



PLANNING AND ZONING CASE CHECKLIST

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET
ROCKWALL, TX 75087

P&Z CASE # Z2022-025 P&Z DATE June 14, 2022 CC DATE June 20, 2022 Approved/Denied

ARCHITECTURAL REVIEW BOARD DATE _____ HPAB DATE _____ PARK BOARD DATE _____

Zoning Application

- ☒ Specific Use Permit
- ☐ Zoning Change
- ☐ PD Concept Plan
- ☐ PD Development Plan

Site Plan Application

- ☐ Site Plan
- ☐ Landscape Plan
- ☐ Treescape Plan
- ☐ Photometric Plan
- ☒ Building Elevations
- ☐ Material Samples
- ☐ Color Rendering

Platting Application

- ☐ Master Plat
- ☐ Preliminary Plat
- ☐ Final Plat
- ☐ Replat
- ☐ Administrative/Minor Plat
- ☐ Vacation Plat
- ☐ Landscape Plan
- ☐ Treescape Plan

HPAB Application

- ☐ Exhibit

Miscellaneous Application

- ☐ Variance/Exception Request

- ☐ Copy of Ordinance (ORD# _____)
- ☒ Applications
- ☒ Receipt
- ☒ Location Map
- ☒ HOA Map
- ☒ PON Map
- ☐ FLU Map
- ☒ Newspaper Public Notice
- ☒ 500-foot Buffer Public Notice
- ☐ Project Review
- ☐ Staff Report
- ☐ Correspondence
- ☐ Copy-all Plans Required
- ☐ Copy-Mark-Ups
- ☐ City Council Minutes – Laserfiche
- ☐ Minutes-Laserfiche
- ☐ Plat Filled Date _____
 - ☐ Cabinet # _____
 - ☐ Slide # _____

Notes: _____

Zoning Map Updated _____

215 # 219.30



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
☐ AMENDING OR MINOR PLAT (\$150.00)
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 Bourn St Rockwall TX 75087

SUBDIVISION LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE 0.240

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]☒ OWNER Javier Silva☐ APPLICANT

CONTACT PERSON Javier Silva

CONTACT PERSON

ADDRESS 511 Bourn St.

ADDRESS

58. Windsor
Rockwall TX 75082

CITY, STATE & ZIP Rockwall TX 75087

CITY, STATE & ZIP

PHONE 972-814 9462

PHONE 9

E-MAIL support@JMS Custom Homes.net

E-MAIL support@JMS Custom Homes.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Javier Silva [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

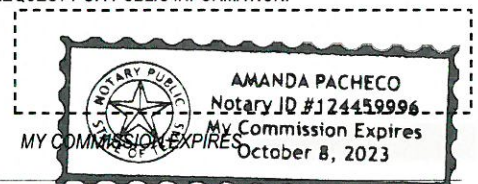
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20 DAY OF May, 2022

OWNER'S SIGNATURE

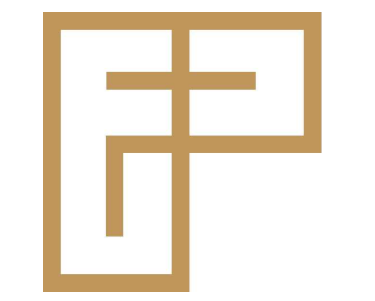
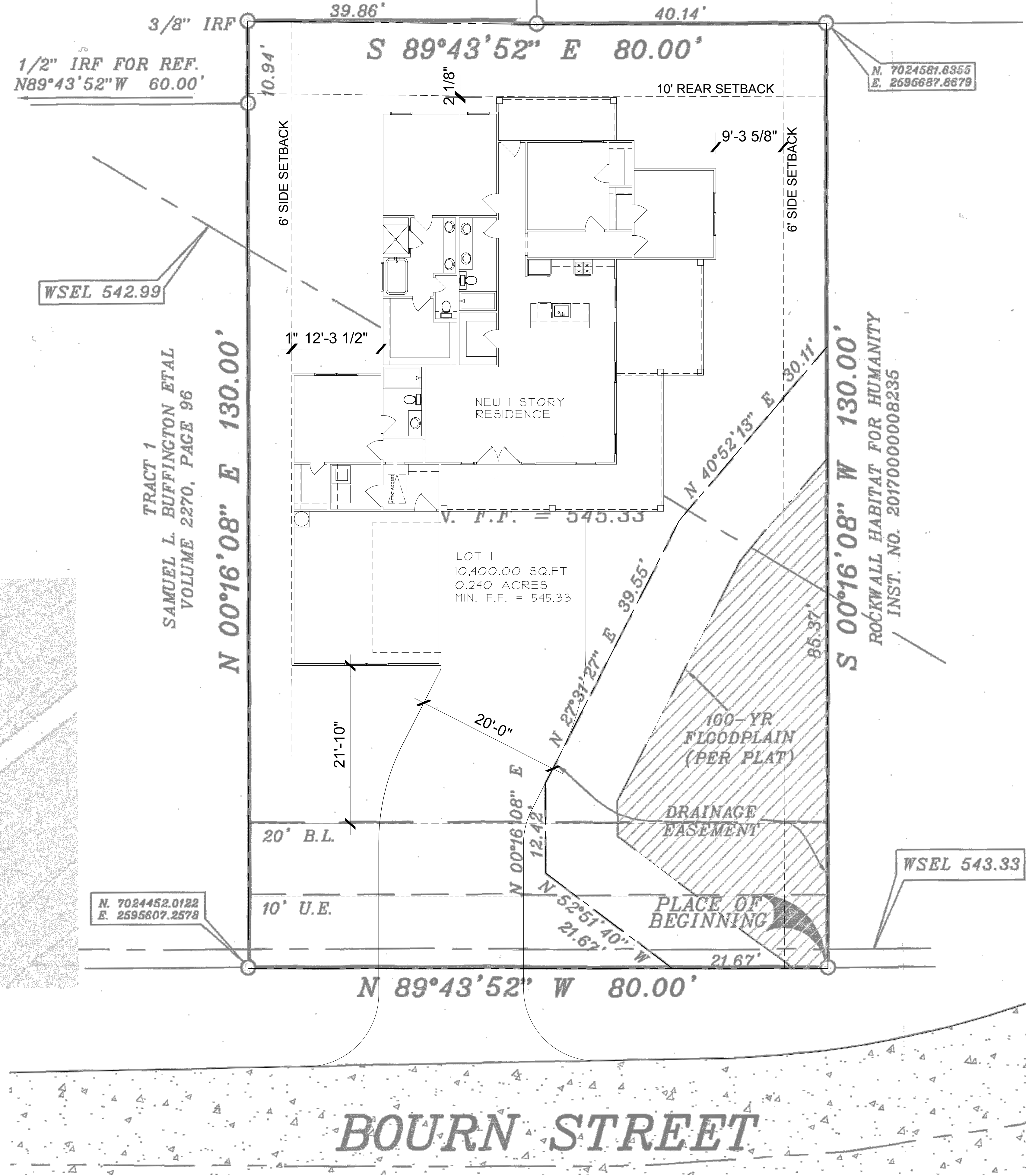
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]
Amanda Pacheco



LOT 2, BLOCK 1
SAMUEL BUFFINGTON ADDITION
CABINET A, SLIDE 225

ROCKWALL HABITAT FOR HUMANITY
INST. NO. 20170000008236



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

A2.1

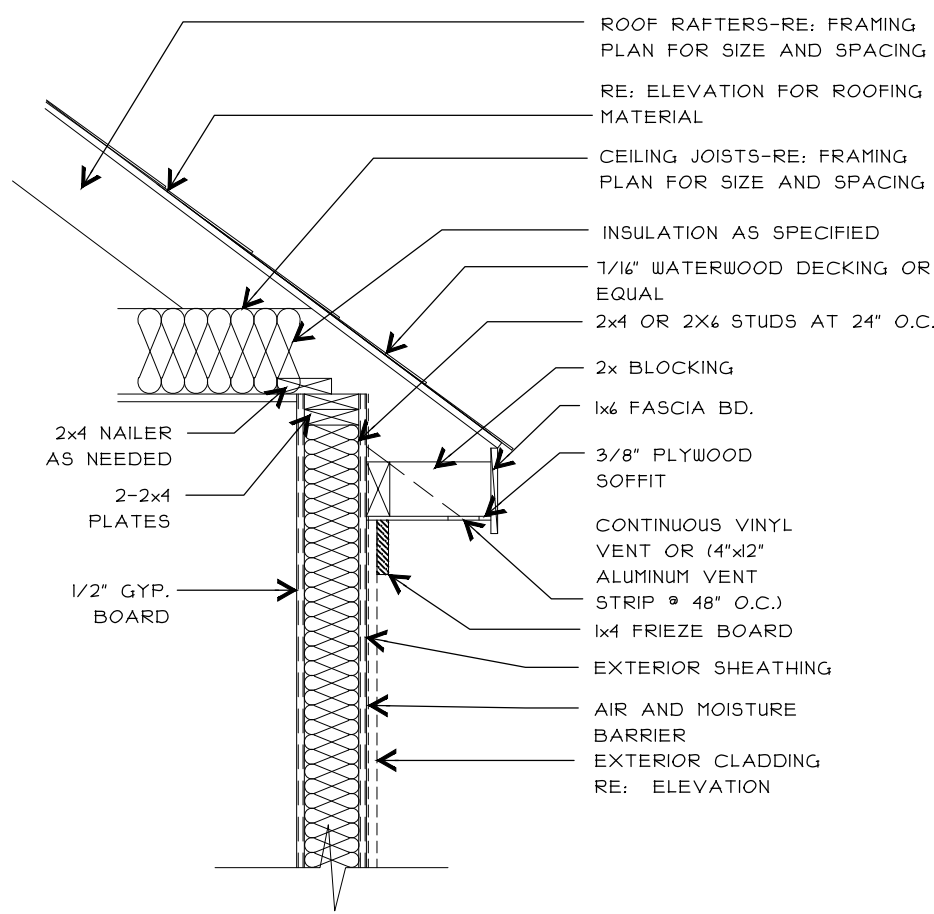
ARCHITECTURAL
SITE PLAN



01 ARCHITECTURAL SITE PLAN

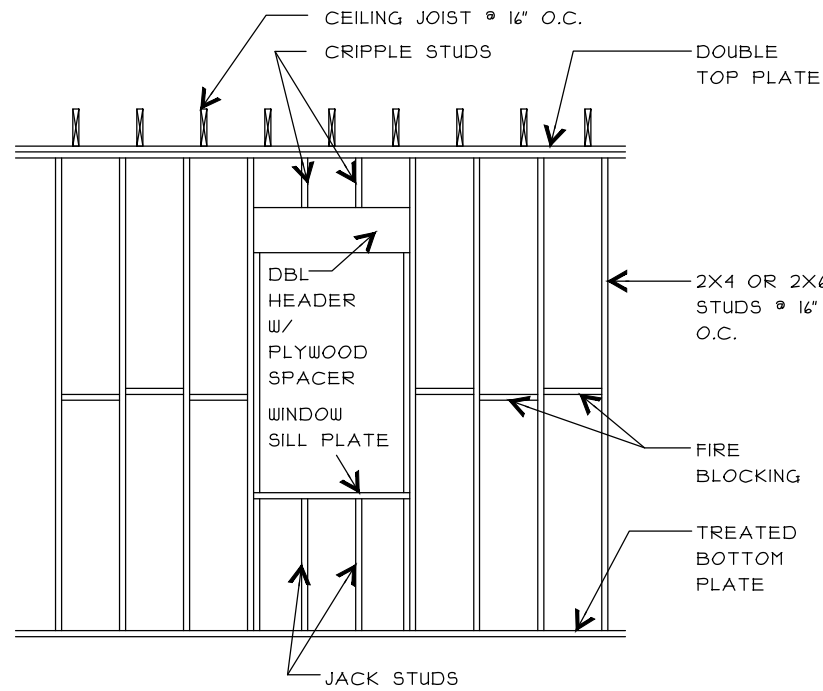
SCALE: 1/16"=1'-0"

GENERAL NOTES:
1.) COMPLY WITH ALL STATE AND LOCAL BUILDING CODES, ORDINANCES REGULATIONS CONCERNING AND PERTAINING TO CONSTRUCTION
2.) CONNECT ALL WATER, GAS, ELECTRIC, ETC., TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES.
3.) PROVIDE TERMITE PROTECTION OVER COMPACTED OR GRANULAR FILL CODE.
4.) ALL FOOTINGS ARE TO EXTEND 12" BELOW GRADE MINIMUM PER LOCAL CODE.
5.) PROVIDE VENTILATION EQUAL TO 1 SQ. FT. PER. 150 SQ. FT. OF ATTIC OR PER LOCAL CODES.
6.) 1/2" MIN. DRYWALL THROUGHOUT, 5/8" TYPE "X" AT GARAGE CEILING AT WALLS COMMON TO LIVING AREAS AND ENCLOSED SPACES OR PER PLANS.
7.) GYPSUM WALLBOARD INSTALLED AS A BACKING IN SHOWERS, TUB AREAS, LAUNDRY SPACES AND OTHER WET AREAS TO TYPE W.R. IDENTIFIED AND REFERRED TO AS "GREEN BOARD" OR EQUIVALENT.
8.) ALL EXTERIOR AND INTERIOR GLASS GLAZING TO COMPLY WITH LOCAL CODES.

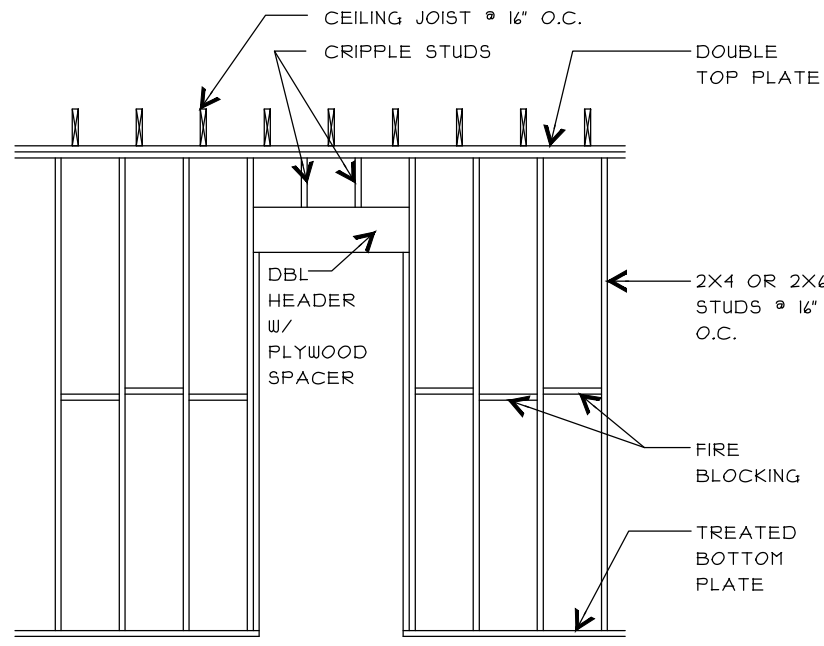


NOTE:
1. VERIFY ALL WINDOWS SIZES WITH MANUFACTURER FOR ALL FRAMING AND ROUGH OPENING DIMENSIONS.
2. FINAL MULLION DESIGN TO BE BY OWNER.

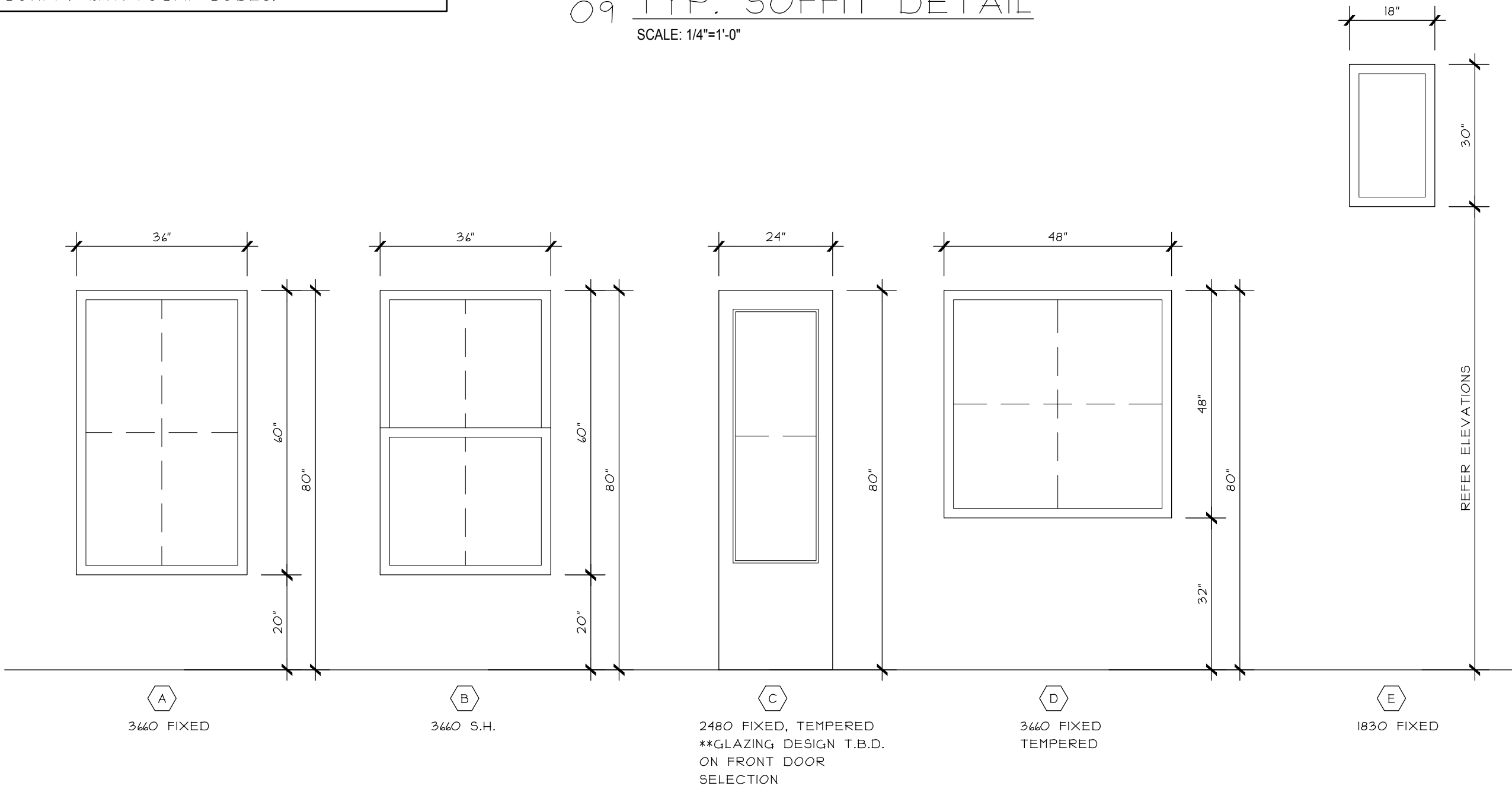
SQUARE FOOTAGE	AREAS
1989	FLOOR PLAN
439	2-CAR GARAGE
741	COVERED PORCH
97	COVERED PATIO
3266	TOTAL UNDER ROOF



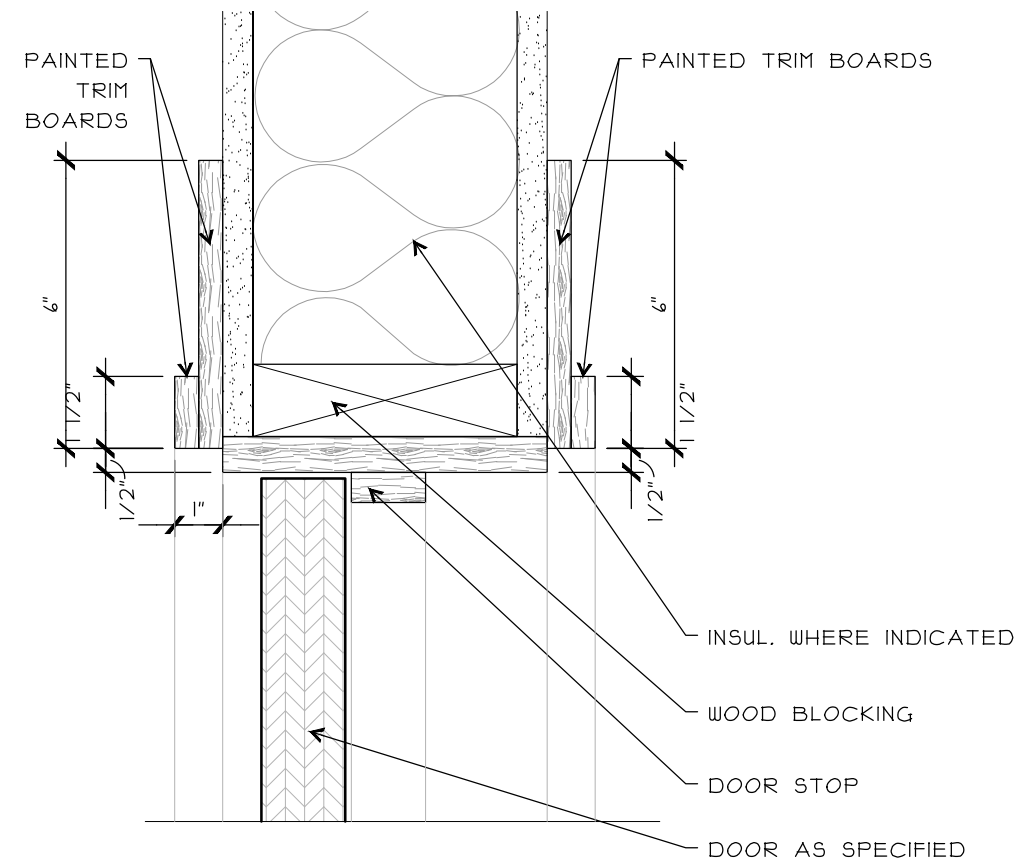
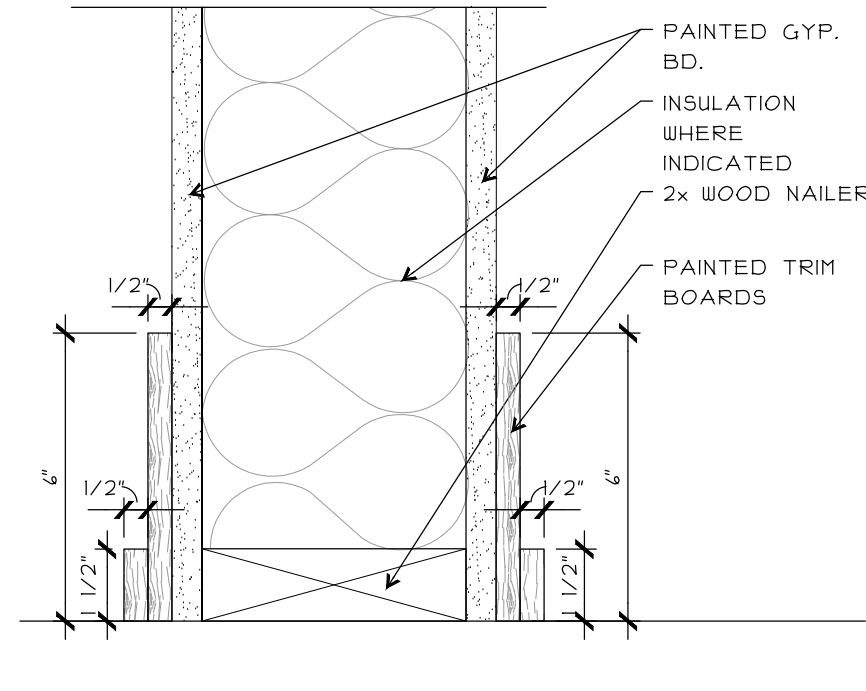
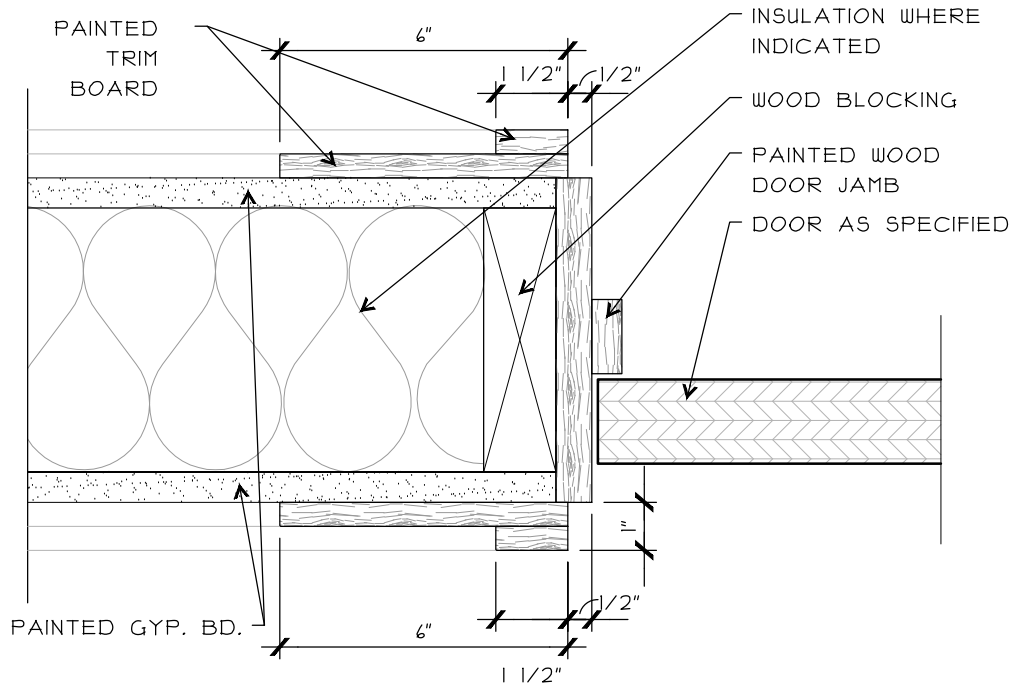
TYP. WINDOW
08 FRAMING DIAGRAM
SCALE: 1/4"=1'-0"



TYP. DOOR
01 FRAMING DIAGRAM
SCALE: 1/4"=1'-0"

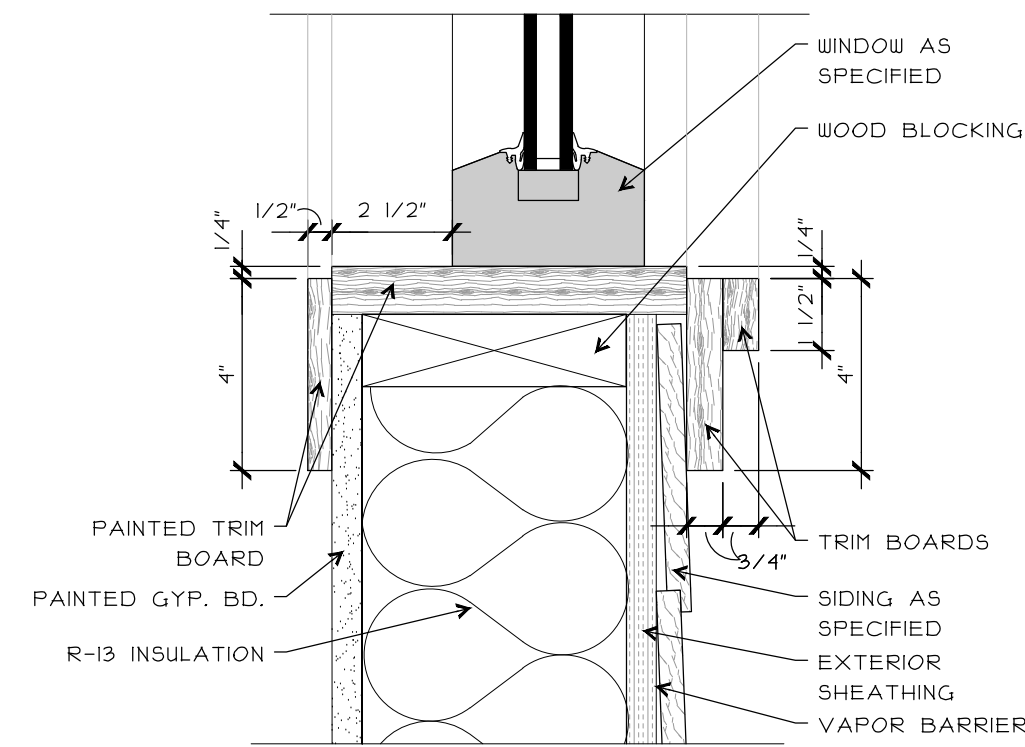


WINDOW TYPES

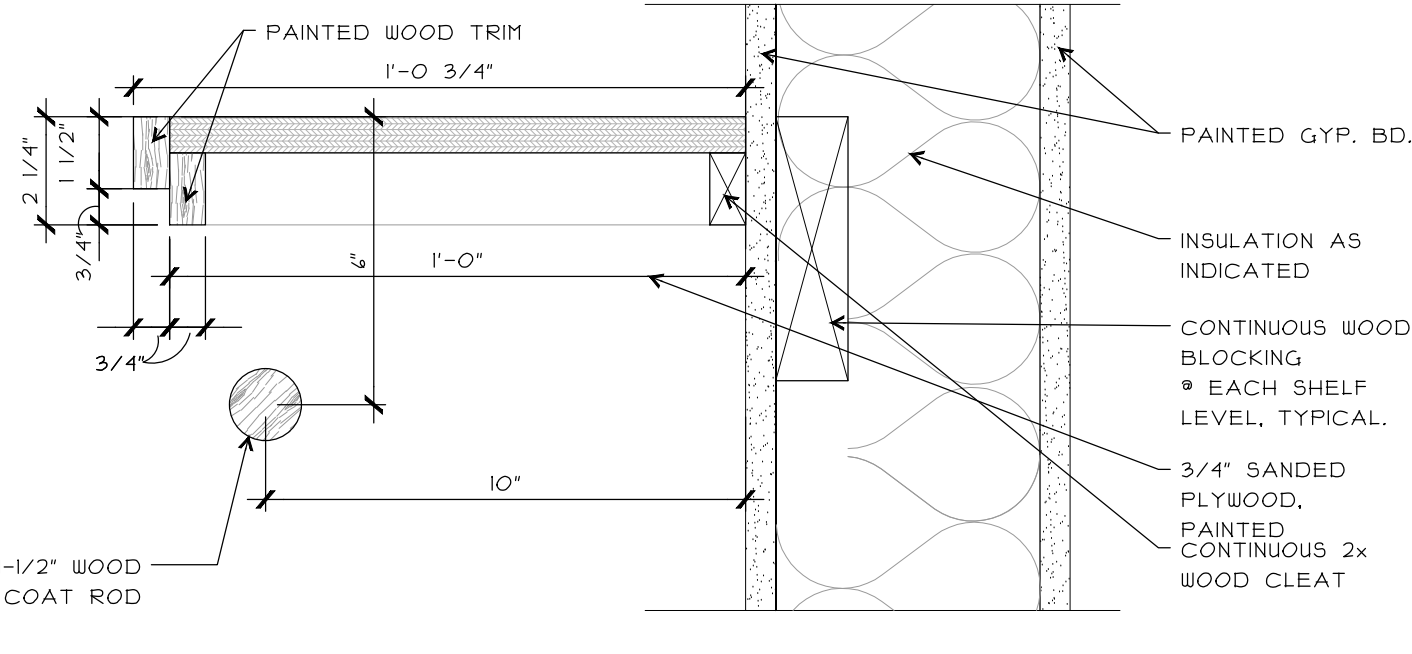


04 DOOR HEAD DETAIL
SCALE: 3/8"=1'-0"

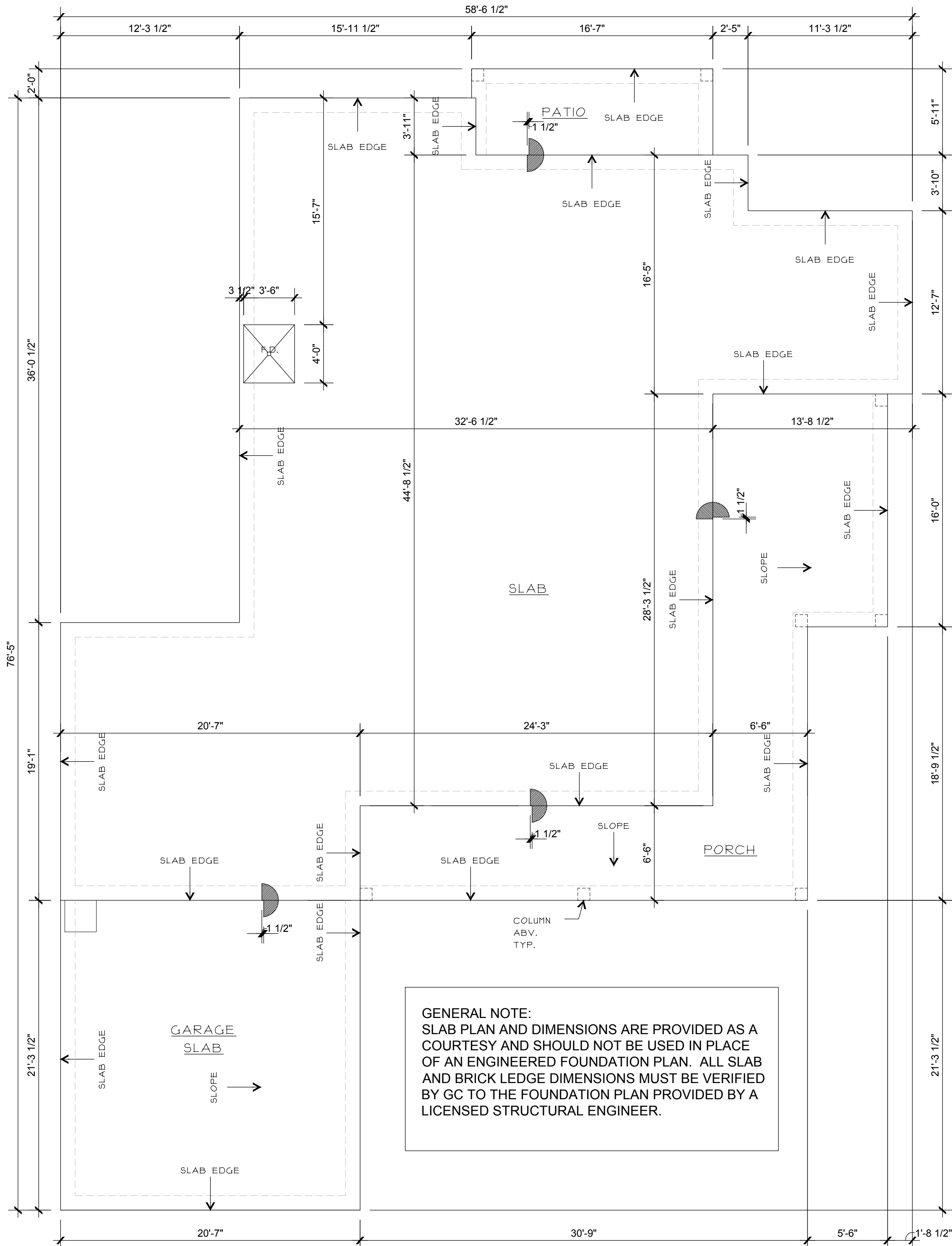
TYPICAL DETAILS



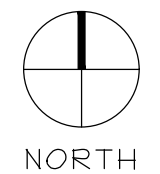
03 WINDOW SILL
SCALE: 3/8"=1'-0"



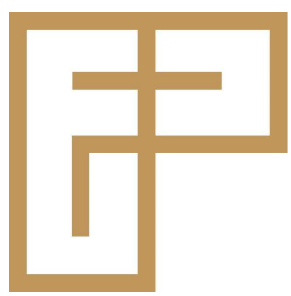
02 TYPICAL SHELF DETAIL
SCALE: 3/8"=1'-0"



GENERAL NOTE:
SLAB PLAN AND DIMENSIONS ARE PROVIDED AS A COURTESY AND SHOULD NOT BE USED IN PLACE OF AN ENGINEERED FOUNDATION PLAN. ALL SLAB AND BRICK LEDGE DIMENSIONS MUST BE VERIFIED BY GC TO THE FOUNDATION PLAN PROVIDED BY A LICENSED STRUCTURAL ENGINEER.



01 ARCHITECTURAL SLAB PLAN
SCALE: 3/16"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE	DESCRIPTION
ISSUE	
05/11/22	FOR PERMIT

REVISION LOG

DATE	DESCRIPTION	REV
ISSUE		NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-514-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

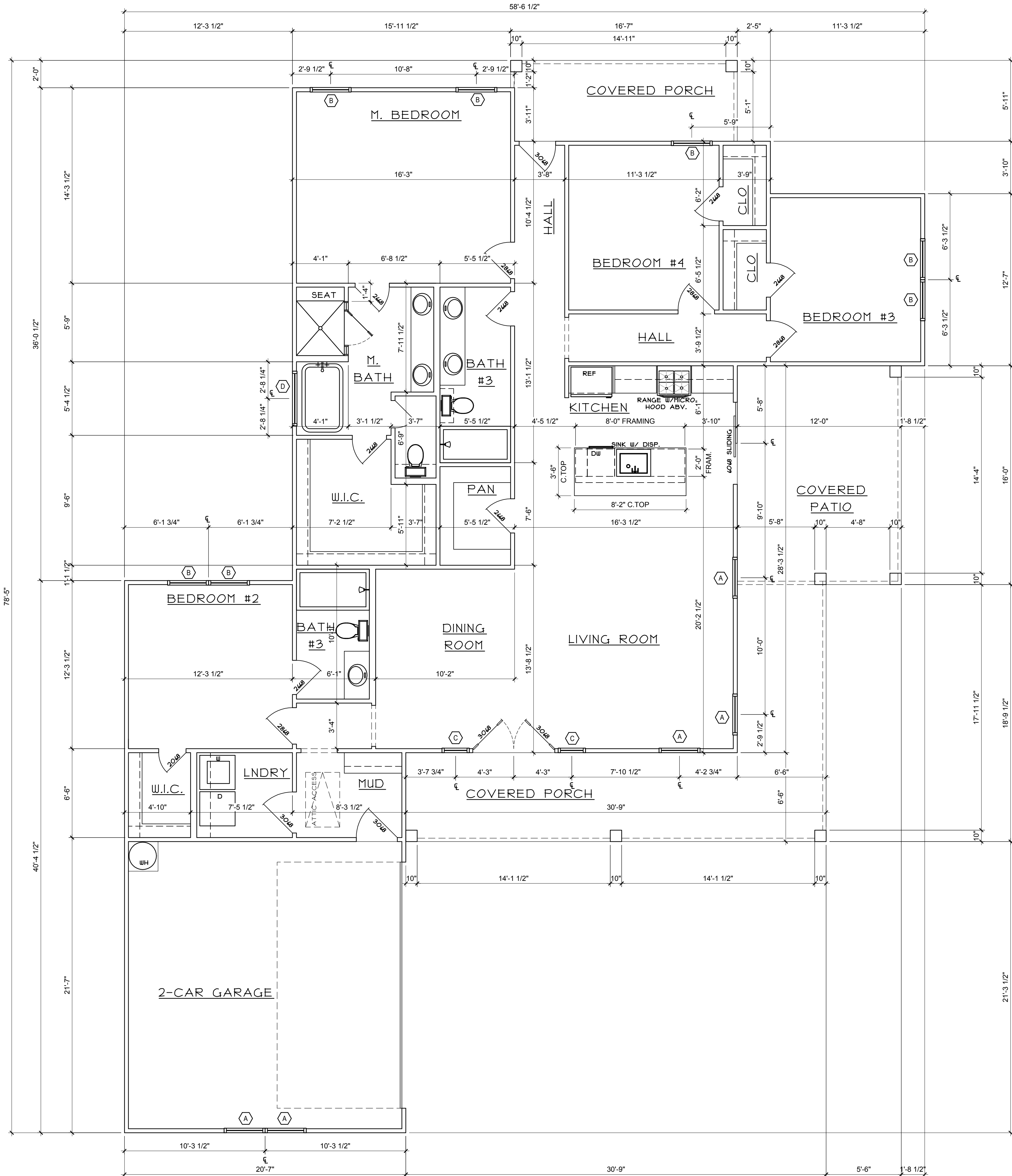
ARCH. PROJ. #:
21502

SCALE:
REF. DRAWING

SHEET NO.

A3.1

NOTES, DETAILS
SCHEDULE, SLAB PLAN



01

FLOOR PLAN

SCALE: 1/4"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-514-9452
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

A3.2

FLOOR PLAN



11 BOURN S
ROCKWALL,
TEXAS 75087

ISSUE LOG

[illegible]

REVISION LOG

[illegible]**ISSUED FOR:**

- PRELIMINARY -
BIDDING / PERMIT
REVISION
FOR CONSTRUCTION**



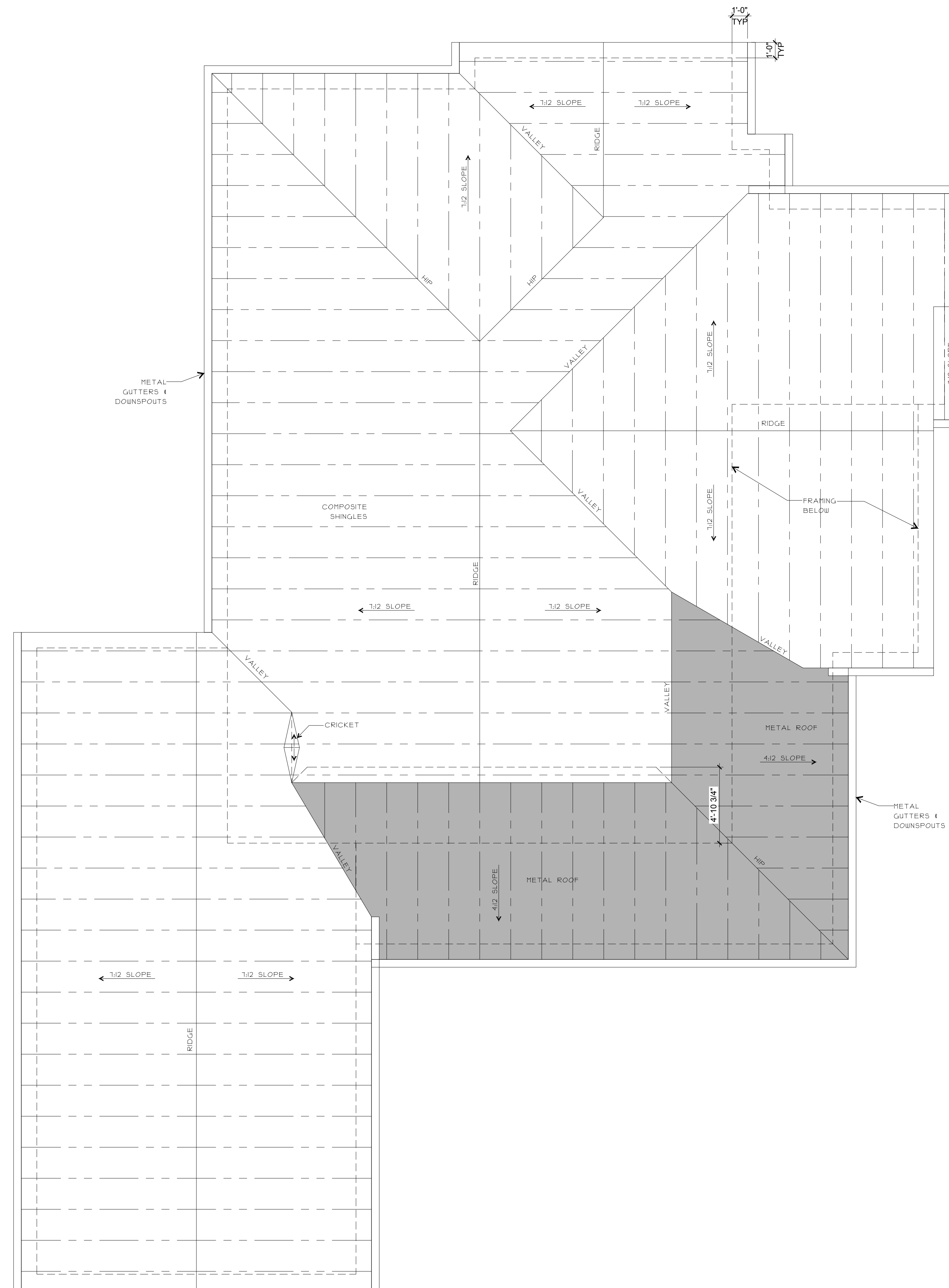
CONTRACTOR: JAVIER S.
support@jmscustomhome
972-814-
DESIGNER: PATRA PHILLIPS
patra@fanningphillips
214-284-

CH. PROJ. #:	SCALE
21502	REF. DRAW

SHEET NO.

A4.1

ROOF PLAN



FRAMING AND LUMBER NOTES:

- 1.) ALL SAW LUMBER SHALL BEAR STAMP OF WWPA OR APPROVED TESTING AGENCY
- 2.) ROOF JOIST, FLOOR JOIST, LEDGERS AND PLATES TO BE DOUGLAS FIR #2 OR BETTER
- 3.) ALL STUDS TO DOUGLAS FIR STUD GRADE OR APPROVED EQUIVALENT
- 4.) ROOF PLYWOOD SHEATHING TO $\frac{5}{8}$ " STANDARD 5-PLY WITH EXTERIOR GLUE WITH STAMP OF APPROVED TESTING AGENCY OR AS NOTED ON TYPICAL WALL SHEET
- 5.) BEARING CONNECTIONS OR BE SIMPSON OR EQUIVALENT
- 6.) ALL FRAMING STUD WALLS TO BE 2X6 AT 16" O.C. UNLESS NOTED OTHERWISE.
- 7.) ALL BEARING PARTITIONS SHALL HAVE DOUBLE TOP PLATES
- 8.) ALL INTERIOR HEADERS TO BE (2)2X12'S UNLESS NOTED OTHERWISE
- 9.) ALL EXTERIOR HEADERS TO BE (3)2X12'S UNLESS NOTED OTHERWISE
- 10.) CUTTING, NOTCHING, AND DRILLING OF WOOD MEMBERS SHALL COMPLY TO THE UNIFORM BUILDING CODE AND LOCAL AND STATE BUILDING CODES
- 11.) ALL CONVENTIONAL FRAMING SHALL COMPLY TO ALL LOCAL CODES
- 12.) ROOF TRUSSES TO BE MANUFACTURED BY AN APPROVED FABRICATOR
- 13.) ALL LUMBER SHALL BE F=1400 KILN DRIED SOUTHERN PINE, DOUGLAS FIR, OR HEMLOCK
- 14.) ALL EXTERIOR DOORS SHALL BE $\frac{13}{16}$ " THICK SOLID CORE $\frac{1}{2}$ " PR. BUTTS OR METAL INSULATION AS SHOWN ON DRAWINGS

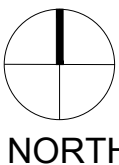
ALL HEADERS SHALL BE (3) 2X12 EXTERIOR & INTERIOR BEARING WALLS UNLESS NOTED OTHERWISE.
MIN.-1-JACK STUD EA. SIDE OF OPG. TO 6' WIDE
MIN.-2-JACK STUD EA. SIDE OF OPG. TO 8' WIDE
MIN.-3 JACK STUD EA. SIDE OF OPG. TO 12' WIDE
ALL HEADERS (ANY SIZE) SHALL BE 1/2" PLYWOOD FILLERS. GLUE & NAILED W/ 16D NAILS

ROOF CONSTRUCTION NOTES:

1. ROOF OVERHANG TO BE 12" U.N.O.
2. ROOF PITCH TO BE 12:12 U.N.O.
3. PROVIDE ATTIC VENTS AS SPECIFIED IN WALL SECTIONS IF APPLICABLE.
4. TIE ROOF TRUSSES OR RAFTER TO INTERIOR PARTITIONS WITH METAL CLIPS, TIES OR STRAPS AS SPECIFIED IN BRACING SCHEDULE, ABOVE.
5. FIRST SHEET OF PLYWOOD ALONG EAVES TO BE GLUED AND NAILING AS DESCRIBED IN SHEATHING MANUAL SCHEDULE ABOVE.
6. TRUSS DESIGNS REQUIRE THE SIGNATURE AND SEAL OF A STATE CERTIFIED ENGINEER.
7. PROVIDE ALL REQUIRED TRUSS BRACING AS SPECIFIED ON ENGINEERED TRUSS PLAN.

01 ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



NORTH

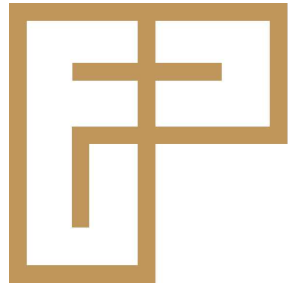


FRONT ELEVATION

NEW RESIDENCE

511 BOURN STREET
ROCKWALL, TX 75087

SHEET INDEX		DATE	REV	DATE
A-1.0	COVER SHEET	05/11/22		
A-2.1	ARCHITECTURAL SITE PLAN	05/11/22		
A-3.1	NOTES, DETAILS, SCHEDULES & SLAB PLAN	05/11/22		
A-3.2	FLOOR PLAN	05/11/22		
A-4.1	ROOF PLAN	05/11/22		
A-5.1	ELEVATIONS	05/11/22		
A-5.2	ELEVATIONS	05/11/22		
A-6.1	POWER PLAN	05/11/22		



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
- ☒ BIDDING / PERMIT
- ☐ REVISION
- ☐ FOR CONSTRUCTION

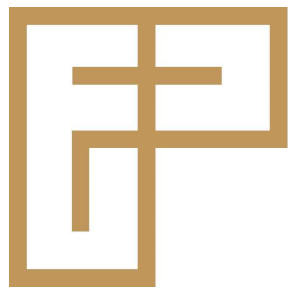


OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

SHEET NO.

A1.0
COVER SHEET



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

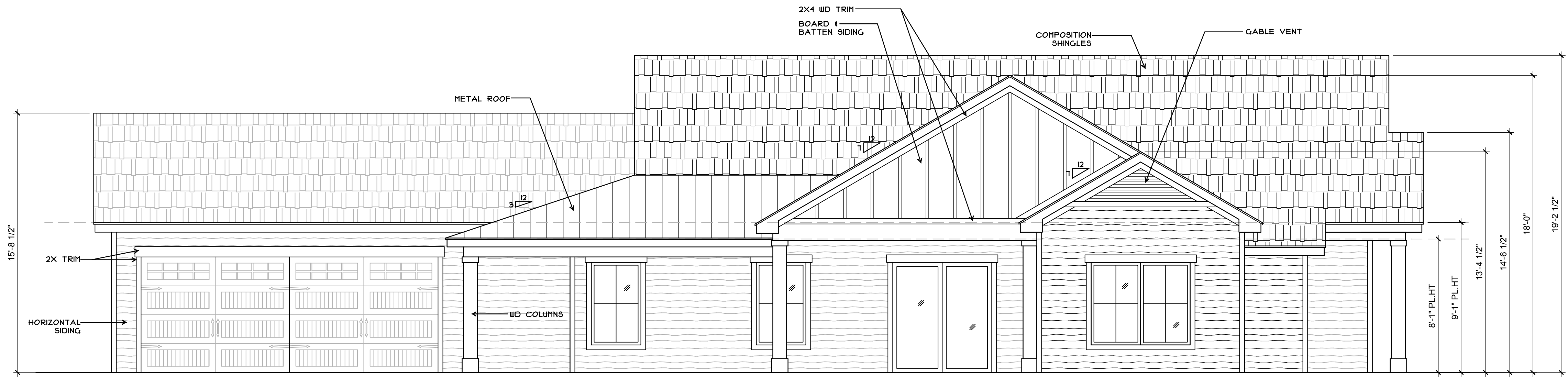
ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

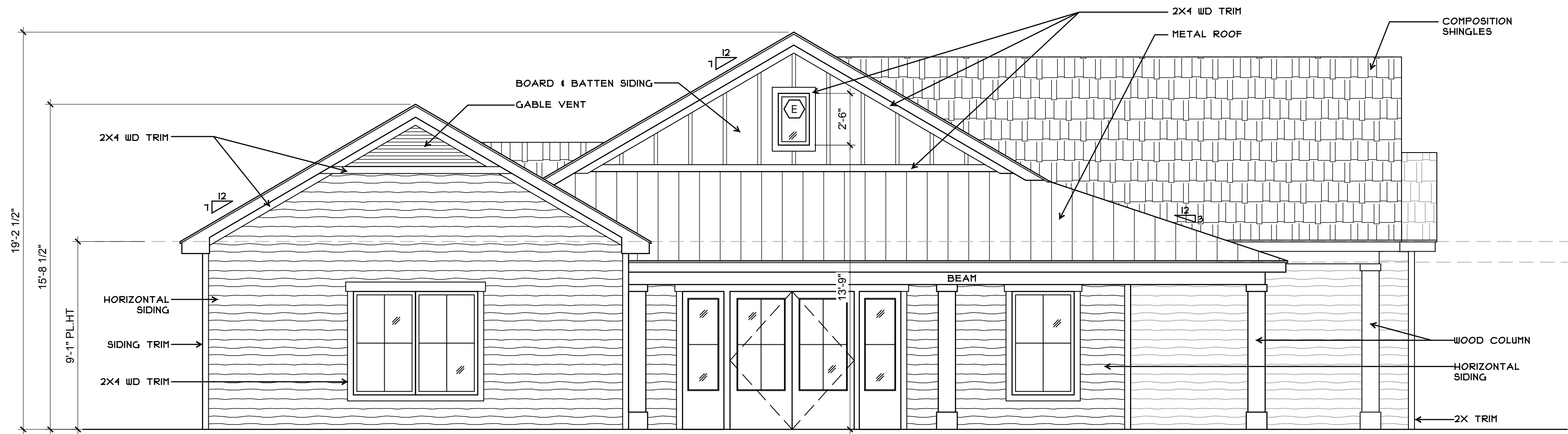
A5.1

ELEVATIONS



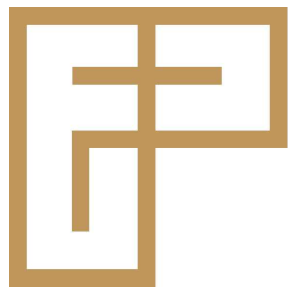
02 EAST ELEVATION

SCALE: 1/4"=1'-0"



01 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



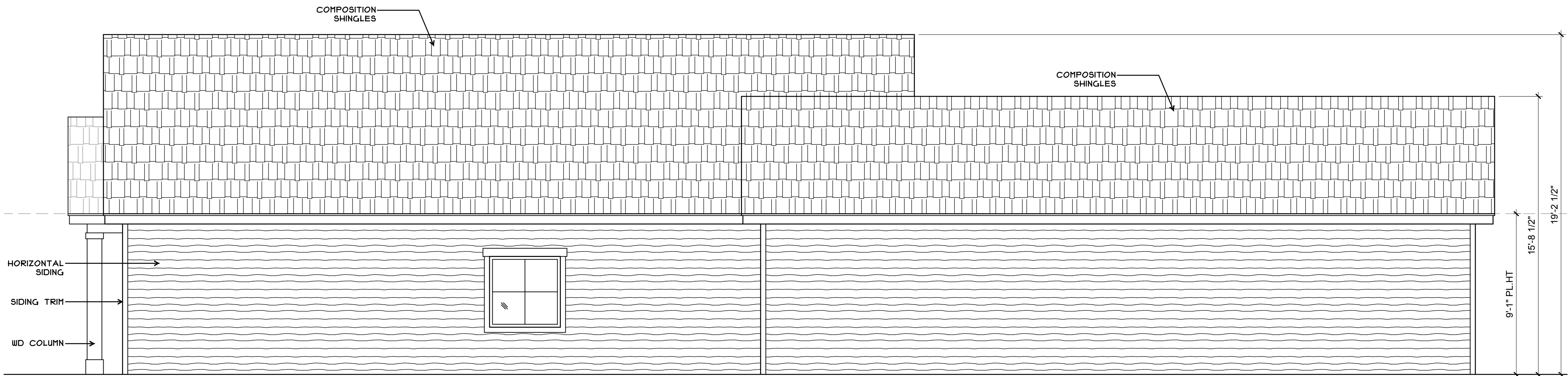
OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

SHEET NO.

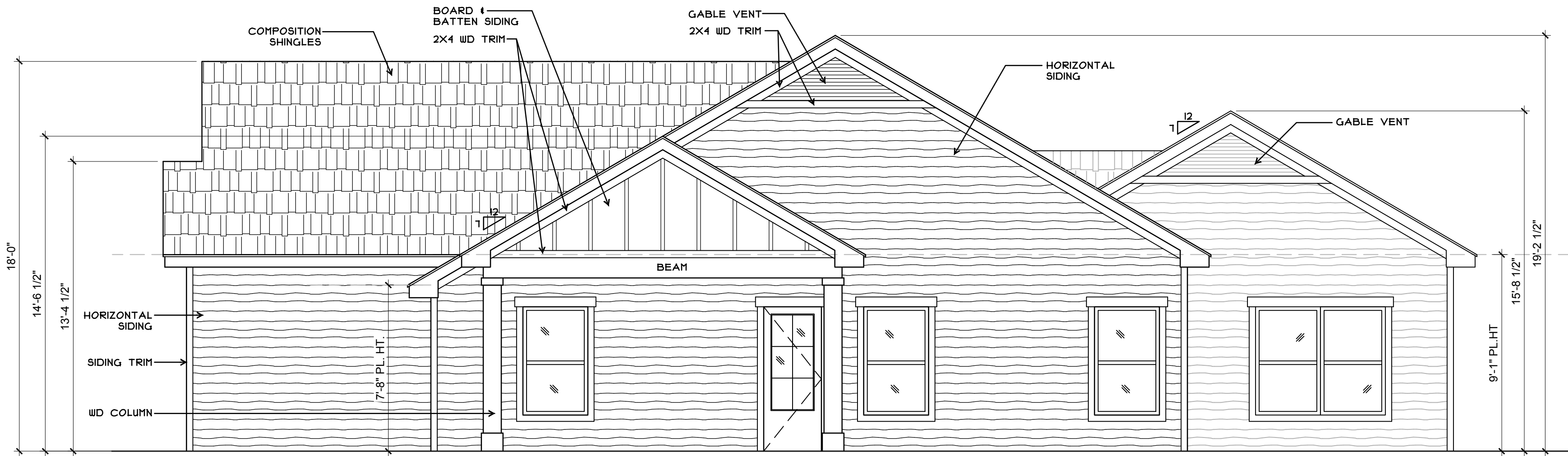
A5.2

ELEVATIONS



02 WEST ELEVATION

SCALE: 1/4"=1'-0"



01 NORTH ELEVATION

SCALE: 1/4"=1'-0"

215 # 219.30



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
☐ AMENDING OR MINOR PLAT (\$150.00)
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 Bourn St Rockwall TX 75087

SUBDIVISION LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE 0.240

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]☒ OWNER Javier Silva☐ APPLICANT Javier Silva

CONTACT PERSON Javier Silva

CONTACT PERSON Javier Silva

ADDRESS 511 Bourn St.

ADDRESS 58. Windsor Rockwall TX 75082

CITY, STATE & ZIP Rockwall TX 75087

CITY, STATE & ZIP

PHONE 972-814 9462

PHONE 9

E-MAIL support@JMS Custom Homes.net

E-MAIL support@JMS Custom Homes.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Javier Silva [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

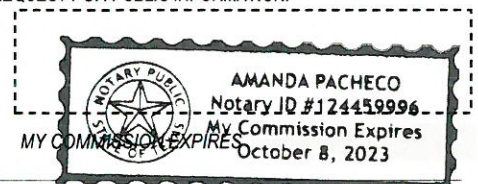
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

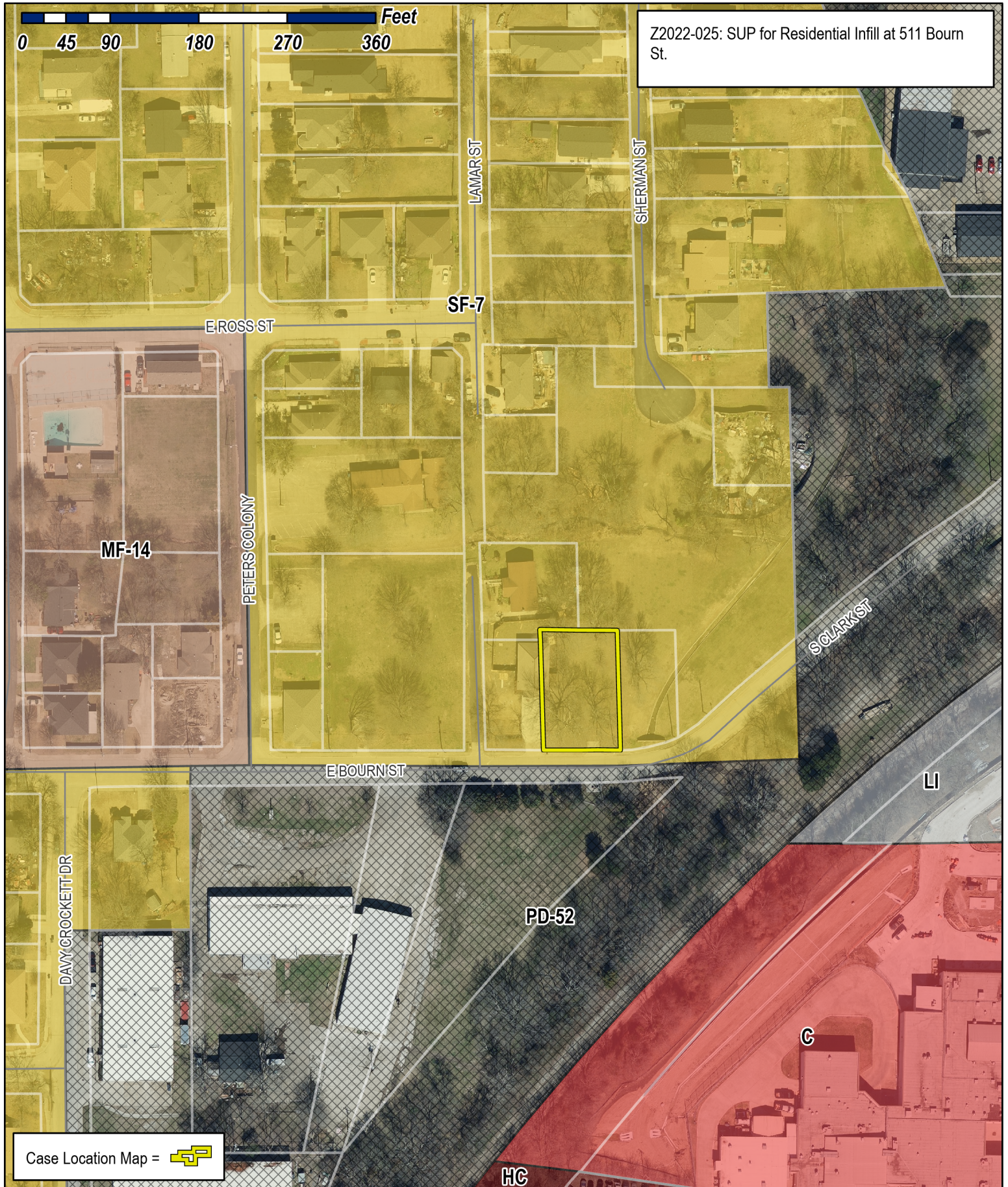
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20 DAY OF May, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]
Amanda Pacheco





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

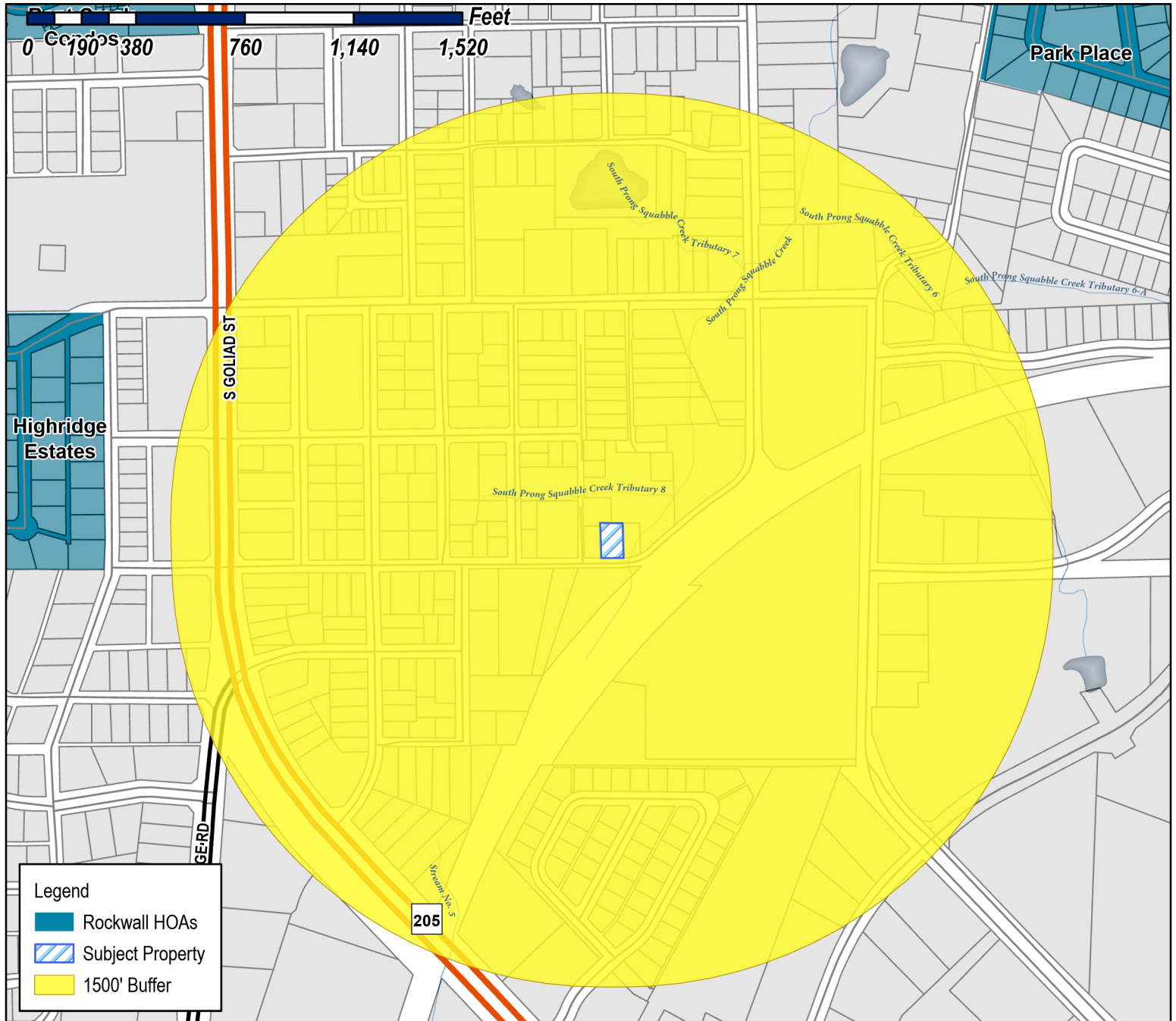




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

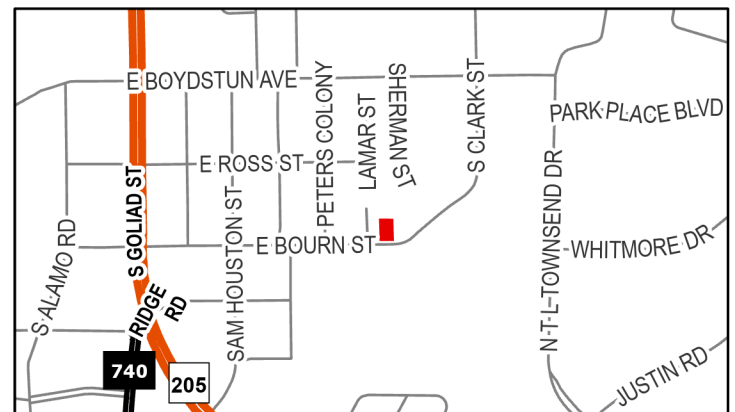
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single Family 7 (SF-7) District
Case Address: 511 Bourn St.

Date Saved: 5/20/2022

For Questions on this Case Call (972) 771-7745

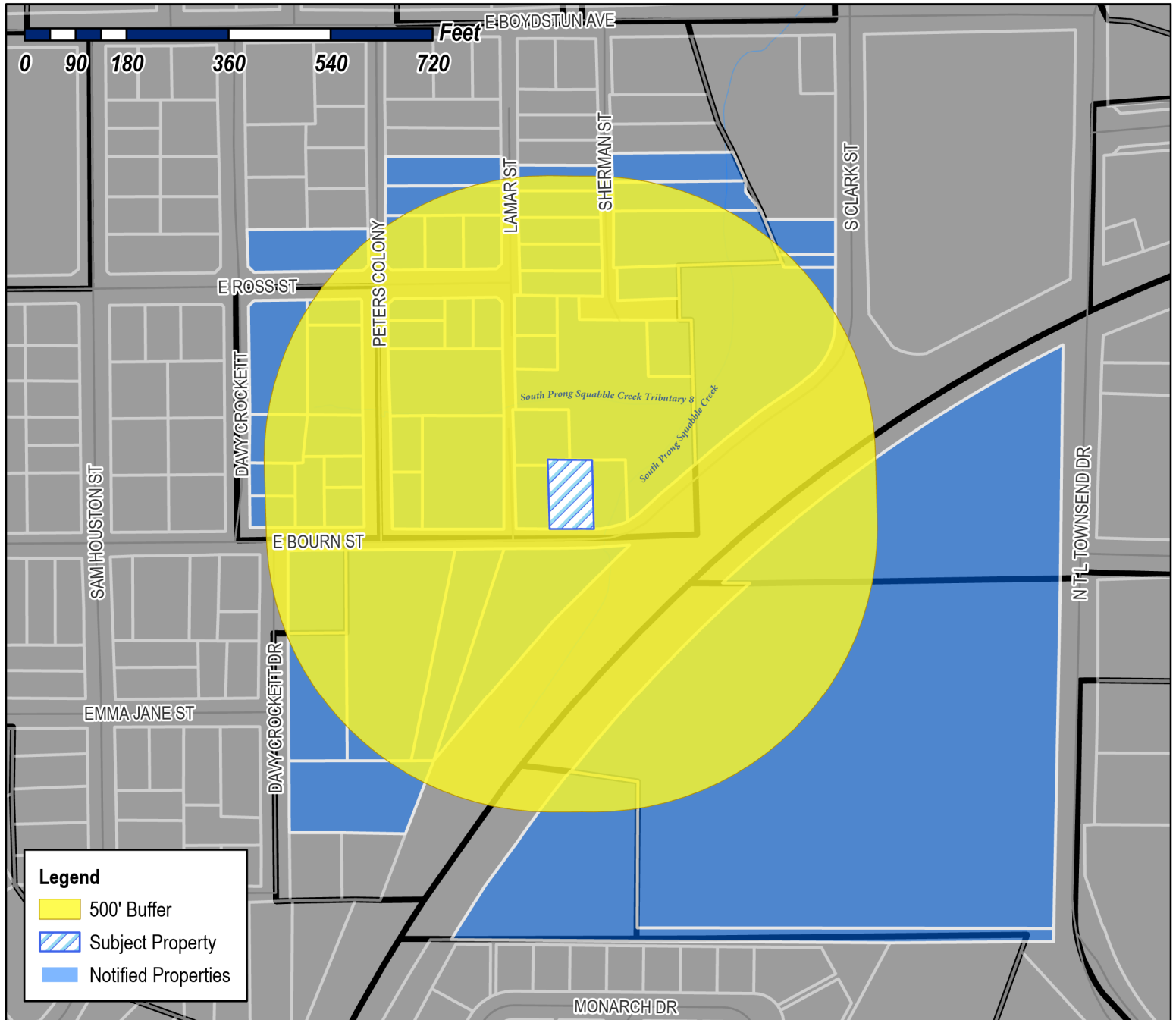




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

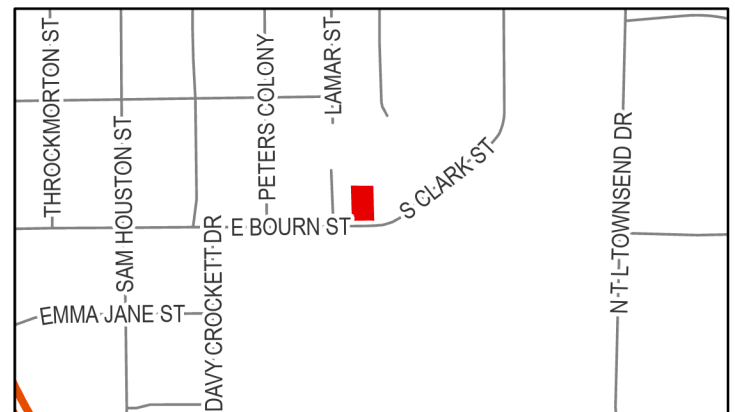
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single Family 7 (SF-7) District
Case Address: 511 Bourn St.

Date Saved: 5/20/2022

For Questions on this Case Call (972) 771-7745



ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75032

JOHNSON SCOTT
709 STILLWATER DR
ROCKWALL, TX 75087

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

HALL WILLA O
815 DAVY CROCKETT ST
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND
JOSEPH FABIAN PEREZ
604 ROSS STREET
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

CONLON MICHAEL SHAWN
708 SHERMAN ST
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

JPH ROCKWALL LLC
901 DAVY CROCKETT STREET
ROCKWALL, TX 75087

WALTER MARY
408 E BOURN ST
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
900 DAVY CROCKETT
ROCKWALL, TX 75087

BARRON BLAKELEIGH
811 DAVY CROCKETT ST
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

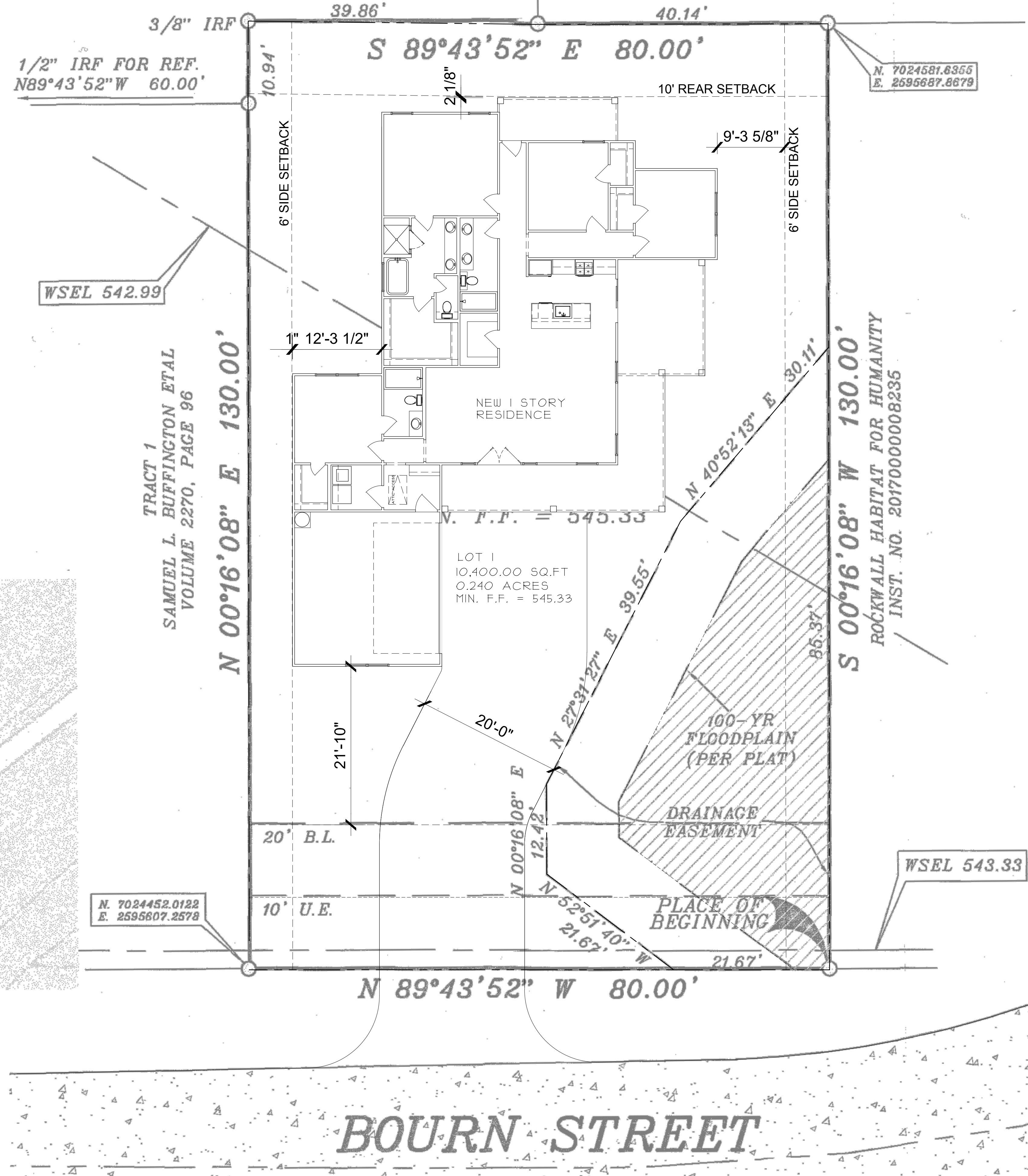
POTTS DANNY & VONDA
1100 T L TOWNSEND DR
ROCKWALL, TX 75087

ROCKWALL COUNTY
C/O COUNTY TREASURER
101 E RUSK ST SUITE 101
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

LOT 2, BLOCK 1
SAMUEL BUFFINGTON ADDITION
CABINET A, SLIDE 225

ROCKWALL HABITAT FOR HUMANITY
INST. NO. 20170000008236



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG	
DATE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG		
DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

☐ PRELIMINARY -

☒ BIDDING / PERMIT

☐ REVISION

☐ FOR CONSTRUCTION



OWNER: JAVIER SILVA
CONTRACTOR: support@mscustomhomes.net
DESIGNER: PATRA PHILIPS

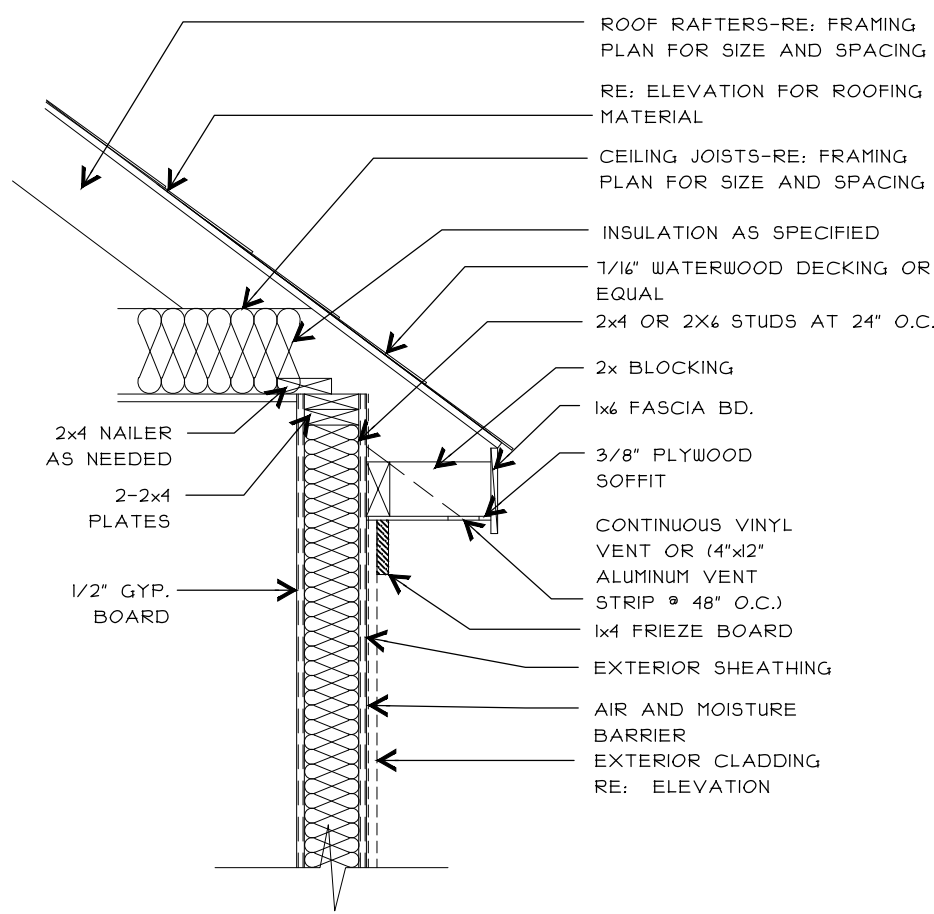
ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

SHEET NO.

A2.1

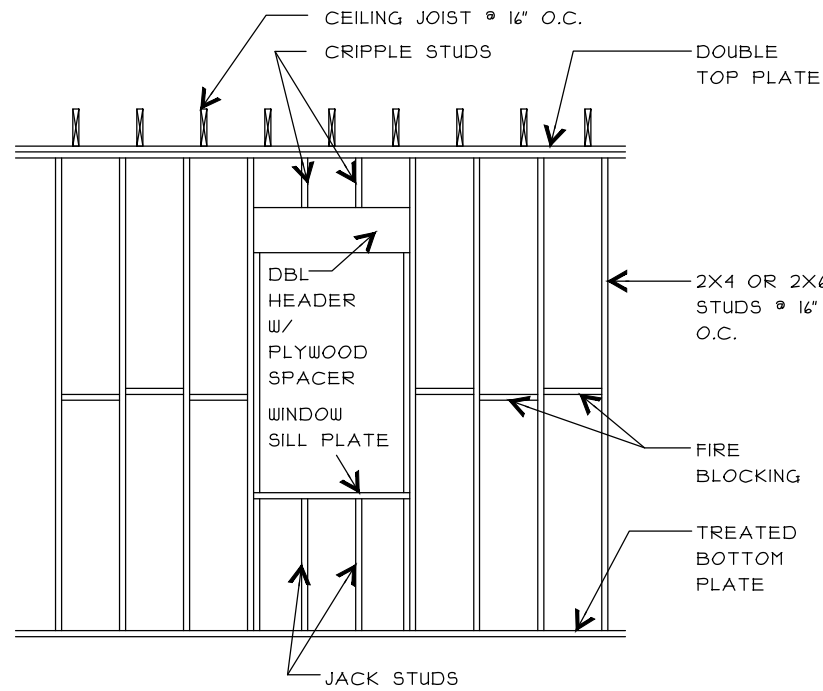
ARCHITECTURAL
SITE PLAN

GENERAL NOTES:
1.) COMPLY WITH ALL STATE AND LOCAL BUILDING CODES, ORDINANCES REGULATIONS CONCERNING AND PERTAINING TO CONSTRUCTION
2.) CONNECT ALL WATER, GAS, ELECTRIC, ETC., TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES.
3.) PROVIDE TERMITE PROTECTION OVER COMPACTED OR GRANULAR FILL CODE.
4.) ALL FOOTINGS ARE TO EXTEND 12" BELOW GRADE MINIMUM PER LOCAL CODE.
5.) PROVIDE VENTILATION EQUAL TO 1 SQ. FT. PER. 150 SQ. FT. OF ATTIC OR PER LOCAL CODES.
6.) 1/2" MIN. DRYWALL THROUGHOUT, 5/8" TYPE "X" AT GARAGE CEILING AT WALLS COMMON TO LIVING AREAS AND ENCLOSED SPACES OR PER PLANS.
7.) GYPSUM WALLBOARD INSTALLED AS A BACKING IN SHOWERS, TUB AREAS, LAUNDRY SPACES AND OTHER WET AREAS TO TYPE W.R. IDENTIFIED AND REFERRED TO AS "GREEN BOARD" OR EQUIVALENT.
8.) ALL EXTERIOR AND INTERIOR GLASS GLAZING TO COMPLY WITH LOCAL CODES.

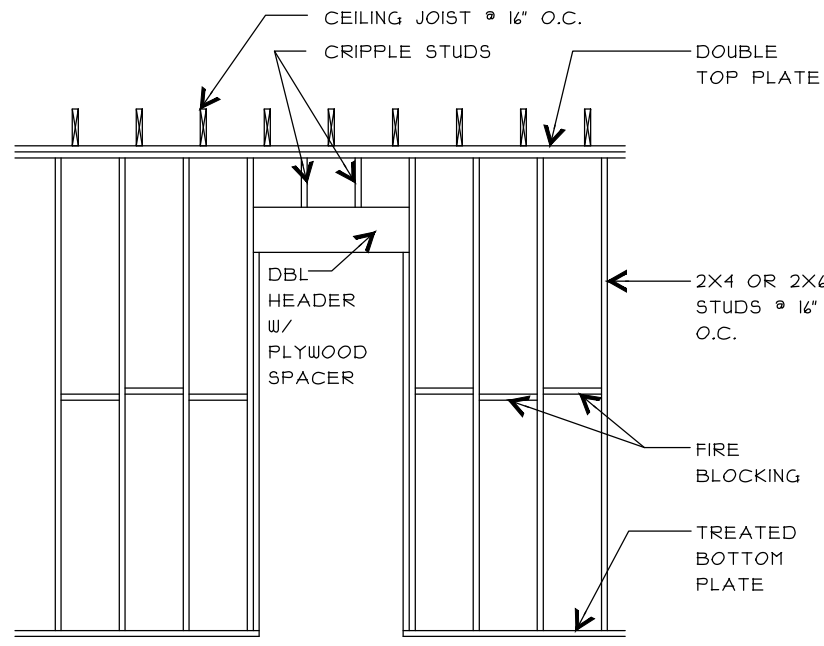


NOTE:
1. VERIFY ALL WINDOWS SIZES WITH MANUFACTURER FOR ALL FRAMING AND ROUGH OPENING DIMENSIONS.
2. FINAL MULLION DESIGN TO BE BY OWNER.

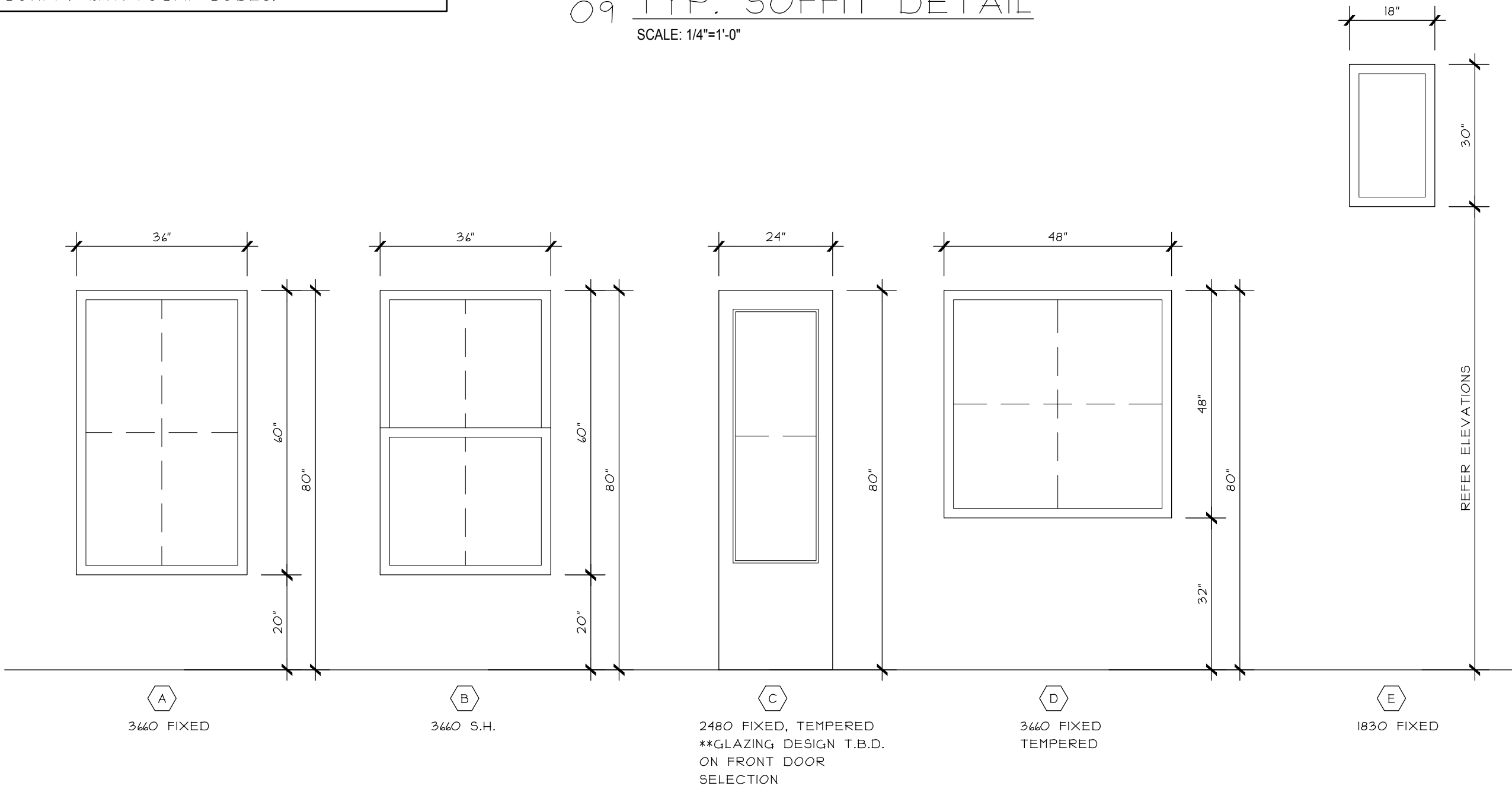
SQUARE FOOTAGE	AREAS
1989	FLOOR PLAN
439	2-CAR GARAGE
741	COVERED PORCH
97	COVERED PATIO
3266	TOTAL UNDER ROOF



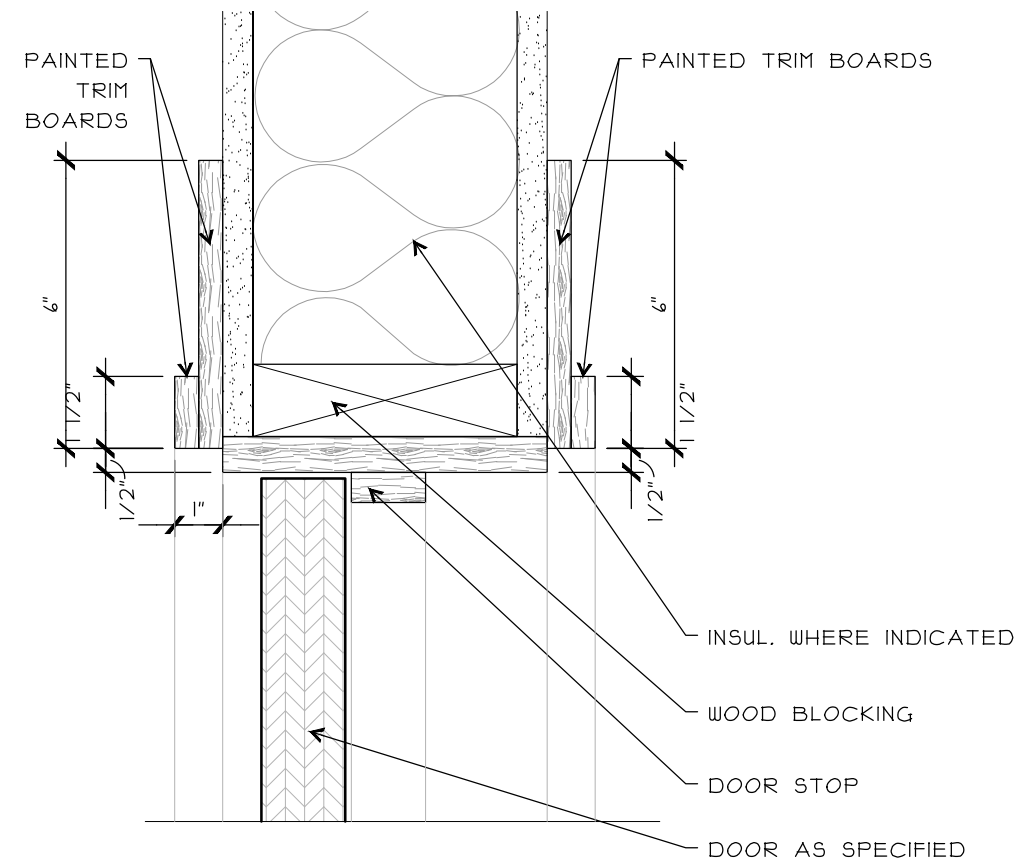
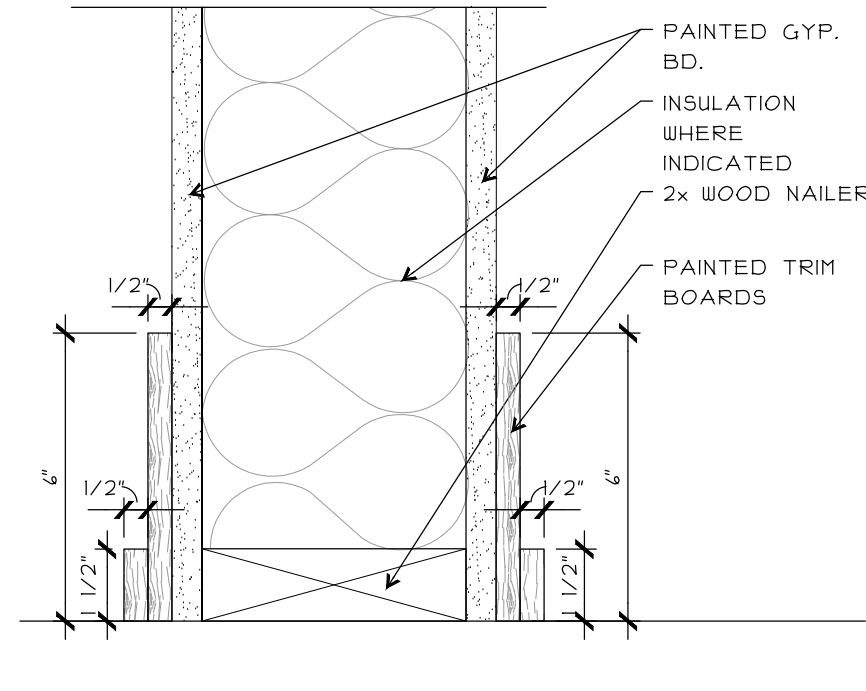
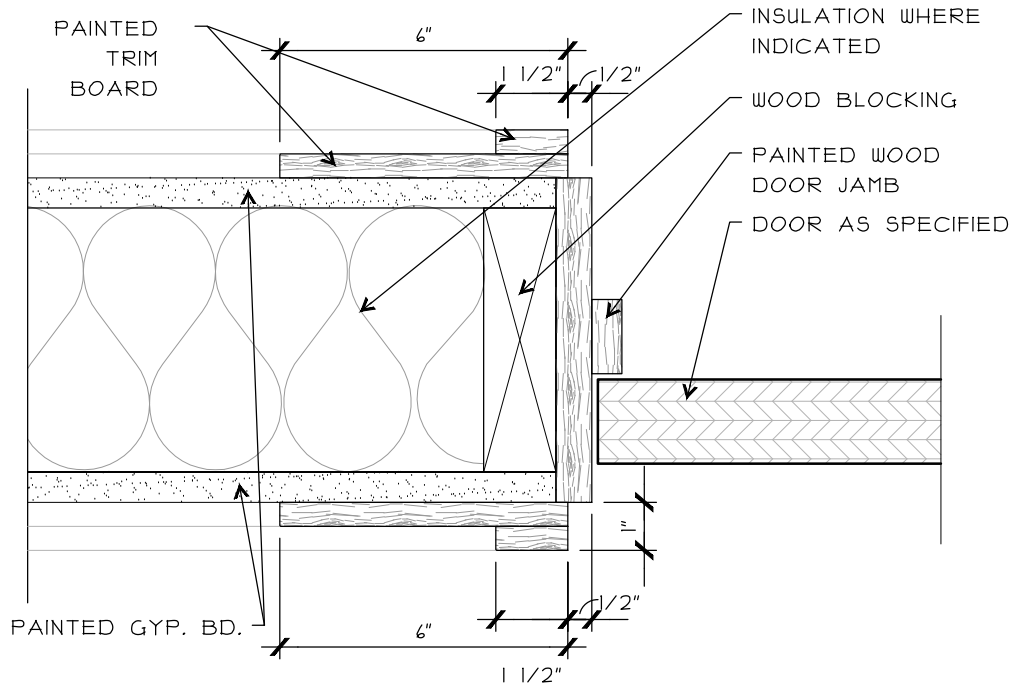
TYP. WINDOW
08 FRAMING DIAGRAM
SCALE: 1/4"=1'-0"



TYP. DOOR
01 FRAMING DIAGRAM
SCALE: 1/4"=1'-0"

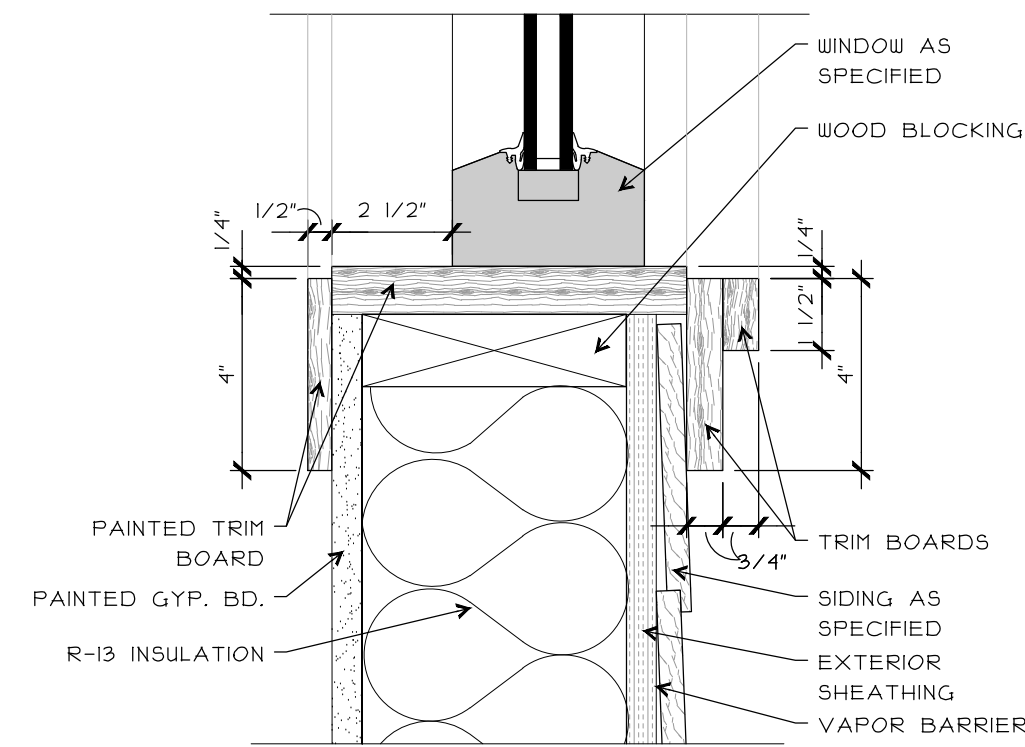


WINDOW TYPES

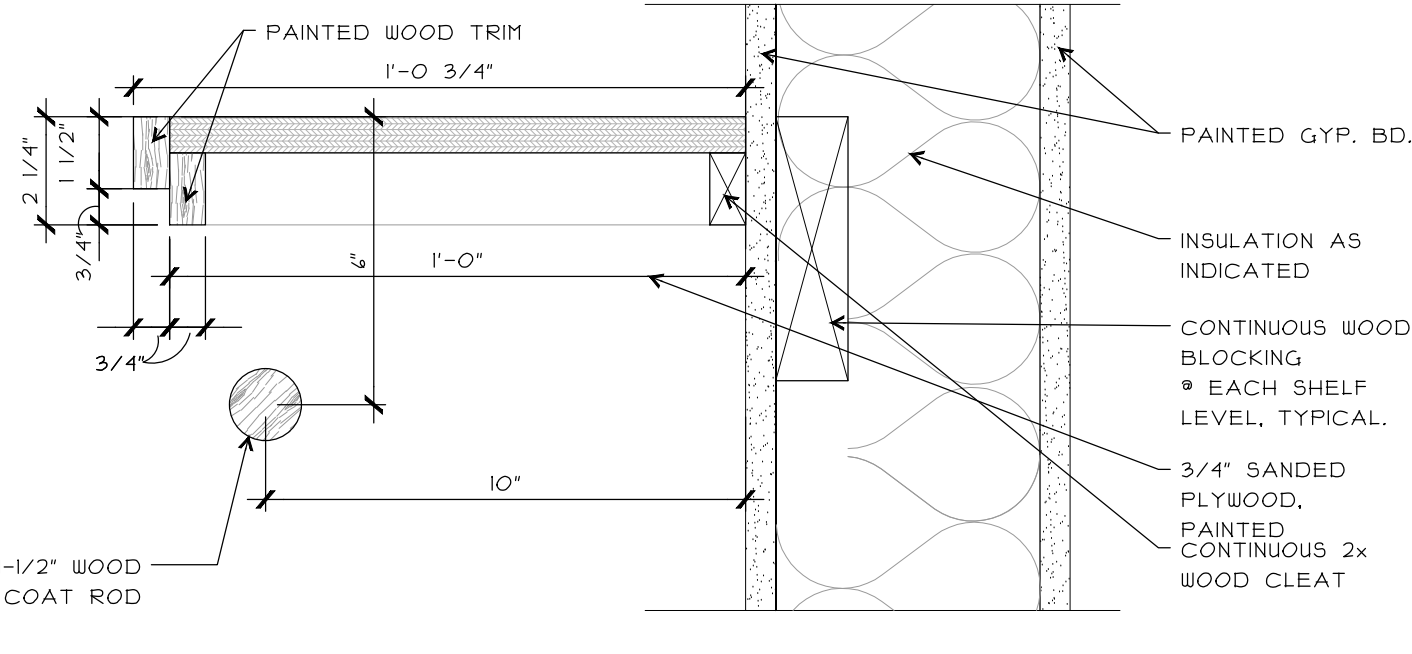


04 DOOR HEAD DETAIL
SCALE: 3/4"=1'-0"

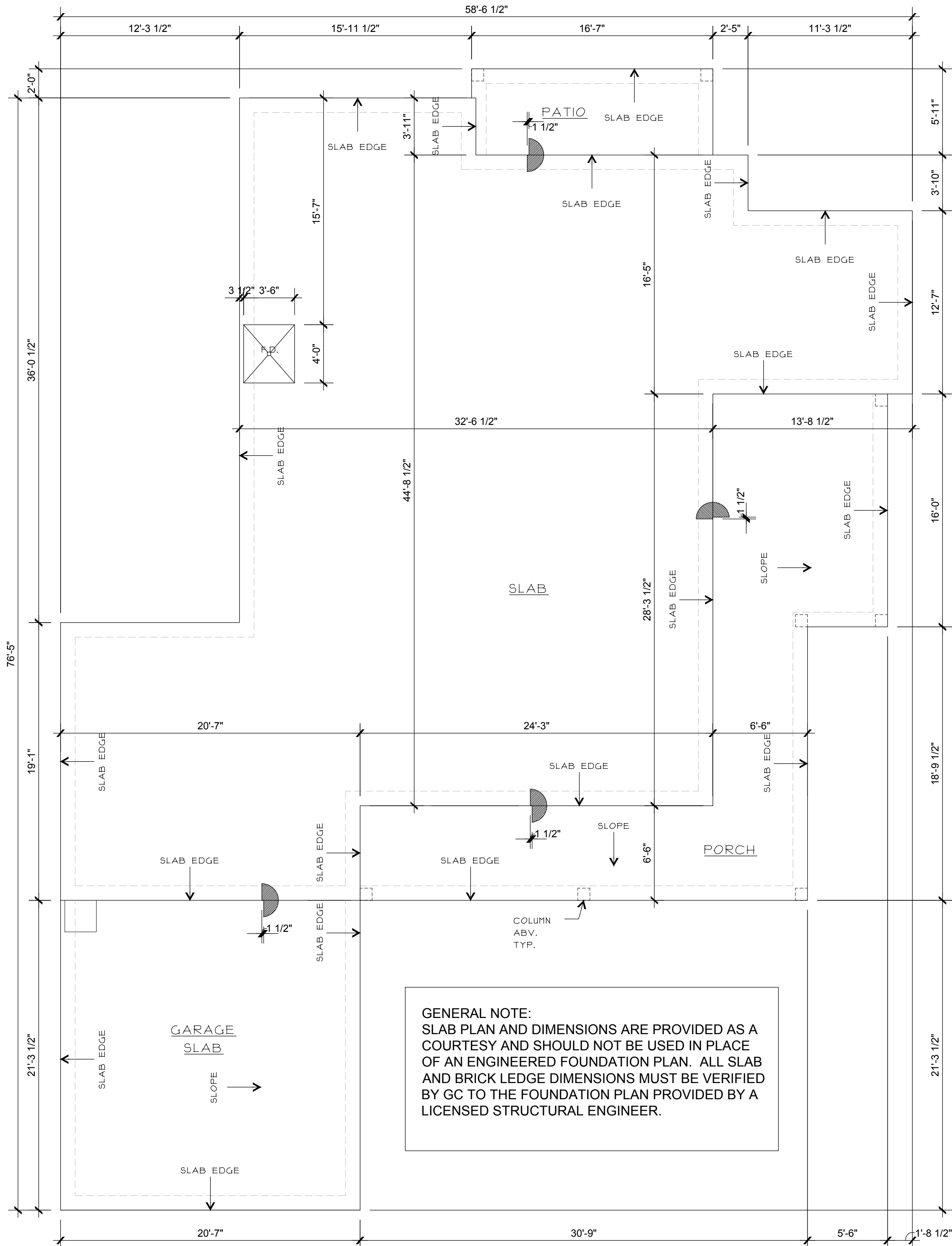
TYPICAL DETAILS



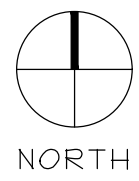
03 WINDOW SILL
SCALE: 3/4"=1'-0"



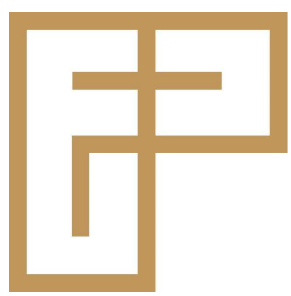
02 TYPICAL SHELF DETAIL
SCALE: 3/4"=1'-0"



GENERAL NOTE:
SLAB PLAN AND DIMENSIONS ARE PROVIDED AS A COURTESY AND SHOULD NOT BE USED IN PLACE OF AN ENGINEERED FOUNDATION PLAN. ALL SLAB AND BRICK LEDGE DIMENSIONS MUST BE VERIFIED BY GC TO THE FOUNDATION PLAN PROVIDED BY A LICENSED STRUCTURAL ENGINEER.



01 ARCHITECTURAL SLAB PLAN
SCALE: 3/16"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE	DESCRIPTION
ISSUE	
05/11/22	FOR PERMIT

REVISION LOG

DATE	DESCRIPTION	REV
ISSUE		NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-514-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

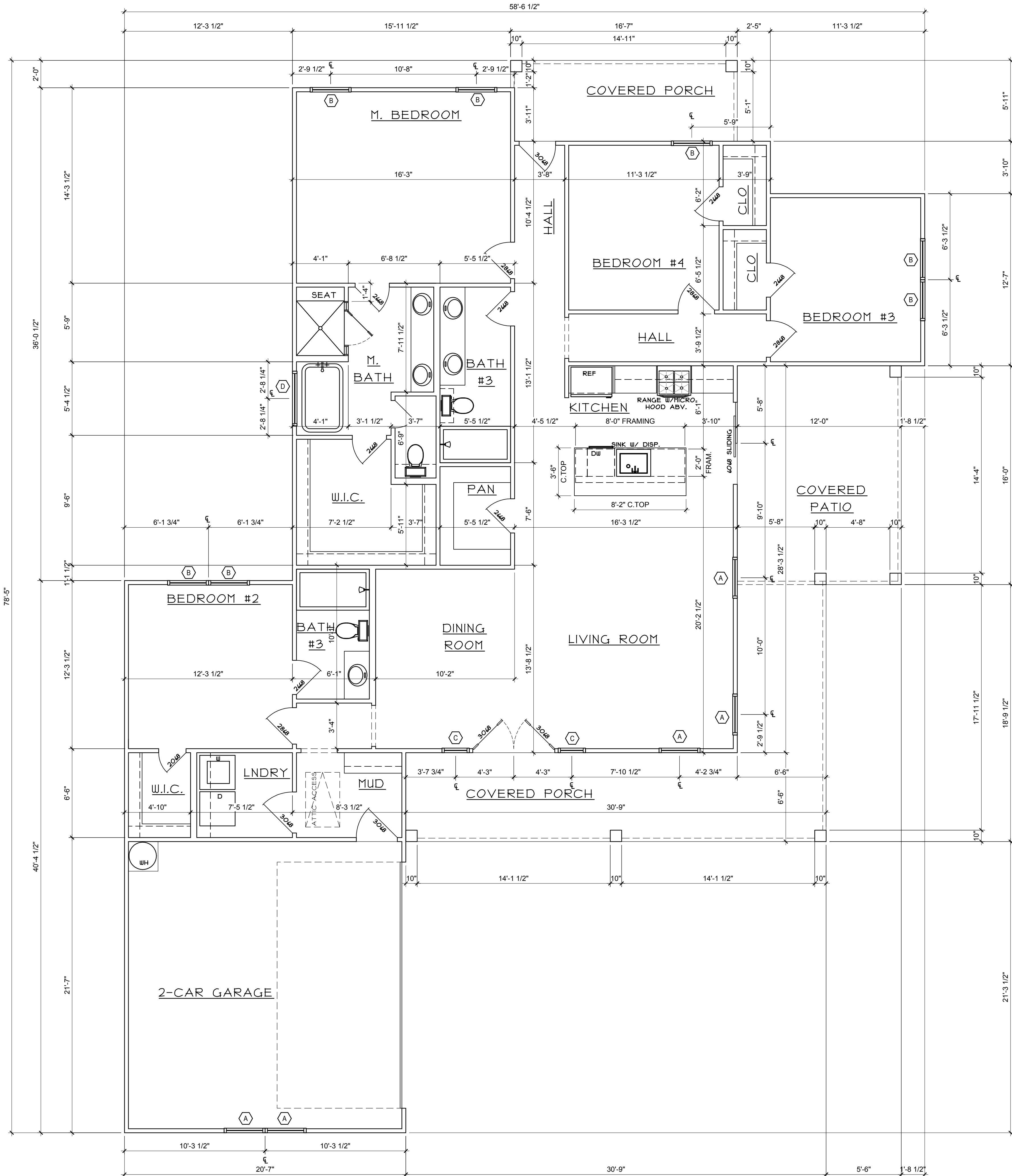
ARCH. PROJ. #:
21502

SCALE:
REF. DRAWING

SHEET NO.

A3.1

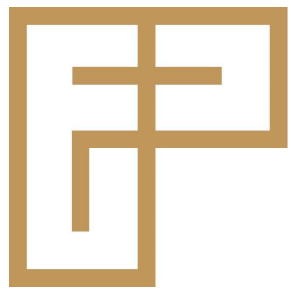
NOTES, DETAILS
SCHEDULE, SLAB PLAN



01

FLOOR PLAN

SCALE: 1/4"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE	DESCRIPTION	REV

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-514-9452
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

A3.2

FLOOR PLAN



511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

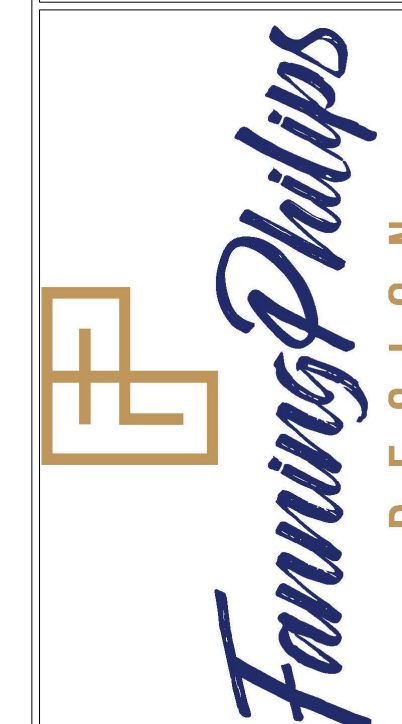
[illegible]

REVISION LOG

[illegible]

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:

CONTRACTOR: JAVIER SILVERMAN
support@jmscustomhomes.com
972-814-9400

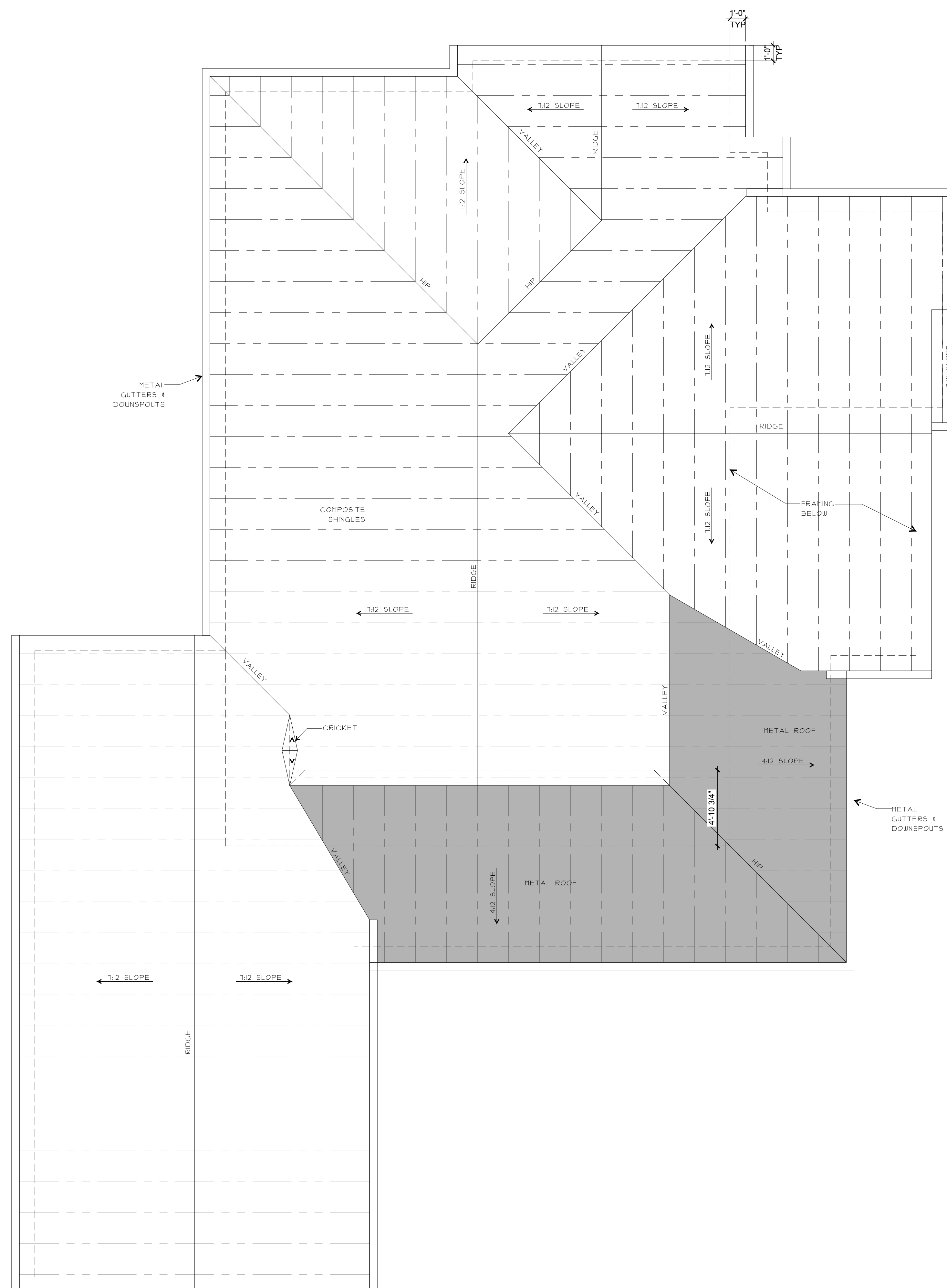
DESIGNER: PATRA PHILLIPS
patra@fanningphilips.com
214-284-8700

ARCH. PROJ. #:	SCALE:
21502	REF. DRAWING

SHEET NO.

A4.1

ROOF PLAN



FRAMING AND LUMBER NOTES:

- 1.) ALL SAW LUMBER SHALL BEAR STAMP OF WWPA OR APPROVED TESTING AGENCY
- 2.) ROOF JOIST, FLOOR JOIST, LEDGERS AND PLATES TO BE DOUGLAS FIR #2 OR BETTER
- 3.) ALL STUDS TO DOUGLAS FIR STUD GRADE OR APPROVED EQUIVALENT
- 4.) ROOF PLYWOOD SHEATHING TO 5/8" STANDARD 5-PLY WITH EXTERIOR GLUE WITH STAMP OF APPROVED TESTING AGENCY OR AS NOTED ON TYPICAL WALL SHEET
- 5.) FRAMING CONNECTIONS OR BE SIMPSON OR EQUIVALENT
- 6.) ALL BEARING STUD WALLS TO BE 2X6 AT 16" O.C. UNLESS NOTED OTHERWISE.
- 7.) ALL BEARING PARTITIONS SHALL HAVE DOUBLE TOP PLATES
- 8.) ALL INTERIOR HEADERS TO BE (2)2X12'S UNLESS NOTED OTHERWISE
- 9.) ALL EXTERIOR HEADERS TO BE (3)2X12'S UNLESS NOTED OTHERWISE
- 10.) CUTTING, NOTCHING, AND DRILLING OF WOOD MEMBERS SHALL COMPLY TO THE UNIFORM BUILDING CODE AND LOCAL AND STATE BUILDING CODES
- 11.) ALL CONVENTIONAL FRAMING SHALL COMPLY TO ALL LOCAL CODES
- 12.) ROOF TRUSSES TO BE MANUFACTURED BY AN APPROVED FABRICATOR
- 13.) ALL LUMBER SHALL BE F=1400 KILN DRIED SOUTHERN PINE, DOUGLAS FIR, OR HEMLOCK
- 14.) ALL EXTERIOR DOORS SHALL BE 1 3/4" THICK SOLID CORE 1 1/2" PR. BUTTS OR METAL INSULATION AS SHOWN ON DRAWINGS

ALL HEADERS SHALL BE (3) 2X12 EXTERIOR & INTERIOR BEARING WALLS UNLESS NOTED OTHERWISE.
MIN.-1-JACK STUD EA. SIDE OF OPG. TO 6' WIDE
MIN.-2-JACK STUD EA. SIDE OF OPG. TO 8' WIDE
MIN.-3 JACK STUD EA. SIDE OF OPG. TO 12' WIDE
ALL HEADERS (ANY SIZE) SHALL BE 1/2" PLYWOOD FILLERS GLUE & NAILED W/ 16D NAILS

ROOF CONSTRUCTION NOTES:

1. ROOF OVERHANG TO BE 12" U.N.O.
2. ROOF PITCH TO BE 7/12. U.N.O.
3. PROVIDE ATTIC VENTS AS SPECIFIED IN WALL SECTIONS IF APPLICABLE.
4. THE ROOF TRUSSES OR RAFTER TO INTERIOR PARTITIONS WITH METAL CLIPS, TIES OR STRAPS AS SPECIFIED IN BRACING SCHEDULE. ABOVE.
5. FIRST SHEET OF PLYWOOD ALONG EAVES TO BE GLUED AND NAILED AS DESCRIBED IN SHEATHING NAILING SCHEDULE ABOVE.
6. TRUSS DESIGNS REQUIRE THE SIGNATURE AND SEAL OF A STATE CERTIFIED ENGINEER.
7. PROVIDE ALL REQUIRED TRUSS BRACING AS SPECIFIED ON ENGINEERED TRUSS PLAN.

01 ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



NORTH

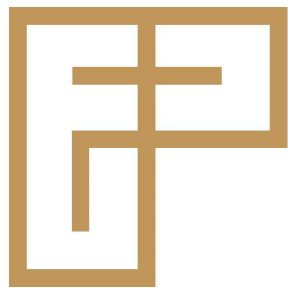


FRONT ELEVATION

NEW RESIDENCE

511 BOURN STREET
ROCKWALL, TX 75087

SHEET INDEX		DATE	REV	DATE
A-1.0	COVER SHEET	05/11/22		
A-2.1	ARCHITECTURAL SITE PLAN	05/11/22		
A-3.1	NOTES, DETAILS, SCHEDULES & SLAB PLAN	05/11/22		
A-3.2	FLOOR PLAN	05/11/22		
A-4.1	ROOF PLAN	05/11/22		
A-5.1	ELEVATIONS	05/11/22		
A-5.2	ELEVATIONS	05/11/22		
A-6.1	POWER PLAN	05/11/22		



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
- ☒ BIDDING / PERMIT
- ☐ REVISION
- ☐ FOR CONSTRUCTION

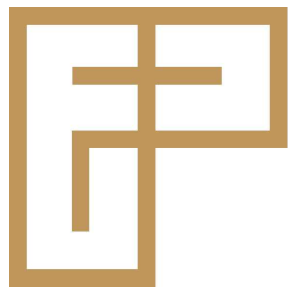


OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

SHEET NO.

A1.0
COVER SHEET



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



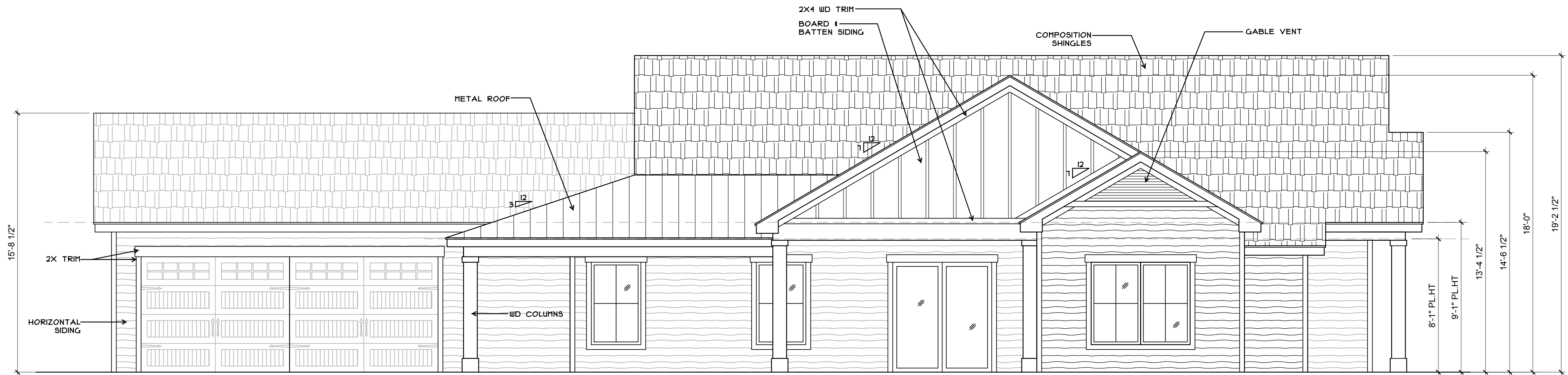
OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

SHEET NO.

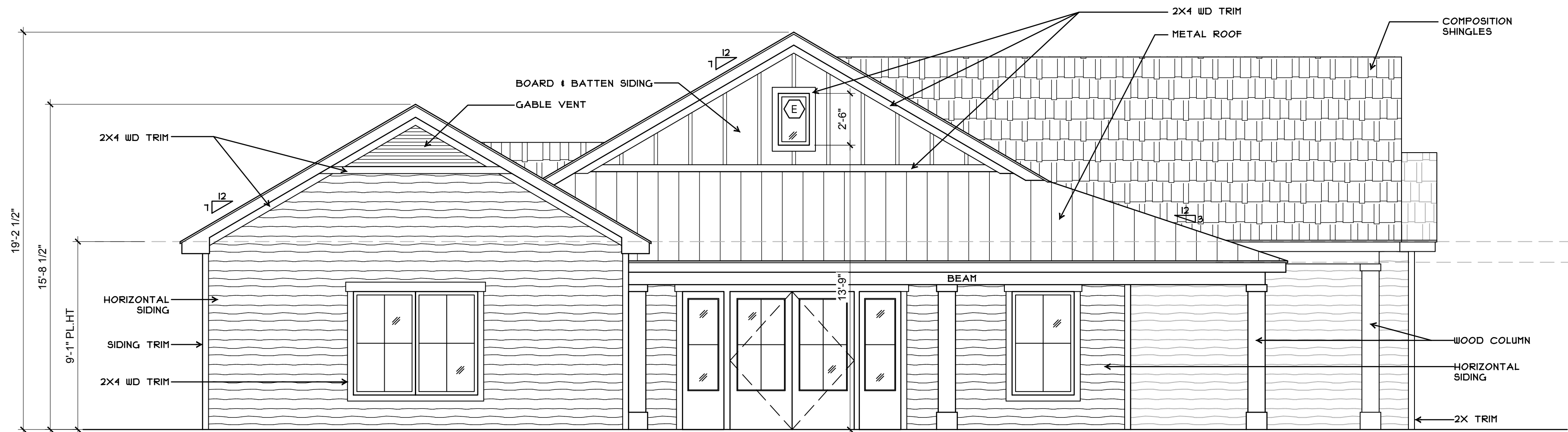
A5.1

ELEVATIONS



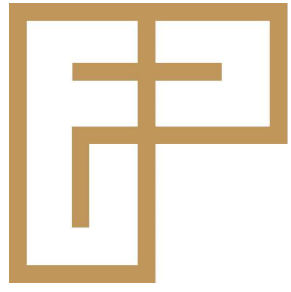
02 EAST ELEVATION

SCALE: 1/4"=1'-0"



01 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



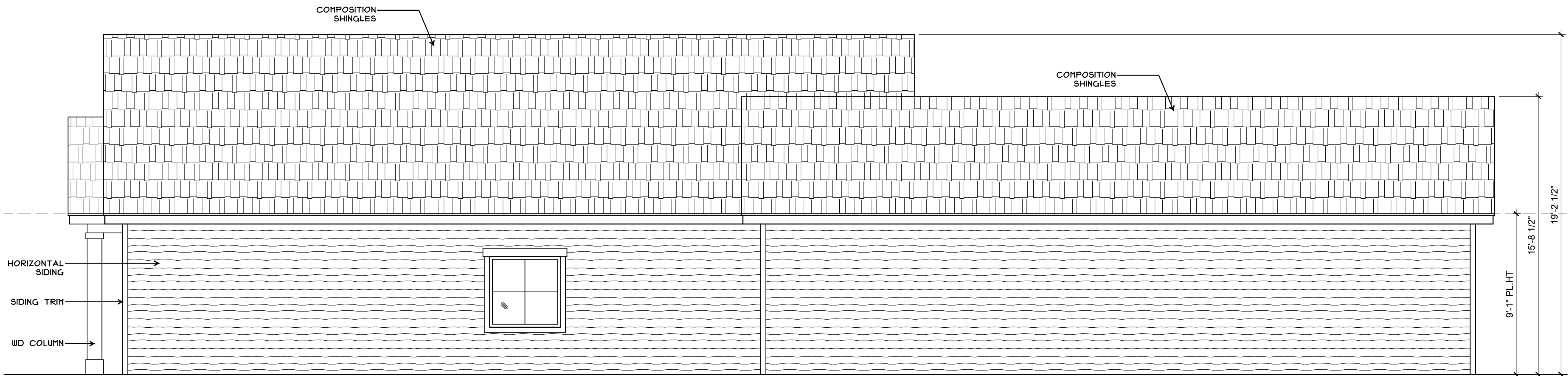
OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

SHEET NO.

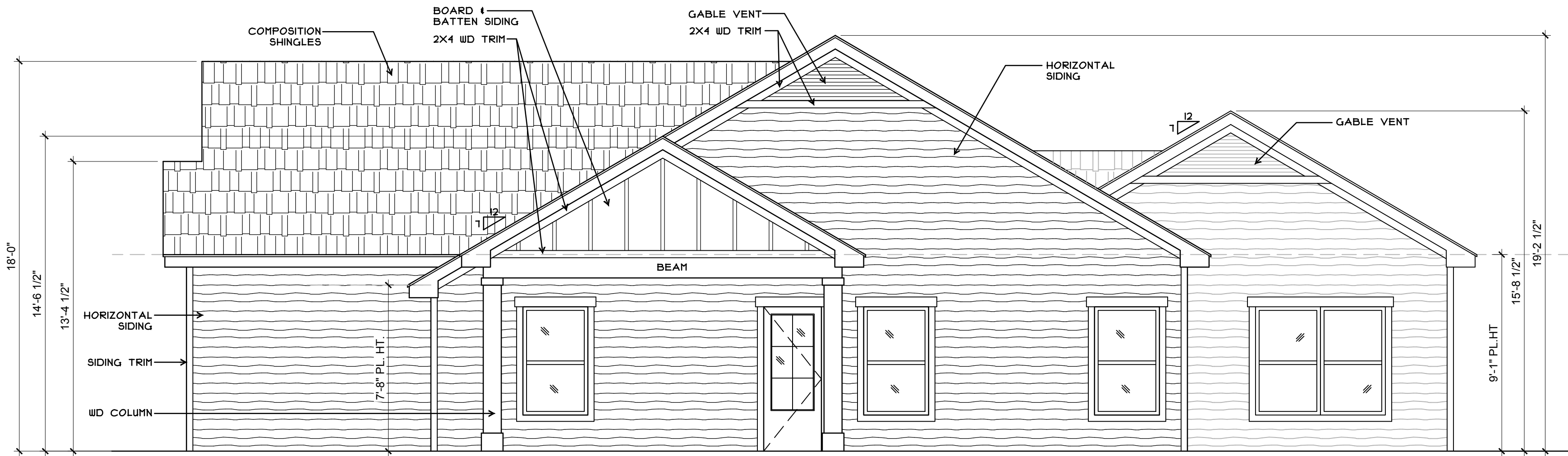
A5.2

ELEVATIONS



02 WEST ELEVATION

SCALE: 1/4"=1'-0"



01 NORTH ELEVATION

SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

ALL OUTLETS IN

POWER PLAN

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/26/2022

PROJECT NUMBER: Z2022-025
PROJECT NAME: SUP for Residential Infill for 511 Bourn Street
SITE ADDRESS/LOCATIONS: 511 E BOURN ST

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Javier Silva for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to Established Subdivision for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	05/25/2022	Approved w/ Comments

05/25/2022: Z2022-025; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 511 Bourn Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to Established Subdivision for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street.
- I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (Z2022-025) in the lower right-hand corner of all pages on future submittals.
- I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the situated within the B. F. Boydston Addition and situated within 500-feet of the Sanger Addition. Both of these subdivisions have been in existence for more than ten (10) years, consist of more than five (5) lots, and are considered to be more than 90% developed.
- I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- M.6 Please identify the proposed siding material being used on the exterior of the home.
- I.7 In this case, the proposed request appears to meet all of the requirements for Residential Infill Adjacent to an Established Subdivision, the zoning requirements for a property in a Single-Family 7 (SF-7) District, and the requirements for the Southside Residential Neighborhood Overlay (SRO) District.
- M.8 Please review the attached Draft Ordinance prior to the May 31, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 7, 2022. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.
- I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 14, 2022, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 31, 2022.
- I.10 The projected City Council meeting dates for this case will be June 20, 2022 (1st Reading) and July 5, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	05/25/2022	Needs Review

05/25/2022: General Items:

- I - Must meet City Standards of Design and Construction
- I - Impact Fees (Water, Wastewater & Roadway)
- I - Retaining walls 3' and over must be engineered.
- I - All retaining walls must be rock or stone face. No smooth concrete walls.
- I - 10' Utility Easement required along all street ROW.

Drainage Items:

- I - Must include a grading plan for the building permit.
- I - Structure and driveway to out of the drainage easement and 100-yr floodplain.
- I - Minimum Finish Floor to be a to be 2-ft above 100-yr floodplain. Elev 545.33.
- I - Driveway to be min of 1-ft above flood plain. Elev 544.33.
- I - No fencing to be allowed in or to cross drainage easements.

Water and Wastewater Items:

- M - Must show the proposed connection for water and sewer services.
- I - Water is located on the south side of Bourn Street. Full panel concrete replacement is required. Engineered traffic control plan will be required for lane closures. One lane must be open at all times.
- I - Only one "use" off a dead-end line (domestic, irrigation, fire hydrant, etc.)

Roadway Paving Items:

- M - Only one driveway allowed off E Bourn Street. Driveway must be concrete.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	05/24/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/25/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/23/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/23/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/23/2022	Approved
No Comments			

215 # 219.30



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
☐ AMENDING OR MINOR PLAT (\$150.00)
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 Bourn St Rockwall TX 75087

SUBDIVISION LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE 0.240

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]☒ OWNER Javier Silva☐ APPLICANT Javier Silva

CONTACT PERSON Javier Silva

CONTACT PERSON Javier Silva

ADDRESS 511 Bourn St.

ADDRESS 58. Windsor Rockwall TX 75082

CITY, STATE & ZIP Rockwall TX 75087

CITY, STATE & ZIP

PHONE 972-814 9462

PHONE 9

E-MAIL support@JMS Custom Homes.net

E-MAIL support@JMS Custom Homes.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Javier Silva [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

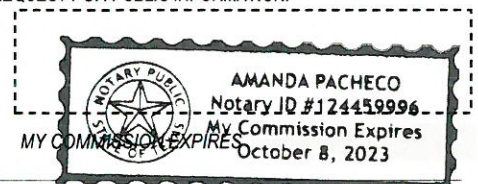
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

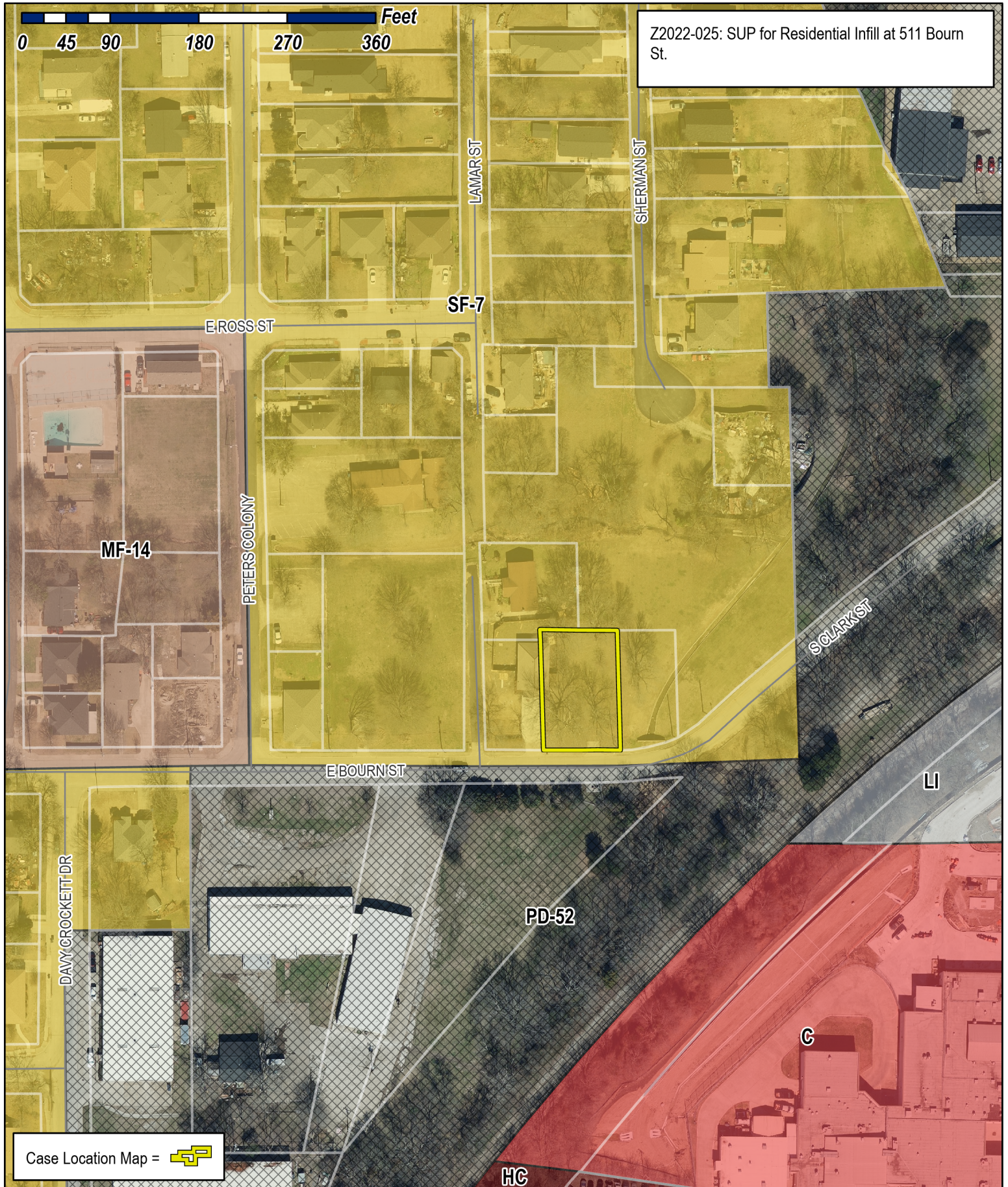
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20 DAY OF May, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]
Amanda Pacheco





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

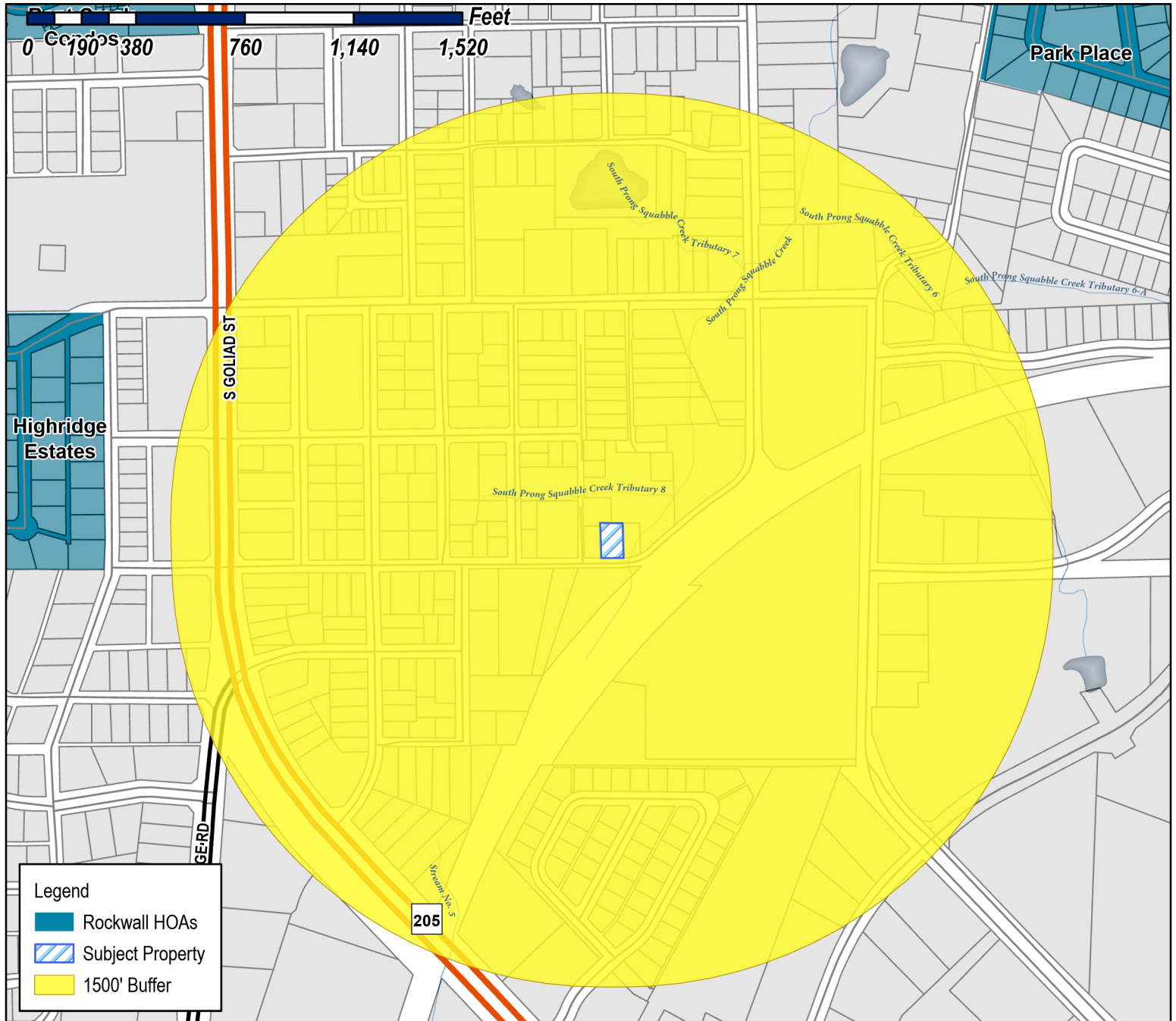




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

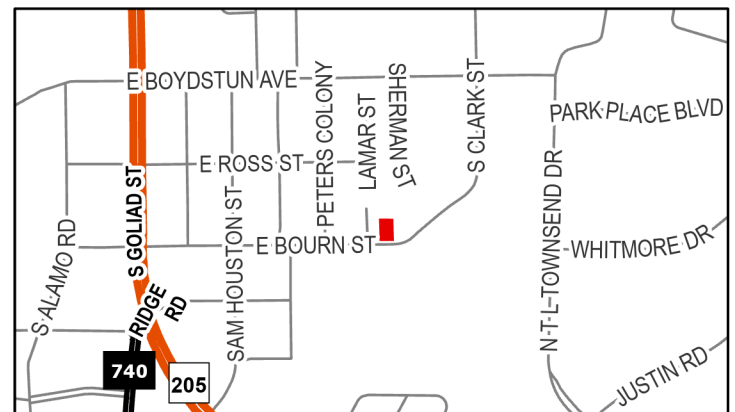
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single Family 7 (SF-7) District
Case Address: 511 Bourn St.

Date Saved: 5/20/2022

For Questions on this Case Call (972) 771-7745

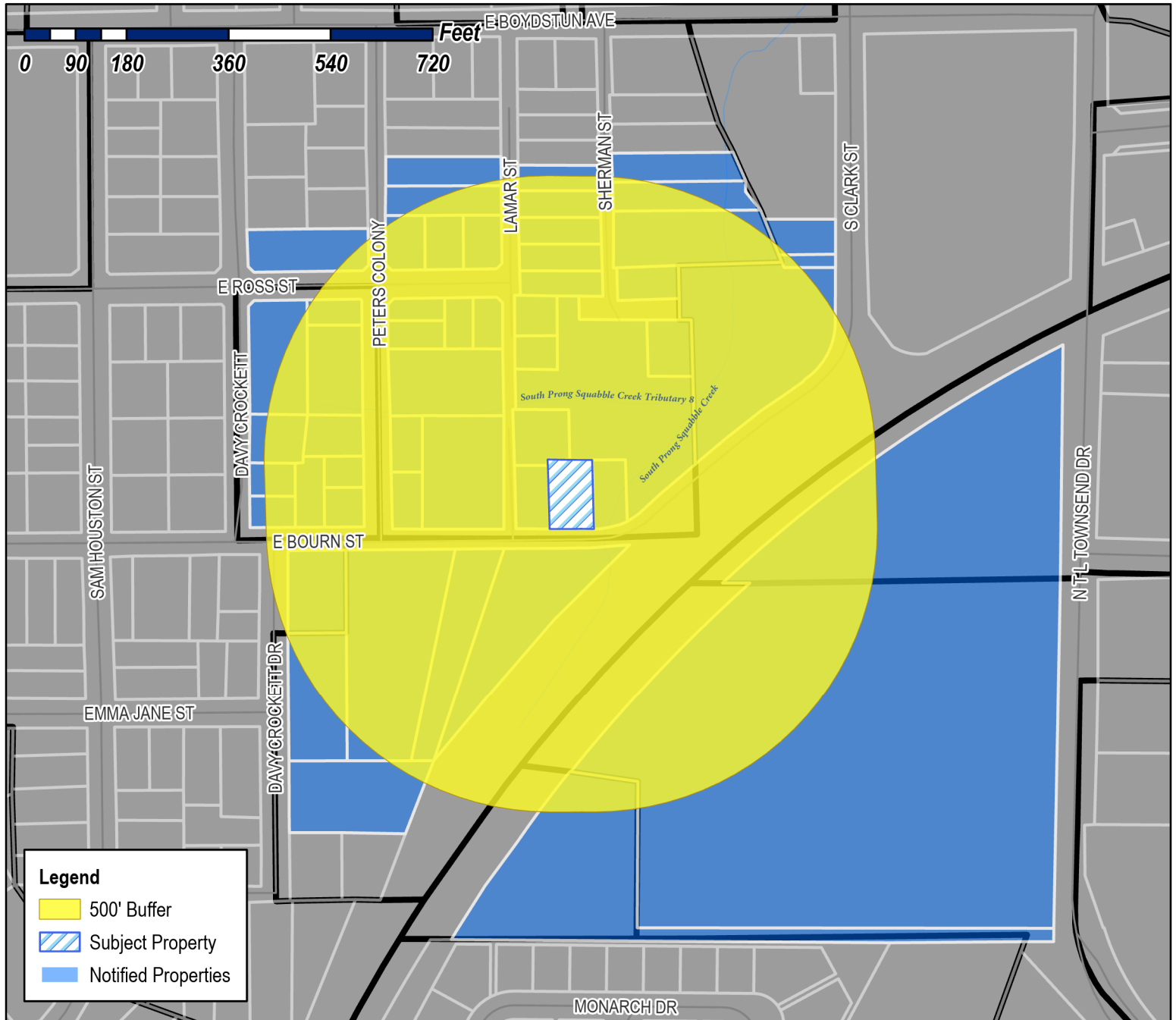




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

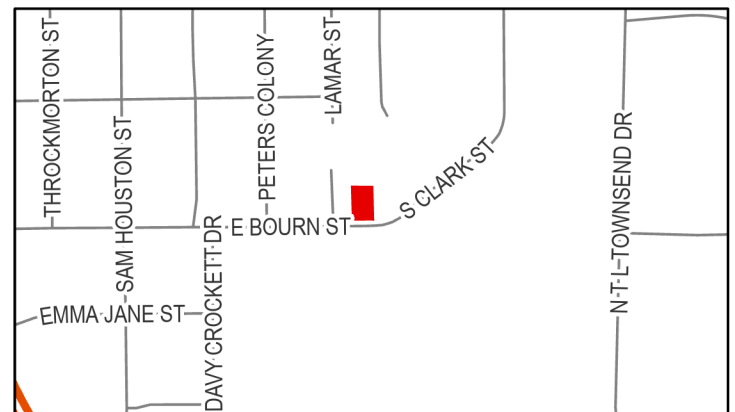
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single Family 7 (SF-7) District
Case Address: 511 Bourn St.

Date Saved: 5/20/2022

For Questions on this Case Call (972) 771-7745



ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75032

JOHNSON SCOTT
709 STILLWATER DR
ROCKWALL, TX 75087

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

HALL WILLA O
815 DAVY CROCKETT ST
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND
JOSEPH FABIAN PEREZ
604 ROSS STREET
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

CONLON MICHAEL SHAWN
708 SHERMAN ST
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

JPH ROCKWALL LLC
901 DAVY CROCKETT STREET
ROCKWALL, TX 75087

WALTER MARY
408 E BOURN ST
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
900 DAVY CROCKETT
ROCKWALL, TX 75087

BARRON BLAKELEIGH
811 DAVY CROCKETT ST
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

POTTS DANNY & VONDA
1100 T L TOWNSEND DR
ROCKWALL, TX 75087

ROCKWALL COUNTY
C/O COUNTY TREASURER
101 E RUSK ST SUITE 101
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the Planning and Zoning Commission will consider the following application:

Case No. Z2022-025: SUP for Residential Infill at 511 Bourne Street

Hold a public hearing to discuss and consider a request by Javier Silva for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to Established Subdivision* for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, June 14, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 20, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 20, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-025: SUP for Residential Infill at 511 Bourne Street

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

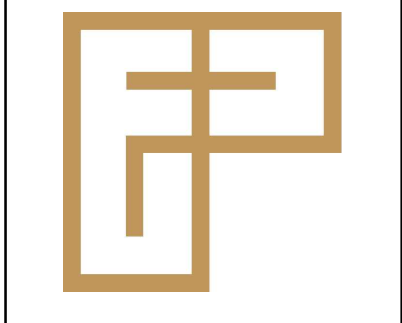
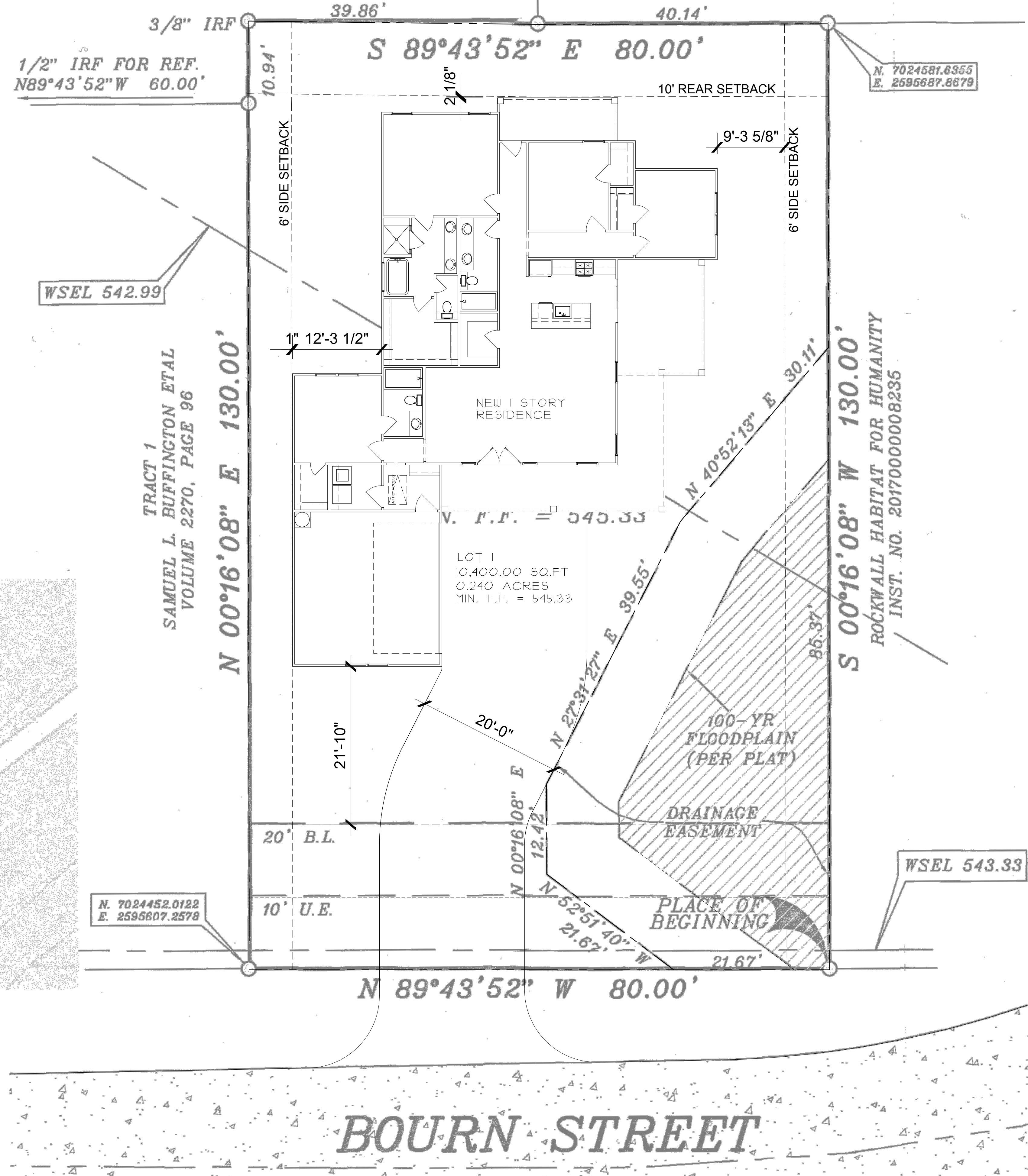
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

LOT 2, BLOCK 1
SAMUEL BUFFINGTON ADDITION
CABINET A, SLIDE 225

ROCKWALL HABITAT FOR HUMANITY
INST. NO. 20170000008236



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG	
DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG		
DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

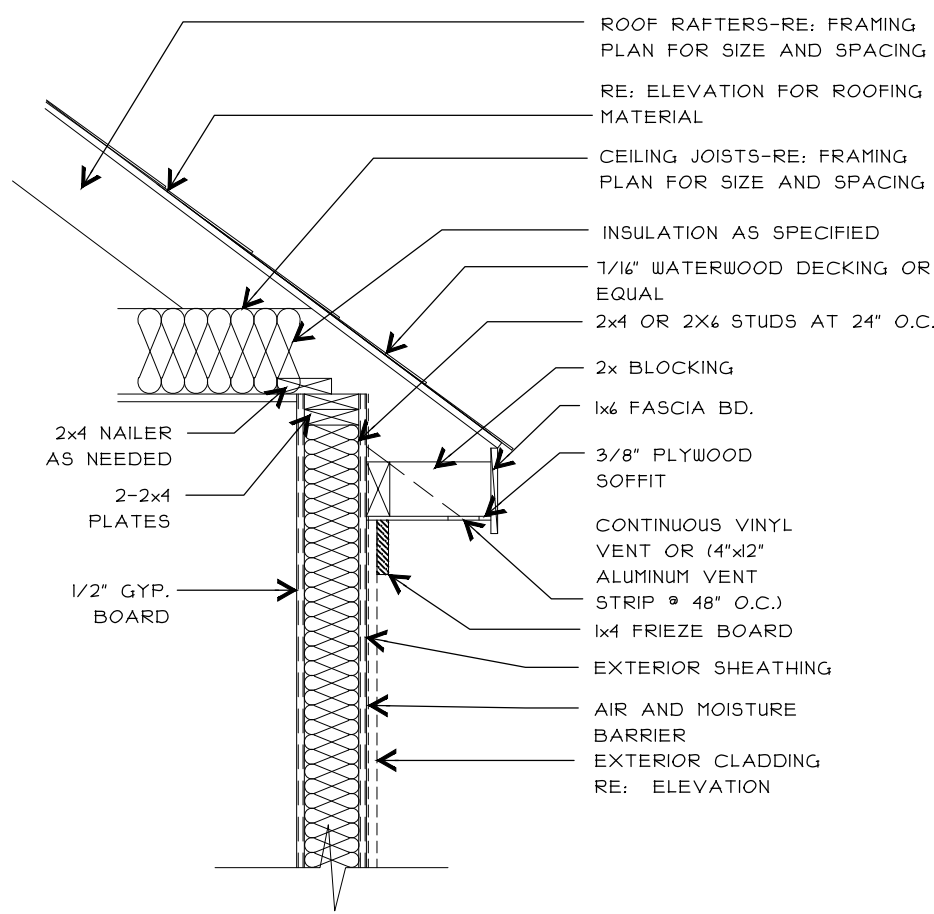
ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

SHEET NO.

A2.1

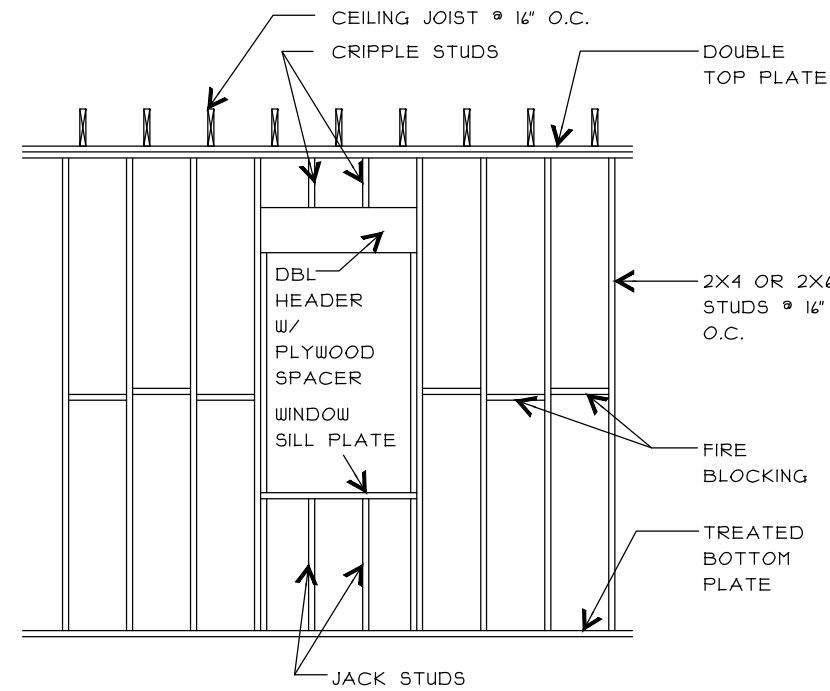
ARCHITECTURAL
SITE PLAN

GENERAL NOTES:
1.) COMPLY WITH ALL STATE AND LOCAL BUILDING CODES, ORDINANCES REGULATIONS CONCERNING AND PERTAINING TO CONSTRUCTION
2.) CONNECT ALL WATER, GAS, ELECTRIC, ETC., TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES.
3.) PROVIDE TERMITE PROTECTION OVER COMPACTED OR GRANULAR FILL CODE.
4.) ALL FOOTINGS ARE TO EXTEND 12" BELOW GRADE MINIMUM PER LOCAL CODE.
5.) PROVIDE VENTILATION EQUAL TO 1 SQ. FT. PER. 150 SQ. FT. OF ATTIC OR PER LOCAL CODES.
6.) 1/2" MIN. DRYWALL THROUGHOUT, 5/8" TYPE "X" AT GARAGE CEILING AT WALLS COMMON TO LIVING AREAS AND ENCLOSED SPACES OR PER PLANS.
7.) GYPSUM WALLBOARD INSTALLED AS A BACKING IN SHOWERS, TUB AREAS, LAUNDRY SPACES AND OTHER WET AREAS TO TYPE W.R. IDENTIFIED AND REFERRED TO AS "GREEN BOARD" OR EQUIVALENT.
8.) ALL EXTERIOR AND INTERIOR GLASS GLAZING TO COMPLY WITH LOCAL CODES.

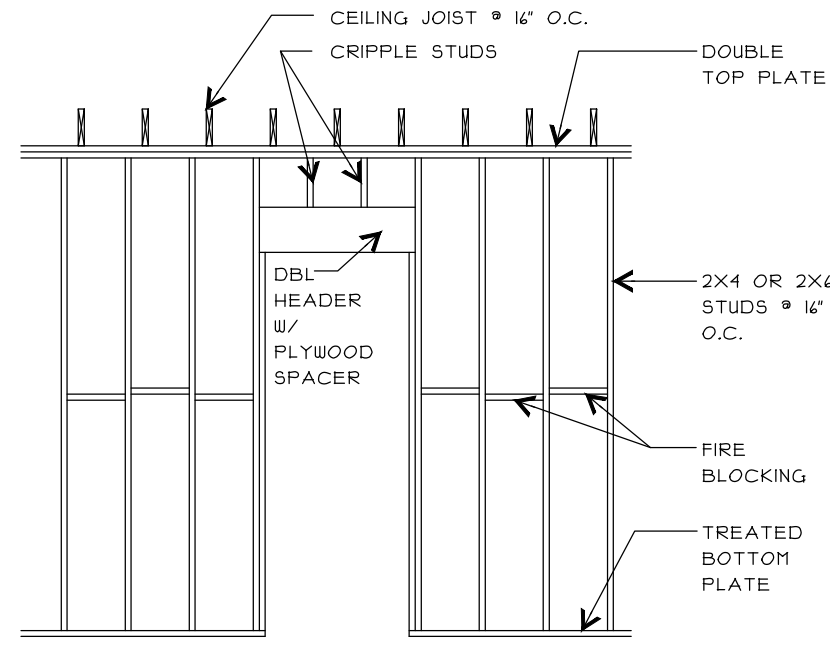


NOTE:
1. VERIFY ALL WINDOWS SIZES WITH MANUFACTURER FOR ALL FRAMING AND ROUGH OPENING DIMENSIONS.
2. FINAL MULLION DESIGN TO BE BY OWNER.

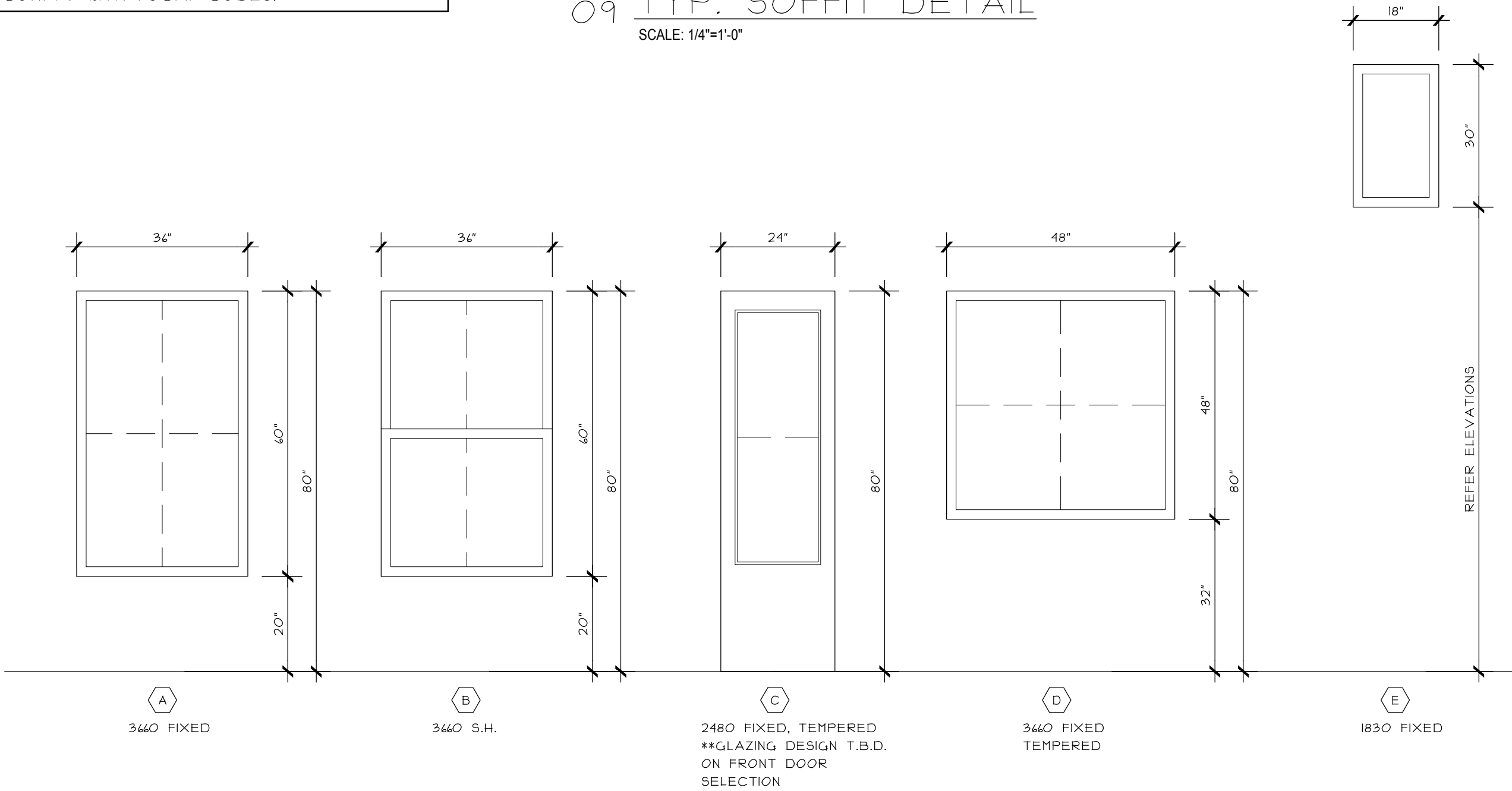
SQUARE FOOTAGE	AREAS
1989	FLOOR PLAN
439	2-CAR GARAGE
741	COVERED PORCH
97	COVERED PATIO
3266	TOTAL UNDER ROOF



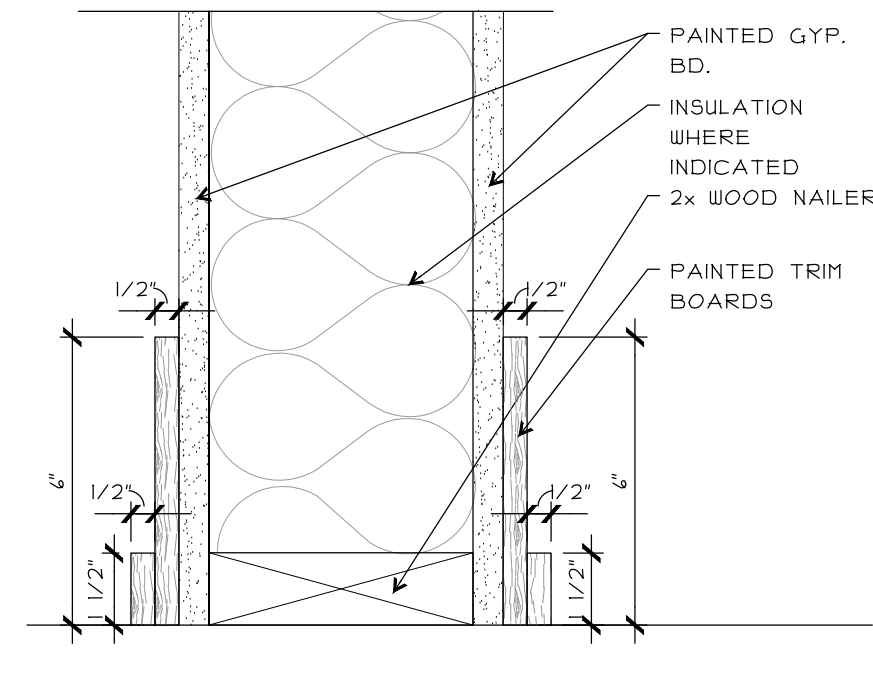
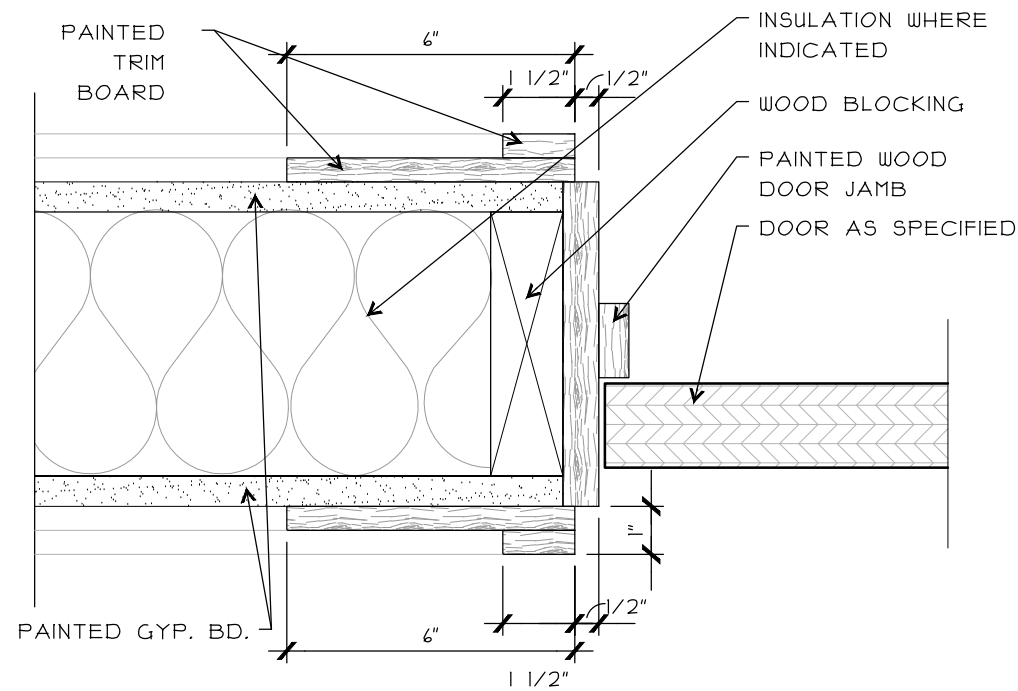
TYP. WINDOW
08 FRAMING DIAGRAM
SCALE: 1/4"=1'-0"



TYP. DOOR
01 FRAMING DIAGRAM
SCALE: 1/4"=1'-0"

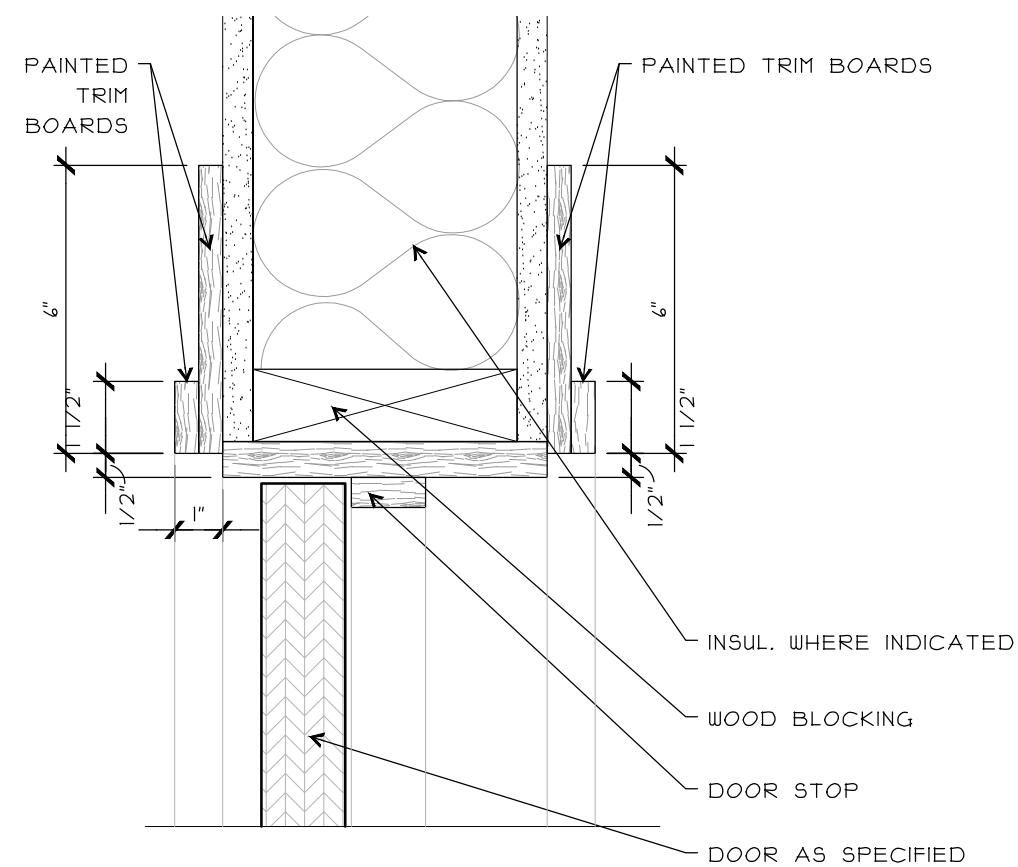


WINDOW TYPES

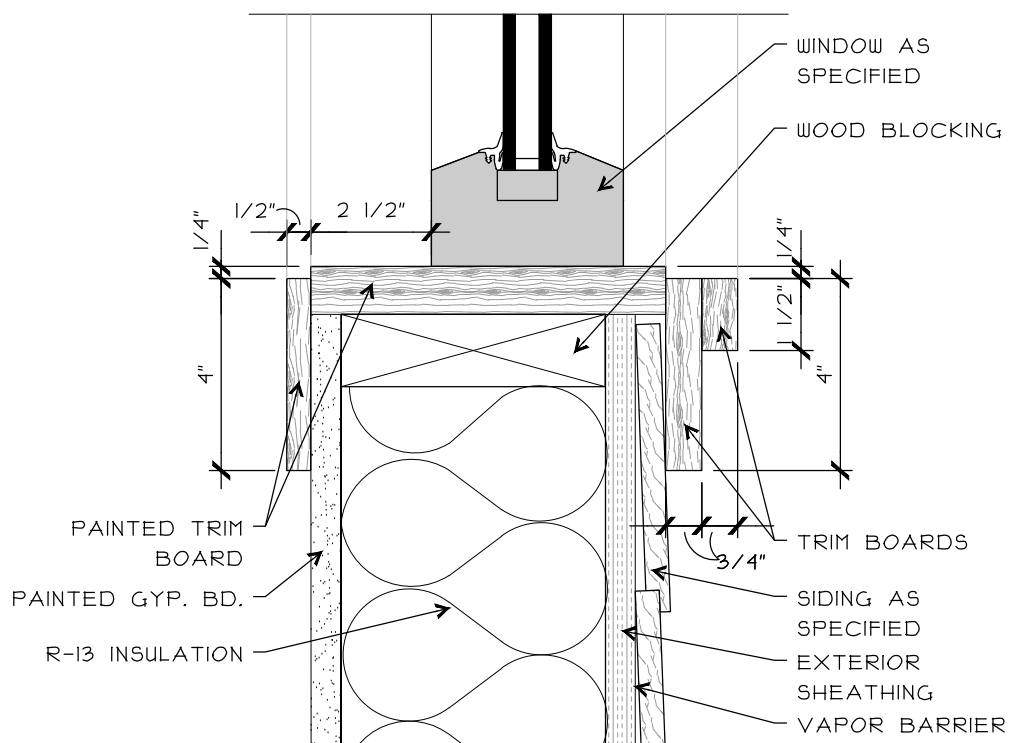


06 DOOR JAMB DETAIL
SCALE: 3/4"=1'-0"

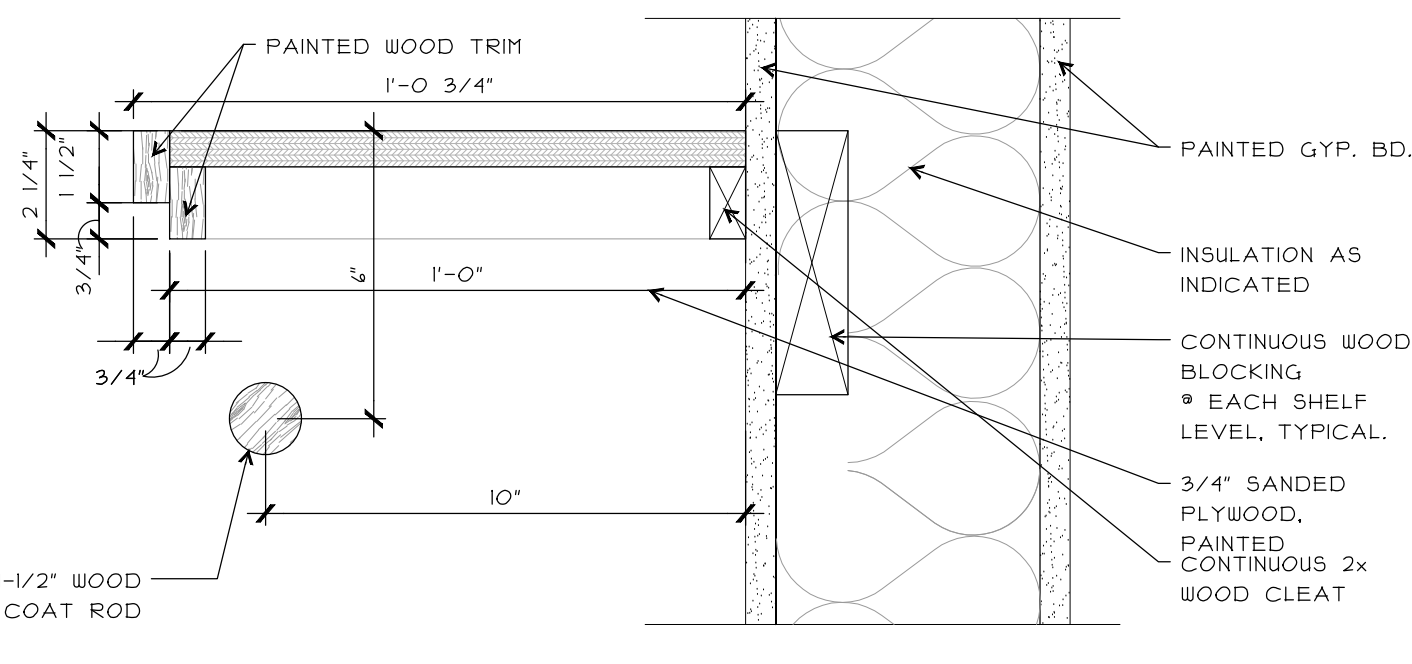
05 BASEBOARD DETAIL
SCALE: 3/4"=1'-0"



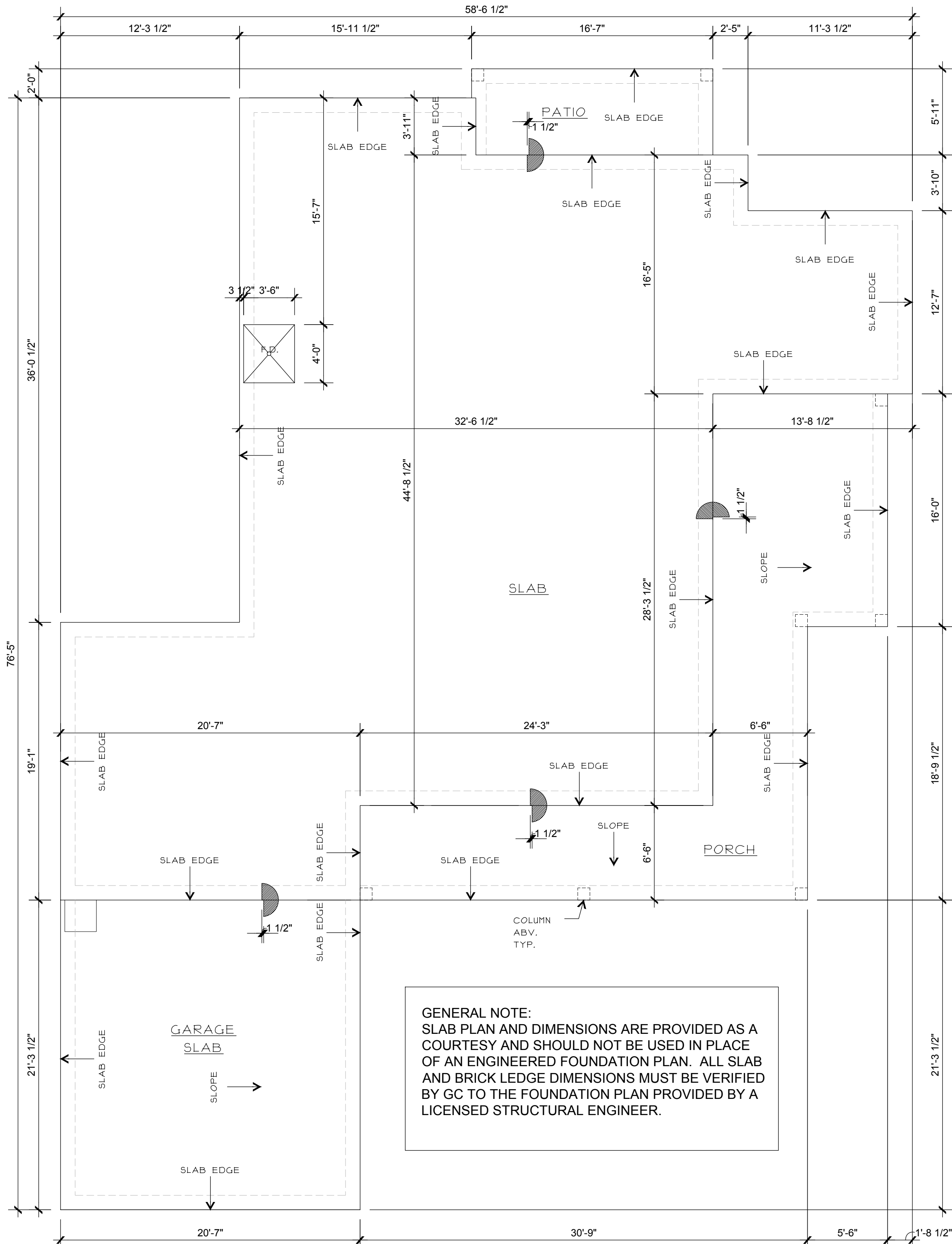
04 DOOR HEAD DETAIL
SCALE: 3/4"=1'-0"



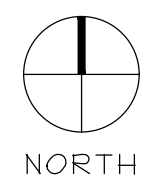
03 WINDOW SILL
SCALE: 3/4"=1'-0"



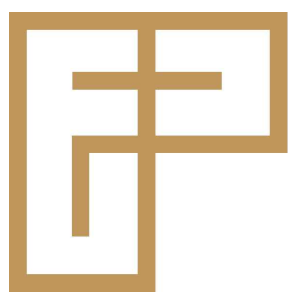
02 TYPICAL SHELF DETAIL
SCALE: 3/4"=1'-0"



GENERAL NOTE:
SLAB PLAN AND DIMENSIONS ARE PROVIDED AS A COURTESY AND SHOULD NOT BE USED IN PLACE OF AN ENGINEERED FOUNDATION PLAN. ALL SLAB AND BRICK LEDGE DIMENSIONS MUST BE VERIFIED BY GC TO THE FOUNDATION PLAN PROVIDED BY A LICENSED STRUCTURAL ENGINEER.



01 ARCHITECTURAL SLAB PLAN
SCALE: 3/16"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-514-9452
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

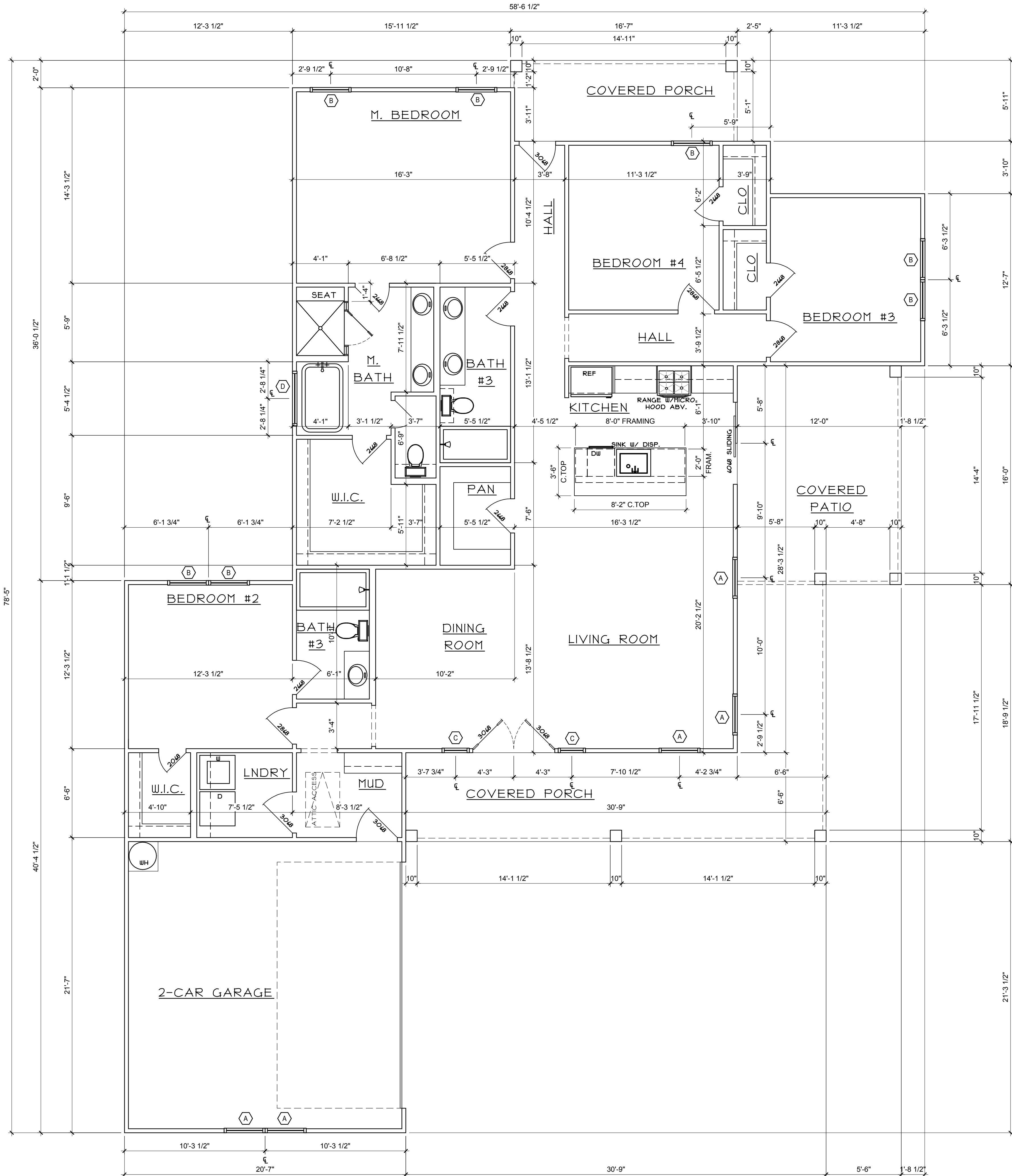
ARCH. PROJ. #:
21502

SCALE:
REF. DRAWING

SHEET NO.

A3.1

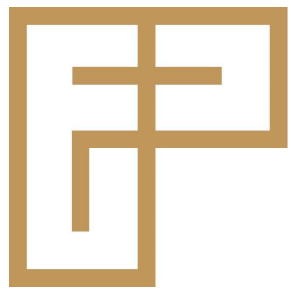
NOTES, DETAILS
SCHEDULE, SLAB PLAN



01

FLOOR PLAN

SCALE: 1/4"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-514-9452
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

A3.2

FLOOR PLAN



11 BOURN ST
ROCKWALL,
TEXAS 75087

ISSUE LOG

[illegible]

REVISION LOG

[illegible]

ISSUED FOR:

- PRELIMINARY -
BIDDING / PERMIT
REVISION
FOR CONSTRUCTION



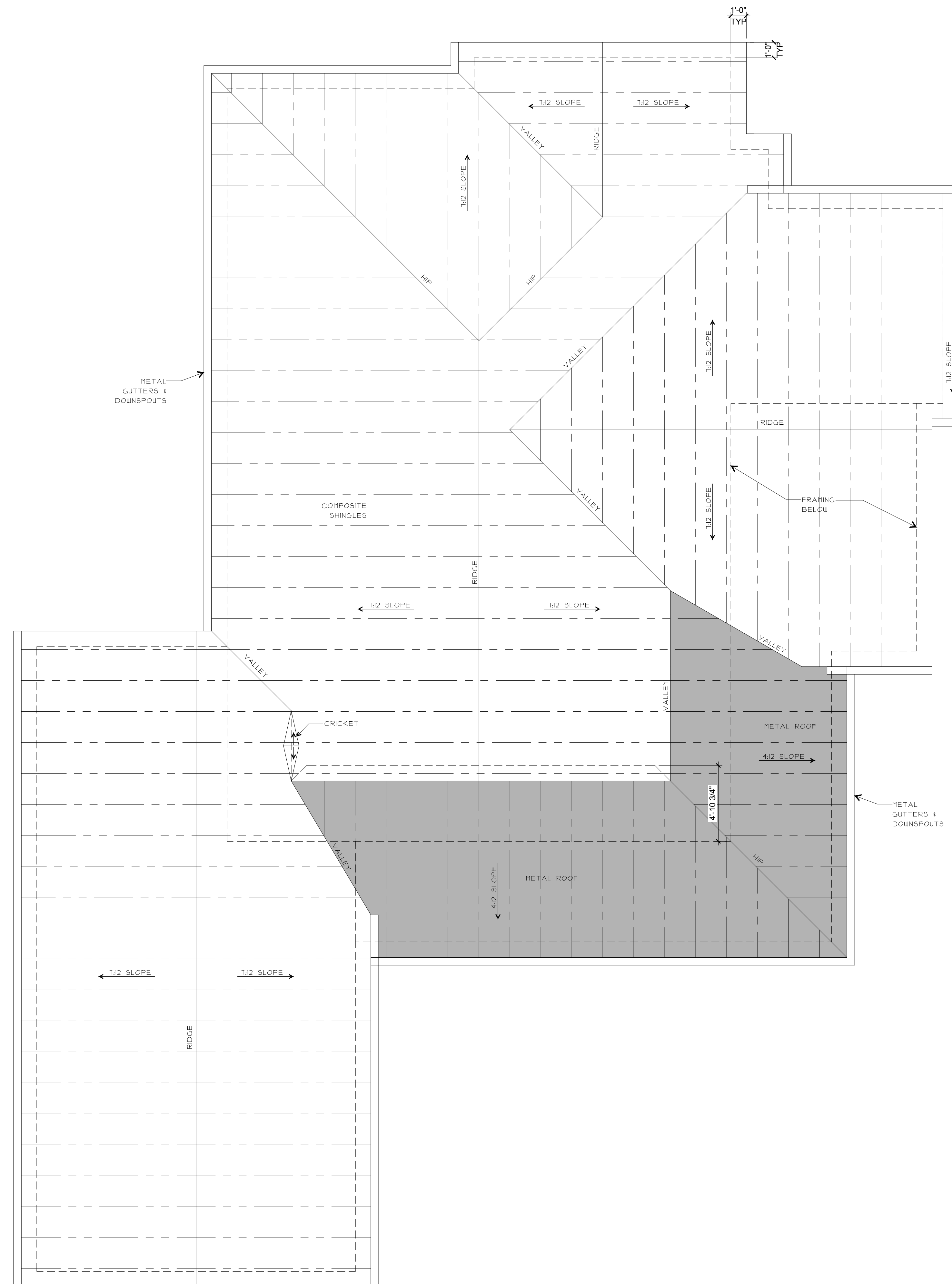
SIGNER: PATRA PHILLIPS
patra@fanningphillips.com
214-284-87

ARCH. PROJ. #:	SCALE:
21502	REF. DRAWING

SHEET NO.

A4.1

PROOF PLAN



FRAMING AND LUMBER NOTES:

- 1.) ALL SAW LUMBER SHALL BEAR STAMP OF WWPA OR APPROVED TESTING AGENCY
- 2.) ROOF JOIST, FLOOR JOIST, LEDGERS AND PLATES TO BE DOUGLAS FIR #2 OR BETTER
- 3.) ALL STUDS TO DOUGLAS FIR STUD GRADE OR APPROVED EQUIVALENT
- 4.) ROOF PLYWOOD SHEATHING TO $\frac{5}{8}$ " STANDARD 5-PLY WITH EXTERIOR GLUE WITH STAMP OF APPROVED TESTING AGENCY OR AS NOTED ON TYPICAL WALL SHEET
- 5.) FRAMING CONNECTIONS OR BE SIMPSON OR EQUIVALENT
- 6.) ALL BEARING STUD WALLS TO BE 2X6 AT 16" O.C. UNLESS NOTED OTHERWISE.
- 7.) ALL BEARING PARTITIONS SHALL HAVE DOUBLE TOP PLATES
- 8.) ALL INTERIOR HEADERS TO BE (2)2X12'S UNLESS NOTED OTHERWISE
- 9.) ALL EXTERIOR HEADERS TO BE (3)2X12'S UNLESS NOTED OTHERWISE
- 10.) CUTTING, NOTCHING, AND DRILLING OF WOOD MEMBERS SHALL COMPLY TO THE UNIFORM BUILDING CODE AND LOCAL AND STATE BUILDING CODES
- 11.) ALL CONVENTIONAL FRAMING SHALL COMPLY TO ALL LOCAL CODES
- 12.) ROOF TRUSSES TO BE MANUFACTURED BY AN APPROVED FABRICATOR
- 13.) ALL LUMBER SHALL BE F=1400 KILN DRIED SOUTHERN PINE, DOUGLAS FIR, OR HEMLOCK
- 14.) ALL EXTERIOR DOORS SHALL BE $\frac{13}{16}$ " THICK SOLID CORE $\frac{1}{2}$ " PR. BUTTS OR METAL INSULATION AS SHOWN ON DRAWINGS

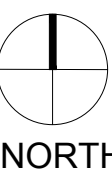
ALL HEADERS SHALL BE (3) 2X12 EXTERIOR & INTERIOR
BEARING WALLS UNLESS NOTED OTHERWISE.
MIN.-1-JACK STUD EA. SIDE OF OPG. TO 6' WIDE
MIN.-2-JACK STUD EA. SIDE OF OPG. TO 8' WIDE
MIN.-3 JACK STUD EA. SIDE OF OPG. TO 12' WIDE
ALL HEADERS (ANY SIZE) SHALL BE 1/2" PLYWOOD FILLERS.
GLUE & NAILED W/ 16D NAILS

ROOF CONSTRUCTION NOTES:

1. ROOF OVERHANG TO BE 12" U.N.O.
2. ROOF PITCH TO BE 7/12 U.N.O.
3. PROVIDE ATTIC VEAS AS SPECIFIED IN WALL SECTIONS IF APPLICABLE.
4. THE ROOF TRUSSES OR RAFTER TO INTERIOR PARTITIONS WITH METAL CLIPS, TIES OR STRAPS AS SPECIFIED IN BRACING SCHEDULE. ABOVE.
5. FIRST SHEET OF PLYWOOD ALONG EAVES TO BE GLUED AND NAILED AS DESCRIBED IN SHEATHING NAIL SCHEDULE ABOVE.
6. TRUSS DESIGNS REQUIRE THE SIGNATURE AND SEAL OF A STATE CERTIFIED ENGINEER.
7. PROVIDE ALL REQUIRED TRUSS BRACING AS SPECIFIED ON ENGINEERED TRUSS PLAN.

01 ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



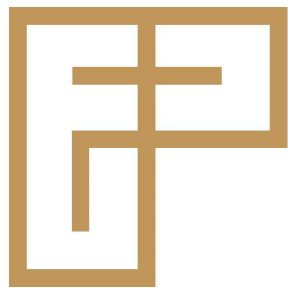


FRONT ELEVATION

NEW RESIDENCE

511 BOURN STREET
ROCKWALL, TX 75087

SHEET INDEX		DATE	REV	DATE
A-1.0	COVER SHEET	05/11/22		
A-2.1	ARCHITECTURAL SITE PLAN	05/11/22		
A-3.1	NOTES, DETAILS, SCHEDULES & SLAB PLAN	05/11/22		
A-3.2	FLOOR PLAN	05/11/22		
A-4.1	ROOF PLAN	05/11/22		
A-5.1	ELEVATIONS	05/11/22		
A-5.2	ELEVATIONS	05/11/22		
A-6.1	POWER PLAN	05/11/22		



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
- ☒ BIDDING / PERMIT
- ☐ REVISION
- ☐ FOR CONSTRUCTION

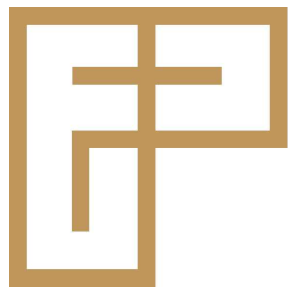


OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

SHEET NO.

A1.0
COVER SHEET



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

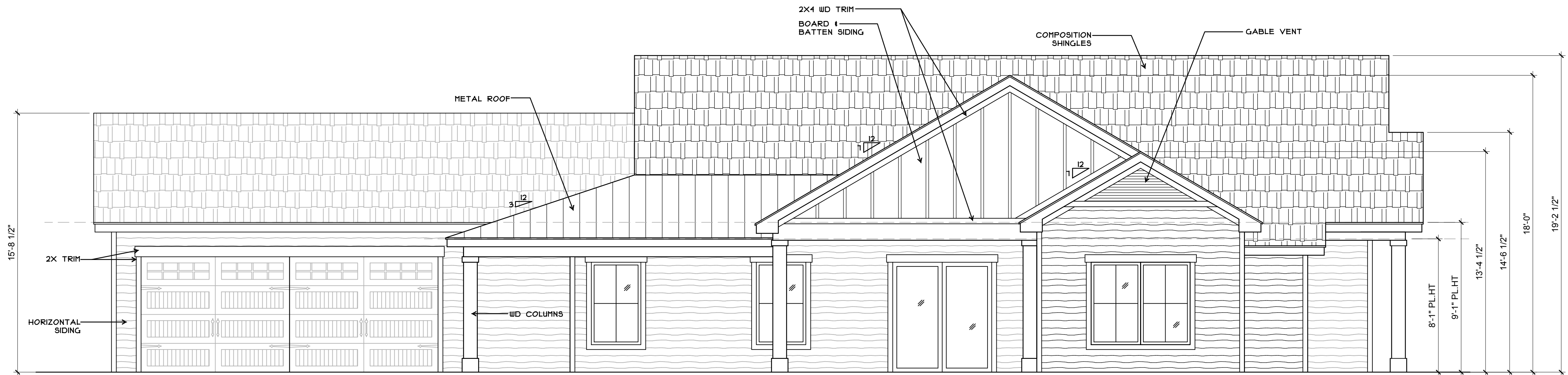
ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

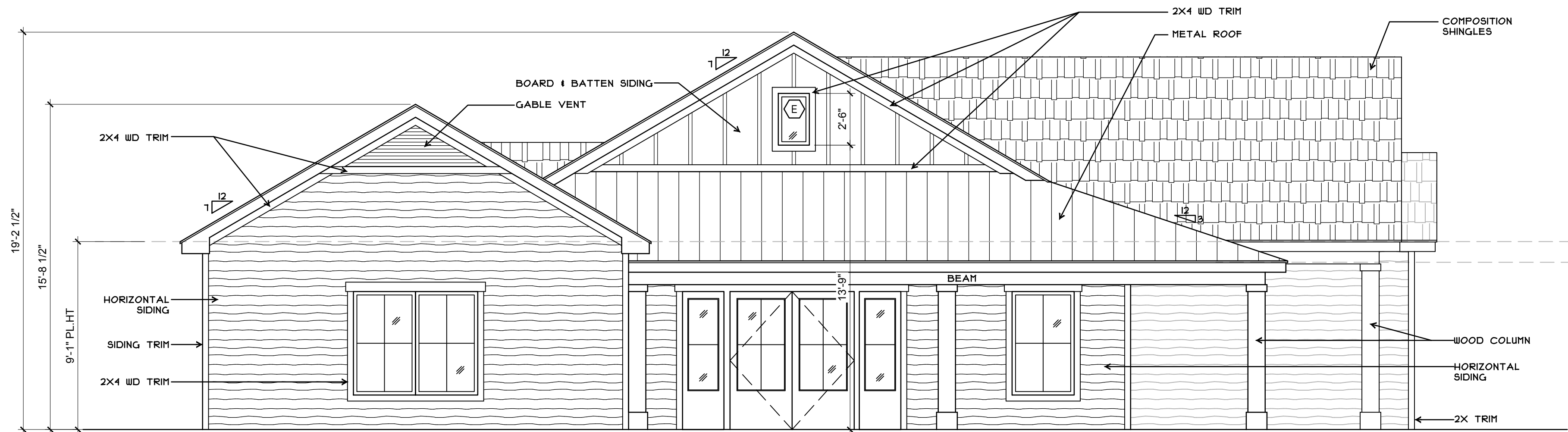
A5.1

ELEVATIONS



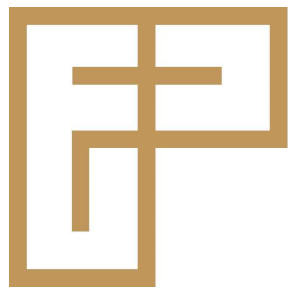
02 EAST ELEVATION

SCALE: 1/4"=1'-0"



01 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

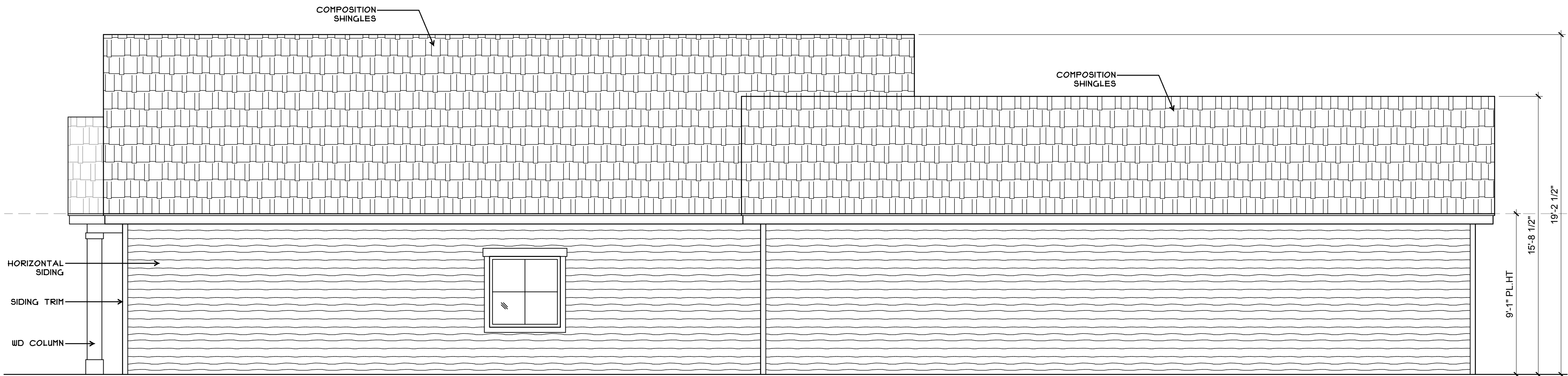
ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

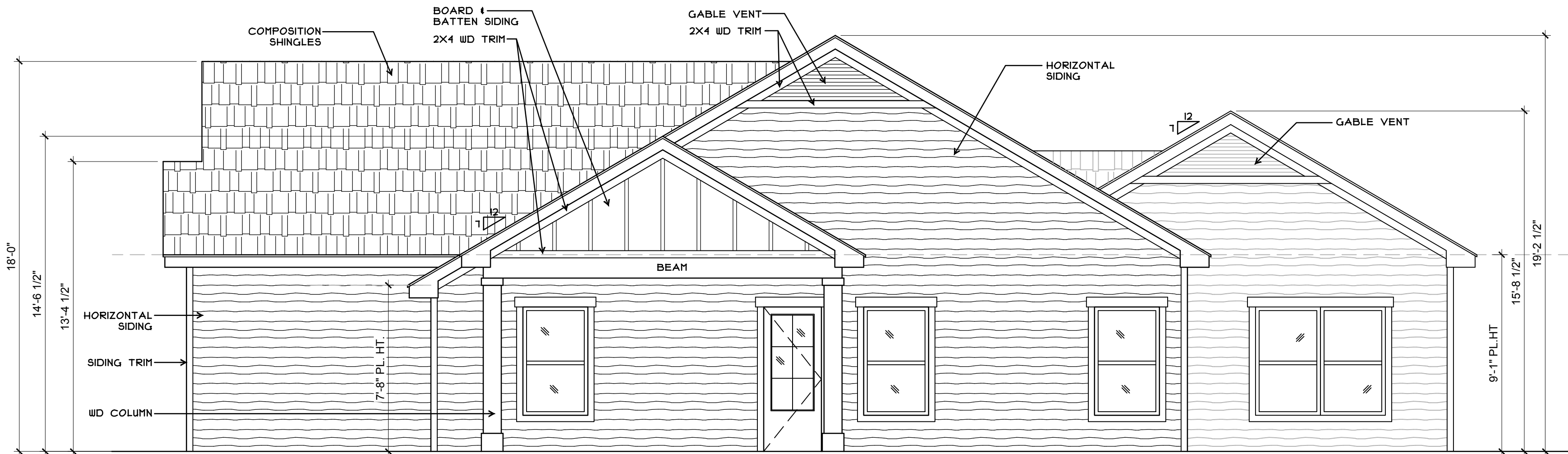
A5.2

ELEVATIONS



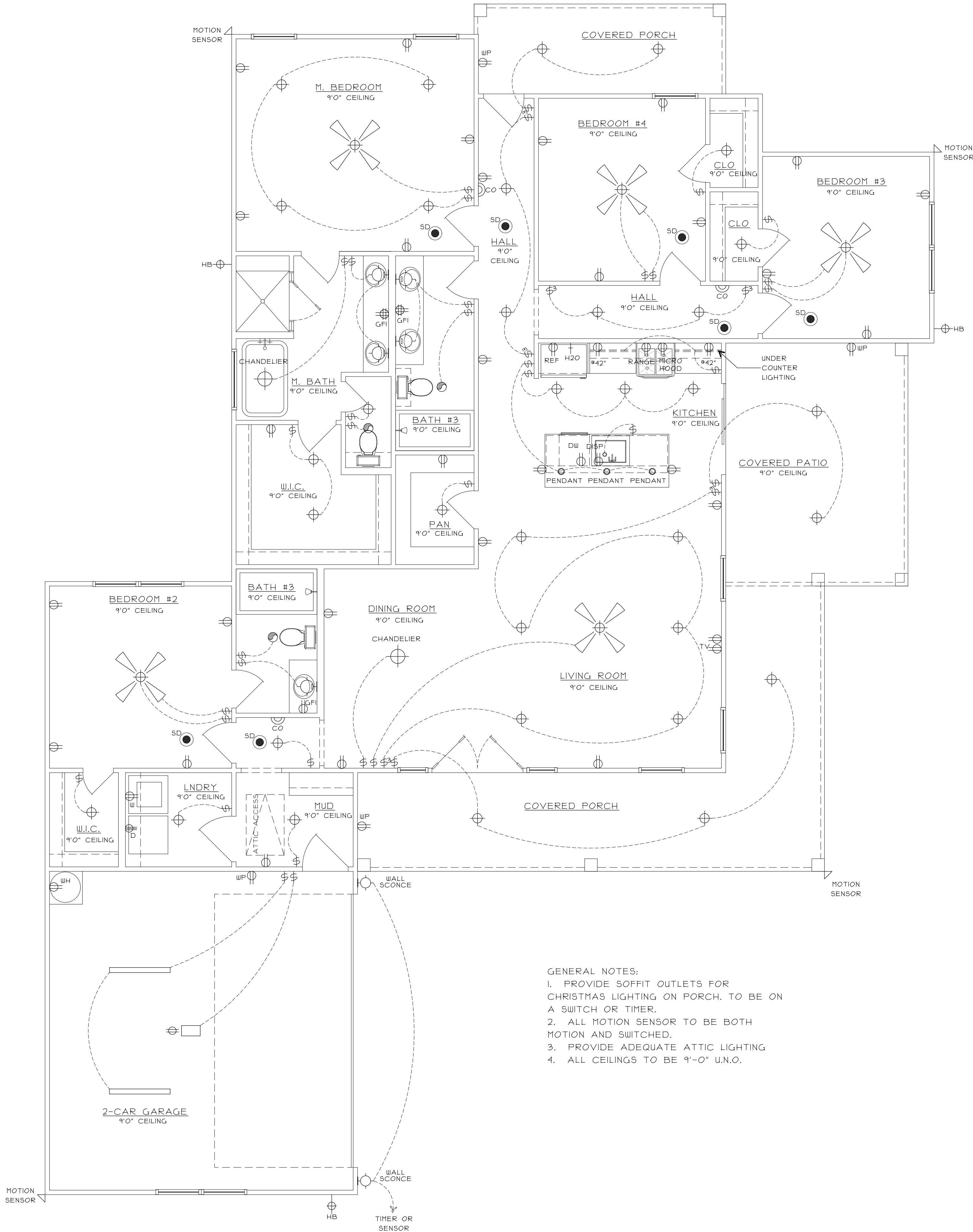
02 WEST ELEVATION

SCALE: 1/4"=1'-0"



01 NORTH ELEVATION

SCALE: 1/4"=1'-0"



- GENERAL NOTES:
1. PROVIDE SOFFIT OUTLETS FOR CHRISTMAS LIGHTING ON PORCH. TO BE ON A SWITCH OR TIMER.
 2. ALL MOTION SENSOR TO BE BOTH MOTION AND SWITCHED.
 3. PROVIDE ADEQUATE ATTIC LIGHTING
 4. ALL CEILINGS TO BE 9'-0" U.N.O.



01 POWER PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL NOTES:

- 1.) CONSULT LOCAL UTILITY & LOCAL CODES FOR PROPER GROUNDING REQUIREMENTS.
- 2.) RECEPTACLES SHALL BE SPACED ACCORDINGLY SO THAT AT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM AN OUTLET. NO SPACES FURTHER APART THAN 12" UNLESS NOTED OTHERWISE OR PER ANY SPECIFIC CODES.
- 3.) ALL RECEPTACLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM (GFI) AND AS NOTED ON THE DRAWINGS.
- 4.) OUTLET BOXES IN WALL BETWEEN THE LIVING AREA & THE GARAGE SHALL BE METAL OR U.L. APPROVED PLASTIC.
- 5.) SMOKE DETECTORS SHALL BE PLACED NO MORE THAN 12" FROM CLG. AND 3'-0" FROM DUCT OPENINGS. DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED. PROTECT ALL SLEEPING AREAS PER CODE.
- 6.) SWITCH PLATES TO BE PLACED AT 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH TYPICAL.
- 7.) AT LEAST TWO 20 AMP SMALL APPLIANCES CIRCUITS SHALL BE PROVIDED TO SERVE THE KITCHEN, NOOK, & DINING AREAS. THESE CIRCUITS ARE TO HAVE NO OTHER OUTLETS. CONFORM TO NEC ART 220-3(C).
- 8.) ALL LIGHTING FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 18" FROM ALL SHELVING.
- 9.) PROVIDE 150 AMP ELECTRICAL SERVICE PANEL WITH METER EQUIP.
- 10.) PROVIDE DISCONNECT SWITCH FOR AIR HANDLER IN SPACE REQUIRED.
- 11.) PROVIDE OPTIONAL ELECTRICAL TO MASTER BATH TUB (OR AS REQUIRED) FOR FUTURE WHIRLPOOL HOOK UP.

ELECTRICAL SCHEDULE

SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH
	3 WAY SWITCH
	110V OUTLET
	110V OUTLET - 4 PLEX
	220V OUTLET
	RECESSED CAN FIXTURE
	PENDANT FIXTURE
	SCONCE
	EXHAUST FAN
	OVER OR UNDERCOUNTER LIGHTING
	SMOKE DETECTOR
	CO DETECTOR
VP ----VAPOR PROOF	
WP----WEATHER PROOF	
GFI----GROUND FAULT INTERCEPTOR	
LV ----LOW VOLTAGE	
OS ----OUTSIDE	
GD----GARAGE DISPOSAL	
DW----DIRECT WIRE	
NOTE: ALL OUTLETS IN KITCHEN, GARAGE AND BATHROOMS TO BE G.F.I.	



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG	
DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG		
DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

☐ PRELIMINARY -

☒ BIDDING / PERMIT

☐ REVISION

☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462

DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

SHEET NO.

A6.1

POWER PLAN



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
803 Lamar Street	Single-Family Home	1982	1152	48 SF	Siding
801 Lamar Street	Single-Family Home	2017	1326	96 SF; 120 SF	Brick
501 E Bourn Street	Single-Family Home	1975	1226	484 SF	Siding
803 Peters Colony	Single-Family Home	2010	1420	N/A	Brick
801 Peters Colony	Single-Family Home	2011	1489	N/A	Brick
604 S Ross	Single-Family Home	1975	912	N/A	Siding
AVERAGES:		1995	1254	249 SF	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



803 LAMAR STREET



801 LAMAR STREET



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



501 E BOURN



803 PETERS COLONY



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



801 PETERS COLONY



604 ROSS STREET

CITY OF ROCKWALL

ORDINANCE NO. ~~22-XX~~

SPECIFIC USE PERMIT NO. ~~S-2XX~~

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [~~ORDINANCE NO. 20-02~~] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.25-ACRE PARCEL OF LAND, IDENTIFIED AS LOT E, BLOCK 112, B.F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Javier Silva for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [~~Ordinance No. 20-02~~] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [~~Ordinance No. 20-02~~] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [~~Ordinance No. 20-02~~] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- (3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF JULY, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 20, 2022

2nd Reading: July 5, 2022

Exhibit 'A'
Location Map and Legal Description

Address: 511 Bourne Street

Legal Description: Lot E, Block 112, B.F. Boydston Addition

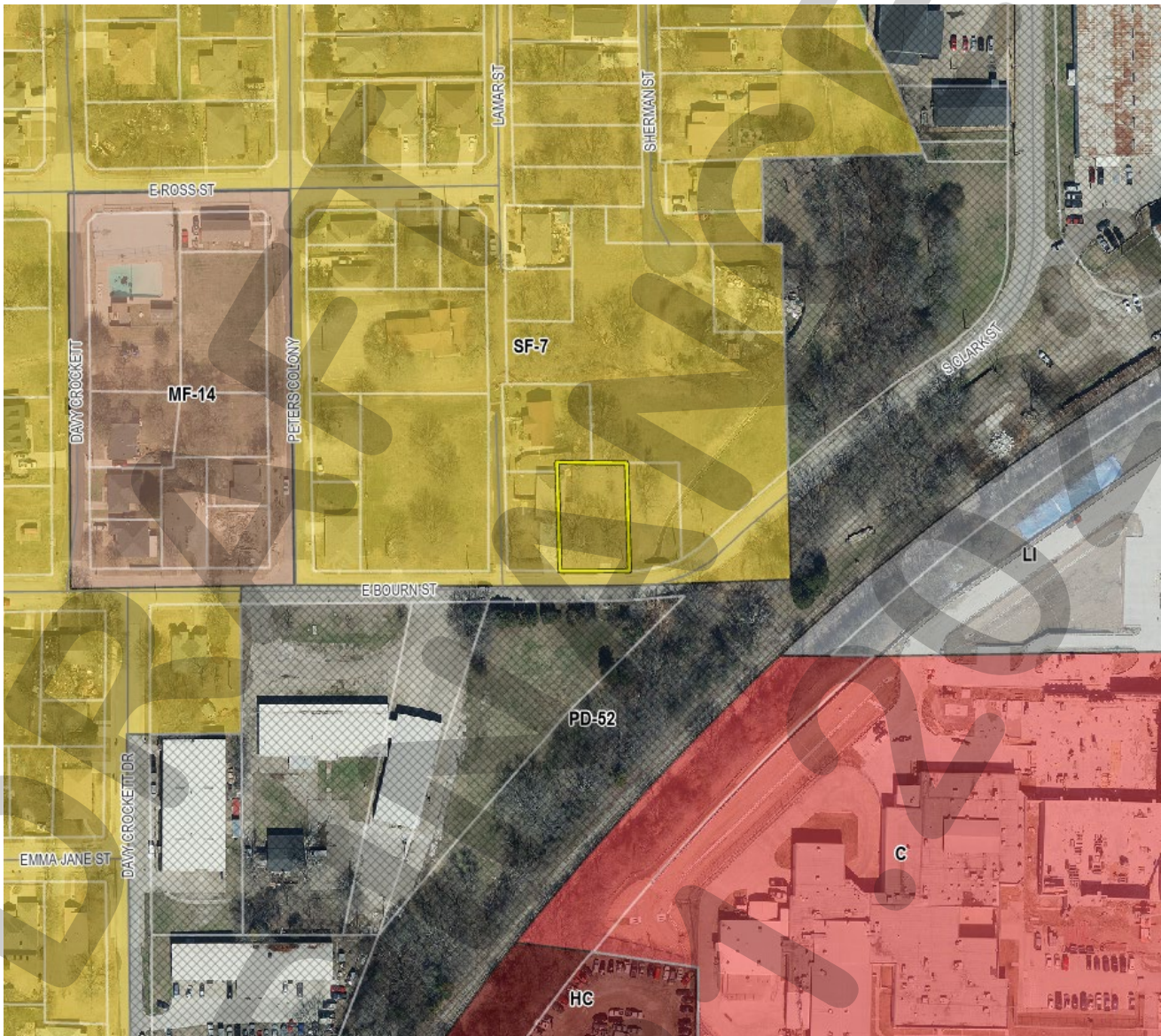
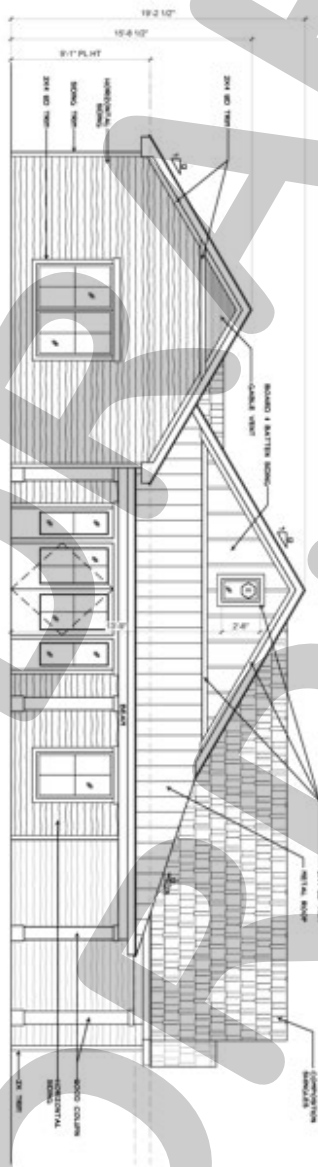
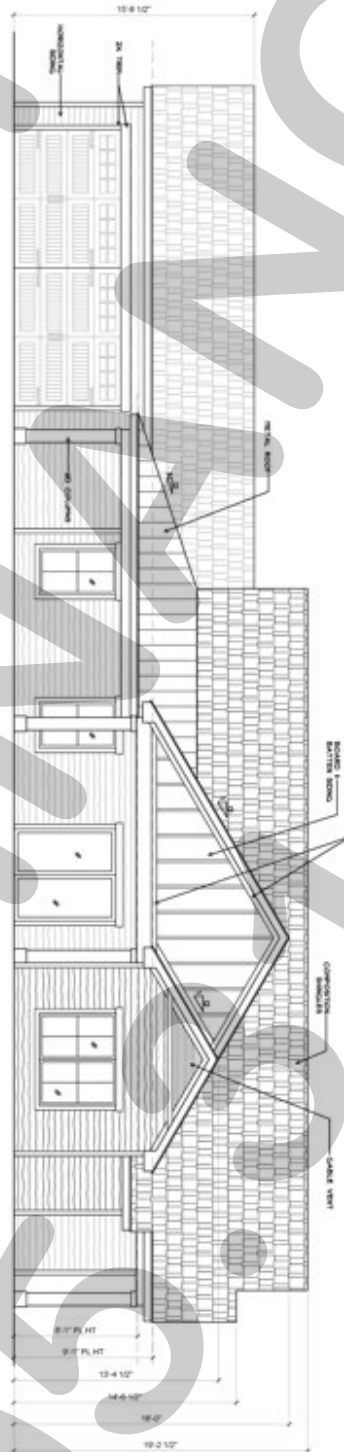


Exhibit 'C':
Building Elevations

01 SOUTH ELEVATION
SCALE 1/8"=1'-0"



02 EAST ELEVATION
SCALE 1/8"=1'-0"







CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: June 14, 2022

APPLICANT: Javier Silva; *JMS Custom Homes*

CASE NUMBER: Z2022-025; *Specific Use Permit (SUP) for a Residential Infill within an Established Subdivision at 511 E Bourn Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Javier Silva for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the April 1934 Sanborn Maps. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 3, 1972. This designation changed between May 16, 1983 and December 7, 1993 to a Single-Family 7 (SF-7) District based on the December 7, 1993 zoning map. The property has remained zoned Single Family (SF-7) District and has remained vacant.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill within an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 511 E Bourn Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 1.121-acre parcel of land (*i.e. Lot G, Block 112, B F Boydston Addition*) zoned Single Family 7 (SF-7) District, which is currently owned by the Rockwall Habitat for Humanity. Beyond this are nine (9) properties within the B. F. Boydston Addition, which are zoned Single-Family 7 (SF-7) District. Beyond that is E. Boydston Avenue, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is E. Bourn Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.68-acre tract of land (*i.e. Tract 14, of the J T Lewis Survey, Abstract No. 255*), addressed as 418 E. Bourn Street and zoned Planned Development 52 (PD-52) District for Heavy Commercial (HC) District land uses. Beyond that is the right of way for the *Union Pacific Dallas/Garland Northeast Railroad*.

East: Directly east of the subject property is one (1) parcel of land (*i.e. Lot F, Block 112, B F Boydston Addition*) zoned Single-Family 7 (SF-7) District. Beyond this is a 1.121-acre parcel of land (*i.e. Lot G, Block 112, B F Boydston Addition*) zoned Single Family 7 (SF-7) District, which is currently owned by the Rockwall Habitat for Humanity.

Beyond this is S. Clark Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 0.483-acre parcel of land (*i.e. Lot D, Block 112, of the B F Boydston Addition*), addressed as 509 E Bourn Street and zoned Single-Family 7 (SF-7) District. Beyond this is Lamar Street, which is classified a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the B. F. Boydston Addition, which was established in 1959, consists of more than five (5) lots, and is more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision and being zoned Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on E. Bourn Street and compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on E Bourn, Peters Colony, & S Ross	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face E Bourn Street
Year Built	1975 - 2017	N/A
Building SF on Property	48 SF – 1,489 SF	1989 SF
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 16-Feet and 56-Feet	41-feet, 10-inches
Side	Estimated between zero (0) and greater than ten (10) feet.	10-feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-feet
Building Materials	Brick and Siding	Siding
Paint and Color	Blue, Grey, Yellow/Green, Red, Brown, & Green	Unknown
Roofs	Composite and Asphalt Shingles	Composite Shingles
Driveways/Garages	Most driveways front the same street the single-family home faces with the exception of 501 E Bourn and 801 Peters Colony, all are oriented in a side entry configuration.	Attached garage situated behind the primary structure in a J-swing entry configuration.

The proposed single-family home meets all of the density and dimensional requirements for a property situated within a Single-Family 7 (SF-7) District and the Southside Residential Neighborhood Overlay (SRO) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along E. Bourn Street, Peters Colony, S. Ross Street, and the proposed building elevations in the attached packet. The approval of this request is a

discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On May 26, 2022, staff mailed 47 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

215 # 219.30



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
☐ AMENDING OR MINOR PLAT (\$150.00)
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 Bourn St Rockwall TX 75087

SUBDIVISION LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE 0.240

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]☒ OWNER Javier Silva☐ APPLICANT

CONTACT PERSON Javier Silva

CONTACT PERSON

ADDRESS 511 Bourn St.

ADDRESS

58. Windsor
Rockwall TX 75082

CITY, STATE & ZIP Rockwall TX 75087

CITY, STATE & ZIP

PHONE 972-814 9462

PHONE 9

E-MAIL support@JMS Custom Homes.net

E-MAIL support@JMS Custom Homes.net

NOTARY VERIFICATION [REQUIRED]

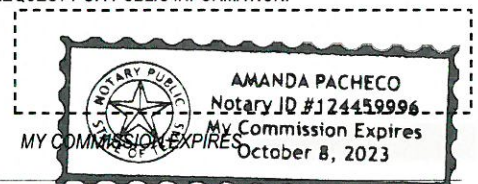
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Javier Silva [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

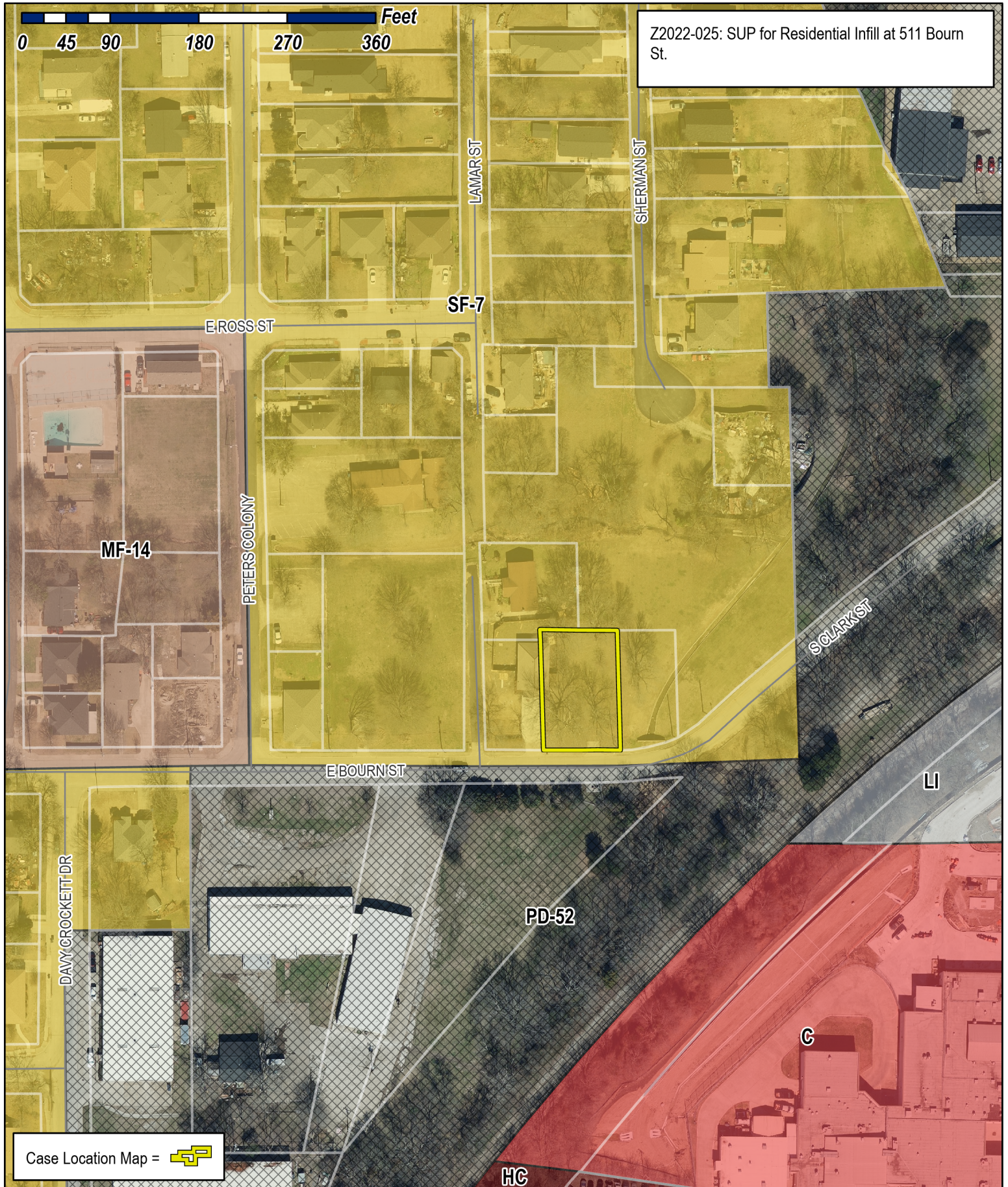
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20 DAY OF May, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

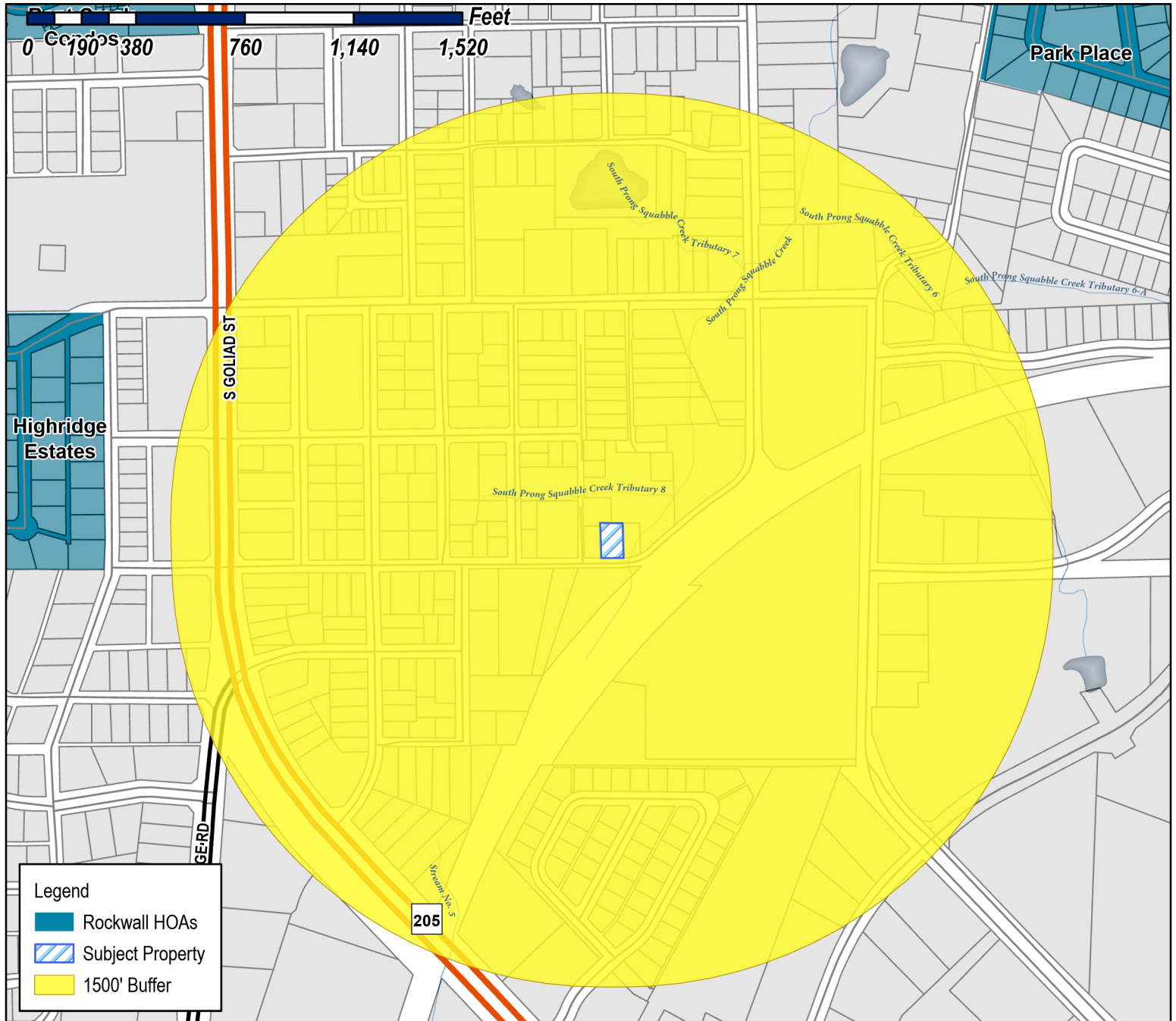




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

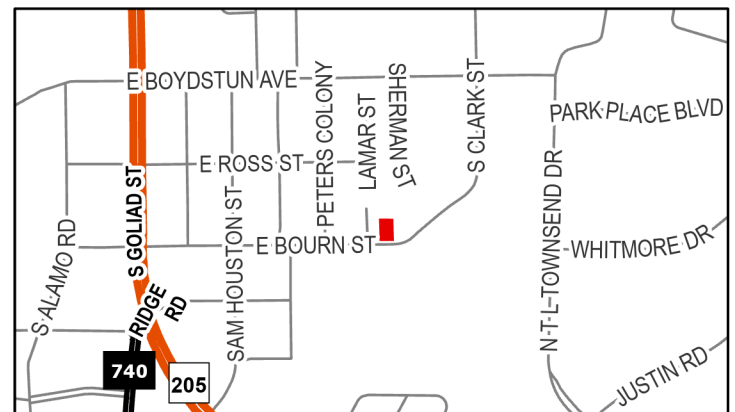
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single Family 7 (SF-7) District
Case Address: 511 Bourn St.

Date Saved: 5/20/2022

For Questions on this Case Call (972) 771-7745

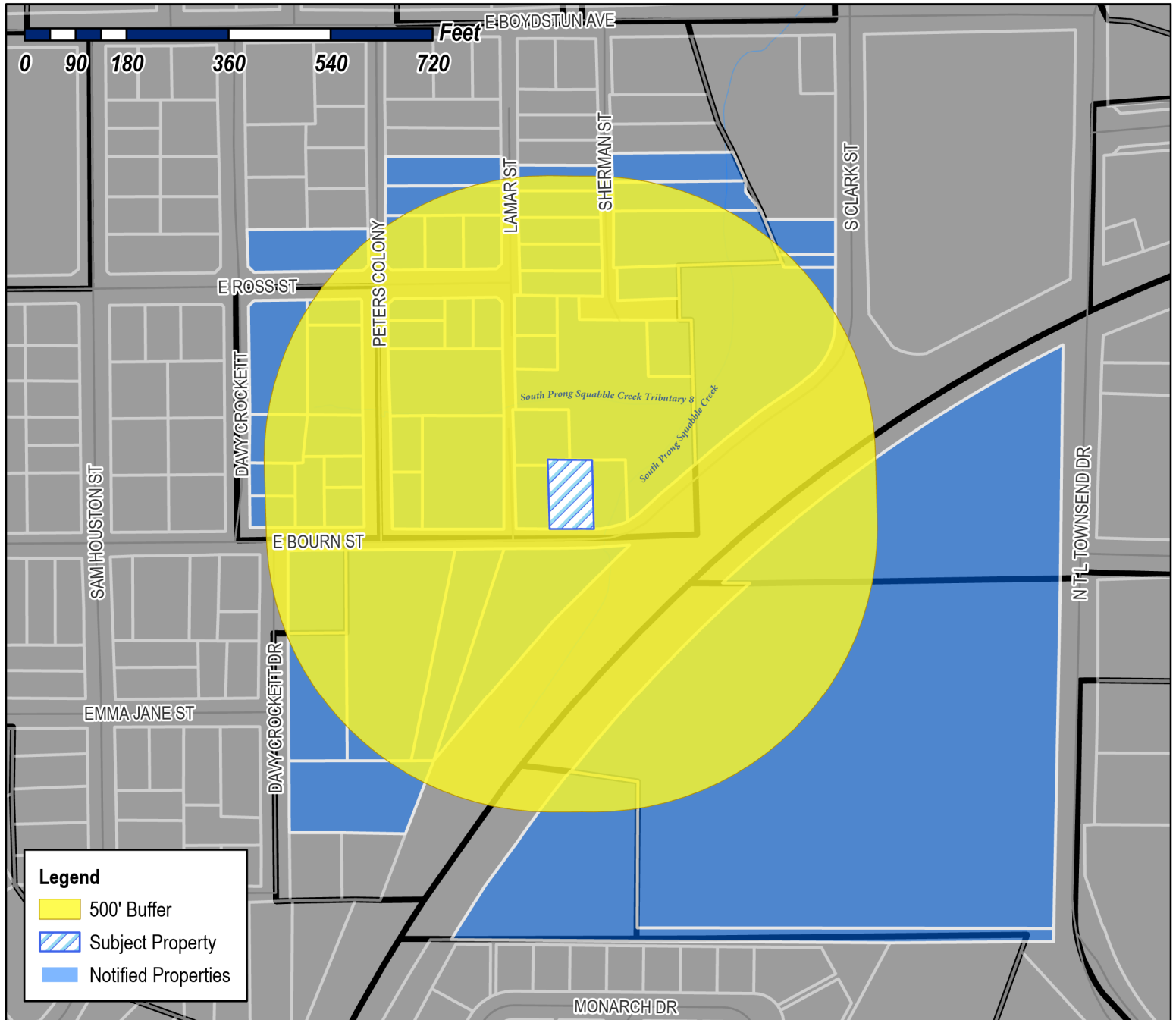




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

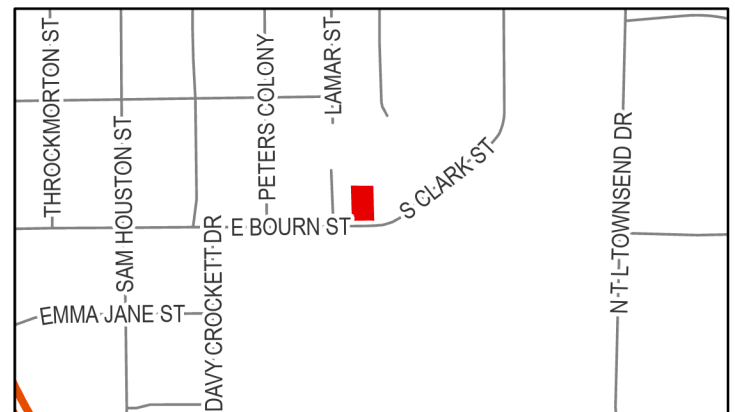
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single Family 7 (SF-7) District
Case Address: 511 Bourn St.

Date Saved: 5/20/2022

For Questions on this Case Call (972) 771-7745



ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75032

JOHNSON SCOTT
709 STILLWATER DR
ROCKWALL, TX 75087

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

HALL WILLA O
815 DAVY CROCKETT ST
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND
JOSEPH FABIAN PEREZ
604 ROSS STREET
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

CONLON MICHAEL SHAWN
708 SHERMAN ST
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

JPH ROCKWALL LLC
901 DAVY CROCKETT STREET
ROCKWALL, TX 75087

WALTER MARY
408 E BOURN ST
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
900 DAVY CROCKETT
ROCKWALL, TX 75087

BARRON BLAKELEIGH
811 DAVY CROCKETT ST
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

POTTS DANNY & VONDA
1100 T L TOWNSEND DR
ROCKWALL, TX 75087

ROCKWALL COUNTY
C/O COUNTY TREASURER
101 E RUSK ST SUITE 101
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the Planning and Zoning Commission will consider the following application:

Case No. Z2022-025: SUP for Residential Infill at 511 Bourne Street

Hold a public hearing to discuss and consider a request by Javier Silva for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to Established Subdivision* for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, June 14, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 20, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 20, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-025: SUP for Residential Infill at 511 Bourne Street

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-026

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Was hoping to acquire this parcel to add to the already existing Habitat footprint and enable Rockwall Habitat for Humanity to more productively develop this area. This said; Habitat fort Humanity fully supports Mr. Silva's application. We look forward to building a great relationship with our new neighbor.

Respondent Information

Please provide your information.

First Name *

John

Last Name *

Cote

Address *

P0 Box 4

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

jajcote@hotmail.com

Phone Number

972-740-8515

Please check all that apply: *

- ☐ I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☒ I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- ☒ I received a property owner notification in the mail.
- ☐ I read about the request on the City's website.
- ☐ I saw a zoning sign on the property.
- ☐ I read about the request in the Rockwall Herald Banner.
- ☐ My neighbors told me about the request.
- ☐ Other: _____

This content is neither created nor endorsed by Google.

Google Forms

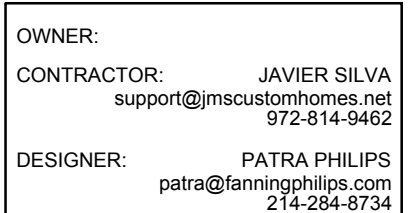
ROCKWALL HABITAT FOR HUMANITY
INST. NO. 20170000008236



ISSUE LOG

[illegible][illegible]

☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



ARCH. PROJ. #:	SCALE:
21502	REF. DRAWING

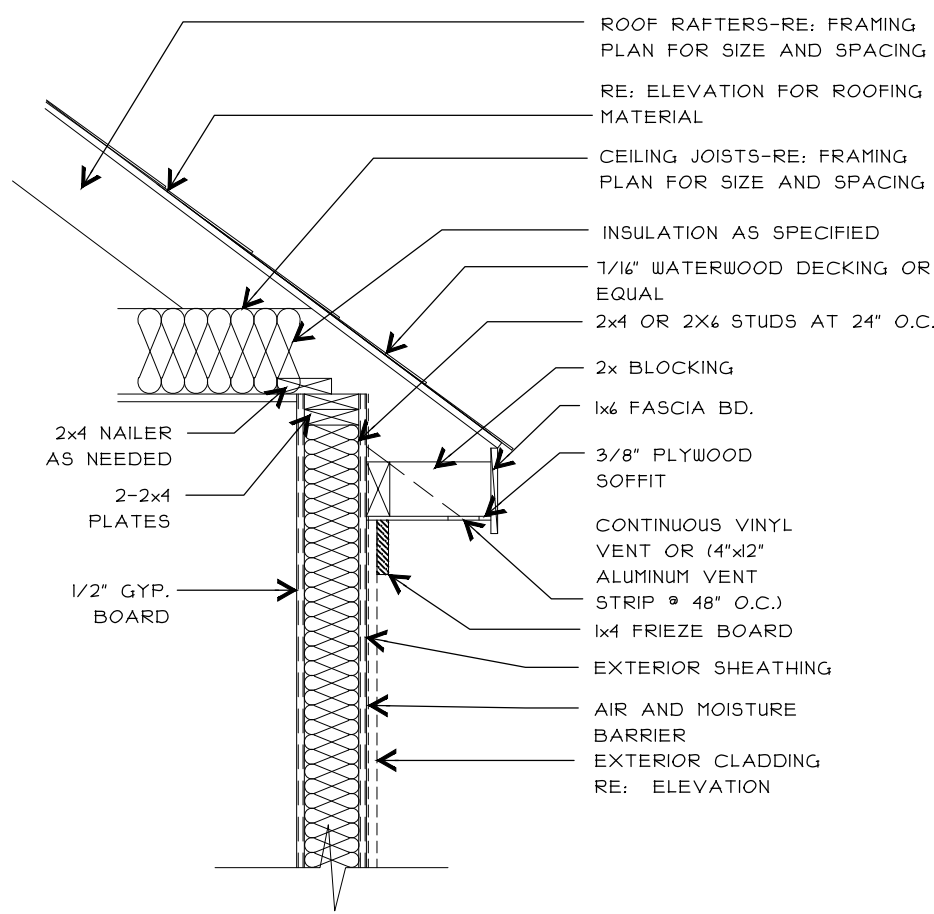
A2.1

ARCHITECTURAL
SITE PLAN

01 ARCHITECTURAL SITE PLAN

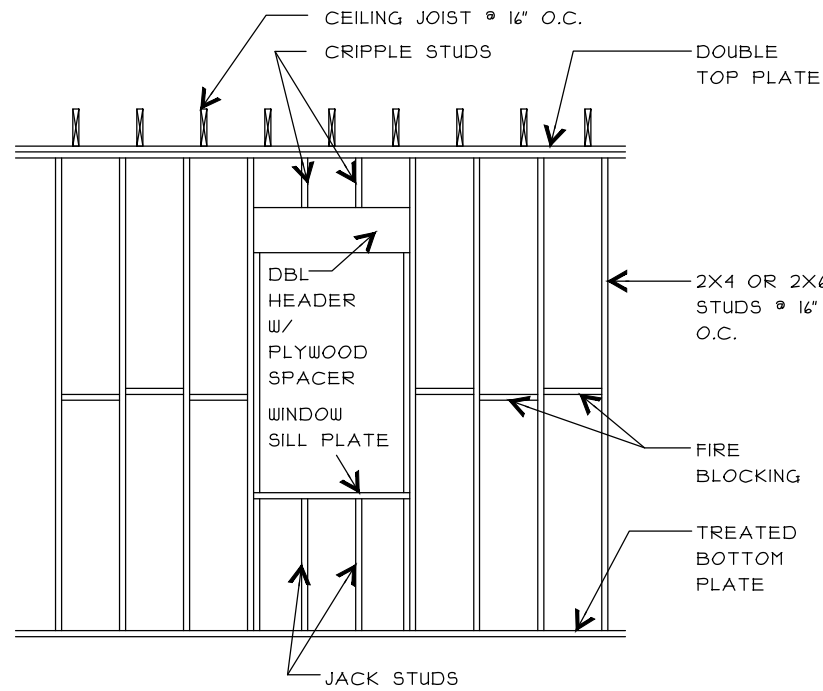
SCALE: 1/16"=1'-0"

GENERAL NOTES:
1.) COMPLY WITH ALL STATE AND LOCAL BUILDING CODES, ORDINANCES REGULATIONS CONCERNING AND PERTAINING TO CONSTRUCTION
2.) CONNECT ALL WATER, GAS, ELECTRIC, ETC., TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES.
3.) PROVIDE TERMITE PROTECTION OVER COMPACTED OR GRANULAR FILL CODE.
4.) ALL FOOTINGS ARE TO EXTEND 12" BELOW GRADE MINIMUM PER LOCAL CODE.
5.) PROVIDE VENTILATION EQUAL TO 1 SQ. FT. PER. 150 SQ. FT. OF ATTIC OR PER LOCAL CODES.
6.) 1/2" MIN. DRYWALL THROUGHOUT, 5/8" TYPE "X" AT GARAGE CEILING AT WALLS COMMON TO LIVING AREAS AND ENCLOSED SPACES OR PER PLANS.
7.) GYPSUM WALLBOARD INSTALLED AS A BACKING IN SHOWERS, TUB AREAS, LAUNDRY SPACES AND OTHER WET AREAS TO TYPE W.R. IDENTIFIED AND REFERRED TO AS "GREEN BOARD" OR EQUIVALENT.
8.) ALL EXTERIOR AND INTERIOR GLASS GLAZING TO COMPLY WITH LOCAL CODES.

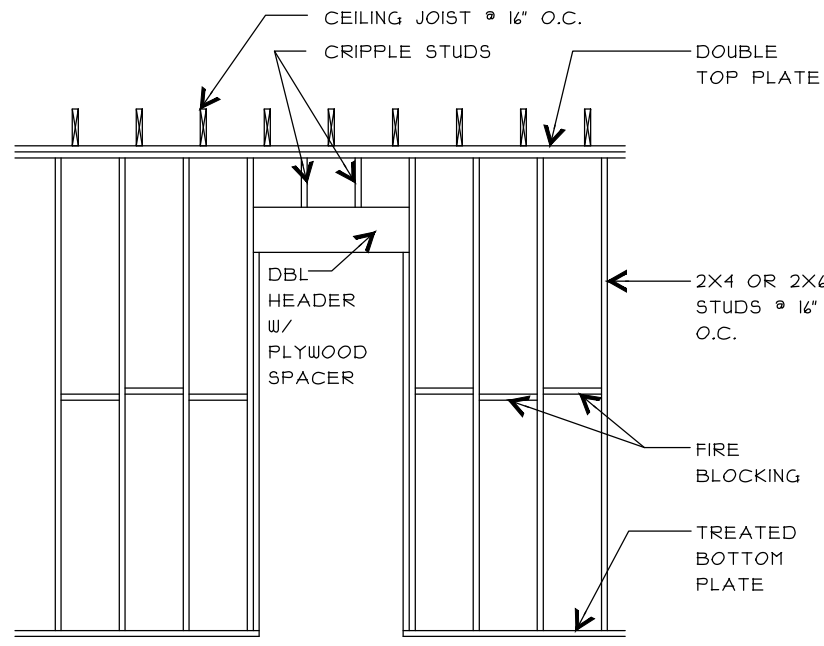


NOTE:
1. VERIFY ALL WINDOWS SIZES WITH MANUFACTURER FOR ALL FRAMING AND ROUGH OPENING DIMENSIONS.
2. FINAL MULLION DESIGN TO BE BY OWNER.

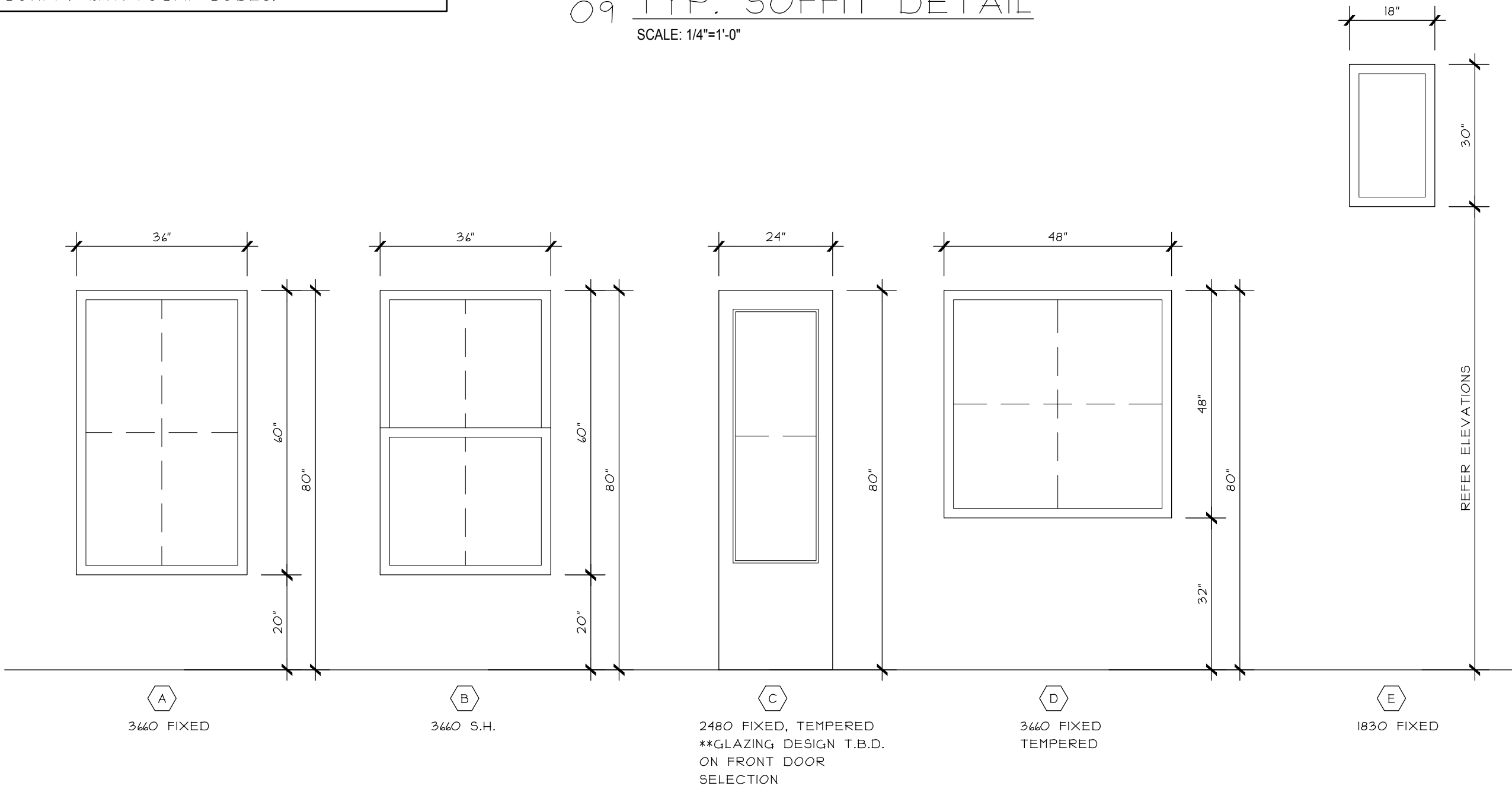
SQUARE FOOTAGE	AREAS
1989	FLOOR PLAN
439	2-CAR GARAGE
741	COVERED PORCH
97	COVERED PATIO
3266	TOTAL UNDER ROOF



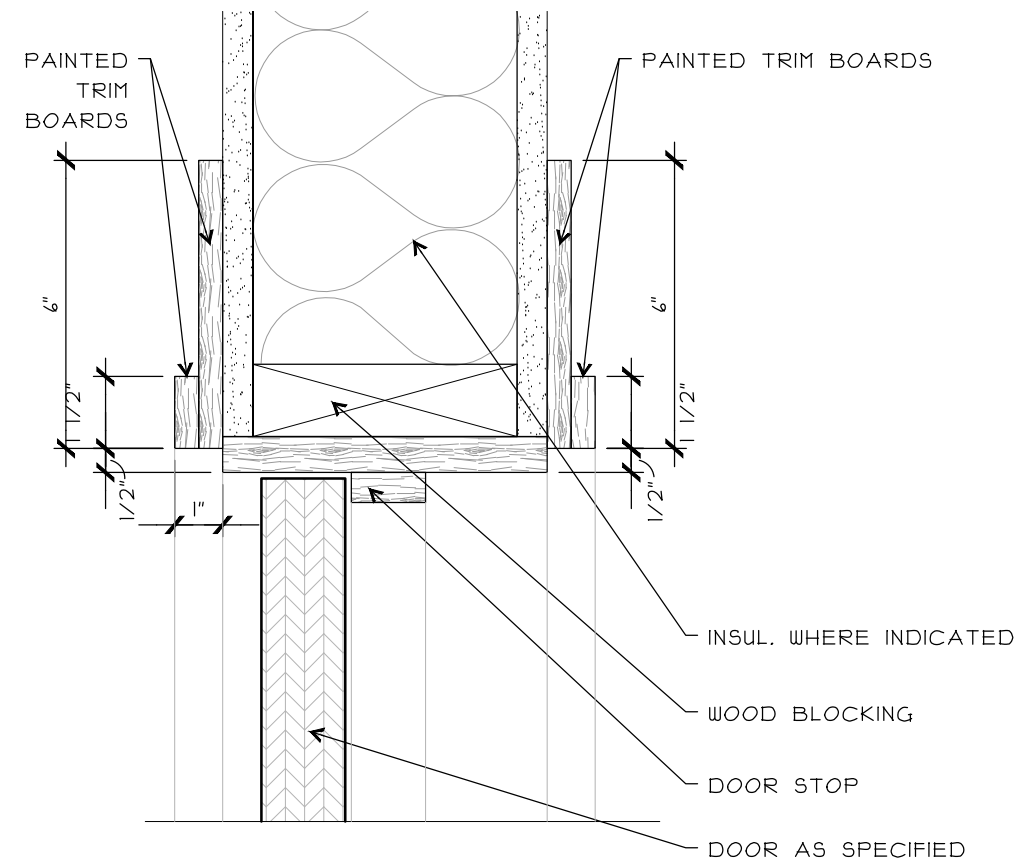
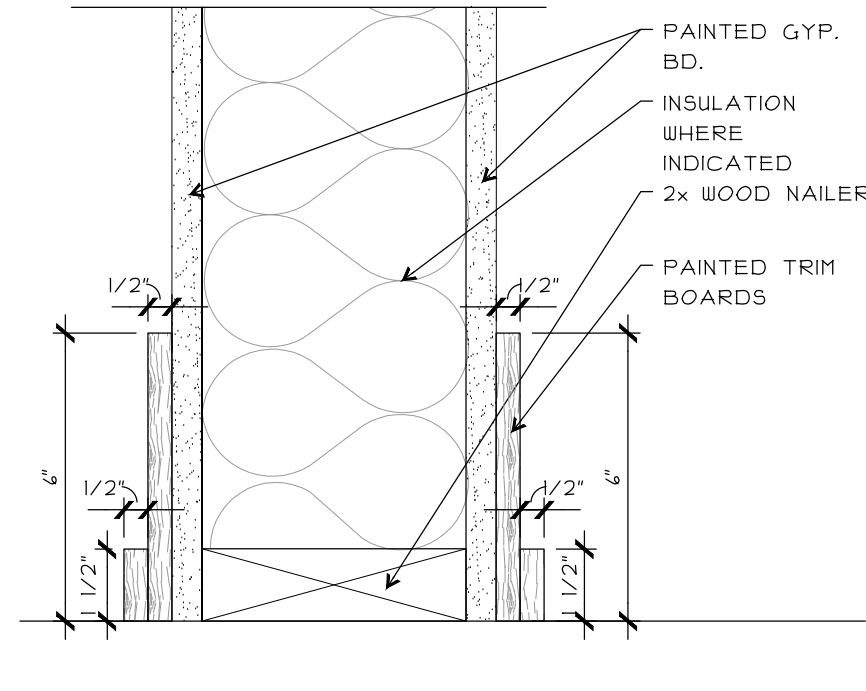
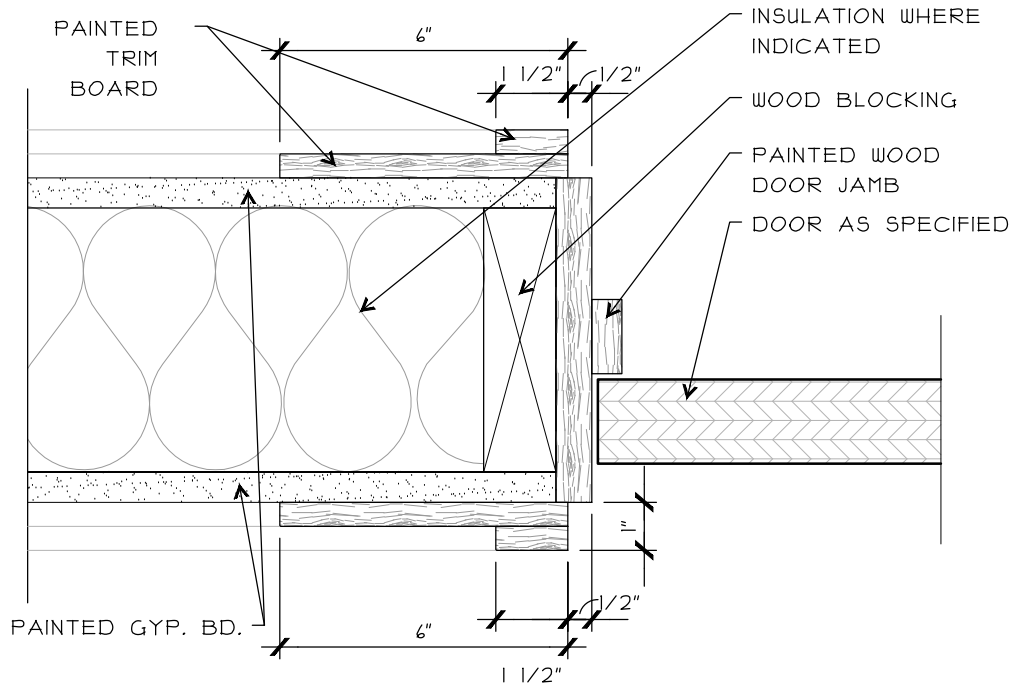
TYP. WINDOW
08 FRAMING DIAGRAM
SCALE: 1/4"=1'-0"



TYP. DOOR
01 FRAMING DIAGRAM
SCALE: 1/4"=1'-0"

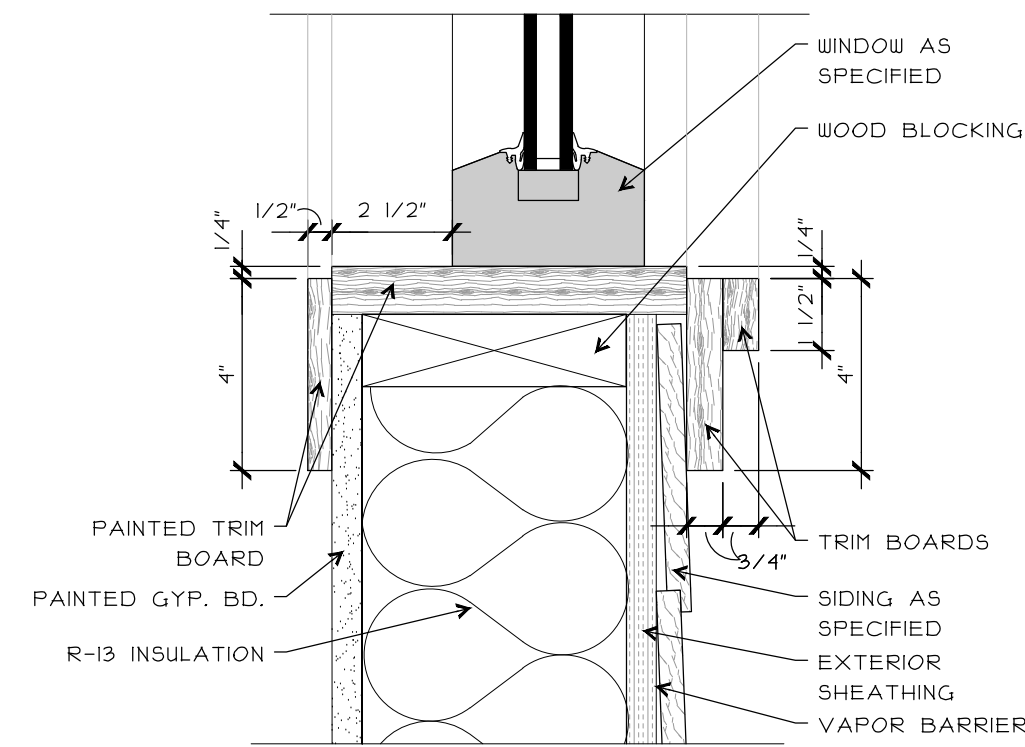


WINDOW TYPES

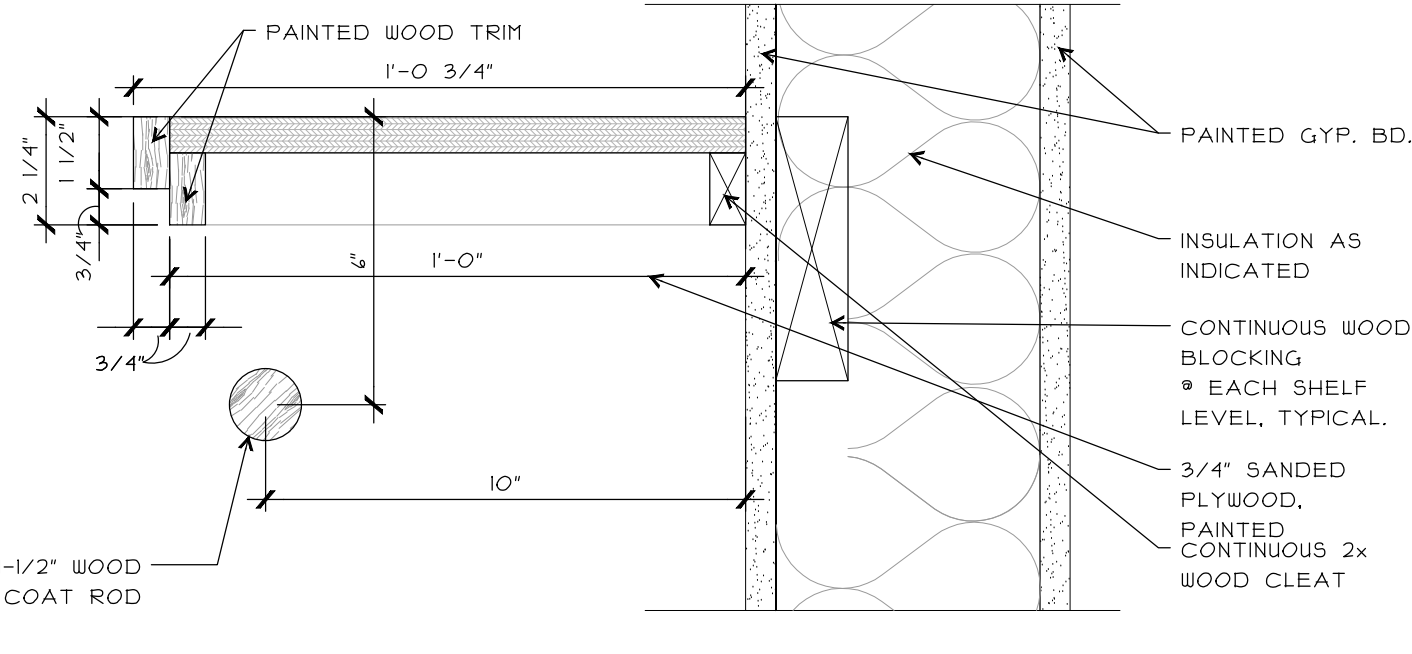


04 DOOR HEAD DETAIL
SCALE: 3/4"=1'-0"

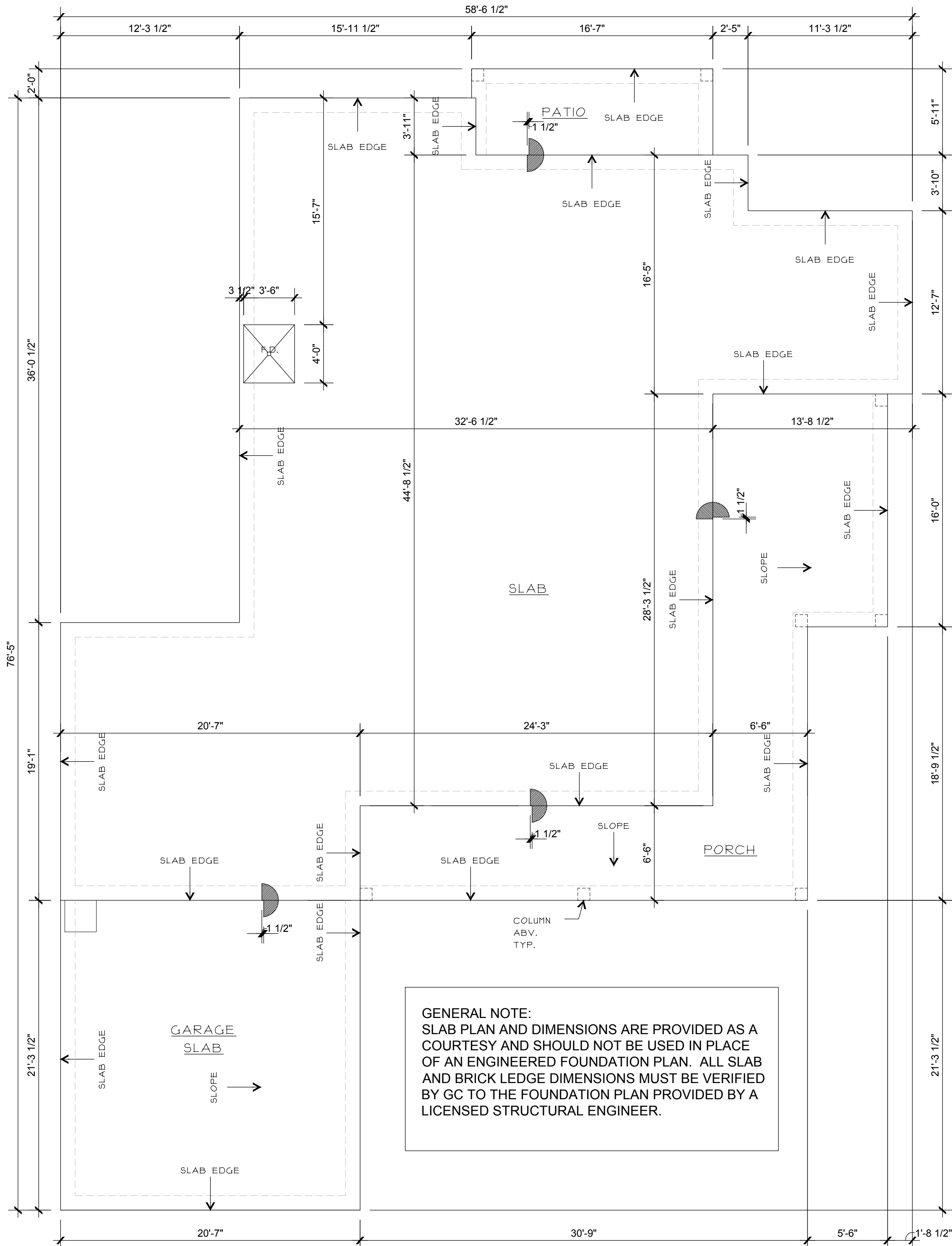
TYPICAL DETAILS



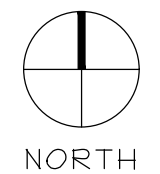
03 WINDOW SILL
SCALE: 3/4"=1'-0"



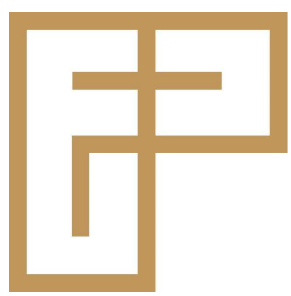
02 TYPICAL SHELF DETAIL
SCALE: 3/4"=1'-0"



GENERAL NOTE:
SLAB PLAN AND DIMENSIONS ARE PROVIDED AS A COURTESY AND SHOULD NOT BE USED IN PLACE OF AN ENGINEERED FOUNDATION PLAN. ALL SLAB AND BRICK LEDGE DIMENSIONS MUST BE VERIFIED BY GC TO THE FOUNDATION PLAN PROVIDED BY A LICENSED STRUCTURAL ENGINEER.



01 ARCHITECTURAL SLAB PLAN
SCALE: 3/16"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE	DESCRIPTION
ISSUE	
05/11/22	FOR PERMIT

REVISION LOG

DATE	DESCRIPTION	REV
ISSUE		NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-514-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

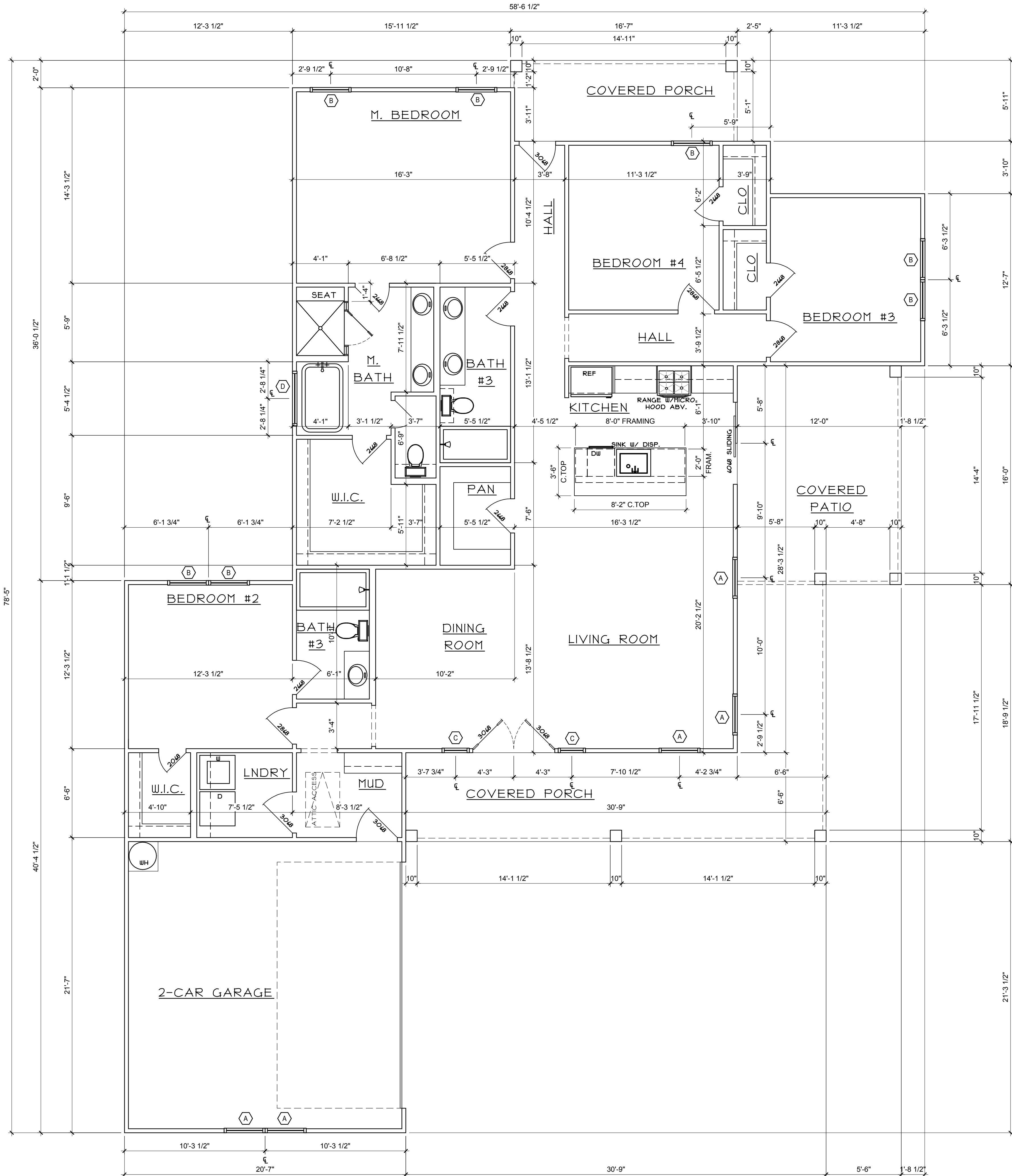
ARCH. PROJ. #:
21502

SCALE:
REF. DRAWING

SHEET NO.

A3.1

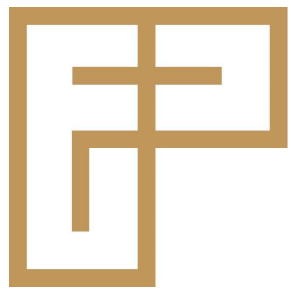
NOTES, DETAILS
SCHEDULE, SLAB PLAN



01

FLOOR PLAN

SCALE: 1/4"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE	DESCRIPTION	REV

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-514-9452
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

A3.2

FLOOR PLAN



11 BOURN ST
ROCKWALL,
TEXAS 75087

ISSUE LOG

[illegible]

REVISION LOG

[illegible]

ISSUED FOR:

- PRELIMINARY -
BIDDING / PERMIT
REVISION
FOR CONSTRUCTION



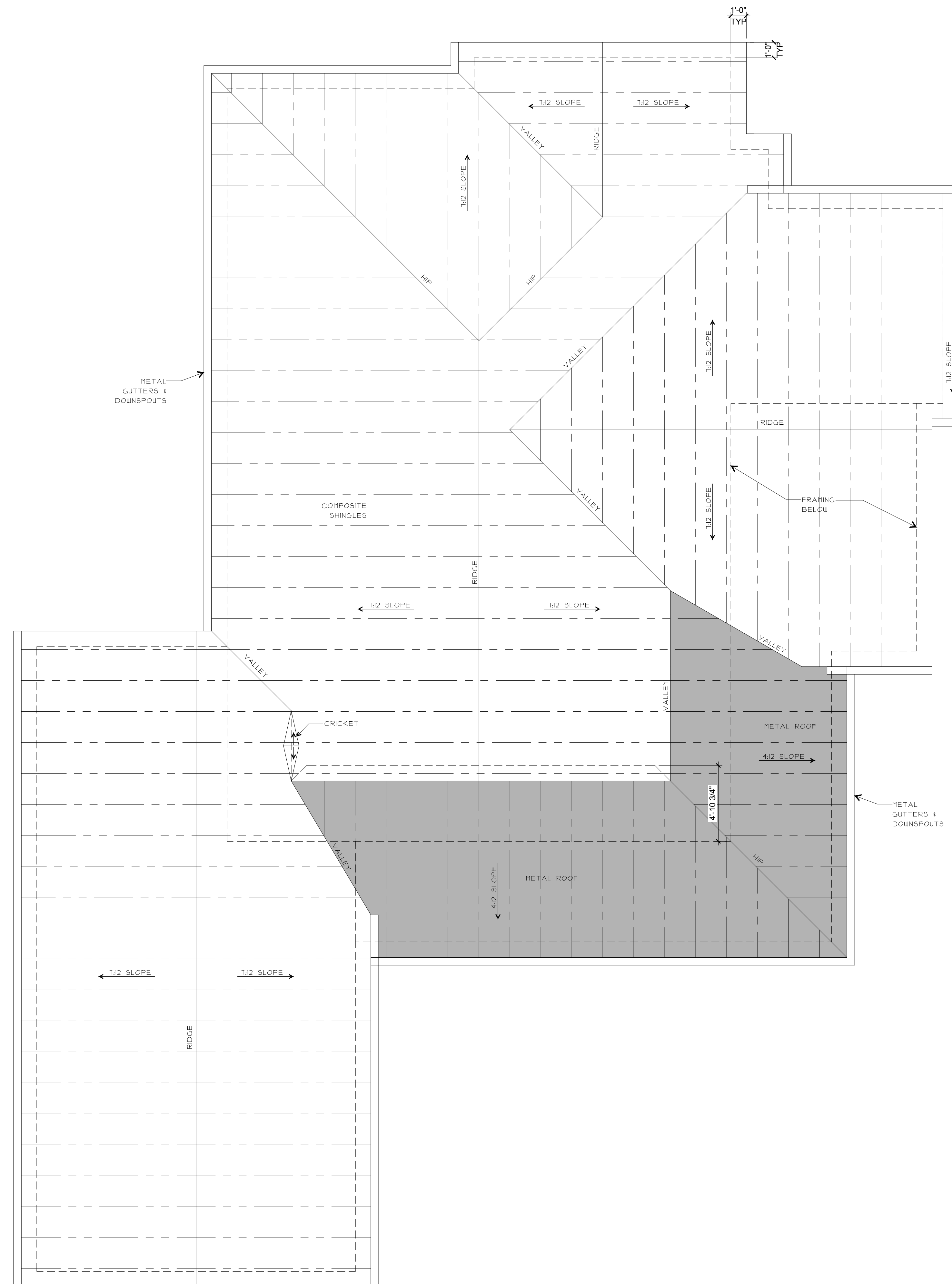
SIGNER: PATRA PHILLIPS
patra@fanningphillips.com
214-284-87

ARCH. PROJ. #:	SCALE:
21502	REF. DRAWING

SHEET NO.

A4.1

PROOF PLAN



FRAMING AND LUMBER NOTES:

- 1.) ALL SAW LUMBER SHALL BEAR STAMP OF WWPA OR APPROVED TESTING AGENCY
- 2.) ROOF JOIST, FLOOR JOIST, LEDGERS AND PLATES TO BE DOUGLAS FIR #2 OR BETTER
- 3.) ALL STUDS TO DOUGLAS FIR STUD GRADE OR APPROVED EQUIVALENT
- 4.) ROOF PLYWOOD SHEATHING TO $\frac{5}{8}$ " STANDARD 5-PLY WITH EXTERIOR GLUE WITH STAMP OF APPROVED TESTING AGENCY OR AS NOTED ON TYPICAL WALL SHEET
- 5.) FRAMING CONNECTIONS OR BE SIMPSON OR EQUIVALENT
- 6.) ALL BEARING STUD WALLS TO BE 2X6 AT 16" O.C. UNLESS NOTED OTHERWISE.
- 7.) ALL BEARING PARTITIONS SHALL HAVE DOUBLE TOP PLATES
- 8.) ALL INTERIOR HEADERS TO BE (2)2X12'S UNLESS NOTED OTHERWISE
- 9.) ALL EXTERIOR HEADERS TO BE (3)2X12'S UNLESS NOTED OTHERWISE
- 10.) CUTTING, NOTCHING, AND DRILLING OF WOOD MEMBERS SHALL COMPLY TO THE UNIFORM BUILDING CODE AND LOCAL AND STATE BUILDING CODES
- 11.) ALL CONVENTIONAL FRAMING SHALL COMPLY TO ALL LOCAL CODES
- 12.) ROOF TRUSSES TO BE MANUFACTURED BY AN APPROVED FABRICATOR
- 13.) ALL LUMBER SHALL BE F=1400 KILN DRIED SOUTHERN PINE, DOUGLAS FIR, OR HEMLOCK
- 14.) ALL EXTERIOR DOORS SHALL BE $\frac{13}{16}$ " THICK SOLID CORE $\frac{1}{2}$ " PR. BUTTS OR METAL INSULATION AS SHOWN ON DRAWINGS

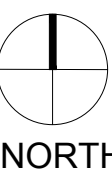
ALL HEADERS SHALL BE (3) 2X12 EXTERIOR & INTERIOR
BEARING WALLS UNLESS NOTED OTHERWISE.
MIN.-1-JACK STUD EA. SIDE OF OPG. TO 6' WIDE
MIN.-2-JACK STUD EA. SIDE OF OPG. TO 8' WIDE
MIN.-3 JACK STUD EA. SIDE OF OPG. TO 12' WIDE
ALL HEADERS (ANY SIZE) SHALL BE 1/2" PLYWOOD FILLERS.
GLUE & NAILED W/ 16D NAILS

ROOF CONSTRUCTION NOTES:

1. ROOF OVERHANG TO BE 12" U.N.O.
2. ROOF PITCH TO BE 7/12 U.N.O.
3. PROVIDE ATTIC VEAS AS SPECIFIED IN WALL SECTIONS IF APPLICABLE.
4. THE ROOF TRUSSES OR RAFTER TO INTERIOR PARTITIONS WITH METAL CLIPS, TIES OR STRAPS AS SPECIFIED IN BRACING SCHEDULE. ABOVE.
5. FIRST SHEET OF PLYWOOD ALONG EAVES TO BE GLUED AND NAILED AS DESCRIBED IN SHEATHING NAIL SCHEDULE ABOVE.
6. TRUSS DESIGNS REQUIRE THE SIGNATURE AND SEAL OF A STATE CERTIFIED ENGINEER.
7. PROVIDE ALL REQUIRED TRUSS BRACING AS SPECIFIED ON ENGINEERED TRUSS PLAN.

01 ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



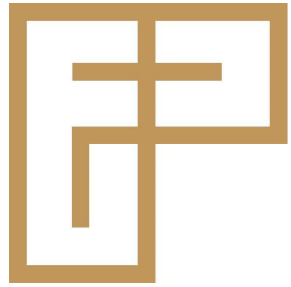


FRONT ELEVATION

NEW RESIDENCE

511 BOURN STREET
ROCKWALL, TX 75087

SHEET INDEX		DATE	REV	DATE
A-1.0	COVER SHEET	05/11/22		
A-2.1	ARCHITECTURAL SITE PLAN	05/11/22		
A-3.1	NOTES, DETAILS, SCHEDULES & SLAB PLAN	05/11/22		
A-3.2	FLOOR PLAN	05/11/22		
A-4.1	ROOF PLAN	05/11/22		
A-5.1	ELEVATIONS	05/11/22		
A-5.2	ELEVATIONS	05/11/22		
A-6.1	POWER PLAN	05/11/22		



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
- ☒ BIDDING / PERMIT
- ☐ REVISION
- ☐ FOR CONSTRUCTION

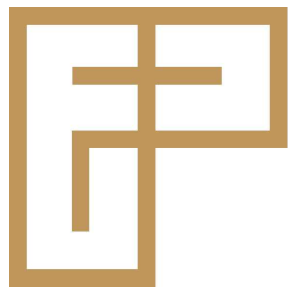


OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #:	SCALE:
21502	REF. DRAWING

SHEET NO.

A1.0
COVER SHEET



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

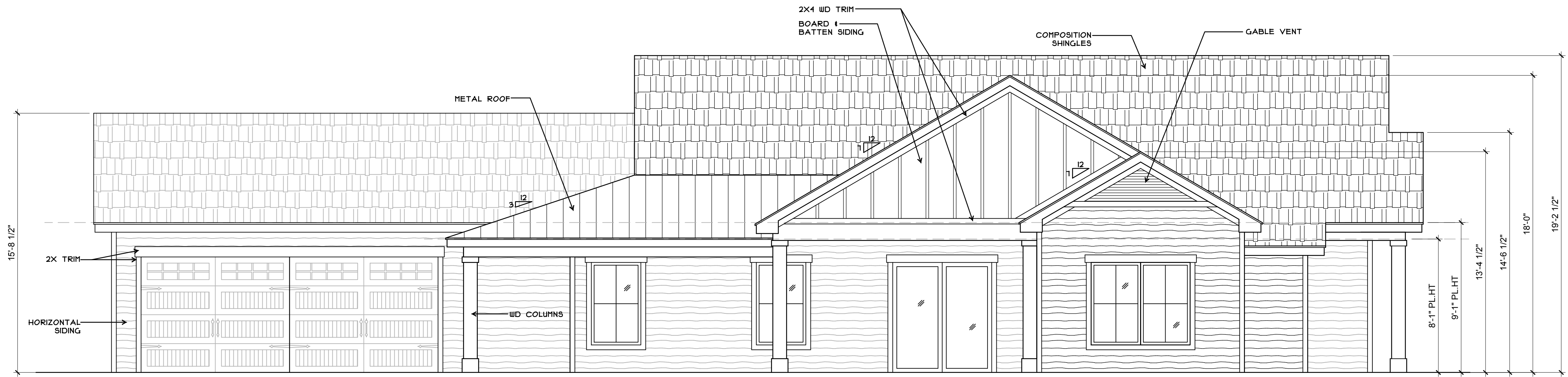
ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

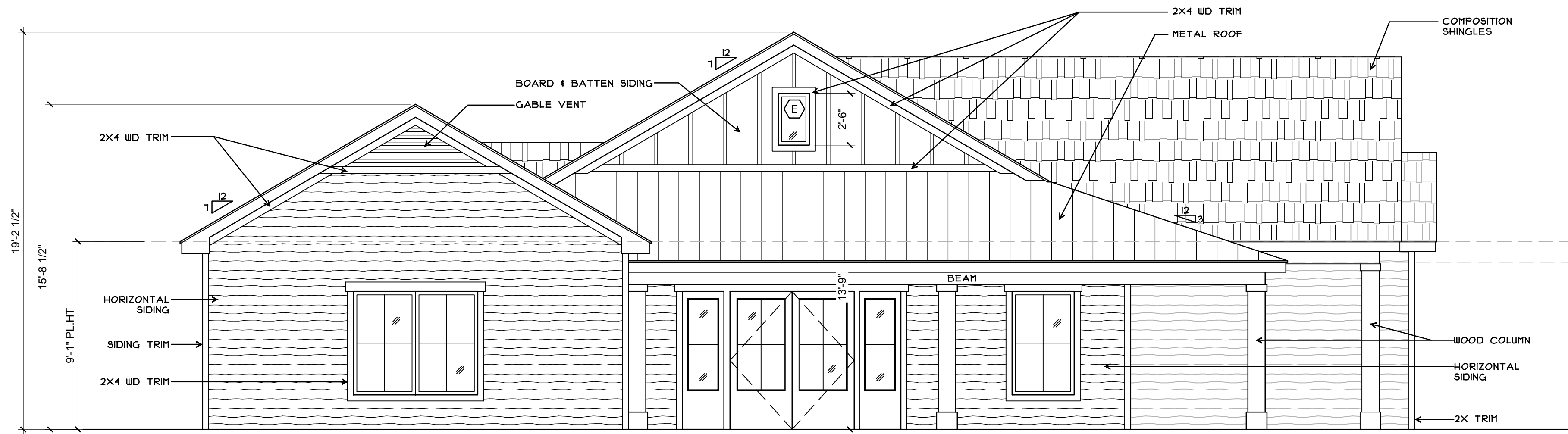
A5.1

ELEVATIONS



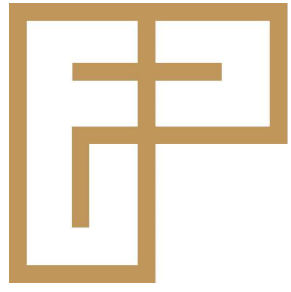
02 EAST ELEVATION

SCALE: 1/4"=1'-0"



01 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

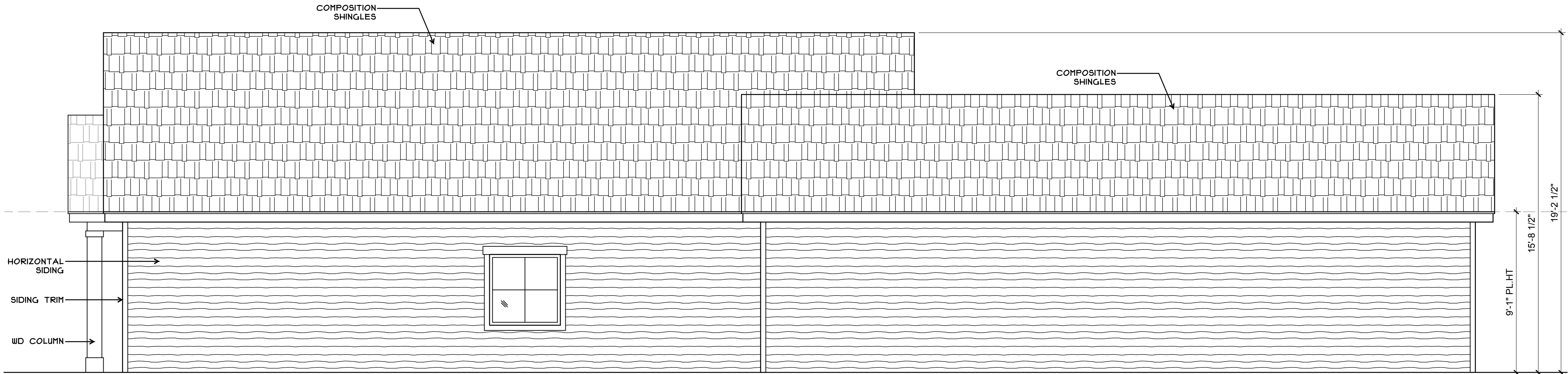
ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

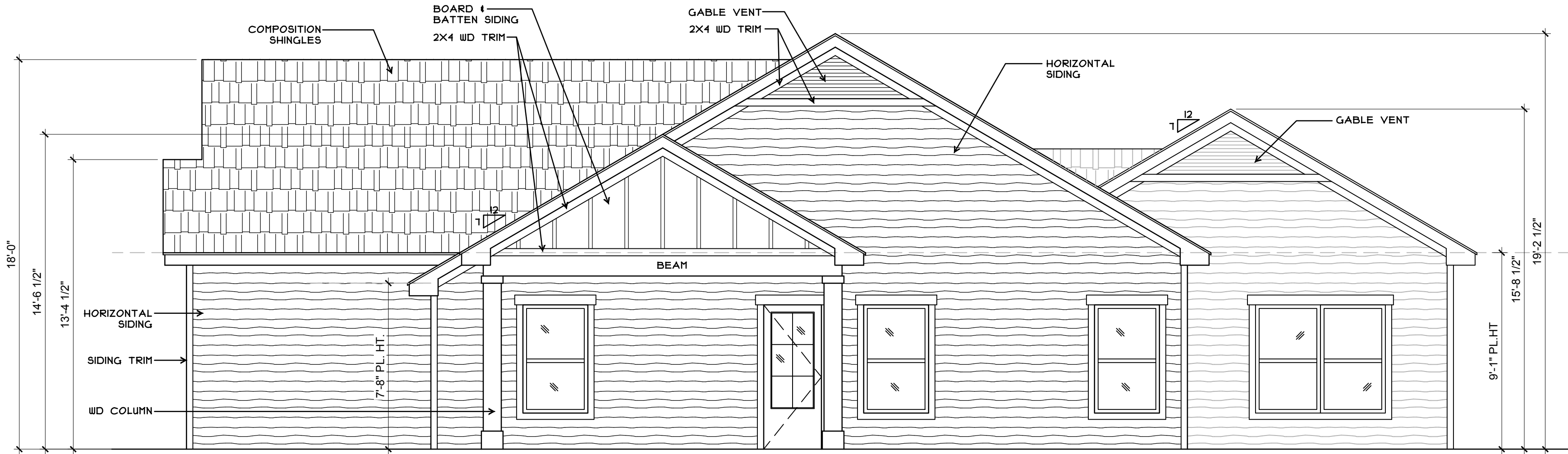
A5.2

ELEVATIONS



02 WEST ELEVATION

SCALE: 1/4"=1'-0"



01 NORTH ELEVATION

SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

POWER PLAN



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
803 Lamar Street	Single-Family Home	1982	1152	48 SF	Siding
801 Lamar Street	Single-Family Home	2017	1326	96 SF; 120 SF	Brick
501 E Bourn Street	Single-Family Home	1975	1226	484 SF	Siding
803 Peters Colony	Single-Family Home	2010	1420	N/A	Brick
801 Peters Colony	Single-Family Home	2011	1489	N/A	Brick
604 S Ross	Single-Family Home	1975	912	N/A	Siding
AVERAGES:		1995	1254	249 SF	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



803 LAMAR STREET



801 LAMAR STREET



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



501 E BOURN



803 PETERS COLONY



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



801 PETERS COLONY



604 ROSS STREET

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.25-ACRE PARCEL OF LAND, IDENTIFIED AS LOT E, BLOCK 112, B.F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Javier Silva for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- (3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF JULY, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

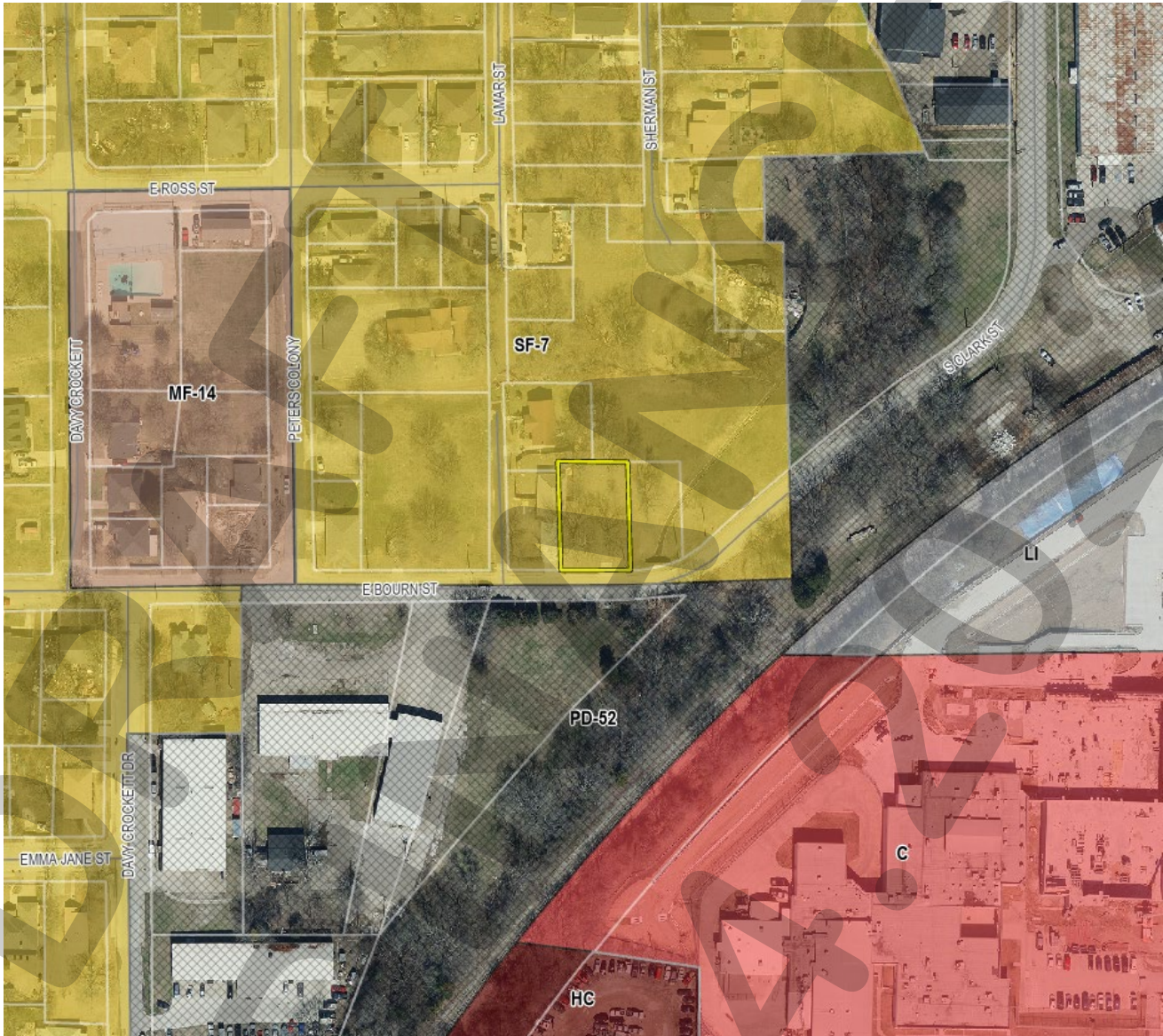
1st Reading: June 20, 2022

2nd Reading: July 5, 2022

Exhibit 'A'
Location Map and Legal Description

Address: 511 Bourne Street

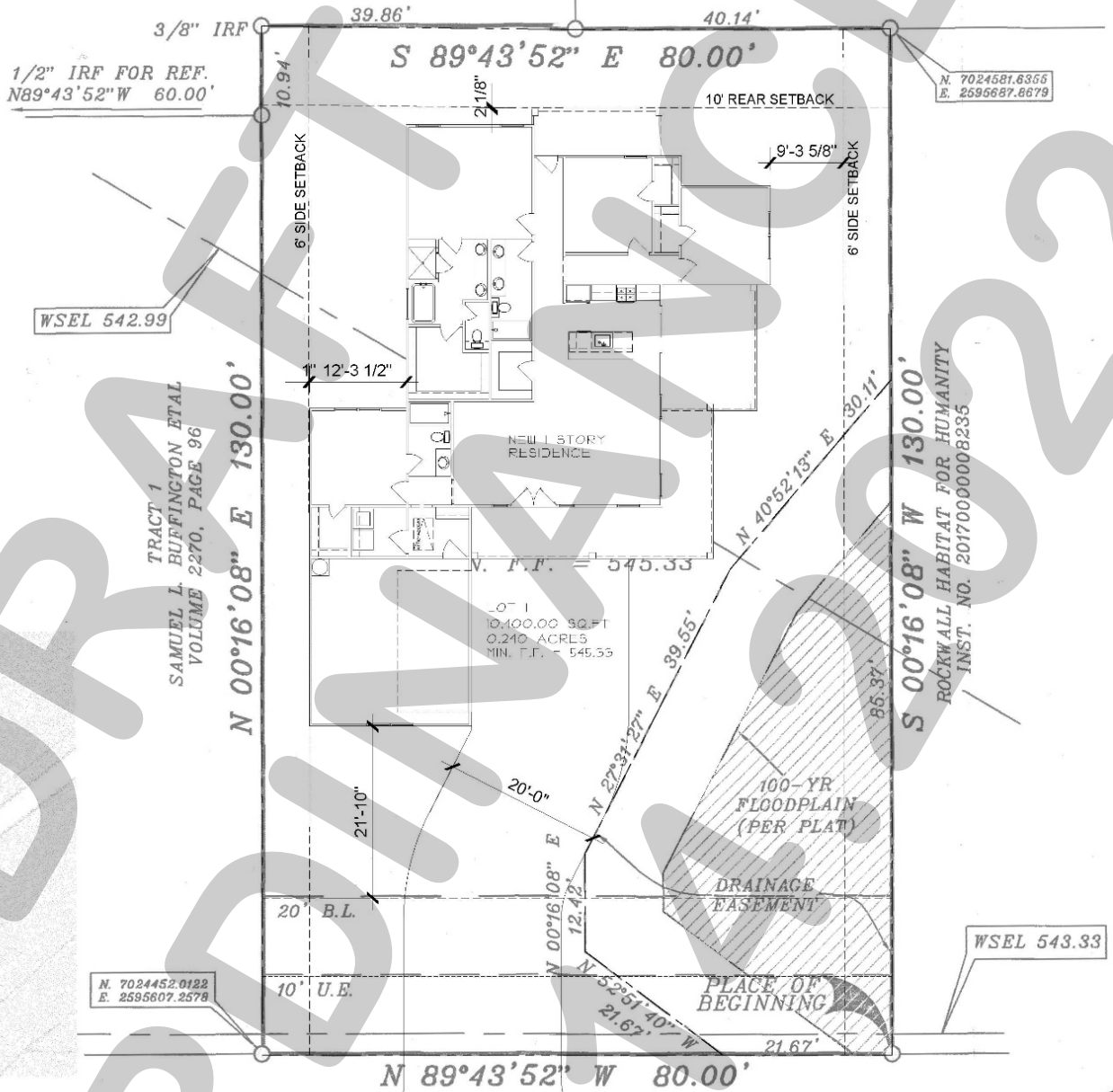
Legal Description: Lot E, Block 112, B.F. Boydston Addition



**Exhibit 'B':
Residential Plot Plan**

LOT 2, BLOCK 1
SAMUEL BUFFINGTON ADDITION
CABINET A, SLIDE 225

ROCKWALL HABITAT FOR HUMANITY
INST. NO. 20170000008236



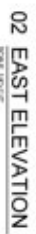
BOURN STREET



01 ARCHITECTURAL SITE PLAN

SCALE: 1/8"=1'-0"

Architectural drawing of the East Elevation of a building. The drawing shows a two-story structure with a gabled roof, multiple windows, and a chimney. Dimensions are provided for various elements, including window heights and widths, and overall building dimensions. A large, diagonal watermark reading "FORNCE 2022" is overlaid on the drawing.



02 WEST ELEVATION

SCALE 1/8"=1'-0"

9'-0" PL HT
10'-8 1/2"
10'-6 1/2"





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: June 20, 2022

APPLICANT: Javier Silva; *JMS Custom Homes*

CASE NUMBER: Z2022-025; *Specific Use Permit (SUP) for a Residential Infill within an Established Subdivision at 511 E Bourn Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Javier Silva for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the April 1934 Sanborn Maps. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 3, 1972. This designation changed between May 16, 1983 and December 7, 1993 to a Single-Family 7 (SF-7) District based on the December 7, 1993 zoning map. The property has remained zoned Single Family (SF-7) District and has remained vacant.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill within an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 511 E Bourn Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 1.121-acre parcel of land (*i.e. Lot G, Block 112, B F Boydston Addition*) zoned Single Family 7 (SF-7) District, which is currently owned by the Rockwall Habitat for Humanity. Beyond this are nine (9) properties within the B. F. Boydston Addition, which are zoned Single-Family 7 (SF-7) District. Beyond that is E. Boydston Avenue, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is E. Bourn Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.68-acre tract of land (*i.e. Tract 14, of the J T Lewis Survey, Abstract No. 255*), addressed as 418 E. Bourn Street and zoned Planned Development 52 (PD-52) District for Heavy Commercial (HC) District land uses. Beyond that is the right of way for the *Union Pacific Dallas/Garland Northeast Railroad*.

East: Directly east of the subject property is one (1) parcel of land (*i.e. Lot F, Block 112, B F Boydston Addition*) zoned Single-Family 7 (SF-7) District. Beyond this is a 1.121-acre parcel of land (*i.e. Lot G, Block 112, B F Boydston Addition*) zoned Single Family 7 (SF-7) District, which is currently owned by the Rockwall Habitat for Humanity.

Beyond this is S. Clark Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 0.483-acre parcel of land (*i.e. Lot D, Block 112, of the B F Boydston Addition*), addressed as 509 E Bourn Street and zoned Single-Family 7 (SF-7) District. Beyond this is Lamar Street, which is classified a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the B. F. Boydston Addition, which was established in 1959, consists of more than five (5) lots, and is more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision and being zoned Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...". The following is a summary of observations concerning the housing on E. Bourn Street and compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on E Bourn, Peters Colony, & S Ross	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face E Bourn Street
Year Built	1975 - 2017	N/A
Building SF on Property	48 SF – 1,489 SF	1989 SF
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 16-Feet and 56-Feet	41-feet, 10-inches
Side	Estimated between zero (0) and greater than ten (10) feet.	10-feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-feet
Building Materials	Brick and Siding	Siding
Paint and Color	Blue, Grey, Yellow/Green, Red, Brown, & Green	Unknown
Roofs	Composite and Asphalt Shingles	Composite Shingles
Driveways/Garages	Most driveways front the same street the single-family home faces with the exception of 501 E Bourn and 801 Peters Colony, all are oriented in a side entry configuration.	Attached garage situated behind the primary structure in a J-swing entry configuration.

The proposed single-family home meets all of the density and dimensional requirements for a property situated within a Single-Family 7 (SF-7) District and the Southside Residential Neighborhood Overlay (SRO) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along E. Bourn Street, Peters Colony, S. Ross Street, and the proposed building elevations in the attached packet. The approval of this request is a

discretionary decision for the City Council in finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On May 26, 2022, staff mailed 47 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received two (2) notices in favor of the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On June 14, 2022, the Planning and Zoning Commission approved a motion to approve the Specific Use Permit (SUP) with a vote of 4-0, with Commissioners Womble, Thompson, and Conway absent.

#215 #219.30



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
☐ AMENDING OR MINOR PLAT (\$150.00)
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 511 Bourn St Rockwall TX 75087

SUBDIVISION LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE 0.240

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]☒ OWNER Javier Silva☐ APPLICANT

CONTACT PERSON Javier Silva

CONTACT PERSON

ADDRESS 511 Bourn St.

ADDRESS

58. Windsor
Rockwall TX 75082

CITY, STATE & ZIP Rockwall TX 75087

CITY, STATE & ZIP

PHONE 972-814 9462

PHONE 9

E-MAIL support@JMS Custom Homes.net

E-MAIL support@JMS Custom Homes.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Javier Silva [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

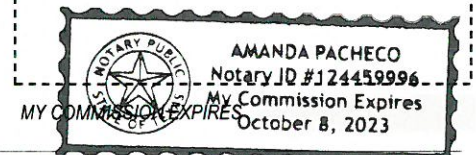
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

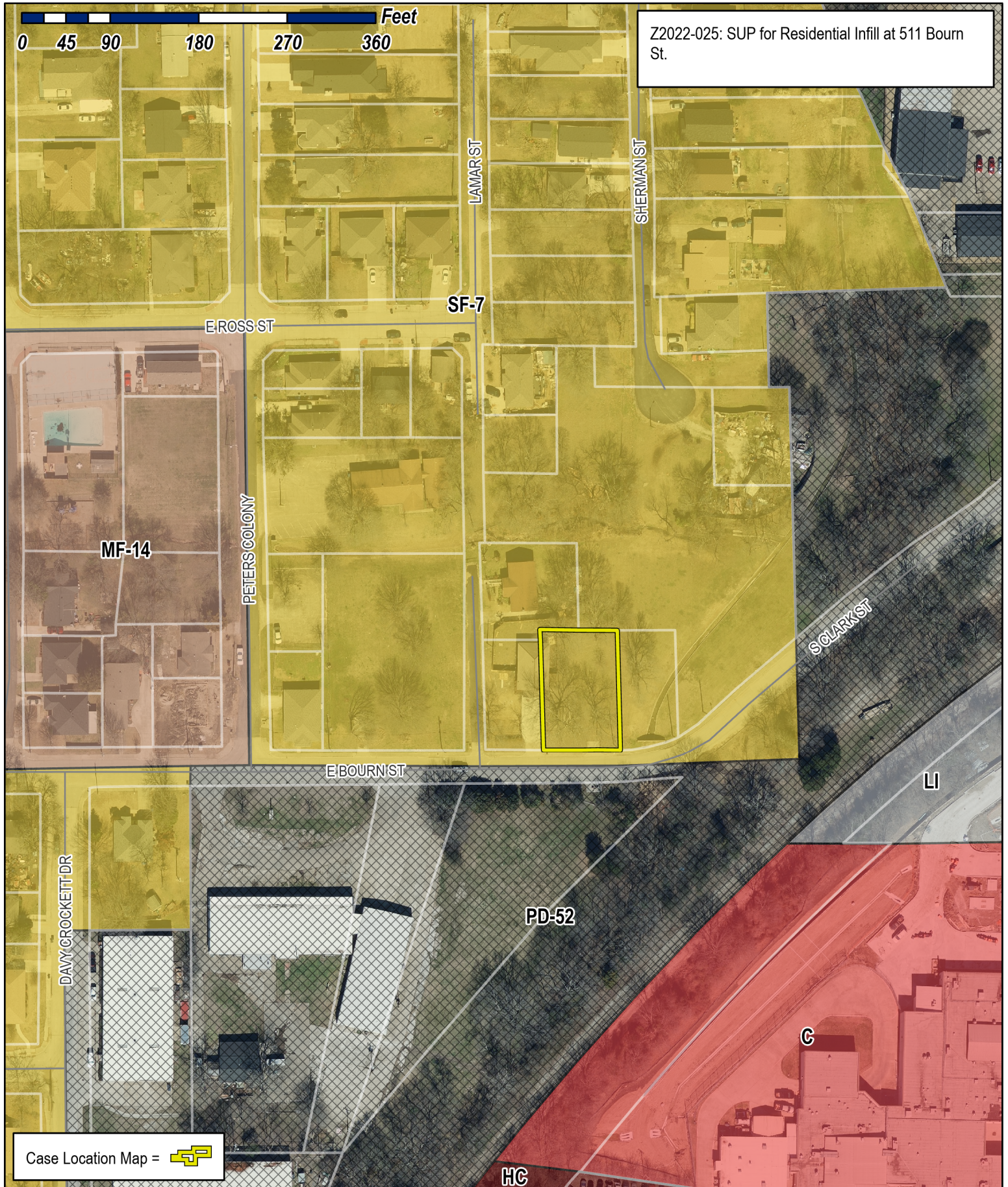
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20 DAY OF May, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]
Amanda Pacheco





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

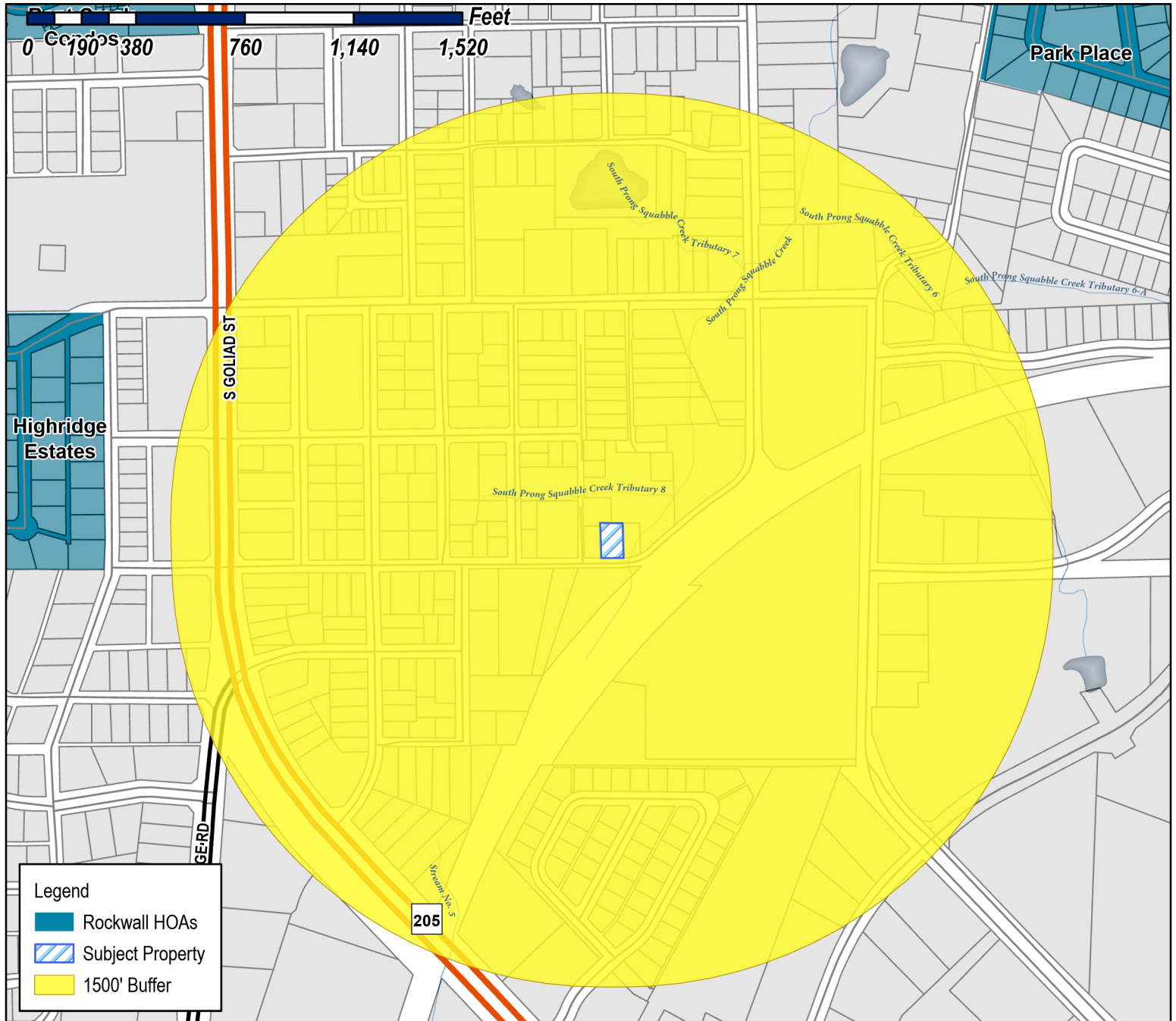




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

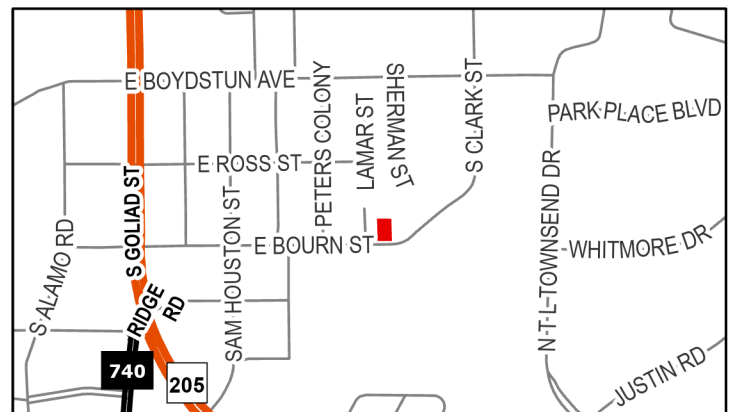
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single Family 7 (SF-7) District
Case Address: 511 Bourn St.

Date Saved: 5/20/2022

For Questions on this Case Call (972) 771-7745

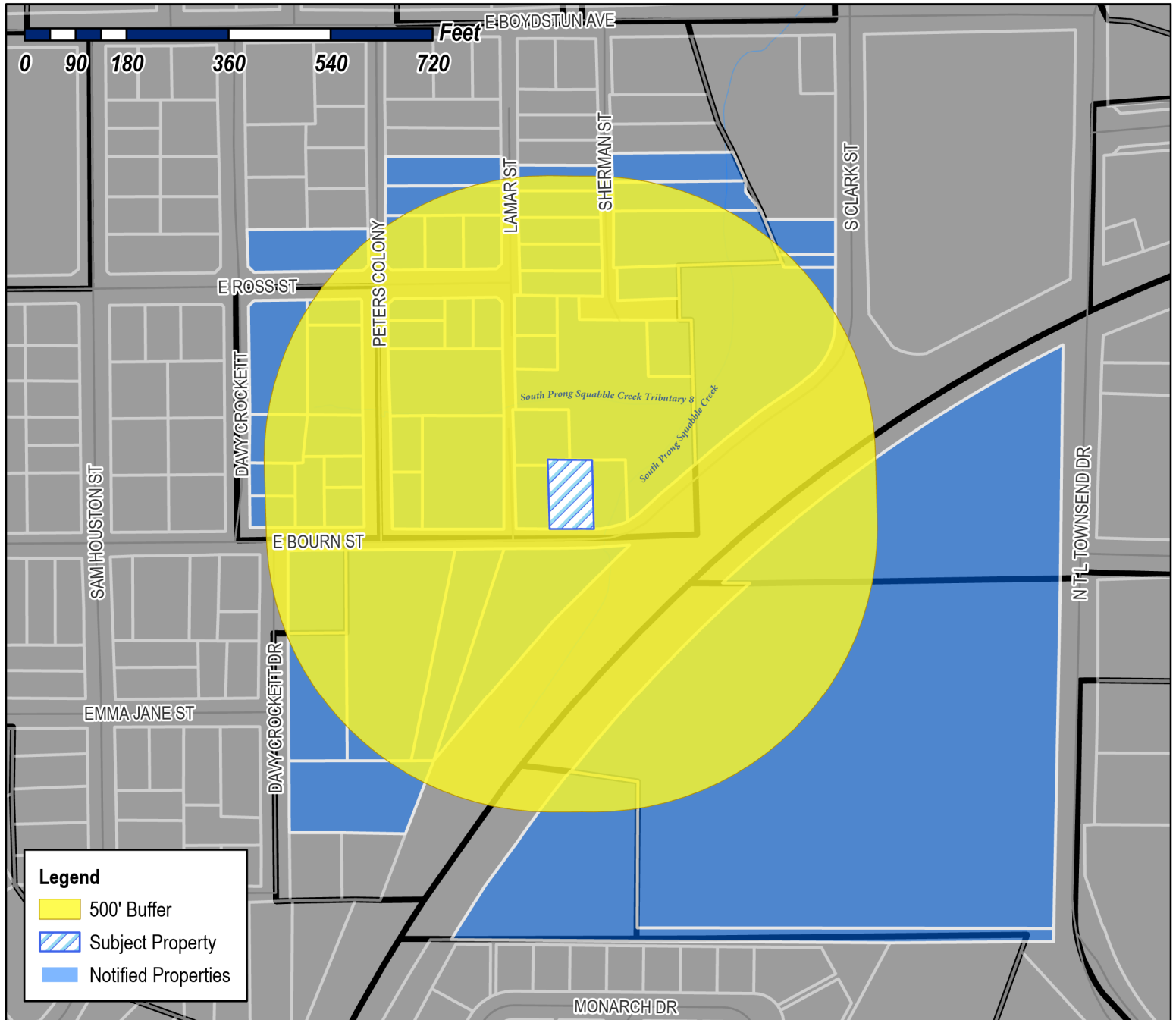




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

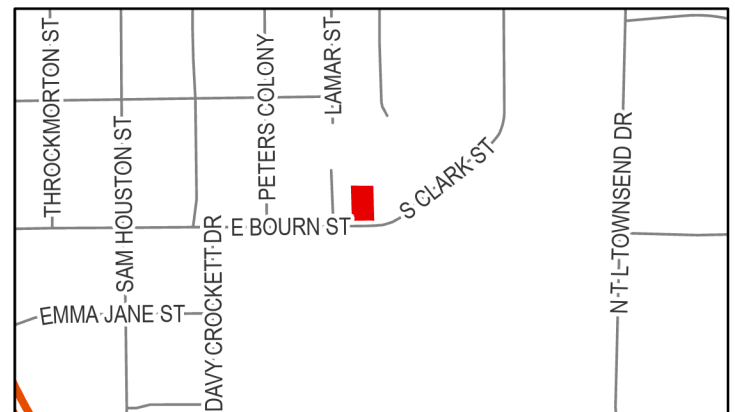
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-025
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single Family 7 (SF-7) District
Case Address: 511 Bourn St.

Date Saved: 5/20/2022

For Questions on this Case Call (972) 771-7745



ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75032

JOHNSON SCOTT
709 STILLWATER DR
ROCKWALL, TX 75087

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

HALL WILLA O
815 DAVY CROCKETT ST
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND
JOSEPH FABIAN PEREZ
604 ROSS STREET
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

CONLON MICHAEL SHAWN
708 SHERMAN ST
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

JPH ROCKWALL LLC
901 DAVY CROCKETT STREET
ROCKWALL, TX 75087

WALTER MARY
408 E BOURN ST
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
900 DAVY CROCKETT
ROCKWALL, TX 75087

BARRON BLAKELEIGH
811 DAVY CROCKETT ST
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

POTTS DANNY & VONDA
1100 T L TOWNSEND DR
ROCKWALL, TX 75087

ROCKWALL COUNTY
C/O COUNTY TREASURER
101 E RUSK ST SUITE 101
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the Planning and Zoning Commission will consider the following application:

Case No. Z2022-025: SUP for Residential Infill at 511 Bourne Street

Hold a public hearing to discuss and consider a request by Javier Silva for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to Established Subdivision* for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, June 14, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, June 20, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 20, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-025: SUP for Residential Infill at 511 Bourne Street

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-026

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Was hoping to acquire this parcel to add to the already existing Habitat footprint and enable Rockwall Habitat for Humanity to more productively develop this area. This said; Habitat fort Humanity fully supports Mr. Silva's application. We look forward to building a great relationship with our new neighbor.

Respondent Information

Please provide your information.

First Name *

John

Last Name *

Cote

Address *

PO Box 4

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

jajcote@hotmail.com

Phone Number

972-740-8515

Please check all that apply: *

- ☐ I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☒ I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- ☒ I received a property owner notification in the mail.
- ☐ I read about the request on the City's website.
- ☐ I saw a zoning sign on the property.
- ☐ I read about the request in the Rockwall Herald Banner.
- ☐ My neighbors told me about the request.
- ☐ Other: _____

This content is neither created nor endorsed by Google.

Google Forms

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the Planning and Zoning Commission will consider the following application:

Case No. Z2022-025: SUP for Residential Infill at 511 Bourne Street

Hold a public hearing to discuss and consider a request by **Javier Silva** for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to Established Subdivision* for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourne Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, June 14, 2022 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, June 20, 2022 at 6:00 PM**. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **Monday, June 20, 2022 at 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-025: SUP for Residential Infill at 511 Bourne Street

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Community Development

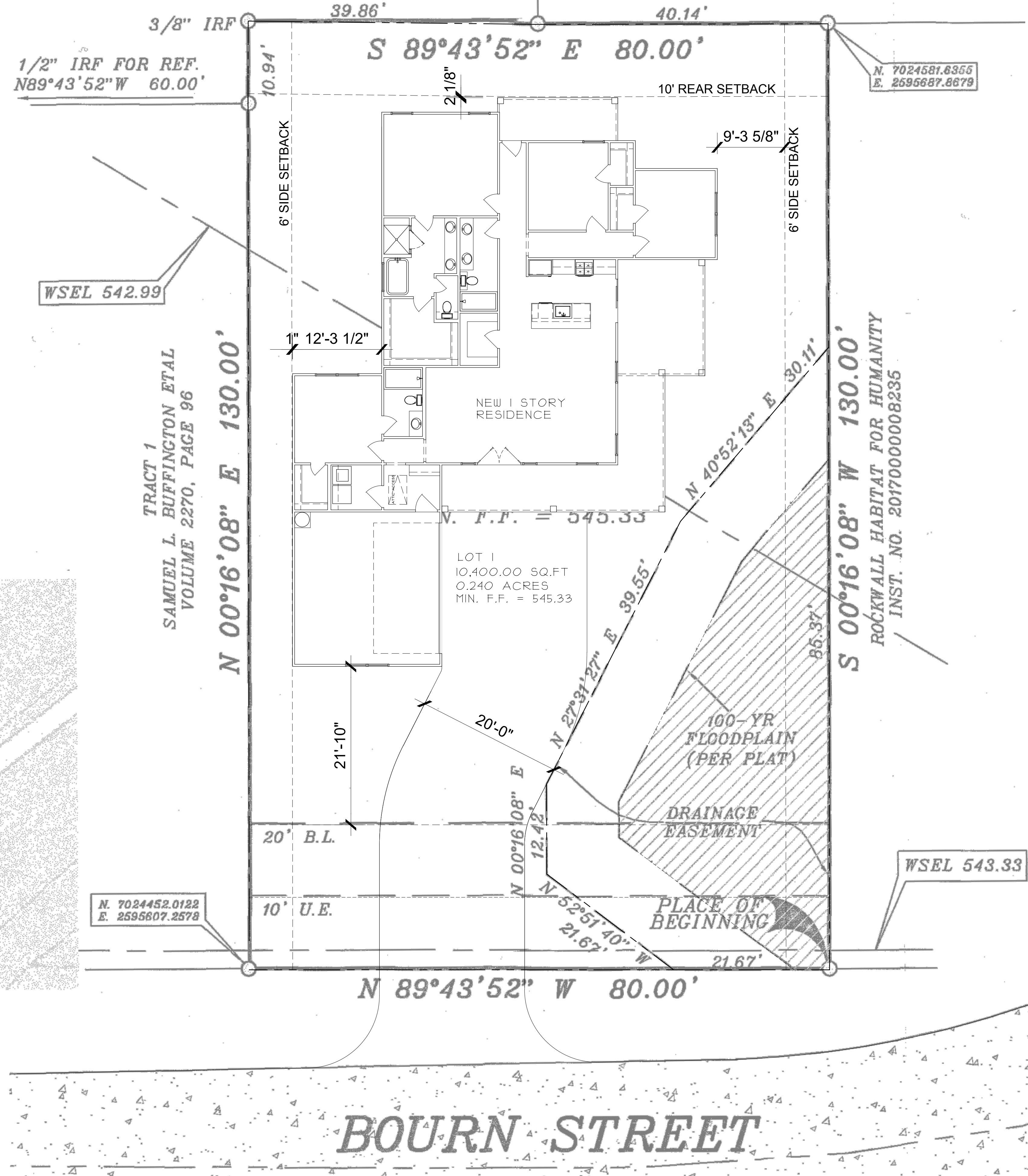
Name: *Ethel JEAN Allen* *6/10/22*
Address: *711 SHERMAN ST. ROCKWALL, TX 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

LOT 2, BLOCK 1
SAMUEL BUFFINGTON ADDITION
CABINET A, SLIDE 225

ROCKWALL HABITAT FOR HUMANITY
INST. NO. 20170000008236



NEW
RESIDENCE
JMS CUSTOM
HOMES
511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG	
DATE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG		
DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

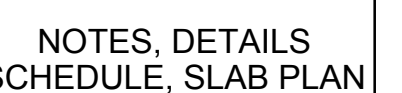
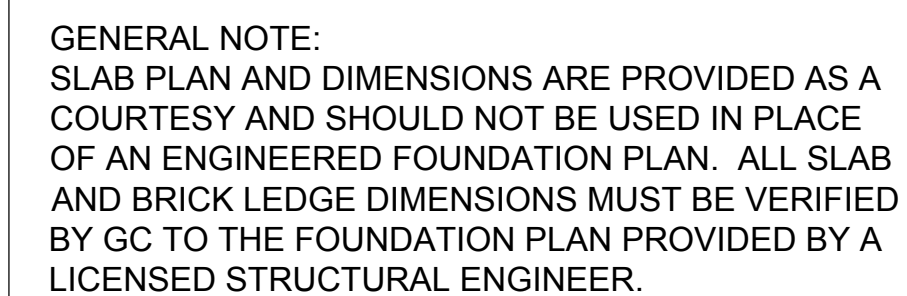
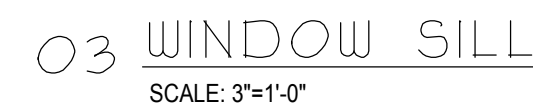
ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

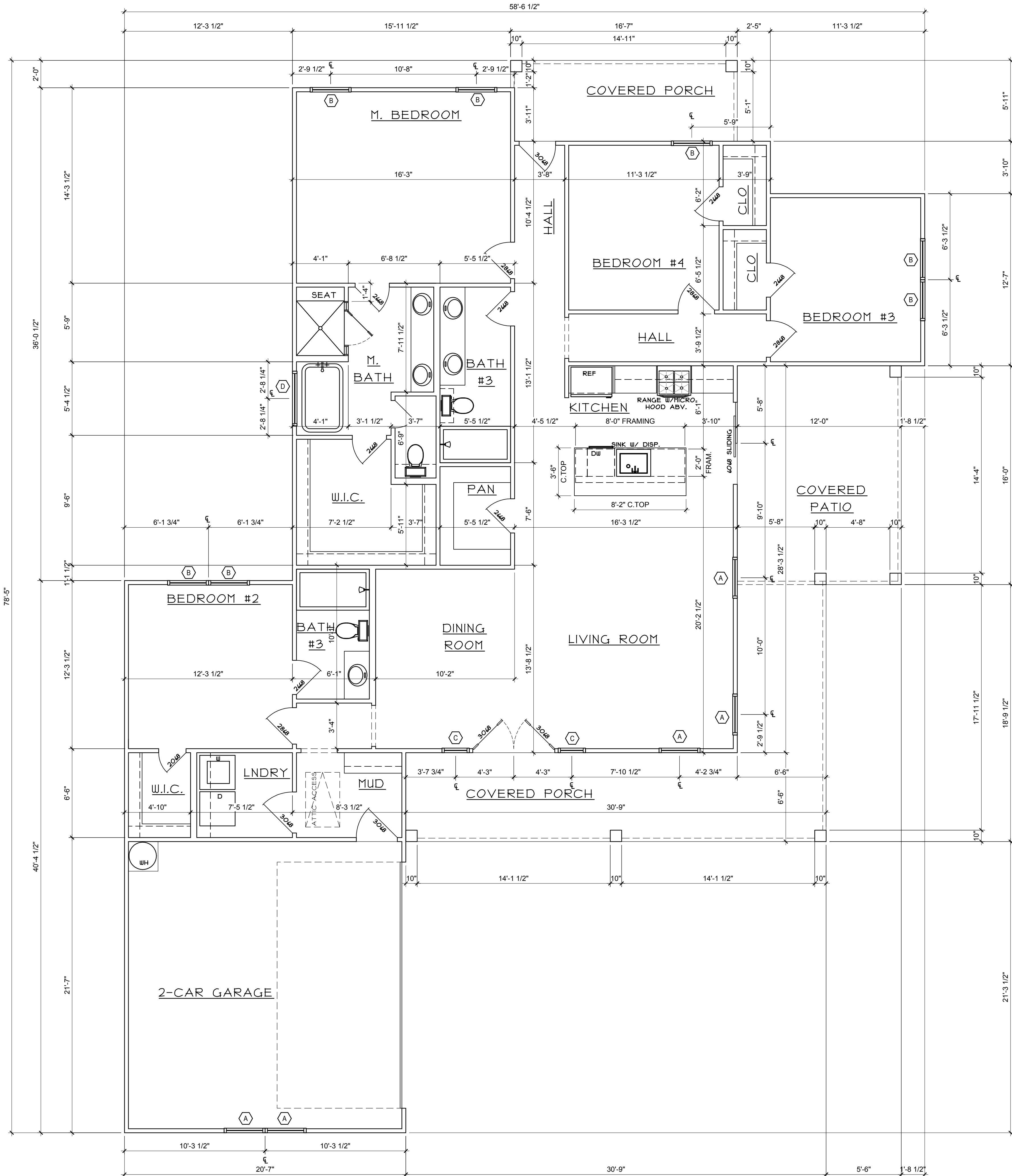
SHEET NO.
A2.1
ARCHITECTURAL
SITE PLAN

- 1.) COMPLY WITH ALL STATE AND LOCAL BUILDING CODES, ORDINANCES REGULATIONS CONCERNING AND PERTAINING TO CONSTRUCTION
- 2.) CONNECT ALL WATER, GAS, ELECTRIC, ETC., TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES.
- 3.) PROVIDE TERMITE PROTECTION OVER COMPACTED OR GRANULAR FILL CODE.
- 4.) ALL FOOTINGS ARE TO EXTEND 12" BELOW GRADE MINIMUM PER LOCAL CODE.
- 5.) PROVIDE VENTILATION EQUAL TO 1 SQ. FT. PER 150 SQ. FT. OF ATTIC OR PER LOCAL CODES.
- 6.) $\frac{1}{2}$ " MIN. DRYWALL THROUGHOUT, $\frac{5}{8}$ " TYPE "X" AT GARAGE CEILING AT WALLS COMMON TO LIVING AREAS AND ENCLOSED SPACES OR PER PLANS.
- 7.) GYPSUM WALLBOARD INSTALLED AS A BACKING IN SHOWERS, TUB AREAS, LAUNDRY SPACES AND OTHER WET AREAS TO TYPE WR. IDENTIFIED AND REFERRED TO AS "GREEN BOARD" OR EQUIVALENT.
- 8.) ALL EXTERIOR AND INTERIOR GLASS GLAZING TO COMPLY WITH LOCAL CODES.



SQUARE FOOTAGE	AREAS
1989	FLOOR PLAN
439	2-CAR GARAGE
741	COVERED PORCH
97	COVERED PATIO
3266	TOTAL UNDER ROOF

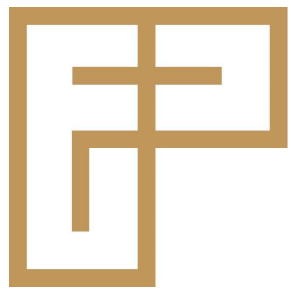




01

FLOOR PLAN

SCALE: 1/4"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-514-9452
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

A3.2

FLOOR PLAN



511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

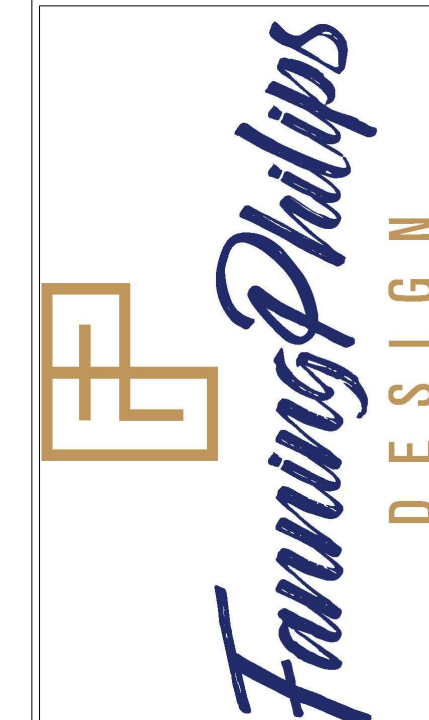
[illegible]

REVISION LOG

[illegible]

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



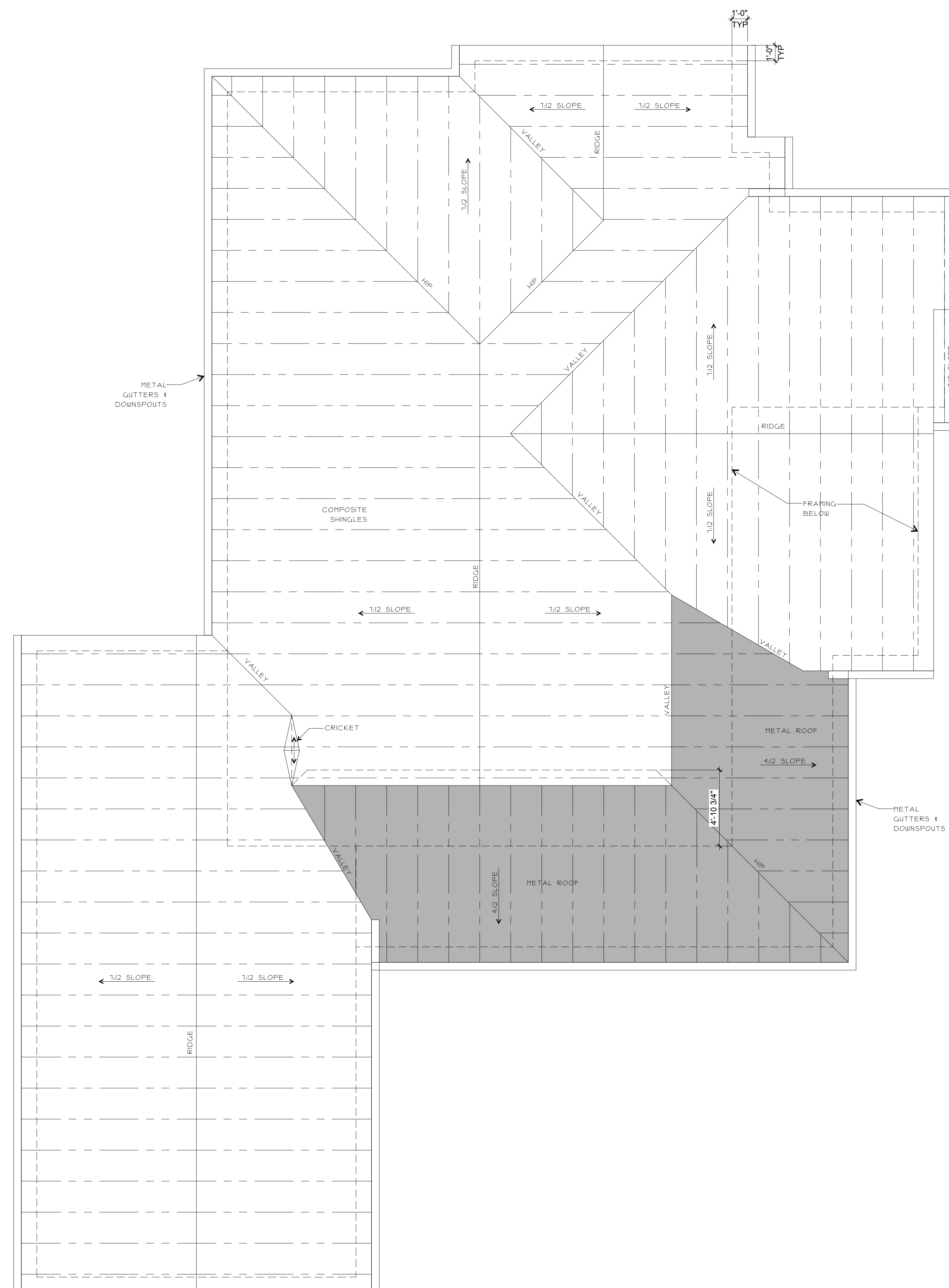
OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-814-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-284-8734

ARCH. PROJ. #:	SCALE:
21502	REF. DRAWING

SHEET NO.

A4.1

ROOF PLAN



FRAMING AND LUMBER NOTES:

- 1.) ALL SAW LUMBER SHALL BEAR STAMP OF WWPA OR APPROVED TESTING AGENCY
- 2.) ROOF JOIST, FLOOR JOIST, LEDGERS AND PLATES TO BE DOUGLAS FIR #2 OR BETTER
- 3.) ALL STUDS TO DOUGLAS FIR STUD GRADE OR APPROVED EQUIVALENT
- 4.) ROOF PLYWOOD SHEATHING TO $\frac{5}{8}$ " STANDARD 5-PLY WITH EXTERIOR GLUE WITH STAMP OF APPROVED TESTING AGENCY OR AS NOTED ON TYPICAL WALL SHEET
- 5.) FRAMING CONNECTIONS OR BE SIMPSON OR EQUIVALENT
- 6.) ALL BEARING STUD WALLS TO BE 2X6 AT 16" O.C. UNLESS NOTED OTHERWISE.
- 7.) ALL BEARING PARTITIONS SHALL HAVE DOUBLE TOP PLATES
- 8.) ALL EXTERIOR HEADERS TO BE (2)2X12'S UNLESS NOTED OTHERWISE
- 9.) ALL EXTERIOR HEADERS TO BE (3)2X12'S UNLESS NOTED OTHERWISE
- 10.) CUTTING, NOTCHING, AND DRILLING OF WOOD MEMBERS SHALL COMPLY TO THE UNIFORM BUILDING CODE AND LOCAL AND STATE BUILDING CODES
- 11.) ALL CONVENTIONAL FRAMING SHALL COMPLY TO ALL LOCAL CODES
- 12.) ROOF TRUSSES TO BE MANUFACTURED BY AN APPROVED FABRICATOR
- 13.) ALL LUMBER SHALL BE F=1400 KILN DRIED SOUTHERN PINE, DOUGLAS FIR, OR HEMLOCK
- 14.) ALL EXTERIOR DOORS SHALL BE $\frac{1}{2}$ " THICK SOLID CORE $\frac{1}{2}$ " PR. BUTTS OR METAL INSULATION AS SHOWN ON DRAWINGS

ALL HEADERS SHALL BE (3) 2X12 EXTERIOR & INTERIOR BEARING WALLS UNLESS NOTED OTHERWISE.
MIN.-1-JACK STUD EA. SIDE OF OPG. TO 6' WIDE
MIN.-2-JACK STUD EA. SIDE OF OPG. TO 8' WIDE
MIN.-3 JACK STUD EA. SIDE OF OPG. TO 12' WIDE
ALL HEADERS (ANY SIZE) SHALL BE 1/2" PLYWOOD FILLERS GLUE & NAILED W/ 16D NAILS

ROOF CONSTRUCTION NOTES:

1. ROOF OVERHANG TO BE 12" U.N.O.
2. ROOF PITCH TO BE 7/12. U.N.O.
3. PROVIDE ATTIC VENTS AS SPECIFIED IN WALL SECTIONS IF APPLICABLE.
4. TIE ROOF TRUSSES OR RAFTER TO INTERIOR PARTITIONS WITH METAL CLIPS, TIES OR STRAPS AS SPECIFIED IN BRACING SCHEDULE. ABOVE.
5. FIRST SHEET OF PLYWOOD ALONG EAVES TO BE GLUED AND NAILLED AS DESCRIBED IN SHEATHING NAILING SCHEDULE ABOVE.
6. TRUSS DESIGNS REQUIRE THE SIGNATURE AND SEAL OF A STATE CERTIFIED ENGINEER.
7. PROVIDE ALL REQUIRED TRUSS BRACING AS SPECIFIED ON ENGINEERED TRUSS PLAN.

01 ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



NORTH

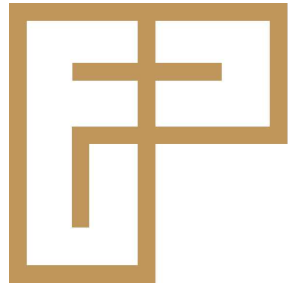


FRONT ELEVATION

NEW RESIDENCE

511 BOURN STREET
ROCKWALL, TX 75087

SHEET INDEX		DATE	REV	DATE
A-1.0	COVER SHEET	05/11/22		
A-2.1	ARCHITECTURAL SITE PLAN	05/11/22		
A-3.1	NOTES, DETAILS, SCHEDULES & SLAB PLAN	05/11/22		
A-3.2	FLOOR PLAN	05/11/22		
A-4.1	ROOF PLAN	05/11/22		
A-5.1	ELEVATIONS	05/11/22		
A-5.2	ELEVATIONS	05/11/22		
A-6.1	POWER PLAN	05/11/22		



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
- ☒ BIDDING / PERMIT
- ☐ REVISION
- ☐ FOR CONSTRUCTION

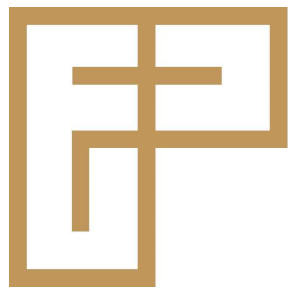


OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #:	SCALE:
21502	REF. DRAWING

SHEET NO.

A1.0
COVER SHEET



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

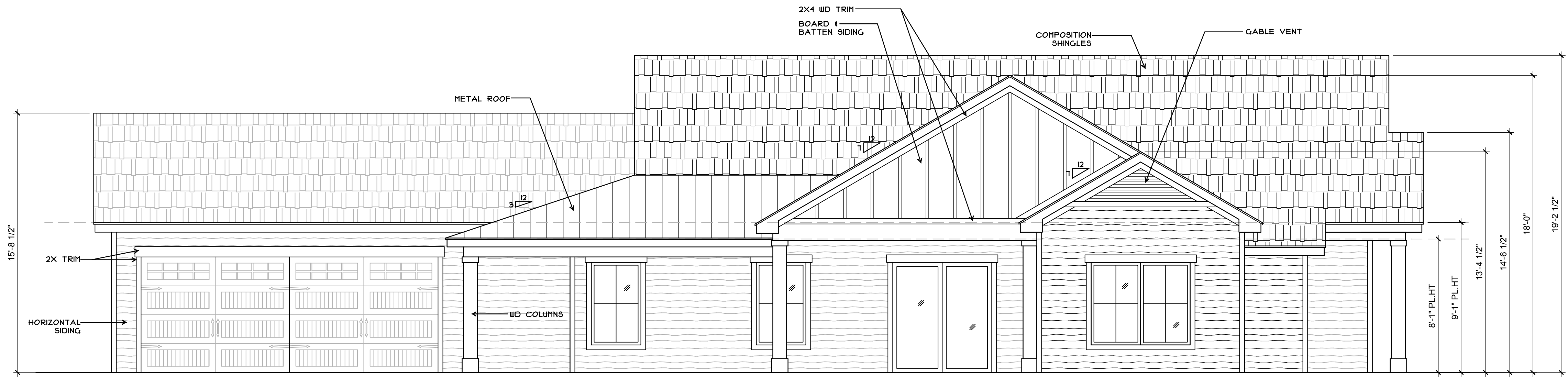
ARCH. PROJ. #
21502

SCALE:
REF. DRAWING

SHEET NO.

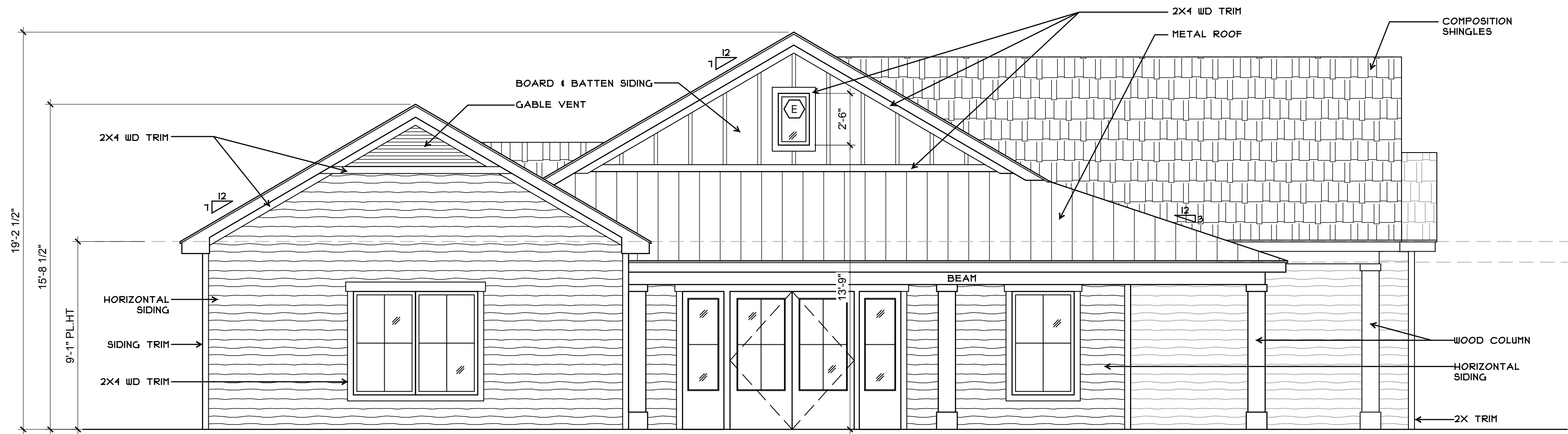
A5.1

ELEVATIONS



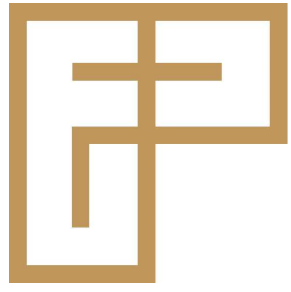
02 EAST ELEVATION

SCALE: 1/4"=1'-0"



01 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

511 BOURN ST,
ROCKWALL,
TEXAS 75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
05/11/22	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.

ISSUED FOR:

- ☐ PRELIMINARY -
☒ BIDDING / PERMIT
☐ REVISION
☐ FOR CONSTRUCTION



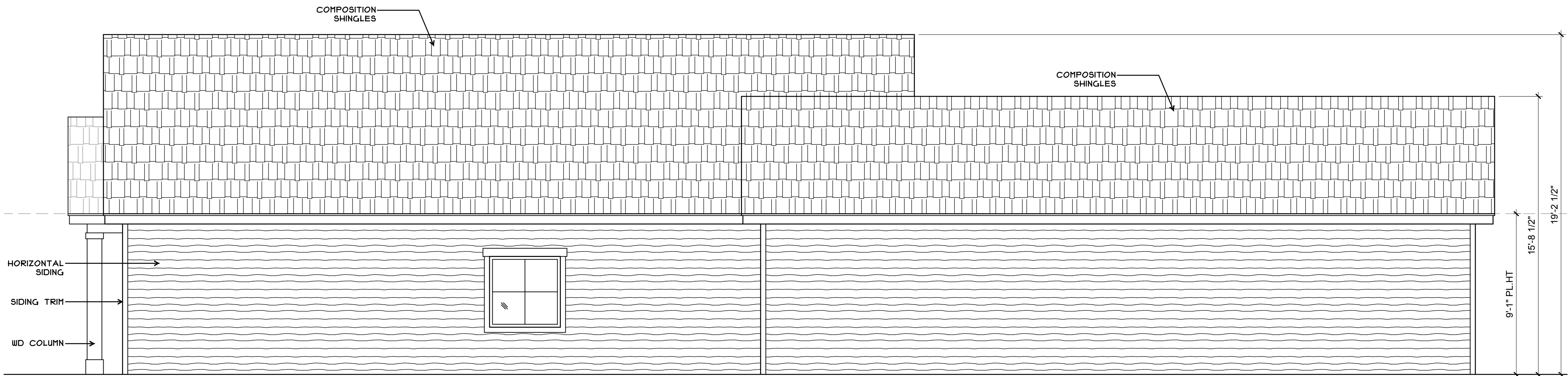
OWNER:
CONTRACTOR: JAVIER SILVA
support@mscustomhomes.net
972-614-9462
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-264-8734

ARCH. PROJ. #	SCALE:
21502	REF. DRAWING

SHEET NO.

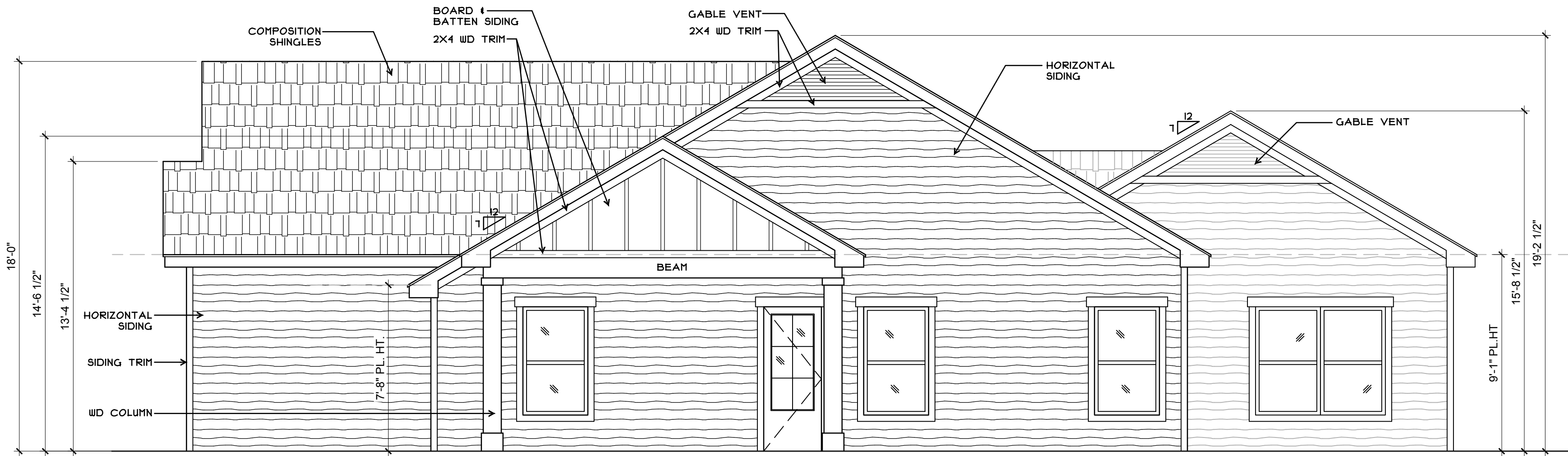
A5.2

ELEVATIONS



02 WEST ELEVATION

SCALE: 1/4"=1'-0"



01 NORTH ELEVATION

SCALE: 1/4"=1'-0"



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
803 Lamar Street	Single-Family Home	1982	1152	48 SF	Siding
801 Lamar Street	Single-Family Home	2017	1326	96 SF; 120 SF	Brick
501 E Bourn Street	Single-Family Home	1975	1226	484 SF	Siding
803 Peters Colony	Single-Family Home	2010	1420	N/A	Brick
801 Peters Colony	Single-Family Home	2011	1489	N/A	Brick
604 S Ross	Single-Family Home	1975	912	N/A	Siding
AVERAGES:		1995	1254	249 SF	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



803 LAMAR STREET



801 LAMAR STREET



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



501 E BOURN



803 PETERS COLONY



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-025

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



801 PETERS COLONY



604 ROSS STREET

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.25-ACRE PARCEL OF LAND, IDENTIFIED AS LOT E, BLOCK 112, B.F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Javier Silva for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- (3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF JULY, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

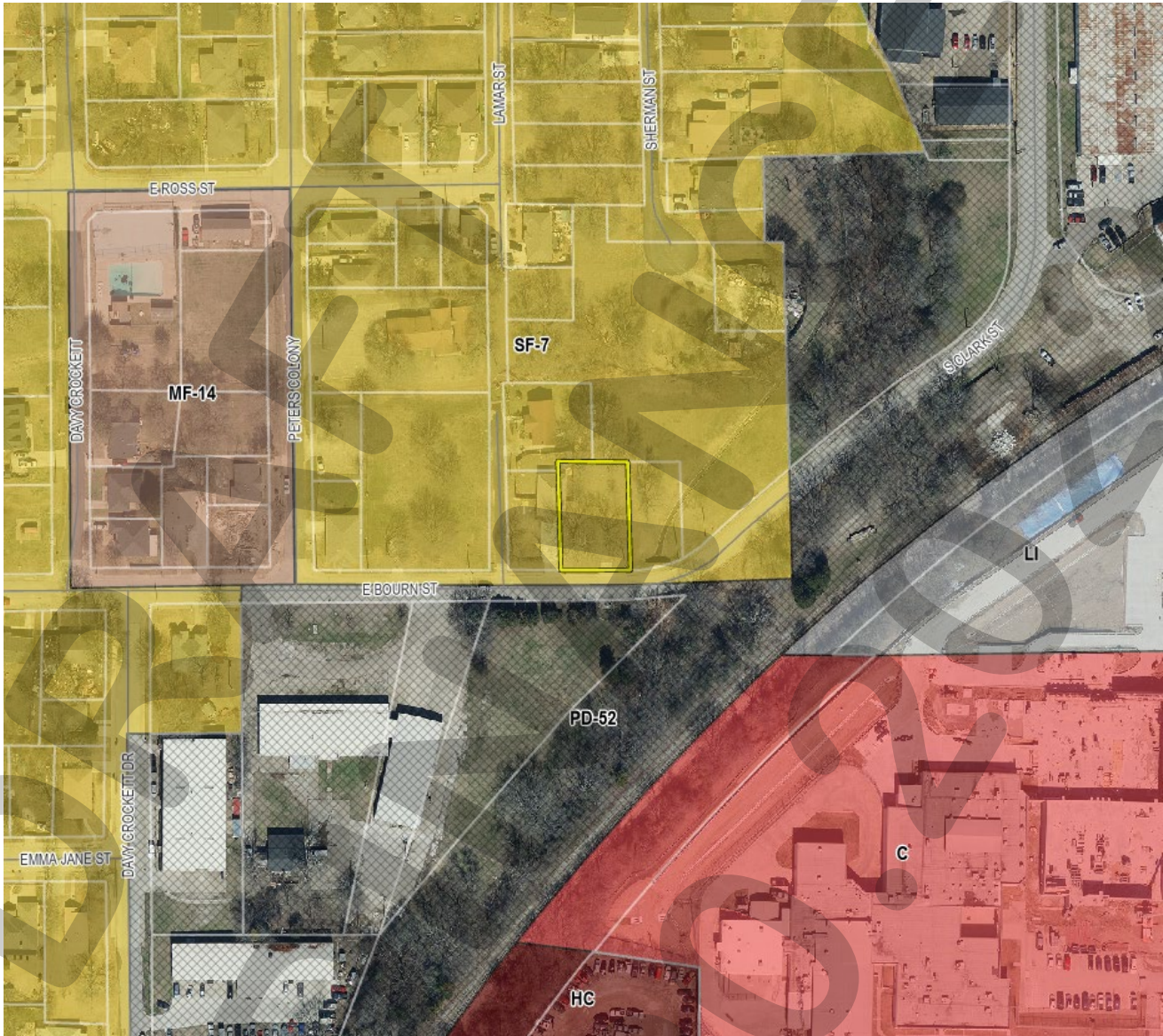
1st Reading: June 20, 2022

2nd Reading: July 5, 2022

Exhibit 'A'
Location Map and Legal Description

Address: 511 Bourne Street

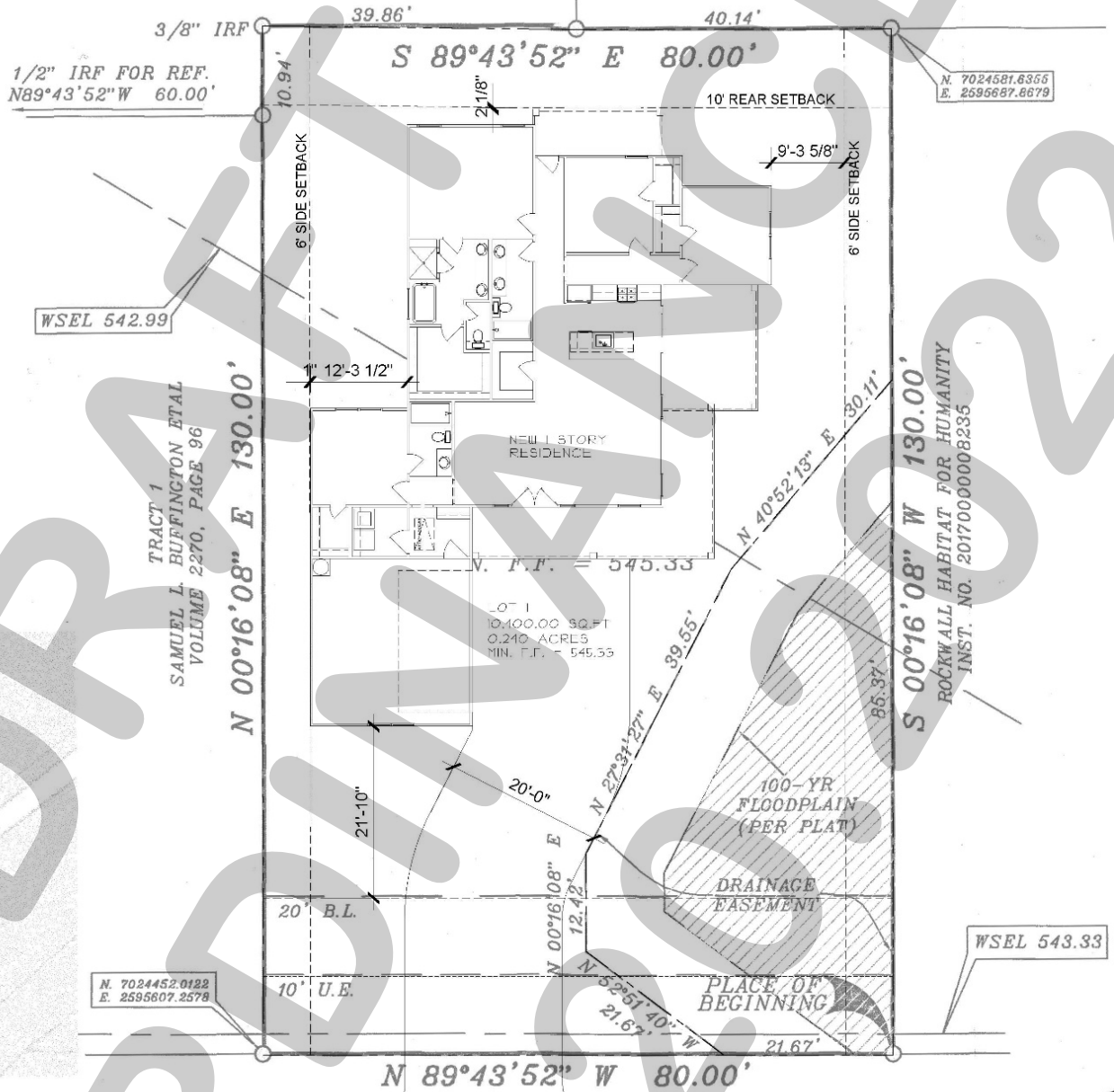
Legal Description: Lot E, Block 112, B.F. Boydston Addition



**Exhibit 'B':
Residential Plot Plan**

LOT 2, BLOCK 1
SAMUEL BUFFINGTON ADDITION
CABINET A, SLIDE 225

ROCKWALL HABITAT FOR HUMANITY
INST. NO. 20170000008236



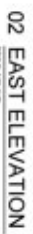
BOURN STREET



01 ARCHITECTURAL SITE PLAN

SCALE: 1/8"=1'-0"

Architectural drawing of the East Elevation of a building. The drawing shows a two-story structure with a gabled roof, multiple windows, and a chimney. Dimensions are provided for various elements, including window heights (e.g., 12'-0" x 12", 14'-0" x 12"), roof pitches (e.g., 12/12, 12/12), and overall building dimensions (e.g., 19'-0" x 12"). The drawing is labeled "02 EAST ELEVATION" and "SCALE 1/8" = 1'-0".



02 WEST ELEVATION

SCALE 1/8"=1'-0"

10'-0" PL HT

10'-0" 1/2"

10'-0" 1/2"

DRAFT 2022



CITY OF ROCKWALL

ORDINANCE NO. 22-37

SPECIFIC USE PERMIT NO. S-282

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.25-ACRE PARCEL OF LAND, IDENTIFIED AS LOT E, BLOCK 112, B.F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Javier Silva for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.25-acre parcel of land identified as Lot E, Block 112, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 511 Bourn Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- (3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF JULY, 2022.

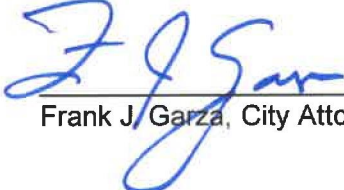

Kevin Fowler, Mayor

ATTEST:


Kristy Teague, City Secretary



APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: June 20, 2022

2nd Reading: July 5, 2022

Exhibit 'A'
Location Map and Legal Description

Address: 511 Bourne Street

Legal Description: Lot E, Block 112, B.F. Boydston Addition

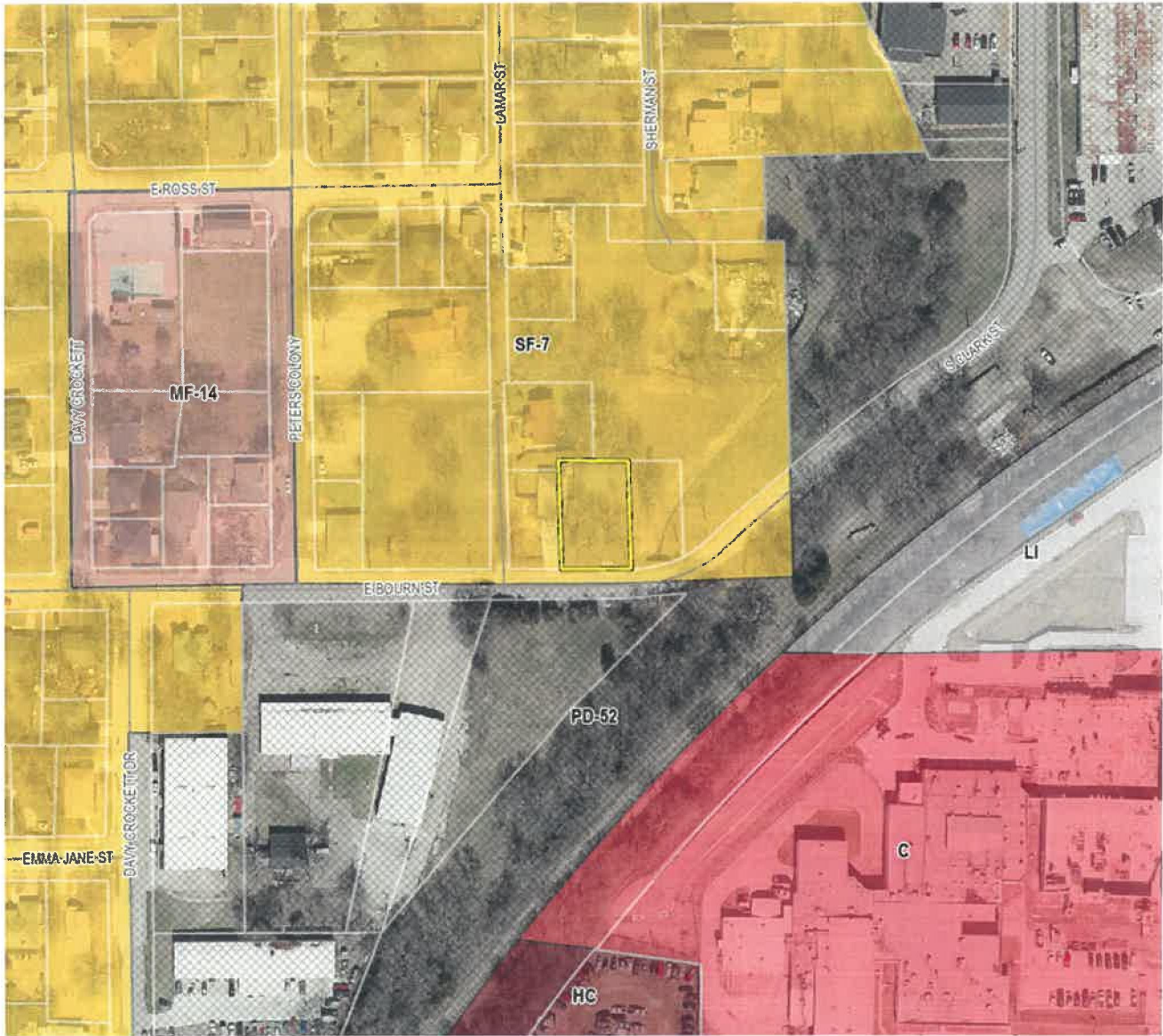
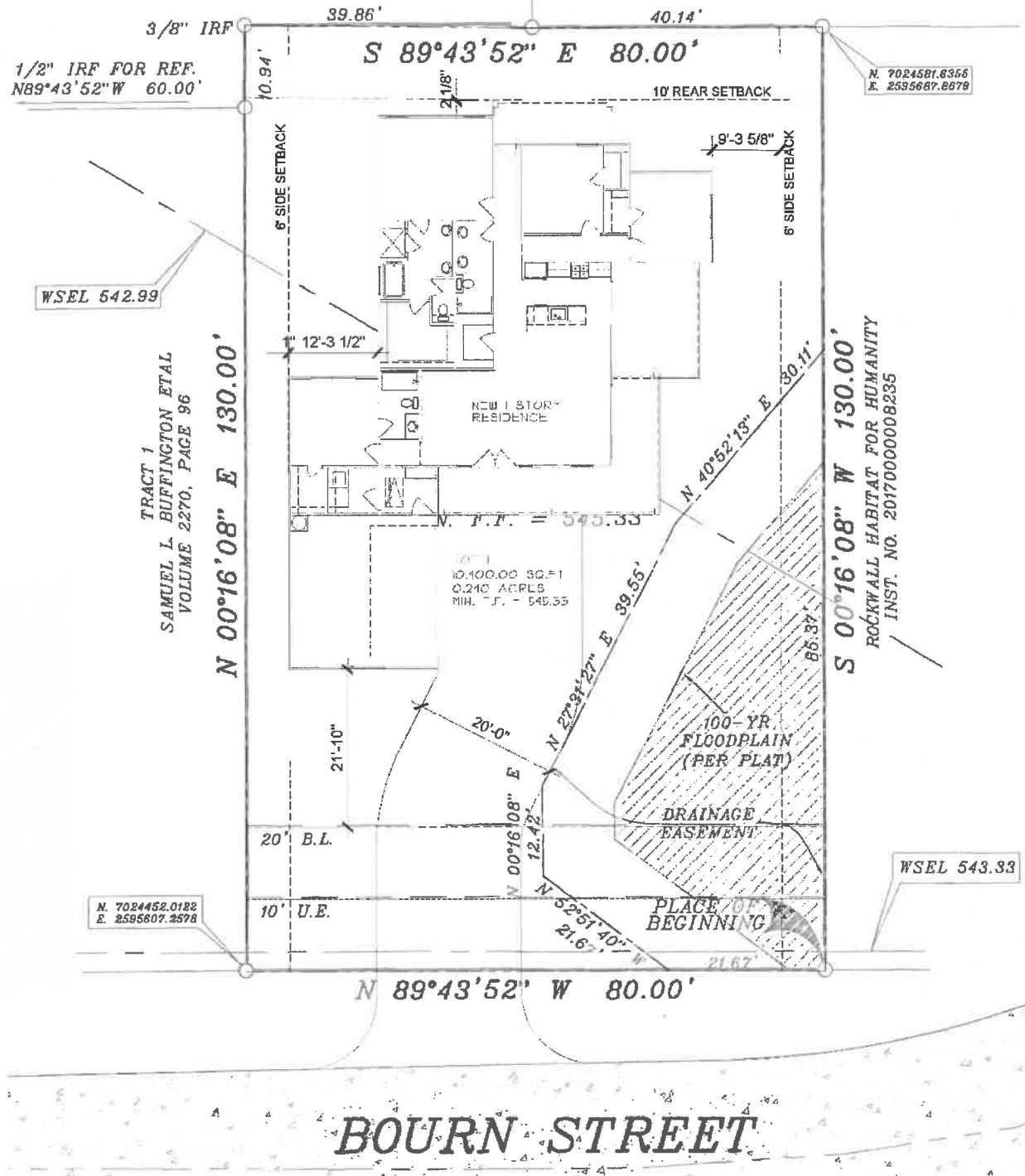


Exhibit 'B':
Residential Plot Plan

LOT 2, BLOCK 1
SAMUEL BUFFINGTON ADDITION
CABINET A, SLIDE 225

ROCKWALL HABITAT FOR HUMANITY
INST. NO. 20170000008236



01 ARCHITECTURAL SITE PLAN

SCALE: 1/8"=1'-0"

Exhibit 'C':
Building Elevations

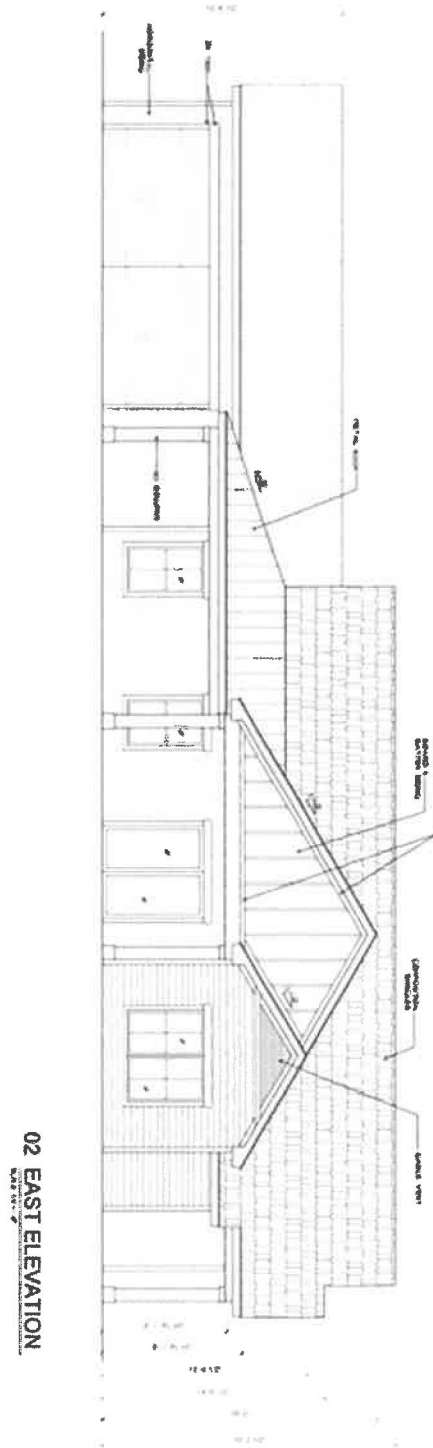
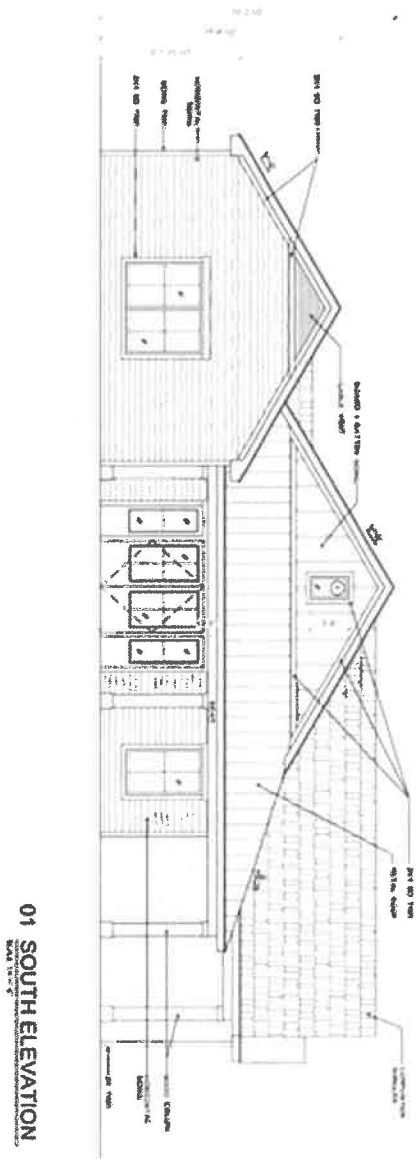
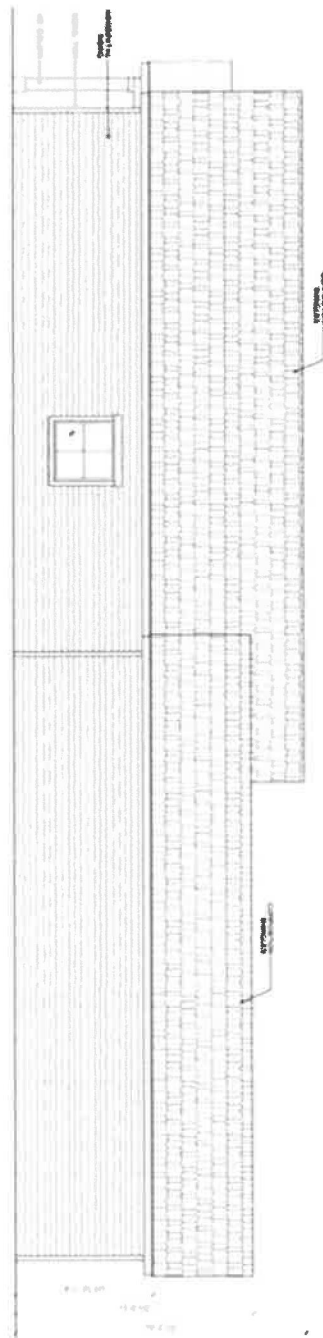
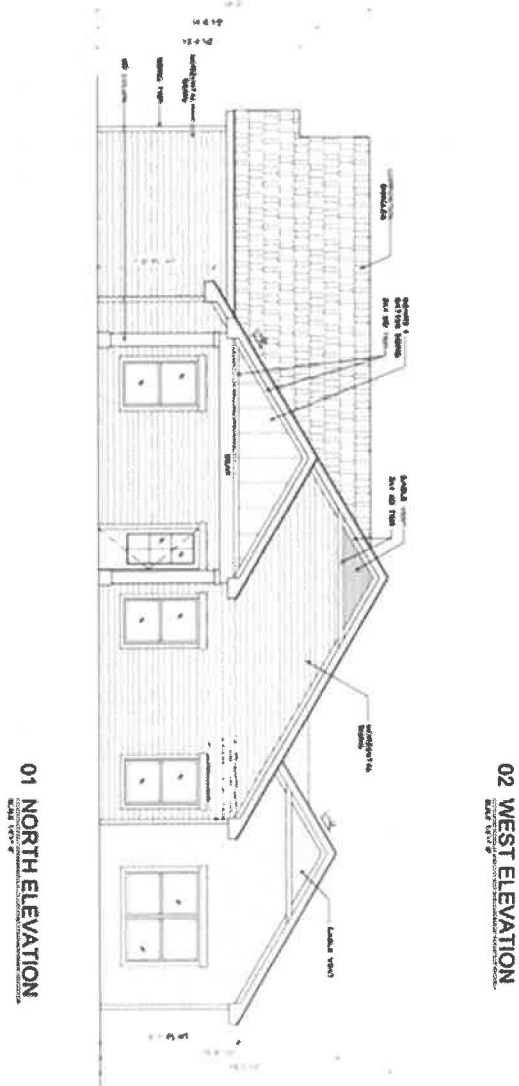


Exhibit 'C':
Building Elevations





July 5, 2022

TO: Javier Silva
511 Bourn Street
Rockwall, TX 75087

FROM: Bethany Ross
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2022-025; *Specific Use Permit (SUP) For Residential Infill within an Established Subdivision*

Javier:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on July 5, 2022. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 14, 2022, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-0, with Commissioner Womble, Thomas, and Conway absent.

City Council

On June 20, 2022, the City Council approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 5-0, with Council Members Johannesen and Campbell absent.

On July 5, 2022, the City Council approved a motion to approve the Specific Use Permit (SUP) with the conditions of approval by a vote of 6-0, with Mayor Fowler absent.

Included with this letter is a copy of Ordinance No. 22-37, S-282, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6488.

Sincerely,

A handwritten signature in purple ink that reads "Bethany Ross". The signature is written in a cursive, flowing style.

Bethany Ross
Planner