



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Not Established

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION North side S Goliad St. Between Community Lane and Justin Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-68

CURRENT USE Vacant

PROPOSED ZONING Commercial

PROPOSED USE Climate Controlled Self-Storage

ACREAGE 3.15 Acres

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Viper Development

☒ APPLICANT Designhaus Architecture

CONTACT PERSON

CONTACT PERSON

ADDRESS 2785 N Bogus Basin Rd.

ADDRESS 3300 Auburn Rd. #300

CITY, STATE & ZIP Boise, ID 83702

CITY, STATE & ZIP Auburn Hills, MI 48326

PHONE 208.629.2952

PHONE 248.601.4422 x204

E-MAIL

E-MAIL mike@designhaus.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

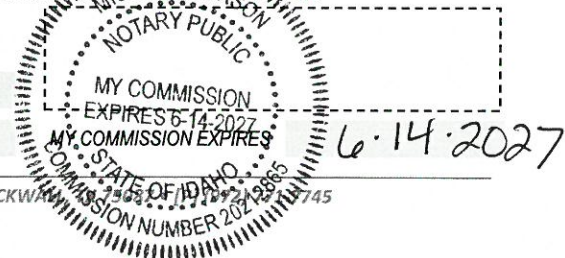
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF January, 2023

OWNER'S SIGNATURE

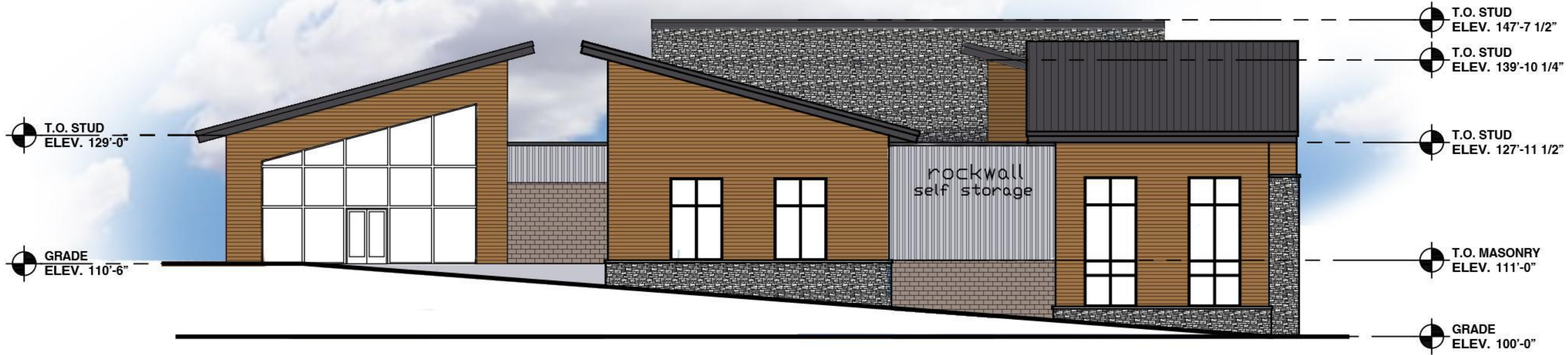
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Idaho michelle Jansen





4 Building A East Elevation
SCALE: 1/16" = 1'



3 Building A North Elevation
SCALE: 1/16" = 1'



2 Building A South Elevation
SCALE: 1/16" = 1'



1 Building A West Elevation
SCALE: 1/16" = 1'

DESIGNHAUS
ARCHITECTURE

EST
1998

3300 AUBURN RD, SUITE 300
AUBURN HILLS, MI 48326
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

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S.U.P	23.01.18
Revision/Issue	Date

Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087

Building A
Elevations

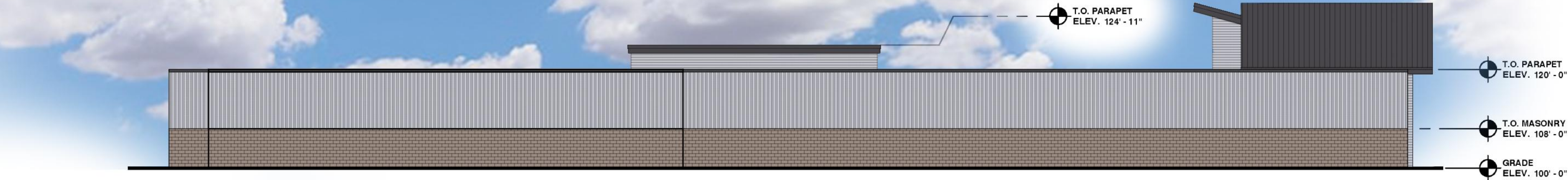
022074

A200

A201 Building Elevations.dwg

1/18/2023

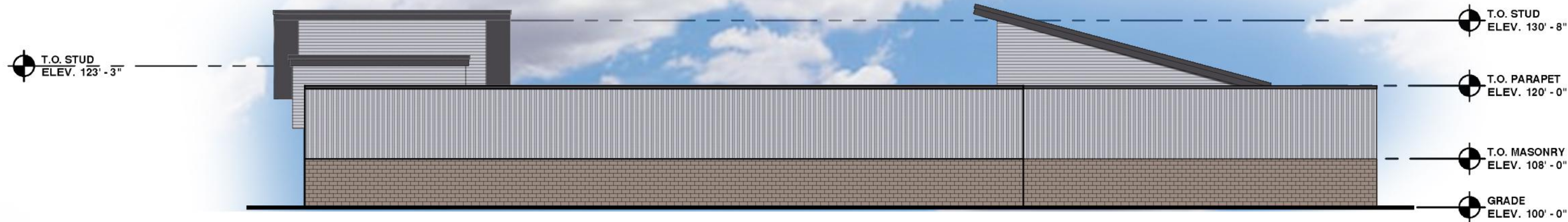
DH User 05



4 Building B East Elevation
SCALE: 1/16" = 1'



3 Building B North Elevation
SCALE: 1/16" = 1'



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SCALE: 1/16" = 1'



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Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087

Building B
Elevations

022074

A201



Render 1



Render 2



Render 3



Render 4

A202 Project Renderings.dwg
1/19/2023
Don Jackson

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Project Renderings

022074
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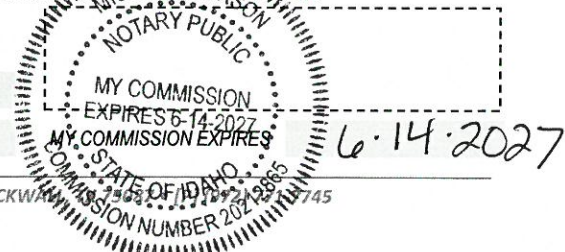
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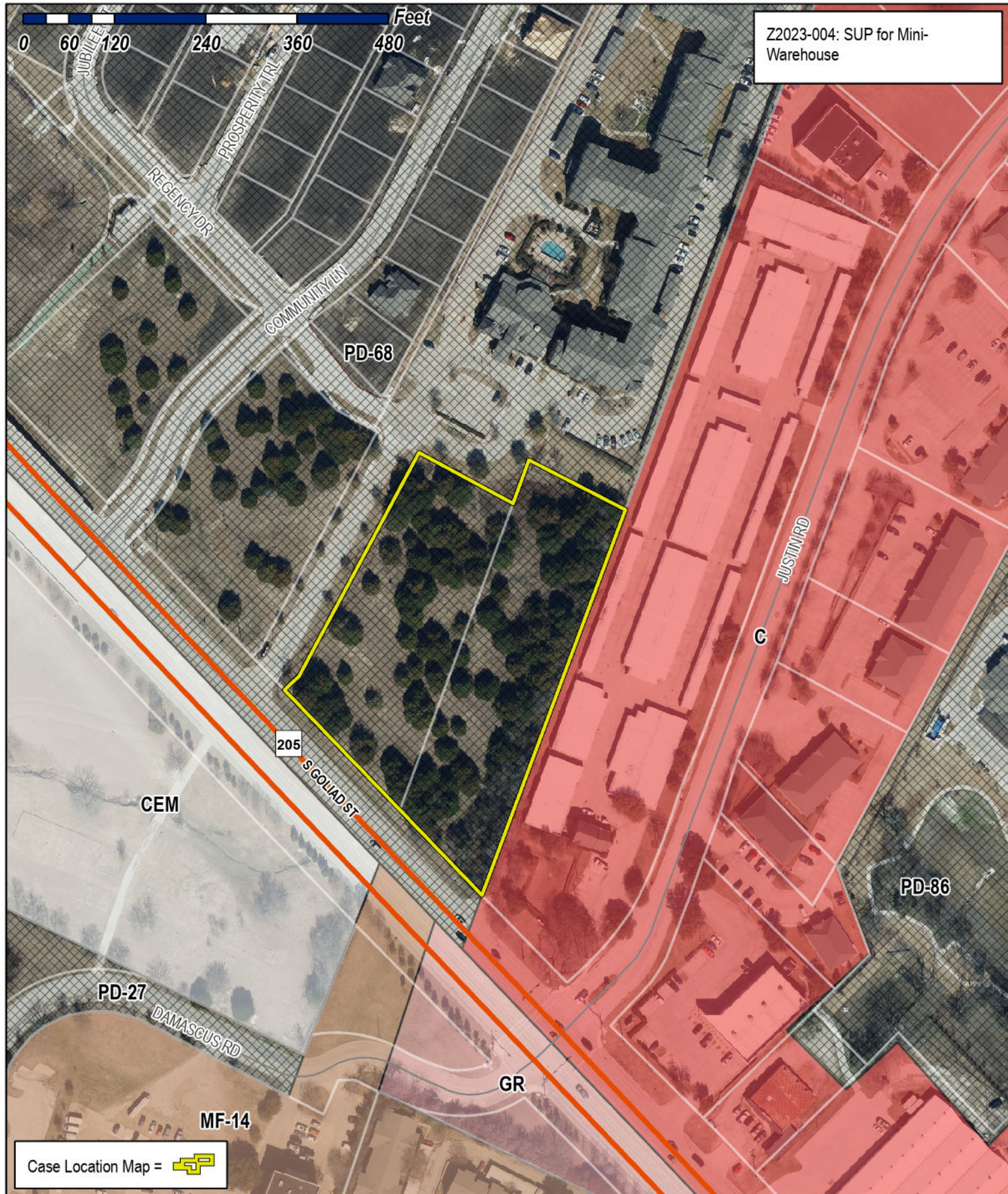
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OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Michelle Jansen
Idaho





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

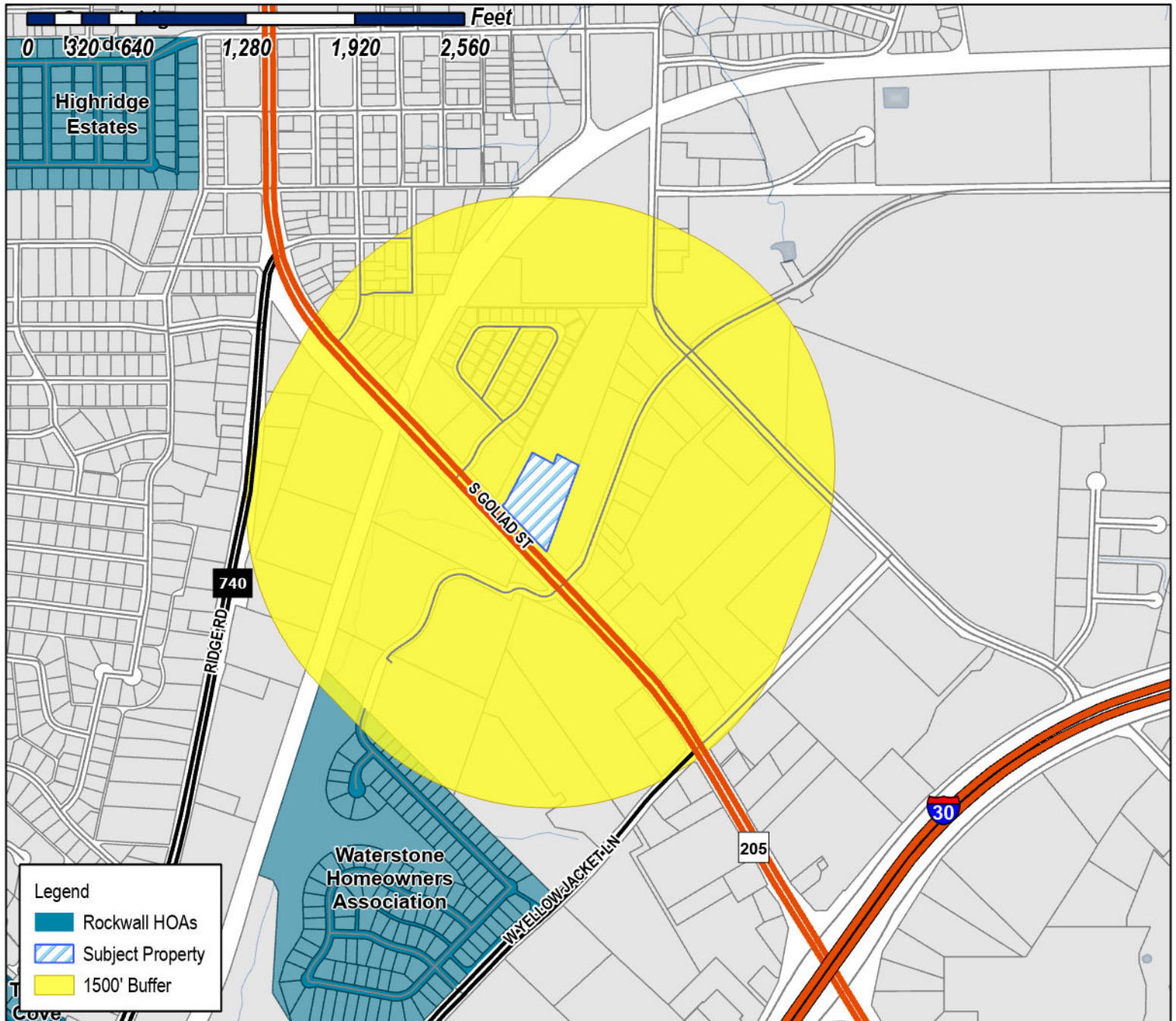




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Case Number: Z2024-004
Case Name: SUP for Mini-Warehouse
Case Type: Zoning
Zoning: Planned Development District 68 (PD-68)
Case Address: N Corner of S Goliad Street and Justin Road

Date Saved: 1/20/2023

For Questions on this Case Call (972) 771-7745





City of Rockwall

Planning & Zoning Department
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Rockwall, Texas 75087
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(W): www.rockwall.com

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Date Saved: 1/20/2023

For Questions on this Case Call (972) 771-7745



OCCUPANT
1407 S GOLIAD
ROCKWALL, TX 75087

LEGACY 316 BJJ HOLDINGS LLC
519 E INTERSTATE 30 #605
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
651 JUSTIN RD
ROCKWALL, TX 75087

AUTO ZONE INC
DEPARTMENT #8088
PO BOX 2198
MEMPHIS, TN 38101

OCCUPANT
761 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
1325 S GOLIAD
ROCKWALL, TX 75087

ROCKWALL SENIOR COMMUNITY LP
C/O LIFENET COMMUNITY BEHAVIORAL
HEALTHCARE
5605 N MACARTHUR BLVD, SUITE 580
IRVING, TX 75038

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
721 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

OCCUPANT
701 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

OCCUPANT
677 JUSTIN RD
ROCKWALL, TX 75087

COUCH AND DAVIS PROPERTIES LLC
685 JUSTIN RD
ROCKWALL, TX 75087

OCCUPANT
660 JUSTIN RD
ROCKWALL, TX 75087

PS LPT PROPERTIES INVESTORS
C/O PUBLIC STORAGE (PS #26644)
ATTN: IRMA PIMENTEL REAL ESTATE PARALEGAL
701 WESTERN AVENUE
GLENDALE, CA 91201

OCCUPANT
750 JUSTIN RD
ROCKWALL, TX 75087

1996 OSPREY LLC
PO BOX 1688
ROCKWALL, TX 75087

BREEN & MCKEON LLP
661 JUSTIN RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

WDC PEBBLEBROOK APARTMENTS LLC
M/R
1410 S GOLIAD
ROCKWALL, TX 75087

CITY OF ROCKWALL
1300 S GOLIAD
ROCKWALL, TX 75087

ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
DAMASCUS RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
8235 DOUGLAS AVENUE SUITE 1030
DALLAS, TX 75225

OCCUPANT
1301 S GOLIAD ST
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
604 PROSPERITY TR
ROCKWALL, TX 75087

OCCUPANT
1275 S GOLIAD ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
601 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
623 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
619 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
615 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
611 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
607 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
605 COMMUNITY LN
ROCKWALL, TX 75087

OCCUPANT
606 COMMUNITY LN
ROCKWALL, TX 75087

PAMELA K BEERS REVOCABLE TRUST
PAMELA K BEERS- TRUSTEE
606 COMMUNITY LANE
ROCKWALL, TX 75087

THE STANDARD MCP LTD
602 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
610 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
614 COMMUNITY LN
ROCKWALL, TX 75087

GARCIA ROY AND JENIFER
618 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
622 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
601 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
613 PROSPERITY TR
ROCKWALL, TX 75087

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605 PROSPERITY TR
ROCKWALL, TX 75087

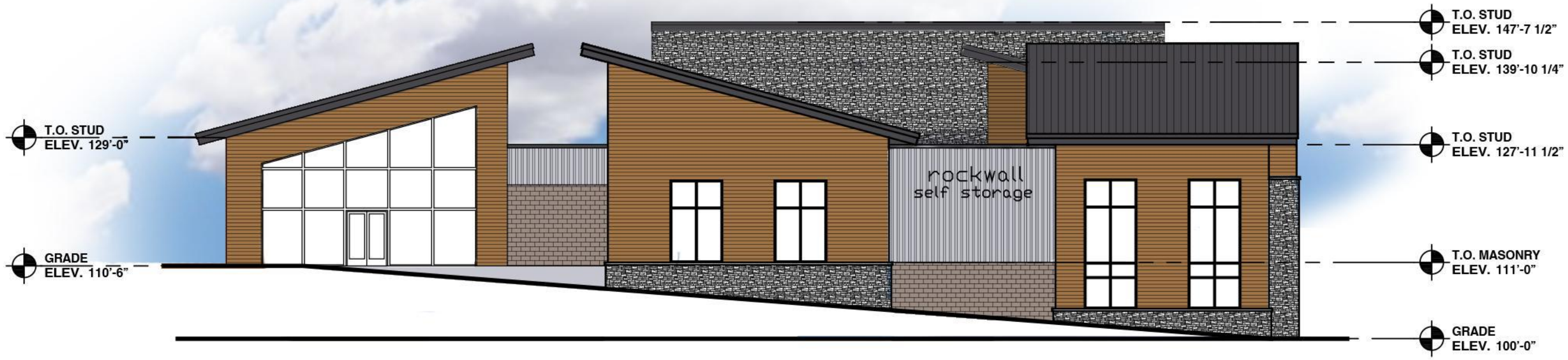
THE STANDARD MCP LTD
ROCKWALL, TX 75087

OCCUPANT
1196 N T L TOWNSEND DR
ROCKWALL, TX 75087

ALDERS AT ROCKWALL PROPERTY LLC
5925 FOREST LANE STE 502
DALLAS, TX 75230



4 Building A East Elevation
SCALE: 1/16" = 1'



3 Building A North Elevation
SCALE: 1/16" = 1'



2 Building A South Elevation
SCALE: 1/16" = 1'



1 Building A West Elevation
SCALE: 1/16" = 1'

DESIGNHAUS
EST
1998

ARCHITECTURE

3300 AUBURN RD, SUITE 300
AUBURN HILLS, MI 48326
T:248.601.4422 F:248.453.5854
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INFO@DESIGNHAUS.COM

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S.U.P	23.01.18
Revision/Issue	Date

Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087

Building A
Elevations

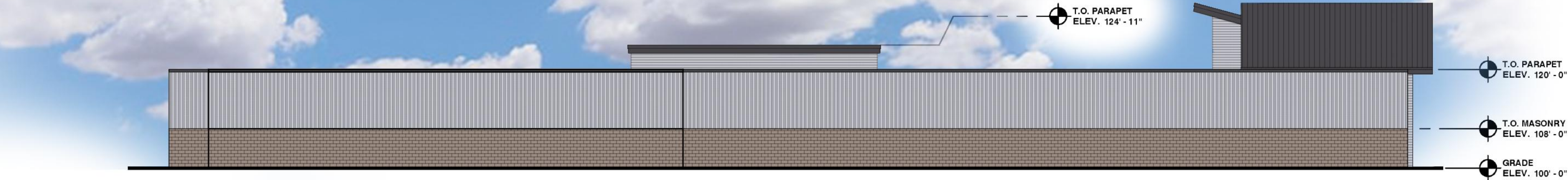
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A201 - Building Elevations.dwg

1/18/2023

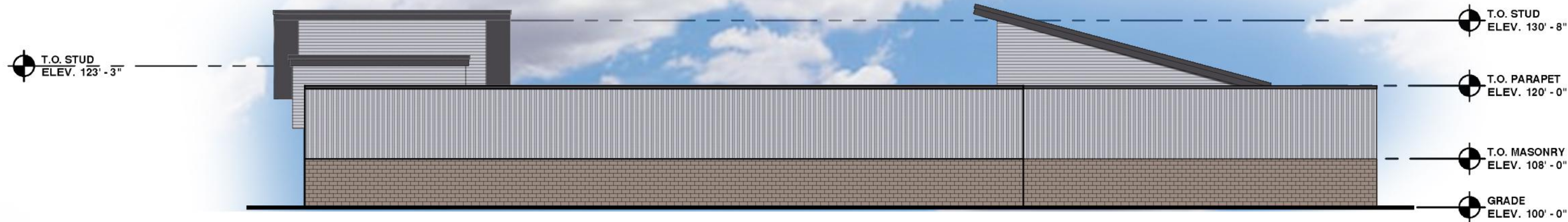
DH User 05



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SCALE: 1/16" = 1'



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Building B Elevations

022074

A201



Render 1



Render 2



Render 3



Render 4

A202 Project Renderings.dwg
1/19/2023
Don Jackson

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Parcel: 70573 & 70574
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Project Renderings

022074
A202

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 1/26/2023

PROJECT NUMBER: Z2023-004
PROJECT NAME: SUP for Mini-Warehouse
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	01/26/2023	Approved w/ Comments

01/26/2023: Z2022-004; Specific Use Permit (SUP) for a Mini-Warehouse

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, and generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205].
- I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
- M.3 For reference, include the case number (Z2023-004) in the lower right-hand corner of all pages on future submittals.
- M.4 Based on the subdivision plat for this property, the concept plan is taking in a 20-foot waterline easement that is actually a part of the adjacent Mini-Warehouse Facility. Please check the property boundary and make the necessary corrections.
- I.5 According to Article 13, Definitions, of the Unified Development Code (UDC), a Mini-Warehouse (or self-storage facility) is defined as, "...an enclosed storage facility containing independent, fully enclosed bays that are generally leased to individuals for long-term storage of their household goods or personal property."
- I.6 According to Ordinance No. 17-05 the subject property is situated within Area 2 and is subject to the requirements of the Commercial (C) District; and according to Article 04, Permissible Uses, of the Unified Development Code (UDC), the Mini-Warehouse land use requires a Specific Use Permit (SUP) in a Commercial (C) District. Ordinance No. 17-05 also requires a PD Development Plan be approved for the Mini-Warehouse Facility. This will need to be done if this Specific Use Permit (SUP) is granted prior to the acceptance of a Site Plan.
- I.7 Please note, that the purpose of requiring a Specific Use Permit (SUP) for the Mini-Warehouse land use is to: [1] ensure that the proposed facility is compatible with the surrounding land uses, [2] to prevent a proliferation of this type of land use in the City's commercial areas, and [3] to mitigate for any possible negative extraneities that may occur from allowing this type of land use on a particular site. In this case, the proposed site is located directly adjacent to an existing age-restricted apartment facility and in a close proximity to a single-family subdivision. In addition, there is an existing 4.8164-acre Mini-Warehouse facility with 555 units located directly adjacent to this facility. Staff will make note of this in their case memo.
- I.8 According to Article 04, Permissible Uses, of the Unified Development Code (UDC), the Mini-Warehouse is required to meet the following Conditional Land Use Standards:
- (1) The number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres.
- (2) Only single-story units are allowed; however, no multistory buildings will be permitted unless an exception is approved by the Planning and Zoning Commission. If necessary, the office/caretaker residence-unit may exceed one (1) story, but shall not be greater than 36-feet in height.

- (3) A minimum of two (2) parking spaces shall be required for the on-site manager (i.e. caretaker, resident or otherwise).
- (4) No direct access from FM-740, SH-205, SH-66, SH-276, FM-3097, FM-552, FM-549 and John King Boulevard. The Planning and Zoning Commission may consider granting direct access from the above-mentioned roadways after review and determination of the availability of access to the specific property.
- (5) Perimeter walls shall be provided which face the front, rear and side property lines. Overhead doors shall not face adjacent streets. Perimeter walls facing the front yard shall incorporate architectural features to break up the long repetitive nature of self-storage buildings (e.g. offsets in buildings, variation of materials, and/or variation of heights, etc.). No gutters and downspouts shall be incorporated in the perimeter walls facing the front property line.
- (6) The front, side and rear building set back areas shall be landscaped. Landscaping should be clustered, creating interesting relief from the long repetitive nature of self-storage buildings.
- (7) The facilities shall incorporate the use of perimeter gates that limit access to the storage areas to customers only. Special access for fire and police personnel shall be provided as required.
- (8) All screening fences shall be wrought iron with landscaping/living screen or masonry walls in accordance with the screening requirements contained in Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards. See-through fencing should be wrought iron, or similar. Chain-link fencing of any kind shall be prohibited.
- (9) Buildings and see-through fencing should be oriented in a manner to restrict the visibility of interior overhead doors and drives from public right-of-way. The color(s) of the garage doors, as well as other doors within the facility, shall compliment the exterior colors of the main building(s).
- (10) The commercial operation of rental trucks and trailers shall be prohibited.
- (11) Businesses shall not be allowed to operate in the individual storage units
- (12) No outside storage of any kind shall be allowed (including the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles).
- (13) Concrete shall be used for all paving.
- (14) Roofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam. Mechanical equipment shall be screened with the roof structure or parapet walls.
- (15) Lighting standards shall be limited to a maximum of 20- feet in height.
- (16) The residential unit as an accessory to the permitted use shall not exceed 1,600 SF.

I.9 Based on the submitted concept plan and building elevations the following aspects of the case do not conform to the Conditional Land Use Standards for a Mini-Warehouse:

- (1) Unit Count. How many units are proposed for the Mini-Warehouse facility? Please note that the maximum number of units permitted for this property would be 393-units (i.e. 125 x 3.15-acres = 393.75 or 393 units).
- (2) Single Story Buildings. Multi-story buildings are not permitted. Currently, the rear of Building B is two (2) stories in height.
- (3) Building Height. The maximum height for Mini-Warehouse facilities shall be one (1) story or 36-feet. The current building elevations show a maximum height of 47' 7½".

M.10 Unit Count. Please indicate the proposed number of units on the plans.

I.11 Parking. According to Article 06, Parking and Loading, of the Unified Development Code (UDC), the Mini-Warehouse land use requires three (3) parking spaces plus one (1) parking space per 100-units.

M.12 Parking. The parking requirement for this facility is _ parking spaces [THE NUMBER OF UNITS WAS NOT PROVIDED SO THIS COULD NOT BE CALCULATED]. Please revise the plans to show conformance to the parking requirements.

I.13 Building Elevations. According to the General Overlay District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), all buildings situated within an overlay district are required the following:

- (1) Materials. A minimum of 90% Primary Materials and ten (10) percent Secondary Materials. Currently, it appears that there is too much metal panel on all side of the building.
- (2) Four (4) Sided Architecture. All buildings shall be architecturally finished on all four (4) sides utilizing the same material, detailing, and articulation. Currently, the building elevations do not meet the articulation, detailing, and material requirements.
- (3) Required Architectural Elements. Buildings less than 50,000 SF are required a minimum of four (4) architectural features from the list contained in the General Overlay District Standards. Currently, the building elevations do not incorporate enough architectural elements.

I.14 Building Elevations. The proposed building elevations do not meet the minimum overlay district requirements.

I.15 Building Elevations. The General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), layout the articulation requirements for commercial buildings. This particular site has three (3) Primary Facades adjacent to the northern, eastern and western property lines (i.e. adjacent to SH-205 and the residential land use) and one (1) Secondary Façade adjacent to the southern property line (i.e. the existing mini-warehouse facility). The building elevations do not appear to meet the minimum articulation standards.

I.16 Building Elevations. According to the General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), buildings are required to have a continuous parapet that screens all proposed roof top units (RTU's). The current elevations do not appear to meet this requirement.

I.17 Loading and Service Areas. According to the General Overlay District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), all loading and service areas shall be located on the rear and side of the building and should not face towards SH-205. In addition, a minimum of a ten (10) foot masonry screening wall shall be required to screen the view of loading docks and loading spaces from any public right-of-way.

I.18 Loading and Service Areas. The proposed concept plan does not show conformance to the Loading and Service Area requirements.

M.19 Residential Adjacency. According to the General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), buildings with a building footprint greater than 50,000 SF require a minimum of a 50-foot landscape buffer between a residentially used or zoned property. Evergreen -- which is adjacent to both the northern and western boundaries -- will require a minimum of a 50-foot landscape buffer. The landscape buffer will require three (3) tiered landscaping, a berm, and a wrought iron fence in accordance with the requirements of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC). This should be shown on the concept plan.

I.20 Adaptive Reuse Standards. According to the General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), for those buildings over 80,000 SF in area, the applicant must demonstrate that the building can be subdivided in a reasonable manner by submitting a plan indicating potential entrances and exits and loading areas for multiple tenants. This plan will be required to be submitted at the time of site plan.

M.21 Overhead Utility Lines. According to Ordinance No. 17-05, "(a)ll overhead utilities shall be placed underground ..." Please note that the existing overhead utilities along SH-205 will be required to be buried at the time this project is developed. Please include a note on the plan stating conformance to this zoning requirement.

I.22 Open Space. According to Ordinance No. 17-05, all sites located within Area 2 of the concept plan contained in this ordinance will require a minimum of 20.00% open space.

M.23 Concept Plan. Please show the following on the concept plan:

- (1) Setbacks. Please indicate the required building setback adjacent to SH-205.
- (2) Landscape Buffer. Please indicate the required landscape buffers adjacent to SH-205 and the residential land use on the northern sides of the building (i.e. adjacent to the cross access and rear property line).
- (3) Parking. Show conformance to the parking requirements.
- (4) Loading. Show conformance to the loading and screening requirements.
- (5) Utilities. Please include a note that all existing and proposed overhead utilities will be located/relocated underground in accordance with the requirements of Ordinance No. 17-05 and the Municipal Code of Ordinances/Unified Development Code (UDC).
- (6) Open Space. Please indicated conformance to the 20.00% open space requirement.

I.24 Based on the applicant's submittal staff will be recommending the following Conditions of Approval should this case be approved:

- (1) The proposed facility shall be limited to a maximum of 393-storage units.
- (2) The proposed facility be limited to a single-story.
- (3) The proposed building elevations adhere to all applicable Overlay District requirements.
- (4) An Adaptive Reuse Plan be submitted at the time of site plan.

I.25 Based on the submitted materials, staff has included the follow Operational Conditions in the draft ordinance:

- (1) The proposed Mini-Warehouse Facility shall generally conform to the Concept Plan depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.
- (2) The proposed Mini-Warehouse Facility shall generally conform to the Building Elevations depicted in Exhibit 'C' of the Specific Use Permit (SUP); however, this operational condition does not waive or grant variances or exceptions to any requirements associated with the General Overlay District Standards and/or General Commercial District Standards as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC), which will be reviewed and acted upon by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of Site Plan.
- (3) The maximum number of storage units permitted on the Subject Property shall be limited to _ storage units.
- (4) All transparent fencing shall be wrought iron, and -- where necessary -- incorporate a berm, three (3) tiered landscaping, and a landscape buffer (i.e. adjacent to any residentially zoned or used property).
- (5) Outside storage of any kind shall be prohibited.
- (6) Businesses shall not be allowed to operate within individual storage units.
- (7) The commercial operation of rental trucks or trailers shall be prohibited.

(8) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on the Subject Property.

M.26 Please review the attached draft ordinance prior to the January 31, 2023 Planning & Zoning Commission meeting, and provide staff with your markups by February 7, 2023.

I.27 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the February 14, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on January 31, 2023.

I.28 The projected City Council meeting dates for this case will be February 21, 2023 (1st Reading) and March 6, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	01/26/2023	Needs Review

01/26/2023: - Must include a 15x24' turnaround for the parking area shown.

- What is this area for? may need to be stripped no parking.

- Where is the dumpster?

- Something doesn't look correct here. There is a 20' easement on the adjacent property and it looks like the proposed landscape buffer is in the adjacent property.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees for expansion
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls, exposed slab, or exposed curb 18" or taller must be rock or stone face. No smooth concrete walls.
- Must plat the property.
- TxDOT permits required to be in TxDOT ROW.
- All existing above ground utilities must be buried per the zoning.

Roadway Paving Items:

- Parking to be 20'x9' facing the building or nose-to-nose.
- No dead-end parking allowed, must have a City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum. - Fire lane to be in a platted easement.
- Goliad sidewalk pro-rata = \$17.50/lf
- Make sure that the 25'x25' visibility easement at the Goliad intersection is clear.

Water and Wastewater Items:

- Show proposed utility lines (Water, Sewer, etc.)
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Full panel replacement for water line taps.
- One fire hydrant will be needed. Additional hydrants may be needed based on site layout.
- Sewer connection will need to be at a manhole, a new manhole may be required.

Drainage Items:

- Detention is required. Runoff coefficient calculated based on zoning. C-value goes from 0.35 to 0.9 for entire site.

- Dumpster areas to drain to oil/water separator and then to the storm lines.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	01/25/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	01/24/2023	Approved w/ Comments
01/24/2023: Fire apparatus access road coverage needs to be reviewed as part of future submittals.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	01/23/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	01/23/2023	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	01/23/2023	Approved
No Comments			

- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees for expansion
 - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls, exposed slab, or exposed curb 18" or taller must be rock or stone face. No smooth concrete walls.
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- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



**Goliad St.
Rockwall, TX 75087**
Proposed S.U.P Request

Parcel: 70573 & 70574

+/-3.15 Acres (137,186 +/- Sq.Ft.)

Zoning: PD-68 Planned Development

Max. Height: 60' Single Story

Lot Coverage: Max. 45%

Setbacks: Front 20'
Side 13'
Rear 10'

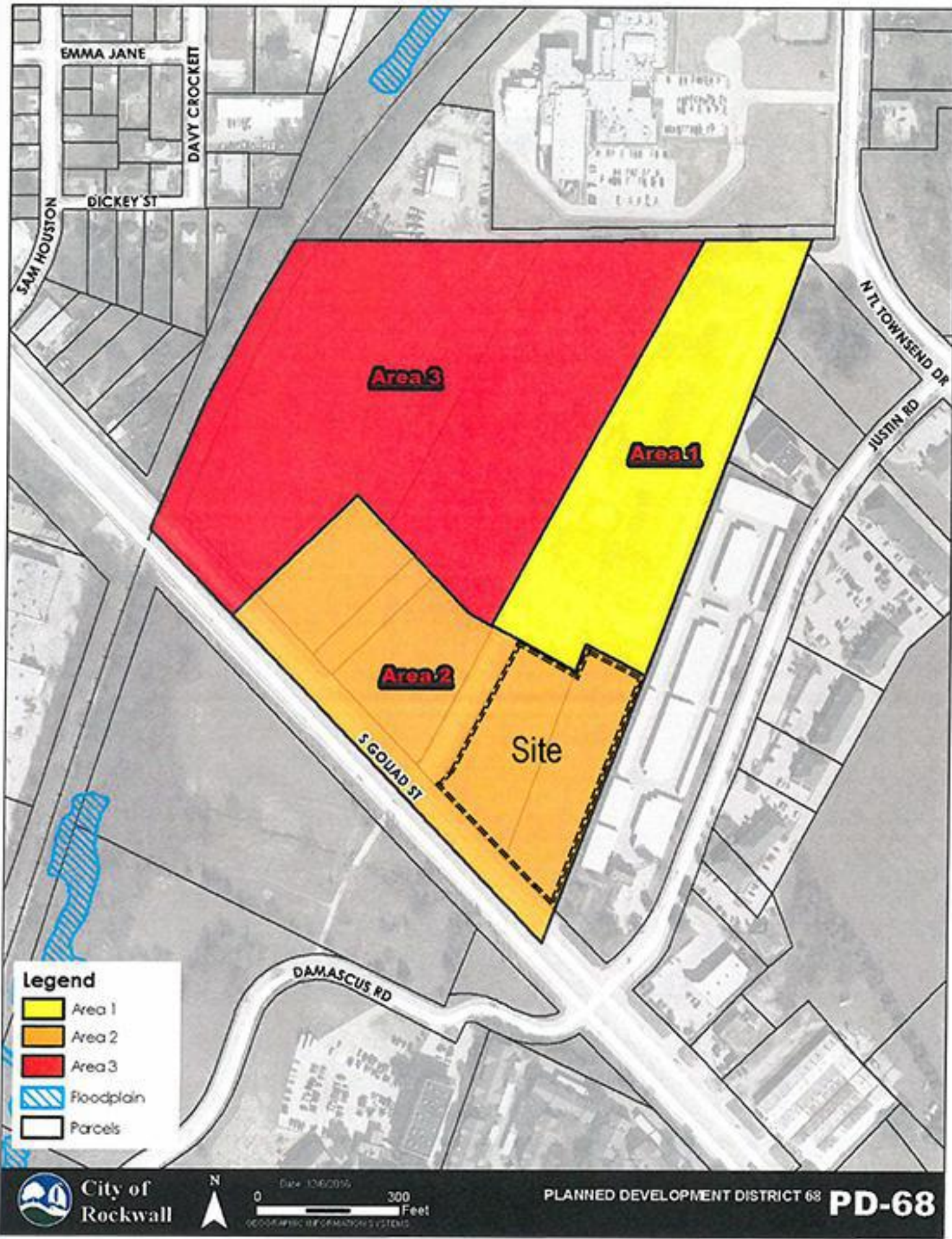
Proposed Project Information
2 Climate Controlled Storage Buildings with
Limited Drive-Up Access

Building A: 30,500 GSF
Lower Level: 30,500 GSF

Building B: 30,560 GSF

Total: 91,560 GSF

Proposed Coverage:
61,000 Sq. Ft. (+/- 44.50%)



DESIGNHAUS
EST 1998
ARCHITECTURE

3300 AUBURN RD., SUITE 300
AUBURN HILLS, MI 48326
T: 248.601.4422 F: 248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

S.U.P	23.01.18
Revision/Issue	Date

Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087

Site Plan

022074

S100



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Not Established

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION North side S Goliad St. Between Community Lane and Justin Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-68

CURRENT USE Vacant

PROPOSED ZONING Commercial

PROPOSED USE Climate Controlled Self-Storage

ACREAGE 3.15 Acres

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Viper Development

☒ APPLICANT Designhaus Architecture

CONTACT PERSON

CONTACT PERSON

ADDRESS 2785 N Bogus Basin Rd.

ADDRESS 3300 Auburn Rd. #300

CITY, STATE & ZIP Boise, ID 83702

CITY, STATE & ZIP Auburn Hills, MI 48326

PHONE 208.629.2952

PHONE 248.601.4422 x204

E-MAIL

E-MAIL

mike@designhaus.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

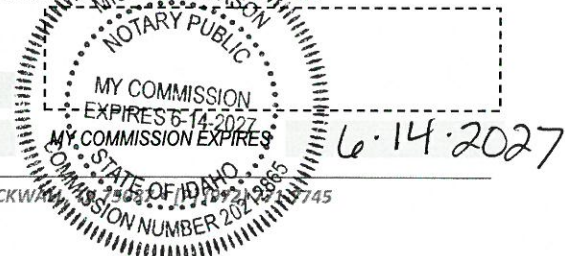
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

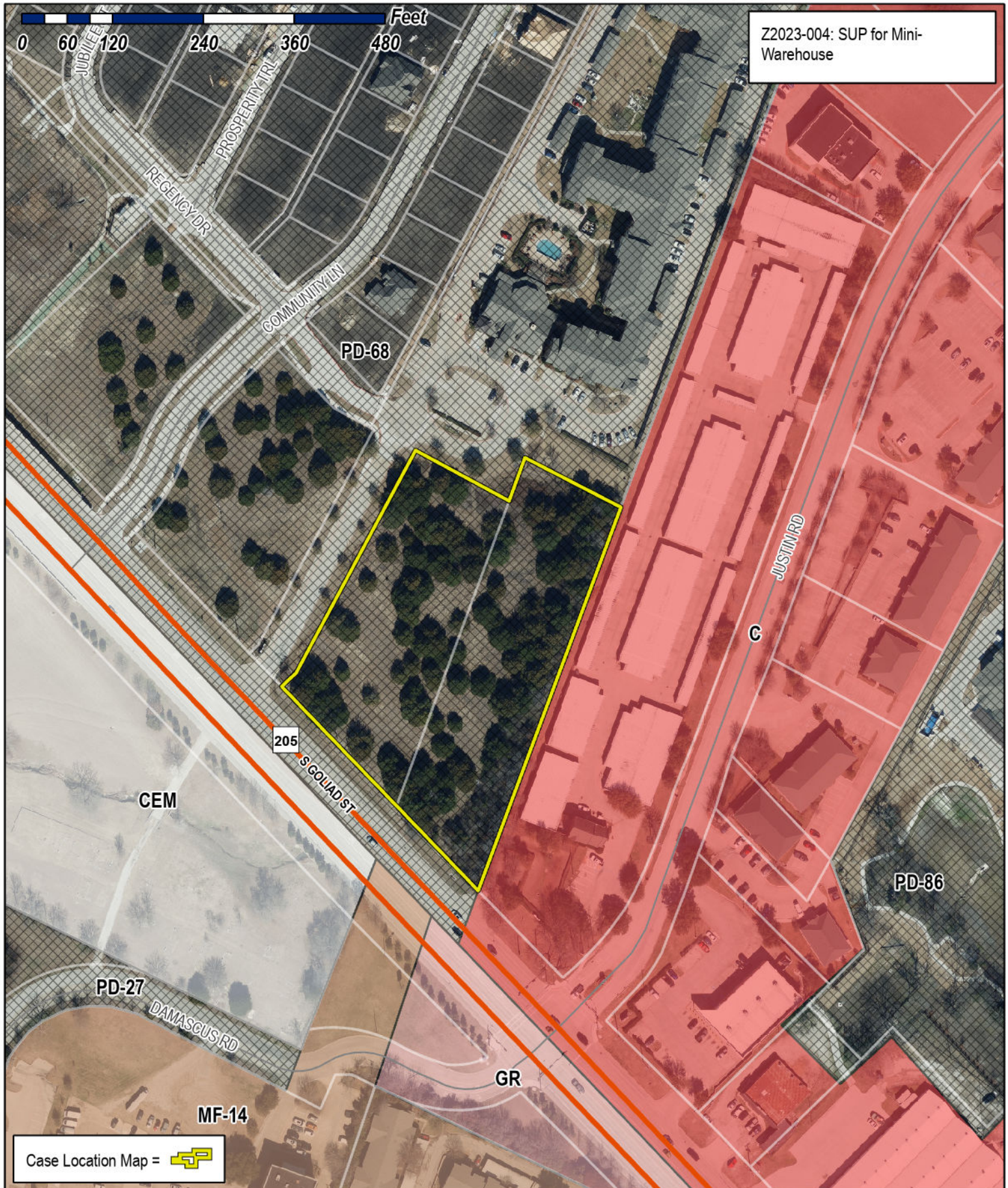
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF January, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Michelle Jansen
Idaho





Z2023-004: SUP for Mini-Warehouse

PD-68

JUSTIN RD

C

PD-86

CEM

205

S GOLIAD ST

PD-27

DAMASCUS RD

MF-14

GR

Case Location Map =

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

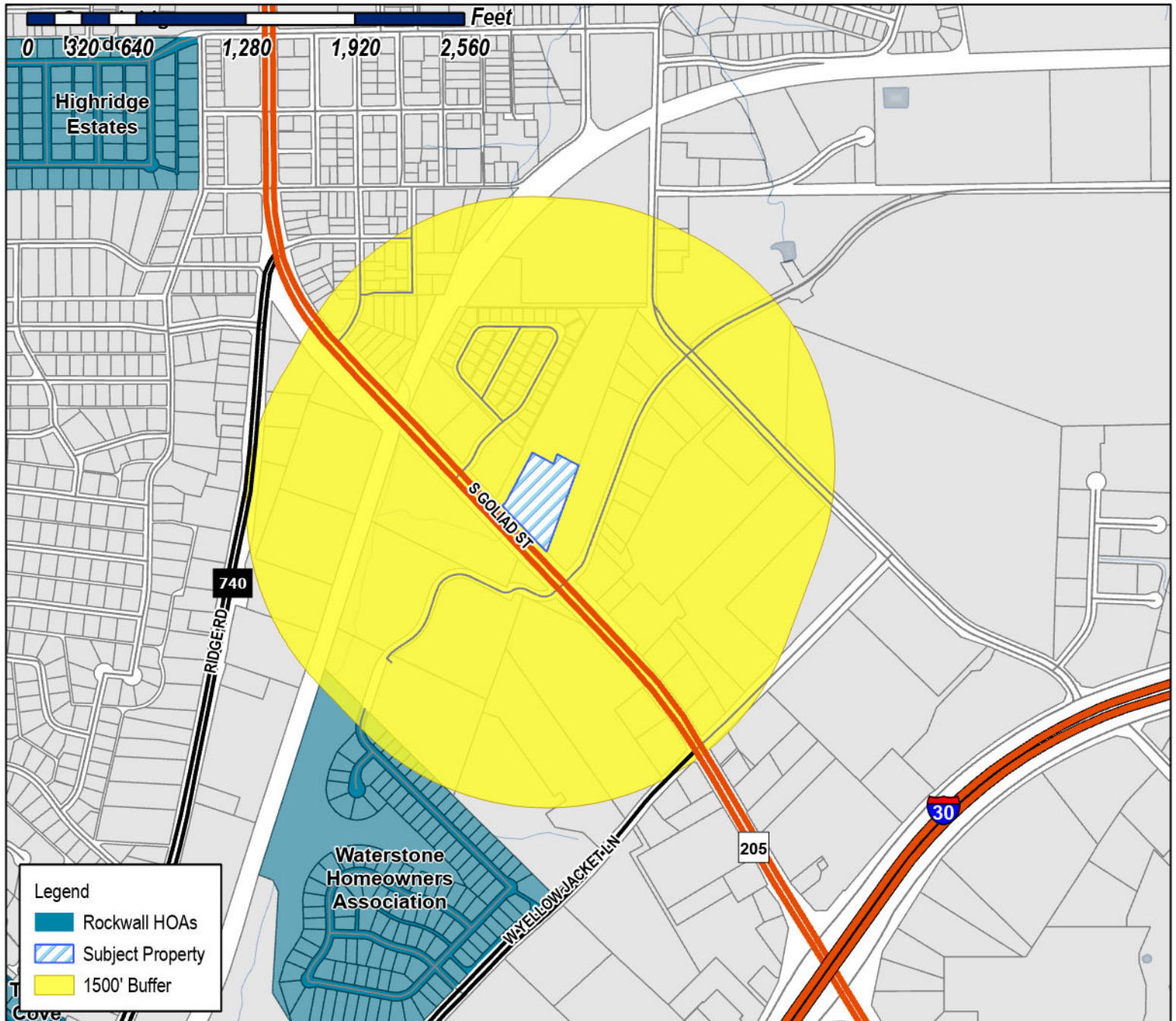




City of Rockwall

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Case Number: Z2024-004
Case Name: SUP for Mini-Warehouse
Case Type: Zoning
Zoning: Planned Development District 68 (PD-68)
Case Address: N Corner of S Goliad Street and Justin Road

Date Saved: 1/20/2023

For Questions on this Case Call (972) 771-7745



From: [Chapin, Sarah](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-004]
Date: Thursday, January 26, 2023 12:24:08 PM
Attachments: [HOA Map \(01.20.2023\).pdf](#)
[Public Notice Z2023-004.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on January 27, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-004: SUP for a Mini-Warehouse

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 68 (PD-68) District for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Sarah Chapin

Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

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Case Type: Zoning
Zoning: Planned Development District 68 (PD-68)
Case Address: N Corner of S Goliad Street and Justin Road

Date Saved: 1/20/2023

For Questions on this Case Call (972) 771-7745



OCCUPANT
1407 S GOLIAD
ROCKWALL, TX 75087

LEGACY 316 BJJ HOLDINGS LLC
519 E INTERSTATE 30 #605
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
651 JUSTIN RD
ROCKWALL, TX 75087

AUTO ZONE INC
DEPARTMENT #8088
PO BOX 2198
MEMPHIS, TN 38101

OCCUPANT
761 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
1325 S GOLIAD
ROCKWALL, TX 75087

ROCKWALL SENIOR COMMUNITY LP
C/O LIFENET COMMUNITY BEHAVIORAL
HEALTHCARE
5605 N MACARTHUR BLVD, SUITE 580
IRVING, TX 75038

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
721 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

OCCUPANT
701 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

OCCUPANT
677 JUSTIN RD
ROCKWALL, TX 75087

COUCH AND DAVIS PROPERTIES LLC
685 JUSTIN RD
ROCKWALL, TX 75087

OCCUPANT
660 JUSTIN RD
ROCKWALL, TX 75087

PS LPT PROPERTIES INVESTORS
C/O PUBLIC STORAGE (PS #26644)
ATTN: IRMA PIMENTEL REAL ESTATE PARALEGAL
701 WESTERN AVENUE
GLENDALE, CA 91201

OCCUPANT
750 JUSTIN RD
ROCKWALL, TX 75087

1996 OSPREY LLC
PO BOX 1688
ROCKWALL, TX 75087

BREEN & MCKEON LLP
661 JUSTIN RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

WDC PEBBLEBROOK APARTMENTS LLC
M/R
1410 S GOLIAD
ROCKWALL, TX 75087

CITY OF ROCKWALL
1300 S GOLIAD
ROCKWALL, TX 75087

ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
DAMASCUS RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
8235 DOUGLAS AVENUE SUITE 1030
DALLAS, TX 75225

OCCUPANT
1301 S GOLIAD ST
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
604 PROSPERITY TR
ROCKWALL, TX 75087

OCCUPANT
1275 S GOLIAD ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
601 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
623 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
619 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
615 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
611 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
607 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
605 COMMUNITY LN
ROCKWALL, TX 75087

OCCUPANT
606 COMMUNITY LN
ROCKWALL, TX 75087

PAMELA K BEERS REVOCABLE TRUST
PAMELA K BEERS- TRUSTEE
606 COMMUNITY LANE
ROCKWALL, TX 75087

THE STANDARD MCP LTD
602 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
610 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
614 COMMUNITY LN
ROCKWALL, TX 75087

GARCIA ROY AND JENIFER
618 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
622 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
601 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
613 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
609 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
605 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
ROCKWALL, TX 75087

OCCUPANT
1196 N T L TOWNSEND DR
ROCKWALL, TX 75087

ALDERS AT ROCKWALL PROPERTY LLC
5925 FOREST LANE STE 502
DALLAS, TX 75230

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-004: SUP for a Mini-Warehouse

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 68 (PD-68) District for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-004: SUP for a Mini-Warehouse

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



4 Building A East Elevation
SCALE: 1/16" = 1'



3 Building A North Elevation
SCALE: 1/16" = 1'



2 Building A South Elevation
SCALE: 1/16" = 1'



1 Building A West Elevation
SCALE: 1/16" = 1'

DESIGNHAUS
EST
1998

ARCHITECTURE

3300 AUBURN RD, SUITE 300
AUBURN HILLS, MI 48326
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

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S.U.P	23.01.18
Revision/Issue	Date

Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087

Building A
Elevations

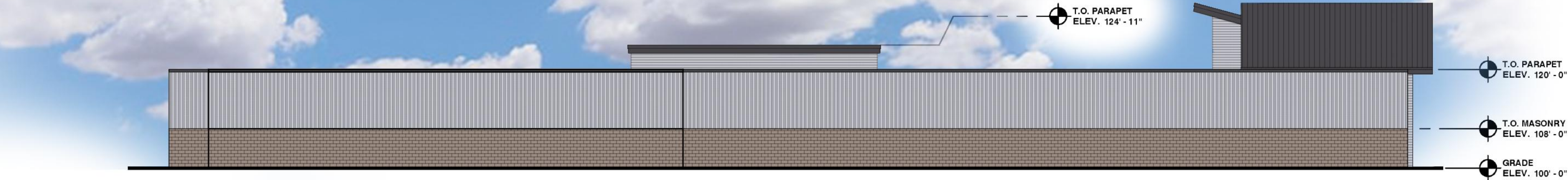
022074

A200

A201 Building Elevations.dwg

1/18/2023

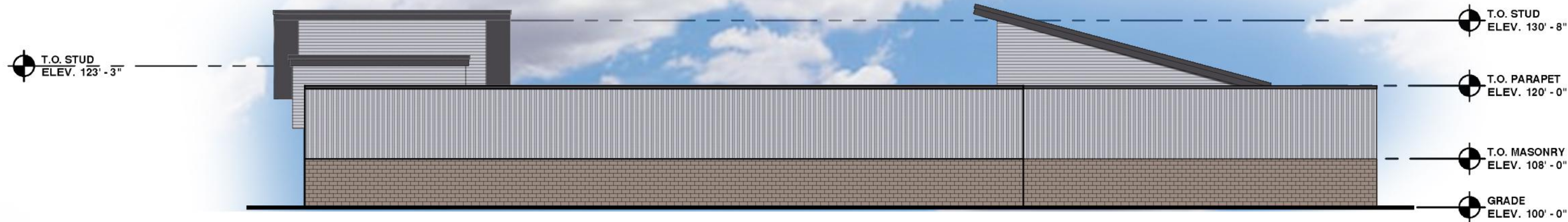
DH User 05



4 Building B East Elevation
SCALE: 1/16" = 1'



3 Building B North Elevation
SCALE: 1/16" = 1'



2 Building B South Elevation
SCALE: 1/16" = 1'



1 Building B West Elevation
SCALE: 1/16" = 1'

DESIGNHAUS

ARCHITECTURE

EST 1998

3300 AUBURN RD., SUITE 300
AUBURN HILLS, MI 48326
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

-	-
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-	-
S.U.P	23.01.18
Revision/Issue	Date

Goliad St. Rockwall, TX Storage

Parcel: 70573 & 70574
Rockwall, TX 75087

Building B

Elevations

022074

A201



Render 1



Render 2



Render 3



Render 4

A202 Project Renderings.dwg
1/19/2023
Don Jackson

DESIGNHAUS
ARCHITECTURE

EST
1998

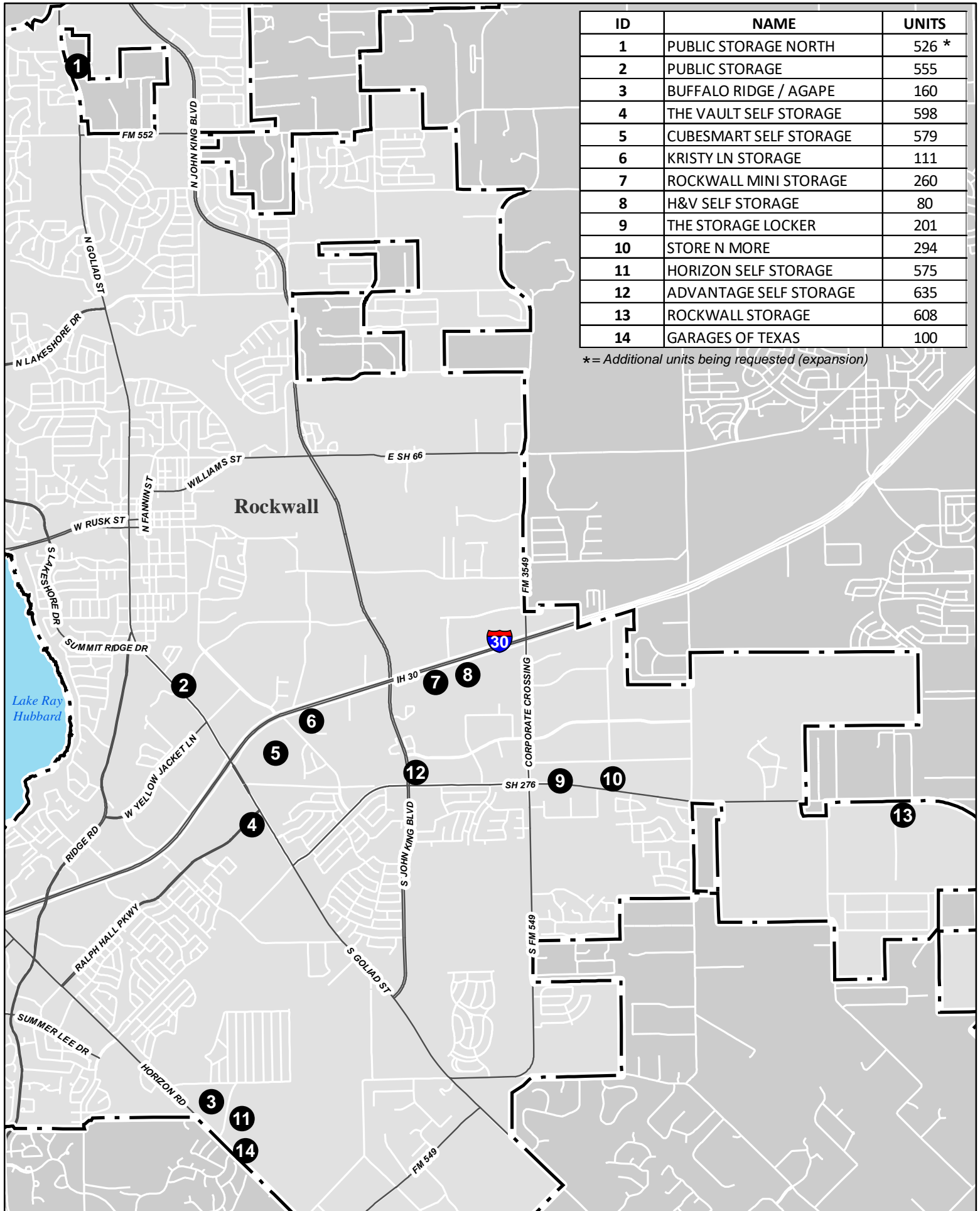
3300 AUBURN RD, SUITE 300
AUBURN HILLS, MI 48326
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

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S.U.P	23.01.18
Revision/Issue	Date

Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087

Project Renderings

022074
A202



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 68 (PD-68) [*ORDINANCE NO. 17-05*] AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *MINI-WAREHOUSE FACILITY* ON A 3.15-ACRE TRACT OF LAND IDENTIFIED AS LOTS 1 & 2, BLOCK A, EASTSHORE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a *Specific Use Permit (SUP)* for a *Mini-Warehouse Facility* on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [*SH-205*] south of the intersection of Community Lane and S. Goliad Street [*SH-205*], and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 68 (PD-68) [*Ordinance No. 17-05*] and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 68 (PD-68) [*Ordinance No. 17-05*] and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Mini-Warehouse Facility* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Planned Development District 68 (PD-68) [*Ordinance No. 17-05*] and Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial*

District Standards; Subsection 04.05, *Commercial (C) District*; and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Mini-Warehouse Facility* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The proposed *Mini-Warehouse Facility* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- 2) The proposed *Mini-Warehouse Facility* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; however, this operational condition does not waive or grant variances or exceptions to any requirements associated with the *General Overlay District Standards* and/or *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), which will be reviewed and acted upon by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of *Site Plan*.
- 3) The maximum number of storage units permitted on the *Subject Property* shall be limited to 393 storage units.
- 4) All transparent fencing shall be wrought iron, and -- *where necessary* -- incorporate a berm, three (3) tiered landscaping, and a landscape buffer (*i.e. adjacent to any residentially zoned or used property*).
- 5) Outside storage of any kind shall be prohibited.
- 6) Businesses shall not be allowed to operate within individual storage units.
- 7) The commercial operation of rental trucks or trailers shall be prohibited.
- 8) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this Ordinance No. 23-XX; SUP # S-XXX

ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF MARCH, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

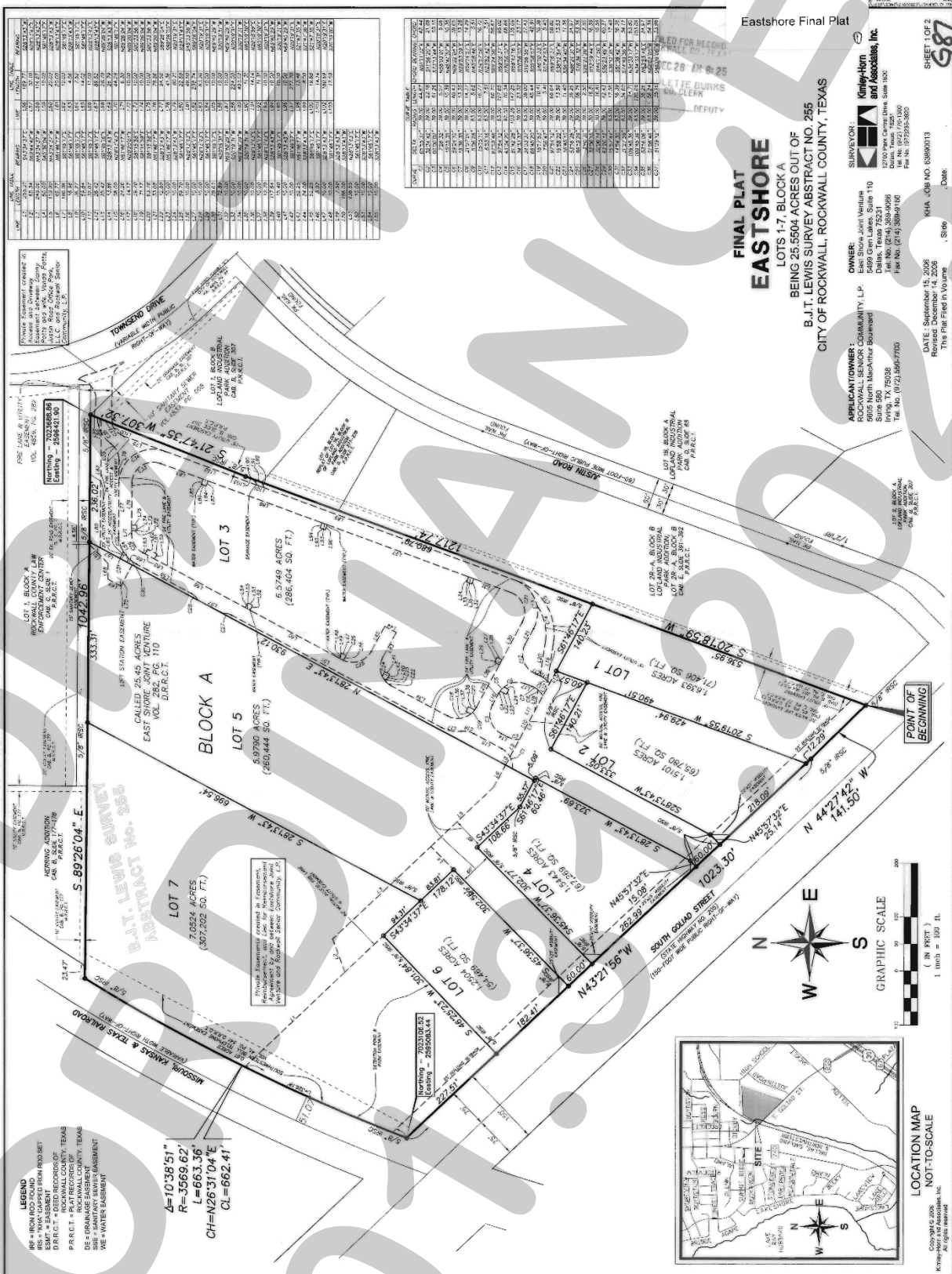
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK A, EASTSHORE ADDITION



[illegible]

5100 Site Plan.dwg

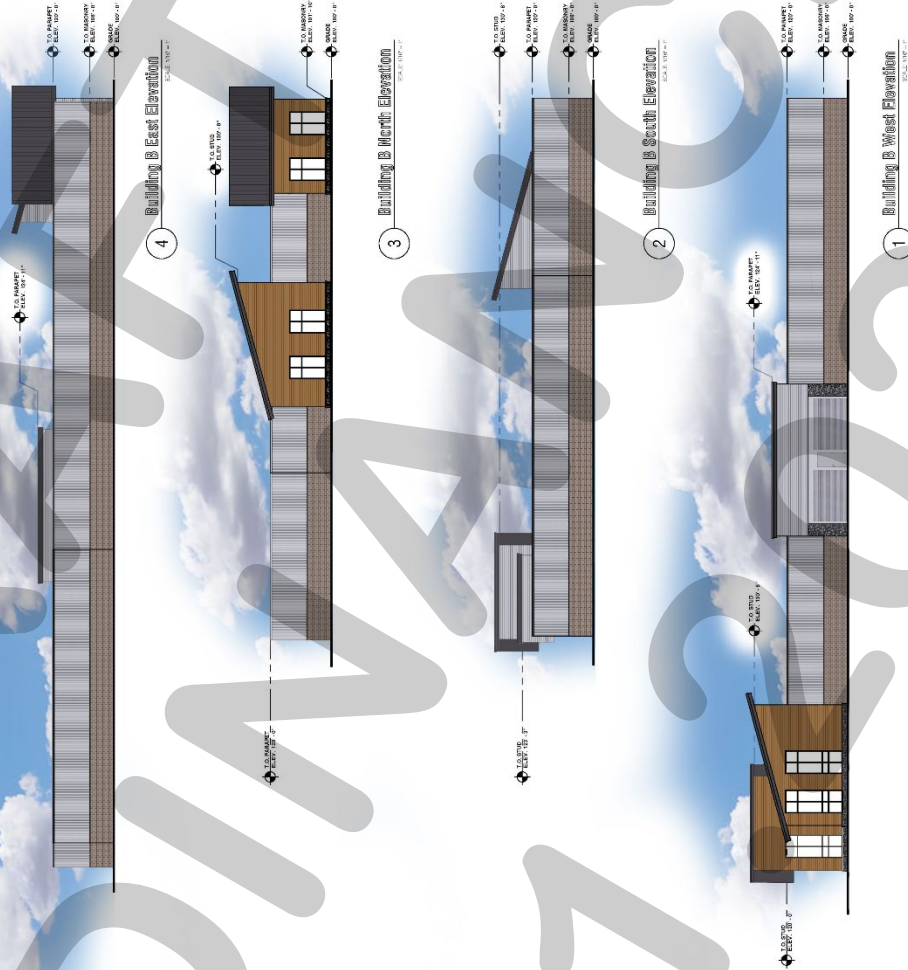
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The image displays four architectural elevation drawings of a building, labeled 1 through 4. Each drawing shows a different side of the building with various materials like wood siding, stone, and brick, along with windows and doors. Elevation markers are provided for each drawing, indicating specific heights and levels. A large, semi-transparent 'DRAFT' watermark is overlaid diagonally across the entire image.

Building & West Elevation
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Building & North Elevation
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Exhibit 'C':
Concept Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: February 14, 2023

APPLICANT: Mike Pizzola; *Designhaus Architecture*

CASE NUMBER: Z2023-004; *Specific Use Permit (SUP) for a Mini-Warehouse*

SUMMARY

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a *Mini-Warehouse* on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the City's *Historic Zoning Maps*, at some point between annexation and January 3, 1972 the subject property was rezoned to a Light Industrial (LI) District. This zoning designation was again changed to a Commercial (C) District at some point between December 7, 1993 and April 5, 2005. On August 21, 2006 the City Council approved Planned Development District 68 (PD-68) [*Ordinance No. 06-32; Z2006-013*] changing the zoning of the subject property to allow limited Commercial (C) District land uses. Following this approval, the City Council approved a *Master Plat [Case No. P2006-043]* and a *Preliminary Plat [Case No. P2006-044]* on October 16, 2006. These cases were followed by the approval, of a *Final Plat [Case No. P2006-056]* designating the subject property as Lots 1 & 2, Block A, Eastshore Addition. This subdivision plat was filed with Rockwall County on December 28, 2006. Regardless of these approvals, the subject property has remained vacant since annexation.

PURPOSE

On January 20, 2023, the applicant -- *Mike Pizzola of Designhaus Architecture* -- submitted an application requesting a Specific Use Permit (SUP) for the *Mini-Warehouse* land use for the purpose of constructing two (2) climate controlled *Mini-Warehouse* buildings on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located north of the intersection of Justin Road and S. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

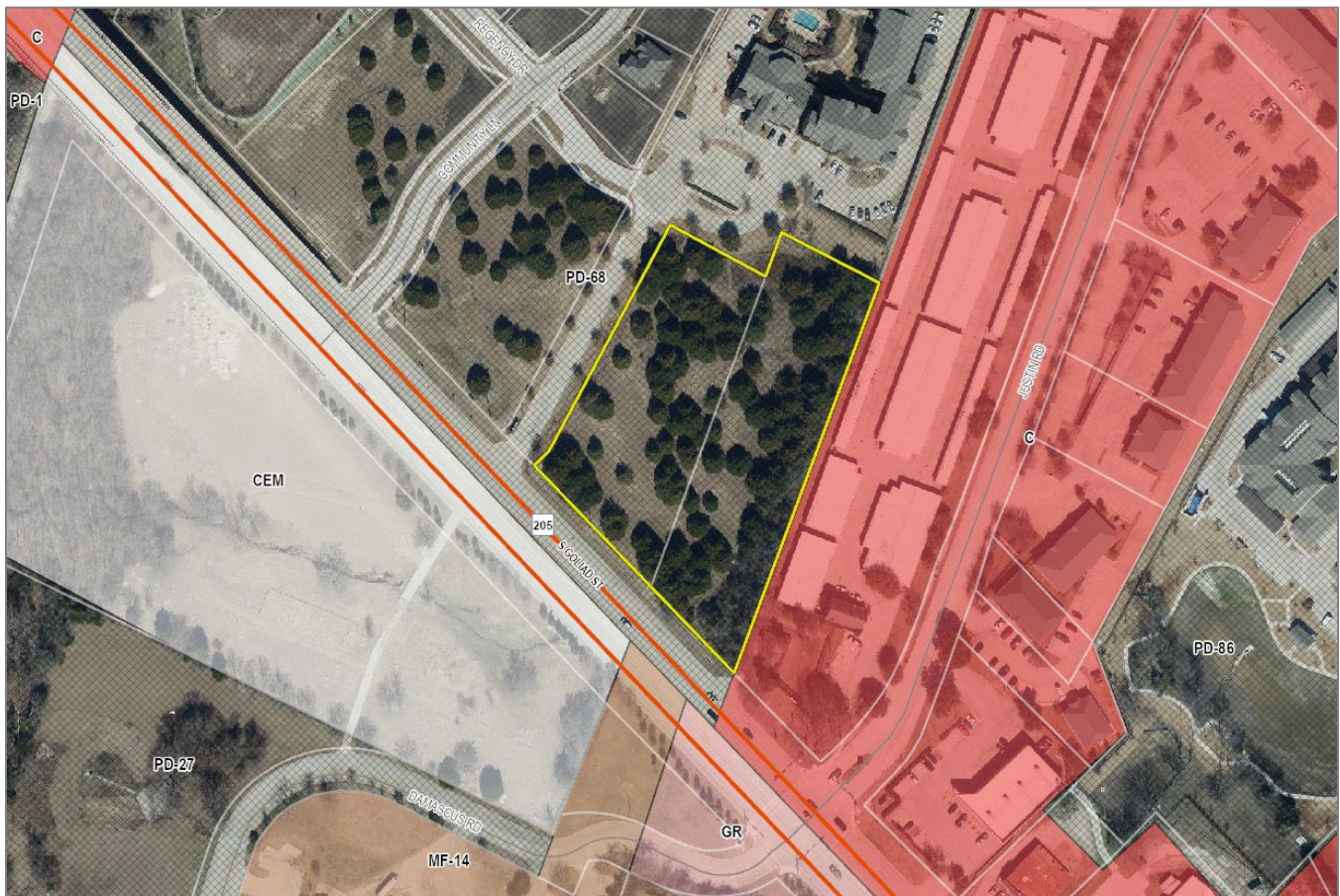
North: Directly north of the subject property is an *Age Restricted Apartment Complex (i.e. Evergreen Apartments)* on a 6.579-acre parcel of land (*i.e. Lot 3, Block A, Eastshore Addition*). Beyond this is the Standard of Rockwall an *Age Restricted Residential Subdivision* that was established on October 28, 2018 that consists of 47 single-family residential lots. Both of these properties are zoned Planned Development District 68 (PD-68).

South: Directly south of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway is a *Cemetery* owned by the City of Rockwall and zoned Cemetery (CEM) District.

East: Directly east of the subject property is a *Mini-Warehouse* facility (i.e. *Advantage Self-Storage*), which consists of 555 units on a 4.8164-acre parcel of land (i.e. *Lot 2R-A, Block B, Lofland Industrial Park Addition*). This property is zoned Commercial (C) District. Beyond this is Justin Road, which is identified as a M4U (i.e. *major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this, are six (6) *Offices* (i.e. *Airrosti Rehab Center, Nation Wide Insurance, K&S Insurance Agency, etc.*) and a *General Retail Store* (i.e. *AutoZone*). All of these properties are zoned Commercial (C) District.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. *principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this roadway is a *Cemetery* owned by the City of Rockwall and zoned Cemetery (CEM) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and conceptual building elevations detailing the anticipated layout of the proposed *Mini-Warehouse* facility. According to the concept plan the proposed facility will be composed of two (2) buildings -- one (1) being 61,000 SF and one (1) being 30,560 SF -- with a total building foot print of 61,000 SF and a gross building area of 91,560 SF. The proposed facility will consist of 600 climate-controlled storage units with limited drive-up access. The subject property is situated directly adjacent to an existing *Mini-Warehouse* facility that has 555 storage units, and two (2) residential land uses (i.e. *the Standard of Rockwall and Evergreen Apartments*). The proposed facility will take access off of an existing cross access easement that serves as the primary ingress/egress for the *Evergreen Apartments*, and will have direct adjacency to S. Goliad Street [SH-205].

CONFORMANCE WITH THE CITY'S CODES

Planned Development District 68 (PD-68) [Ordinance No. 17-05] designates the subject property for limited Commercial (C) District land uses, and -- according to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC) -- the Mini-Warehouse land use requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of requiring a Specific Use Permit (SUP) in a Commercial (C) District for this land use is tied to the fact that the Commercial (C) District zoning designation is typically located along the City's major roadways on properties that are highly visible. In addition, the Specific Use Permit (SUP) allows the City Council to review these types of requests on a case-by-case basis to: [1] ensure that the proposed product is appropriate for the existing (and future) land uses, and [2] to prevent a proliferation of this type of land use in the City's commercial/retail corridors. More simply stated, this land use may not be appropriate on all properties zoned Commercial (C) District. In addition, Section 02, Conditional Land Use Standards and Definitions, of Article 04, Permissible Uses, of the Unified Development Code (UDC) also requires the following Conditional Land Use Standards as part of the establishment of this land use [for reference staff has provided a summary of the applicant's proposal adjacent to the standards and its compliance to the requirements]:

TABLE 1: CONDITIONAL LAND USE STANDARDS FOR THE MINI-WAREHOUSE LAND USE

CONDITIONAL LAND USED REQUIREMENTS	PROPOSED CONCEPT PLAN	COMPLIANCE TO THE REQUIREMENTS
THE MAXIMUM SITE AREA SHALL NOT EXCEED FIVE (5) ACRES.	3.15-ACRES	IN CONFORMANCE
THE MAXIMUM NUMBER OF STORAGE UNITS SHALL NOT EXCEED 125 UNITS/ACRE.	393 UNITS ARE PERMITTED BY-RIGHT. THE APPLICANT HAS INDICATED THE FACILITY WILL CONSIST OF 600 UNITS OR 207 MORE THAN WHAT IS PERMITTED.	NOT IN COFORMANCE
THE MAXIMUM HEIGHT SHALL NOT EXCEED ONE (1) STORY.	BUILDING 'A' IS TWO (2) STORIES IN HEIGHT.	NOT IN COFORMANCE
THE MINIMUM NUMBER OF PARKING SPACES REQUIRED IS TWO (2). PARKING REQUIREMENT IS THREE (3) SPACES PLUS ONE (1) SPACE PER 100 UNITS.	FOUR (4) PARKING SPACES SHOWN ON THE CONCEPT PLAN. THIS FACILITY REQUIRES A MINIMUM OF 11 PARKING SPACES.	NOT IN CONFORMANCE
NO DIRECT ACCESS FROM FM-740, SH-205, SH-66, SH-276, FM-3097, FM-552, FM-549, AND/OR JOHN KING BOULEVARD.	THE PROPERTY TAKES ACCESS FROM AN EXISTING CROSS ACCESS EASEMENT; HOWEVER, THE SITE IS ACCESSED DIRECTLY FROM SH-205.	NOT IN COFORMANCE
OVERHEAD DOORS SHALL NOT FACE ADJACENT TO A STREET.	THE UNITS ARE INTERNAL TO THE BUILDING AND ARE NOT VISIBLE FROM A STREET.	IN CONFORMANCE
ALL EXTERIOR WALLS FACING THE FRONT, SIDE, AND REAR PROPERTY LINES SHALL BE 100% BRICK CONSTRUCTION.	THE CONCEPTUAL BUILDING ELEVATIONS PROVIDED BY THE APPLICANT ARE NOT IN COMPLIANCE WITH THIS REQUIREMENT.	NOT IN CONFORMANCE
THE FRONT, SIDE, AND REAR YARD BUILDING SETBACK SHALL INCORPORATE CLUSTERED LANDSCAPING.	THE APPLICANT'S CONCEPT PLAN DOES SHOW LANDSCAPING IN ALL SETBACKS; HOWEVER, THIS IS A REQUIREMENT OF THE SUP ORDINANCE.	IN CONFORMANCE
GATES SHALL BE INCORPORATED LIMITING ACCESS TO THE FACILITY.	THE CONCEPT PLAN INDICATES THAT THE PROPOSED FACILITY WILL BE GATED.	IN CONFORMANCE
SCREENING FENCES SHALL BE WROUGHT IRON OR MASONRY.	THE PLAN INDICATES THAT THE FACILITY WILL BE ENCLOSED BY A SIX (6) FOOT WROUGHT IRON FENCE.	IN CONFORMANCE
CONCRETE SHALL BE USED FOR ALL PAVING.	ALL DRIVEWAYS, FIRE LANES, AND APPROACHES WILL BE REQUIRED TO BE CONCRETE.	IN CONFORMANCE

ROOF SHALL HAVE A MINIMUM ROOF PITCH OF 1:3 AND BE CONSTRUCTED OF STANDING SEAM METAL.	THE ROOF PITCH FOR THE PITCHED ROOF ELEMENTS IS 1:4, WHICH IS IN CONFORMANCE; HOWEVER, THE BUILDING ALSO INCORPORATES A FLAT ROOF DESIGN.	NOT IN COFORMANCE
LIGHTING STANDARDS SHALL BE LIMITED TO A MAXIMUM OF 20-FEET.	LIGHT STANDARDS WILL BE REQUIRED TO BE A MAXIMUM OF 20-FEET PER THE OVERLAY DISTRICT STANDARDS.	IN CONFORMANCE
A SINGLE RESIDENTIAL UNIT NOT EXCEEDING 1,600 SF IN SIZE IS PERMITTED.	NO RESIDENTIAL UNIT IS BEING PROPOSED.	IN CONFORMANCE
OUTSIDE STORAGE IS PROHIBITED.	NO OUTSIDE STORAGE WILL BE PERMITTED.	IN CONFORMANCE

Due to the residential adjacency along the northern and western property lines (*i.e. Evergreen Apartments*), this property is subject to the screening requirements stipulated by Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). These standards state that any non-residential land use that is adjacent to a residentially zoned or used property is required to construct a six (6) foot masonry fence with canopy trees along the entire length of the adjacency; however, " (a) as an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees*) along the entire length of the adjacency." Staff has included an *Operational Condition* in the Specific Use Permit (SUP) that requires this screening along the northern and western boundaries of the subject property.

In addition to the *Conditional Land Use Standards* and the residential adjacency standards, the proposed *Mini-Warehouse* facility will be subject to the requirements of Planned Development District 68 (PD-68), and the *General Overlay District Standards* and the *General Commercial District Standards* of the Unified Development Code (UDC). These requirements and the conformance of the applicant's request are summarized as follows:

TABLE 2: DENSITY AND DIMENSIONAL REQUIREMENTS FOR THE SUBJECT PROPERTY

ORDINANCE PROVISIONS	ZONING DISTRICT STANDARDS	CONFORMANCE TO THE STANDARDS
MINIMUM LOT AREA	10,000 SF	3.15-ACRES; IN CONFORMANCE
MINIMUM LOT FRONTAGE	60-FEET	~371.88-FEET; IN CONFORMANCE
MINIMUM LOT DEPTH	100-FEET	~333.05-FEET; IN CONFORMANCE
MINIMUM FRONT YARD SETBACK	15-FEET	20-FEET; IN CONFORMANCE
MINIMUM REAR YARD SETBACK (ADJACENT TO RESIDENTIAL)	20-FEET + 1/2H>36	~20-FEET; IN CONFORMANCE
MINIMUM SIDE YARD SETBACK (ADJACENT TO RESIDENTIAL)	20-FEET + 1/2H>36	32' 1"-FEET; IN CONFORMANCE
MINIMUM SIDE YARD SETBACK	10-FEET	13-FEET; IN CONFORMANCE
MAXIMUM BUILDING HEIGHT	60-FEET	47' 7½"; IN CONFORMANCE
BETWEEN BUILDINGS	15-FEET	40' 5"; IN CONFORMANCE
MAX BUILDING/LOT COVERAGE	60%	44.50%; IN CONFORMANCE
MASONRY REQUIREMENT	90%	X<90%; NOT CONFORMANCE
NATURAL STONE REQUIREMENT	20% ON EACH FAÇADE	X<20%; NOT CONFORMANCE
MINIMUM LANDSCAPING PERCENTAGE	20%	X>20%; IN CONFORMANCE
MAXIMUM IMPERVIOUS COVERAGE	85-90%	X<85%; IN CONFORMANCE

NOTES

H: BUILDING HEIGHT; 1/2H>36: ONE-HALF THE BUILDING HEIGHT OVER 36-FEET.

Staff should point out that the building elevations provided by the applicant do not meet the *General Commercial District Standards* or the *General Overlay District Standards*. Specifically, the required materials, form, architectural elements, and articulation of the building all appear to be deficient. In response to staff pointing this out, the applicant has provided a letter indicating that it is their intent to meet the architectural requirements of the Unified Development Code (UDC). Based on this, staff has included an *Operational Condition* in the Specific Use Permit (SUP) ordinance stating that the approval of this case does not grant any variances associated with the design standards and that these will be reviewed for compliance by the Planning and Zoning Commission and Architectural Review Board (ARB) at the time of *Site Plan*.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject is situated within the Central District and is designated for Commercial/Retail land uses. This land use designation is defined as being "... characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions." According to the *District Strategies* for the Central District, properties designated for Commercial/Retail land uses "... are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (*i.e. are more characteristic of neighborhood/convenience centers*); ..."

STAFF ANALYSIS

In this case, the applicant's request does not conform with the *Conditional Land Use Standards*, density and dimensional requirements, and *General Overlay District Standards* for the *Mini-Warehouse* land use in Planned Development District 68 (PD-68) as stipulated by the Unified Development Code (UDC). As staff has stated in previous cases requesting Specific Use Permits (SUP) for the *Mini-Warehouse* land use, the *Conditional Land Use Standards* contained in the Unified Development Code (UDC) were intended to regulate "... campus style facilities that incorporate several buildings, generally being one (1) story in height, and have storage units that are accessible from the exterior of the building ..." [Case No. Z2014-012]; however, in this case the applicant is proposing a different type of product that is enclosed and climate controlled. With this being said, the applicant's proposal exceeds the number of units permitted by 207 units, is deficient in parking by seven (7) parking spaces, and does not conform to the material requirements or roof pitch requirements as stipulated by the *Conditional Land Use Standards*. In addition, it is worth noting that adding 600 units adjacent to the existing 555 unit *Mini-Warehouse Facility* south of the subject property will create one of the highest density nodes of *Mini-Warehouse* units in the City. For reference staff has included a map of all of the existing (*and proposed*) *Mini-Warehouse Facilities* and their unit counts in the attached packet. Staff should also note, that based on the *District Strategies* contained in the OURHometown Vision 2040 Comprehensive Plan, the applicant's request does not appear to conform to the Comprehensive Plan. Specifically, the *Mini-Warehouse* land use is not looked at as a convenience shopping center for the adjacent residential, and the scale of the building is not compatible with the adjacent residential land uses. With this being said, a request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On January 27, 2023, staff mailed 55 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone Estates Homeowner's Association (HOA), which is the only Homeowners' Association (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response from a property owner of a non-residential property in favor of the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Mini-Warehouse* facility, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the *Operational Conditions* contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (A) The proposed *Mini-Warehouse Facility* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
 - (B) The proposed *Mini-Warehouse Facility* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; however, this operational condition does not waive or grant variances or exceptions to any requirements associated with the *General Overlay District Standards* and/or *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC),

which will be reviewed and acted upon by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of *Site Plan*.

- (C) The maximum number of storage units permitted on the *Subject Property* shall be limited to 600 storage units.
 - (D) All transparent fencing shall be wrought iron, and -- *where necessary* -- incorporate a berm, three (3) tiered landscaping, and a landscape buffer (*i.e. adjacent to any residentially zoned or used property*).
 - (E) Outside storage of any kind shall be prohibited.
 - (F) Businesses shall not be allowed to operate within individual storage units.
 - (G) The commercial operation of rental trucks or trailers shall be prohibited.
 - (H) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on the *Subject Property*.
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Not Established

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION North side S Goliad St. Between Community Lane and Justin Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-68

CURRENT USE Vacant

PROPOSED ZONING Commercial

PROPOSED USE Climate Controlled Self-Storage

ACREAGE 3.15 Acres

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Viper Development

☒ APPLICANT Designhaus Architecture

CONTACT PERSON

CONTACT PERSON

ADDRESS 2785 N Bogus Basin Rd.

ADDRESS 3300 Auburn Rd. #300

CITY, STATE & ZIP Boise, ID 83702

CITY, STATE & ZIP Auburn Hills, MI 48326

PHONE 208.629.2952

PHONE 248.601.4422 x204

E-MAIL

E-MAIL

mike@designhaus.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

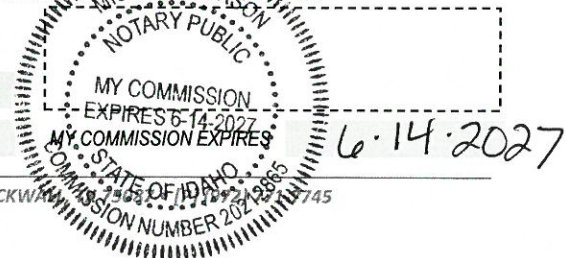
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

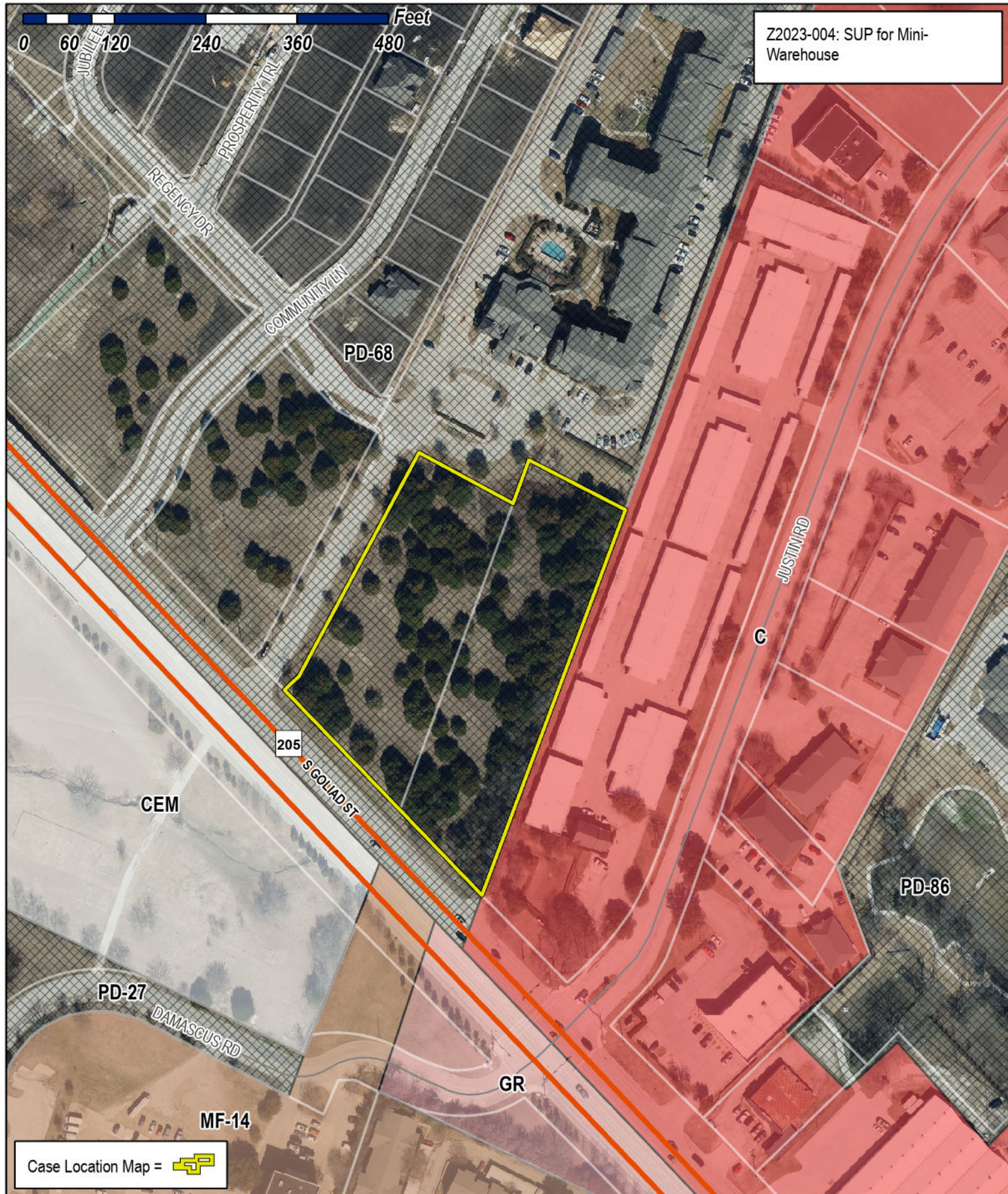
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF January, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Idaho michelle Jansen





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

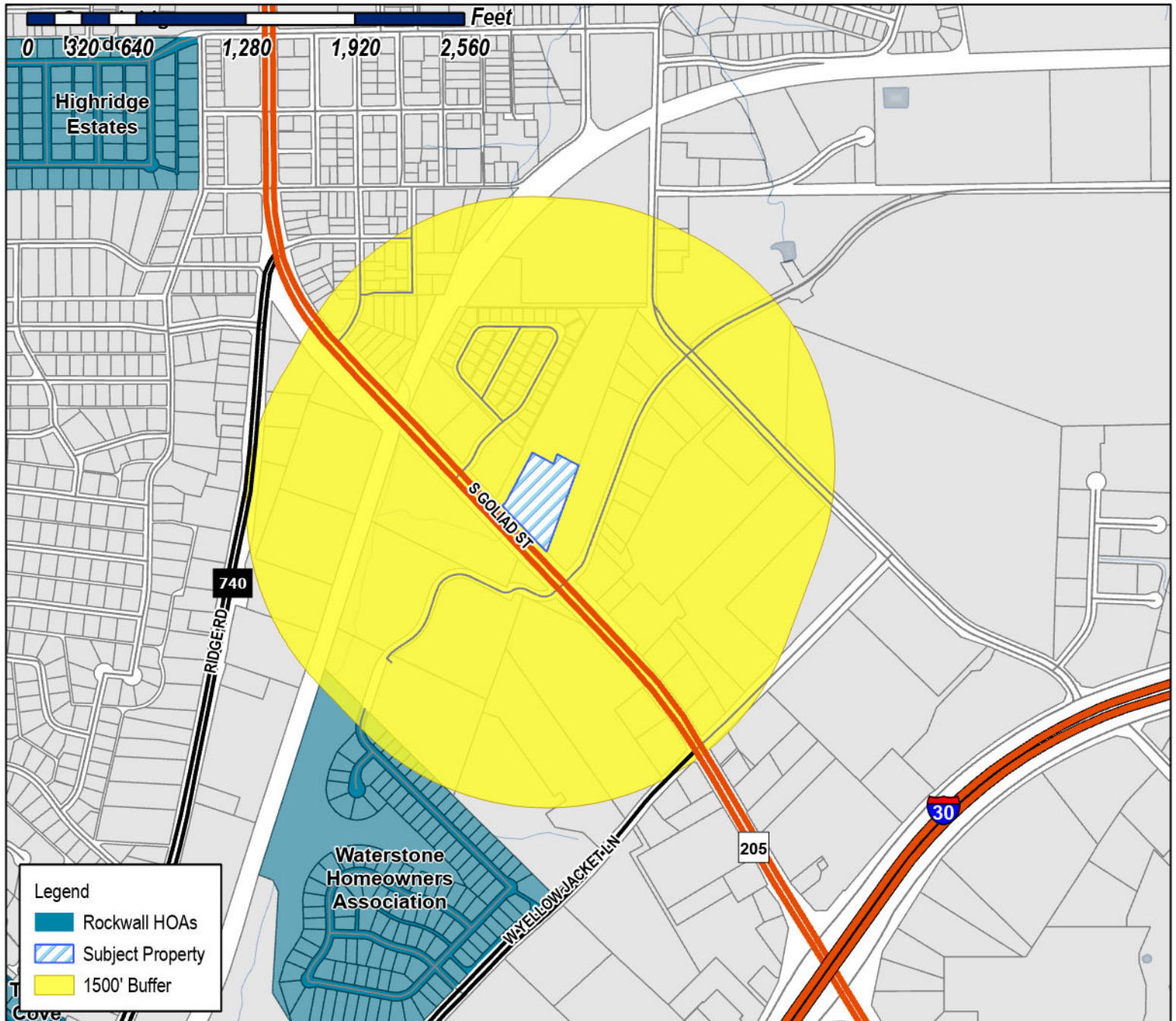




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Case Number: Z2024-004
Case Name: SUP for Mini-Warehouse
Case Type: Zoning
Zoning: Planned Development District 68 (PD-68)
Case Address: N Corner of S Goliad Street and Justin Road

Date Saved: 1/20/2023

For Questions on this Case Call (972) 771-7745



From: [Chapin, Sarah](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-004]
Date: Thursday, January 26, 2023 12:24:08 PM
Attachments: [HOA Map \(01.20.2023\).pdf](#)
[Public Notice Z2023-004.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on January 27, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-004: SUP for a Mini-Warehouse

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 68 (PD-68) District for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Sarah Chapin

Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

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Case Number: Z2024-004
Case Name: SUP for Mini-Warehouse
Case Type: Zoning
Zoning: Planned Development District 68 (PD-68)
Case Address: N Corner of S Goliad Street and Justin Road

Date Saved: 1/20/2023

For Questions on this Case Call (972) 771-7745



OCCUPANT
1407 S GOLIAD
ROCKWALL, TX 75087

LEGACY 316 BJJ HOLDINGS LLC
519 E INTERSTATE 30 #605
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
651 JUSTIN RD
ROCKWALL, TX 75087

AUTO ZONE INC
DEPARTMENT #8088
PO BOX 2198
MEMPHIS, TN 38101

OCCUPANT
761 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
1325 S GOLIAD
ROCKWALL, TX 75087

ROCKWALL SENIOR COMMUNITY LP
C/O LIFENET COMMUNITY BEHAVIORAL
HEALTHCARE
5605 N MACARTHUR BLVD, SUITE 580
IRVING, TX 75038

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
721 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

OCCUPANT
701 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

OCCUPANT
677 JUSTIN RD
ROCKWALL, TX 75087

COUCH AND DAVIS PROPERTIES LLC
685 JUSTIN RD
ROCKWALL, TX 75087

OCCUPANT
660 JUSTIN RD
ROCKWALL, TX 75087

PS LPT PROPERTIES INVESTORS
C/O PUBLIC STORAGE (PS #26644)
ATTN: IRMA PIMENTEL REAL ESTATE PARALEGAL
701 WESTERN AVENUE
GLENDALE, CA 91201

OCCUPANT
750 JUSTIN RD
ROCKWALL, TX 75087

1996 OSPREY LLC
PO BOX 1688
ROCKWALL, TX 75087

BREEN & MCKEON LLP
661 JUSTIN RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

WDC PEBBLEBROOK APARTMENTS LLC
M/R
1410 S GOLIAD
ROCKWALL, TX 75087

CITY OF ROCKWALL
1300 S GOLIAD
ROCKWALL, TX 75087

ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
DAMASCUS RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
8235 DOUGLAS AVENUE SUITE 1030
DALLAS, TX 75225

OCCUPANT
1301 S GOLIAD ST
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
604 PROSPERITY TR
ROCKWALL, TX 75087

OCCUPANT
1275 S GOLIAD ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
601 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
623 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
619 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
615 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
611 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
607 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
605 COMMUNITY LN
ROCKWALL, TX 75087

OCCUPANT
606 COMMUNITY LN
ROCKWALL, TX 75087

PAMELA K BEERS REVOCABLE TRUST
PAMELA K BEERS- TRUSTEE
606 COMMUNITY LANE
ROCKWALL, TX 75087

THE STANDARD MCP LTD
602 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
610 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
614 COMMUNITY LN
ROCKWALL, TX 75087

GARCIA ROY AND JENIFER
618 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
622 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
601 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
613 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
609 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
605 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
ROCKWALL, TX 75087

OCCUPANT
1196 N T L TOWNSEND DR
ROCKWALL, TX 75087

ALDERS AT ROCKWALL PROPERTY LLC
5925 FOREST LANE STE 502
DALLAS, TX 75230

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-004: SUP for a Mini-Warehouse

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 68 (PD-68) District for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-004: SUP for a Mini-Warehouse

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-004: SUP for a Mini-Warehouse

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Already storage there - no objection -

Name:

Elizabeth Branch

Address:

721 Justin, Suite A Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Legend

- Area 1
- Area 2
- Area 3
- Floodplain
- Parcels

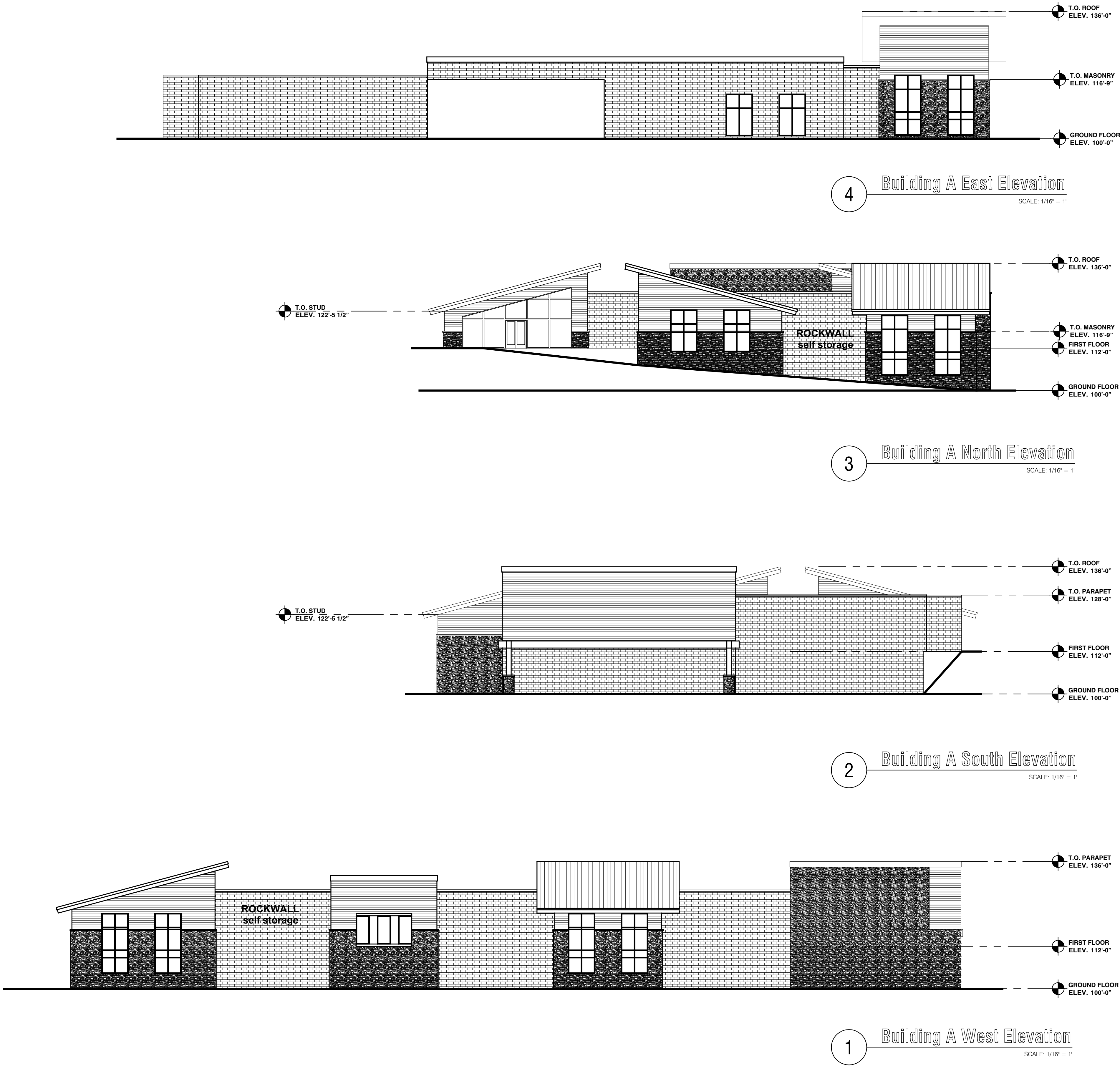
Map Labels: EMMA JANE, DANCY CROCKETT, DICKEY ST, 15TH AVENUE, DAMASCUS RD, N TOWNSHIP RD, 105TH RD, Area 1, Area 2, Area 3, Site.

Scale: 0 to 300 Feet

City of Rockwall

PLANNED DEVELOPMENT DISTRICT 68 PD-68

\$100



DESIGNHAUS

ARCHITECTURE

EST 1998

3300 AUBURN RD, SUITE 300
AUBURN HILLS, MI 48326
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

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Revised S.U.P.	23.02.07
S.U.P	23.01.18
Revision/Issue	Date

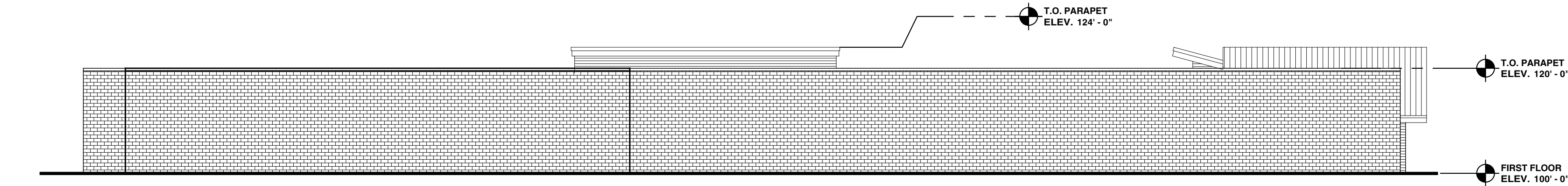
Building A Elevations

022074

A200

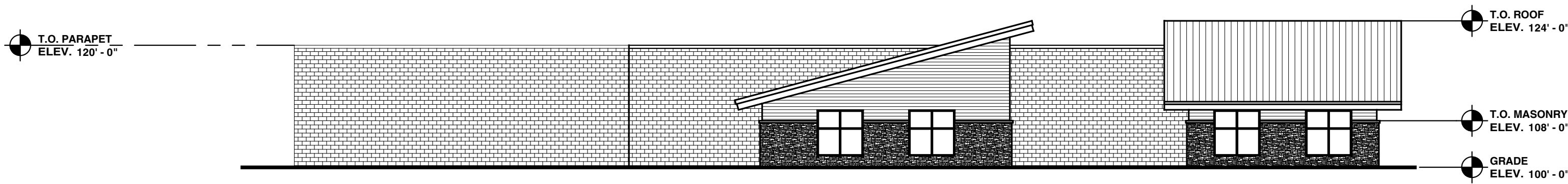
Goliad St. Rockwall, TX Storage

Parcel: 70573 & 70574
Rockwall, TX 75087
Case Number: Z2023-004



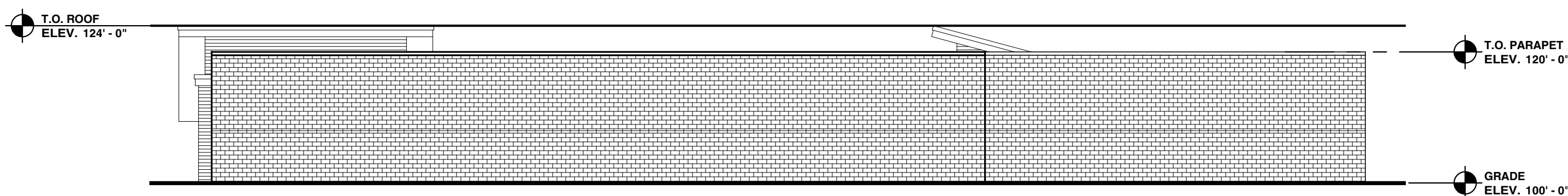
4 Building B East Elevation

SCALE: 1/16" = 1'



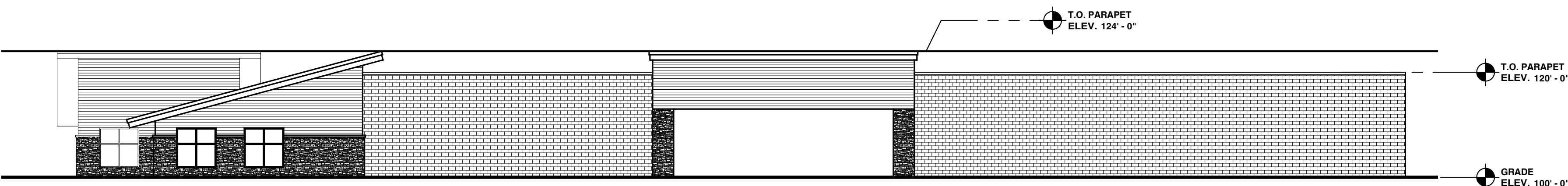
3 Building B North Elevation

SCALE: 1/16" = 1'



2 Building B South Elevation

SCALE: 1/16" = 1'



1 Building B West Elevation

SCALE: 1/16" = 1'

DESIGNHAUS

ARCHITECTURE

EST 1998

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Revised S.U.P.	23.02.07
S.U.P	23.01.18
Revision/Issue	Date

Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087
Case Number: Z2023-004

Building B
Elevations

022074

A201



Render 1



Render 2



Render 3



Render 4

A202 Project Renderings.dwg

2/6/2023

Dr User 03

DESIGNHAUS

ARCHITECTURE

EST. 1998

3300 AUBURN RD., SUITE 300
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WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

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Revised S.U.P.	23.02.09
S.U.P.	23.01.16
Revision/Issue	Date

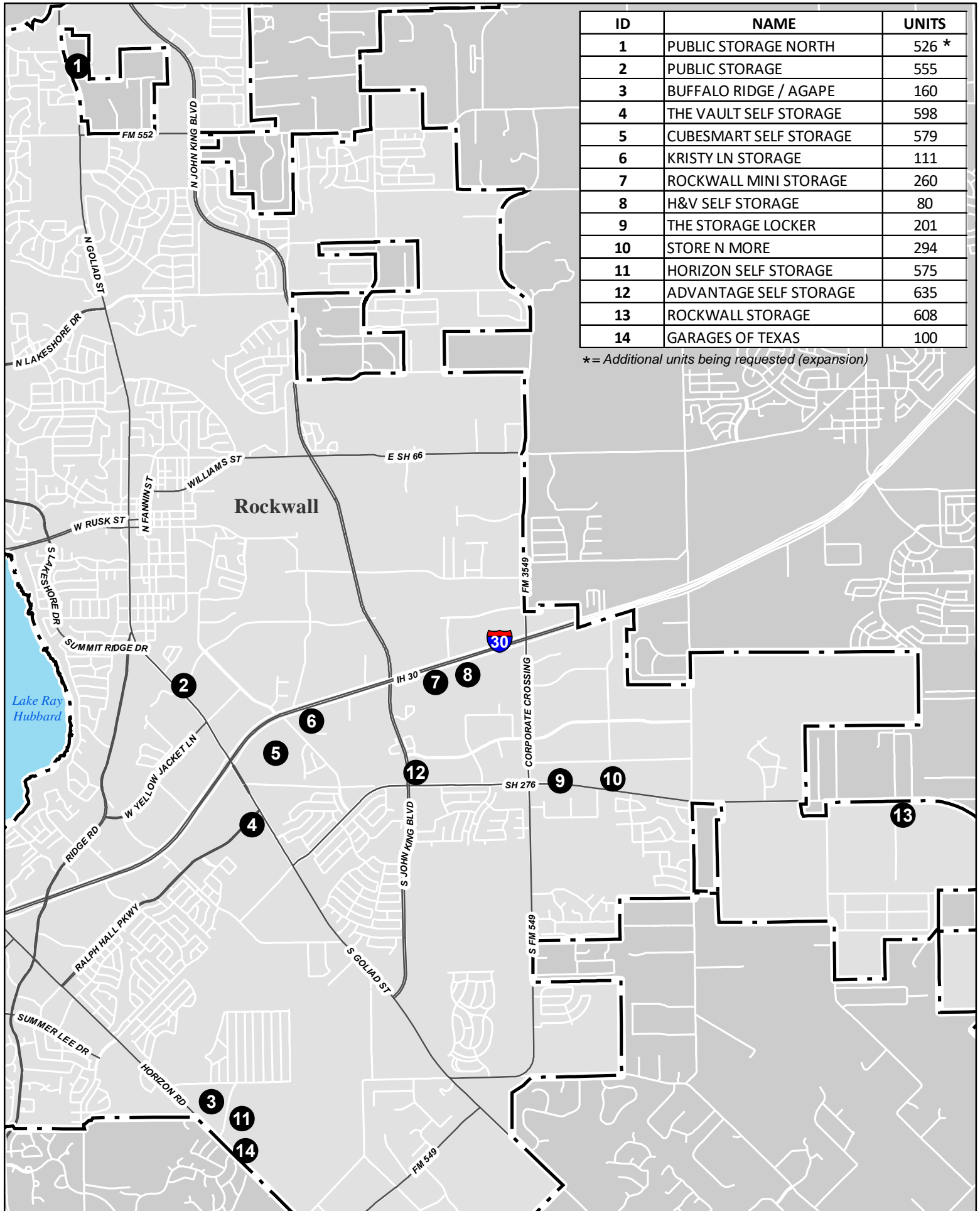
Gollad St. Rockwall, TX Storage

Parcel: 70573 & 70574
Rockwall, TX 75087
Case Number: Z2023-004

Project Renderings

022074

A202





GOLIAD ST. STORAGE – ROCKWALL, TX
Lots 1 and 2, Block A – Eastshore Addition
Rockwall County
City of Rockwall, TX 75087

Date 02.06.23
To Code Enforcement – City of Rockwall, TX
Re: January 26, 2023 - Plan Review Z2023-004

Below is the Response to the **Code Enforcement Service** comments regarding the Plan Review done on January 26, 2023, for Goliad Storage Rockwall, TX. See Response in **RED**.

1. **I.1:** This is a request for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, and generally located on the east side of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205].
 - Acknowledged.
2. **I.2:** For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
 - Acknowledged.
3. **M.3:** For reference, include the case number (Z2023-004) in the lower right-hand corner of all pages on future submittals.
 - Will comply, case number has been added to all sheets and for all future submittals.
4. **M.4:** Based on the subdivision plat for this property, the concept plan is taking in a 20-foot waterline easement that is actually a part of the adjacent Mini-Warehouse Facility. Please check the property boundary and make the necessary corrections.
 - Boundary and topographic currently survey scheduled to properly identify boundaries, utilities, easements, and site related items of importance. Previously submitted site with overlay aerial photo incorrectly scaled. Corrections to be made.
5. **I.5:** According to Article 13, Definitions, of the Unified Development Code (UDC), a Mini-Warehouse (or self-storage facility) is defined as, "...an enclosed storage facility containing independent, fully enclosed bays that are generally leased to individuals for long-term storage of their household goods or personal property."
 - Acknowledged
For further clarification, 1st generation self-storage facilities typically consist of multiple drive-up units with rows of long narrow buildings - similar to adjacent facility. Creating a monotonous repetition which may not blend with the commercial zoning. The proposed storage project consists of 2 buildings with internal storage. Limited drive-up storage and loading areas

concealed between buildings. The 2 buildings will have architectural features to mimic typical office buildings in a commercial district.

6. **I.6:** According to Ordinance No. 17-05 the subject property is situated within Area 2 and is subject to the requirements of the Commercial (C) District; and according to Article 04, Permissible Uses, of the Unified Development Code (UDC), the Mini-Warehouse land use requires a Specific Use Permit (SUP) in a Commercial (C) District. Ordinance No. 17-05 also requires a PD Development Plan be approved for the Mini-Warehouse Facility. This will need to be done if this Specific Use Permit (SUP) is granted prior to the acceptance of a Site Plan.
- Acknowledged.
Complete site plan approval drawings will be prepared for future submittals.
7. **I.7:** Please note, that the purpose of requiring a Specific Use Permit (SUP) for the Mini-Warehouse land use is to: [1] ensure that the proposed facility is compatible with the surrounding land uses, [2] to prevent a proliferation of this type of land use in the City's commercial areas, and [3] to mitigate for any possible negative extraneities that may occur from allowing this type of land use on a particular site. In this case, the proposed site is located directly adjacent to an existing age-restricted apartment facility and in close proximity to a single-family subdivision. In addition, there is an existing 4.8164-acre Mini-Warehouse facility with 555 units located directly adjacent to this facility. Staff will make note of this in their case memo.
- Acknowledged.
SUP will also be requested during future submittals.
8. **I.8:** According to Article 04, Permissible Uses, of the Unified Development Code (UDC), the Mini-Warehouse is required to meet the following Conditional Land Use Standards:
- (1) The number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres.
 - (2) Only single-story units are allowed; however, no multistory buildings will be permitted unless an exception is approved by the Planning and Zoning Commission. If necessary, the office/caretaker residence-unit may exceed one (1) story, but shall not be greater than 36-feet in height.
 - (3) A minimum of two (2) parking spaces shall be required for the on-site manager (i.e. caretaker, resident or otherwise).
 - (4) No direct access from FM-740, SH-205, SH-66, SH-276, FM-3097, FM-552, FM-549 and John King Boulevard. The Planning and Zoning Commission may consider granting direct access from the above-mentioned roadways after review and determination of the availability of access to the specific property.
 - (5) Perimeter walls shall be provided which face the front, rear and side property lines. Overhead doors shall not face adjacent streets. Perimeter walls facing the front yard shall incorporate architectural features to break up the long repetitive nature of self-storage buildings (e.g. offsets in buildings, variation of materials, and/or variation of heights, etc.). No gutters and downspouts shall be incorporated in the perimeter walls facing the front property line.
 - (6) The front, side and rear building set back areas shall be landscaped. Landscaping should be clustered, creating interesting relief from the long repetitive nature of self-storage buildings.

(7) The facilities shall incorporate the use of perimeter gates that limit access to the storage areas to customers only. Special access for fire and police personnel shall be provided as required.

(8) All screening fences shall be wrought iron with landscaping/living screen or masonry walls in accordance with the screening requirements contained in Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards. See-through fencing should be wrought iron, or similar. Chain-link fencing of any kind shall be prohibited.

(9) Buildings and see-through fencing should be oriented in a manner to restrict the visibility of interior overhead doors and drives from public right-of-way. The color(s) of the garage doors, as well as other doors within the facility, shall complement the exterior colors of the main building(s).

(10) The commercial operation of rental trucks and trailers shall be prohibited.

(11) Businesses shall not be allowed to operate in the individual storage units

(12) No outside storage of any kind shall be allowed (including the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles).

(13) Concrete shall be used for all paving.

(14) Roofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam. Mechanical equipment shall be screened with the roof structure or parapet walls.

(15) Lighting standards shall be limited to a maximum of 20- feet in height.

(16) The residential unit as an accessory to the permitted use shall not exceed 1,600 SF.

- Plans submitted are preliminary for determining the SUP eligibility. Subsequent plans for variance or site plan review will be updated as the project progresses. It would be our intent to go above and beyond the minimum required including the standards outlined above.

9. **I.9:** Based on the submitted concept plan and building elevations the following aspects of the case do not conform to the Conditional Land Use Standards for a Mini-Warehouse:

(1) Unit Count. How many units are proposed for the Mini-Warehouse facility? Please note that the maximum number of units permitted for this property would be 393 units (i.e. $125 \times 3.15\text{-acres} = 393.75$ or 393 units).

(2) Single Story Buildings. Multi-story buildings are not permitted. Currently, the rear of Building B is two (2) stories in height.

(3) Building Height. The maximum height for Mini-Warehouse facilities shall be one (1) story or 36-feet. The current building elevations show a maximum height of 47' 7½".

- Acknowledged.
We propose up to 600 units in order to maintain a competitive market strategy based on a current land evaluation. Building height revised to be 36' maximum. Existing site topography allows for a lower level viewed from a small portion of the site. Variances are anticipated during future approval processes.

10. **M.10:** Unit Count. Please indicate the proposed number of units on the plans.

- Proposed units for existing competitive market - 600

11. **I.11:** Parking. According to Article 06, Parking and Loading, of the Unified Development Code (UDC), the Mini-Warehouse land use requires three (3) parking spaces plus one (1) parking space per 100-units.

- Acknowledged – 9 spaces required.

4 Spaces provided adjacent to the office for new customers and (12) spaces provided at three designated covered loading areas. 20 spaces total provided including 1 HC accessible space.

12. **M.12:** Parking. The parking requirement for this facility is _ parking spaces [THE NUMBER OF UNITS WAS NOT PROVIDED SO THIS COULD NOT BE CALCULATED]. Please revise the plans to show conformance to the parking requirements.
- 600 units proposed with 12 parking spaces including 1 HC accessible space.
13. **I.13:** Building Elevations. According to the General Overlay District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), all buildings situated within an overlay district are required the following:
- (1) Materials. A minimum of 90% Primary Materials and ten (10) percent Secondary Materials. Currently, it appears that there is too much metal panel on all side of the building.
 - (2) Four (4) Sided Architecture. All buildings shall be architecturally finished on all four (4) sides utilizing the same material, detailing, and articulation. Currently, the building elevations do not meet the articulation, detailing, and material requirements.
 - (3) Required Architectural Elements. Buildings less than 50,000 SF are required a minimum of four (4) architectural features from the list contained in the General Overlay District Standards. Currently, the building elevations do not incorporate enough architectural elements.
- Building elevations revised to be more compliant with architectural standards per base zoning and SH 205 Overlay district.
14. **I.14:** Building Elevations. The proposed building elevations do not meet the minimum overlay district requirements.
- Acknowledged. - SH-205 overlay district criteria reviewed. Elevations revised to include a mix of wood, masonry and stone. Primary and secondary materials identified.
15. **I.15:** Building Elevations. The General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), layout the articulation requirements for commercial buildings. This particular site has three (3) Primary Facades adjacent to the northern, eastern and western property lines (i.e. adjacent to SH-205 and the residential land use) and one (1) Secondary Façade adjacent to the southern property line (i.e. the existing mini-warehouse facility). The building elevations do not appear to meet the minimum articulation standards.
- Building elevations revised to better meet the standards listed above.
16. **I.16:** Building Elevations. According to the General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), buildings are required to have a continuous parapet that screens all proposed roof top units (RTU's). The current elevations do not appear to meet this requirement.
- Rooftop mechanical units to be screened with a parapet. Revised renderings provided.
17. **I.17:** Loading and Service Areas. According to the General Overlay District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), all loading and service areas shall be located on the rear and side of the building and should not face towards SH-205. In addition, a minimum of a ten (10) foot masonry screening wall shall be required to screen the view of loading docks and loading spaces from any public right-of-way.

- Acknowledged. A masonry screening wall has been added along SH-205 loading zone.
18. **I.18:** Loading and Service Areas. The proposed concept plan does not show conformance to the Loading and Service Area requirements.
- Loading areas concealed between the 2-building layout, or screen wall and evergreen landscaping.
19. **M.19:** Residential Adjacency. According to the General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), buildings with a building footprint greater than 50,000 SF require a minimum of a 50-foot landscape buffer between a residentially used or zoned property. Evergreen -- which is adjacent to both the northern and western boundaries -- will require a minimum of a 50-foot landscape buffer. The landscape buffer will require three (3) tiered landscaping, a berm, and a wrought iron fence in accordance with the requirements of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC). This should be shown on the concept plan.
- The proposed building adjacent to R zoned or used properties is 30,560 Sq. Ft., - under the 50,000 threshold. However, 20' buffer with evergreen plantings @ 1 tree / 10' proposed to help satisfy this requirement.
20. **I.20:** Adaptive Reuse Standards. According to the General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), for those buildings over 80,000 SF in area, the applicant must demonstrate that the building can be subdivided in a reasonable manner by submitting a plan indicating potential entrance and exits and loading areas for multiple tenants. This plan will be required to be submitted at the time of site plan.
- Adaptive re-use plan to be provided.
21. **M.21:** Overhead Utility Lines. According to Ordinance No. 17-05, "(a)ll overhead utilities shall be placed underground ..." Please note that the existing overhead utilities along SH-205 will be required to be buried at the time this project is developed. Please include a note on the plan stating conformance to this zoning requirement.
- Note added to plans.
22. **I.22:** Open Space. According to Ordinance No. 17-05, all sites located within Area 2 of the concept plan contained in this ordinance will require a minimum of 20.00% open space.
- 27.75% open space provided with enhanced landscape plantings.
23. **M.23:** Concept Plan. Please show the following on the concept plan:
- (1) Setbacks. Please indicate the required building setback adjacent to SH-205.
 - (2) Landscape Buffer. Please indicate the required landscape buffers adjacent to SH-205 and the residential land use on the northern sides of the building (i.e. adjacent to the cross access and rear property line).
 - (3) Parking. Show conformance to the parking requirements.
 - (4) Loading. Show conformance to the loading and screening requirements.
 - (5) Utilities. Please include a note that all existing and proposed overhead utilities will be located/relocated underground in accordance with the requirements of Ordinance No. 17-05 and the Municipal Code of Ordinances/Unified Development Code (UDC).

- (6) Open Space. Please indicated conformance to the 20.00% open space requirement.
- Setback of SH-205, required buffer, parking, loading, and buried utilities reviewed and added as required.
24. **I.24:** Based on the applicant's submittal staff will be recommending the following Conditions of Approval should this case be approved:
- (1) The proposed facility shall be limited to a maximum of 393-storage units.
 - (2) The proposed facility be limited to a single-story.
 - (3) The proposed building elevations adhere to all applicable Overlay District requirements.
 - (4) An Adaptive Reuse Plan be submitted at the time of site plan.
- Variances anticipated for unit number and building height. Overlay district requirements met and Adaptive re-use plan to be submitted.
25. **I.25:** Based on the submitted materials, staff has included the follow Operational Conditions in the draft ordinance:
- (1) The proposed Mini-Warehouse Facility shall generally conform to the Concept Plan depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.
 - (2) The proposed Mini-Warehouse Facility shall generally conform to the Building Elevations depicted in Exhibit 'C' of the Specific Use Permit (SUP); however, this operational condition does not waive or grant variances or exceptions to any requirements associated with the General Overlay District Standards and/or General Commercial District Standards as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC), which will be reviewed and acted upon by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of Site Plan.
 - (3) The maximum number of storage units permitted on the Subject Property shall be limited to _ storage units. **600 Units**
 - (4) All transparent fencing shall be wrought iron, and -- where necessary -- incorporate a berm, three (3) tiered landscaping, and a landscape buffer (i.e. adjacent to any residentially zoned or used property).
 - (5) Outside storage of any kind shall be prohibited.
 - (6) Businesses shall not be allowed to operate within individual storage units.
 - (7) The commercial operation of rental trucks or trailers shall be prohibited.
 - (8) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on the Subject Property.
- Understood – note added to plans
26. **M.26:** Please review the attached draft ordinance prior to the January 31, 2023 Planning & Zoning Commission meeting, and provide staff with your markups by February 7, 2023.
- Revised plans submitted.
27. **I.27:** Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and provide any additional information that is requested. Revisions for this case will be due on February 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the February 14, 2023 Planning and Zoning Commission Public Hearing Meeting. The

Planning and Zoning Commission Work Session Meeting for this case will be held on January 31, 2023.

- [Acknowledged](#)
28. **I.28:** The projected City Council meeting dates for this case will be February 21, 2023 (1st Reading) and March 6, 2023 (2nd Reading).
- [Acknowledged](#)
29. **M.29:** Must include a 15x24' turnaround for the parking area shown.
- [Area added](#)
30. **M.30:** What is this area for? may need to be stripped no parking.
- [Additional maneuvering](#)
31. **M.31:** Where is the dumpster?
- [Internal roll-out can for limited office trash. No on site dumpster proposed.](#)
32. **M.32:** Something doesn't look correct here. There is a 20' easement on the adjacent property and it looks like the proposed landscape buffer is in the adjacent property.
- [Topographic survey to be provided. Aerial image improperly scaled corrected.](#)
33. **I.33:** Must meet City Standards of Design and Construction
- [Acknowledged](#)
34. **I.34:** 4% Engineering Inspection Fees
- [Acknowledged](#)
35. **I.35:** Impact Fees for expansion
36. **I.36:** Minimum easement width is 20' for new easements. No structures allowed in easements.
- [Acknowledged](#)
37. **I.37:** Retaining walls 3' and over must be engineered.
38. **I.38:** All retaining walls, exposed slab, or exposed curb 18" or taller must be rock or stone face. No smooth concrete walls.
39. **I.39:** Must plat the property.
- [Acknowledged](#)
- I.40:** TxDOT permits required to be in TxDOT ROW.
- I.41:** All existing above ground utilities must be buried per the zoning.
- [Note added](#)

I.42: Parking to be 20'x9' facing the building or nose-to-nose.

- Spaces verified

I.43: No dead-end parking allowed, must have a City approved turnaround.

- Proposed

I.44: Drive isles to be 24' wide. Acknowledged

- Acknowledged

I.45: Fire Lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum. - Fire lane to be in a platted easement.

Acknowledged

I.46: Goliad sidewalk pro-rata = \$17.50/lf

Acknowledged

I.47: Make sure that the 25'x25' visibility easement at the Goliad intersection is clear.

I.48: Show proposed utility lines (Water, Sewer, etc.)

- Utility connections to be provided.

I.49: Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)

Acknowledged

I.50: Full panel replacement for water line taps.

I.51: One fire hydrant will be needed. Additional hydrants may be needed based on site layout.

I.52: Sewer connection will need to be at a manhole, a new manhole may be required.

I.53: Detention is required. Runoff coefficient calculated based on zoning. C-value goes from 0.35 to 0.9 for entire site.

I.54: Dumpster areas to drain to oil/water separator and then to the storm lines.

- No dumpster proposed.

I.55: No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

Acknowledged

I.56: No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Acknowledged

I.57: Fire apparatus access road coverage needs to be reviewed as part of future submittals

END OF RESPONSE
JOE@DESIGNHAUS.COM

JOE LATOZAS (248) 601.4422
DESIGNHAUS ARCHITECTURE

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 68 (PD-68) [ORDINANCE NO. 17-05] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *MINI-WAREHOUSE FACILITY* ON A 3.15-ACRE TRACT OF LAND IDENTIFIED AS LOTS 1 & 2, BLOCK A, EASTSHORE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) for a *Mini-Warehouse Facility* on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 68 (PD-68) [Ordinance No. 17-05] and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 68 (PD-68) [Ordinance No. 17-05] and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Mini-Warehouse Facility* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02] on the *Subject Property*, and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Planned Development District 68 (PD-68) [Ordinance No. 17-05] and Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial*

District Standards; Subsection 04.05, *Commercial (C) District*; and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Mini-Warehouse Facility* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The proposed *Mini-Warehouse Facility* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- 2) The proposed *Mini-Warehouse Facility* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; however, this operational condition does not waive or grant variances or exceptions to any requirements associated with the *General Overlay District Standards* and/or *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), which will be reviewed and acted upon by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of *Site Plan*.
- 3) The maximum number of storage units permitted on the *Subject Property* shall be limited to 600 storage units.
- 4) All transparent fencing shall be wrought iron, and -- *where necessary* -- incorporate a berm, three (3) tiered landscaping, and a landscape buffer (*i.e. adjacent to any residentially zoned or used property*).
- 5) Outside storage of any kind shall be prohibited.
- 6) Businesses shall not be allowed to operate within individual storage units.
- 7) The commercial operation of rental trucks or trailers shall be prohibited.
- 8) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this Ordinance No. 23-XX; SUP # S-XXX

ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF MARCH, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

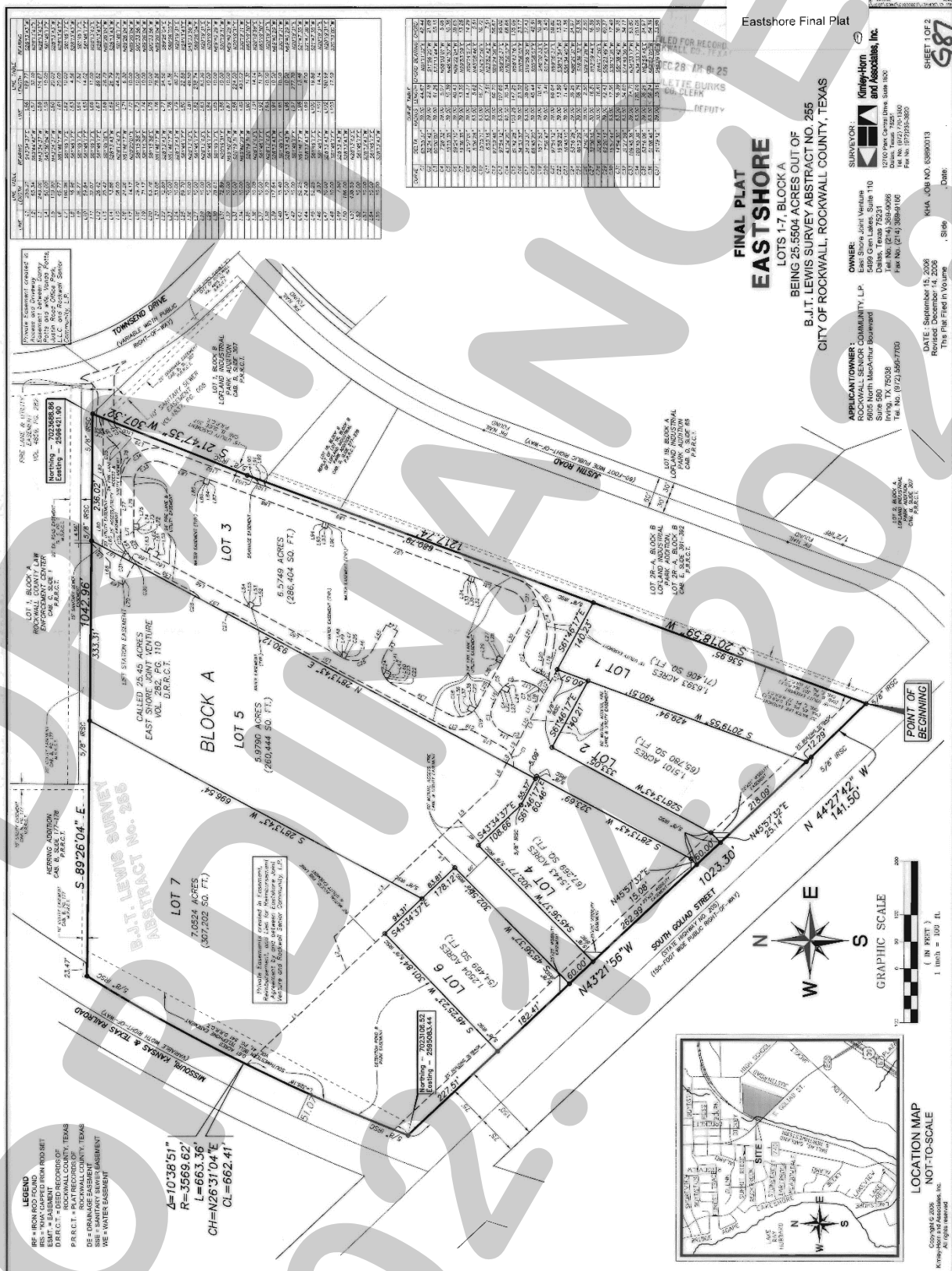
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK A, EASTSHORE ADDITION



SHEET 2 OF 2
588

City of Rockwall, Texas

Exhibit 'B': Concept Plan

DESIGNHAUS ARCHITECTURE 151 1898	300 AUBURN RD, SUITE 300 AUBURN HILLS, MI 48026 T: 248.601.4422 F: 248.453.8854 INFO@DESIGNHAUS.COM	Goliad St. Rockwall, TX Storage Code Number: Z2023-004 Parcel: 70573 & 70574 Rockwall, TX 75087	\$100 02/01	Site Plan
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**Goliad St.
Rockwall, TX 75087**
 Proposed S.U.P Request
 Parcel: 70573 & 70574
 +/- 3.15 Acres (137,186 +/- Sq.Ft.)
 Zoning: PD-68 Planned Development
 Max. Height: 36' Single Story
 Lot Coverage: Max. 45%

Setbacks: Front 20'
 Side 13'
 Rear 10'

Proposed Project Information
 2 Climate Controlled Storage Buildings with
 Limited Drive-Up Access

Building A: 30,500 GSF
 Lower Level: 30,500 GSF
 Building B: 30,560 GSF
 Total: 91,560 GSF

Proposed Coverage:
 61,000 Sq. Ft. (+/- 44.50%)

Proposed Units: 600 units total

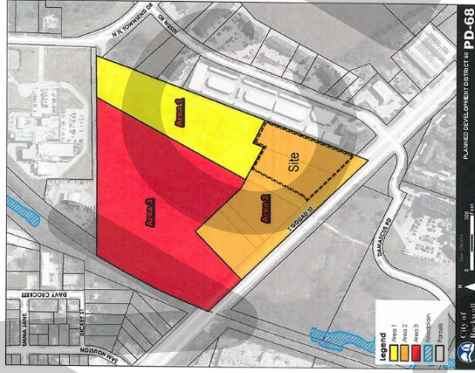


Exhibit 'C': Concept Building Elevations

A200	E2024	Building A Elevations	Ballad St Rockwall, TX Storage Rockwall, TX 75087 Case Number: Z0203-003	<div> <div> <div>DESIGNHAUS</div> <div>EST 1998</div> </div> <div> <div>ARCHITECTURE</div> <div>WWW.DESIGNHAUS.COM</div> <div>3000 AUBURN RD, SUITE 300</div> <div>AUBURN HILLS, MI 48326</div> <div>T:248.501.4422 F:248.453.5554</div> <div>INFO@DESIGNHAUS.COM</div> </div> </div>	<div> <div>DESIGNHAUS</div> <div>EST 1998</div> </div> <div> <div>ARCHITECTURE</div> <div>WWW.DESIGNHAUS.COM</div> <div>3000 AUBURN RD, SUITE 300</div> <div>AUBURN HILLS, MI 48326</div> <div>T:248.501.4422 F:248.453.5554</div> <div>INFO@DESIGNHAUS.COM</div> </div>
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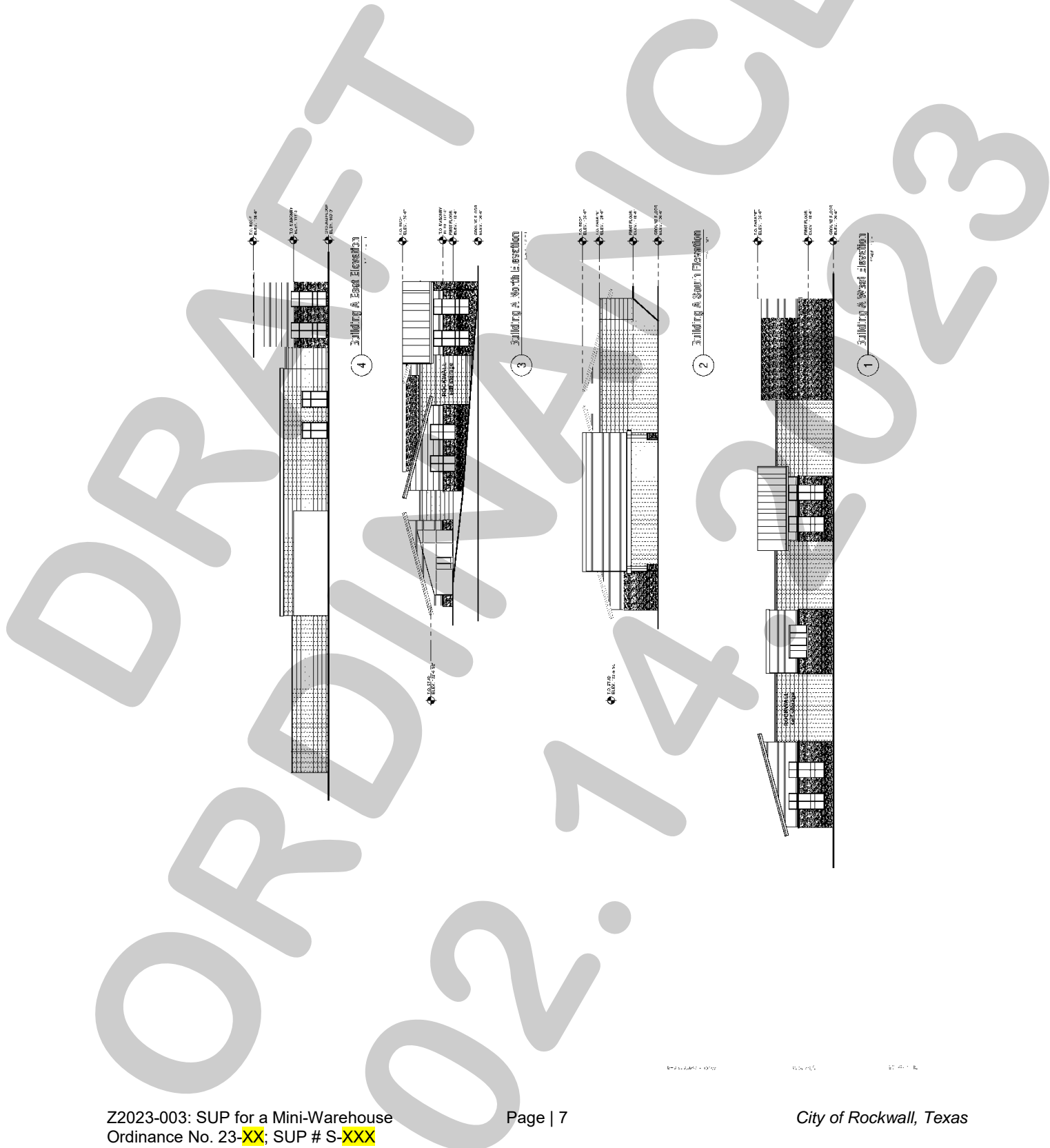
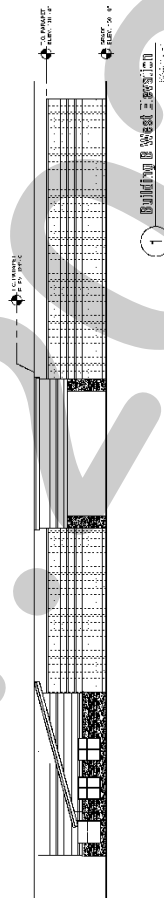
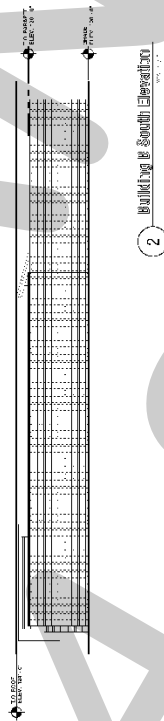
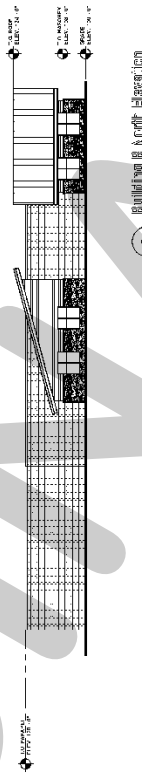
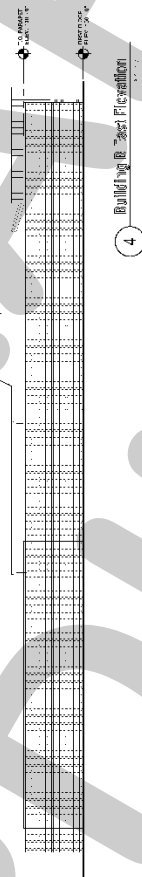


Exhibit 'C': Concept Building Elevations

DESIGNHAUS 1898 EST		ARCHITECTURE 1898		3900 AUBURN RD, SUITE 300 AUBURN HILLS, MI 48326 T:248.601.4422 F:248.452.6654 WWW.DESIGNHAUS.COM INFO@DESIGNHAUS.COM	
Building B Elevations 02/20/24 A201					
Go!ad St Rockwall, TX Storage Project: 22023-003 Client: 22023-003					
Date: 02/20/24 Drawn by: JLP Checked by: JLP Project: 22023-003 Sheet: 1 of 1					





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: February 21, 2023
APPLICANT: Mike Pizzola; *Designhaus Architecture*
CASE NUMBER: Z2023-004; *Specific Use Permit (SUP) for a Mini-Warehouse*

SUMMARY

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a *Mini-Warehouse* on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the City's *Historic Zoning Maps*, at some point between annexation and January 3, 1972 the subject property was rezoned to a Light Industrial (LI) District. This zoning designation was again changed to a Commercial (C) District at some point between December 7, 1993 and April 5, 2005. On August 21, 2006 the City Council approved Planned Development District 68 (PD-68) [*Ordinance No. 06-32; Z2006-013*] changing the zoning of the subject property to allow limited Commercial (C) District land uses. Following this approval, the City Council approved a *Master Plat [Case No. P2006-043]* and a *Preliminary Plat [Case No. P2006-044]* on October 16, 2006. These cases were followed by the approval, of a *Final Plat [Case No. P2006-056]* designating the subject property as Lots 1 & 2, Block A, Eastshore Addition. This subdivision plat was filed with Rockwall County on December 28, 2006. Regardless of these approvals, the subject property has remained vacant since annexation.

PURPOSE

On January 20, 2023, the applicant -- *Mike Pizzola of Designhaus Architecture* -- submitted an application requesting a Specific Use Permit (SUP) for the *Mini-Warehouse* land use for the purpose of constructing two (2) climate controlled *Mini-Warehouse* buildings on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located north of the intersection of Justin Road and S. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

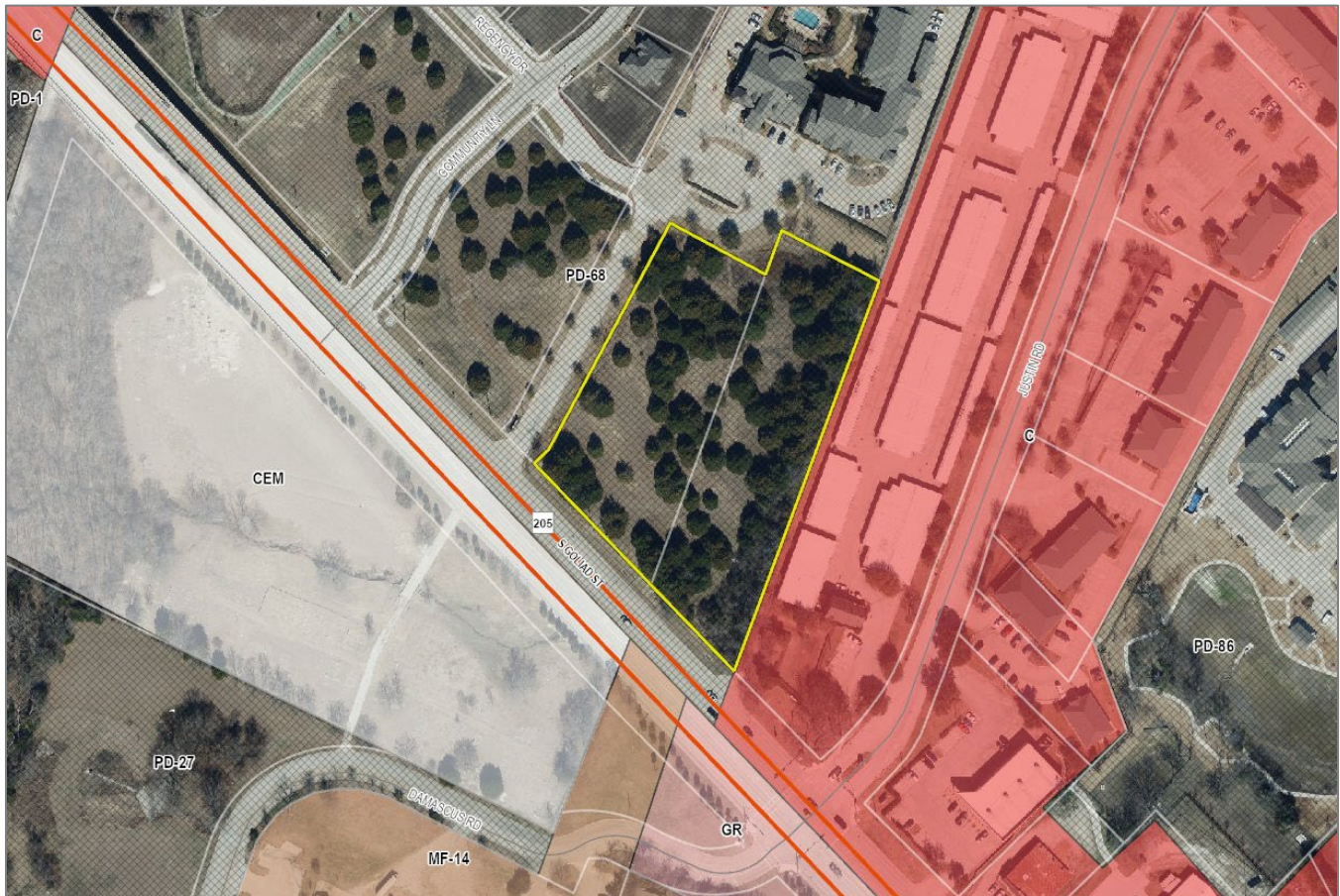
North: Directly north of the subject property is an *Age Restricted Apartment Complex (i.e. Evergreen Apartments)* on a 6.579-acre parcel of land (*i.e. Lot 3, Block A, Eastshore Addition*). Beyond this is the Standard of Rockwall an *Age Restricted Residential Subdivision* that was established on October 28, 2018 that consists of 47 single-family residential lots. Both of these properties are zoned Planned Development District 68 (PD-68).

South: Directly south of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway is a *Cemetery* owned by the City of Rockwall and zoned Cemetery (CEM) District.

East: Directly east of the subject property is a *Mini-Warehouse* facility (i.e. *Advantage Self-Storage*), which consists of 555 units on a 4.8164-acre parcel of land (i.e. *Lot 2R-A, Block B, Lofland Industrial Park Addition*). This property is zoned Commercial (C) District. Beyond this is Justin Road, which is identified as a M4U (i.e. *major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this, are six (6) *Offices* (i.e. *Airrostri Rehab Center, Nation Wide Insurance, K&S Insurance Agency, etc.*) and a *General Retail Store* (i.e. *AutoZone*). All of these properties are zoned Commercial (C) District.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. *principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this roadway is a *Cemetery* owned by the City of Rockwall and zoned Cemetery (CEM) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and conceptual building elevations detailing the anticipated layout of the proposed *Mini-Warehouse* facility. According to the concept plan the proposed facility will be composed of two (2) buildings -- one (1) being 61,000 SF and one (1) being 30,560 SF -- with a total building foot print of 61,000 SF and a gross building area of 91,560 SF. The proposed facility will consist of 600 climate-controlled storage units with limited drive-up access. The subject property is situated directly adjacent to an existing *Mini-Warehouse* facility that has 555 storage units, and two (2) residential land uses (i.e. *the Standard of Rockwall and Evergreen Apartments*). The proposed facility will take access off of an existing cross access easement that serves as the primary ingress/egress for the *Evergreen Apartments*, and will have direct adjacency to S. Goliad Street [SH-205].

CONFORMANCE WITH THE CITY'S CODES

Planned Development District 68 (PD-68) [Ordinance No. 17-05] designates the subject property for limited Commercial (C) District land uses, and -- according to the *Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC)* -- the *Mini-Warehouse* land use requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of requiring a Specific Use Permit (SUP) in a Commercial (C) District for this land use is tied to the fact that the Commercial (C) District zoning designation is typically located along the City's major roadways on properties that are highly visible. In addition, the Specific Use Permit (SUP) allows the City Council to review these types of requests on a *case-by-case* basis to: [1] ensure that the proposed product is appropriate for the existing (*and future*) land uses, and [2] to prevent a proliferation of this type of land use in the City's commercial/retail corridors. More simply stated, this land use may *not* be appropriate on all properties zoned Commercial (C) District. In addition, Section 02, *Conditional Land Use Standards and Definitions*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) also requires the following *Conditional Land Use Standards* as part of the establishment of this land use [for reference staff has provided a summary of the applicant's proposal adjacent to the standards and its compliance to the requirements]:

TABLE 1: CONDITIONAL LAND USE STANDARDS FOR THE MINI-WAREHOUSE LAND USE

CONDITIONAL LAND USED REQUIREMENTS	PROPOSED CONCEPT PLAN	COMPLIANCE TO THE REQUIREMENTS
THE MAXIMUM SITE AREA SHALL NOT EXCEED FIVE (5) ACRES.	3.15-ACRES	IN CONFORMANCE
THE MAXIMUM NUMBER OF STORAGE UNITS SHALL NOT EXCEED 125 UNITS/ACRE.	393 UNITS ARE PERMITTED BY-RIGHT. THE APPLICANT HAS INDICATED THE FACILITY WILL CONSIST OF 600 UNITS OR 207 MORE THAN WHAT IS PERMITTED.	NOT IN COFORMANCE
THE MAXIMUM HEIGHT SHALL NOT EXCEED ONE (1) STORY.	BUILDING 'A' IS TWO (2) STORIES IN HEIGHT.	NOT IN COFORMANCE
THE MINIMUM NUMBER OF PARKING SPACES REQUIRED IS TWO (2). PARKING REQUIREMENT IS THREE (3) SPACES PLUS ONE (1) SPACE PER 100 UNITS.	TEN (10) PARKING SPACES SHOWN ON THE CONCEPT PLAN; HOWEVER ONLY FOUR (4) ARE ACCESSIBLE TO THE PUBLIC. THIS FACILITY REQUIRES A MINIMUM OF 11 PARKING SPACES.	NOT IN CONFORMANCE
NO DIRECT ACCESS FROM FM-740, SH-205, SH-66, SH-276, FM-3097, FM-552, FM-549, AND/OR JOHN KING BOULEVARD.	THE PROPERTY TAKES ACCESS FROM AN EXISTING CROSS ACCESS EASEMENT; HOWEVER, THE SITE IS ACCESSED DIRECTLY FROM SH-205.	NOT IN COFORMANCE
OVERHEAD DOORS SHALL NOT FACE ADJACENT TO A STREET.	THE UNITS ARE INTERNAL TO THE BUILDING AND ARE NOT VISIBLE FROM A STREET.	IN CONFORMANCE
ALL EXTERIOR WALLS FACING THE FRONT, SIDE, AND REAR PROPERTY LINES SHALL BE 100% BRICK CONSTRUCTION.	THE CONCEPTUAL BUILDING ELEVATIONS PROVIDED BY THE APPLICANT ARE NOT IN COMPLIANCE WITH THIS REQUIREMENT.	NOT IN CONFORMANCE
THE FRONT, SIDE, AND REAR YARD BUILDING SETBACK SHALL INCORPORATE CLUSTERED LANDSCAPING.	THE APPLICANT'S CONCEPT PLAN DOES SHOW LANDSCAPING IN ALL SETBACKS; HOWEVER, THIS IS A REQUIREMENT OF THE SUP ORDINANCE.	IN CONFORMANCE
GATES SHALL BE INCORPORATED LIMITING ACCESS TO THE FACILITY.	THE CONCEPT PLAN INDICATES THAT THE PROPOSED FACILITY WILL BE GATED.	IN CONFORMANCE
SCREENING FENCES SHALL BE WROUGHT IRON OR MASONRY.	THE PLAN INDICATES THAT THE FACILITY WILL BE ENCLOSED BY A SIX (6) FOOT WROUGHT IRON FENCE.	IN CONFORMANCE
CONCRETE SHALL BE USED FOR ALL PAVING.	ALL DRIVEWAYS, FIRE LANES, AND APPROACHES WILL BE REQUIRED TO BE CONCRETE.	IN CONFORMANCE

ROOF SHALL HAVE A MINIMUM ROOF PITCH OF 1:3 AND BE CONSTRUCTED OF STANDING SEAM METAL.	THE ROOF PITCH FOR THE PITCHED ROOF ELEMENTS IS 1:4, WHICH IS IN CONFORMANCE; HOWEVER, THE BUILDING ALSO INCORPORATES A FLAT ROOF DESIGN.	NOT IN COFORMANCE
LIGHTING STANDARDS SHALL BE LIMITED TO A MAXIMUM OF 20-FEET.	LIGHT STANDARDS WILL BE REQUIRED TO BE A MAXIMUM OF 20-FEET PER THE OVERLAY DISTRICT STANDARDS.	IN CONFORMANCE
A SINGLE RESIDENTIAL UNIT NOT EXCEEDING 1,600 SF IN SIZE IS PERMITTED.	NO RESIDENTIAL UNIT IS BEING PROPOSED.	IN CONFORMANCE
OUTSIDE STORAGE IS PROHIBITED.	NO OUTSIDE STORAGE WILL BE PERMITTED.	IN CONFORMANCE

Due to the residential adjacency along the northern and western property lines (*i.e. Evergreen Apartments*), this property is subject to the screening requirements stipulated by Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). These standards state that any non-residential land use that is adjacent to a residentially zoned or used property is required to construct a six (6) foot masonry fence with canopy trees along the entire length of the adjacency; however, “ (a)s an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees*) along the entire length of the adjacency.” Staff has included an *Operational Condition* in the Specific Use Permit (SUP) that requires this screening along the northern and western boundaries of the subject property.

In addition to the *Conditional Land Use Standards* and the residential adjacency standards, the proposed *Mini-Warehouse* facility will be subject to the requirements of Planned Development District 68 (PD-68), and the *General Overlay District Standards* and the *General Commercial District Standards* of the Unified Development Code (UDC). These requirements and the conformance of the applicant's request are summarized as follows:

TABLE 2: DENSITY AND DIMENSIONAL REQUIREMENTS FOR THE SUBJECT PROPERTY

ORDINANCE PROVISIONS	ZONING DISTRICT STANDARDS	CONFORMANCE TO THE STANDARDS
MINIMUM LOT AREA	10,000 SF	3.15-ACRES; IN CONFORMANCE
MINIMUM LOT FRONTAGE	60-FEET	~371.88-FEET; IN CONFORMANCE
MINIMUM LOT DEPTH	100-FEET	~333.05-FEET; IN CONFORMANCE
MINIMUM FRONT YARD SETBACK	15-FEET	20-FEET; IN CONFORMANCE
MINIMUM REAR YARD SETBACK (ADJACENT TO RESIDENTIAL)	20-FEET + 1/2H>36	~20-FEET; IN CONFORMANCE
MINIMUM SIDE YARD SETBACK (ADJACENT TO RESIDENTIAL)	20-FEET + 1/2H>36	32' 1"-FEET; IN CONFORMANCE
MINIMUM SIDE YARD SETBACK	10-FEET	13-FEET; IN CONFORMANCE
MAXIMUM BUILDING HEIGHT	60-FEET	47' 7½"; IN CONFORMANCE
BETWEEN BUILDINGS	15-FEET	40' 5"; IN CONFORMANCE
MAX BUILDING/LOT COVERAGE	60%	44.50%; IN CONFORMANCE
MASONRY REQUIREMENT	90%	X<90%; NOT CONFORMANCE
NATURAL STONE REQUIREMENT	20% ON EACH FAÇADE	X<20%; NOT CONFORMANCE
MINIMUM LANDSCAPING PERCENTAGE	20%	X>20%; IN CONFORMANCE
MAXIMUM IMPERVIOUS COVERAGE	85-90%	X<85%; IN CONFORMANCE

NOTES

H: BUILDING HEIGHT; 1/2H>36: ONE-HALF THE BUILDING HEIGHT OVER 36-FEET.

Staff should point out that the building elevations provided by the applicant do not meet the *General Commercial District Standards* or the *General Overlay District Standards*. Specifically, the required materials, form, architectural elements, and articulation of the building all appear to be deficient. In response to staff pointing this out, the applicant has provided a letter indicating that it is their intent to meet the architectural requirements of the Unified Development Code (UDC). Based on this, staff has included an *Operational Condition* in the Specific Use Permit (SUP) ordinance stating that the approval of this case does not grant any variances associated with the design standards and that these will be reviewed for compliance by the Planning and Zoning Commission and Architectural Review Board (ARB) at the time of *Site Plan*.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject is situated within the *Central District* and is designated for *Commercial/Retail* land uses. This land use designation is defined as being "... characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions." According to the *District Strategies* for the *Central District*, properties designated for *Commercial/Retail* land uses "... are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (*i.e. are more characteristic of neighborhood/convenience centers*); ..."

STAFF ANALYSIS

In this case, the applicant's request does not conform with the *Conditional Land Use Standards*, density and dimensional requirements, and *General Overlay District Standards* for the *Mini-Warehouse* land use in Planned Development District 68 (PD-68) as stipulated by the Unified Development Code (UDC). As staff has stated in previous cases requesting Specific Use Permits (SUP) for the *Mini-Warehouse* land use, the *Conditional Land Use Standards* contained in the Unified Development Code (UDC) were intended to regulate "... campus style facilities that incorporate several buildings, generally being one (1) story in height, and have storage units that are accessible from the exterior of the building ..." [Case No. Z2014-012]; however, in this case the applicant is proposing a different type of product that is enclosed and climate controlled. With this being said, the applicant's proposal exceeds the number of units permitted by 207 units, is deficient in parking by seven (7) parking spaces, and does not conform to the material requirements or roof pitch requirements as stipulated by the *Conditional Land Use Standards*. In addition, it is worth noting that adding 600 units adjacent to the existing 555 unit *Mini-Warehouse Facility* south of the subject property will create one of the highest density nodes of *Mini-Warehouse* units in the City. For reference staff has included a map of all of the existing (*and proposed*) *Mini-Warehouse Facilities* and their unit counts in the attached packet. Staff should also note, that based on the *District Strategies* contained in the OURHometown Vision 2040 Comprehensive Plan, the applicant's request does not appear to conform to the Comprehensive Plan. Specifically, the *Mini-Warehouse* land use is not looked at as a convenience shopping center for the adjacent residential, and the scale of the building is *not* compatible with the adjacent residential land uses. With this being said, a request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On January 27, 2023, staff mailed 55 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone Estates Homeowner's Association (HOA), which is the only Homeowners' Association (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) property owner notifications from two (2) non-residential properties in the 500-foot notification buffer in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Mini-Warehouse* facility, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the *Operational Conditions* contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (A) The proposed *Mini-Warehouse Facility* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
 - (B) The proposed *Mini-Warehouse Facility* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; however, this operational condition does not waive or grant variances or exceptions to any requirements associated with the *General Overlay District Standards* and/or *General Commercial*

District Standards as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), which will be reviewed and acted upon by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of *Site Plan*.

- (C) The maximum number of storage units permitted on the *Subject Property* shall be limited to 600 storage units.
 - (D) All transparent fencing shall be wrought iron, and -- *where necessary* -- incorporate a berm, three (3) tiered landscaping, and a landscape buffer (*i.e. adjacent to any residentially zoned or used property*).
 - (E) Outside storage of any kind shall be prohibited.
 - (F) Businesses shall not be allowed to operate within individual storage units.
 - (G) The commercial operation of rental trucks or trailers shall be prohibited.
 - (H) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on the *Subject Property*.
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On February 14, 2023, the Planning and Zoning Commission approved a motion to recommend denial of the applicant's request by a vote of 6-1 with Commissioner Llewelyn. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)f such change [zoning change or *Specific Use Permit (SUP)*] is recommended for denial by the Planning and Zoning Commission, such zoning change or *Specific Use Permit (SUP)* shall require a supermajority vote (*i.e. three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."

NOTE: *As a general note, staff should point out that the applicant failed to address staff's comments by the comment deadline, and sent concept plan revisions to staff after the Planning and Zoning Commission packets were sent out. Staff did adjust the case prior to the Planning and Zoning Commission meeting for the resubmitted materials; however, at the meeting on February 14, 2023, the applicant indicated they had additional revisions and revised building elevations. While indicating this in the meeting, the applicant failed to provide these revisions to the Planning and Zoning Commission and/or staff, and as of the date of this case memo has not submitted these revisions to staff. Staff is pointing this out to bring attention to Subsection 02.03, Procedures for Zoning Applications, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), which states "(n)ew matters of evidence not presented to the Planning and Zoning Commission shall not be heard or considered by the City Council with relation to public hearing for zoning changes, Specific Use Permits (SUP), or text amendments." In the event the applicant brings forward new materials/revisions for this case at the City Council meeting, the City Council would have the choice of the following actions: [1] remanding this case back to the Planning and Zoning Commission, [2] allowing the applicant to withdraw and resubmit a new application, or [3] acting on the original request.*



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Not Established		
SUBDIVISION		LOT	BLOCK
GENERAL LOCATION	North side S Goliad St. Between Community Lane and Justin Rd.		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-68	CURRENT USE	Vacant	
PROPOSED ZONING	Commercial	PROPOSED USE	Climate Controlled Self-Storage	
ACREAGE	3.15 Acres	LOTS [CURRENT]	1	LOTS [PROPOSED]
				1

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Viper Development	<input checked="" type="checkbox"/> APPLICANT	Designhaus Architecture
CONTACT PERSON		CONTACT PERSON	Mike Pizzola
ADDRESS	2785 N Bogus Basin Rd.	ADDRESS	3300 Auburn Rd. #300
CITY, STATE & ZIP	Boise, ID 83702	CITY, STATE & ZIP	Auburn Hills, MI 48326
PHONE	208.629.2952	PHONE	248.601.4422 x204
E-MAIL		E-MAIL	mike@designhaus.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

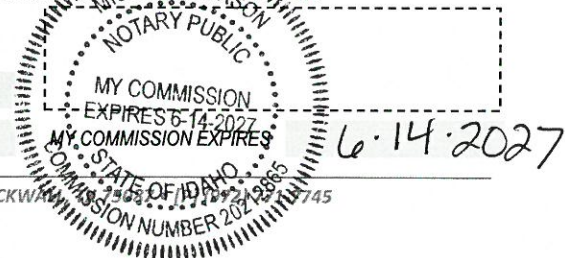
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF January, 2023

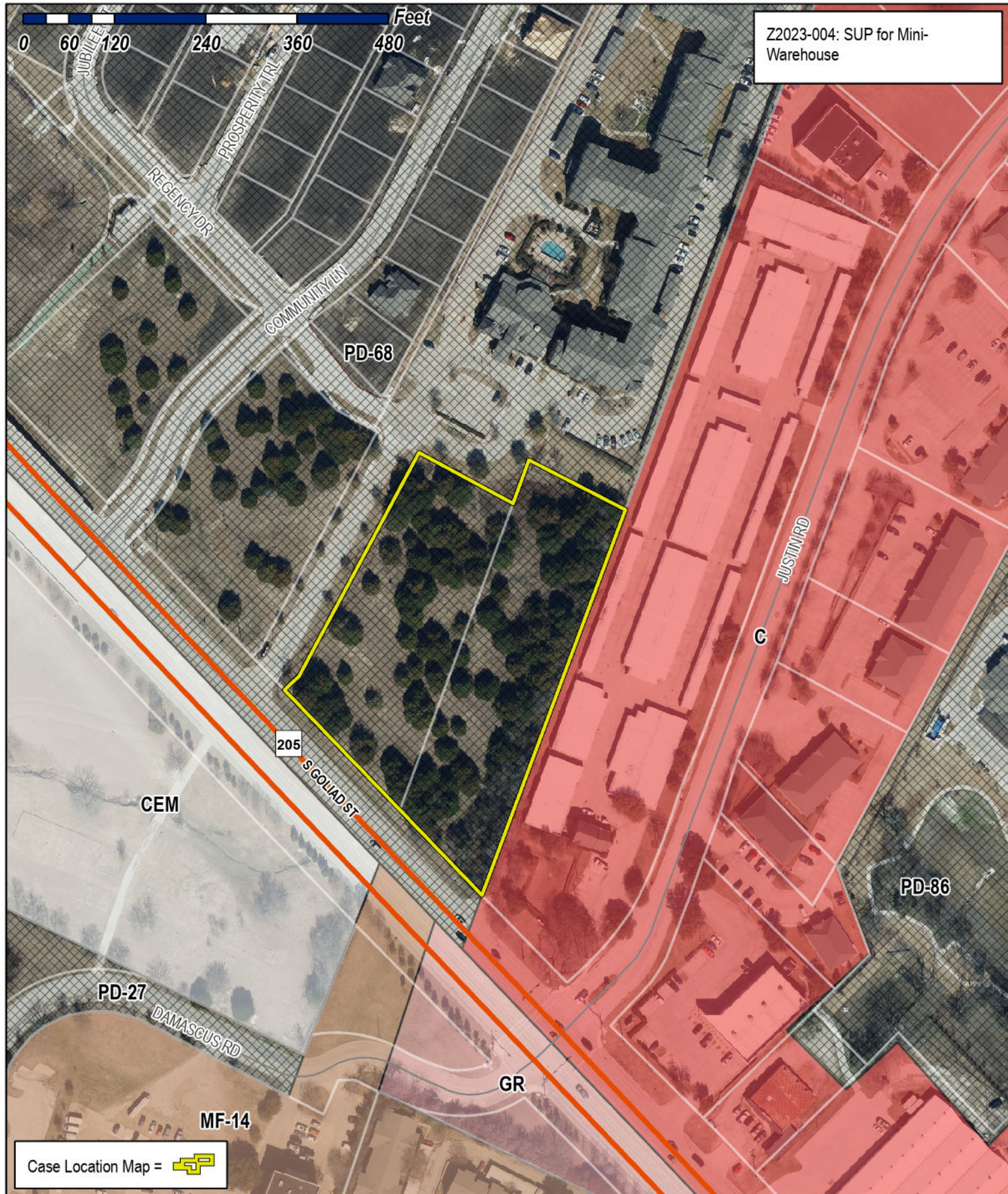
OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature: Michelle Jansen]





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

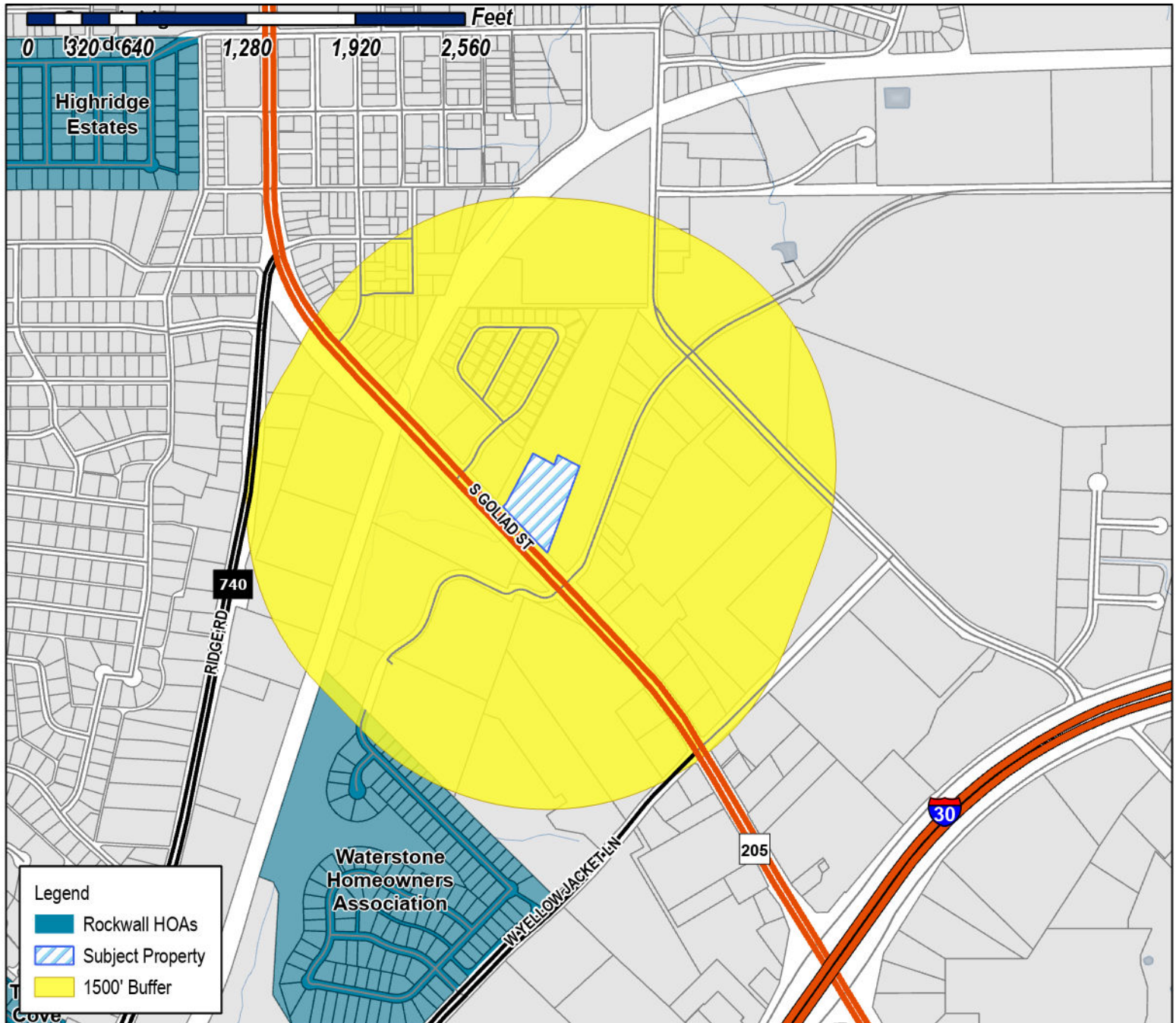




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-004
Case Name: SUP for Mini-Warehouse
Case Type: Zoning
Zoning: Planned Development District 68 (PD-68)
Case Address: N Corner of S Goliad Street and Justin Road

Date Saved: 1/20/2023

For Questions on this Case Call (972) 771-7745



From: [Chapin, Sarah](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-004]
Date: Thursday, January 26, 2023 12:24:08 PM
Attachments: [HOA Map \(01.20.2023\).pdf](#)
[Public Notice Z2023-004.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on January 27, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-004: SUP for a Mini-Warehouse

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 68 (PD-68) District for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Sarah Chapin

Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-004
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Zoning: Planned Development District 68 (PD-68)
Case Address: N Corner of S Goliad Street and Justin Road

Date Saved: 1/20/2023

For Questions on this Case Call (972) 771-7745



OCCUPANT
1407 S GOLIAD
ROCKWALL, TX 75087

LEGACY 316 BJJ HOLDINGS LLC
519 E INTERSTATE 30 #605
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
651 JUSTIN RD
ROCKWALL, TX 75087

AUTO ZONE INC
DEPARTMENT #8088
PO BOX 2198
MEMPHIS, TN 38101

OCCUPANT
761 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
1325 S GOLIAD
ROCKWALL, TX 75087

ROCKWALL SENIOR COMMUNITY LP
C/O LIFENET COMMUNITY BEHAVIORAL
HEALTHCARE
5605 N MACARTHUR BLVD, SUITE 580
IRVING, TX 75038

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
721 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

OCCUPANT
701 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

OCCUPANT
677 JUSTIN RD
ROCKWALL, TX 75087

COUCH AND DAVIS PROPERTIES LLC
685 JUSTIN RD
ROCKWALL, TX 75087

OCCUPANT
660 JUSTIN RD
ROCKWALL, TX 75087

PS LPT PROPERTIES INVESTORS
C/O PUBLIC STORAGE (PS #26644)
ATTN: IRMA PIMENTEL REAL ESTATE PARALEGAL
701 WESTERN AVENUE
GLENDALE, CA 91201

OCCUPANT
750 JUSTIN RD
ROCKWALL, TX 75087

1996 OSPREY LLC
PO BOX 1688
ROCKWALL, TX 75087

BREEN & MCKEON LLP
661 JUSTIN RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

WDC PEBBLEBROOK APARTMENTS LLC
M/R
1410 S GOLIAD
ROCKWALL, TX 75087

CITY OF ROCKWALL
1300 S GOLIAD
ROCKWALL, TX 75087

ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
DAMASCUS RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
8235 DOUGLAS AVENUE SUITE 1030
DALLAS, TX 75225

OCCUPANT
1301 S GOLIAD ST
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
604 PROSPERITY TR
ROCKWALL, TX 75087

OCCUPANT
1275 S GOLIAD ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
601 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
623 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
619 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
615 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
611 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
607 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
605 COMMUNITY LN
ROCKWALL, TX 75087

OCCUPANT
606 COMMUNITY LN
ROCKWALL, TX 75087

PAMELA K BEERS REVOCABLE TRUST
PAMELA K BEERS- TRUSTEE
606 COMMUNITY LANE
ROCKWALL, TX 75087

THE STANDARD MCP LTD
602 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
610 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
614 COMMUNITY LN
ROCKWALL, TX 75087

GARCIA ROY AND JENIFER
618 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
622 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
601 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
613 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
609 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
605 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
ROCKWALL, TX 75087

OCCUPANT
1196 N T L TOWNSEND DR
ROCKWALL, TX 75087

ALDERS AT ROCKWALL PROPERTY LLC
5925 FOREST LANE STE 502
DALLAS, TX 75230

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-004: SUP for a Mini-Warehouse

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 68 (PD-68) District for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-004: SUP for a Mini-Warehouse

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-004: SUP for a Mini-Warehouse

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Already storage there - no objection -

Name:

Elizabeth Branch

Address:

721 Justin, Suite A Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-004: SUP for a Mini-Warehouse

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name: Brad Helmer for Heritage Christian Academy
Address: 1408 S. Goliad St. Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

SCREENING ALTERNATIVE 1:
BLACK ORNAMENTAL FENCE AND
3 TIER LANDSCAPE SCREENING

6' DECORATIVE
METAL FENCE

EXISTING 7'
CONCRETE SIDEWALK

EVERGREEN TREES

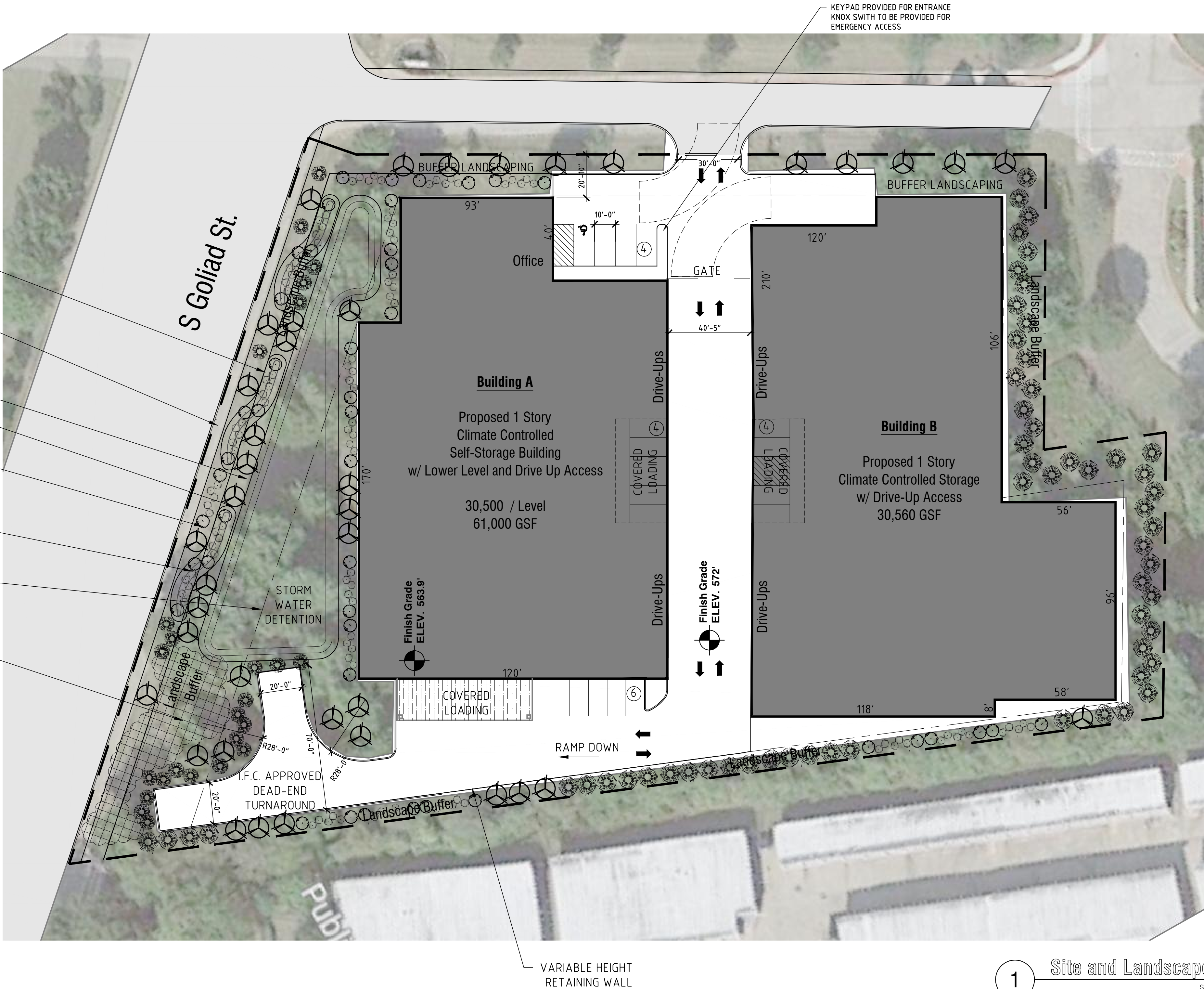
DECIDUOUS TREES

ORNAMENTAL
LANDSCAPE
PLANTINGS

BERM WITH
ORNAMENTAL
PLANTINGS

50' LANDSCAPE BUFFER*
SH-205 SETBACK

EXISTING
VEGETATION
TO REMAIN



1 Site and Landscape Plan
SCALE: 1" = 30'

Goliad St.
Rockwall, TX 75087
Proposed S.U.P Request

Parcel: 70573 & 70574

+/-3.15 Acres (137,186 +/- Sq.Ft.)

Zoning: PD-68 Planned Development

Max. Height: 36' Single Story

Lot Coverage: Max. 45%

Setbacks: Front 25'
Side 13'
Rear 10'

Proposed Project Information
2 Climate Controlled Storage Buildings with
Limited Drive-Up Access

Building A: 30,500 GSF
Lower Level: 30,500 GSF

Building B: 30,560 GSF

Total: 91,560 GSF

Proposed Coverage:
61,000 Sq. Ft. (+/- 44.50%)

Proposed Units: 600 units total

Proposed Parking: 12 parking spaces total

Proposed Utilities to be Buried

No Outside Storage Permitted

No Rental Truck Service Proposed

DESIGNHAUS
ARCHITECTURE

EST
1998

3300 AUBURN RD, SUITE 300
AUBURN HILLS, MI 48326
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

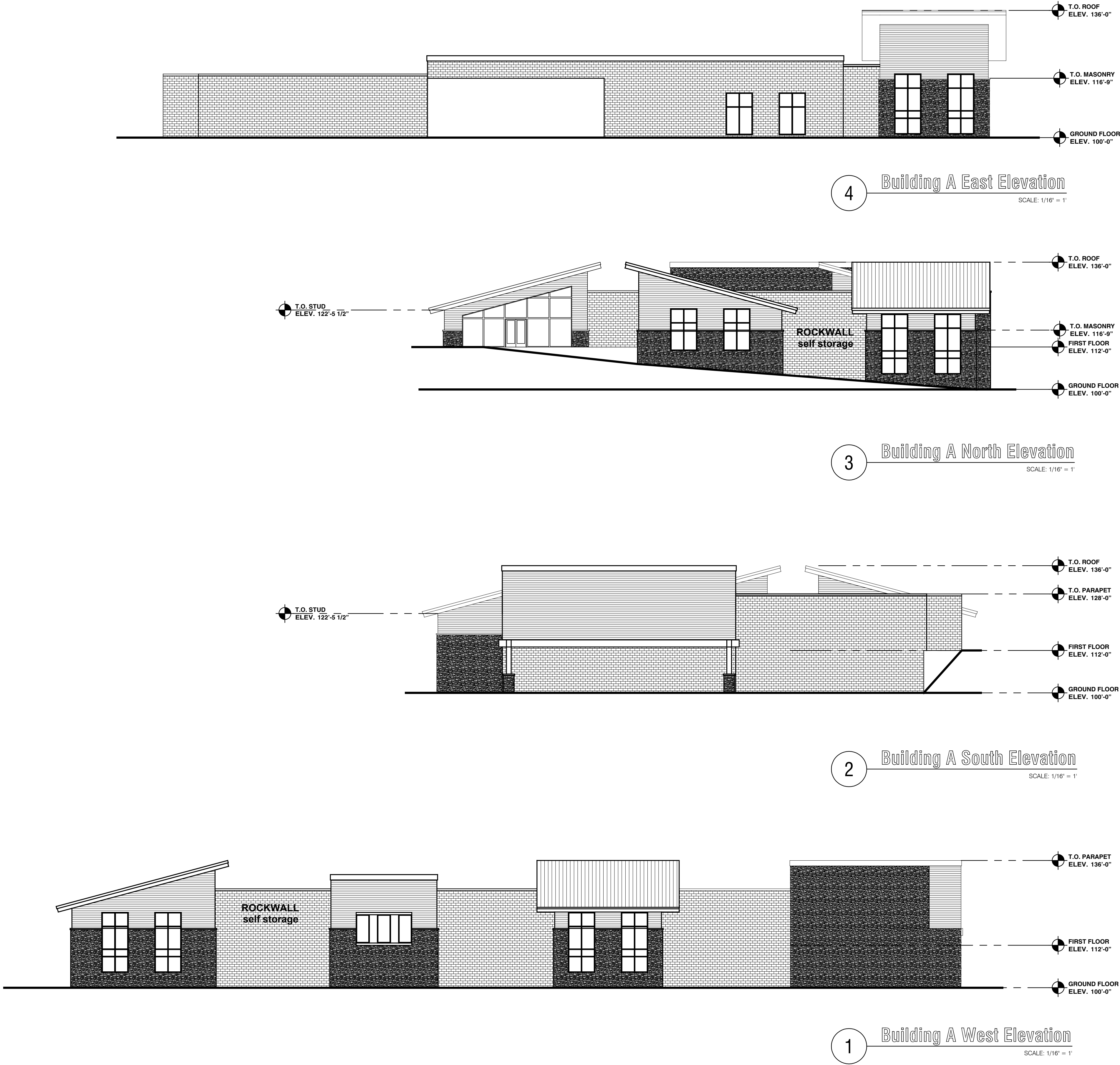
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Revised S.U.P.	23.02.10
S.U.P	23.01.18
Revision/Issue	Date

Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087
Case Number: 22023-004

Site Plan

022074

S100



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Revised S.U.P.	23.02.07
S.U.P	23.01.18
Revision/Issue	Date

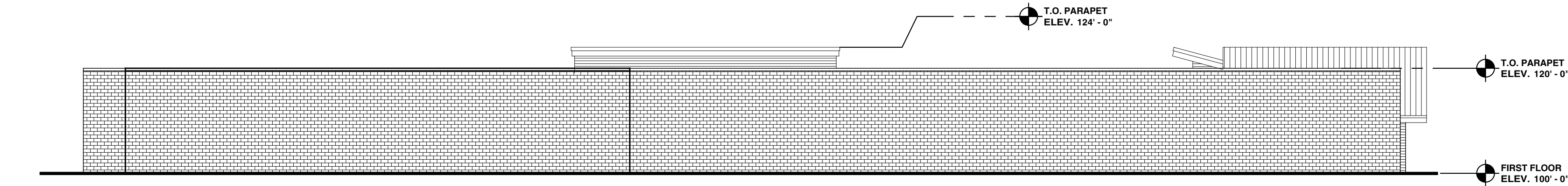
Building A Elevations

022074

A200

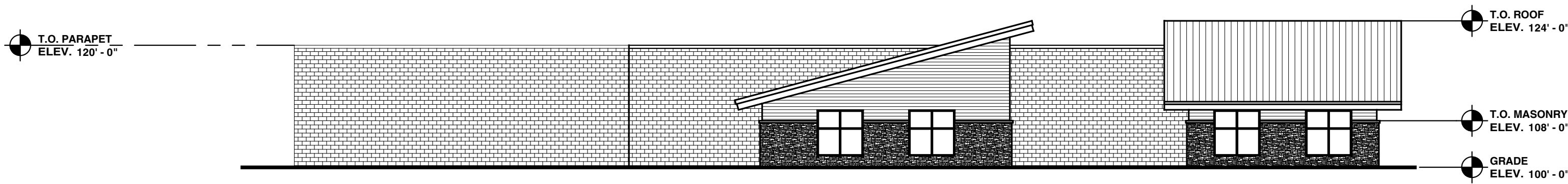
Goliad St. Rockwall, TX Storage

Parcel: 70573 & 70574
Rockwall, TX 75087
Case Number: Z2023-004



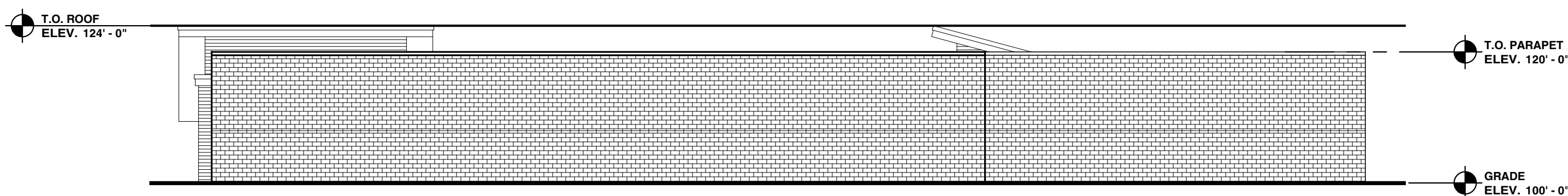
4 Building B East Elevation

SCALE: 1/16" = 1'



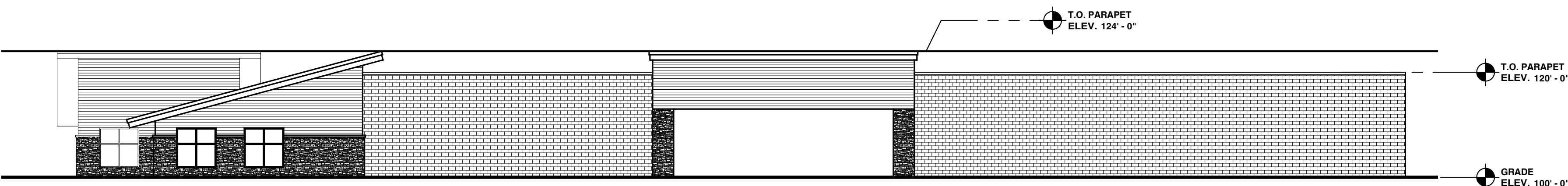
3 Building B North Elevation

SCALE: 1/16" = 1'



2 Building B South Elevation

SCALE: 1/16" = 1'



1 Building B West Elevation

SCALE: 1/16" = 1'

DESIGNHAUS

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INFO@DESIGNHAUS.COM

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Revised S.U.P.	23.02.07
S.U.P	23.01.18
Revision/Issue	Date

Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087
Case Number: Z2023-004

Building B
Elevations

022074

A201



Render 1



Render 2



Render 3



Render 4

A202 Project Renderings.dwg

2/6/2023

Dr User 03

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ARCHITECTURE

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INFO@DESIGNHAUS.COM

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Revised S.U.P.	23.02.09
S.U.P.	23.01.16
Revision/Issue	Date

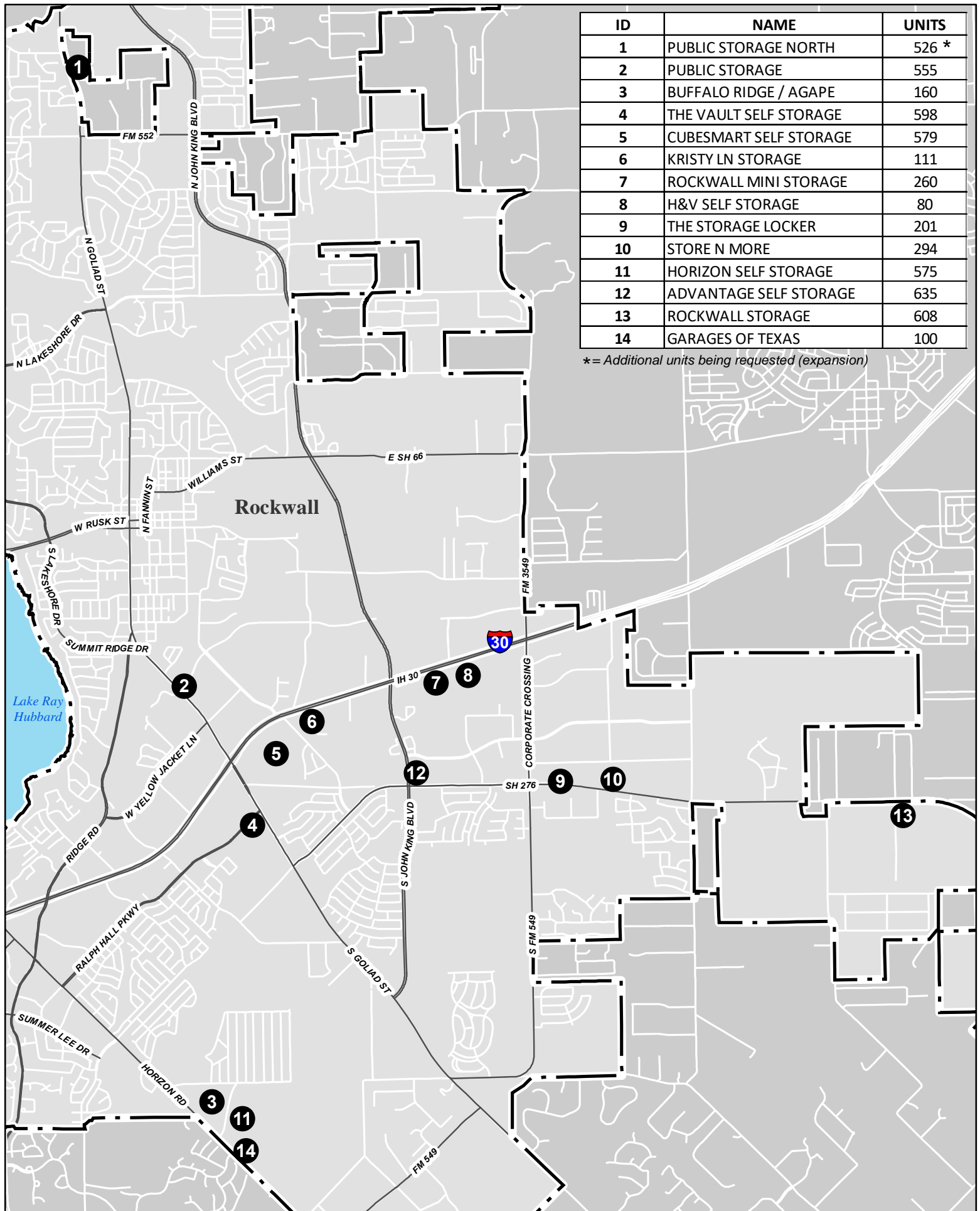
Gollad St. Rockwall, TX Storage

Parcel: 70573 & 70574
Rockwall, TX 75087
Case Number: Z2023-004

Project Renderings

022074

A202



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 68 (PD-68) [ORDINANCE NO. 17-05] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *MINI-WAREHOUSE FACILITY* ON A 3.15-ACRE TRACT OF LAND IDENTIFIED AS LOTS 1 & 2, BLOCK A, EASTSHORE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) for a *Mini-Warehouse Facility* on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 68 (PD-68) [Ordinance No. 17-05] and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 68 (PD-68) [Ordinance No. 17-05] and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Mini-Warehouse Facility* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Planned Development District 68 (PD-68) [Ordinance No. 17-05] and Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial*

District Standards; Subsection 04.05, *Commercial (C) District*; and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Mini-Warehouse Facility* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The proposed *Mini-Warehouse Facility* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- 2) The proposed *Mini-Warehouse Facility* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; however, this operational condition does not waive or grant variances or exceptions to any requirements associated with the *General Overlay District Standards* and/or *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), which will be reviewed and acted upon by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of *Site Plan*.
- 3) The maximum number of storage units permitted on the *Subject Property* shall be limited to 600 storage units.
- 4) All transparent fencing shall be wrought iron, and -- *where necessary* -- incorporate a berm, three (3) tiered landscaping, and a landscape buffer (*i.e. adjacent to any residentially zoned or used property*).
- 5) Outside storage of any kind shall be prohibited.
- 6) Businesses shall not be allowed to operate within individual storage units.
- 7) The commercial operation of rental trucks or trailers shall be prohibited.
- 8) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this Ordinance No. 23-XX; SUP # S-XXX

ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF MARCH, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK A, EASTSHORE ADDITION

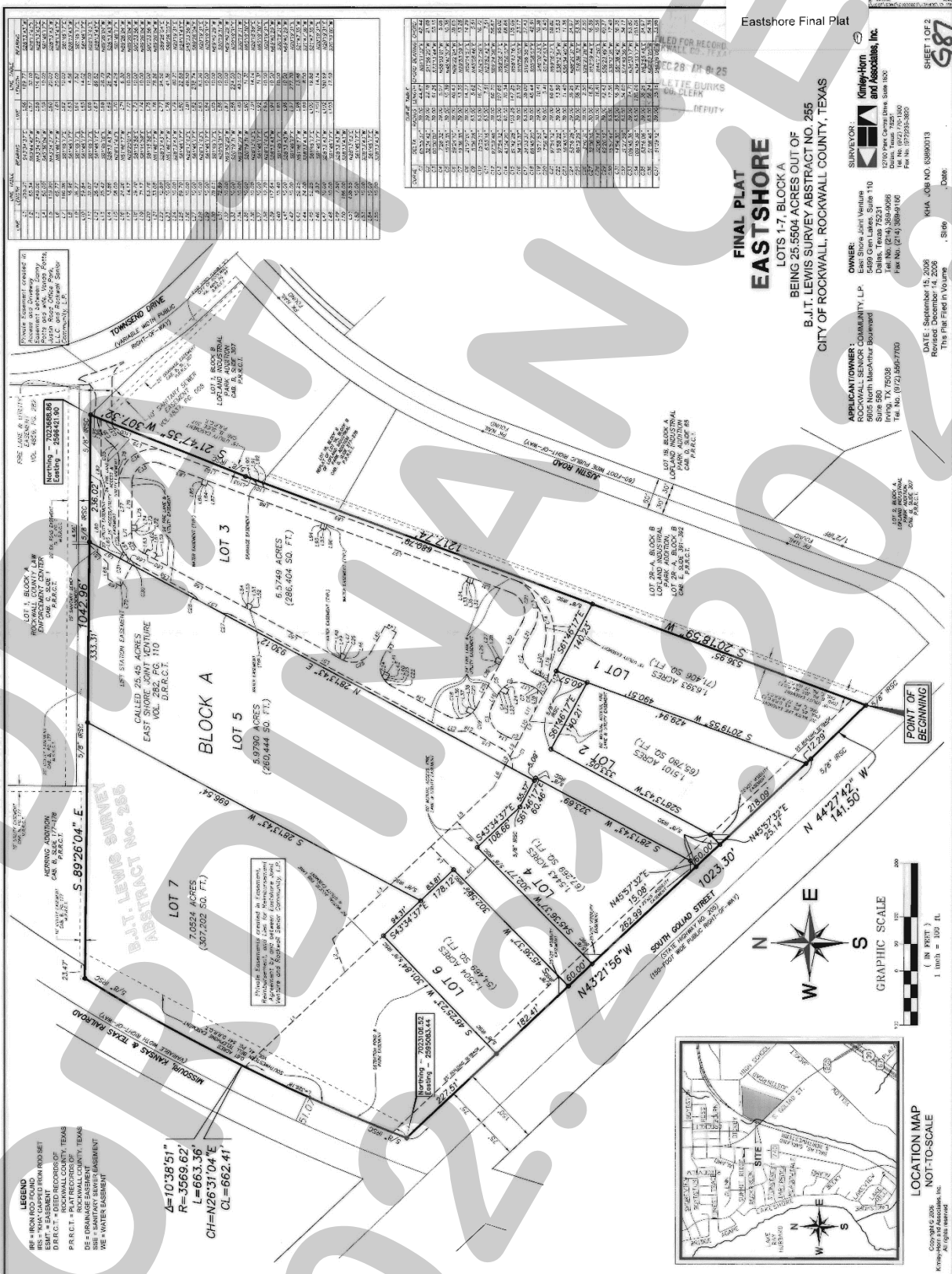


Exhibit 'C': Concept Building Elevations

A200	E2024	Building A Elevations	Boland St Rockwall, TX Storage Project: 2023-003 Case Number: 2023-003	Revision Date 1 11/15/23 2 11/15/23 3 11/15/23 4 11/15/23 5 11/15/23 6 11/15/23 7 11/15/23 8 11/15/23 9 11/15/23 10 11/15/23	DESIGNHAUS EST. 1998 ARCHITECTURE WWW.DESIGNHAUS.COM INFO@DESIGNHAUS.COM 3300 AUBURN RD, SUITE 300 AUBURN HILLS, MI 48326 TEL: 248.453.5554 FAX: 248.453.5554
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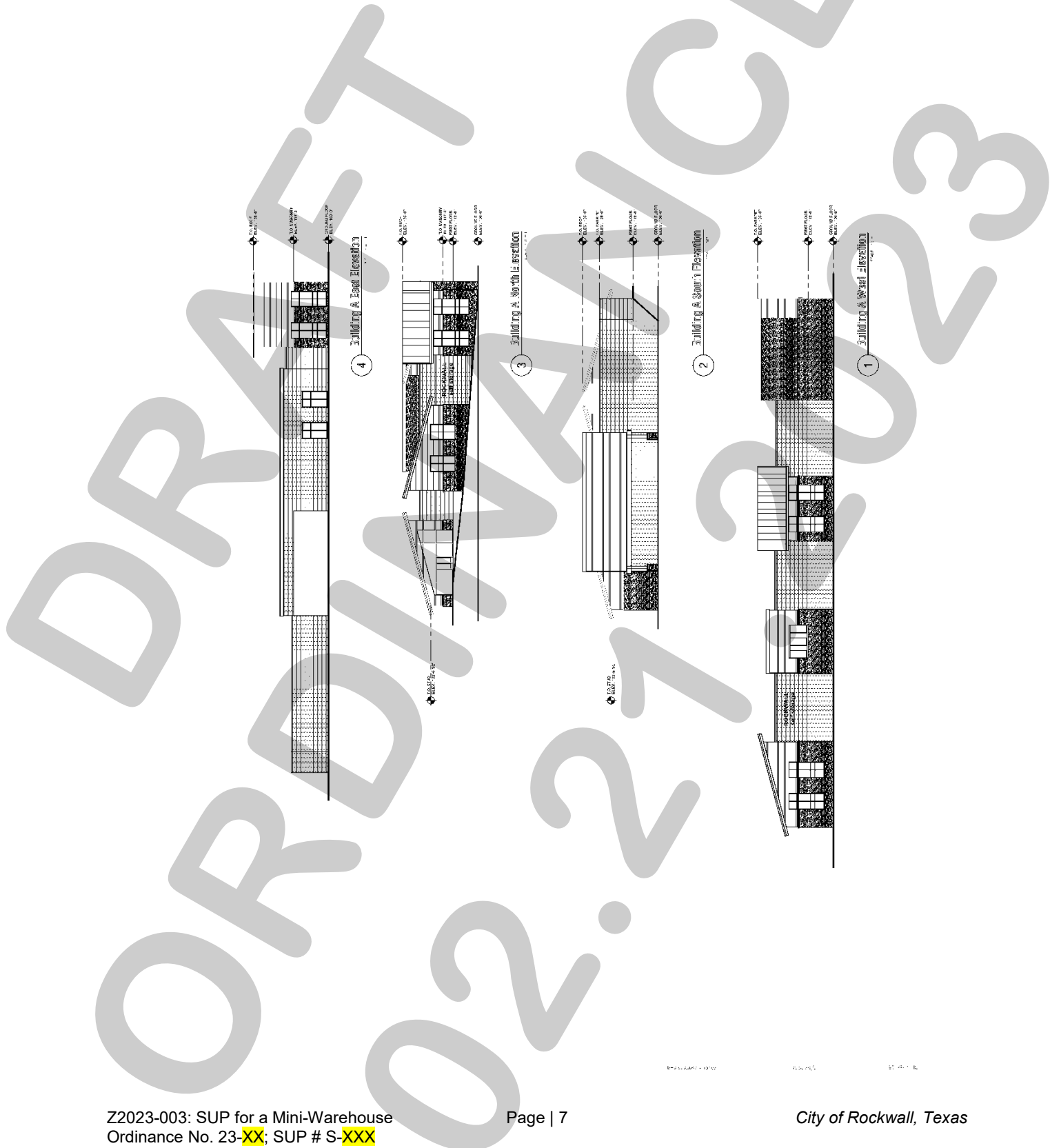
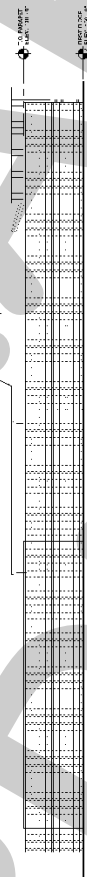


Exhibit 'C': Concept Building Elevations

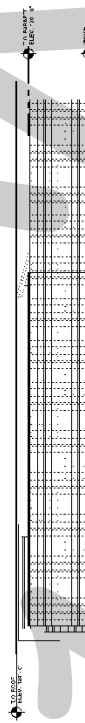
DESIGNHAUS ARCHITECTURE 1898 EST		3900 AUBURN RD, SUITE 300 AUBURN HILLS, MI 48326 T:248.601.4422 F:248.452.6654 WWW.DESIGNHAUS.COM INFO@DESIGNHAUS.COM	
Building B Elevations 02/20/24		A201	
Gothic St Rockwall, TX Storage Project: 22023-003 & 22023-004 Client: 22023-003		Date: 02/20/24 Drawn: SJP Project: 22023-003 Sheet: 1 of 1	



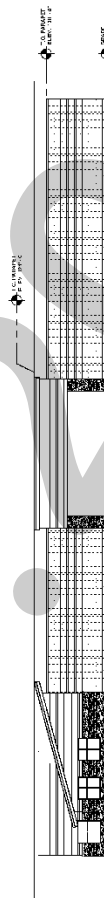
4 Building B East Elevation



3 Building B North Elevation



2 Building B South Elevation



1 Building B West Elevation

Miller, Ryan

From: Mike Pizzola <mike@designhaus.com>
Sent: Friday, January 20, 2023 10:33 AM
To: Lee, Henry
Cc: Shannon Beyersdorf
Subject: Goliad St storage SUP
Attachments: 23.01.19_22074 FedEx Receipt.pdf; SUP 24x36 Set_Rockwall, TX-23.01.18.pdf

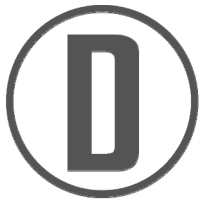
Hi Henry

Please see the attached PDF for our SUP request on Goliad St.. We have 2 copies in transit for delivery later today and attached is the receipt from FedEx for reference. Please note that it was directed to Sarah. If she's out today, please check on its delivery.



We will be sure to attend the meetings on the 31st as directed.

Any questions, please let me know.

Thanks
Mike



MIKE PIZZOLA, PLA, ASLA
CHIEF LANDSCAPE ARCHITECT

 248.601.4422
 3300 Auburn Rd. Suite 300
Auburn Hills, MI 48326
 www.designhaus.com

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Miller, Ryan

From: Chapin, Sarah
Sent: Thursday, January 26, 2023 12:24 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry
Subject: Neighborhood Notification Program [Z2023-004]
Attachments: HOA Map (01.20.2023).pdf; Public Notice Z2023-004.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *January 27, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, February 14, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, February 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-004: SUP for a Mini-Warehouse

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a *Specific Use Permit (SUP)* to allow a *Mini-Warehouse* on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 68 (PD-68) District for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Sarah Chapin

Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568

Miller, Ryan

From: Mike Pizzola <mike@designhaus.com>
Sent: Monday, February 6, 2023 4:51 PM
To: Lee, Henry
Cc: Miller, Ryan; Ross, Bethany; Joe Latozas
Subject: RE: P&Z and ARB Meetings Moved to Tuesday, February 7, 2023
Attachments: 23.02.03 - RESPONSE LETTER - Goliad Storage - Rockwall, TX - SUP Comments.pdf

Hi Henry

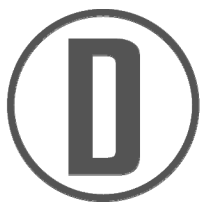
Please see the attached revised drawing set link and comment response letter. We addressed all and provided a comment of each change or item requested. We will in town for the rescheduled meeting tomorrow and will drop off 2 copies the revised plans prior to that. I see that they were originally due then per the comment review letter. File link below due to size.

<https://designhausllc.sharefile.com/d-s8c4c91b0683d486793018b233a7205cf>




Let me know if anything additional is needed.

Thanks

Mike



MIKE PIZZOLA, PLA, ASLA
CHIEF LANDSCAPE ARCHITECT

 248.601.4422
 3300 Auburn Rd. Suite 300
Auburn Hills, MI 48326
 www.designhaus.com

From: Lee, Henry <HLee@rockwall.com>
Sent: Monday, January 30, 2023 4:38 PM

Cc: Miller, Ryan <RMiller@rockwall.com>; Ross, Bethany <bross@rockwall.com>; Lee, Henry <HLee@rockwall.com>

Subject: P&Z and ARB Meetings Moved to Tuesday, February 7, 2023

Good Afternoon,

Due to the inclement weather we will be cancelling tomorrow night's P&Z and ARB meetings. These meetings have been reposted to Tuesday, February 7, 2023 at their regular time and place. With respect the remaining meeting dates for this development cycle they shall all remain the same, except for the Parks Board meeting, which has moved to Wednesday, February 8, 2023 at its regular time and place. If you have any questions please let me know.

Thank you,



Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

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Miller, Ryan

From: Miller, Ryan
Sent: Friday, February 10, 2023 11:03 AM
To: 'Mike Pizzola'
Subject: Case No. Z2023-004
Attachments: Draft Ordinance (02.08.2023).pdf

Mike ... Attached is the finalized draft ordinance for your case. Please review and send me an email letting me know if you are good with the ordinance. If you have any additional questions please let me know. Thanks.



RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

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[GIS DIVISION WEBSITE](#) | [UNIFIED DEVELOPMENT CODE](#)

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- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD.

Miller, Ryan

From: Mike Pizzola <mike@designhaus.com>
Sent: Tuesday, February 21, 2023 9:53 AM
To: Miller, Ryan
Cc: Jerry Dunn; Steve Welch; Hayden Farrell; Hamish Bell; Joe Latozas; Ross, Bethany; Lee, Henry
Subject: RE: Case No. Z2023-004
Attachments: Revised SUP Goliad, TX Set_23.02.13.pdf

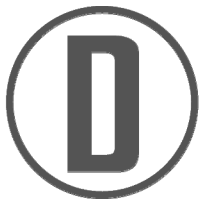
Hi Ryan

After reviewing our options with the development team, we feel that this it still a worthy project to be considered for further design review. An attempt is being made to provide as much information to the council prior to a deciding vote. Attached is the project based on all comments received to date. We are seeking a use permit as you recently reminded the board. The packet attached demonstrates revised renderings showing the exterior masonry and revised roof plan. We also do not directly access from SH 205 which the review report incorrectly states. We do access indirectly via the cross-easement access. Roof pitch is compliant, and we have even received a letter of support. Other projects recently approved during the last meeting were met with letters and direct voices of opposition. Our project was the only one receiving letter of support, yet it was denied of being **proper use**. The use proposed is intended to be that for all local businesses who desire off-site climate-controlled storage to utilize. Albeit personal records or files, excess household items, or business supplies permitted to be stored. The community benefit not only be the extraordinary landscape and buffering but the overall architectural look as well. We feel the attached is worth a second look for consideration. As a result, we are requesting to be tabled until next month's council hearing.

We also understand that for the remaining non-compliant items of density and height, we will need to seek ZBA approval and address those items as necessary when that time comes.

Please let me know if anything additional is needed.

Thanks
Mike Pizzola



MIKE PIZZOLA, PLA, ASLA
CHIEF LANDSCAPE ARCHITECT



248.601.4422



3300 Auburn Rd. Suite 300
Auburn Hills, MI 48326



www.designhaus.com

From: Miller, Ryan <RMiller@rockwall.com>

Sent: Monday, February 20, 2023 5:26 PM

To: Mike Pizzola <mike@designhaus.com>

Cc: Jerry Dunn <jd@viperdev.co>; Steve Welch <swelch@forgebuildings.com>; Hayden Farrell <hf@viperdev.co>; Hamish Bell <hamish@forgebuildings.com>; Joe Latozas <joe@designhaus.com>

Subject: RE: Case No. Z2023-004

Mike ... I am sorry for not getting back to you sooner, today is a City Holiday and I am just now getting around to answering my emails. You can request to table the case; however, I should point out that since this is a posted public hearing, a request to table is discretionary to the City Council. This means that they have the right to grant the request or move forward with the case. If you would like to request to table I will need you to send a follow up email making the request prior to 12:00 PM tomorrow so that I can prepare a memorandum. Thanks and let me know if you have any additional questions.



Ryan C. Miller, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION •

CITY OF ROCKWALL

972.772.6441 OFFICE

RMILLER@ROCKWALL.COM

385 S. Goliad Street • Rockwall, TX 75087

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GIS DIVISION WEBSITE | UNIFIED DEVELOPMENT CODE

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- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD.

From: Mike Pizzola <mike@designhaus.com>

Sent: Friday, February 17, 2023 3:40 PM

To: Miller, Ryan <RMiller@rockwall.com>

Cc: Jerry Dunn <jd@viperdev.co>; Steve Welch <swelch@forgebuildings.com>; Hayden Farrell <hf@viperdev.co>; Hamish Bell <hamish@forgebuildings.com>; Joe Latozas <joe@designhaus.com>

Subject: RE: Case No. Z2023-004

Hi Ryan

Would it be possible to table ourselves for the 2/21 Council Meeting? We would like to request more time to be better prepared to present the project prior to their consideration.



I see it would likely be March 20th for the following month.

Please let us know when you get the chance.

Thanks
Mike



MIKE PIZZOLA, PLA, ASLA
CHIEF LANDSCAPE ARCHITECT

 248.601.4422
 3300 Auburn Rd. Suite 300
Auburn Hills, MI 48326
 www.designhaus.com

From: Miller, Ryan <RMiller@rockwall.com>
Sent: Friday, February 10, 2023 12:03 PM
To: Mike Pizzola <mike@designhaus.com>
Subject: Case No. Z2023-004

Mike ... Attached is the finalized draft ordinance for your case. Please review and send me an email letting me know if you are good with the ordinance. If you have any additional questions please let me know. Thanks.



Ryan C. Miller, AICP
DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION •
CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. Goliad Street • Rockwall, TX 75087

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April 11, 2023

TO: Mike Pizzola
Designhaus Architecture
3300 Auburn Road, Suite 300
Auburn Hills, Michigan 48326

CC: Viper Development
2785 N. Bogus Basin Road
Bosie, Idaho 83702

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2023-004; SPECIFIC USE PERMIT (SUP) FOR A MINI-WAREHOUSE

Mr. Pizzola:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was denied by the City Council on February 21, 2023. The following is a record of all voting records:

Planning and Zoning Commission

On February 14, 2023, the Planning and Zoning Commission approved a motion to recommend denial of the applicant's request by a vote of 6-1 with Commissioner Llewelyn. According to Subsection 02.03(G), Protest of a Zoning Change, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "(i)f such change zoning change or Specific Use Permit (SUP) is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (i.e. three-fourths vote of those members present), with a minimum of four (4) votes in the affirmative required for approval."

City Council

On February 21, 2023, the City Council approved a motion to deny the Specific Use Permit (SUP) by a vote of 7-0.

According to Subsection 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he City Council may deny a request for a zoning change, Specific Use Permit (SUP), or text amendment with or without prejudice. If a request or amendment is denied with prejudice, a new application may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is for a more restrictive or less intense land use than the previously denied request ... If a request or amendment is denied without prejudice, no restrictions on resubmitting an application shall apply (i.e. an application for the same request may be filed at the applicant's discretion). A failure to indicate a denial is with or without prejudice in making a motion to deny a request or amendment shall be considered a denial with prejudice." Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 771-7745.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning Commission