruction. Hose lay distance is 600 ft to all portions of the building's exterior walls.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/18/2022	Approved w/ Comments

07/18/2022: Assigned address will be *904 E INTERSTATE 30, ROCKWALL, TX 75087*

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/18/2022	Approved w/ Comments

07/18/2022: 1. Purple Winter Creeper needs 1 gallon

2. Cedar Elm, Red Oak and Monterrey Oak all need to be 4" caliper minimum
3. All parking spaces need to be within 80' of a tree canopy
4. All parking with spaces heading into street or service road will need a headlight glare shrub row. Evergreen shrubs, 24' tall at time of planting, 36' on center.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.

Roadway Paving Items:

- Parking to be 20'x9' minimum.
- No dead-end parking allowed without City approved turnaround
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.

Water and Wastewater Items:

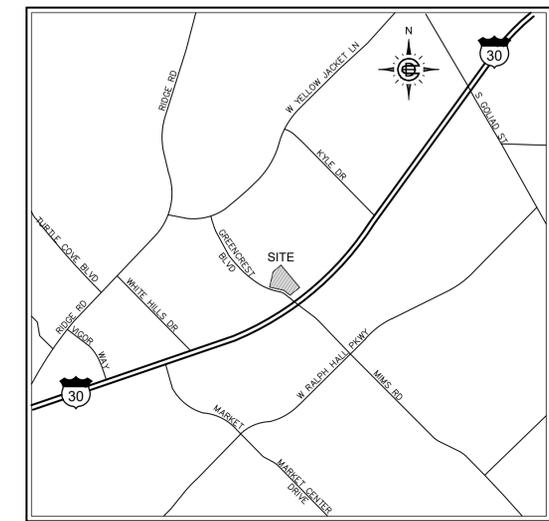
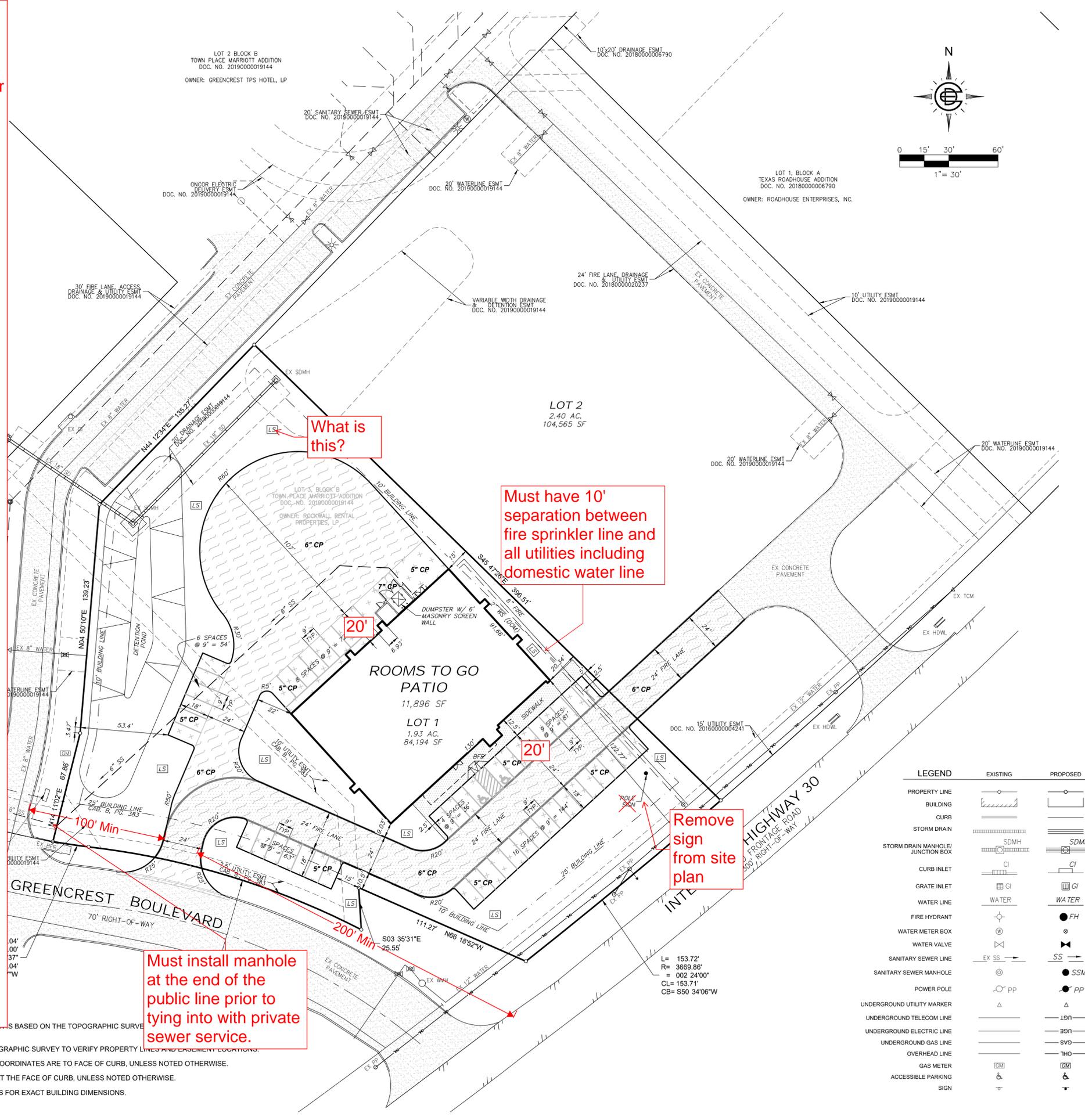
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Show dumpster location
- Fire hydrants to have 5' clearance around them, including the parking spaces.
- Need to show ex. fire hydrants. May need addition hydrant(s).

Drainage Items:

- Detention is required. Max slide slope is 4:1. No walls in detention easements. No public utilities allowed in detention easements. Rational method C-value is based on zoning.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



VICINITY MAP
N.T.S.

PAVEMENT LEGEND

[Pattern]	EXISTING CONCRETE PAVEMENT
[Pattern]	4" REINFORCED CONCRETE SIDEWALK
[Pattern]	5" REINFORCED CONCRETE PAVEMENT (5" CP)
[Pattern]	6" REINFORCED CONCRETE PAVEMENT (6" CP)
[Pattern]	7" REINFORCED CONCRETE PAVEMENT (7" CP)

SITE DATA

LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	48 SPACES
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84194 SQ. FT.

APPROVED

WITNESS OUR HANDS, THIS _____ DAY OF _____, 2022

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
BUILDING	[Symbol]	[Symbol]
CURB	[Symbol]	[Symbol]
STORM DRAIN	[Symbol]	[Symbol]
STORM DRAIN MANHOLE/JUNCTION BOX	[Symbol]	[Symbol]
CURB INLET	[Symbol]	[Symbol]
GRATE INLET	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
FIRE HYDRANT	[Symbol]	[Symbol]
WATER METER BOX	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
SANITARY SEWER LINE	[Symbol]	[Symbol]
SANITARY SEWER MANHOLE	[Symbol]	[Symbol]
POWER POLE	[Symbol]	[Symbol]
UNDERGROUND UTILITY MARKER	[Symbol]	[Symbol]
UNDERGROUND TELECOM LINE	[Symbol]	[Symbol]
UNDERGROUND ELECTRIC LINE	[Symbol]	[Symbol]
UNDERGROUND GAS LINE	[Symbol]	[Symbol]
OVERHEAD LINE	[Symbol]	[Symbol]
GAS METER	[Symbol]	[Symbol]
ACCESSIBLE PARKING	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]

CITY OF ROCKWALL CASE NO.:

SITE PLAN

ROOMS TO GO PATIO

NWC E. IH30 GREENCREST BOULEVARD

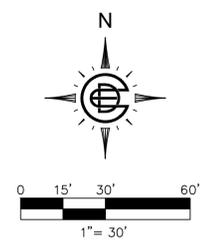
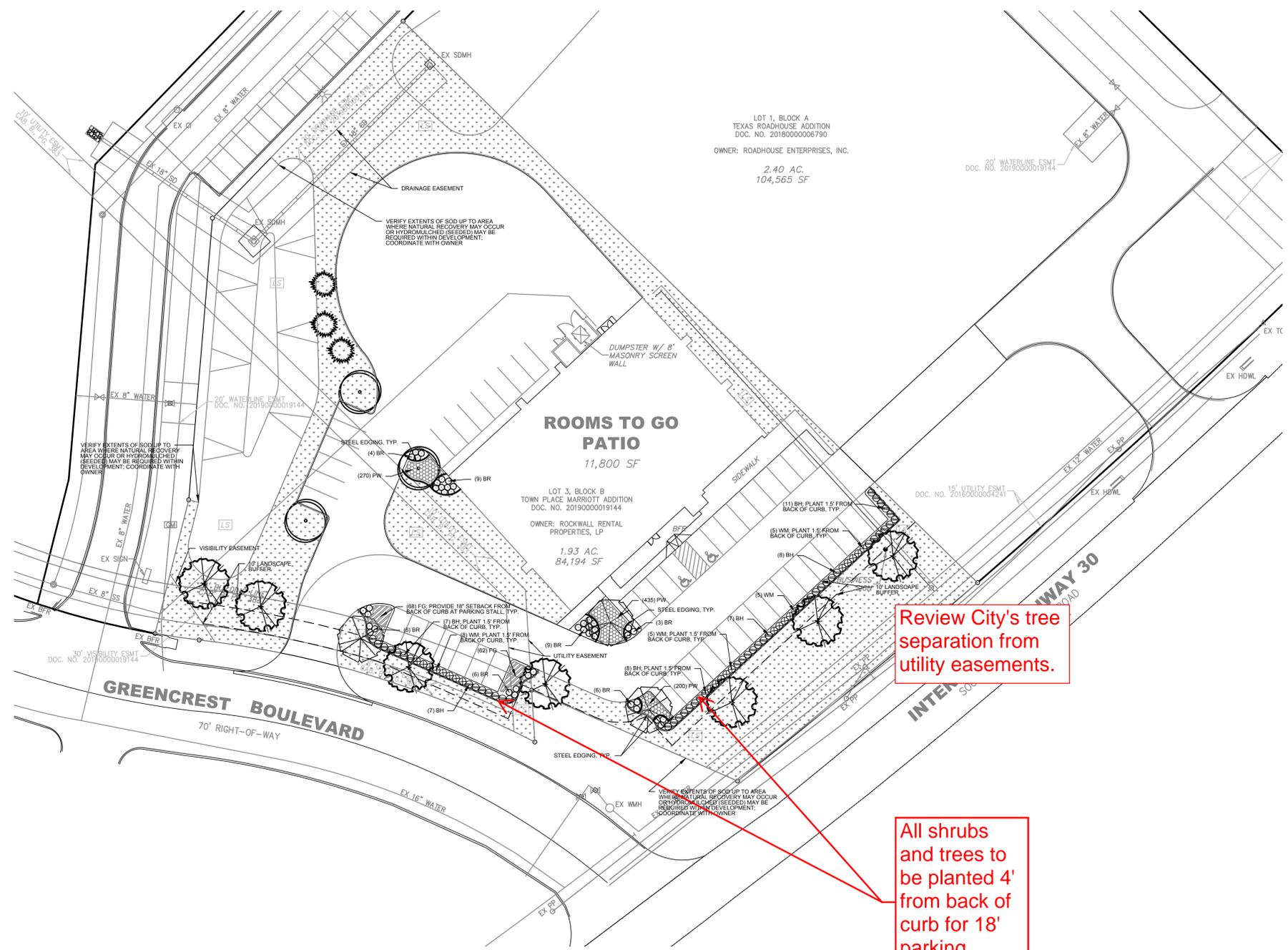
CITY OF ROCKWALL, TEXAS

<p>OWNER/DEVELOPER</p> <p>TEXAS RTG PATIO PARTNERS-II, LLC 4004 SUMMIT BOULEVARD NE, SUITE 600 ATLANTA, GEORGIA 30319 CONTACT: NICHOLAS ROTH PHONE: (678) 338-4545 EMAIL: [redacted]</p>	<p>DESIGN</p> <p>DEC</p> <p>5300 TOWN COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-850-0060 TBP# FIRM NO. F-20255</p>	
	<p>ENGINEER/APPLICANT</p> <p>DEC, LLP 5300 TOWN COUNTRY BLVD, SUITE 150 FRISCO, TEXAS, 75034 CONTACT: DANIEL STEWART, P.E. PHONE: (469) 850-0060 EMAIL: [redacted]</p>	<p>ISSUE DATE</p> <p>07/15/22</p> <p>CITY FILE NO.</p> <p>-</p>

DATED 07/05/2022.

BASED ON THE TOPOGRAPHIC SURVEY

- PROPERTY LINES & EASEMENTS: REFER TO THE TOPOGRAPHIC SURVEY TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
- DIMENSION CONTROL: ALL PAVING DIMENSIONS AND COORDINATES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
- CURB RADII: ALL CURB RADII SHALL BE TWO FEET (2') AT THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS: REFER TO THE BUILDING PLANS FOR EXACT BUILDING DIMENSIONS.



SITE DATA	
LOT AREA:	4.33 ACRES
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,800 SQ. FT.
FLOOR/AREA RATIO:	0.06
PARKING REQUIRED:	
9'x18'	46 SPACES (1/250)
ACCESSIBLE	2 SPACES
TOTAL	48 SPACES
PARKING PROVIDED:	
9'x18'	48 SPACES (1/246)
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES

SITE REQUIREMENTS

REQUIRED SITE:
15% OF TOTAL AREA TO BE DEVELOPED SHALL BE LANDSCAPED =

PROVIDED SITE:
>15% OF TOTAL AREA LANDSCAPED = +/- 32,000 SF

INTERIOR PARKING LOT LANDSCAPE

REQUIRED SITE:
PARKING AND MANEUVERING GREATER THAN 20,000 SF:
1 TREE REQUIRED PER 10 PARKING SPACES

PROVIDED SITE:
5 TREES PROVIDED FOR 52 PARKING SPACES
NO SITE CREDITS WERE USED IN CALCULATIONS

GENERAL NOTES

1. REFERENCE SHEET L1.3 FOR PLANTING DETAILS.
2. AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
3. REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
4. COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
5. CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
6. QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
7. CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
8. ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

Review City's tree separation from utility easements.

All shrubs and trees to be planted 4' from back of curb for 18' parking spaces

LANDSCAPE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
SHRUBS/ORNAMENTAL PLANTS				
⊕	23 EA	DWARF WAX MYRTLE (WM)	<i>Myrica cerifera 'pusilla'</i>	5 gal., 12"-15" ht. x 8"-10" sp., full
⊗	48 EA	DWARF BURFORD HOLLY (BH)	<i>Ilex cornuta 'Burfordii nana'</i>	5 gal., 12"-15" ht. x 8"-10" sp., full
⊙	43 EA	BARBERRY (BR)	<i>Berberis thunbergii 'Crimson Pygmy'</i>	5 gal., 10"-12" ht. x 10"-12" sp.,
ORNAMENTAL GRASS AND GROUNDCOVER				
▨	130 EA	MEXICAN FEATHERGRASS (FG)	<i>Nassella tenuissima</i>	1 gal., heavily rooted, full, 15" o.c. spacing
▩	905 EA	PURPLE WINTERCREEPER (PW)	<i>Euonymus fortunei 'coloratus'</i>	4" pots, 1"-2" ht. x 6"-8" sp, 8" o.c. spacing
TURF AND AGGREGATE				
▽	+/-26,044 SF	BERMUDAGRASS	<i>Cynodon dactylon</i>	sod, full

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.

CROSS TIMBERS STUDIO
CROSS TIMBERS STUDIO
CLIFTON HALL, ASLA
GRANDVIEW, TX 76050
PH: 972-896-1900
TBAE REG. NUMBER: BR 3558

#	MM/DD/YY	TEXT	REVISION	DATE	REMARKS

LANDSCAPE PLAN

ROOMS TO GO PATIO

NWC E. IH30 & GREENCREST BOULEVARD

CITY OF ROCKWALL, TEXAS

PRELIMINARY FOR REVIEW ONLY These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806	DESIGN	
	ISSUE DATE 07/15/22	DEC FILE NO. 10046
CITY FILE NO. -	SHEET NO. L1.2	



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION **Town Place Marriott Addition**

LOT **3**

BLOCK **B**

GENERAL LOCATION **NWC I-30 & Greencrest Boulevard**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Undeveloped**

PROPOSED ZONING **Commercial**

PROPOSED USE

ACREAGE **1.93**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **2**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Texas RTG Patio Partners-II LLC**

APPLICANT **DEC**

CONTACT PERSON **Nicholas Roth**

CONTACT PERSON **Daniel Stewart**

ADDRESS **4004 Summit Boulevard NE
Suite 600**

ADDRESS **5300 Town & Country Boulevard
Suite 150**

CITY, STATE & ZIP **Atlanta, Georgia 30319**

CITY, STATE & ZIP **Frisco Texas 75034**

PHONE **678-338-4545**

PHONE **469-850-0060**

E-MAIL **nroth@roomstogo.com**

E-MAIL **dstewart@dec-en.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Peter Weitzner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 288.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF July, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF July, 2022.

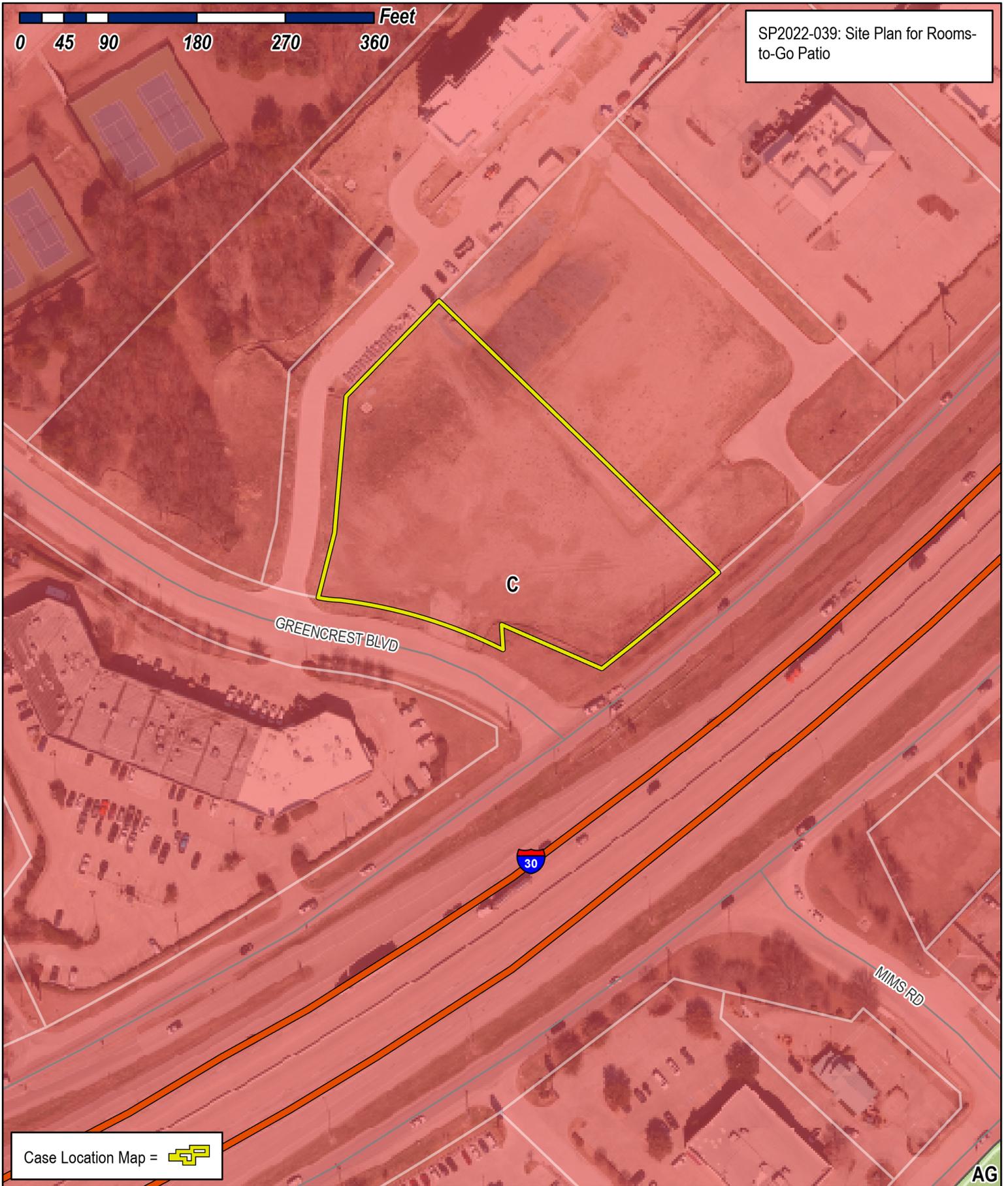
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF GEORGIA



0 45 90 180 270 360 Feet

SP2022-039: Site Plan for Rooms-to-Go Patio



Case Location Map = 

AG



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



ABBREVIATIONS

BFR	BARRIER FREE RAMP
CI	CURB INLET
CP	CONCRETE PAVEMENT
ESMT	EASEMENT
EV	ELECTRIC VAULT
EX	EXISTING
EXIST	EXISTING
FH	FIRE HYDRANT
GI	GRATE INLET
HDWL	HEADWALL
MH	MANHOLE
PP	POWER POLE
PVMT	PAVEMENT
R	RADIUS
ROW	RIGHT OF WAY
SF	SQUARE FEET
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SQ	SQUARE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TCM	TELECOMMUNICATIONS MARKER
TCP	TELECOMMUNICATIONS PEDESTAL
TCV	TELECOMMUNICATIONS VAULT
TMH	TELECOMMUNICATIONS MANHOLE
WM	WATER METER
WMH	WATER MANHOLE
WS	WATER SERVICE
WTR	WATER

LOT 2 BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 2019000019144
OWNER: GREENCREST TPS HOTEL, LP

LOT 1, BLOCK A
TEXAS ROADHOUSE ADDITION
DOC. NO. 2018000006790
OWNER: ROADHOUSE ENTERPRISES, INC.

LOT 1, BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 2019000019144
OWNER: ROCKWALL RENTAL PROPERTIES, LP

LOT 2
2.40 AC.
104,565 SF

ROOMS TO GO PATIO
11,896 SF
LOT 1
1.93 AC.
84,194 SF

LEGEND	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING	▒	▒
CURB	▬	▬
STORM DRAIN	▬	▬
STORM DRAIN MANHOLE/JUNCTION BOX	SDMH	SDMH
CURB INLET	CI	CI
GRATE INLET	GI	GI
WATER LINE	WATER	WATER
FIRE HYDRANT	⊕	● FH
WATER METER BOX	⊕	⊕
WATER VALVE	⊕	⊕
SANITARY SEWER LINE	EX SS	SS
SANITARY SEWER MANHOLE	⊕	● SSMH
POWER POLE	PP	● PP
UNDERGROUND UTILITY MARKER	△	△
UNDERGROUND TELECOM LINE	---	---
UNDERGROUND ELECTRIC LINE	---	---
UNDERGROUND GAS LINE	---	---
OVERHEAD LINE	---	---
GAS METER	GM	GM
ACCESSIBLE PARKING	♿	♿
SIGN	♣	♣

- DIMENSION CONTROL GENERAL NOTES**
- BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY EAGLE SURVEYING, DATED 07/05/2022.
 - PROPERTY LINES & EASEMENTS: REFER TO THE TOPOGRAPHIC SURVEY TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
 - DIMENSION CONTROL: ALL PAVING DIMENSIONS AND COORDINATES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
 - CURB RADII: ALL CURB RADII SHALL BE TWO FEET (2') AT THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS: REFER TO THE BUILDING PLANS FOR EXACT BUILDING DIMENSIONS.

L= 22.04'
R= 415.00'
= 003 02'37"
CL= 22.04'
CB= N81 36'37"W

L= 174.44'
R= 485.00'
= 020 36'27"
CL= 173.50'
CB= N73 10'49"W

L= 153.72'
R= 3669.86'
= 002 24'00"
CL= 153.71'
CB= S50 34'06"W

LEGEND	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING	▒	▒
CURB	▬	▬
STORM DRAIN	▬	▬
STORM DRAIN MANHOLE/JUNCTION BOX	SDMH	SDMH
CURB INLET	CI	CI
GRATE INLET	GI	GI
WATER LINE	WATER	WATER
FIRE HYDRANT	⊕	● FH
WATER METER BOX	⊕	⊕
WATER VALVE	⊕	⊕
SANITARY SEWER LINE	EX SS	SS
SANITARY SEWER MANHOLE	⊕	● SSMH
POWER POLE	PP	● PP
UNDERGROUND UTILITY MARKER	△	△
UNDERGROUND TELECOM LINE	---	---
UNDERGROUND ELECTRIC LINE	---	---
UNDERGROUND GAS LINE	---	---
OVERHEAD LINE	---	---
GAS METER	GM	GM
ACCESSIBLE PARKING	♿	♿
SIGN	♣	♣

LEGEND	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING	▒	▒
CURB	▬	▬
STORM DRAIN	▬	▬
STORM DRAIN MANHOLE/JUNCTION BOX	SDMH	SDMH
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ACCESSIBLE PARKING	♿	♿
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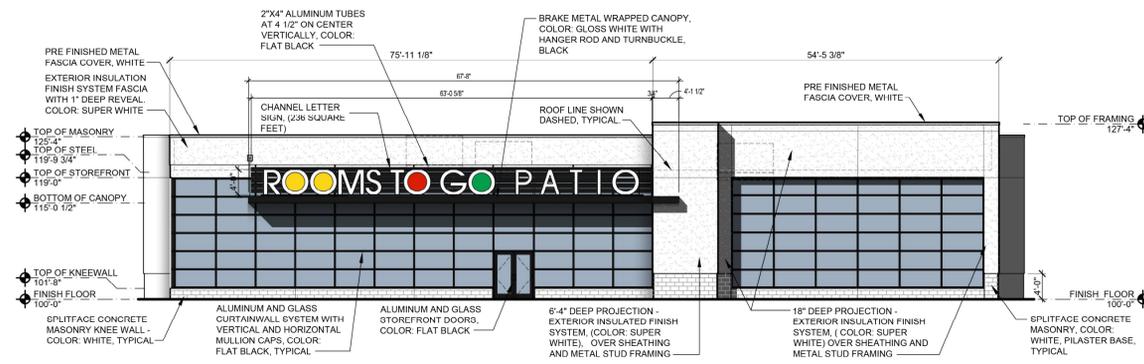
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PROPERTY LINE	---	---
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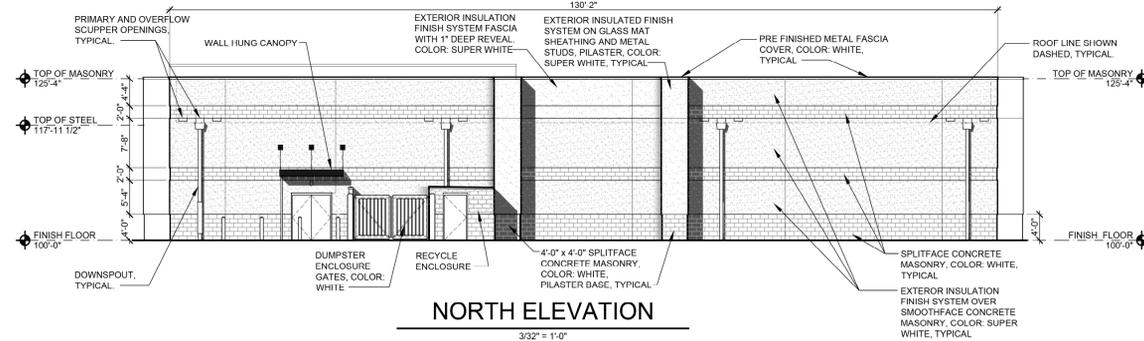
LEGEND	EXISTING	PROPOSED
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WATER LINE	WATER	WATER
FIRE HYDRANT	⊕	● FH
WATER METER BOX	⊕	⊕
WATER VALVE	⊕	⊕
SANITARY SEWER LINE	EX SS	SS
SANITARY SEWER MANHOLE	⊕	● SSMH
POWER POLE	PP	● PP
UNDERGROUND UTILITY MARKER	△	△
UNDERGROUND TELECOM LINE		



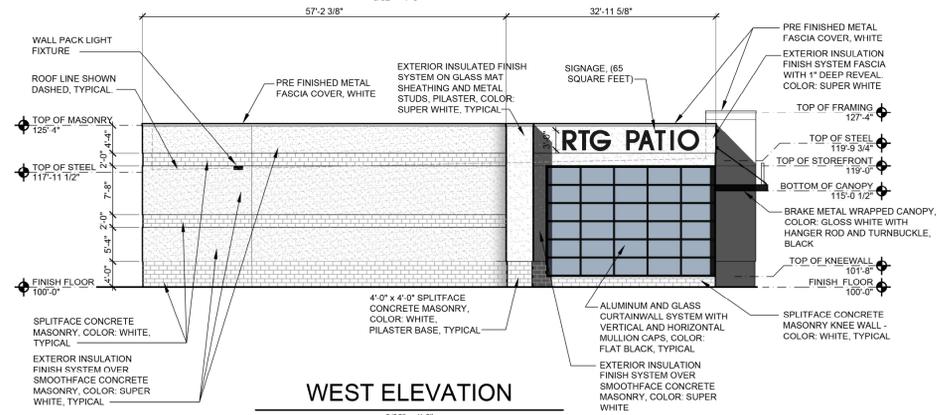
SOUTH ELEVATION

3/32" = 1'-0"



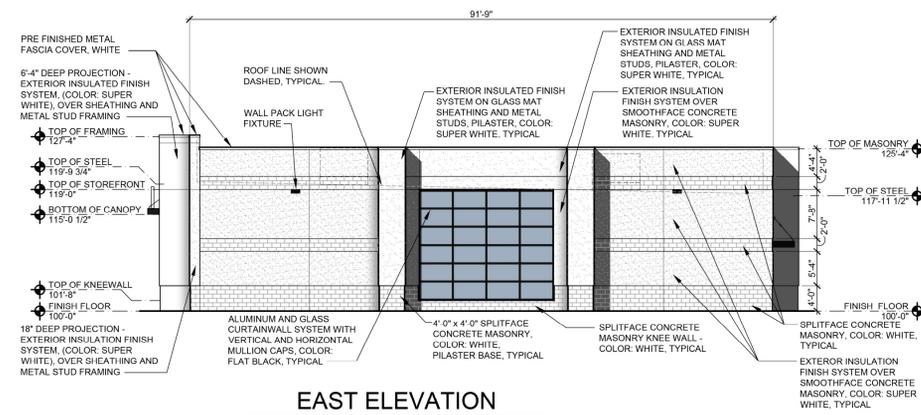
NORTH ELEVATION

3/32" = 1'-0"



WEST ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

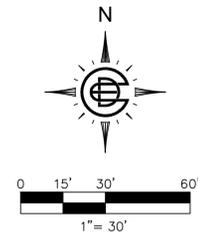
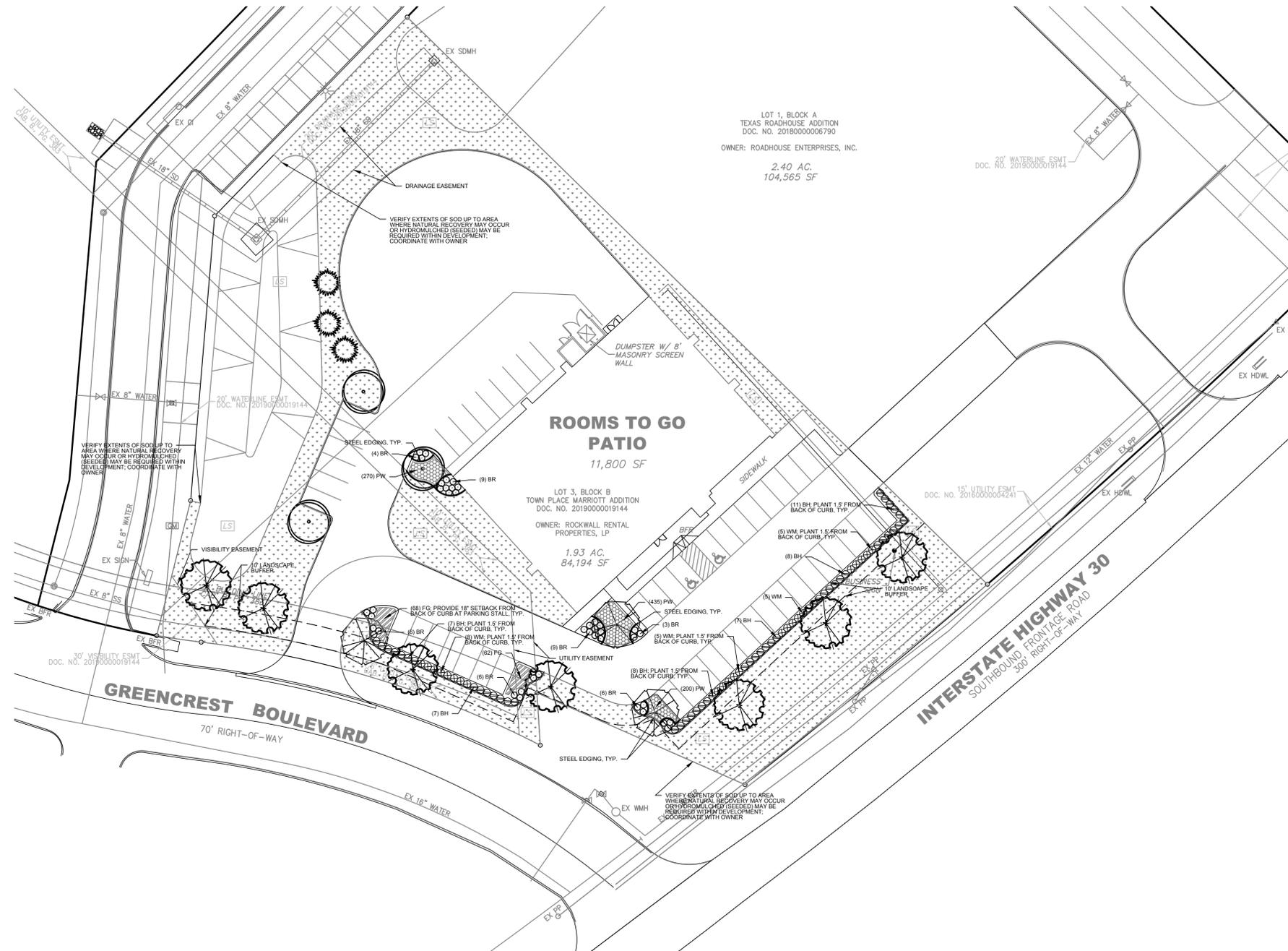
MATERIAL	FINISHES
SPLIT FACE CONCRETE MASONRY UNIT, PILASTERS, KNEE WALL, AND DUMPSTER SCREEN WALL	8" HIGH INTEGRALLY COLORED SPLIT-FACE CONCRETE MASONRY UNITS APPLY WATER REPELLENT (REFER SPECIFICATION 09900), MANUFACTURERS: (ADAMS OLD CASTLE) COLOR: #6021 OR APPROVED EQUAL
EXTERIOR INSULATION FINISH SYSTEM ON SMOOTHFACE CONCRETE MASONRY BANDS	DRYVIT SYSTEM "SANDPEBBLE", COLOR: #101 SUPER WHITE
EXTERIOR INSULATION FINISH SYSTEM FASCIA, PILASTERS AND FIELD	DRYVIT SYSTEM "SANDPEBBLE" FINE", COLOR: #101 SUPER WHITE
PRE FINISHED METAL COPING AND FASCIA COVER	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
CURTAINWALL MULLIONS AND ENTRY DOORS	KYNAR FINISH - BLACK ON EXTERIOR AND INTERIOR
PREFINISHED METAL ROOF AT RECYCLE AREA	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
WALL HUNG CANOPY	ALL EXPOSED COMPONENTS FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
ALUMINUM SOFFIT PANEL	NON - VENTED ALUMINUM SOFFIT PANEL, COLOR - PRE-FINISHED TO MATCH CANOPY WHITE

CASCO

12 SUNNEN DR. SUITE. 100
ST. LOUIS, MO 63143
ARCHITECTS/ENGINEERS
314-821-1100

**ROOMS
TO GO**

ROCKWALL, TEXAS
7/7/2022



SITE DATA	
LOT AREA:	4.33 ACRES
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,800 SQ. FT.
FLOOR/AREA RATIO:	0.06
PARKING REQUIRED:	
9'x18'	46 SPACES (1/250)
ACCESSIBLE	2 SPACES
TOTAL	48 SPACES
PARKING PROVIDED:	
9'x18'	48 SPACES (1/246)
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES

SITE REQUIREMENTS

REQUIRED SITE:
15% OF TOTAL AREA TO BE DEVELOPED SHALL BE LANDSCAPED =

PROVIDED SITE:
>15% OF TOTAL AREA LANDSCAPED = +/- 32,000 SF

INTERIOR PARKING LOT LANDSCAPE

REQUIRED SITE:
PARKING AND MANEUVERING GREATER THAN 20,000 SF:
1 TREE REQUIRED PER 10 PARKING SPACES

PROVIDED SITE:
5 TREES PROVIDED FOR 52 PARKING SPACES
NO SITE CREDITS WERE USED IN CALCULATIONS

GENERAL NOTES

- REFERENCE SHEET L1.3 FOR PLANTING DETAILS.
- AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
- REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
- COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
- CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
- QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
- CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

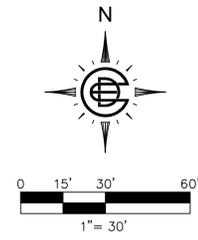
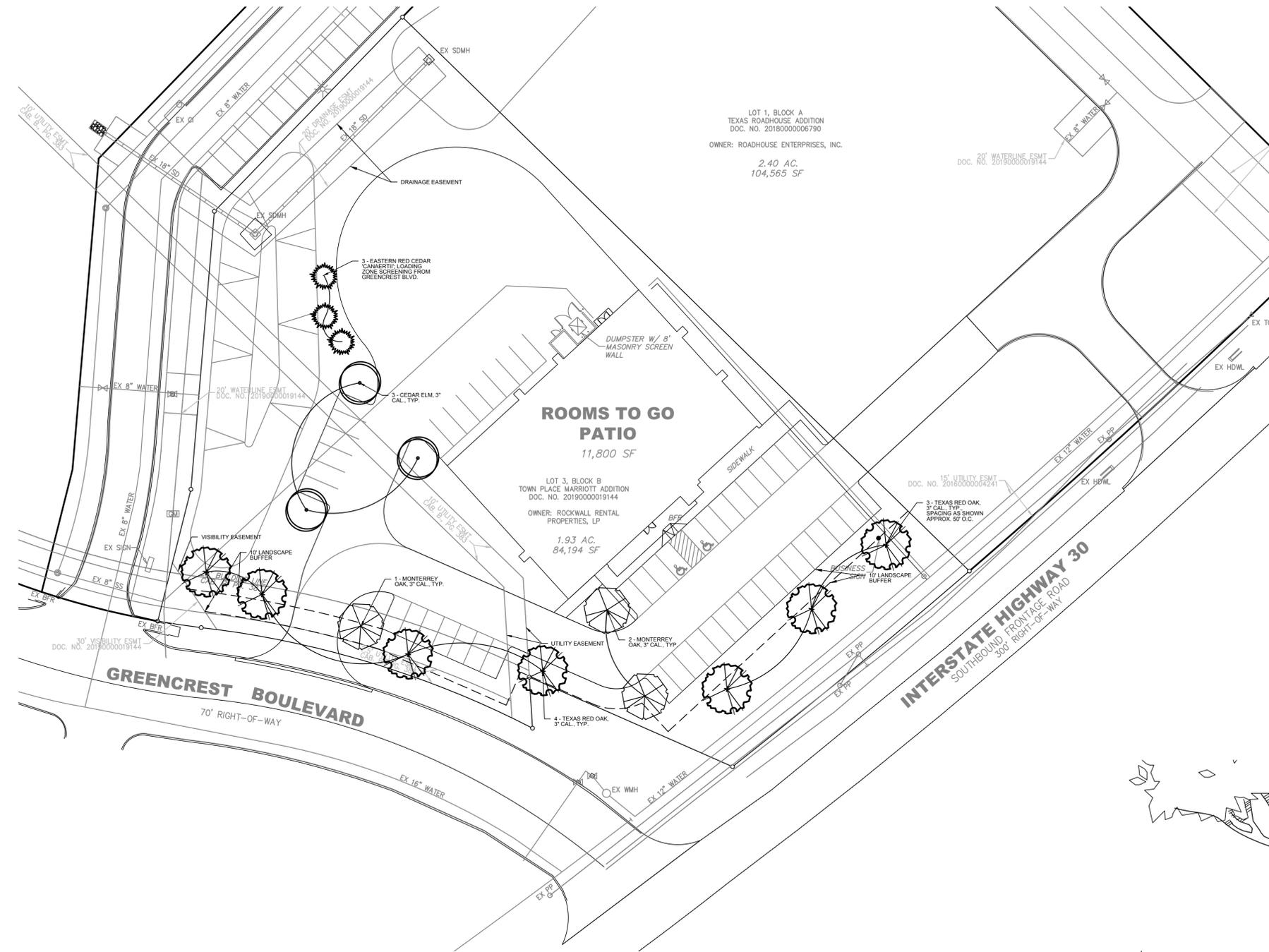
LANDSCAPE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
SHRUBS/ORNAMENTAL PLANTS				
⊕	23 EA	DWARF WAX MYRTLE (WM)	<i>Myrica cerifera 'pusilla'</i>	5 gal., 12"-15" ht. x 8"-10" sp., full
⊗	48 EA	DWARF BURFORD HOLLY (BH)	<i>Ilex cornuta 'Burfordii nana'</i>	5 gal., 12"-15" ht. x 8"-10" sp., full
⊙	43 EA	BARBERRY (BR)	<i>Berberis thunbergii 'Crimson Pygmy'</i>	5 gal., 10"-12" ht. x 10"-12" sp.,
ORNAMENTAL GRASS AND GROUNDCOVER				
▨	130 EA	MEXICAN FEATHERGRASS (FG)	<i>Nassella tenuissima</i>	1 gal., heavily rooted, full, 15" o.c. spacing
▩	905 EA	PURPLE WINTERCREEPER (PW)	<i>Euonymus fortunei 'coloratus'</i>	4" pots, 1"-2" ht. x 6"-8" sp, 8" o.c. spacing
TURF AND AGGREGATE				
▽	+/-26,044 SF	BERMUDAGRASS	<i>Cynodon dactylon</i>	sod, full

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.

CROSS TIMBERS STUDIO
CROSS TIMBERS STUDIO
CLIFTON HALL, ASLA
GRANDVIEW, TX 76050
PH: 972-896-1900
TBAE REG. NUMBER: BR 3558

#	REV	MM/DD/YY	TEXT	DATE	REMARKS
LANDSCAPE PLAN					
ROOMS TO GO PATIO					
NWC E. IH30 & GREENCREST BOULEVARD					
CITY OF ROCKWALL, TEXAS					
PRELIMINARY FOR REVIEW ONLY These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806			DESIGN		
		ISSUE DATE	DEC FILE NO.		
		07/15/22	10046		
		CITY FILE NO.	SHEET NO.		
		-	L1.2		



SITE DATA	
LOT AREA:	4.33 ACRES
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,800 SQ. FT.
FLOOR/AREA RATIO:	0.06
PARKING REQUIRED:	
9'x18'	46 SPACES (1/250)
ACCESSIBLE	2 SPACES
TOTAL	48 SPACES
PARKING PROVIDED:	
9'x18'	48 SPACES (1/246)
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES

SITE TREE REQUIREMENTS

NO EXISTING TREES ON SITE

REQUIRED SITE:

1 TREE PER 50 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
 IH 30 FRONTAGE RD. (154 LF) = 3 TREES
 GREENCREST BLVD. (278 LF) = 6 TREES

NO PARKING SPACE SHALL BE FURTHER THAN 80' FROM A TREE

PROVIDED SITE:

1 TREE PER 50 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
 IH 30 FRONTAGE RD. (154 LF) = 3 TREES
 GREENCREST BLVD. (278 LF) = 6 TREES

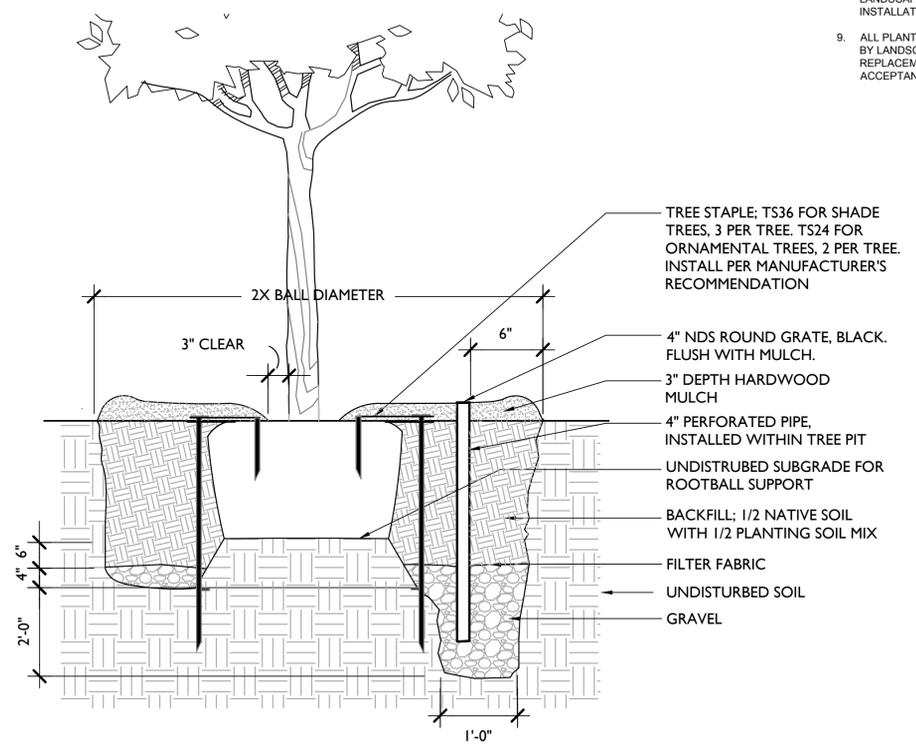
ALL PARKING SPACES WITH 80' FROM A TREE

- GENERAL NOTES**
- REFERENCE DETAIL THIS SHEET FOR TREE PLANTING DETAIL.
 - AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
 - REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
 - COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
 - CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
 - QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
 - NO TREE SHALL BE CLOSER THAN 2 1/2 FEET TO PAVEMENT AND NO CLOSER THAN 5' TO ANY UTILITY.
 - CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

TREE SCHEDULE

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
LARGE CANOPY TREES			
3 EA	CEDAR ELM	<i>Ulmus crassifolia</i>	100 gal., 3" cal. min. 10'-12' ht. x 6'-8' sp.
7 EA	TEXAS RED OAK	<i>Taxodium distichum</i>	100 gal., 3" cal. min. 10'-12' ht. x 6'-8' sp.
3 EA	MONTERREY OAK	<i>Quercus polymorpha</i>	100 gal., 3" cal. min. 10'-12' ht. x 6'-8' sp.
3 EA	EASTERN RED CEDAR 'CANAERTII'	<i>Juniperus virginiana 'Canaertii'</i>	45 gal., 6'-8' ht. x 4' sp. min. at base, full to ground

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.



A ORNAMENTAL AND SHADE TREE STAKING
SECTION NOT TO SCALE

CROSS TIMBERS STUDIO
 CROSS TIMBERS STUDIO
 CLIFTON HALL, ASLA
 GRANDVIEW, TX 76050
 PH: 972-896-1900
 TBAE REG. NUMBER: BR 3558

#	MM/DD/YY	TEXT	REMARKS

TREESCAPE PLAN

ROOMS TO GO PATIO

NWC E. IH30 & GREENCREST BOULEVARD

CITY OF ROCKWALL, TEXAS

DESIGN

PRELIMINARY FOR REVIEW ONLY
 These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:
 Clifton D. Hall
 L.A.#2806

ISSUE DATE	DEC FILE NO.
07/15/22	10046
CITY FILE NO.	SHEET NO.
-	L1.1

D-Series Size 2 LED Area Luminaire

Specifications

Length: 15.5" (393mm)
 Width: 11.5" (292mm)
 Height: 11.5" (292mm)
 Weight: 15.5 lbs (7.0 kg)

Ordering Information

EXAMPLE: DSK2 LED P7 40K T3M MVOLT SPN NL2AIR2 PIRHN DDB20

Item	Qty	Part Number	Description	Notes
DSK2	1	DSK2	DSK2 LED P7 40K T3M MVOLT SPN NL2AIR2 PIRHN DDB20	

Ordering Information

EXAMPLE: DSK2 LED P7 40K T3M MVOLT SPN NL2AIR2 PIRHN DDB20

DSK2 Area Luminaire - EPA

Area	10' x 10'	15' x 15'	20' x 20'	25' x 25'	30' x 30'	35' x 35'	40' x 40'
Area	100	225	400	625	900	1225	1600
Watts	100	225	400	625	900	1225	1600
LF/Ft	1.0	1.5	2.0	2.5	3.0	3.5	4.0

D-Series Size 0 LED Area Luminaire

Specifications

Length: 13.5" (343mm)
 Width: 11.5" (292mm)
 Height: 11.5" (292mm)
 Weight: 13.5 lbs (6.1 kg)

Ordering Information

EXAMPLE: DSK0 LED P6 40K T3M MVOLT SPN NL2AIR2 PIRHN DDB20

Item	Qty	Part Number	Description	Notes
DSK0	1	DSK0	DSK0 LED P6 40K T3M MVOLT SPN NL2AIR2 PIRHN DDB20	

Ordering Information

EXAMPLE: DSK0 LED P6 40K T3M MVOLT SPN NL2AIR2 PIRHN DDB20

DSK0 Area Luminaire - EPA

Area	10' x 10'	15' x 15'	20' x 20'	25' x 25'	30' x 30'	35' x 35'	40' x 40'
Area	100	225	400	625	900	1225	1600
Watts	100	225	400	625	900	1225	1600
LF/Ft	1.0	1.5	2.0	2.5	3.0	3.5	4.0

Seminole Pole incorporated

Part#: SP3730TII

Project:

Pole O.A.	Burial Depth	Wind Speed	Cost	EPA Capacity
37'	7'	170mph	3 sec.	4.0

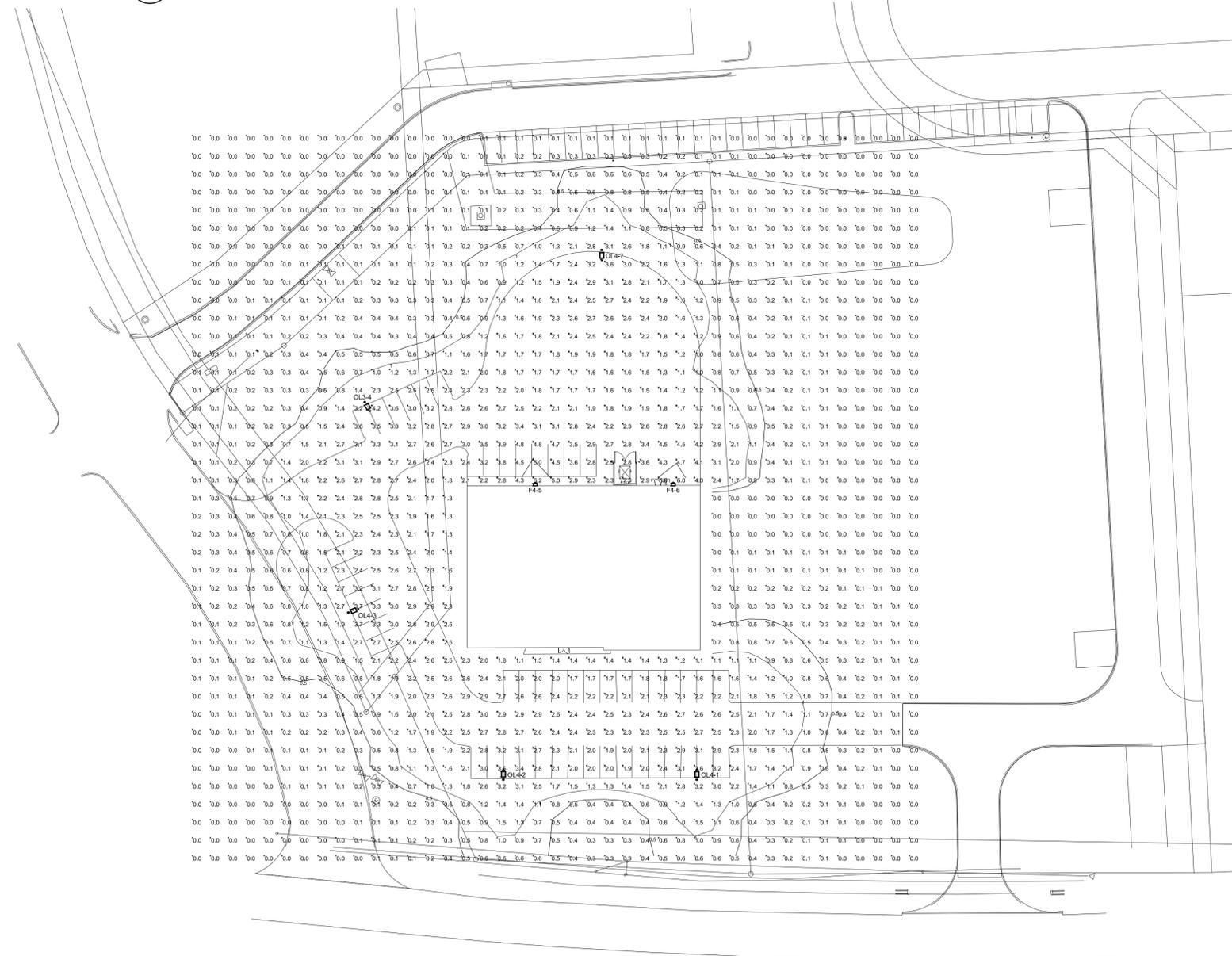
Max. Allow. Weight (lbs): 3,500lb
 Max. Allow. Moment (ft-lb): 6,500ft-lb

POLE MOUNTED LUMINAIRE - TYPE OL3 AND OL4

WALL MOUNTED LUMINAIRE TYPE F4

2 SITE LUMINAIRES
 SCALE: NOT TO SCALE

3 LIGHT POLE
 SCALE: NOT TO SCALE



BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ELECTRICAL CONTRACTOR SHALL DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

- NOTES:**
- SITE PHOTOMETRICS PERFORMED WITHOUT CONTRIBUTION OF EXISTING ADJACENT PARKING LOT OR STREETLIGHTS.
 - REFER TO LUMINAIRE LOCATIONS FOR MOUNTING HEIGHT (MH).
 - ILLUMINATION CALCULATIONS PERFORMED ON A MAINTAINED BASIS WITH LLF=0.91 FOR LED LUMINAIRES AT FINISHED GRADE.
 - ALL LUMINAIRES USED FOR SITE LIGHTING SHALL BE FULL CUTOFF.
 - ALL LUMINAIRES SHOWN IN SCHEDULE ARE "LITHONIA". EQUAL FULL CUT OFF LUMINAIRES WITH SAME TYPE OF DISTRIBUTION AND LIGHT SOURCE WILL BE CONSIDERED FOR APPROVAL.
 - ANY DEVIATION FROM THE LUMINAIRES SHOWN WILL REQUIRE A PHOTOMETRICS PLAN TO ENSURE THE LUMINAIRES MEET EXTERIOR LIGHTING REQUIREMENTS.
 - SITE LIGHTING POLES SHALL PRE-CAST CONCRETE POLES AS SHOWN ON LIGHT POLE DETAIL.
 - LUMINAIRES SHALL BE CONTROLLED BY PHOTOCELL ON, ASTRONOMICAL TIME CLOCK OFF, EXCEPT SECURITY LIGHTS CONTROLLED PHOTOCELL ON, PHOTOCELL OFF.
 - ALL POLE MOUNT LUMINAIRES SHALL BE NATURAL ALUMINUM IN COLOR. WALL MOUNT LUMINAIRES SHALL BE WHITE IN COLOR.

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
OL3	OL3	1	DSK2 LED P3 40K T3M MVOLT	DSK2 LED P3 40K T3M MVOLT	LED	DSK2_LED_P3_40K_T3M_mv_VOLT.as	27448	0.91	217
OL4	OL4	4	DSK2 LED P3 40K T3M MVOLT	DSK2 LED P3 40K T3M MVOLT	LED	DSK2_LED_P3_40K_T3M_mv_VOLT.as	28254	0.91	217
F4	F4	2	DSK0 LED P6 40K T3M MVOLT	DSK0 LED P6 40K T3M MVOLT	LED	DSK0_LED_P6_40K_T3M_mv_VOLT.as	15964	0.91	134

LUMINAIRE LOCATIONS

No.	Label	MH	Orientation	TR
1	OL4	30.0	0.0	0.0
2	OL4	30.0	0.0	0.0
3	OL4	30.0	70.0	0.0
4	OL3	30.0	150.0	0.0
5	F4	17.0	0.0	0.0
6	F4	17.0	0.0	0.0
7	OL4	30.0	180.0	0.0

STATISTICS

Description	Symbol	Avg	Max	Min	MaxMin	AvgMin
Area	+	0.9 fc	6.2 fc	0.0 fc	N/A	N/A
RTG Parking	X	2.4 fc	6.2 fc	1.0 fc	6.2	2.4

CONSTR. DOC. & REVISIONS

No.	Description	Date
1	DESCRIPTION SITE APPROVAL	07/13/22

Drawn By/Checked By: ZT
 Project Number: 2202184
 Bid Date: -
 Owner Date: -

1 SITE LIGHTING PHOTOMETRICS
 SCALE: 1" = 30'-0"



SITE LIGHTING PHOTOMETRICS

E0.2

ROOMS TO GO
 PATIO SHOWROOM
 NEQ IH 30 & GREENCREST BLVD
 ROCKWALL, TX

CASCO
 12 Sumner Drive, Suite 100, St. Louis, MO 63143
 T: 314.821.1100

D-Series Size 2 LED Area Luminaire

Specifications

Ordering Information

DSX2ID	Mounting	Finish	Options	Part Number
DSX2ID	DSX2	DSX2	DSX2	DSX2

Accessories

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high-performance, high-efficiency luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 70% and expected service life of over 100,000 hours.

D-Series Size 0 LED Area Luminaire

Specifications

Ordering Information

DSX0ID	Mounting	Finish	Options	Part Number
DSX0ID	DSX0	DSX0	DSX0	DSX0

Accessories

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high-performance, high-efficiency luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 0 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 70% and expected service life of over 100,000 hours.

D-Series Size 2 LED Area Luminaire

Specifications

Ordering Information

DSX2ID	Mounting	Finish	Options	Part Number
DSX2ID	DSX2	DSX2	DSX2	DSX2

Accessories

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D-Series Size 0 LED Area Luminaire

Specifications

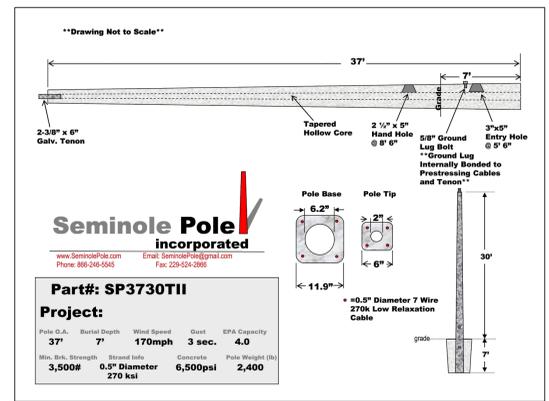
Ordering Information

DSX0ID	Mounting	Finish	Options	Part Number
DSX0ID	DSX0	DSX0	DSX0	DSX0

Accessories

Introduction

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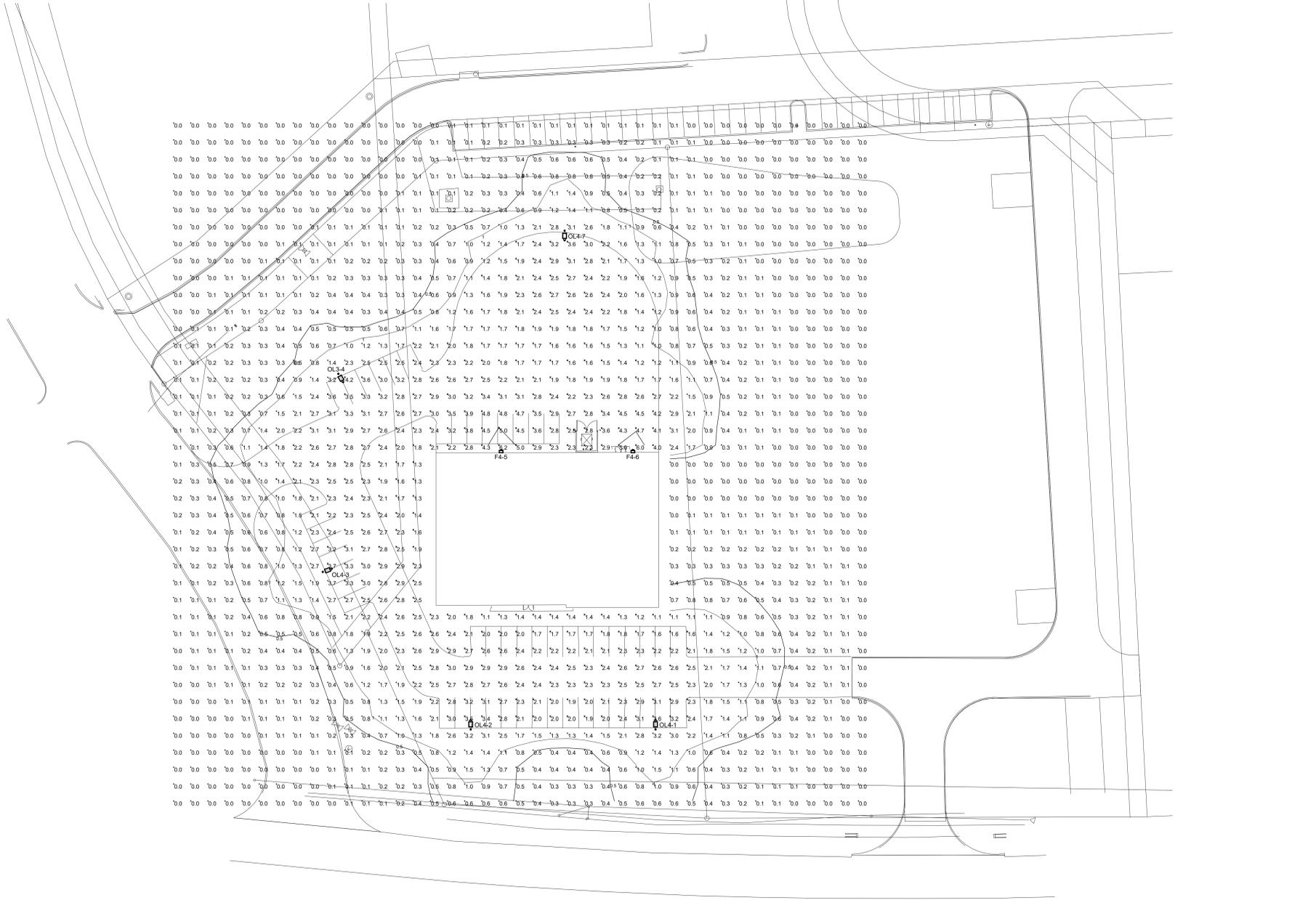


POLE MOUNTED LUMINAIRE - TYPE OL3 AND OL4

WALL MOUNTED LUMINAIRE TYPE F4

2 SITE LUMINAIRES
SCALE: NOT TO SCALE

3 LIGHT POLE
SCALE: NOT TO SCALE



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LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
OL3	OL3	1	DSX2 LED P3 40K T3M MVOLT	DSX2 LED P3 40K T3M MVOLT	LED	DSX2_LED_P3_40K_T3M_MV_VOLT.es	27446	0.91	217
OL4	OL4	4	DSX2 LED P3 40K TFTM MVOLT	DSX2 LED P3 40K TFTM MVOLT	LED	DSX2_LED_P3_40K_TFTM_MV_VOLT.es	28254	0.91	217
F4	F4	2	DSX0 LED P6 40K TFTM MVOLT	DSX0 LED P6 40K TFTM MVOLT	LED	DSX0_LED_P6_40K_TFTM_MV_VOLT.es	15984	0.91	134

LUMINAIRE LOCATIONS

No.	Label	MH	Orientation	Tilt
1	OL4	30.0	0.0	0.0
2	OL4	30.0	0.0	0.0
3	OL4	30.0	70.0	0.0
4	OL3	30.0	150.0	0.0
5	F4	17.0	0.0	0.0
6	F4	17.0	0.0	0.0
7	OL4	30.0	180.0	0.0

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Area	+	0.9 fc	6.2 fc	0.0 fc	N/A	N/A
RTG Parking	X	2.4 fc	6.2 fc	1.0 fc	6.2:1	2.4:1

1 SITE LIGHTING PHOTOMETRICS
SCALE: 1' = 30'-0"



ROOMS PATIO SHOWROOM
TO GO
NEQ IH 30 & GREENCREST BLVD
ROCKWALL, TX

CONSTR. DOC. & REVISIONS
Date: 07/13/22
Description: SITE APPROVAL
No.:

Drawn By/Checked By: ZT
Project Number: 2202184
Bid Date: -
Owner Date: -

SITE LIGHTING PHOTOMETRICS

E0.2



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 30, 2022
APPLICANT: Daniel Stewart; DEC
CASE NUMBER: SP2022-039; *Site Plan for Rooms-To-Go-Patio*

SUMMARY

Discuss and consider a request by Daniel Stewart of DEC on behalf of Nicholas Roth of Texas RTG Patio Partners-II, LLC for the approval of a Site Plan for a General Retail Store (*i.e. Rooms-To-Go Patio*) on a 1.93-acre portion of a larger 4.333-acre parcel of land identified as Lot 3, Block B, Town Place Marriott Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard, and take any action necessary.

BACKGROUND

On September 5, 1960, the subject property was annexed by *Ordinance No. 60-02 [Case No. A1960-002]*. According to the City's *Historic Zoning Maps*, between annexation and January 3, 1972 the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. The subject property remained zoned Commercial (C) District since this time.

PURPOSE

The applicant -- *Daniel Stewart of DEC* -- is requesting the approval of a Site Plan for an 11,896 SF *General Retail Store*.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northeast corner of the intersection of the IH-30 Frontage Road and Greencrest Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 2.80-acre parcel of land being a portion of a larger 8.613-acre tract of land (*i.e. Lot 1, Block B, Greenest Addition*), zoned Commercial (C) District, and developed with a 16,210 SF hotel (*i.e. Townplace Marriott Suites*). North of this is a 35.295-acre parcel of land (*i.e. Lot 3, Block 1, Rockwall High School Addition*), zoned Commercial (C) District, developed with a *Public Secondary School (i.e. Rockwall High School)*. North of this is W. Yellow Jacket Lane, which is classified as a M4D (*i.e. Major Collector, four [4] lane, divided roadway*) on the City's Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly South of the subject property is E. IH-30, which is classified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, roadway*) on the City's Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is Mims Road, which is classified as a *Minor Collector* on the City's Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 0.554-acre parcel of land (*i.e. Lot 5, Block A, Rockwall Market Center East*), zoned Commercial (C) District, developed with a *Restaurant with Less Than 2,000 SF with Drive-Through (i.e. Bahama Bucks)*.

East: Directly east of the subject property is a 2.0767-acre parcel of land (*i.e. Lot 1, Block A, Texas Roadhouse Addition*), zoned Commercial (C) District, developed with a *Restaurant with 2,000 SF or More (i.e. Texas Roadhouse)*. Beyond this is a 3.642-acre parcel of land (*i.e. Lot 1, Block 1, Rockwall-Pine Addition*), zoned Commercial (C) District, developed with a 40,081 SF Retail Store (*i.e. Rooms-To-Go*). Beyond that is a 5.656-

acre tract of land (i.e. Lot 1, Block 1, Heritage BPG Addition), zoned Commercial (C) District, developed with a 27,968 SF *Motor Vehicle Dealership for Cars and Light Trucks* (i.e. Heritage GMC Buick). Beyond this is Kyle Drive, which is classified as a *Minor Collector* on the City's Thoroughfare Plan contained OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Greencrest Boulevard, which is classified as a *Minor Collector* on the City's Thoroughfare Plan contained OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.402-acre parcel of land, zoned Commercial (C) District, and developed with a 39,410 SF *Multi-Use Shopping Center* (i.e. Monarch Dental, China Taste, Pinky Nail, CBD American Shaman, Check N Go, Anytime Fitness, Domino's Pizza, Fireside Chicken and Tacos, Metro PCS, and Davita Dialysis). Beyond that is a 25.9263-acre parcel of land, zoned Commercial (C) District, developed with a 202,607 SF *General Retail Store* (i.e. Walmart Supercenter). Beyond this is a 1.33-acre parcel of land, zoned Commercial (C) District, developed with a 10,920 SF *Multi-Use Shopping Center* (i.e. Kings Crab Shack, Lone Star Vapor Shop, Rockwall Phone Repair, Kumon Academic, and Car Toys). Beyond that is White Hills Drive, which is classified as a *Minor Collector* on the City's Thoroughfare Plan contained OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *General Retail Store* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the variances and exceptions outline in the *Variances and Exceptions by the Applicant* section below. A summary of the density and dimensional requirements for the subject property and the proposed projects conformance to these requirements are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	43,560 SF	X≥84,070 SF; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	25-Feet	X≥25-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	X≥100-Feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	25-Feet	X≥25-Feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-Feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X≥10-Feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	X<30-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	X=14%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1/250 SF or 48 spaces	X=50; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	15%	X=38%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85-90%	C=54%; <i>In Conformance</i>

CONFORMANCE WITH THE CITY'S CODES

Based on Subsection 02.02, *Land Use Standards*, of Article 13, *Definitions*, of the Unified Development Code (UDC), the applicant is requesting the approval of a *General Retail Store*, which conforms to the land uses listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) for a property situated in a Commercial (C) District. The proposed site plan generally conforms to the *General Overlay District Standards* and the *General Commercial (C) District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances and exceptions being requested in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions and variances:

Variances.

(1) Landscape Standards

- a. Landscape Buffers. According to Subsection 06.02.E.c, of Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(a)ll landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway." In this case, the applicant is required three (3) canopy trees and six (6) accent trees along the IH-30 frontage road. The applicant is requesting to plant one (1) canopy and six (6) accent trees along the IH-30 frontage road.

(2) Architectural Standards

- a. Secondary Materials. According to Subsection 06.02.C.1, Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials and/or a maximum of 10% Secondary Materials -- excluding doors and windows." In this case, the applicant is requesting to use STOPowerwall Stucco for up to 17% of the facades.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] to increase the number of trees located around the detention area, and [2] increase the number of shrubs throughout the property. In justification for the Landscape Standards Variance, the applicant has dispersed the required canopy trees throughout the site. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the IH-30 Corridor District and is designated for Special Commercial Corridor land uses. According to the plan, the Special Commercial Corridor "...is intended to provide an area for commercial/retail activity centers that are intended to support and serve the entire region." The primary land uses in the Special Commercial Corridor include Regional Shopping Centers, Entertainment, Retail, Personal Services, Restaurant, Corporate Offices, Employment and Recreational Land Uses. In this case, the applicant is requesting approval of a site plan for an 11,896 SF *General Retail Store*. Based on this, the applicant's request appears to conform to the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On July 26, the Architecture Review Board (ARB) reviewed the proposed building elevations, and requested changes from the applicant. Specifically, the ARB requested that the applicant try to generally match the design of the Rooms-To-Go located at 920 E Interstate 30. The applicant has provided updated building elevations that generally conform to the ARB's request. These will be reviewed by the ARB at the meeting on August 30, 2022.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of the 11,896 SF *General Retail Store* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.

- (2) The applicant provide a Landscape Plan showing a berm and shrubbery with a minimum height of 30-inches along IH-30 and Greencrest Boulevard.

- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION **Town Place Marriott Addition**

LOT **3**

BLOCK **B**

GENERAL LOCATION **NWC I-30 & Greencrest Boulevard**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial**

CURRENT USE **Undeveloped**

PROPOSED ZONING **Commercial**

PROPOSED USE

ACREAGE **1.93**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **2**

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Texas RTG Patio Partners-II LLC**

APPLICANT **DEC**

CONTACT PERSON **Nicholas Roth**

CONTACT PERSON **Daniel Stewart**

ADDRESS **4004 Summit Boulevard NE
Suite 600**

ADDRESS **5300 Town & Country Boulevard
Suite 150**

CITY, STATE & ZIP **Atlanta, Georgia 30319**

CITY, STATE & ZIP **Frisco Texas 75034**

PHONE **678-338-4545**

PHONE **469-850-0060**

E-MAIL **nroth@roomstogo.com**

E-MAIL **dstewart@dec-en.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Peter Weitzner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 288.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF July, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF July, 2022.

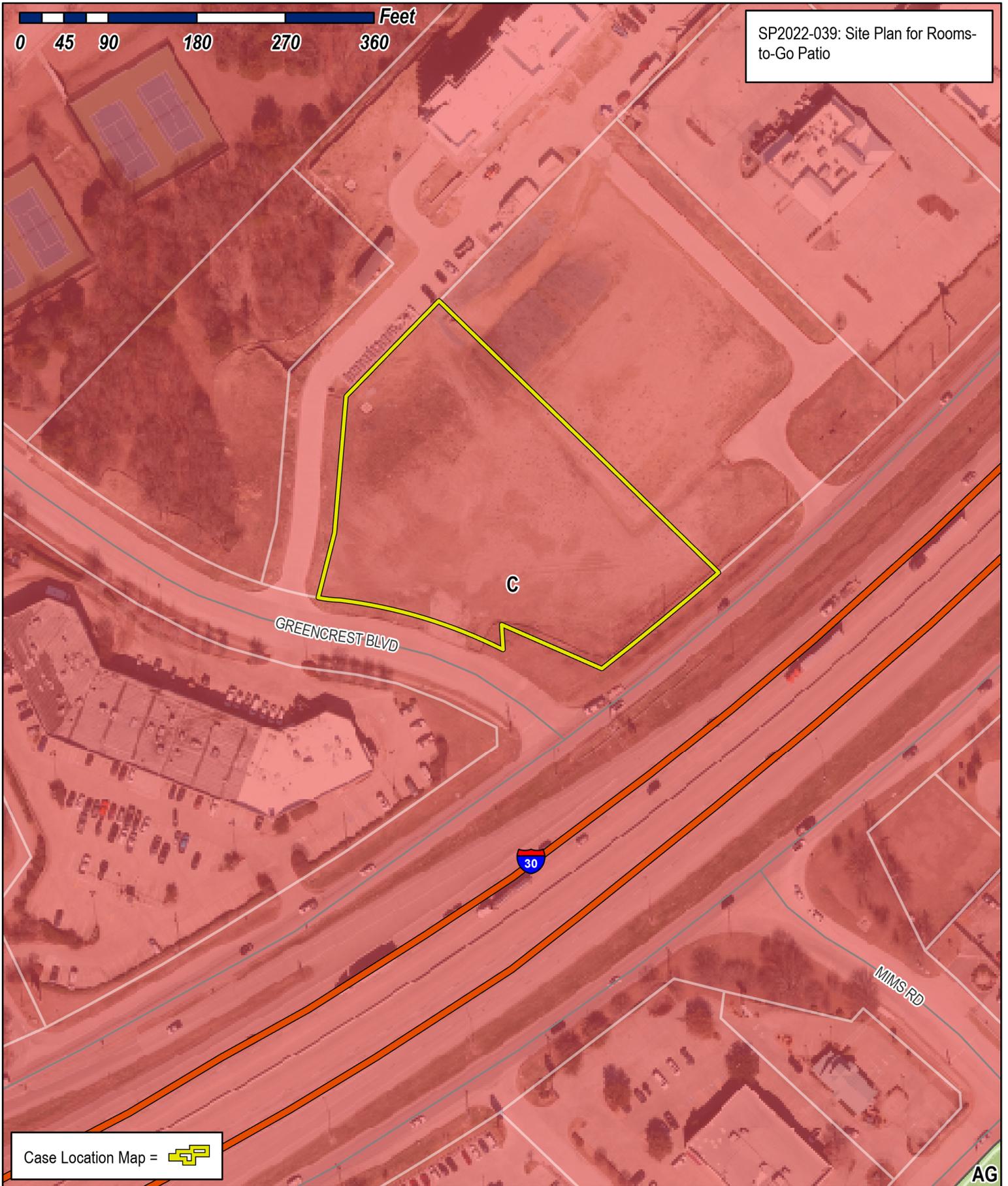
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF GEORGIA





SP2022-039: Site Plan for Rooms-to-Go Patio



Case Location Map = 

AG



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





August 23, 2022

Ms. Bethany Ross
City of Rockwall
Planning Department
385 S. Goliad Street
Rockwall, Texas 75087

Re: Landscape Deviation Request
Rooms To Go Patio
Rockwall, Texas
DEC No. 10046

Dear Ms. Ross:

In response to comments received from the City of Rockwall on our site plan submittal package, I am requesting a slight deviation to the required tree count along the I-30 frontage for this site located at the north-east corner of Interstate Highway 30 and Greencrest Boulevard. As we mentioned during our P&Z Work Session, the Rooms To Go Patio brand identity is based on a large glass façade element. Other elements include bright colors and contrasting elements to create an interesting façade. It was expressed by ARB that the elevations be revised to closer match the existing Rooms To Go showroom. With that subdued elevation, it is critical to have open site lines to the building.

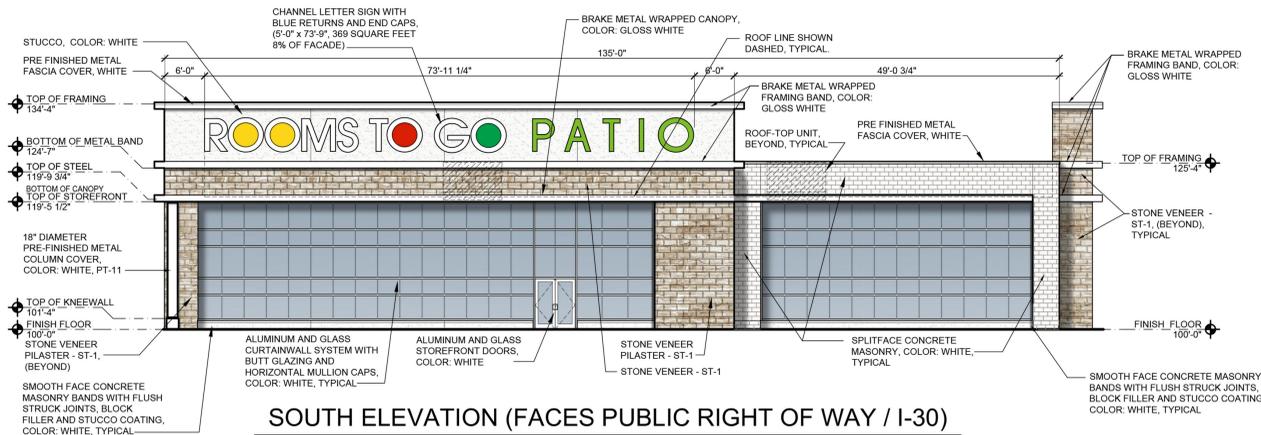
Our request is to reduce the required frontage canopy trees to one tree which will allow better visibility to the elements described above. We have kept the ornamental trees in place as if all the required canopy trees are provided. To compensate for the reduction in canopy trees, additional screening trees have been provided around the detention pond to aid in screening the service area and for general beautification. We have also significantly increased the number of shrubs being provided along the frontage and added a large number of non-required shrubs on the north building wall.

Please let me know if you have any questions or would like to discuss this request in more detail.

Sincerely,

A handwritten signature in blue ink that reads 'Daniel Stewart'.

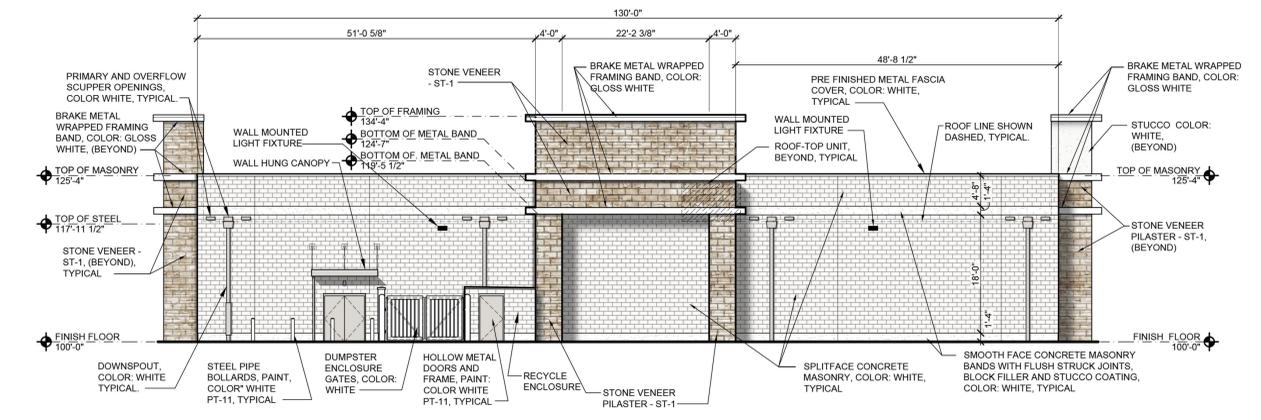
Daniel Stewart, P.E.
President
Development Engineering Consultants, LLC



MATERIAL RATIOS - SOUTH ELEVATION

STONE	828 SF	19%
CMU	391 SF	9%
ALUM/GLASS	1998 SF	45%
STUCCO	829 SF	19%
METAL	377 SF	8%
TOTAL	4423 SF	100%

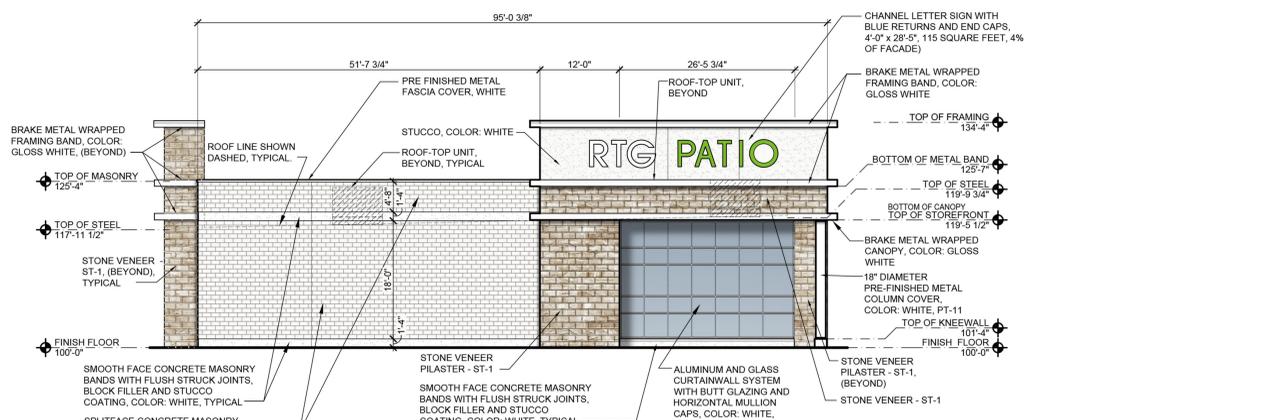
SOUTH ELEVATION (FACES PUBLIC RIGHT OF WAY / I-30)



MATERIAL RATIOS - NORTH ELEVATION

STONE	810 SF	20%
CMU	2575 SF	65%
ALUM/GLASS	0 SF	0%
STUCCO	320 SF	8%
METAL	266 SF	7%
TOTAL	3977 SF	100%

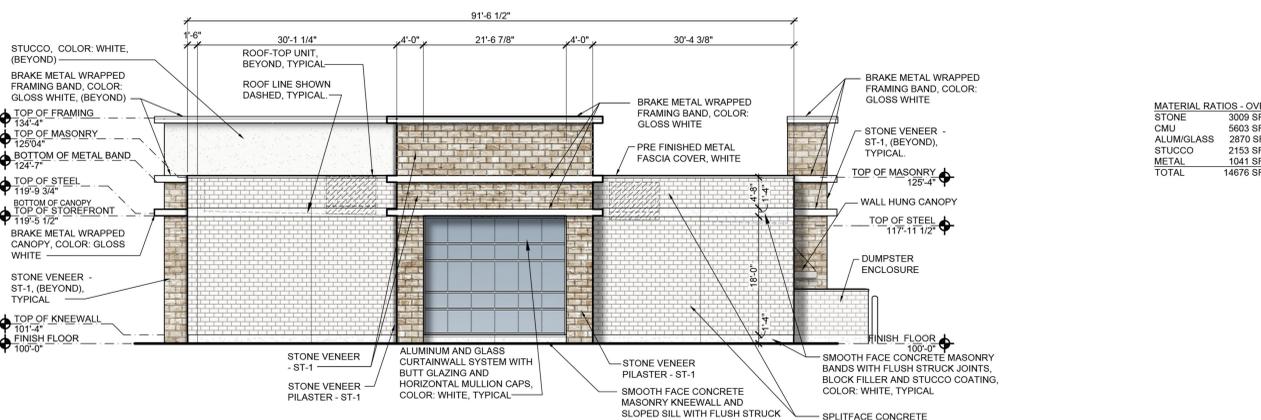
NORTH ELEVATION



MATERIAL RATIOS - WEST ELEVATION

STONE	650 SF	21%
CMU	1163 SF	39%
ALUM/GLASS	480 SF	16%
STUCCO	518 SF	17%
METAL	206 SF	7%
TOTAL	3016 SF	100%

WEST ELEVATION (FACES PUBLIC RIGHT OF WAY / GREENCREST BLVD)



MATERIAL RATIOS - EAST ELEVATION

STONE	721 SF	22%
CMU	1474 SF	45%
ALUM/GLASS	392 SF	12%
STUCCO	478 SF	15%
METAL	192 SF	6%
TOTAL	3257 SF	100%

EAST ELEVATION

EXTERIOR MATERIAL SCHEDULE	
MATERIAL	FINISHES
SPLIT FACE CONCRETE MASONRY UNIT, FIELD	8" HIGH INTEGRALLY COLORED SPLIT-FACE CONCRETE MASONRY UNITS APPLY WATER REPELLENT (REFER SPECIFICATION 09500), MANUFACTURER: ADAMS OLD CASTLE COLOR: SNOW WHITE AVAILABLE THROUGH BEST BLOCK / MIDWEST BLOCK BRIDGETON, MISSOURI OR APPROVED EQUAL
SMOOTHFACE CONCRETE MASONRY UNIT AT BANDS AND KNEEWALL	8" HIGH SMOOTHFACE CONCRETE MASONRY UNITS WITH FLUSH STRUCK JOINTS, BLOCK FILLER, AND EXTERIOR INSULATION FINISH SYSTEM COATING. TEXTURE: FINE, COLOR: WHITE TO MATCH DRYVIT #101 SUPER WHITE
LIMESTONE VENEER AT PILASTERS AND FIELD	ST-1: COLOR: ROUGHTEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 2 SIDES (TOP, BOTTOM) CHOPPED, LENGTH: COURSE SIZE = 12" (X18" TO 30" LENGTH), BED DEPTH: 3" TO 5"
STUCCO	STO POWERWALL STUCCO, TEXTURE: FINE, COLOR: WHITE TO MATCH DRYVIT #101 SUPER WHITE
PRE FINISHED METAL COPING AND FASCIA COVER	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
CURTAINWALL MULLIONS AND ENTRY DOORS	KYNAR FINISH - WHITE ON EXTERIOR AND INTERIOR
PREFINISHED METAL ROOF AT RECYCLE AREA	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
WALL HUNG CANOPY	ALL EXPOSED COMPONENTS FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
ALUMINUM SOFFIT PANEL	NON - VENTED ALUMINUM SOFFIT PANEL, COLOR - PRE-FINISHED TO MATCH CANOPY WHITE

MATERIAL RATIOS - OVERALL

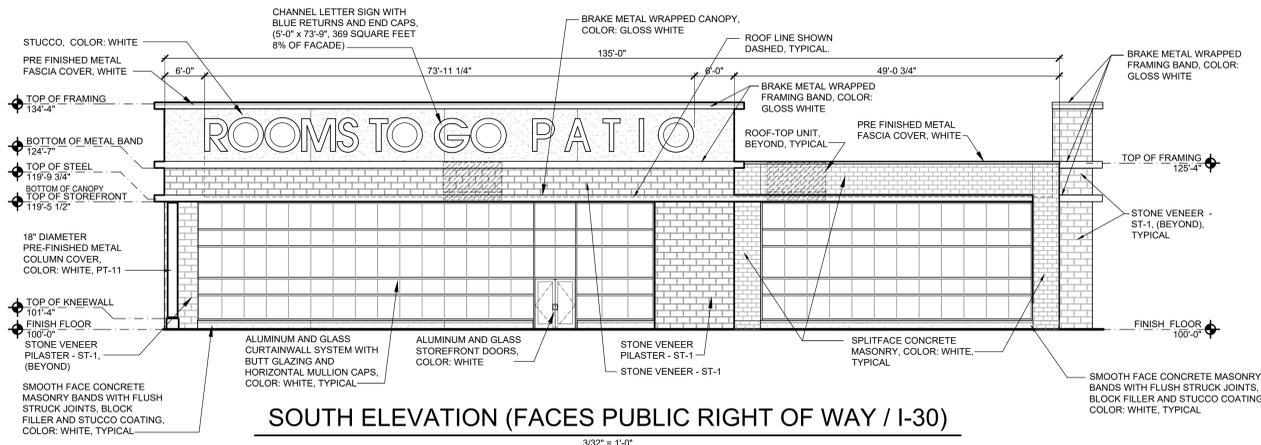
STONE	3009 SF	20%
CMU	5603 SF	38%
ALUM/GLASS	2970 SF	20%
STUCCO	2153 SF	15%
METAL	1041 SF	7%
TOTAL	14676 SF	100%



12 SUNNEN DR. SUITE. 100
ST. LOUIS, MO 63143
ARCHITECTS/ENGINEERS
314-821-1100



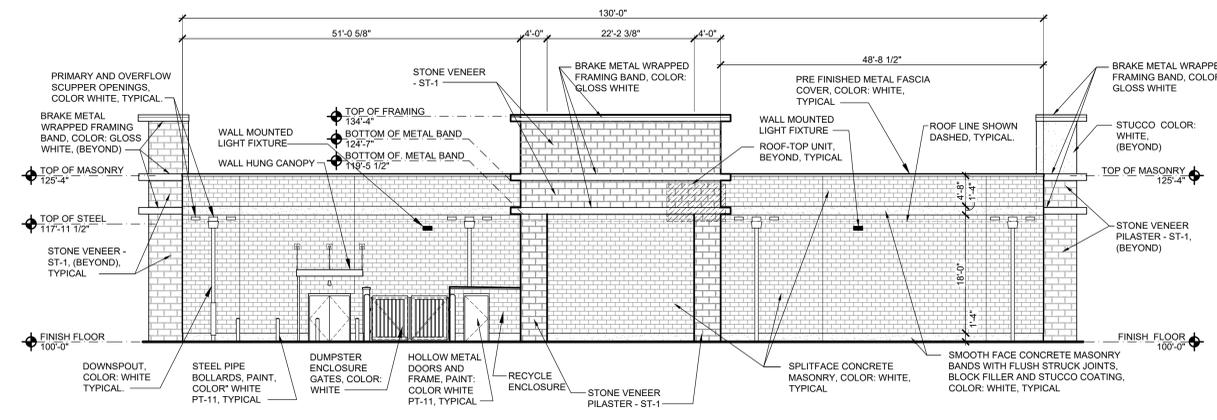
ROCKWALL, TEXAS
08/24/2022



MATERIAL RATIOS - SOUTH ELEVATION

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METAL	377 SF	8%
TOTAL	4423 SF	100%

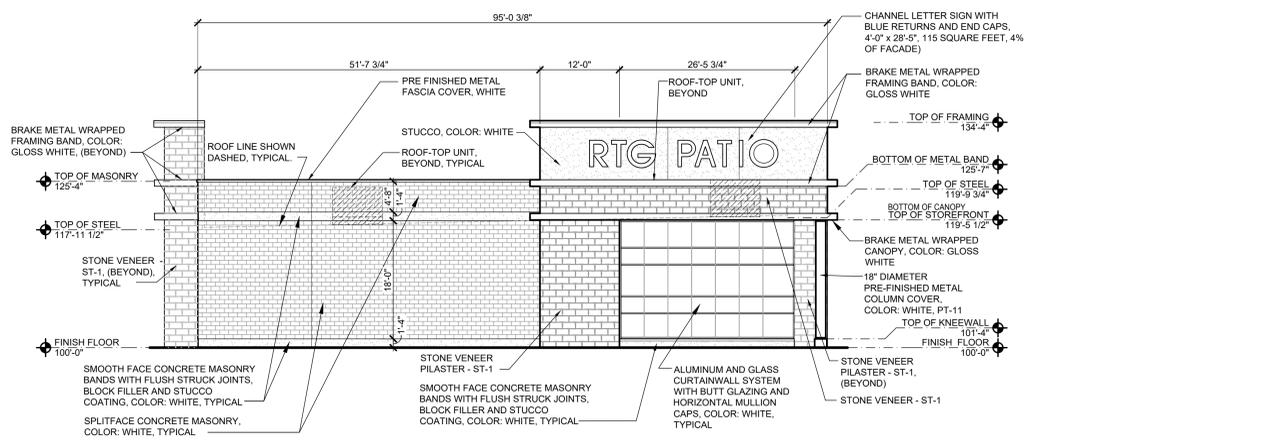
SOUTH ELEVATION (FACES PUBLIC RIGHT OF WAY / I-30)



MATERIAL RATIOS - NORTH ELEVATION

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METAL	266 SF	7%
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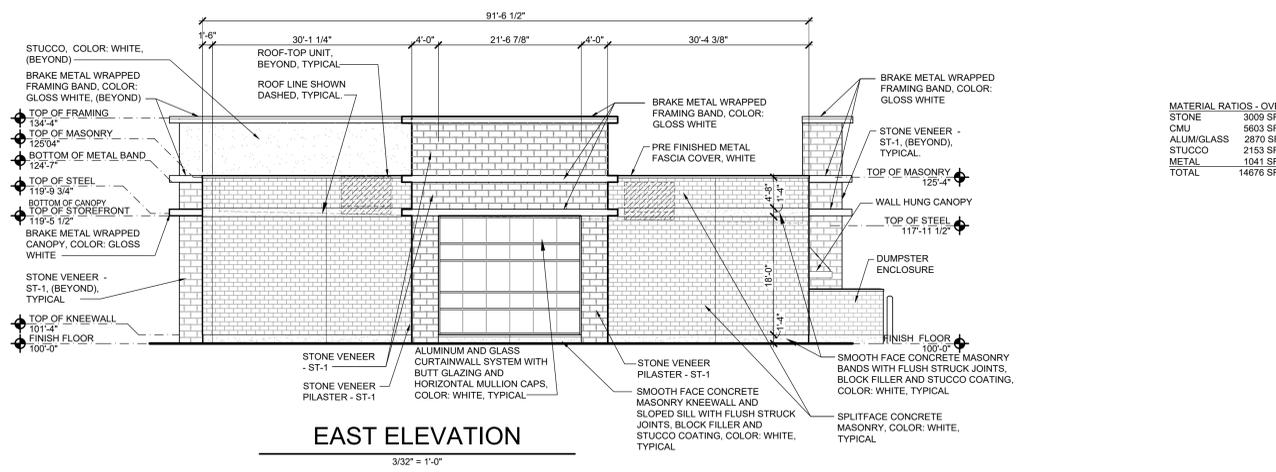
NORTH ELEVATION



MATERIAL RATIOS - WEST ELEVATION

STONE	850 SF	21%
CMU	1163 SF	39%
ALUM/GLASS	480 SF	16%
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METAL	206 SF	7%
TOTAL	3016 SF	100%

WEST ELEVATION (FACES PUBLIC RIGHT OF WAY / GREENCREST BLVD)



MATERIAL RATIOS - EAST ELEVATION

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EAST ELEVATION

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MATERIAL	FINISHES
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MATERIAL RATIOS - OVERALL

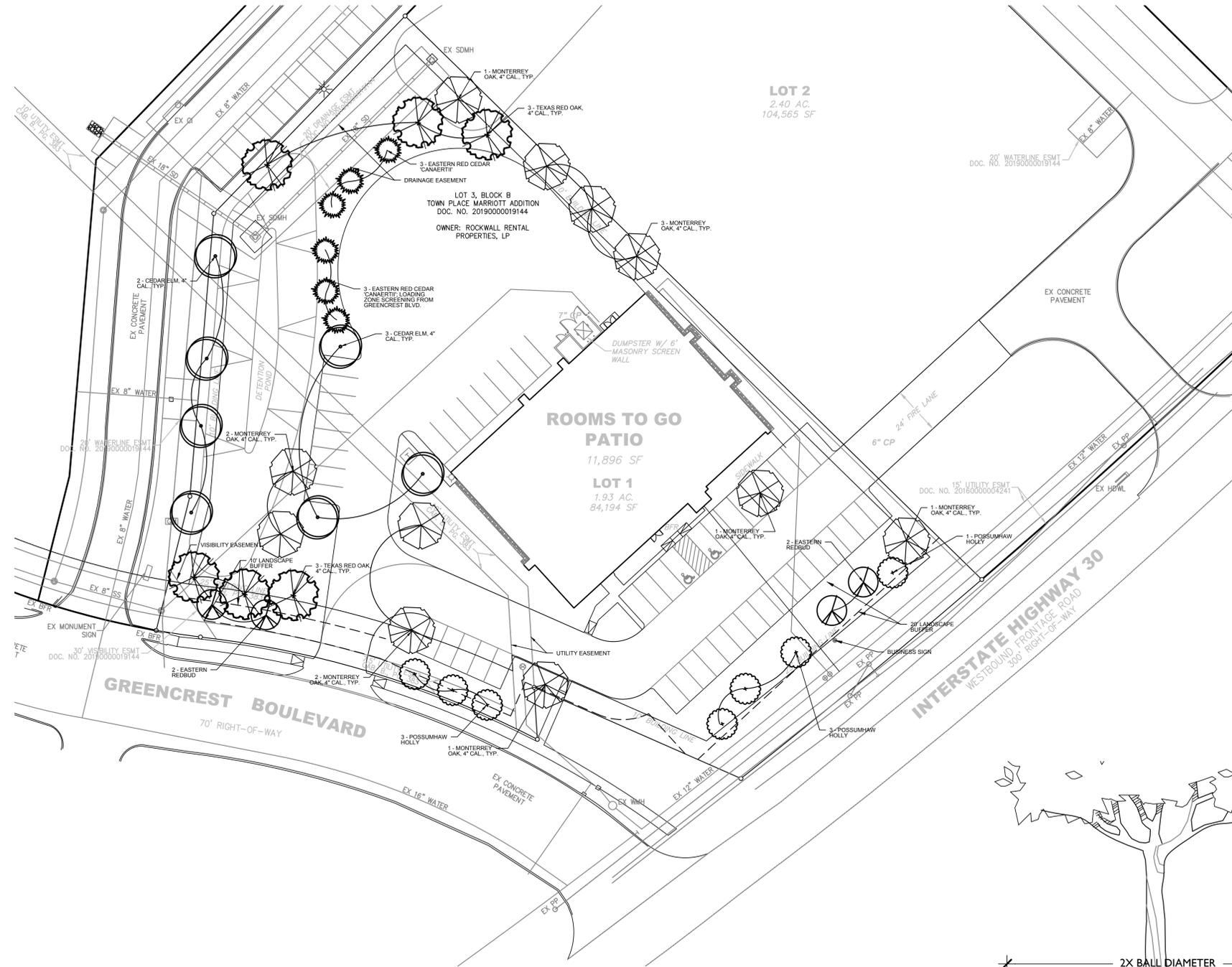
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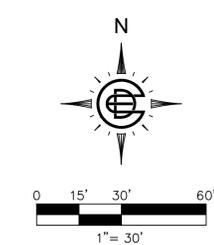
12 SUNNEN DR. SUITE. 100
ST. LOUIS, MO 63143
ARCHITECTS/ENGINEERS
314-821-1100



ROCKWALL, TEXAS
08/24/2022



SITE DATA	
LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	48 SPACES
9'x18' ACCESSIBLE:	2 SPACES
TOTAL:	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84,194 SQ. FT.



SITE TREE REQUIREMENTS

NO EXISTING TREES ON SITE

REQUIRED SITE:
 IH30 FRONTAGE RD. (154 LF)
 2 CANOPY AND 4 ACCENTS TREES PER 100 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 3 TREES
 ACCENT TREES = 6 TREES

GREENCREST BLVD. (278 LF)
 1 CANOPY AND 1 ACCENT TREE PER 50 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 5 TREES
 ACCENT TREES = 5 TREES

NO PARKING SPACE SHALL BE FURTHER THAN 80' FROM A TREE

DETENTION AREA = 8,504 SF
 1 TREE PER 750 SF OF DETENTION AREA (8,504/750) = 11 TREES
 1 ACCENT TREE PER 1500 SF OF DETENTION AREA (8,504/1,500) = 5 TREES

PROVIDED SITE:
 IH30 FRONTAGE RD. (154 LF)
 2 CANOPY AND 4 ACCENTS TREES PER 100 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 1 TREE*
 ACCENT TREES = 6 TREES

GREENCREST BLVD. (278 LF)
 1 CANOPY AND 1 ACCENT TREE PER 50 LF OF STREET FRONTAGE EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 5 TREES
 ACCENT TREES = 5 TREES

ALL PARKING SPACES WITH 80' FROM A TREE

DETENTION AREA TREES PROVIDED:
 12 CANOPY TREES PROVIDED
 8 ACCENT TREES PROVIDED*

*VARIANCE IS BEING REQUESTED FOR UDC CANOPY TREE REQUIREMENT ALONG IH30 FRONTAGE ROAD

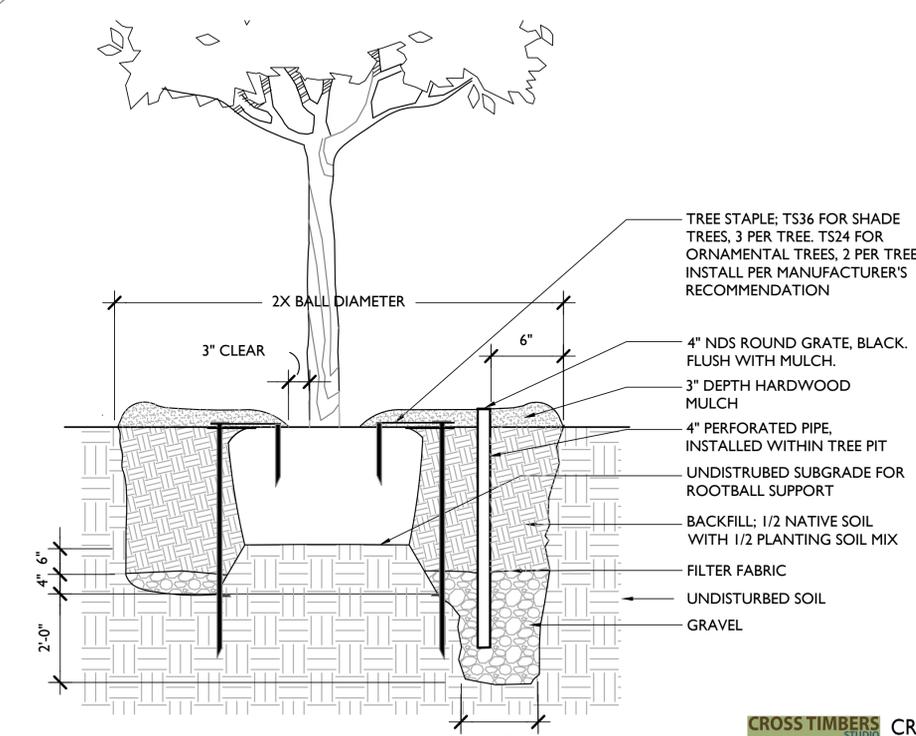
*REQUEST FOR EASTERN RED CEDAR 'CANAERTII' TO COUNT AS ACCENT TREE IN LIEU OF CANOPY TREE DUE TO SIZE AND BEING FULL TO GROUND TO SCREEN BACK OF HOUSE.

- GENERAL NOTES**
- REFERENCE DETAIL THIS SHEET FOR TREE PLANTING DETAIL.
 - AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
 - REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
 - COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
 - CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
 - QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
 - NO TREE SHALL BE CLOSER THAN 2 1/2 FEET TO PAVEMENT AND NO CLOSER THAN 5' TO ANY PUBLIC WATER, SEWER OR STORM THAT IS LESS 10" DIA. OR 10' WHERE UTILITY IS GREATER THAN 10" DIA.
 - ALL PARKING SPACES SHALL BE WITH 80' OF A TREE.
 - CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

TREE SCHEDULE

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
LARGE CANOPY AND ORNAMENTAL TREES			
7 EA	CEDAR ELM	<i>Ulmus crassifolia</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8' sp.
6 EA	TEXAS RED OAK	<i>Taxodium distichum</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8' sp.
10 EA	MONTERREY OAK	<i>Quercus polymorpha</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8' sp.
4 EA	EASTERN REDBUD	<i>Cercis canadensis</i>	45 gal., 6'-8' ht. x 4' sp., single trunk, tree form
7 EA	POSSUMHW HOLLY	<i>Ilex decidua</i>	45 gal., 6'-8' ht. x 4' sp., single trunk, tree form
6 EA	EASTERN RED CEDAR 'CANAERTII'	<i>Juniperus virginiana 'Canaertii'</i>	45 gal., 6'-8' ht. x 4' sp. min. at base, full to ground

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.



A ACCENT AND CANOPY TREE STAKING SECTION
 NOT TO SCALE

APPROVED
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022

WITNESS OUR HANDS, THIS ____ DAY OF ____, 2022

 Planning & Zoning Commission, Chairman Director of Planning & Zoning

CITY OF ROCKWALL CASE NO.: SP2022-039

#	MM/DD/YY	TEXT	REMARKS

OVERALL TREE PLAN

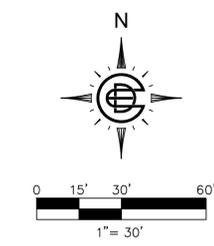
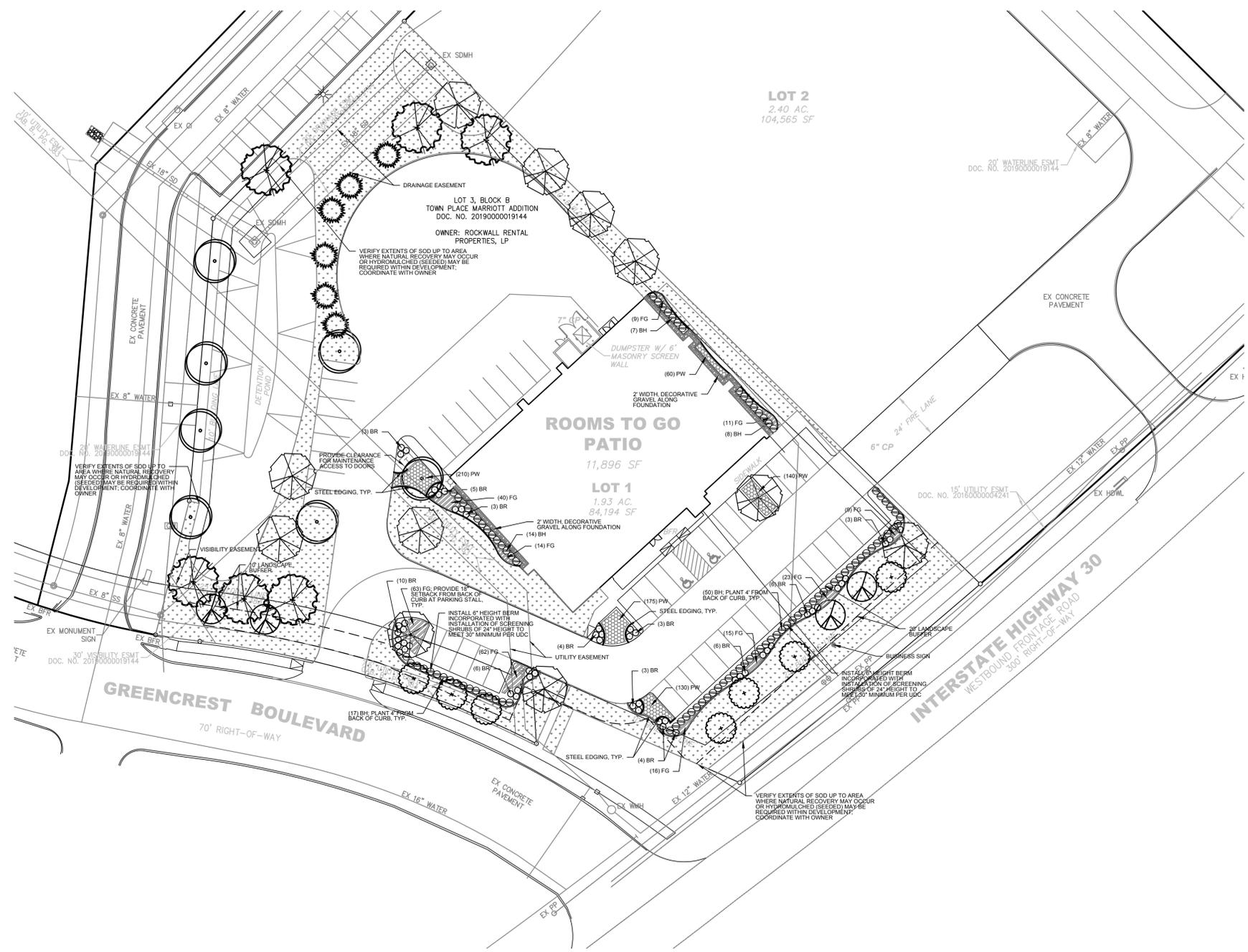
ROOMS TO GO PATIO
 904 E. INTERSTATE 30
 LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION

PRELIMINARY FOR REVIEW ONLY
 These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#280G

ISSUE DATE: 08/25/22
 CITY FILE NO: SP2022-039

DEC FILE NO: 10046
 SHEET NO: L 1.1

CROSS TIMBERS STUDIO
 CROSS TIMBERS STUDIO
 CLIFTON HALL, ASLA
 GRANDVIEW, TX 76050
 PH: 972-896-1900
 TBAE REG. NUMBER: BR 3558



SITE DATA	
LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	48 SPACES
9'x18' ACCESSIBLE:	2 SPACES
TOTAL:	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84,194 SQ. FT.

SITE REQUIREMENTS

COMMERCIAL 20% REQUIRED SITE:
20% OF TOTAL AREA TO BE DEVELOPED SHALL BE LANDSCAPED = 16,839 SF

PROVIDED SITE:
>20% OF TOTAL AREA LANDSCAPED = +/- 37,000 SF

INTERIOR PARKING LOT LANDSCAPE

REQUIRED SITE:
PARKING AND MANEUVERING GREATER THAN 20,000 SF:
1 TREE REQUIRED PER 10 PARKING SPACES

PROVIDED SITE:
5 TREES PROVIDED FOR 52 PARKING SPACES
NO SITE CREDITS WERE USED IN CALCULATIONS

- GENERAL NOTES**
- REFERENCE SHEET L.1.3 FOR PLANTING DETAILS.
 - AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
 - REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
 - COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
 - CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
 - QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
 - TREES AND SHRUBS SHALL BE INSTALLED 4' FROM BACK OF CURB.
 - CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

APPROVED
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022

WITNESS OUR HANDS, THIS _____ DAY OF _____, 2022

Planning & Zoning Commission, Chairman Director of Planning & Zoning

LANDSCAPE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
SHRUBS/ORNAMENTAL PLANTS				
	96 EA	DWARF BURFORD HOLLY (BH)	<i>Ilex cornuta 'Burfordii nana'</i>	7 gal., 24" ht. min. x 12"-14" sp., full
	56 EA	BARBERRY (BR)	<i>Berberis thunbergii 'Crimson Pygmy'</i>	5 gal., 10"-12" ht. x 10"-12" sp.,
ORNAMENTAL GRASS AND GROUNDCOVER				
	262 EA	MEXICAN FEATHERGRASS (FG)	<i>Nassella tenuissima</i>	1 gal., heavily rooted, full, 15" o.c. spacing
	715 EA	PURPLE WINTERCREEPER (PW)	<i>Evonymus fortunei 'coloratus'</i>	1 gal., 1"-2" ht. x 6"-8" sp, 12" o.c. spacing
TURF AND AGGREGATE				
	+/-22,860 SF	BERMUDAGRASS	<i>Cynodon dactylon</i>	sod, full
	+/-325 SF	DECORATIVE GRAVEL		6" depth, 1"-3" aggregate, New Mexico cobble or approved equal by Owner

- ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.
- PER UDC ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO THE PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH A FULL STAND OF GRASS AS DEFINED AND APPROVED BY THE CITY.

CROSS TIMBERS STUDIO
CROSS TIMBERS STUDIO
CLIFTON HALL, ASLA
GRANDVIEW, TX 76050
PH: 972-896-1900
TBAE REG. NUMBER: BR 3558

CITY OF ROCKWALL CASE NO.: SP2022-039

#	MM/DD/YY	TEXT	REMARKS

LANDSCAPE PLAN

ROOMS TO GO PATIO
904 E. INTERSTATE 30
LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION

PRELIMINARY FOR REVIEW ONLY These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806	DESIGN
ISSUE DATE 08/25/22	DEC FILE NO. 10046
CITY FILE NO. SP2022-039	SHEET NO. L.1.2

D-Series Size 2 LED Area Luminaire

Specifications:
 Efficacy: 115 lm/w
 Length: 36.0"
 Width: 12.0"
 Height: 3.5"
 Weight: 35 lbs

Introduction:
 The modern styling of the D-Series is strong yet understated - making a subtle, progressive statement on the building's exterior with its environment. The D-Series details the benefits of the latest LED technology into a high performance, high efficiency area luminaire. The advanced photometric performance results in sites with excellent uniformity, greater color accuracy and lower power density. The Size 2 is ideal for replacing 300-1000 watt metal halide in area lighting applications with energy savings of up to 85% and expected service life of over 100,000 hours.

Ordering Information:
 EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA N2UR2 PIRIN D020

| DSX2 |
|------|------|------|------|------|------|------|------|------|------|
| DSX2 |

DSX2 Area Luminaire - EPA

Mounting	Height	Beam Spread	Footcandle
DSX2	30.0	120.0	1.0
DSX2	30.0	120.0	1.0
DSX2	30.0	120.0	1.0

D-Series Size 1 LED Wall Luminaire

Specifications:
 Luminaire Weight: 12 lbs
 Depth: 12.0"
 Height: 6.25"
 Back Box (BBW, E20WC): 12.0" x 6.25"

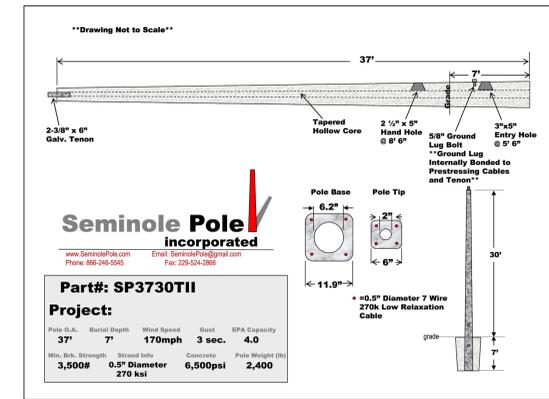
Introduction:
 The D-Series Wall Luminaire is a fully integrated LED solution for building mount applications. It features a sleek, modern design and is carefully engineered to provide long lighting and energy efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 35% in energy savings over comparable 200W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information:
 EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT D020

| DSXW1 |
|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| DSXW1 |

DSXW1 Wall Luminaire - EPA

Mounting	Height	Beam Spread	Footcandle
DSXW1	30.0	120.0	1.0
DSXW1	30.0	120.0	1.0
DSXW1	30.0	120.0	1.0



BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ELECTRICAL CONTRACTOR SHALL DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

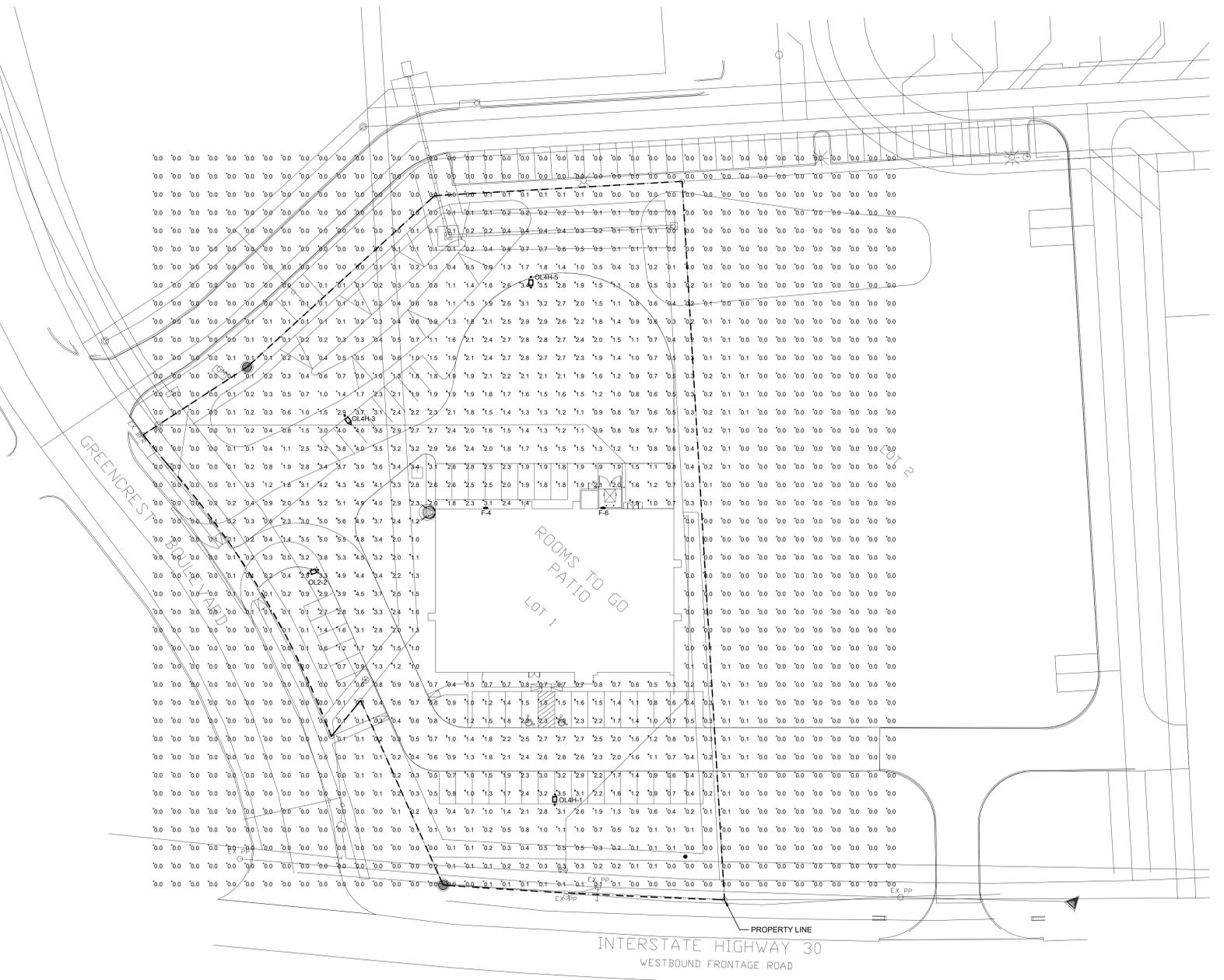
NOTES:

- SITE PHOTOMETRICS PERFORMED WITHOUT CONTRIBUTION OF EXISTING ADJACENT PARKING LOT OR STREETLIGHTS.
- REFER TO LUMINAIRE LOCATIONS FOR MOUNTING HEIGHT (MH).
- ILLUMINATION CALCULATIONS PERFORMED ON A MAINTAINED BASIS WITH LLF=0.91 FOR LED LUMINAIRE AT FINISHED GRADE.
- ALL LUMINAIRE USED FOR SITE LIGHTING SHALL BE FULL CUTOFF.
- ALL LUMINAIRE SHOWN IN SCHEDULE ARE "LITHONIA". EQUAL FULL CUTOFF LUMINAIRE WITH SAME TYPE OF DISTRIBUTION AND LIGHT SOURCE WILL BE CONSIDERED FOR APPROVAL.
- ANY DEVIATION FROM THE LUMINAIRE SHOWN WILL REQUIRE A PHOTOMETRICS PLAN TO ENSURE THE LUMINAIRE MEET EXTERIOR LIGHTING REQUIREMENTS.
- SITE LIGHTING POLES SHALL PRE-CAST CONCRETE POLES AS SHOWN ON LIGHT POLE DETAIL.
- ALL LUMINAIRE SHALL BE CONTROLLED BY PHOTOCELL ON, ASTRONOMICAL TIME CLOCK OFF, EXCEPT SECURITY LIGHTS CONTROLLED PHOTOCELL ON, PHOTOCELL OFF.
- ALL POLE MOUNT LUMINAIRE SHALL BE NATURAL ALUMINUM IN COLOR. WALL MOUNT LUMINAIRE SHALL BE WHITE IN COLOR.

2 SITE LUMINAIRE
 SCALE: NOT TO SCALE

WALL MOUNTED LUMINAIRE TYPE F

POLE MOUNTED LUMINAIRE - TYPE OL2 AND OL4H



1 SITE LIGHTING PHOTOMETRICS
 SCALE: 1" = 30'-0"

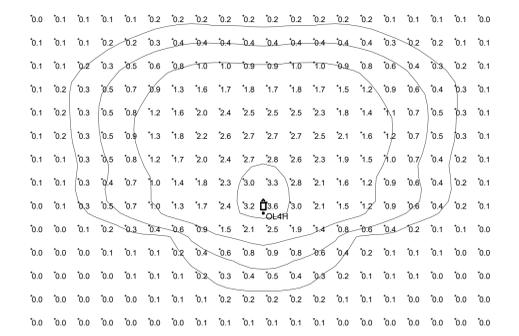


3 LIGHT POLE
 SCALE: NOT TO SCALE

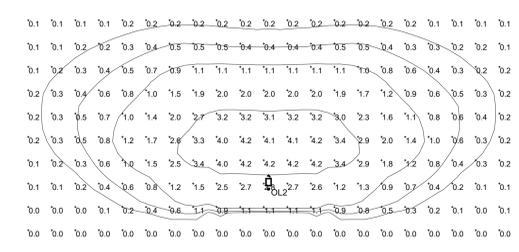
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
OL2	OL2	1	DSX2 LED P3 40K BLC MVOLT	DSX2 LED P3 40K BLC MVOLT	LED	DSX2_LED_P3_40K_BLC_MVOLT_ILS	23165	0.91	217
OL4H	OL4H	3	DSX2 LED P3 40K TFTM MVOLT HS	DSX2 LED P3 40K TFTM MVOLT with houseshield	LED	DSX2_LED_P3_40K_TFTM_MVOLT_HS_ILS	22060	0.91	217
F	F	2	DSXW1 LED 20C 1000 40K TFTM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES. TYPE: TFTM OPTIC, 4000K @ 1000mA.	LED	DSXW1_LED_20C_1000_40K_TFTM_MVOLT_ILS	7711	0.91	732

STATISTICS				
Description	Symbol	Avg	Max	Min
Area	+	0.6 fc	5.6 fc	0.0 fc
RTG Parking	x	1.9 fc	5.6 fc	0.2 fc

LUMINAIRE LOCATIONS				
No.	Label	MH	Orientation	Tilt
1	OL4H	30.0	0.0	0.0
2	OL2	30.0	70.0	0.0
3	OL4H	30.0	145.0	0.0
4	F	17.0	0.0	0.0
5	OL4H	30.0	180.0	0.0
6	F	17.0	0.0	0.0



LUMINAIRE TEMPLATES	
Label	Mounting Height
OL4H	30.0
OL2	30.0
F	17.0



APPROVED
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.

WITNESS OUR HANDS, THIS _____ DAY OF _____, 2022

 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning

ROOMS TO GO

TO GO

PATIO SHOWROOM
 LOT 3, BLOCK A,
 TOWN PLACE MARIOTT ADDITION,
 904 E. INTERSTATE 30
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS

CONSTR. DOC. & REVISIONS

No. _____

Description: SITE APPROVAL

Date: 07/13/22

Drawn By/Checked By: ZT
 Project Number: 2202184
 Bid Date: _____
 Owner Date: _____

SITE LIGHTING PHOTOMETRICS

E0.2

CASCO
 12 Sumner Drive, Suite 100, St. Louis, MO 63143
 T: 314.821.1100



August 31, 2022

TO: Daniel Stewart
5300 Town and Country Boulevard
Suite 150
Frisco, Texas 75034

CC: Nicholas Roth
4004 Summit Boulevard NE
Suite 600
Atlanta, Georgia 30319

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2022-039; *Site Plan for Rooms to Go Patio*

Daniel:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on August 31, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant provide a Landscape Plan showing a berm and shrubbery with a minimum height of 30-inches along IH-30 and Greencrest Boulevard.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Architecture Review Board

On August 30, 2022, the Architecture Review Board approved a motion to recommend approval by a vote of 6-0, with Board Member Craddock with the condition that the applicant extend the parapets back two (2) feet and finish the backside with stone.

Planning and Zoning Commission

On August 30, 2022, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 5-0, with staff and ARB recommendations.

Should you have any questions or concerns regarding your case, please feel free to contact me a (972) 772-6488.

Sincerely,



Bethany Ross, *Planner*

City of Rockwall Planning and Zoning Department

ABBREVIATIONS

BFR	BARRIER FREE RAMP
CI	CURB INLET
CP	CONCRETE PAVEMENT
ESMT	EASEMENT
EV	ELECTRIC VAULT
EXIST	EXISTING
FH	FIRE HYDRANT
GI	GRATE INLET
HDWL	HEADWALL
MH	MANHOLE
PP	POWER POLE
PPMT	PAVEMENT
R	RADIUS
ROW	RIGHT OF WAY
SF	SQUARE FEET
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SQ	SQUARE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TOM	TELECOMMUNICATIONS MARKER
TCF	TELECOMMUNICATIONS FEDESTAL
TCV	TELECOMMUNICATIONS VAULT
TM	TELECOMMUNICATIONS MANHOLE
WM	WATER METER
WMH	WATER MANHOLE
WS	WATER SERVICE
WTR	WATER

LOT 2 BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 2019000019144
OWNER: GREENCREST TPS HOTEL, LP

LOT 1, BLOCK A
TEXAS ROADHOUSE ADDITION
DOC. NO. 2016000006790
OWNER: ROADHOUSE ENTERPRISES, INC.

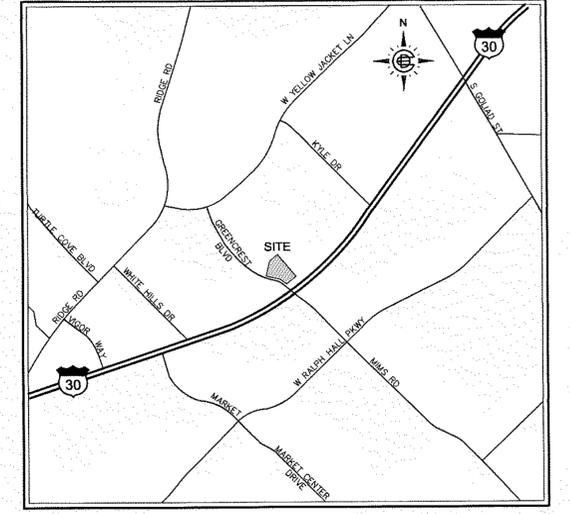
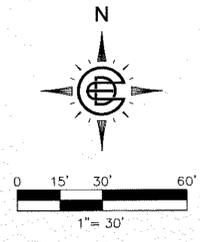
LOT 1, BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 2019000019144
OWNER: ROCKWALL RENTAL
PROPERTIES, LP

LOT 3, BLOCK B
TOWN PLACE MARRIOTT ADDITION
DOC. NO. 2019000019144
OWNER: ROCKWALL RENTAL
PROPERTIES, LP

LOT 2
2.40 AC.
104,565 SF

ROOMS TO GO PATIO
11,896 SF

LOT 1
1.93 AC.
84,194 SF



VICINITY MAP
N.T.S.

PAVEMENT LEGEND

	EXISTING CONCRETE PAVEMENT
	4" REINFORCED CONCRETE SIDEWALK
	5" REINFORCED CONCRETE PAVEMENT (5" CP)
	6" REINFORCED CONCRETE PAVEMENT (6" CP)
	7" REINFORCED CONCRETE PAVEMENT (7" CP)

SITE DATA

LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	48 SPACES
9'x18' ACCESSIBLE:	2 SPACES
TOTAL:	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84,194 SQ. FT.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE		
BUILDING		
CURB		
STORM DRAIN		
STORM DRAIN MANHOLE/JUNCTION BOX		
CURB INLET		
GRATE INLET		
WATER LINE		
FIRE HYDRANT		
WATER METER BOX		
WATER VALVE		
SANITARY SEWER LINE		
SANITARY SEWER MANHOLE		
POWER POLE		
UNDERGROUND UTILITY MARKER		
UNDERGROUND TELECOM LINE		
UNDERGROUND ELECTRIC LINE		
UNDERGROUND GAS LINE		
OVERHEAD LINE		
GAS METER		
ACCESSIBLE PARKING		
SIGN		

APPROVED
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 31st day of August, 2022.
WITNESS OUR HANDS, THIS 29th DAY OF September, 2022.
[Signatures]
Planning & Zoning Commission, Chairman Director of Planning & Zoning

CITY OF ROCKWALL CASE NO.: SP2022-039

SITE PLAN

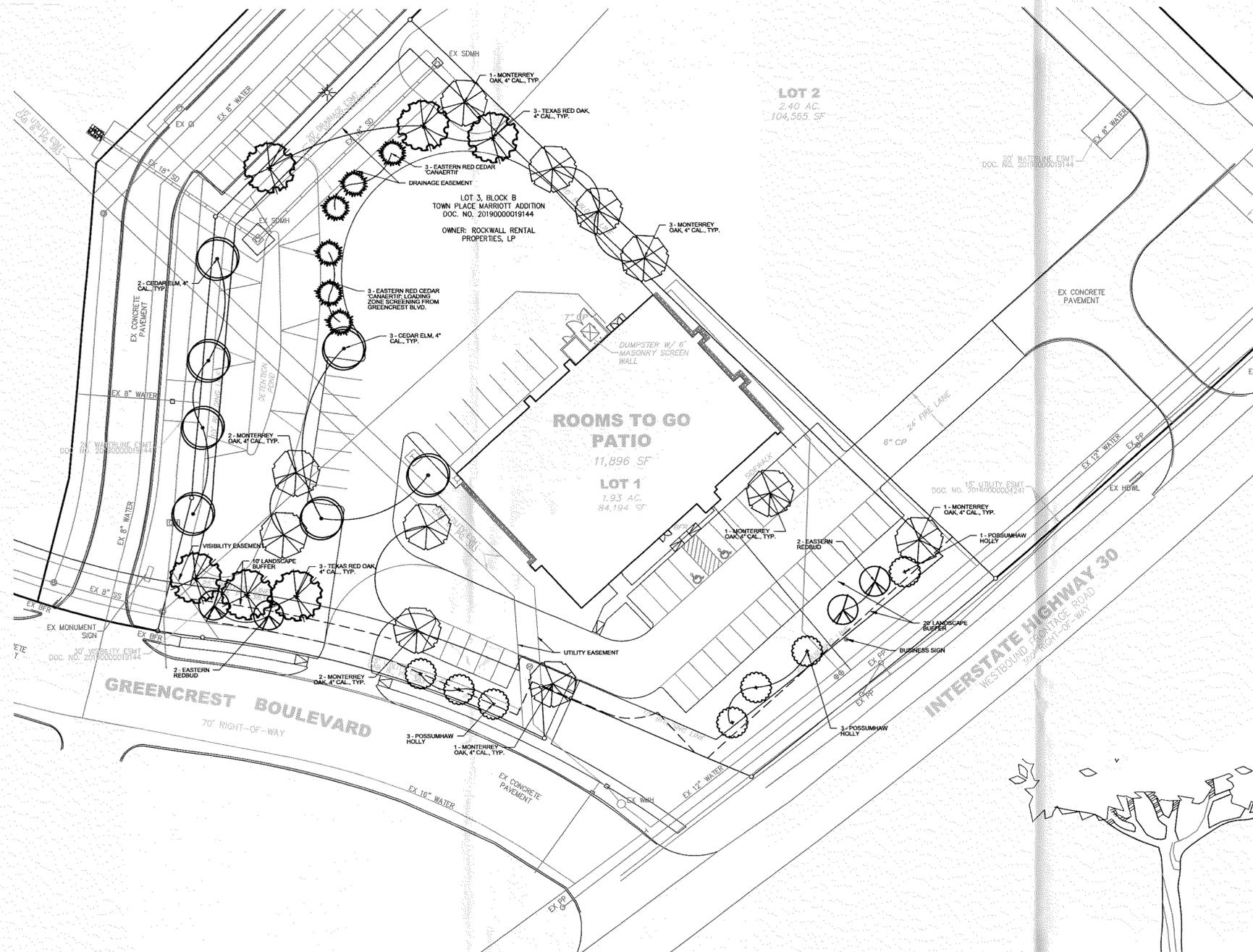
ROOMS TO GO PATIO
904 E. INTERSTATE 30

LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION

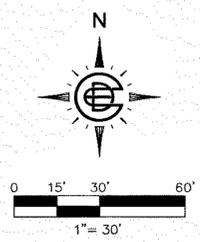
<p>OWNER/DEVELOPER TEXAS RTG PATIO PARTNERS-II, LLC 4004 SUMMIT BOULEVARD NE, SUITE 600 ATLANTA, GEORGIA 30319 CONTACT: NICHOLAS ROTH PHONE: (678) 338-4545 EMAIL: nroth@roomstogo.com</p>	<p>DESIGN DEC 5300 TOWN & COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-450-0650 TBPE FIRM NO. F-20255</p>
<p>ENGINEER/APPLICANT DEC, LLP 5300 TOWN & COUNTRY BLVD, SUITE 150 FRISCO, TEXAS 75034 CONTACT: DANIEL STEWART, P.E. PHONE: (469) 850-0060 EMAIL: dstewart@dec-en.com</p>	<p>ISSUE DATE 08/25/22</p> <p>DEC FILE NO. 10046</p> <p>CITY FILE NO. SP2022-039</p> <p>SHEET NO. 1</p>

DIMENSION CONTROL GENERAL NOTES

- BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY EAGLE SURVEYING, DATED 07/05/2022.
- PROPERTY LINES & EASEMENTS: REFER TO THE TOPOGRAPHIC SURVEY TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
- DIMENSION CONTROL: ALL PAVING DIMENSIONS AND COORDINATES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
- CURB RADII: ALL CURB RADII SHALL BE TWO FEET (2') AT THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- BUILDING DIMENSIONS: REFER TO THE BUILDING PLANS FOR EXACT BUILDING DIMENSIONS.



SITE DATA	
LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	48 SPACES
9'x18' ACCESSIBLE:	2 SPACES
TOTAL:	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84194 SQ. FT.



SITE TREE REQUIREMENTS

NO EXISTING TREES ON SITE

REQUIRED SITE:
 IH30 FRONTAGE RD. (154 LF)
 2 CANOPY AND 4 ACCENTS TREES PER 100 LF OF STREET FRONTAGE
 EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 3 TREES
 ACCENT TREES = 6 TREES

GREENCREST BLVD. (278 LF)
 1 CANOPY AND 1 ACCENT TREE PER 50 LF OF STREET FRONTAGE
 EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 5 TREES
 ACCENT TREES = 5 TREES

NO PARKING SPACE SHALL BE FURTHER THAN 80' FROM A TREE

DETENTION AREA = 8,504 SF
 1 TREE PER 750 SF OF DETENTION AREA (8,504/750) = 11 TREES
 1 ACCENT TREE PER 1500 SF OF DETENTION AREA (8,504/1,500) = 5 TREES

PROVIDED SITE:
 IH30 FRONTAGE RD. (154 LF)
 2 CANOPY AND 4 ACCENTS TREES PER 100 LF OF STREET FRONTAGE
 EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 1 TREE*
 ACCENT TREES = 6 TREES

GREENCREST BLVD. (278 LF)
 1 CANOPY AND 1 ACCENT TREE PER 50 LF OF STREET FRONTAGE
 EXCLUSIVE OF DRIVEWAYS:
 CANOPY TREES = 5 TREES
 ACCENT TREES = 5 TREES

ALL PARKING SPACES WITH 80' FROM A TREE

DETENTION AREA TREES PROVIDED:
 12 CANOPY TREES PROVIDED
 8 ACCENT TREES PROVIDED*

*VARIANCE IS BEING REQUESTED FOR UDC CANOPY TREE REQUIREMENT ALONG IH30 FRONTAGE ROAD

*REQUEST FOR EASTERN RED CEDAR 'CANAERTII' TO COUNT AS ACCENT TREE IN LIEU OF CANOPY TREE DUE TO SIZE AND BEING FULL TO GROUND TO SCREEN BACK OF HOUSE.

- GENERAL NOTES**
- REFERENCE DETAIL THIS SHEET FOR TREE PLANTING DETAIL.
 - AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
 - REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
 - COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
 - CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
 - QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
 - NO TREE SHALL BE CLOSER THAN 2 1/2 FEET TO PAVEMENT AND NO CLOSER THAN 5' TO ANY PUBLIC WATER, SEWER OR STORM THAT IS LESS 10" DIA. OR 10' WHERE UTILITY IS GREATER THAN 10" DIA.
 - ALL PARKING SPACES SHALL BE WITH 80' OF A TREE.
 - CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

APPROVED
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 31st day of August, 2022.

WITNESS OUR HANDS, THIS 31st DAY OF August, 2022

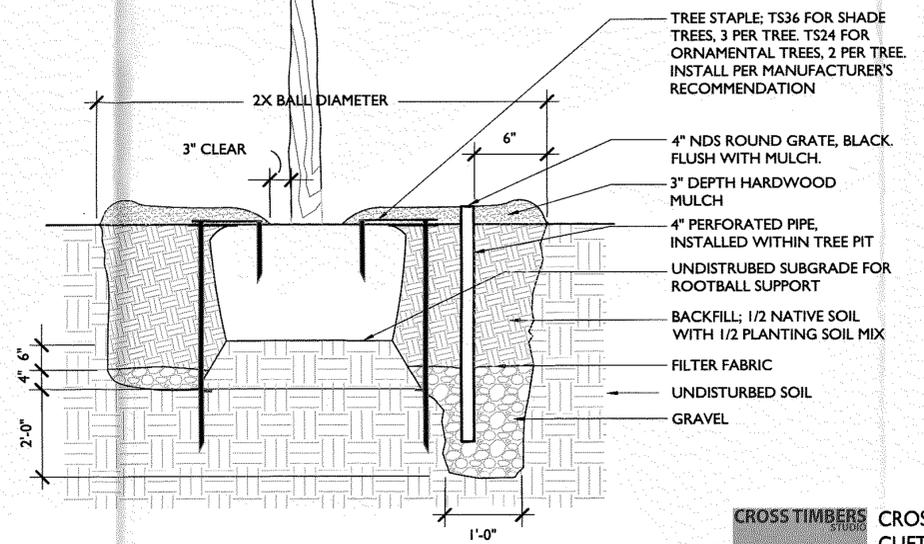
[Signature] Planning & Zoning Commission, Chairman
[Signature] Director of Planning & Zoning

CITY OF ROCKWALL CASE NO.: SP2022-039

TREE SCHEDULE

QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
LARGE CANOPY AND ORNAMENTAL TREES			
7 EA	CEDAR ELM	<i>Ulmus crassifolia</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8" sp.
6 EA	TEXAS RED OAK	<i>Taxodium distichum</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8" sp.
10 EA	MONTERREY OAK	<i>Quercus polymorpha</i>	100 gal., 4" cal. min. 10'-12' ht. x 6'-8" sp.
4 EA	EASTERN REDBUD	<i>Cercis canadensis</i>	45 gal., 6'-8" ht. x 4" sp., single trunk, tree form
7 EA	POSSUMHAW HOLLY	<i>Ilex decidua</i>	45 gal., 6'-8" ht. x 4" sp., single trunk, tree form
6 EA	EASTERN RED CEDAR 'CANAERTII'	<i>Juniperus virginiana 'Canaertii'</i>	45 gal., 6'-8" ht. x 4" sp. min. at base, full to ground

*ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.



A ACCENT AND CANOPY TREE STAKING SECTION
 NOT TO SCALE

CROSS TIMBERS STUDIO
 CROSS TIMBERS STUDIO
 CLIFTON HALL, ASLA
 GRANDVIEW, TX 76050
 PH: 972-896-1900
 TBAE REG. NUMBER: BR 3558

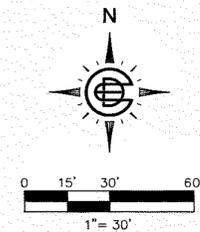
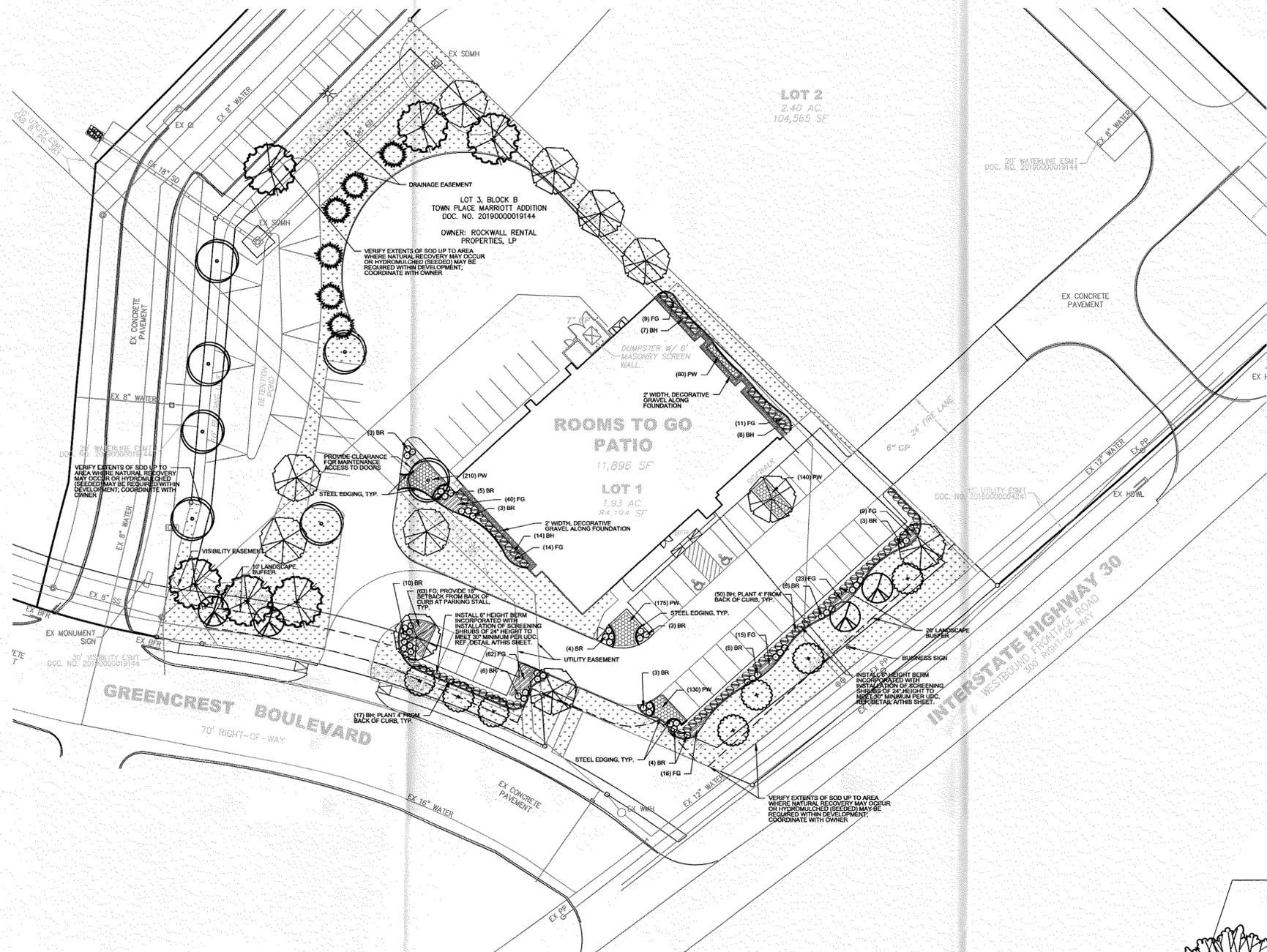
#	MM/DD/YY	TEXT
REV	DATE	REMARKS

OVERALL TREE PLAN

ROOMS TO GO PATIO
 904 E. INTERSTATE 30
 LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION

PRELIMINARY FOR REVIEW ONLY
 These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806

ISSUE DATE	DEC FILE NO.
09/08/22	10046
CITY FILE NO.	SHEET NO.
SP2022-039	L1.1



SITE DATA	
LOT AREA:	1.93 ACRES (84,194 SF)
ZONING:	C (COMMERCIAL - IH 30 OVERLAY)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	11,896 SQ. FT.
FLOOR/AREA RATIO:	0.14
PARKING REQUIRED:	48 SPACES (1/250)
PARKING PROVIDED:	
9'x18'	48 SPACES
ACCESSIBLE	2 SPACES
TOTAL	50 SPACES (1/238)
IMPERVIOUS AREA:	45,327 SQ. FT.
PERVIOUS AREA:	38,867 SQ. FT.
TOTAL:	84194 SQ. FT.

SITE REQUIREMENTS

COMMERCIAL 20%
 REQUIRED SITE:
 20% OF TOTAL AREA TO BE DEVELOPED SHALL BE LANDSCAPED = 16,839 SF

PROVIDED SITE:
 >20% OF TOTAL AREA LANDSCAPED = +/- 37,000 SF

INTERIOR PARKING LOT LANDSCAPE

REQUIRED SITE:
 PARKING AND MANEUVERING GREATER THAN 20,000 SF;
 1 TREE REQUIRED PER 10 PARKING SPACES

PROVIDED SITE:
 5 TREES PROVIDED FOR 52 PARKING SPACES
 NO SITE CREDITS WERE USED IN CALCULATIONS

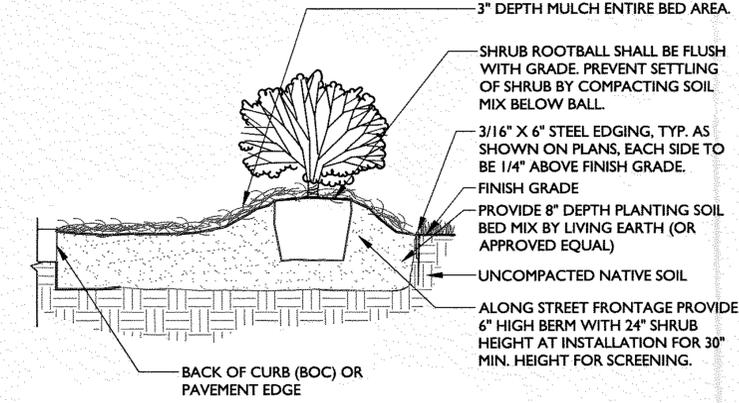
GENERAL NOTES

- REFERENCE SHEET L1.3 FOR PLANTING DETAILS.
- AN AUTOMATIC, PERMANENT IRRIGATION WILL BE PROVIDED TO THE PROPOSED LANDSCAPE IMPROVEMENTS. IRRIGATION SHALL MEET ALL REQUIREMENTS OF THE CITY OF ROCKWALL UDC.
- REFERENCE CIVIL PLANS FOR EXTENTS OF CONSTRUCTION. LANDSCAPE SHALL COVER ALL DISTURBED AREAS UNLESS NOTED OTHERWISE ON PLANS.
- COORDINATION WITH ADJACENT SITE CONTRACTORS WILL BE NECESSARY DURING INSTALLATION OF LANDSCAPE AND IRRIGATION ON SITE.
- CONTRACTOR SHALL USE CAUTION DURING INSTALLATION OF LANDSCAPE AND IRRIGATION WHERE UTILITIES EXIST.
- QUANTITIES MAY VARY BASED ON FIELD CONDITIONS. CONTRACTOR SHALL VERIFY QUANTITIES.
- TREES AND SHRUBS SHALL BE INSTALLED 4' FROM BACK OF CURB.
- CONTRACTOR SHALL PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT THAT INCLUDES ALL PLANT AND LANDSCAPE MATERIAL FOR APPROVAL PRIOR TO INSTALLATION.
- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

LANDSCAPE SCHEDULE

SYM.	QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE / COMMENTS
SHRUBS/ORNAMENTAL PLANTS				
⊖	96 EA	DWARF BURFORD HOLLY (BH)	<i>Ilex cornuta 'Burfordii nana'</i>	7 gal., 24" ht. min. x 12"-14" sp., full
⊙	56 EA	BARBERRY (BR)	<i>Berberis thunbergii 'Crimson Pygmy'</i>	5 gal., 10"-12" ht. x 10"-12" sp.,
ORNAMENTAL GRASS AND GROUNDCOVER				
▨	262 EA	MEXICAN FEATHERGRASS (FG)	<i>Nassella tenuissima</i>	1 gal., heavily rooted, full, 15" o.c. spacing
▩	715 EA	PURPLE WINTERCREEPER (PW)	<i>Euonymus fortunei 'coloratus'</i>	1 gal., 1"-2" ht. x 6"-8" sp, 12" o.c. spacing
TURF AND AGGREGATE				
▽	+/-22,860 SF	BERMUDAGRASS	<i>Cynodon dactylon</i>	sod, full
⊘	+/-325 SF	DECORATIVE GRAVEL		6" depth, 1"-3" aggregate, New Mexico cobble or approved equal by Owner

- ALL QUANTITIES ARE ESTIMATED AND SHOULD BE VERIFIED BY CONTRACTOR. QUANTITIES ARE BASED ON DESIGNED PLAN. FIELD ADJUSTMENTS MAY CAUSE FINAL QUANTITIES TO VARY FROM PLAN.
- PER UDC ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT OF WAY LOCATED ADJACENT TO THE PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH A FULL STAND OF GRASS AS DEFINED AND APPROVED BY THE CITY.



A SHRUB WITH BERM PLANTING DETAIL
 SECTION NOT TO SCALE

APPROVED
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 21st day of August, 2022.
 WITNESS OUR HANDS, THIS 21st DAY OF August, 2022
 [Signature] Planning & Zoning Commission, Chairman
 [Signature] Director of Planning & Zoning

CITY OF ROCKWALL CASE NO.: SP2022-039

REV	MM/DD/YY	TEXT	DATE	REMARKS
LANDSCAPE PLAN				
ROOMS TO GO PATIO				
904 E. INTERSTATE 30				
LOT 3, BLOCK A, TOWN PLACE MARRIOTT ADDITION				
PRELIMINARY FOR REVIEW ONLY These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Clifton D. Hall L.A.#2806			DESIGN	
ISSUE DATE	09/08/22	DEC FILE NO.	10046	
CITY FILE NO.	SP2022-039	SHEET NO.	L1.2	

CROSS TIMBERS STUDIO
 CROSS TIMBERS STUDIO
 CLIFTON HALL, ASLA
 GRANDVIEW, TX 76050
 PH: 972-896-1900
 TBAE REG. NUMBER: BR 3558

MATERIAL RATIOS - SOUTH ELEVATION

STONE	828 SF	19%
CMU	391 SF	9%
ALUM/GLASS	1998 SF	45%
STUCCO	829 SF	19%
METAL	372 SF	8%
TOTAL	4423 SF	100%

MATERIAL RATIOS - NORTH ELEVATION

STONE	910 SF	23%
CMU	2575 SF	65%
ALUM/GLASS	0 SF	0%
STUCCO	338 SF	8%
METAL	256 SF	7%
TOTAL	3977 SF	100%

MATERIAL RATIOS - WEST ELEVATION

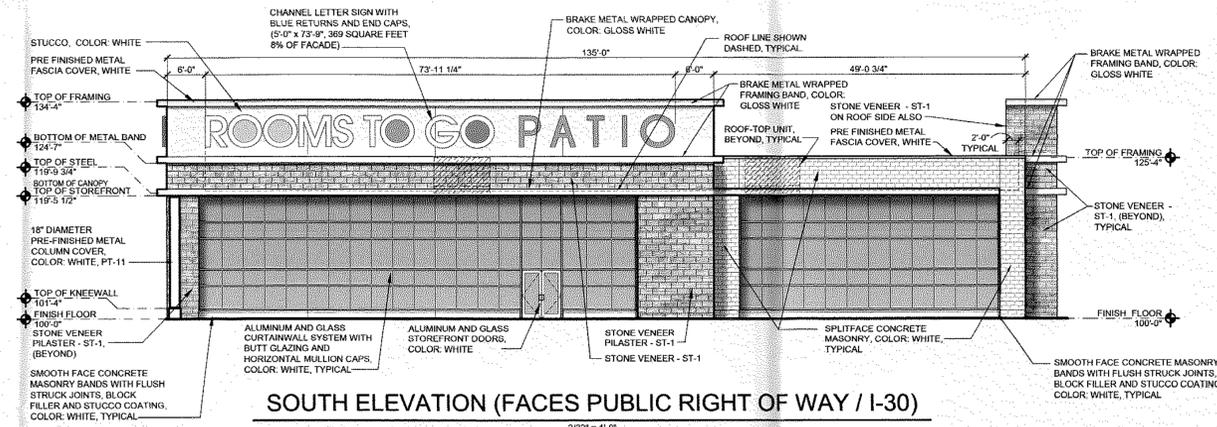
STONE	650 SF	21%
CMU	1163 SF	38%
ALUM/GLASS	480 SF	16%
STUCCO	518 SF	17%
METAL	206 SF	7%
TOTAL	3016 SF	100%

MATERIAL RATIOS - EAST ELEVATION

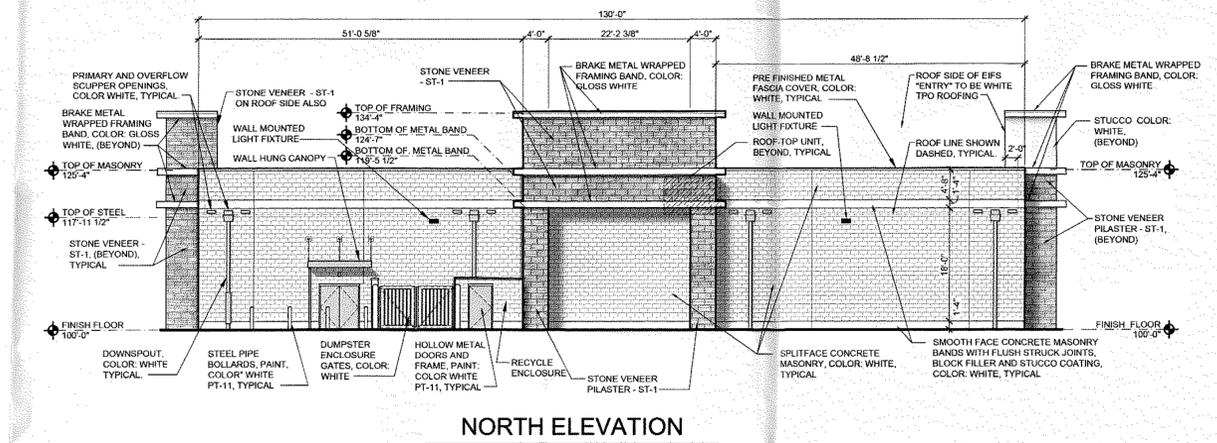
STONE	721 SF	22%
CMU	1474 SF	43%
ALUM/GLASS	392 SF	12%
STUCCO	478 SF	15%
METAL	192 SF	6%
TOTAL	3257 SF	100%

MATERIAL RATIOS - OVERALL

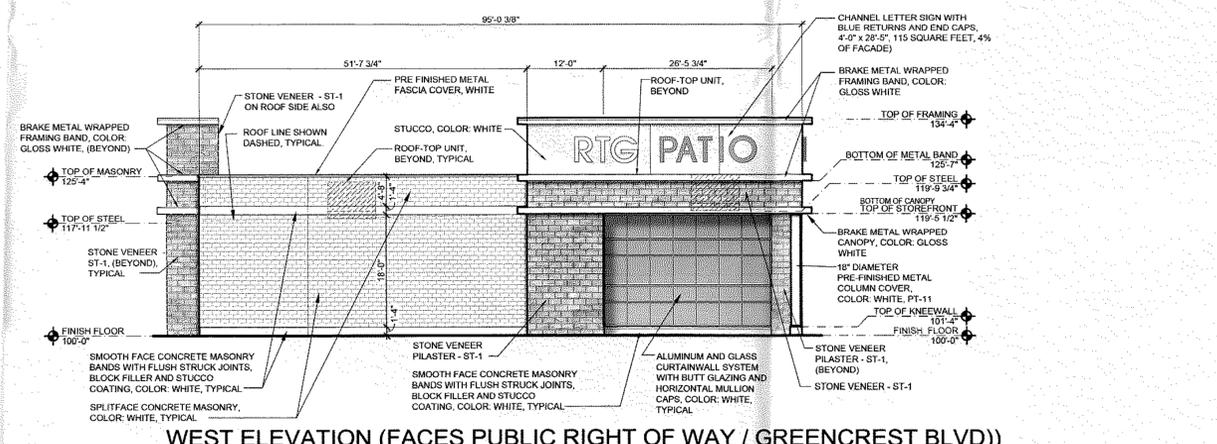
STONE	3609 SF	20%
CMU	5603 SF	38%
ALUM/GLASS	2870 SF	20%
STUCCO	2153 SF	15%
METAL	1941 SF	7%
TOTAL	14876 SF	100%



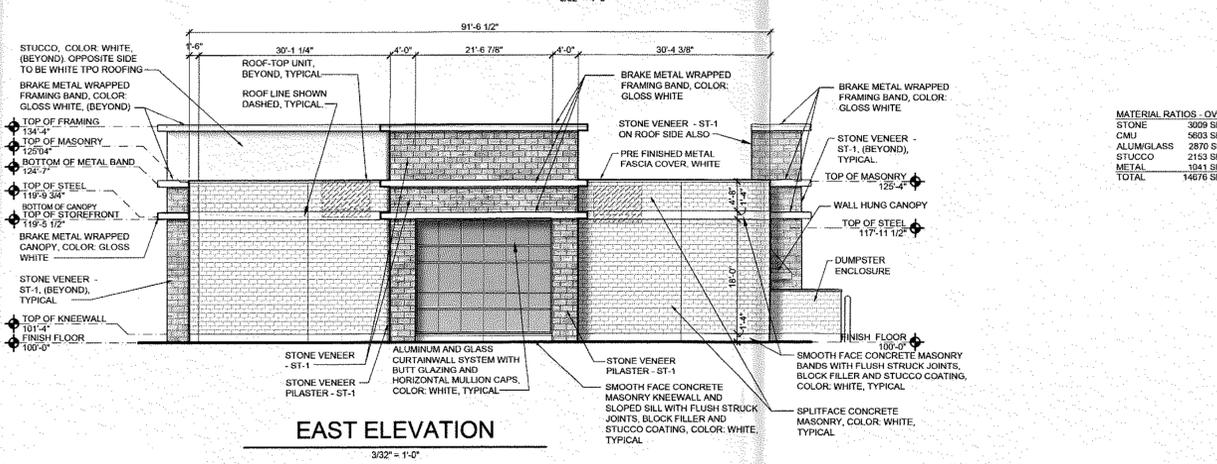
SOUTH ELEVATION (FACES PUBLIC RIGHT OF WAY / I-30)



NORTH ELEVATION



WEST ELEVATION (FACES PUBLIC RIGHT OF WAY / GREENCREST BLVD)



EAST ELEVATION

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 31st day of August, 2022.

[Signature]
Chairman

[Signature]
Director of Planning & Zoning

EXTERIOR MATERIAL SCHEDULE	
MATERIAL	FINISHES
SPLIT FACE CONCRETE MASONRY UNIT, FIELD	8" HIGH INTEGRALLY COLORED SPLIT-FACE CONCRETE MASONRY UNITS APPLY WATER REPELLENT (REFER SPECIFICATION 09900). MANUFACTURER: ADAMS OLD CASTLE COLOR: SNOW WHITE AVAILABLE THROUGH BEST BLOCK / MIDWEST BLOCK BRIDGEON, MISSOURI OR APPROVED EQUAL.
SMOOTH-FACE CONCRETE MASONRY UNIT AT BANDS AND KNEEWALL	8" HIGH SMOOTH-FACE CONCRETE MASONRY UNITS WITH FLUSH STRUCK JOINTS, BLOCK FILLER, AND EXTERIOR INSULATION FINISH SYSTEM COATING. TEXTURE: FINE. COLOR: WHITE TO MATCH DRYVIT #101 SUPER WHITE
LIMESTONE VENEER AT PLASTER AND FIELD	ST-1 COLOR: ROUGH/TEXTURED FACE - COLOR: ROUGHBACK/SPLITFACE BLEND, TYPE: SAWN 2 SIDES (TOP, BOTTOM) CHOPPED, LENGTH: COURSE SIZE = 12" (X18" TO 30" LENGTH), BED DEPTH: 3" TO 5"
STUCCO	STO POWERWALL STUCCO, TEXTURE: FINE, COLOR: WHITE TO MATCH DRYVIT #101 SUPER WHITE
PRE-FINISHED METAL COPING AND FASCIA COVER	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
CURTAINWALL MULLIONS AND ENTRY DOORS	KYNAR FINISH - WHITE ON EXTERIOR AND INTERIOR
PRE-FINISHED METAL ROOF AT RECYCLE AREA	FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
WALL HUNG CANOPY	ALL EXPOSED COMPONENTS FACTORY FINISH IN STANDARD COLOR AS CLOSE AS POSSIBLE TO PAINT PT-11 WHITE
ALUMINUM SOFFIT PANEL	NON - VENTED ALUMINUM SOFFIT PANEL, COLOR - PRE-FINISHED TO MATCH CANOPY WHITE

CASCO

12 SUNNEN DR. SUITE. 100
ST. LOUIS, MO 63143
ARCHITECTS/ENGINEERS
314-821-1100

ROOMS TO GO

ROCKWALL, TEXAS
09/15/2022

D-Series Size 2 LED Area Luminaire

Specifications:
 Lumens: 2115
 Beam Angle: 40°
 Height: 1.57'
 Weight: 1.57 lbs

Introduction:
 The D-Series luminaire is a high performance, high efficiency luminaire. The luminaire is designed to provide uniform lighting with a high level of energy efficiency. The luminaire is designed to provide uniform lighting with a high level of energy efficiency. The luminaire is designed to provide uniform lighting with a high level of energy efficiency.

Accessories:
 Back Box (BWX E20WC)
 Mounting Hardware
 Pole Base
 Pole Tip

Example: DSX2 LED P3 40K TFM MVOILT HS NATURAL PRSN DCSB

Item	Quantity	Description
DSX2 LED P3 40K TFM MVOILT HS NATURAL PRSN DCSB	1	DSX2 LED P3 40K TFM MVOILT HS NATURAL PRSN DCSB

D-Series Size 1 LED Wall Luminaire

Specifications:
 Lumens: 1500
 Beam Angle: 40°
 Height: 1.57'
 Weight: 1.57 lbs

Introduction:
 The D-Series wall luminaire is a high performance, high efficiency luminaire. The luminaire is designed to provide uniform lighting with a high level of energy efficiency. The luminaire is designed to provide uniform lighting with a high level of energy efficiency. The luminaire is designed to provide uniform lighting with a high level of energy efficiency.

Accessories:
 Back Box (BWX E20WC)
 Mounting Hardware
 Pole Base
 Pole Tip

Example: DSX1 LED ZDC 1000 40K TFM MVOILT DCSB

Item	Quantity	Description
DSX1 LED ZDC 1000 40K TFM MVOILT DCSB	1	DSX1 LED ZDC 1000 40K TFM MVOILT DCSB

D-Series Size 1 LED Wall Luminaire

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 Mounting Hardware
 Pole Base
 Pole Tip

Example: DSX1 LED ZDC 1000 40K TFM MVOILT DCSB

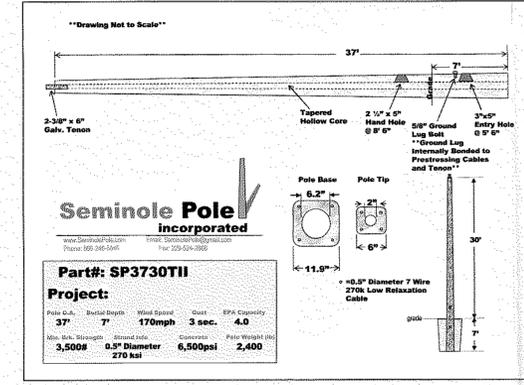
Item	Quantity	Description
DSX1 LED ZDC 1000 40K TFM MVOILT DCSB	1	DSX1 LED ZDC 1000 40K TFM MVOILT DCSB

Lumen Ambient Temperature (EAT) Multiplier

EAT (°F)	Multiplier
60	1.00
65	1.05
70	1.10
75	1.15
80	1.20
85	1.25
90	1.30
95	1.35
100	1.40
105	1.45
110	1.50
115	1.55
120	1.60
125	1.65
130	1.70
135	1.75
140	1.80
145	1.85
150	1.90
155	1.95
160	2.00
165	2.05
170	2.10
175	2.15
180	2.20
185	2.25
190	2.30
195	2.35
200	2.40

Project LED Lumen Maintenance:

Year	Maintenance Factor
1	1.00
2	0.95
3	0.90
4	0.85
5	0.80
6	0.75
7	0.70
8	0.65
9	0.60
10	0.55



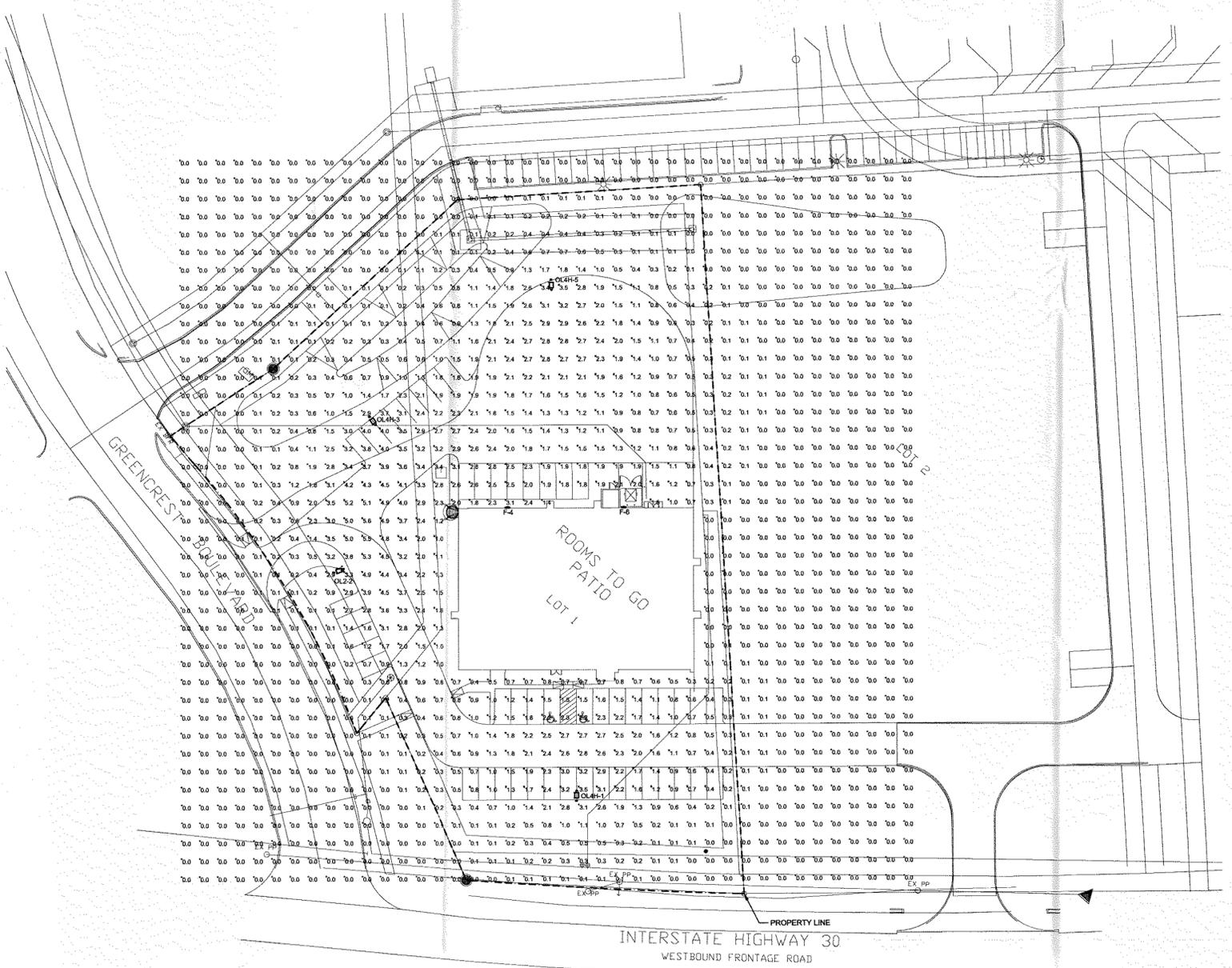
BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ELECTRICAL CONTRACTOR SHALL DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

NOTES:

- SITE PHOTOMETRICS PERFORMED WITHOUT CONTRIBUTION OF EXISTING ADJACENT PARKING LOT OR STREETLIGHTS.
- REFER TO LUMINAIRE LOCATIONS FOR MOUNTING HEIGHT (MH).
- ILLUMINATION CALCULATIONS PERFORMED ON A MAINTAINED BASIS WITH LLF=0.91 FOR LED LUMINAIRES AT FINISHED GRADE.
- ALL LUMINAIRES USED FOR SITE LIGHTING SHALL BE FULL CUTOFF.
- ALL LUMINAIRES SHOWN IN SCHEDULE ARE "LITHONIA" EQUAL FULL CUTOFF LUMINAIRES WITH SAME TYPE OF DISTRIBUTION AND LIGHT SOURCE WILL BE CONSIDERED FOR APPROVAL.
- ANY DEVIATION FROM THE LUMINAIRES SHOWN WILL REQUIRE A PHOTOMETRICS PLAN TO ENSURE THE LUMINAIRES MEET EXTERIOR LIGHTING REQUIREMENTS.
- SITE LIGHTING POLES SHALL PRE-CAST CONCRETE POLES AS SHOWN ON LIGHT POLE DETAIL.
- ALL LUMINAIRES SHALL BE CONTROLLED BY PHOTOCELL ON, ASTRONOMICAL TIME CLOCK OFF, EXCEPT SECURITY LIGHTS CONTROLLED PHOTOCELL ON, PHOTOCELL OFF.
- ALL POLE MOUNT LUMINAIRES SHALL BE NATURAL ALUMINUM IN COLOR. WALL MOUNT LUMINAIRES SHALL BE WHITE IN COLOR.

2 SITE LUMINAIRES
 SCALE: NOT TO SCALE



3 LIGHT POLE
 SCALE: NOT TO SCALE

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
OL2	1	DSX2 LED P3 40K BLC MVOILT	DSX2 LED P3 40K BLC MVOILT	DSX2 LED P3 40K BLC MVOILT	LED	DSX2_LED_P3_40K_BLC_MV_OL2.tbl	23165	0.81	217
OL4H	3	DSX2 LED P3 40K TFM MVOILT HS	DSX2 LED P3 40K TFM MVOILT HS	DSX2 LED P3 40K TFM MVOILT HS	LED	DSX2_LED_P3_40K_TFM_M_VOLT_HS.tbl	22660	0.91	217
F	2	DSX1 LED ZDC 1000 40K TFM MVOILT	DSX1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFM OPTIC, 4000K @ 1000MA.	DSX1_LED_ZDC_1000_40K_TFM_MVOILT.tbl	LED	DSX1_LED_ZDC_1000_40K_TFM_MVOILT.tbl	7711	0.81	73.2

STATISTICS

Description	Symbol	Avg	Max	Min
Area	+	0.6 fc	5.6 fc	0.0 fc
RTG Parking	X	1.9 fc	5.6 fc	0.2 fc

LUMINAIRE LOCATIONS

No.	Label	MH	Orientation	Tilt
1	OL4H	30.0	0.0	0.0
2	OL2	30.0	70.0	0.0
3	OL4H	30.0	145.0	0.0
4	F	17.0	0.0	0.0
5	OL4H	30.0	190.0	0.0
6	F	17.0	0.0	0.0

LUMINAIRE TEMPLATES

Label	Mounting Height
OL4H	30.0
OL2	30.0
F	17.0

1 SITE LIGHTING PHOTOMETRICS
 SCALE: 1" = 30'-0"



4 TEMPLATES
 SCALE: 1" = 30'-0"

PATIO SHOWROOM
 LOT 3, BLOCK A,
 TOWN PLACE MARIOTT ADDITION,
 904 E. INTERSTATE 30
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS



CONSTR. DOC. & REVISIONS
 Date: 07/13/22
 Description: SITE APPROVAL
 No.:

Drawn By/Checked By: ZT
 Project Number: 2202184
 Bid Date:
 Owner Date:

APPROVED
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 21st day of August, 2022.

[Signature]
 Planning & Zoning Commission, Chairman

[Signature]
 Director of Planning & Zoning

SITE LIGHTING PHOTOMETRICS

E0.2

CASCO
 12 Sumner Drive, Suite 100, St. Louis, MO 63143 | 314.821.1100