



## CASE COVER SHEET

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

### **PLATTING APPLICATION**

MASTER PLAT  
PRELIMINARY PLAT  
FINAL PLAT  
REPLAT  
AMENDING OR MINOR PLAT  
PLAT REINSTATEMENT REQUEST

### **SITE PLAN APPLICATION**

SITE PLAN  
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

### **ZONING APPLICATION**

ZONING CHANGE  
SPECIFIC USE PERMIT  
PD DEVELOPMENT PLAN

### **OTHER APPLICATION**

TREE REMOVAL  
VARIANCE REQUEST/SPECIAL EXCEPTIONS

## RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO.

**SP2022-063**

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

*Ralph Hume Parkway & Market Center*

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

*Commercial*

CURRENT USE

*Commercial*

PROPOSED ZONING

*Same*

PROPOSED USE

*Same*

ACREAGE

*0.29*

LOTS [CURRENT]

LOTS [PROPOSED]

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

*Patrick Kelley*

☐ APPLICANT

*Patrick Kelley*

CONTACT PERSON

CONTACT PERSON

*Steven Reyes*

ADDRESS

*2845 Ridge Rd #207*

ADDRESS

*2235 Ridge Rd*

CITY, STATE & ZIP

*Rockwall, TX*

CITY, STATE & ZIP

*Rockwall, TX*

PHONE

*469 693 9187*

PHONE

*972 345-1684*

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED *P. Kelley* [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ *270* TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE *12* DAY OF *December*, 20*22* BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE *12* DAY OF *December*, 20*22*

OWNER'S SIGNATURE

*P. Kelley*

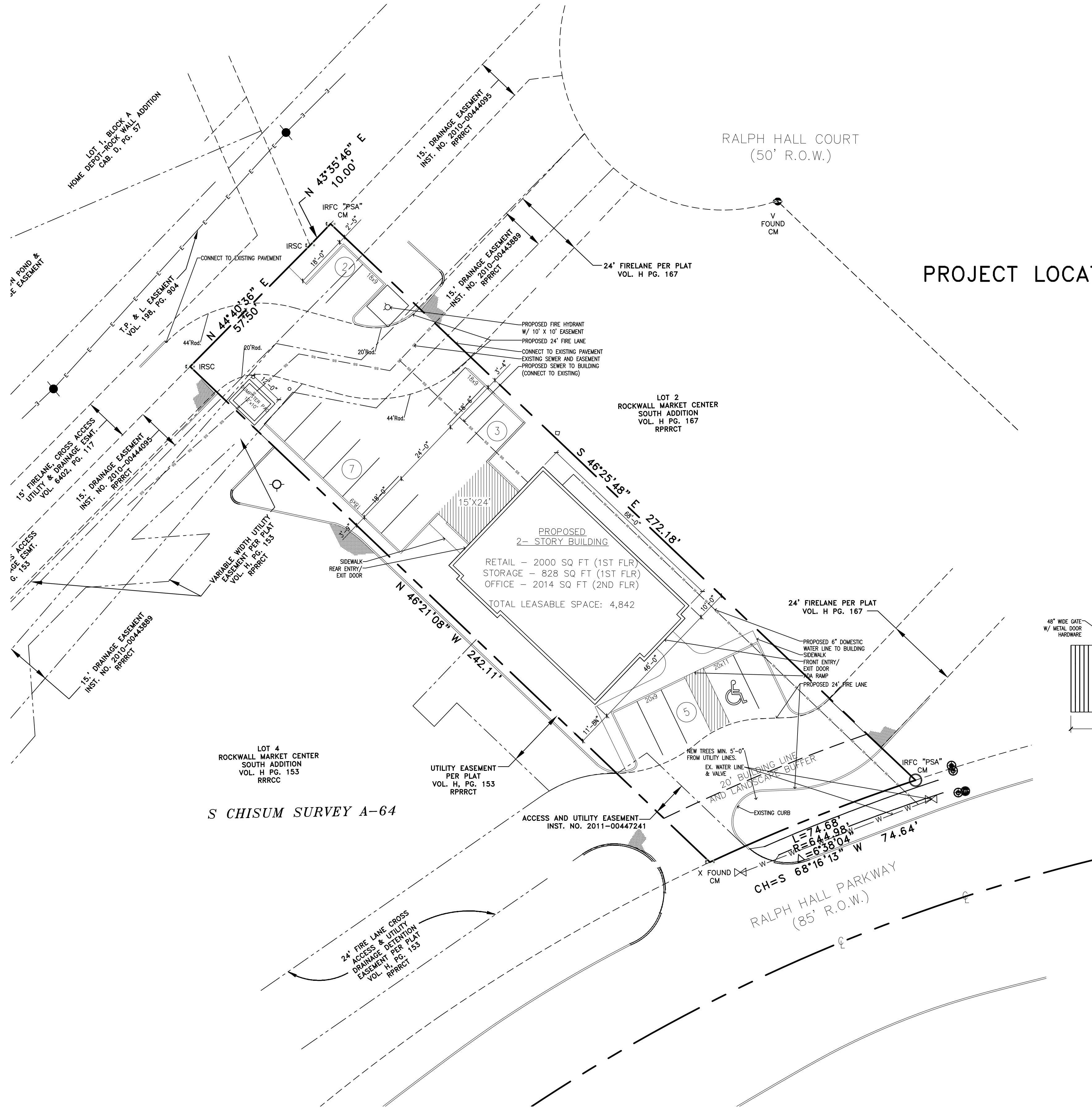
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Sheila Marie Flavin*

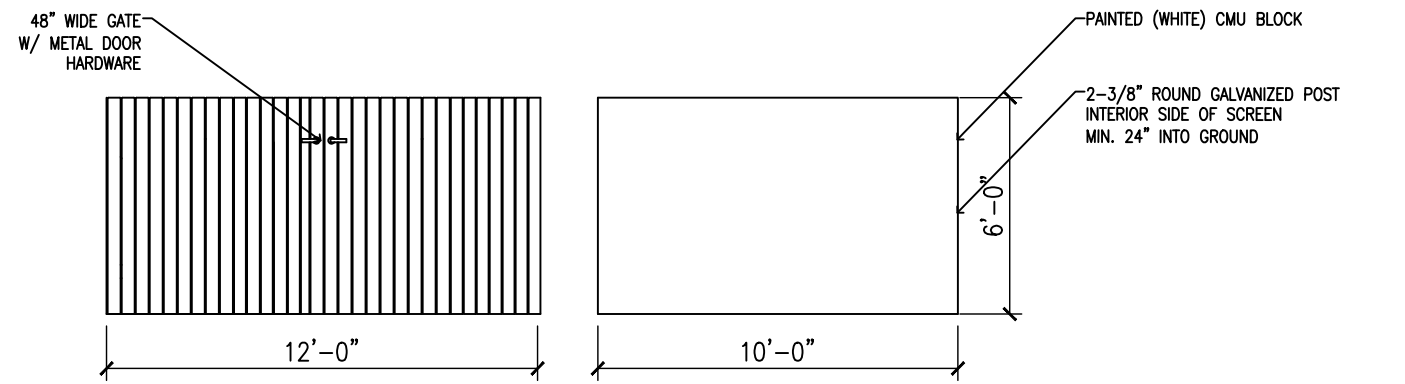
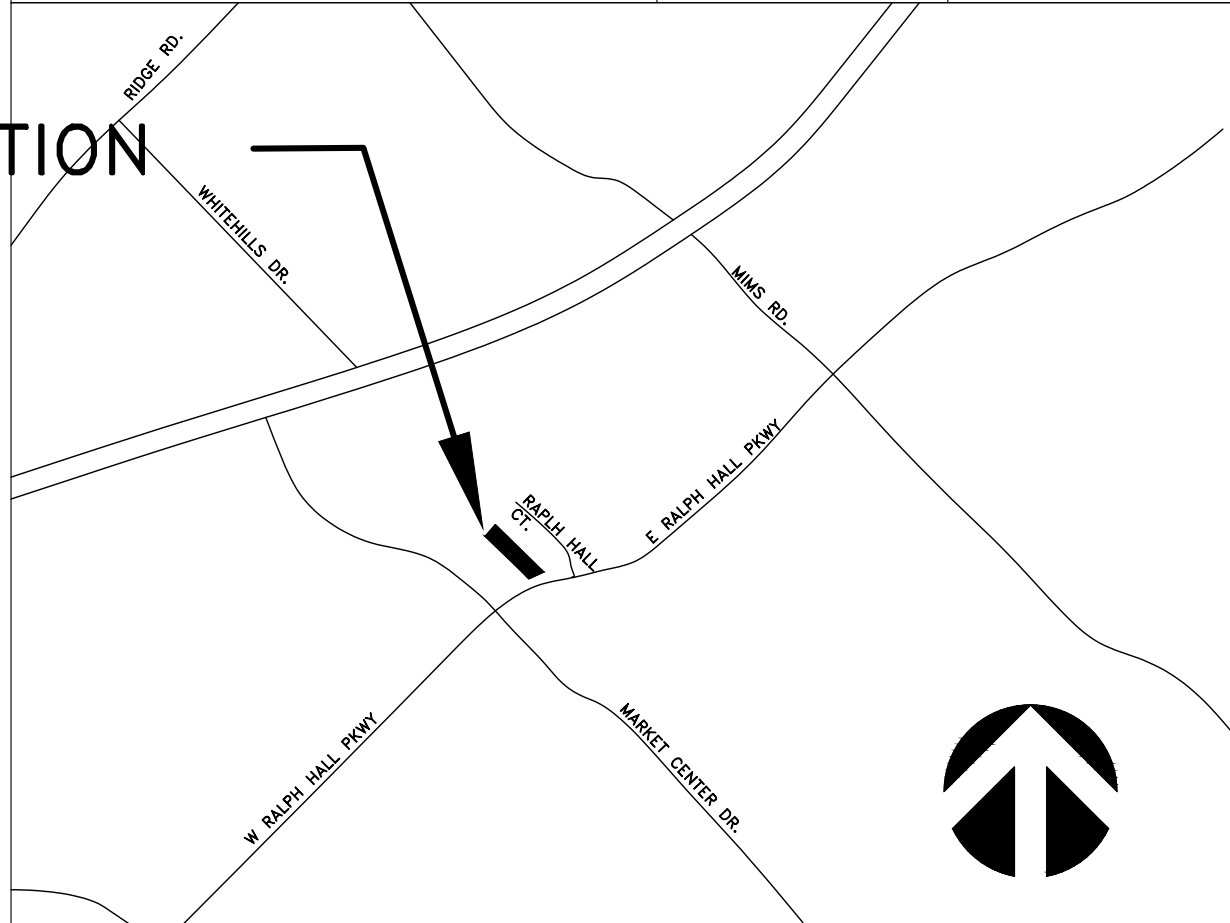
MY COMMISSION EXPIRES



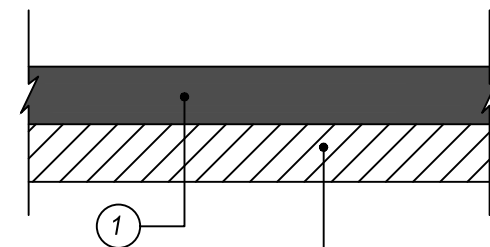




SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
LOT	17,338	100 %
IMPERVIOUS	12,862	74.1%
BUILDING FOOTPRINT	3,197	18.4%
PAVEMENT AREA	9,665	55.7%
PERVIOUS	4,476	25.8%
SIDEWALK AREA	-	
MAX. BUILDING HEIGHT PROPOSED	± 30'	
BUILDING USE / PARKING RATIO	-	PARK'G REQ'D
OFFICE (1 per 300)	2014	7
RETAIL (1 per 250)	2000	8
STORAGE (1 per 1000)	828	1



DUMPSTER SREENING



FIRE LANE/PARKING LOT PAVEMENT SECTION  
NTS

- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

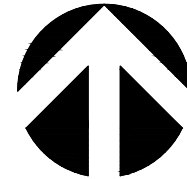
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



SITE PLAN

SCALE: 1"=20'  
0 20' 40'

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
ROSS RAMSAY  
(214)536-5306  
2235 RIDGE RD. STE 200  
ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTIONS/ISSUE	
No.	

PROJECT NAME AND ADDRESS:  
PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
SITE PLAN

S1.0





ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISONS	DESCRIPTION/ISSUE	DATE	
		No.	

PROJECT NAME AND ADDRESS:  
**PK FLOORS**  
**RALPH HALL PKWY**  
**ROCKWALL, TX 75087**

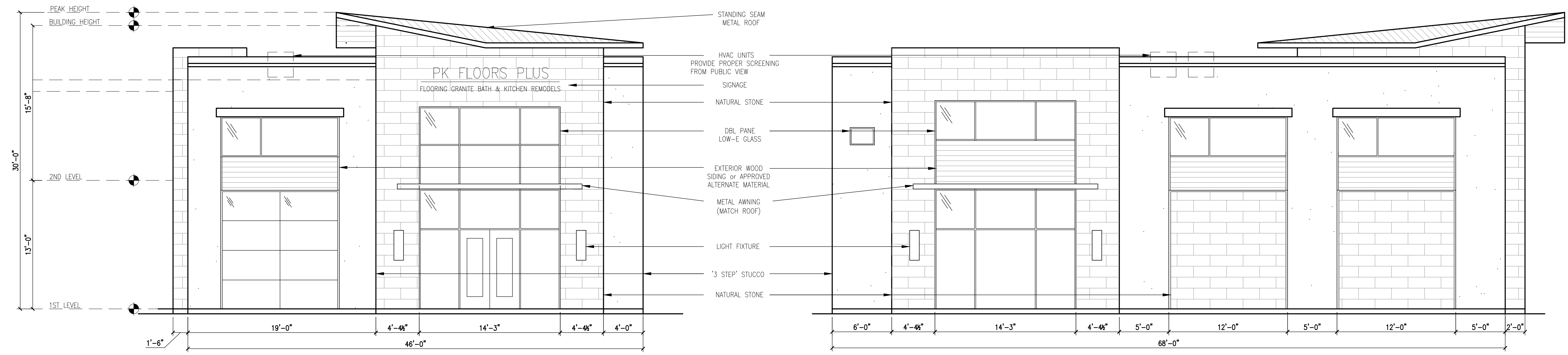
PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
**ELEVATIONS**

**A2.0**

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087

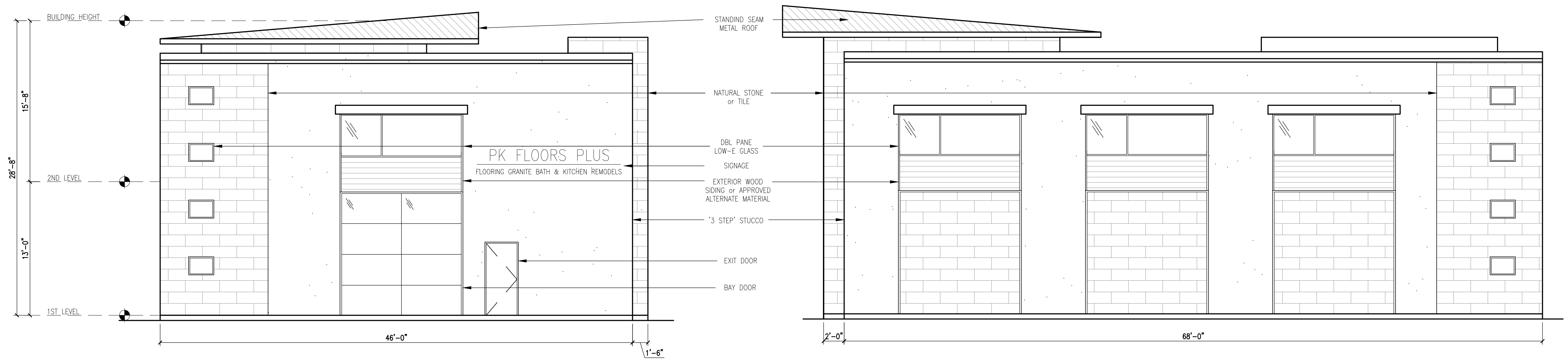


**SOUTH ELEVATION (FACING RALPH HALL PKWY)**  
SCALE: 3/16" = 1"

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,174	
DOORS & WINDOWS (DEDUCTED)		481	
ACCOUNTABLE AREA		693	100%
MASONRY - 3 STEP STUCCO		324	46%
PORCELAIN TILE		329	47%
TREX CLADDING		40	7%

**WEST ELEVATION**  
SCALE: 3/16" = 1"

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1795	
DOORS & WINDOWS (DEDUCTED)		320	
ACCOUNTABLE AREA		1,475	100%
MASONRY - 3 STEP STUCCO		675	46%
PORCELAIN TILE		657	45%
TREX CLADDING		143	9%



**NORTH ELEVATION**  
SCALE: 3/16" = 1"

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,180	
DOORS & WINDOWS (DEDUCTED)		232	
ACCOUNTABLE AREA		948	100%
MASONRY - 3 STEP STUCCO		668	70%
PORCELAIN TILE		240	25%
TREX CLADDING		40	5%

**EAST ELEVATION**  
SCALE: 3/16" = 1"

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,782	
DOORS & WINDOWS (DEDUCTED)		161	
ACCOUNTABLE AREA		1,621	100%
MASONRY - 3 STEP STUCCO		770	48%
PORCELAIN TILE		731	45%
TREX CLADDING		120	7%

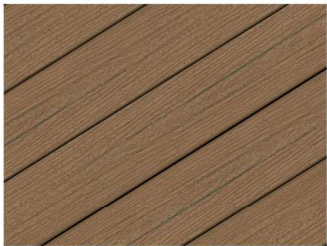
APPROVED:  
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WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.  
\_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
\_\_\_\_\_  
DIRECTOR OF PLANNING AND ZONING







COMPOSITE WOOD  
CLADDING by TREX  
(SOFFIT to MATCH)



'FEATURE' PORCELAIN TILE  
by MAXIMA



TRADITIONAL '3 STEP' STUCCO (WHITE)  
STUCCO BROW (MATCH TILE)

STEEL ROOF & AWNING (MATCH)



ANODIZED BRONZE  
ALUMINUM FRAME WINDOWS



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ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

REVISIONS		DATE
NO.	DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:  
PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	08/18/22
SCALE	
SHEET NO.	of

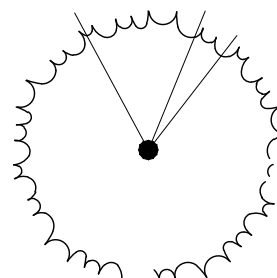
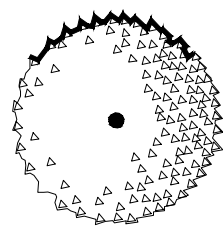
DRAWING NAME:



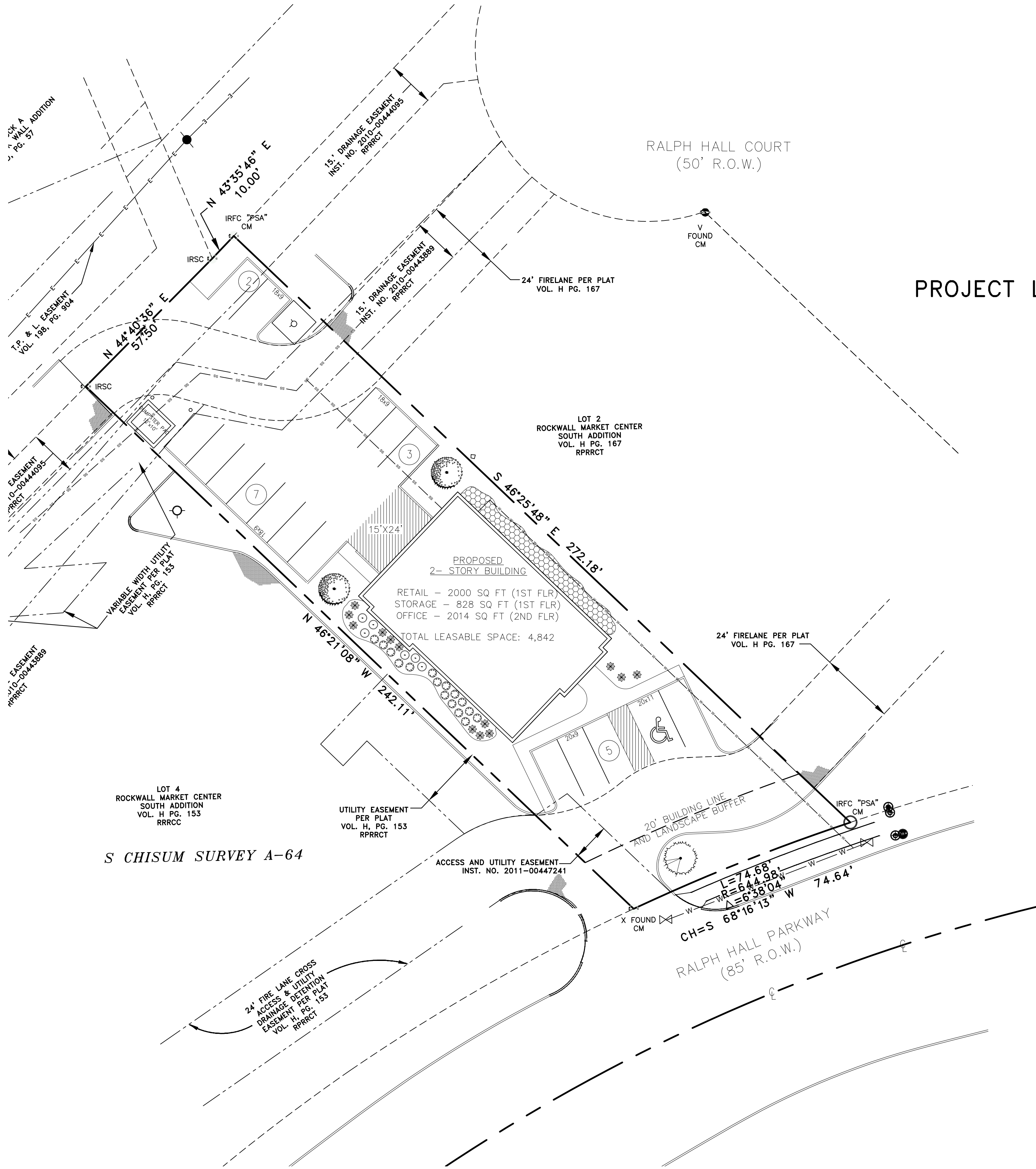
PLANT SCHEDULE

	QTY. 13	SIZE #3	TYPE Yucca, Red ( <i>Hesperaloe parviflora</i> )	SPACING 24"
	QTY. 6	SIZE #3	TYPE Sage, Texas ( <i>Leucophyllum frutescens</i> )	SPACING > 36"
	QTY. 16	SIZE #3	TYPE Nandina ( <i>Nandina domestica</i> )	SPACING > 24"-36"
	QTY. -	SIZE -	TYPE jasmine ivy ( <i>Asiatic jasmine minima</i> )	SPACING >

TREE SCHEDULE

	QTY. 1	SIZE 4.0 inches	TYPE Plum, Mexican ( <i>Prunus mexicana</i> )	SPACING -
	QTY. 2	SIZE 3.0 inches	TYPE Sumac, Flameleaf ( <i>Rhus copallina</i> )	SPACING -

Install Buffalo grass to cover all other areas, IRRIGATE properly.



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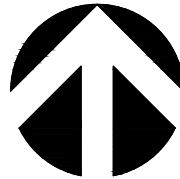
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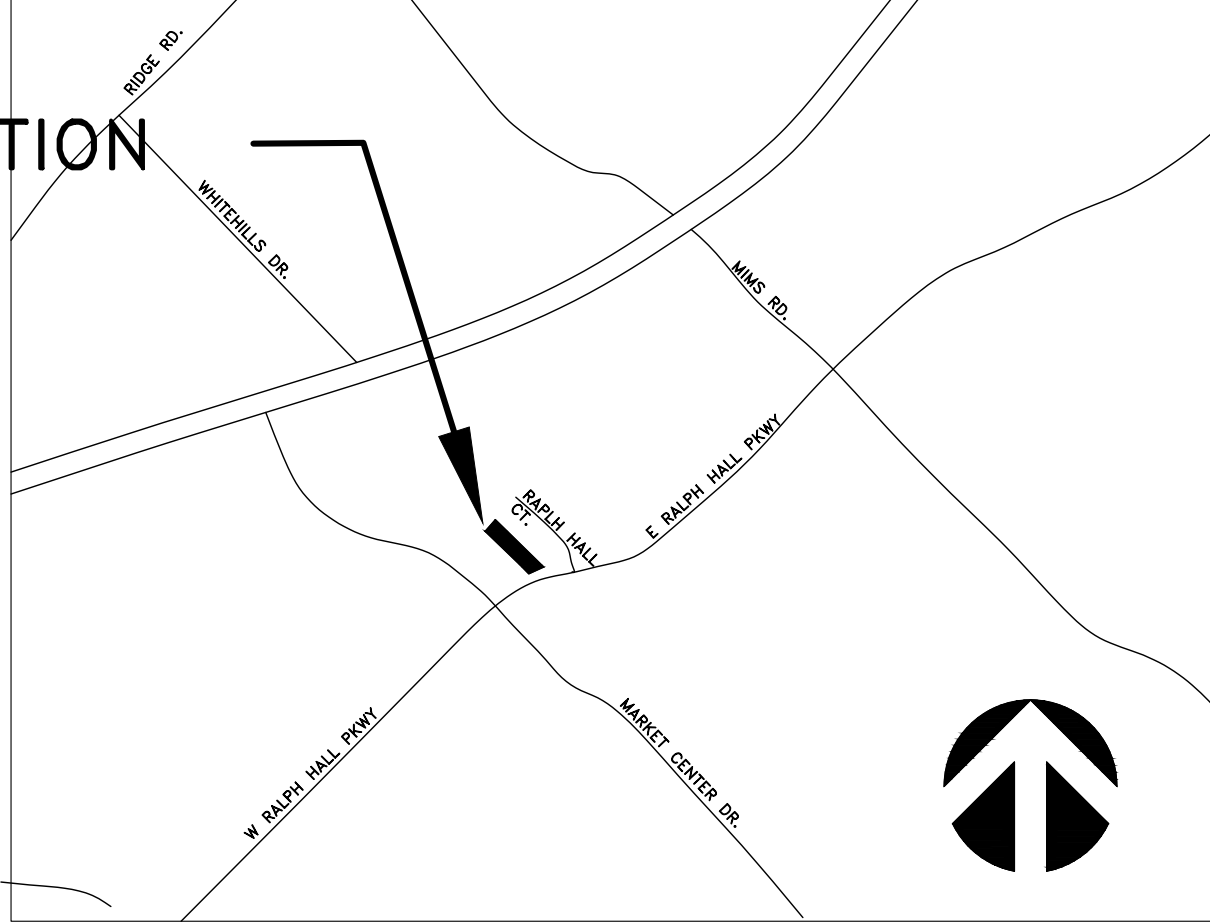


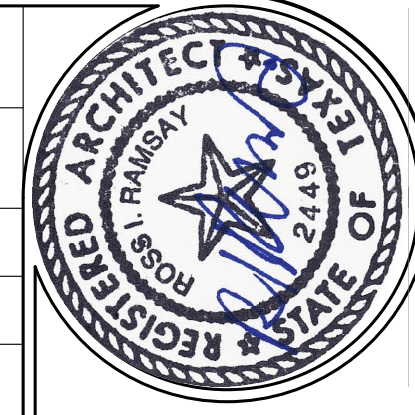
LANDSCAPE PLAN

SCALE: 1"=20'  
0 20' 40'

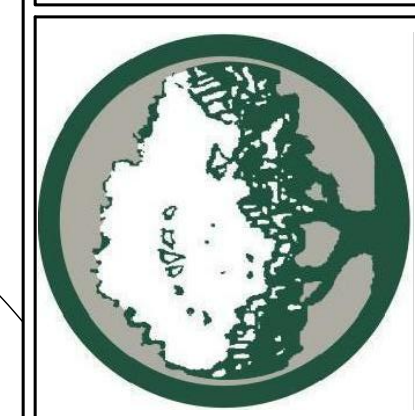
VICINITY MAP

PROJECT LOCATION





ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



DATE	REVISIONS
	DESCRIPTIONS/ISSUE
No.	

PROJECT NAME AND ADDRESS:  
PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
LANDSCAPE PLAN

L1.0





FEATURES & SPECIFICATIONS

**INTENDED USE**  
Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and driveways for safety and security.

**CONSTRUCTION**  
Cast aluminum housing with corrosion resistant paint in either dark bronze or white finish.

**LED OPTICS**  
4000K CCT LEDs.  
Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

**UNIFORM MAINTENANCE**  
The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See lighting facts label on page 2 for performance details.

**ELECTRICAL**  
MVOLT driver operates on any line voltage from 120-277V.  
Operating temperature: -30°C to 40°C.  
100,000 hour protection standard.

**INSTALLATION**  
Surface mounts to universal junction box (provided by others).

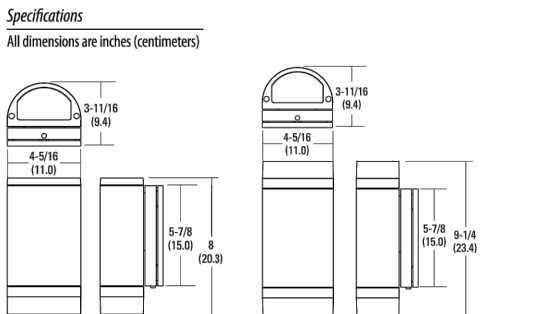
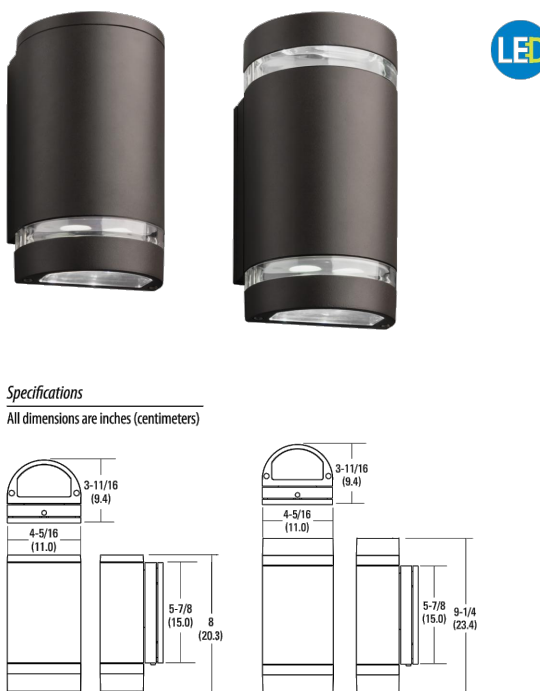
**LISTINGS**  
UL Listed in U.S. and Canadian safety standards for wet locations.  
Listed in accordance with ESDA LM-79 and LM-80 standards.

**WARRANTY**  
— 5 year limited warranty. This is the only warranty provided and no other statements in this specification shall create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.lithonia.com/customer-service/warranty-terms-and-conditions](http://www.lithonia.com/customer-service/warranty-terms-and-conditions).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number	
Notes	'A'
Type	

Outdoor General Purpose  
**OLLWD & OLLWU**  
LED WALL CYLINDER LIGHT



**ORDERING INFORMATION** For shortest lead times, configure products using **bolded options**. Example: OLLWD LED P1 40K MVOLT DDB

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD LED <b>Daylight</b>	<b>P1</b>	<b>40K</b> <b>&lt;400K</b>	<b>MVOLT</b> <b>120V/277V</b>	<b>DB</b> <b>Dark Bronze</b>
OLLWU LED <b>Daylight</b>	<b>P1</b>	<b>40K</b> <b>&lt;400K</b>	<b>120</b> <b>120V</b>	<b>WH</b> <b>White</b>

Notes:  
1. Only available with OLLWD and OLLWU.  
2. Only available with OLLWD.

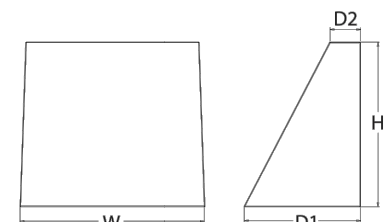
DECORATIVE INDOOR & OUTDOOR



**WEDGE1 LED**  
Architectural Wall Sconce



**Specifications**  
Depth (D1): 5.5"  
Depth (D2): 1.5"  
Height: 8"  
Width: 9"  
Weight: 9 lbs (without options)



Catalog Number	
Notes	'B'
Type	

**Introduction**  
The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WEDGE1 delivers up to 2,000 lumens with a soft, non-coated light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

Lumens	Standard (LVS)	Color (LVS)	Series	P1	P2	P3	P4	P5	P6
WEDGE1 LED	4W	—	—	3,200	3,200	—	—	—	—
WEDGE2 LED	10W	10W	Standard / night	3,200	3,200	3,500	4,500	6,000	—
WEDGE3 LED	15W	15W	Standard / night	7,500	8,500	10,000	12,000	—	—
WEDGE4 LED	—	—	Standard / night	12,000	16,000	18,000	25,000	22,000	25,000

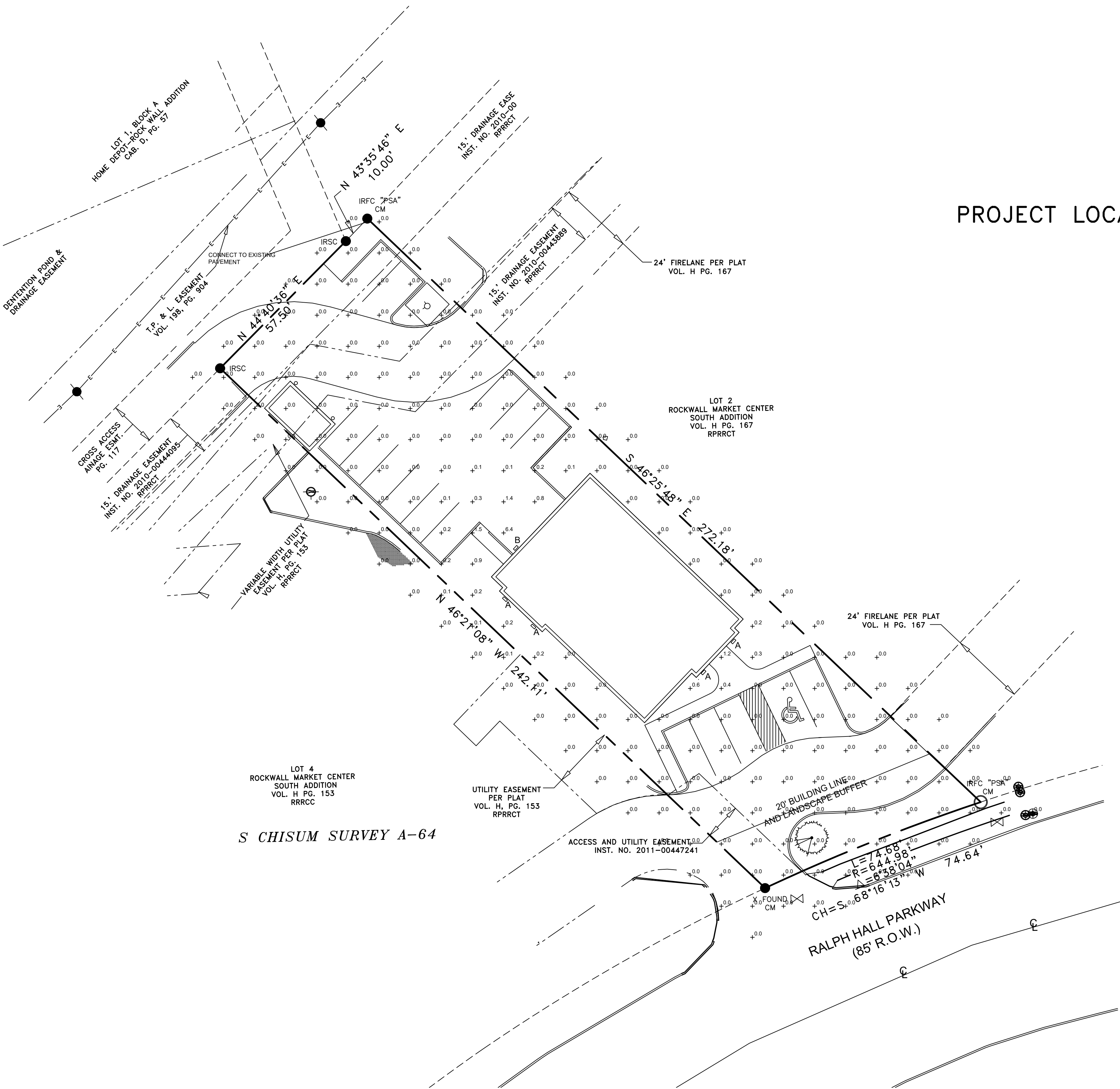
**Ordering Information** Example: WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color temperature	CRI	Electromagnetic	Voltage	Mounting
WEDGE1 LED	<b>P1</b>	27K 2700K	80CRI	VF	MVOLT	<b>SRM</b>
	<b>P2</b>	30K 3000K	80CRI	VF	MVOLT	<b>SRM</b>
		35K 3500K	80CRI	VF	MVOLT	<b>SRM</b>
		40K 4000K	80CRI	VF	MVOLT	<b>SRM</b>
		50K 5000K	80CRI	VF	MVOLT	<b>SRM</b>

Options	Finish
EMERGENCY	Emergency battery backup, Certified in CA Title 20/MADESS (40°C max)
P1	Prismatic, Butler type
P2	Quadrangular, prism with 2 lenses and 2 light engines, see page 3 for details
DRG	0.15V dimming wires pulled outside fixture for use with external control, ordered separately
DEL	Bottom cordless entry for back box (PBBW), best of 4 entry points
BAA	Buy As Available / Act Compliant

Accessories	Notes
WEDGE1 DDBXD	WEDGE1 surface-mounted back box (specify finish)
WEDGE1 PBBW DDBXD	WEDGE1 surface-mounted back box (specify finish)

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Cary, Georgia 30512 • Phone: 1-800-705-SEVEN (7378) • [www.lithonia.com](http://www.lithonia.com) WEDGE1 LED Rev. 11/21/20



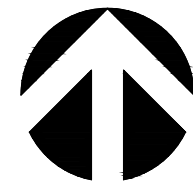
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WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



PHOTOMETRIC PLAN

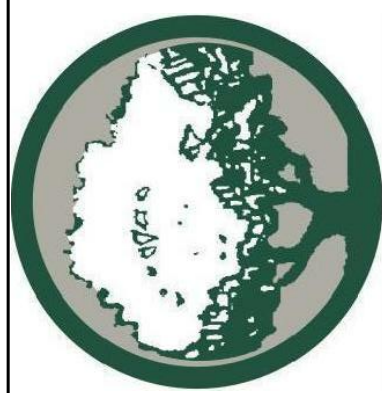
SCALE: 1"=20'  
0 20' 40'

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTIONS/ISSUE	
No.	

PROJECT NAME AND ADDRESS:  
PK FLOORS

125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:

PHOTOMETRIC PLAN

P1.0





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO.

**SP2022-063**

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

*Ralph Hume Parkway & Market Center*

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

*Commercial*

CURRENT USE

*Commercial*

PROPOSED ZONING

*Same*

PROPOSED USE

*Same*

ACREAGE

*0.29*

LOTS [CURRENT]

LOTS [PROPOSED]

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

*Patrick Kelley*

☐ APPLICANT

*Patrick Kelley*

CONTACT PERSON

CONTACT PERSON

*Steven Reyes*

ADDRESS

*2845 Ridge Rd #207*

ADDRESS

*2235 Ridge Rd*

CITY, STATE & ZIP

*Rockwall, TX*

CITY, STATE & ZIP

*Rockwall, TX*

PHONE

*469 693 9187*

PHONE

*972 345-1684*

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED *P. Kelley* [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ *270* TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE *12* DAY OF *December*, 20*22* BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE *12* DAY OF *December*, 20*22*

OWNER'S SIGNATURE

*P. Kelley*

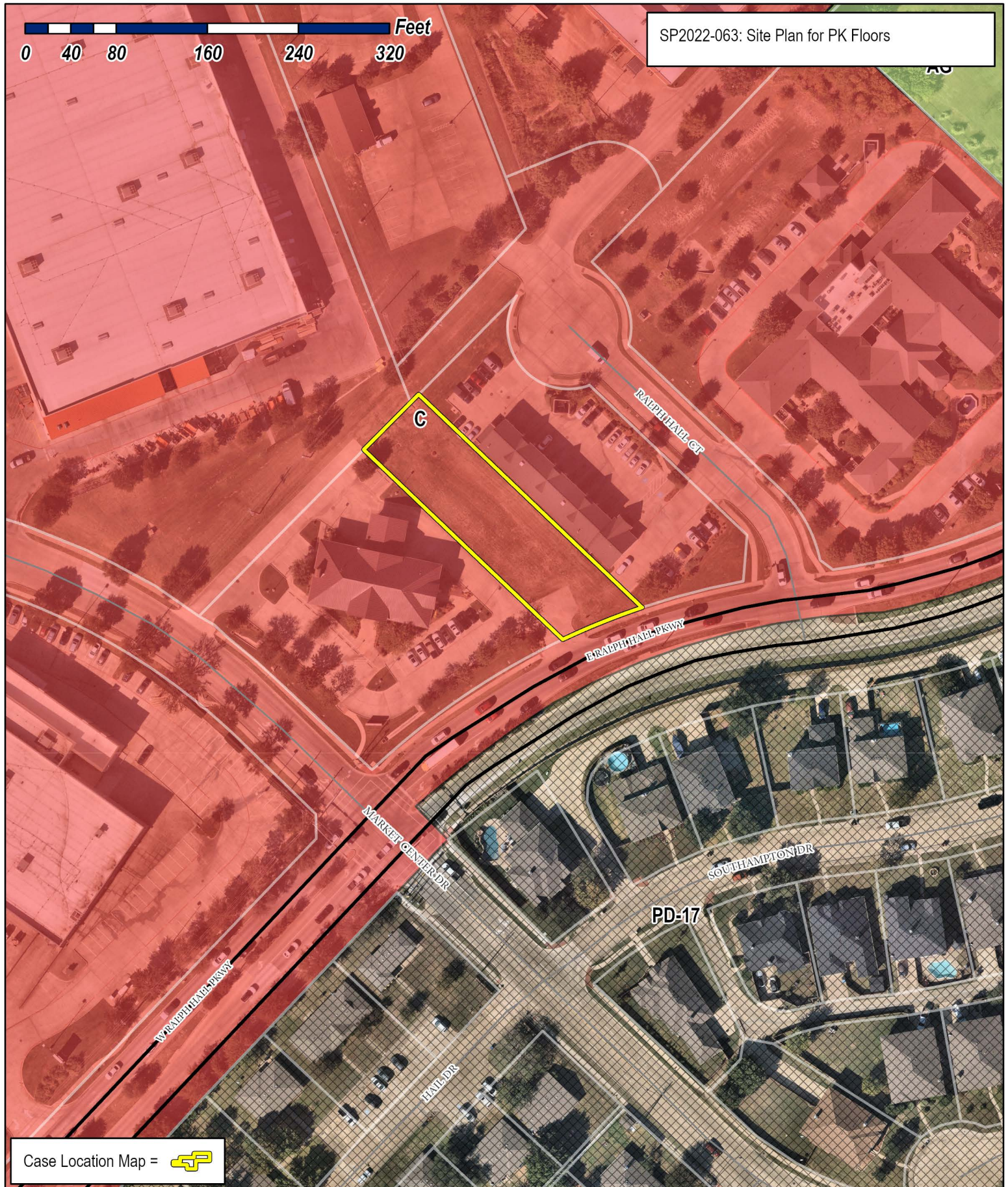
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Sheila Marie Flavin*

MY COMMISSION EXPIRES







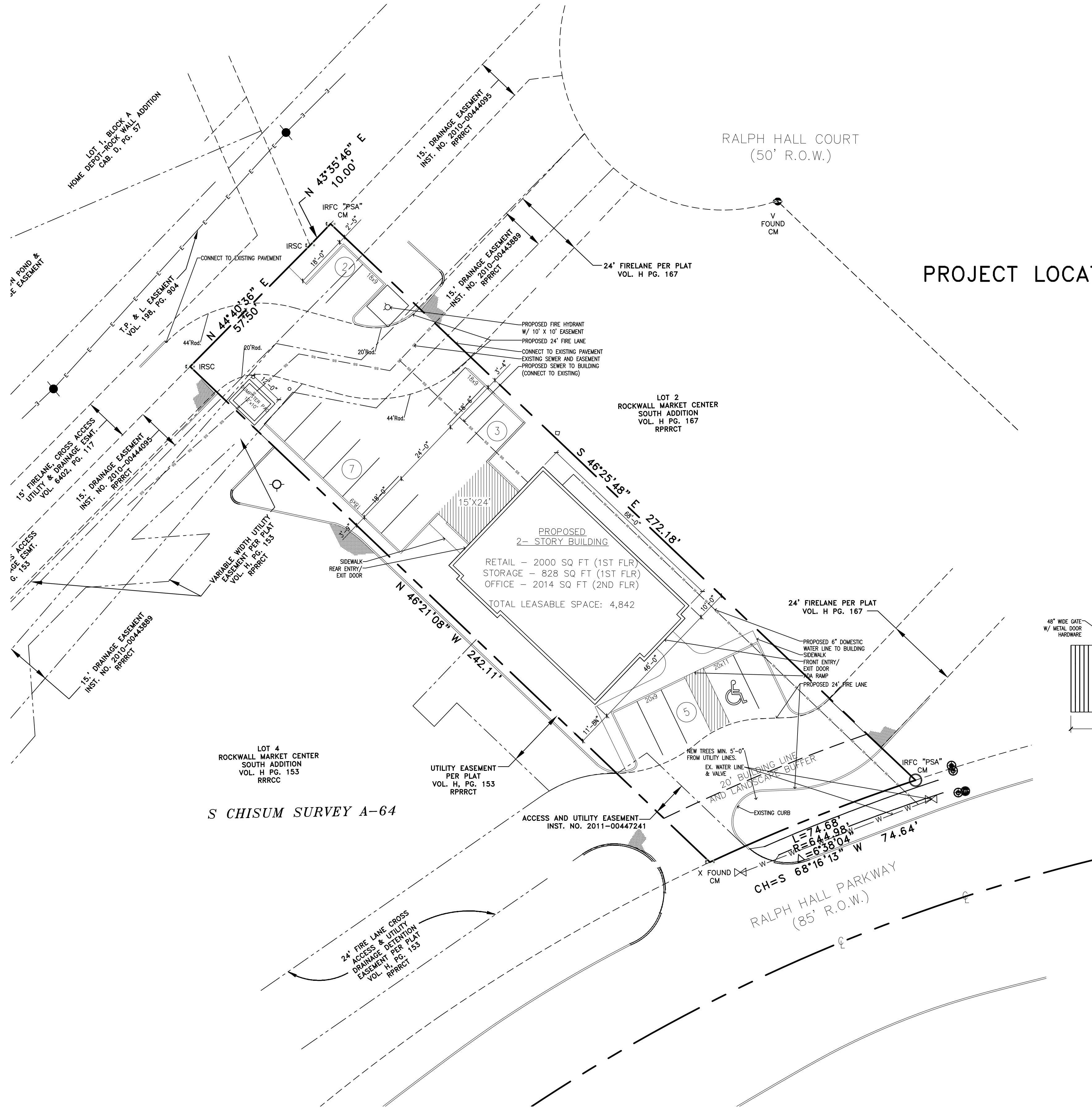
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

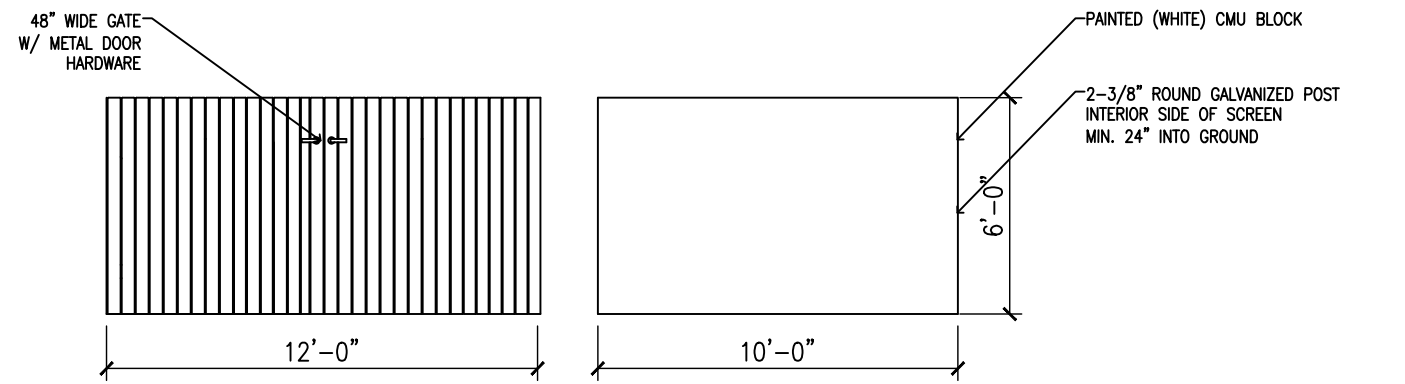
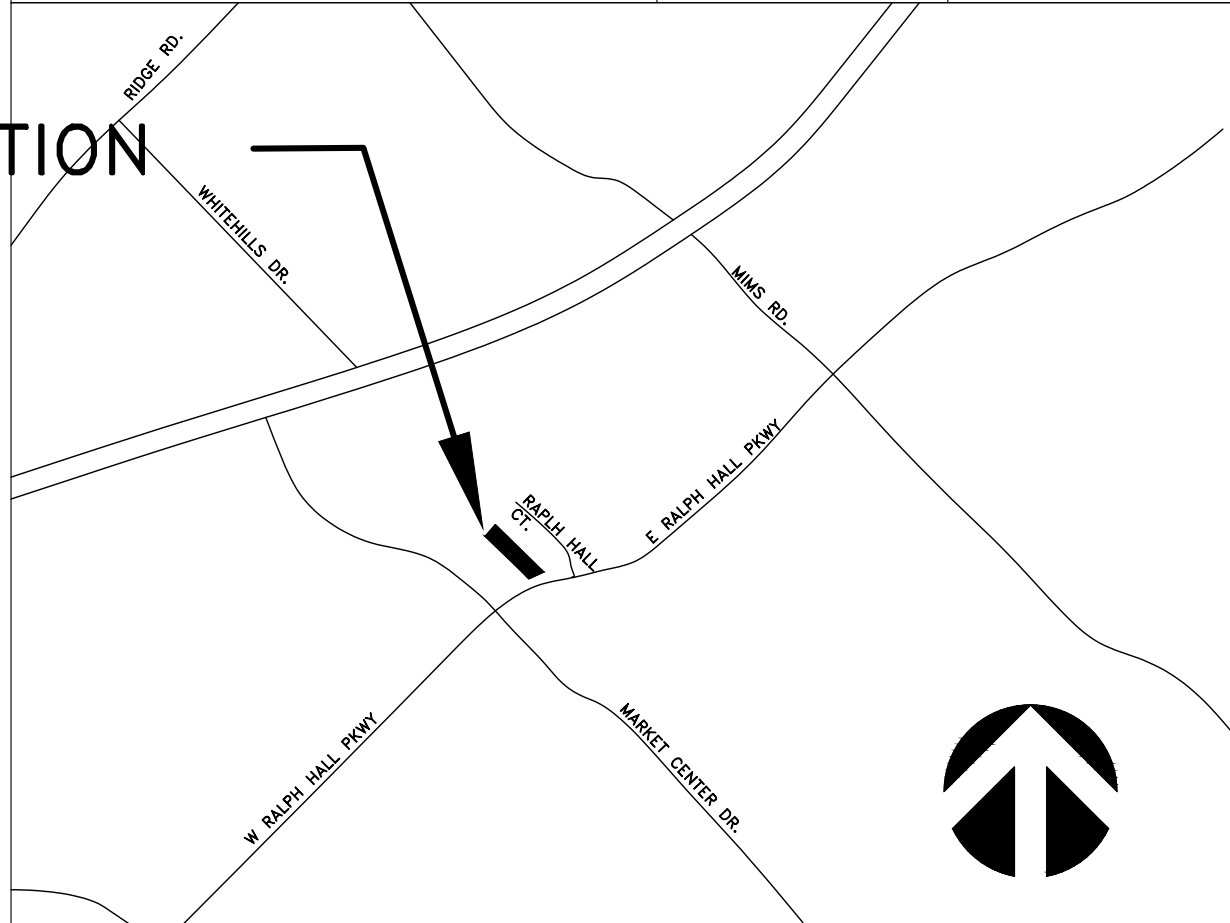
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



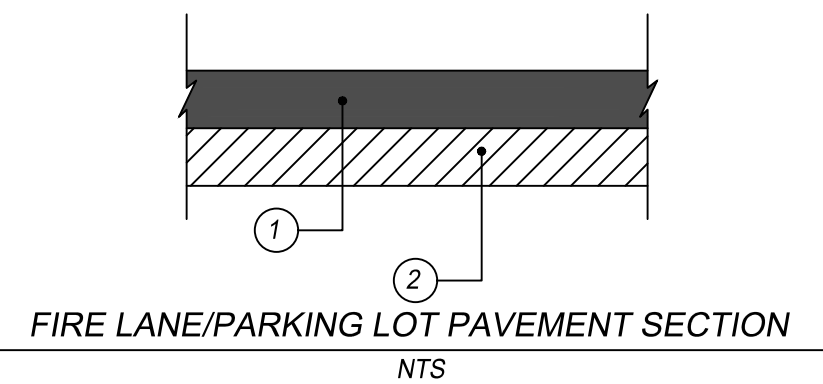




SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
LOT	17,338	100 %
IMPERVIOUS	12,862	74.1%
BUILDING FOOTPRINT	3,197	18.4%
PAVEMENT AREA	9,665	55.7%
PERVIOUS	4,476	25.8%
SIDEWALK AREA	-	
MAX. BUILDING HEIGHT PROPOSED	± 30'	
BUILDING USE / PARKING RATIO	-	PARK'G REQ'D
OFFICE (1 per 300)	2014	7
RETAIL (1 per 250)	2000	8
STORAGE (1 per 1000)	828	1



DUMPSTER SCREENING



- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

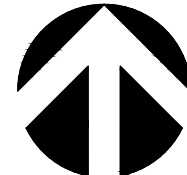
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



SITE PLAN

SCALE: 1"=20'  
0 20' 40'

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
ROSS RAMSAY  
(214)536-5306  
2235 RIDGE RD. STE 200  
ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTIONS/ISSUE	
No.	

PROJECT NAME AND ADDRESS:  
PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
SITE PLAN

S1.0





ARCHITECTONICS TEXAS, LLC

ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVIEWS	DATE	DESCRIPTION/ISSUE	No.

PROJECT NAME AND ADDRESS:

PK FLOORS

RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

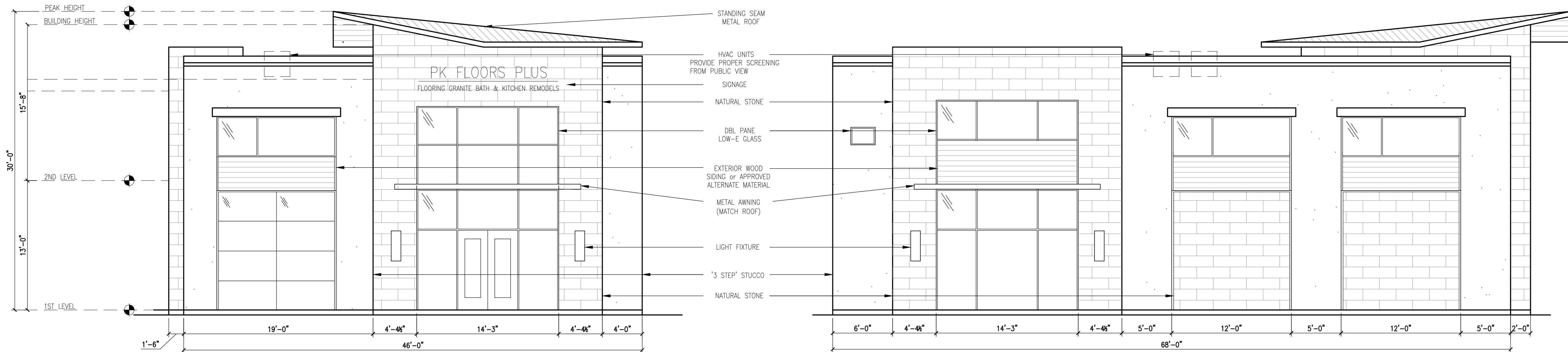
DRAWING NAME:

ELEVATIONS

A2.0

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087



SOUTH ELEVATION (FACING RALPH HALL PKWY)

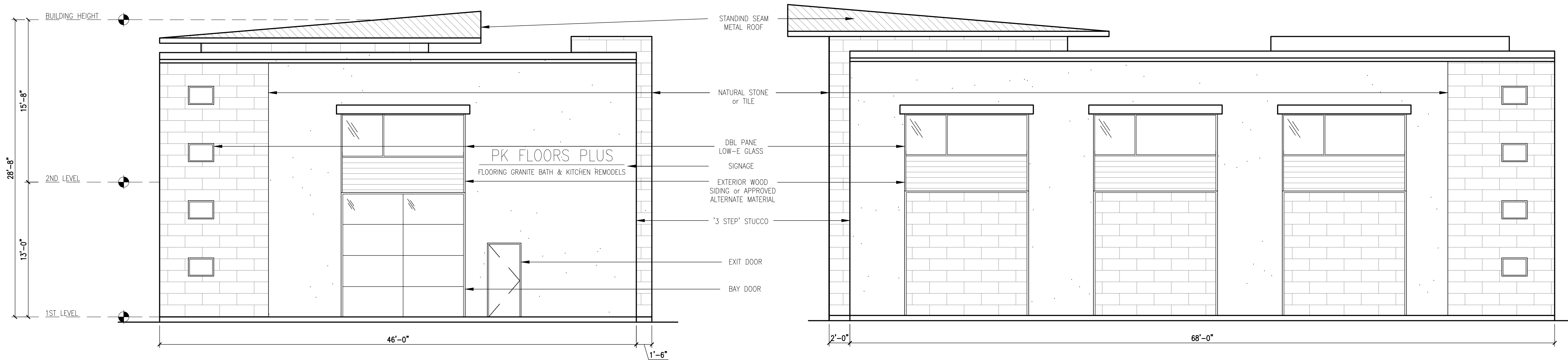
SCALE: 3/16" = 1'

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,174	
DOORS & WINDOWS (DEDUCTED)		481	
ACCOUNTABLE AREA		693	100%
MASONRY - 3 STEP STUCCO		324	46%
PORCELAIN TILE		329	47%
TREX CLADDING		40	7%

WEST ELEVATION

SCALE: 3/16" = 1'

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1795	
DOORS & WINDOWS (DEDUCTED)		320	
ACCOUNTABLE AREA		1,475	100%
MASONRY - 3 STEP STUCCO		675	46%
PORCELAIN TILE		657	45%
TREX CLADDING		143	9%



NORTH ELEVATION

SCALE: 3/16" = 1'

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,180	
DOORS & WINDOWS (DEDUCTED)		232	
ACCOUNTABLE AREA		948	100%
MASONRY - 3 STEP STUCCO		668	70%
PORCELAIN TILE		240	25%
TREX CLADDING		40	5%

EAST ELEVATION

SCALE: 3/16" = 1'

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,782	
DOORS & WINDOWS (DEDUCTED)		161	
ACCOUNTABLE AREA		1,621	100%
MASONRY - 3 STEP STUCCO		770	48%
PORCELAIN TILE		731	45%
TREX CLADDING		120	7%

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A  
DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY  
THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL  
ON THE \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

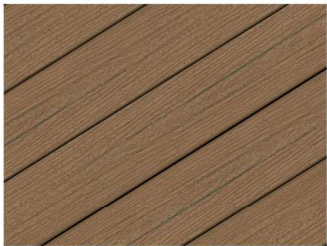
DIRECTOR OF PLANNING AND ZONING







COMPOSITE WOOD  
CLADDING by TREX  
(SOFFIT to MATCH)



'FEATURE' PORCELAIN TILE  
by MAXIMA



TRADITIONAL '3 STEP' STUCCO (WHITE)  
STUCCO BROW (MATCH TILE)

STEEL ROOF & AWNING (MATCH)



ANODIZED BRONZE  
ALUMINUM FRAME WINDOWS



OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
ROSS RAMSAY  
(214)536-5306  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087

ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

REVISIONS		DATE
NO.	DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:  
PK FLOORS

125 RALPH HALL PKWY  
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	08/18/22
SCALE	
SHEET NO.	of

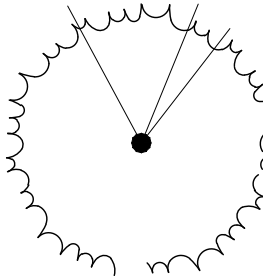
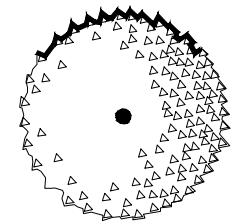
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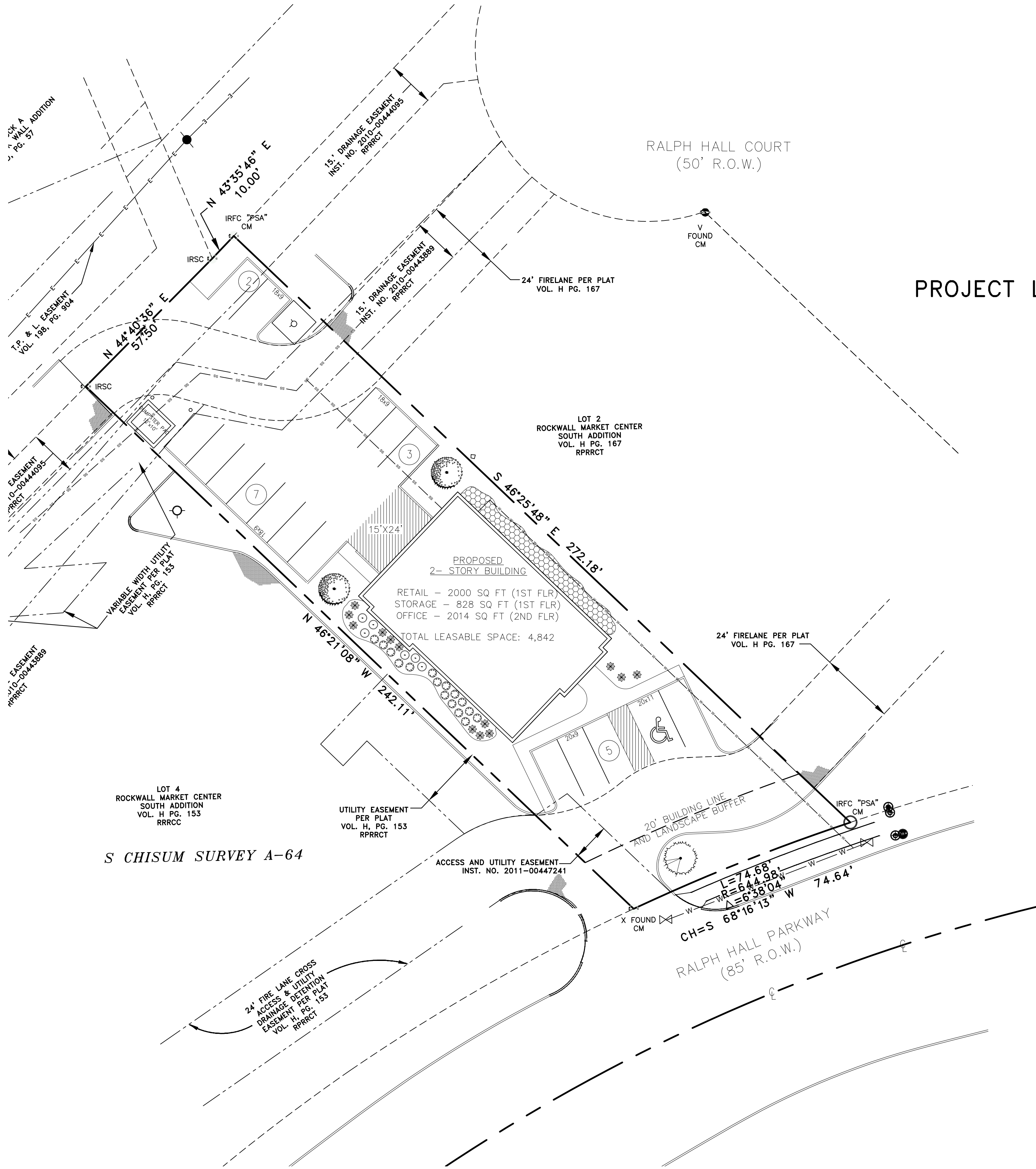
PLANT SCHEDULE

	QTY. 13	SIZE #3	TYPE Yucca, Red ( <i>Hesperaloe parviflora</i> )	SPACING 24"
	QTY. 6	SIZE #3	TYPE Sage, Texas ( <i>Leucophyllum frutescens</i> )	SPACING > 36"
	QTY. 16	SIZE #3	TYPE Nandina ( <i>Nandina domestica</i> )	SPACING > 24"-36"
	QTY. -	SIZE -	TYPE jasmine ivy ( <i>Asiatic jasmine minima</i> )	SPACING >

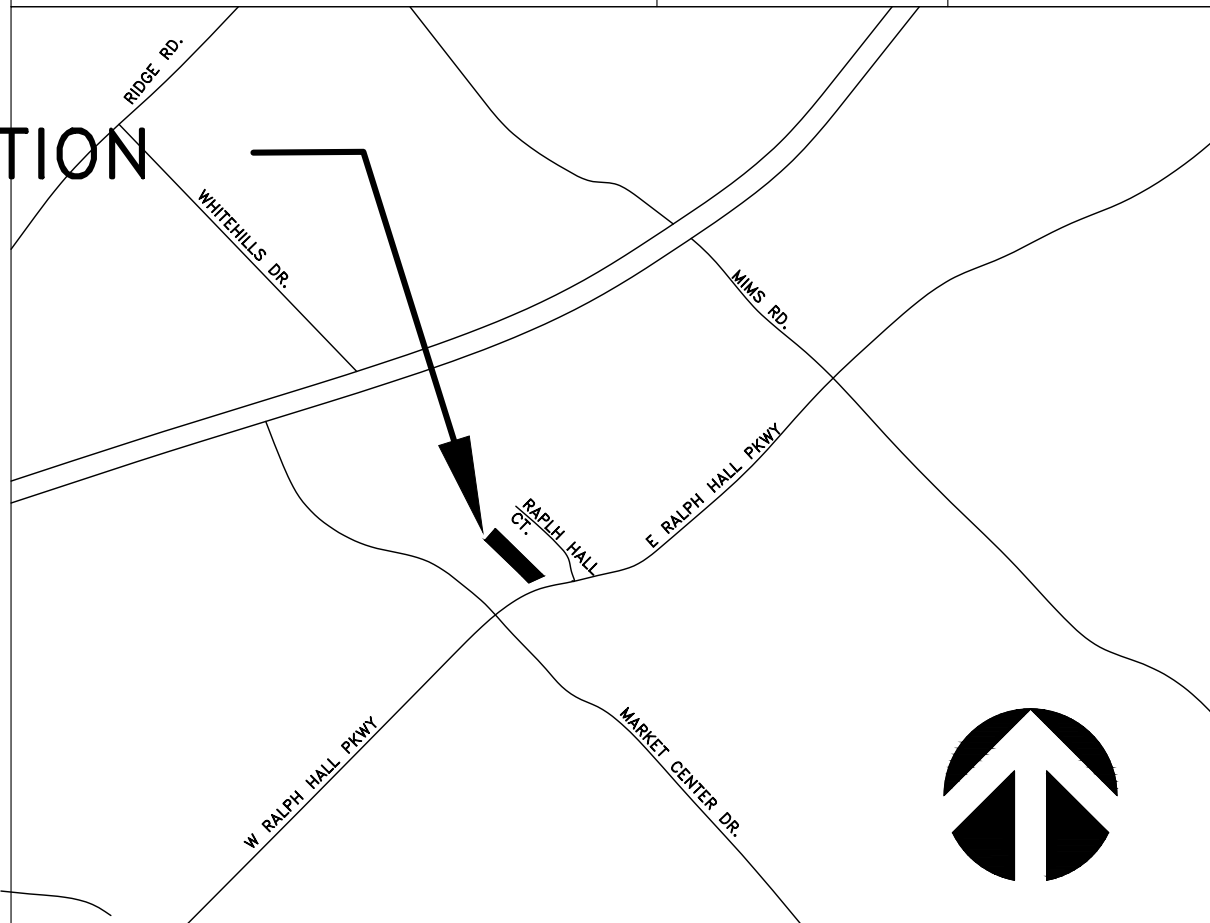
TREE SCHEDULE

	QTY. 1	SIZE 4.0 inches	TYPE Plum, Mexican ( <i>Prunus mexicana</i> )	SPACING -
	QTY. 2	SIZE 3.0 inches	TYPE Sumac, Flameleaf ( <i>Rhus copallina</i> )	SPACING -

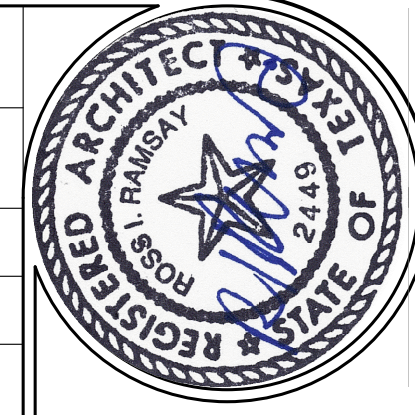
Install Buffalo grass to cover all other areas, IRRIGATE properly.



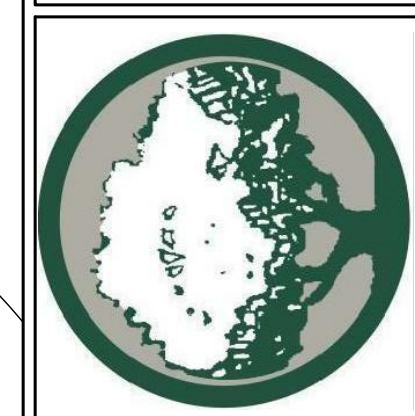
SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
LOT	17,338	100 %
IMPERVIOUS	12,862	74.1%
BUILDING FOOTPRINT	3,197	18.4%
PAVEMENT AREA	9,665	55.7%
PERVIOUS	4,476	25.8%
SIDEWALK AREA	-	
MAX. BUILDING HEIGHT PROPOSED	± 30'	
BUILDING USE / PARKING RATIO	-	PARK'G REQ'D
OFFICE (1 per 300)	2014	7
RETAIL (1 per 250)	2000	8
STORAGE (1 per 1000)	828	1



VICINITY MAP



ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

DATE	
REVISIONS	
DESCRIPTIONS/ISSUE	
No.	

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:

LANDSCAPE PLAN

L1.0

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 200  
ROCKWALL, TEXAS 75087

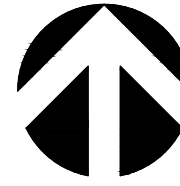
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



LANDSCAPE PLAN  
SCALE: 1"=20'  
0 20' 40'





FEATURES & SPECIFICATIONS

**INTENDED USE**  
Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and driveways for safety and security.

**CONSTRUCTION**  
Cast aluminum housing with corrosion resistant paint in either dark bronze or white finish.

**LED OPTICS**  
4000K CCT LEDs.  
Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

**UNIFORM MAINTENANCE**  
The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See lighting facts label on page 2 for performance details.

**ELECTRICAL**  
MVOLT driver operates on any line voltage from 120-277V.  
Operating temperature: -30°C to 40°C.  
100,000 hour protection standard.

**INSTALLATION**  
Surface mounts to universal junction box (provided by others).

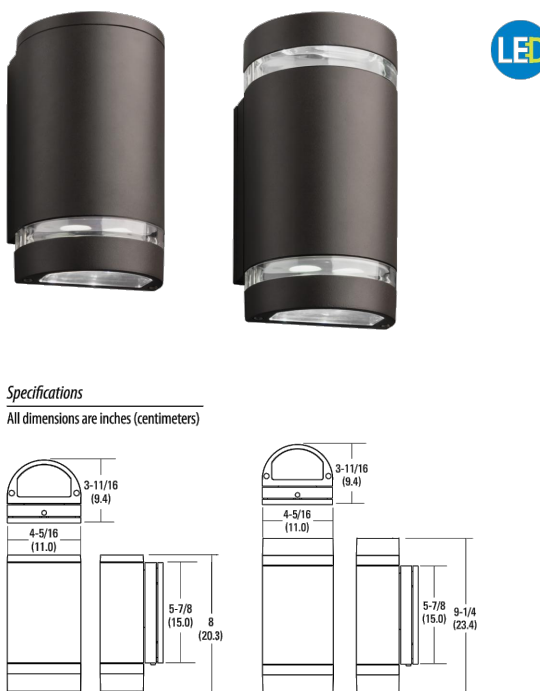
**LISTINGS**  
UL Listed in U.S. and Canadian safety standards for wet locations.  
Listed in accordance with ESDA LM-79 and LM-80 standards.

**WARRANTY**  
— 5 year limited warranty. This is the only warranty provided and no other statements in this specification shall create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.lithonia.com/customer-support/customer-support-terms-and-conditions](http://www.lithonia.com/customer-support/customer-support-terms-and-conditions).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number	
Notes	'A'
Type	

Outdoor General Purpose  
**OLLWD & OLLWU**  
LED WALL CYLINDER LIGHT

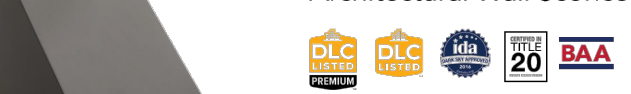


Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD LED (downlight)	P1	40K - 4000K	MVOLT 120V/277V 120	50K Dark Bronze 50K White
OLLWU LED (up & downlight)				

Notes:  
1. Only available with OLLWD and OLLWU.  
2. Only available with OLLWD.

DECORATIVE INDOOR & OUTDOOR

**WDGE1 LED**  
Architectural Wall Sconce



**Specifications**  
Depth (D1): 5.5"  
Depth (D2): 1.5"  
Height: 8"  
Width: 9"  
Weight: 9 lbs (without options)

Catalog Number	
Notes	'B'
Type	

**Introduction**  
The WDGE1 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-coated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

Lumens	Standard (15.5")	Small (10.5")	Large (20.5")	Extra Large (25.5")
WDGE1 LED	1W	1W	1W	1W
WDGE2 LED	1W	1W	1W	1W
WDGE3 LED	1W	1W	1W	1W
WDGE4 LED	1W	1W	1W	1W

**Ordering Information** **EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DBDXD**

Series	Package	Color Temperature	CRI	Beam Spread	Voltage	Mounting
WDGE1 LED	P1	27K 2700K	80CRI	VF	MVOLT 120V	Shipped included
	P2	30K 3000K	80CRI	VF	MVOLT 120V	Shipped included
	P3	35K 3500K	80CRI	VF	MVOLT 120V	Shipped included
	P4	40K 4000K	80CRI	VF	MVOLT 120V	Shipped included
	P5	50K 5000K	80CRI	VF	MVOLT 120V	Shipped included

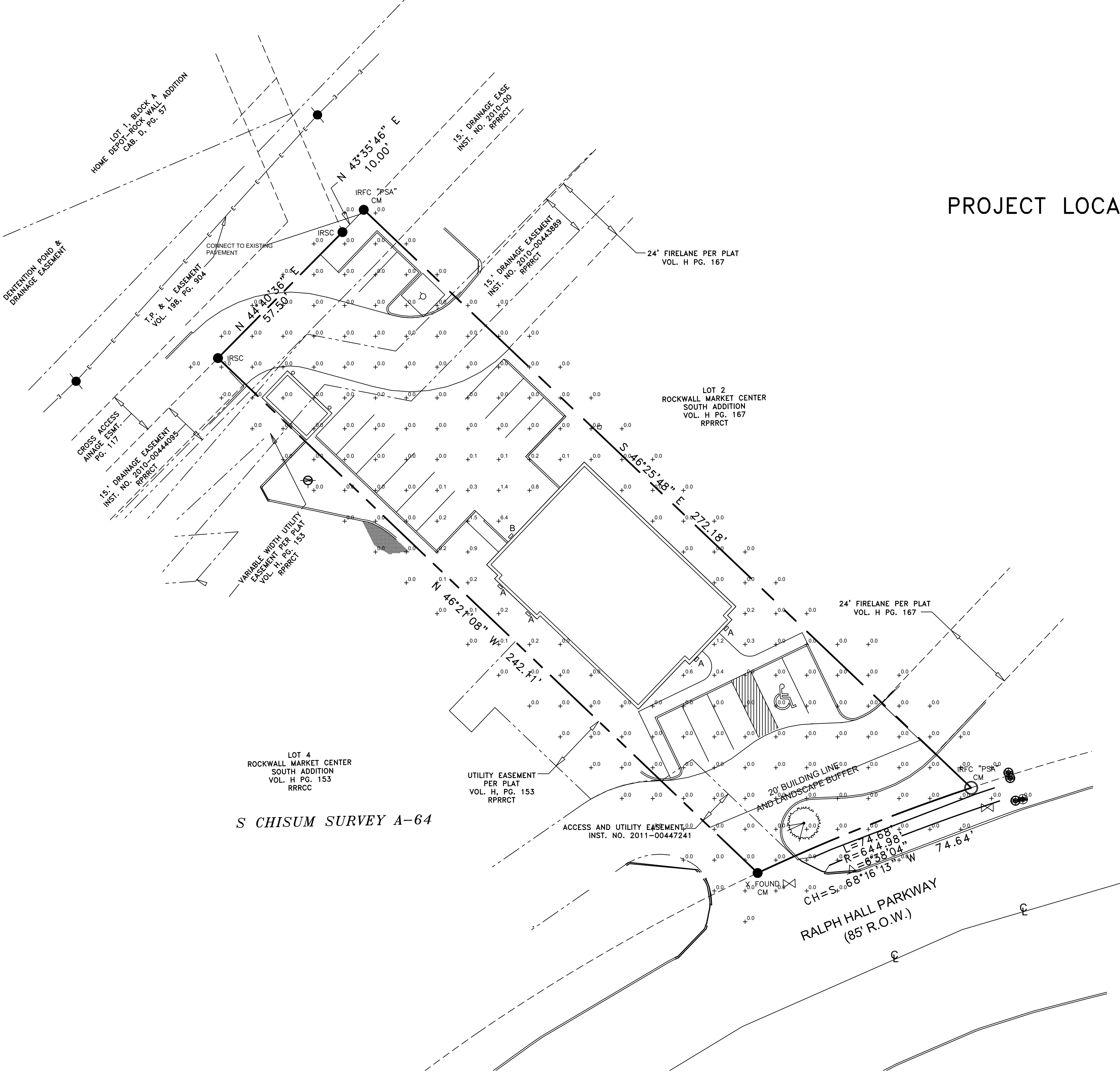
Options	Finish
DBXN Emergency battery backup, Certified in CA Title 20 (MADESS 046, 07C, 07D)	50K Dark Bronze
PT Precision, Better Type	50K Black
PS Dual mounting, comes with 2 stems and 2 light engines, see page 3 for details	50K Natural aluminum
DRS 0-10V dimming wires pulled outside fixture for use with external control, ordered separately	50K White
BEI Bronze cordless entry for back box (PBBW), best of 4 entry points	50K Natural aluminum
BAA Buy Assembled/Act Compliant	50K Natural aluminum

**Accessories**  
DBXN Emergency battery backup, Certified in CA Title 20 (MADESS 046, 07C, 07D)  
PT Precision, Better Type  
PS Dual mounting, comes with 2 stems and 2 light engines, see page 3 for details  
DRS 0-10V dimming wires pulled outside fixture for use with external control, ordered separately  
BEI Bronze cordless entry for back box (PBBW), best of 4 entry points  
BAA Buy Assembled/Act Compliant

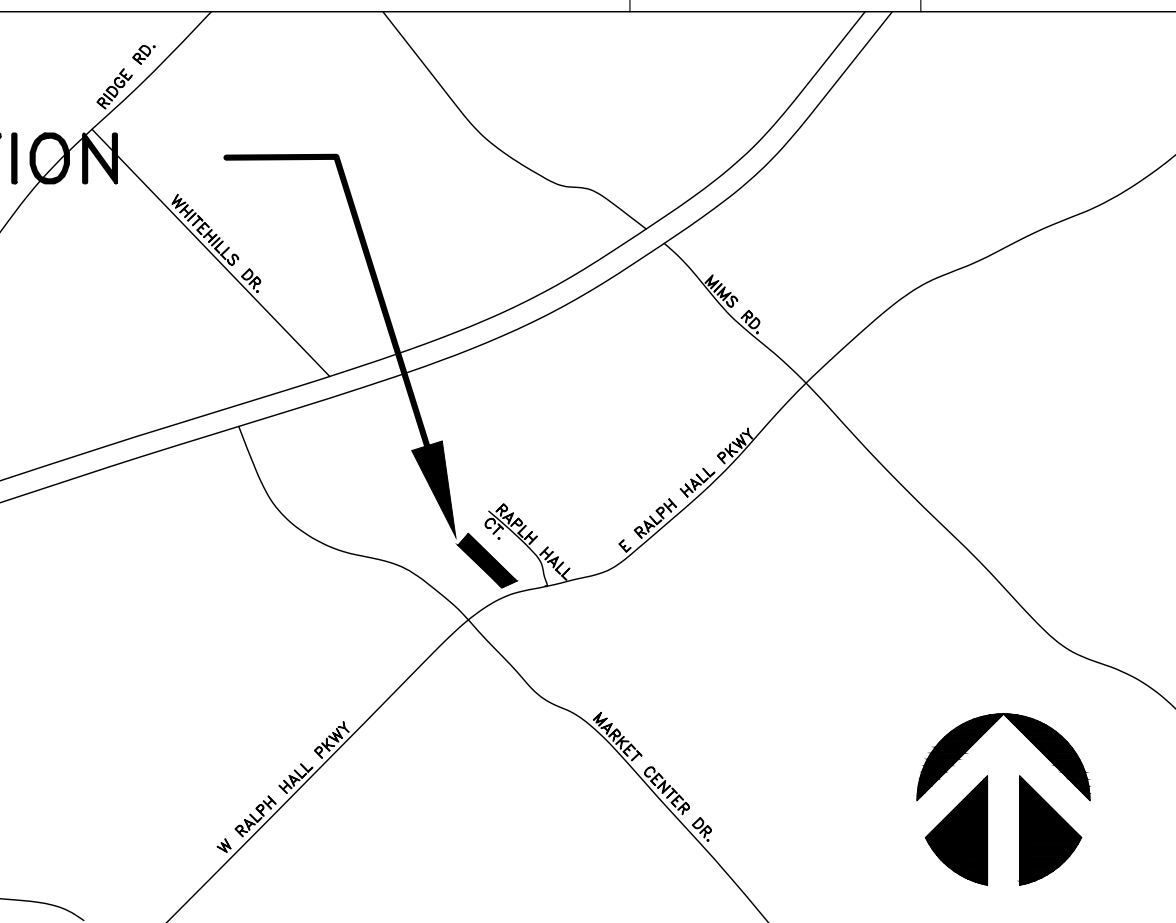
Notes:  
1. DBXN not available in P1, P2, P3, P4, P5.  
2. DBXN not available with P1, P2, P3, P4, P5.  
3. DBXN not available with P1, P2, P3, P4, P5.  
4. PT not available with DBXN.  
5. Not qualified for DULC, Not available with DBXN.

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Cary, Georgia 30502 • Phone: 1-800-705-SEVEN (7378) • www.lithonia.com

WDGE1 LED Rev. 11/21/20



PROJECT LOCATION



VICINITY MAP

APPROVED:

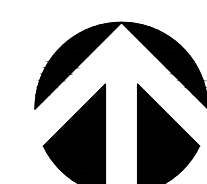
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087

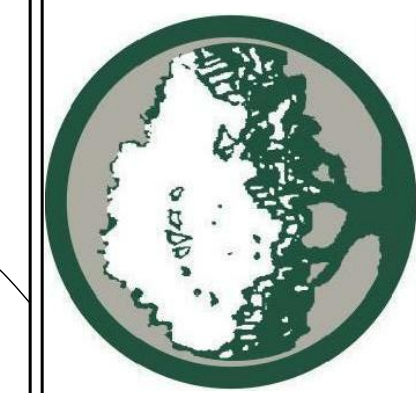


PHOTOMETRIC PLAN

SCALE: 1"=20'  
0 20' 40'



ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTIONS/ISSUE	
No.	

PROJECT NAME AND ADDRESS:  
**PK FLOORS**  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
**PHOTOMETRIC PLAN**

**P1.0**



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 12/19/2022

PROJECT NUMBER: SP2022-063  
PROJECT NAME: Site Plan for PK Floors  
SITE ADDRESS/LOCATIONS: 125 E RALPH HALL PKWY

CASE MANAGER: Henry Lee  
CASE MANAGER PHONE: 972.772.6434  
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Steven Reyes on behalf of Patrick Kelley for the approval of a Site Plan for an Office/Showroom Facility on a 0.291-acre parcel of land identified as Tract 12-2 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 125 E. Ralph Hall Parkway, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	12/19/2022	Needs Review

12/19/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for Steven Reyes on behalf of Patrick Kelley for the approval of a Site Plan for an Office/Showroom Facility on a 0.291-acre parcel of land identified as Tract 12-2 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 125 E. Ralph Hall Parkway.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-063) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05)

M.5 The subject property will be required to be Final Plat, to establish new easements.

M.6 Site Plan:

- (1) Please indicate all wall lengths of the proposed building. (Subsection 03.04. B, of Article 11)
- (2) Please indicate the distance from the proposed building to the existing building to the north-east. (Subsection 03.04. B, of Article 11)
- (3) Label and confirm the building setbacks. (Subsection 03.04. B, of Article 11)
- (4) Please indicate all existing and proposed easements. (Subsection 03.04. B, of Article 11)
- (5) Please label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11)
- (6) Please see Engineering standards for a turn around with dead end parking; the proposed turn around does not appear to meet. (Subsection 05.03. C, of Article 06)
- (7) Please clarify if there will be any fencing proposed. If so, please indicate the location, type, and height of the fencing. (Subsection 08.02. F, of Article 08)
- (8) Please indicate if there is any pad mounted utility equipment. (Subsection 01.05. C, of Article 05)
- (9) Please indicate if there is any roof mounted utility equipment by crosshatching them on the building elevations. (Subsection 01.05. C, of Article 05)
- (10) Please indicate any transformer boxes, and confirm that they will be screened with mature five (5) gallon evergreen shrubs. (01.05. C, of Article 05)
- (11) The dumpster enclosure gate must be self-latching, and the enclosure must be screened with mature five (5) gallon evergreen shrubs. (Subsection 01.05. B, of Article 05)



(12) Please verify that there will be no outside storage.

**M.7 Landscape Plan:**

- (1) The landscape buffer tree requirements are one (1) canopy and one (1) accent tree per 50-feet, as well as a berm and shrubs. In this case, there should be two (2) canopy and two (2) accent trees, as well as a berm and shrubs within the landscape buffer. (Subsection 06.02. C, 5, of Article 08)
- (2) Plum trees are not permitted within the landscape buffer. Please identify a new canopy tree species to use in the landscape buffer. (Appendix C)
- (3) All parking spaces must be within 80-feet of a canopy tree (Subsection 05.03. E, of Article 08)
- (4) Please identify the visibility triangles for all driveways off a public street. (Subsection 01.08, of Article 05)
- (5) Please provide a note indicating that the irrigation will be the requirements of the Unified Development Code (UDC). (Subsection 05.04, of Article 08)

**M.8 Building Elevations:**

1. Please indicate that the parapet will be finished on the back side with the same material as the exterior façade. (Subsection 04.01, of Article 05)
2. Please raise the parapet to fully screen the roof top utility equipment. (Subsection 01.05. C, of Article 05)
3. The minimum roof pitch in a Commercial (C) District is 6:12. In this case, the roof pitch on the projecting element will require an exception. (Subsection 04.01. A, 1, of Article 05)
4. The proposed building does not meet the primary and secondary façade articulation requirements. For the primary façade articulation, the wall projection and projection height articulation requirements are not met. For the secondary façade articulation, the projection height requirement is not met. Please review Figure 7, within the General Commercial District Standards of the Unified Development Code (UDC). Exception to this may be requested by two (2) compensatory measure must be provided. (Subsection 04.01. A, 1, of Article 05)

I.9 Staff has identified the following exceptions associated with the proposed request: [1] roof pitch, [2] primary articulation, and [3] secondary articulation. Should you decide to request these items as exceptions, please provide a letter that lists the exceptions, why they are being requested, and the subsequent compensatory measures. For each exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.10 Please note that failure to address all comments provided by staff by 3:00 PM on January 3, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 3, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 10, 2023 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on December 27, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on January 10, 2023.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	12/16/2022	Needs Review
12/16/2022: - Will require off-site fire lane and access easement.			
- Show ex. 12' fire lane, access, utility, and drainage esmt.			
- Dumpster may not be located with a sewer easement.			
- Show water easement.			
- Sewer service must be 6" and be connected to with a manhole.			
- Hydrant lead must be within a 20' wide easement from hydrant to main.			
- Show location of FDC.			



- Proposed 6" Fire line to building, not domestic.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees for expansion
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Must plat the property.
- No structures within easements.

Roadway Paving Items:

- Fire lane to be in a platted easement.

Water and Wastewater Items:

- Show proposed utility lines (Water, Sewer, etc.)
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Need to show existing water lines and fire hydrants

Drainage Items:

- Detention is required. Need to show approximate location on Site Plan
- Manning's C-value is per zoning type.
- Dumpster areas to drain to oil/water separator and then to the storm lines.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	12/14/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/15/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/13/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/13/2022	Approved
No Comments			



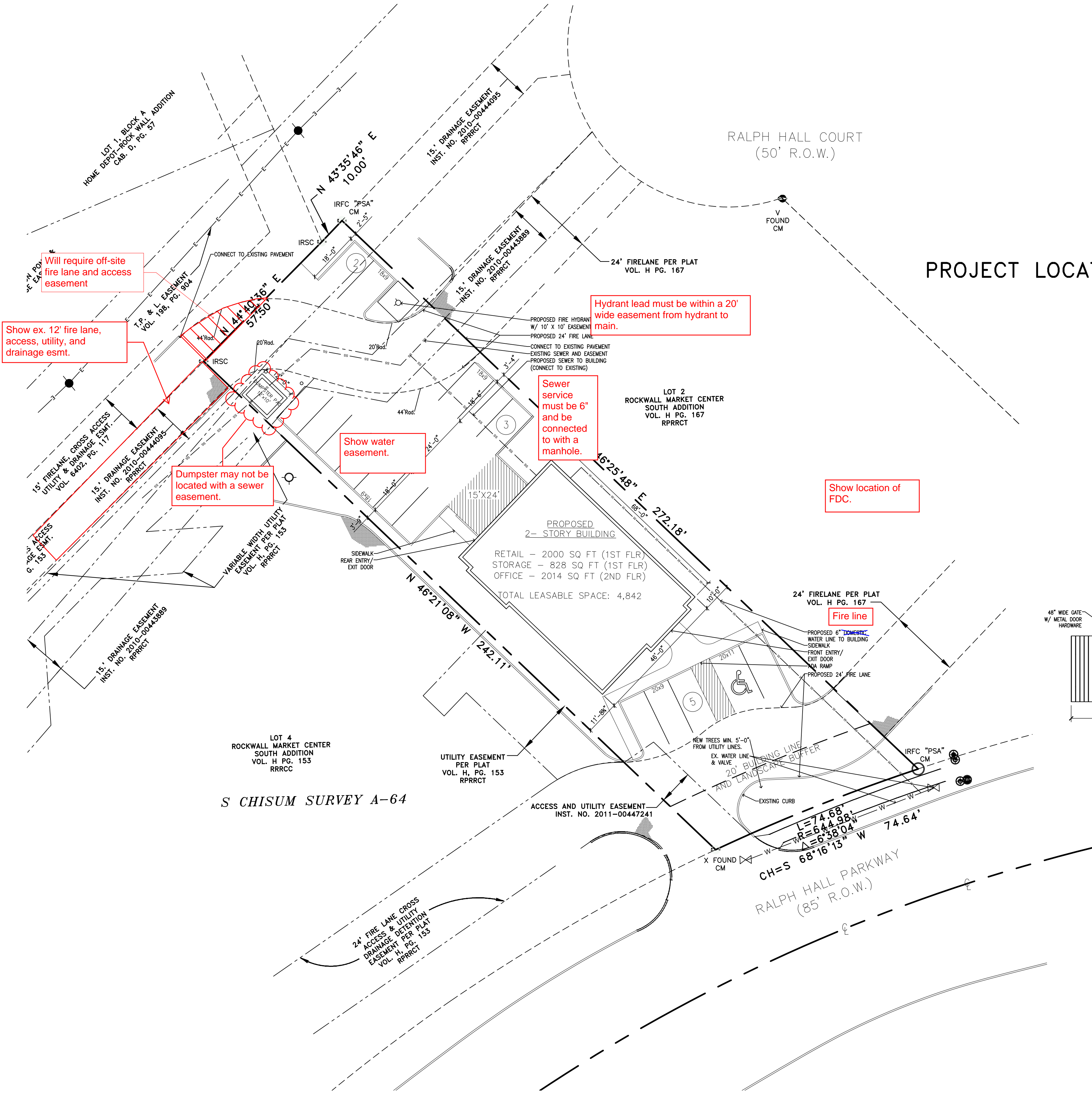
- General Items:**
- Must meet City Standards of Design and Construction
  - 4% Engineering Inspection Fees
  - Impact Fees for expansion
  - Minimum easement width is 20' for new easements. No structures allowed in easements.
  - Retaining walls 3' and over must be engineered.
  - All retaining walls must be rock or stone face. No smooth concrete walls.
  - Must plat the property.
  - No structures within easements.

- Roadway Paving Items:**
- Fire lane to be in a platted easement.

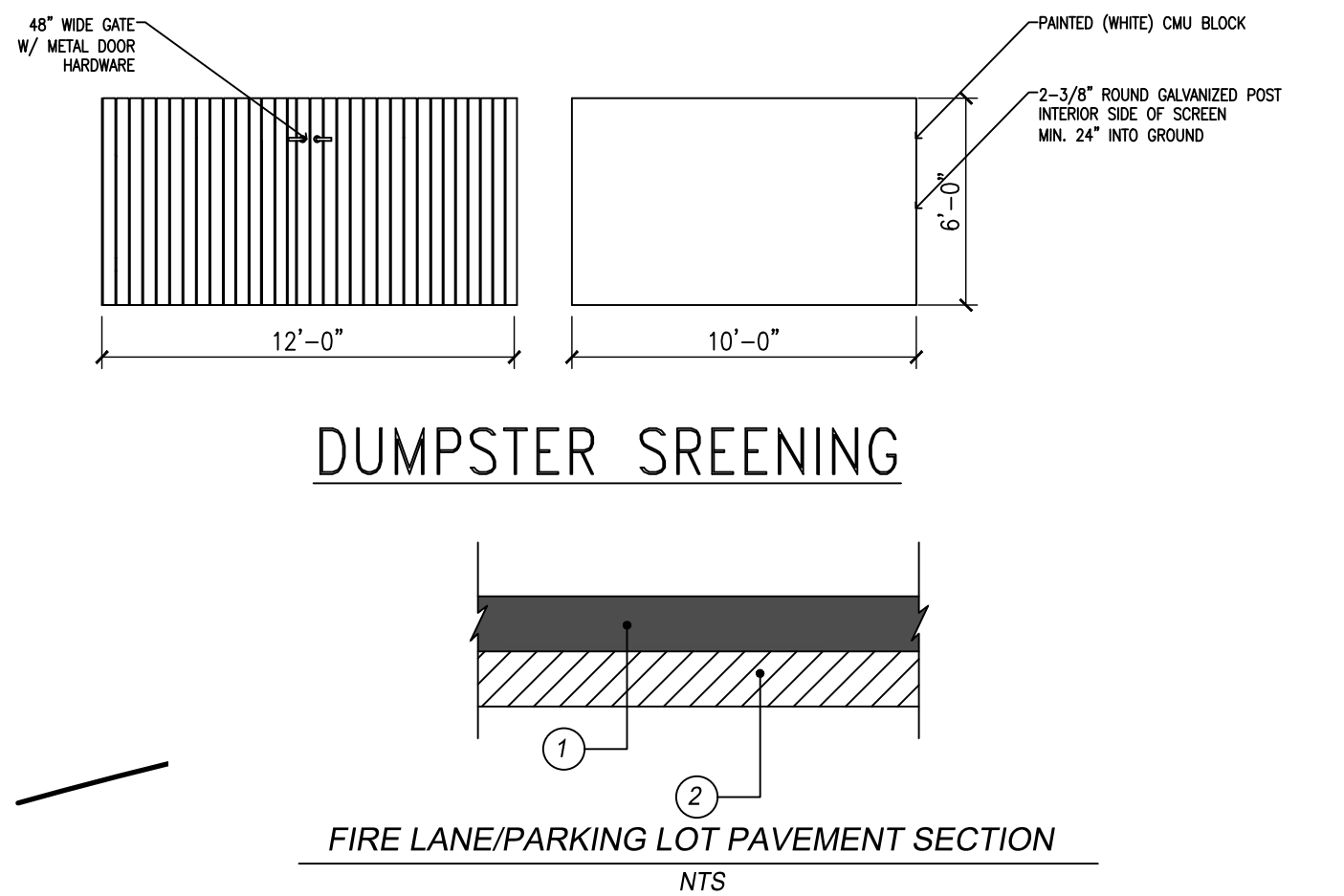
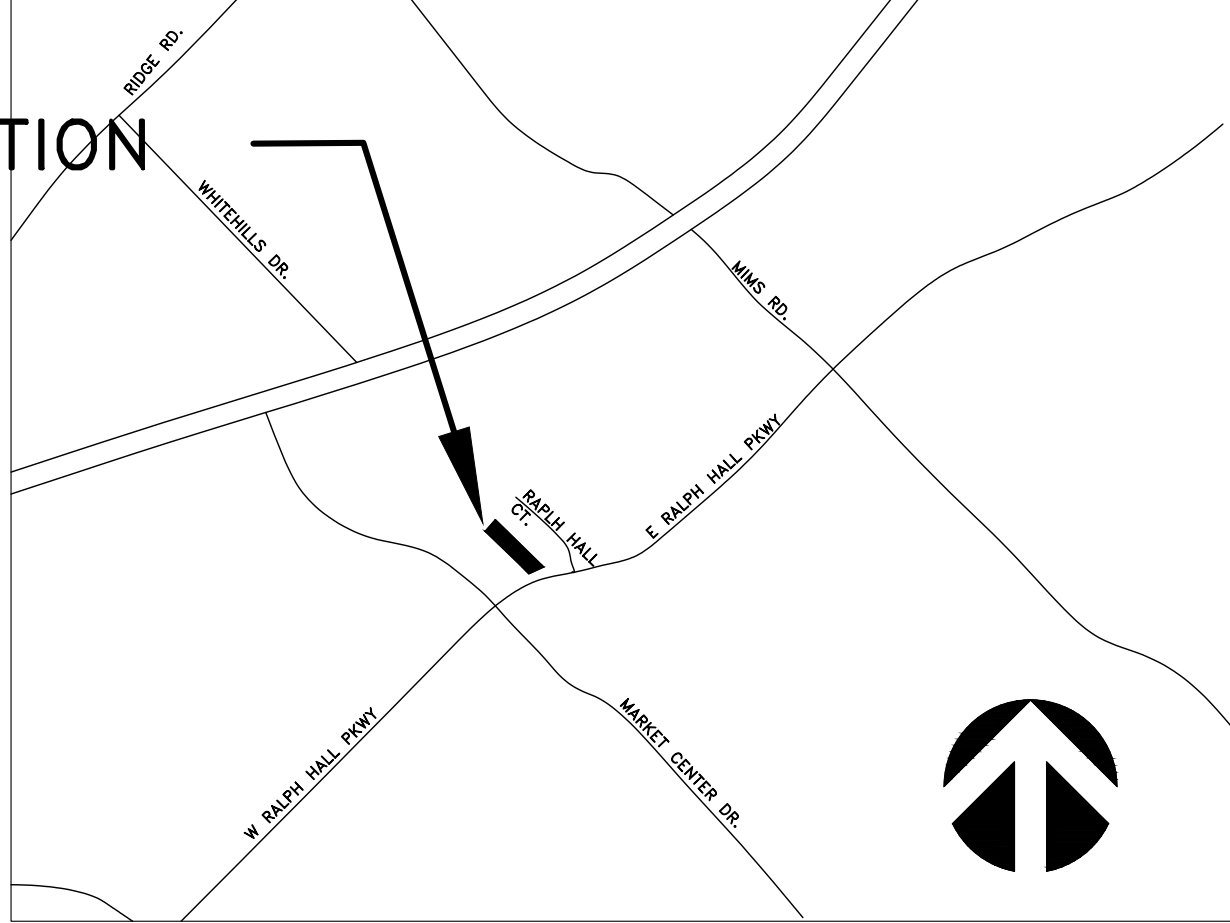
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  - Manning's C-value is per zoning type.
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- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
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SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
LOT	17,338	100 %
IMPERVIOUS	12,862	74.1%
BUILDING FOOTPRINT	3,197	18.4%
PAVEMENT AREA	9,665	55.7%
PERVIOUS	4,476	25.8%
SIDEWALK AREA	-	
MAX. BUILDING HEIGHT PROPOSED	± 30'	
BUILDING USE / PARKING RATIO	-	PARK'G REQ'D
OFFICE (1 per 300)	2014	7
RETAIL (1 per 250)	2000	8
STORAGE (1 per 1000)	828	1



- DUMPSTER SCREENING**
- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
  - 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

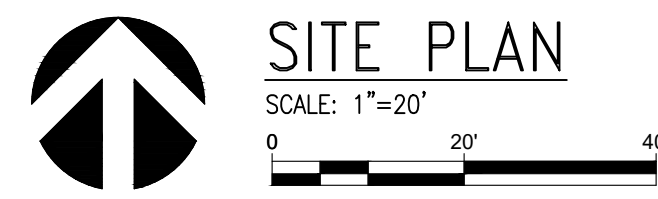
APPROVED:

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WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
PLANNING AND ZONING COMMISSION

\_\_\_\_\_  
DIRECTOR OF PLANNING AND ZONING



OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
ROSS RAMSAY  
(214)536-5306  
2235 RIDGE RD. STE 200  
ROCKWALL, TEXAS 75087

ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

REVISIONS	DATE	DESCRIPTIONS/ISSUE
No.		

PROJECT NAME AND ADDRESS:  
**PK FLOORS**  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
**SITE PLAN**

**S1.0**





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO.

**SP2022-063**

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

*Ralph Hume Parkway & Market Center*

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

*Commercial*

CURRENT USE

*Commercial*

PROPOSED ZONING

*Same*

PROPOSED USE

*Same*

ACREAGE

*0.29*

LOTS [CURRENT]

LOTS [PROPOSED]

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

*Patrick Kelley*

☐ APPLICANT

*Patrick Kelley*

CONTACT PERSON

CONTACT PERSON

*Steven Reyes*

ADDRESS

*2845 Ridge Rd #207*

ADDRESS

*2235 Ridge Rd*

CITY, STATE & ZIP

*Rockwall, TX*

CITY, STATE & ZIP

*Rockwall, TX*

PHONE

*469 693 9187*

PHONE

*972 345-1684*

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED *P. Kelley* [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ *270* TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE *12* DAY OF *December*, 20*22* BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE *12* DAY OF *December*, 20*22*

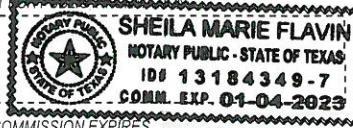
OWNER'S SIGNATURE

*P. Kelley*

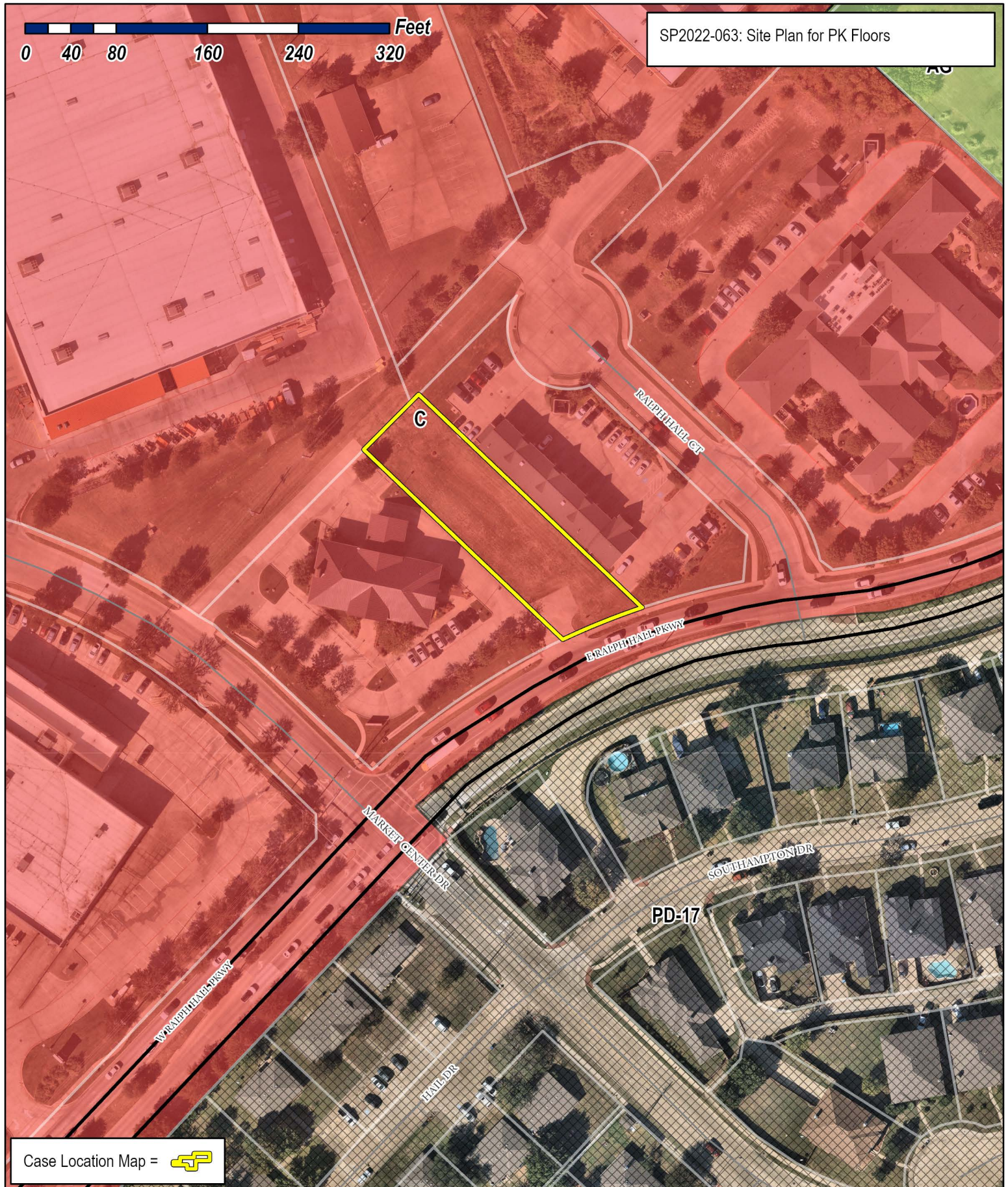
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Sheila Marie Flavin*

MY COMMISSION EXPIRES







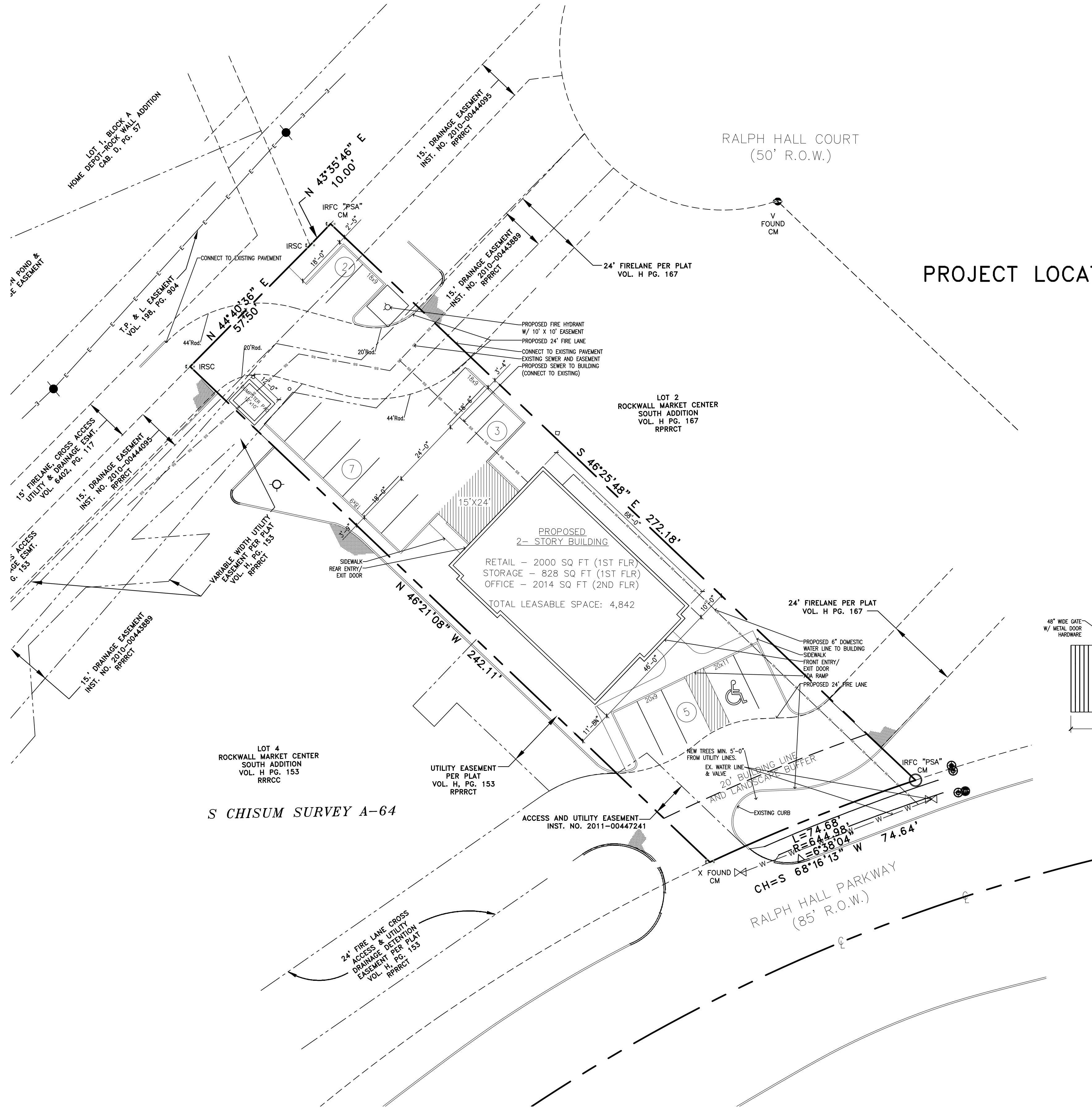
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

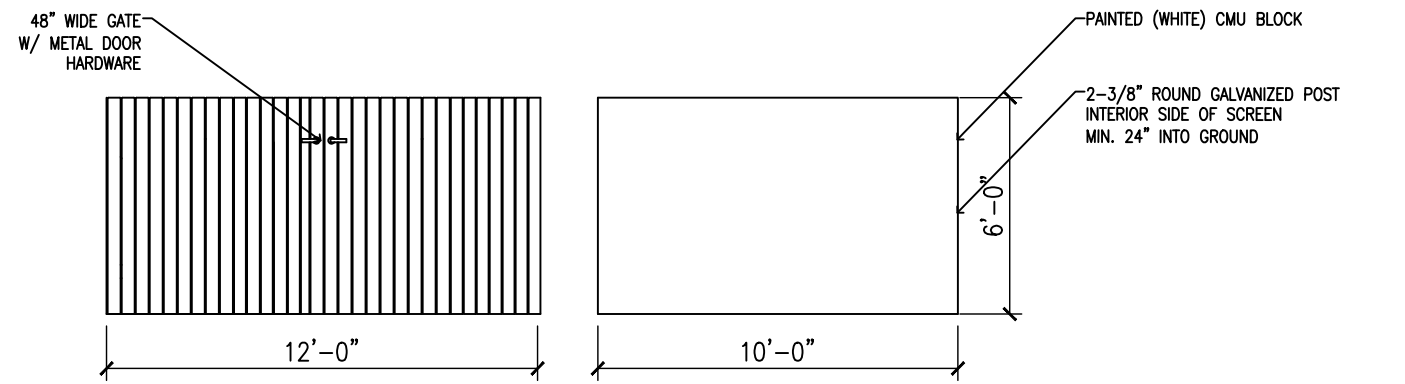
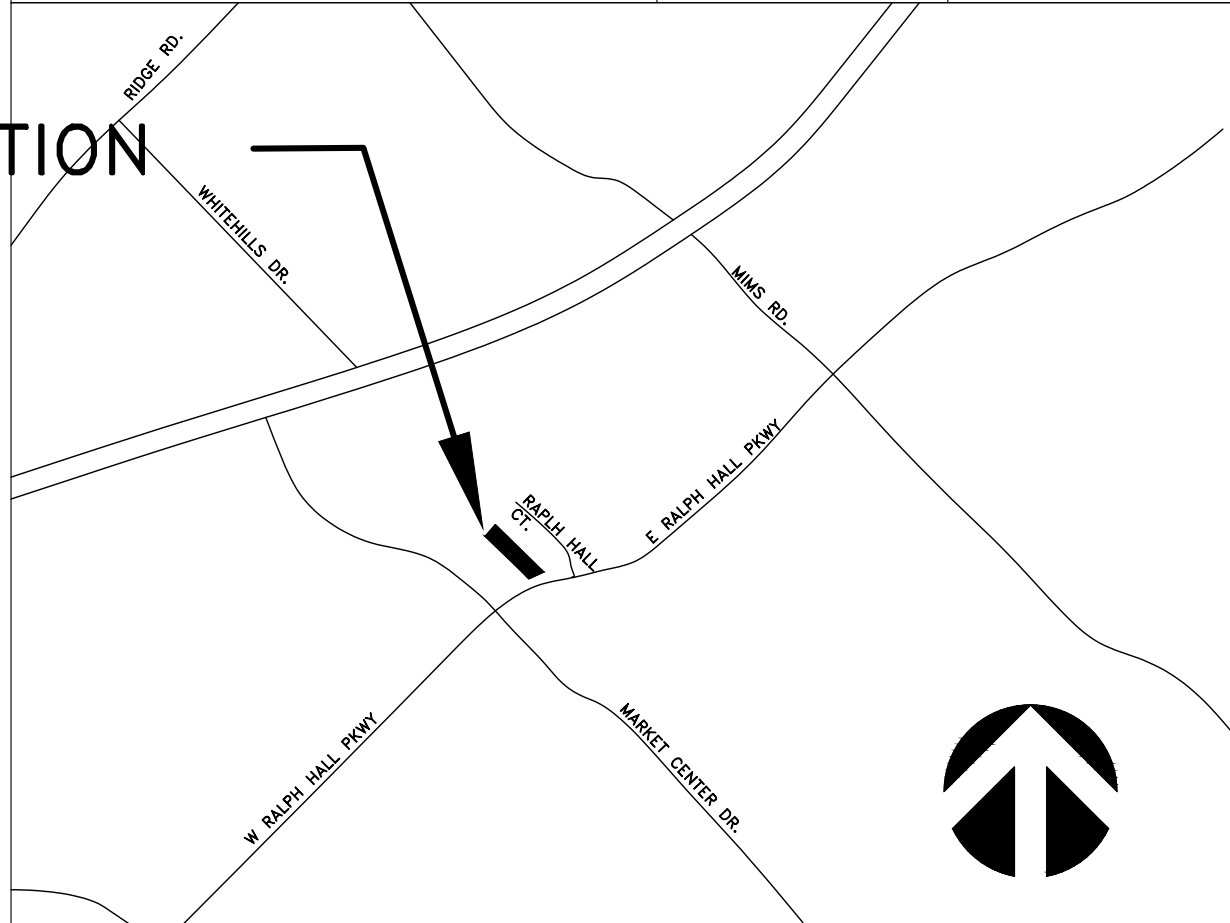
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



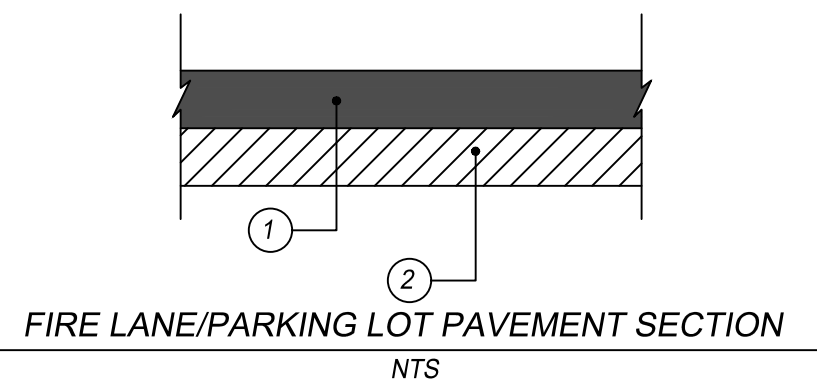




SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
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DUMPSTER SCREENING



- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

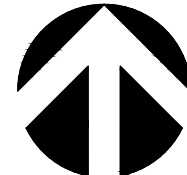
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WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



SITE PLAN

SCALE: 1"=20'  
0 20' 40'

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
ROSS RAMSAY  
(214)536-5306  
2235 RIDGE RD. STE 200  
ROCKWALL, TEXAS 75087

ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

REVISIONS	DATE
DESCRIPTIONS/ISSUE	
No.	

PROJECT NAME AND ADDRESS:  
PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
SITE PLAN

S1.0





ARCHITECTONICS TEXAS, LLC

ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVIEWS	DATE	DESCRIPTION/ISSUE	No.

PROJECT NAME AND ADDRESS:

PK FLOORS

RALPH HALL PKWY  
ROCKWALL, TX 75087

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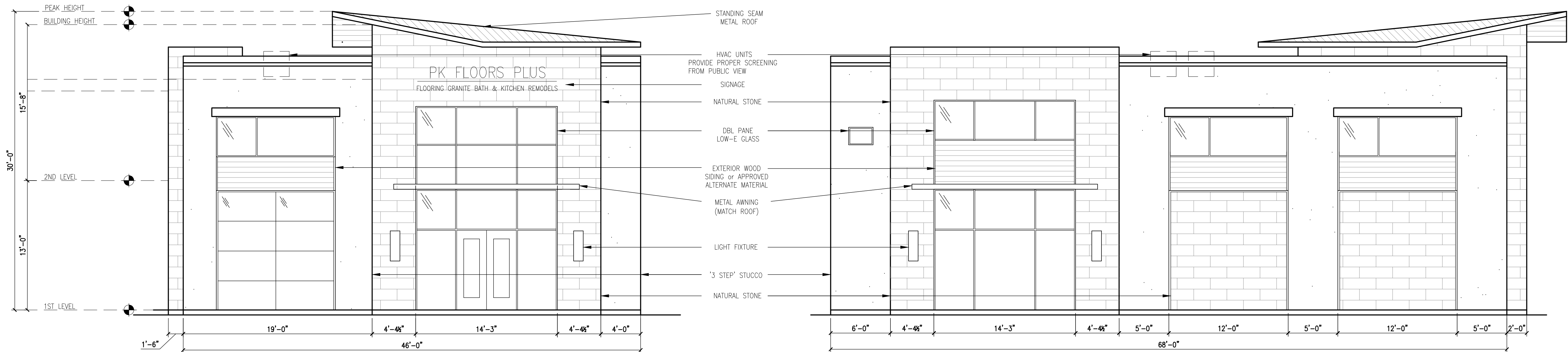
DRAWING NAME:

ELEVATIONS

A2.0

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
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2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087



SOUTH ELEVATION (FACING RALPH HALL PKWY)

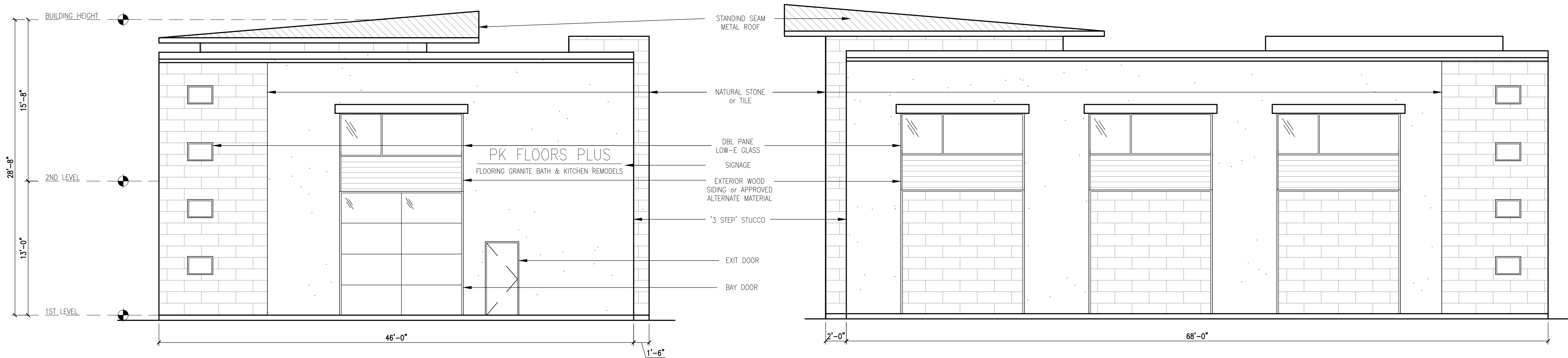
SCALE: 3/16" = 1"

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,174	
DOORS & WINDOWS (DEDUCTED)		481	
ACCOUNTABLE AREA		693	100%
MASONRY - 3 STEP STUCCO		324	46%
PORCELAIN TILE		329	47%
TREX CLADDING		40	7%

WEST ELEVATION

SCALE: 3/16" = 1"

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1795	
DOORS & WINDOWS (DEDUCTED)		320	
ACCOUNTABLE AREA		1,475	100%
MASONRY - 3 STEP STUCCO		675	46%
PORCELAIN TILE		657	45%
TREX CLADDING		143	9%



NORTH ELEVATION

SCALE: 3/16" = 1"

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,180	
DOORS & WINDOWS (DEDUCTED)		232	
ACCOUNTABLE AREA		948	100%
MASONRY - 3 STEP STUCCO		668	70%
PORCELAIN TILE		240	25%
TREX CLADDING		40	5%

EAST ELEVATION

SCALE: 3/16" = 1"

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,782	
DOORS & WINDOWS (DEDUCTED)		161	
ACCOUNTABLE AREA		1,621	100%
MASONRY - 3 STEP STUCCO		770	48%
PORCELAIN TILE		731	45%
TREX CLADDING		120	7%

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A  
DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY  
THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL  
ON THE \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

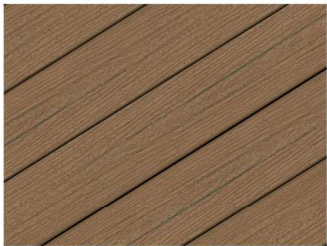




**PK FLOORS PLUS**  
FLOORING - GRANITE - BATH & KITCHEN REMODELS



COMPOSITE WOOD  
CLADDING by TREX  
(SOFFIT to MATCH)



'FEATURE' PORCELAIN TILE  
by MAXIMA



TRADITIONAL '3 STEP' STUCCO (WHITE)  
STUCCO BROW (MATCH TILE)

STEEL ROOF & AWNING (MATCH)



ANODIZED BRONZE  
ALUMINUM FRAME WINDOWS



OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
ROSS RAMSAY  
(214)536-5306  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087

ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

REVISIONS		DATE
NO.	DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:  
PK FLOORS

125 RALPH HALL PKWY  
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	08/18/22
SCALE	
SHEET NO.	of

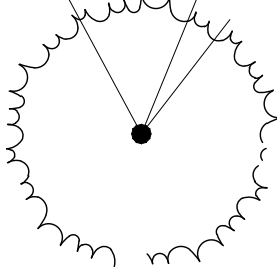
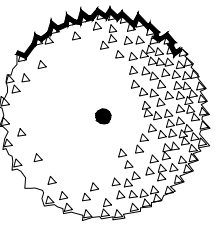
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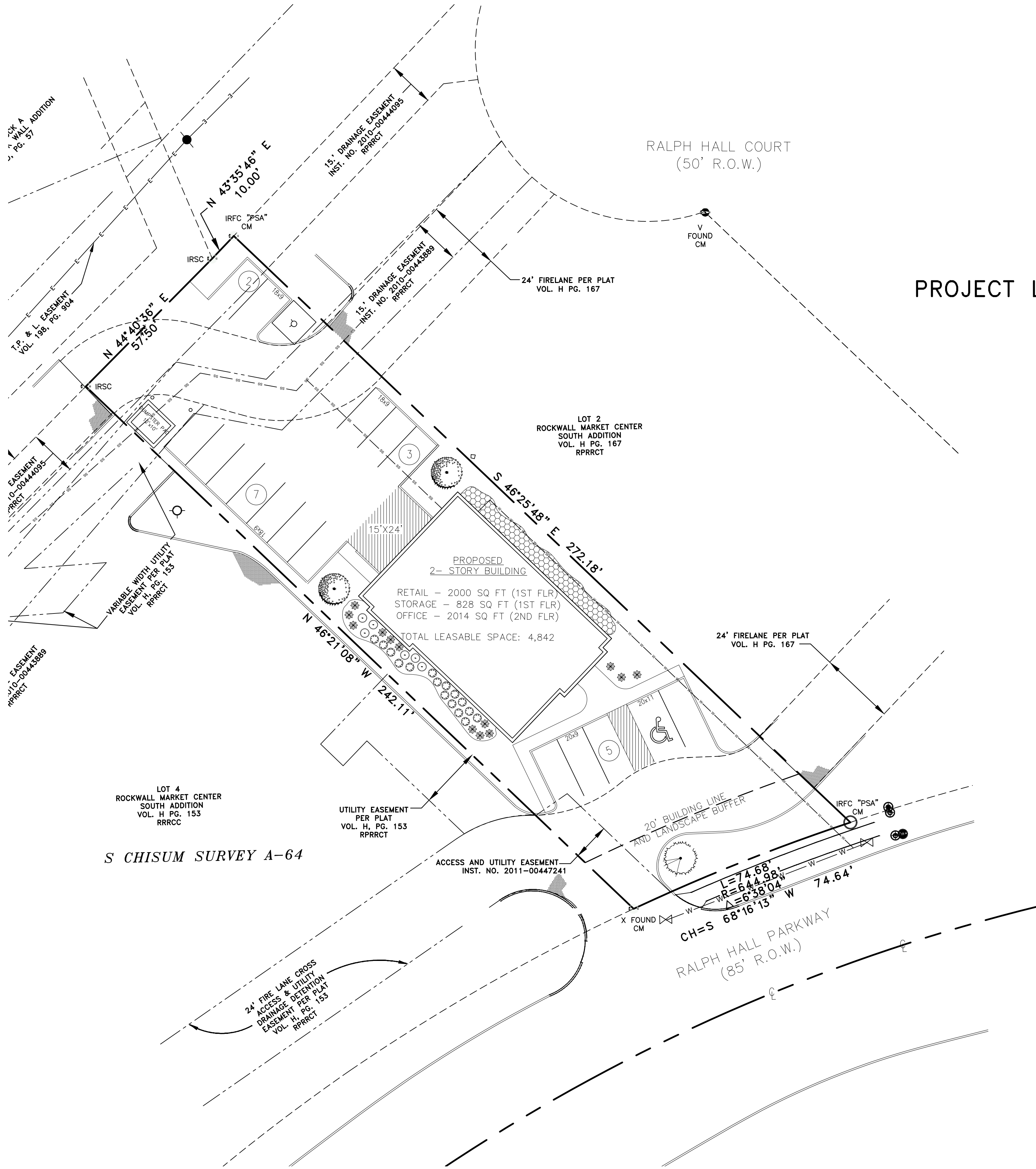
PLANT SCHEDULE

	QTY. 13	SIZE #3	TYPE Yucca, Red ( <i>Hesperaloe parviflora</i> )	SPACING 24"
	QTY. 6	SIZE #3	TYPE Sage, Texas ( <i>Leucophyllum frutescens</i> )	SPACING > 36"
	QTY. 16	SIZE #3	TYPE Nandina ( <i>Nandina domestica</i> )	SPACING > 24"-36"
	QTY. -	SIZE -	TYPE jasmine ivy ( <i>Asiatic jasmine minima</i> )	SPACING >

TREE SCHEDULE

	QTY. 1	SIZE 4.0 inches	TYPE Plum, Mexican ( <i>Prunus mexicana</i> )	SPACING -
	QTY. 2	SIZE 3.0 inches	TYPE Sumac, Flameleaf ( <i>Rhus copallina</i> )	SPACING -

Install Buffalo grass to cover all other areas, IRRIGATE properly.



APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

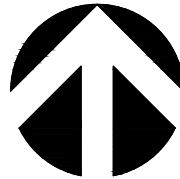
WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 200  
ROCKWALL, TEXAS 75087

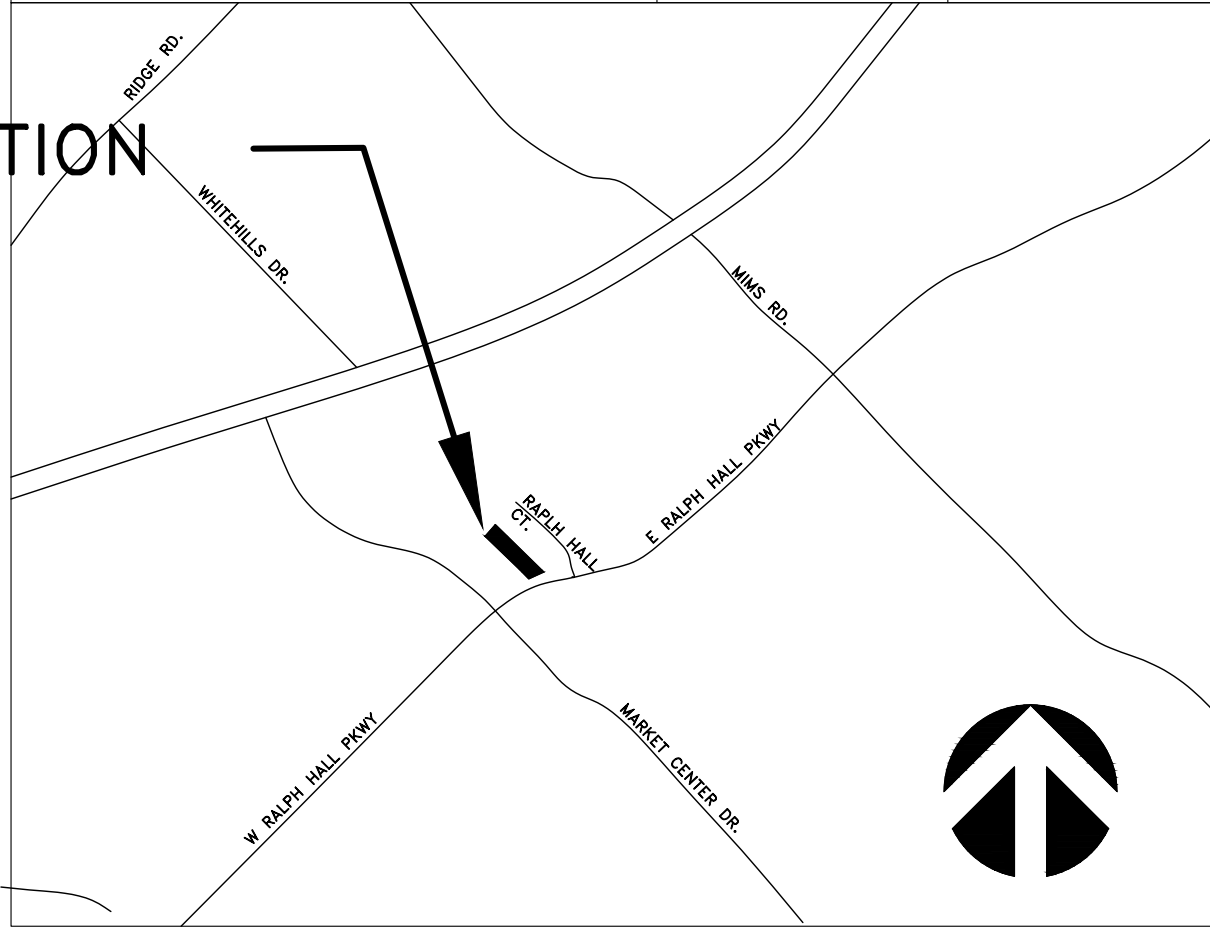


LANDSCAPE PLAN


SCALE: 1"=20'  
0 20' 40'

SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
LOT	17,338	100 %
IMPERVIOUS	12,862	74.1%
BUILDING FOOTPRINT	3,197	18.4%
PAVEMENT AREA	9,665	55.7%
PERVIOUS	4,476	25.8%
SIDEWALK AREA	-	
MAX. BUILDING HEIGHT PROPOSED	± 30'	
BUILDING USE / PARKING RATIO	-	PARK'G REQ'D
OFFICE (1 per 300)	2014	7
RETAIL (1 per 250)	2000	8
STORAGE (1 per 1000)	828	1

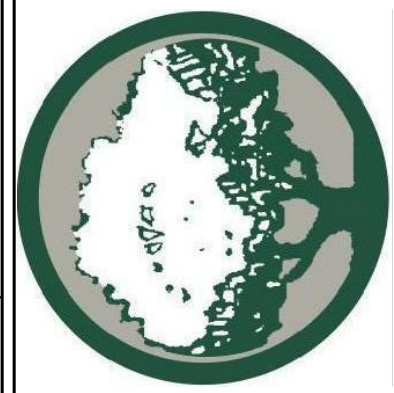
PROJECT LOCATION



VICINITY MAP



ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



DATE									
REVISIONS									
DESCRIPTIONS/ISSUE									
No.									

PROJECT NAME AND ADDRESS:  
PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
LANDSCAPE PLAN

L1.0





FEATURES & SPECIFICATIONS

INTENDED USE

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and driveways for safety and security.

CONSTRUCTION

Cast aluminum housing with corrosion resistant paint in either dark bronze or white finish.

OPTICS

4000K CCT LEDs.

Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See lighting facts label on page 2 for performance details.

ELECTRICAL

WEDGE driver operates on any line voltage from 120-277V.

Operating temperature: -30°C to 40°C.

100,000+ hours protection standard.

INSTALLATION

Surface mounts to universal junction box (provided by others).

LISTINGS

UL Listed in U.S. and Canadian safety standards for wet locations.

Tested in accordance with EISA LM-79 and LM-80 standards.

WARRANTY — 5 year limited warranty. This is the only warranty provided and no other statements in this specification shall create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.lithonia.com/customer-service/warranty-terms-and-conditions](http://www.lithonia.com/customer-service/warranty-terms-and-conditions)

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

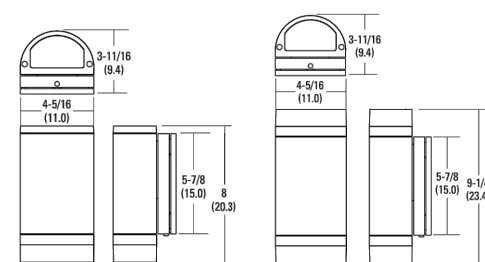
Catalog Number: \_\_\_\_\_  
Notes: 'A'  
Type: \_\_\_\_\_

Outdoor General Purpose  
OLLWD & OLLWU  
LED WALL CYLINDER LIGHT



Specifications

All dimensions are inches (centimeters)



ORDERING INFORMATION For shortest lead times, configure products using **bolded options**.

Example: OLLWD LED P1 40K MVOLT DDB

Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD LED <b>Daylight</b>	<b>P1</b>	<b>40K</b> <b>&lt;400K</b>	<b>MVOLT</b> <b>120V/277V</b>	<b>DBZ</b> <b>Dark Bronze</b>
OLLWD LED <b>10-8-6-4-2-0</b>				

Note:  
1. Only available with OLLWD and OLLWU.  
2. Only available with OLLWD.

DECORATIVE INDOOR & OUTDOOR

OLLWD-OLLWU



WDGE1 LED  
Architectural Wall Sconce



Specifications

Depth (D1): 5.5"

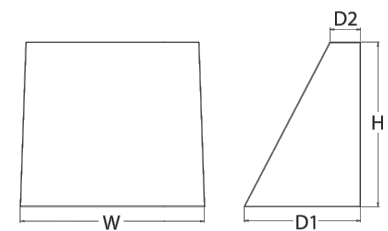
Depth (D2): 1.5"

Height: 8"

Width: 9"

Weight: 9 lbs

(without options)



Catalog Number: \_\_\_\_\_  
Notes: 'B'  
Type: \_\_\_\_\_

For the full spec or more over the page to see all interactive elements.

Introduction

The WDGE1 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-coated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE LED Family Overview

Lumens	Standard (15,000)	Series	P1	P2	P3	P4	P5	P6
WDGE1 LED 1W	---	---	3,200	3,200	---	---	---	---
WDGE1 LED 15W	15W	Standard / night	3,200	3,200	3,500	4,500	6,000	---
WDGE1 LED 15W	15W	Standard / night	7,500	8,500	10,000	12,000	---	---
WDGE1 LED 15W	---	Standard / night	12,000	16,000	18,000	25,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color temperature	CRI	Electrical	Voltage	Mounting
WDGE1 LED	P1	27K 2700K	80CRI	VF	MVOLT	SRM
	P2	30K 3000K	90CRI	VF	MVOLT	SRM
		35K 3500K	90CRI	VF	MVOLT	SRM
		40K 4000K	90CRI	VF	MVOLT	SRM
		50K 5000K	90CRI	VF	MVOLT	SRM

Options	Finish
EMERGENCY battery backup, Certified in CA Title 20 (MADESS 046, 07C, 08C)	DBZ Dark Bronze
PRISM Prism, Butyl type	DBZ Dark Bronze
PS Polycarbonate lens with 2 lenses and 2 light engines, see page 3 for details	DBZ Dark Bronze
DRG 0-10V dimming with pull cord remote (for use with external control, ordered separately)	DBZ Dark Bronze
SEL Select cordless entry for back box (PBB), best of 4 entry points	DBZ Dark Bronze
BAA Buy Assembled / Act Compliant	DBZ Dark Bronze

Accessories	Notes
WDGE1 DDBXD WDGE1 DDBXD (with battery backup)	1. DBZ not available in P1, P2, P3, P4, P5, P6, P7, P8, P9, P10, P11, P12, P13, P14, P15, P16, P17, P18, P19, P20, P21, P22, P23, P24, P25, P26, P27, P28, P29, P30, P31, P32, P33, P34, P35, P36, P37, P38, P39, P40, P41, P42, P43, P44, P45, P46, P47, P48, P49, P50, P51, P52, P53, P54, P55, P56, P57, P58, P59, P60, P61, P62, P63, P64, P65, P66, P67, P68, P69, P70, P71, P72, P73, P74, P75, P76, P77, P78, P79, P80, P81, P82, P83, P84, P85, P86, P87, P88, P89, P90, P91, P92, P93, P94, P95, P96, P97, P98, P99, P100, P101, P102, P103, P104, P105, P106, P107, P108, P109, P110, P111, P112, P113, P114, P115, P116, P117, P118, P119, P120, P121, P122, P123, P124, P125, P126, P127, P128, P129, P130, P131, P132, P133, P134, P135, P136, P137, P138, P139, P140, P141, P142, P143, P144, P145, P146, P147, P148, P149, P150, P151, P152, P153, P154, P155, P156, P157, P158, P159, P160, P161, P162, P163, P164, P165, P166, P167, P168, P169, P170, P171, P172, P173, P174, P175, P176, P177, P178, P179, P180, P181, 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# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** January 10, 2023  
**APPLICANT:** Steven Reyes  
**CASE NUMBER:** SP2022-063; *Site Plan for PK Floors*

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### **SUMMARY**

Discuss and consider a request by Steven Reyes on behalf of Patrick Kelley for the approval of a Site Plan for an Office/Showroom Facility on a 0.291-acre parcel of land identified as Tract 12-2 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 125 E. Ralph Hall Parkway, and take any action necessary.

### **BACKGROUND**

On May 3, 1982, the subject property was annexed by *Ordinance No. 82-23 [Case No. A1982-002]*. On May 17, 1982, the City Council rezoned [*Case No. PZ1982-002-01*] the subject property from Agricultural (AG) District to Planned Development District 17 (PD-17) by *Ordinance No. 82-26*. On December 4, 1995, the City Council amended Planned Development 17 (PD-17) by *Ordinance 95-50*. As part of this amendment the subject property was removed from Planned Development District (PD-17) and zoned Commercial (C) District. The subject property has remained vacant since annexation.

### **PURPOSE**

The applicant -- *Steven Reyes* -- is requesting the approval of a Site Plan for the purpose of constructing an *Office/Showroom Facility*.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located at the northeast corner of the intersection of E. Ralph Hall Parkway and Market Center Drive. The land uses adjacent to the subject property are as follows:

- North: Directly north of the subject property is a 0.702-acre parcel of land developed with *Minor Automotive Repair Garage (i.e. Christian Brothers Automotive)* zoned Commercial (C) District. Beyond this are several parcels of land developed with *Commercial/Retail* land uses that are zoned Commercial (C) District.
- South: Directly south of the subject property is E. Ralph Hall Parkway, which is classified as a M4D (*i.e. major collector, four [4] Lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are the Lynden Park Estates Phases 1A, 1B, and 2. This subdivision is zoned Planned Development 17 (PD-17) for Single-Family 7 (SF-7) land uses.
- East: Directly east of the subject property is a 0.702-acre parcel of land developed with *Minor Automotive Repair Garage (i.e. Christian Brothers Automotive)* zoned Commercial (C) District. Beyond this is Ralph Hall Court, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.187-acre parcel of land developed with a *Congregate Care Facility (i.e. Colonial Oaks of Rockwall)* zoned Commercial (C) District. Beyond this is E. Ralph Hall Parkway, which is classified as a M4D (*i.e. major collector, four [4] Lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.



West: Directly west of the subject property is a 0.997-acre parcel of land developed with a *Financial Institution with Drive-Through* (i.e. *Home Bank*) zoned Commercial (C) District. Beyond this is Market Center Drive, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 21.4240-acre parcel of land developed with a large *Commercial/Retail Center* that is zoned Commercial (C) District.

## **DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office* and a *General Retail Store* [i.e. *Office/Showroom*] are permitted *by-right* land uses in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=17,338 SF; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	60-Feet	X=74.68-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	X=242.11-Feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	15-Feet	X≥15-Feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-Feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X=10-Feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	X=28.66-Feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	X=18.4%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	16 spaces	X=16; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	15%	X≥15%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85-90%	C=74.20%; <i>In Conformance</i>

## **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 02.02(D)(2), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC) an *Office Building* is defined as “(a) facility that provides executive, management, administrative, or professional services not specifically listed elsewhere in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, but not involving the sale of merchandise except as incidental to a permitted use.” According to Subsection 02.02(F)(15), *General Retail Store*, of Article 13, *Definitions*, of the Unified Development Code (UDC) a *General Retail Store* is defined as “(a) facility or area for the retail sale of general merchandise or food to the public for direct consumption and not for wholesale.” In this case, the applicant is requesting an *Office/Showroom Facility*, which is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The properties adjacent to the subject property are both developed with other commercial land uses. These adjacent properties were developed with the intent of cross access that adjoins all three (3) properties. The proposed site plan provides the cross access in the front and rear of the subject property, and utilizes the existing shared driveway off E. Ralph Hall Parkway. The proposed site plan generally conforms to the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

## **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

The applicant's request requires the following exceptions:

(1) *Construction Standards.*

- (a) *Roof Design Standards.* According to Subsection 04.01(A)(1), Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll structures shall have the option of being constructed with either



a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides.” In this case, the applicant is requesting a roof pitch that is less than a 6:12 pitch. *This will require approval of an exception from the Planning and Zoning Commission.*

- (b) Primary and Secondary Articulation. According to Figure 7, *Commercial Building Articulation Standards*, of Subsection 04.01(C)(1 & 2), of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the applicant fails to meet three (3) of the articulation requirements. [1] primary wall projections should be 25% of the wall height, [2] primary projection heights shall be 25% of the wall height, and [3] secondary projection heights shall be 15% of the wall height. *These will require approval of an exception from the Planning and Zoning Commission.*

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant an exception and/or variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] 5” canopy trees, [2] 5” caliper accent trees, and [3] two (2) additional accent trees. Requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. *six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the IH-30 Corridor District and is designated as a Special Commercial Corridor. According to the plan, the Special Commercial Corridor should incorporate regional centers that follow one (1) of the four (4) models identified as a Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center model. In this case, the proposed site plan does not follow one (1) of the regional center models. That being said, the subject property is one (1) of the last commercially zoned tracts of land in this portion of the IH-30 Corridor District, the subject property is limited to less than a half-acre in size, and the proposed site plan is consistent in form with the adjacent properties. Given this, the applicants request does not appear to negatively impact the adjacent properties and does meet the technical requirements of the Unified Development Code (UDC).

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On December 27, 2022, the Architecture Review Board (ARB) made a motion to approve the building elevations with a vote of 3-0, with Board Members Miller, Phillips, and Lefere absent.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of the Office/Showroom Facility on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) All roof top equipment shall be fully screened from all adjacent properties and public Right-of-Way (ROW).
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO.

**SP2022-063**

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

*Ralph Hume Parkway & Market Center*

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

*Commercial*

CURRENT USE

*Commercial*

PROPOSED ZONING

*Same*

PROPOSED USE

*Same*

ACREAGE

*0.29*

LOTS [CURRENT]

LOTS [PROPOSED]

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

*Patrick Kelley*

☐ APPLICANT

*Patrick Kelley*

CONTACT PERSON

CONTACT PERSON

*Steven Reyes*

ADDRESS

*2845 Ridge Rd #207*

ADDRESS

*2235 Ridge Rd*

CITY, STATE & ZIP

*Rockwall, TX*

CITY, STATE & ZIP

*Rockwall, TX*

PHONE

*469 693 9187*

PHONE

*972 345-1684*

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED *P. Kelley* [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ *270* TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE *12* DAY OF *December*, 20*22* BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE *12* DAY OF *December*, 20*22*

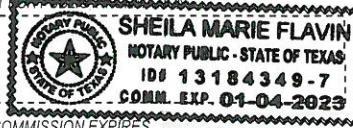
OWNER'S SIGNATURE

*P. Kelley*

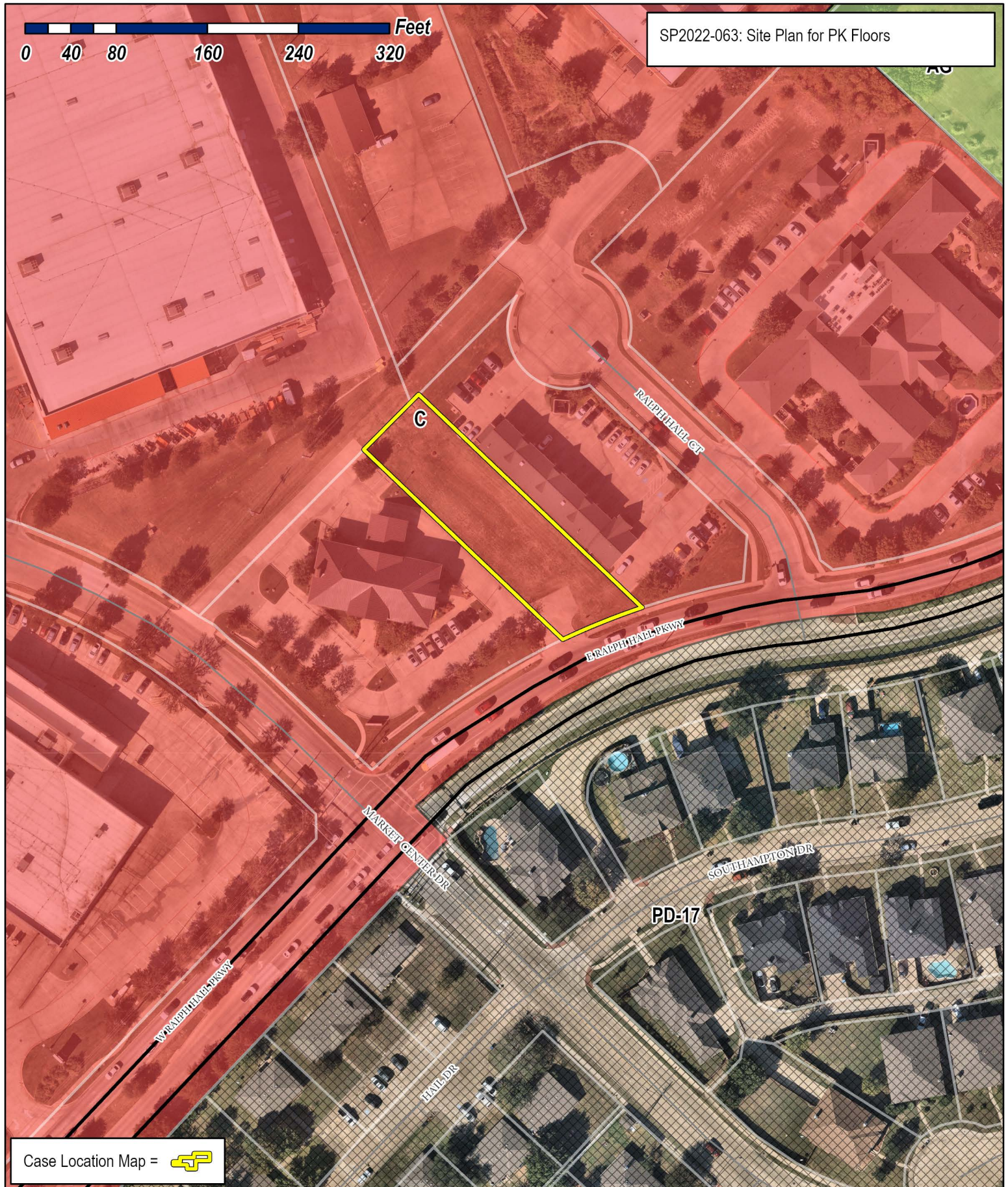
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Sheila Marie Flavin*

MY COMMISSION EXPIRES







# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





# ARCHITECTONICS TEXAS, L.L.C.

PROJECT MANAGEMENT · ARCHITECTS · PLANNERS

January 4, 2023

To: City of Rockwall – Planning and Zoning Department  
RE: SP2022-063: Site Plan for PK Floors

On behalf of Mr. Kelley and PK FLOOR , Architectonics Texas would like to make to following request for approval concerning (1) the roof pitch exceeding the allowed limit of 6:12 slope (2) primary articulation and (3) secondary articulation. In our request, we propose to enhance or exceed with compensatory measures as identified on Landscape Plan L1.0.

The compensatory measures are to (1) increase the caliper size from 4" min. to 5" for all new canopy (2) increase the caliper size from 4" min. to 5" for all new accent trees (3) add 2 accent trees.

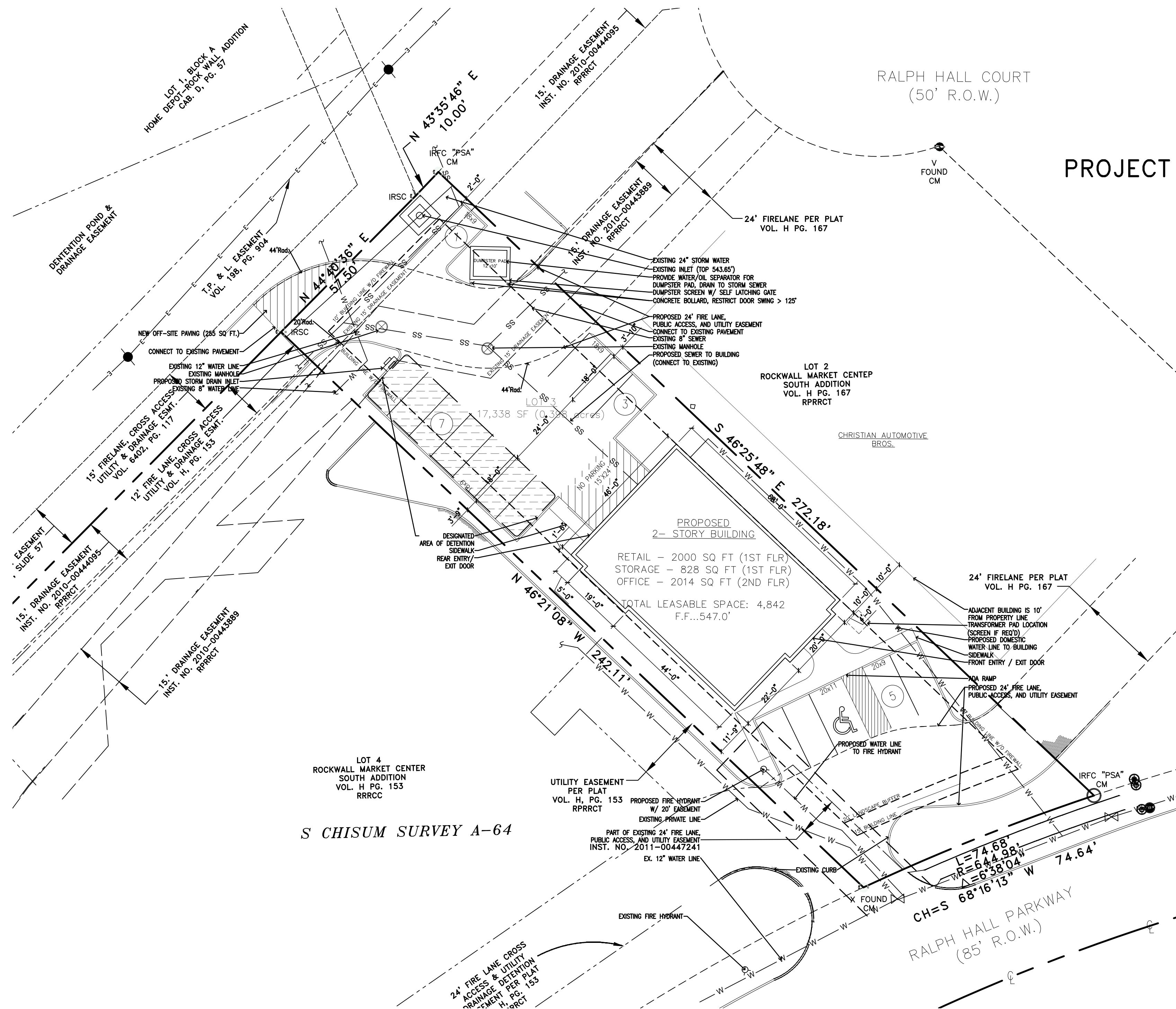
The city has been helpful throughout and we expect a successful project in the near future.

Respectfully,  
Steven Reyes  
Architectonics Texas, LLC

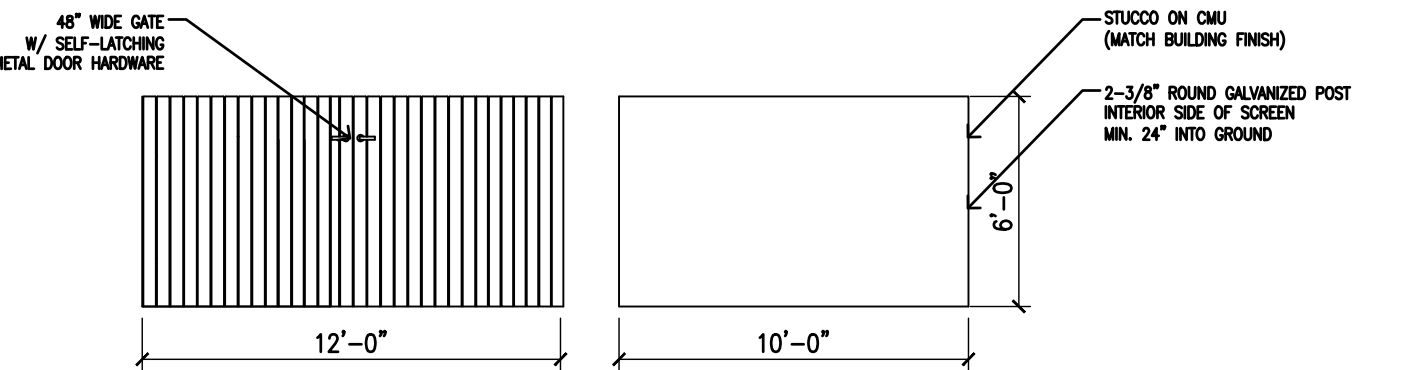
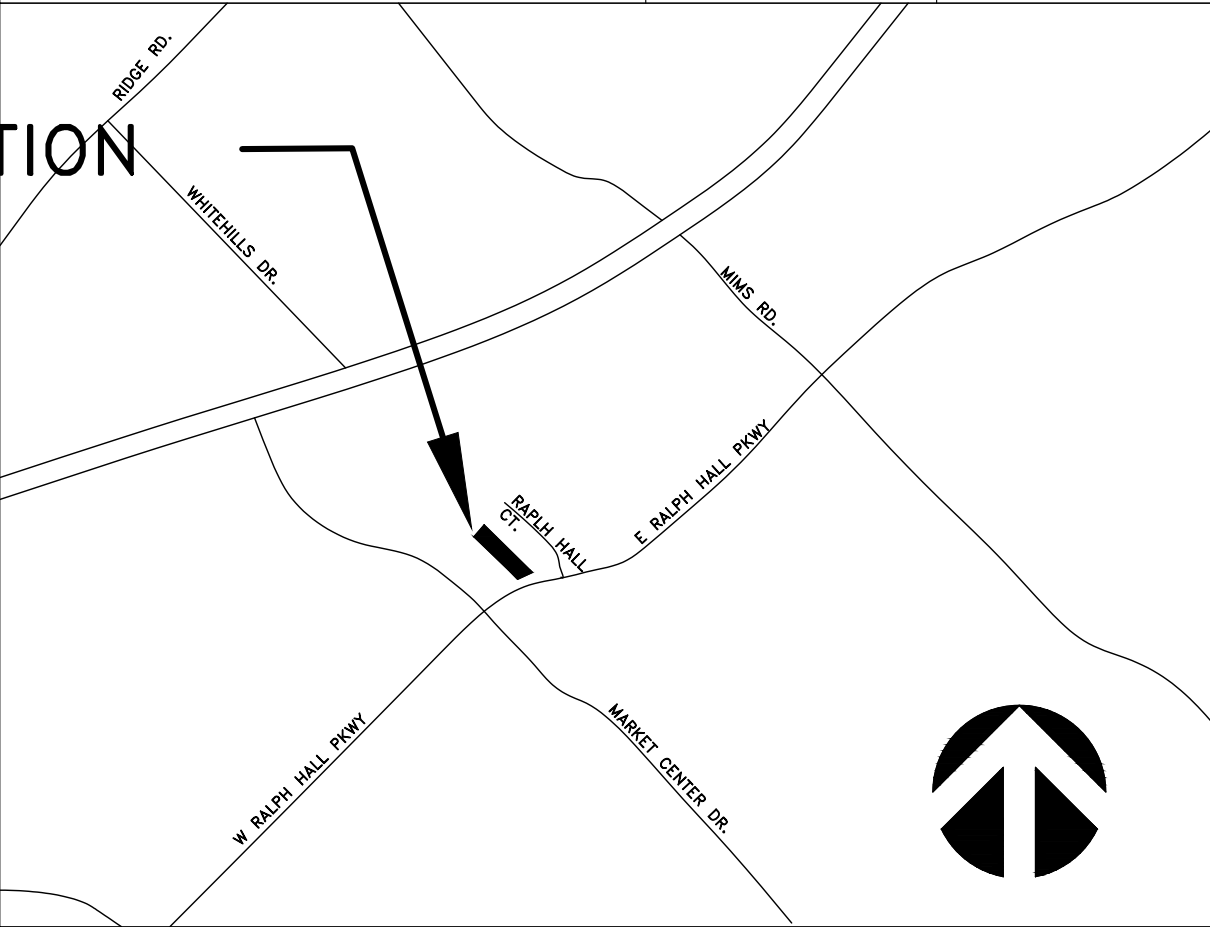


2235 RIDGE ROAD ROCKWALL, TEXAS 75087

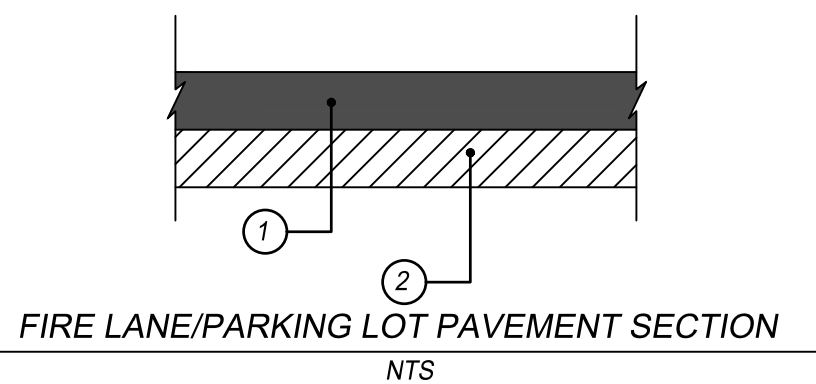




SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
LOT	17,338	100 %
IMPERVIOUS	12,862	74.1%
BUILDING FOOTPRINT	3,197	18.4%
PAVEMENT AREA	9,665	55.7%
PERVIOUS	4,476	25.8%
SIDEWALK AREA	-	
MAX. BUILDING HEIGHT PROPOSED	± 30'	
BUILDING USE / PARKING RATIO	-	PARK'G REQ'D
OFFICE (1 per 300)	2014	7
RETAIL (1 per 250)	2000	8
STORAGE (1 per 1000)	828	1



DUMPSTER SCREEN



- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
- 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

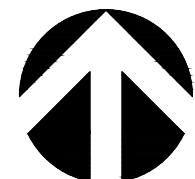
APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



SITE PLAN

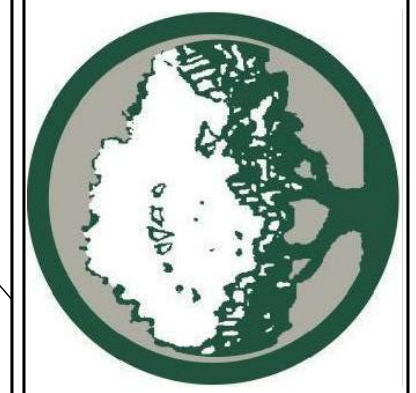
SCALE: 1"=20'  
0 20' 40'

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:  
PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT NO.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
SITE PLAN

S1.0  
SP2022-063





ARCHITECTONICS TEXAS, LLC

ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISONS	DESCRIPTION/ISSUE	DATE	
		No.	

PROJECT NAME AND ADDRESS:

PK FLOORS

125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:

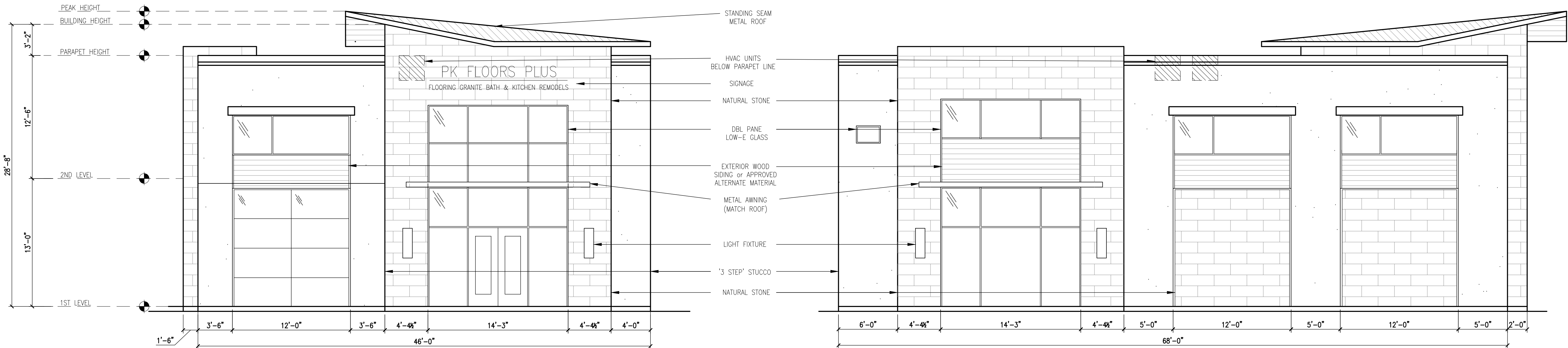
ELEVATIONS

A2.0

SP2022-063

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
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STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087



SOUTH ELEVATION (FACING RALPH HALL PKWY)

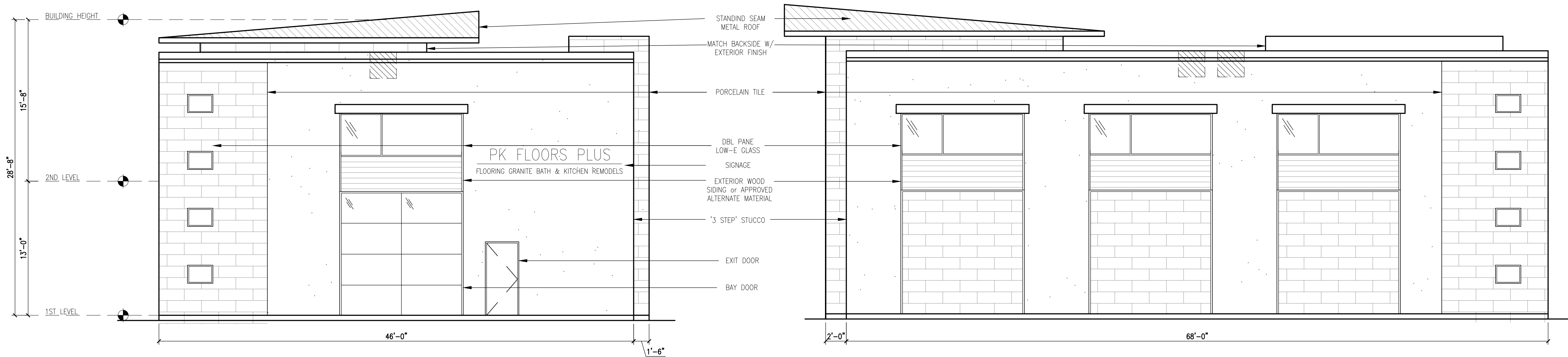
SCALE: 3/16" = 1"

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,174	
DOORS & WINDOWS (DEDUCTED)		481	
ACCOUNTABLE AREA		693	100%
MASONRY - 3 STEP STUCCO		324	46%
PORCELAIN TILE		329	47%
TREX CLADDING		40	7%

WEST ELEVATION

SCALE: 3/16" = 1"

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1795	
DOORS & WINDOWS (DEDUCTED)		320	
ACCOUNTABLE AREA		1,475	100%
MASONRY - 3 STEP STUCCO		675	46%
PORCELAIN TILE		657	45%
TREX CLADDING		143	9%



NORTH ELEVATION

SCALE: 3/16" = 1"

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,180	
DOORS & WINDOWS (DEDUCTED)		232	
ACCOUNTABLE AREA		948	100%
MASONRY - 3 STEP STUCCO		668	70%
PORCELAIN TILE		240	25%
TREX CLADDING		40	5%

EAST ELEVATION

SCALE: 3/16" = 1"

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,782	
DOORS & WINDOWS (DEDUCTED)		161	
ACCOUNTABLE AREA		1,621	100%
MASONRY - 3 STEP STUCCO		770	48%
PORCELAIN TILE		731	45%
TREX CLADDING		120	7%

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ON THE \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

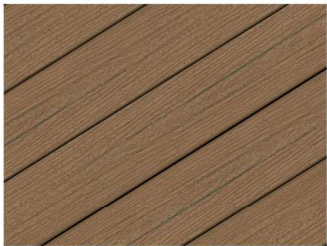




**PK FLOORS PLUS**  
FLOORING - GRANITE - BATH & KITCHEN REMODELS



COMPOSITE WOOD  
CLADDING by TREX  
(SOFFIT to MATCH)



'FEATURE' PORCELAIN TILE  
by MAXIMA



TRADITIONAL '3 STEP' STUCCO (WHITE)  
STUCCO BROW (MATCH TILE)

STEEL ROOF & AWNING (MATCH)



ANODIZED BRONZE  
ALUMINUM FRAME WINDOWS



OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
ROSS RAMSAY  
(214)536-5306  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087

ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087

REVISIONS		DATE
NO.	DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:  
PK FLOORS

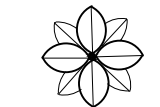



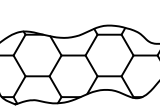
125 RALPH HALL PKWY  
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	08/18/22
SCALE	
SHEET NO.	of

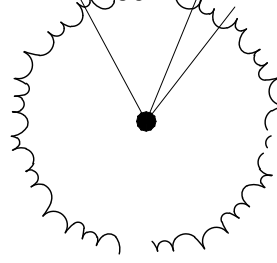
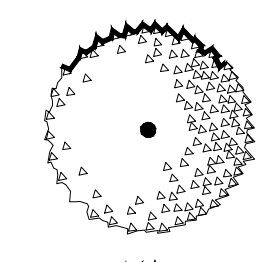
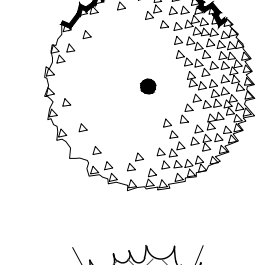
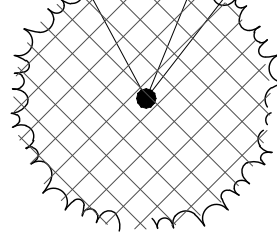
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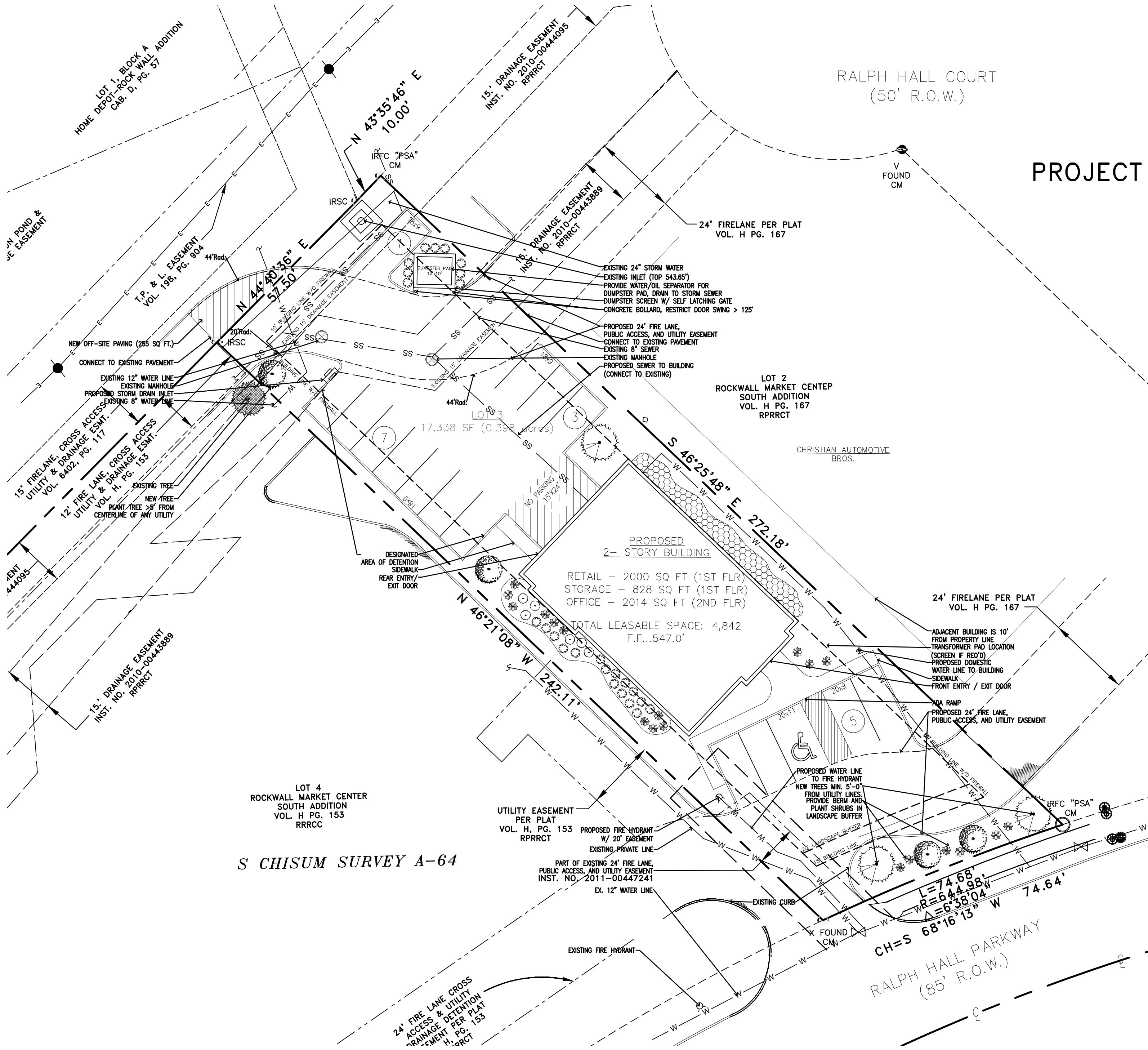
PLANT SCHEDULE

	QTY. 13	SIZE #3	TYPE Yucca, Red ( <i>Hesperaloe parviflora</i> )	SPACING 24"
	QTY. 6	SIZE #3	TYPE Sage, Texas ( <i>Leucophyllum frutescens</i> )	SPACING > 36"
	QTY. 16	SIZE #3	TYPE Nandina ( <i>Nandina domestica</i> )	SPACING > 24"-36"
	9	#5	dumpster/equip. pad screen	> 24"-36"
	QTY. -	SIZE -	TYPE jasmine ivy ( <i>Asiatic jasmine minima</i> )	SPACING >

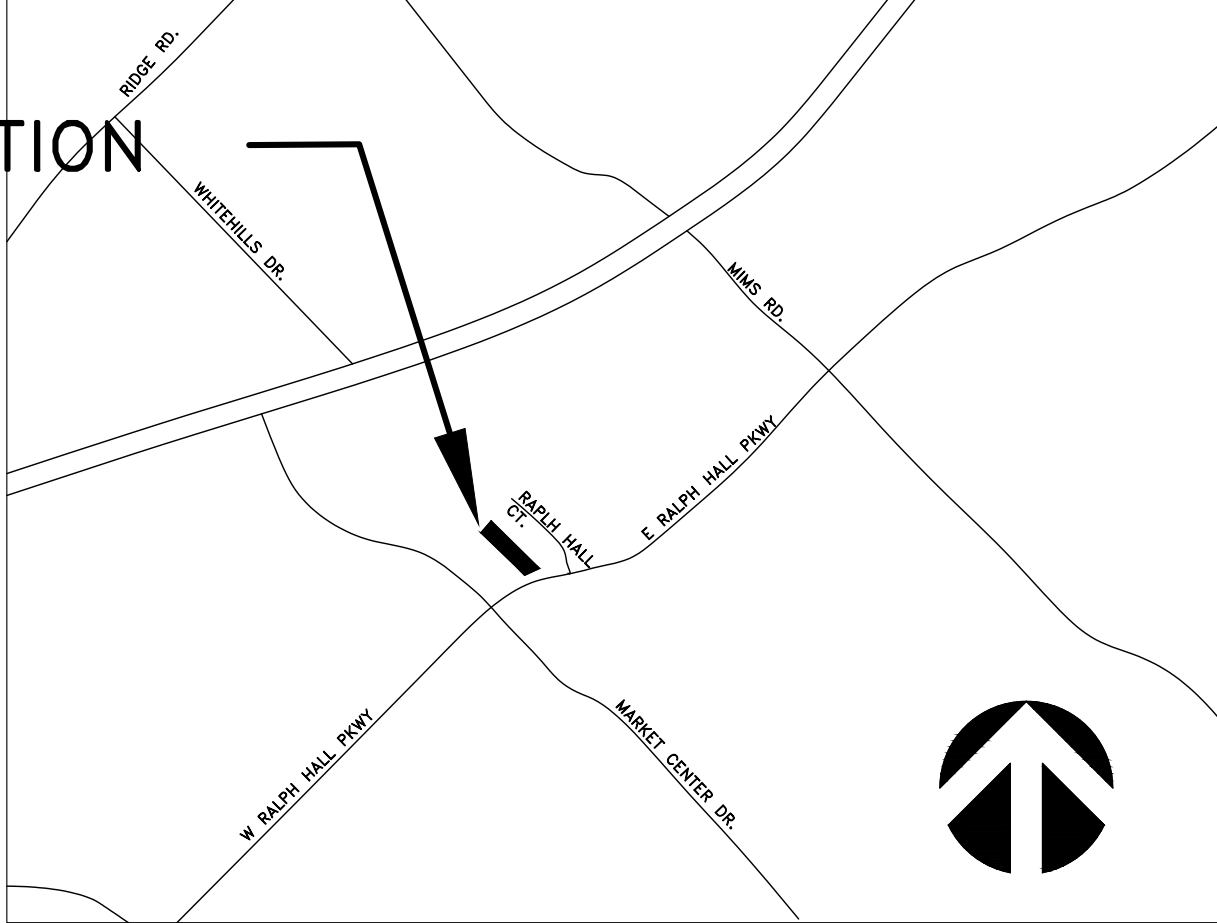
TREE SCHEDULE

	QTY. 3	SIZE 5.0 inches	TYPE Little Gem Magnolia ( <i>Magnolia grandiflora</i> )	SPACING -
	QTY. 3	SIZE 5.0 inches	TYPE Sumac, Flameleaf ( <i>Rhus capallina</i> )	SPACING -
	QTY. 1	SIZE 5.0 inches	TYPE Eve's Necklace ( <i>Sophora affinis</i> )	SPACING -
	EXISTING TREE			

Buffalo grass to cover all other areas, IRRIGATION SYSTEMS SHALL MEET THE REQUIREMENTS PER CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE (UDC)



PROJECT LOCATION



VICINITY MAP

SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
LOT	17,338	100 %
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ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:  
PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

LANDSCAPE PLAN

L1.0  
SP2022-063

APPROVED:  
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WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

\_\_\_\_\_  
PLANNING AND ZONING COMMISSION

\_\_\_\_\_  
DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE. 201  
ROCKWALL, TEXAS 75087

LANDSCAPE PLAN  
SCALE: 1"=20'  
0 20' 40'





FEATURES & SPECIFICATIONS

**INTENDED USE**  
Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and driveways for safety and security.

**CONSTRUCTION**  
Cast aluminum housing with corrosion resistant paint in either dark bronze or white finish.

**LED OPTICS**  
4000K CCT LEDs.  
Polycarbonate lens protects the LED from moisture, dirt and other contaminants.

**UNIFORM MAINTENANCE**  
The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See lighting facts label on page 2 for performance details.

**ELECTRICAL**  
MVOLT driver operates on any line voltage from 120-277V.  
Operating temperature: -30°C to 40°C.  
100,000 hour protection standard.

**INSTALLATION**  
Surface mounts to universal junction box (provided by others).

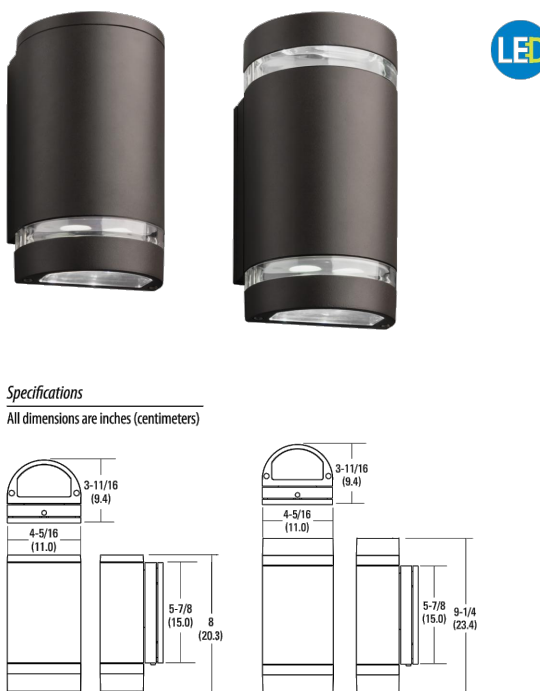
**LISTINGS**  
UL Listed in U.S. and Canadian safety standards for wet locations.  
Listed in accordance with ESDA LM-79 and LM-80 standards.

**WARRANTY**  
— 5 year limited warranty. This is the only warranty provided and no other statements in this specification shall create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.lithonia.com/customer-service/warranty-terms-and-conditions](http://www.lithonia.com/customer-service/warranty-terms-and-conditions).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number	
Notes	'A'
Type	

Outdoor General Purpose  
**OLLWD & OLLWU**  
LED WALL CYLINDER LIGHT



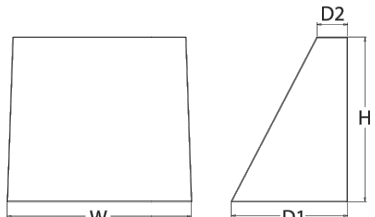
Ordering Information					Example: OLLWD LED P1 40K MVOLT DDB	
Series	Performance Package	Color temperature (CCT)	Voltage	Finish		
OLLWD LED	Daylight	40K	120V/277V	Dark Bronze		
OLLWU LED	10-8-5-4-3-2-1	40K	120V	White		

DECORATIVE INDOOR & OUTDOOR

OLLWD-OLLWU



**Specifications**  
Depth (D1): 5.5"  
Depth (D2): 1.5"  
Height: 8"  
Width: 9"  
Weight: 9 lbs (without options)



Catalog Number	
Notes	'B'
Type	

**Introduction**  
The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WEDGE1 delivers up to 2,000 lumens with a soft, non-coalesced light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

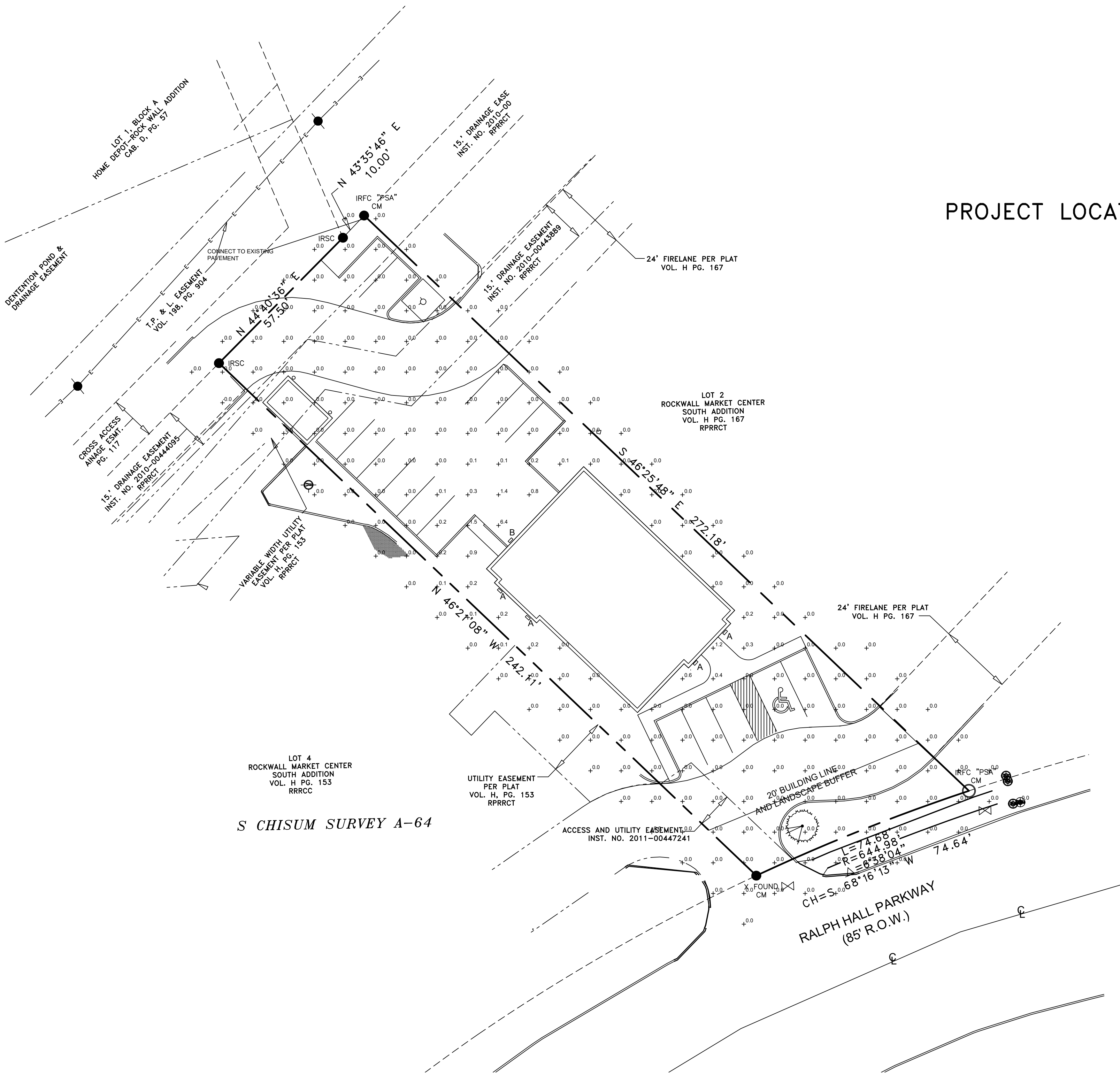
WEDGE LED Family Overview									
Lumens	Standard (LVS)	Color (LVS)	Series	P1	P2	P3	P4	P5	P6
WEDGE1 LED	4W	—	—	1,200	2,000	—	—	—	—
WEDGE2 LED	10W	10W	Standard / Night	1,200	2,000	3,000	4,500	6,000	—
WEDGE3 LED	15W	15W	Standard / Night	7,500	8,500	10,000	12,000	—	—
WEDGE4 LED	—	—	Standard / Night	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information									
Series	Package	Color Temperature	CCT	Electrical	Voltage	Mounting	Shipped Included		
WEDGE1 LED	P1	27K 2700K	27K	DCB	120V	Visual center forward throw	SRM	Surface-mounted back box (up, left, right, center entry) (see when there is no junction box available)	—
WEDGE2 LED	P2	30K 3000K	30K	DCB	120V	Visual center forward throw	SRM	Surface-mounted back box (up, left, right, center entry) (see when there is no junction box available)	—
WEDGE3 LED	P3	30K 3000K	30K	DCB	120V	Visual center forward throw	SRM	Surface-mounted back box (up, left, right, center entry) (see when there is no junction box available)	—
WEDGE4 LED	P4	30K 3000K	30K	DCB	120V	Visual center forward throw	SRM	Surface-mounted back box (up, left, right, center entry) (see when there is no junction box available)	—

Options		Finish	
EMER	Emergency battery backup, Certified in CA Title 20 (MADESS 046, 0°C max)	DBZ	Dark Bronze
PT	Prismatic, Butyl type	BLK	Black
PS	Quadranting lenses with 2 lenses and 2 light engines, see page 3 for details	ALU	Natural aluminum
DRG	0-10V dimming wires pulled outside fixture for use with external control, ordered separately	WHI	White
SEL	Stainless steel entry for back box (SSWB), list of 4 entry points	WHT	White
BAA	Buy As Available (BAA) (not for use with 0-10V dimming)	SDO	Sandstone

**Accessories**  
OPTIONAL ACCESSORIES:  
WEDGE1 LED: WEDGE1 LED surface-mounted back box (up, left, right, center entry) (see when there is no junction box available)  
WEDGE2 LED: WEDGE2 LED surface-mounted back box (up, left, right, center entry) (see when there is no junction box available)  
WEDGE3 LED: WEDGE3 LED surface-mounted back box (up, left, right, center entry) (see when there is no junction box available)  
WEDGE4 LED: WEDGE4 LED surface-mounted back box (up, left, right, center entry) (see when there is no junction box available)

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Cary, Georgia 30512 • Phone: 1-800-705-SEVEN (7378) • [www.lithonia.com](http://www.lithonia.com) WEDGE1 LED Rev. 11/21/20



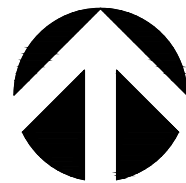
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WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



**PHOTOMETRIC PLAN**  
SCALE: 1"=20'  
0 20' 40'

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087



**ARCHITECTONICS TEXAS, LLC**  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS		DATE
NO.	DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:  
**PK FLOORS**

125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT NO.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:

**PHOTOMETRIC PLAN**

**P1.0**

SP2022-063





February 10, 2023

TO: Steven Reyes  
2235 Ridge Road, Suite 200  
Rockwall, TX 75087

CC: Patrick Kelley  
2845 Ridge Road, Suite 207  
Rockwall, TX 75032

FROM: Henry Lee, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2022-063; *Site Plan for PK Floors*

Steven Reyes:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on January 10, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) All roof top equipment shall be fully screened from all adjacent properties and public Right-of-Way (ROW).
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On January 10, 2023, the Planning and Zoning Commission approved a motion to approve the site plan by a vote of 6-0, with Commissioner Hustings absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 771-7745.

Sincerely,

Henry Lee, AICP, Planner  
City of Rockwall Planning and Zoning Department



## Lee, Henry

---

**From:** Dub Douphrate <wldouphrate@douphrate.com>  
**Sent:** Thursday, December 15, 2022 3:46 PM  
**To:** Williams, Amy  
**Cc:** 'Ryan Lewis'; Lee, Henry  
**Subject:** FW: PK Floor-Site plan  
**Attachments:** M-SITE-SITE 24X36.pdf

Amy , Stevie is fine tuning the site plan for PK Floors , as shown attached the dumpster pad does encroach somewhat into the existing easement in an attempt to create an extra parking space , he is asking would this be acceptable ? Also is the detention pond on back side of the property designed to also pick the drainage for the PK Floors tract ? Please advise

Thanks  
Dub

---

**From:** Steven Reyes <steven.reyes583@gmail.com>  
**Sent:** Thursday, December 15, 2022 3:15 PM  
**To:** Dub Douphrate <wldouphrate@douphrate.com>  
**Subject:** PK Floor-Site plan

See attached  
Can the dumpster pad be located on an Utility easement? I've never asked that question.  
This is primarily for an extra parking space, we can afford to lose if not allowed.

Steven Reyes  
9723451684

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



## Lee, Henry

---

**From:** Williams, Amy  
**Sent:** Thursday, December 15, 2022 3:56 PM  
**To:** 'Dub Douphrate'  
**Cc:** 'Ryan Lewis'; Lee, Henry; Browning, Jonathan; Johnston, Sarah  
**Subject:** RE: PK Floor-Site plan

It is actually on top of the sewer line. No structures are allowed in easements, so the entire dumpster including screening will need to be outside of all easements. This site hasn't been detained for, so you'll need to detain on-site and outfall the detention into the existing wye inlet. Keep in mind when you are designing that the entire lot is supposed to drain (detained) to this wye inlet.

*Thank you,  
Amy Williams, P.E.  
Director of Public Works/City Engineer  
City of Rockwall  
385 S. Goliad  
Rockwall, TX 75087  
972-771-7746  
972-771-7748 (fax)*

*"This email contains the thought and opinions of Amy Williams and does not reflect official City policy."*

---

**From:** Dub Douphrate <[wldouphrate@douphrate.com](mailto:wldouphrate@douphrate.com)>  
**Sent:** Thursday, December 15, 2022 3:46 PM  
**To:** Williams, Amy <[AWilliams@rockwall.com](mailto:AWilliams@rockwall.com)>  
**Cc:** 'Ryan Lewis' <[ryan@cccrockwall.org](mailto:ryan@cccrockwall.org)>; Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Subject:** FW: PK Floor-Site plan

Amy , Stevie is fine tuning the site plan for PK Floors , as shown attached the dumpster pad does encroach somewhat into the existing easement in an attempt to create an extra parking space , he is asking would this be acceptable ? Also is the detention pond on back side of the property designed to also pick the drainage for the PK Floors tract ? Please advise

Thanks  
Dub

---

**From:** Steven Reyes <[steven.reyes583@gmail.com](mailto:steven.reyes583@gmail.com)>  
**Sent:** Thursday, December 15, 2022 3:15 PM  
**To:** Dub Douphrate <[wldouphrate@douphrate.com](mailto:wldouphrate@douphrate.com)>  
**Subject:** PK Floor-Site plan

See attached  
Can the dumpster pad be located on an Utility easement? I've never asked that question.  
This is primarily for an extra parking space, we can afford to lose if not allowed.

Steven Reyes  
9723451684

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



## Lee, Henry

---

**From:** Lee, Henry  
**Sent:** Tuesday, December 20, 2022 2:19 PM  
**To:** 'Steven Reyes'  
**Subject:** Project Comments SP2022-063  
**Attachments:** Project Comments (12.19.2022).pdf; Engineering Mark-Ups (12.19.2022).pdf

Good Afternoon,

Attached are the project comments and engineering mark-ups for your case. The meeting schedule for this case is as follows:

Planning and Zoning Commission Work Session: December 27, 2022  
Planning and Zoning Commission Public Hearing: January 10, 2023

Please note that all meetings will be held at 6:00 PM at 385 S. Goliad Street in the City Council Chambers; the Architectural Review Board (ARB) meets at 5:00 PM just before the Planning and Zoning Commission meetings. Please also note that a representative is required to be at all meetings. Should you have any questions please let me know.

Thank you,



Henry Lee, AICP  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087



## Lee, Henry

---

**From:** Steven Reyes <steven.reyes583@gmail.com>  
**Sent:** Tuesday, January 3, 2023 11:16 AM  
**To:** Lee, Henry  
**Subject:** Re: PK Floors  
**Attachments:** Response to city comments 1.0.pdf; PK Floor\_SitePlan.pdf

Henry:  
See attached, thanks!  
-Steven

On Tue, Jan 3, 2023 at 9:56 AM Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)> wrote:

Good Morning,

Please send me the digitals first, so that staff may review them to ensure all comments have been addressed. No need to pay for printing more than once. Let me know if you have any questions.

Thank you,



Henry Lee, AICP  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

**From:** Steven Reyes <[steven.reyes583@gmail.com](mailto:steven.reyes583@gmail.com)>  
**Sent:** Tuesday, January 3, 2023 9:34 AM  
**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>  
**Subject:** Re: PK Floors

Good morning Henry,

How many revised sets do I need to submit, thanks!

-Steven



On Thu, Dec 22, 2022 at 10:49 AM Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)> wrote:

Good Morning,

Works for me. Talk to you then.

Thank you,

-----Original Message-----

From: Steven Reyes <[steven.reyes583@gmail.com](mailto:steven.reyes583@gmail.com)>

Sent: Thursday, December 22, 2022 10:48 AM

To: Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>

Subject: Re: PK Floors

11:20?

Sent from my iPhone

> On Dec 22, 2022, at 10:33 AM, Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)> wrote:

>

> Good Morning,

>

> I am in office today so let me know when works for you.

>

> Thank you,

>

>

>

> -----Original Message-----

> From: Steven Reyes <[steven.reyes583@gmail.com](mailto:steven.reyes583@gmail.com)>

> Sent: Thursday, December 22, 2022 9:35 AM

> To: Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>

> Subject: PK Floors

>

> Good morning Mr. Henry:

> I was looking for a time to visit today (12/22) to go over the comments.... Please let me know, thank you!

> Steven Reyes

> 9723451684

>

> Sent from my iPhone

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>

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## Lee, Henry

---

**From:** Steven Reyes <[steven.reyes583@gmail.com](mailto:steven.reyes583@gmail.com)>  
**Sent:** Wednesday, January 4, 2023 3:10 PM  
**To:** Lee, Henry  
**Subject:** Re: PK Floors  
**Attachments:** Letter to city.pdf; PK Floor\_SitePlan.pdf

Good afternoon,  
See attached documents. If approved how many copies? Thank you.  
-Steven

On Wed, Jan 4, 2023 at 10:14 AM Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)> wrote:

Good Morning,

I apologize for the delay, as I was waiting for all departments to get back to me. Attached is the only remaining comment, which is minor; there is a information comment as well. Please send me the revised .pdf when this is corrected, I will then review it, and then I will give you the go ahead to send me a hard copy for signing next week. Let me know if you have any questions.

Thank you,



Henry Lee, AICP  
Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

---

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**Subject:** Re: PK Floors

Henry:

See attached, thanks!



-Steven

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Thank you,



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Planner  
Planning & Zoning Department  
972.772.6434  
[HLee@rockwall.com](mailto:HLee@rockwall.com)  
385 S. Goliad Street, Rockwall, TX 75087

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**To:** Lee, Henry <[HLee@rockwall.com](mailto:HLee@rockwall.com)>

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>

>

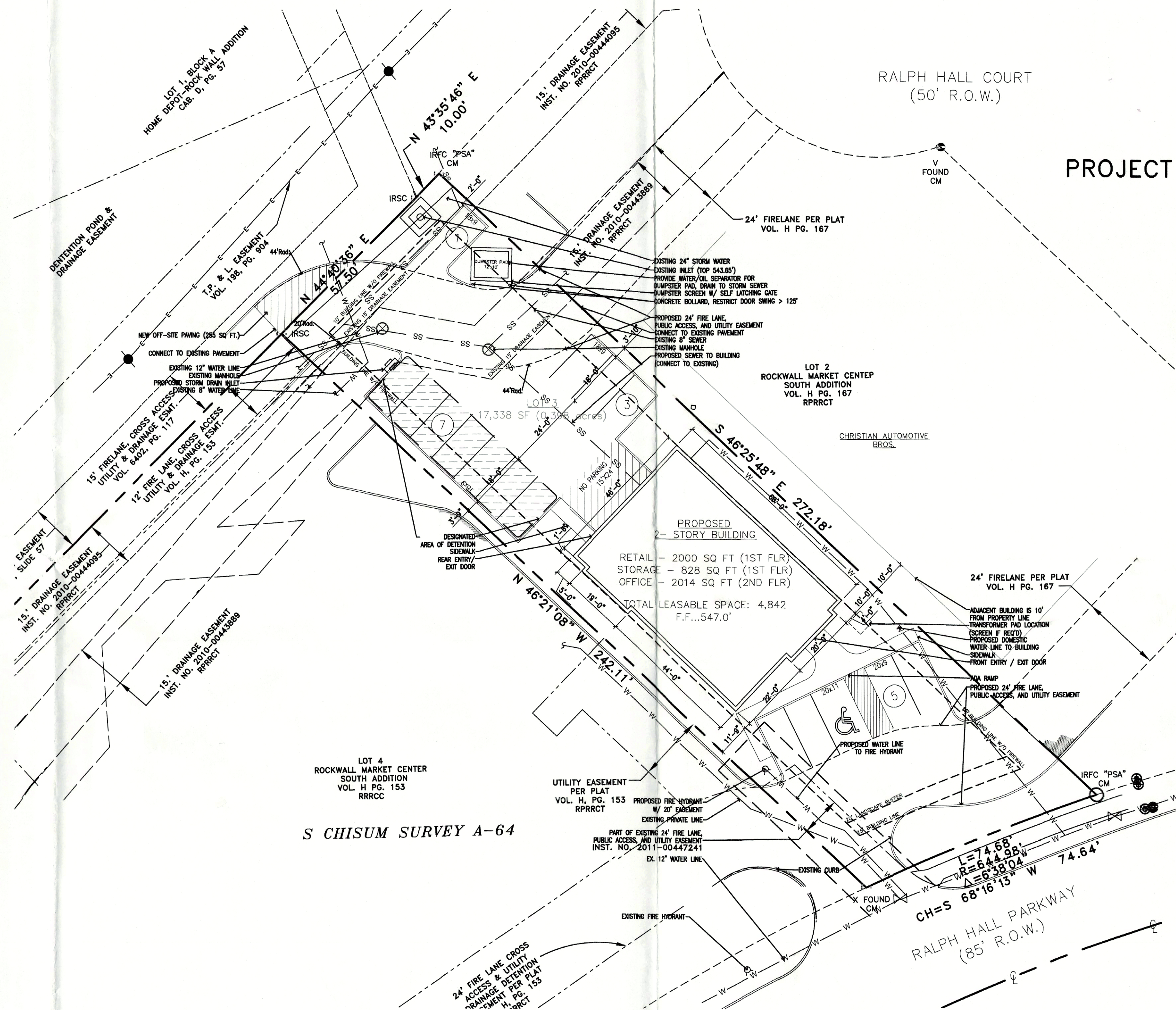
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**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**

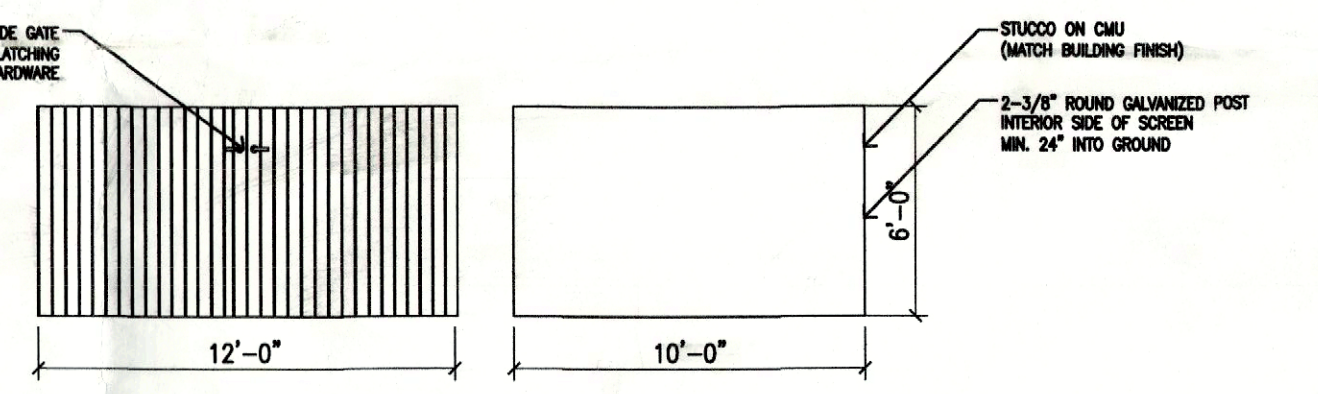
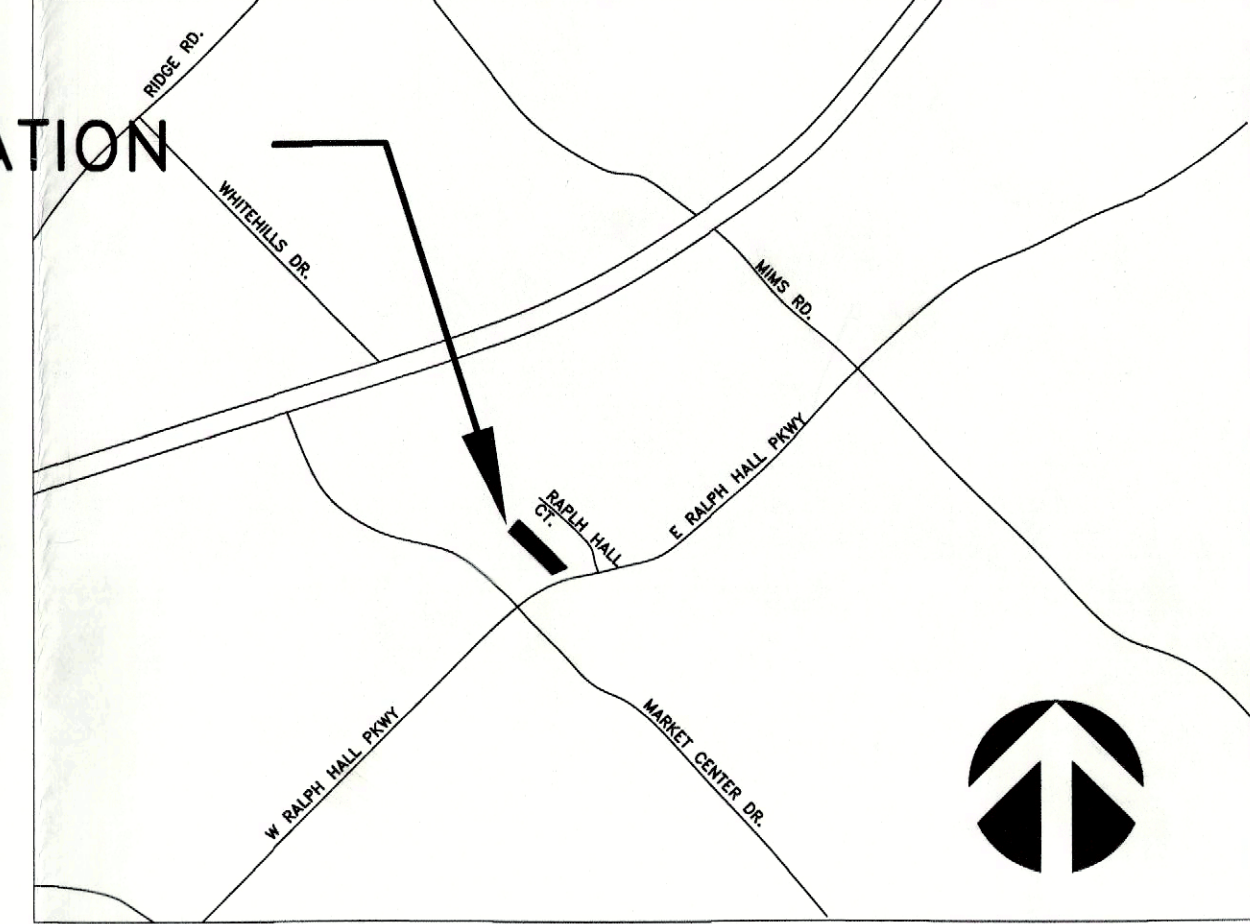
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SITE SUMMARY		
DESCRIPTION	SF	LOT PERCENTAGE
LOT	17,338	100 %
IMPERVIOUS	12,862	74.1%
BUILDING FOOTPRINT	3,197	18.4%
PAVEMENT AREA	9,665	55.7%
PERVIOUS	4,476	25.8%
SIDEWALK AREA	-	
MAX. BUILDING HEIGHT PROPOSED	± 30'	
BUILDING USE / PARKING RATIO	-	PARK'G REQ'D
OFFICE (1 per 300)	2014	7
RETAIL (1 per 250)	2000	8
STORAGE (1 per 1000)	828	1



- DUMPSTER SCREEN**
- FIRE LANE/PARKING LOT PAVEMENT SECTION**  
NTS
- 6"-3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS 24" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)
  - 6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 10 DAY OF January, 2023.

WITNESS OUR HANDS, THIS 10 DAY OF January, 2023.

*[Signature]*  
PLANNING AND ZONING COMMISSION

*[Signature]*  
DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE. 201  
ROCKWALL, TEXAS 75087



**ARCHITECTONICS TEXAS, LLC**  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 201  
ROCKWALL, TEXAS 75087

DATE	
REVISIONS	
DESCRIPTION/ISSUE	
DATE	

PROJECT NAME AND ADDRESS:  
**PK FLOORS**  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

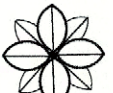
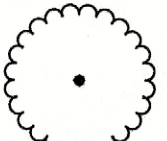
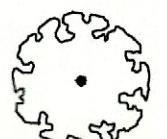

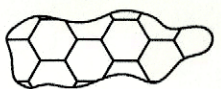
DRAWING NAME:  
**SITE PLAN**

**S1.0**

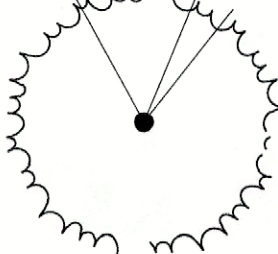
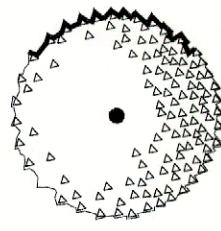
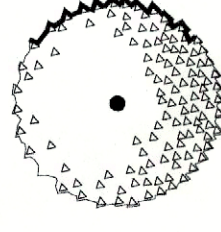
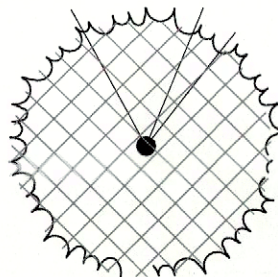
SP2022-063



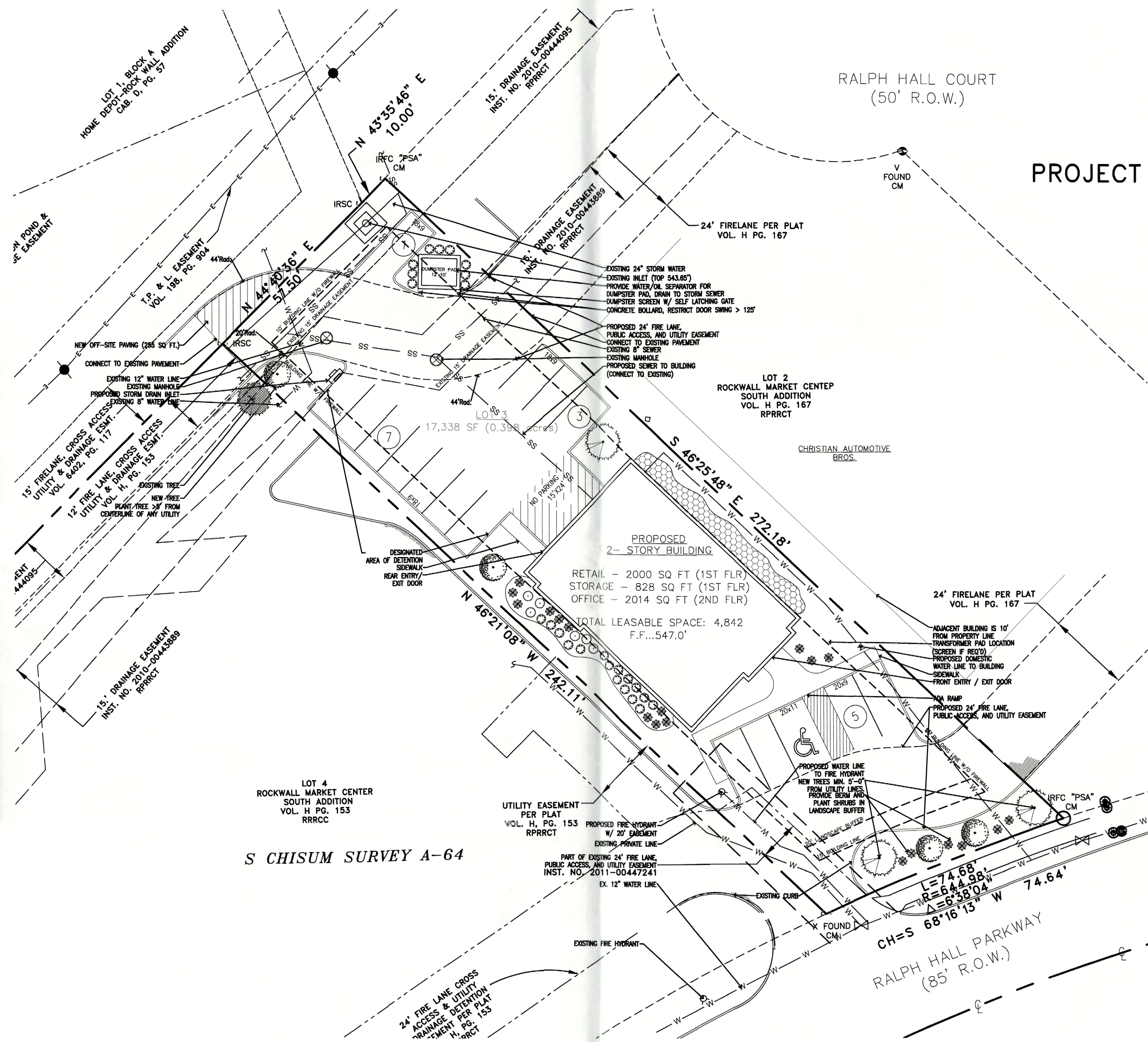
# PLANT SCHEDULE

	QTY. 13	SIZE #3	TYPE Yucca, Red ( <i>Hesperaloe parviflora</i> )	SPACING 24"
	QTY. 6	SIZE #3	TYPE Sage, Texas ( <i>Leucophyllum frutescens</i> )	SPACING > 36"
	QTY. 16	SIZE #3	TYPE Nandina ( <i>Nandina domestica</i> )	SPACING > 24"-36"
	QTY. 9	SIZE #5	TYPE dumpster/equip. pad screen	SPACING > 24"-36"
	QTY. -	SIZE -	TYPE jasmine ivy ( <i>Asiatic jasmine minima</i> )	SPACING >

# TREE SCHEDULE

	QTY. 3	SIZE 5.0 inches	TYPE Little Gem Magnolia ( <i>Magnolia grandiflora</i> )	SPACING -
	QTY. 3	SIZE 5.0 inches	TYPE Sumac, Flameleaf ( <i>Rhus copallina</i> )	SPACING -
	QTY. 1	SIZE 5.0 inches	TYPE Eve's Necklace ( <i>Sophora affinis</i> )	SPACING -
	EXISTING TREE			

Buffalo grass to cover all other areas. IRRIGATION SYSTEMS SHALL MEET THE REQUIREMENTS PER CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE (UDC).



APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 10 DAY OF January, 2023.

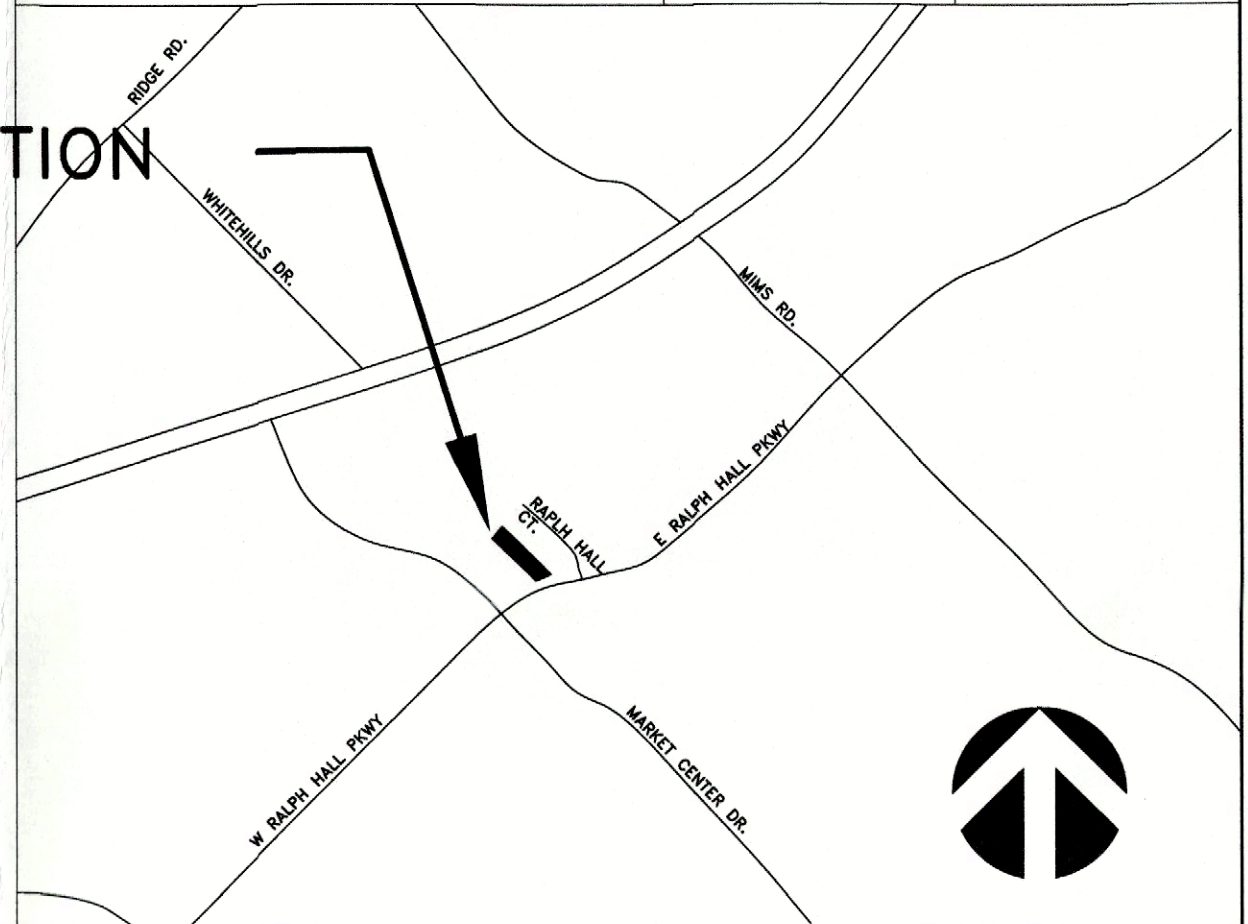
WITNESS OUR HANDS, THIS 10 DAY OF January, 2023.

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

## SITE SUMMARY

DESCRIPTION	SF	LOT PERCENTAGE
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SIDEWALK AREA	-	
MAX. BUILDING HEIGHT PROPOSED	± 30'	
BUILDING USE / PARKING RATIO	-	PARK'G REQ'D
OFFICE (1 per 300)	2014	7
RETAIL (1 per 250)	2000	8
STORAGE (1 per 1000)	828	1

## PROJECT LOCATION



## VICINITY MAP



ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



DATE	REVISIONS
	DESCRIPTION/ISSUE

PROJECT NAME AND ADDRESS:  
PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT NO.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
LANDSCAPE PLAN

L1.0  
SP2022-063

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

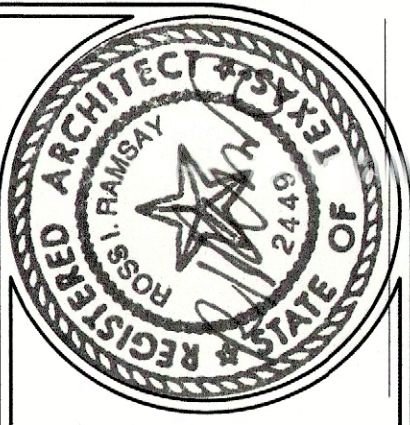
ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 200  
ROCKWALL, TEXAS 75087



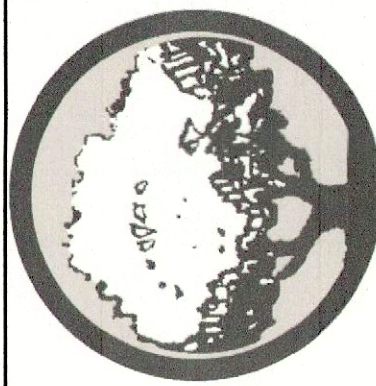
## LANDSCAPE PLAN

SCALE: 1"=20'





ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS	DATE	DESCRIPTION/ISSUE	BY

PROJECT NAME AND ADDRESS:  
PK FLOORS

125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:

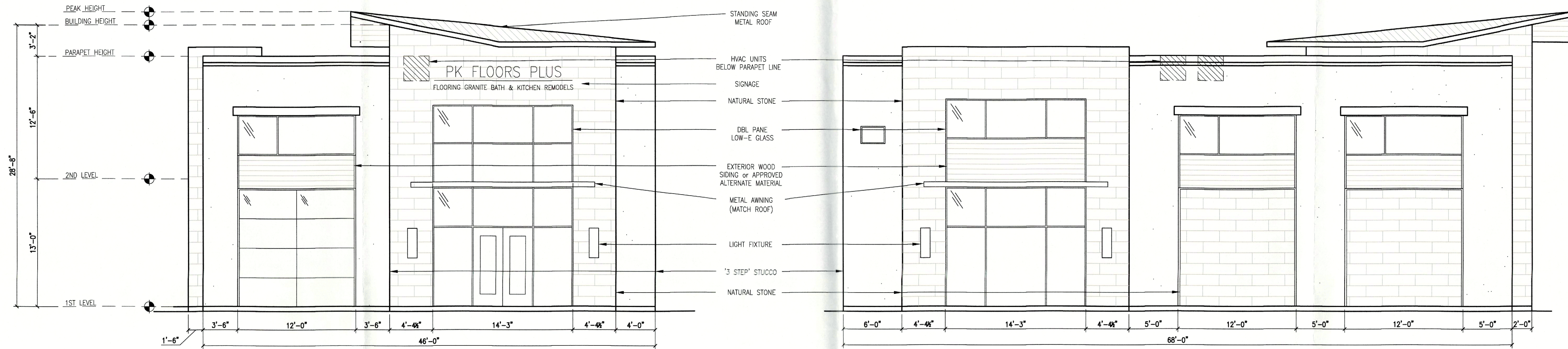
ELEVATIONS

A2.0

SP2022-063

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 201  
ROCKWALL, TEXAS 75087



SOUTH ELEVATION (FACING RALPH HALL PKWY)

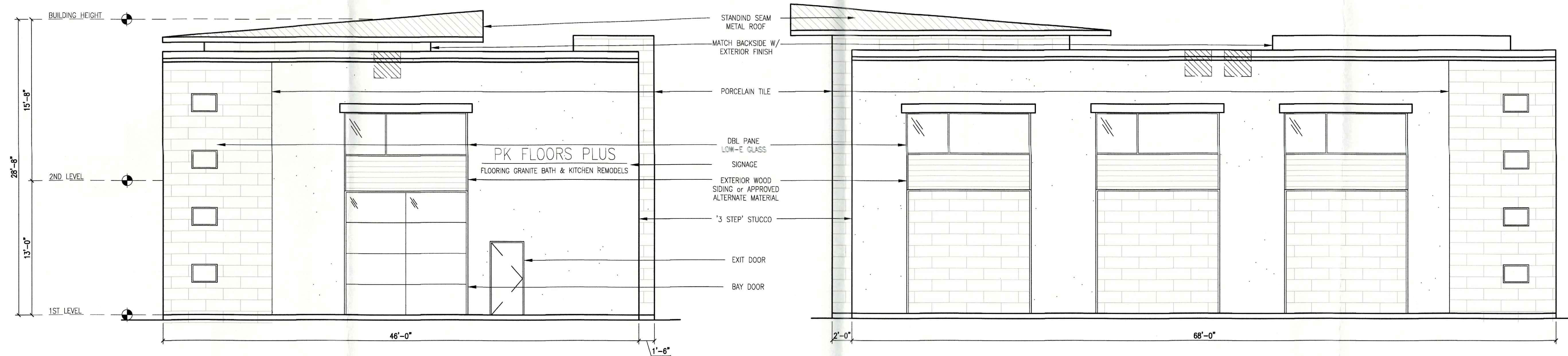
SCALE: 3/16" = 1'

MATERIAL USAGE (%) - SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,174	
DOORS & WINDOWS (DEDUCTED)		481	
ACCOUNTABLE AREA		693	100%
MASONRY - 3 STEP STUCCO		324	46%
PORCELAIN TILE		329	47%
TREX CLADDING		40	7%

WEST ELEVATION

SCALE: 3/16" = 1'

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,795	
DOORS & WINDOWS (DEDUCTED)		320	
ACCOUNTABLE AREA		1,475	100%
MASONRY - 3 STEP STUCCO		675	46%
PORCELAIN TILE		657	45%
TREX CLADDING		143	9%



NORTH ELEVATION

SCALE: 3/16" = 1'

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,180	
DOORS & WINDOWS (DEDUCTED)		232	
ACCOUNTABLE AREA		948	100%
MASONRY - 3 STEP STUCCO		668	70%
PORCELAIN TILE		240	25%
TREX CLADDING		40	5%

EAST ELEVATION

SCALE: 3/16" = 1'

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,782	
DOORS & WINDOWS (DEDUCTED)		161	
ACCOUNTABLE AREA		1,621	100%
MASONRY - 3 STEP STUCCO		770	48%
PORCELAIN TILE		731	45%
TREX CLADDING		120	7%

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PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING



## FEATURES &amp; SPECIFICATIONS

## INTENDED USE

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

## CONSTRUCTION

Cast aluminum housing with corrosion resistant paint in either dark bronze or white finish. AIA compliant.

## OFFICES

4000K CCT LEDs.

Population-free protection from the LED from moisture, dirt and other contaminants.

LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average life. See lighting facts label on page 2 for performance details.

## ELECTRICAL

0-10V dimmer operation on any line voltage from 120-277V.

Operating temperature: -30°C to 40°C.

100% surge protection standard.

INSTALLATION: Surface mounts to universal junction box (provided by others).

LISTINGS: UL Listed in U.S. and Canada safety standards for wet locations.

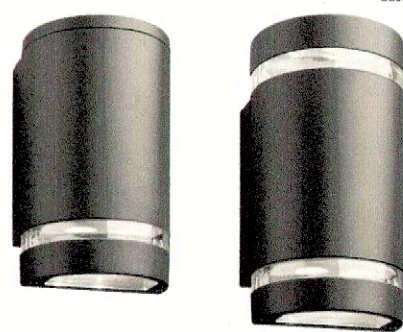
WARRANTY: 5-year limited warranty. This is the only warranty provided and no other statements in this specification shall create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.lithonia.com/warranty](http://www.lithonia.com/warranty)

Note: Actual performance may differ as a result of end-user environment and application.

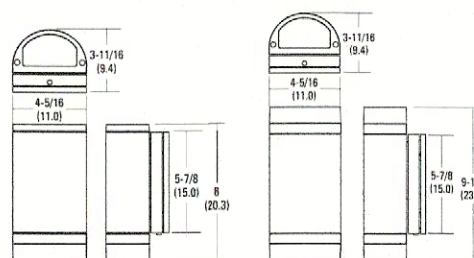
All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

Catalog Number	
Notes	'A'
Type	

OLLWD & OLLWU  
LED WALL CYLINDER LIGHT

Specifications:  
All dimensions in inches (millimeters).



## ORDERING INFORMATION: For bracket lead times, configure products using builded options.

Example: OLLWD LED P1 40K MVOLT 200

Series	Performance Package	Color Temperature (CCT)	Voltage	Finish
OLLWD LED	Downtight	40K	120V-277V	Dark Bronze
OLLWU LED	Up & Downtight	40K	120V	White

Note:  
1. Only available with OLLWD and OLLWU.  
2. Only available with OLLWU.

DECORATIVE: INDOOR & OUTDOOR

OLLWD-OLLWU

WDGE1 LED  
Architectural Wall Sconce

## Specifications

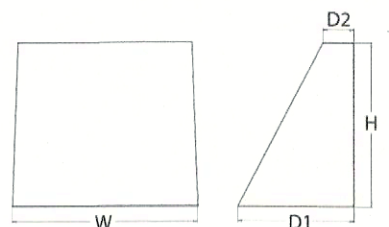
Depth (D1): 5.5"

Depth (D2): 1.5"

Height: 8"

Width: 9"

Weight: 9 lbs (without options)



## Introduction

The WDGE1 LED family is designed to meet specifically every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-cooled light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

## WDGE1 LED Family Overview

Luminaire	Standard DALI 0°C	Cold DALI 30°C	Sensor	Lumens (1000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standard / right	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standard / right	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standard / right	12,800	16,000	18,000	20,000	22,000	25,000

## Ordering Information

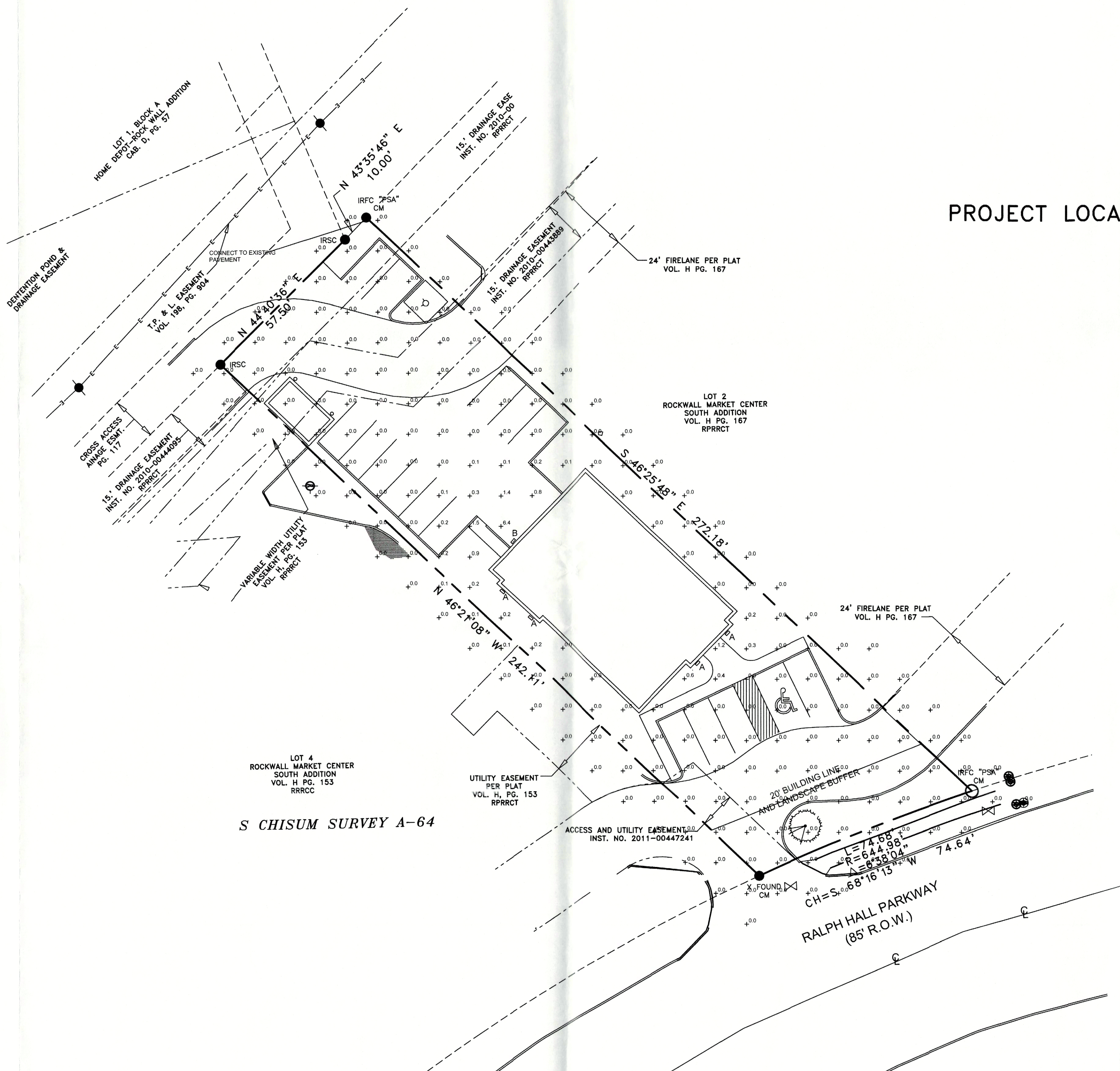
EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Dimmable	Voltage	Mounting
WDGE1 LED	P1	27K / 3000K	80CRI	VF	120V-277V	Standard included
	P2	30K / 3500K	90CRI	VF	120V	Standard included
		35K / 4000K	--	--	--	Standard included
		40K / 4500K	--	--	--	Standard included
		50K / 5000K	--	--	--	Standard included

Option	Finish
0400K	Emergency battery backup, Certified in CA for 2000mAh (3.6V 4.0V 4.2V)
P1	Phosphor, Battery Type
D5	Dual switching (switch with 2 drivers and 1 light engine; see page 2 for details)
DMS	0-10V dimming (switch with 2 drivers and 1 light engine; see page 2 for details)
B2	Remote control dimming (see page 2 for details)
BAA	Buy American Act Compliant

Accessories	Notes
W000000000	0-10V dimming (switch with 2 drivers and 1 light engine; see page 2 for details)
W000000000	0-10V dimming (switch with 2 drivers and 1 light engine; see page 2 for details)
W000000000	0-10V dimming (switch with 2 drivers and 1 light engine; see page 2 for details)

LITHONIA LIGHTING COMMERCIAL OUTDOOR © 2019 Lithonia Lighting, Inc. All rights reserved. WDGE1 LED Rev. 11/21/20



## APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 10 DAY OF January, 2023.

WITNESS OUR HANDS, THIS 10 DAY OF January, 2023.

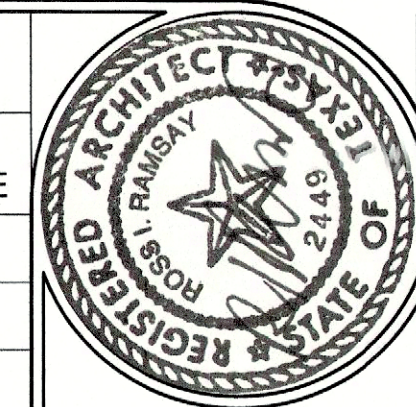
PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:  
PATRICK KELLEY  
TAHOE DR.  
ROCKWALL, TEXAS 75087  
(469)693-9187

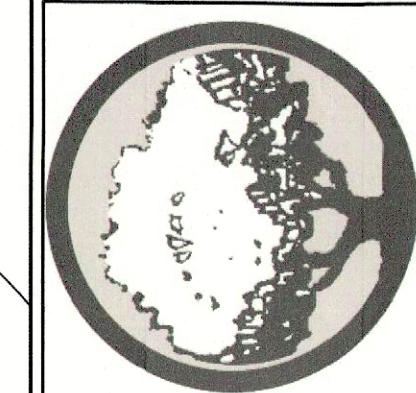
ARCHITECT/PLANNER:  
ARCHITECTONICS TEXAS, LLC  
STEVEN REYES  
(972)345-1684  
2235 RIDGE RD. STE 200  
ROCKWALL, TEXAS 75087

## PHOTOMETRIC PLAN

SCALE: 1"=20'  
0 20' 40'



ARCHITECTONICS TEXAS, LLC  
ARCHITECTURE - MANAGEMENT  
2235 RIDGE RD. STE. 200  
ROCKWALL, TEXAS 75087



REVISIONS	DATE
DESCRIPTION/ISSUE	
No.	

PROJECT NAME AND ADDRESS:  
PK FLOORS  
125 RALPH HALL PKWY  
ROCKWALL, TX 75087

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	of

DRAWING NAME:  
PHOTOMETRIC PLAN

P1.0

SP2022-063