



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2620 Sunset Ridge Drive, Rockwall, TX 75032

SUBDIVISION Harbor District Addition

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING F1

CURRENT USE Retail

PROPOSED ZONING

PROPOSED USE Retail

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

- ☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Milkshake Concepts

☒ APPLICANT Milkshake Concepts

CONTACT PERSON James Faller

CONTACT PERSON Erica Papan

ADDRESS 4000 Elm Street

ADDRESS 4000 Elm Street

CITY, STATE & ZIP Dallas, TX 75226

CITY, STATE & ZIP Dallas, TX 75226

PHONE 214-280-0008

PHONE 708-860-7405

E-MAIL jfaller72@gmail.com

E-MAIL epapan@milkshakeconcepts.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Faller [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

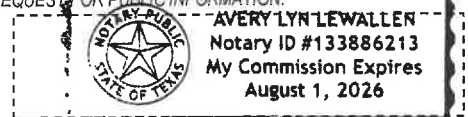
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 18th DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS 18 DAY OF August, 2023.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Avery Lubben



MY COMMISSION EXPIRES

August 1, 2026

VIDORRA
ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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DESIGN STUDIO.

DESIGN
CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL:214-356-4949

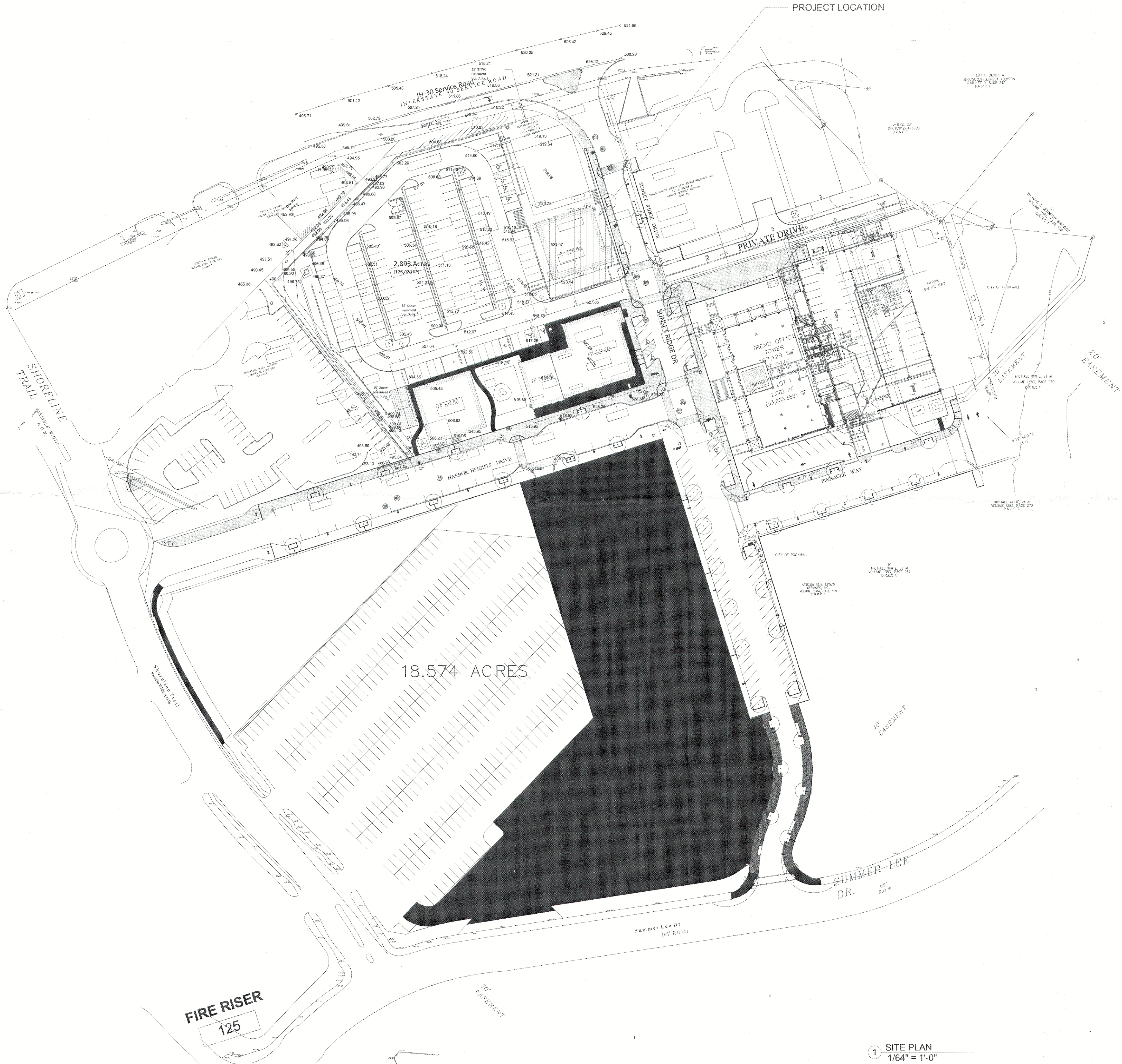
ISSUE:

REVISIONS:

Date 8/18/2023

SITE PLAN

G000.1



1 SITE PLAN
1/64" = 1'-0"

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ISSUE:

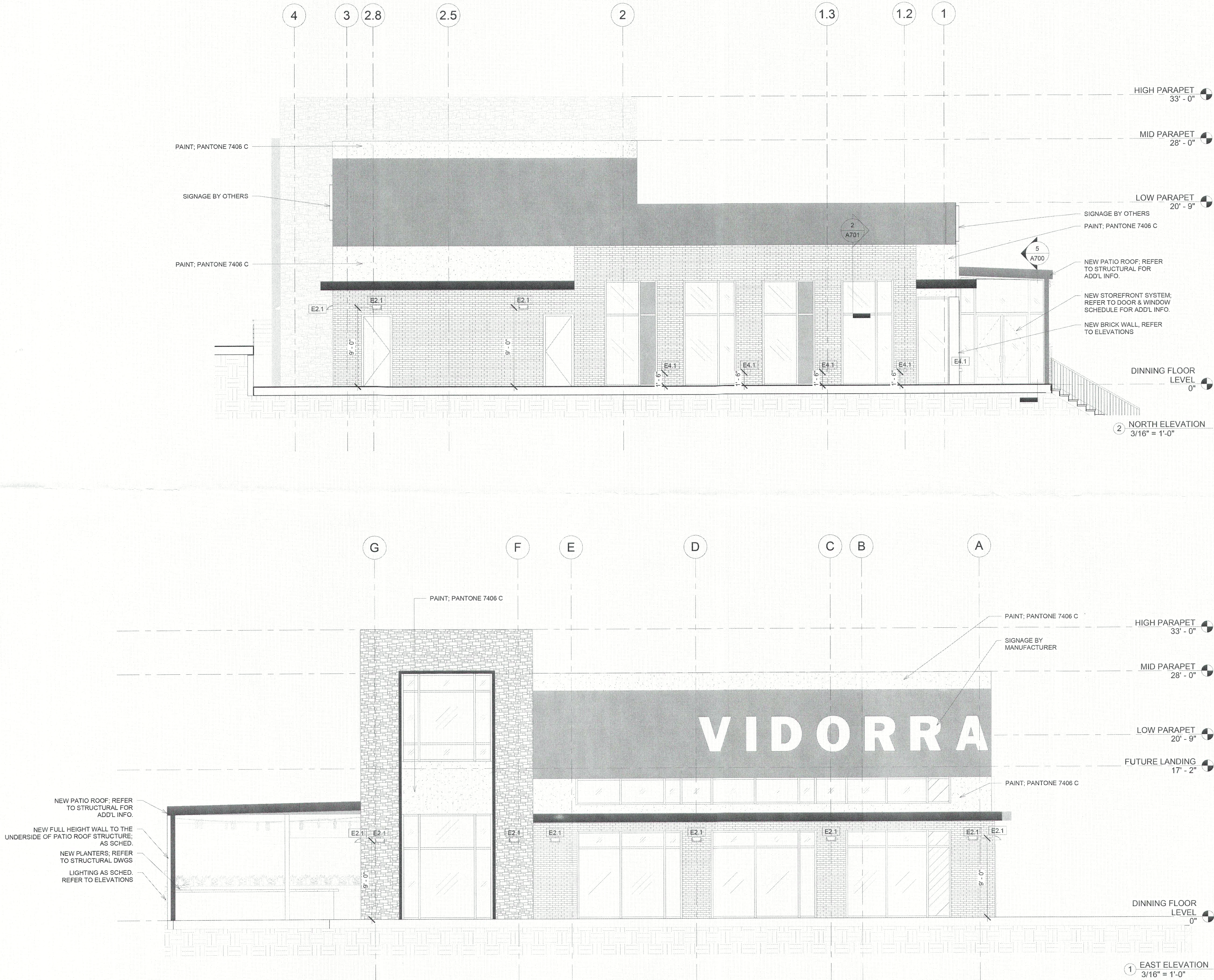
REVISIONS:

Date

8/18/2024

EXTERIOR
ELEVATIONS

A200



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ROCKWALL

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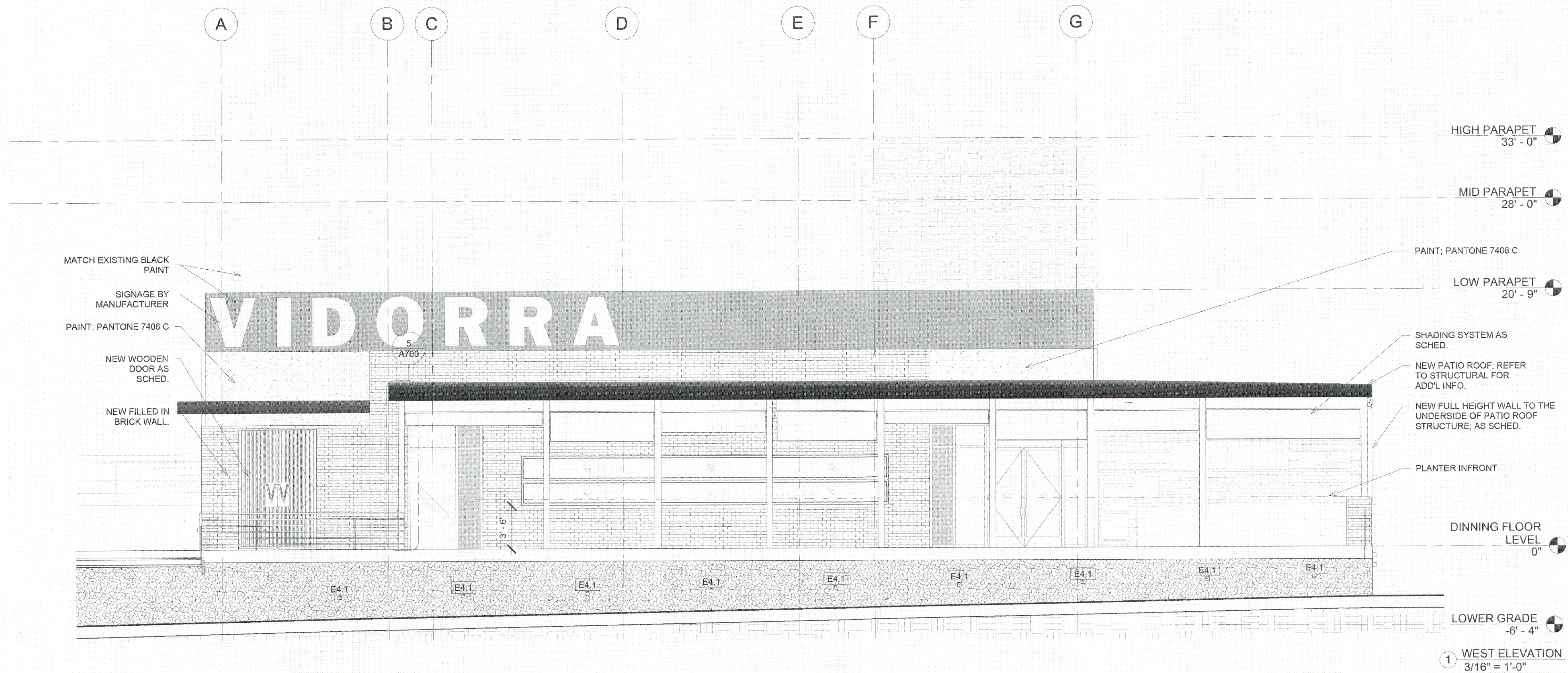
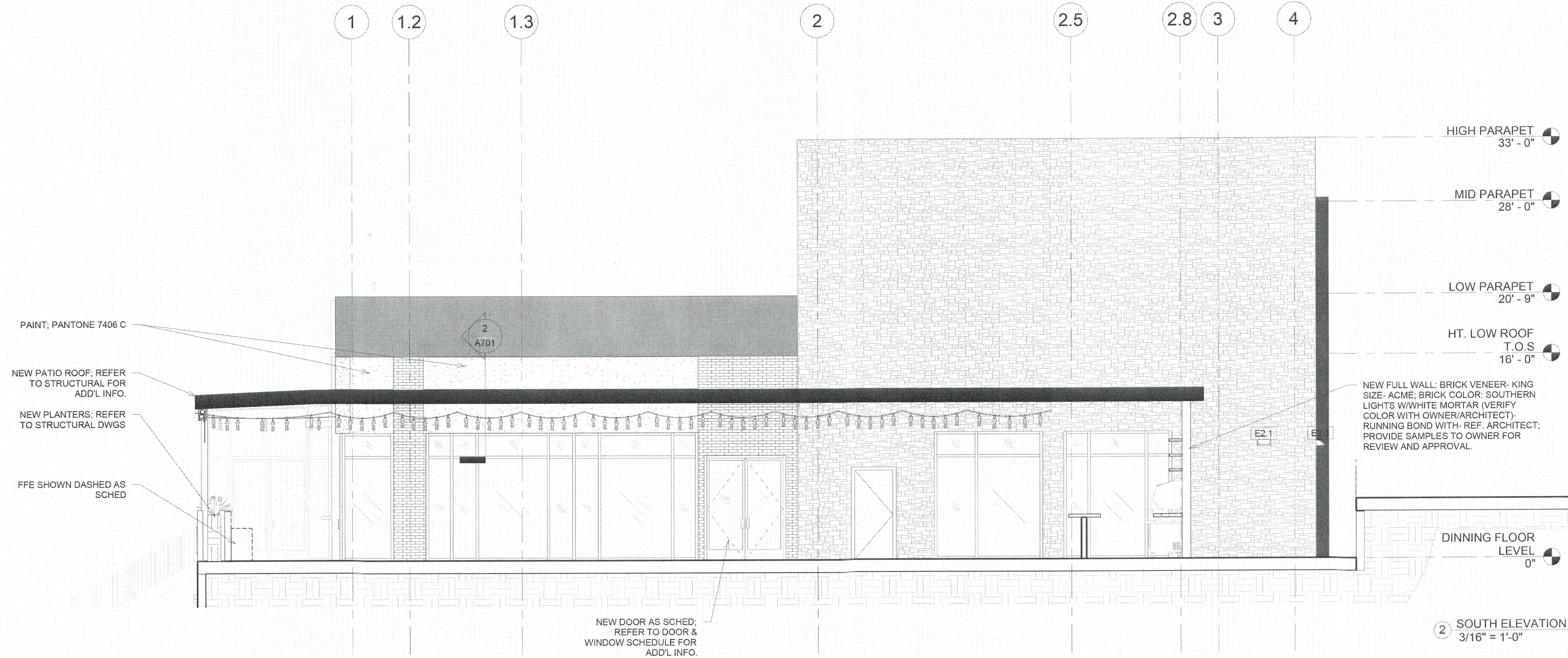
REVISIONS:

Date

8/18/20

EXTERIOR
ELEVATIONS

A201



VIDORRA ROCKWALL

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ROCKWALL, TX 75032

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CONSULTANT75 DEGREE
DESIGN
STUDIO

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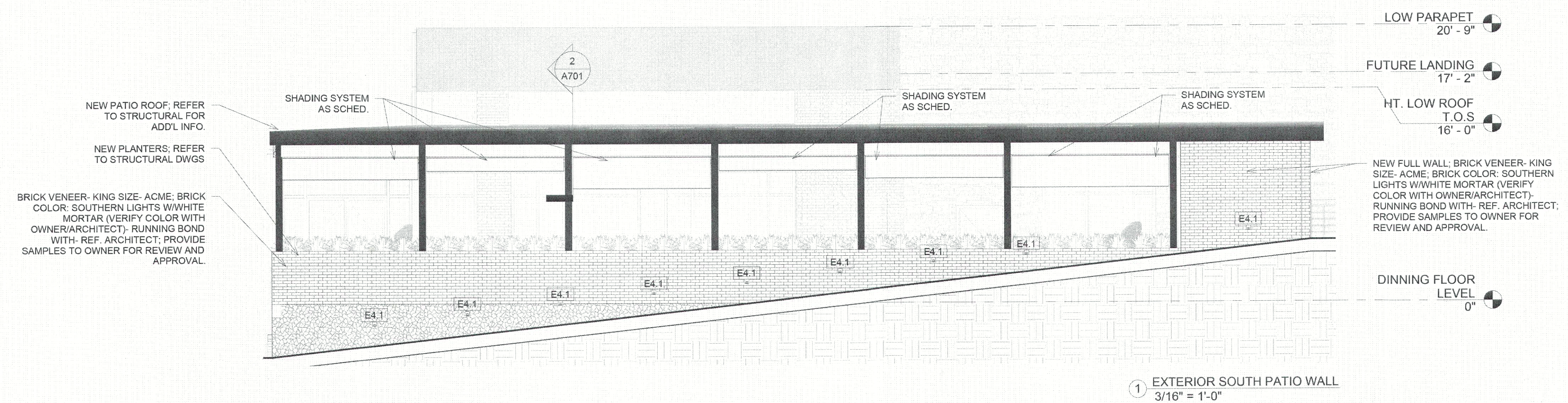
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EXTERIOR ELEVATIONS

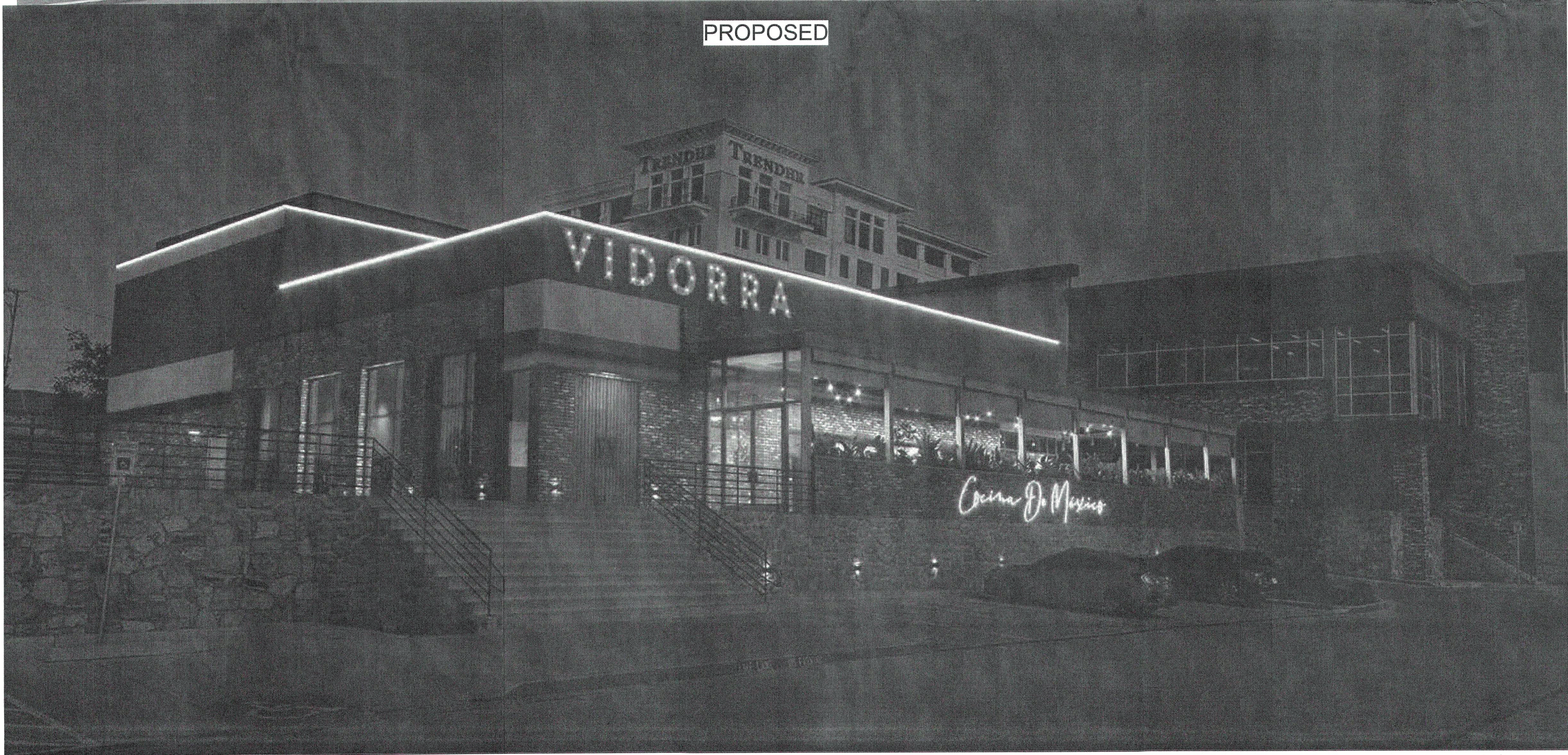
A202



1 EXTERIOR SOUTH PATIO WALL
3/16" = 1'-0"



EXISTING



PROPOSED

VIDORRA
ROCKWALL

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ROCKWALL, TX 75032

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TEL: 214-356-4949

ISSUE:

REVISIONS:

Date 8/18/2023

EXISTING AND
PROPOSED

G000.2

GENERAL NOTES

THE SCOPE OF THIS WORK IS AN EXTERIOR AND INTERIOR PACKAGE AND INCLUDES INTERIOR WALLS, WALL FRAMING, ROOF AND ALL EXTERIOR ELEMENTS AND SURROUNDING SITE ELEMENTS THAT PERTAIN TO THIS SCOPE FOR THE VIDORRA BUILDING. PLEASE STUDY THESE DOCUMENTS THOROUGHLY PRIOR TO CONSTRUCTION AND PRESENT ALL QUESTIONS IN RFI FORMAT TO 75 DEGREE DESIGN STUDIO. PRESIDING BUILDING CODES TO BE ADHERED UNDER ALL CIRCUMSTANCES.

RFIS, SUBMITTALS, REQUESTS, AND OTHER COMMUNICATION TO:
KCOURTIS@75DESIGNSTUDIO.COM
CC:ERUIZ@75DESIGNSTUDIO.COM

ALL DIMENSIONS TO FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.

ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL SITE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA, TAS/TABS REGULATIONS AND STANDARDS INCLUDING SIGNAGE.

ALL EXTERIOR DOORS SHALL NOT EXCEED 8.5 POUNDS OF PRESSURE TO OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM ADA REACH RANGE OF 48" A.F.F. EXCEPTIONS NOTED PER ADA GUIDELINES AND WITH RESPECT TO HORIZONTAL REACH DISTANCES. ADA REACH RANGE 15" MINIMUM AND 48" MAXIMUM A.F.F.

CONTRACTOR SHALL MAKE NO MATERIAL OR PRODUCT SUBSTITUTIONS WITHOUT SUBMITTING A WRITTEN REQUEST TO 75 DEGREE DESIGN STUDIO.

CONTRACTOR IS RESPONSIBLE FOR CHECKING FIELD CONDITIONS, CONSTRUCTION DOCUMENTS, FOR CLARITY & ACCURACY PERTAINING TO SCOPE. ALL QUESTIONS AND CLARIFICATION REQUEST SHALL BE ADDRESSED PRIOR TO COMMENCING CONSTRUCTION. ANY CONFLICT IN SCOPE BETWEEN DISCIPLINES AND THEIR DOCUMENTATION SHALL BE BROUGHT TO THE ATTENTION OF 75 DEGREE DESIGN STUDIO.

ALL FINISH MATERIALS MUST BE SUBMITTED TO 75 DEGREE DESIGN STUDIO FOR REVIEW & APPROVAL.

ALL EQUIPMENT ITEMS SHOWN & REFERENCED ON PLANS SHALL BE INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.

CONTRACTOR'S RESPONSIBILITY

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE PENETRATIONS FOR, BUT NOT LIMITED TO - DOORS, WINDOWS, ROOF PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & COUNTER FLASHING WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS, TYPICAL ALL SHEETS.

COMMENCING CONSTRUCTION

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED RELATING TO THESE DOCUMENTS.

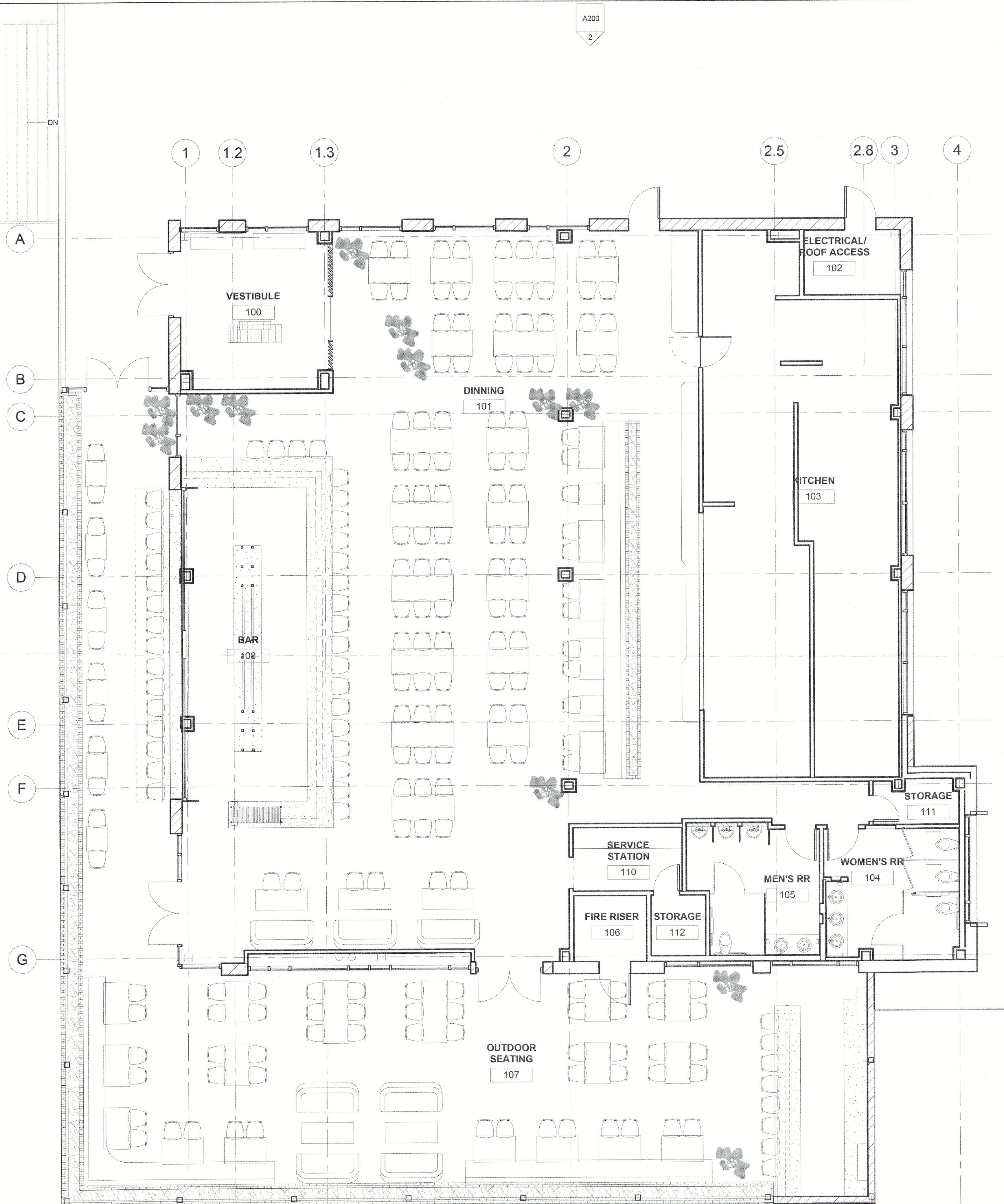
ISSUE:

REVISIONS:

Date

FURNITURE FLOOR
PLAN

ID100



1 FURNITURE PLAN
3/16" = 1'-0"



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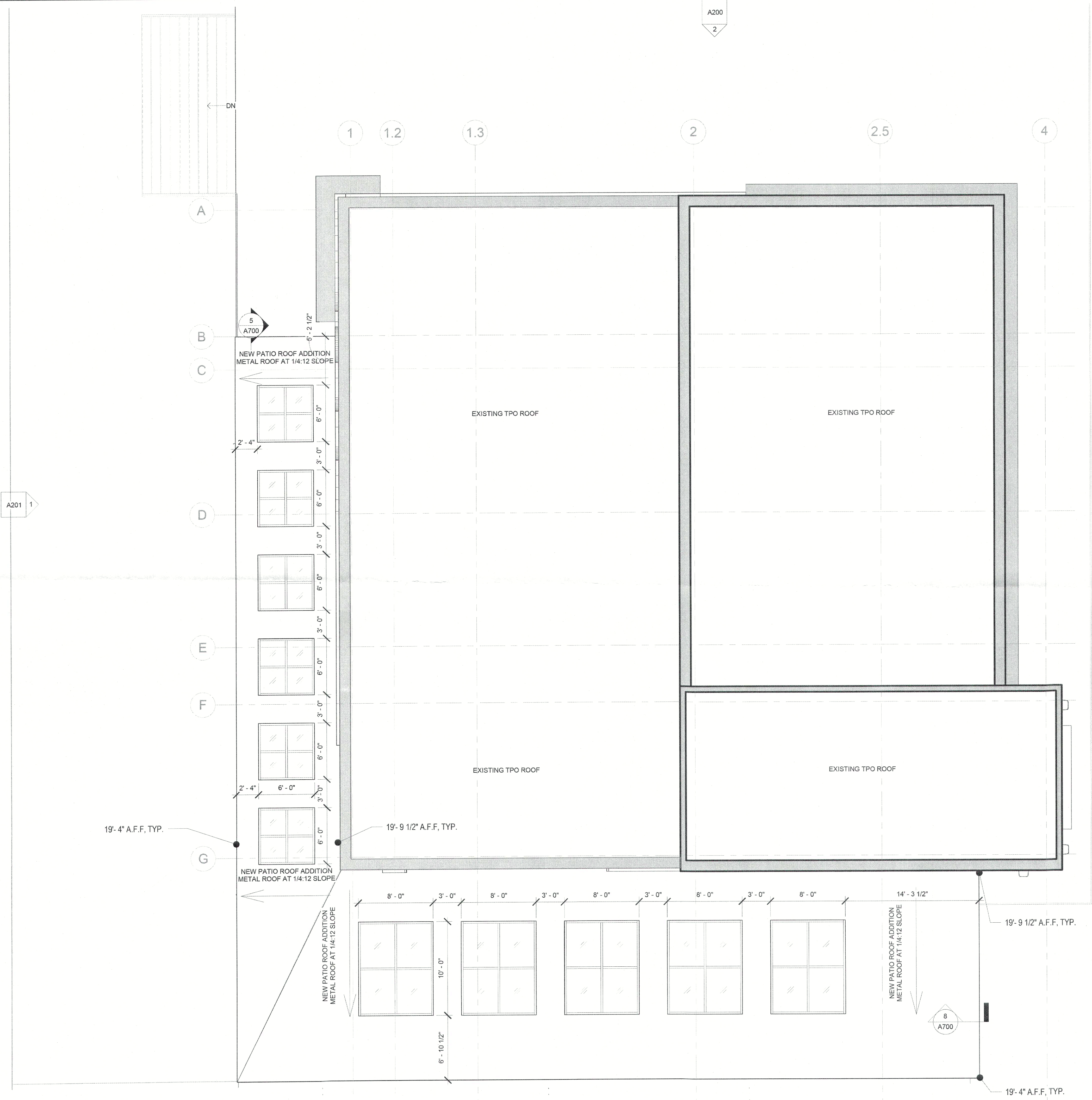
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1 ROOF PLAN
3/16" = 1'-0"

TRUE
NORTH

ROOF PLAN

A101



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

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CITY ENGINEER:

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SUBDIVISION Harbor District Addition

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING F1

CURRENT USE Retail

PROPOSED ZONING

PROPOSED USE Retail

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

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☒ APPLICANT Milkshake Concepts

CONTACT PERSON James Faller

CONTACT PERSON Erica Papan

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E-MAIL jfaller72@gmail.com

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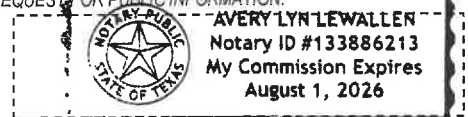
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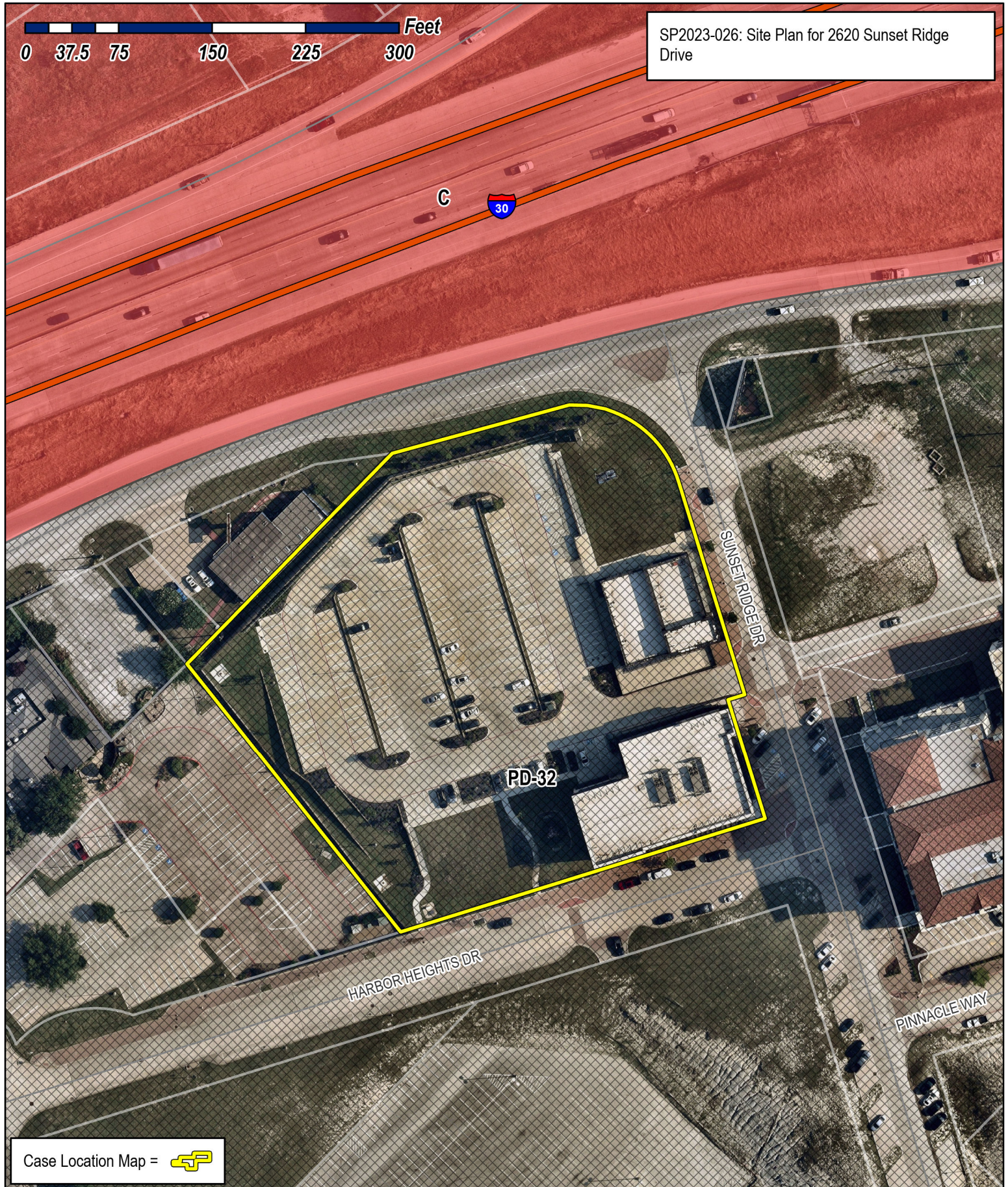
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Avery Lubben



MY COMMISSION EXPIRES

August 1, 2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VIDORRA
ROCKWALL

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ROCKWALL, TX 75032

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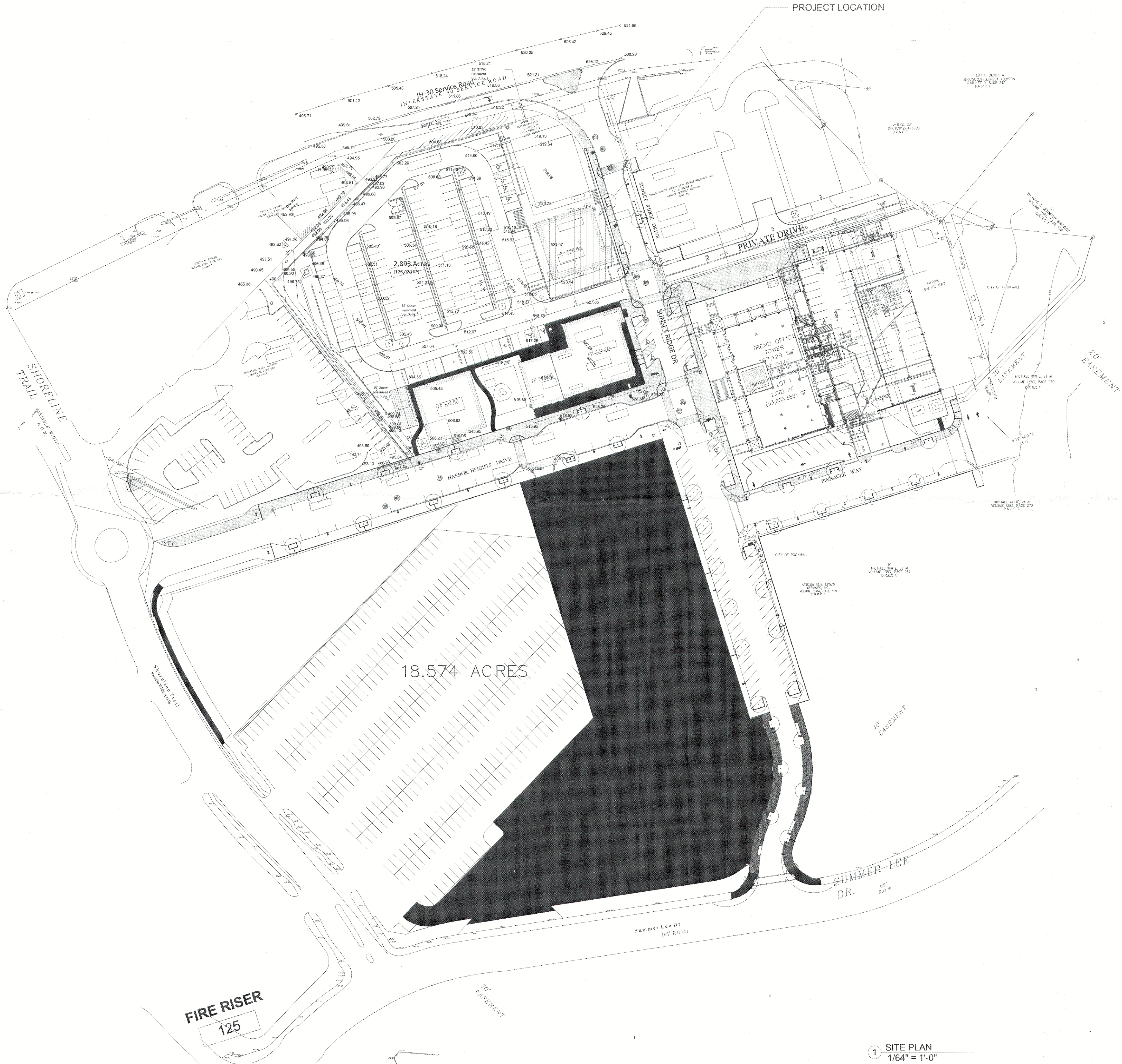
ISSUE:

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Date 8/18/2023

SITE PLAN

G000.1



1 SITE PLAN
1/64" = 1'-0"

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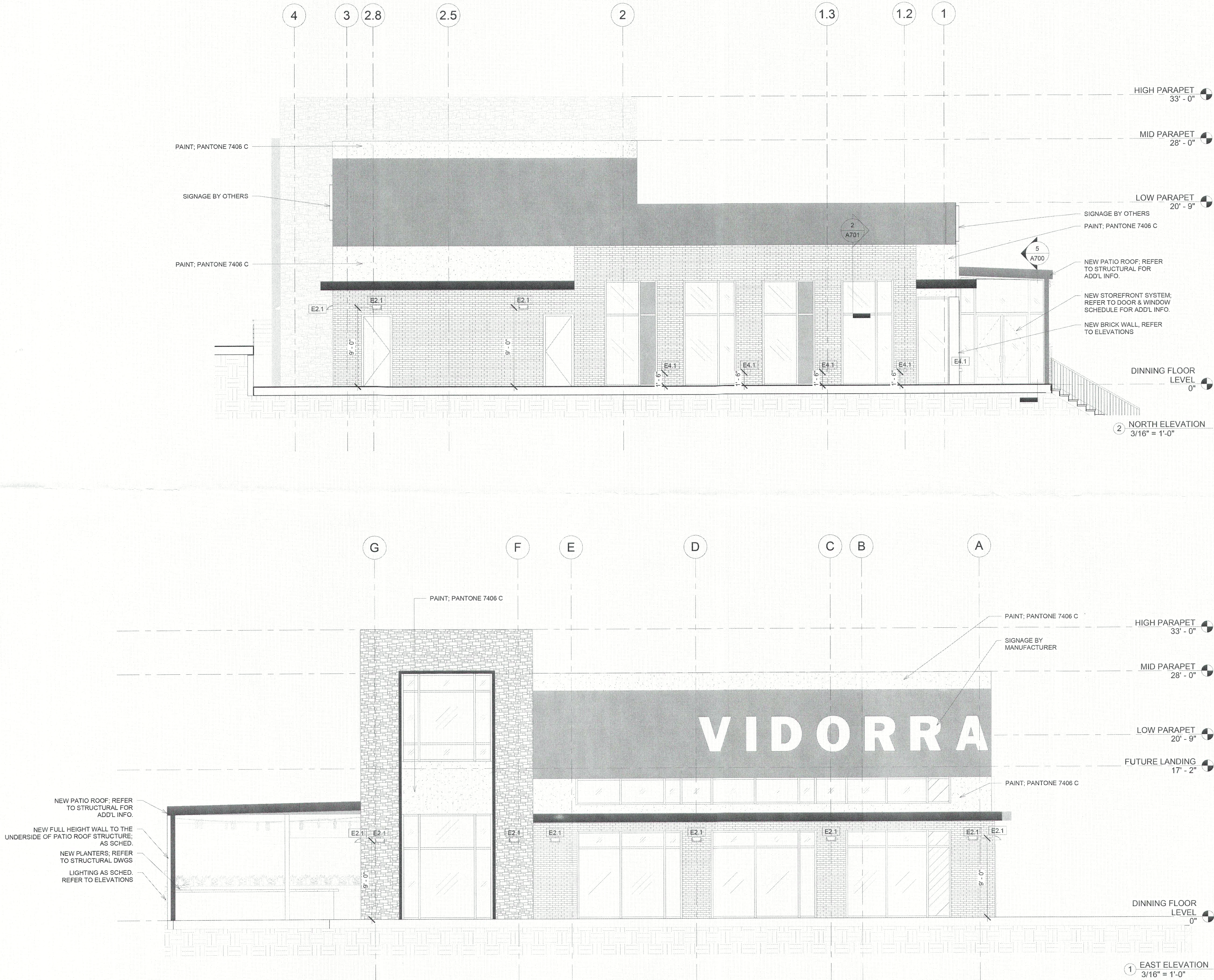
REVISIONS:

Date

8/18/2020

EXTERIOR
ELEVATIONS

A200



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ROCKWALL

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CONSULTANT

75 DEGREE
DESIGN
STUDIO

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DALLAS, TX 75207
TEL: 214-356-4949

ISSUE:

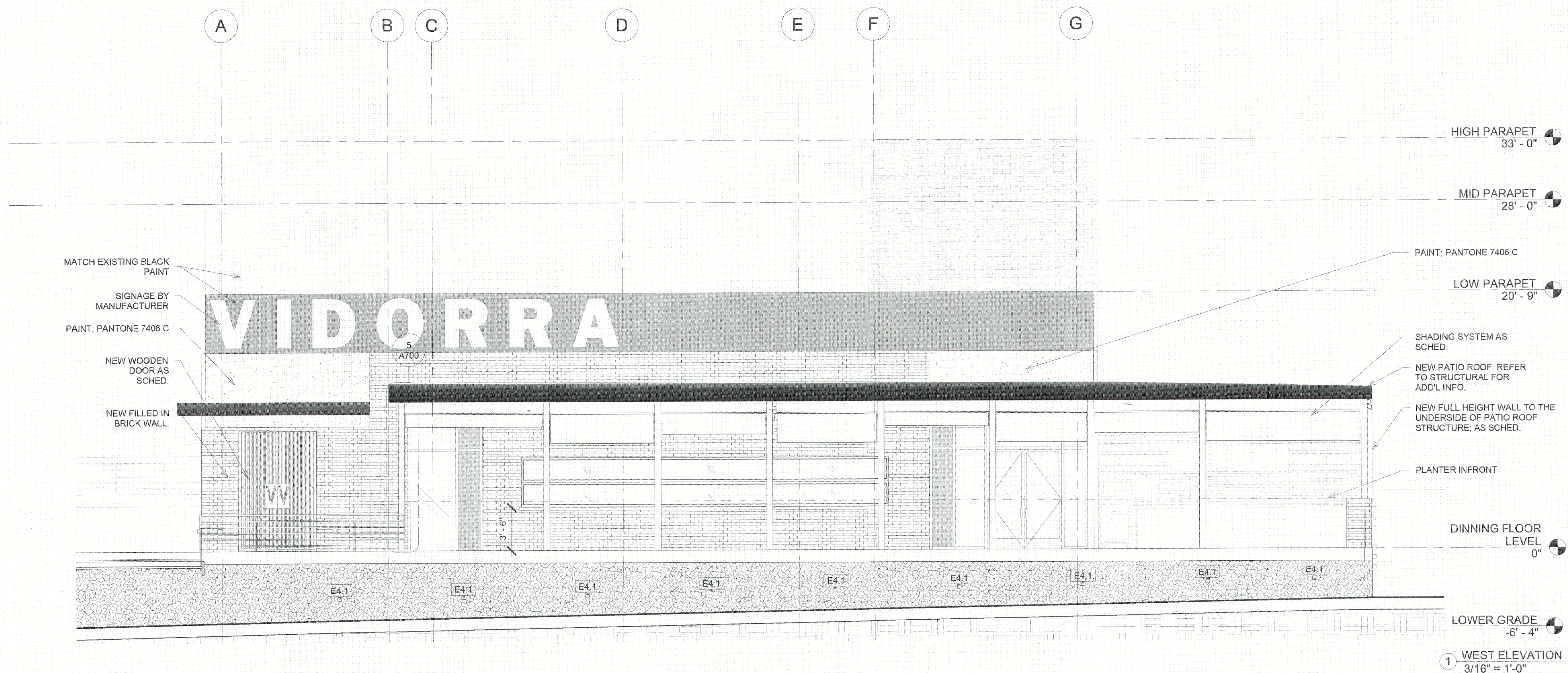
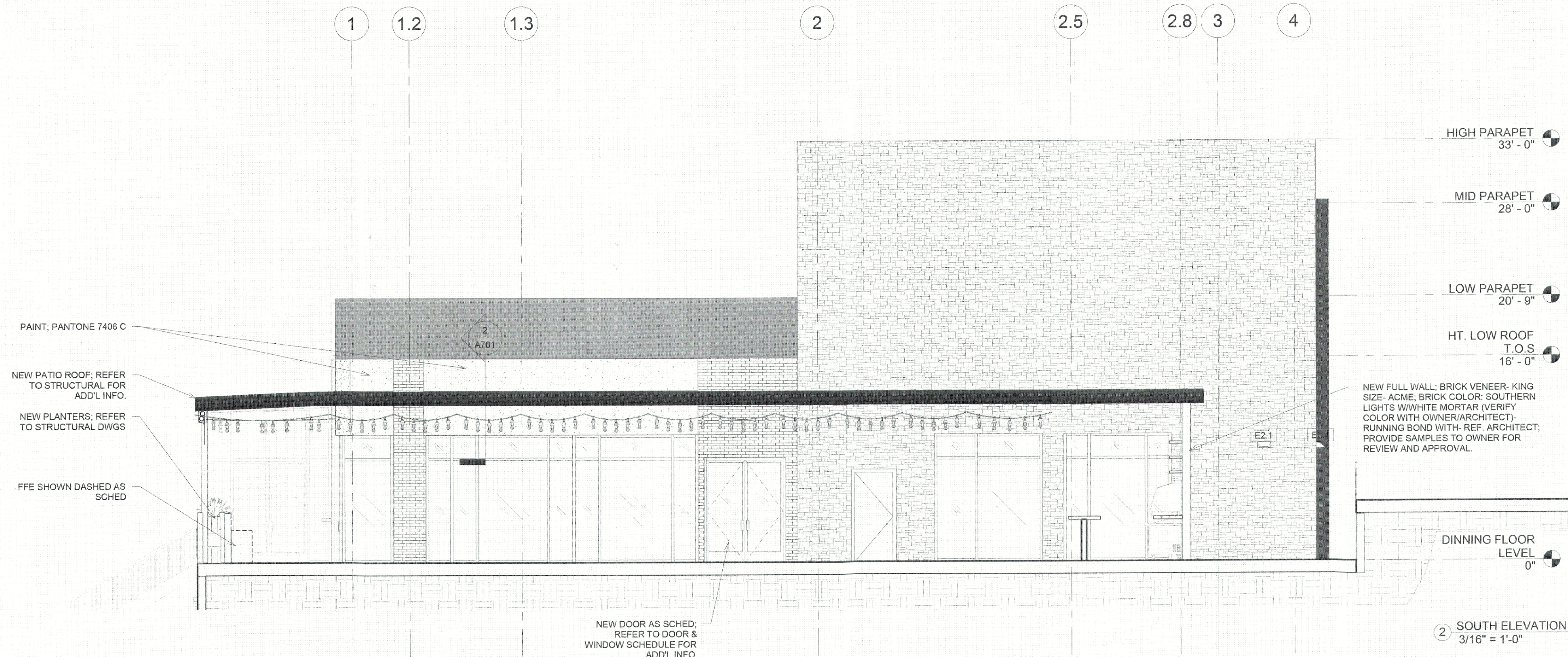
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8/18/20

EXTERIOR
ELEVATIONS

A201



VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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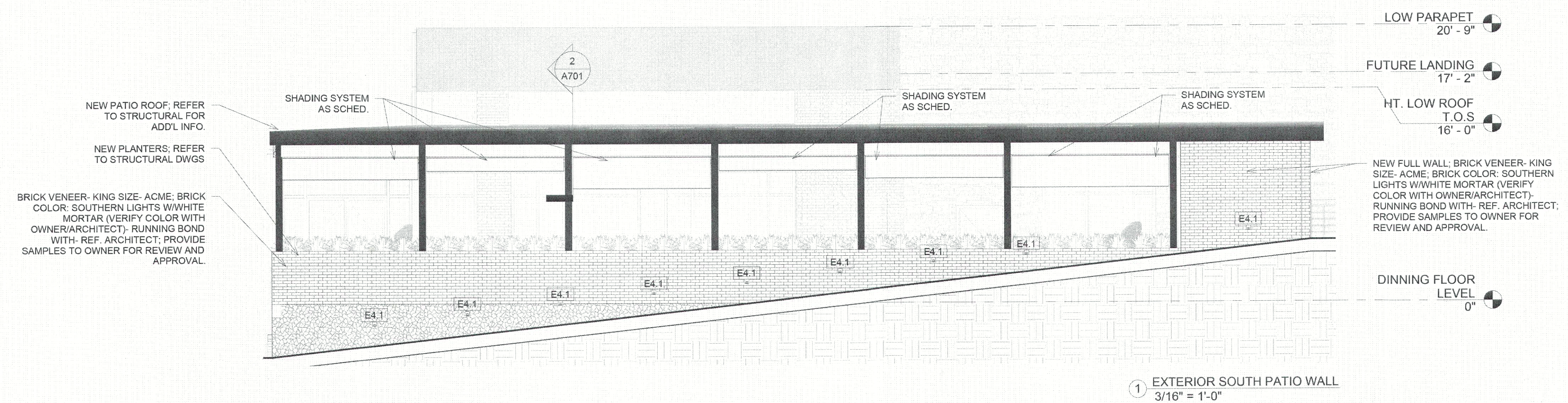
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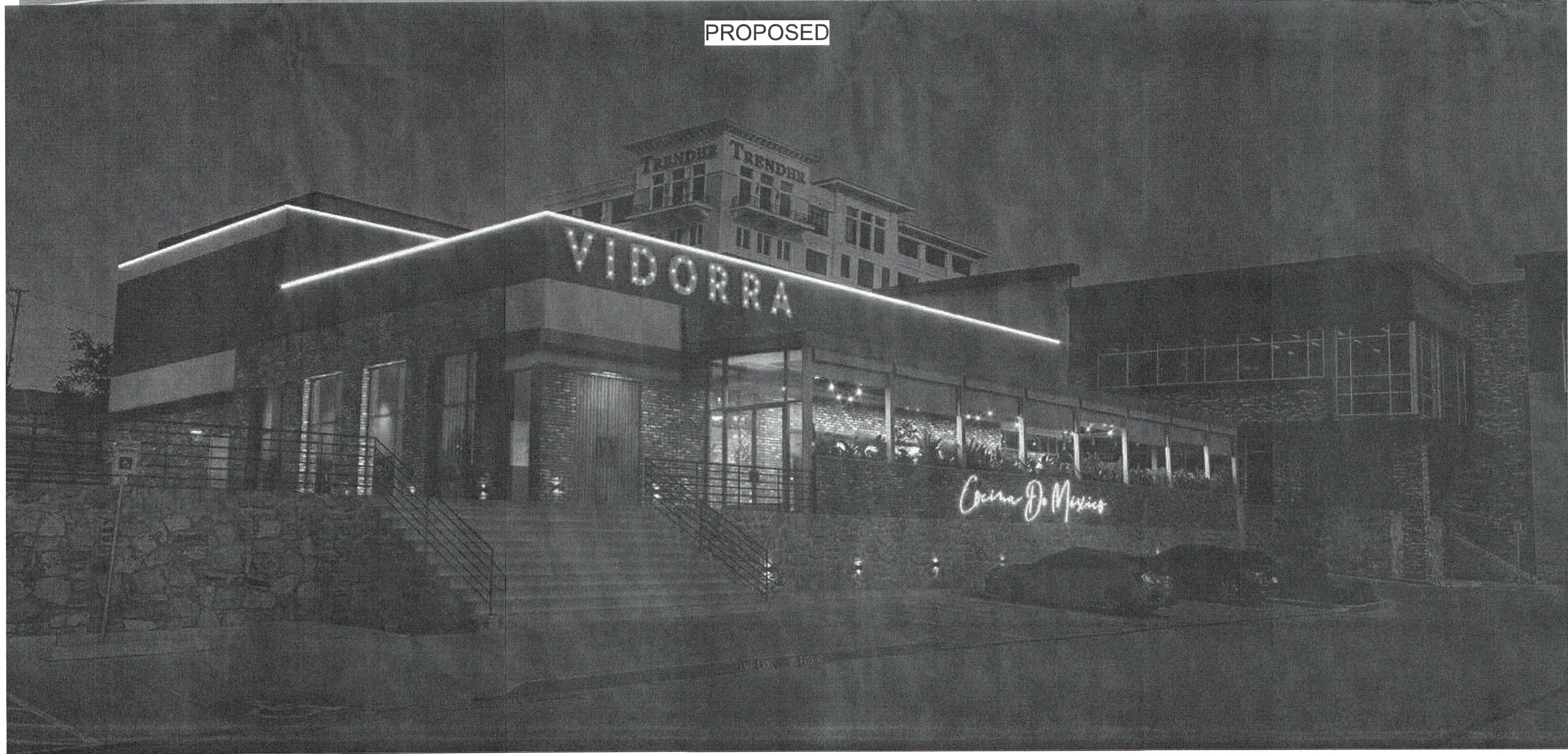
EXTERIOR ELEVATIONS

A202





EXISTING



PROPOSED

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ROCKWALL

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Date 8/18/2023

EXISTING AND
PROPOSED

G000.2

GENERAL NOTES

THE SCOPE OF THIS WORK IS AN EXTERIOR AND INTERIOR PACKAGE AND INCLUDES INTERIOR WALLS, WALL FRAMING, ROOF AND ALL EXTERIOR ELEMENTS AND SURROUNDING SITE ELEMENTS THAT PERTAIN TO THIS SCOPE FOR THE VIDORRA BUILDING. PLEASE STUDY THESE DOCUMENTS THOROUGHLY PRIOR TO CONSTRUCTION AND PRESENT ALL QUESTIONS IN RFI FORMAT TO 75 DEGREE DESIGN STUDIO. PRESIDING BUILDING CODES TO BE ADHERED UNDER ALL CIRCUMSTANCES.

RFIS, SUBMITTALS, REQUESTS, AND OTHER COMMUNICATION TO:
KCOURTIS@75DESIGNSTUDIO.COM
CC:ERUIZ@75DESIGNSTUDIO.COM

ALL DIMENSIONS TO FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.

ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL SITE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA, TAS/TABS REGULATIONS AND STANDARDS INCLUDING SIGNAGE.

ALL EXTERIOR DOORS SHALL NOT EXCEED 8.5 POUNDS OF PRESSURE TO OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM ADA REACH RANGE OF 48" A.F.F. EXCEPTIONS NOTED PER ADA GUIDELINES AND WITH RESPECT TO HORIZONTAL REACH DISTANCES. ADA REACH RANGE 15" MINIMUM AND 48" MAXIMUM A.F.F.

CONTRACTOR SHALL MAKE NO MATERIAL OR PRODUCT SUBSTITUTIONS WITHOUT SUBMITTING A WRITTEN REQUEST TO 75 DEGREE DESIGN STUDIO.

CONTRACTOR IS RESPONSIBLE FOR CHECKING FIELD CONDITIONS, CONSTRUCTION DOCUMENTS, FOR CLARITY & ACCURACY PERTAINING TO SCOPE. ALL QUESTIONS AND CLARIFICATION REQUEST SHALL BE ADDRESSED PRIOR TO COMMENCING CONSTRUCTION. ANY CONFLICT IN SCOPE BETWEEN DISCIPLINES AND THEIR DOCUMENTATION SHALL BE BROUGHT TO THE ATTENTION OF 75 DEGREE DESIGN STUDIO.

ALL FINISH MATERIALS MUST BE SUBMITTED TO 75 DEGREE DESIGN STUDIO FOR REVIEW & APPROVAL.

ALL EQUIPMENT ITEMS SHOWN & REFERENCED ON PLANS SHALL BE INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.

CONTRACTOR'S RESPONSIBILITY

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE PENETRATIONS FOR, BUT NOT LIMITED TO - DOORS, WINDOWS, ROOF PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & COUNTER FLASHING WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS, TYPICAL ALL SHEETS.

COMMENCING CONSTRUCTION

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED RELATING TO THESE DOCUMENTS.

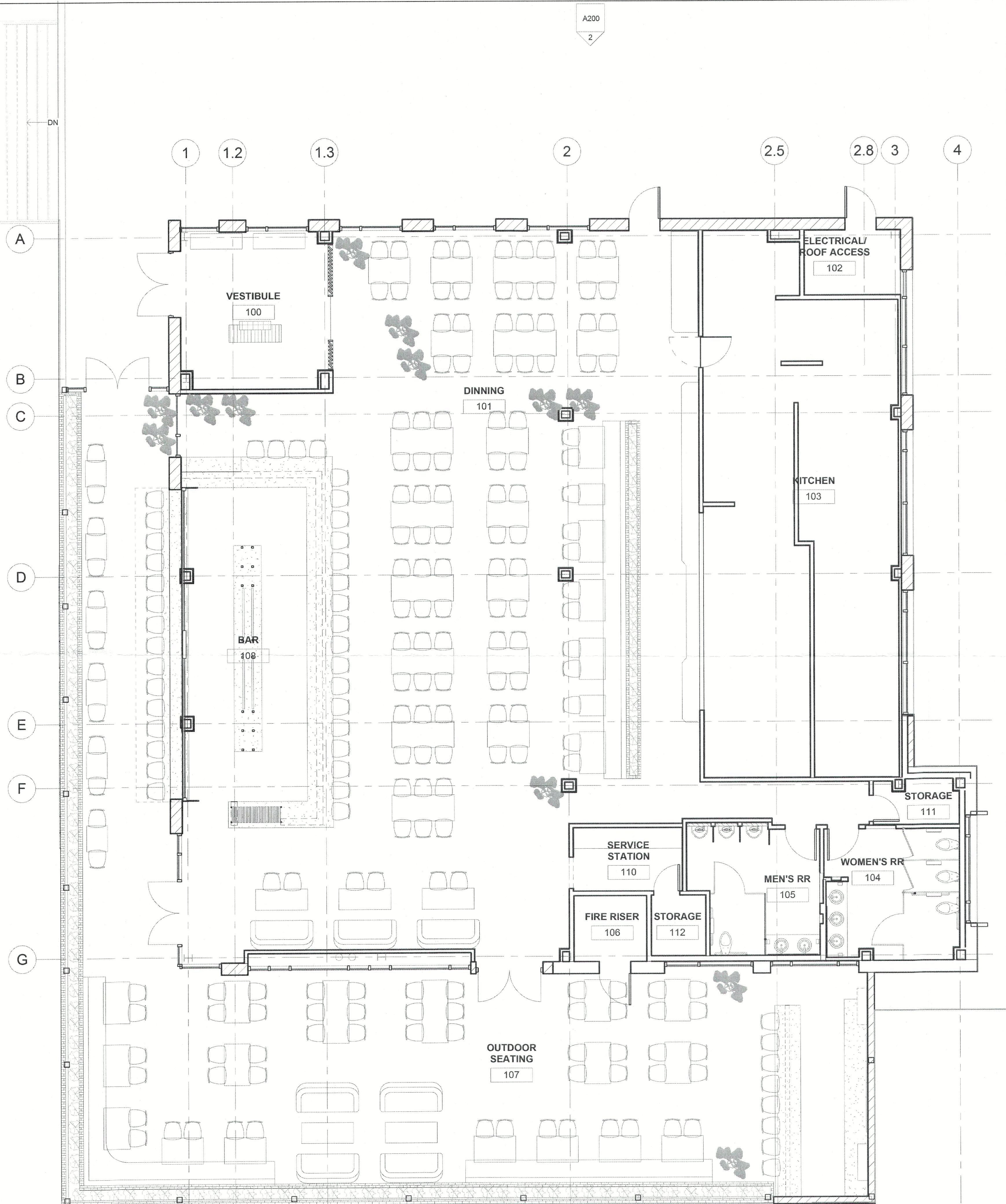
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Date

FURNITURE FLOOR
PLAN

ID100



1 FURNITURE PLAN
3/16" = 1'-0"



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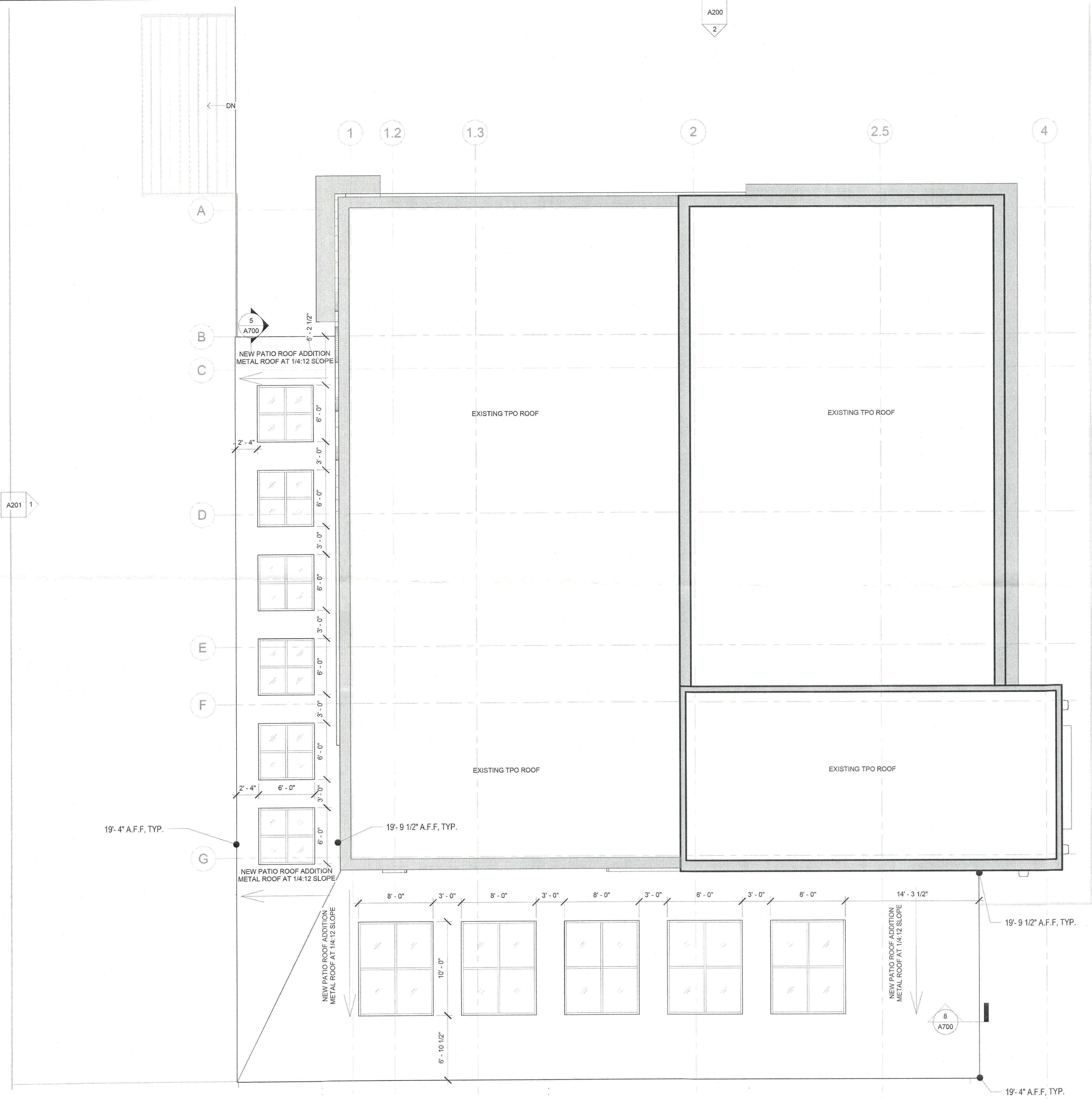
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RELATING TO THESE DOCUMENTS.



1 ROOF PLAN
3/16" = 1'-0"

TRUE
NORTH

ROOF PLAN

A101

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-026
PROJECT NAME: Site plan for 2620 Sunset Ridge Drive
SITE ADDRESS/LOCATIONS: 2620 SUNSET RIDGE DR

CASE CAPTION: Discuss and consider a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an Amended Site Plan for a Restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an Amended Site Plan for a Restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-026) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Please remove all signage from the building elevation; all signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05, UDC)

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan:

(1) A fully developed site plan is required for this amended site plan due to [1] the patio was not captured on the original site plan, rather it was added during the Engineering

- process, and [2] the increase of the parking deficiency. In additional, have the extent of the plans cover just be the subject property. (Subsection 03.04. A, of Article 11, UDC)
- (2) Please provide the owners name, address, and phone number. They are required to be in the lower right-hand corner left of the title block. (Subsection 03.04. A, of Article 11, UDC)
- (3) Please provided the name, address, and phone number of the person or company that prepared the plans. They are required in the lower righthand corner left of the title block (Subsection 03.04. A, of Article 11, UDC)
- (4) Please provide a north point, numeric and graphic scale, and a vicinity map. (Subsection 03.04. A, of Article 11, UDC)
- (5) Please indicate the total lot area in acreage and square feet. (Subsection 03.04. B, of Article 11, UDC)
- (6) Please indicate the perimeter dimensions of the site in feet. (Subsection 03.04. B, of Article 11, UDC)
- (7) Please indicate the square footage of all existing and proposed buildings. (Subsection 03.04. B, of Article 11, UDC)
- (8) Please indicate the perimeter dimensions of the existing building. (Subsection 03.04. B, of Article 11, UDC)
- (9) Please indicate the distance between buildings. (Subsection 03.04. B, of Article 11, UDC)
- (10) Please indicate the distance between the building and the property lines. (Subsection 03.04. B, of Article 11, UDC)
- (11) Please indicate the property lines. (Subsection 03.04. B, of Article 11, UDC)
- (12) Please indicate the building setbacks. (Subsection 03.04. B, of Article 11, UDC)
- (13) Please indicate all easements. (Subsection 03.04. B, of Article 11, UDC)
- (14) Please indicate the drive turning radii and widths. (Subsection 03.04. B, of Article 11, UDC)
- (15) Please indicate all fire lane. (Subsection 03.04. B, of Article 11, UDC)
- (16) Please indicate the dimensions of a typical parking space. (Subsection 05.03, of Article 06, UDC)
- (17) Please provide a parking table that indicates the total number of required parking spaces by use (Subsection 05.01, of Article 06, UDC)
- (18) Based on the previously approved site plan 199 parking spaces were required by the land uses indicated; however, an exception was granted to allow 161 parking spaces. That being said, the patio is required 1 parking space per 4 seats. In this case, an additional 25 parking spaces are required. This means you would be requesting to increase the non-conformity of the parking through an exception. (Table 5, of Article 06)
- (19) Will there be an additional roof top units or ground mounted utility equipment? If so, please indicate the subsequent screening. (Subsection 01.05. C, Article 05)

M.7 Building Elevations:

- (1) Please provide spec sheets for all of the proposed materials (i.e. paint colors, roof material, brick, shade system). (Subsection 04.01. C, of Article 05, UDC)

I.8 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] parking. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

ENGINEERING	Craig Foshee	08/23/2023	Approved
08/25/2023: 1. Verify no easement in project location. 2. Please call out the project location.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved
No Comments			

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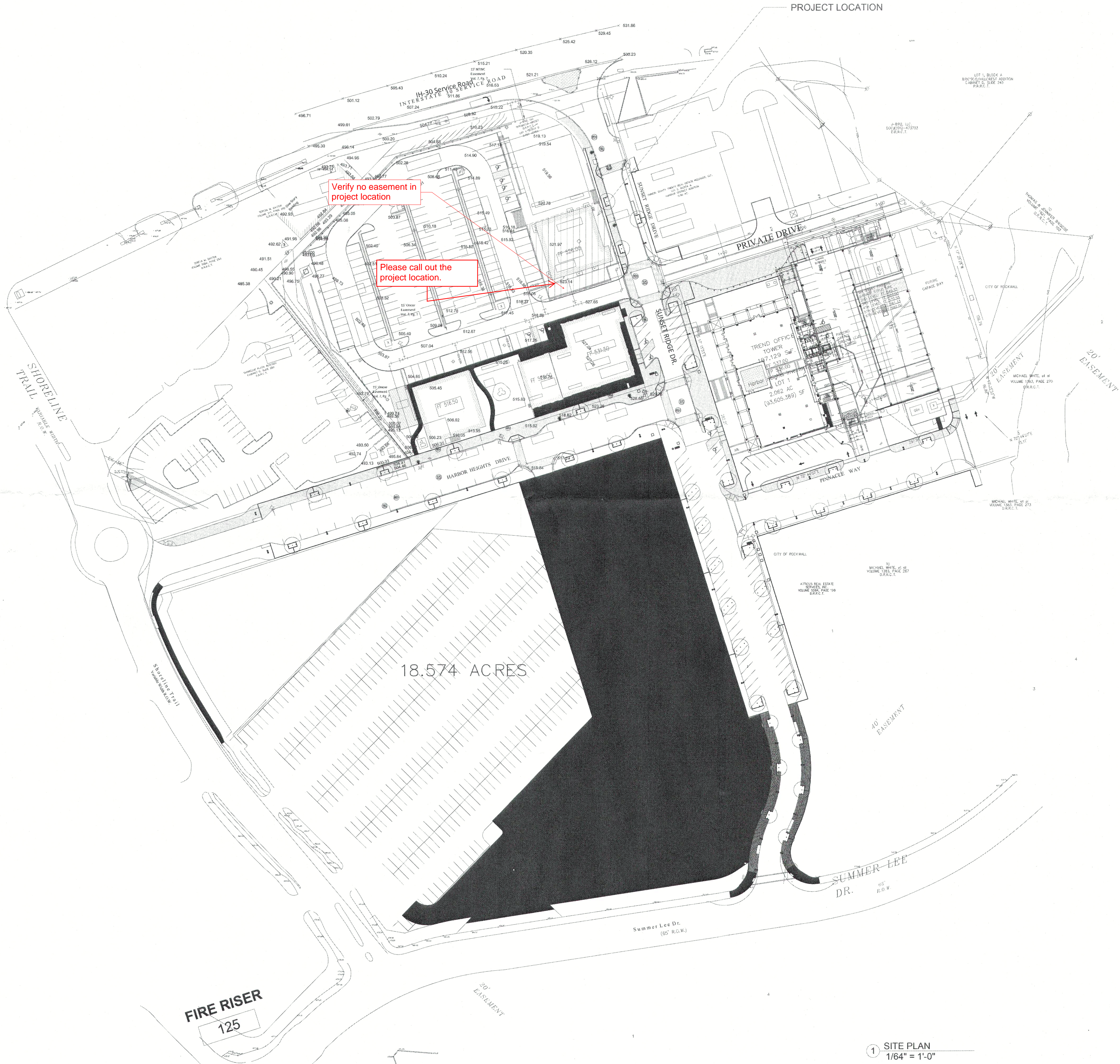
ISSUE:

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Date 8/18/2023

SITE PLAN

G000.1





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2620 Sunset Ridge Drive, Rockwall, TX 75032

SUBDIVISION Harbor District Addition

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING F1

CURRENT USE Retail

PROPOSED ZONING

PROPOSED USE Retail

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

- ☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Milkshake Concepts

☒ APPLICANT Milkshake Concepts

CONTACT PERSON James Faller

CONTACT PERSON Erica Papan

ADDRESS 4000 Elm Street

ADDRESS 4000 Elm Street

CITY, STATE & ZIP Dallas, TX 75226

CITY, STATE & ZIP Dallas, TX 75226

PHONE 214-280-0008

PHONE 708-860-7405

E-MAIL jfaller72@gmail.com

E-MAIL epapan@milkshakeconcepts.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Faller [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

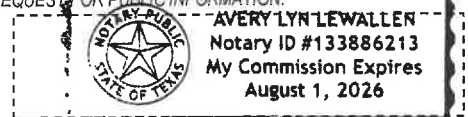
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 18th DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS 18 DAY OF August, 2023.

OWNER'S SIGNATURE

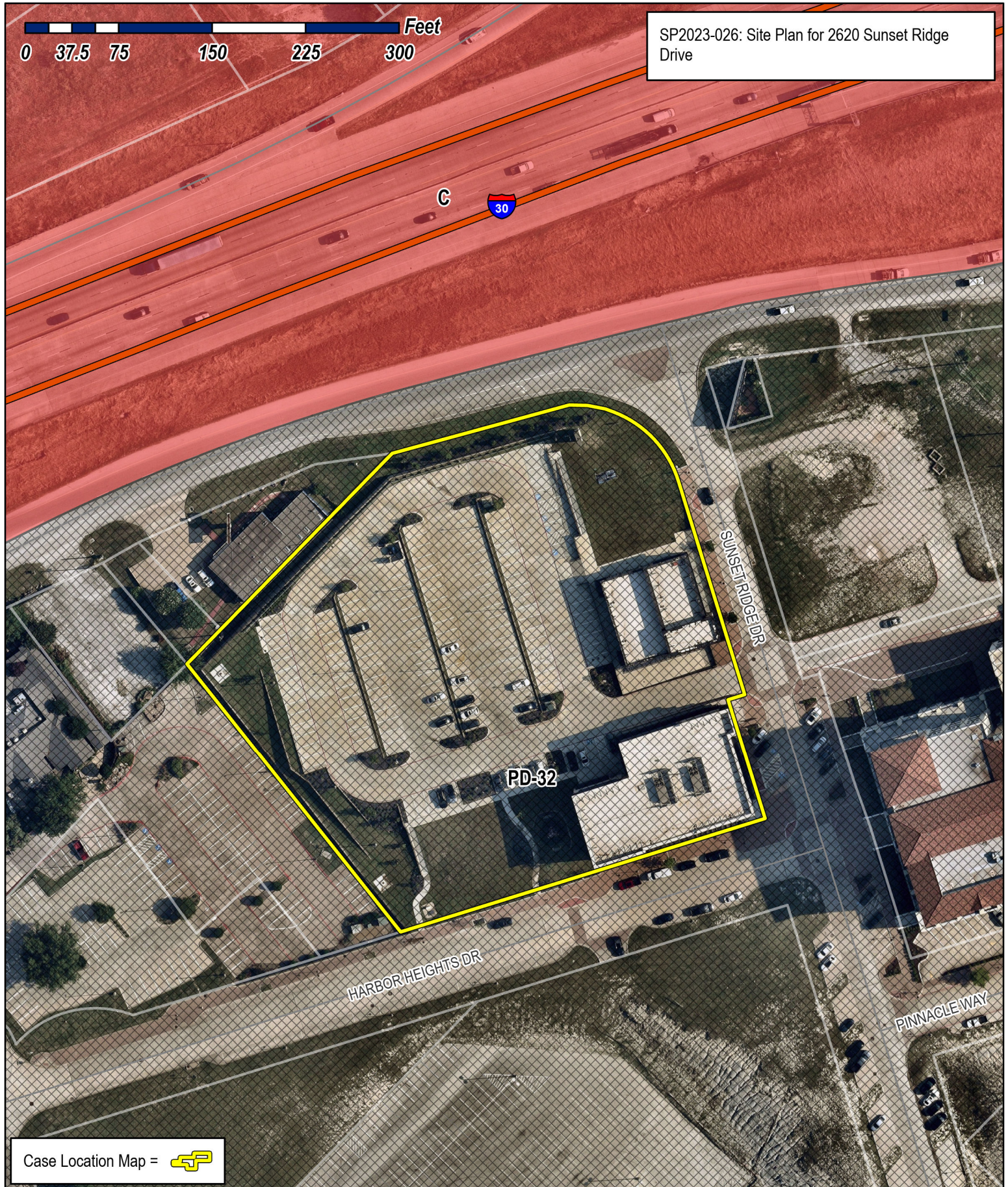
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Avery L. Waller



MY COMMISSION EXPIRES

August 1, 2026



SP2023-026: Site Plan for 2620 Sunset Ridge Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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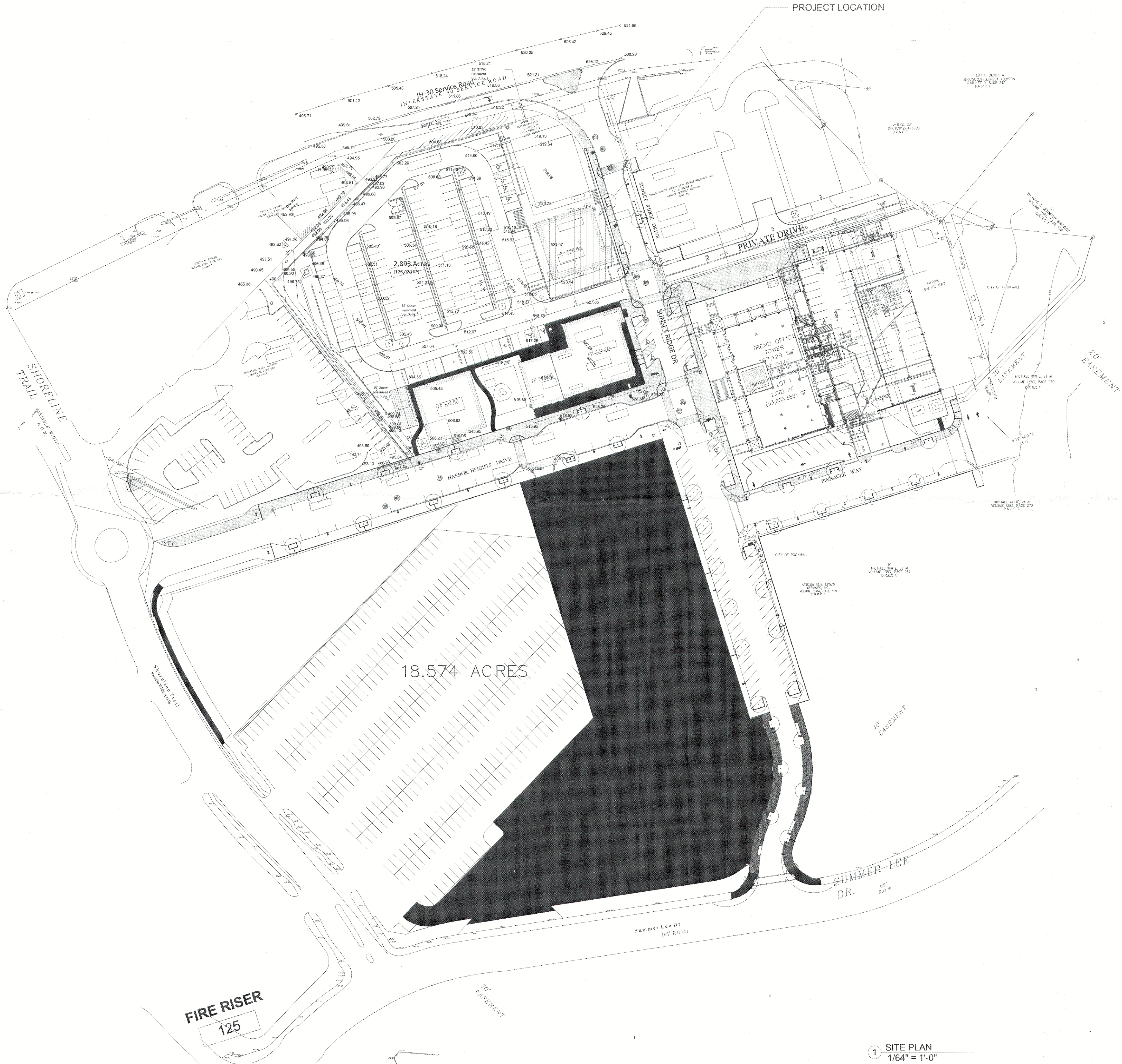
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SITE PLAN

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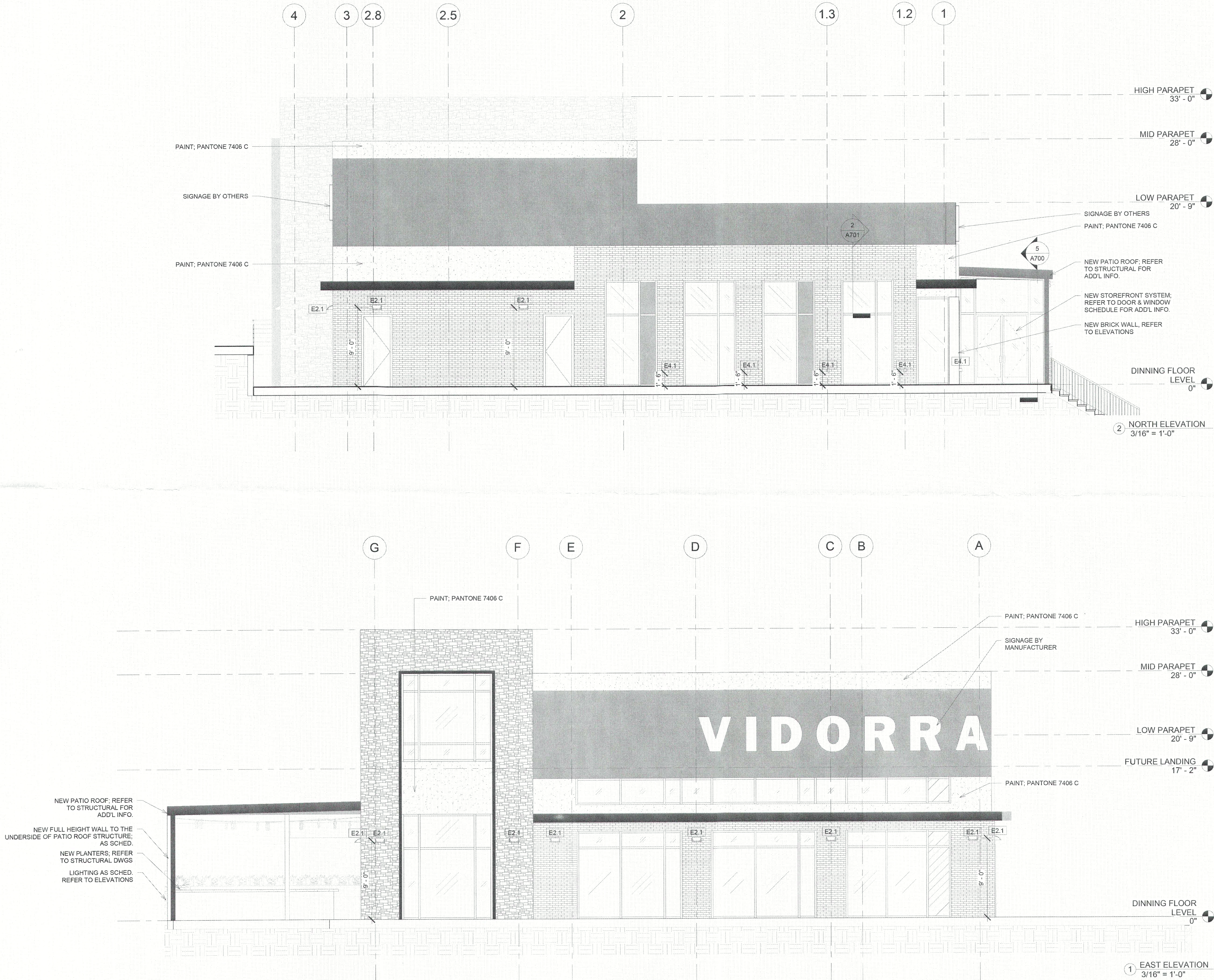
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EXTERIOR
ELEVATIONS

A200



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DESIGN STUDIO.

DESIGN
CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #520
DALLAS, TX 75207
TEL: 214-356-4949

ISSUE:

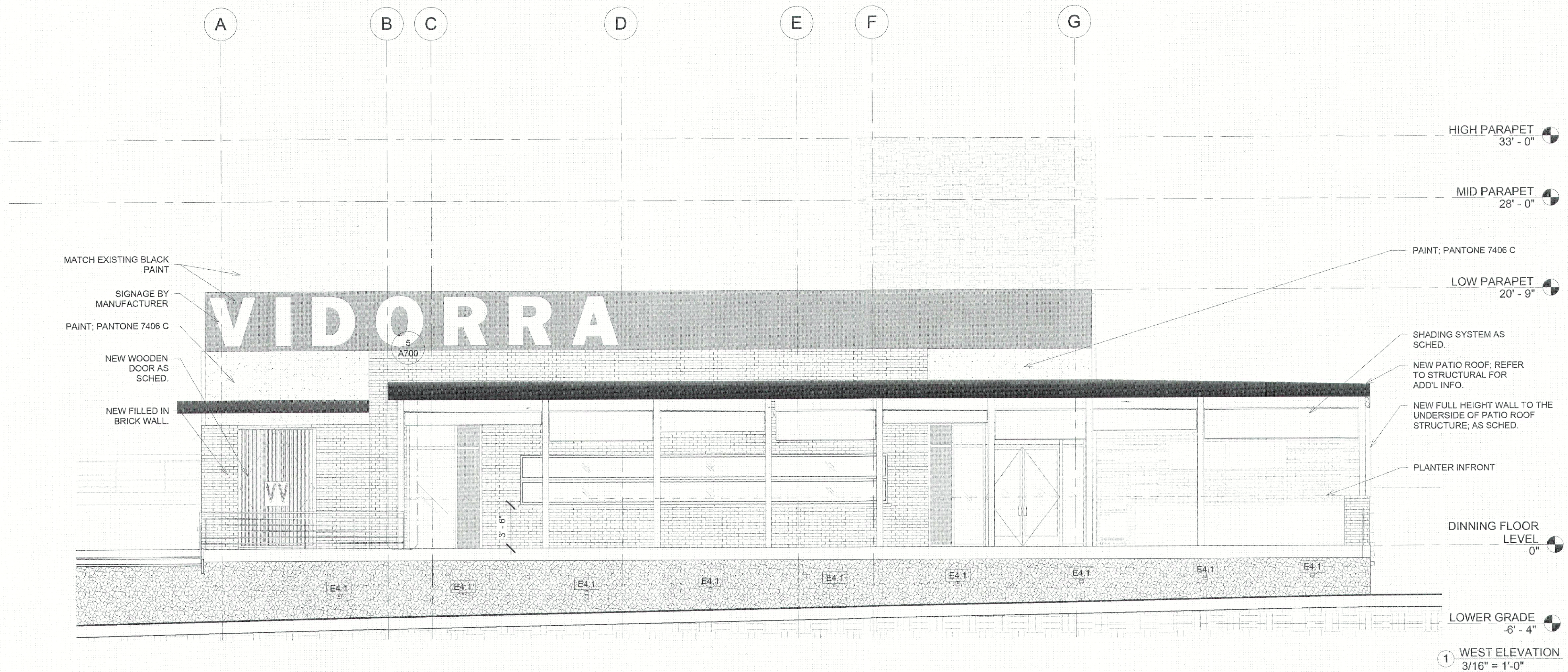
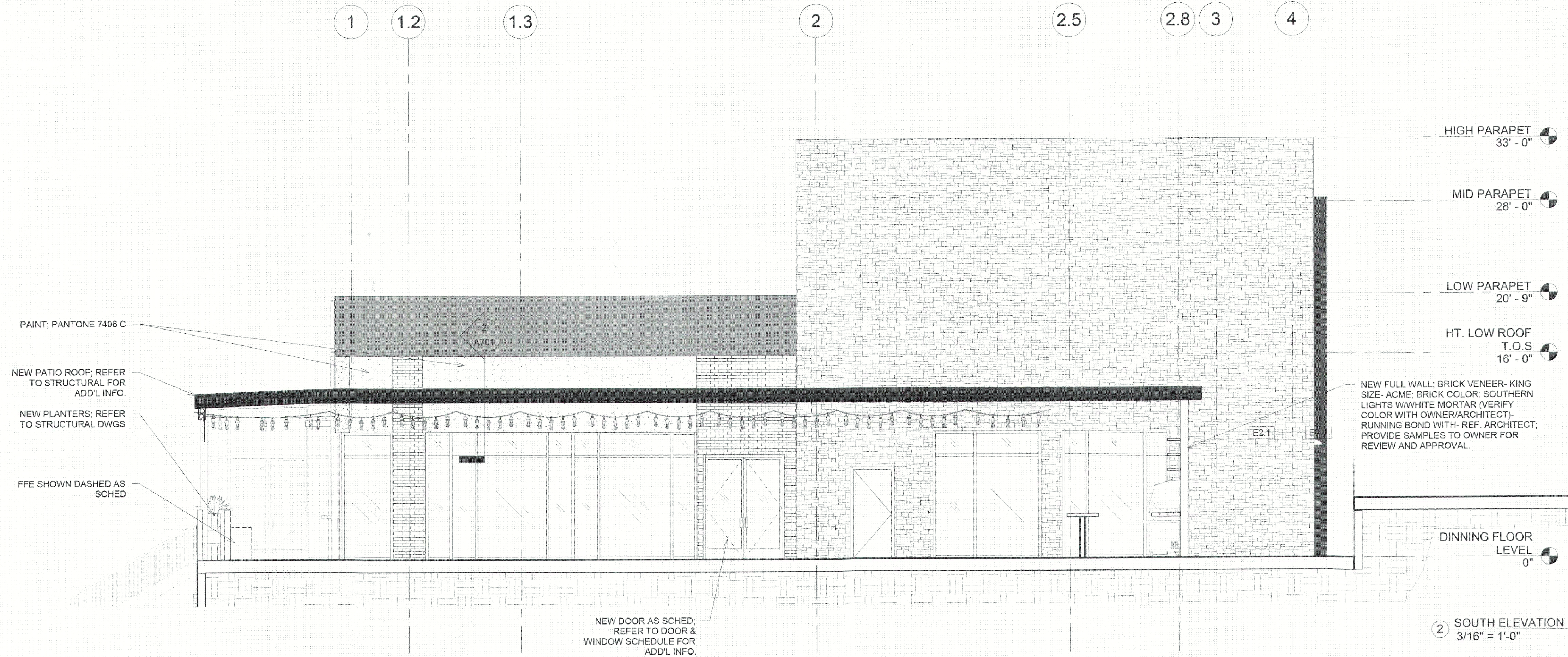
REVISIONS:

Date

8/18/20

EXTERIOR
ELEVATIONS

A201



VIDORRA
ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75082

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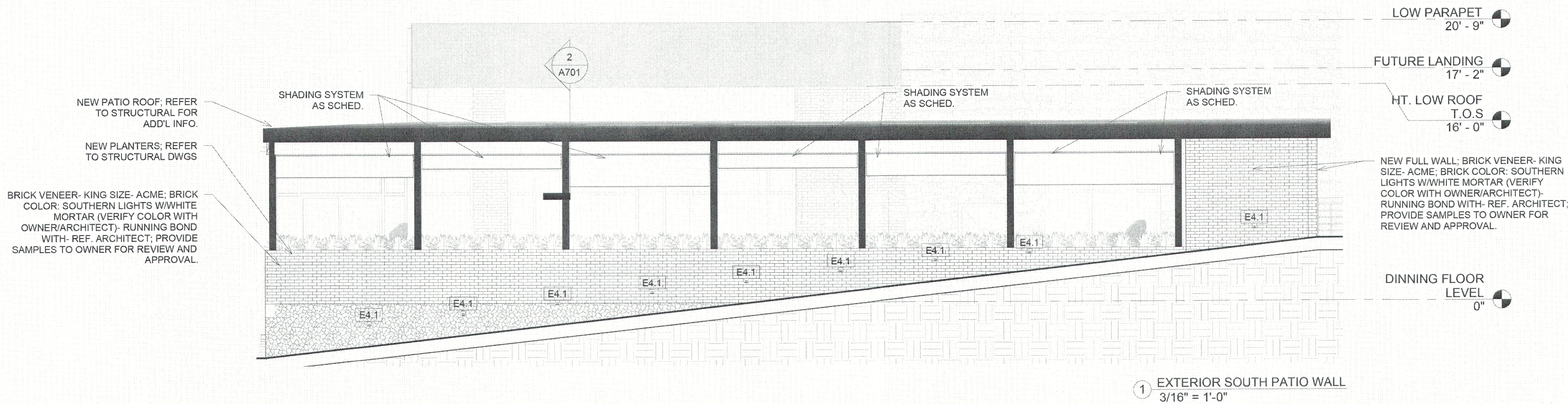
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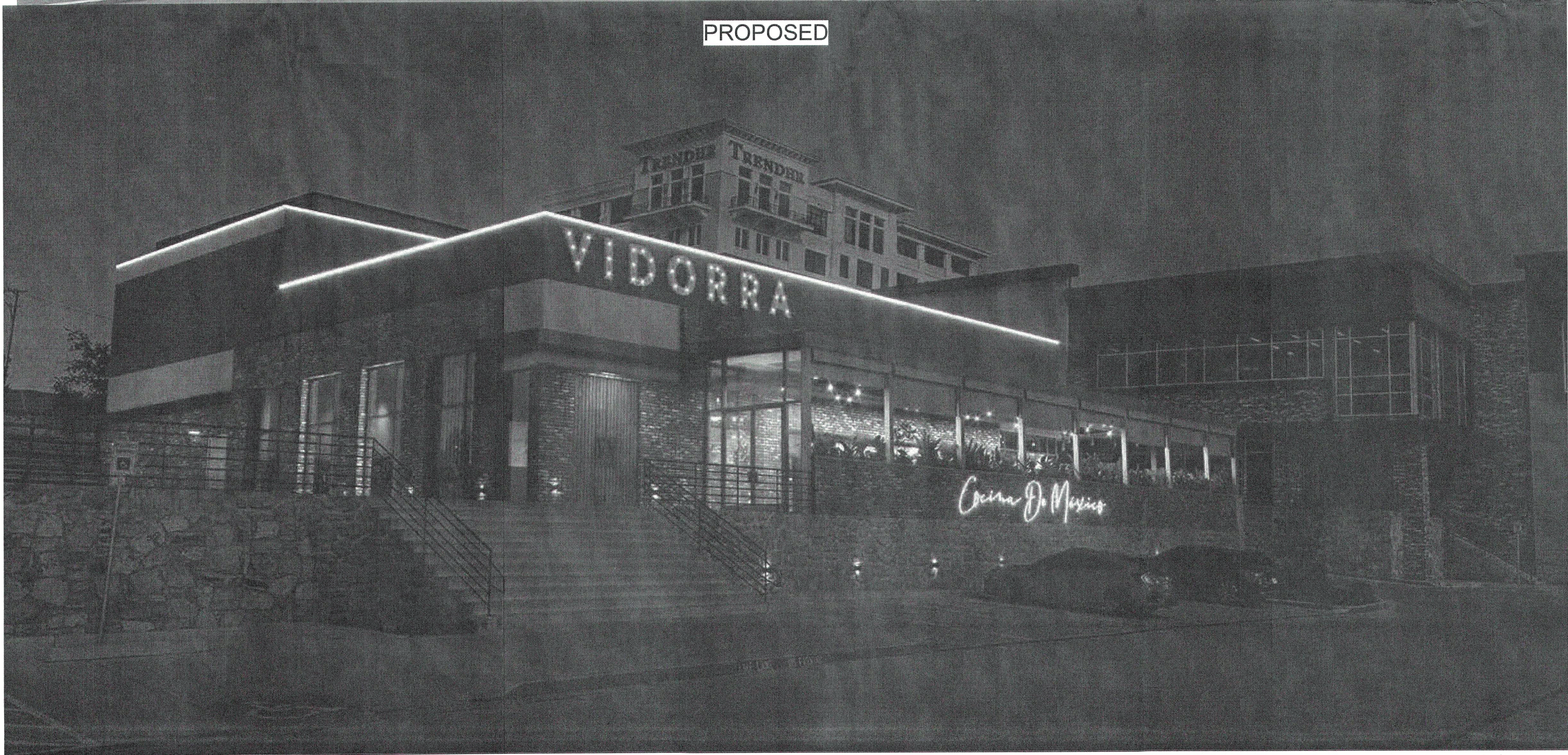
EXTERIOR
ELEVATIONS

A202





EXISTING



PROPOSED

VIDORRA ROCKWALL

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ROCKWALL, TX 75032

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Date 8/18/2023

EXISTING AND
PROPOSED

G000.2

GENERAL NOTES

THE SCOPE OF THIS WORK IS AN EXTERIOR AND INTERIOR PACKAGE AND INCLUDES INTERIOR WALLS, WALL FRAMING, ROOF AND ALL EXTERIOR ELEMENTS AND SURROUNDING SITE ELEMENTS THAT PERTAIN TO THIS SCOPE FOR THE VIDORRA BUILDING. PLEASE STUDY THESE DOCUMENTS THOROUGHLY PRIOR TO CONSTRUCTION AND PRESENT ALL QUESTIONS IN RFI FORMAT TO 75 DEGREE DESIGN STUDIO. PRESIDING BUILDING CODES TO BE ADHERED UNDER ALL CIRCUMSTANCES.

RFIS, SUBMITTALS, REQUESTS, AND OTHER COMMUNICATION TO:
KCOURTIS@75DESIGNSTUDIO.COM
CC:ERUIZ@75DESIGNSTUDIO.COM

ALL DIMENSIONS TO FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.

ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL SITE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA, TAS/TABS REGULATIONS AND STANDARDS INCLUDING SIGNAGE.

ALL EXTERIOR DOORS SHALL NOT EXCEED 8.5 POUNDS OF PRESSURE TO OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM ADA REACH RANGE OF 48" A.F.F. EXCEPTIONS NOTED PER ADA GUIDELINES AND WITH RESPECT TO HORIZONTAL REACH DISTANCES. ADA REACH RANGE 15" MINIMUM AND 48" MAXIMUM A.F.F.

CONTRACTOR SHALL MAKE NO MATERIAL OR PRODUCT SUBSTITUTIONS WITHOUT SUBMITTING A WRITTEN REQUEST TO 75 DEGREE DESIGN STUDIO.

CONTRACTOR IS RESPONSIBLE FOR CHECKING FIELD CONDITIONS, CONSTRUCTION DOCUMENTS, FOR CLARITY & ACCURACY PERTAINING TO SCOPE. ALL QUESTIONS AND CLARIFICATION REQUEST SHALL BE ADDRESSED PRIOR TO COMMENCING CONSTRUCTION. ANY CONFLICT IN SCOPE BETWEEN DISCIPLINES AND THEIR DOCUMENTATION SHALL BE BROUGHT TO THE ATTENTION OF 75 DEGREE DESIGN STUDIO.

ALL FINISH MATERIALS MUST BE SUBMITTED TO 75 DEGREE DESIGN STUDIO FOR REVIEW & APPROVAL.

ALL EQUIPMENT ITEMS SHOWN & REFERENCED ON PLANS SHALL BE INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.

CONTRACTOR'S RESPONSIBILITY

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE PENETRATIONS FOR, BUT NOT LIMITED TO - DOORS, WINDOWS, ROOF PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & COUNTER FLASHING WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS, TYPICAL ALL SHEETS.

COMMENCING CONSTRUCTION

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED RELATING TO THESE DOCUMENTS.

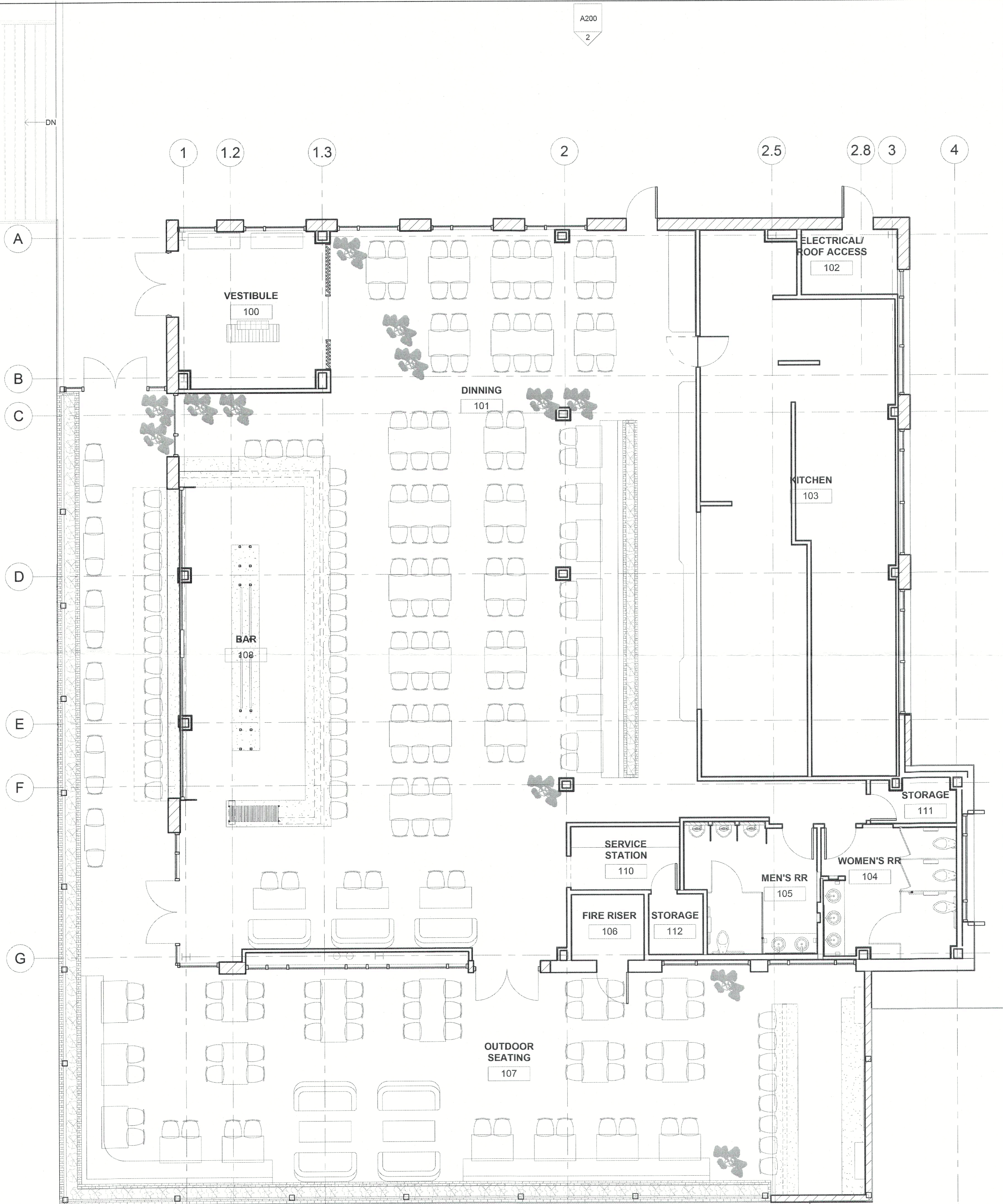
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FURNITURE FLOOR
PLAN

ID100



1 FURNITURE PLAN
3/16" = 1'-0"

TRUE
NORTH



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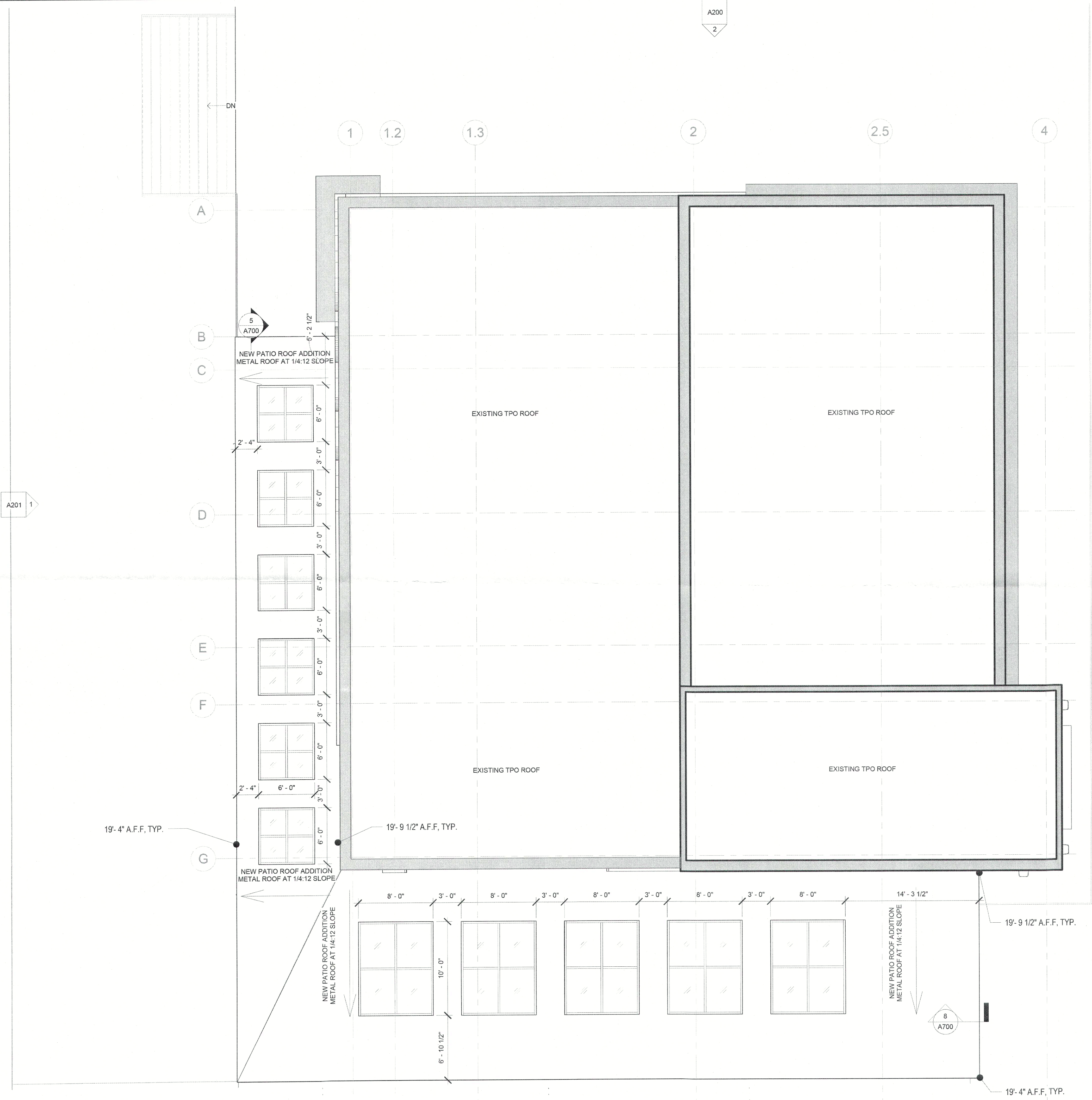
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1 ROOF PLAN
3/16" = 1'-0"



ROOF PLAN

A101



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 12, 2023
APPLICANT: Erica Papan; *Milkshake Concepts*
CASE NUMBER: SP2023-026; *Amended Site Plan for 2620 Sunset Ridge Drive*

On September 10, 2019 the Planning and Zoning Commission approved a site plan [Case No. SP2019-033] to allow the construction of a strip retail center and restaurant. In the original site plan case, the restaurant did not include an enclosed patio; however, during the civil engineering review process the applicant added an unlabeled open-air patio on the civil plans. This was subsequently included with the building permit and was constructed. The applicant is now returning to the Planning and Zoning Commission with an amended site plan requesting to enclose the patio.

Based on the provided building elevations and site plan, the proposed enclosed patio generally meets the density and dimensional requirements for building located within Planned Development District 32 (PD-32), with the exception of the parking. As part of the original site plan case [Case No. SP2019-033] the applicant was required 199 parking spaces; however, an exception was approved to allow 161 parking spaces because of the proximity to the existing public parking garage and the on-street parking provided as part of this Planned Development District. With this being said, the applicant's request increases the parking exception by 27 parking spaces to account for the additional capacity added by enclosing the patio. This brings the total parking requirement to 226 parking spaces. The applicant has not indicated any additional parking will be provided; however, a parking analysis was provided indicating that at one time no more than 137 parking spaces will be needed. That being said, the applicant this is an exception to the parking requirements to allow 161 parking spaces. In addition, staff should point out that the existing public parking garage at Trend Tower has more than enough capacity to support the variance; however, the exception is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the September 12, 2023 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☒ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2620 Sunset Ridge Drive, Rockwall, TX 75032

SUBDIVISION Harbor District Addition

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING F1

CURRENT USE Retail

PROPOSED ZONING

PROPOSED USE Retail

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

- ☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Milkshake Concepts

☒ APPLICANT Milkshake Concepts

CONTACT PERSON James Faller

CONTACT PERSON Erica Papan

ADDRESS 4000 Elm Street

ADDRESS 4000 Elm Street

CITY, STATE & ZIP Dallas, TX 75226

CITY, STATE & ZIP Dallas, TX 75226

PHONE 214-280-0008

PHONE 708-860-7405

E-MAIL jfaller72@gmail.com

E-MAIL epapan@milkshakeconcepts.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Faller [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

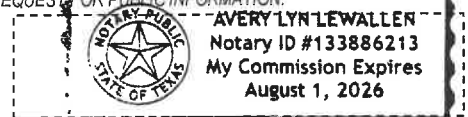
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 18th DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS 18 DAY OF August, 2023.

OWNER'S SIGNATURE

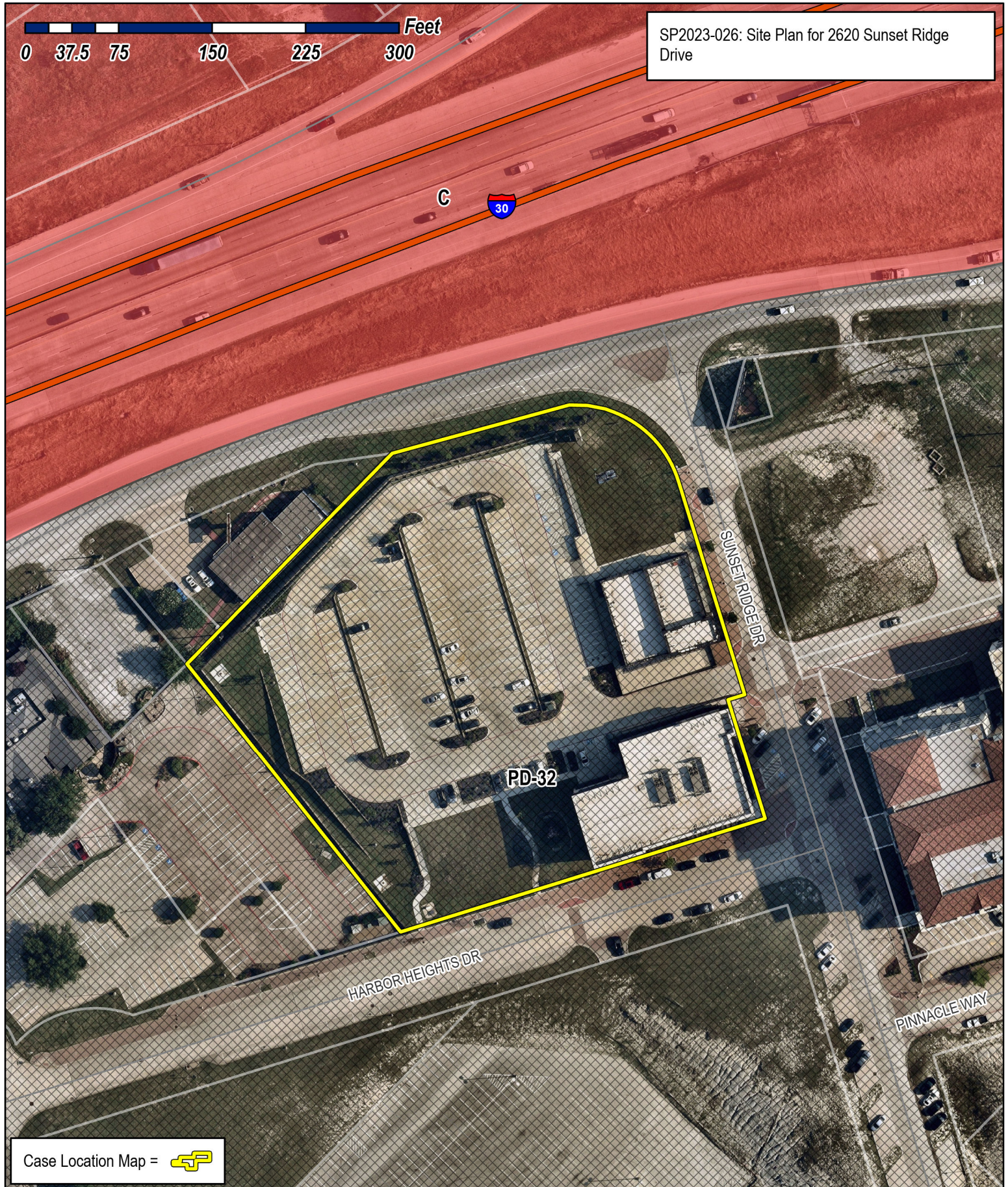
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Avery L. Waller



MY COMMISSION EXPIRES

August 1, 2026



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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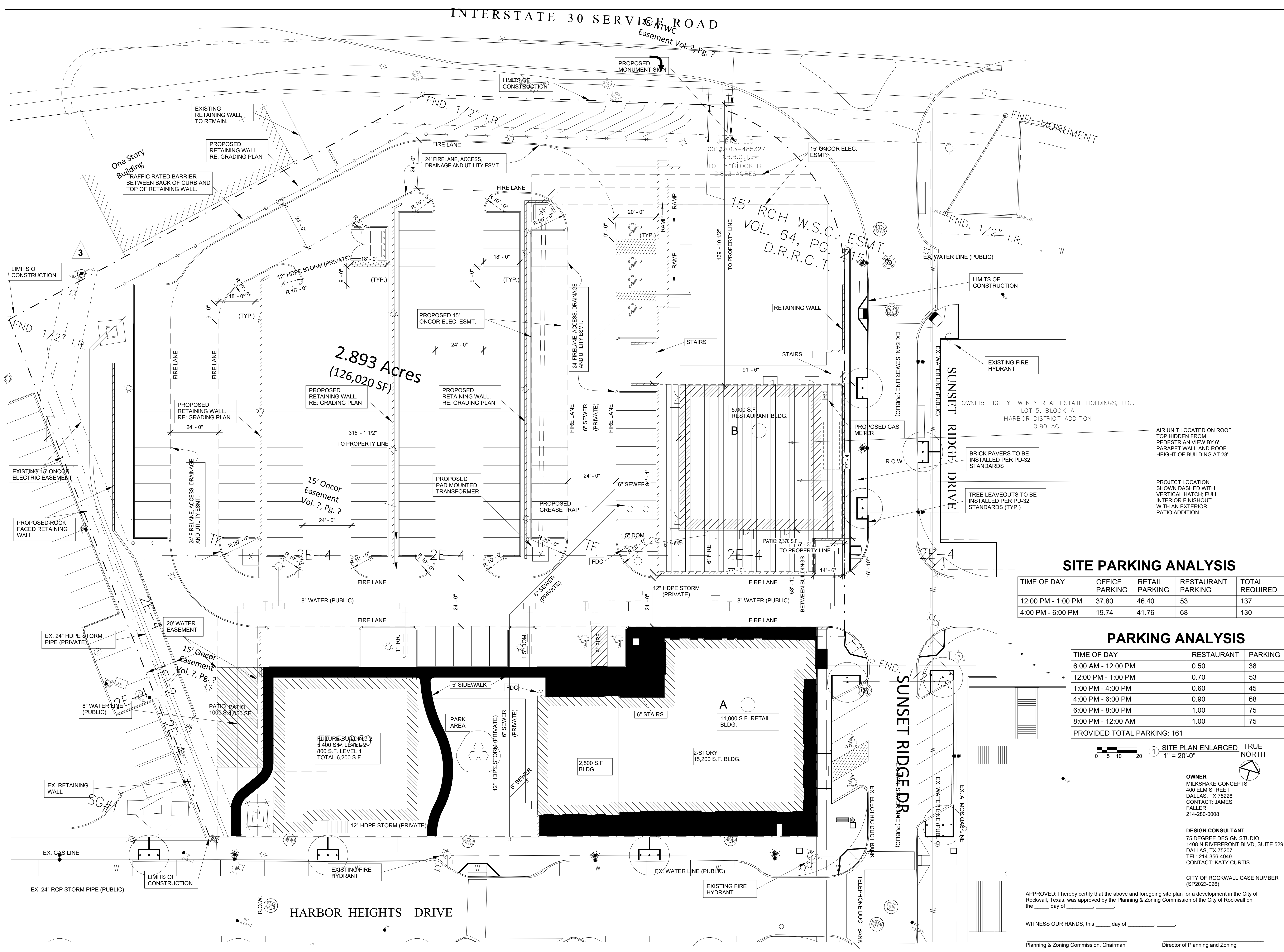
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SITE PLAN ENLARGED

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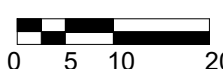
SITE PARKING ANALYSIS

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12:00 PM - 1:00 PM	37.80	46.40	53	137
4:00 PM - 6:00 PM	19.74	41.76	68	130

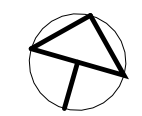
PARKING ANALYSIS

TIME OF DAY	RESTAURANT	PARKING
6:00 AM - 12:00 PM	0.50	38
12:00 PM - 1:00 PM	0.70	53
1:00 PM - 4:00 PM	0.60	45
4:00 PM - 6:00 PM	0.90	68
6:00 PM - 8:00 PM	1.00	75
8:00 PM - 12:00 AM	1.00	75

PROVIDED TOTAL PARKING: 161



1 SITE PLAN ENLARGED
1" = 20'-0"



OWNER
MILKSHAKE CONCEPTS
400 ELM STREET
DALLAS, TX 75226
CONTACT: JAMES
FALLER
214-280-0008

DESIGN CONSULTANT
75 DEGREE DESIGN STUDIO
1408 N RIVERFRONT BLVD, SUITE 529
DALLAS, TX 75207
TEL: 214-356-4949
CONTACT: KATY CURTIS

CITY OF ROCKWALL CASE NUMBER
(SP2023-026)

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

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ROCKWALL

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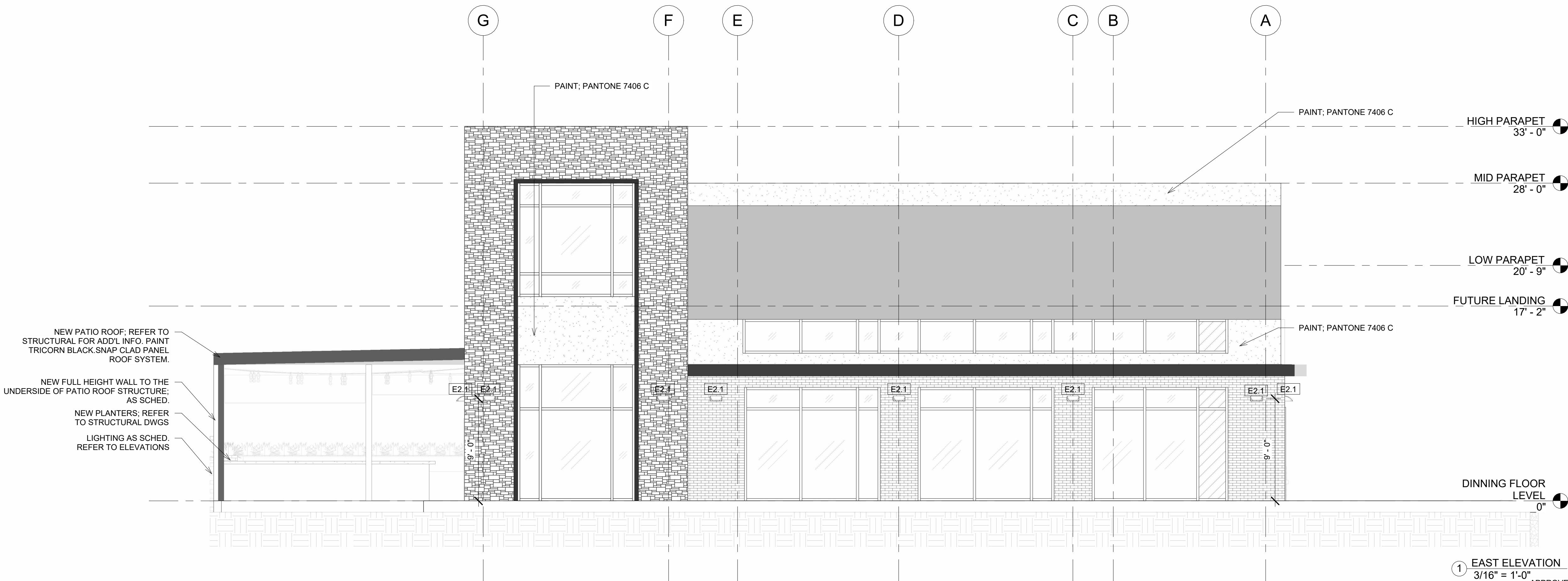
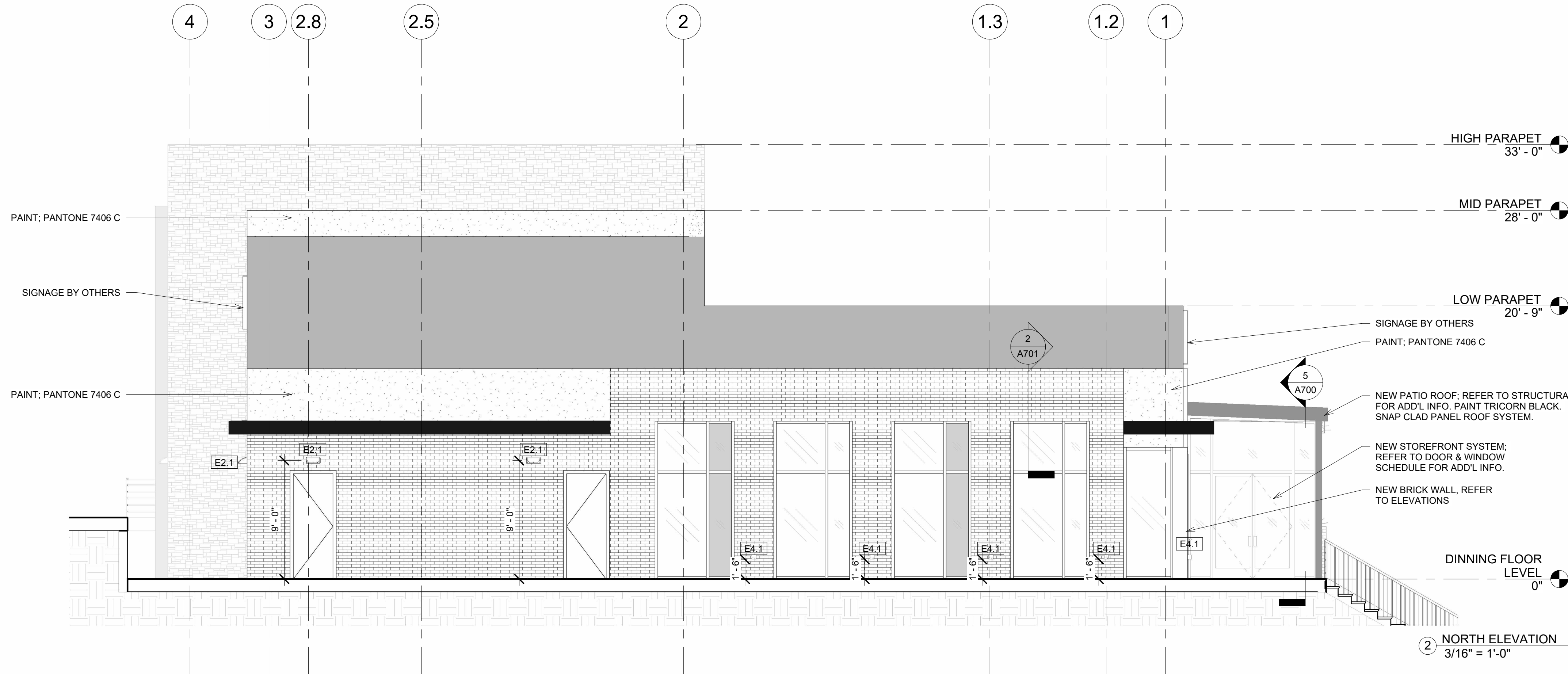
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A200



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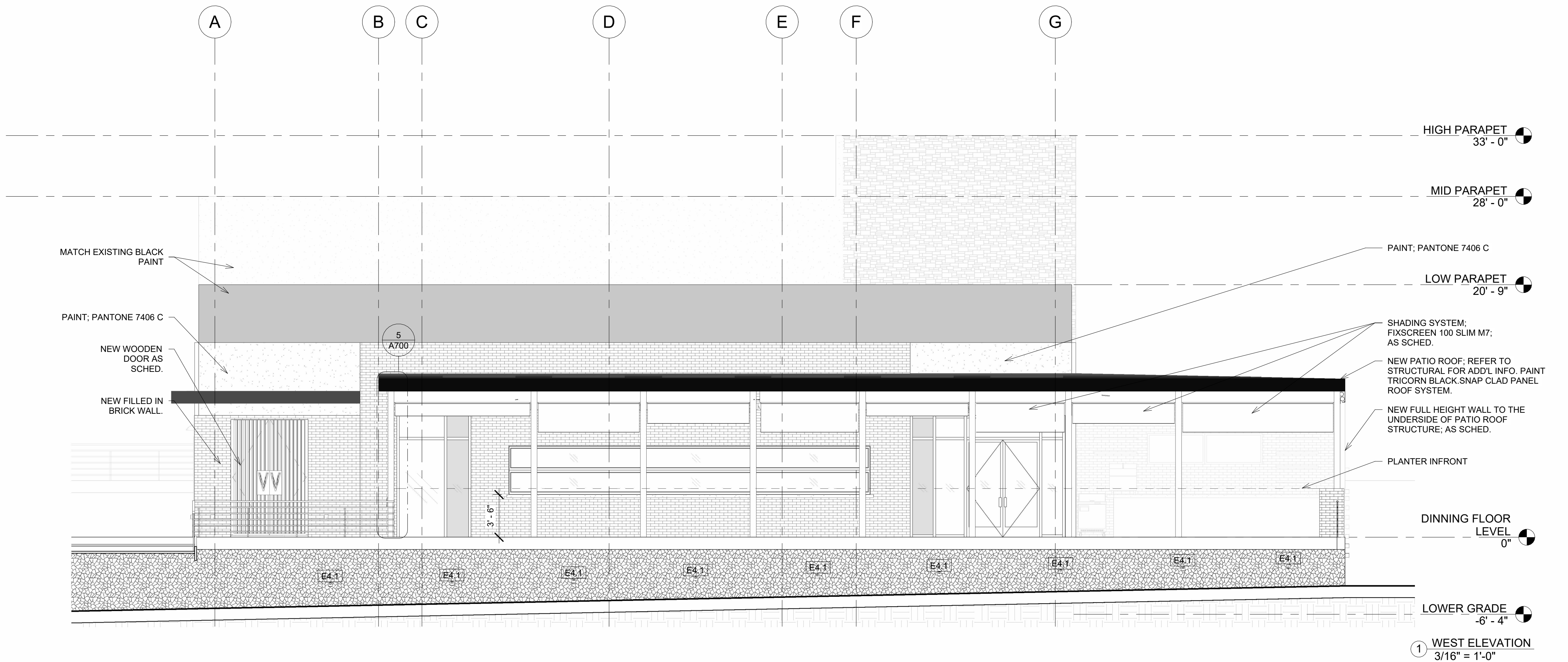
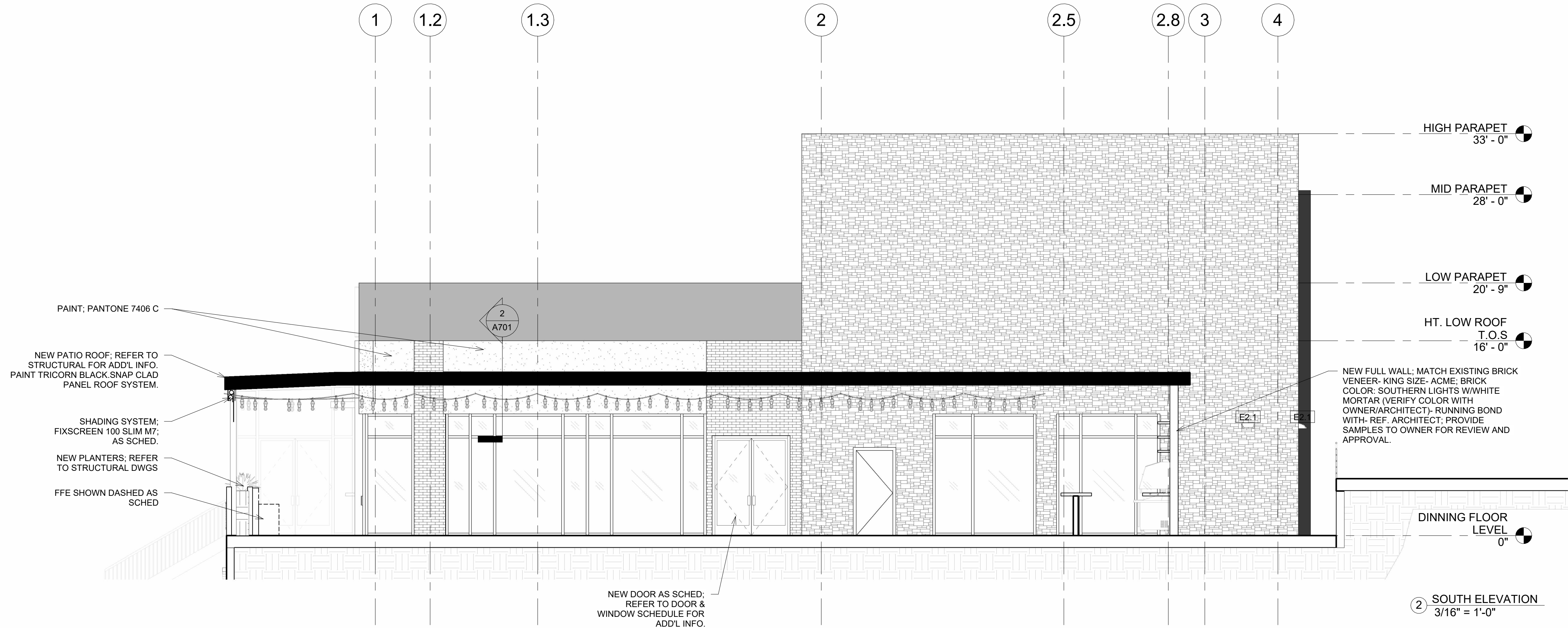
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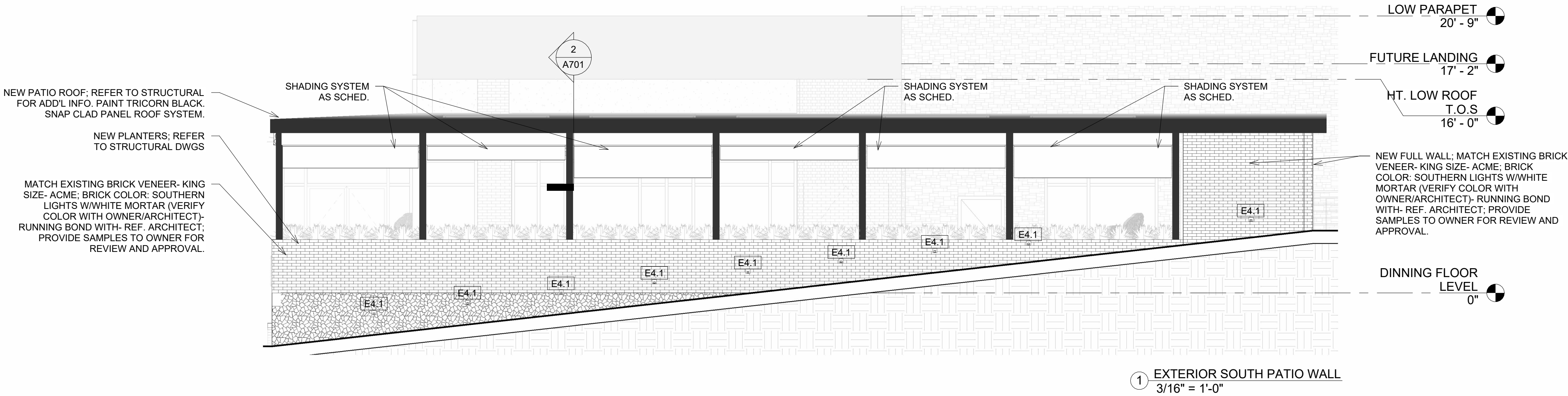
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APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, ChairmanDirector of Planning and Zoning



EXISTING



PROPOSED

VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

ALL RIGHTS RESERVED. NO PART OF THESE DRAWINGS OR SPECIFICATIONS, AND THE IDEAS AND DESIGN CONCEPTS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, MAY BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY WORK, OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM 75 DEGREE DESIGN STUDIO.

DESIGN CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL:214-356-4949

ISSUE:

REVISIONS:

Date8/18/2023

OWNER
MILKSHAKE CONCEPTS
400 ELM STREET
DALLAS, TX 75226
CONTACT: JAMES
FALLER
214-280-0008

DESIGN CONSULTANT
75 DEGREE DESIGN STUDIO
1408 N RIVERFRONT BLVD, SUITE 529
DALLAS, TX 75207
TEL: 214-356-4949
CONTACT: KATY CURTIS

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Planning & Zoning Commission, ChairmanDirector of Planning and Zoning

EXISTING AND
PROPOSED

G000.3

VIDORRA
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GENERAL NOTES

THE SCOPE OF THIS WORK IS AN EXTERIOR AND INTERIOR PACKAGE AND
INCLUDES INTERIOR WALLS, WALL FRAMING, ROOF AND ALL EXTERIOR
ELEMENTS AND SURROUNDING SITE ELEMENTS THAT PERTAIN TO THIS SCOPE
FOR THE VIDORRA BUILDING. PLEASE STUDY THESE DOCUMENTS THOROUGHLY
PRIOR TO CONSTRUCTION AND PRESENT ALL QUESTIONS IN RFI FORMAT TO 75
DEGREE DESIGN STUDIO. PRESIDING BUILDING CODES TO BE ADHERED UNDER
ALL CIRCUMSTANCES.

RFIS, SUBMITTALS, REQUESTS, AND OTHER COMMUNICATION TO:
KCURTIS@75DESIGNSTUDIO.COM
CC:ERUIZ@75DESIGNSTUDIO.COM

ALL DIMENSIONS TO FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.

ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL SITE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA,
TAS/TABS REGULATIONS AND STANDARDS INCLUDING SIGNAGE.

ALL EXTERIOR DOORS SHALL NOT EXCEED 8.5 POUNDS OF PRESSURE TO
OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM
ADA REACH RANGE OF 48" A.F.F., EXCEPTIONS NOTED DOCUMENT GUIDELINES AND
WITH RESPECT TO HORIZONTAL REACH DISTANCES. ADA REACH RANGE 15"
MINIMUM AND 48" MAXIMUM A.F.F.

CONTRACTOR SHALL MAKE NO MATERIAL OR PRODUCT SUBSTITUTIONS
WITHOUT SUBMITTING A WRITTEN REQUEST TO 75 DEGREE DESIGN STUDIO.

CONTRACTOR IS RESPONSIBLE FOR CHECKING FIELD CONDITIONS,
CONSTRUCTION DOCUMENTS, FOR CLARITY & ACCURACY PERTAINING TO
SCOPE. ALL QUESTIONS AND CLARIFICATION REQUEST SHALL BE ADDRESSED
PRIOR TO COMMENCING CONSTRUCTION. ANY CONFLICT IN SCOPE BETWEEN
DISCIPLINES AND THEIR DOCUMENTATION SHALL BE BROUGHT TO THE
ATTENTION OF 75 DEGREE DESIGN STUDIO.

ALL FINISH MATERIALS MUST BE SUBMITTED TO 75 DEGREE DESIGN STUDIO FOR
REVIEW & APPROVAL.

ALL EQUIPMENT ITEMS SHOWN & REFERENCED ON PLANS SHALL BE INSTALLED
BY CONTRACTOR UNLESS NOTED OTHERWISE.

CONTRACTOR'S
RESPONSIBILITY

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE
PENETRATIONS FOR, BUT NOT LIMITED TO - DOORS, WINDOWS, ROOF
PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & COUNTER FLASHING
WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS, TYPICAL ALL SHEETS.

COMMENCING
CONSTRUCTION

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR
TO CONSTRUCTION. COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT
DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED
RELATING TO THESE DOCUMENTS.

OWNER
MILKSHAKE CONCEPTS
400 ELM STREET
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the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

1 FURNITURE PLAN
3/16" = 1'-0"

TRUE
NORTH



A200

2

A201

1

1

A202

2

A201

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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75 DEGREE
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STUDIO

1408 N RIVERFRONT BLVD #529
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ISSUE:

REVISIONS:

Date	8/18/2023
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ROOF PLAN

A101

OWNER
MILKSHAKE CONCEPTS
400 ELM STREET
DALLAS, TX 75226
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

① ROOF PLAN
3/16" = 1'-0"

TRUE
NORTH



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WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



September 19, 2023

TO: Erica Papan
Milkshake Concepts
4000 Elm Street
Dallas, TX 75226

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: SP2023-026; *Amended Site Plan for 2620 Sunset Ridge Drive*

Erica Papan:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on September 12, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On September 12, 2023, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 6-0 with Commissioner Womble absent.

Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6434.

Sincerely,

Henry Lee, AICP, Senior Planner
City of Rockwall Planning and Zoning Department