



## CASE COVER SHEET

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

### **PLATTING APPLICATION**

MASTER PLAT  
PRELIMINARY PLAT  
FINAL PLAT  
REPLAT  
AMENDING OR MINOR PLAT  
PLAT REINSTATEMENT REQUEST

### **SITE PLAN APPLICATION**

SITE PLAN  
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

### **ZONING APPLICATION**

ZONING CHANGE  
SPECIFIC USE PERMIT  
PD DEVELOPMENT PLAN

### **OTHER APPLICATION**

TREE REMOVAL  
VARIANCE REQUEST/SPECIAL EXCEPTIONS

## RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

## NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

223 Russell Dr.

SUBDIVISION

Rockwall Lake Est #2

LOT

1290

BLOCK

GENERAL LOCATION

" "

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

vacant lot

CURRENT USE

vacant lot

PROPOSED ZONING

residential home

PROPOSED USE

residential

ACREAGE

.25

LOTS [CURRENT]

.25

LOTS [PROPOSED]

.25

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Martha Balleza / Ana Quezada

☒ APPLICANT

Martha Balleza / Ana Quezada

CONTACT PERSON

" "

CONTACT PERSON

" "

ADDRESS

4408 Aiken Trl.

ADDRESS

4408 Aiken Trl.

CITY, STATE & ZIP

Sachse, TX 75048

CITY, STATE & ZIP

Sachse, TX 75048

PHONE

214-984-7232

PHONE

214-984-7232

E-MAIL

marthaballeza@gmail.com

E-MAIL

anaq828@yahoo.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Martha Balleza [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: Ana Quezada

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS DAY OF \_\_\_\_\_, 20 \_\_\_\_ BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL IS AUTHORIZED TO DISSEMINATE ANY INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION FROM THE PUBLIC, STATE OF TEXAS."

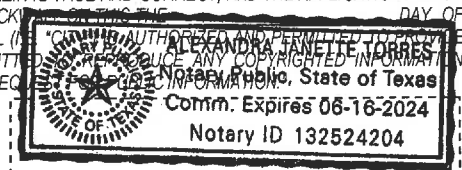
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13<sup>th</sup> DAY OF March, 20 23

OWNER'S SIGNATURE

Martha Balleza / Ana Quezada

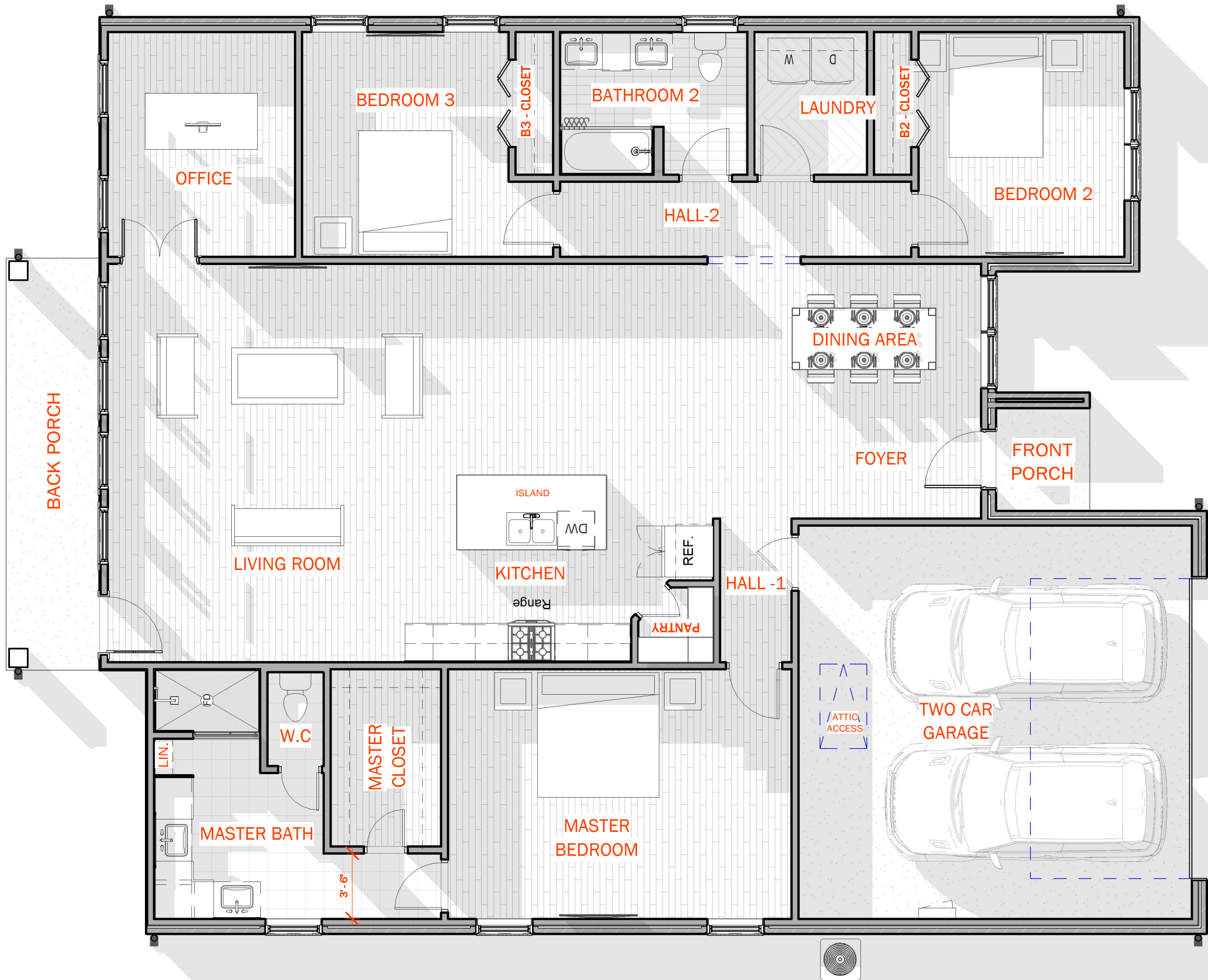
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Alexandra J. Torres

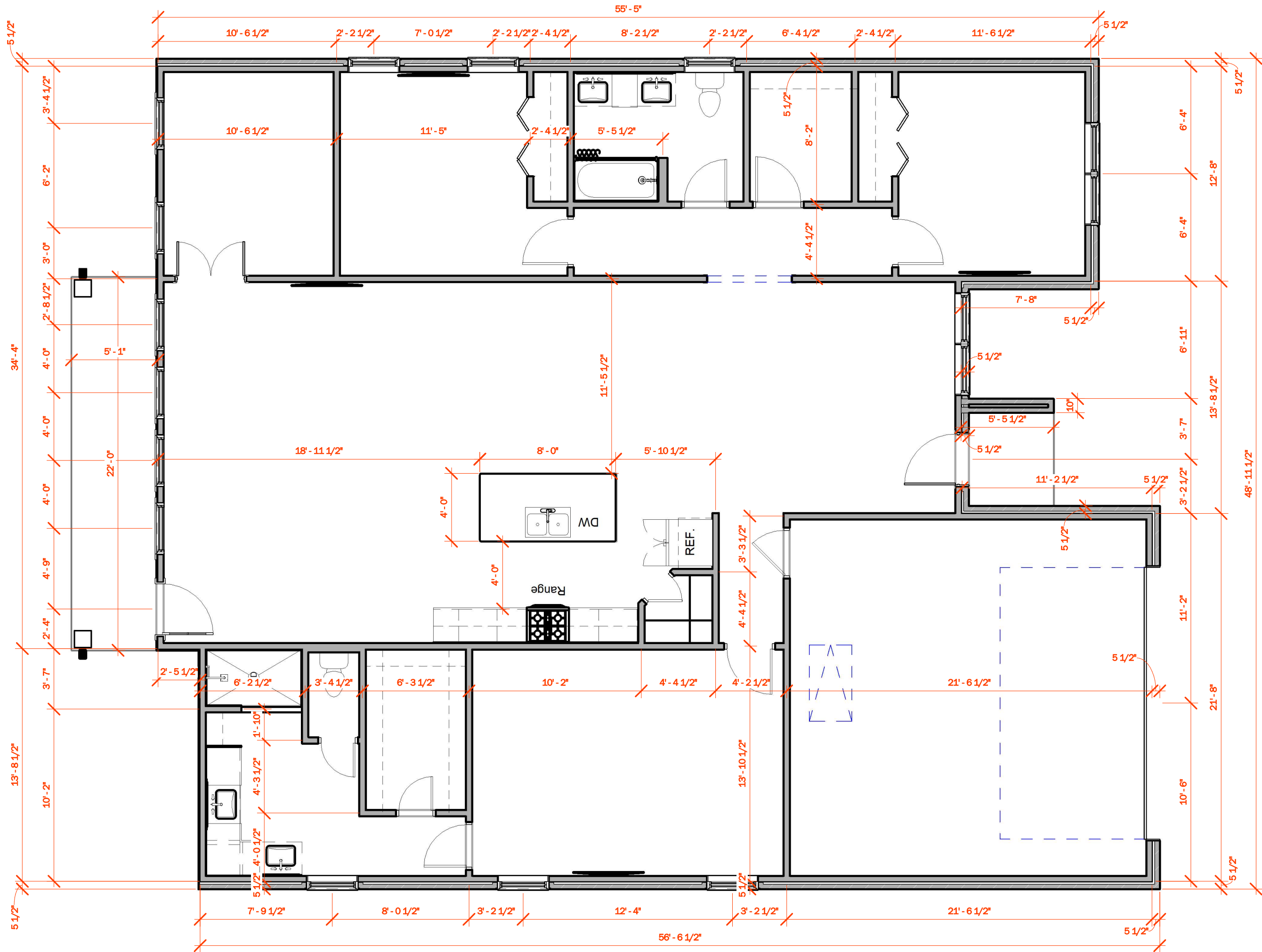


MY COMMISSION EXPIRES 06/16/2024



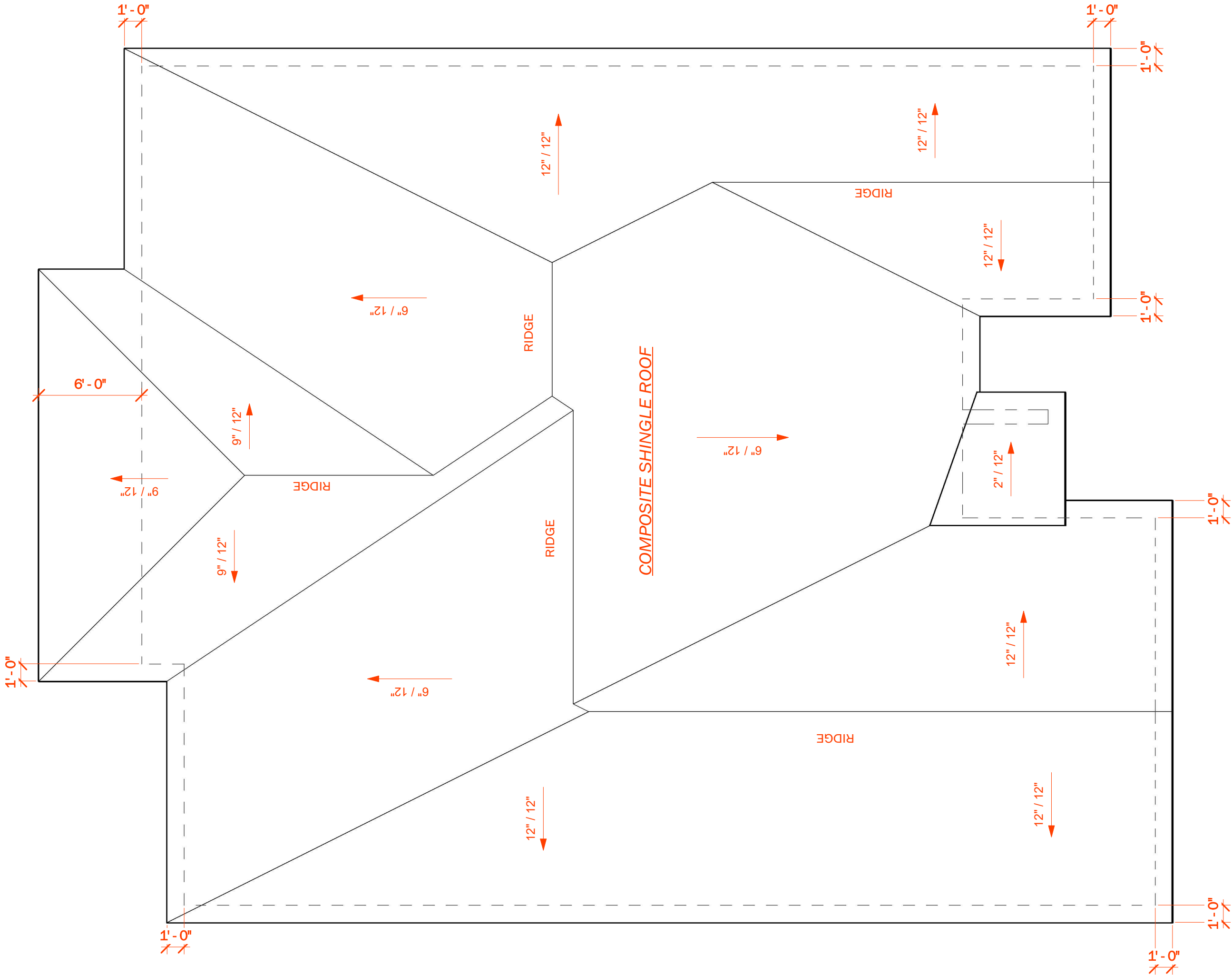


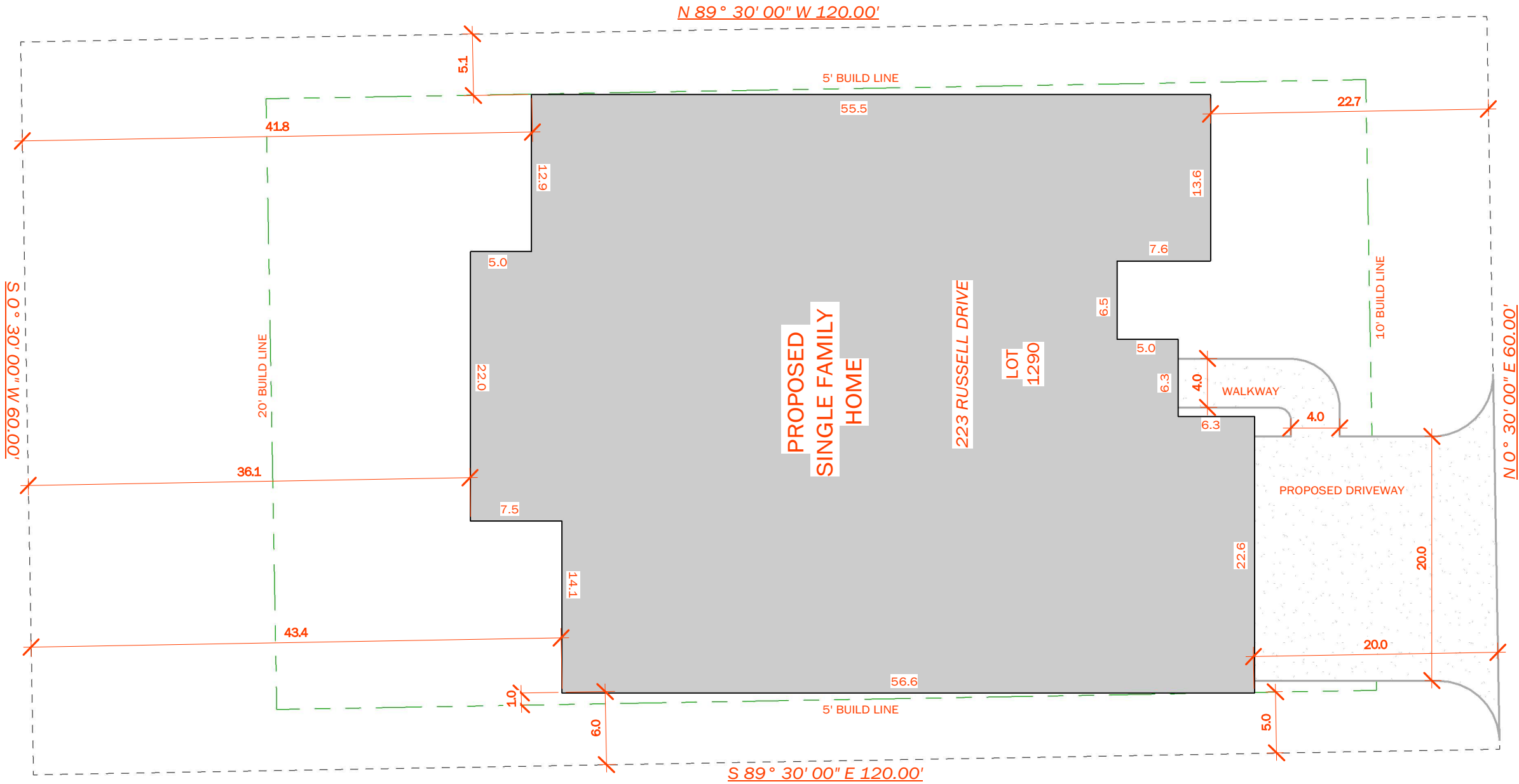
**Level 1**  
**SCALE: 3/16" = 1'-0"**



Level 1 Dimensions

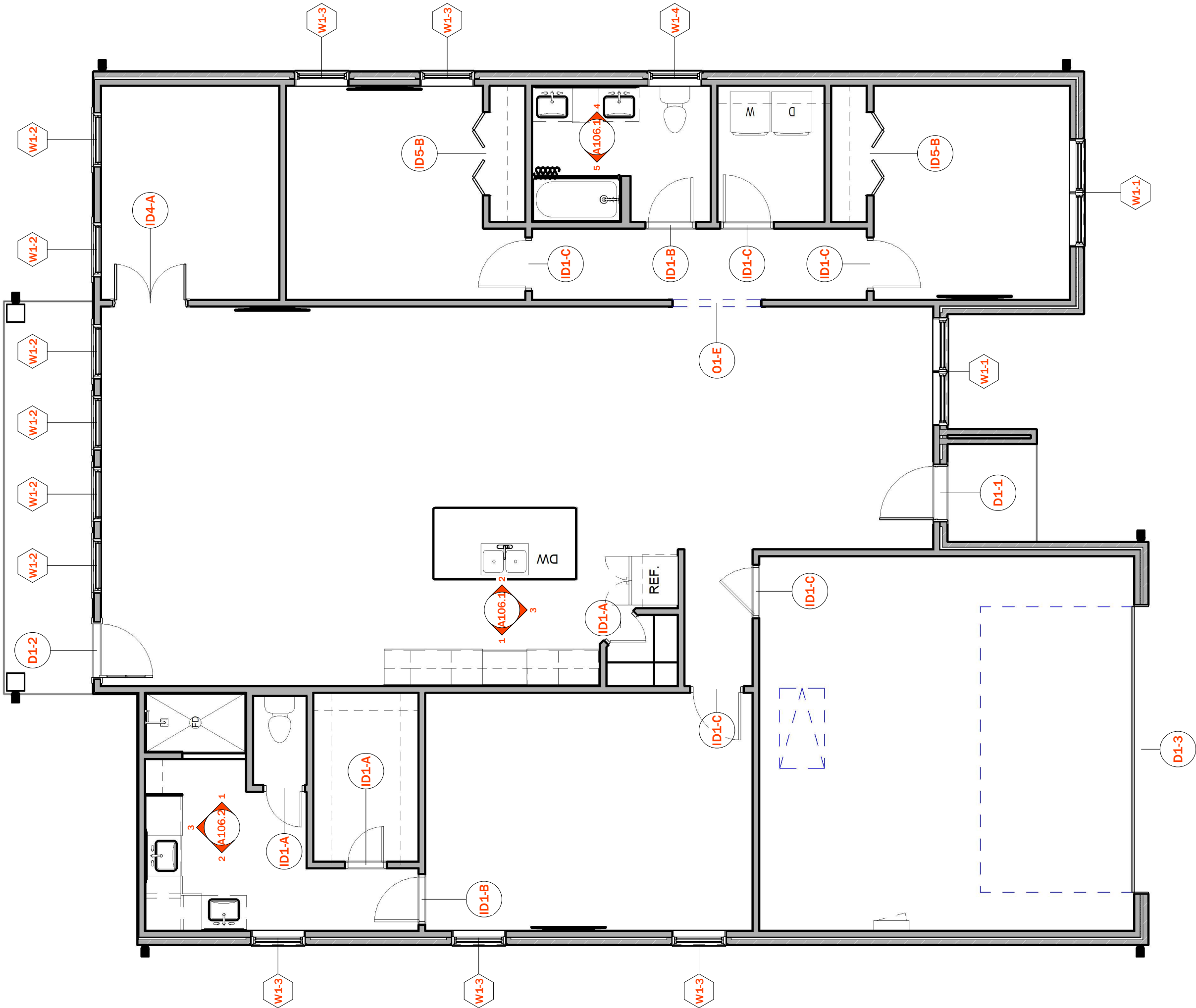
1 SCALE: 3/16" = 1'-0"





1 Site Plan  
SCALE: 1" = 10'-0"



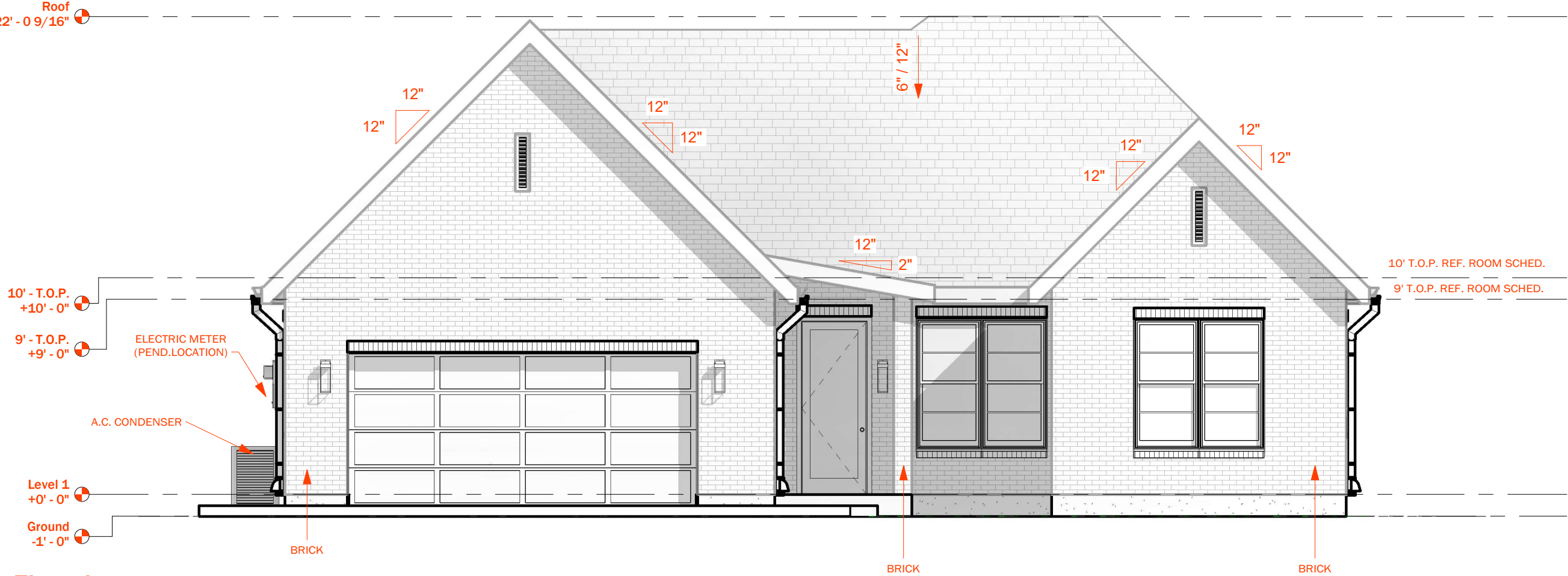


1 Level 1 Callouts & Tags  
SCALE: 3/16" = 1'-0"

1

Front Elevation

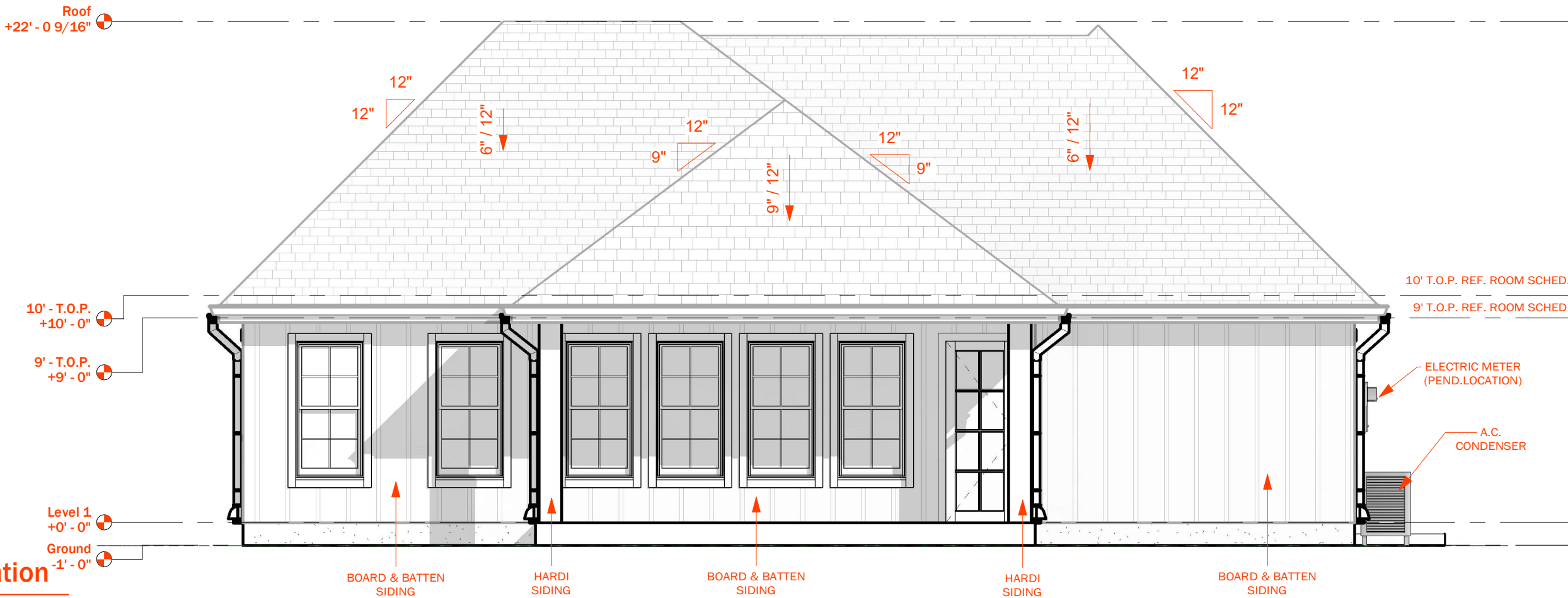
SCALE: 3/16" = 1'-0"



2

Back Elevation

SCALE: 3/16" = 1'-0"



CHRISTIAN SERRANO  
DESIGN  
GROUP

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223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032

Project No. CSC - 10348

12-07-2022

Revisions

Notes

NOT FOR CONSTRUCTION

CHRISTIAN SERRANO  
DESIGN GROUP

(469) 383-6084

WWW.CHRISTIANERRANOCONSTRUCTION.COM



DallasBuilders  
ASSOCIATION

NAHB  
National Association  
of Home Builders

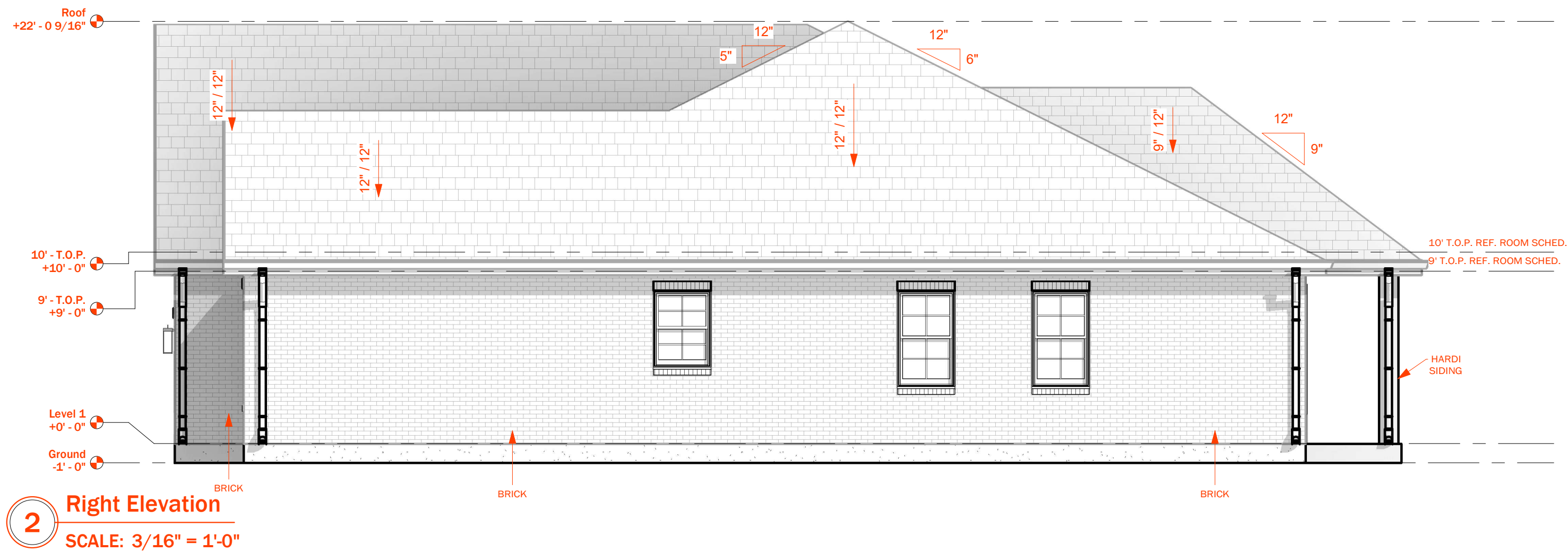
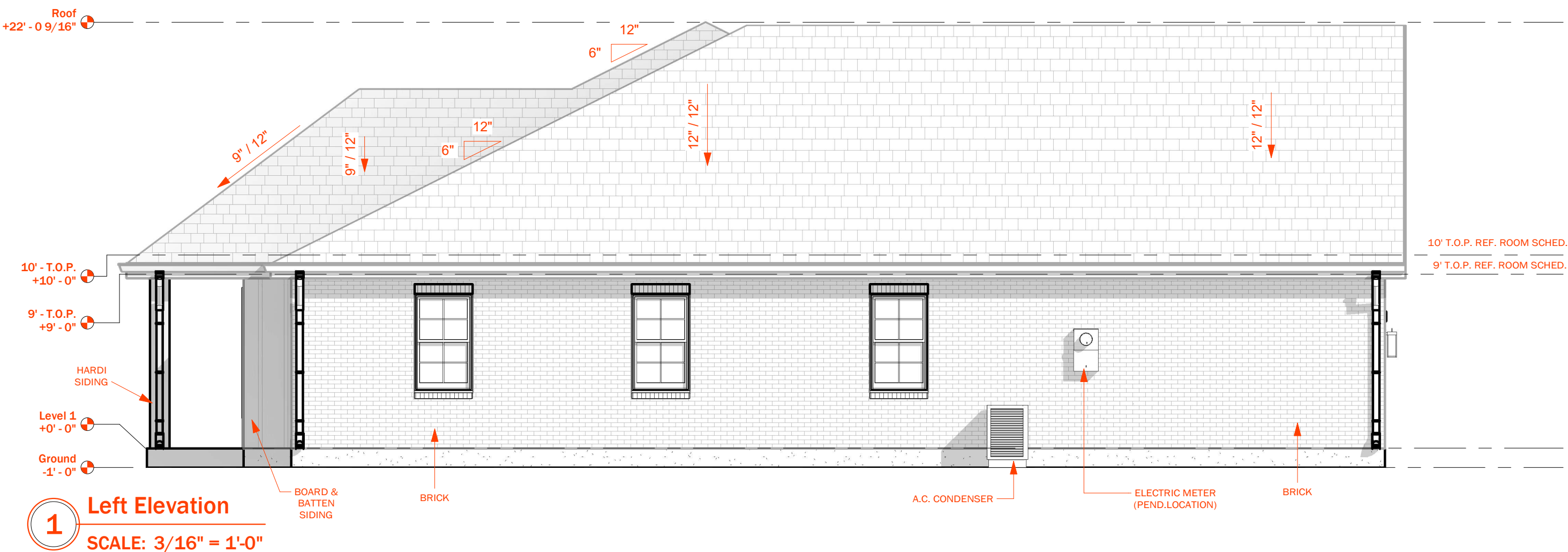
Scale 3/16" = 1'-0"

Front & Rear  
Elevations

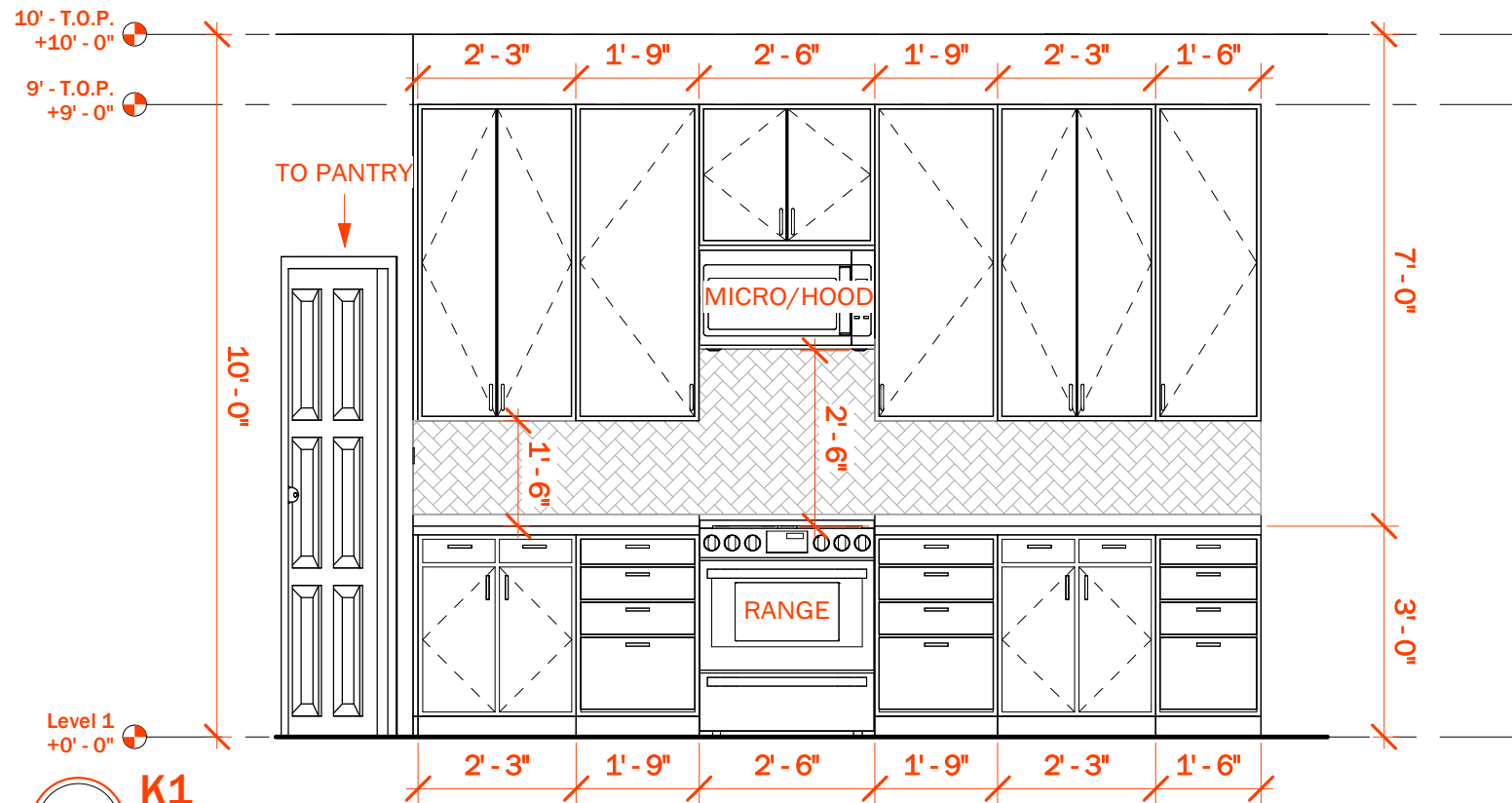
A105.1

Drawn By

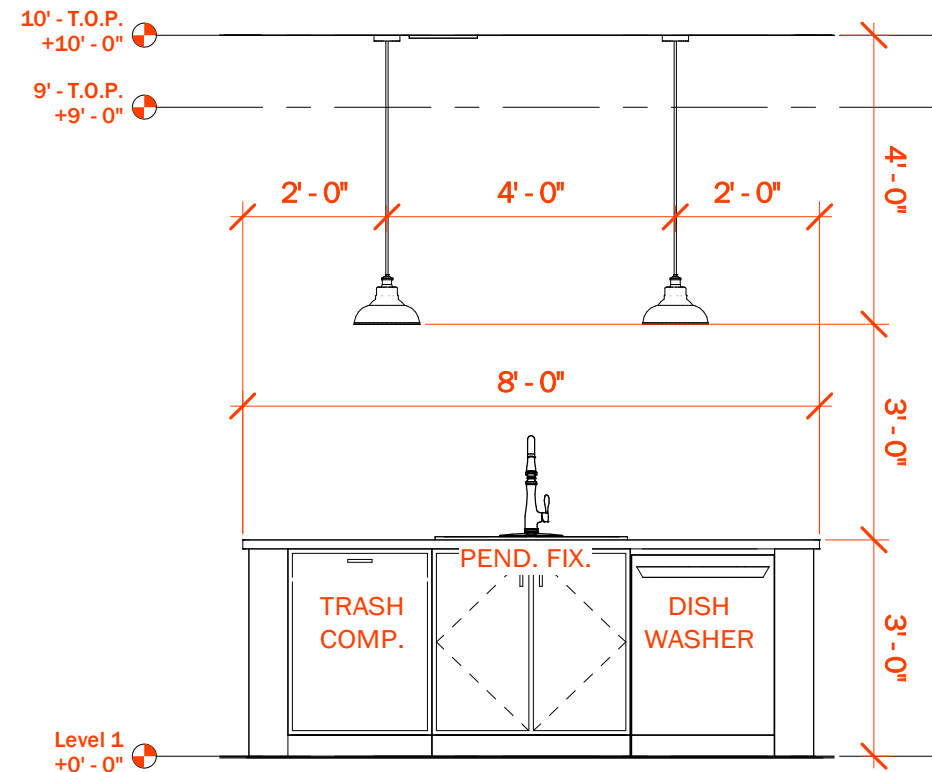
KS



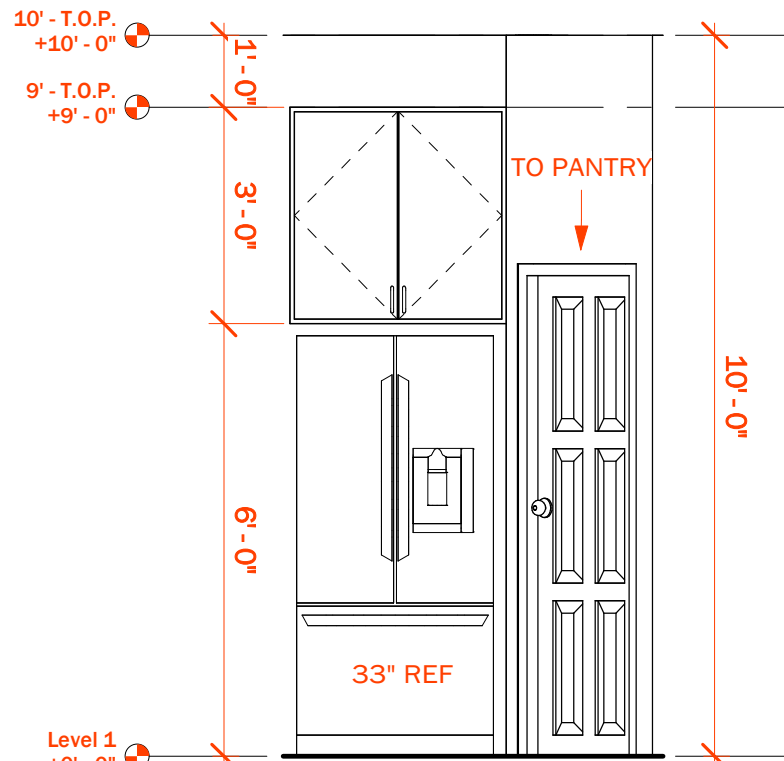




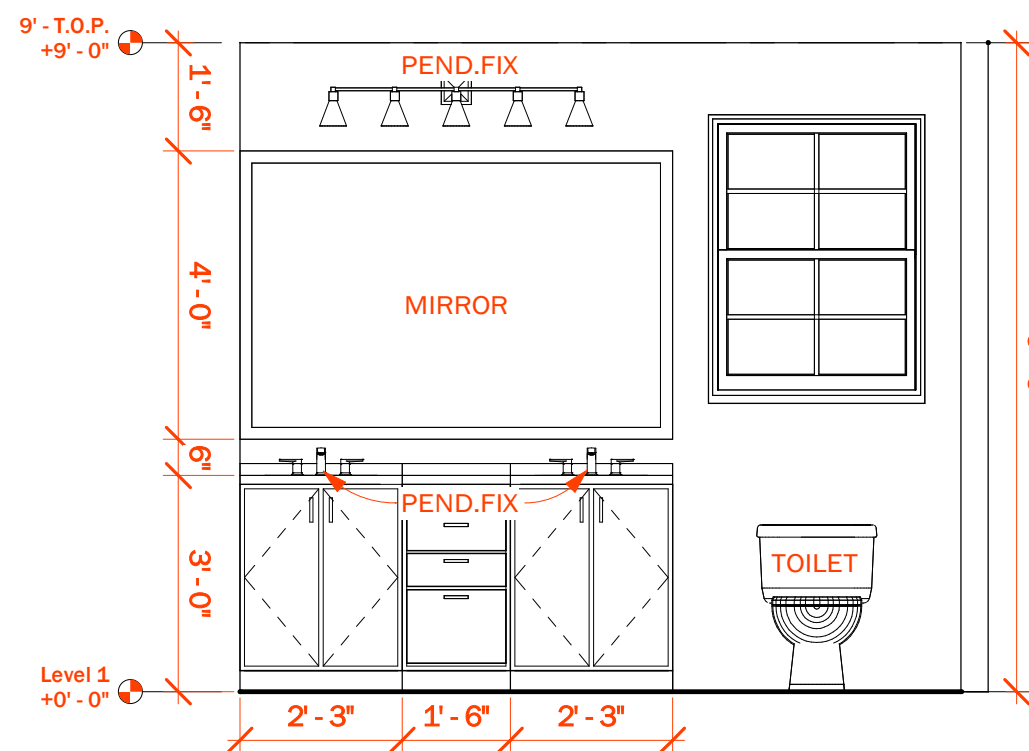
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SCALE: 3/8" = 1'-0"



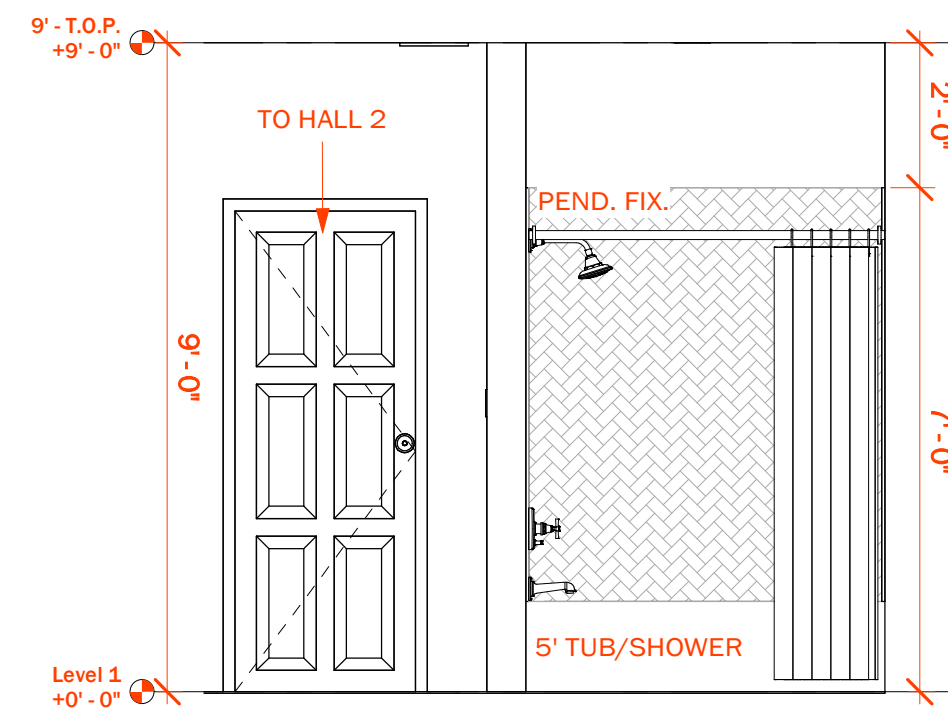
**2** K2  
SCALE: 3/8" = 1'-0"



**3** K3  
SCALE: 3/8" = 1'-0"



**4** B2-1  
SCALE: 3/8" = 1'-0"



**5** B2-2  
SCALE: 3/8" = 1'-0"



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Scale

3/8" = 1'-0"

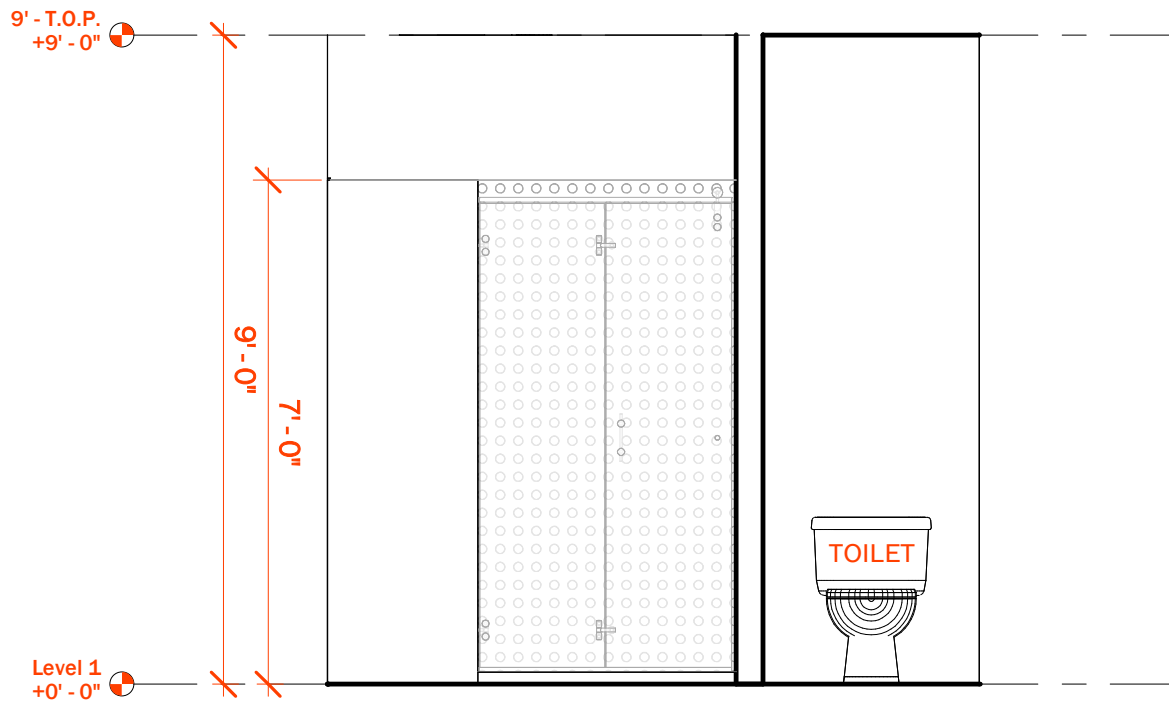
Interior Elevations

A106.1

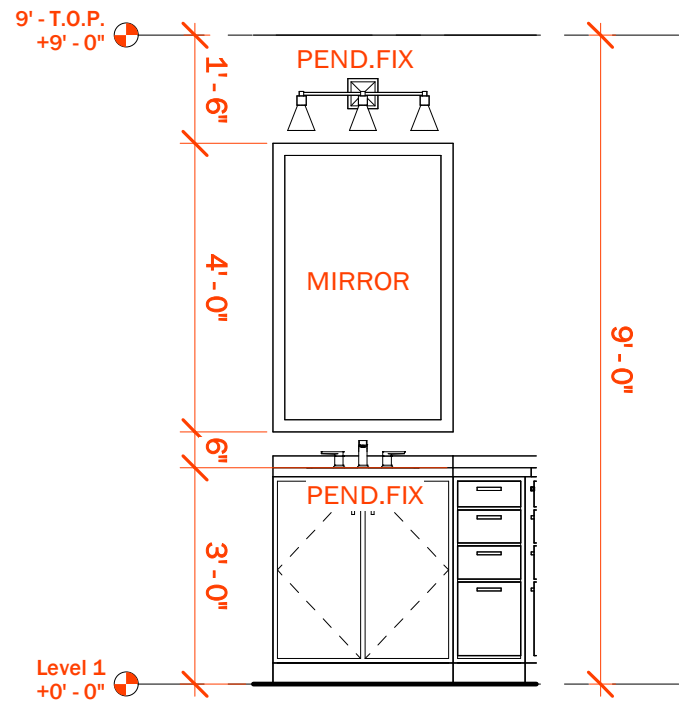
Drawn By

KS

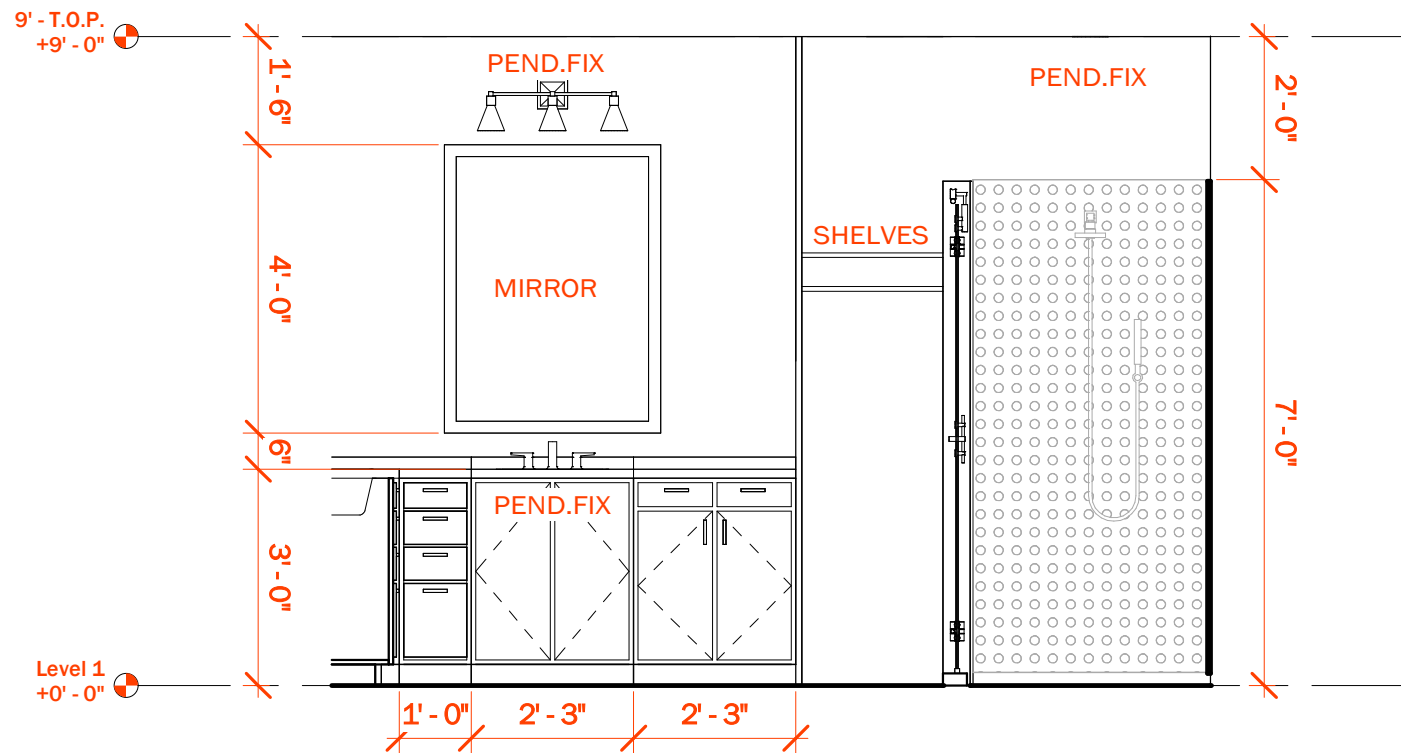




**1** MB 3  
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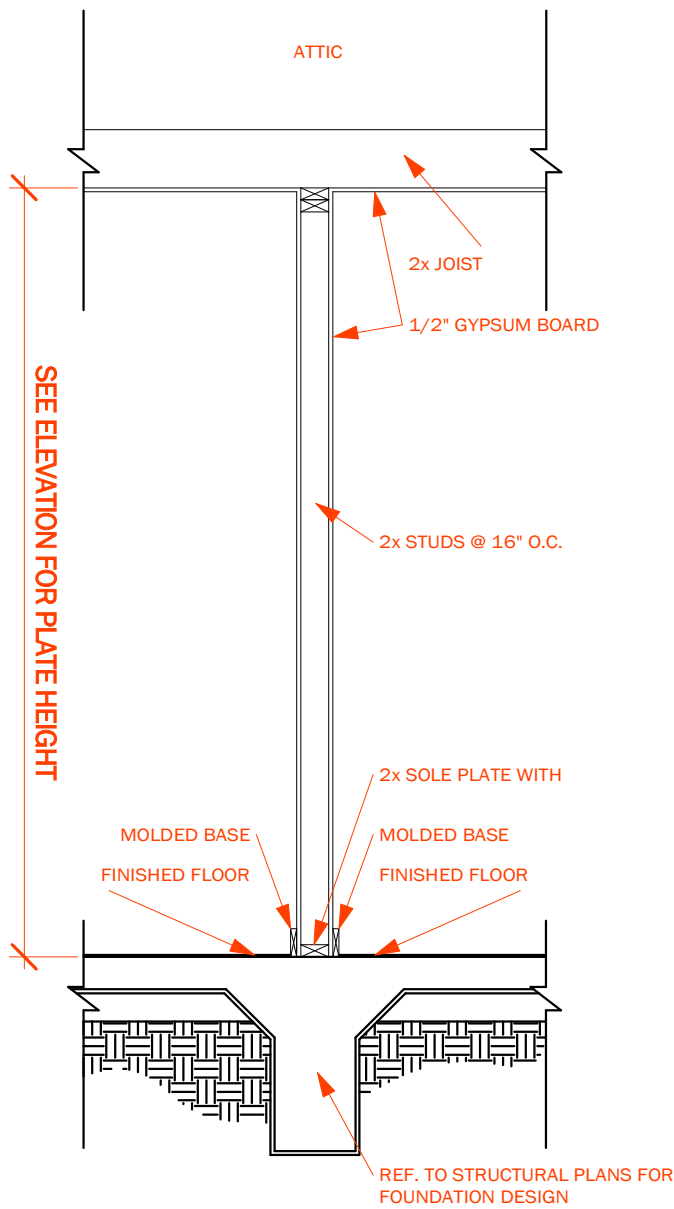
**2** MB 1  
SCALE: 3/8" = 1'-0"



**3** MB 2  
SCALE: 3/8" = 1'-0"

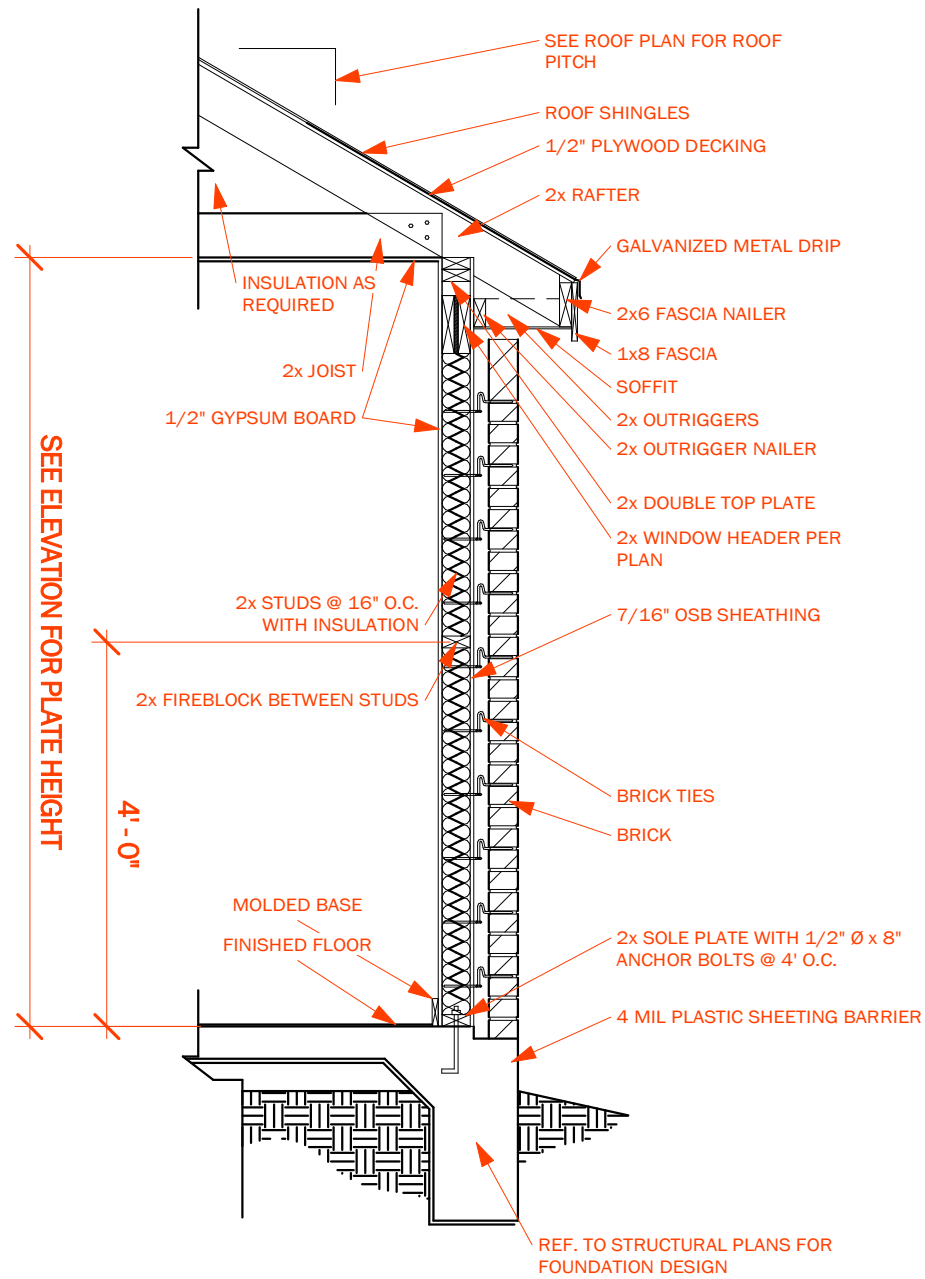
Door Schedule				
Type Mark	Count	Width	Height	Description
D1-1	1	3' - 0"	8' - 0"	EXTERIOR DOOR - SINGLE SWING - OWNER SELECT
D1-2	1	3' - 0"	8' - 0"	EXTERIOR DOOR - SINGLE SWING - OWNER SELECT
D1-3	1	16' - 0"	7' - 0"	GARAGE DOOR - OWNER SELECT
ID1-A	3	2' - 0"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID1-B	2	2' - 6"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID1-C	5	2' - 8"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID4-A	1	4' - 0"	6' - 8"	INTERIOR DOUBLE DOOR - SINGLE SWING -OWNER SELECT
ID5-B	2	4' - 8"	6' - 8"	INTERIOR BIFOLDING DOOR - OWNER SELECT
O1-E	1	5' - 0"	8' - 0"	DOOR OPENING
O1-F	1	2' - 1 1/2"	4' - 6 1/2"	ATTIC ACCESS DOOR - OWNER SELECT

Window Schedule								
Type Mark	Count	Width	Height	Description	Head Height	ExteriorFinish Color	Interior Finish Color	Grids
W1-1	2	6' - 0"	6' - 0"	DOUBLE - SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-2	6	3' - 0"	6' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-3	5	3' - 0"	5' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-4	1	3' - 0"	4' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W5-F	2	0' - 8"	2' - 8"	LOUVER - OWNER SELECT	<varies>	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes



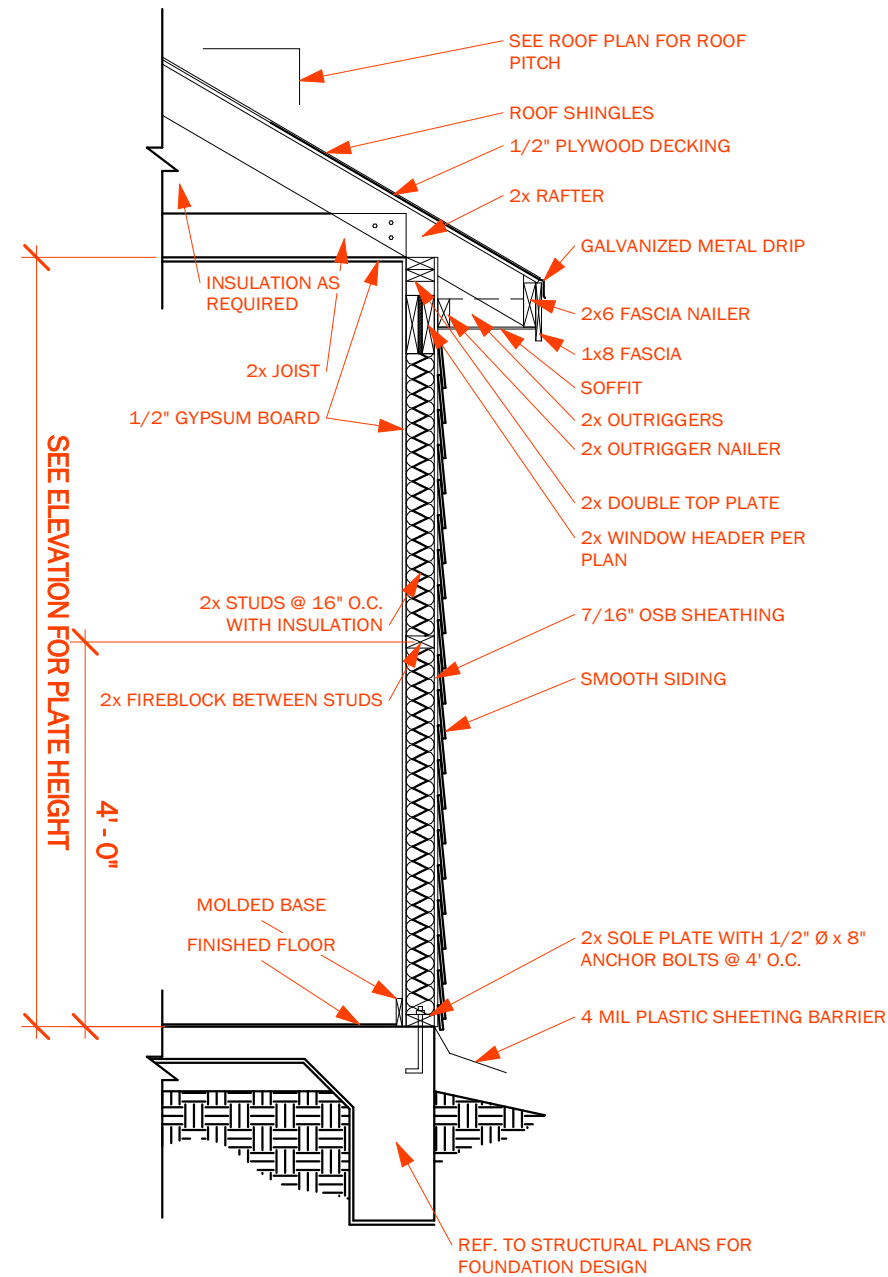
**1** Typical Wall Details - Interior

SCALE: 1/2" = 1'-0"



**2** Typical Wall Details -Brick

SCALE: 1/2" = 1'-0"



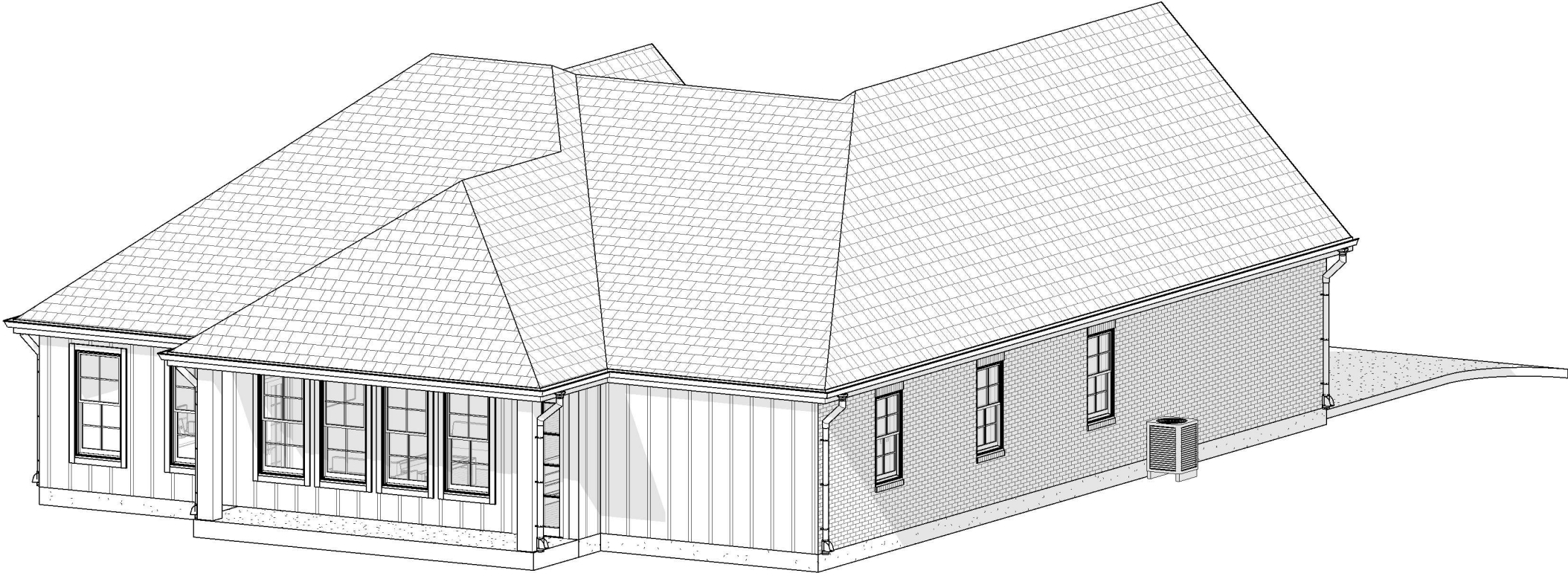
**3** Typical Wall Details -Siding

SCALE: 1/2" = 1'-0"



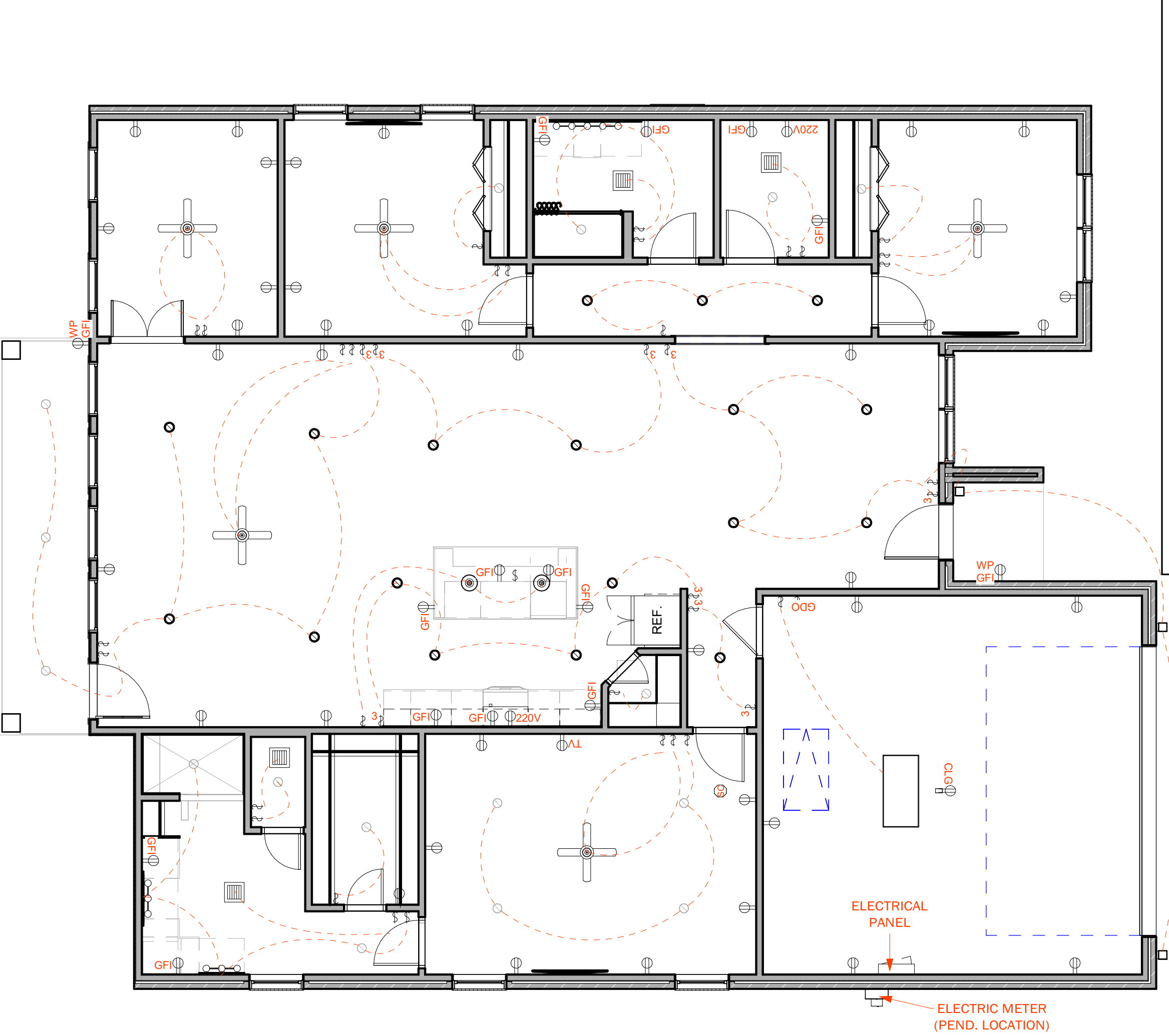


**1** 3D View - 1  
SCALE:



**2** 3D View - 2  
SCALE:





	-2' X 4' LINEAR BOX		-SINGLE DUPLEX OUTLET
	-CEILING FAN W/LIGHT KIT		-GFCI DUPLEX OUTLET
	-CHANDELIER		-WEATHERPROOF GFCI DUPLEX OUTLET
	-EXHAUST FAN		-CEILING DUPLEX OUTLET
	-RECESSED CAN LIGHT		-FLOOR DUPLEX OUTLET
	-EXTERIOR WALL LIGHT		-TOP OF COUNTER DUPLEX OUTLET
	-EXTERIOR GOOSENECK LIGHT		-TV DUPLEX OUTLET
	-EMERGENCY/FLOOD LIGHT		-SPRINKLER OUTLET
	-EXTERIOR SPOT LIGHT		-220 VOLT DUPLEX OUTLET
	-PENDANT LIGHT		-SINGLE WALL SWITCH
	-SINGLE BULB VANITY LIGHT		-3 WAY WALL SWITCH
	-3 BULB VANITY LIGHT FIXTURE		-DIMMER WALL SWITCH
	-5 BULB VANITY LIGHT FIXTURE		-GARAGE DOOR WALL SWITCH
	-SIDE VANITY LIGHT		-SMOKE/CO2 DETECTOR
	-ELECTRIC METER		-THERMOSTAT
	-ELECTRIC PANEL		-INTERNET/TELEPHONE JACK

**1** Level 1 Electrical Plan  
SCALE: 3/16" = 1'-0"

ELECTRICAL  
PANEL  
ELECTRIC METER  
(PEND. LOCATION)

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Rockwall TX, 75032

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Revisions

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NAHB  
National Association  
of Home Builders

DallasBuilders  
Association

TARRANT  
COUNTY  
CLERK  
OFFICE

Scale

As indicated

Level 1 Electrical  
Plan

E101.1

Drawn By

































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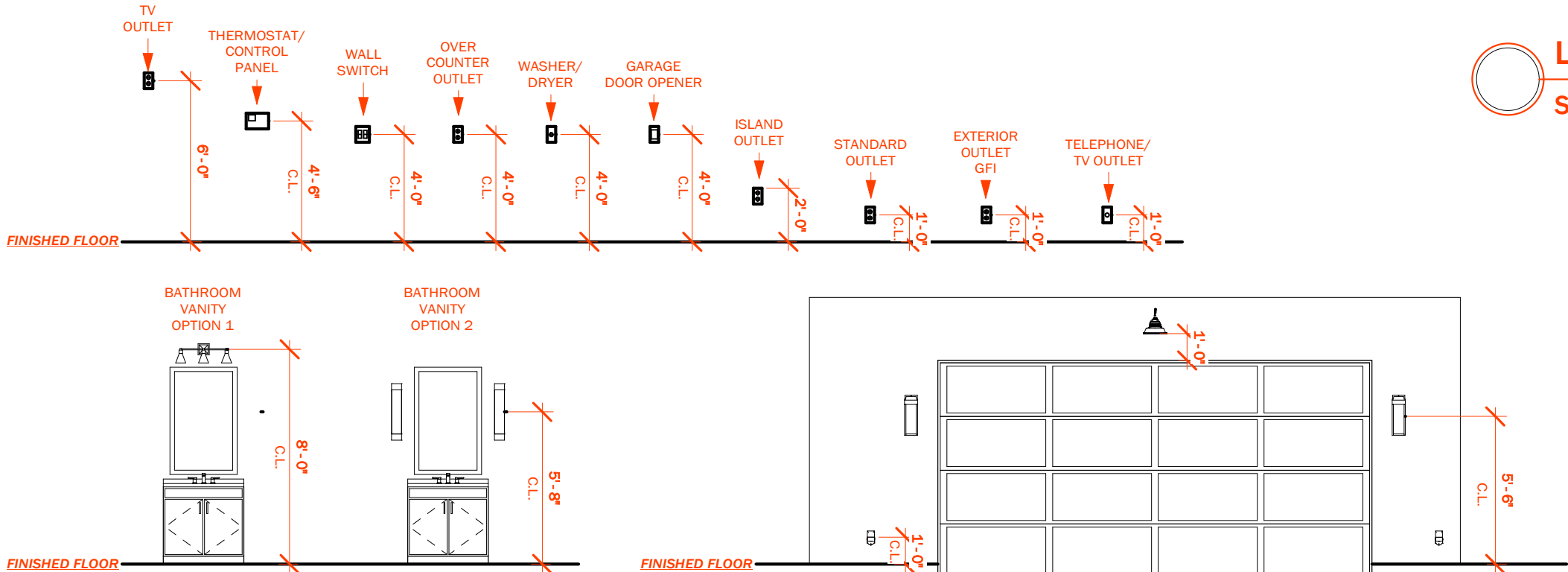
ELECTRICAL SPECIFICATIONS

1. ALL TELEPHONE LINES ARE TO BE CONCEALED & OUTLETS RECESSED. ALL TELEPHONE SERVICE TO BE CAPABLE OF CARRYING LINES IN MAIN HOUSE.
2. INSTALL SWITCHES 48" ABOVE FLOOR HEIGHT, INSTALL RECEPTACLE OUTLETS, CABLE, AND TELEPHONE 18" ABOVE FLOOR HEIGHT. INSTALL SWITCHES LOCATED IN BATHROOM 42" ABOVE FLOOR HEIGHT.
3. SWITCHES, OUTLETS, AND COVER PLATES ARE TO BE WHITE. INSTALL DIMMERS AS SHOWN.
4. ALL DIMMERS ARE TO BE TOGGLE TYPE. ALL OUTLETS ARE TO BE RECESSED. ALL WIRING TO BE CONCEALED.
5. ALL SMOKE DETECTORS TO BE NEW & BATTERY OPERATED.
6. VERIFY FIXTURE AND OUTLET LOCATIONS WITH OWNER PRIOR TO RUNNING ELECTRICAL FEEDS.
7. VERIFY OVERHEAD GARAGE DOOR OPENER SPECIFICATIONS AND SELECTION WITH OWNER.

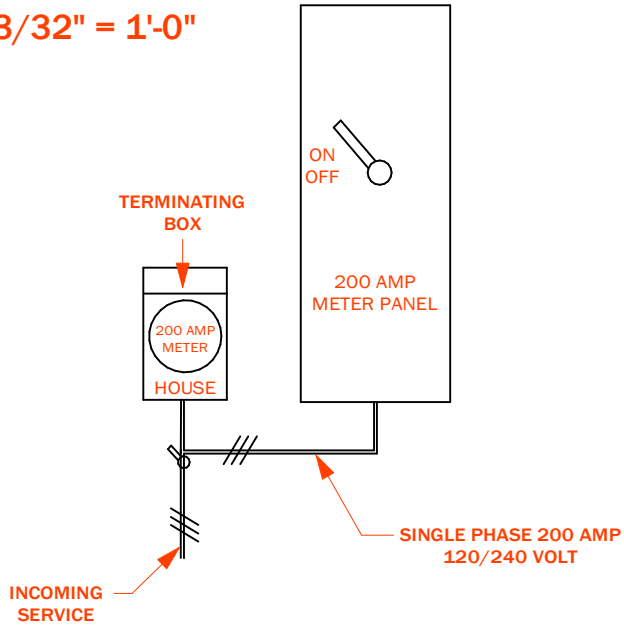
LIGHTING AND POWER GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
2. THE PROVISION OF THE CODE SHALL APPLY TO THE ERECTION, INSTALLATION, ALTERATION, REPAIRS, HEALTH, PROPERTY,& PUBLIC WELFARE REGULATING, AND CONTROLLING THE DESIGN, CONSTRUCTION, INSTALLATION, QUALITY OF MATERIALS, LOCATION, OPERATION, & MAINTENANCE OR USE OF ELECTRICAL EQUIPMENT & SYSTEMS.
3. CONTRACTOR SHALL VERIFY ALL CEILING TYPES & COORDINATE TRIMS PRIOR TO PURCHASE OF LIGHTING FIXTURES. FURNISH ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET JOB REQUIREMENTS. LECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FIXTURES ARRIVING ON SITE WITH INCORRECT MOUNTING.
4. COORDINATE ALL LIGHTING TYPES AND LOCATIONS WITH DESIGNER AND OWNER PRIOR TO INSTALLATION. MOUNTING HEIGHTS OF ALL WALL MOUNTED & PENDANT MOUNTED LIGHTING FIXTURES SHALL BE DETERMINED BY DESIGNER. REFER TO ARCHITECTURAL SECTIONS & ELEVATIONS.
5. LOCATION & GROUPING ARRANGEMENT/ORIENTATION OF ALL SWITCHES SHALL BE COORDINATED WITH THE DESIGNER PRIOR TO INSTALLATION.
6. COORDINATE LOCATION OF ALL LIGHTING FIXTURES WITH THE MECHANICAL & PLUMBING PRIOR TO ELECTRICAL ROUGH-IN.
7. FINAL INSPECTION SHALL BE MADE AFTER THE WORK IS COMPLETE, ALL ELECTRICAL FIXTURES WILL BE INSPECTED TO VERIFY CORRECT PLACEMENT, CONNECTION. AND IF STRUCTURE IS READY FOR OCCUPANCY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING OF SUCH INSPECTION.
8. SMOKE DETECTOR DEVICE TO BE SELECTED BY OWNER. LOCATIONS SHOWN ARE PRELIMINARY-COORDINATE FINAL LOCATIONS WITH FIRE MARSHALL.
9. CARBON MONOXIDE DEVICE TO BE SELECTED BY OWNER.
10. COORDINATE TELEPHONE, CABLE, FIBER OPTIC, WIFI, DATA, SPEAKER LOCATIONS, AND SECURITY ALARM WITH AUDIO VISUAL/TECHNOLOGY CONTRACTOR AND DESIGNER..
11. ALL LIGHTING LOCATED IN DAMP OR WET LOCATIONS TO BE RATED FOR SUCH.
12. LIGHTING IN SHOWER STALLS TO BE VAPOR TIGHT FIXTURES.
13. LIGHTING IN SMALL CLOSET TO HAVE DOOR ACTIVATED SWITCH.
14. COORDINATE LOCATION OF MAIN AND SUB ELECTRICAL PANELS WITH DESIGNER AND OWNER.
15. COORDINATE POWER FOR ALL FIXTURES.
16. COORDINATE ADDITIONAL POWER REQUIREMENTS FOR EQUIPMENT, LIGHTING, AND INTERIOR SPEAKERS.
17. INDICATES FIXTURE SHALL BE CONNECTED TO "CONSTANT-ON" EMERGENCY (LIFE-SAFETY) CIRCUIT, PROVIDE "LOCK-ON" EMERGENCY BREAKER AT PANELBOARD.
18. CUTTING OF FLOORS, WALLS, & CEILINGS SHALL BE REQUIRED FOR THE INSTALLATION OF PIPES, CONDUITS, DUCTS, WIRING, SLEEVES, & SEAL AS REQUIRED BY THE DESIGNER.

	-2' X 4' LINEAR BOX		-SINGLE DUPLEX OUTLET
	-CEILING FAN W/LIGHT KIT		-GFCI DUPLEX OUTLET
	-CHANDELIER		-WEATHERPROOF GFCI DUPLEX OUTLET
	-EXHAUST FAN		-CEILING DUPLEX OUTLET
	-RECESSED CAN LIGHT		-FLOOR DUPLEX OUTLET
	-EXTERIOR WALL LUGHT		-TOP OF COUNTER DUPLEX OUTLET
	-EXTERIOR GOOSENECK LIGHT		-TV DUPLEX OUTLET
	-EMERGENCY/FLOOD LIGHT		-SPRINKLER OUTLET
	-EXTERIOR SPOT LIGHT		-220 VOLT DUPLEX OUTLET
	-PENDANT LIGHT		-SINGLE WALL SWITCH
	-SINGLE BULB VANITY LIGHT		-3 WAY WALL SWITCH
	-3 BULB VANITY LIGHT FIXTURE		-DIMMER WALL SWITCH
	-5 BULB VANITY LIGHT FIXTURE		-GARAGE DOOR WALL SWITCH
	-SIDE VANITY LIGHT		-SMOKE/CO2 DETECTOR
	-ELECTRIC METER		-THERMOSTAT
	-ELECTRIC PANEL		-INTERNET/TELEPHONE JACK

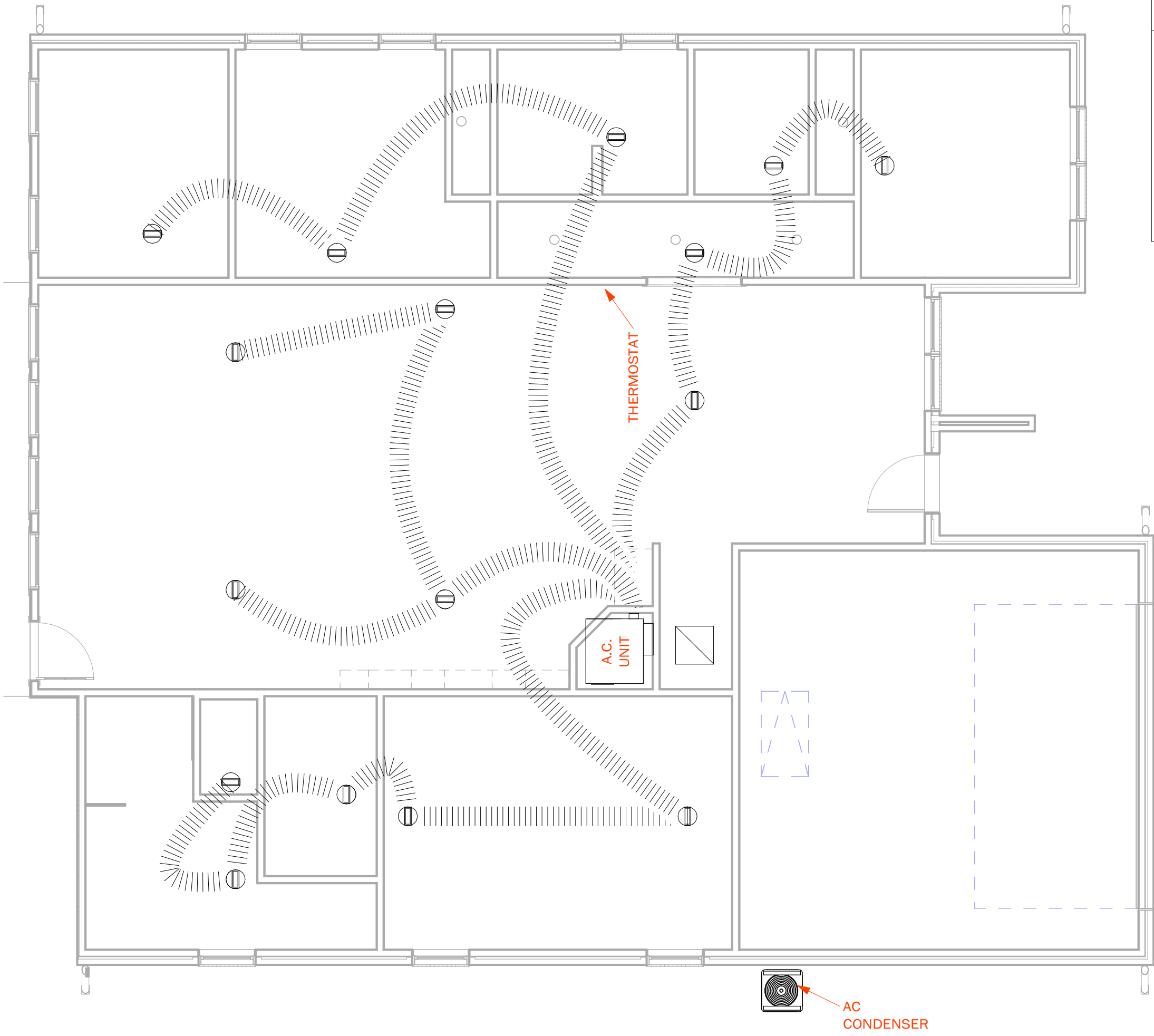





Lighting Fixtures Legend  
SCALE: 3/32" = 1'-0"



Power Riser Details  
SCALE: 3/16" = 1'-0"

Electrical Devise Heights  
SCALE: 3/16" = 1'-0"

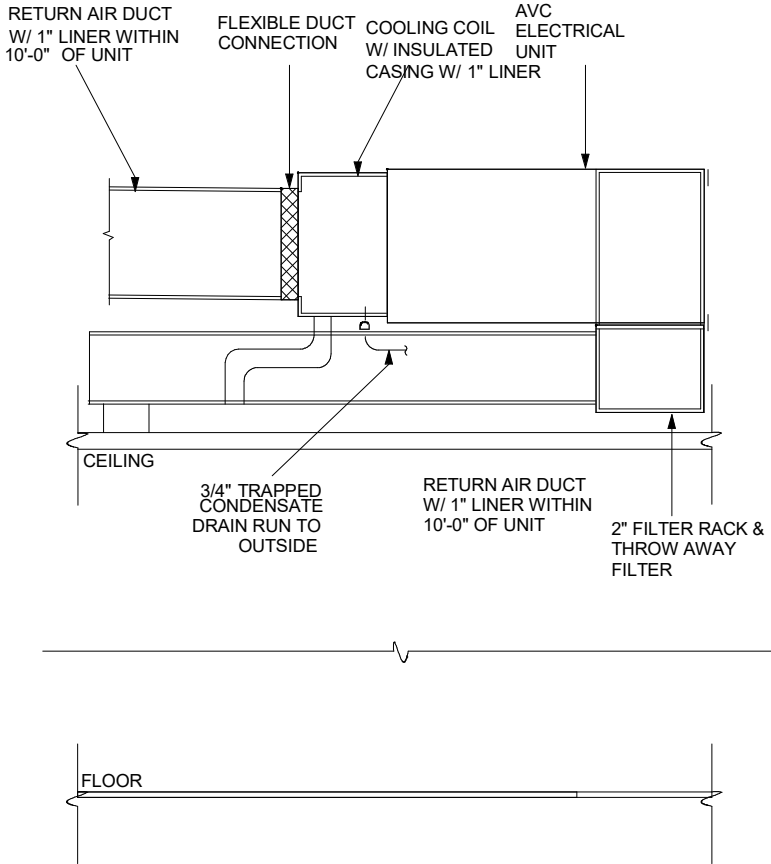


LEGEND	
	VENTS
	FLEXIBLE DUCT
	RETURN

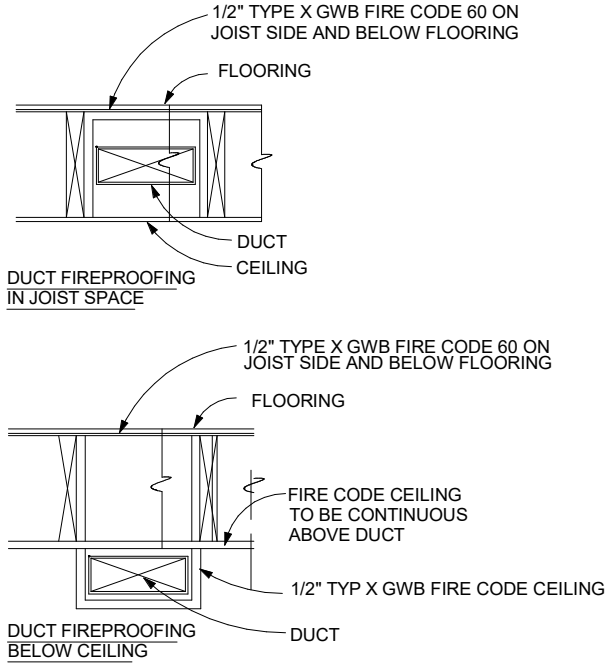
**1** Level 1 HVAC Plan  
SCALE: 3/16" = 1'-0"

MECHANICAL GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
2. FURNISH ALL LABOR, MATERIALS, FIXTURES, EQUIPMENT, & SERVICES NECESSARY FOR THE INSTALLATION OF A COMPLETE & FUNCTIONAL H.V.A.C SYSTEM, PLUMBING SYSTEM, & ELECTRICAL SYSTEM
3. CONTRACTOR SHALL APPLY & PAY FOR ALL PERMITS & CONNECTION FEES REQUIRED FOR WORK.
4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE WORK TO BE DONE & SHALL EXAMINE SITE & CONSIDER THE CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE IN THE PERFORMANCE OF THE CONTRACTED WORK. NO ALLOWANCES SHALL BE MADE SUBSEQUENTLY IN THIS CONNECTION, FOR ANY ERRORS, THROUGH NEGLIGENCE ON HIS PART. THE CONTRACTOR IS HERE BY ADVISED THAT HE WILL BE REQUIRED TO OBSERVE NECESSARY PRACTICES FOR FIRE & SAFETY PRECAUTIONS FOR THE PROTECTION OF THE FACILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS, & CLEARANCES & COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO START OF WORK.
5. ALL DUCTWORK SHALL BE FABRICATED FROM FILED TAKEN DIMENSIONS AND NOT FROM DRAWINGS, PRIOR TO DUCT FABRICATION, CEILING CLEARANCES SHALL BE VERIFIED WITH ALL ELECTRICAL, PLUMBING, & ARCHITECTURAL DRAWINGS.
6. SUBMIT 6 COPE OF EACH SHOP DRAWINGS FOR THE FOLLOWING: HIGH-ENERGY EFFICIENCY EQUIPMENT, SPLIT SYSTEM COOLING COILS, AIR COOLED CONDENSING UNIT, THERMOSTAT, GRILLES, REGISTERS, DUCTS, TRIMS, PIPES, JOINING METHODS, WATER HEATER, GUY GRAY UNITS, FLOOR DRAINS, BREAKER PANEL, CIRCUIT BREAKERS, SWITCHES, LUMINARIES, MOTION DETECTORS, DISCONNECT SWITCHES, & OUTLETS.
7. ELECTRICAL CONTRACTOR SHALL FURNISH ALL MOTOR CONTROLLERS, PILOT OTHER DEVICES,& SHALL IMPLEMENT ALL ALL REQUIRED WIRING EXCEPT A.T.C. WIRING.
8. ALL SUPPLY & RETURN DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH 1/2 FIBERGLASS WITH A.S.I. VAPOR BARRIER OR EQUAL.
9. GRILLES, REGISTERS, & DIFFUSER SHALL BE OF CAPACITIES & INDICATED SIZES IN ACCORDANCE WITH MANUFACTURERS PRINTED LITERATURE FOR RESIDENTIAL SOUND LEVELS & THROWS. MOUNT TIGHT TO CONSTRUCTION USING GASKETS TO PREVENT AIR LEAKAGE & STREAKING. BRANCHES FROM MAIN TO OUTLETS SHALL BE MADE USING ADJUSTABLE DEFLECTORS POSITIONED & SECURED TO PROVIDE SPECIFIED AIR QUANTITIES. , REGISTERS & GRILLES SHALL BE PROVIDED BY LIMA OR EQUAL.AND SHALL MATCH COLOR OF ADJACENT CEILING OF WALL. COORDINATE ALL REGISTERS IN CEILINGS WITH LIGHT FIXTURES.

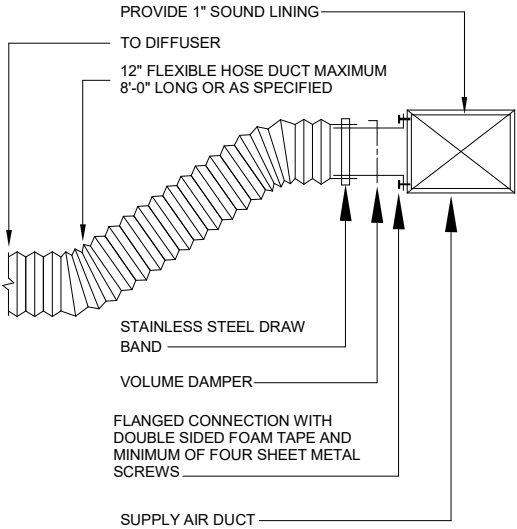


AVC ELECTRICAL UNIT DETAIL  
SCALE: N.T.S



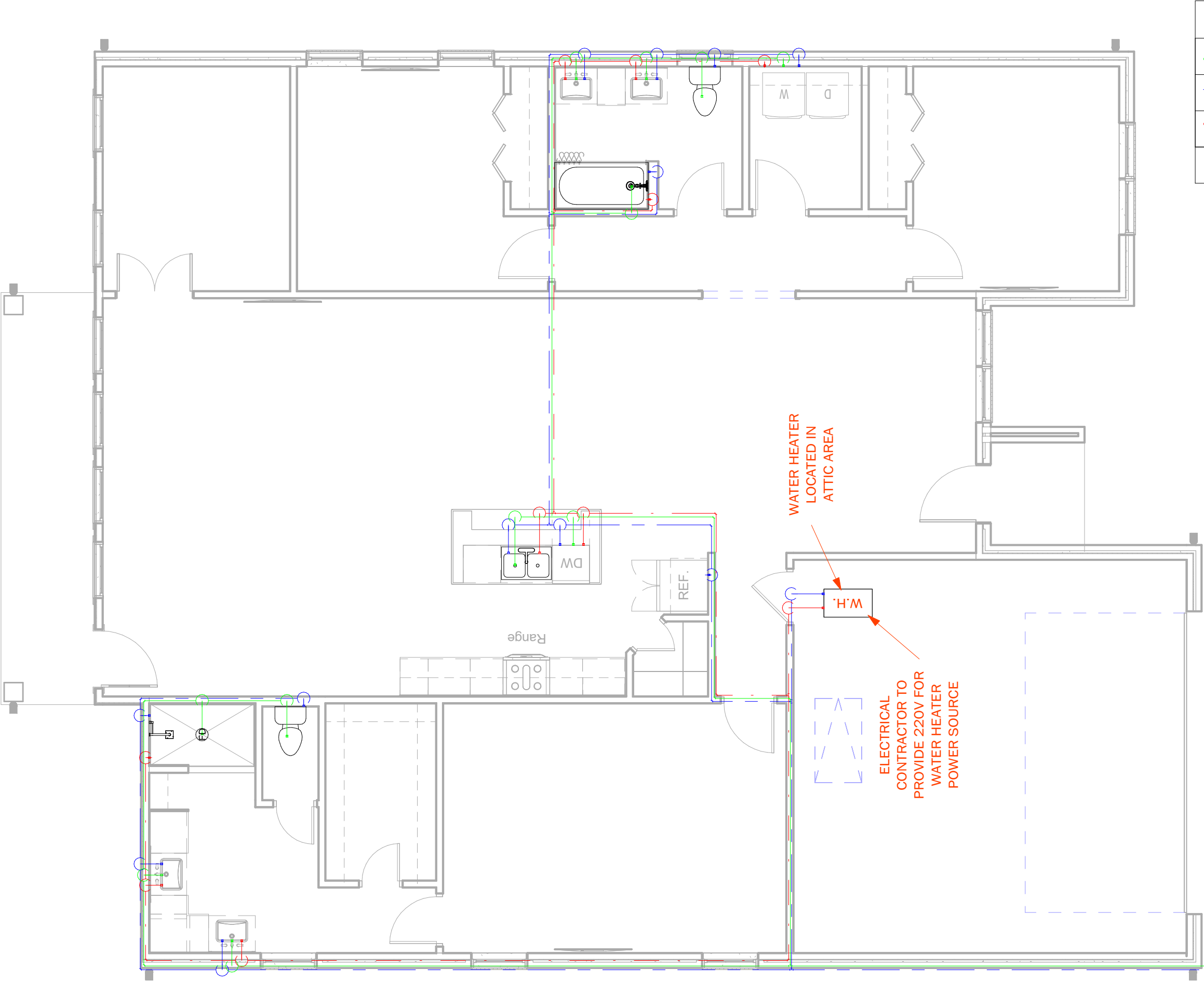
UNIT, DUCT SIZING, AND CFMs SHOWN ON DRAWINGS ARE APPROXIMATE, CONTRACTOR IS RESPONSIBLE FOR DESIGNING BALANCING SYSTEM FOR EVEN EFFICIENT HEATING AND COOLING

DUCT DETAIL  
SCALE: N.T.S



DIFFUSER TO FLEXIBLE DUCT CONNECTION DETAIL  
NOT TO SCALE





PLUMBING LEGEND	
	SANITARY SEWER
	COLD WATER
	HOT WATER
	PROPANE GAS LINE

**1** Level 1 Plumbing  
SCALE: 3/16" = 1'-0"

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CHRISTIAN SERRANO  
DESIGN  
GROUP

223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032

Project No.

CSC - 10348

12-07-2022

Revisions

Notes

NOT FOR CONSTRUCTION

CHRISTIAN SERRANO  
DESIGN GROUP

(469) 383-6084

WWW.CHRISTIANSERRANOCONSTRUCTION.COM

NAHB  
National Association  
of Home Builders

DallasBuilders  
Association



Scale

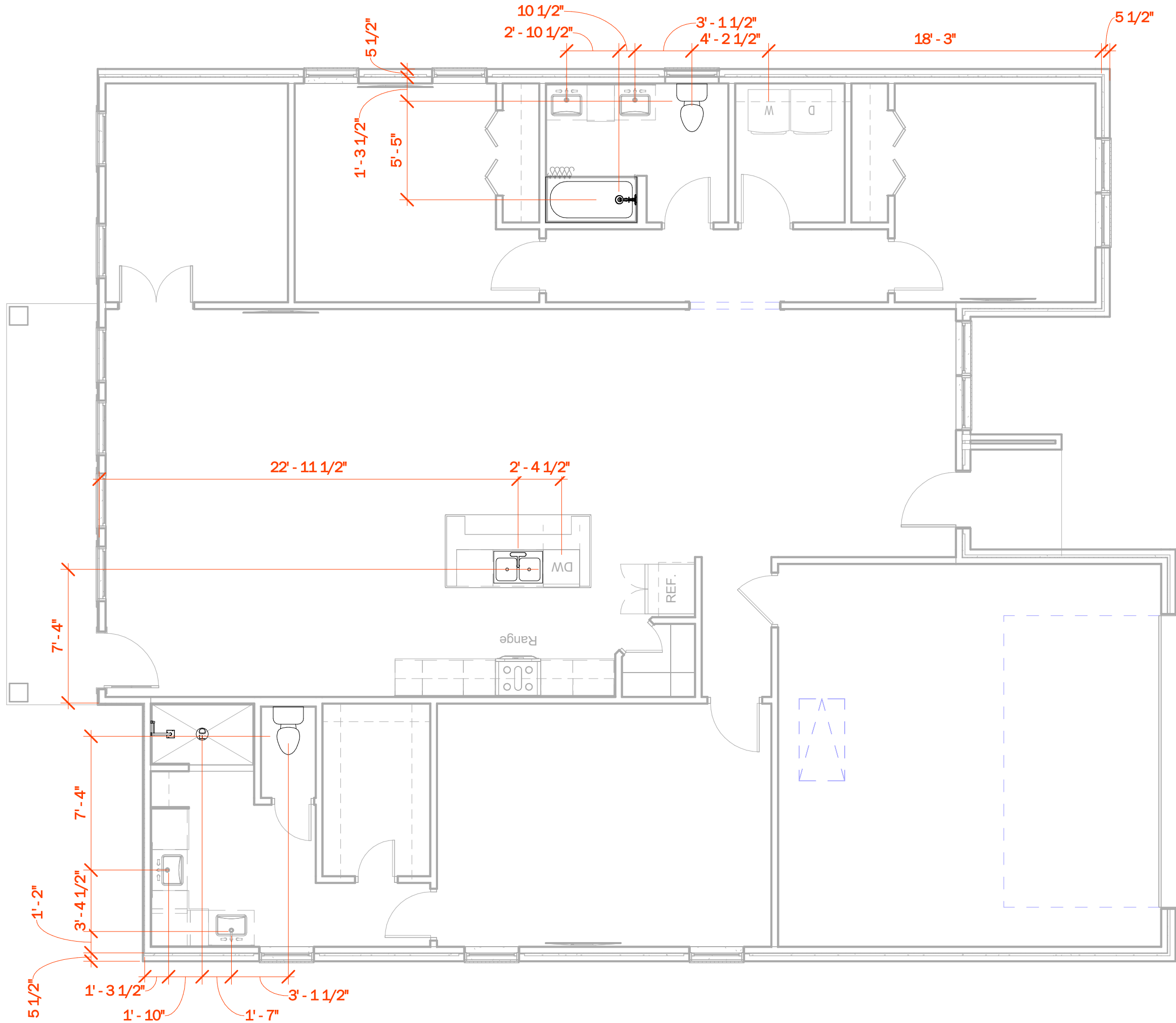
As indicated

Level 1 Plumbing  
Plan

P101.1

Drawn By

KS



### Level 1 Forming Plan

1

SCALE: 3/16" = 1'-0"

Plumbing Forming  
Plan  
**P102**

Drawn By JS

Scale 3/16" = 1'-0"

**NOT FOR CONSTRUCTION**

Revisions

Project No. CSC - 10348

**223 Russell Dr**  
223 Russell Dr.  
Rockwall TX, 75032

GENERAL PLUMBING NOTES

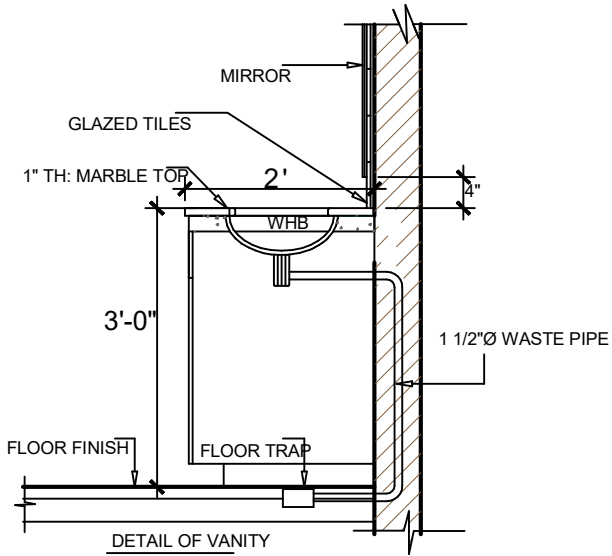
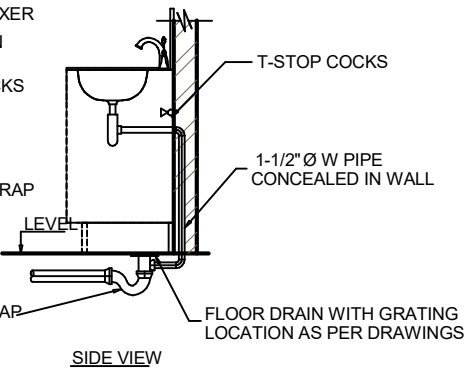
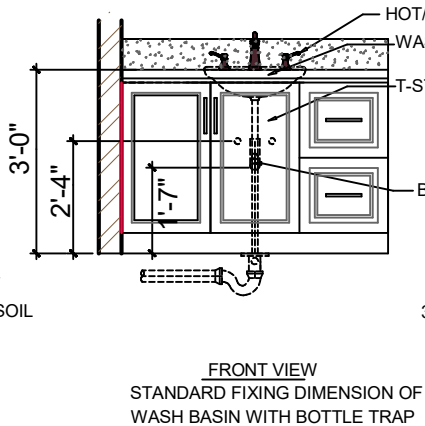
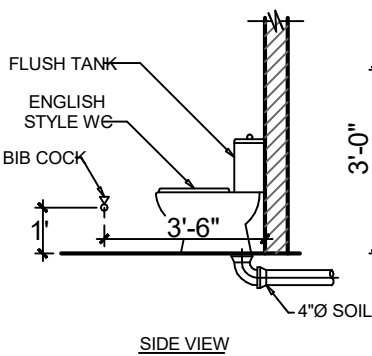
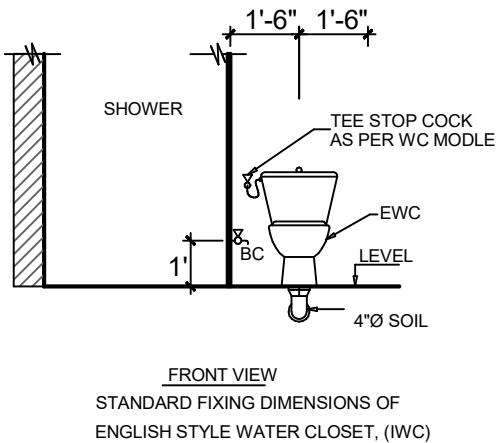
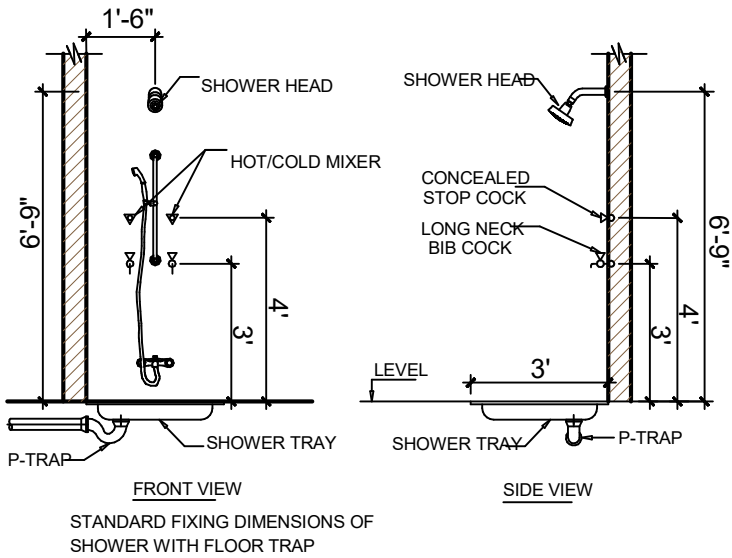
1 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL PLUMBING CODES.

2 - THE PROVISIONS OF THE CODE SHALL APPLY TO THE ERECTION, INSTALLATION, ALTERATION, HEALTH, PROPERTY AND PUBLIC WELFARE REGULATING AND CONTROLLING THE DESIGN, CONSTRUCTION, INSTALLATION, QUALITY OF MATERIALS, LOCATION, OPERATION OR USE OF PLUMBING EQUIPMENT.

3. ALL PLUMBING SYSTEMS, MATERIALS APPURTENANCES SHALL BE MAINTAINED IN PROPER CONDITION IN ACCORDANCE WITH THE ORIGINAL DESIGN IN A SAFE AND SANITARY CONDITION. ALL DEVICES OR SAFEGUARDS REQUIRED BY CODE SHALL BE MAINTAINED IN COMPLIANCE WITH THE CODE EDITION UNDER WHICH INSTALLED. THE OWNER OR OWNERS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PLUMBING SYSTEMS. TO DETERMINE COMPLIANCE WITH THIS PROVISION, THE CODE OFFICIAL SHALL HAVE THE AUTHORITY TO REQUIRE ANY PLUMBING SYSTEMS TO BE RE-INSPECTED.

4. FINAL INSPECTION SHALL BE MADE AFTER THE BUILDING IS COMPLETE, ALL PLUMBING FIXTURES ARE IN PLACE AND PROPERLY CONNECTED, AND THE STRUCTURE IS READY FOR OCCUPANCY. THE HOLDER OF THE PLUMBING SHALL BE RESPONSIBLE FOR THE SCHEDULING OF SUCH INSPECTIONS.

5. PROVIDE AND INSTALL NEW PLUMBING FIXTURES. CONNECT TO EXISTING WASTE, COLD WATER AND HOT WATER LINES AS SHOWN.





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

223 Russell Dr.

SUBDIVISION

Rockwall Lake Est #2

LOT

1290

BLOCK

GENERAL LOCATION

" "

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

vacant lot

CURRENT USE

vacant lot

PROPOSED ZONING

residential home

PROPOSED USE

residential

ACREAGE

.25

LOTS [CURRENT]

.25

LOTS [PROPOSED]

.25

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Martha Balleza / Ana Quezada

☒ APPLICANT

Martha Balleza / Ana Quezada

CONTACT PERSON

" "

CONTACT PERSON

" "

ADDRESS

4408 Aiken Trl.

ADDRESS

4408 Aiken Trl.

CITY, STATE & ZIP

Sachse, TX 75048

CITY, STATE & ZIP

Sachse, TX 75048

PHONE

214-984-7232

PHONE

214-984-7232

E-MAIL

marthaballeza@gmail.com

E-MAIL

anaq828@yahoo.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Martha Balleza Ana Quezada STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

[OWNER] THE UNDERSIGNED, WHO

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS DAY OF \_\_\_\_\_, 20 \_\_\_\_ BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL IS AUTHORIZED TO DISSEMINATE ANY INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION FROM THE PUBLIC, STATE OF TEXAS

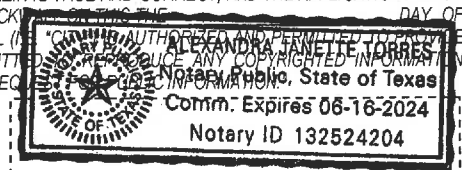
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13<sup>th</sup> DAY OF March, 20 23

OWNER'S SIGNATURE

Martha Balleza / Ana Quezada

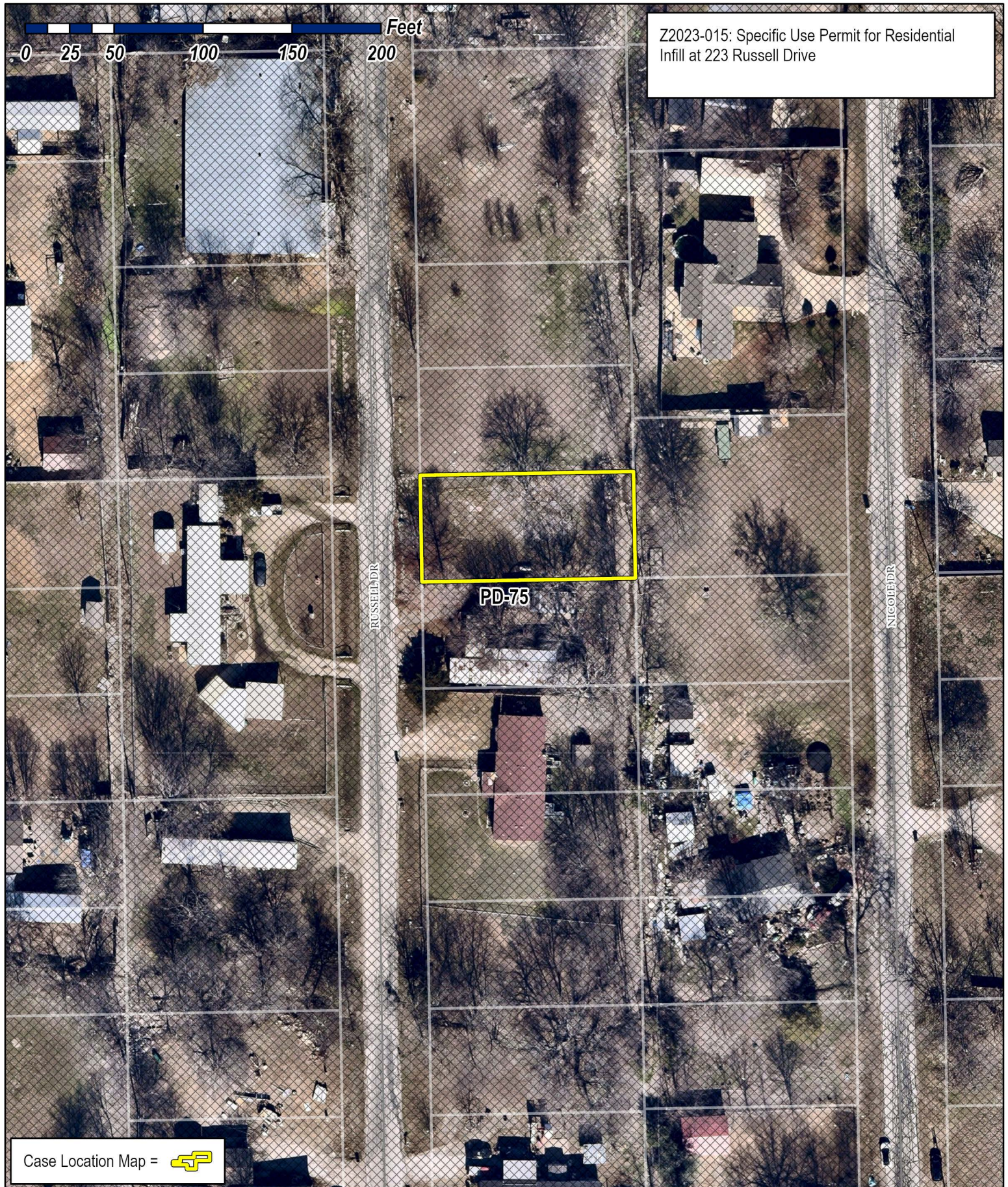
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Alexandra J. Torres



MY COMMISSION EXPIRES 06/16/2024





Z2023-015: Specific Use Permit for Residential Infill at 223 Russell Drive

Case Location Map = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



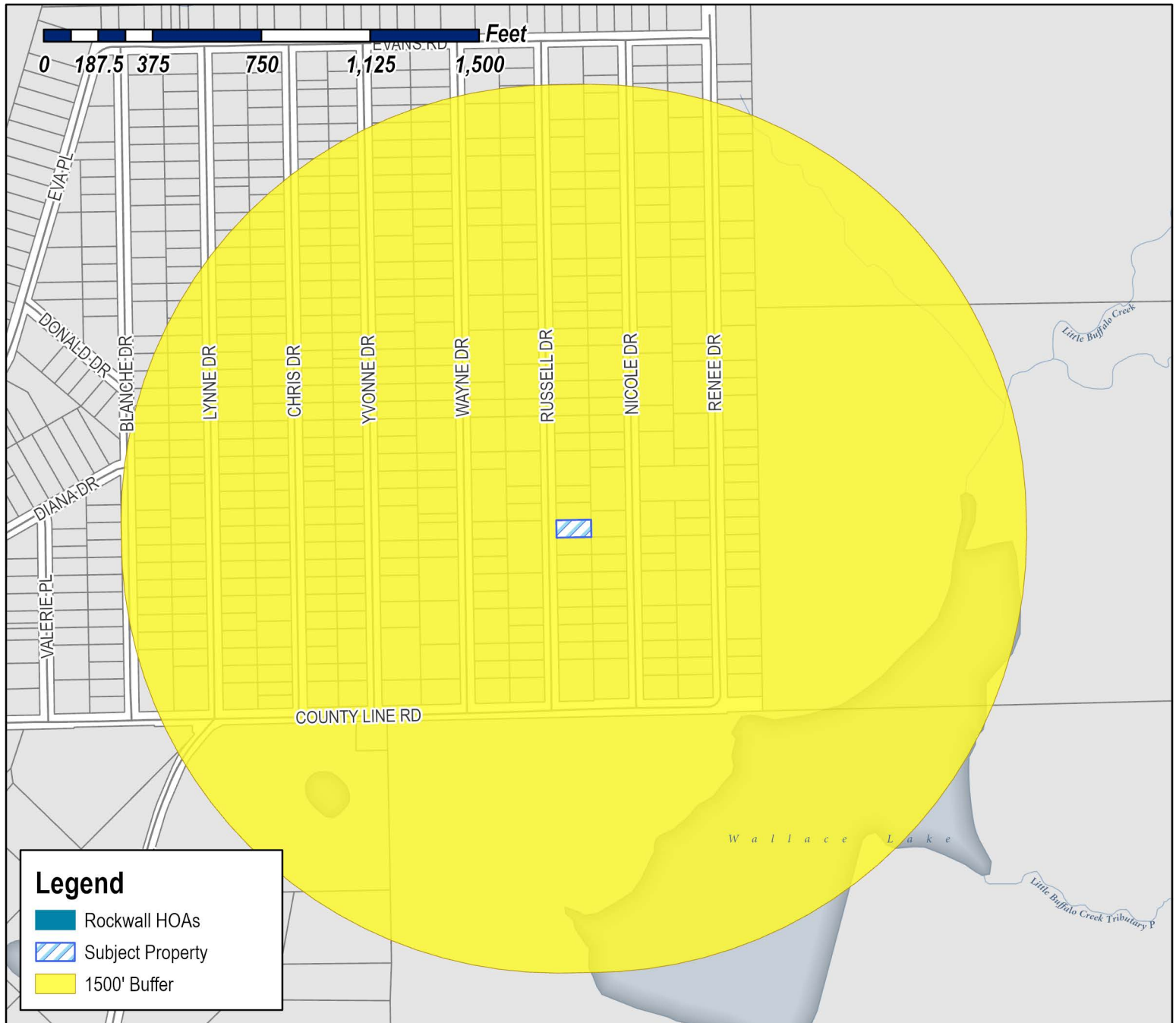




# City of Rockwall

Planning & Zoning Department  
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Rockwall, Texas 75087  
(P): (972) 771-7745  
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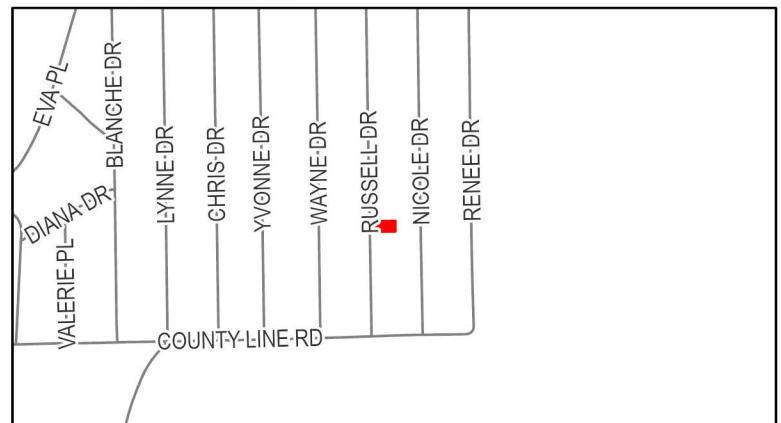
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**Case Number:** Z2023-015  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 223 Russell Drive

**Date Saved:** 3/14/2023

For Questions on this Case Call (972) 771-7745

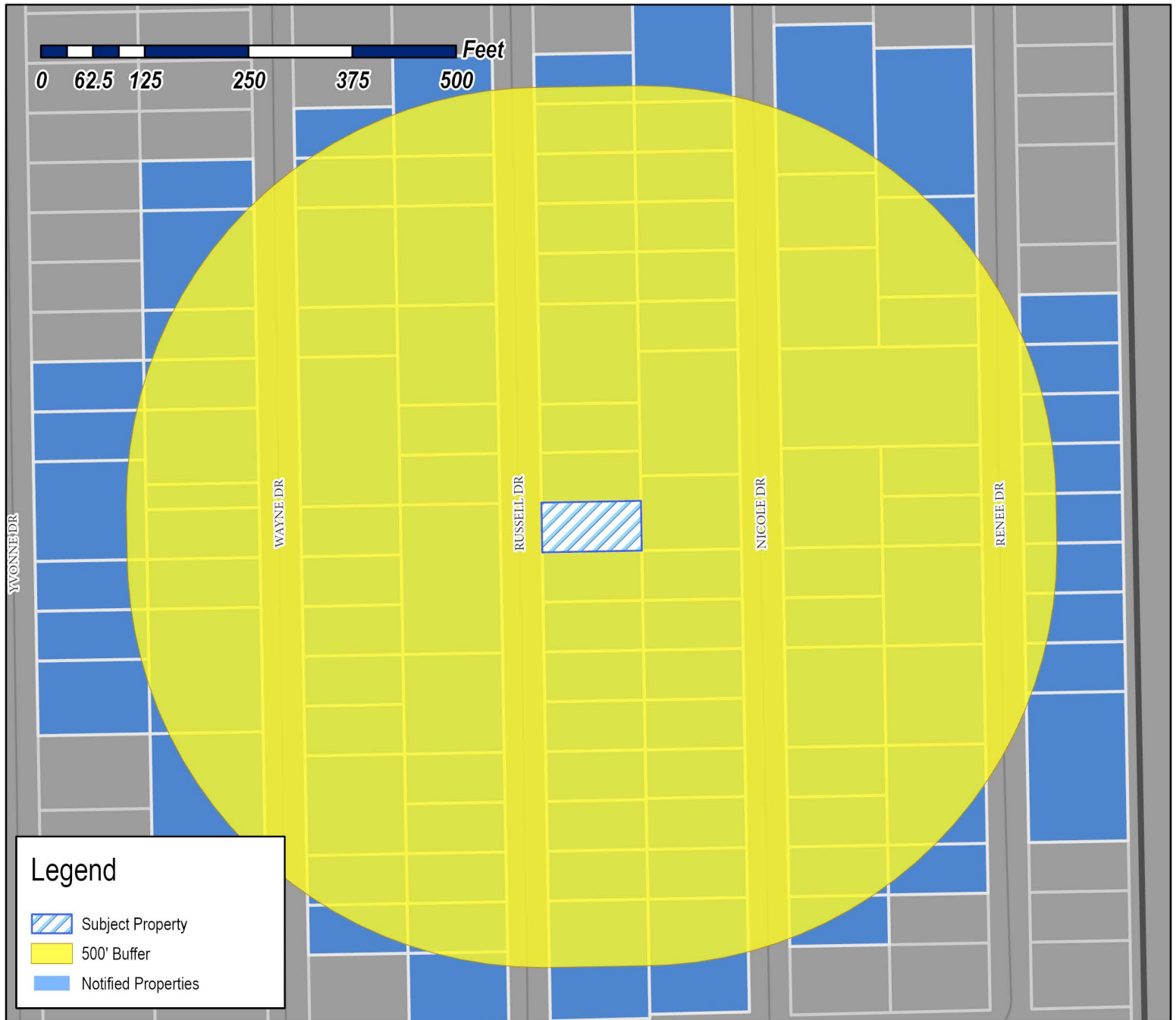




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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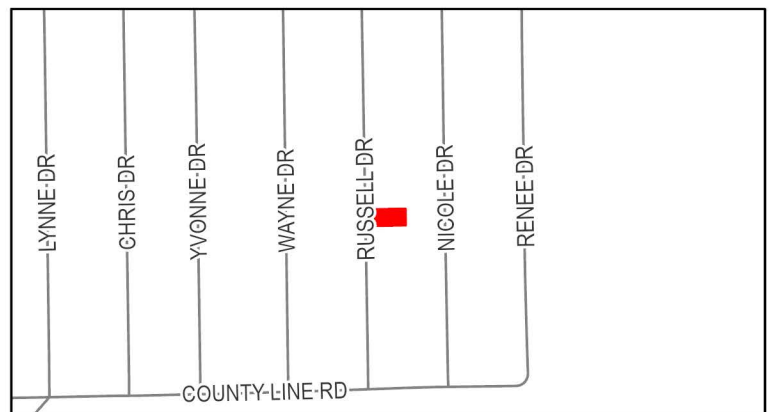
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For Questions on this Case Call: (972) 771-7746



SHEPHERD PLACE HOMES INC  
10527 CHURCH RD # 201  
DALLAS, TX 75238

ROCKWALL HABITAT FOR HUMANITY  
1101 RIDGE RD  
ROCKWALL, TX 75087

DIAZ CARLOS O &  
YOVANA M CHAVEZ  
115 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
116 NICOLE  
ROCKWALL, TX 75032

RESIDENT  
116 RUSSELL DR  
ROCKWALL, TX 75032

OLIVARES JAIME  
1209 QUAIL DR  
GARLAND, TX 75040

RAMIREZ ZACARIAS  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

SIERRA ZACARIAS RAMIREZ  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

RESIDENT  
125 WAYNE DR  
ROCKWALL, TX 75032

VASQUEZ FRANCISCO  
125 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
128 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
132 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
133 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
137 NICOLE DR  
ROCKWALL, TX 75032

IBARRA MATEO CASTRO  
140 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
142 RUSSELL DR  
ROCKWALL, TX 75032

CONTRERAS JOSE A  
142 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
143 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
143 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
149 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
152 NICOLE DR  
ROCKWALL, TX 75032

MARQUEZ FELIX C  
154 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
155 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
157 WAYNE DR  
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO  
158 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
159 NICOLE DR  
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA  
162 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
164 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
167 RUSSELL DR  
ROCKWALL, TX 75032

VASQUEZ JESUS  
167 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
168 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
169 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
176 NICOLE DR  
ROCKWALL, TX 75032

MEJIA JULIO & MARIA  
176 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
181 RUSSELL DR  
ROCKWALL, TX 75032

MEDRANO CESAR AND ANDREA MARTINEZ  
181 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
182 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ FELICITAS  
183 NICOLE DR  
ROCKWALL, TX 75032

YANEZ FERNANDO AND  
JUAN A YANEZ  
183 YVONNE  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

JON & JOY CO., LLCN  
187 TEJAS TRAIL  
ROYSE CITY, TX 75189

RESIDENT  
191 RENEE DR  
ROCKWALL, TX 75032

AVILA LUZ MARIA  
1924 DEVONSHIRE  
GARLAND, TX 75041

FAST INVESTMENTS LLC  
193 RUSSELL DR  
ROCKWALL, TX 75032

MONTOYA YVONNE  
193 RUSSELL DRIVE  
ROCKWALL, TX 75032

CARMONA JOSE  
194 RENEE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
195 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
195 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
196 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
198 RUSSELL DR  
ROCKWALL, TX 75032

RAMIREZ RUBIN & MARTHA  
200 CHAMBERLAIN DR  
FATE, TX 75189

RUIZ SONIA  
2009 WORCESTER LN  
GARLAND, TX 75040

RUIZ SONIA  
2009 WORCESTER LN  
GARLAND, TX 75040

LEDEZMA J SOCORRO AGUILAR  
201 RENEE DRIVE  
ROCKWALL, TX 75032

LEDEZMA J SOCORRO AGUILAR  
201 RENEE DRIVE  
ROCKWALL, TX 75032

YANEZ JUAN  
201 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
204 WAYNE DR  
ROCKWALL, TX 75032



RESIDENT  
207 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
208 NICOLE DR  
ROCKWALL, TX 75032

PROCK CHARLES A AND EVELYN  
209 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
211 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
211 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
215 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
216 WAYNE DR  
ROCKWALL, TX 75032

PATINO SYLVIA AND  
ZEFERINO BUSTAMANTE  
2168 DOVE DR  
QUINLAN, TX 75474

RENO PATRICIA JEAN  
218 RUSSELL DRIVE  
ROCKWALL, TX 75032

RESIDENT  
221 RENEE DR  
ROCKWALL, TX 75032

CARMONA JOEL  
221 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
222 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
223 RUSSELL DR  
ROCKWALL, TX 75032

GURRUSQUIETA CELIA  
225 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
226 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
227 WAYNE DR  
ROCKWALL, TX 75032

KENDALL LEAH T  
227 YVONNE DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
233 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
235 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
236 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
238 RUSSELL DR  
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN  
241 TROUT ST  
ROCKWALL, TX 75032

RESIDENT  
245 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
247 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
248 RUSSELL DR  
ROCKWALL, TX 75032

SANCHEZ PABLO  
248 NICOLE DR  
ROCKWALL, TX 75032

SMITH ROY  
248 WAYNE DR  
ROCKWALL, TX 75032

LINDOP N A JR  
248 WAYNE DR  
ROCKWALL, TX 75032

GARCIA ERIK URBINA AND ISABEL GONZALEZ  
249 YVONNE  
ROCKWALL, TX 75032

RESIDENT  
250 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
250 RENEE DR  
ROCKWALL, TX 75032

NGO HA THAI  
2505 WESTBANK TRAIL  
GARLAND, TX 75042

NGO LINH T  
2505 WESTBANK TRAIL  
GARLAND, TX 75042

CERVANTES LUIS & ELSA  
251 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
259 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
262 RUSSELL DR  
ROCKWALL, TX 75032

CRUZ DEBRA J  
262 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
264 WAYNE DR  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L  
265 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
269 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
274 NICOLE DR  
ROCKWALL, TX 75032

LINDOP JOYCE ANN  
274 WAYNE DR  
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA  
275 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
283 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
285 RUSSELL DR  
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS  
288 NICOLE DRIVE  
ROCKWALL, TX 75032

RIVERA DORIS MABEL  
288 RENEE DR  
ROCKWALL, TX 75032

SOSA LORENA  
293 NICOLE DR  
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE  
296 RUSSELL DR  
ROCKWALL, TX 75032

GARCIA RICARDO  
298 WAYNE DR  
ROCKWALL, TX 75032

GUERRERO JUAN  
299 RUSSELL DR  
ROCKWALL, TX 75032

GUERRERO JUAN  
299 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
302 NICOLE DR  
ROCKWALL, TX 75032

MACIEL JENNIFER E  
303 WAYNE DR  
ROCKWALL, TX 75032

ARCINIEGA D ODIN A  
310 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
311 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
312 NICOLE DR  
ROCKWALL, TX 75032

ESPARZA MARCO  
312 RENEE  
ROCKWALL, TX 75032

RESIDENT  
313 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
314 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
321 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
321 WAYNE DR  
ROCKWALL, TX 75032

BENITES ROSA  
322 NICOLE DR  
ROCKWALL, TX 75032

RODARTE PASCUAL AND SARA I  
322 RUSSELL DR  
ROCKWALL, TX 75032

BRAGA GUILHERME CREDIDIO & YASMINI  
RAMOS IZIDORO  
327 NICOLE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
335 RUSSELL DR  
ROCKWALL, TX 75032

ESPARZA ABEL AND MONICA CARMONA  
336 NICOLE DR  
ROCKWALL, TX 75032

MOLINA JAIME  
340 YVONNE DR  
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA  
352 WAYNE DR  
ROCKWALL, TX 75032

CARRENZA ALEJANDRO AND MARIA  
GUADALUPE  
382 PERCH RD  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SALAS MIGUEL ANGEL LEDEZMA AND  
YAJAIRA GUADALUPE GARCIA FERNANDEZ  
416 BASS RD  
ROCKWALL, TX 75032

CLEM MILFORD  
433 THISTLE DR  
GARLAND, TX 75043

GEMINI VL LLC &  
ROCKWALL LAKE PROP LLC  
5713 SECREST CT  
GOLDEN, CO 80403

GALICIA VANESSA  
5801 LAKE HUBBARD PKWY APT 103  
GARLAND, TX 75043

ACUNA NINFA  
703 T L TOWNSEND DR  
ROCKWALL, TX 75087

ESTRADA NOHEMA  
705 LAKESIDE DR  
ROCKWALL, TX 75032

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
787 HAIL DR  
ROCKWALL, TX 75032

JUNFA USA, LLC  
910 MELISSA LN  
GARLAND, TX 75040

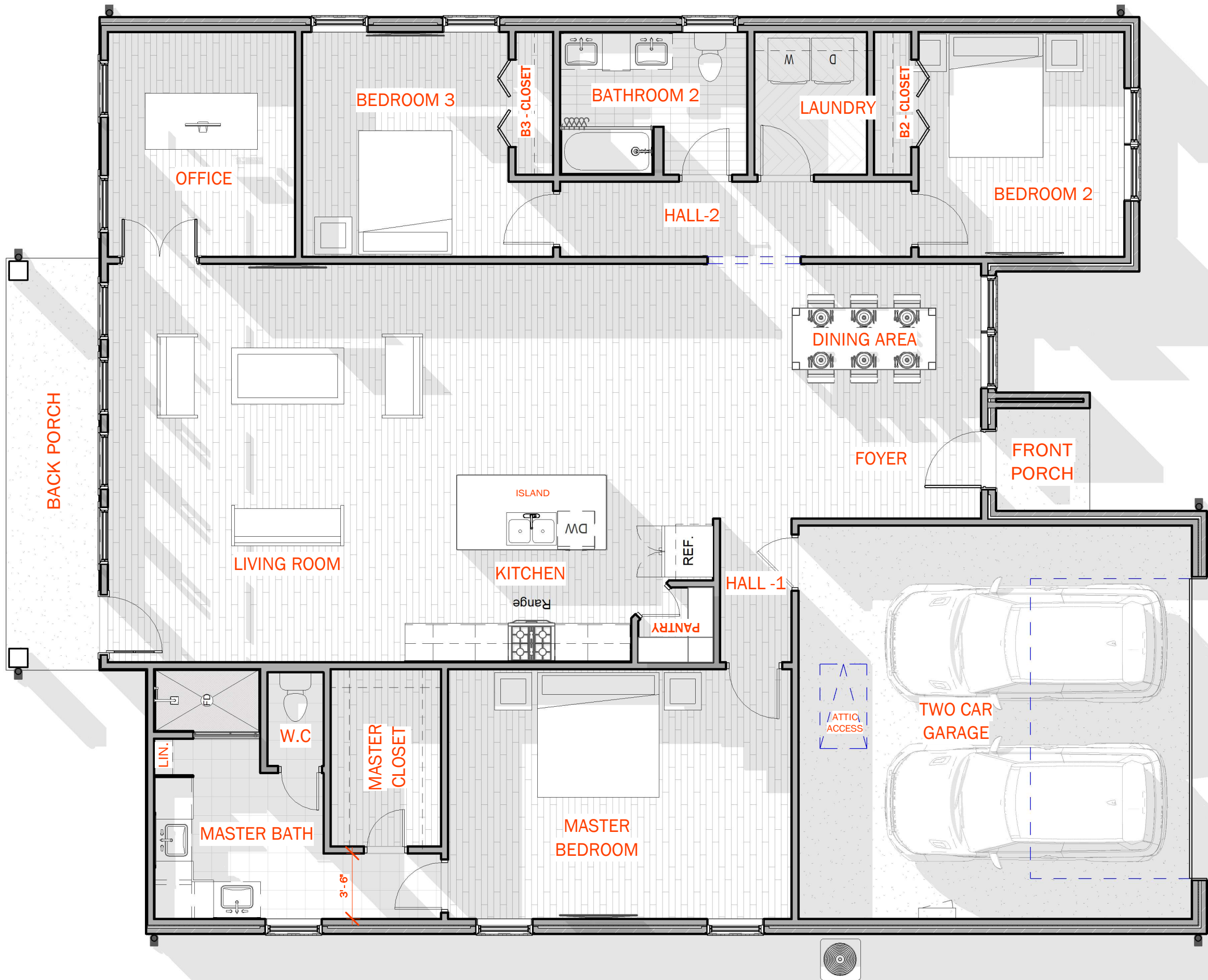
EMZ REAL ESTATE LLC  
9110 TAMPAS LANE  
DALLAS, TX 75227

M6 HOME LLC  
SEWDAT PERSAUD  
920 YOSEMITE TRAIL  
MESQUITE, TX 75149

HERNANDEZ FIDEL ESPINO  
9233 WHISKERS RD  
QUINLAN, TX 75474

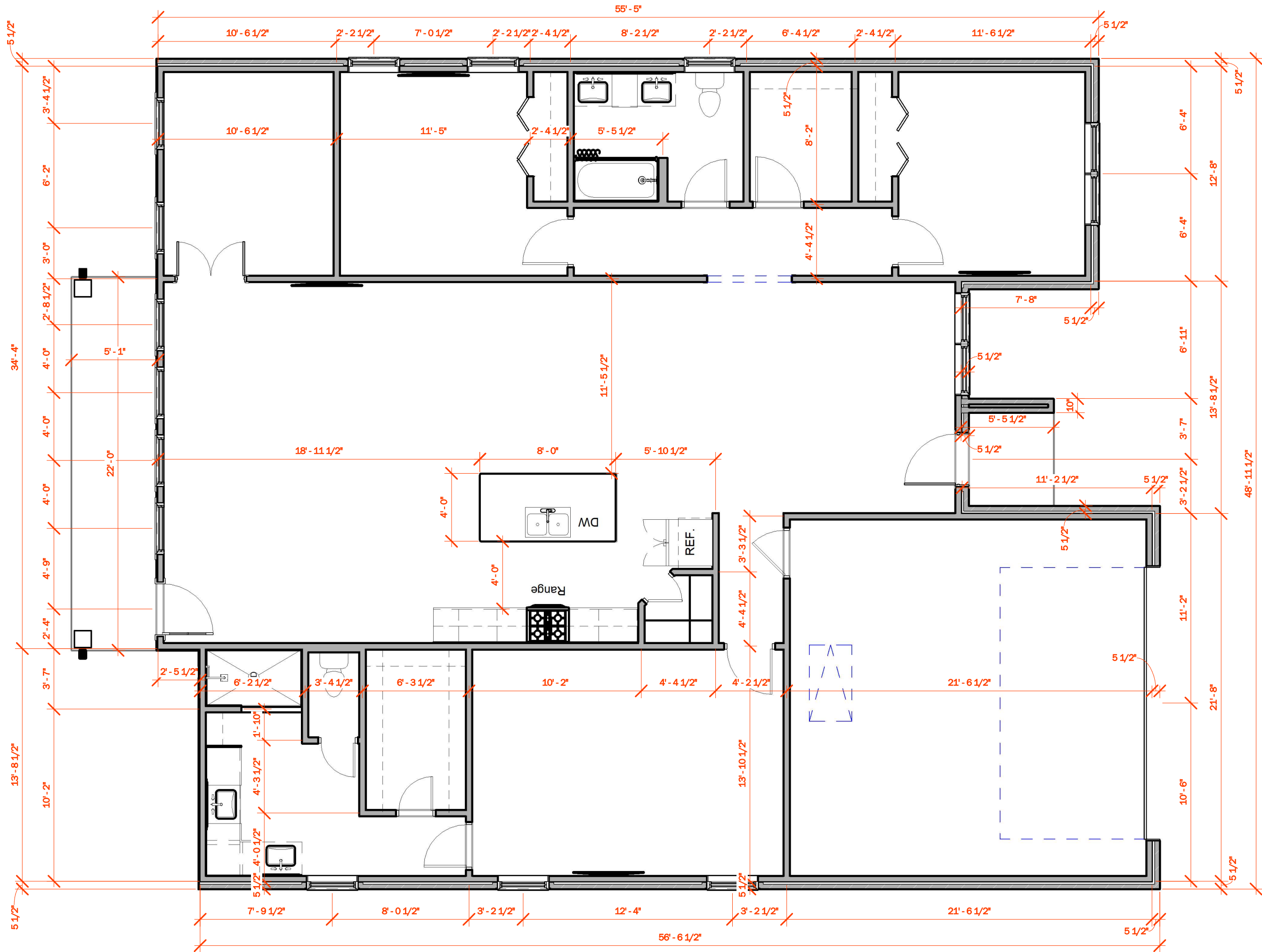
BARRON GILDARDO  
P.O. BOX 2044  
ROCKWALL, TX 75087

GLEASON DIANE  
PO BOX 670041  
DALLAS, TX 75367



1 Level 1  
SCALE: 3/16" = 1'-0"



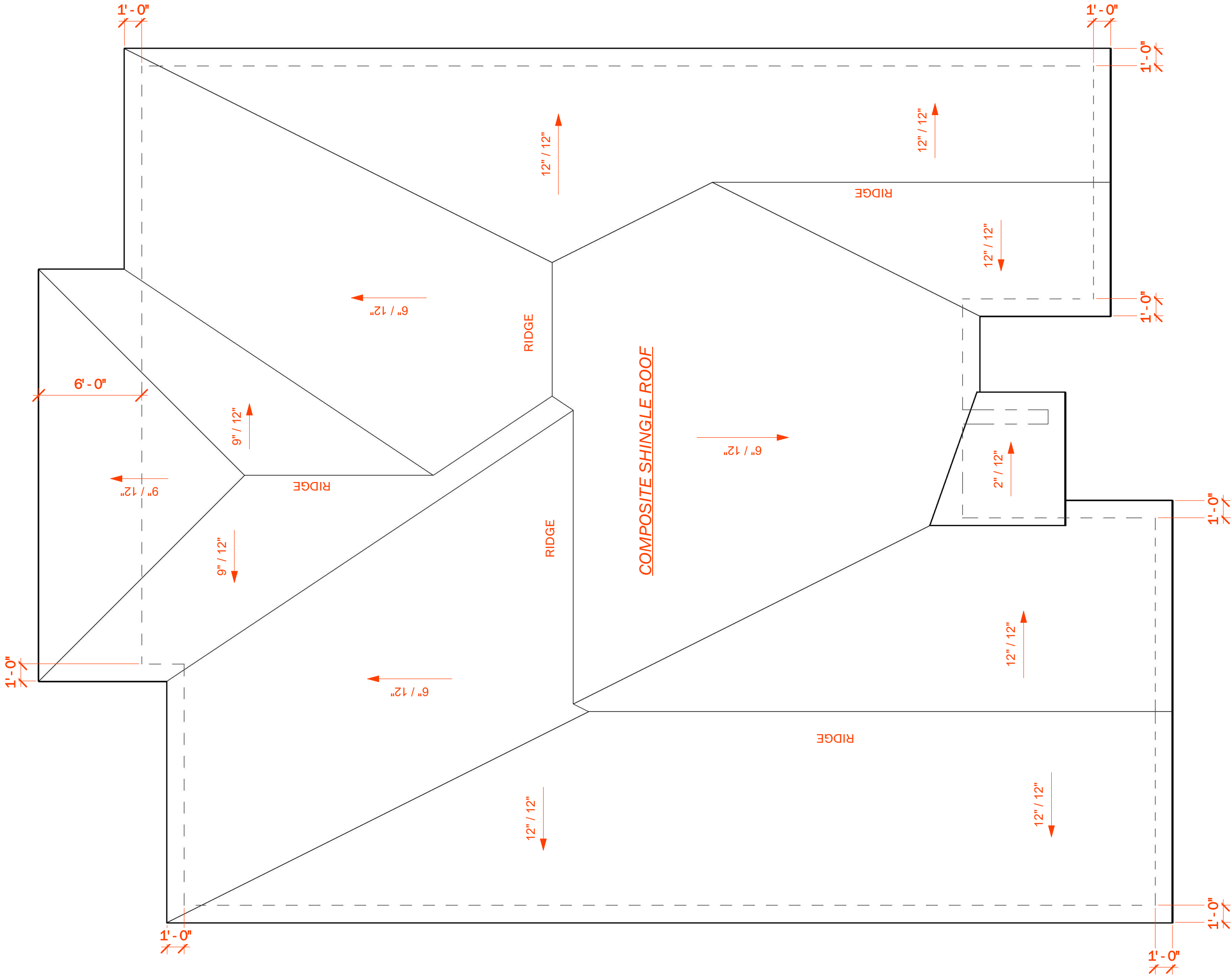


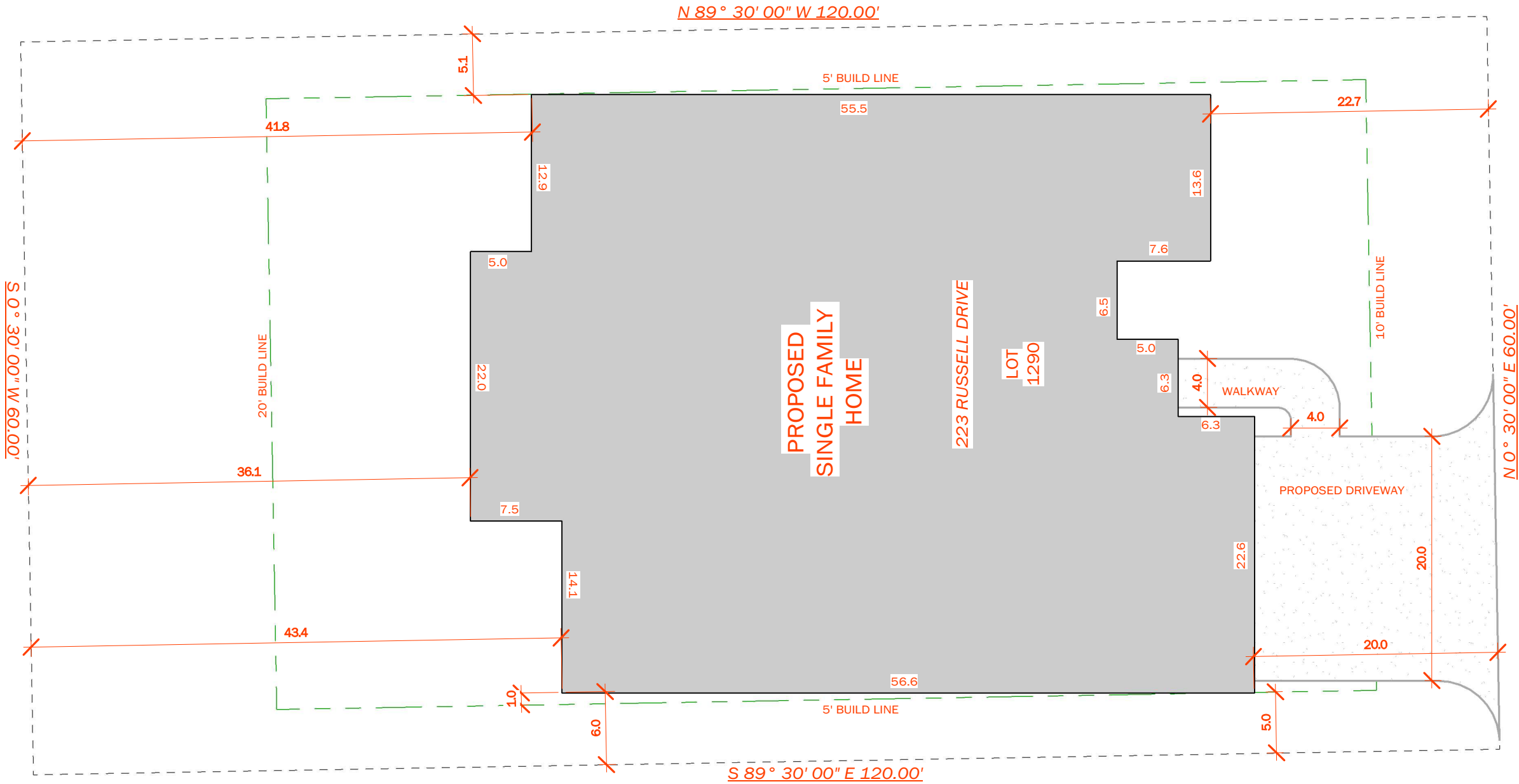
Level 1 Dimensions

1

SCALE: 3/16" = 1'-0"

Level 1  
Dimensions  
A101.2





1 Site Plan  
SCALE: 1" = 10'-0"

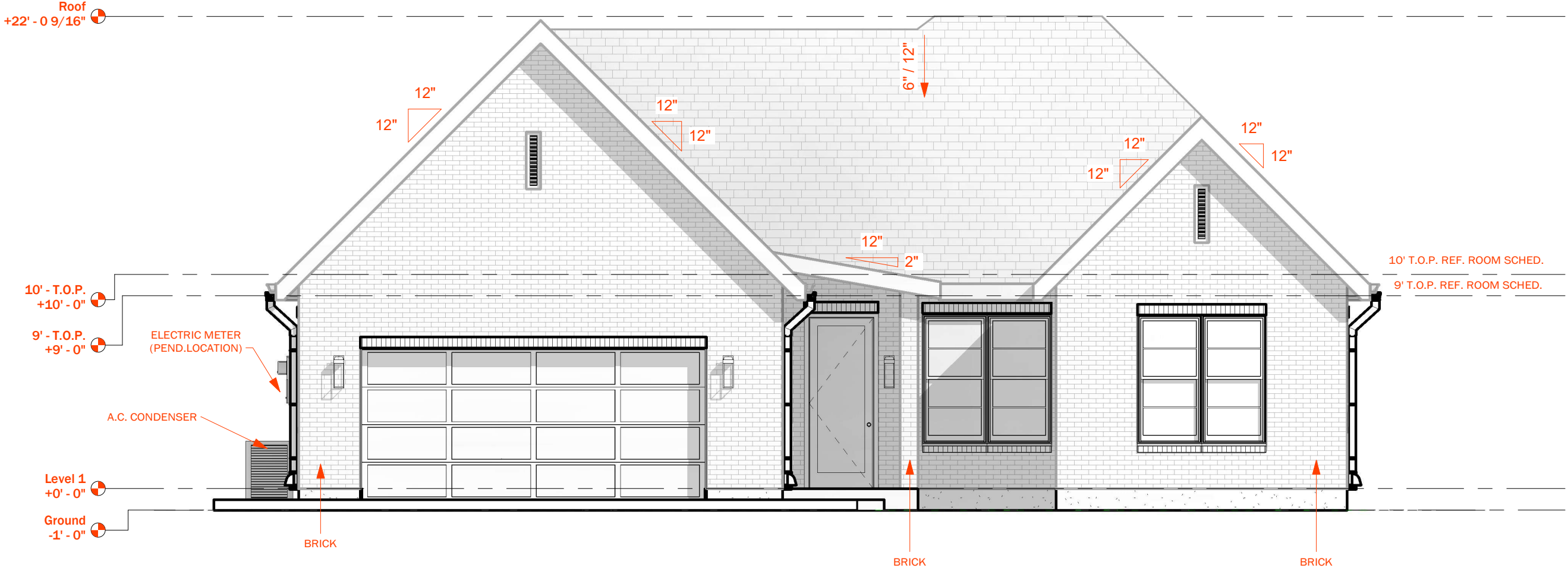




1

Front Elevation

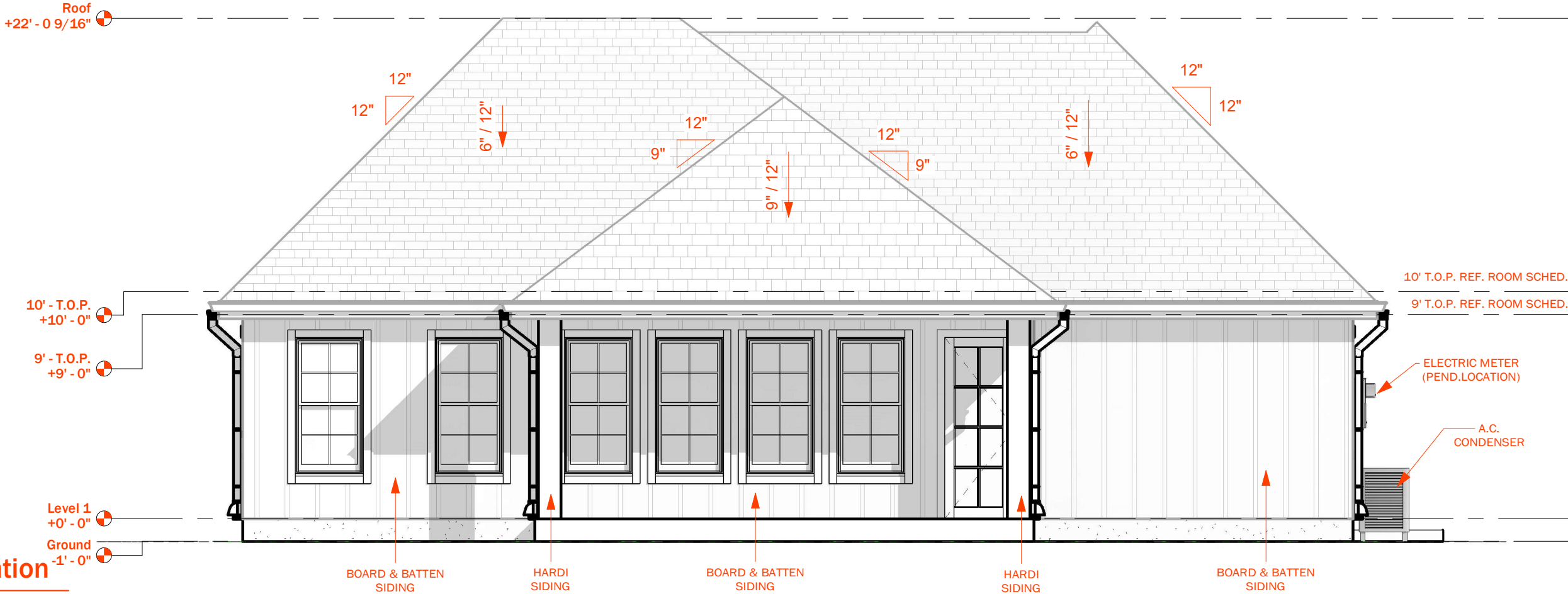
SCALE: 3/16" = 1'-0"



2

Back Elevation

SCALE: 3/16" = 1'-0"



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GROUP

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Rockwall TX, 75032

Project No. CSC - 10348

12-07-2022

Revisions

Notes

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DESIGN GROUP

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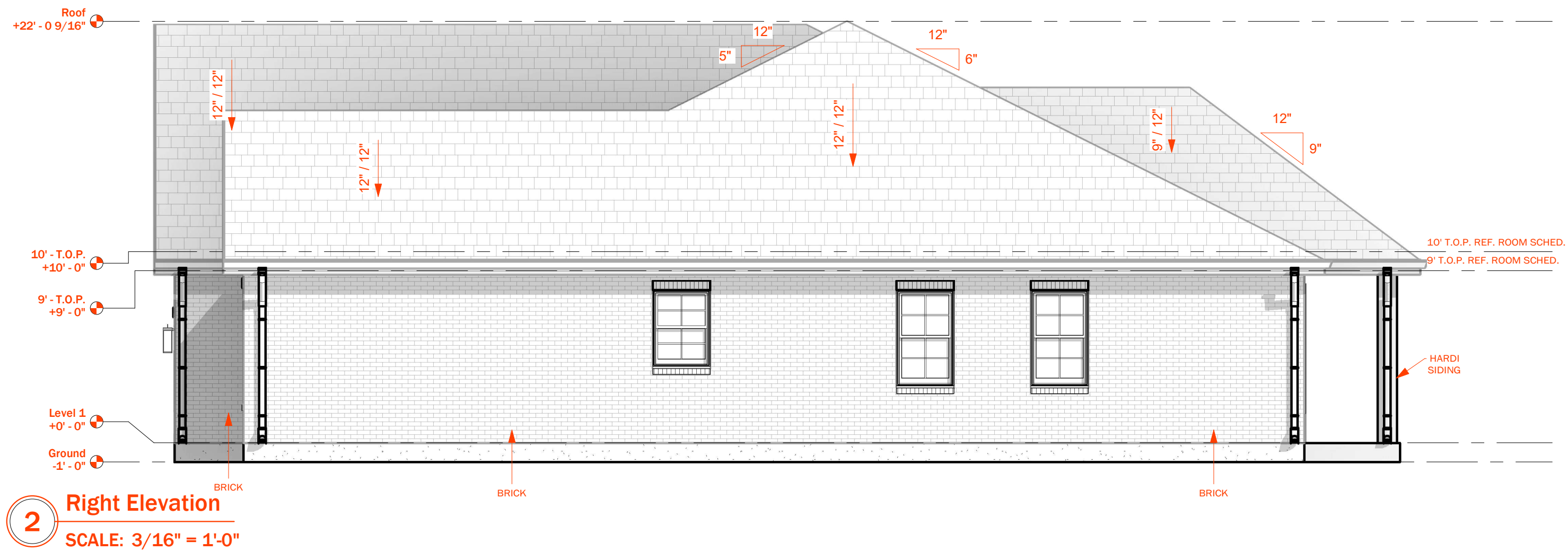
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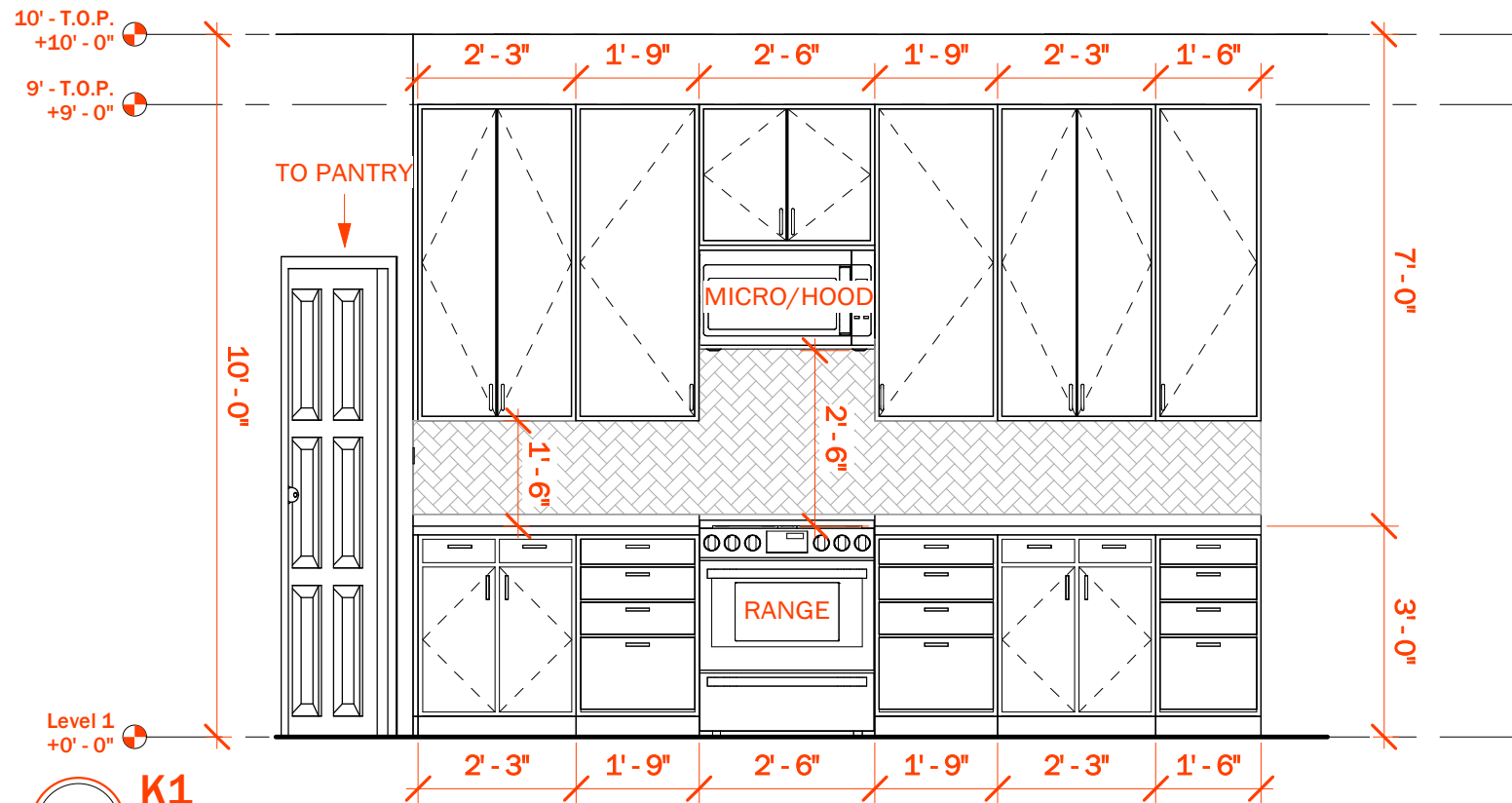
Front & Rear  
Elevations

A105.1

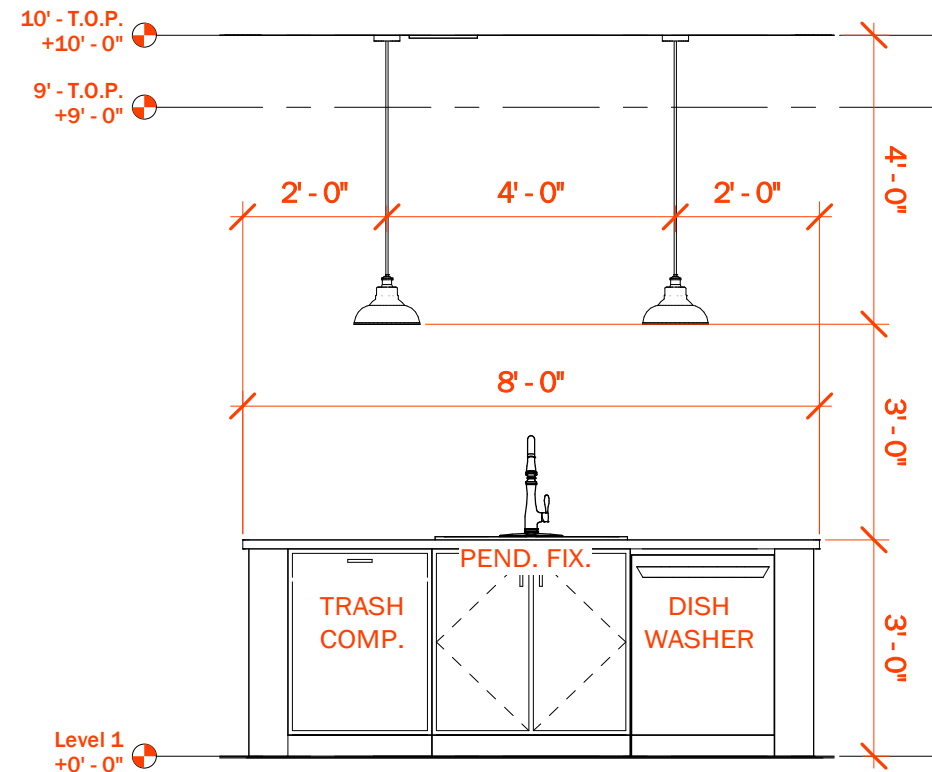
Drawn By

KS

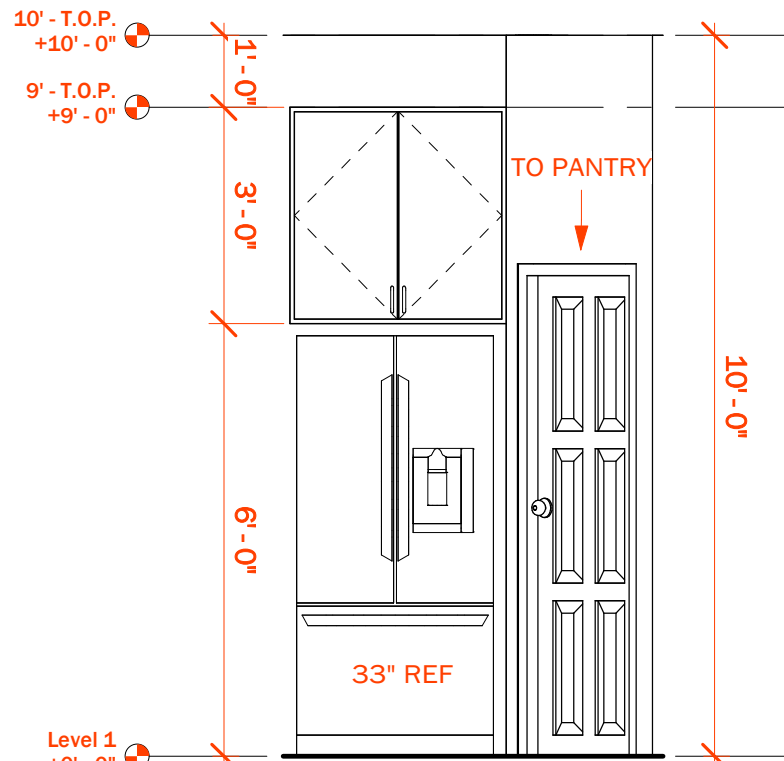




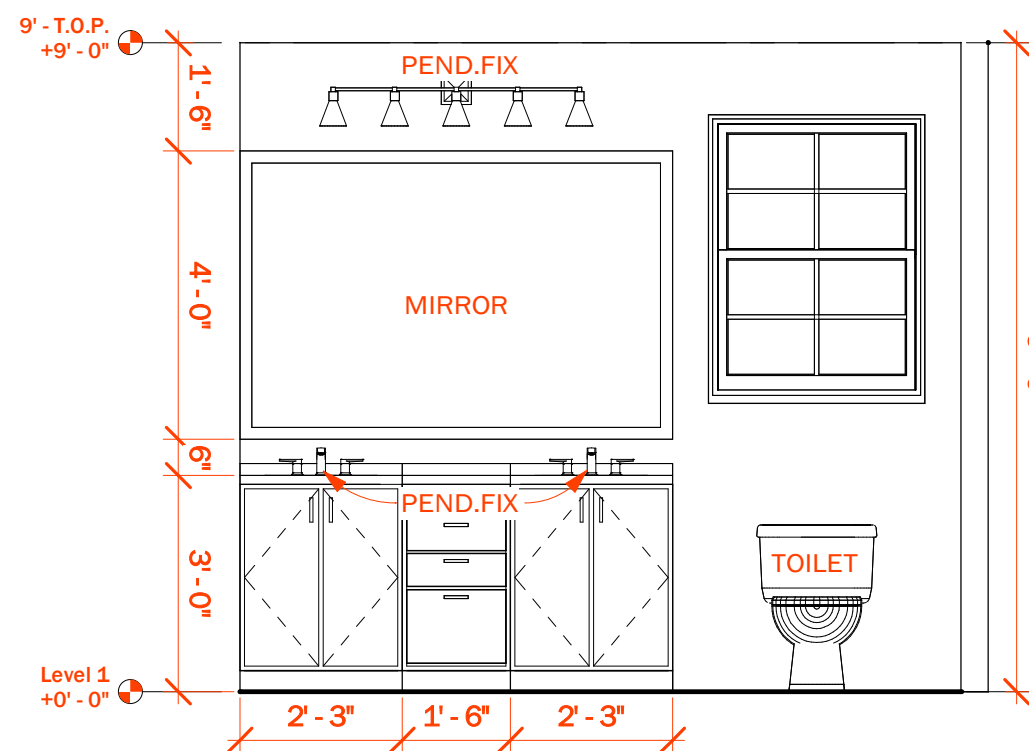
**1** K1  
SCALE: 3/8" = 1'-0"



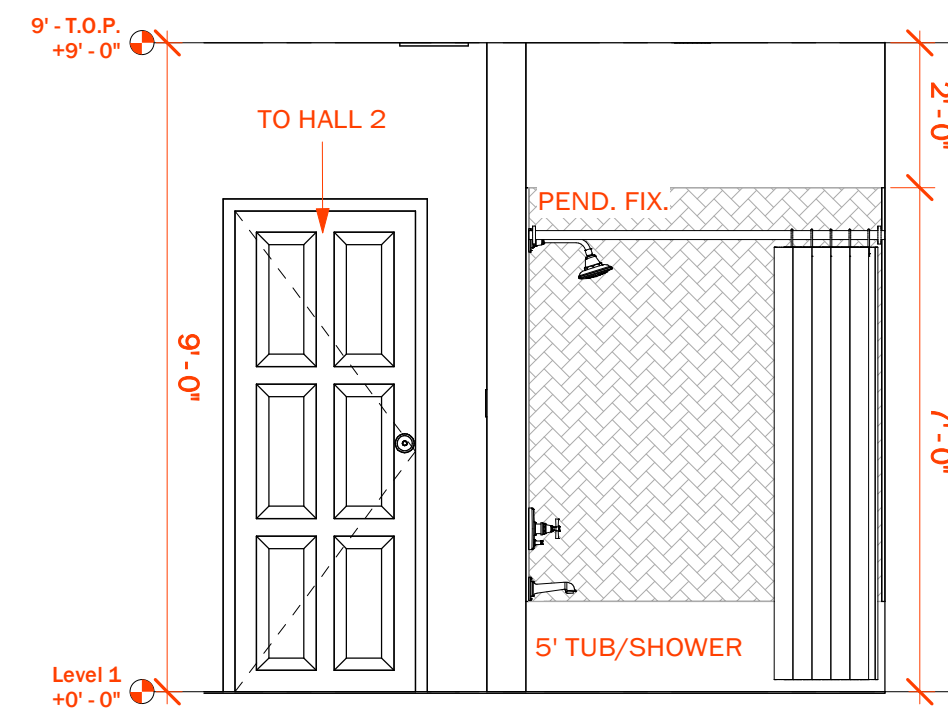
**2** K2  
SCALE: 3/8" = 1'-0"



**3** K3  
SCALE: 3/8" = 1'-0"



**4** B2-1  
SCALE: 3/8" = 1'-0"



**5** B2-2  
SCALE: 3/8" = 1'-0"

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DallasBuilders  
ASSOCIATION

TEXAS  
SPECIALTY  
BUILDERS

Scale 3/8" = 1'-0"

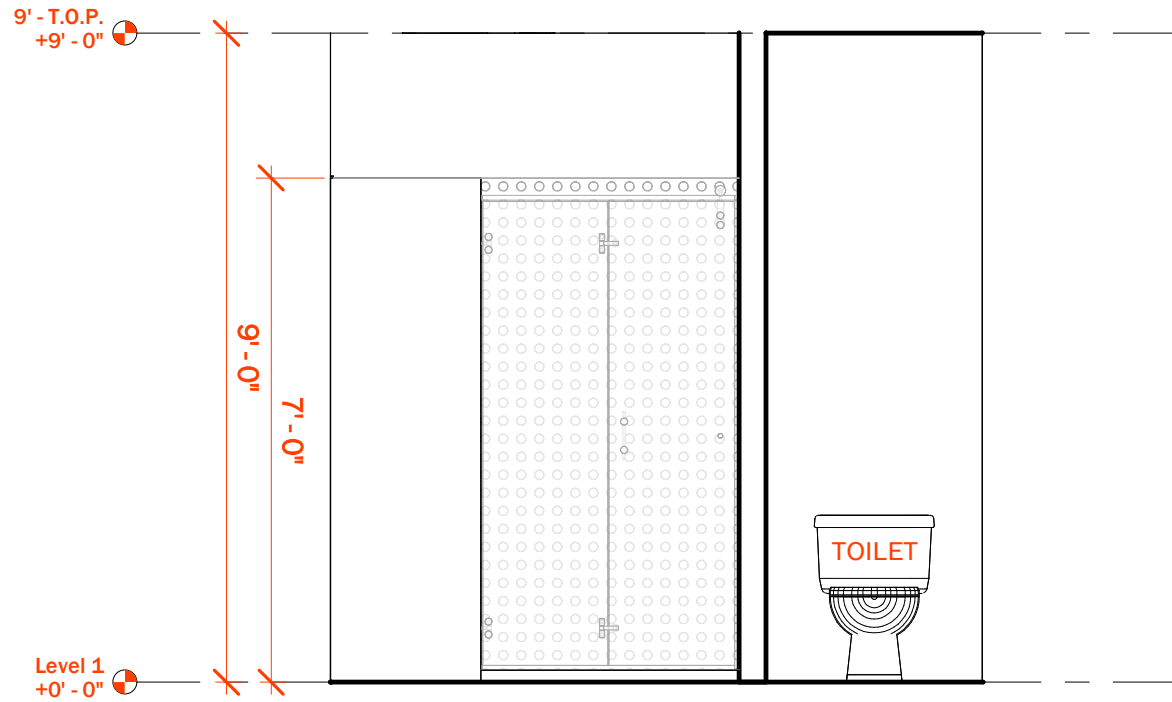
Interior Elevations

**A106.1**

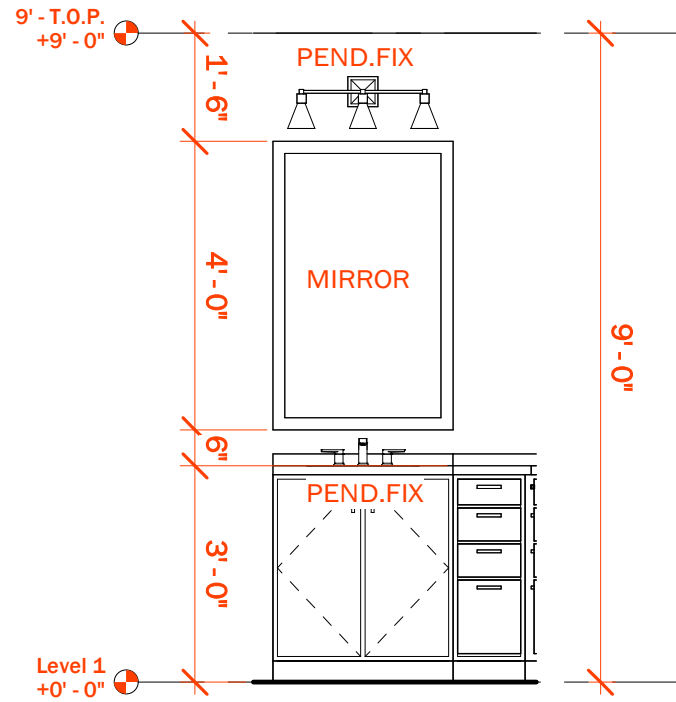
Drawn By

KS

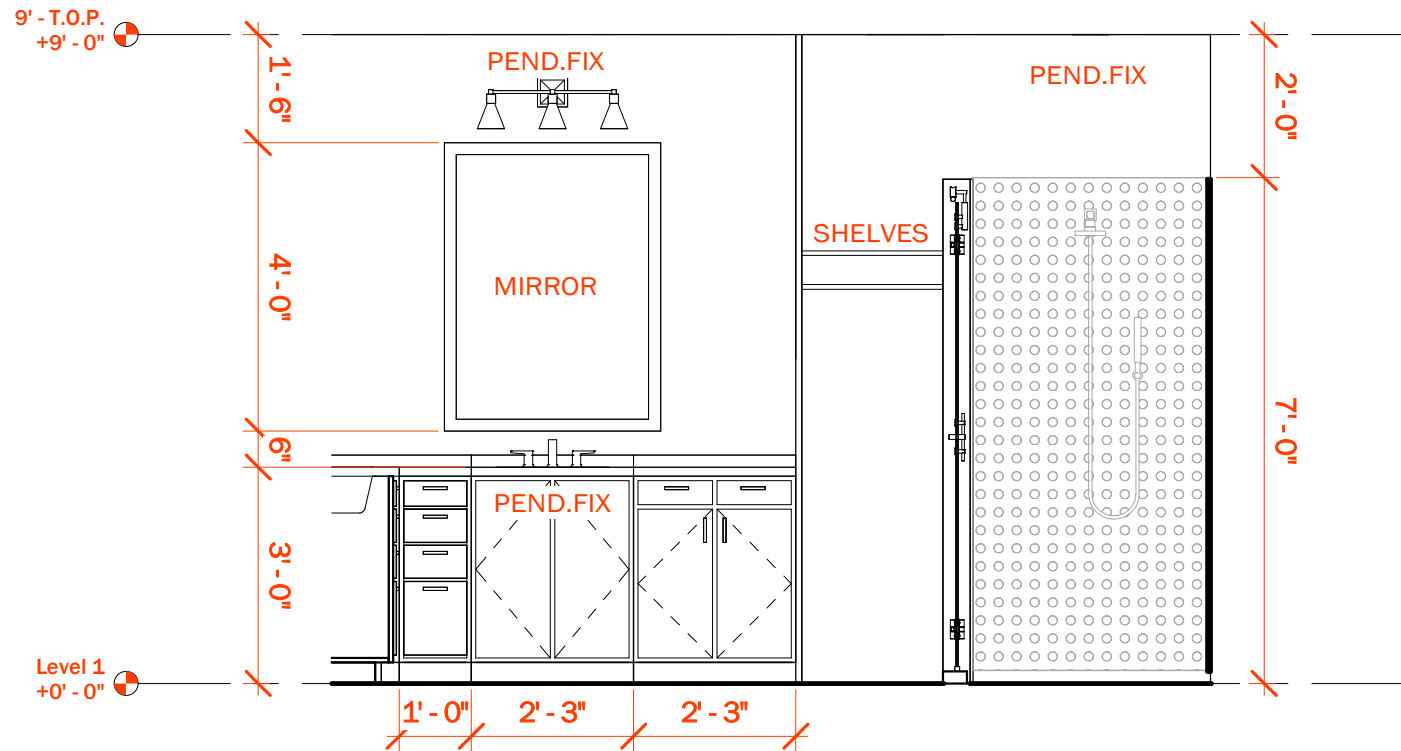




**1** MB 3  
SCALE: 3/8" = 1'-0"



**2** MB 1  
SCALE: 3/8" = 1'-0"

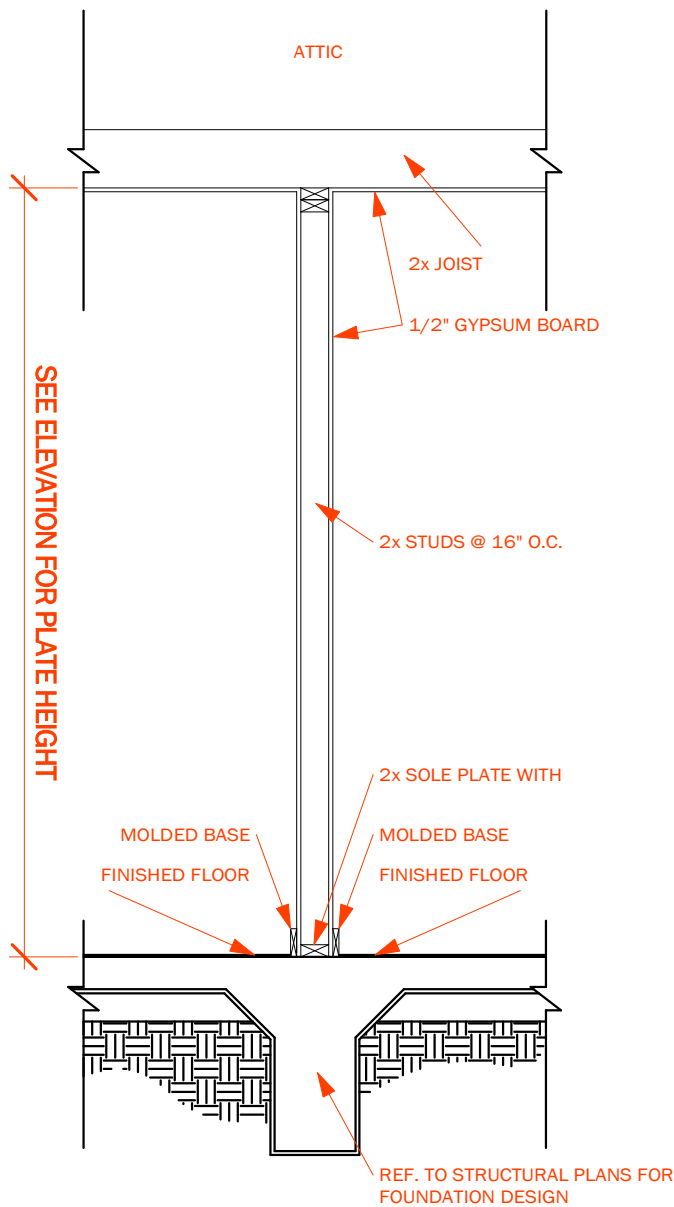


**3** MB 2  
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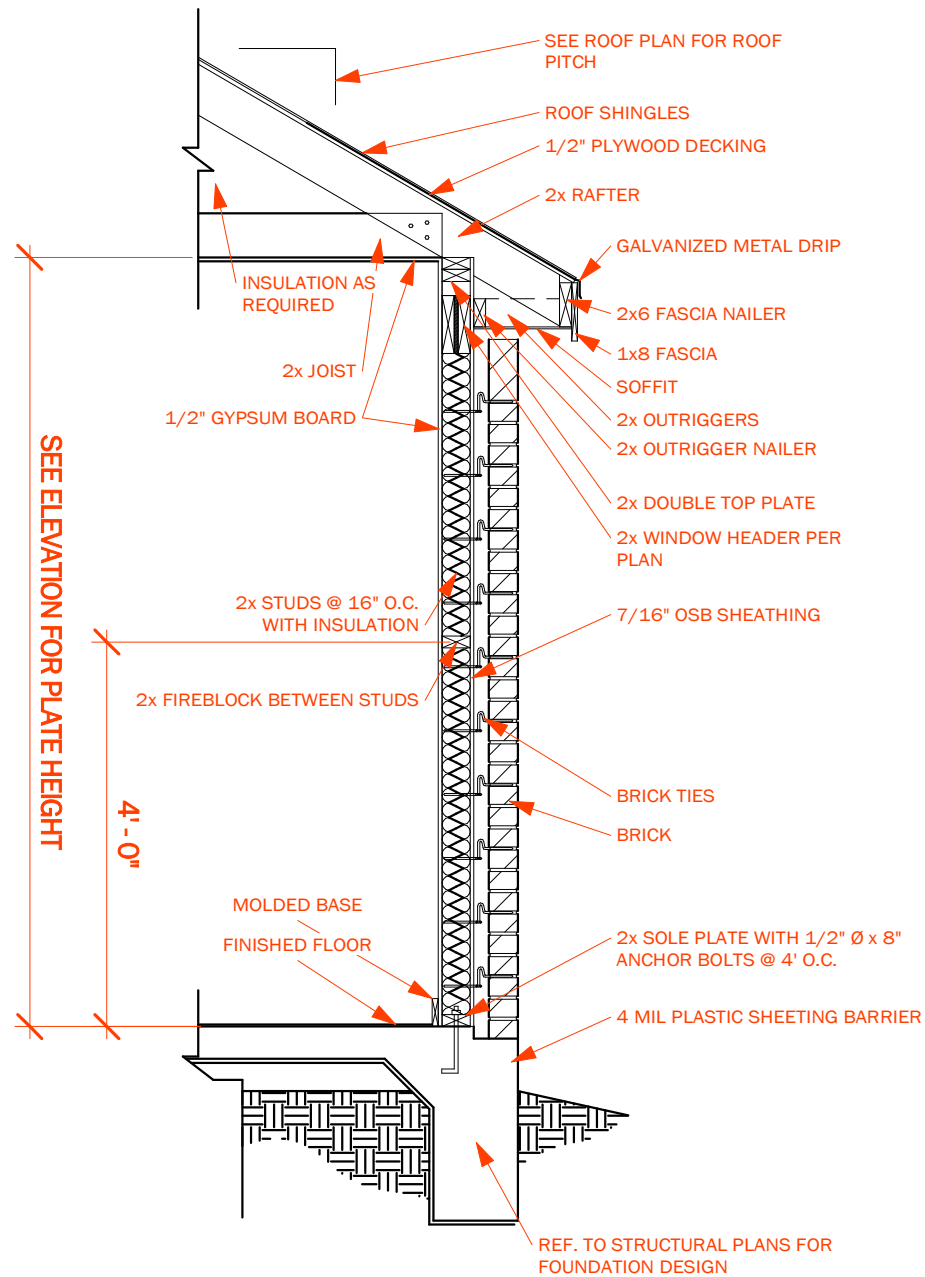


Door Schedule				
Type Mark	Count	Width	Height	Description
D1-1	1	3' - 0"	8' - 0"	EXTERIOR DOOR - SINGLE SWING - OWNER SELECT
D1-2	1	3' - 0"	8' - 0"	EXTERIOR DOOR - SINGLE SWING - OWNER SELECT
D1-3	1	16' - 0"	7' - 0"	GARAGE DOOR - OWNER SELECT
ID1-A	3	2' - 0"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID1-B	2	2' - 6"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID1-C	5	2' - 8"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID4-A	1	4' - 0"	6' - 8"	INTERIOR DOUBLE DOOR - SINGLE SWING -OWNER SELECT
ID5-B	2	4' - 8"	6' - 8"	INTERIOR BIFOLDING DOOR - OWNER SELECT
O1-E	1	5' - 0"	8' - 0"	DOOR OPENING
O1-F	1	2' - 1 1/2"	4' - 6 1/2"	ATTIC ACCESS DOOR - OWNER SELECT

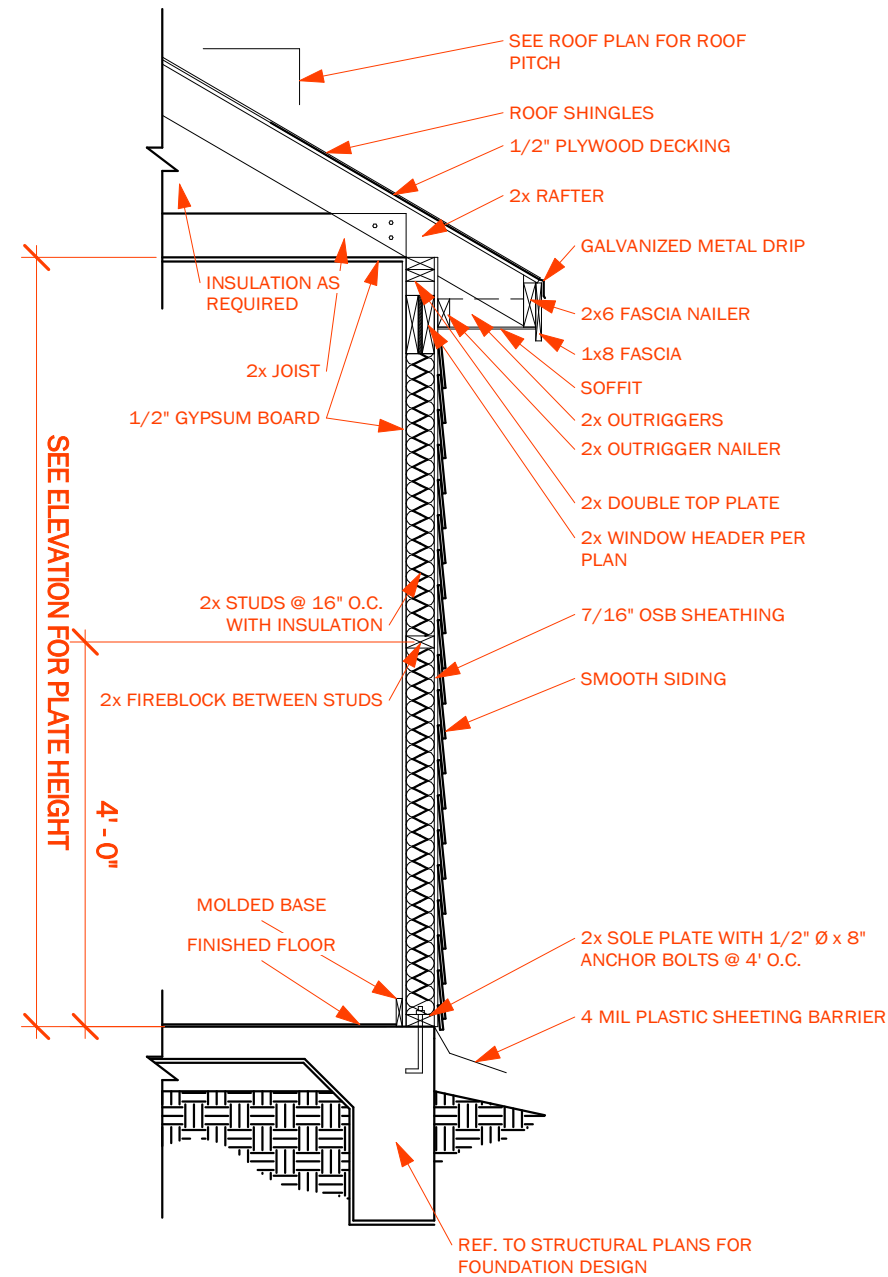
Window Schedule								
Type Mark	Count	Width	Height	Description	Head Height	ExteriorFinish Color	Interior Finish Color	Grids
W1-1	2	6' - 0"	6' - 0"	DOUBLE - SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-2	6	3' - 0"	6' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-3	5	3' - 0"	5' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-4	1	3' - 0"	4' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W5-F	2	0' - 8"	2' - 8"	LOUVER - OWNER SELECT	<varies>	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes



**1** Typical Wall Details - Interior  
SCALE: 1/2" = 1'-0"



**2** Typical Wall Details -Brick  
SCALE: 1/2" = 1'-0"

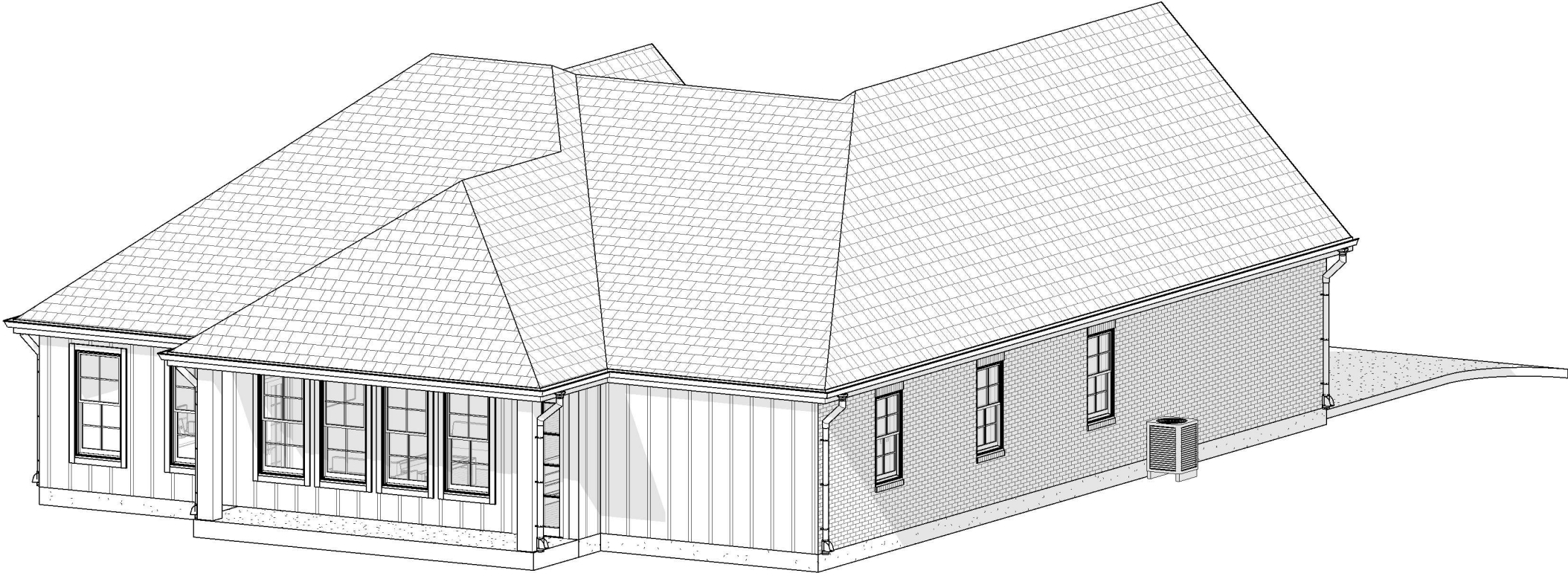


**3** Typical Wall Details -Siding  
SCALE: 1/2" = 1'-0"

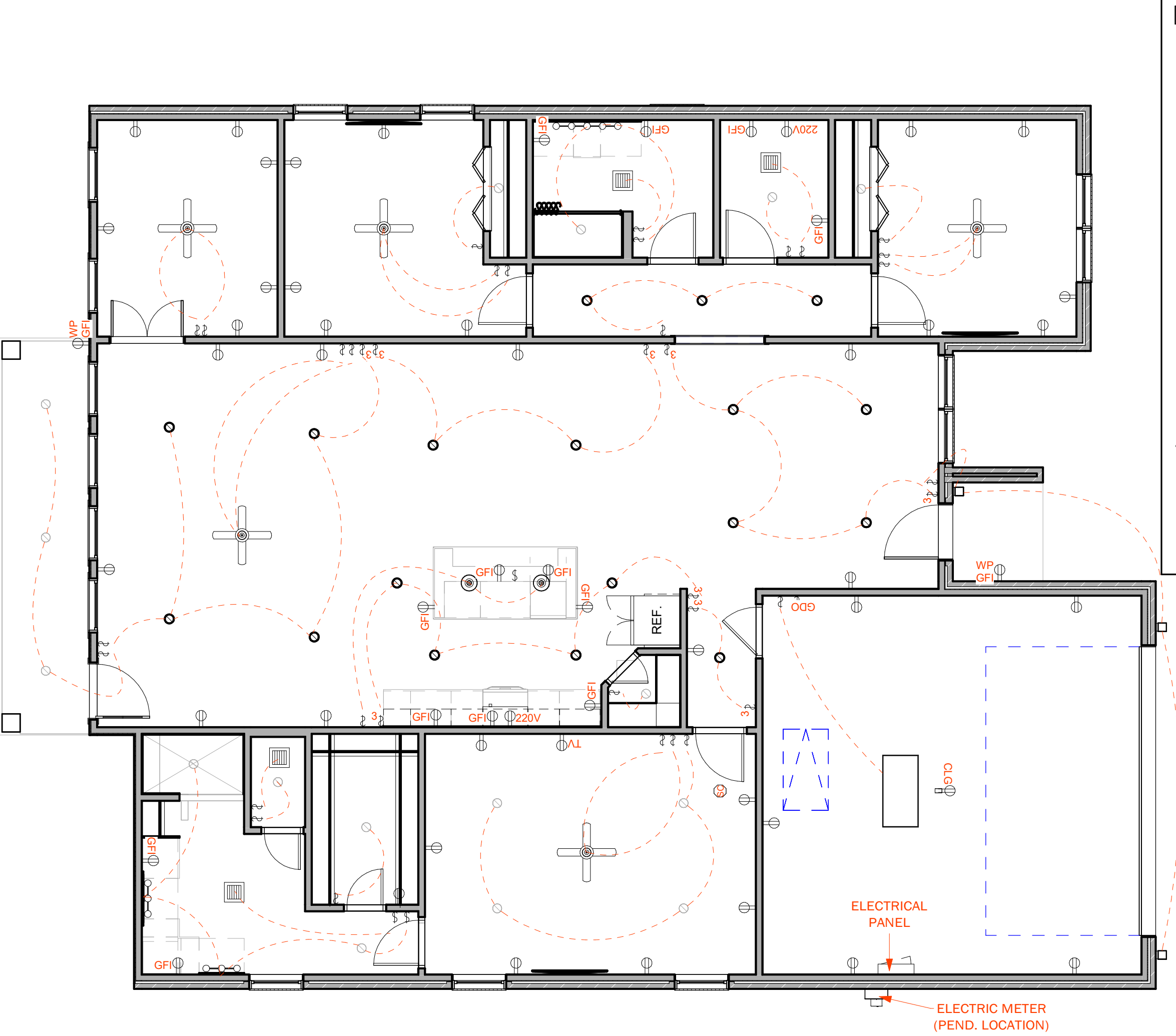




**1** 3D View - 1  
SCALE:



**2** 3D View - 2  
SCALE:



	-2' X 4' LINEAR BOX		-SINGLE DUPLEX OUTLET
	-CEILING FAN W/LIGHT KIT		-GFI DUPLEX OUTLET
	-CHANDELIER		-WEATHERPROOF GFI DUPLEX OUTLET
	-EXHAUST FAN		-CEILING DUPLEX OUTLET
	-RECESSED CAN LIGHT		-FLOOR DUPLEX OUTLET
	-EXTERIOR WALL LIGHT		-TOP OF COUNTER DUPLEX OUTLET
	-EXTERIOR GOOSENECK LIGHT		-TV DUPLEX OUTLET
	-EMERGENCY/FLOOD LIGHT		-SPRINKLER OUTLET
	-EXTERIOR SPOT LIGHT		-220 VOLT DUPLEX OUTLET
	-PENDANT LIGHT		-SINGLE WALL SWITCH
	-SINGLE BULB VANITY LIGHT		-3 WAY WALL SWITCH
	-3 BULB VANITY LIGHT FIXTURE		-DIMMER WALL SWITCH
	-5 BULB VANITY LIGHT FIXTURE		-GARAGE DOOR WALL SWITCH
	-SIDE VANITY LIGHT		-SMOKE/CO2 DETECTOR
	-ELECTRIC METER		-THERMOSTAT
	-ELECTRIC PANEL		-INTERNET/TELEPHONE JACK

**1** Level 1 Electrical Plan  
SCALE: 3/16" = 1'-0"

ELECTRIC METER  
(PEND. LOCATION)

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12-07-2022

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TEXAS  
REALTORS

Scale As indicated

Level 1 Electrical  
Plan

E101.1

Drawn By

KS



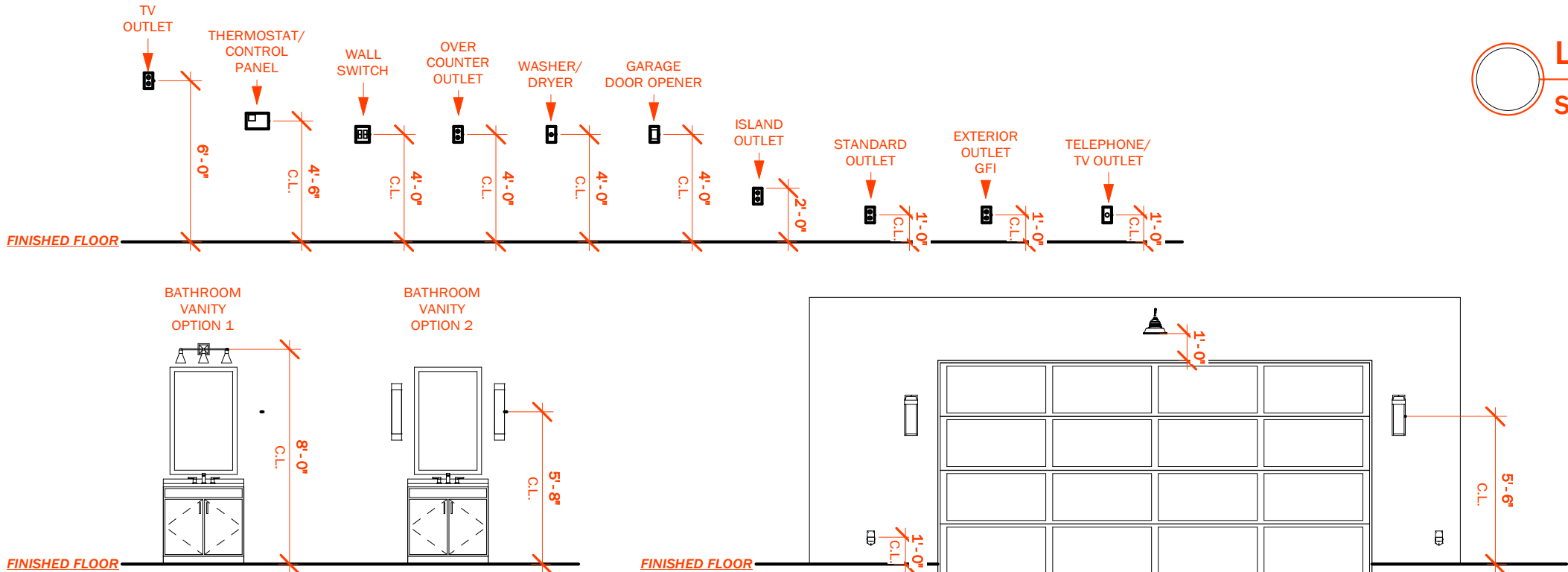
ELECTRICAL SPECIFICATIONS

1. ALL TELEPHONE LINES ARE TO BE CONCEALED & OUTLETS RECESSED. ALL TELEPHONE SERVICE TO BE CAPABLE OF CARRYING LINES IN MAIN HOUSE.
2. INSTALL SWITCHES 48" ABOVE FLOOR HEIGHT, INSTALL RECEPTACLE OUTLETS, CABLE, AND TELEPHONE 18" ABOVE FLOOR HEIGHT. INSTALL SWITCHES LOCATED IN BATHROOM 42" ABOVE FLOOR HEIGHT.
3. SWITCHES, OUTLETS, AND COVER PLATES ARE TO BE WHITE. INSTALL DIMMERS AS SHOWN.
4. ALL DIMMERS ARE TO BE TOGGLE TYPE. ALL OUTLETS ARE TO BE RECESSED. ALL WIRING TO BE CONCEALED.
5. ALL SMOKE DETECTORS TO BE NEW & BATTERY OPERATED.
6. VERIFY FIXTURE AND OUTLET LOCATIONS WITH OWNER PRIOR TO RUNNING ELECTRICAL FEEDS.
7. VERIFY OVERHEAD GARAGE DOOR OPENER SPECIFICATIONS AND SELECTION WITH OWNER.

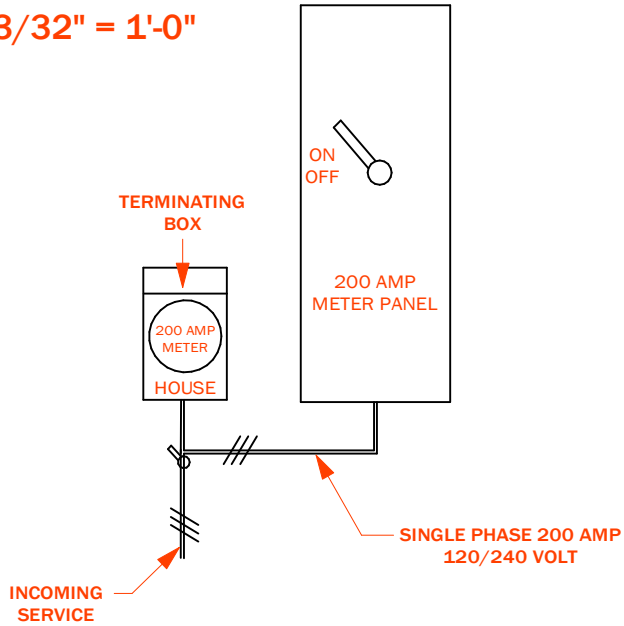
LIGHTING AND POWER GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
2. THE PROVISION OF THE CODE SHALL APPLY TO THE ERECTION, INSTALLATION, ALTERATION, REPAIRS, HEALTH, PROPERTY,& PUBLIC WELFARE REGULATING, AND CONTROLLING THE DESIGN, CONSTRUCTION, INSTALLATION, QUALITY OF MATERIALS, LOCATION, OPERATION, & MAINTENANCE OR USE OF ELECTRICAL EQUIPMENT & SYSTEMS.
3. CONTRACTOR SHALL VERIFY ALL CEILING TYPES & COORDINATE TRIMS PRIOR TO PURCHASE OF LIGHTING FIXTURES. FURNISH ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET JOB REQUIREMENTS. LECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FIXTURES ARRIVING ON SITE WITH INCORRECT MOUNTING.
4. COORDINATE ALL LIGHTING TYPES AND LOCATIONS WITH DESIGNER AND OWNER PRIOR TO INSTALLATION. MOUNTING HEIGHTS OF ALL WALL MOUNTED & PENDANT MOUNTED LIGHTING FIXTURES SHALL BE DETERMINED BY DESIGNER. REFER TO ARCHITECTURAL SECTIONS & ELEVATIONS.
5. LOCATION & GROUPING ARRANGEMENT/ORIENTATION OF ALL SWITCHES SHALL BE COORDINATED WITH THE DESIGNER PRIOR TO INSTALLATION.
6. COORDINATE LOCATION OF ALL LIGHTING FIXTURES WITH THE MECHANICAL & PLUMBING PRIOR TO ELECTRICAL ROUGH-IN.
7. FINAL INSPECTION SHALL BE MADE AFTER THE WORK IS COMPLETE, ALL ELECTRICAL FIXTURES WILL BE INSPECTED TO VERIFY CORRECT PLACEMENT, CONNECTION. AND IF STRUCTURE IS READY FOR OCCUPANCY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING OF SUCH INSPECTION.
8. SMOKE DETECTOR DEVICE TO BE SELECTED BY OWNER. LOCATIONS SHOWN ARE PRELIMINARY-COORDINATE FINAL LOCATIONS WITH FIRE MARSHALL.
9. CARBON MONOXIDE DEVICE TO BE SELECTED BY OWNER.
10. COORDINATE TELEPHONE, CABLE, FIBER OPTIC, WIFI, DATA, SPEAKER LOCATIONS, AND SECURITY ALARM WITH AUDIO VISUAL/TECHNOLOGY CONTRACTOR AND DESIGNER..
11. ALL LIGHTING LOCATED IN DAMP OR WET LOCATIONS TO BE RATED FOR SUCH.
12. LIGHTING IN SHOWER STALLS TO BE VAPOR TIGHT FIXTURES.
13. LIGHTING IN SMALL CLOSET TO HAVE DOOR ACTIVATED SWITCH.
14. COORDINATE LOCATION OF MAIN AND SUB ELECTRICAL PANELS WITH DESIGNER AND OWNER.
15. COORDINATE POWER FOR ALL FIXTURES.
16. COORDINATE ADDITIONAL POWER REQUIREMENTS FOR EQUIPMENT, LIGHTING, AND INTERIOR SPEAKERS.
17. INDICATES FIXTURE SHALL BE CONNECTED TO "CONSTANT-ON" EMERGENCY (LIFE-SAFETY) CIRCUIT, PROVIDE "LOCK-ON" EMERGENCY BREAKER AT PANELBOARD.
18. CUTTING OF FLOORS, WALLS, & CEILINGS SHALL BE REQUIRED FOR THE INSTALLATION OF PIPES, CONDUITS, DUCTS, WIRING, SLEEVES, & SEAL AS REQUIRED BY THE DESIGNER.

	-2' X 4' LINEAR BOX		-SINGLE DUPLEX OUTLET
	-CEILING FAN W/LIGHT KIT		-GFCI DUPLEX OUTLET
	-CHANDELIER		-WEATHERPROOF GFCI DUPLEX OUTLET
	-EXHAUST FAN		-CEILING DUPLEX OUTLET
	-RECESSED CAN LIGHT		-FLOOR DUPLEX OUTLET
	-EXTERIOR WALL LUGHT		-TOP OF COUNTER DUPLEX OUTLET
	-EXTERIOR GOOSENECK LIGHT		-TV DUPLEX OUTLET
	-EMERGENCY/FLOOD LIGHT		-SPRINKLER OUTLET
	-EXTERIOR SPOT LIGHT		-220 VOLT DUPLEX OUTLET
	-PENDANT LIGHT		-SINGLE WALL SWITCH
	-SINGLE BULB VANITY LIGHT		-3 WAY WALL SWITCH
	-3 BULB VANITY LIGHT FIXTURE		-DIMMER WALL SWITCH
	-5 BULB VANITY LIGHT FIXTURE		-GARAGE DOOR WALL SWITCH
	-SIDE VANITY LIGHT		-SMOKE/CO2 DETECTOR
	-ELECTRIC METER		-THERMOSTAT
	-ELECTRIC PANEL		-INTERNET/TELEPHONE JACK

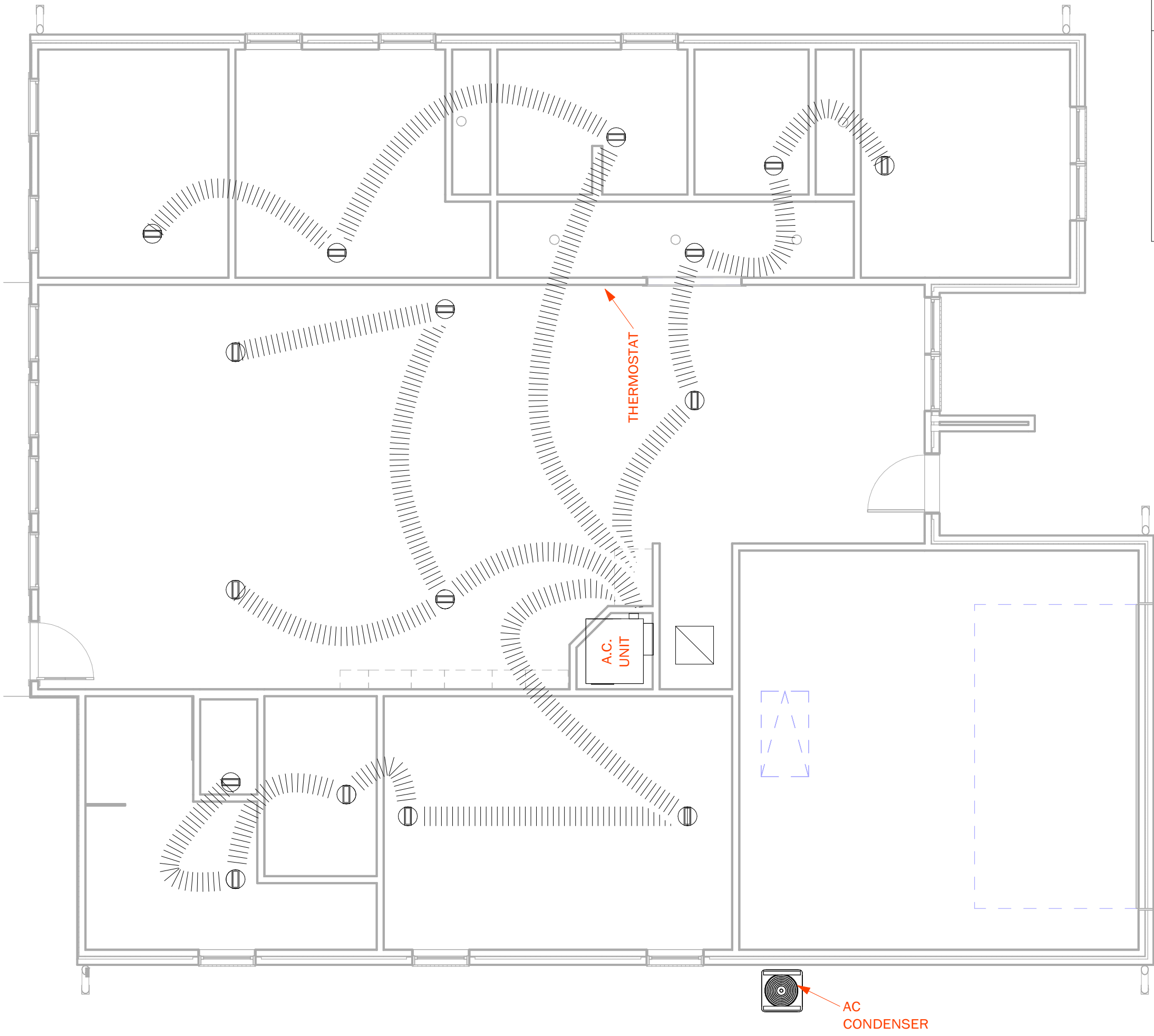





Lighting Fixtures Legend  
SCALE: 3/32" = 1'-0"



1 Power Riser Details  
SCALE: 3/16" = 1'-0"

2 Electrical Devise Heights  
SCALE: 3/16" = 1'-0"

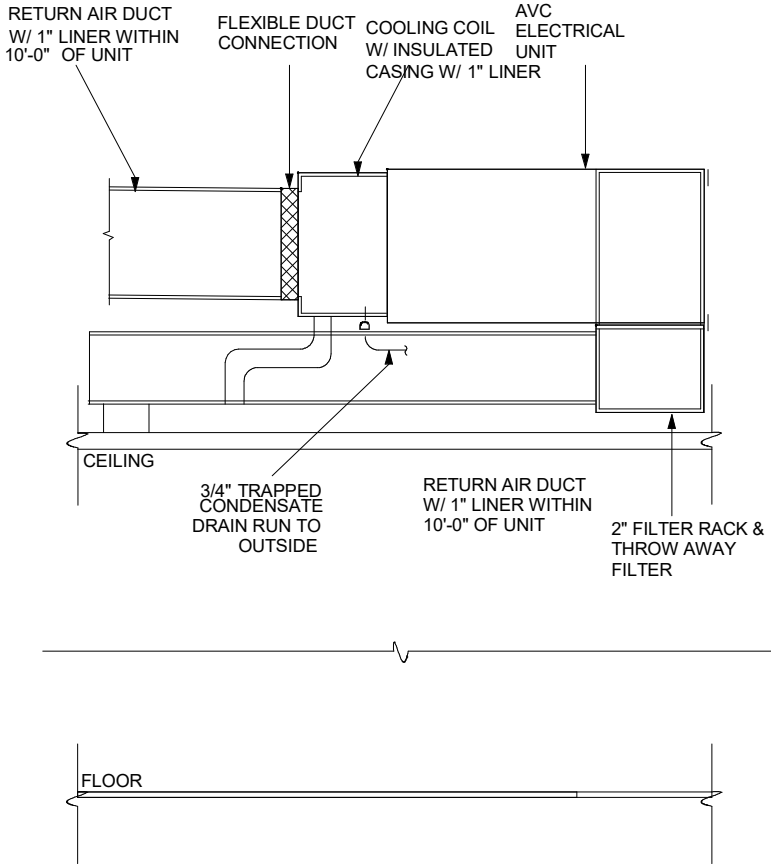


LEGEND	
	VENTS
	FLEXIBLE DUCT
	RETURN

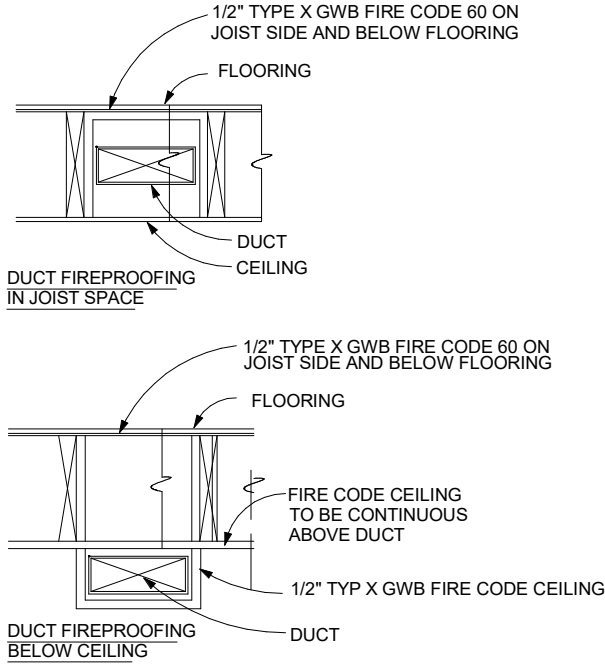
**1** Level 1 HVAC Plan  
SCALE: 3/16" = 1'-0"

MECHANICAL GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
2. FURNISH ALL LABOR, MATERIALS, FIXTURES, EQUIPMENT, & SERVICES NECESSARY FOR THE INSTALLATION OF A COMPLETE & FUNCTIONAL H.V.A.C SYSTEM, PLUMBING SYSTEM, & ELECTRICAL SYSTEM
3. CONTRACTOR SHALL APPLY & PAY FOR ALL PERMITS & CONNECTION FEES REQUIRED FOR WORK.
4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE WORK TO BE DONE & SHALL EXAMINE SITE & CONSIDER THE CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE IN THE PERFORMANCE OF THE CONTRACTED WORK. NO ALLOWANCES SHALL BE MADE SUBSEQUENTLY IN THIS CONNECTION, FOR ANY ERRORS, THROUGH NEGLIGENCE ON HIS PART. THE CONTRACTOR IS HERE BY ADVISED THAT HE WILL BE REQUIRED TO OBSERVE NECESSARY PRACTICES FOR FIRE & SAFETY PRECAUTIONS FOR THE PROTECTION OF THE FACILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS, & CLEARANCES & COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO START OF WORK.
5. ALL DUCTWORK SHALL BE FABRICATED FROM FILED TAKEN DIMENSIONS AND NOT FROM DRAWINGS, PRIOR TO DUCT FABRICATION, CEILING CLEARANCES SHALL BE VERIFIED WITH ALL ELECTRICAL, PLUMBING, & ARCHITECTURAL DRAWINGS.
6. SUBMIT 6 COPIES OF EACH SHOP DRAWINGS FOR THE FOLLOWING: HIGH-ENERGY EFFICIENCY EQUIPMENT, SPLIT SYSTEM COOLING COILS, AIR COOLED CONDENSING UNIT, THERMOSTAT, GRILLES, REGISTERS, DUCTS, TRIMS, PIPES, JOINING METHODS, WATER HEATER, GUY GRAY UNITS, FLOOR DRAINS, BREAKER PANEL, CIRCUIT BREAKERS, SWITCHES, LUMINARIES, MOTION DETECTORS, DISCONNECT SWITCHES, & OUTLETS.
7. ELECTRICAL CONTRACTOR SHALL FURNISH ALL MOTOR CONTROLLERS, PILOT OTHER DEVICES,& SHALL IMPLEMENT ALL ALL REQUIRED WIRING EXCEPT A.T.C. WIRING.
8. ALL SUPPLY & RETURN DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH 1/2 FIBERGLASS WITH A.S.I. VAPOR BARRIER OR EQUAL.
9. GRILLES, REGISTERS, & DIFFUSER SHALL BE OF CAPACITIES & INDICATED SIZES IN ACCORDANCE WITH MANUFACTURERS PRINTED LITERATURE FOR RESIDENTIAL SOUND LEVELS & THROWS. MOUNT TIGHT TO CONSTRUCTION USING GASKETS TO PREVENT AIR LEAKAGE & STREAKING. BRANCHES FROM MAIN TO OUTLETS SHALL BE MADE USING ADJUSTABLE DEFLECTORS POSITIONED & SECURED TO PROVIDE SPECIFIED AIR QUANTITIES. , REGISTERS & GRILLES SHALL BE PROVIDED BY LIMA OR EQUAL.AND SHALL MATCH COLOR OF ADJACENT CEILING OF WALL. COORDINATE ALL REGISTERS IN CEILINGS WITH LIGHT FIXTURES.

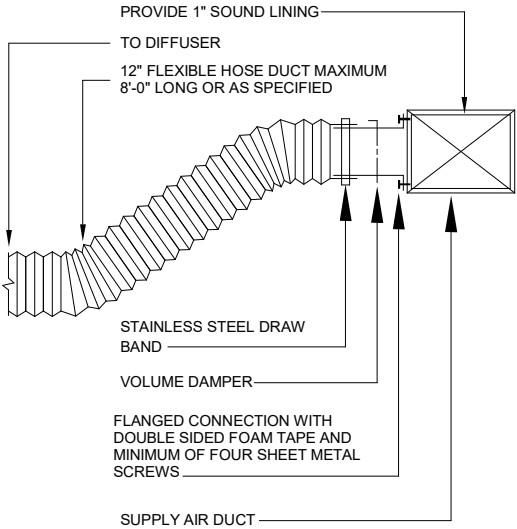


AVC ELECTRICAL UNIT DETAIL  
SCALE: N.T.S

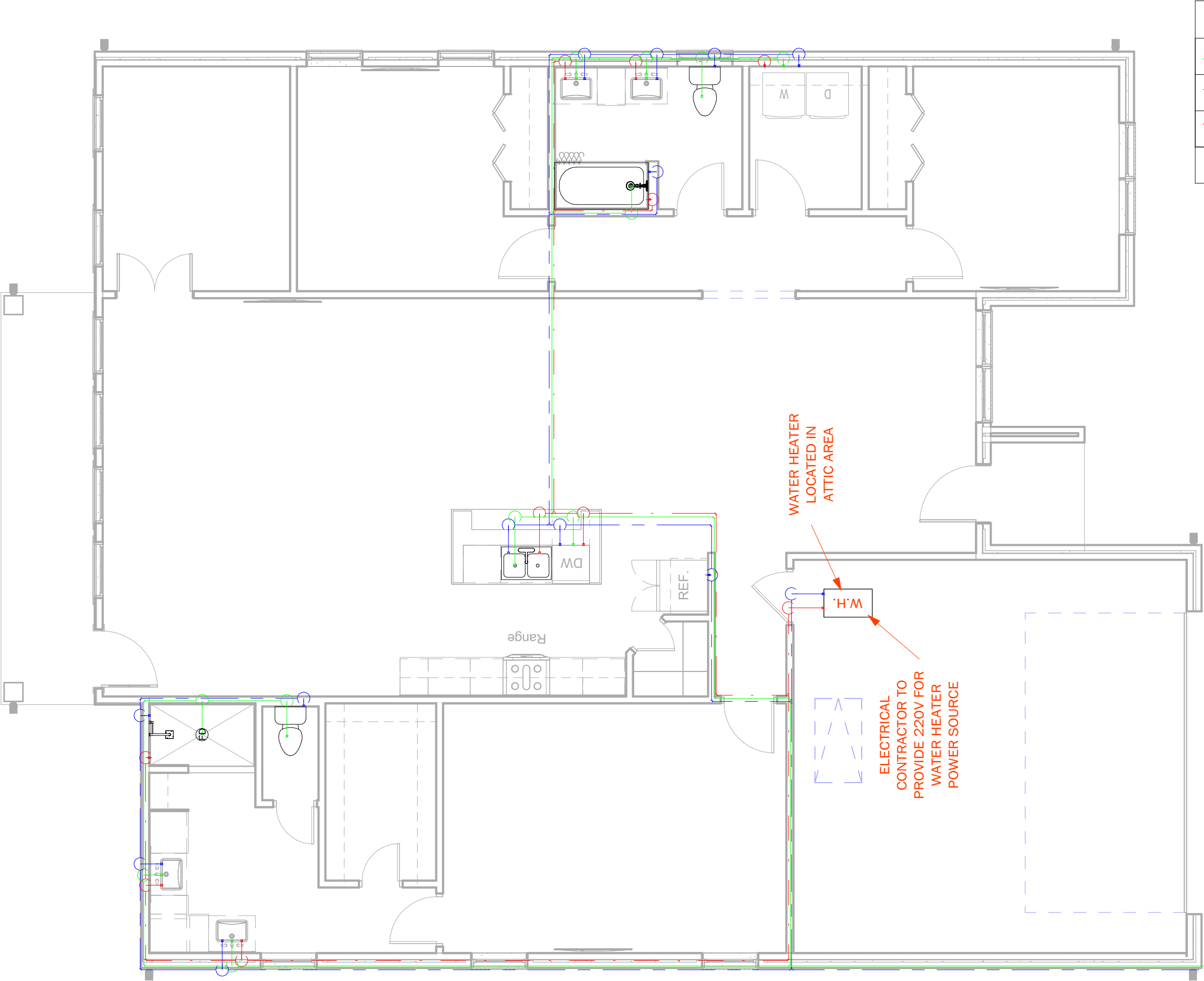


UNIT, DUCT SIZING, AND CFMs SHOWN ON DRAWINGS ARE APPROXIMATE, CONTRACTOR IS RESPONSIBLE FOR DESIGNING BALANCING SYSTEM FOR EVEN EFFICIENT HEATING AND COOLING

DUCT DETAIL  
SCALE: N.T.S



DIFFUSER TO FLEXIBLE DUCT CONNECTION DETAIL  
NOT TO SCALE



PLUMBING LEGEND	
	SANITARY SEWER
	COLD WATER
	HOT WATER
	PROPANE GAS LINE

PENDING UTILITY  
LINE LOCATION

SEWAGE &  
WATER LINES TO  
BE SET BEFORE  
POURING  
CONCRETE

**1** Level 1 Plumbing

SCALE: 3/16" = 1'-0"

©2018

CHRISTIAN SERRANO  
DESIGN  
GROUP

223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032

Project No.

CSC - 10348

12-07-2022

Revisions

Notes

NOT FOR CONSTRUCTION

CHRISTIAN SERRANO  
DESIGN GROUP

(469) 383-6084

WWW.CHRISTIANSERRANOCONSTRUCTION.COM

NAHB  
National Association  
of Home Builders

DallasBuilders  
Association

TEXAS  
REALTORS

Scale

As indicated

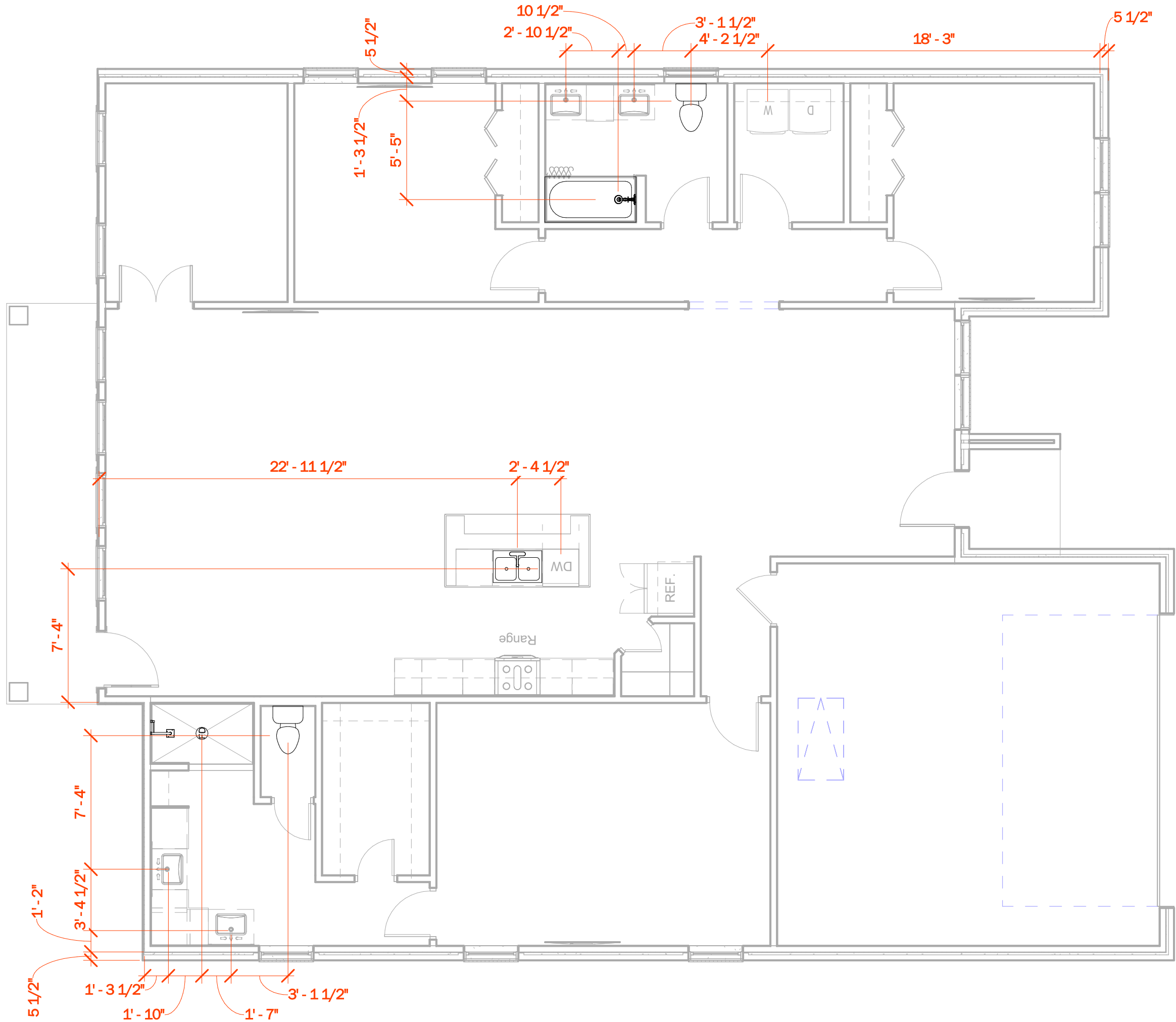
Level 1 Plumbing  
Plan

P101.1

Drawn By

KS





Level 1 Forming Plan

1

SCALE: 3/16" = 1'-0"

Plumbing Forming  
Plan  
P102

Scale 3/16" = 1'-0"

CHRISTIAN SERRANO  
DESIGN GROUP  
(469) 383-6084  
WWW.CHRISTIANSERRANOCONSTRUCTION.COM

NAHB  
National Association  
of Home Builders

DallasBuilders  
ASSOCIATION

TEXAS  
REALTORS

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Revisions

Project No. CSC - 10348

223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032



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Drawn By

JS

GENERAL PLUMBING NOTES

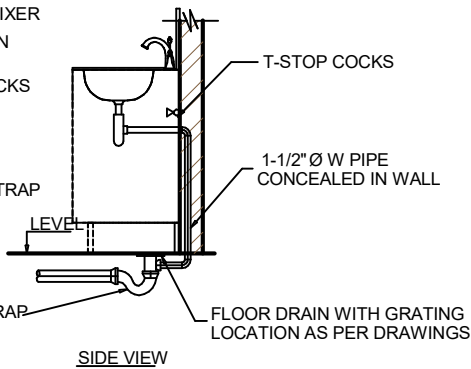
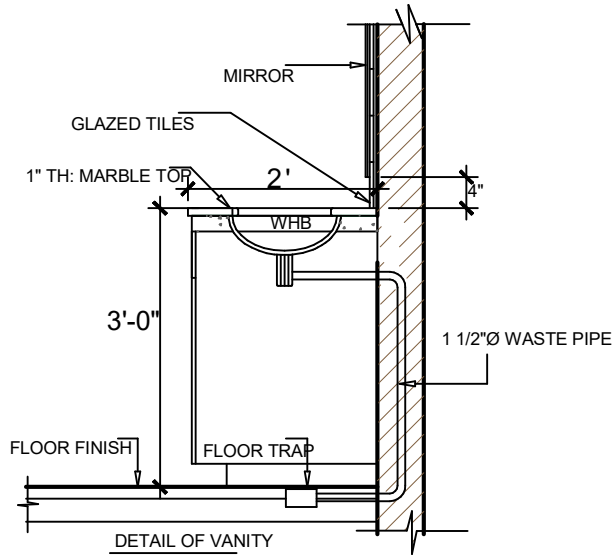
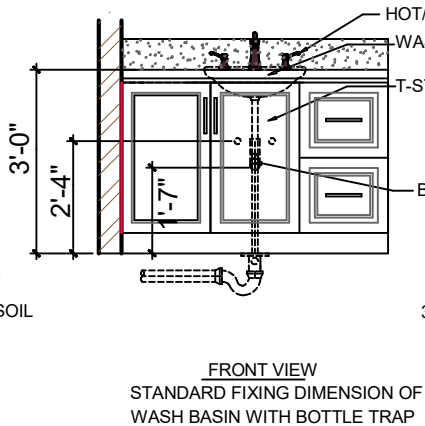
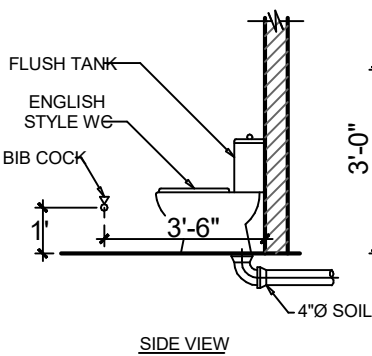
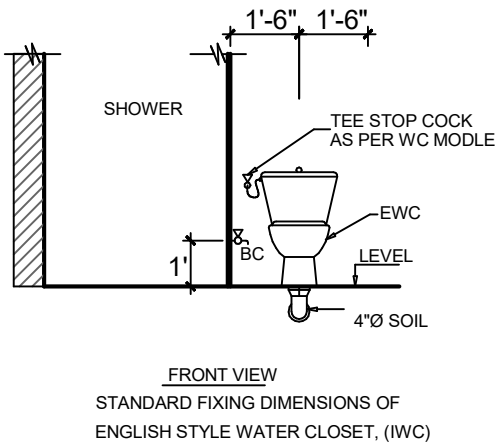
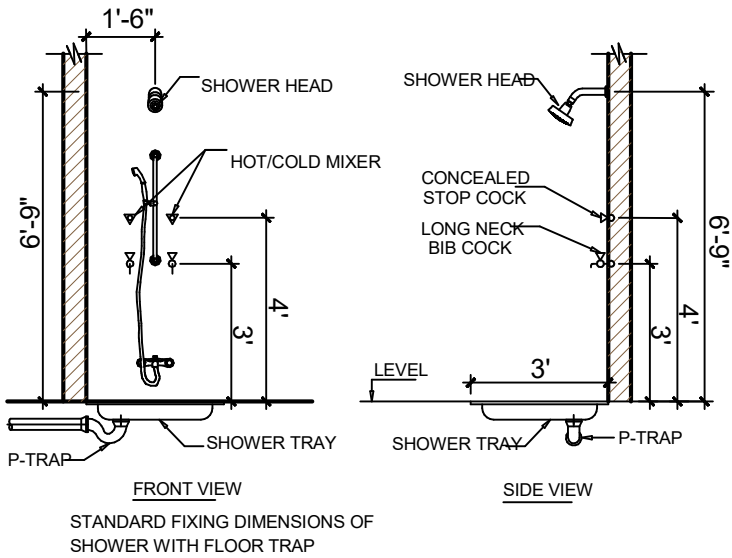
1 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL PLUMBING CODES.

2 - THE PROVISIONS OF THE CODE SHALL APPLY TO THE ERECTION, INSTALLATION, ALTERATION, HEALTH, PROPERTY AND PUBLIC WELFARE REGULATING AND CONTROLLING THE DESIGN, CONSTRUCTION, INSTALLATION, QUALITY OF MATERIALS, LOCATION, OPERATION OR USE OF PLUMBING EQUIPMENT.

3. ALL PLUMBING SYSTEMS, MATERIALS APPURTENANCES SHALL BE MAINTAINED IN PROPER CONDITION IN ACCORDANCE WITH THE ORIGINAL DESIGN IN A SAFE AND SANITARY CONDITION. ALL DEVICES OR SAFEGUARDS REQUIRED BY CODE SHALL BE MAINTAINED IN COMPLIANCE WITH THE CODE EDITION UNDER WHICH INSTALLED. THE OWNER OR OWNERS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PLUMBING SYSTEMS. TO DETERMINE COMPLIANCE WITH THIS PROVISION, THE CODE OFFICIAL SHALL HAVE THE AUTHORITY TO REQUIRE ANY PLUMBING SYSTEMS TO BE RE-INSPECTED.

4. FINAL INSPECTION SHALL BE MADE AFTER THE BUILDING IS COMPLETE, ALL PLUMBING FIXTURES ARE IN PLACE AND PROPERLY CONNECTED, AND THE STRUCTURE IS READY FOR OCCUPANCY. THE HOLDER OF THE PLUMBING SHALL BE RESPONSIBLE FOR THE SCHEDULING OF SUCH INSPECTIONS.

5. PROVIDE AND INSTALL NEW PLUMBING FIXTURES. CONNECT TO EXISTING WASTE, COLD WATER AND HOT WATER LINES AS SHOWN.



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/24/2023

PROJECT NUMBER: Z2023-015  
PROJECT NAME: SUP for Residential Infill at 223 Russell  
SITE ADDRESS/LOCATIONS: 223 RUSSELL DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Martha Balleza and Ana Quezada for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1290 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 223 Russell Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	03/24/2023	Approved w/ Comments

03/24/2023: Z2023-015; Specific Use Permit (SUP) for Residential Infill for 223 Russell Drive  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home a 0.1650-acre parcel of land identified as Lot 1290 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 223 Russell Drive.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (Z2023-015) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estates Subdivision, which is 90% or more developed, consists of five (5) or more lots, and has been in existence for more than 10 years.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is setback approximately two (2) feet six (6) inches from the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

M.7 Please review the attached Draft Ordinance prior to the March 28, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than April 5, 2023.

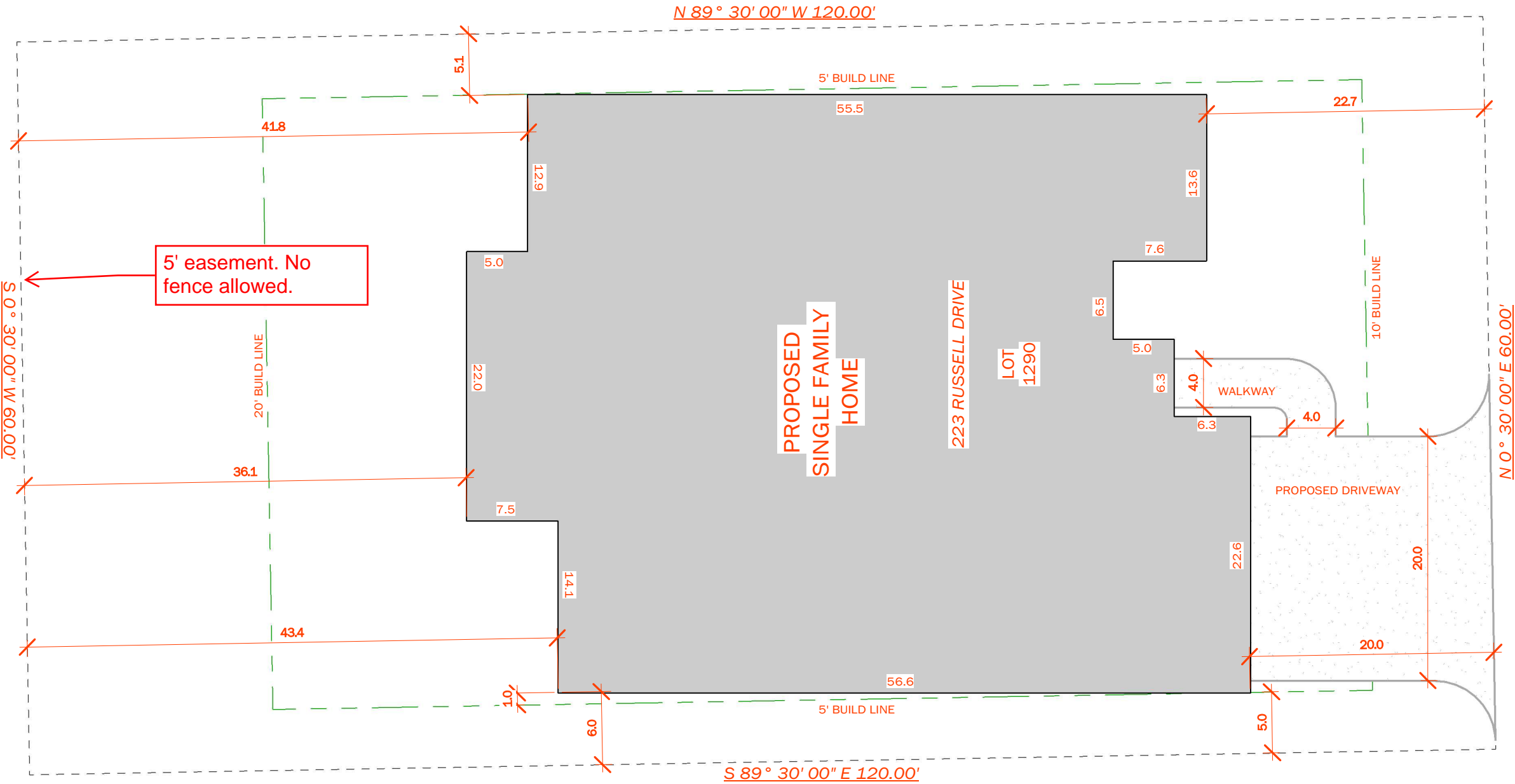
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 5, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 11, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 28, 2023.

I.9 The projected City Council meeting dates for this case will be April 17, 2023 [1st Reading] and May 1, 2023 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/21/2023	Approved w/ Comments
03/21/2023: - 5' easement from the back of lot. No fence allowed.			
- Where is the septic tank/design? There will need to be an engineered driveway culvert design included in the building permit. Minimum 18" RCP.			
- Will need to also plumb the sewer to the front and plug for future sewer.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Angelica Guevara	03/24/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/17/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	03/17/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/20/2023	Approved
No Comments			



Where is the septic tank/design?  
There will need to be an engineered driveway culvert design included in the building permit. Minimum 18" RCP.  
Will need to also plumb the sewer to the front and plug for future sewer.



1 Site Plan  
SCALE: 1" = 10'-0"



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 223 Russell Dr.

SUBDIVISION Rockwall Lake Est #2

LOT 1290 BLOCK

GENERAL LOCATION " "

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING vacant lot

CURRENT USE vacant lot

PROPOSED ZONING residential home

PROPOSED USE residential

ACREAGE .25

LOTS [CURRENT]

.25

LOTS [PROPOSED]

.25

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Martha Balleza / Ana Quezada

APPLICANT Martha Balleza / Ana Quezada

CONTACT PERSON " "

CONTACT PERSON " "

ADDRESS 4408 Aiken Trl.

ADDRESS 4408 Aiken Trl.

CITY, STATE & ZIP Sachse, TX 75048

CITY, STATE & ZIP Sachse, TX 75048

PHONE 214-984-7232

PHONE 214-984-7232

E-MAIL marthaballeza@gmail.com

E-MAIL ana9828@yahoo.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Martha Balleza [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: Ana Quezada

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS DAY OF \_\_\_\_\_, 20 \_\_\_\_ BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL IS AUTHORIZED AND PERMITTED TO DISSEMINATE ANY INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION FROM THE PUBLIC, STATE OF TEXAS."

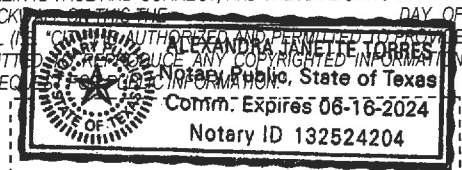
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13<sup>th</sup> DAY OF March, 20 23

OWNER'S SIGNATURE

Martha Balleza / Ana Quezada

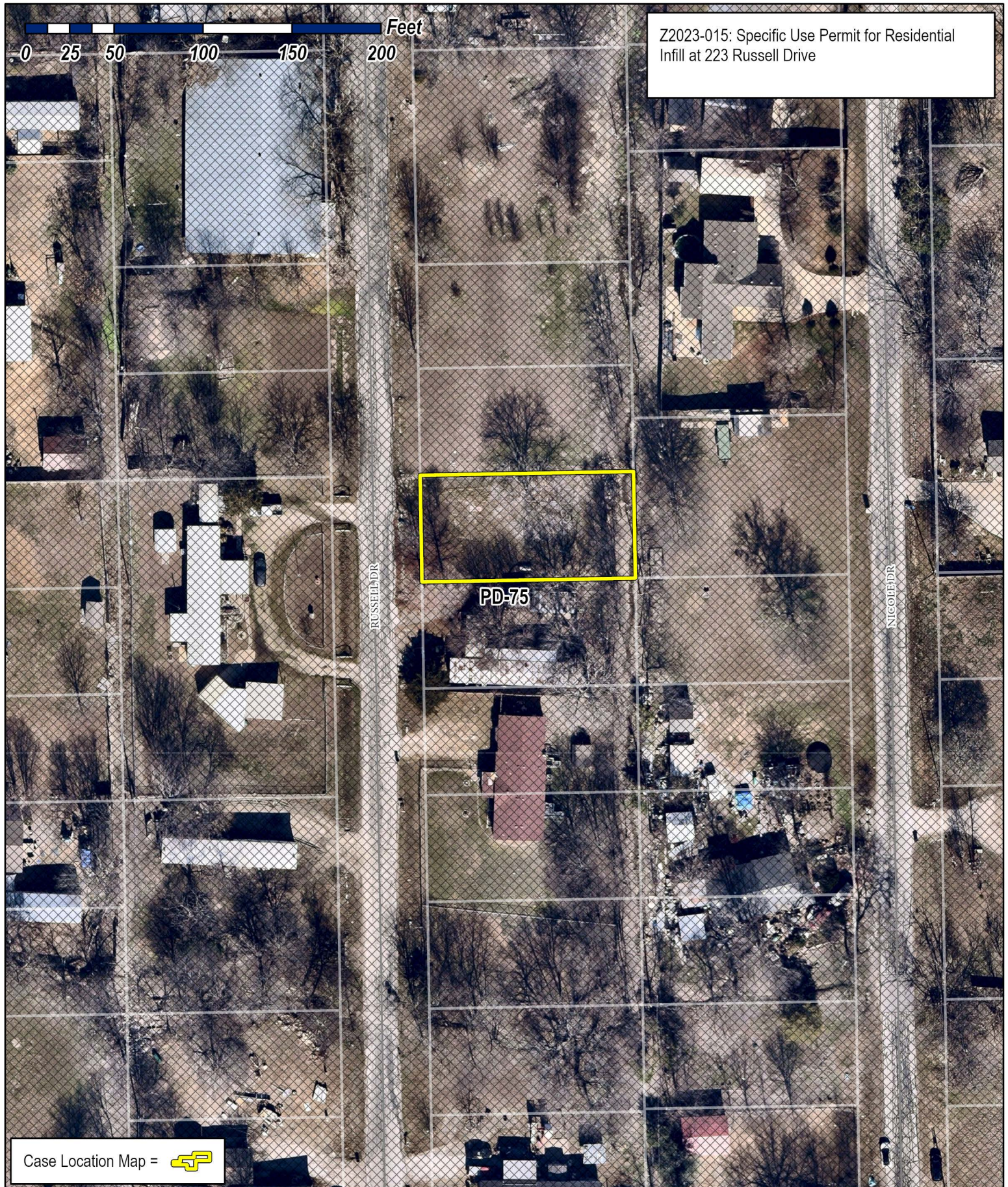
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Alexandra J. Torres



MY COMMISSION EXPIRES 06/16/2024





Z2023-015: Specific Use Permit for Residential Infill at 223 Russell Drive

PD-75

RUSSELL DR

NICOLE DR

Case Location Map = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



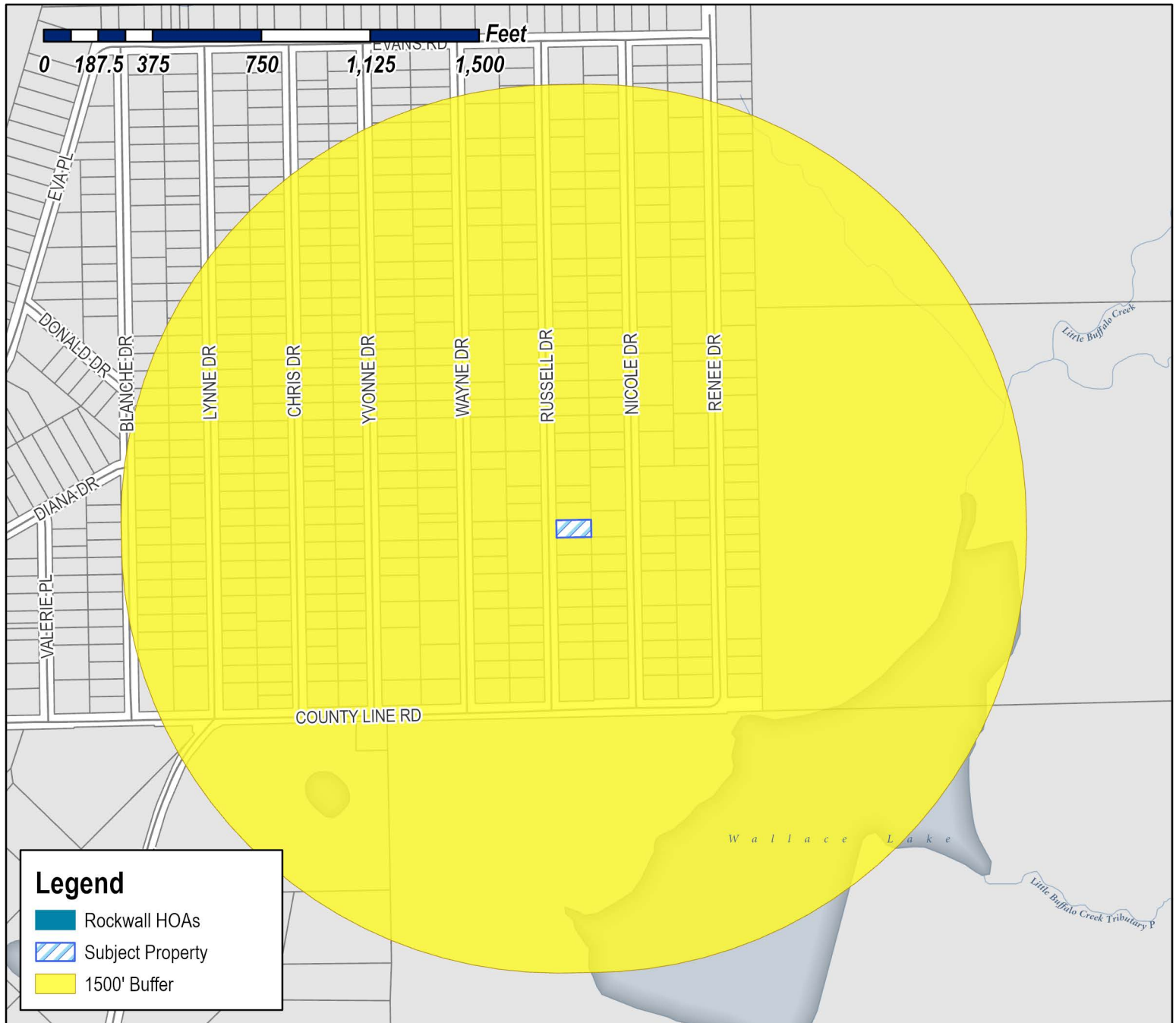




# City of Rockwall

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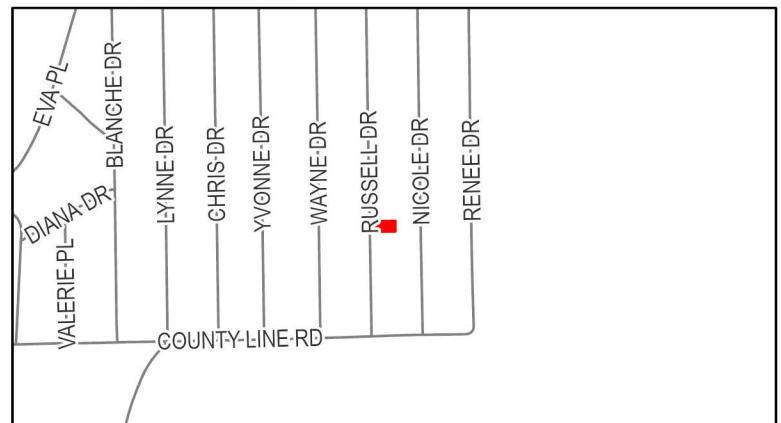
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**Case Number:** Z2023-015  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 223 Russell Drive

**Date Saved:** 3/14/2023

For Questions on this Case Call (972) 771-7745



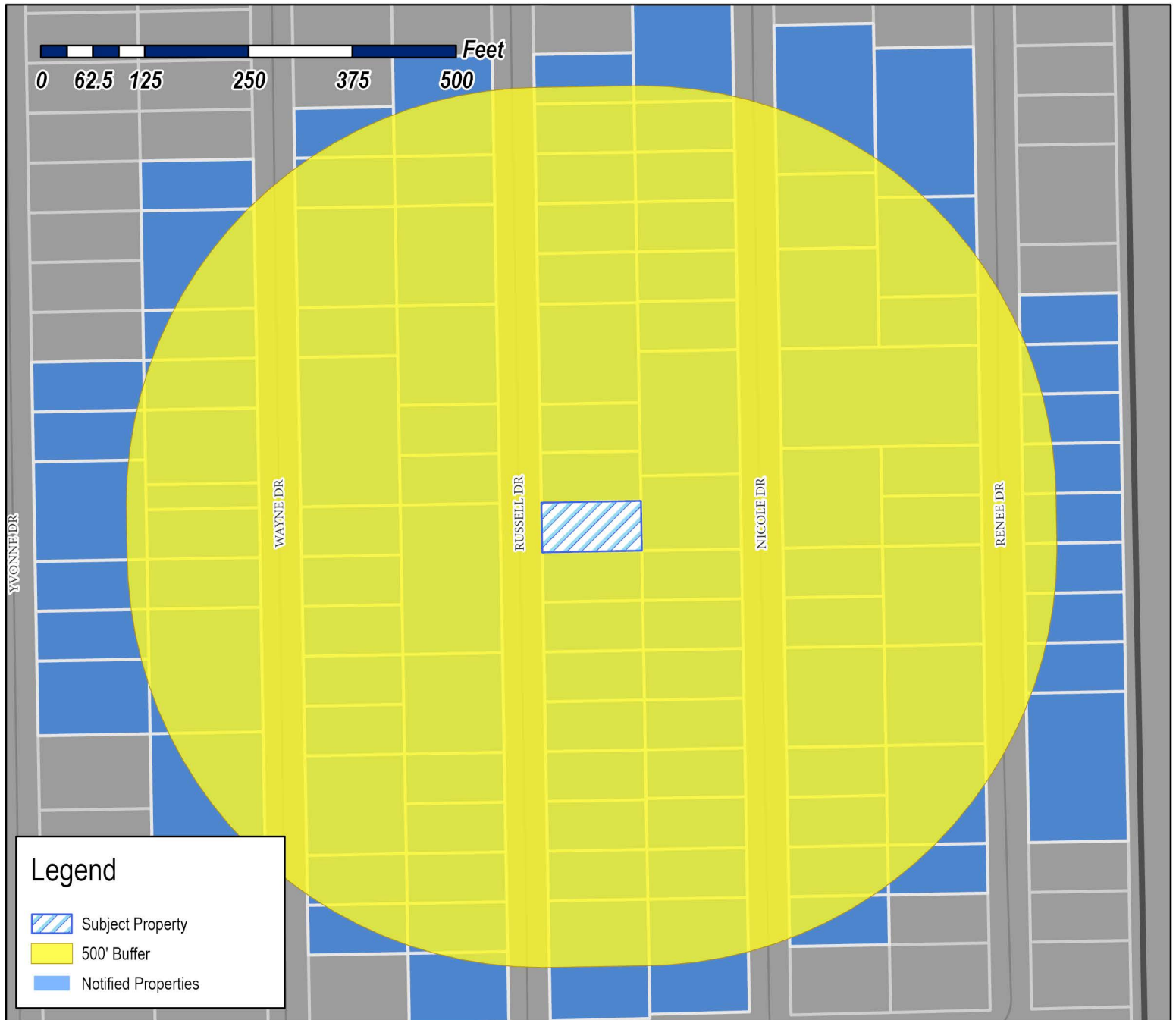




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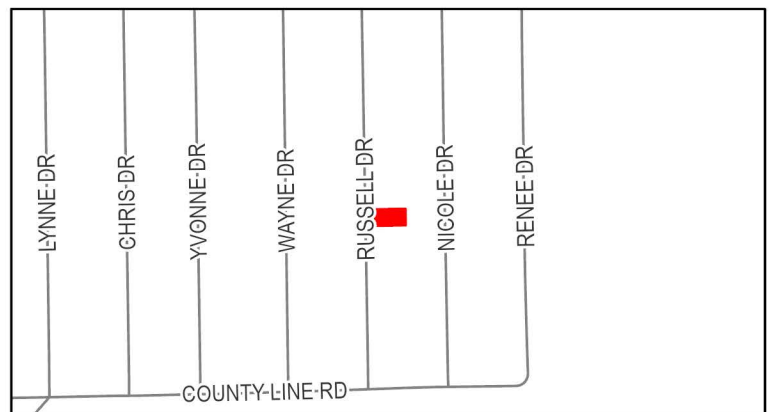
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**Date Saved:** 3/14/2023

For Questions on this Case Call: (972) 771-7746



SHEPHERD PLACE HOMES INC  
10527 CHURCH RD # 201  
DALLAS, TX 75238

ROCKWALL HABITAT FOR HUMANITY  
1101 RIDGE RD  
ROCKWALL, TX 75087

DIAZ CARLOS O &  
YOVANA M CHAVEZ  
115 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
116 NICOLE  
ROCKWALL, TX 75032

RESIDENT  
116 RUSSELL DR  
ROCKWALL, TX 75032

OLIVARES JAIME  
1209 QUAIL DR  
GARLAND, TX 75040

RAMIREZ ZACARIAS  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

SIERRA ZACARIAS RAMIREZ  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

RESIDENT  
125 WAYNE DR  
ROCKWALL, TX 75032

VASQUEZ FRANCISCO  
125 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
128 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
132 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
133 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
137 NICOLE DR  
ROCKWALL, TX 75032

IBARRA MATEO CASTRO  
140 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
142 RUSSELL DR  
ROCKWALL, TX 75032

CONTRERAS JOSE A  
142 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
143 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
143 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
149 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
152 NICOLE DR  
ROCKWALL, TX 75032

MARQUEZ FELIX C  
154 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
155 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
157 WAYNE DR  
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO  
158 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
159 NICOLE DR  
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA  
162 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
164 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
167 RUSSELL DR  
ROCKWALL, TX 75032

VASQUEZ JESUS  
167 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
168 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
169 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
176 NICOLE DR  
ROCKWALL, TX 75032

MEJIA JULIO & MARIA  
176 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
181 RUSSELL DR  
ROCKWALL, TX 75032

MEDRANO CESAR AND ANDREA MARTINEZ  
181 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
182 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ FELICITAS  
183 NICOLE DR  
ROCKWALL, TX 75032

YANEZ FERNANDO AND  
JUAN A YANEZ  
183 YVONNE  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

JON & JOY CO., LLCN  
187 TEJAS TRAIL  
ROYSE CITY, TX 75189

RESIDENT  
191 RENEE DR  
ROCKWALL, TX 75032

AVILA LUZ MARIA  
1924 DEVONSHIRE  
GARLAND, TX 75041

FAST INVESTMENTS LLC  
193 RUSSELL DR  
ROCKWALL, TX 75032

MONTOYA YVONNE  
193 RUSSELL DRIVE  
ROCKWALL, TX 75032

CARMONA JOSE  
194 RENEE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
195 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
195 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
196 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
198 RUSSELL DR  
ROCKWALL, TX 75032

RAMIREZ RUBIN & MARTHA  
200 CHAMBERLAIN DR  
FATE, TX 75189

RUIZ SONIA  
2009 WORCESTER LN  
GARLAND, TX 75040

RUIZ SONIA  
2009 WORCESTER LN  
GARLAND, TX 75040

LEDEZMA J SOCORRO AGUILAR  
201 RENEE DRIVE  
ROCKWALL, TX 75032

LEDEZMA J SOCORRO AGUILAR  
201 RENEE DRIVE  
ROCKWALL, TX 75032

YANEZ JUAN  
201 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
204 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
207 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
208 NICOLE DR  
ROCKWALL, TX 75032

PROCK CHARLES A AND EVELYN  
209 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
211 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
211 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
215 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
216 WAYNE DR  
ROCKWALL, TX 75032

PATINO SYLVIA AND  
ZEFERINO BUSTAMANTE  
2168 DOVE DR  
QUINLAN, TX 75474

RENO PATRICIA JEAN  
218 RUSSELL DRIVE  
ROCKWALL, TX 75032

RESIDENT  
221 RENEE DR  
ROCKWALL, TX 75032

CARMONA JOEL  
221 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
222 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
223 RUSSELL DR  
ROCKWALL, TX 75032

GURRUSQUIETA CELIA  
225 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
226 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
227 WAYNE DR  
ROCKWALL, TX 75032

KENDALL LEAH T  
227 YVONNE DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
233 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
235 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
236 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
238 RUSSELL DR  
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN  
241 TROUT ST  
ROCKWALL, TX 75032

RESIDENT  
245 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
247 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
248 RUSSELL DR  
ROCKWALL, TX 75032

SANCHEZ PABLO  
248 NICOLE DR  
ROCKWALL, TX 75032

SMITH ROY  
248 WAYNE DR  
ROCKWALL, TX 75032

LINDOP N A JR  
248 WAYNE DR  
ROCKWALL, TX 75032



GARCIA ERIK URBINA AND ISABEL GONZALEZ  
249 YVONNE  
ROCKWALL, TX 75032

RESIDENT  
250 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
250 RENEE DR  
ROCKWALL, TX 75032

NGO HA THAI  
2505 WESTBANK TRAIL  
GARLAND, TX 75042

NGO LINH T  
2505 WESTBANK TRAIL  
GARLAND, TX 75042

CERVANTES LUIS & ELSA  
251 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
259 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
262 RUSSELL DR  
ROCKWALL, TX 75032

CRUZ DEBRA J  
262 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
264 WAYNE DR  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L  
265 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
269 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
274 NICOLE DR  
ROCKWALL, TX 75032

LINDOP JOYCE ANN  
274 WAYNE DR  
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA  
275 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
283 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
285 RUSSELL DR  
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS  
288 NICOLE DRIVE  
ROCKWALL, TX 75032

RIVERA DORIS MABEL  
288 RENEE DR  
ROCKWALL, TX 75032

SOSA LORENA  
293 NICOLE DR  
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE  
296 RUSSELL DR  
ROCKWALL, TX 75032

GARCIA RICARDO  
298 WAYNE DR  
ROCKWALL, TX 75032

GUERRERO JUAN  
299 RUSSELL DR  
ROCKWALL, TX 75032

GUERRERO JUAN  
299 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
302 NICOLE DR  
ROCKWALL, TX 75032

MACIEL JENNIFER E  
303 WAYNE DR  
ROCKWALL, TX 75032

ARCINIEGA D ODIN A  
310 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
311 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
312 NICOLE DR  
ROCKWALL, TX 75032

ESPARZA MARCO  
312 RENEE  
ROCKWALL, TX 75032

RESIDENT  
313 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
314 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
321 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
321 WAYNE DR  
ROCKWALL, TX 75032

BENITES ROSA  
322 NICOLE DR  
ROCKWALL, TX 75032

RODARTE PASCUAL AND SARA I  
322 RUSSELL DR  
ROCKWALL, TX 75032

BRAGA GUILHERME CREDIDIO & YASMINI  
RAMOS IZIDORO  
327 NICOLE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
335 RUSSELL DR  
ROCKWALL, TX 75032

ESPARZA ABEL AND MONICA CARMONA  
336 NICOLE DR  
ROCKWALL, TX 75032

MOLINA JAIME  
340 YVONNE DR  
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA  
352 WAYNE DR  
ROCKWALL, TX 75032

CARRENZA ALEJANDRO AND MARIA  
GUADALUPE  
382 PERCH RD  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SALAS MIGUEL ANGEL LEDEZMA AND  
YAJAIRA GUADALUPE GARCIA FERNANDEZ  
416 BASS RD  
ROCKWALL, TX 75032

CLEM MILFORD  
433 THISTLE DR  
GARLAND, TX 75043

GEMINI VL LLC &  
ROCKWALL LAKE PROP LLC  
5713 SECREST CT  
GOLDEN, CO 80403

GALICIA VANESSA  
5801 LAKE HUBBARD PKWY APT 103  
GARLAND, TX 75043

ACUNA NINFA  
703 T L TOWNSEND DR  
ROCKWALL, TX 75087

ESTRADA NOHEMA  
705 LAKESIDE DR  
ROCKWALL, TX 75032

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
787 HAIL DR  
ROCKWALL, TX 75032

JUNFA USA, LLC  
910 MELISSA LN  
GARLAND, TX 75040

EMZ REAL ESTATE LLC  
9110 TAMPAS LANE  
DALLAS, TX 75227

M6 HOME LLC  
SEWDAT PERSAUD  
920 YOSEMITE TRAIL  
MESQUITE, TX 75149

HERNANDEZ FIDEL ESPINO  
9233 WHISKERS RD  
QUINLAN, TX 75474

BARRON GILDARDO  
P.O. BOX 2044  
ROCKWALL, TX 75087

GLEASON DIANE  
PO BOX 670041  
DALLAS, TX 75367

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-015: SUP for Residential Infill at 223 Russell Drive**

*Hold a public hearing to discuss and consider a request by Martha Balleza and Ana Quezada for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1290 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 223 Russell Drive, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM — . . . . .

**Case No. Z2023-015: SUP for Residential Infill at 223 Russell Drive**

**Please place a check mark on the appropriate line below:**

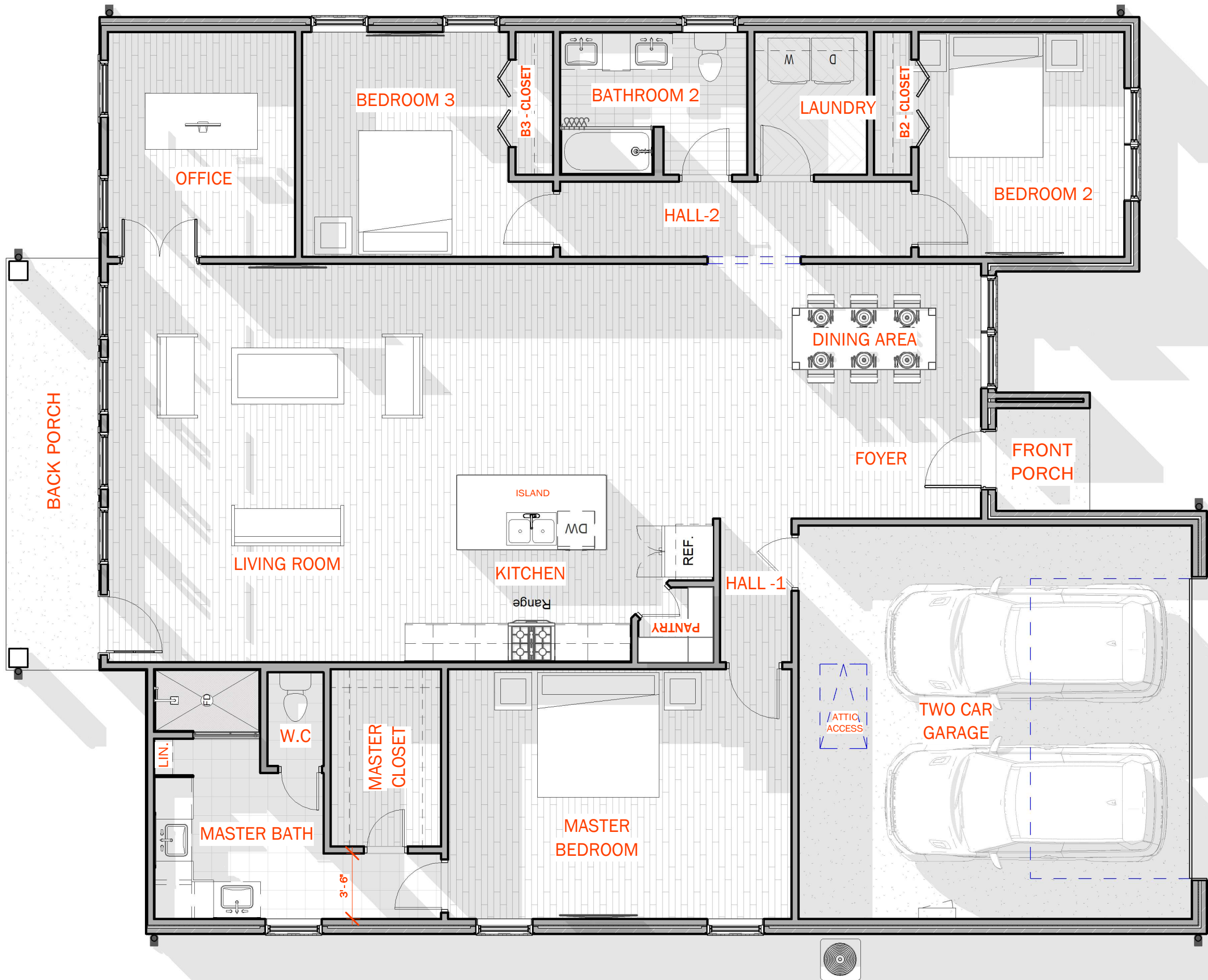
- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

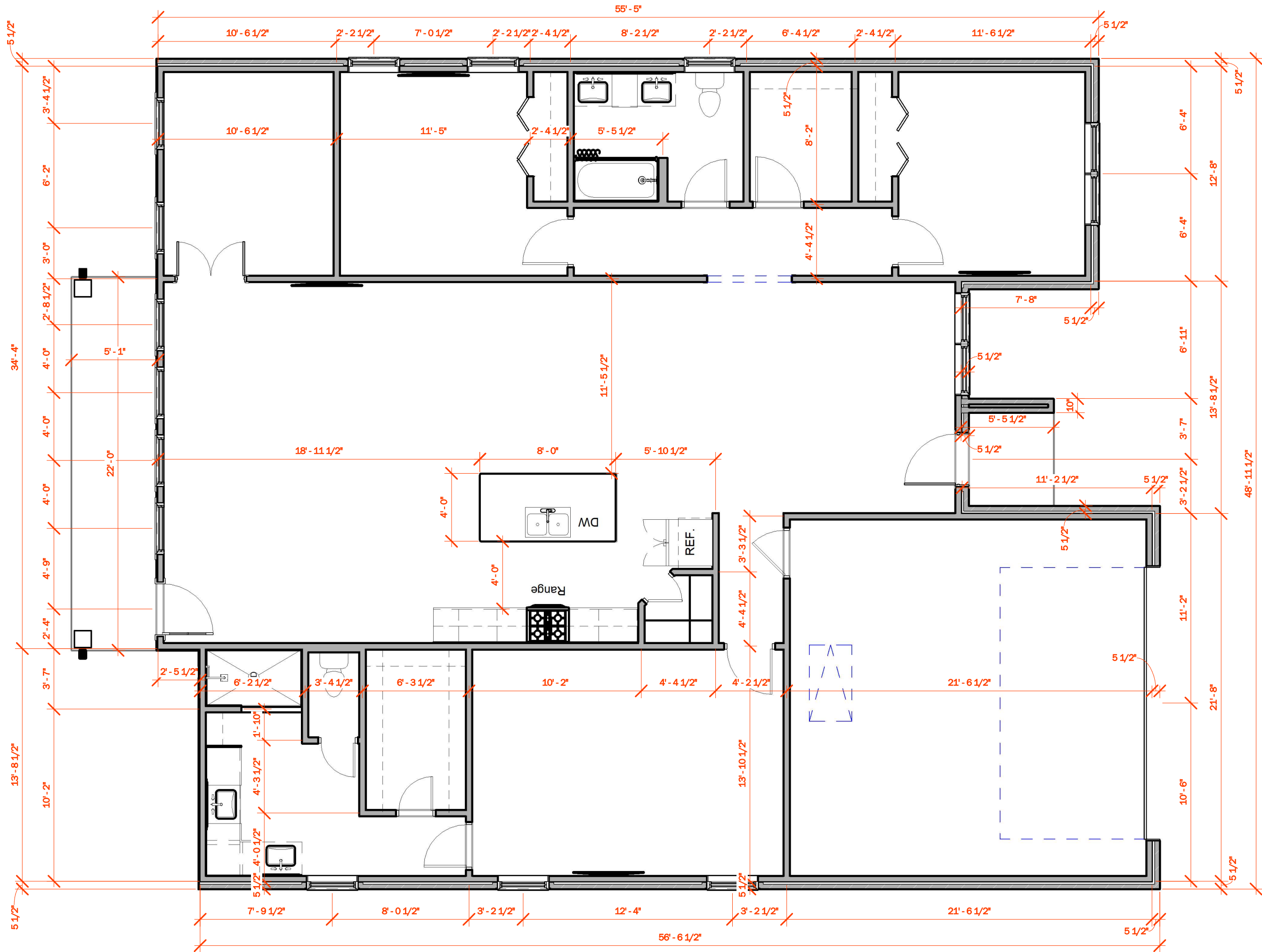
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



1 Level 1  
SCALE: 3/16" = 1'-0"





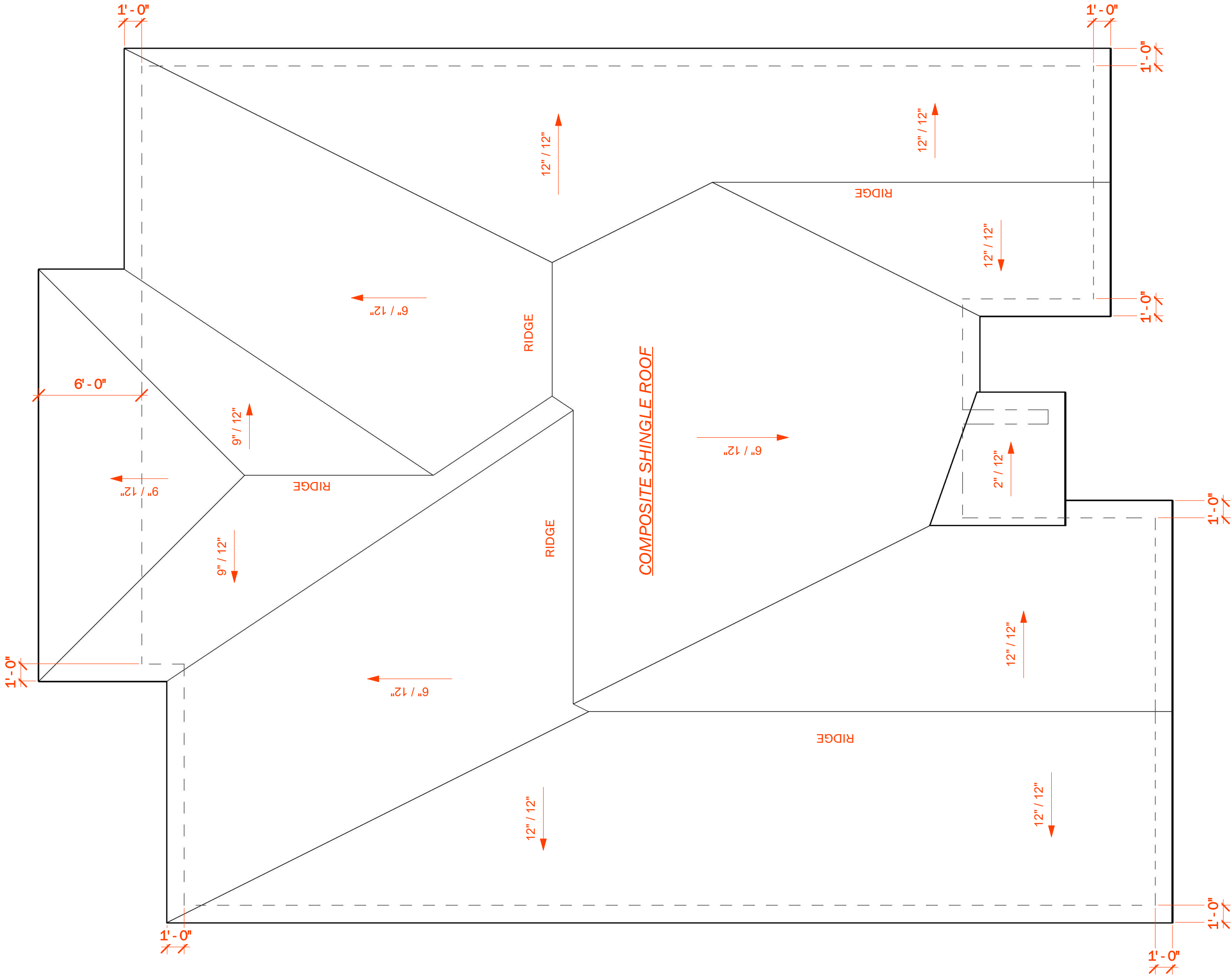
Level 1 Dimensions

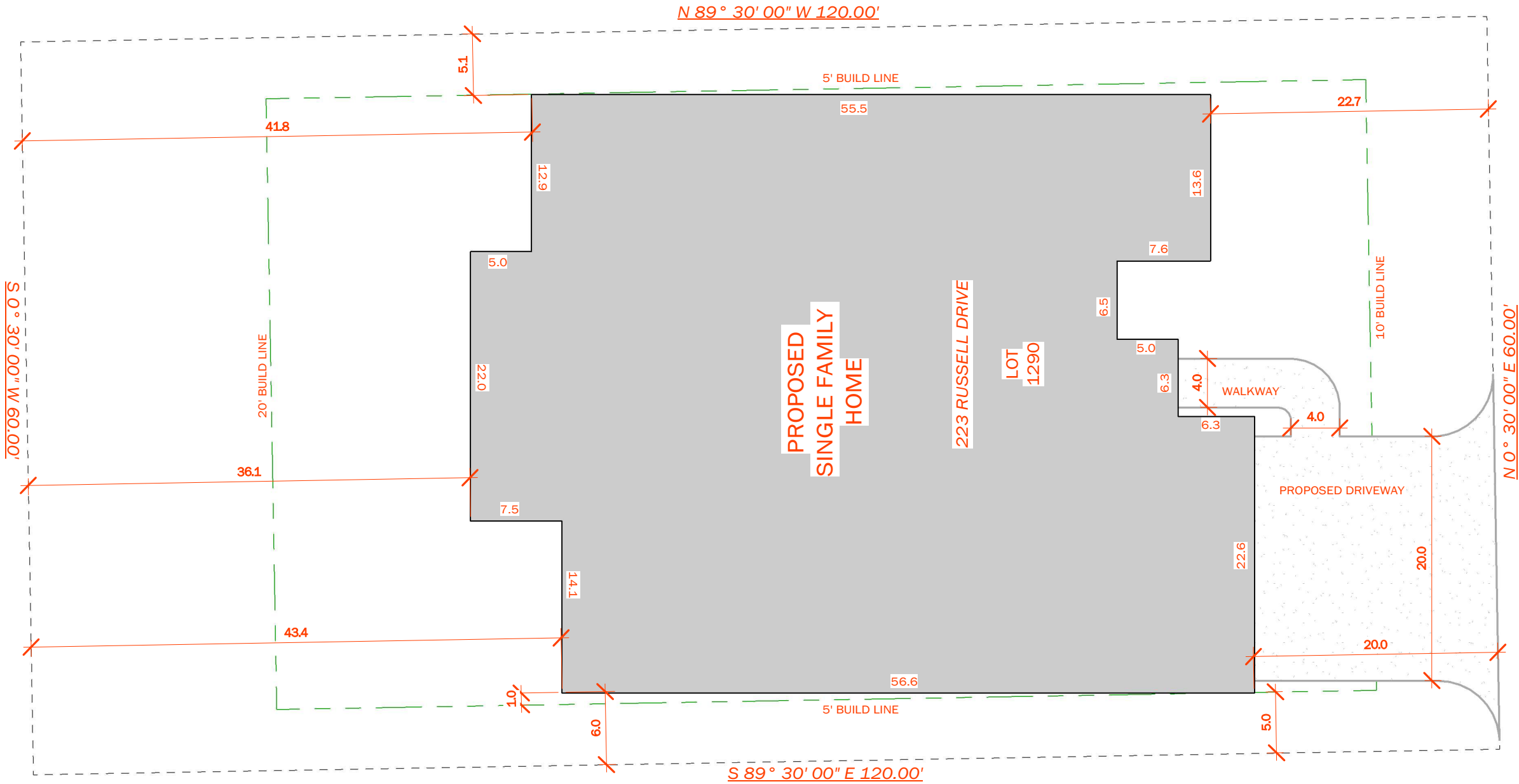
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SCALE: 3/16" = 1'-0"

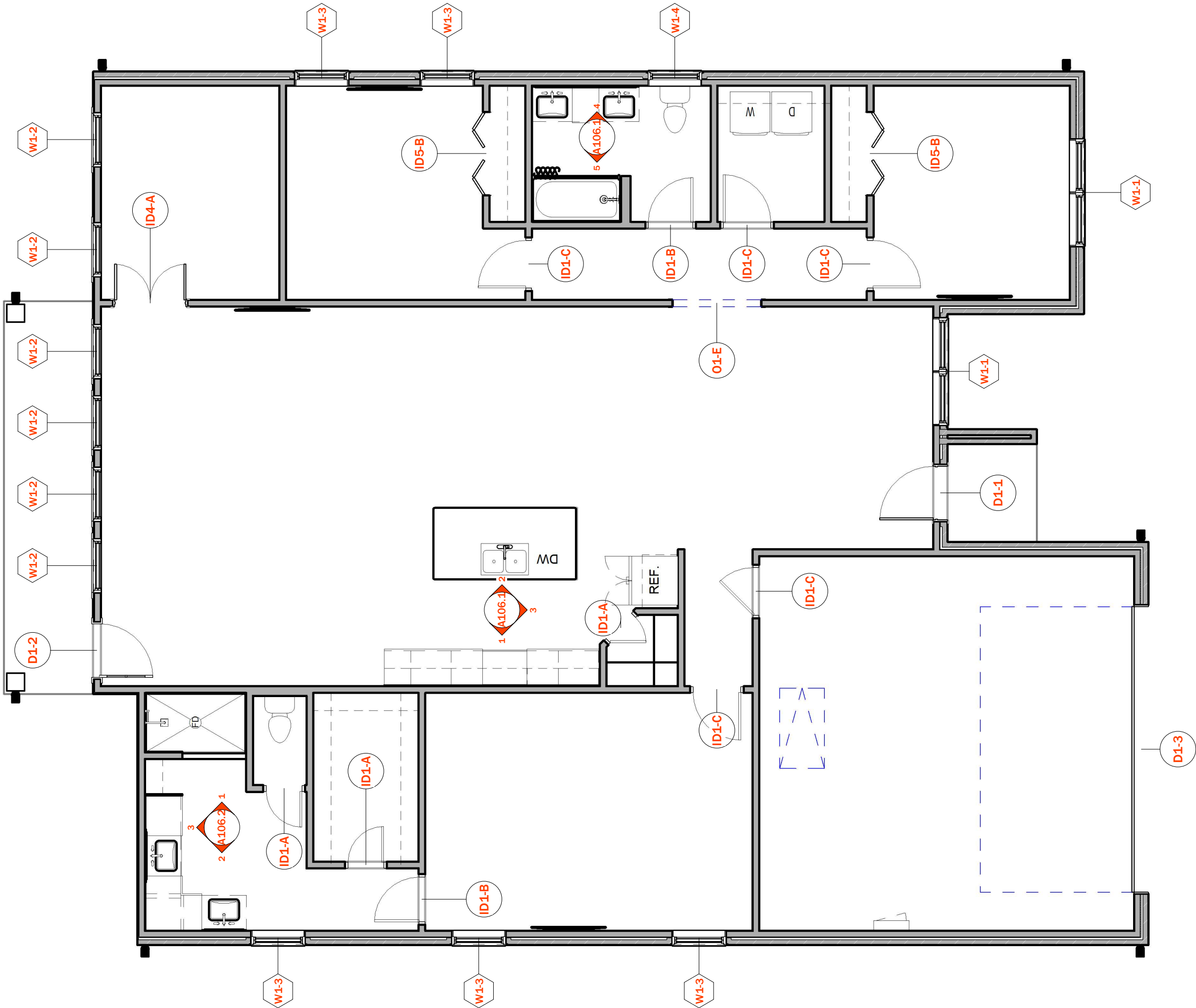
Level 1  
Dimensions  
A101.2

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1 Site Plan  
SCALE: 1" = 10'-0"



## Level 1 Callouts & Tags

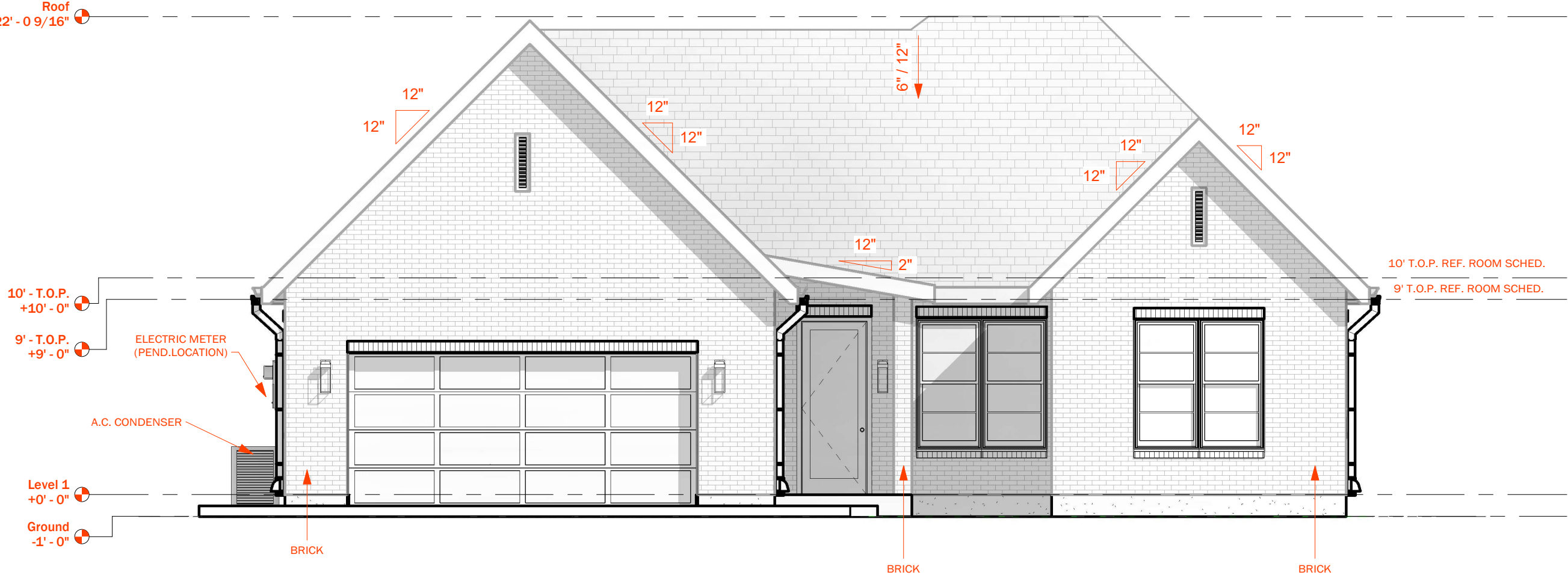
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1

Front Elevation

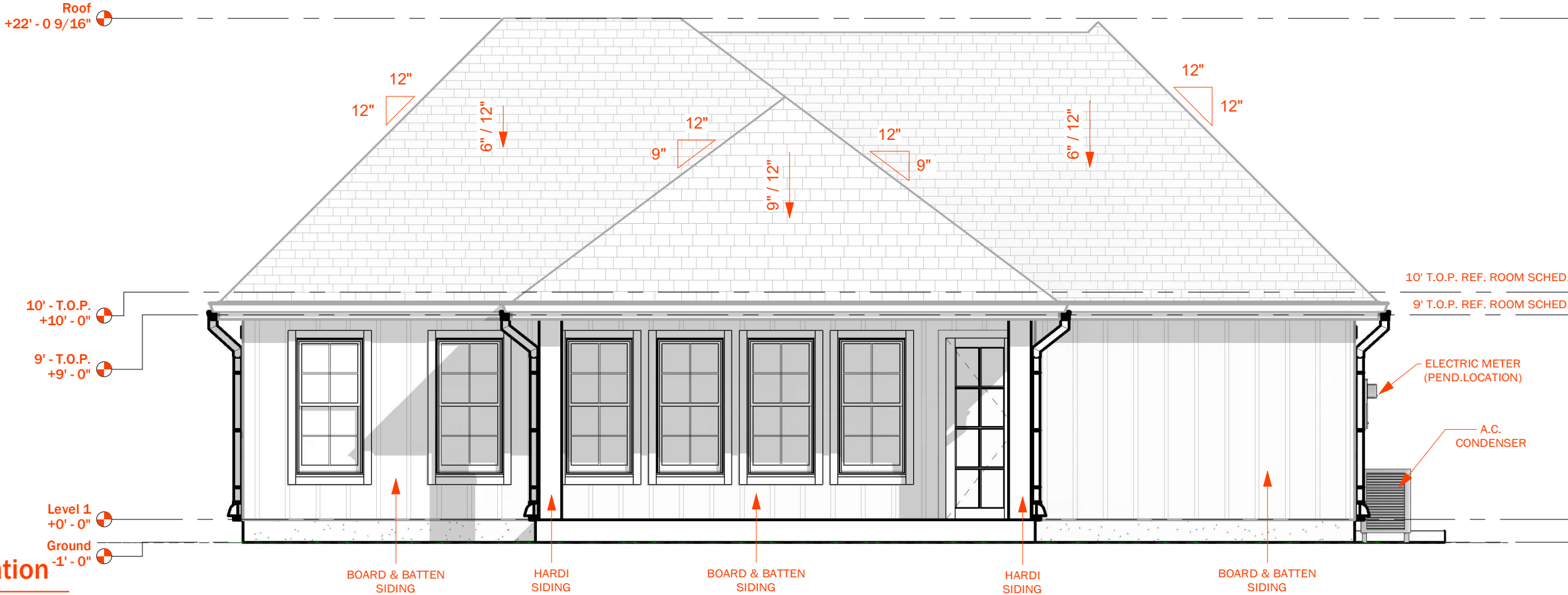
SCALE: 3/16" = 1'-0"



2

Back Elevation

SCALE: 3/16" = 1'-0"



CHRISTIAN SERRANO  
DESIGN  
GROUP

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223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032

Project No. CSC - 10348

12-07-2022

Revisions

Notes

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CHRISTIAN SERRANO  
DESIGN GROUP

(469) 383-6084

WWW.CHRISTIANERRANOCONSTRUCTION.COM



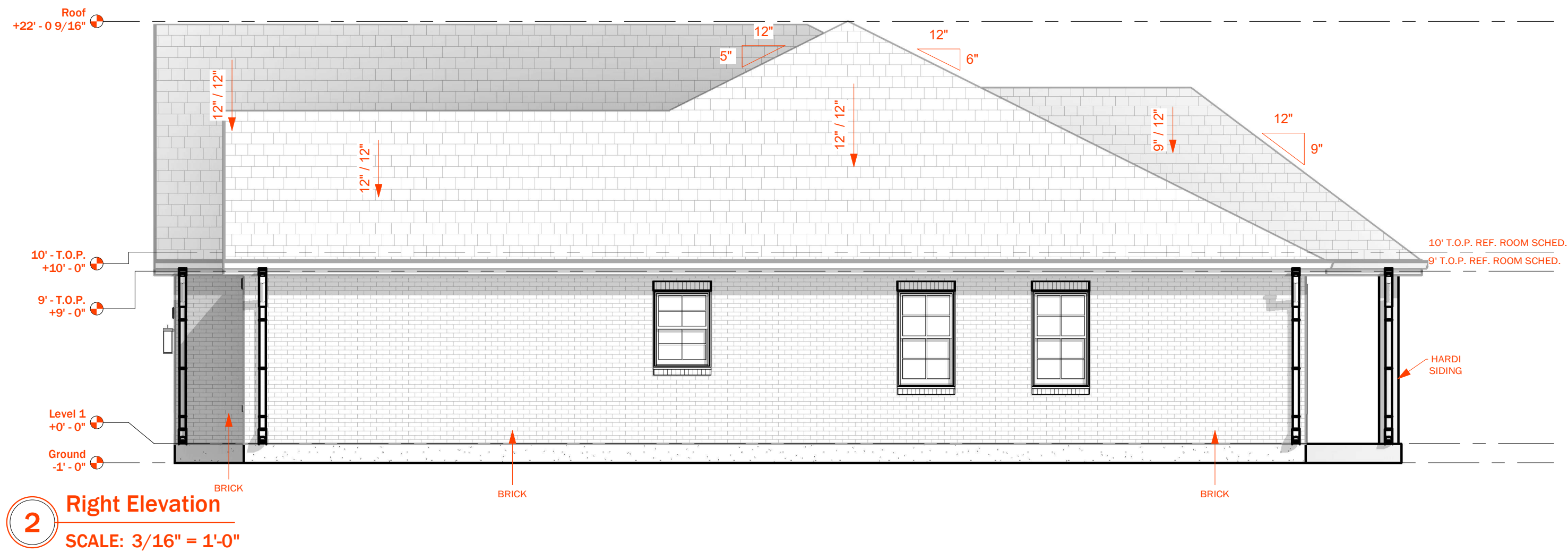
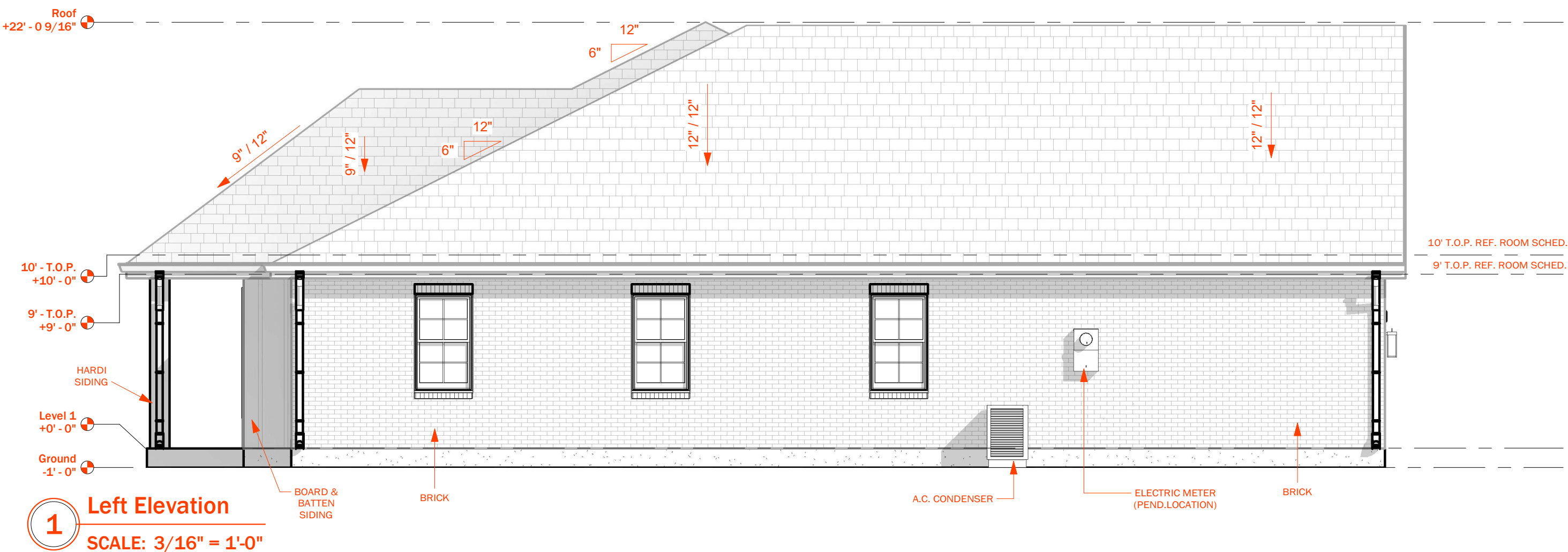
Scale 3/16" = 1'-0"

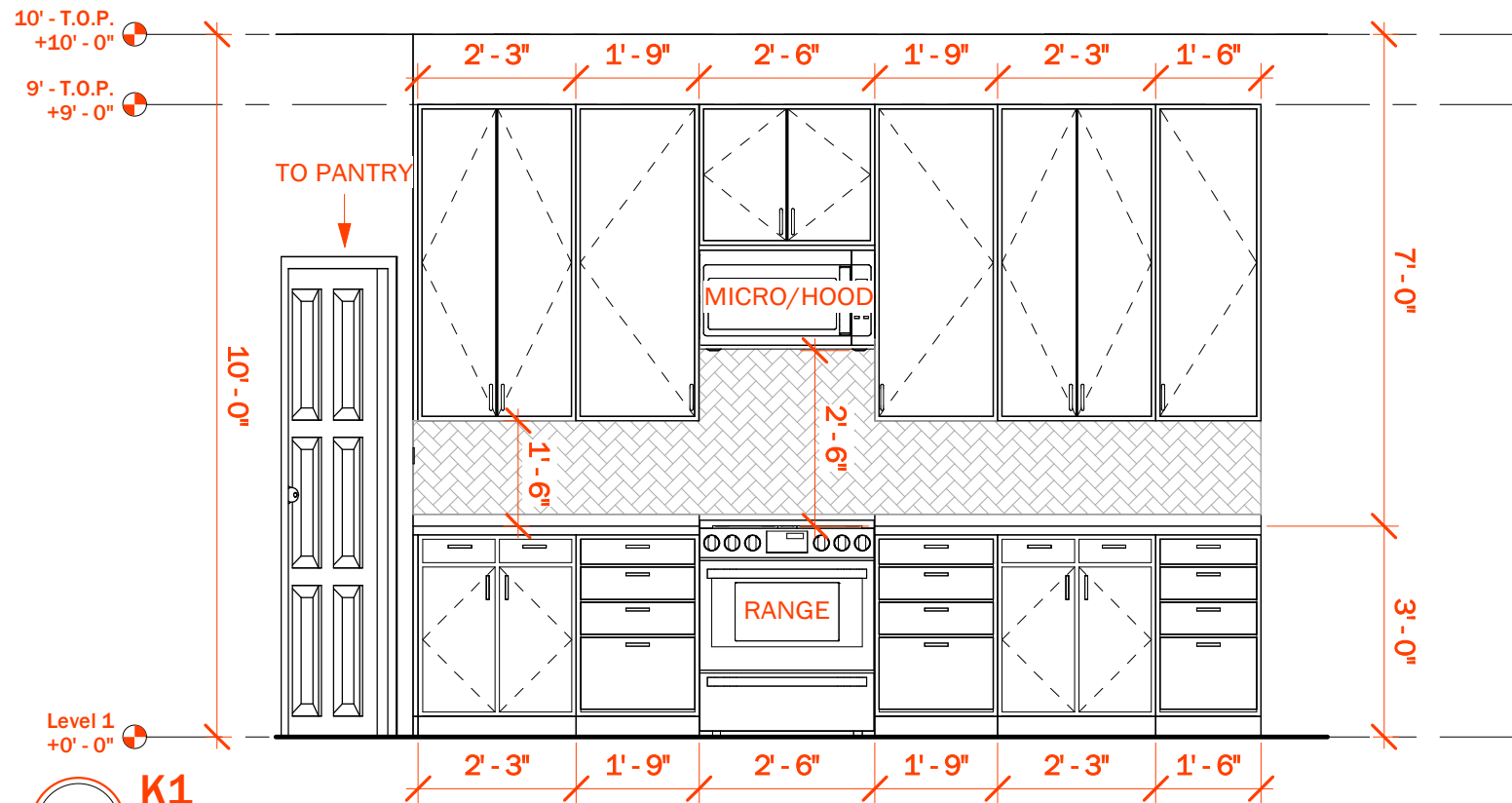
Front & Rear  
Elevations

A105.1

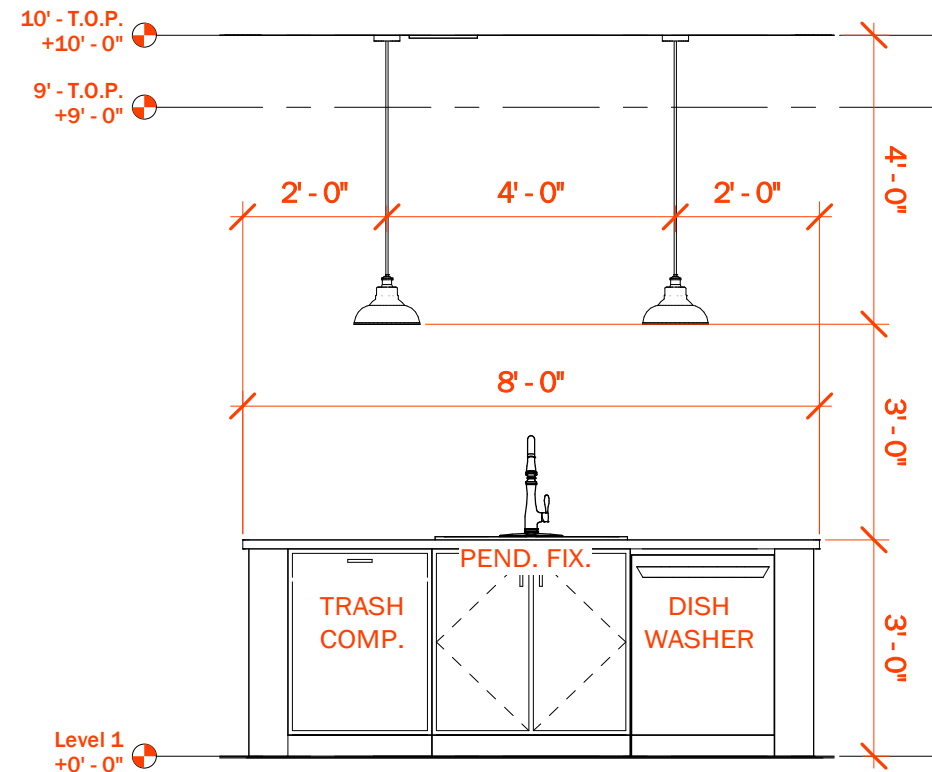
Drawn By

KS

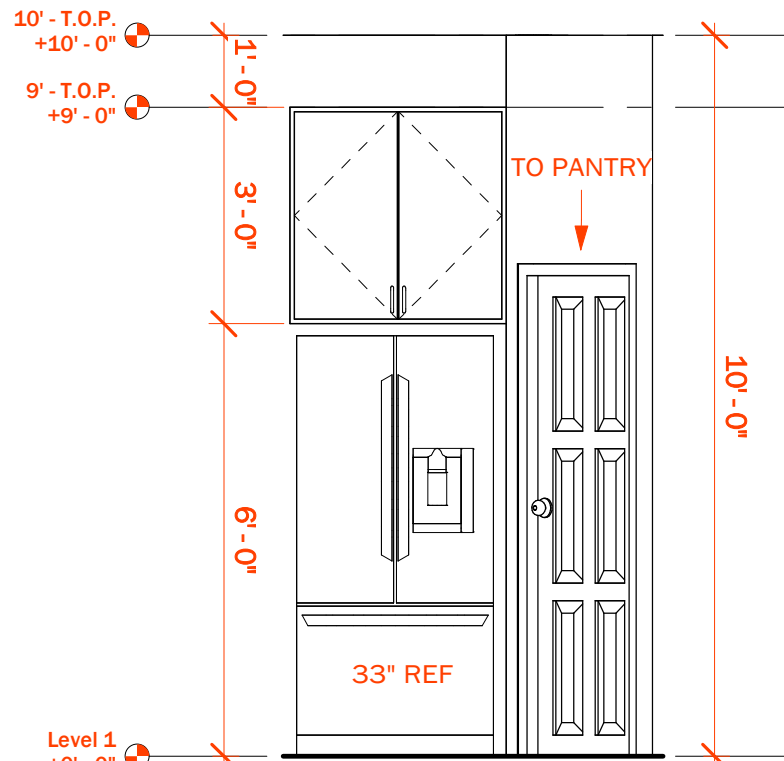




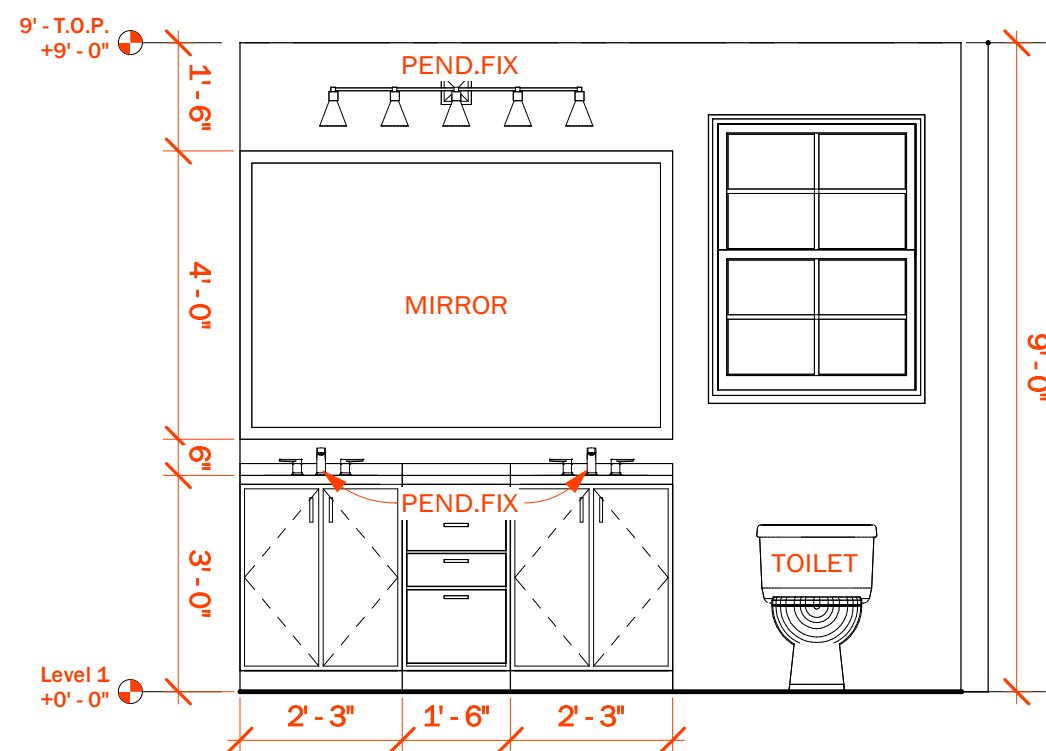
**1** K1  
SCALE: 3/8" = 1'-0"



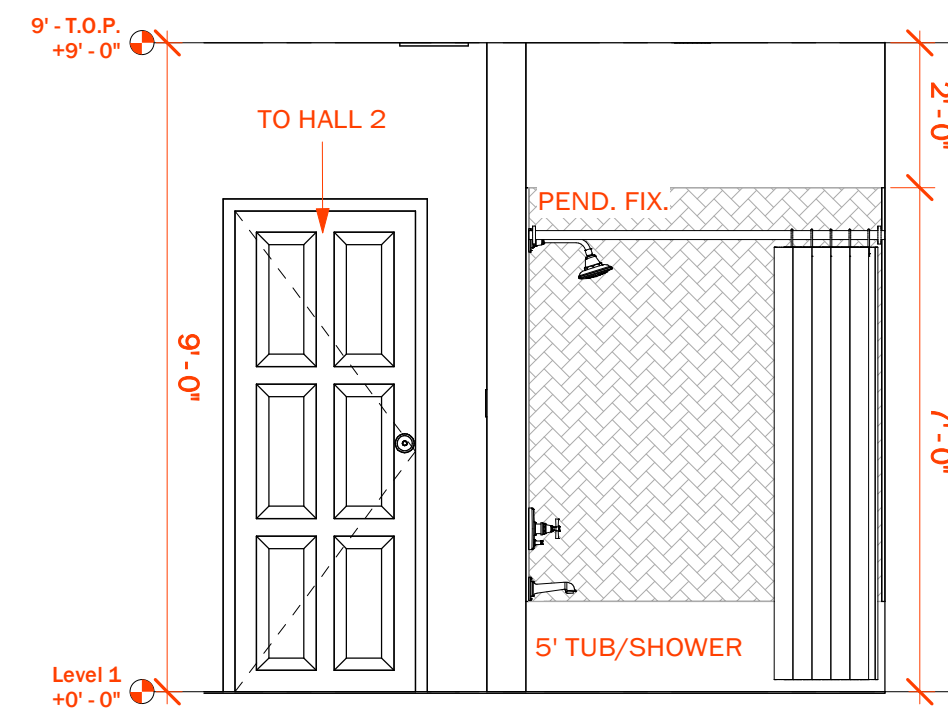
**2** K2  
SCALE: 3/8" = 1'-0"



**3** K3  
SCALE: 3/8" = 1'-0"

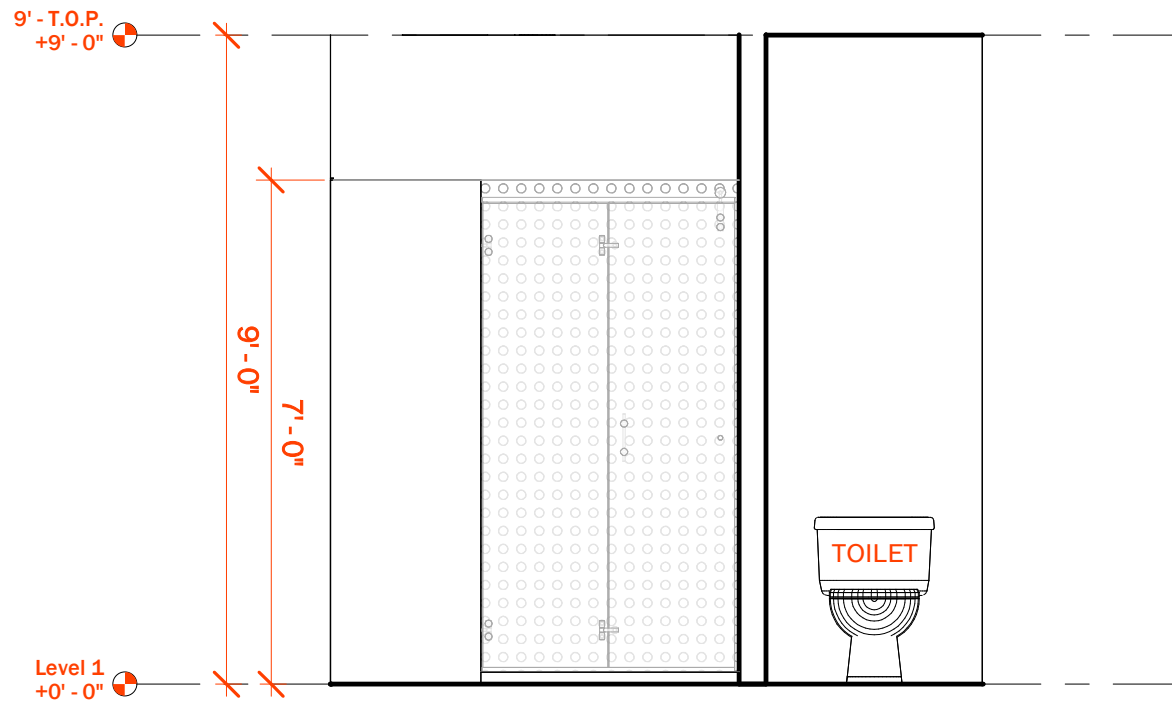


**4** B2-1  
SCALE: 3/8" = 1'-0"

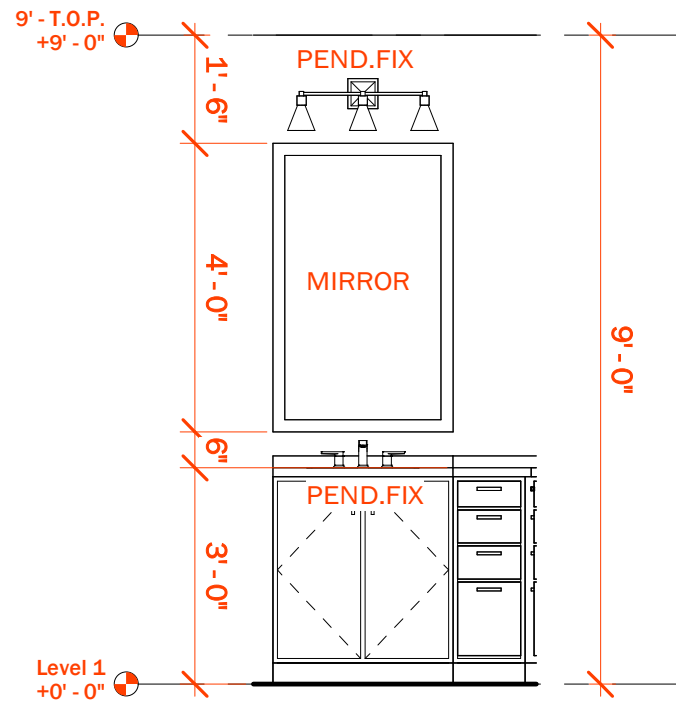


**5** B2-2  
SCALE: 3/8" = 1'-0"

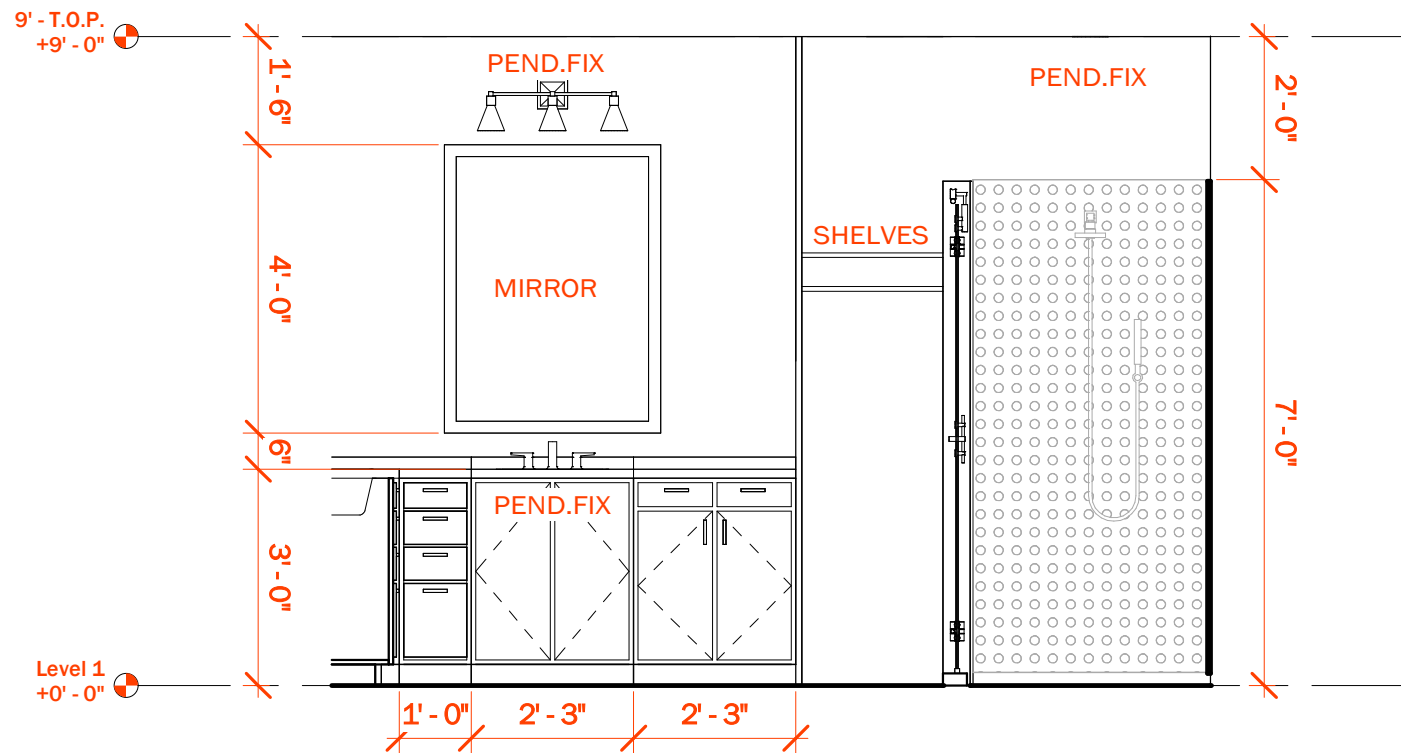




**1** MB 3  
SCALE: 3/8" = 1'-0"



**2** MB 1  
SCALE: 3/8" = 1'-0"

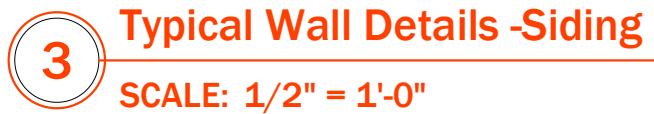
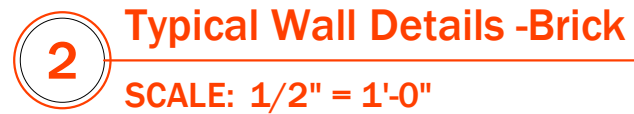
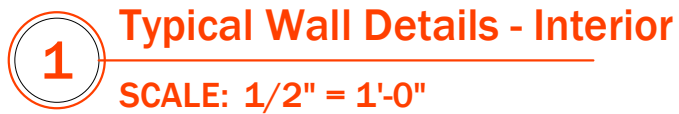


**3** MB 2  
SCALE: 3/8" = 1'-0"



Door Schedule				
Type Mark	Count	Width	Height	Description
D1-1	1	3' - 0"	8' - 0"	EXTERIOR DOOR - SINGLE SWING - OWNER SELECT
D1-2	1	3' - 0"	8' - 0"	EXTERIOR DOOR - SINGLE SWING - OWNER SELECT
D1-3	1	16' - 0"	7' - 0"	GARAGE DOOR - OWNER SELECT
ID1-A	3	2' - 0"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID1-B	2	2' - 6"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID1-C	5	2' - 8"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID4-A	1	4' - 0"	6' - 8"	INTERIOR DOUBLE DOOR - SINGLE SWING -OWNER SELECT
ID5-B	2	4' - 8"	6' - 8"	INTERIOR BIFOLDING DOOR - OWNER SELECT
O1-E	1	5' - 0"	8' - 0"	DOOR OPENING
O1-F	1	2' - 1 1/2"	4' - 6 1/2"	ATTIC ACCESS DOOR - OWNER SELECT

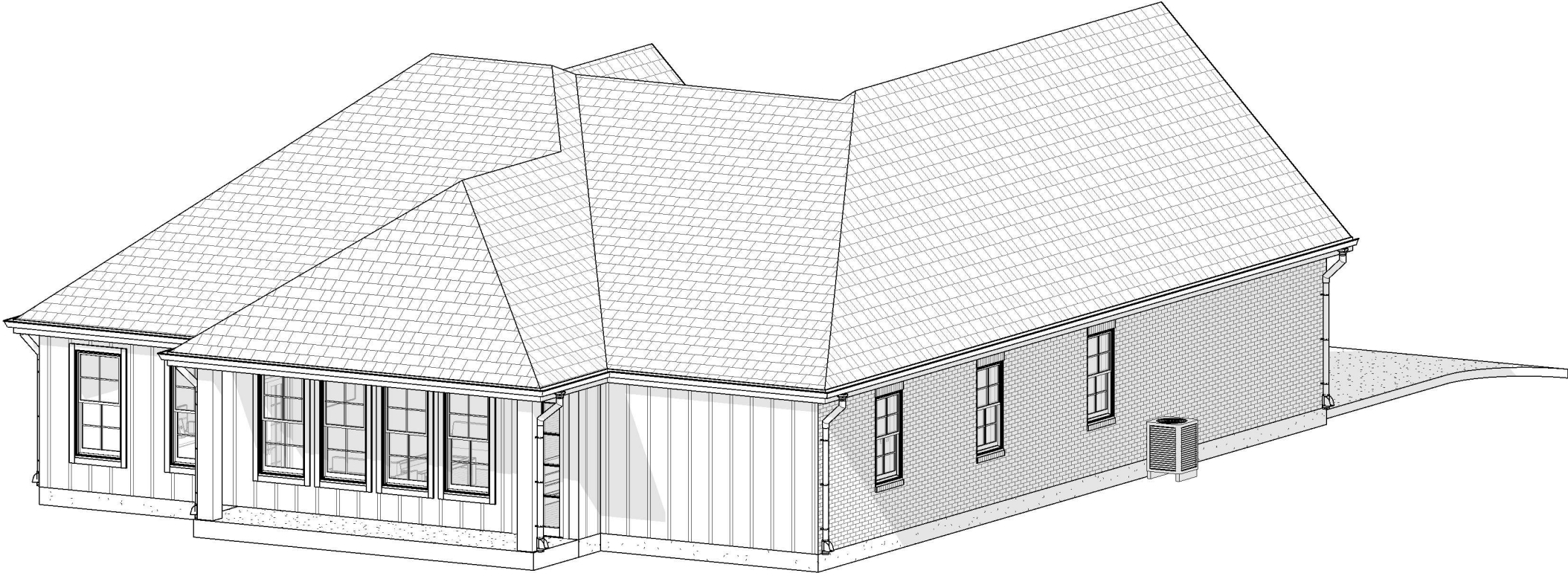
Window Schedule								
Type Mark	Count	Width	Height	Description	Head Height	ExteriorFinish Color	Interior Finish Color	Grids
W1-1	2	6' - 0"	6' - 0"	DOUBLE - SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-2	6	3' - 0"	6' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-3	5	3' - 0"	5' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-4	1	3' - 0"	4' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W5-F	2	0' - 8"	2' - 8"	LOUVER - OWNER SELECT	<varies>	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes



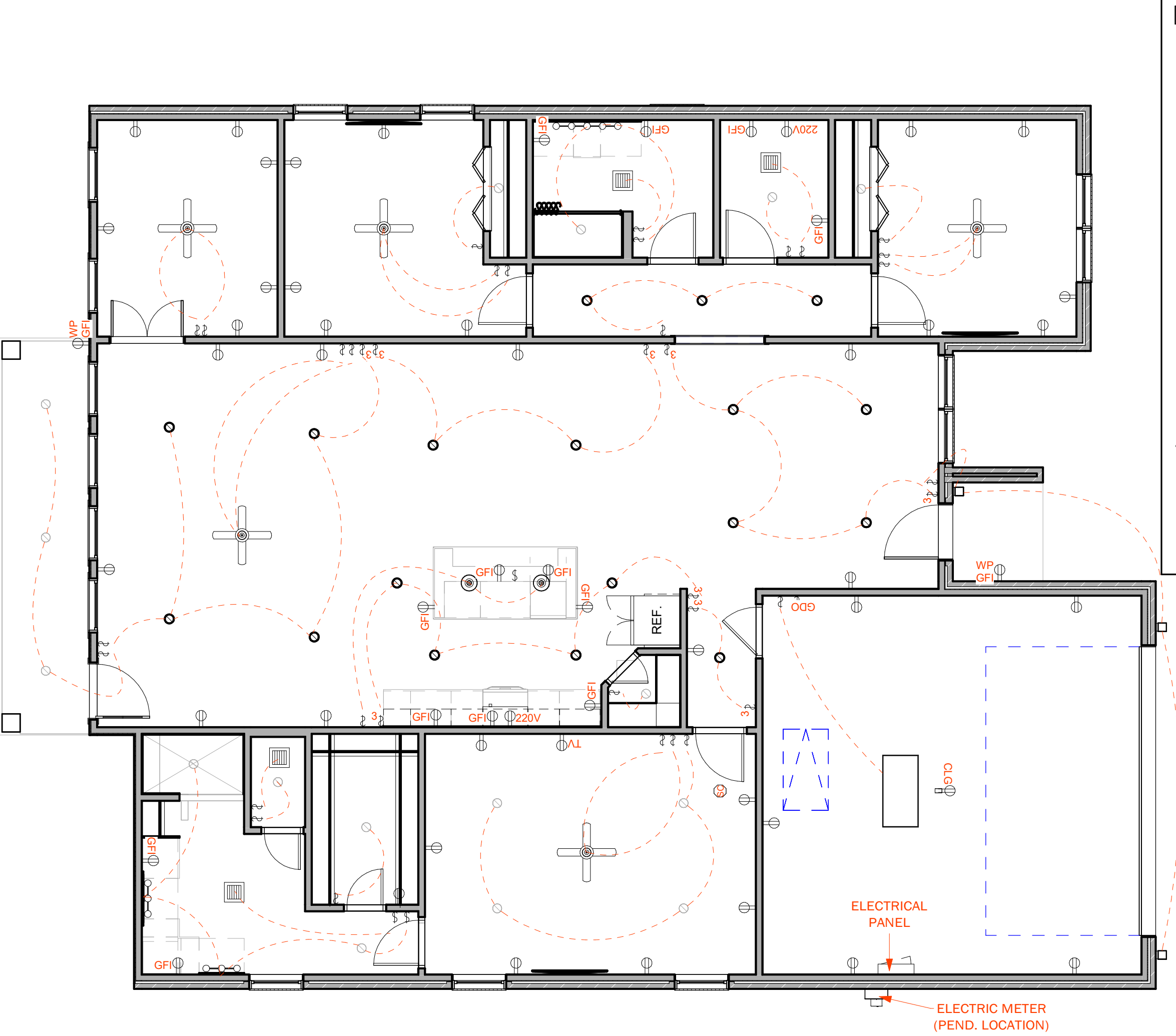




**1** 3D View - 1  
SCALE:



**2** 3D View - 2  
SCALE:



	-2' X 4' LINEAR BOX		-SINGLE DUPLEX OUTLET
	-CEILING FAN W/LIGHT KIT		-GFI DUPLEX OUTLET
	-CHANDELIER		-WEATHERPROOF GFI DUPLEX OUTLET
	-EXHAUST FAN		-CEILING DUPLEX OUTLET
	-RECESSED CAN LIGHT		-FLOOR DUPLEX OUTLET
	-EXTERIOR WALL LIGHT		-TOP OF COUNTER DUPLEX OUTLET
	-EXTERIOR GOOSENECK LIGHT		-TV DUPLEX OUTLET
	-EMERGENCY/FLOOD LIGHT		-SPRINKLER OUTLET
	-EXTERIOR SPOT LIGHT		-220 VOLT DUPLEX OUTLET
	-PENDANT LIGHT		-SINGLE WALL SWITCH
	-SINGLE BULB VANITY LIGHT		-3 WAY WALL SWITCH
	-3 BULB VANITY LIGHT FIXTURE		-DIMMER WALL SWITCH
	-5 BULB VANITY LIGHT FIXTURE		-GARAGE DOOR WALL SWITCH
	-SIDE VANITY LIGHT		-SMOKE/CO2 DETECTOR
	-ELECTRIC METER		-THERMOSTAT
	-ELECTRIC PANEL		-INTERNET/TELEPHONE JACK

**1** Level 1 Electrical Plan  
SCALE: 3/16" = 1'-0"

ELECTRIC METER  
(PEND. LOCATION)

CHRISTIAN SERRANO  
DESIGN GROUP

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223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032

Project No. CSC - 10348

12-07-2022

Revisions

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Notes

CHRISTIAN SERRANO  
DESIGN GROUP

(469)383-6084

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NAHB  
National Association  
of Home Builders

DallasBuilders  
ASSOCIATION

TEXAS  
REALTORS

Scale As indicated

Level 1 Electrical  
Plan

E101.1

Drawn By

KS



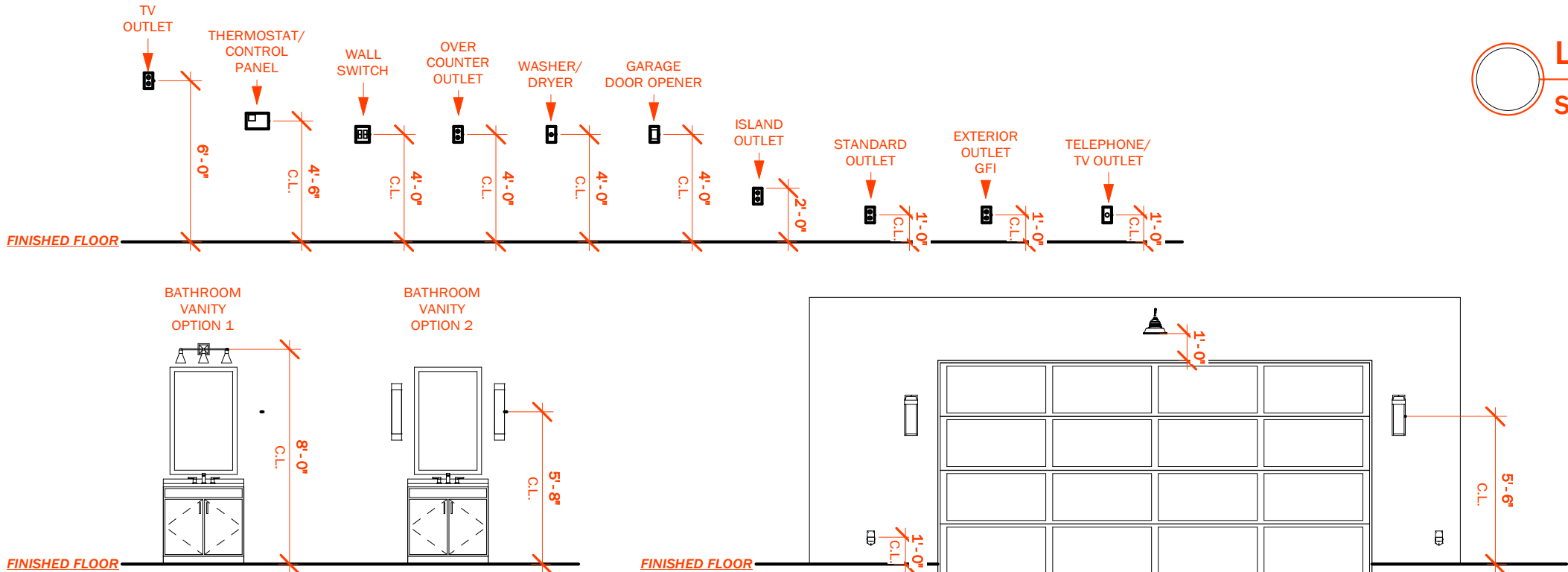
ELECTRICAL SPECIFICATIONS

1. ALL TELEPHONE LINES ARE TO BE CONCEALED & OUTLETS RECESSED. ALL TELEPHONE SERVICE TO BE CAPABLE OF CARRYING LINES IN MAIN HOUSE.
2. INSTALL SWITCHES 48" ABOVE FLOOR HEIGHT, INSTALL RECEPTACLE OUTLETS, CABLE, AND TELEPHONE 18" ABOVE FLOOR HEIGHT. INSTALL SWITCHES LOCATED IN BATHROOM 42" ABOVE FLOOR HEIGHT.
3. SWITCHES, OUTLETS, AND COVER PLATES ARE TO BE WHITE. INSTALL DIMMERS AS SHOWN.
4. ALL DIMMERS ARE TO BE TOGGLE TYPE. ALL OUTLETS ARE TO BE RECESSED. ALL WIRING TO BE CONCEALED.
5. ALL SMOKE DETECTORS TO BE NEW & BATTERY OPERATED.
6. VERIFY FIXTURE AND OUTLET LOCATIONS WITH OWNER PRIOR TO RUNNING ELECTRICAL FEEDS.
7. VERIFY OVERHEAD GARAGE DOOR OPENER SPECIFICATIONS AND SELECTION WITH OWNER.

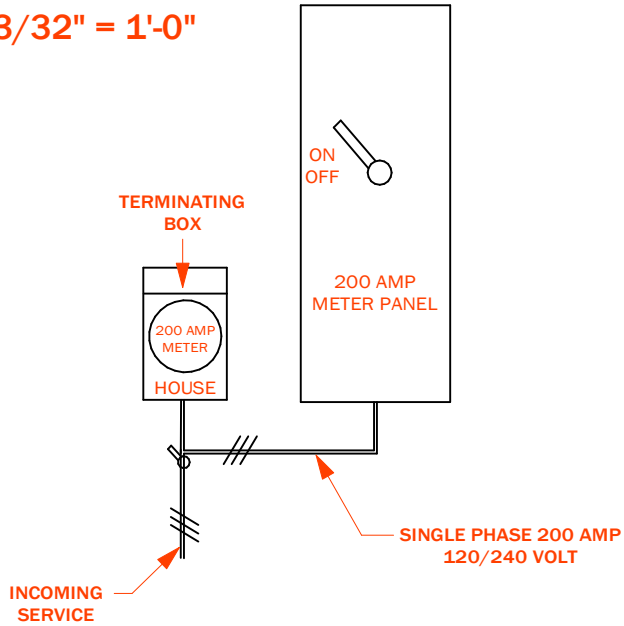
LIGHTING AND POWER GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
2. THE PROVISION OF THE CODE SHALL APPLY TO THE ERECTION, INSTALLATION, ALTERATION, REPAIRS, HEALTH, PROPERTY,& PUBLIC WELFARE REGULATING, AND CONTROLLING THE DESIGN, CONSTRUCTION, INSTALLATION, QUALITY OF MATERIALS, LOCATION, OPERATION, & MAINTENANCE OR USE OF ELECTRICAL EQUIPMENT & SYSTEMS.
3. CONTRACTOR SHALL VERIFY ALL CEILING TYPES & COORDINATE TRIMS PRIOR TO PURCHASE OF LIGHTING FIXTURES. FURNISH ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET JOB REQUIREMENTS. LECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FIXTURES ARRIVING ON SITE WITH INCORRECT MOUNTING.
4. COORDINATE ALL LIGHTING TYPES AND LOCATIONS WITH DESIGNER AND OWNER PRIOR TO INSTALLATION. MOUNTING HEIGHTS OF ALL WALL MOUNTED & PENDANT MOUNTED LIGHTING FIXTURES SHALL BE DETERMINED BY DESIGNER. REFER TO ARCHITECTURAL SECTIONS & ELEVATIONS.
5. LOCATION & GROUPING ARRANGEMENT/ORIENTATION OF ALL SWITCHES SHALL BE COORDINATED WITH THE DESIGNER PRIOR TO INSTALLATION.
6. COORDINATE LOCATION OF ALL LIGHTING FIXTURES WITH THE MECHANICAL & PLUMBING PRIOR TO ELECTRICAL ROUGH-IN.
7. FINAL INSPECTION SHALL BE MADE AFTER THE WORK IS COMPLETE, ALL ELECTRICAL FIXTURES WILL BE INSPECTED TO VERIFY CORRECT PLACEMENT, CONNECTION. AND IF STRUCTURE IS READY FOR OCCUPANCY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING OF SUCH INSPECTION.
8. SMOKE DETECTOR DEVICE TO BE SELECTED BY OWNER. LOCATIONS SHOWN ARE PRELIMINARY-COORDINATE FINAL LOCATIONS WITH FIRE MARSHALL.
9. CARBON MONOXIDE DEVICE TO BE SELECTED BY OWNER.
10. COORDINATE TELEPHONE, CABLE, FIBER OPTIC, WIFI, DATA, SPEAKER LOCATIONS, AND SECURITY ALARM WITH AUDIO VISUAL/TECHNOLOGY CONTRACTOR AND DESIGNER..
11. ALL LIGHTING LOCATED IN DAMP OR WET LOCATIONS TO BE RATED FOR SUCH.
12. LIGHTING IN SHOWER STALLS TO BE VAPOR TIGHT FIXTURES.
13. LIGHTING IN SMALL CLOSET TO HAVE DOOR ACTIVATED SWITCH.
14. COORDINATE LOCATION OF MAIN AND SUB ELECTRICAL PANELS WITH DESIGNER AND OWNER.
15. COORDINATE POWER FOR ALL FIXTURES.
16. COORDINATE ADDITIONAL POWER REQUIREMENTS FOR EQUIPMENT, LIGHTING, AND INTERIOR SPEAKERS.
17. INDICATES FIXTURE SHALL BE CONNECTED TO "CONSTANT-ON" EMERGENCY (LIFE-SAFETY) CIRCUIT, PROVIDE "LOCK-ON" EMERGENCY BREAKER AT PANELBOARD.
18. CUTTING OF FLOORS, WALLS, & CEILINGS SHALL BE REQUIRED FOR THE INSTALLATION OF PIPES, CONDUITS, DUCTS, WIRING, SLEEVES, & SEAL AS REQUIRED BY THE DESIGNER.

	-2' X 4' LINEAR BOX		-SINGLE DUPLEX OUTLET
	-CEILING FAN W/LIGHT KIT		-GFCI DUPLEX OUTLET
	-CHANDELIER		-WEATHERPROOF GFCI DUPLEX OUTLET
	-EXHAUST FAN		-CEILING DUPLEX OUTLET
	-RECESSED CAN LIGHT		-FLOOR DUPLEX OUTLET
	-EXTERIOR WALL LUGHT		-TOP OF COUNTER DUPLEX OUTLET
	-EXTERIOR GOOSENECK LIGHT		-TV DUPLEX OUTLET
	-EMERGENCY/FLOOD LIGHT		-SPRINKLER OUTLET
	-EXTERIOR SPOT LIGHT		-220 VOLT DUPLEX OUTLET
	-PENDANT LIGHT		-SINGLE WALL SWITCH
	-SINGLE BULB VANITY LIGHT		-3 WAY WALL SWITCH
	-3 BULB VANITY LIGHT FIXTURE		-DIMMER WALL SWITCH
	-5 BULB VANITY LIGHT FIXTURE		-GARAGE DOOR WALL SWITCH
	-SIDE VANITY LIGHT		-SMOKE/CO2 DETECTOR
	-ELECTRIC METER		-THERMOSTAT
	-ELECTRIC PANEL		-INTERNET/TELEPHONE JACK

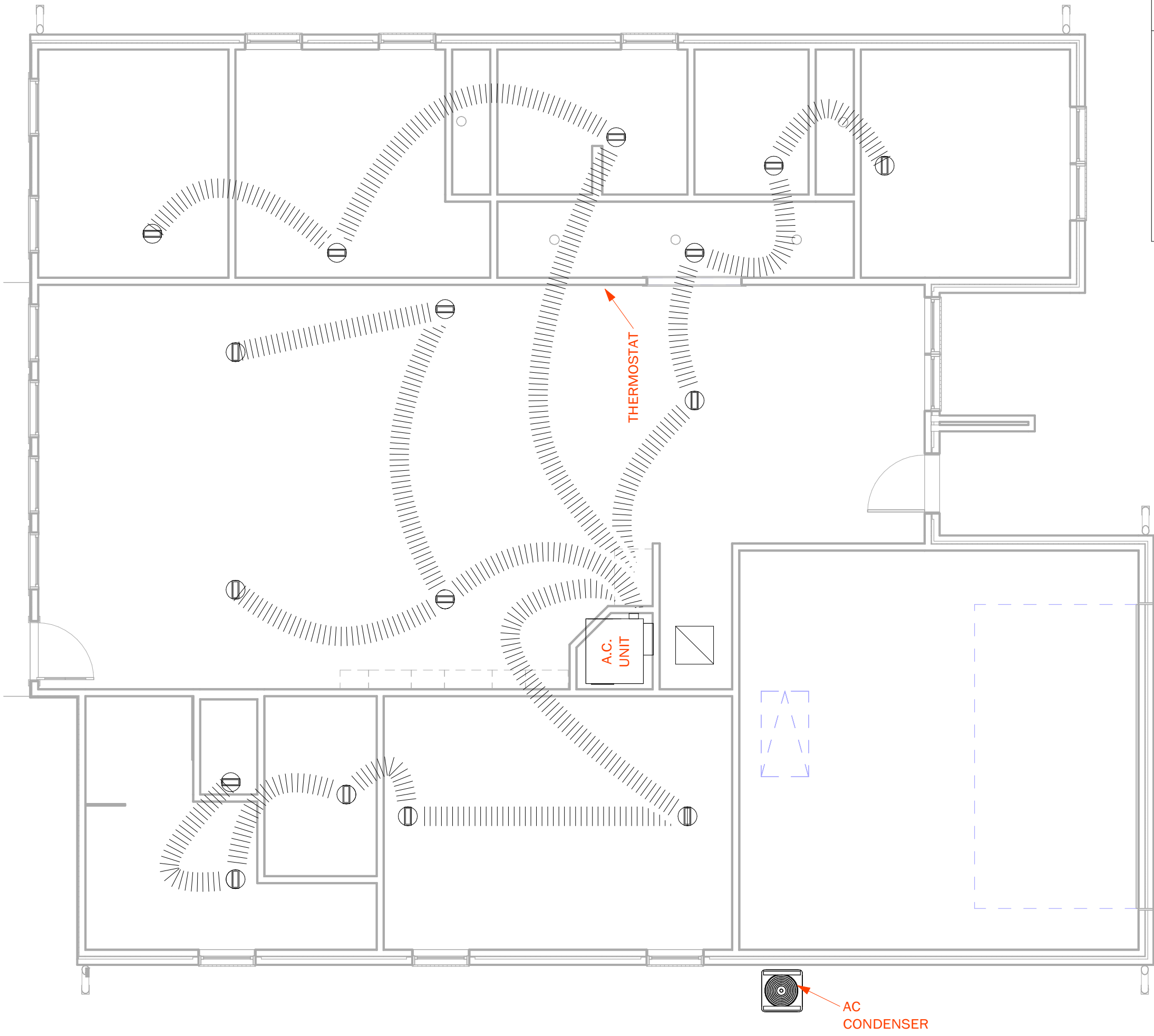





Lighting Fixtures Legend  
SCALE: 3/32" = 1'-0"



Power Riser Details  
SCALE: 3/16" = 1'-0"

Electrical Devise Heights  
SCALE: 3/16" = 1'-0"

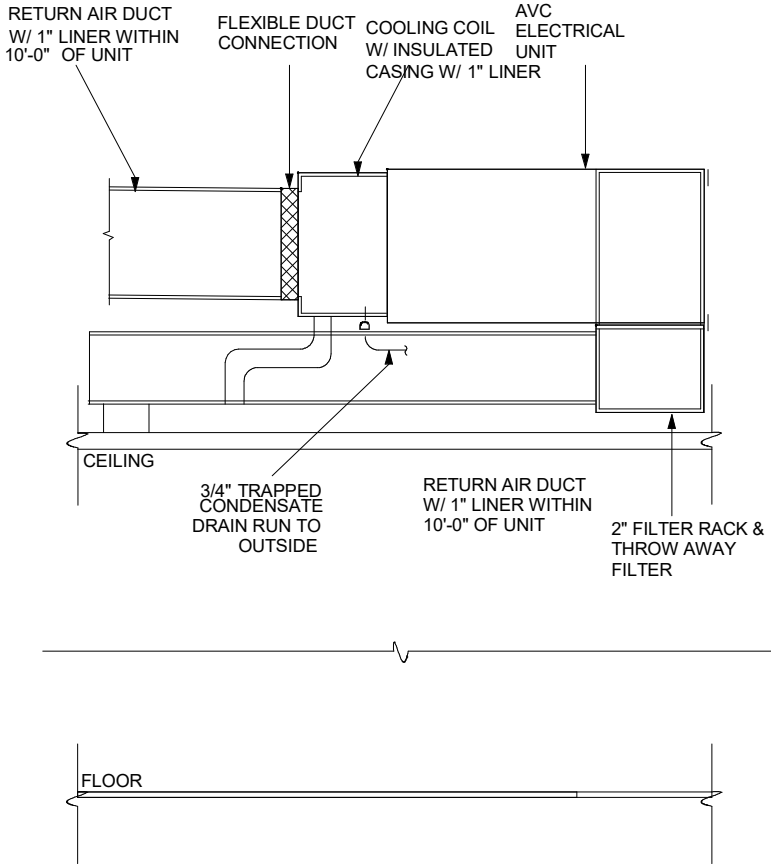


LEGEND	
	VENTS
	FLEXIBLE DUCT
	RETURN

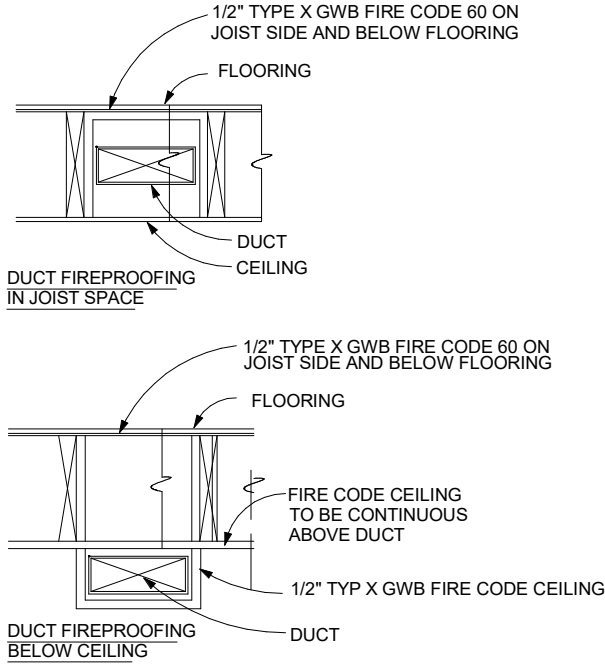
**1** Level 1 HVAC Plan  
SCALE: 3/16" = 1'-0"

MECHANICAL GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
2. FURNISH ALL LABOR, MATERIALS, FIXTURES, EQUIPMENT, & SERVICES NECESSARY FOR THE INSTALLATION OF A COMPLETE & FUNCTIONAL H.V.A.C SYSTEM, PLUMBING SYSTEM, & ELECTRICAL SYSTEM
3. CONTRACTOR SHALL APPLY & PAY FOR ALL PERMITS & CONNECTION FEES REQUIRED FOR WORK.
4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE WORK TO BE DONE & SHALL EXAMINE SITE & CONSIDER THE CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE IN THE PERFORMANCE OF THE CONTRACTED WORK. NO ALLOWANCES SHALL BE MADE SUBSEQUENTLY IN THIS CONNECTION, FOR ANY ERRORS, THROUGH NEGLIGENCE ON HIS PART. THE CONTRACTOR IS HERE BY ADVISED THAT HE WILL BE REQUIRED TO OBSERVE NECESSARY PRACTICES FOR FIRE & SAFETY PRECAUTIONS FOR THE PROTECTION OF THE FACILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS, & CLEARANCES & COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO START OF WORK.
5. ALL DUCTWORK SHALL BE FABRICATED FROM FILED TAKEN DIMENSIONS AND NOT FROM DRAWINGS, PRIOR TO DUCT FABRICATION, CEILING CLEARANCES SHALL BE VERIFIED WITH ALL ELECTRICAL, PLUMBING, & ARCHITECTURAL DRAWINGS.
6. SUBMIT 6 COPIES OF EACH SHOP DRAWINGS FOR THE FOLLOWING: HIGH-ENERGY EFFICIENCY EQUIPMENT, SPLIT SYSTEM COOLING COILS, AIR COOLED CONDENSING UNIT, THERMOSTAT, GRILLES, REGISTERS, DUCTS, TRIMS, PIPES, JOINING METHODS, WATER HEATER, GUY GRAY UNITS, FLOOR DRAINS, BREAKER PANEL, CIRCUIT BREAKERS, SWITCHES, LUMINARIES, MOTION DETECTORS, DISCONNECT SWITCHES, & OUTLETS.
7. ELECTRICAL CONTRACTOR SHALL FURNISH ALL MOTOR CONTROLLERS, PILOT OTHER DEVICES,& SHALL IMPLEMENT ALL ALL REQUIRED WIRING EXCEPT A.T.C. WIRING.
8. ALL SUPPLY & RETURN DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH 1/2 FIBERGLASS WITH A.S.I. VAPOR BARRIER OR EQUAL.
9. GRILLES, REGISTERS, & DIFFUSER SHALL BE OF CAPACITIES & INDICATED SIZES IN ACCORDANCE WITH MANUFACTURERS PRINTED LITERATURE FOR RESIDENTIAL SOUND LEVELS & THROWS. MOUNT TIGHT TO CONSTRUCTION USING GASKETS TO PREVENT AIR LEAKAGE & STREAKING. BRANCHES FROM MAIN TO OUTLETS SHALL BE MADE USING ADJUSTABLE DEFLECTORS POSITIONED & SECURED TO PROVIDE SPECIFIED AIR QUANTITIES. , REGISTERS & GRILLES SHALL BE PROVIDED BY LIMA OR EQUAL.AND SHALL MATCH COLOR OF ADJACENT CEILING OF WALL. COORDINATE ALL REGISTERS IN CEILINGS WITH LIGHT FIXTURES.

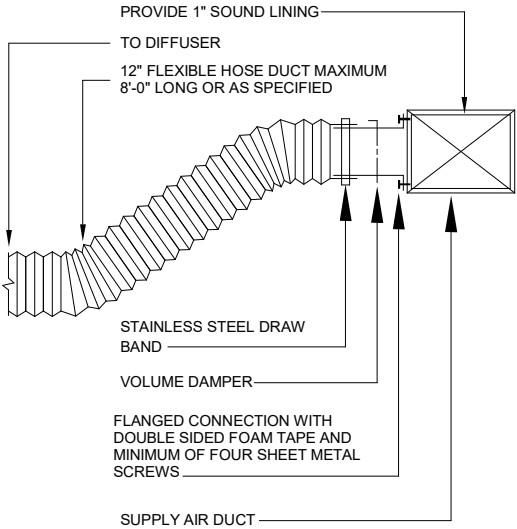


AVC ELECTRICAL UNIT DETAIL  
SCALE: N.T.S

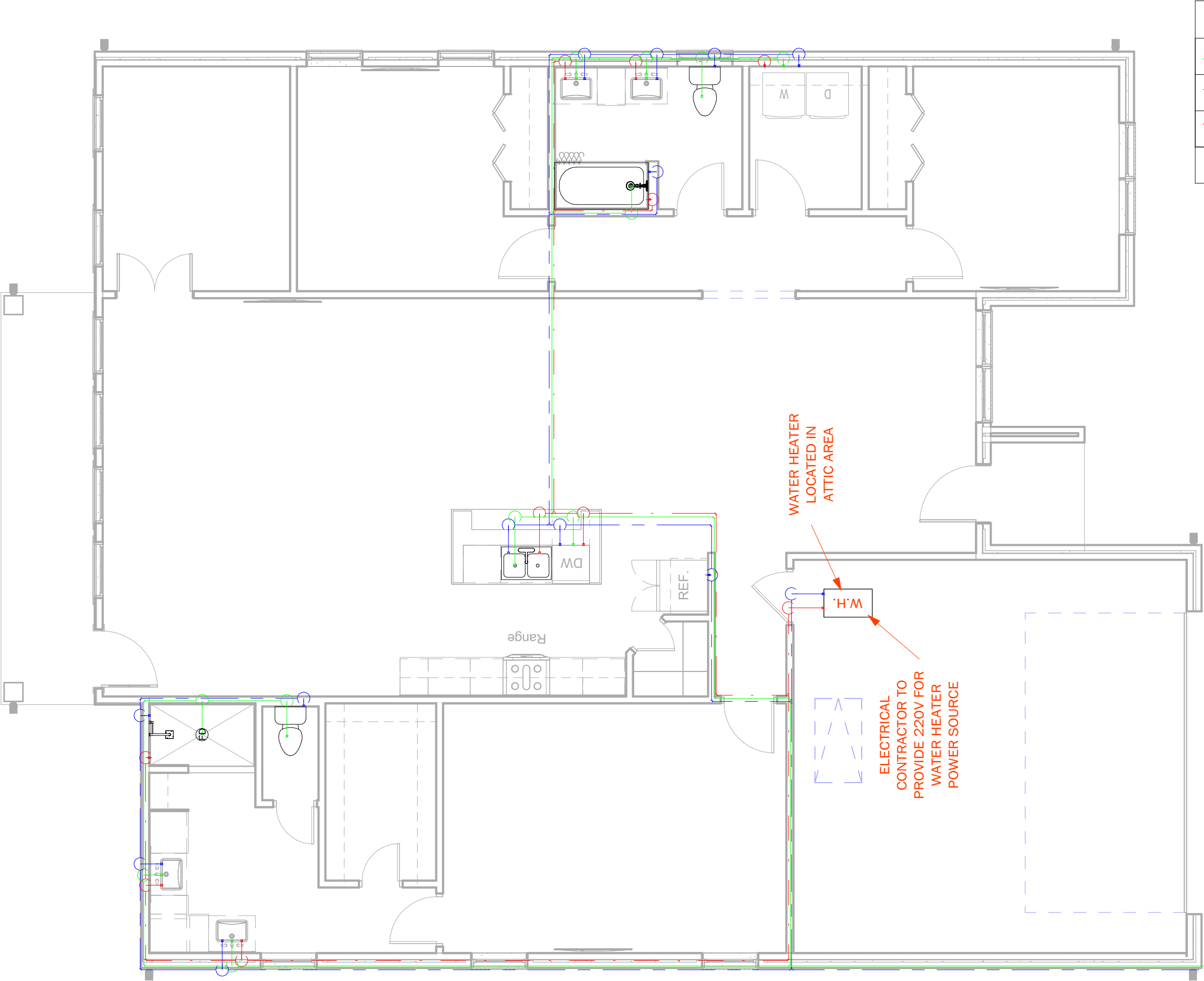


UNIT, DUCT SIZING, AND CFMs SHOWN ON DRAWINGS ARE APPROXIMATE, CONTRACTOR IS RESPONSIBLE FOR DESIGNING BALANCING SYSTEM FOR EVEN EFFICIENT HEATING AND COOLING

DUCT DETAIL  
SCALE: N.T.S



DIFFUSER TO FLEXIBLE DUCT CONNECTION DETAIL  
NOT TO SCALE



PLUMBING LEGEND	
	SANITARY SEWER
	COLD WATER
	HOT WATER
	PROPANE GAS LINE

WATER HEATER  
LOCATED IN  
ATTIC AREA

W.H.

ELECTRICAL  
CONTRACTOR TO  
PROVIDE 220V FOR  
WATER HEATER  
POWER SOURCE

PENDING UTILITY  
LINE LOCATION  
SEWAGE &  
WATER LINES TO  
BE SET BEFORE  
POURING  
CONCRETE

1 Level 1 Plumbing  
SCALE: 3/16" = 1'-0"

CHRISTIAN SERRANO  
DESIGN GROUP

223 Russell Dr  
Rockwall TX, 75032

Project No. CSC - 10348

12-07-2022

Revisions

NOT FOR CONSTRUCTION

Notes

CHRISTIAN SERRANO  
DESIGN GROUP

(469) 383-6084

WWW.CHRISTIANSERRANOCONSTRUCTION.COM

NAHB  
National Association  
of Home Builders

DallasBuilders  
ASSOCIATION

REALTOR  
Texas

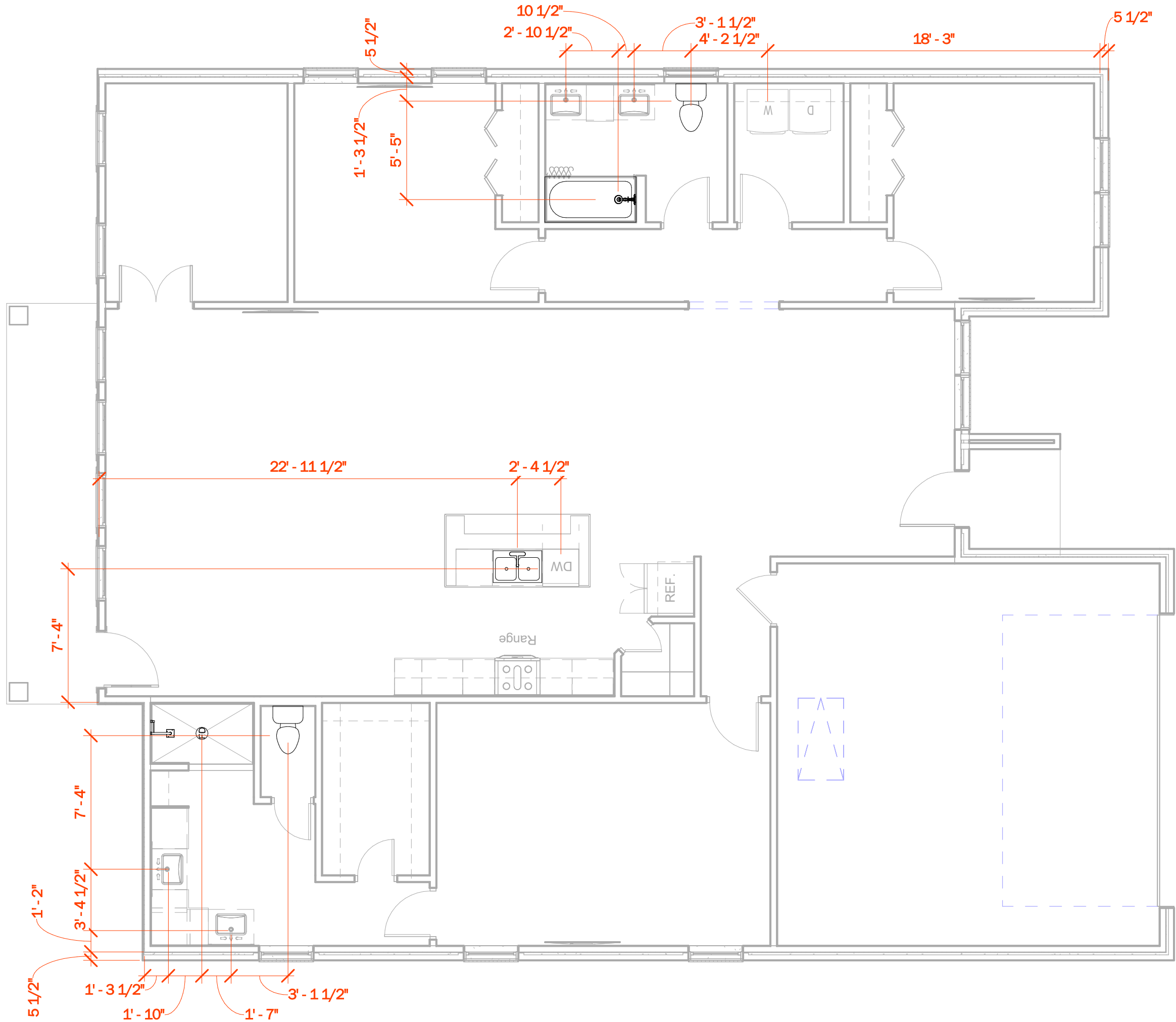
Scale As indicated

Level 1 Plumbing  
Plan

P101.1

Drawn By KS





Level 1 Forming Plan

1

SCALE: 3/16" = 1'-0"

Plumbing Forming  
Plan  
P102

Drawn By

JS

Scale 3/16" = 1'-0"

CHRISTIAN SERRANO  
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NAHB  
National Association  
of Home Builders

DallasBuilders  
ASSOCIATION

TEXAS  
REALTORS

NOT FOR CONSTRUCTION

Revisions

Project No. CSC - 10348

223 Russell Dr  
223 Russell Dr.  
Rockwall TX, 75032

CHRISTIAN SERRANO  
DESIGN  
GROUP

©2018

GENERAL PLUMBING NOTES

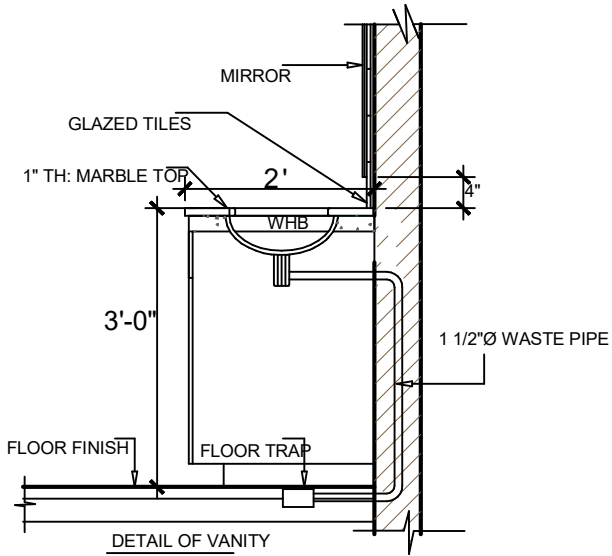
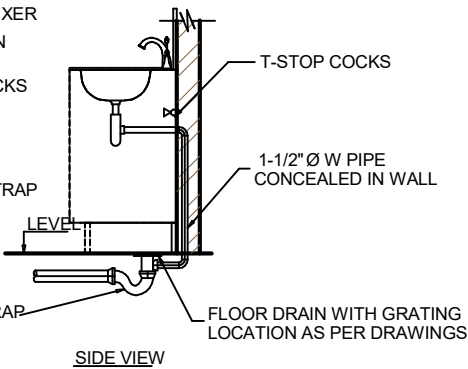
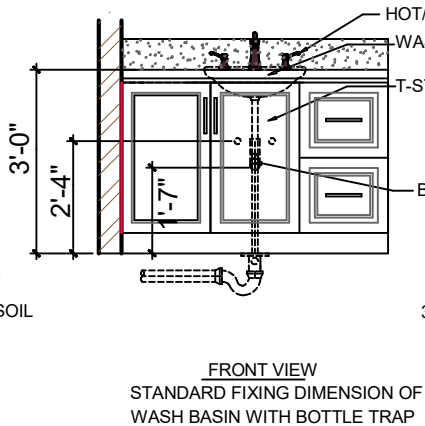
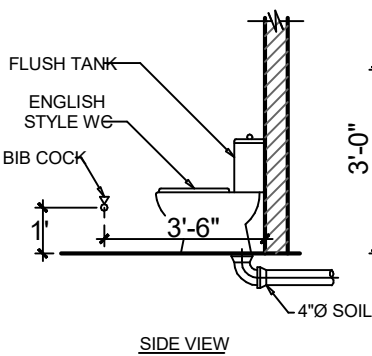
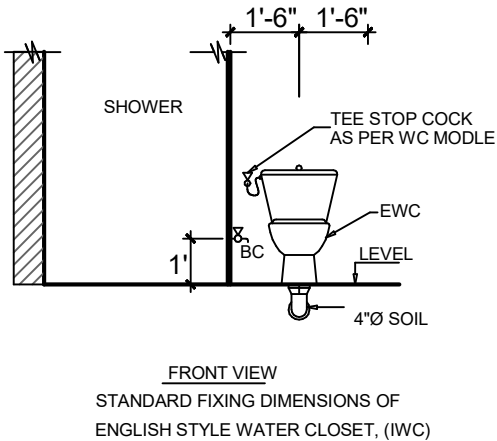
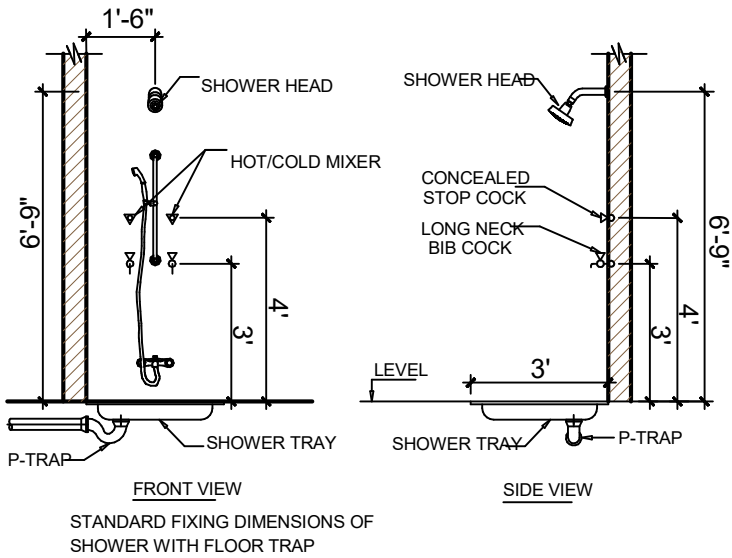
1 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL PLUMBING CODES.

2 - THE PROVISIONS OF THE CODE SHALL APPLY TO THE ERECTION, INSTALLATION, ALTERATION, HEALTH, PROPERTY AND PUBLIC WELFARE REGULATING AND CONTROLLING THE DESIGN, CONSTRUCTION, INSTALLATION, QUALITY OF MATERIALS, LOCATION, OPERATION OR USE OF PLUMBING EQUIPMENT.

3. ALL PLUMBING SYSTEMS, MATERIALS APPURTENANCES SHALL BE MAINTAINED IN PROPER CONDITION IN ACCORDANCE WITH THE ORIGINAL DESIGN IN A SAFE AND SANITARY CONDITION. ALL DEVICES OR SAFEGUARDS REQUIRED BY CODE SHALL BE MAINTAINED IN COMPLIANCE WITH THE CODE EDITION UNDER WHICH INSTALLED. THE OWNER OR OWNERS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PLUMBING SYSTEMS. TO DETERMINE COMPLIANCE WITH THIS PROVISION, THE CODE OFFICIAL SHALL HAVE THE AUTHORITY TO REQUIRE ANY PLUMBING SYSTEMS TO BE RE-INSPECTED.

4. FINAL INSPECTION SHALL BE MADE AFTER THE BUILDING IS COMPLETE, ALL PLUMBING FIXTURES ARE IN PLACE AND PROPERLY CONNECTED, AND THE STRUCTURE IS READY FOR OCCUPANCY. THE HOLDER OF THE PLUMBING SHALL BE RESPONSIBLE FOR THE SCHEDULING OF SUCH INSPECTIONS.

5. PROVIDE AND INSTALL NEW PLUMBING FIXTURES. CONNECT TO EXISTING WASTE, COLD WATER AND HOT WATER LINES AS SHOWN.





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

#### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
223 Russell Drive	Vacant	N/A	N/A	N/A	N/A
235 Russell Drive	Vacant	N/A	N/A	N/A	N/A
247 Russell Drive	Vacant	N/A	N/A	N/A	N/A
250 Nicole Drive	Modular Home	1998	1,344	820	Siding
222 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
208 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
196 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
186 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
181 Russell Drive	Vacant	N/A	N/A	N/A	N/A
193 Russell Drive	Modular Home	1997	1,984	N/A	N/A
209 Russell Drive	Modular Home	1978	1,180	296	Siding
198 Russell Drive	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1991	1,503	558	





## CITY OF ROCKWALL

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223 Russell Drive



235 Russell Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

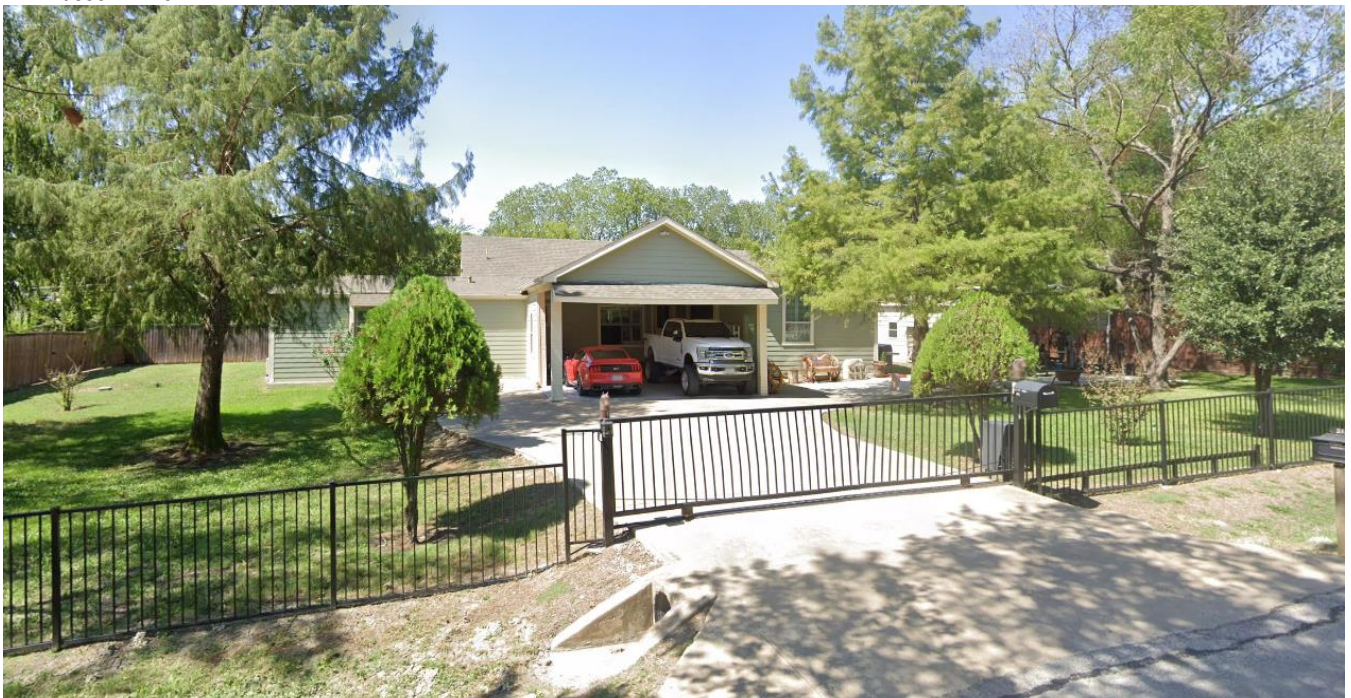
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247 Russell Drive



250 Nicole Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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222 Nicole Drive



208 Nicole Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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196 Nicole Drive



186 Nicole Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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181 Russell Drive



193 Russell Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



209 Russell Drive



198 Russell Drive



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1690-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1290 OF THE LAKE ROCKWALL ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Martha Balleza and Ana Quezada for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1690-acre parcel of land identified as Lot 1290 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 223 Russell Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [Ordinance No. 16-01] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 75 (PD-75) [Ordinance No. 16-01] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the



ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>st</sup> DAY OF MAY, 2023.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 17, 2023

2<sup>nd</sup> Reading: May 1, 2023

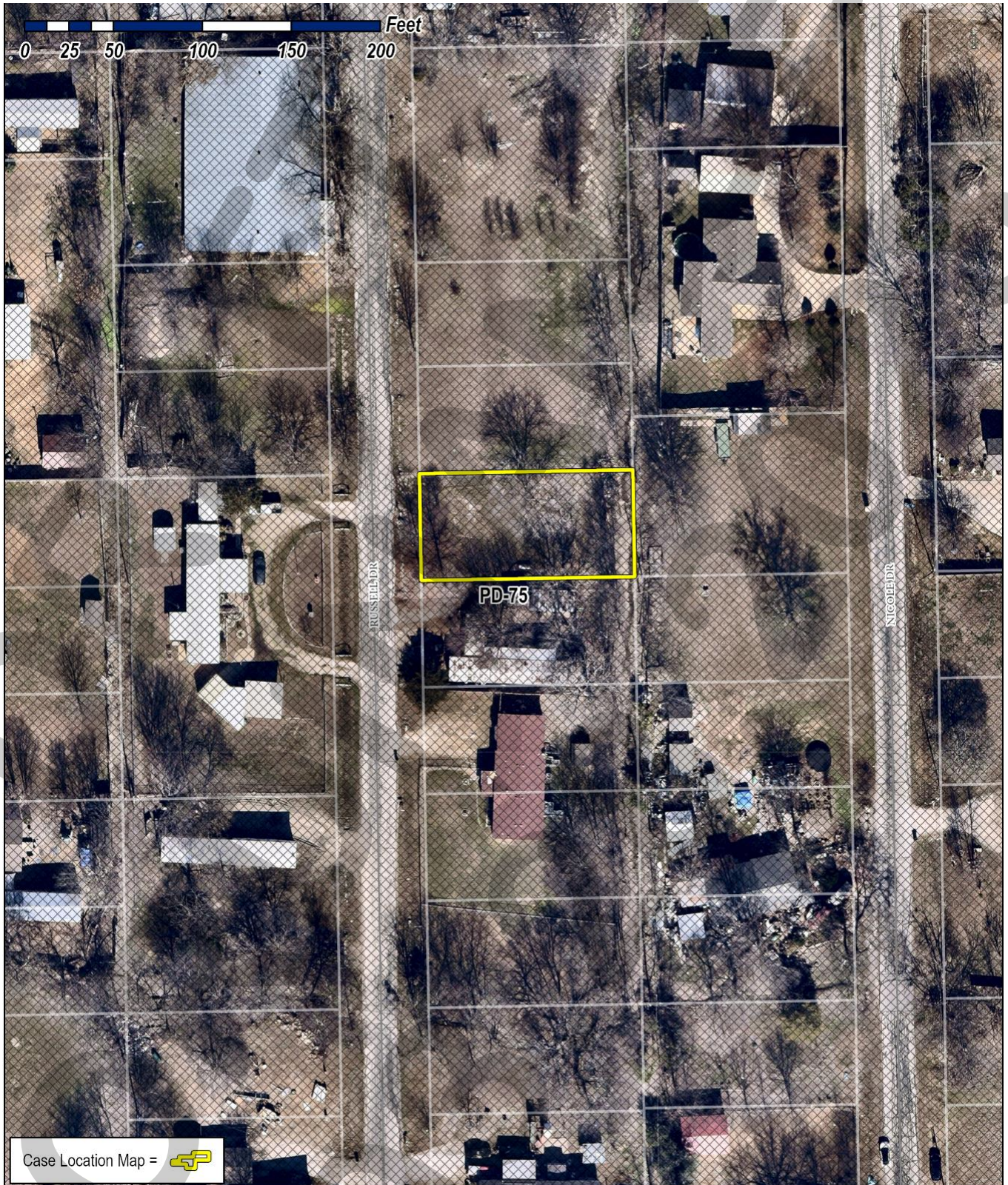


**Exhibit 'A':**

**Location Map and Residential Plot Plan**

Address: 223 Russell Drive

Legal Description: Lot 1290 of the Lake Rockwall Estates #2 Addition





The site plan for Lot 1290 shows a proposed single family home with a footprint of 22.6 units. The lot is bounded by 223 Russell Drive to the north and a proposed driveway to the south. The plan includes setbacks of 5.0, 6.0, 7.5, 14.1, 14.8, 17.5, 22.0, 22.6, 22.9, 23.6, 24.1, 24.8, 25.5, 26.0, 26.6, 27.1, 27.6, 28.1, 28.6, 29.1, 29.6, 30.1, 30.6, 31.1, 31.6, 32.1, 32.6, 33.1, 33.6, 34.1, 34.6, 35.1, 35.6, 36.1, 36.6, 37.1, 37.6, 38.1, 38.6, 39.1, 39.6, 40.1, 40.6, 41.1, 41.6, 42.1, 42.6, 43.1, 43.6, 44.1, 44.6, 45.1, 45.6, 46.1, 46.6, 47.1, 47.6, 48.1, 48.6, 49.1, 49.6, 50.1, 50.6, 51.1, 51.6, 52.1, 52.6, 53.1, 53.6, 54.1, 54.6, 55.1, 55.6, 56.1, 56.6, 57.1, 57.6, 58.1, 58.6, 59.1, 59.6, 60.1, 60.6, 61.1, 61.6, 62.1, 62.6, 63.1, 63.6, 64.1, 64.6, 65.1, 65.6, 66.1, 66.6, 67.1, 67.6, 68.1, 68.6, 69.1, 69.6, 70.1, 70.6, 71.1, 71.6, 72.1, 72.6, 73.1, 73.6, 74.1, 74.6, 75.1, 75.6, 76.1, 76.6, 77.1, 77.6, 78.1, 78.6, 79.1, 79.6, 80.1, 80.6, 81.1, 81.6, 82.1, 82.6, 83.1, 83.6, 84.1, 84.6, 85.1, 85.6, 86.1, 86.6, 87.1, 87.6, 88.1, 88.6, 89.1, 89.6, 90.1, 90.6, 91.1, 91.6, 92.1, 92.6, 93.1, 93.6, 94.1, 94.6, 95.1, 95.6, 96.1, 96.6, 97.1, 97.6, 98.1, 98.6, 99.1, 99.6, 100.1, 100.6, 101.1, 101.6, 102.1, 102.6, 103.1, 103.6, 104.1, 104.6, 105.1, 105.6, 106.1, 106.6, 107.1, 107.6, 108.1, 108.6, 109.1, 109.6, 110.1, 110.6, 111.1, 111.6, 112.1, 112.6, 113.1, 113.6, 114.1, 114.6, 115.1, 115.6, 116.1, 116.6, 117.1, 117.6, 118.1, 118.6, 119.1, 119.6, 120.1, 120.6, 121.1, 121.6, 122.1, 122.6, 123.1, 123.6, 124.1, 124.6, 125.1, 125.6, 126.1, 126.6, 127.1, 127.6, 128.1, 128.6, 129.1, 129.6, 130.1, 130.6, 131.1, 131.6, 132.1, 132.6, 133.1, 133.6, 134.1, 134.6, 135.1, 135.6, 136.1, 136.6, 137.1, 137.6, 138.1, 138.6, 139.1, 139.6, 140.1, 140.6, 141.1, 141.6, 142.1, 142.6, 143.1, 143.6, 144.1, 144.6, 145.1, 145.6, 146.1, 146.6, 147.1, 147.6, 148.1, 148.6, 149.1, 149.6, 150.1, 150.6, 151.1, 151.6, 152.1, 152.6, 153.1, 153.6, 154.1, 154.6, 155.1, 155.6, 156.1, 156.6, 157.1, 157.6, 158.1, 158.6, 159.1, 159.6, 160.1, 160.6, 161.1, 161.6, 162.1, 162.6, 163.1, 163.6, 164.1, 164.6, 165.1, 165.6, 166.1, 166.6, 167.1, 167.6, 168.1, 168.6, 169.1, 169.6, 170.1, 170.6, 171.1, 171.6, 172.1, 172.6, 173.1, 173.6, 174.1, 174.6, 175.1, 175.6, 176.1, 176.6, 177.1, 177.6, 178.1, 178.6, 179.1, 179.6, 180.1, 180.6, 181.1, 181.6, 182.1, 182.6, 183.1, 183.6, 184.1, 184.6, 185.1, 185.6, 186.1, 186.6, 187.1, 187.6, 188.1, 188.6, 189.1, 189.6, 190.1, 190.6, 191.1, 191.6, 192.1, 192.6, 193.1, 193.6, 194.1, 194.6, 195.1, 195.6, 196.1, 196.6, 197.1, 197.6, 198.1, 198.6, 199.1, 199.6, 200.1, 200.6, 201.1, 201.6, 202.1, 202.6, 203.1, 203.6, 204.1, 204.6, 205.1, 205.6, 206.1, 206.6, 207.1, 207.6, 208.1, 208.6, 209.1, 209.6, 210.1, 210.6, 211.1, 211.6, 212.1, 212.6, 213.1, 213.6, 214.1, 214.6, 215.1, 215.6, 216.1, 216.6, 217.1, 217.6, 218.1, 218.6, 219.1, 219.6, 220.1, 220.6, 221.1, 221.6, 222.1, 222.6, 223.1, 223.6, 224.1, 224.6, 225.1, 225.6, 226.1, 226.6, 227.1, 227.6, 228.1, 228.6, 229.1, 229.6, 230.1, 230.6, 231.1, 231.6, 232.1, 232.6, 233.1, 233.6, 234.1, 234.6, 235.1, 235.6, 236.1, 236.6, 237.1, 237.6, 238.1, 238.6, 239.1, 239.6, 240.1, 240.6, 241.1, 241.6, 242.1, 242.6, 243.1, 243.6, 244.1, 244.6, 245.1, 245.6, 246.1, 246.6, 247.1, 247.6, 248.1, 248.6, 249.1, 249.6, 250.1, 250.6, 251.1, 251.6, 252.1, 252.6, 253.1, 253.6, 254.1, 254.6, 255.1, 255.6, 256.1, 256.6, 257.1, 257.6, 258.1, 258.6, 259.1, 259.6, 260.1, 260.6, 261.1, 261.6, 262.1, 262.6, 263.1, 263.6, 264.1, 264.6, 265.1, 265.6, 266.1, 266.6, 267.1, 267.6, 268.1, 268.6, 269.1, 269.6, 270.1, 270.6, 271.1, 271.6, 272.1, 272.6, 273.1, 273.6, 274.1, 274.6, 275.1, 275.6, 276.1, 276.6, 277.1, 277.6, 278.1, 278.6, 279.1, 279.6, 280.1, 280.6, 281.1, 281.6, 282.1, 282.6, 283.1, 283.6, 284.1, 284.6, 285.1, 285.6, 286.1, 286.6, 287.1, 287.6, 288.1, 288.6, 289.1, 289.6, 290.1, 290.6, 291.1, 291.6, 292.1, 292.6, 293.1, 293.6, 294.1, 294.6, 295.1, 295.6, 296.1, 296.6, 297.1, 297.6, 298.1, 298.6, 299.1, 299.6, 300.1, 300.6, 301.1, 301.6, 302.1, 302.6, 303.1, 303.6, 304.1, 304.6, 305.1, 305.6, 306.1, 306.6, 307.1, 307.6, 308.1, 308.6, 309.1, 309.6, 310.1, 310.6, 311.1, 311.6, 312.1, 312.6, 313.1, 313.6, 314.1, 314.6, 315.1, 315.6, 316.1, 316.6, 317.1, 317.6,



**1 Front Elevation**  
SCALE: 3/16" = 1'-0"

**2 Back Elevation**  
SCALE: 3/16" = 1'-0"

**1 Left Elevation**  
SCALE: 3/16" = 1'-0"

**2 Right Elevation**  
SCALE: 3/16" = 1'-0"

Architectural drawings showing the Left Elevation (1) and Right Elevation (2) of a building. The drawings include elevation markers, material callouts, and a scale of 3/16" = 1'-0".

**Left Elevation (1):**

- Roof: +22'-0 9/16"
- 10' - T.O.P.: +10'-0"
- 9' - T.O.P.: +9'-0"
- Level 1: +0'-0"
- Ground: -1'-0"
- Materials: BRICK, BOARD & BATTEN SIDING, HARD SIDING, A.C. CONDENSER, ELECTRIC METER (PEND. LOCATION)
- Roof Pitch: 12" / 12"
- Ground Slope: 12" / 12"

**Right Elevation (2):**

- Roof: +22'-0 9/16"
- 10' - T.O.P.: +10'-0"
- 9' - T.O.P.: +9'-0"
- Level 1: +0'-0"
- Ground: -1'-0"
- Materials: BRICK, HARD SIDING
- Roof Pitch: 12" / 12"
- Ground Slope: 12" / 12"



## CITY OF ROCKWALL

### PLANNING AND ZONING COMMISSION CASE MEMO

#### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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**TO:** Planning and Zoning Commission

**DATE:** April 11, 2023

**APPLICANT:** Martha Balleza and Ana Quezada

**CASE NUMBER:** Z2023-015; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 223 Russell Drive*

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#### **SUMMARY**

Hold a public hearing to discuss and consider a request for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home a 0.1650-acre parcel of land identified as Lot 1290 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 223 Russell Drive, and take any action necessary.

#### **BACKGROUND**

The subject property was originally platted as Lot 1290 of the Rockwall Lake Estates #2 Addition on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. The subject property is currently vacant.

#### **PURPOSE**

The applicants -- *Martha Balleza and Ana Quezada* -- are requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

#### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 223 Russell Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several vacant lots that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Evans Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are two (2) lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property Nicole Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that are several residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.



West: Directly west of the subject property are several residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Wayne Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

## **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates #2 Addition in the Lake Rockwall Estates Subdivision. This subdivision has been in existence since prior to 1968, consists of more than five (5) lots, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) and designated for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Russell Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Russell Drive in a Close Proximity to the Subject Property	Proposed House
Building Height	One (1) story	One (1) Story
Building Orientation	Orientation differs.	The front elevation of the home will face onto Russell Drive.
Year Built	1978-1998	N/A
Building SF on Property	1,180 SF – 1,984 SF	2,817 SF
Building Architecture	Modular Homes and Single-Family homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	10-Feet
Building Materials	Modular Panels, Metal, Brick	Brick, Board & Batten
Paint and Color	White, Gray, Tan, & Green	N/A
Roofs	Composite Shingles & Metal	Composite Shingles
Driveways/Garages	Carports and Single-Family Homes without Garages	Front Entry Garage

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant’s proposed garage is oriented in front of the front façade of the proposed single-family home by six (6) feet, three (3) inches. Staff should point out that this is not atypical for this subdivision. A waiver to the garage orientation is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the City Council will be waiving the garage orientation requirement. With this being said, staff should point out -- *that with the exception of the garage orientation* -- the proposed single-family home

meets all of the density and dimensional requirements stipulated by Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Russell Drive and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On March 21, 2023, staff mailed 147 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) notification in favor of the request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

223 Russell Dr.

SUBDIVISION

Rockwall Lake Est #2

LOT

1290

BLOCK

GENERAL LOCATION

" "

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

vacant lot

CURRENT USE

vacant lot

PROPOSED ZONING

residential home

PROPOSED USE

residential

ACREAGE

.25

LOTS [CURRENT]

.25

LOTS [PROPOSED]

.25

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Martha Balleza / Ana Quezada

☒ APPLICANT

Martha Balleza / Ana Quezada

CONTACT PERSON

" "

CONTACT PERSON

" "

ADDRESS

4408 Aiken Trl.

ADDRESS

4408 Aiken Trl.

CITY, STATE & ZIP

Sachse, TX 75048

CITY, STATE & ZIP

Sachse, TX 75048

PHONE

214-984-7232

PHONE

214-984-7232

E-MAIL

marthaballeza@gmail.com

E-MAIL

ana9828@yahoo.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Martha Balleza Ana Quezada STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

[OWNER] THE UNDERSIGNED, WHO

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS DAY OF \_\_\_\_\_, 20 \_\_\_\_ BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL IS AUTHORIZED TO DISSEMINATE ANY INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION FROM THE PUBLIC, STATE OF TEXAS

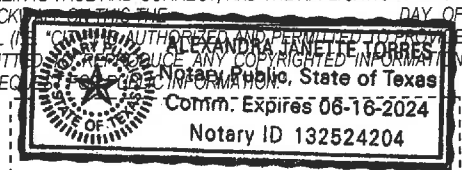
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13<sup>th</sup> DAY OF March, 20 23

OWNER'S SIGNATURE

Martha Balleza / Ana Quezada

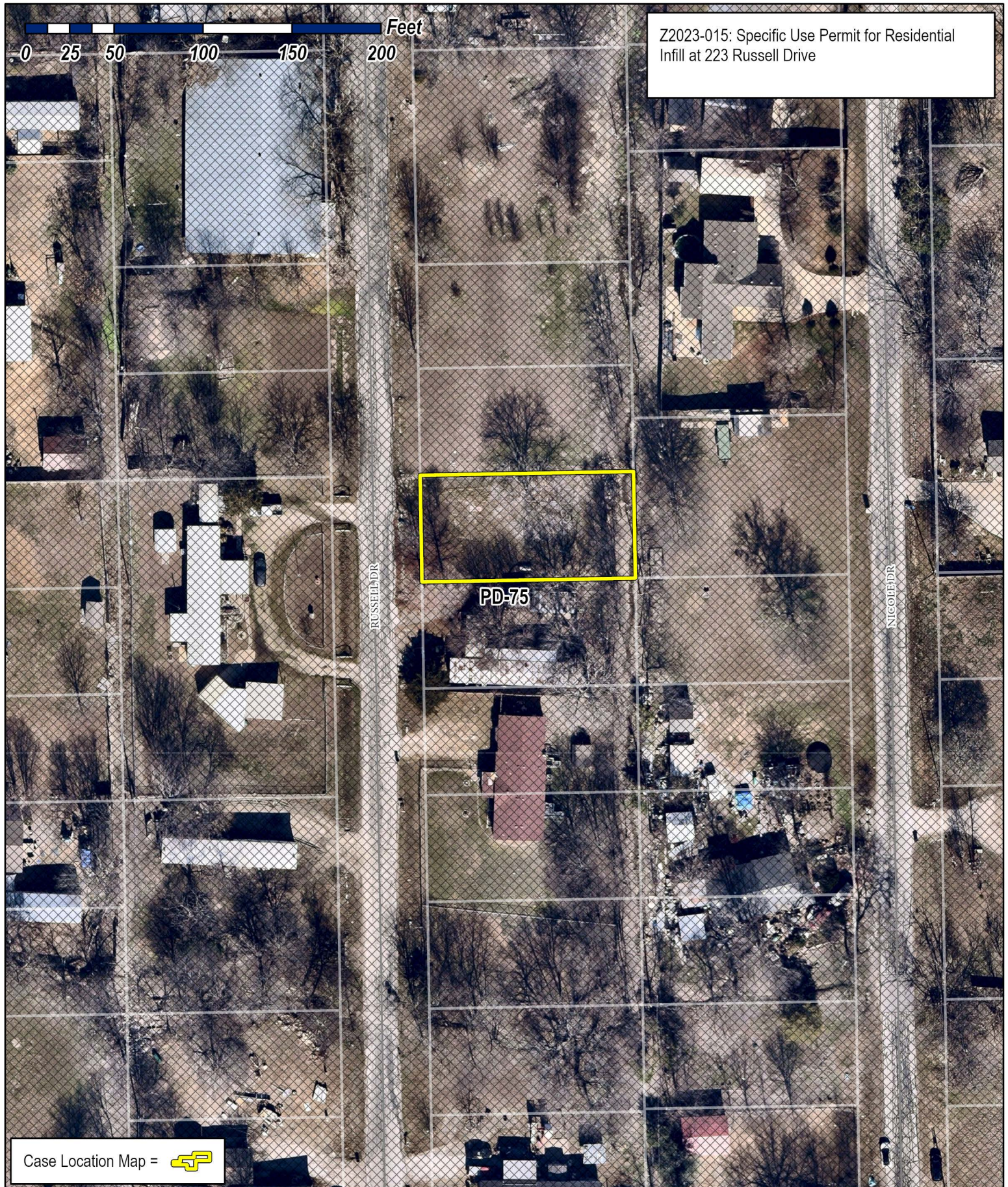
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Alexandra J. Torres



MY COMMISSION EXPIRES 06/16/2024





Z2023-015: Specific Use Permit for Residential Infill at 223 Russell Drive

PD-75

RUSSELL DR

NICOLE DR

Case Location Map = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



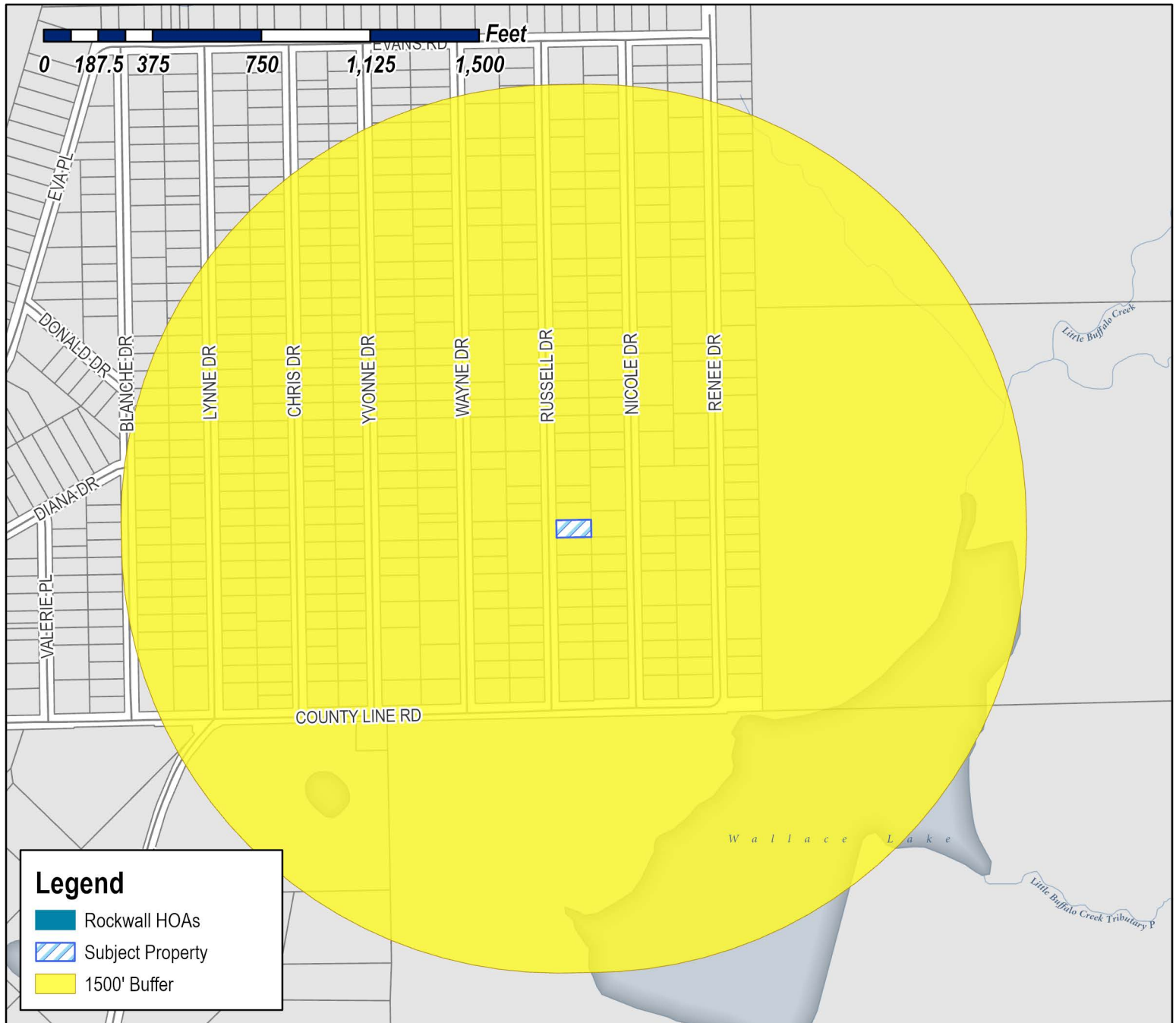




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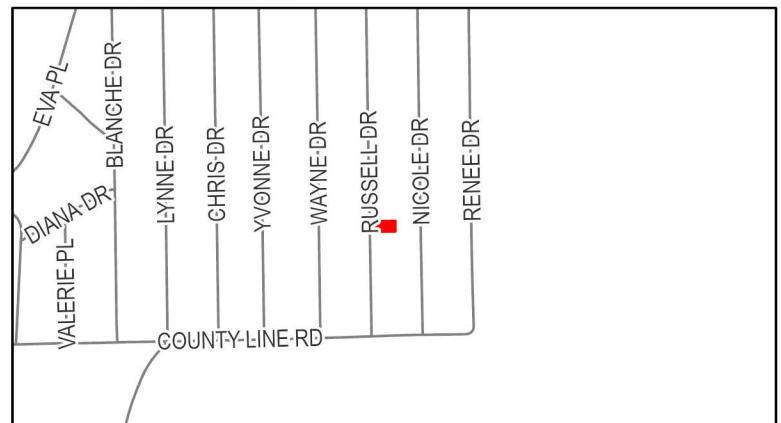
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**Case Number:** Z2023-015  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 223 Russell Drive

**Date Saved:** 3/14/2023

For Questions on this Case Call (972) 771-7745

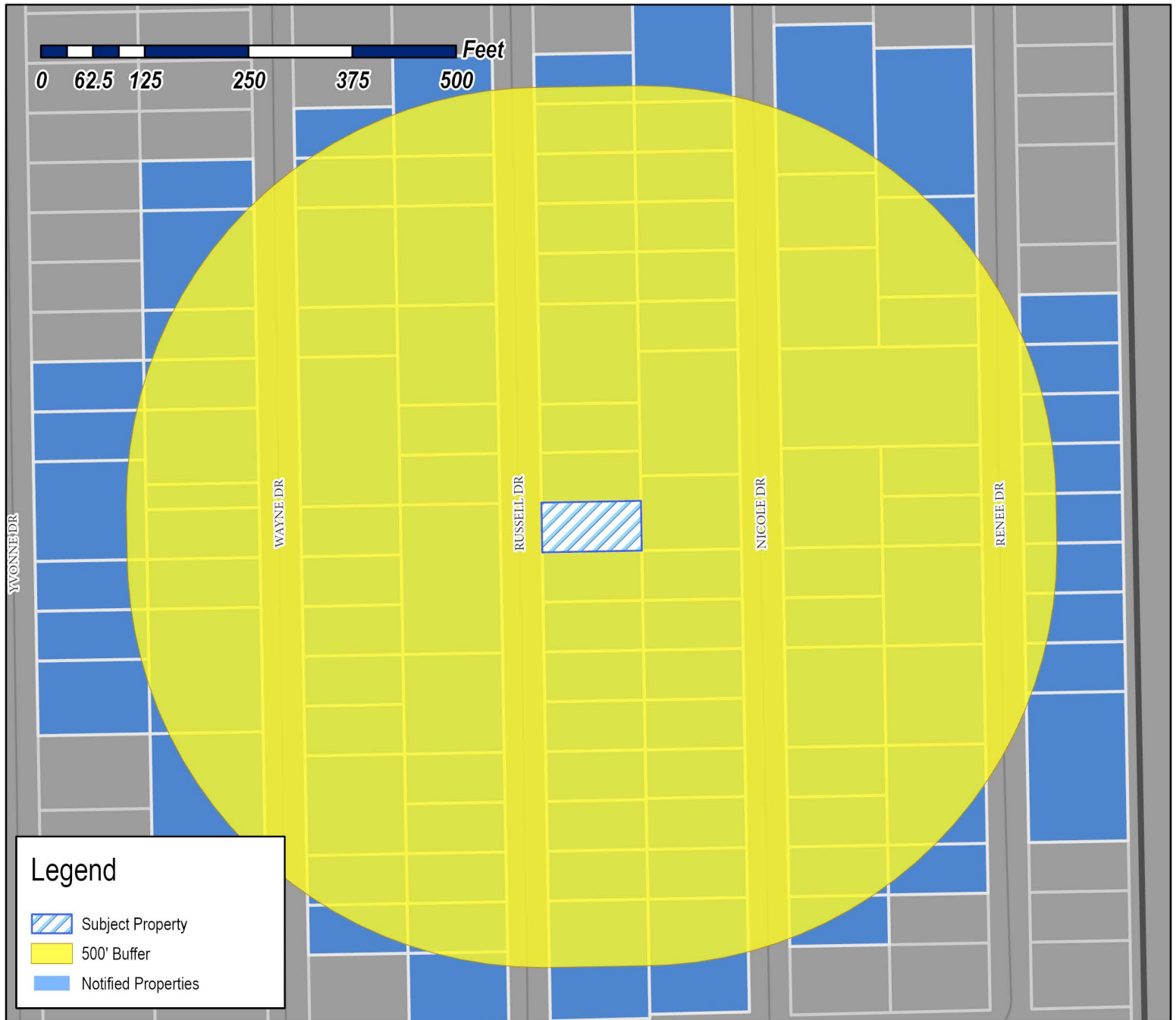




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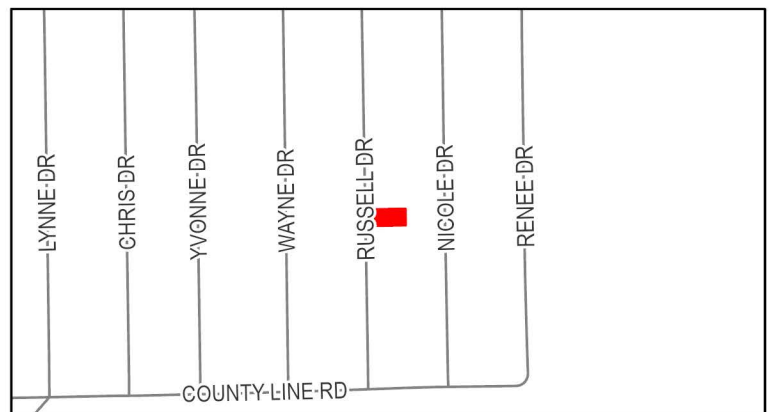
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**Case Address:** 223 Russell Drive

**Date Saved:** 3/14/2023

For Questions on this Case Call: (972) 771-7746





SHEPHERD PLACE HOMES INC  
10527 CHURCH RD # 201  
DALLAS, TX 75238

ROCKWALL HABITAT FOR HUMANITY  
1101 RIDGE RD  
ROCKWALL, TX 75087

DIAZ CARLOS O &  
YOVANA M CHAVEZ  
115 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
116 NICOLE  
ROCKWALL, TX 75032

RESIDENT  
116 RUSSELL DR  
ROCKWALL, TX 75032

OLIVARES JAIME  
1209 QUAIL DR  
GARLAND, TX 75040

RAMIREZ ZACARIAS  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

SIERRA ZACARIAS RAMIREZ  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

RESIDENT  
125 WAYNE DR  
ROCKWALL, TX 75032

VASQUEZ FRANCISCO  
125 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
128 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
132 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
133 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
137 NICOLE DR  
ROCKWALL, TX 75032

IBARRA MATEO CASTRO  
140 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
142 RUSSELL DR  
ROCKWALL, TX 75032

CONTRERAS JOSE A  
142 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
143 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
143 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
149 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
152 NICOLE DR  
ROCKWALL, TX 75032

MARQUEZ FELIX C  
154 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
155 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
157 WAYNE DR  
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO  
158 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
159 NICOLE DR  
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA  
162 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
164 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
167 RUSSELL DR  
ROCKWALL, TX 75032

VASQUEZ JESUS  
167 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
168 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
169 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
176 NICOLE DR  
ROCKWALL, TX 75032

MEJIA JULIO & MARIA  
176 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
181 RUSSELL DR  
ROCKWALL, TX 75032

MEDRANO CESAR AND ANDREA MARTINEZ  
181 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
182 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ FELICITAS  
183 NICOLE DR  
ROCKWALL, TX 75032

YANEZ FERNANDO AND  
JUAN A YANEZ  
183 YVONNE  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

JON & JOY CO., LLCN  
187 TEJAS TRAIL  
ROYSE CITY, TX 75189

RESIDENT  
191 RENEE DR  
ROCKWALL, TX 75032

AVILA LUZ MARIA  
1924 DEVONSHIRE  
GARLAND, TX 75041

FAST INVESTMENTS LLC  
193 RUSSELL DR  
ROCKWALL, TX 75032

MONTOYA YVONNE  
193 RUSSELL DRIVE  
ROCKWALL, TX 75032

CARMONA JOSE  
194 RENEE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
195 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
195 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
196 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
198 RUSSELL DR  
ROCKWALL, TX 75032

RAMIREZ RUBIN & MARTHA  
200 CHAMBERLAIN DR  
FATE, TX 75189

RUIZ SONIA  
2009 WORCESTER LN  
GARLAND, TX 75040

RUIZ SONIA  
2009 WORCESTER LN  
GARLAND, TX 75040

LEDEZMA J SOCORRO AGUILAR  
201 RENEE DRIVE  
ROCKWALL, TX 75032

LEDEZMA J SOCORRO AGUILAR  
201 RENEE DRIVE  
ROCKWALL, TX 75032

YANEZ JUAN  
201 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
204 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
207 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
208 NICOLE DR  
ROCKWALL, TX 75032

PROCK CHARLES A AND EVELYN  
209 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
211 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
211 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
215 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
216 WAYNE DR  
ROCKWALL, TX 75032

PATINO SYLVIA AND  
ZEFERINO BUSTAMANTE  
2168 DOVE DR  
QUINLAN, TX 75474

RENO PATRICIA JEAN  
218 RUSSELL DRIVE  
ROCKWALL, TX 75032

RESIDENT  
221 RENEE DR  
ROCKWALL, TX 75032

CARMONA JOEL  
221 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
222 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
223 RUSSELL DR  
ROCKWALL, TX 75032

GURRUSQUIETA CELIA  
225 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
226 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
227 WAYNE DR  
ROCKWALL, TX 75032

KENDALL LEAH T  
227 YVONNE DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
233 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
235 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
236 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
238 RUSSELL DR  
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN  
241 TROUT ST  
ROCKWALL, TX 75032

RESIDENT  
245 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
247 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
248 RUSSELL DR  
ROCKWALL, TX 75032

SANCHEZ PABLO  
248 NICOLE DR  
ROCKWALL, TX 75032

SMITH ROY  
248 WAYNE DR  
ROCKWALL, TX 75032

LINDOP N A JR  
248 WAYNE DR  
ROCKWALL, TX 75032



GARCIA ERIK URBINA AND ISABEL GONZALEZ  
249 YVONNE  
ROCKWALL, TX 75032

RESIDENT  
250 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
250 RENEE DR  
ROCKWALL, TX 75032

NGO HA THAI  
2505 WESTBANK TRAIL  
GARLAND, TX 75042

NGO LINH T  
2505 WESTBANK TRAIL  
GARLAND, TX 75042

CERVANTES LUIS & ELSA  
251 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
259 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
262 RUSSELL DR  
ROCKWALL, TX 75032

CRUZ DEBRA J  
262 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
264 WAYNE DR  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L  
265 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
269 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
274 NICOLE DR  
ROCKWALL, TX 75032

LINDOP JOYCE ANN  
274 WAYNE DR  
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA  
275 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
283 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
285 RUSSELL DR  
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS  
288 NICOLE DRIVE  
ROCKWALL, TX 75032

RIVERA DORIS MABEL  
288 RENEE DR  
ROCKWALL, TX 75032

SOSA LORENA  
293 NICOLE DR  
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE  
296 RUSSELL DR  
ROCKWALL, TX 75032

GARCIA RICARDO  
298 WAYNE DR  
ROCKWALL, TX 75032

GUERRERO JUAN  
299 RUSSELL DR  
ROCKWALL, TX 75032

GUERRERO JUAN  
299 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
302 NICOLE DR  
ROCKWALL, TX 75032

MACIEL JENNIFER E  
303 WAYNE DR  
ROCKWALL, TX 75032

ARCINIEGA D ODIN A  
310 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
311 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
312 NICOLE DR  
ROCKWALL, TX 75032

ESPARZA MARCO  
312 RENEE  
ROCKWALL, TX 75032

RESIDENT  
313 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
314 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
321 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
321 WAYNE DR  
ROCKWALL, TX 75032

BENITES ROSA  
322 NICOLE DR  
ROCKWALL, TX 75032

RODARTE PASCUAL AND SARA I  
322 RUSSELL DR  
ROCKWALL, TX 75032

BRAGA GUILHERME CREDIDIO & YASMINI  
RAMOS IZIDORO  
327 NICOLE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
335 RUSSELL DR  
ROCKWALL, TX 75032

ESPARZA ABEL AND MONICA CARMONA  
336 NICOLE DR  
ROCKWALL, TX 75032

MOLINA JAIME  
340 YVONNE DR  
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA  
352 WAYNE DR  
ROCKWALL, TX 75032

CARRENZA ALEJANDRO AND MARIA  
GUADALUPE  
382 PERCH RD  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SALAS MIGUEL ANGEL LEDEZMA AND  
YAJAIRA GUADALUPE GARCIA FERNANDEZ  
416 BASS RD  
ROCKWALL, TX 75032

CLEM MILFORD  
433 THISTLE DR  
GARLAND, TX 75043

GEMINI VL LLC &  
ROCKWALL LAKE PROP LLC  
5713 SECREST CT  
GOLDEN, CO 80403

GALICIA VANESSA  
5801 LAKE HUBBARD PKWY APT 103  
GARLAND, TX 75043

ACUNA NINFA  
703 T L TOWNSEND DR  
ROCKWALL, TX 75087

ESTRADA NOHEMA  
705 LAKESIDE DR  
ROCKWALL, TX 75032

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
787 HAIL DR  
ROCKWALL, TX 75032

JUNFA USA, LLC  
910 MELISSA LN  
GARLAND, TX 75040

EMZ REAL ESTATE LLC  
9110 TAMPAS LANE  
DALLAS, TX 75227

M6 HOME LLC  
SEWDAT PERSAUD  
920 YOSEMITE TRAIL  
MESQUITE, TX 75149

HERNANDEZ FIDEL ESPINO  
9233 WHISKERS RD  
QUINLAN, TX 75474

BARRON GILDARDO  
P.O. BOX 2044  
ROCKWALL, TX 75087

GLEASON DIANE  
PO BOX 670041  
DALLAS, TX 75367

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-015: SUP for Residential Infill at 223 Russell Drive**

*Hold a public hearing to discuss and consider a request by Martha Balleza and Ana Quezada for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1290 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 223 Russell Drive, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM — . . . . .

**Case No. Z2023-015: SUP for Residential Infill at 223 Russell Drive**

**Please place a check mark on the appropriate line below:**

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning

USE THIS QR CODE  
TO GO DIRECTLY  
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

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Please place a check mark on the appropriate line below:

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☐ I am opposed to the request for the reasons listed below.

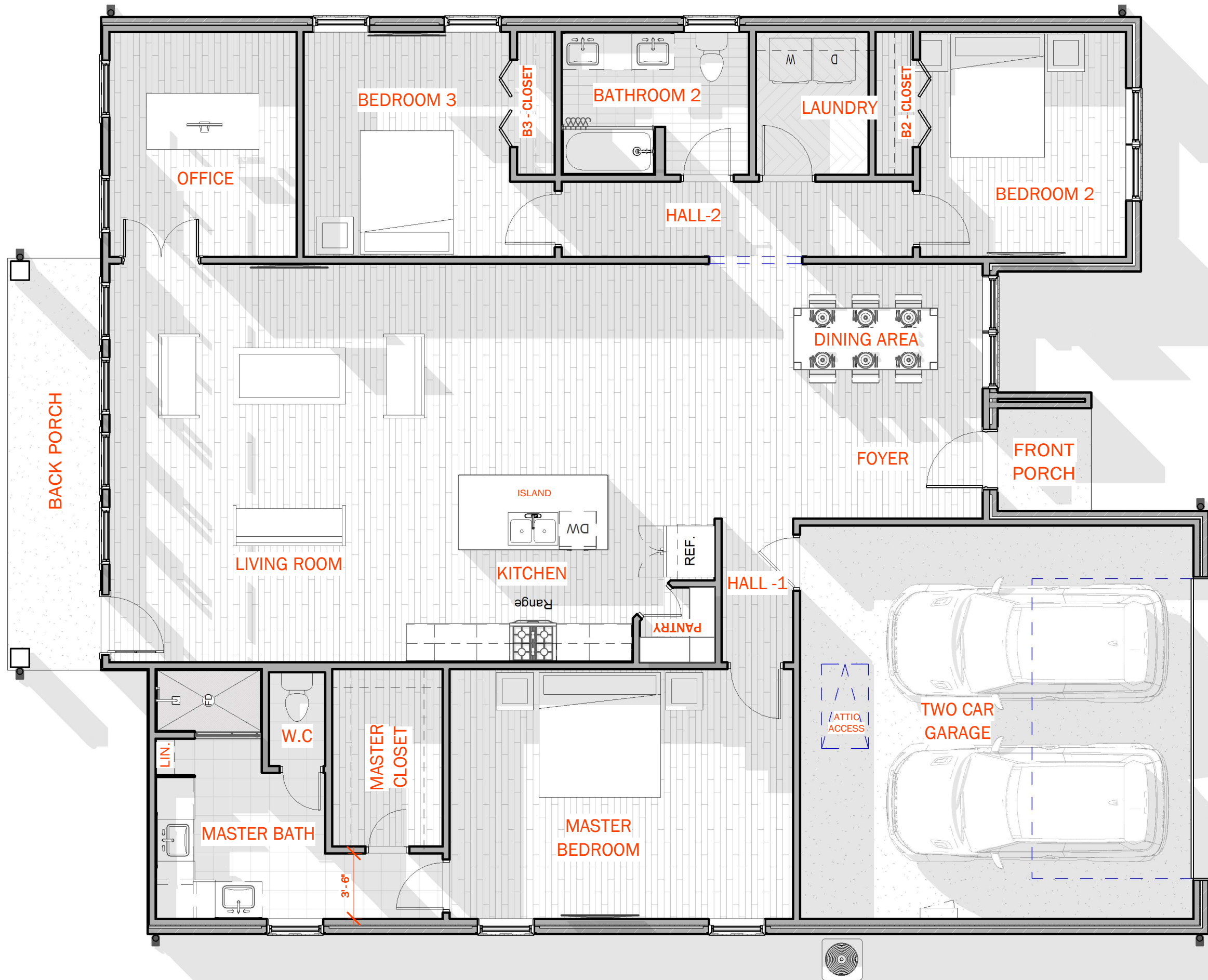
**SHEPHERD PLACE HOMES, INC.**  
DBA ROBBIE HALE HOMES  
972-475-1100  
10527 CHURCH RD #201  
DALLAS, TX 75238-2224

Name:

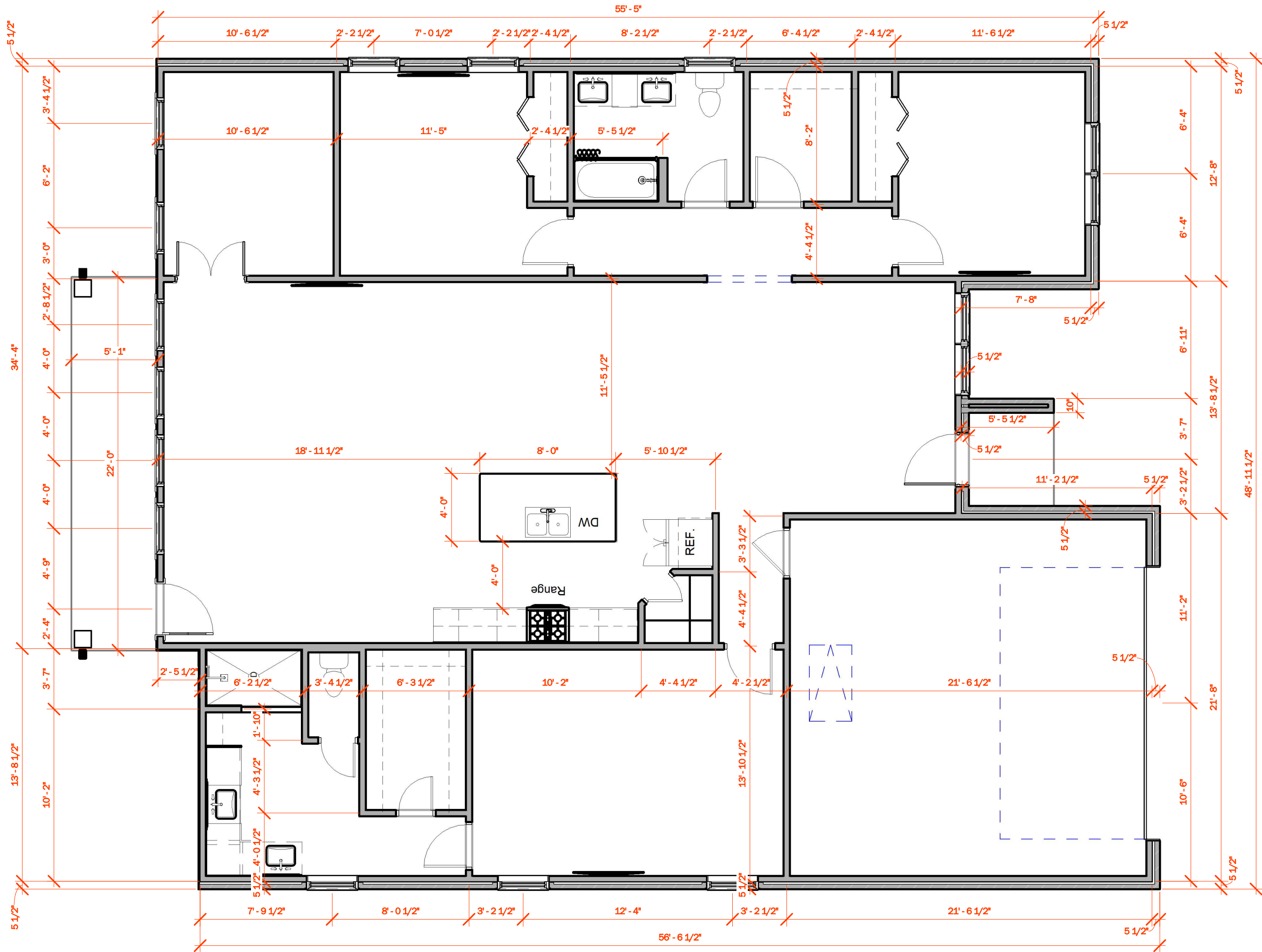
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



1 Level 1  
SCALE: 3/16" = 1'-0"



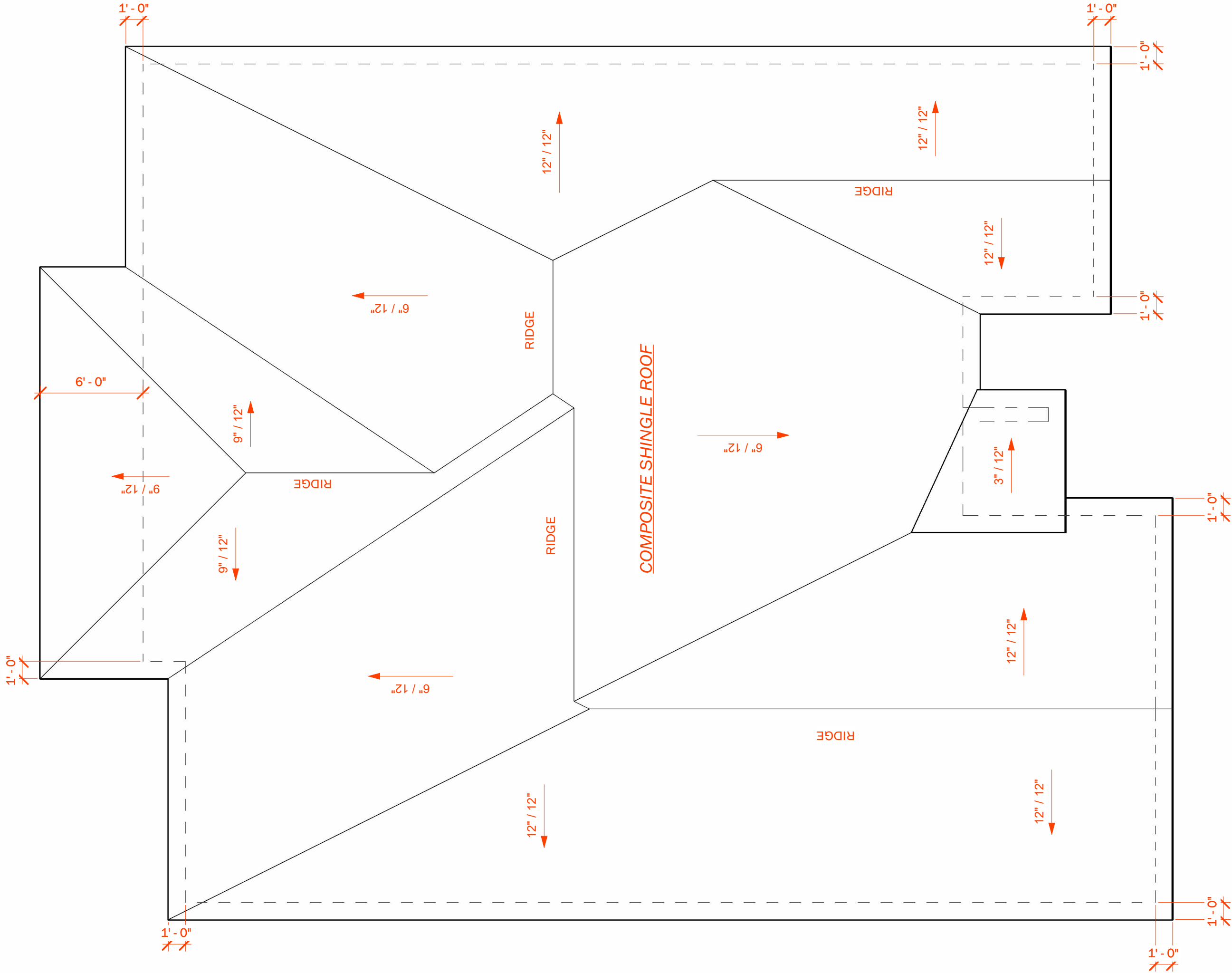
Level 1 Dimensions

1

SCALE: 3/16" = 1'-0"

Level 1  
Dimensions  
A101.2





223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032

Project No. CSC - 10348

03-31-2023

Revisions

Notes

NOT FOR CONSTRUCTION

CHRISTIAN SERRANO  
DESIGN GROUP

(469)383-6084  
WWW.CHRISTIANSERRANOCONSTRUCTION.COM



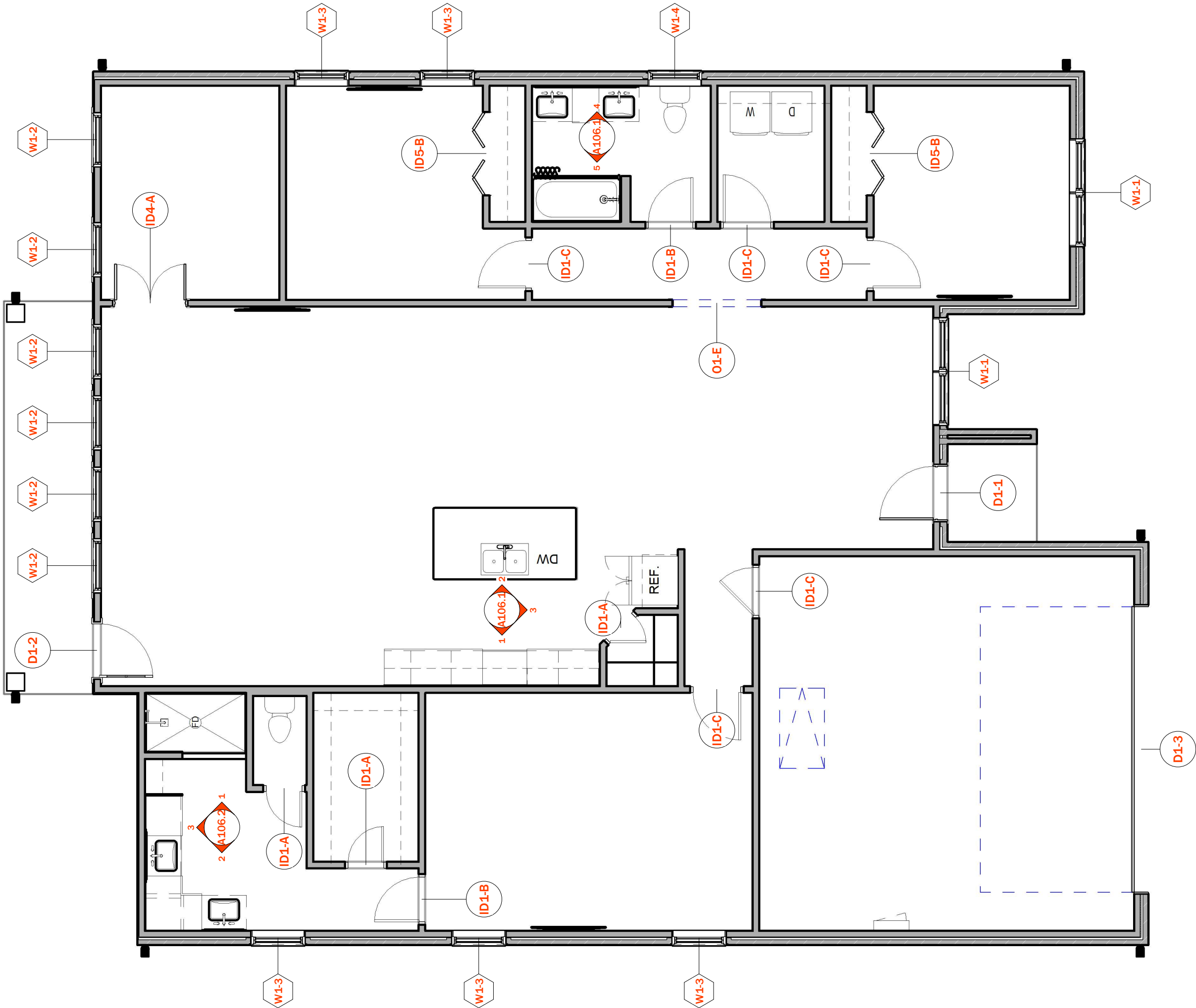
Scale 3/16" = 1'-0"

Roof Plan

A102

Drawn By KS

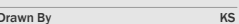


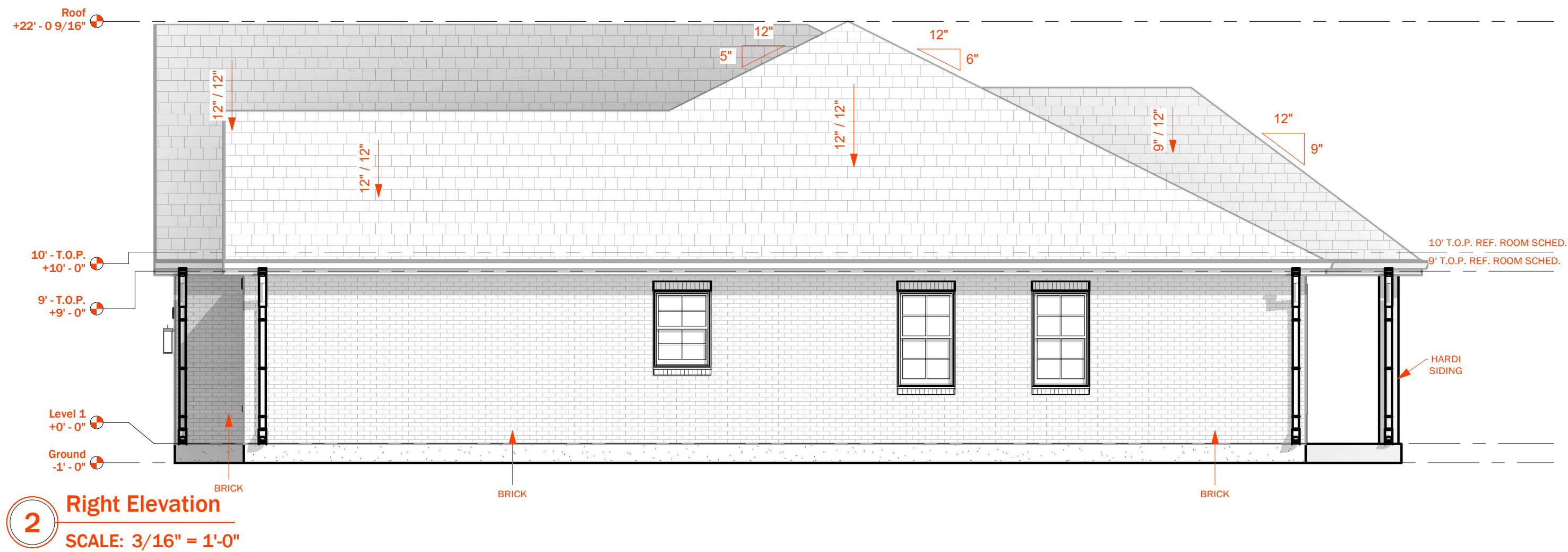
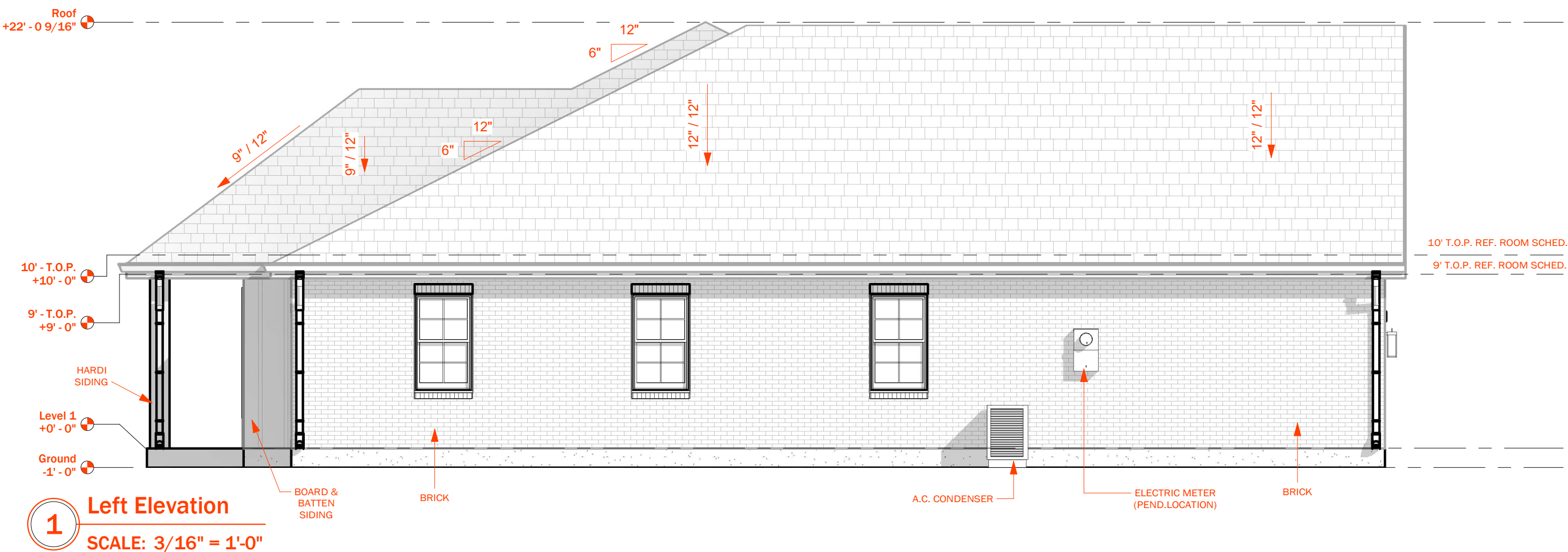


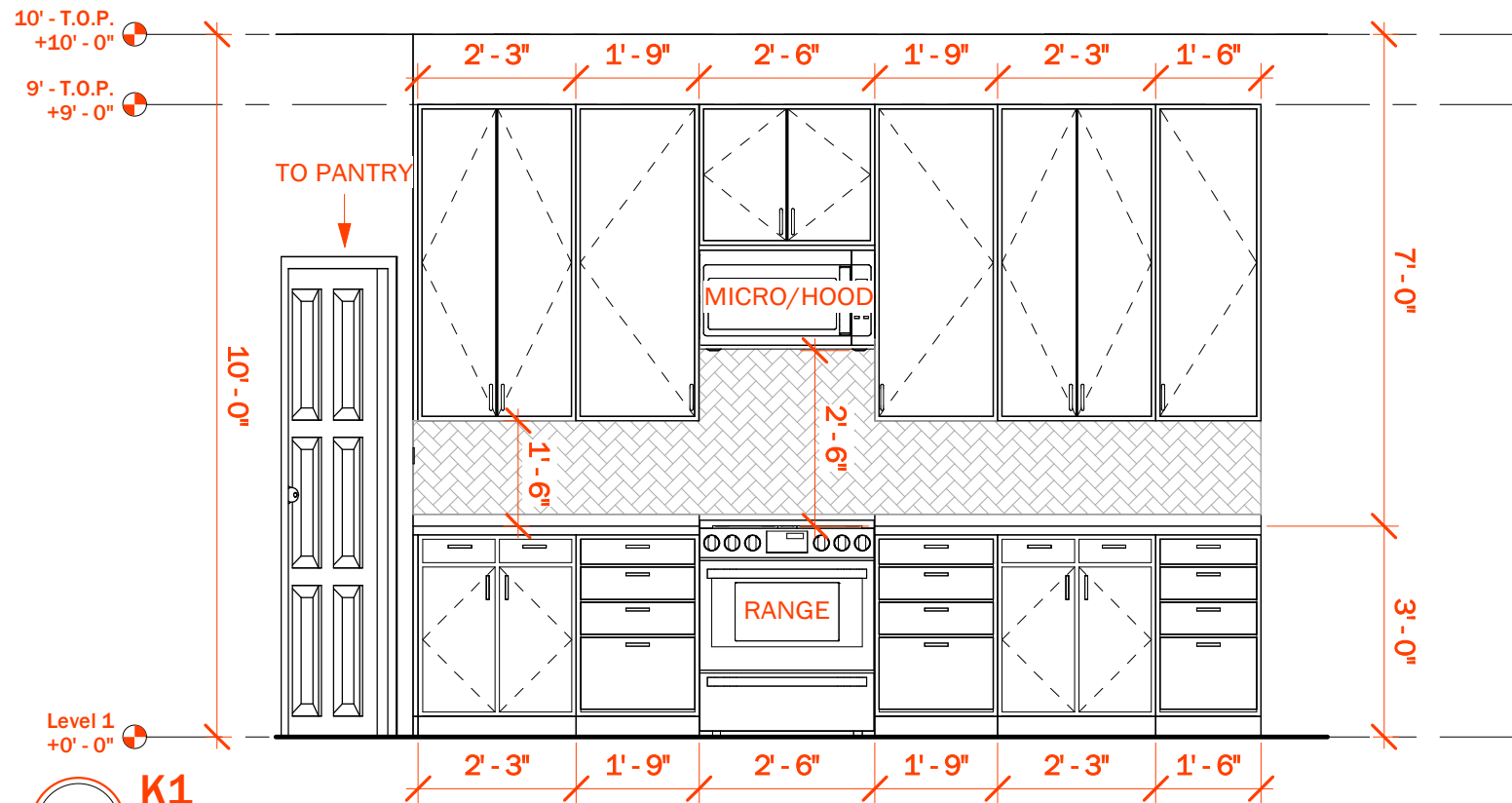
Level 1 Callouts & Tags

SCALE: 3/16" = 1'-0"

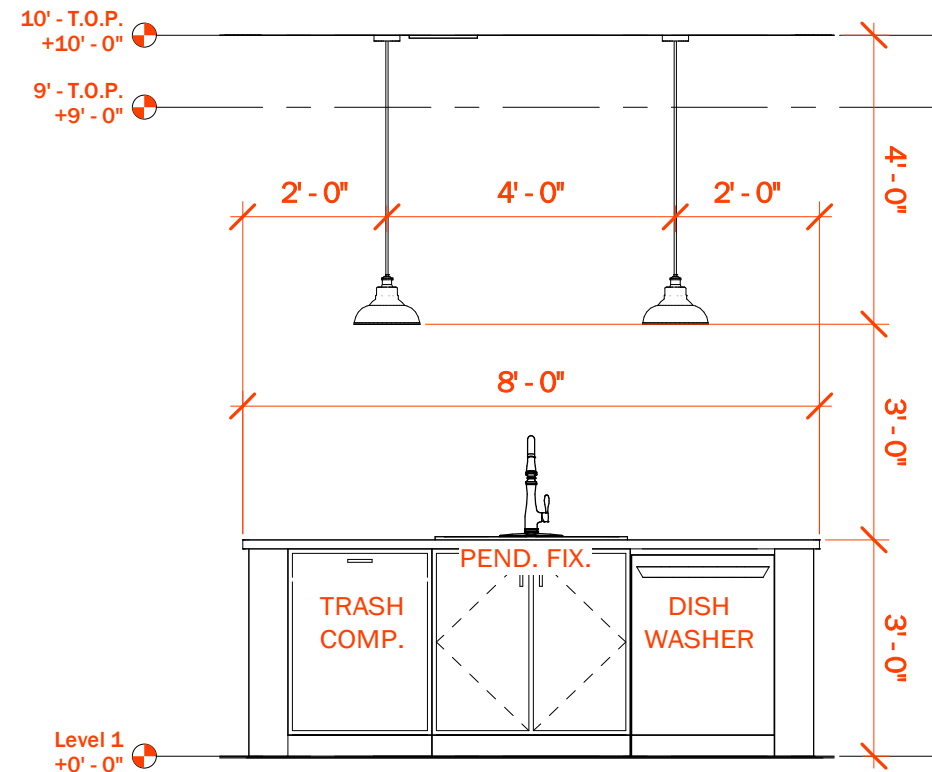




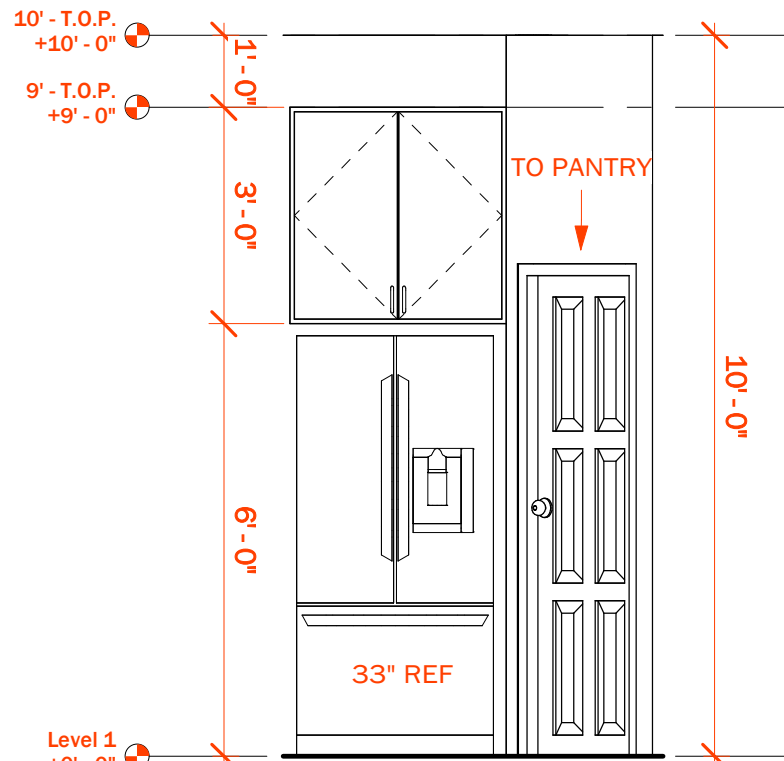




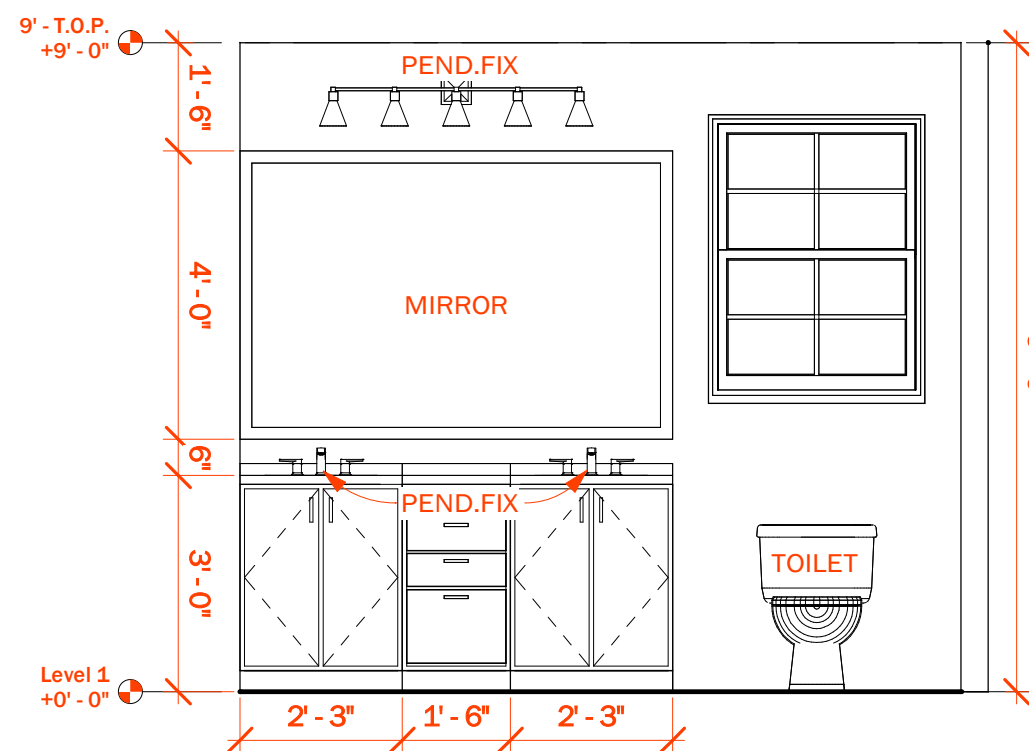
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SCALE: 3/8" = 1'-0"



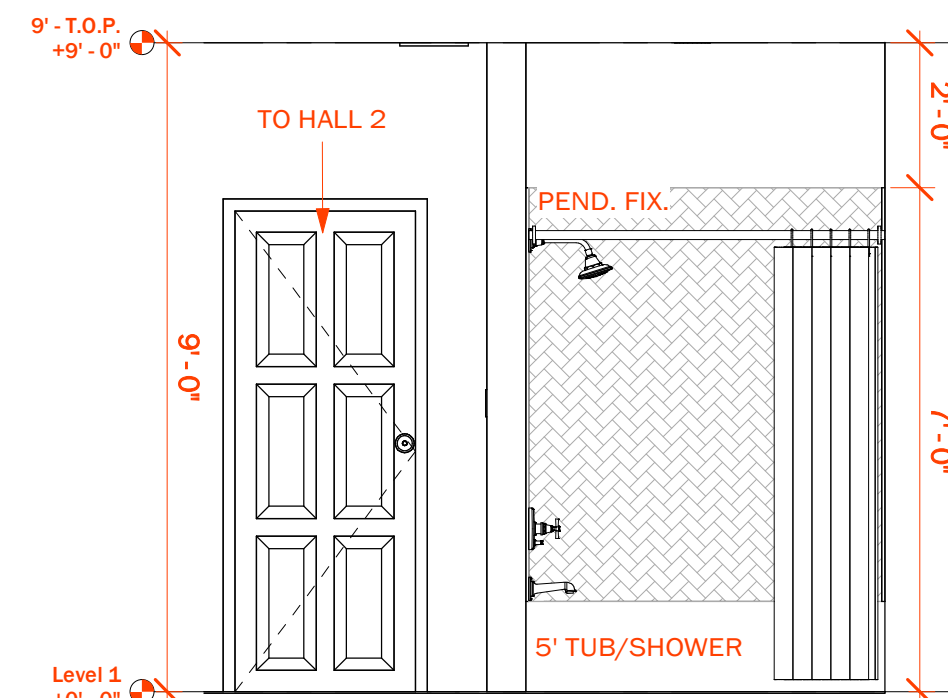
**2** K2  
SCALE: 3/8" = 1'-0"



**3** K3  
SCALE: 3/8" = 1'-0"

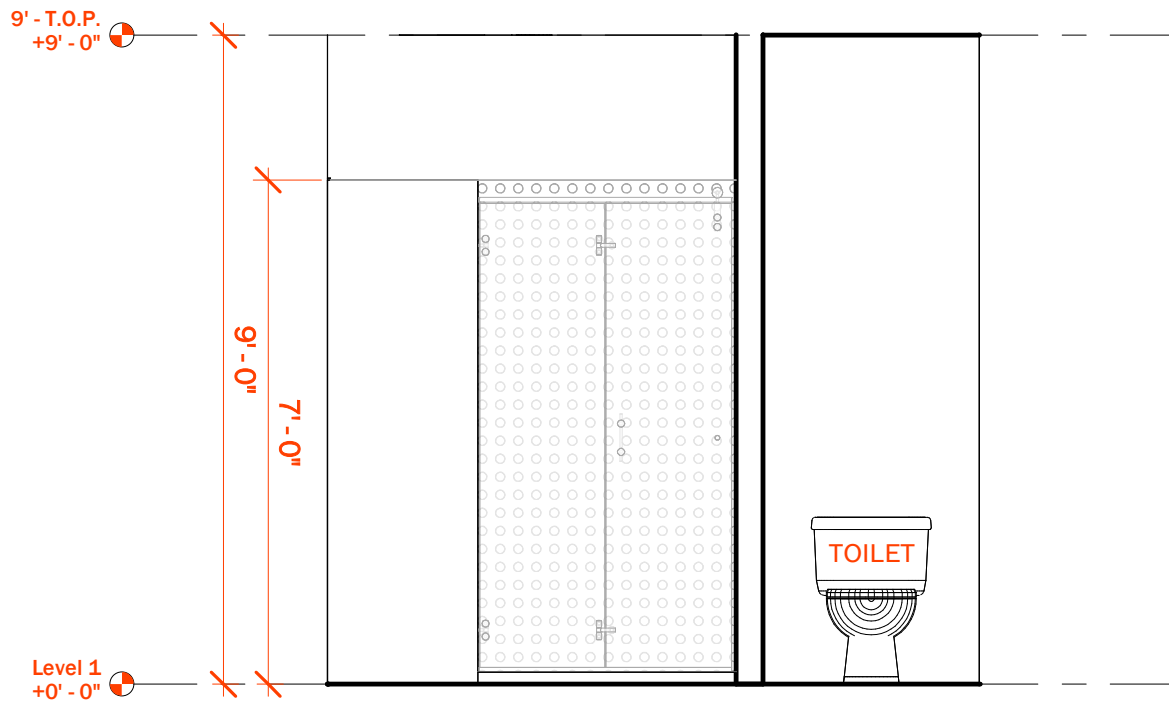


**4** B2-1  
SCALE: 3/8" = 1'-0"

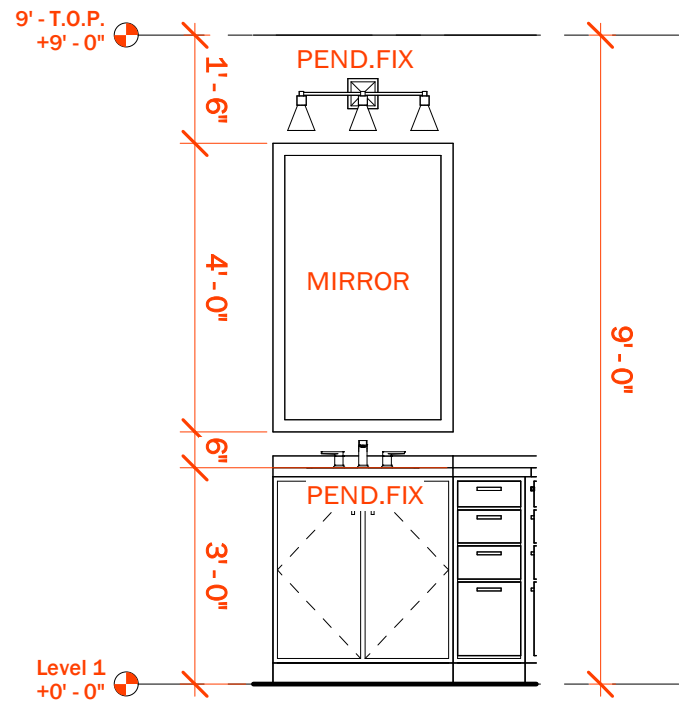


**5** B2-2  
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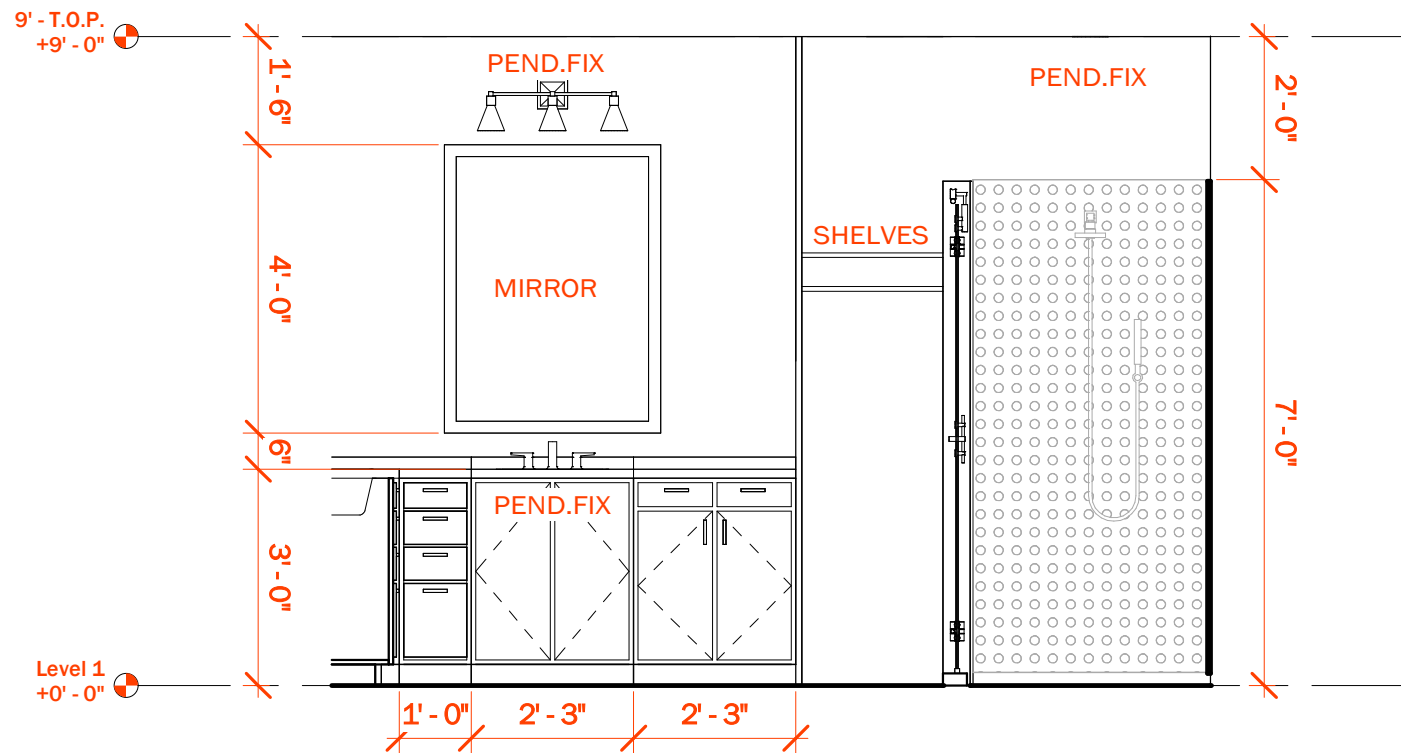




**1** MB 3  
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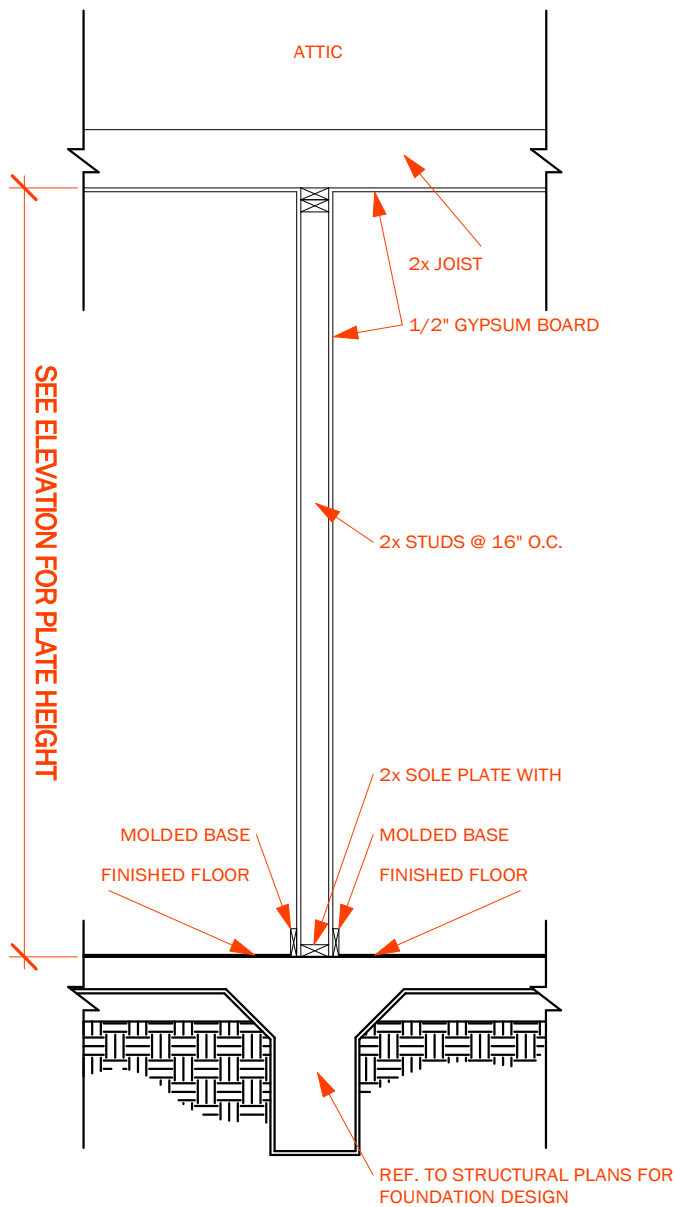
**2** MB 1  
SCALE: 3/8" = 1'-0"



**3** MB 2  
SCALE: 3/8" = 1'-0"

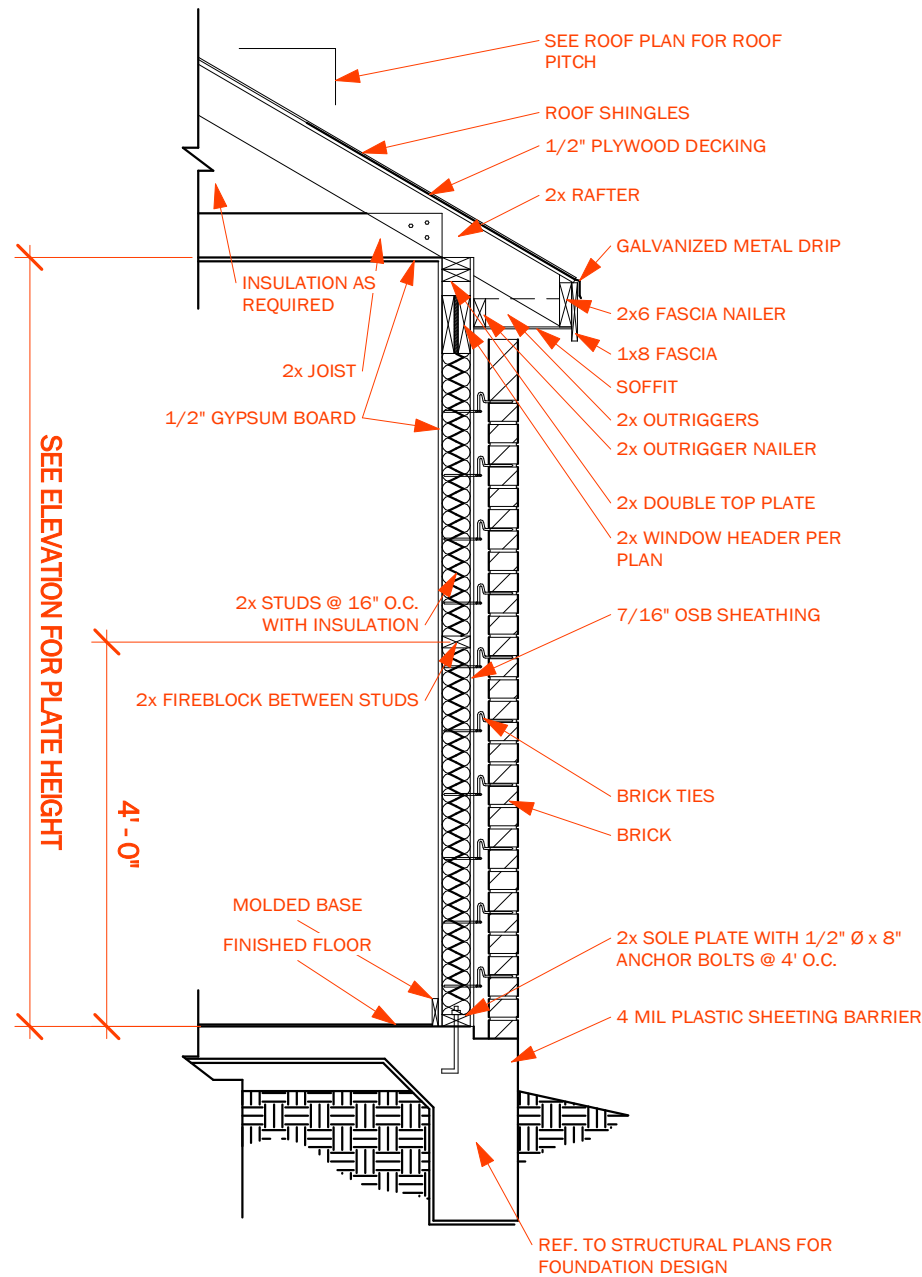
Door Schedule				
Type Mark	Count	Width	Height	Description
D1-1	1	3' - 0"	8' - 0"	EXTERIOR DOOR - SINGLE SWING - OWNER SELECT
D1-2	1	3' - 0"	8' - 0"	EXTERIOR DOOR - SINGLE SWING - OWNER SELECT
D1-3	1	16' - 0"	7' - 0"	GARAGE DOOR - OWNER SELECT
ID1-A	3	2' - 0"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID1-B	2	2' - 6"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID1-C	5	2' - 8"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID4-A	1	4' - 0"	6' - 8"	INTERIOR DOUBLE DOOR - SINGLE SWING -OWNER SELECT
ID5-B	2	4' - 8"	6' - 8"	INTERIOR BIFOLDING DOOR - OWNER SELECT
O1-E	1	5' - 0"	8' - 0"	DOOR OPENING
O1-F	1	2' - 1 1/2"	4' - 6 1/2"	ATTIC ACCESS DOOR - OWNER SELECT

Window Schedule								
Type Mark	Count	Width	Height	Description	Head Height	ExteriorFinish Color	Interior Finish Color	Grids
W1-1	2	6' - 0"	6' - 0"	DOUBLE - SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-2	6	3' - 0"	6' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-3	5	3' - 0"	5' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-4	1	3' - 0"	4' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W5-F	2	0' - 8"	2' - 8"	LOUVER - OWNER SELECT	<varies>	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes



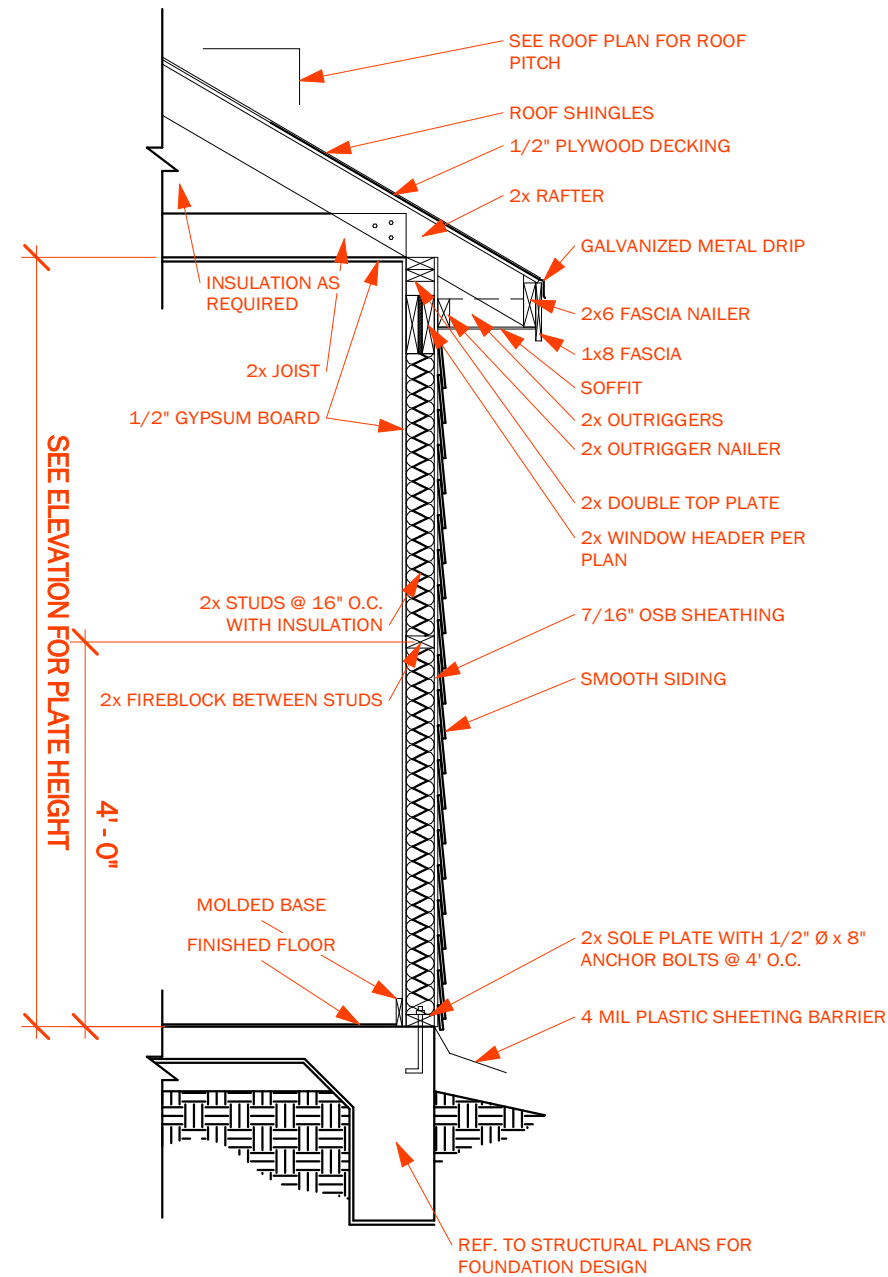
**1** Typical Wall Details - Interior

SCALE: 1/2" = 1'-0"



**2** Typical Wall Details -Brick

SCALE: 1/2" = 1'-0"



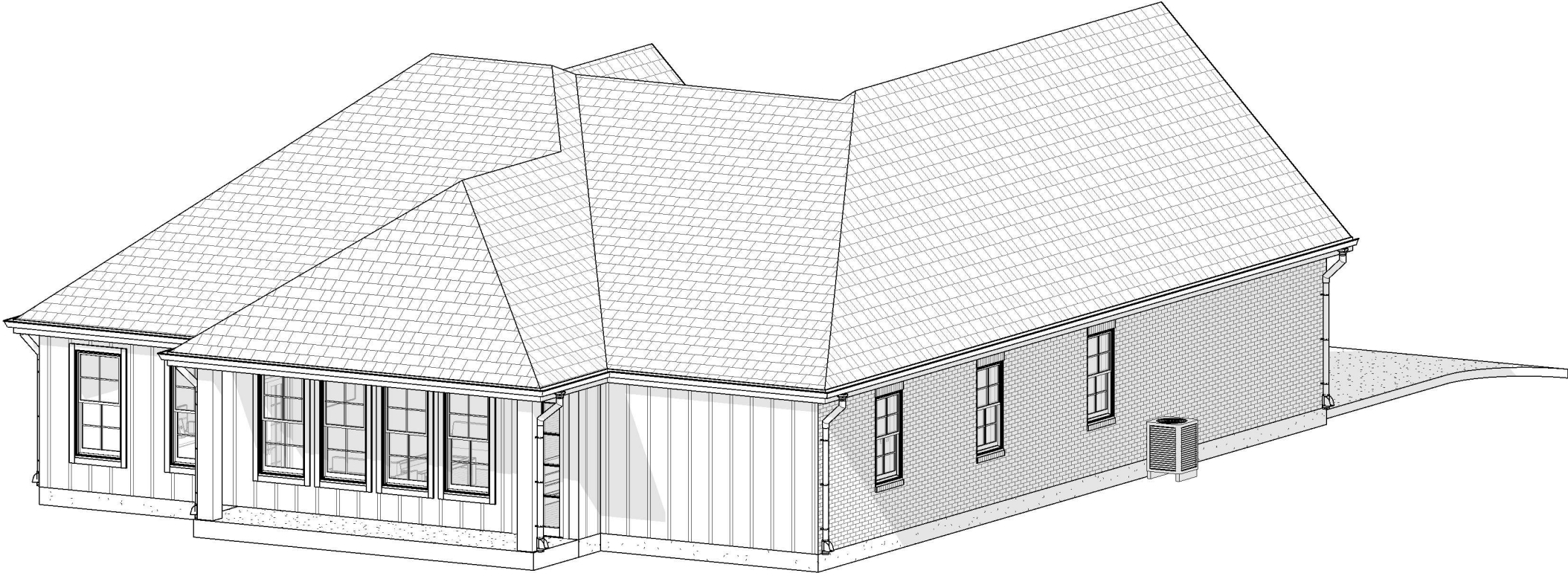
**3** Typical Wall Details -Siding

SCALE: 1/2" = 1'-0"

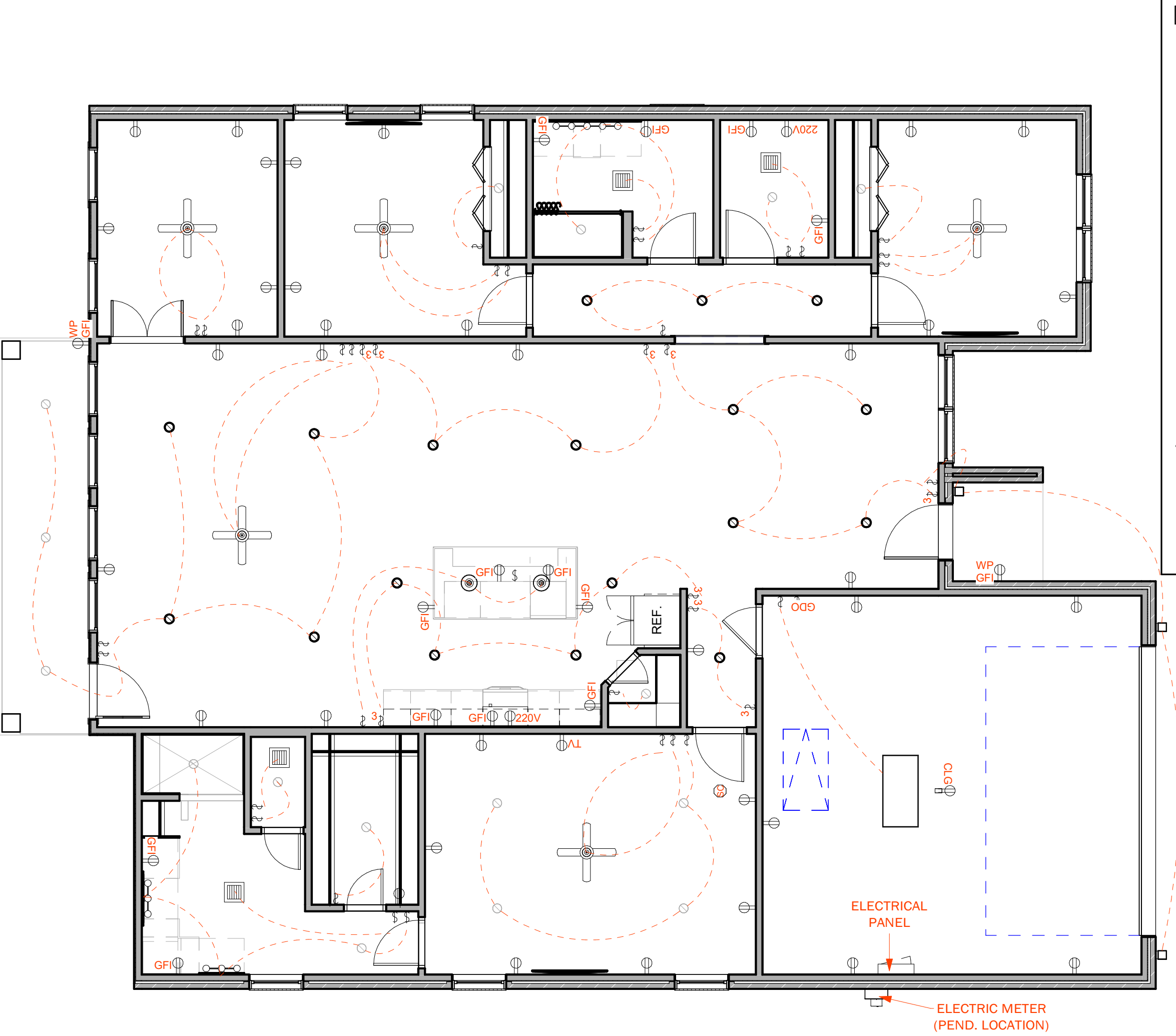




**1** 3D View - 1  
SCALE:



**2** 3D View - 2  
SCALE:



	-2' X 4' LINEAR BOX		-SINGLE DUPLEX OUTLET
	-CEILING FAN W/LIGHT KIT		-GFI DUPLEX OUTLET
	-CHANDELIER		-WEATHERPROOF GFI DUPLEX OUTLET
	-EXHAUST FAN		-CEILING DUPLEX OUTLET
	-RECESSED CAN LIGHT		-FLOOR DUPLEX OUTLET
	-EXTERIOR WALL LIGHT		-TOP OF COUNTER DUPLEX OUTLET
	-EXTERIOR GOOSENECK LIGHT		-TV DUPLEX OUTLET
	-EMERGENCY/FLOOD LIGHT		-SPRINKLER OUTLET
	-EXTERIOR SPOT LIGHT		-220 VOLT DUPLEX OUTLET
	-PENDANT LIGHT		-SINGLE WALL SWITCH
	-SINGLE BULB VANITY LIGHT		-3 WAY WALL SWITCH
	-3 BULB VANITY LIGHT FIXTURE		-DIMMER WALL SWITCH
	-5 BULB VANITY LIGHT FIXTURE		-GARAGE DOOR WALL SWITCH
	-SIDE VANITY LIGHT		-SMOKE/CO2 DETECTOR
	-ELECTRIC METER		-THERMOSTAT
	-ELECTRIC PANEL		-INTERNET/TELEPHONE JACK

**1** Level 1 Electrical Plan  
SCALE: 3/16" = 1'-0"

ELECTRIC METER  
(PEND. LOCATION)

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DESIGN GROUP

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# 223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032

Project No. CSC - 10348

12-07-2022

Revisions

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Notes

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DallasBuilders  
ASSOCIATION

TEXAS  
REALTORS

Scale As indicated

Level 1 Electrical  
Plan

# E101.1

Drawn By

KS



































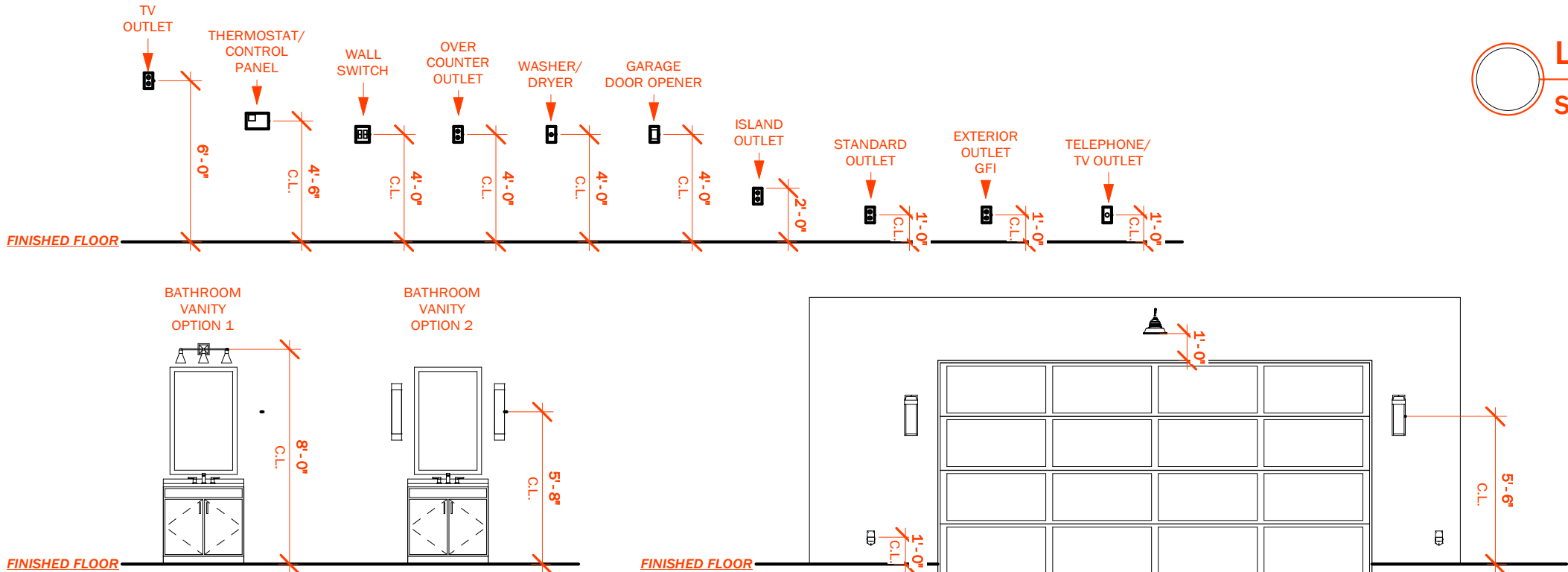
ELECTRICAL SPECIFICATIONS

1. ALL TELEPHONE LINES ARE TO BE CONCEALED & OUTLETS RECESSED. ALL TELEPHONE SERVICE TO BE CAPABLE OF CARRYING LINES IN MAIN HOUSE.
2. INSTALL SWITCHES 48" ABOVE FLOOR HEIGHT, INSTALL RECEPTACLE OUTLETS, CABLE, AND TELEPHONE 18" ABOVE FLOOR HEIGHT. INSTALL SWITCHES LOCATED IN BATHROOM 42" ABOVE FLOOR HEIGHT.
3. SWITCHES, OUTLETS, AND COVER PLATES ARE TO BE WHITE. INSTALL DIMMERS AS SHOWN.
4. ALL DIMMERS ARE TO BE TOGGLE TYPE. ALL OUTLETS ARE TO BE RECESSED. ALL WIRING TO BE CONCEALED.
5. ALL SMOKE DETECTORS TO BE NEW & BATTERY OPERATED.
6. VERIFY FIXTURE AND OUTLET LOCATIONS WITH OWNER PRIOR TO RUNNING ELECTRICAL FEEDS.
7. VERIFY OVERHEAD GARAGE DOOR OPENER SPECIFICATIONS AND SELECTION WITH OWNER.

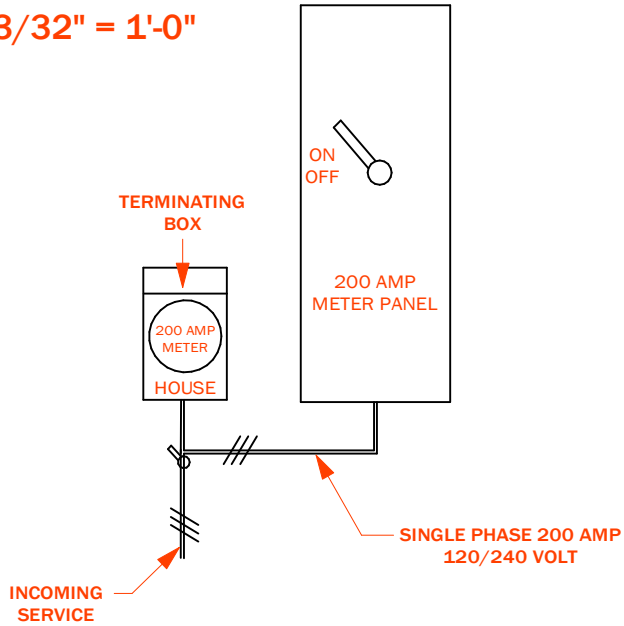
LIGHTING AND POWER GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
2. THE PROVISION OF THE CODE SHALL APPLY TO THE ERECTION, INSTALLATION, ALTERATION, REPAIRS, HEALTH, PROPERTY,& PUBLIC WELFARE REGULATING, AND CONTROLLING THE DESIGN, CONSTRUCTION, INSTALLATION, QUALITY OF MATERIALS, LOCATION, OPERATION, & MAINTENANCE OR USE OF ELECTRICAL EQUIPMENT & SYSTEMS.
3. CONTRACTOR SHALL VERIFY ALL CEILING TYPES & COORDINATE TRIMS PRIOR TO PURCHASE OF LIGHTING FIXTURES. FURNISH ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET JOB REQUIREMENTS. LECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FIXTURES ARRIVING ON SITE WITH INCORRECT MOUNTING.
4. COORDINATE ALL LIGHTING TYPES AND LOCATIONS WITH DESIGNER AND OWNER PRIOR TO INSTALLATION. MOUNTING HEIGHTS OF ALL WALL MOUNTED & PENDANT MOUNTED LIGHTING FIXTURES SHALL BE DETERMINED BY DESIGNER. REFER TO ARCHITECTURAL SECTIONS & ELEVATIONS.
5. LOCATION & GROUPING ARRANGEMENT/ORIENTATION OF ALL SWITCHES SHALL BE COORDINATED WITH THE DESIGNER PRIOR TO INSTALLATION.
6. COORDINATE LOCATION OF ALL LIGHTING FIXTURES WITH THE MECHANICAL & PLUMBING PRIOR TO ELECTRICAL ROUGH-IN.
7. FINAL INSPECTION SHALL BE MADE AFTER THE WORK IS COMPLETE, ALL ELECTRICAL FIXTURES WILL BE INSPECTED TO VERIFY CORRECT PLACEMENT, CONNECTION. AND IF STRUCTURE IS READY FOR OCCUPANCY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING OF SUCH INSPECTION.
8. SMOKE DETECTOR DEVICE TO BE SELECTED BY OWNER. LOCATIONS SHOWN ARE PRELIMINARY-COORDINATE FINAL LOCATIONS WITH FIRE MARSHALL.
9. CARBON MONOXIDE DEVICE TO BE SELECTED BY OWNER.
10. COORDINATE TELEPHONE, CABLE, FIBER OPTIC, WIFI, DATA, SPEAKER LOCATIONS, AND SECURITY ALARM WITH AUDIO VISUAL/TECHNOLOGY CONTRACTOR AND DESIGNER..
11. ALL LIGHTING LOCATED IN DAMP OR WET LOCATIONS TO BE RATED FOR SUCH.
12. LIGHTING IN SHOWER STALLS TO BE VAPOR TIGHT FIXTURES.
13. LIGHTING IN SMALL CLOSET TO HAVE DOOR ACTIVATED SWITCH.
14. COORDINATE LOCATION OF MAIN AND SUB ELECTRICAL PANELS WITH DESIGNER AND OWNER.
15. COORDINATE POWER FOR ALL FIXTURES.
16. COORDINATE ADDITIONAL POWER REQUIREMENTS FOR EQUIPMENT, LIGHTING, AND INTERIOR SPEAKERS.
17. INDICATES FIXTURE SHALL BE CONNECTED TO "CONSTANT-ON" EMERGENCY (LIFE-SAFETY) CIRCUIT, PROVIDE "LOCK-ON" EMERGENCY BREAKER AT PANELBOARD.
18. CUTTING OF FLOORS, WALLS, & CEILINGS SHALL BE REQUIRED FOR THE INSTALLATION OF PIPES, CONDUITS, DUCTS, WIRING, SLEEVES, & SEAL AS REQUIRED BY THE DESIGNER.

	-2' X 4' LINEAR BOX		-SINGLE DUPLEX OUTLET
	-CEILING FAN W/LIGHT KIT		-GFCI DUPLEX OUTLET
	-CHANDELIER		-WEATHERPROOF GFCI DUPLEX OUTLET
	-EXHAUST FAN		-CEILING DUPLEX OUTLET
	-RECESSED CAN LIGHT		-FLOOR DUPLEX OUTLET
	-EXTERIOR WALL LUGHT		-TOP OF COUNTER DUPLEX OUTLET
	-EXTERIOR GOOSENECK LIGHT		-TV DUPLEX OUTLET
	-EMERGENCY/FLOOD LIGHT		-SPRINKLER OUTLET
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	-SINGLE BULB VANITY LIGHT		-3 WAY WALL SWITCH
	-3 BULB VANITY LIGHT FIXTURE		-DIMMER WALL SWITCH
	-5 BULB VANITY LIGHT FIXTURE		-GARAGE DOOR WALL SWITCH
	-SIDE VANITY LIGHT		-SMOKE/CO2 DETECTOR
	-ELECTRIC METER		-THERMOSTAT
	-ELECTRIC PANEL		-INTERNET/TELEPHONE JACK



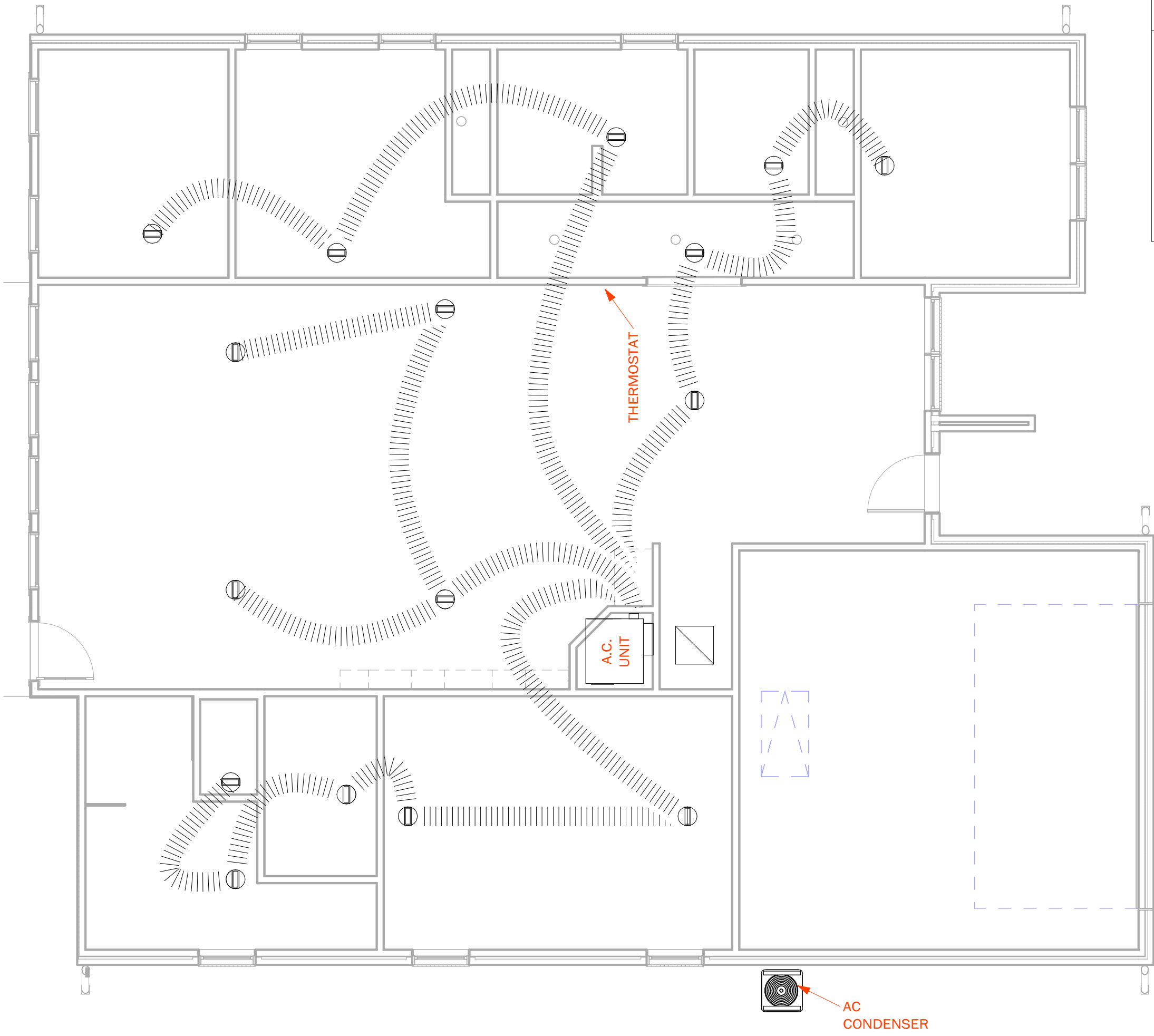
Lighting Fixtures Legend  
SCALE: 3/32" = 1'-0"



Power Riser Details  
SCALE: 3/16" = 1'-0"

Electrical Devise Heights  
SCALE: 3/16" = 1'-0"



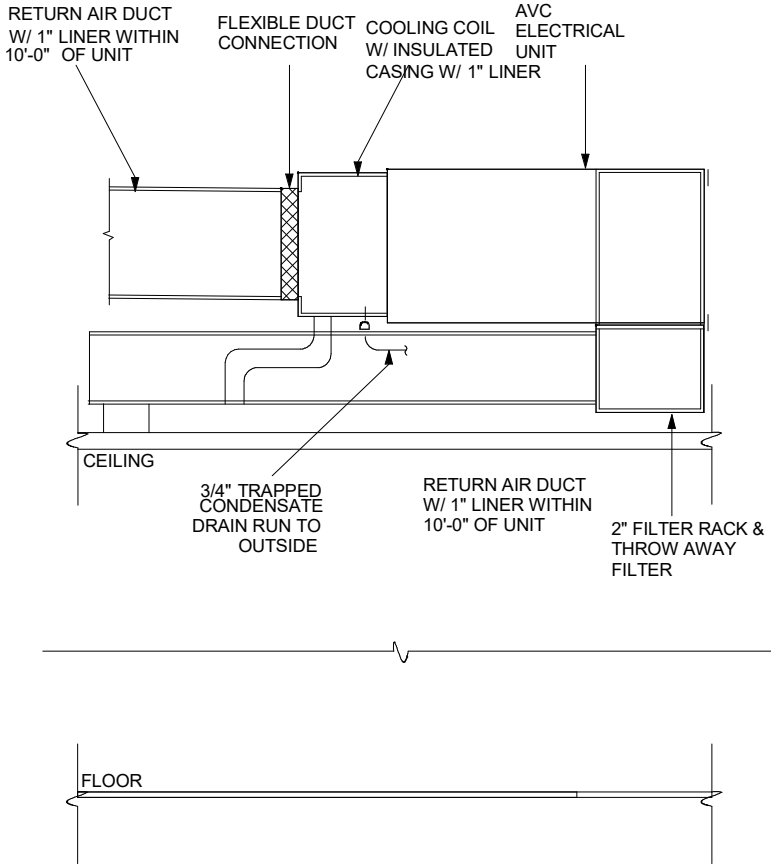


LEGEND	
	VENTS
	FLEXIBLE DUCT
	RETURN

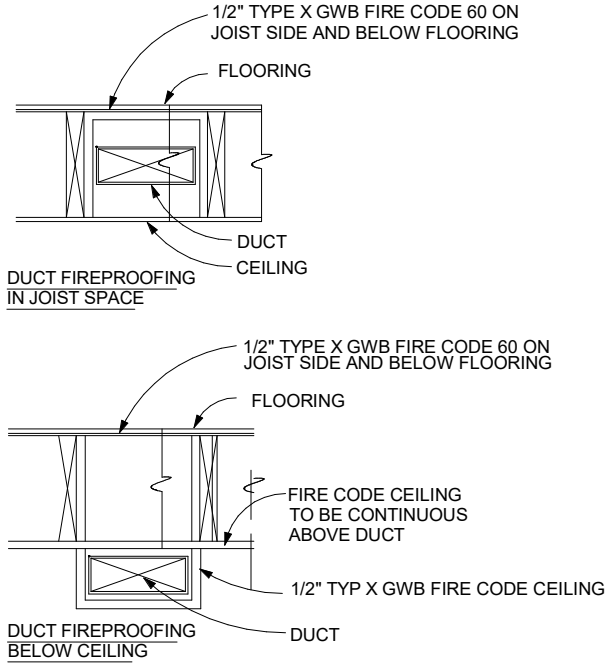
**1** Level 1 HVAC Plan  
SCALE: 3/16" = 1'-0"

MECHANICAL GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
2. FURNISH ALL LABOR, MATERIALS, FIXTURES, EQUIPMENT, & SERVICES NECESSARY FOR THE INSTALLATION OF A COMPLETE & FUNCTIONAL H.V.A.C SYSTEM, PLUMBING SYSTEM, & ELECTRICAL SYSTEM
3. CONTRACTOR SHALL APPLY & PAY FOR ALL PERMITS & CONNECTION FEES REQUIRED FOR WORK.
4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE WORK TO BE DONE & SHALL EXAMINE SITE & CONSIDER THE CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE IN THE PERFORMANCE OF THE CONTRACTED WORK. NO ALLOWANCES SHALL BE MADE SUBSEQUENTLY IN THIS CONNECTION, FOR ANY ERRORS, THROUGH NEGLIGENCE ON HIS PART. THE CONTRACTOR IS HERE BY ADVISED THAT HE WILL BE REQUIRED TO OBSERVE NECESSARY PRACTICES FOR FIRE & SAFETY PRECAUTIONS FOR THE PROTECTION OF THE FACILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS, & CLEARANCES & COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO START OF WORK.
5. ALL DUCTWORK SHALL BE FABRICATED FROM FILED TAKEN DIMENSIONS AND NOT FROM DRAWINGS, PRIOR TO DUCT FABRICATION, CEILING CLEARANCES SHALL BE VERIFIED WITH ALL ELECTRICAL, PLUMBING, & ARCHITECTURAL DRAWINGS.
6. SUBMIT 6 COPEs OF EACH SHOP DRAWINGS FOR THE FOLLOWING: HIGH-ENERGY EFFICIENCY EQUIPMENT, SPLIT SYSTEM COOLING COILS, AIR COOLED CONDENSING UNIT, THERMOSTAT, GRILLES, REGISTERS, DUCTS, TRIMS, PIPES, JOINING METHODS, WATER HEATER, GUY GRAY UNITS, FLOOR DRAINS, BREAKER PANEL, CIRCUIT BREAKERS, SWITCHES, LUMINARIES, MOTION DETECTORS, DISCONNECT SWITCHES, & OUTLETS.
7. ELECTRICAL CONTRACTOR SHALL FURNISH ALL MOTOR CONTROLLERS, PILOT OTHER DEVICES,& SHALL IMPLEMENT ALL ALL REQUIRED WIRING EXCEPT A.T.C. WIRING.
8. ALL SUPPLY & RETURN DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH 1/2 FIBERGLASS WITH A.S.I. VAPOR BARRIER OR EQUAL.
9. GRILLES, REGISTERS, & DIFFUSER SHALL BE OF CAPACITIES & INDICATED SIZES IN ACCORDANCE WITH MANUFACTURERS PRINTED LITERATURE FOR RESIDENTIAL SOUND LEVELS & THROWS. MOUNT TIGHT TO CONSTRUCTION USING GASKETS TO PREVENT AIR LEAKAGE & STREAKING. BRANCHES FROM MAIN TO OUTLETS SHALL BE MADE USING ADJUSTABLE DEFLECTORS POSITIONED & SECURED TO PROVIDE SPECIFIED AIR QUANTITIES. , REGISTERS & GRILLES SHALL BE PROVIDED BY LIMA OR EQUAL.AND SHALL MATCH COLOR OF ADJACENT CEILING OF WALL. COORDINATE ALL REGISTERS IN CEILINGS WITH LIGHT FIXTURES.

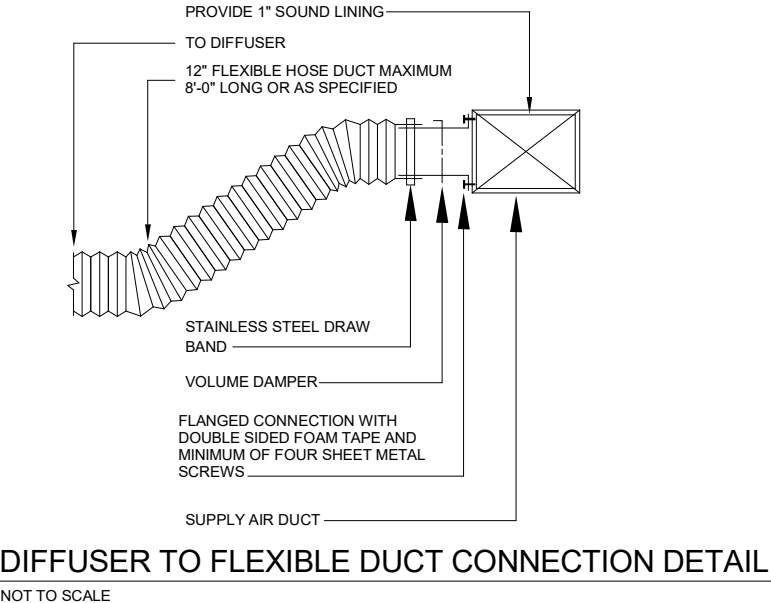


AVC ELECTRICAL UNIT DETAIL  
SCALE: N.T.S

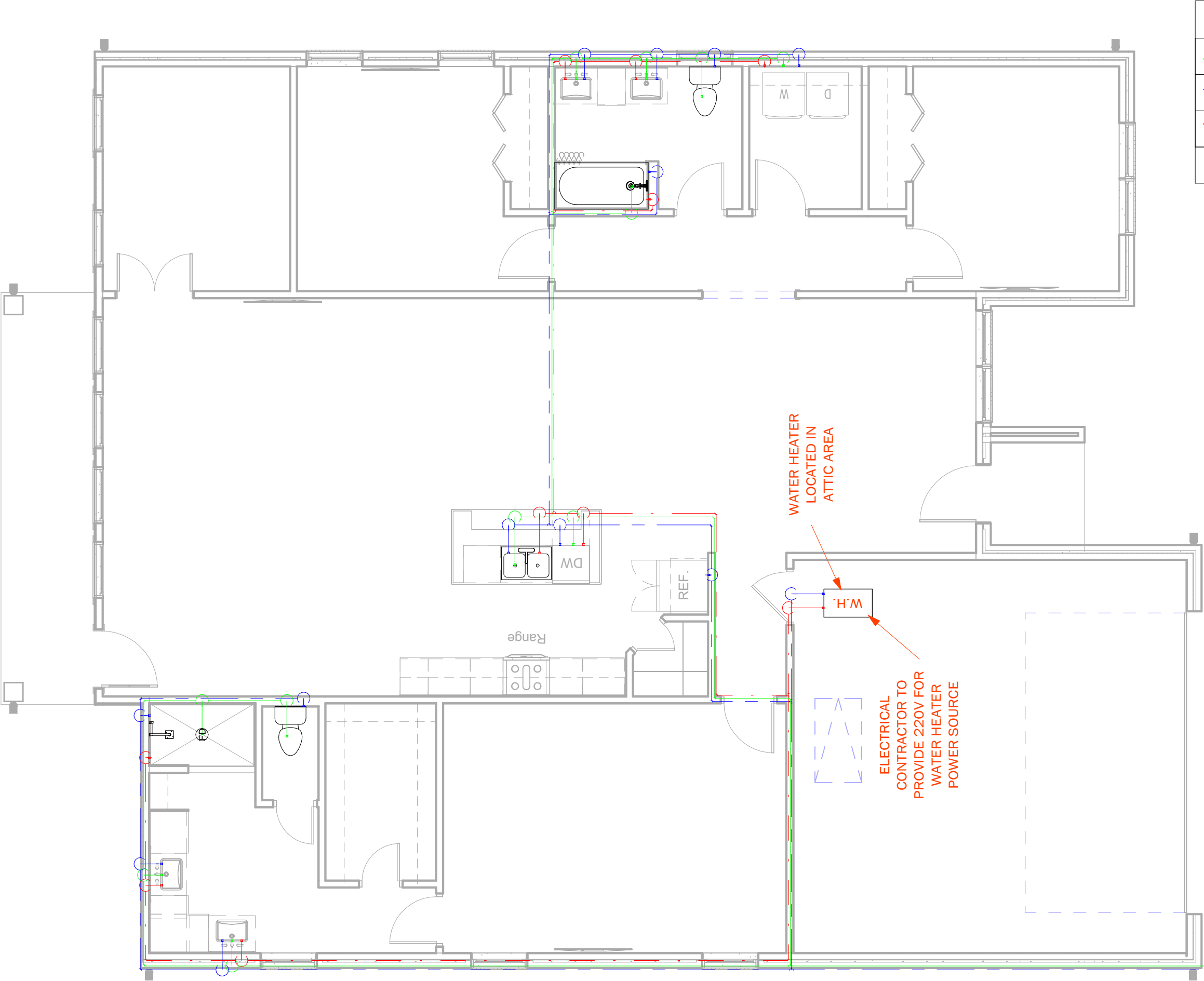


UNIT, DUCT SIZING, AND CFMs SHOWN ON DRAWINGS ARE APPROXIMATE, CONTRACTOR IS RESPONSIBLE FOR DESIGNING BALANCING SYSTEM FOR EVEN EFFICIENT HEATING AND COOLING

DUCT DETAIL  
SCALE: N.T.S



DIFFUSER TO FLEXIBLE DUCT CONNECTION DETAIL  
NOT TO SCALE



PLUMBING LEGEND	
	SANITARY SEWER
	COLD WATER
	HOT WATER
	PROPANE GAS LINE

**1** Level 1 Plumbing  
SCALE: 3/16" = 1'-0"

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CHRISTIAN SERRANO  
DESIGN  
GROUP

223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032

Project No.

CSC - 10348

12-07-2022

Revisions

Notes

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DallasBuilders  
Association

REALTOR  
Texas

Scale

As indicated

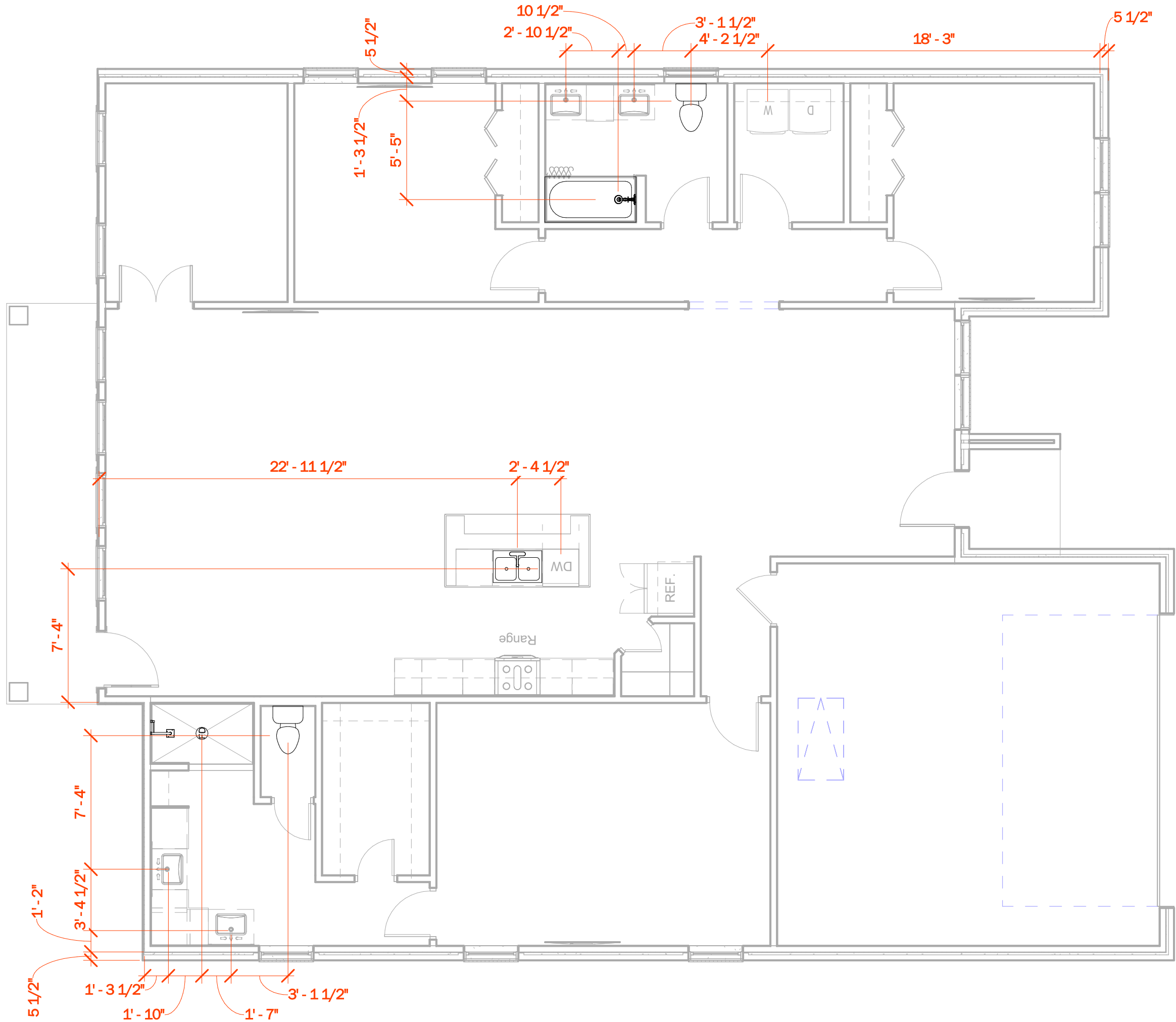
Level 1 Plumbing  
Plan

P101.1

Drawn By

KS





Level 1 Forming Plan

SCALE: 3/16" = 1'-0"

1

Plumbing Forming  
Plan  
**P102**

Drawn By

JS

**CHRISTIAN SERRANO**  
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12-07-2022

Project No. CSC - 10348

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Rockwall TX, 75032



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GENERAL PLUMBING NOTES

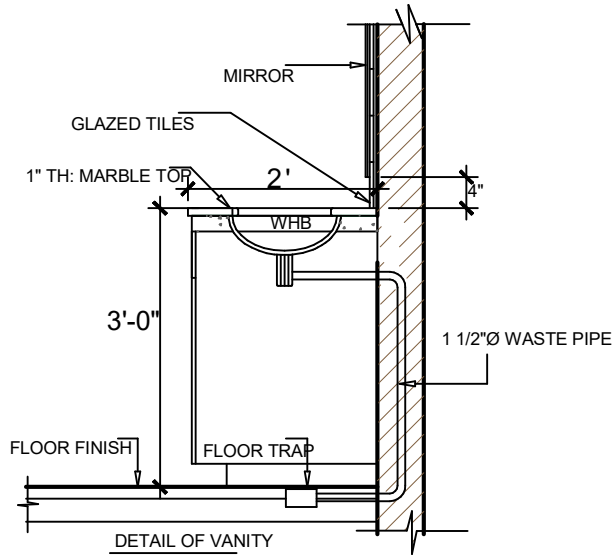
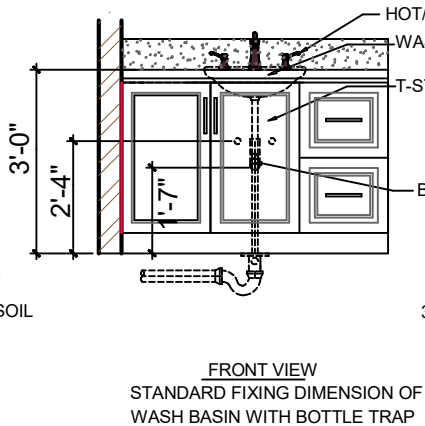
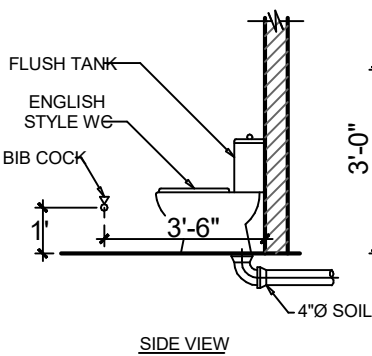
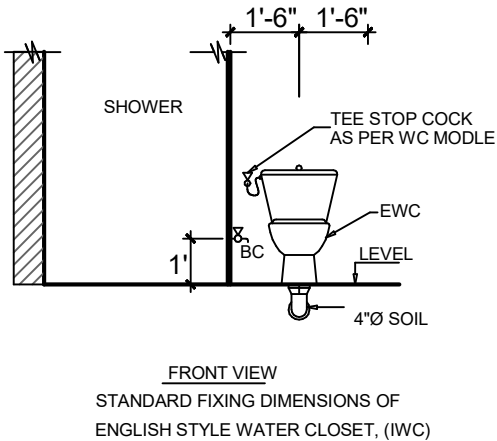
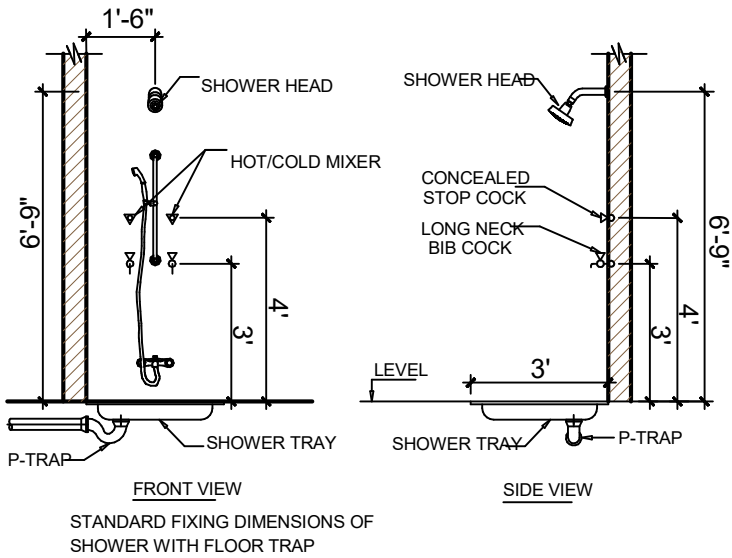
1 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL PLUMBING CODES.

2 - THE PROVISIONS OF THE CODE SHALL APPLY TO THE ERECTION, INSTALLATION, ALTERATION, HEALTH, PROPERTY AND PUBLIC WELFARE REGULATING AND CONTROLLING THE DESIGN, CONSTRUCTION, INSTALLATION, QUALITY OF MATERIALS, LOCATION, OPERATION OR USE OF PLUMBING EQUIPMENT.

3. ALL PLUMBING SYSTEMS, MATERIALS APPURTENANCES SHALL BE MAINTAINED IN PROPER CONDITION IN ACCORDANCE WITH THE ORIGINAL DESIGN IN A SAFE AND SANITARY CONDITION. ALL DEVICES OR SAFEGUARDS REQUIRED BY CODE SHALL BE MAINTAINED IN COMPLIANCE WITH THE CODE EDITION UNDER WHICH INSTALLED. THE OWNER OR OWNERS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PLUMBING SYSTEMS. TO DETERMINE COMPLIANCE WITH THIS PROVISION, THE CODE OFFICIAL SHALL HAVE THE AUTHORITY TO REQUIRE ANY PLUMBING SYSTEMS TO BE RE-INSPECTED.

4. FINAL INSPECTION SHALL BE MADE AFTER THE BUILDING IS COMPLETE, ALL PLUMBING FIXTURES ARE IN PLACE AND PROPERLY CONNECTED, AND THE STRUCTURE IS READY FOR OCCUPANCY. THE HOLDER OF THE PLUMBING SHALL BE RESPONSIBLE FOR THE SCHEDULING OF SUCH INSPECTIONS.

5. PROVIDE AND INSTALL NEW PLUMBING FIXTURES. CONNECT TO EXISTING WASTE, COLD WATER AND HOT WATER LINES AS SHOWN.





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

#### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
223 Russell Drive	Vacant	N/A	N/A	N/A	N/A
235 Russell Drive	Vacant	N/A	N/A	N/A	N/A
247 Russell Drive	Vacant	N/A	N/A	N/A	N/A
250 Nicole Drive	Modular Home	1998	1,344	820	Siding
222 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
208 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
196 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
186 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
181 Russell Drive	Vacant	N/A	N/A	N/A	N/A
193 Russell Drive	Modular Home	1997	1,984	N/A	N/A
209 Russell Drive	Modular Home	1978	1,180	296	Siding
198 Russell Drive	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1991	1,503	558	





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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223 Russell Drive



235 Russell Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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247 Russell Drive



250 Nicole Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



222 Nicole Drive



208 Nicole Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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196 Nicole Drive



186 Nicole Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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181 Russell Drive



193 Russell Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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209 Russell Drive



198 Russell Drive



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1690-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1290 OF THE LAKE ROCKWALL ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Martha Balleza and Ana Quezada for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1690-acre parcel of land identified as Lot 1290 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 223 Russell Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [Ordinance No. 16-01] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 75 (PD-75) [Ordinance No. 16-01] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>st</sup> DAY OF MAY, 2023.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 17, 2023

2<sup>nd</sup> Reading: May 1, 2023

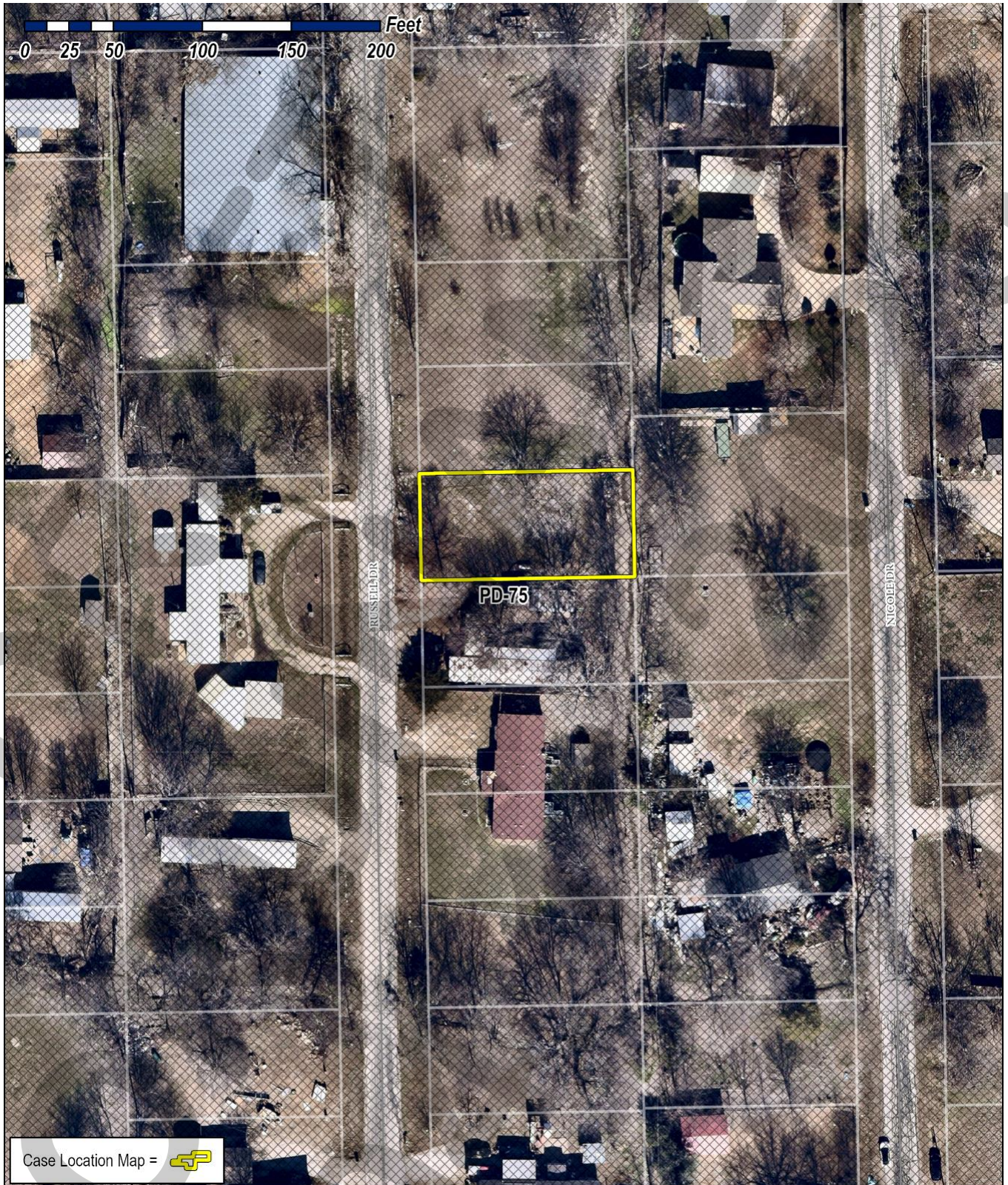


**Exhibit 'A':**

**Location Map and Residential Plot Plan**

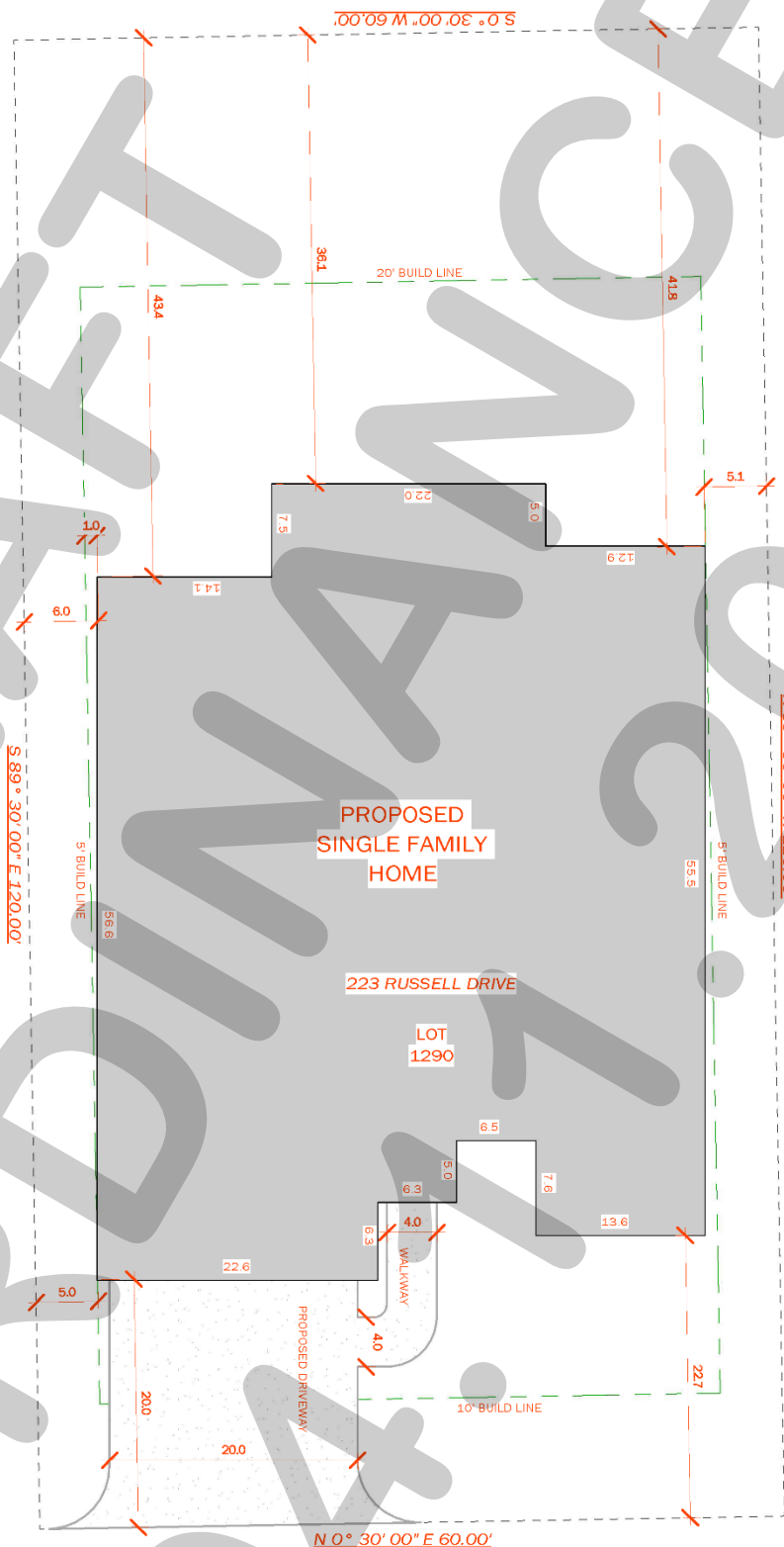
Address: 223 Russell Drive

Legal Description: Lot 1290 of the Lake Rockwall Estates #2 Addition





**Exhibit 'A':**  
*Location Map and Residential Plot Plan*



**1 Front Elevation**  
 SCALE: 3/16" = 1'-0"

**2 Back Elevation**  
 SCALE: 3/16" = 1'-0"







# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Mayor and City Council

**DATE:** April 17, 2023

**APPLICANT:** Martha Balleza and Ana Quezada

**CASE NUMBER:** Z2023-015; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 223 Russell Drive*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home a 0.1650-acre parcel of land identified as Lot 1290 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 223 Russell Drive, and take any action necessary.

### **BACKGROUND**

The subject property was originally platted as Lot 1290 of the Rockwall Lake Estates #2 Addition on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. The subject property is currently vacant.

### **PURPOSE**

The applicants -- *Martha Balleza and Ana Quezada* -- are requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 223 Russell Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several vacant lots that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Evans Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are two (2) lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property Nicole Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that are several residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

West: Directly west of the subject property are several residential lots developed with modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Wayne Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

## **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates #2 Addition in the Lake Rockwall Estates Subdivision. This subdivision has been in existence since prior to 1968, consists of more than five (5) lots, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) and designated for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Russell Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Russell Drive in a Close Proximity to the Subject Property	Proposed House
Building Height	One (1) story	One (1) Story
Building Orientation	Orientation differs.	The front elevation of the home will face onto Russell Drive.
Year Built	1978-1998	N/A
Building SF on Property	1,180 SF – 1,984 SF	2,817 SF
Building Architecture	Modular Homes and Single-Family homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	10-Feet
Building Materials	Modular Panels, Metal, Brick	Brick, Board & Batten
Paint and Color	White, Gray, Tan, & Green	N/A
Roofs	Composite Shingles & Metal	Composite Shingles
Driveways/Garages	Carports and Single-Family Homes without Garages	Front Entry Garage

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant’s proposed garage is oriented in front of the front façade of the proposed single-family home by six (6) feet, three (3) inches. Staff should point out that this is not atypical for this subdivision. A waiver to the garage orientation is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the City Council will be waiving the garage orientation requirement. With this being said, staff should point out -- *that with the exception of the garage orientation* -- the proposed single-family home



meets all of the density and dimensional requirements stipulated by Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Russell Drive and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On March 21, 2023, staff mailed 147 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) notification in favor of the request.

## **CONDITIONS OF APPROVAL**

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## **PLANNING AND ZONING COMMISSION**

On April 11, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit by a vote of 6-0, with Commissioner Womble absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

## STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

223 Russell Dr.

SUBDIVISION

Rockwall Lake Est #2

LOT

1290

BLOCK

GENERAL LOCATION

" "

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

vacant lot

CURRENT USE

vacant lot

PROPOSED ZONING

residential home

PROPOSED USE

residential

ACREAGE

.25

LOTS [CURRENT]

.25

LOTS [PROPOSED]

.25

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Martha Balleza / Ana Quezada

☒ APPLICANT

Martha Balleza / Ana Quezada

CONTACT PERSON

" "

CONTACT PERSON

" "

ADDRESS

4408 Aiken Trl.

ADDRESS

4408 Aiken Trl.

CITY, STATE & ZIP

Sachse, TX 75048

CITY, STATE & ZIP

Sachse, TX 75048

PHONE

214-984-7232

PHONE

214-984-7232

E-MAIL

marthaballeza@gmail.com

E-MAIL

anaq828@yahoo.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Martha Balleza Ana Quezada STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

[OWNER] THE UNDERSIGNED, WHO

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS DAY OF \_\_\_\_\_, 20 \_\_\_\_ BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL IS AUTHORIZED TO DISSEMINATE ANY INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION FROM THE PUBLIC, STATE OF TEXAS

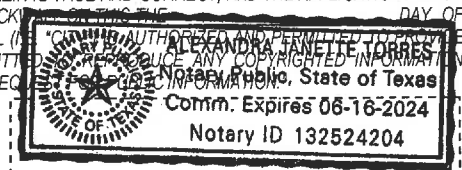
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13<sup>th</sup> DAY OF March, 20 23

OWNER'S SIGNATURE

Martha Balleza / Ana Quezada

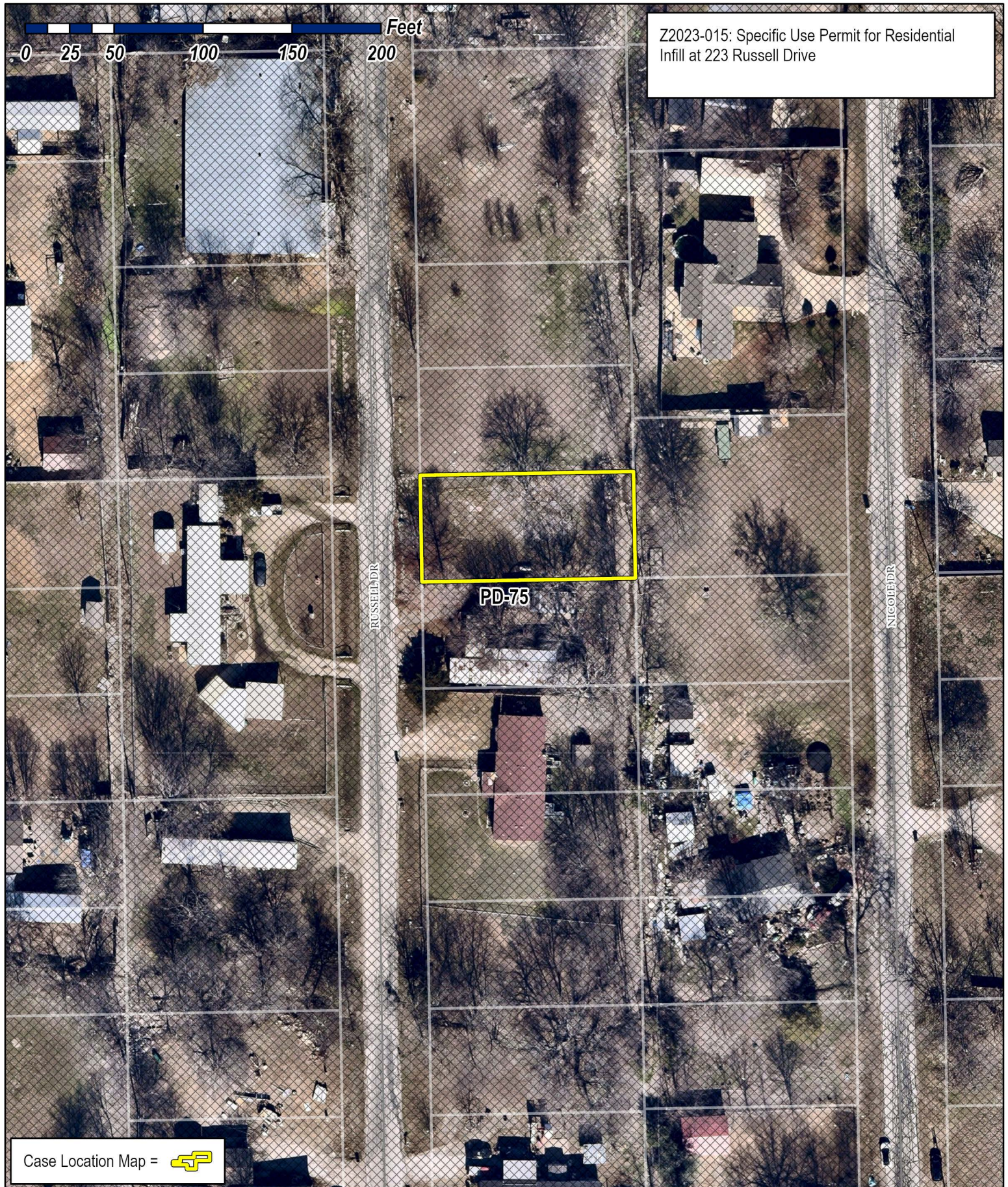
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Alexandra J. Torres



MY COMMISSION EXPIRES 06/16/2024






Z2023-015: Specific Use Permit for Residential Infill at 223 Russell Drive

PD-75

RUSSELL DR

NICOLE DR

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



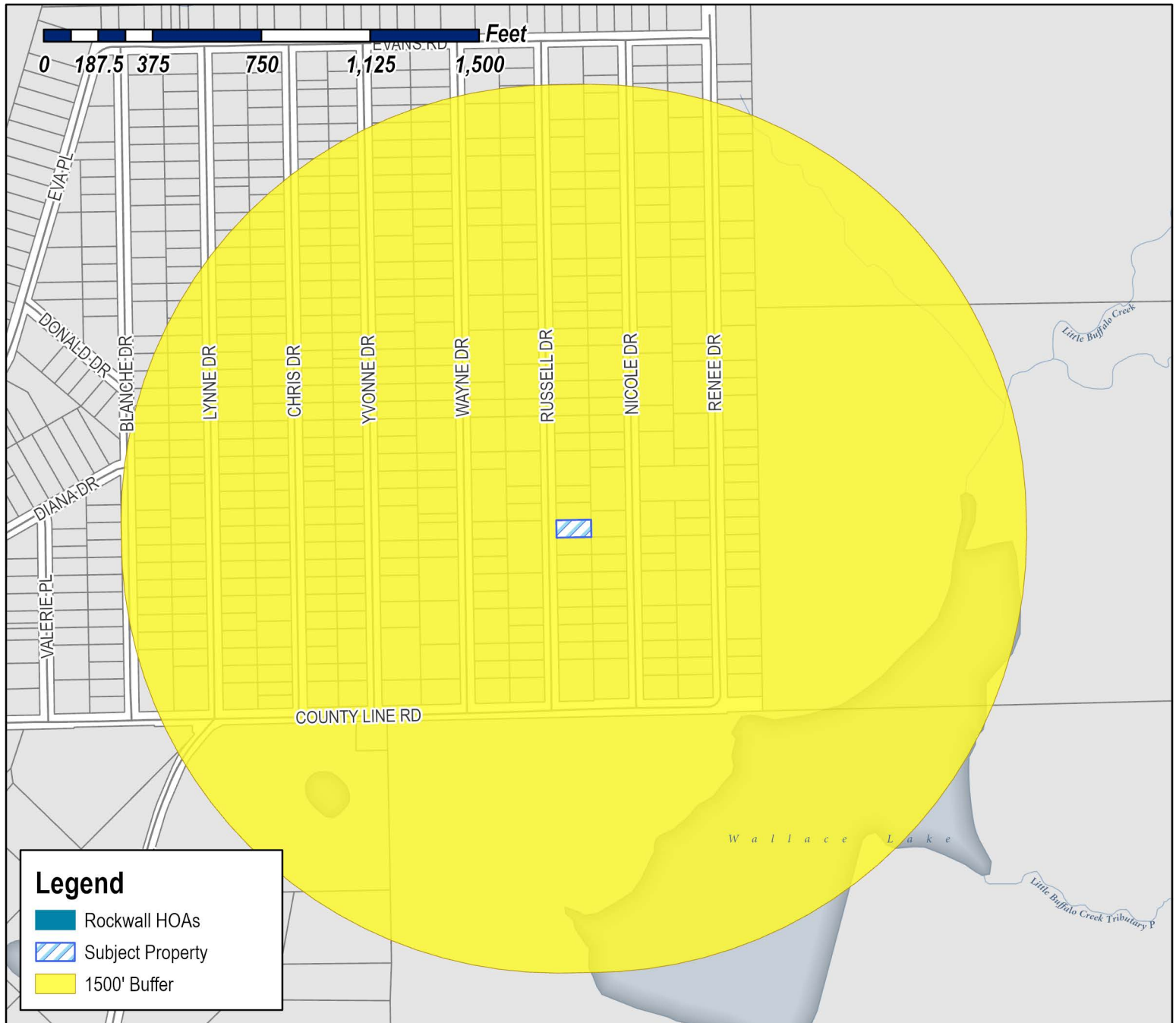




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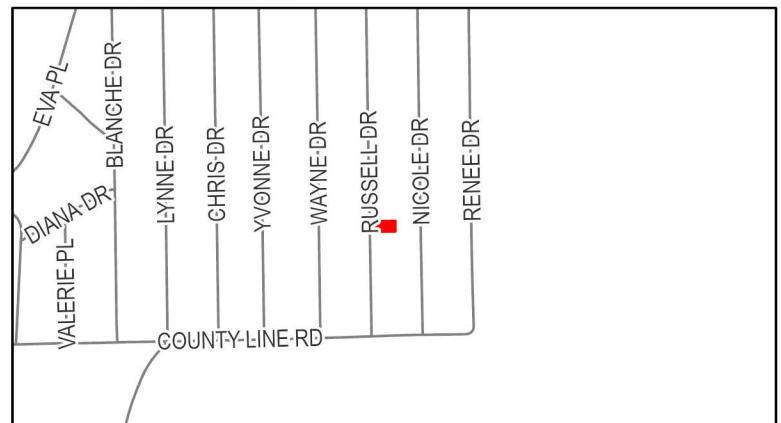
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**Case Number:** Z2023-015  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 223 Russell Drive

**Date Saved:** 3/14/2023

For Questions on this Case Call (972) 771-7745

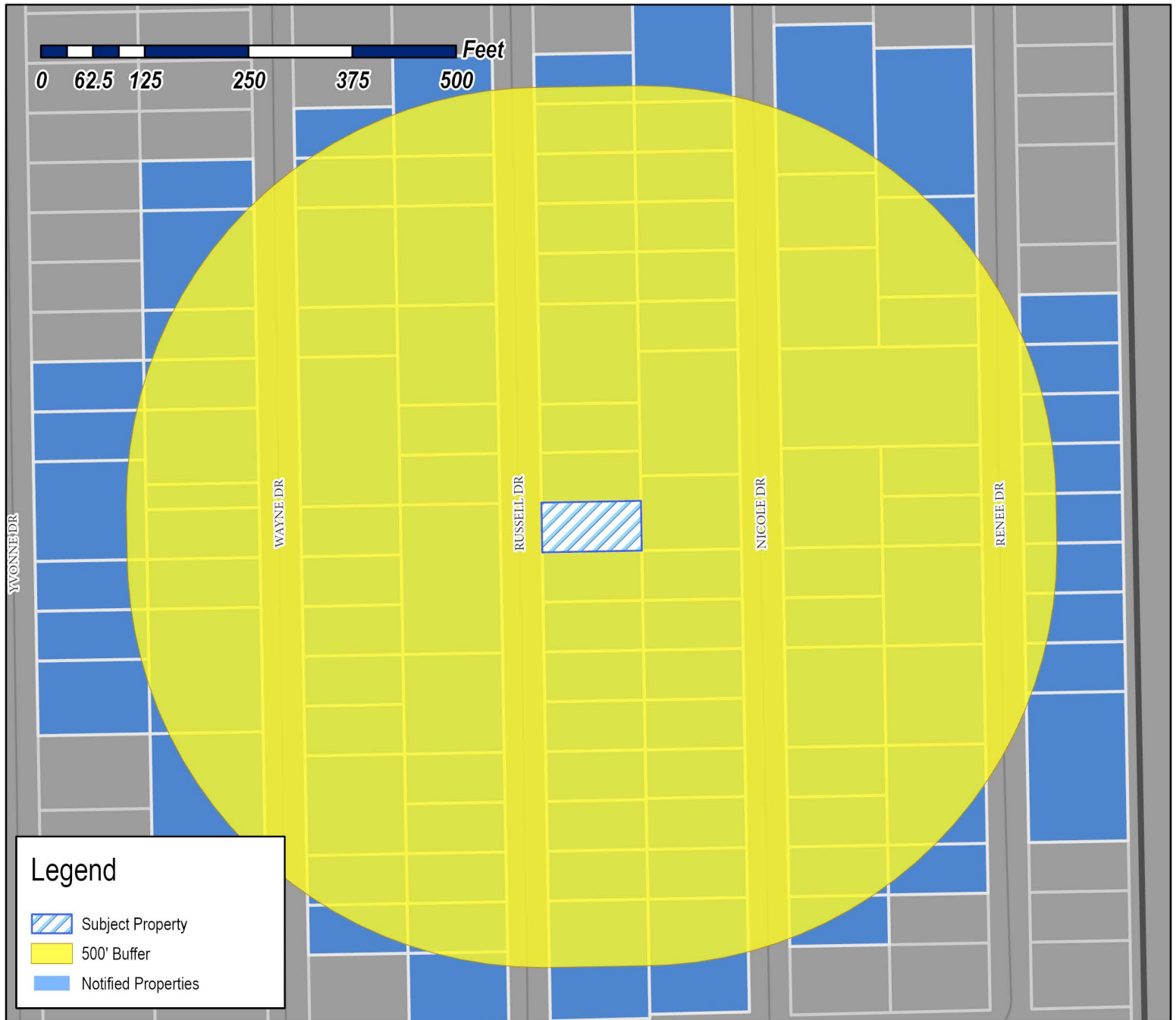




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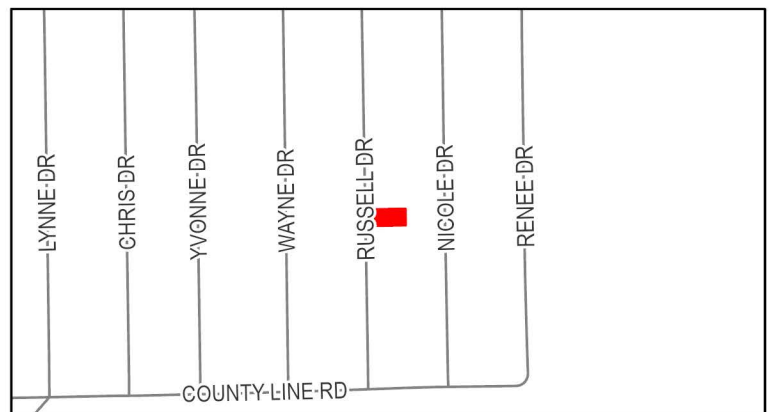
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**Case Address:** 223 Russell Drive

**Date Saved:** 3/14/2023

For Questions on this Case Call: (972) 771-7746



SHEPHERD PLACE HOMES INC  
10527 CHURCH RD # 201  
DALLAS, TX 75238

ROCKWALL HABITAT FOR HUMANITY  
1101 RIDGE RD  
ROCKWALL, TX 75087

DIAZ CARLOS O &  
YOVANA M CHAVEZ  
115 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
116 NICOLE  
ROCKWALL, TX 75032

RESIDENT  
116 RUSSELL DR  
ROCKWALL, TX 75032

OLIVARES JAIME  
1209 QUAIL DR  
GARLAND, TX 75040

RAMIREZ ZACARIAS  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

SIERRA ZACARIAS RAMIREZ  
1244 COUNTY RD 2278  
QUINLAN, TX 75474

RESIDENT  
125 WAYNE DR  
ROCKWALL, TX 75032

VASQUEZ FRANCISCO  
125 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
128 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
132 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
133 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
137 NICOLE DR  
ROCKWALL, TX 75032

IBARRA MATEO CASTRO  
140 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
142 RUSSELL DR  
ROCKWALL, TX 75032

CONTRERAS JOSE A  
142 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
143 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
143 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
149 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
152 NICOLE DR  
ROCKWALL, TX 75032

MARQUEZ FELIX C  
154 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
155 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
157 WAYNE DR  
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO  
158 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
159 NICOLE DR  
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA  
162 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
164 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
167 RUSSELL DR  
ROCKWALL, TX 75032

VASQUEZ JESUS  
167 RENEE DR  
ROCKWALL, TX 75032



RESIDENT  
168 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
169 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
176 NICOLE DR  
ROCKWALL, TX 75032

MEJIA JULIO & MARIA  
176 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
181 RUSSELL DR  
ROCKWALL, TX 75032

MEDRANO CESAR AND ANDREA MARTINEZ  
181 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
182 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ FELICITAS  
183 NICOLE DR  
ROCKWALL, TX 75032

YANEZ FERNANDO AND  
JUAN A YANEZ  
183 YVONNE  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL  
GELLY DELROSARIO  
186 NICOLE DR  
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R  
186 NICOLE DR  
ROCKWALL, TX 75032

JON & JOY CO., LLCN  
187 TEJAS TRAIL  
ROYSE CITY, TX 75189

RESIDENT  
191 RENEE DR  
ROCKWALL, TX 75032

AVILA LUZ MARIA  
1924 DEVONSHIRE  
GARLAND, TX 75041

FAST INVESTMENTS LLC  
193 RUSSELL DR  
ROCKWALL, TX 75032

MONTOYA YVONNE  
193 RUSSELL DRIVE  
ROCKWALL, TX 75032

CARMONA JOSE  
194 RENEE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
195 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
195 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
196 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
198 RUSSELL DR  
ROCKWALL, TX 75032

RAMIREZ RUBIN & MARTHA  
200 CHAMBERLAIN DR  
FATE, TX 75189

RUIZ SONIA  
2009 WORCESTER LN  
GARLAND, TX 75040

RUIZ SONIA  
2009 WORCESTER LN  
GARLAND, TX 75040

LEDEZMA J SOCORRO AGUILAR  
201 RENEE DRIVE  
ROCKWALL, TX 75032

LEDEZMA J SOCORRO AGUILAR  
201 RENEE DRIVE  
ROCKWALL, TX 75032

YANEZ JUAN  
201 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
204 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
207 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
208 NICOLE DR  
ROCKWALL, TX 75032

PROCK CHARLES A AND EVELYN  
209 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
211 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
211 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
215 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
216 WAYNE DR  
ROCKWALL, TX 75032

PATINO SYLVIA AND  
ZEFERINO BUSTAMANTE  
2168 DOVE DR  
QUINLAN, TX 75474

RENO PATRICIA JEAN  
218 RUSSELL DRIVE  
ROCKWALL, TX 75032

RESIDENT  
221 RENEE DR  
ROCKWALL, TX 75032

CARMONA JOEL  
221 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
222 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
223 RUSSELL DR  
ROCKWALL, TX 75032

GURRUSQUIETA CELIA  
225 LYNNE DR  
ROCKWALL, TX 75032

RESIDENT  
226 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
227 WAYNE DR  
ROCKWALL, TX 75032

KENDALL LEAH T  
227 YVONNE DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA  
230 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
233 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
235 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
236 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
238 RUSSELL DR  
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN  
241 TROUT ST  
ROCKWALL, TX 75032

RESIDENT  
245 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
247 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
248 RUSSELL DR  
ROCKWALL, TX 75032

SANCHEZ PABLO  
248 NICOLE DR  
ROCKWALL, TX 75032

SMITH ROY  
248 WAYNE DR  
ROCKWALL, TX 75032

LINDOP N A JR  
248 WAYNE DR  
ROCKWALL, TX 75032

GARCIA ERIK URBINA AND ISABEL GONZALEZ  
249 YVONNE  
ROCKWALL, TX 75032

RESIDENT  
250 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
250 RENEE DR  
ROCKWALL, TX 75032

NGO HA THAI  
2505 WESTBANK TRAIL  
GARLAND, TX 75042

NGO LINH T  
2505 WESTBANK TRAIL  
GARLAND, TX 75042

CERVANTES LUIS & ELSA  
251 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
259 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
262 RUSSELL DR  
ROCKWALL, TX 75032

CRUZ DEBRA J  
262 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
264 WAYNE DR  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L  
265 RENEE DR  
ROCKWALL, TX 75032

RESIDENT  
269 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
274 NICOLE DR  
ROCKWALL, TX 75032

LINDOP JOYCE ANN  
274 WAYNE DR  
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA  
275 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
283 NICOLE DR  
ROCKWALL, TX 75032

RESIDENT  
285 RUSSELL DR  
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS  
288 NICOLE DRIVE  
ROCKWALL, TX 75032

RIVERA DORIS MABEL  
288 RENEE DR  
ROCKWALL, TX 75032

SOSA LORENA  
293 NICOLE DR  
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE  
296 RUSSELL DR  
ROCKWALL, TX 75032

GARCIA RICARDO  
298 WAYNE DR  
ROCKWALL, TX 75032

GUERRERO JUAN  
299 RUSSELL DR  
ROCKWALL, TX 75032

GUERRERO JUAN  
299 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
302 NICOLE DR  
ROCKWALL, TX 75032

MACIEL JENNIFER E  
303 WAYNE DR  
ROCKWALL, TX 75032

ARCINIEGA D ODIN A  
310 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
311 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
312 NICOLE DR  
ROCKWALL, TX 75032

ESPARZA MARCO  
312 RENEE  
ROCKWALL, TX 75032



RESIDENT  
313 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
314 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
321 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
321 WAYNE DR  
ROCKWALL, TX 75032

BENITES ROSA  
322 NICOLE DR  
ROCKWALL, TX 75032

RODARTE PASCUAL AND SARA I  
322 RUSSELL DR  
ROCKWALL, TX 75032

BRAGA GUILHERME CREDIDIO & YASMINI  
RAMOS IZIDORO  
327 NICOLE DRIVE  
ROCKWALL, TX 75032

RESIDENT  
335 RUSSELL DR  
ROCKWALL, TX 75032

ESPARZA ABEL AND MONICA CARMONA  
336 NICOLE DR  
ROCKWALL, TX 75032

MOLINA JAIME  
340 YVONNE DR  
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA  
352 WAYNE DR  
ROCKWALL, TX 75032

CARRENZA ALEJANDRO AND MARIA  
GUADALUPE  
382 PERCH RD  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SANCHEZ ARNULFO  
398 NICOLE DR  
ROCKWALL, TX 75032

SALAS MIGUEL ANGEL LEDEZMA AND  
YAJAIRA GUADALUPE GARCIA FERNANDEZ  
416 BASS RD  
ROCKWALL, TX 75032

CLEM MILFORD  
433 THISTLE DR  
GARLAND, TX 75043

GEMINI VL LLC &  
ROCKWALL LAKE PROP LLC  
5713 SECREST CT  
GOLDEN, CO 80403

GALICIA VANESSA  
5801 LAKE HUBBARD PKWY APT 103  
GARLAND, TX 75043

ACUNA NINFA  
703 T L TOWNSEND DR  
ROCKWALL, TX 75087

ESTRADA NOHEMA  
705 LAKESIDE DR  
ROCKWALL, TX 75032

ROCKWALL HOUSING DEV CORP  
A TEXAS NON-PROFIT CORP OF RW  
787 HAIL DR  
ROCKWALL, TX 75032

JUNFA USA, LLC  
910 MELISSA LN  
GARLAND, TX 75040

EMZ REAL ESTATE LLC  
9110 TAMPAS LANE  
DALLAS, TX 75227

M6 HOME LLC  
SEWDAT PERSAUD  
920 YOSEMITE TRAIL  
MESQUITE, TX 75149

HERNANDEZ FIDEL ESPINO  
9233 WHISKERS RD  
QUINLAN, TX 75474

BARRON GILDARDO  
P.O. BOX 2044  
ROCKWALL, TX 75087

GLEASON DIANE  
PO BOX 670041  
DALLAS, TX 75367

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-015: SUP for Residential Infill at 223 Russell Drive**

*Hold a public hearing to discuss and consider a request by Martha Balleza and Ana Quezada for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 1290 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 223 Russell Drive, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM — . . . . .

**Case No. Z2023-015: SUP for Residential Infill at 223 Russell Drive**

**Please place a check mark on the appropriate line below:**

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning

USE THIS QR CODE  
TO GO DIRECTLY  
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## **Case No. Z2023-015: SUP for Residential Infill at 223 Russell Drive**

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

**SHEPHERD PLACE HOMES, INC.**  
DBA ROBBIE HALE HOMES  
972-475-1100  
10527 CHURCH RD #201  
DALLAS, TX 75238-2224

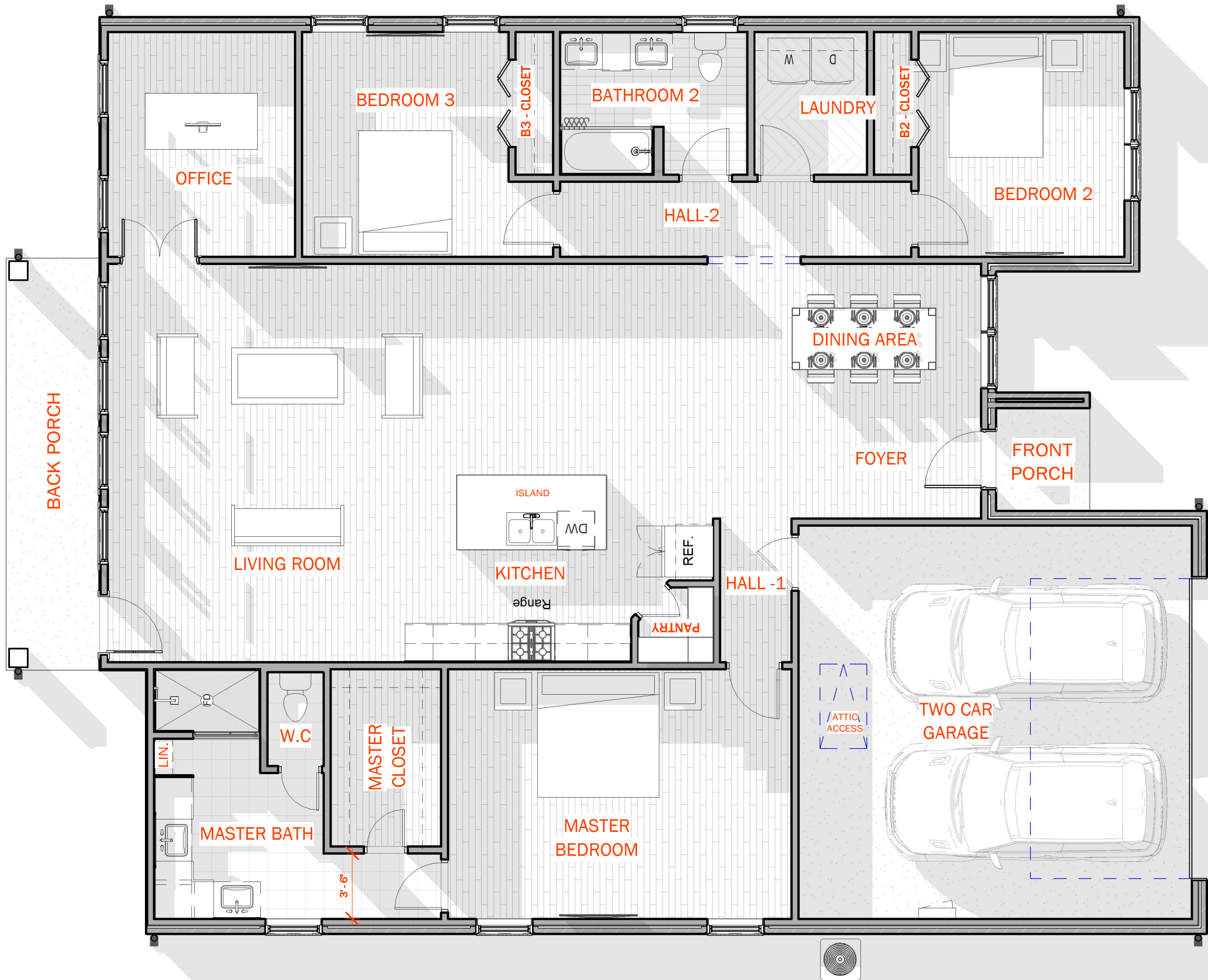
Name:

Address:

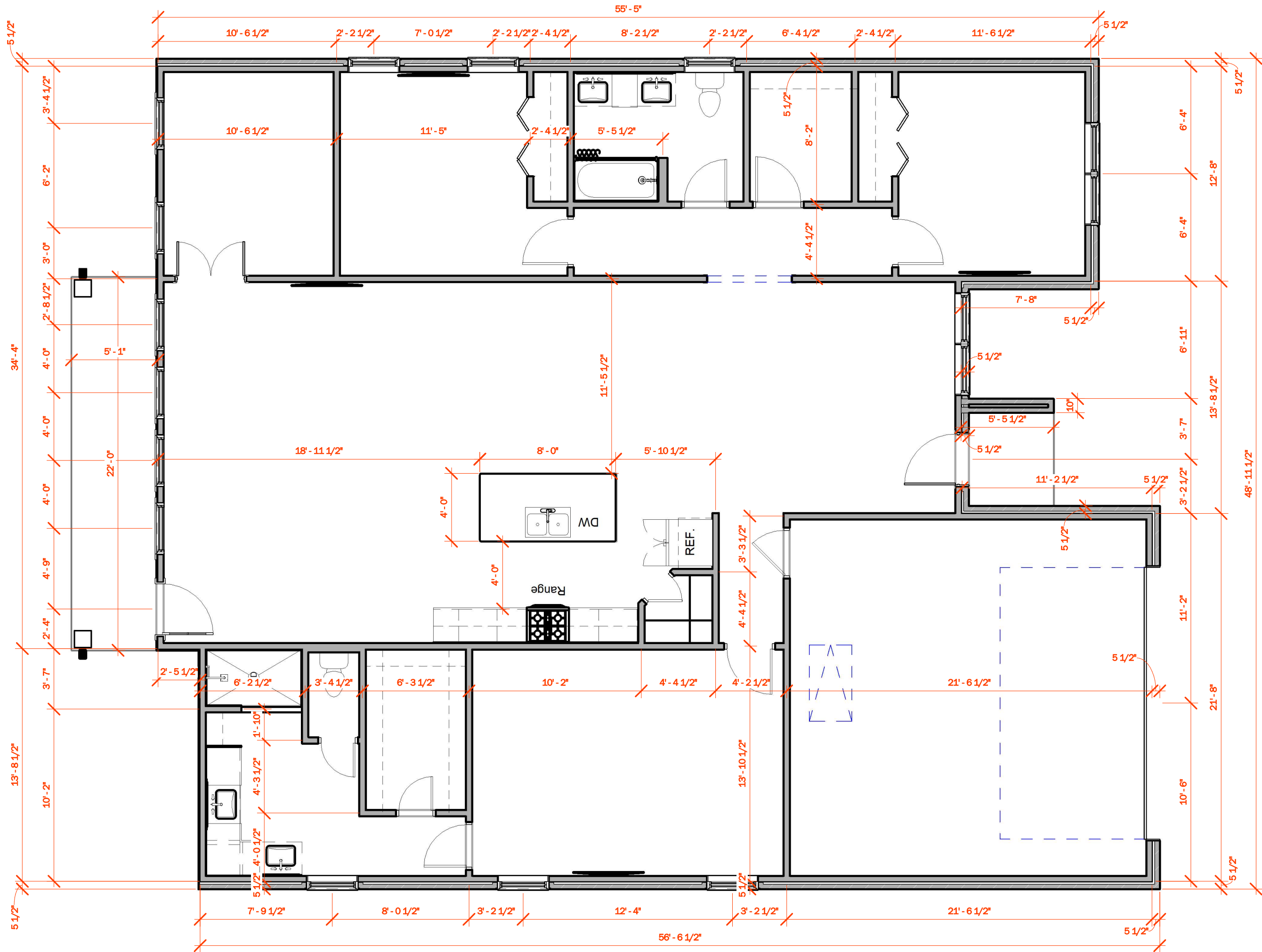
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





1 Level 1  
SCALE: 3/16" = 1'-0"



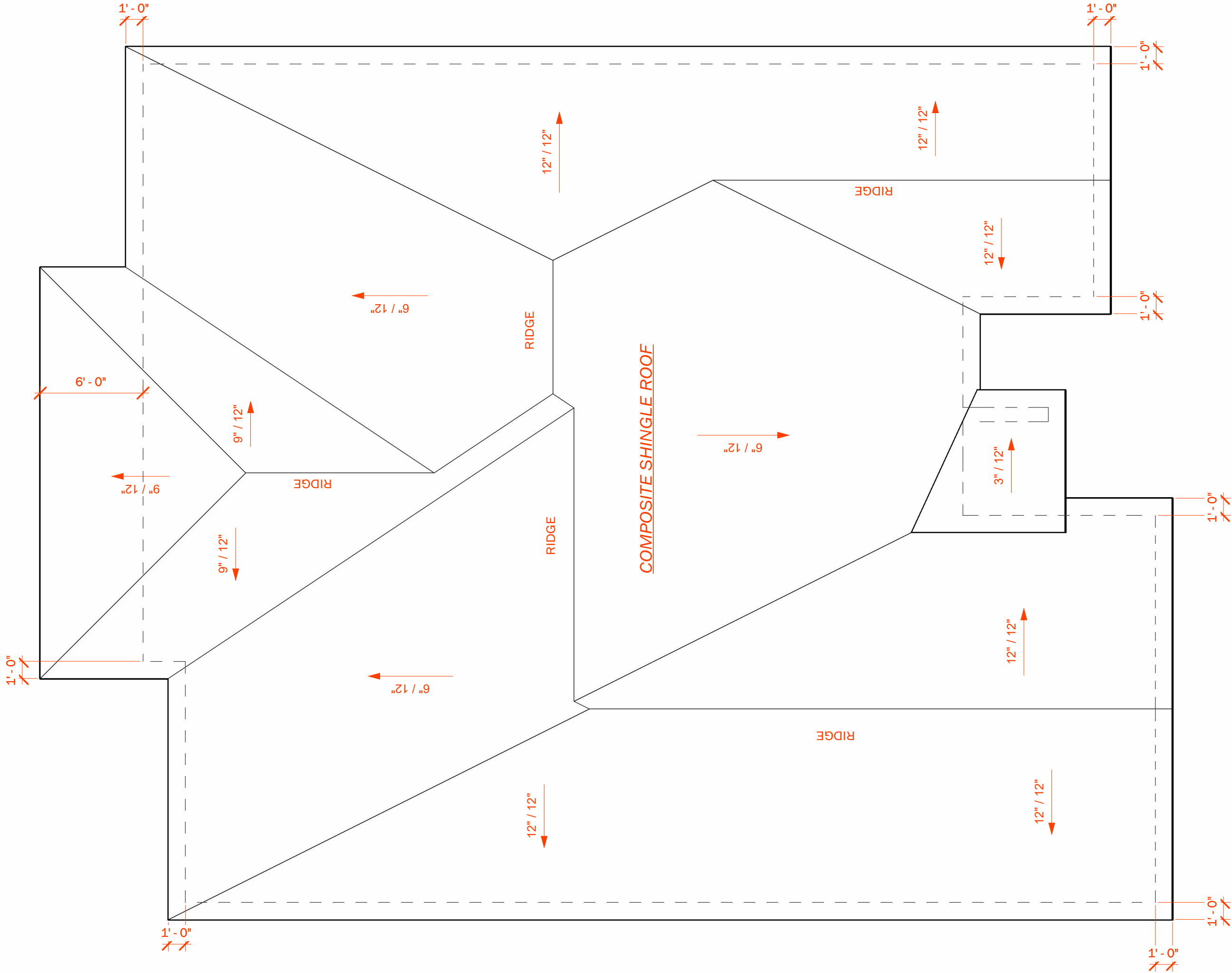
Level 1 Dimensions

1

SCALE: 3/16" = 1'-0"

Level 1  
Dimensions  
A101.2

NOT FOR CONSTRUCTION



223 Russell Dr

Project No. CSC - 10348

03-31-2023

Revisions

Notes

CHRISTIAN SERRANO  
DESIGN GROUP

(469)383-6084

WWW.CHRISTIANSERRANOCONSTRUCTION.COM

NAHB  
National Association  
of Home Builders

DallasBuilders  
Association

IBAC  
Texas  
Building Association

Scale 3/16" = 1'-0"

Roof Plan

A102

Drawn By KS

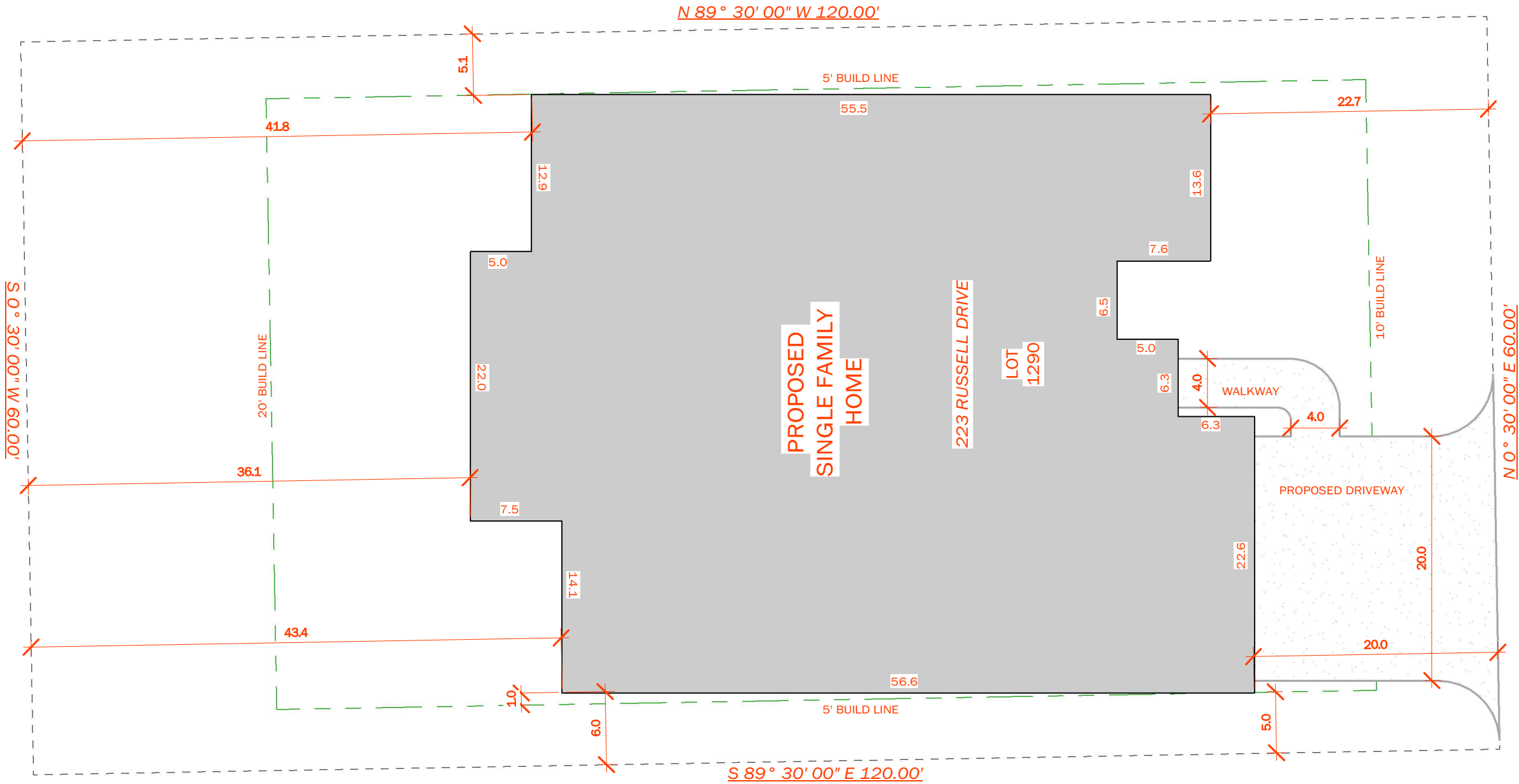
CHRISTIAN SERRANO  
DESIGN  
GROUP

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223 Russell Dr.  
Rockwall TX, 75032

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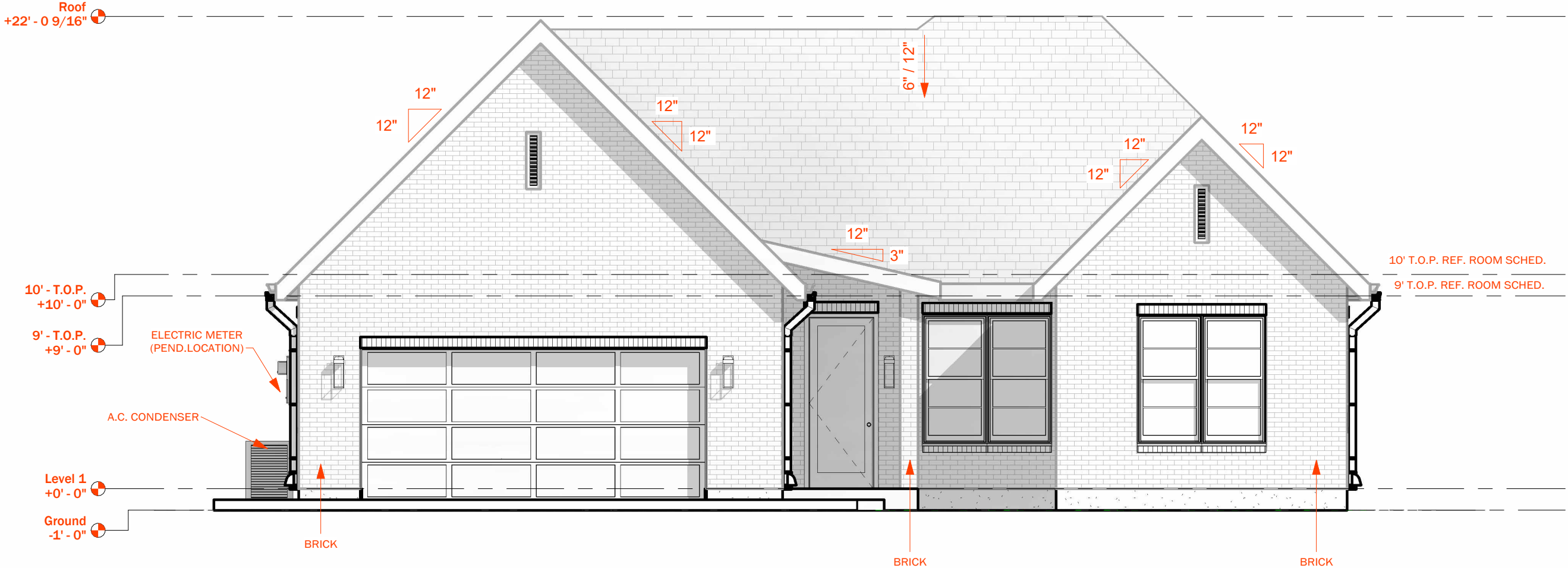
1 Site Plan  
SCALE: 1" = 10'-0"



1

Front Elevation

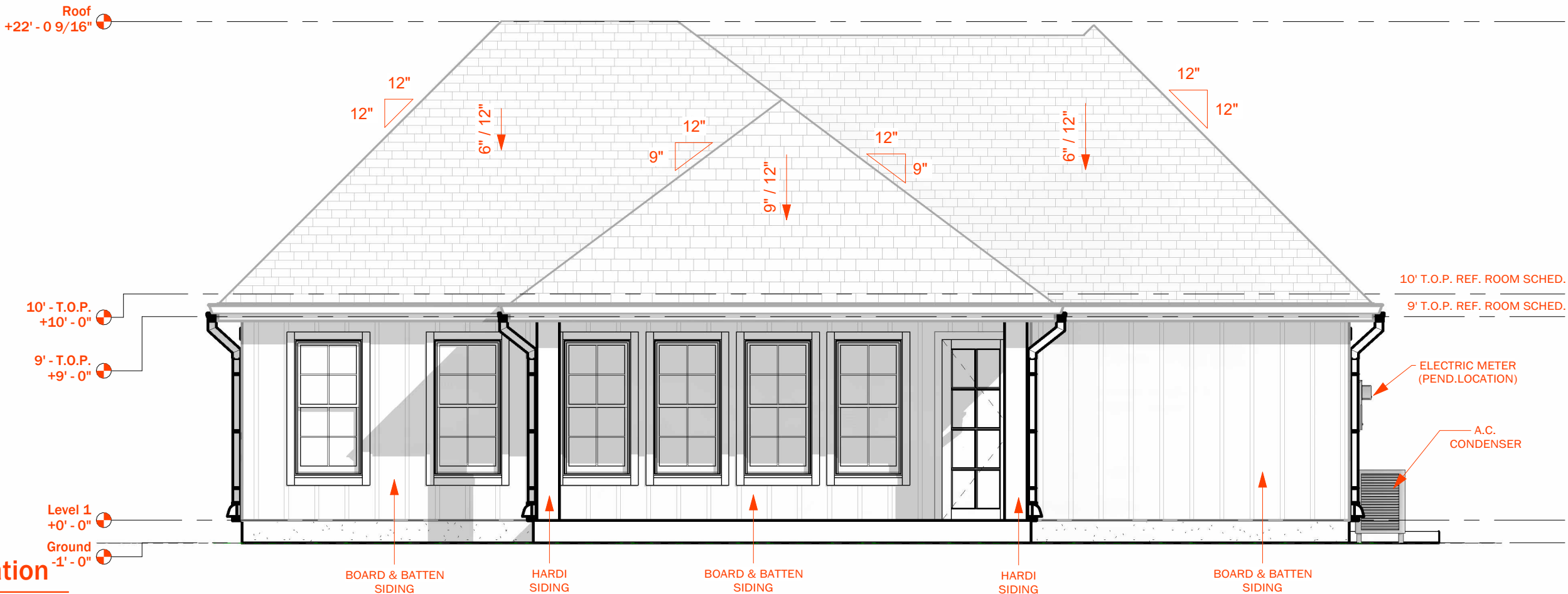
SCALE: 3/16" = 1'-0"



2

Back Elevation

SCALE: 3/16" = 1'-0"



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DESIGN  
GROUP

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223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032

Project No. CSC - 10348

03-31-2023

Revisions

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CHRISTIAN SERRANO  
DESIGN GROUP

(469) 383 - 6084

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DallasBuilders  
Association

NAHB  
National Association  
of Home Builders

Scale 3/16" = 1'-0"

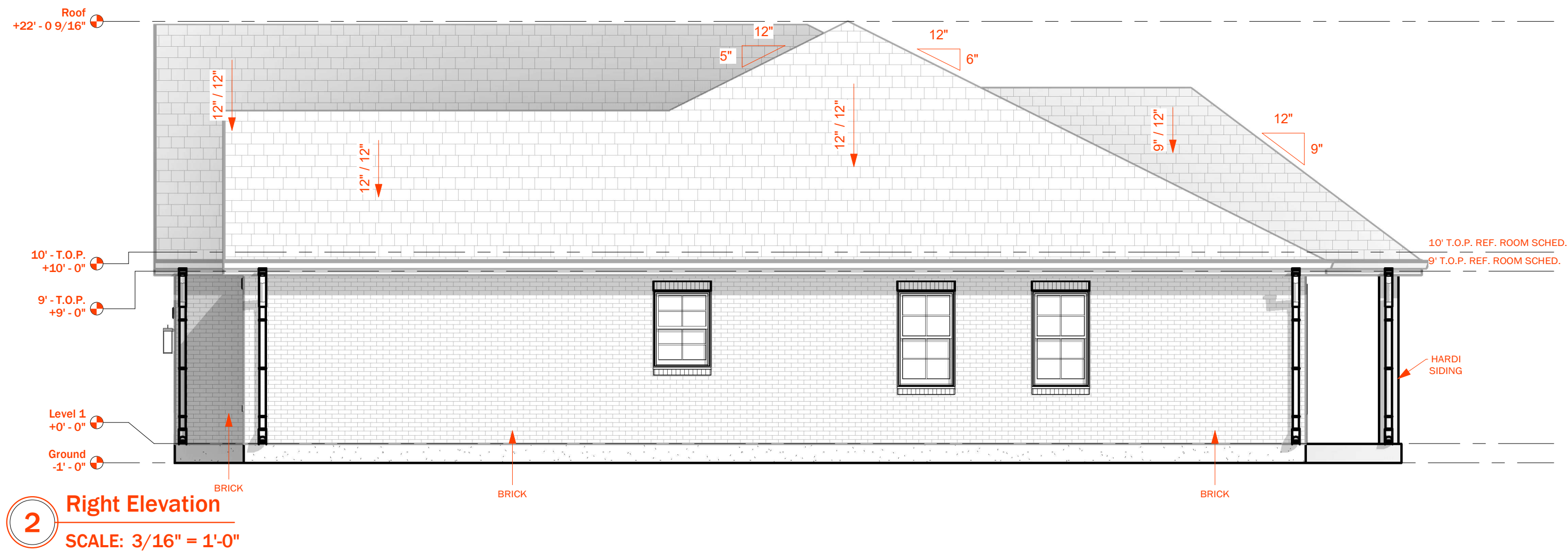
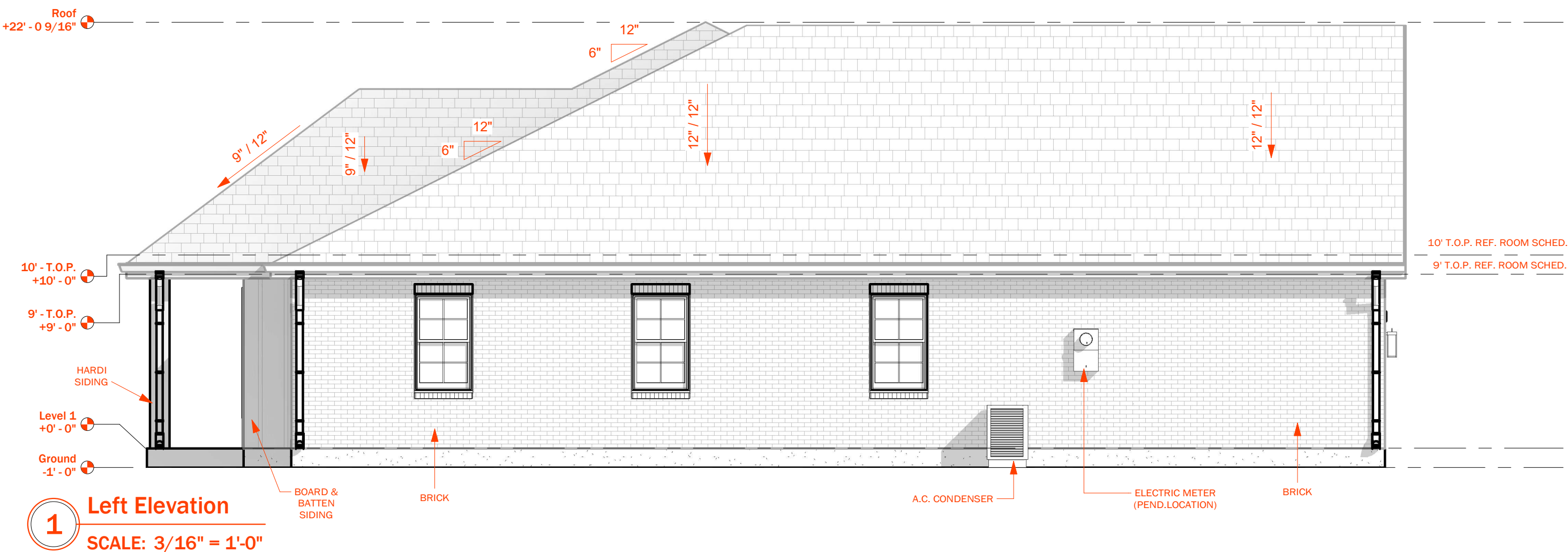
Front & Rear  
Elevations

A105.1

Drawn By

KS







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DESIGN  
GROUP

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Rockwall TX, 75032

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Project No. CSC - 10348

12-07-2022

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National Association  
of Home Builders

DallasBuilders  
ASSOCIATION

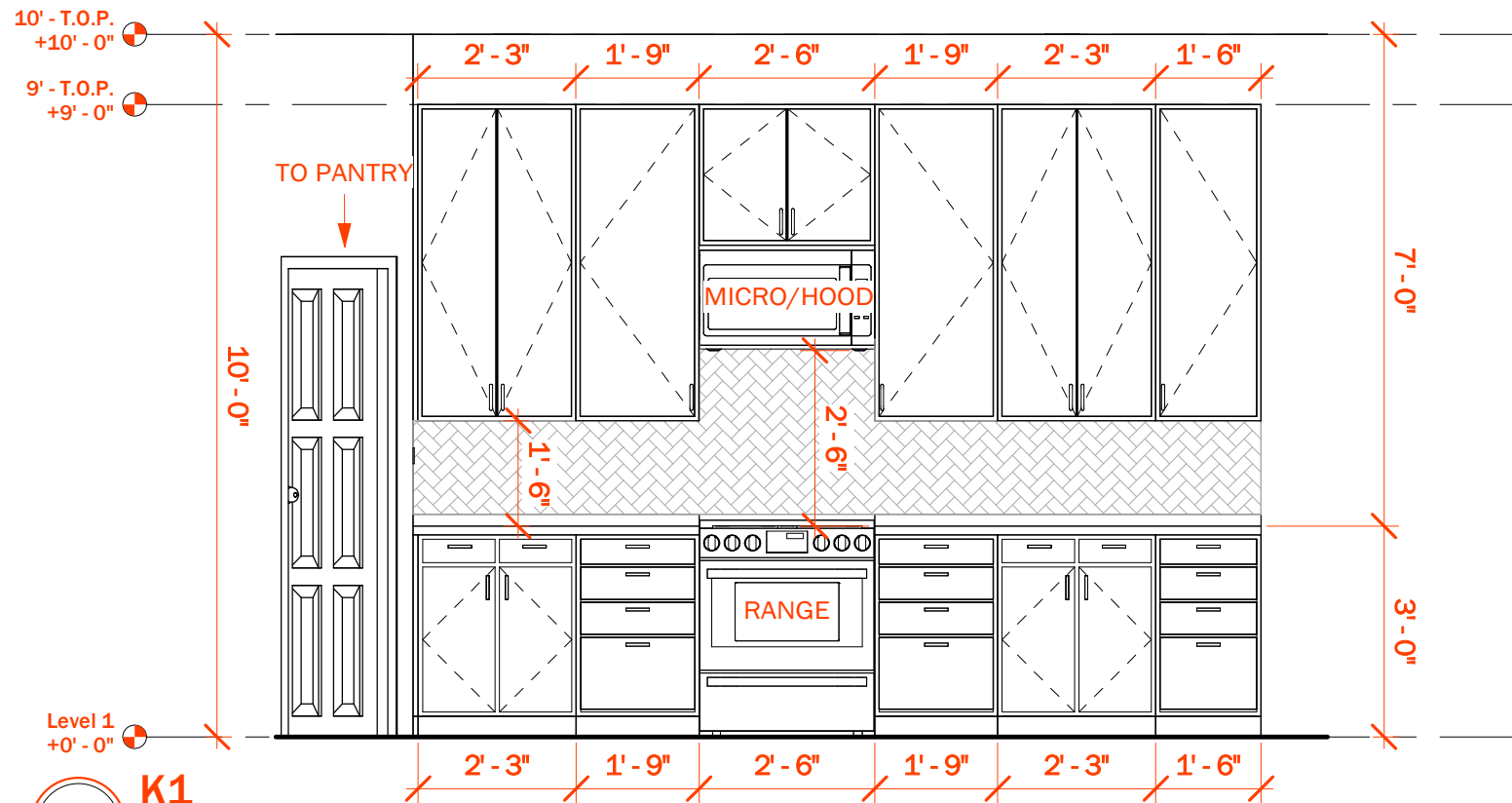
TEXAS  
BUILDERS  
INSTITUTE

Scale 3/16" = 1'-0"

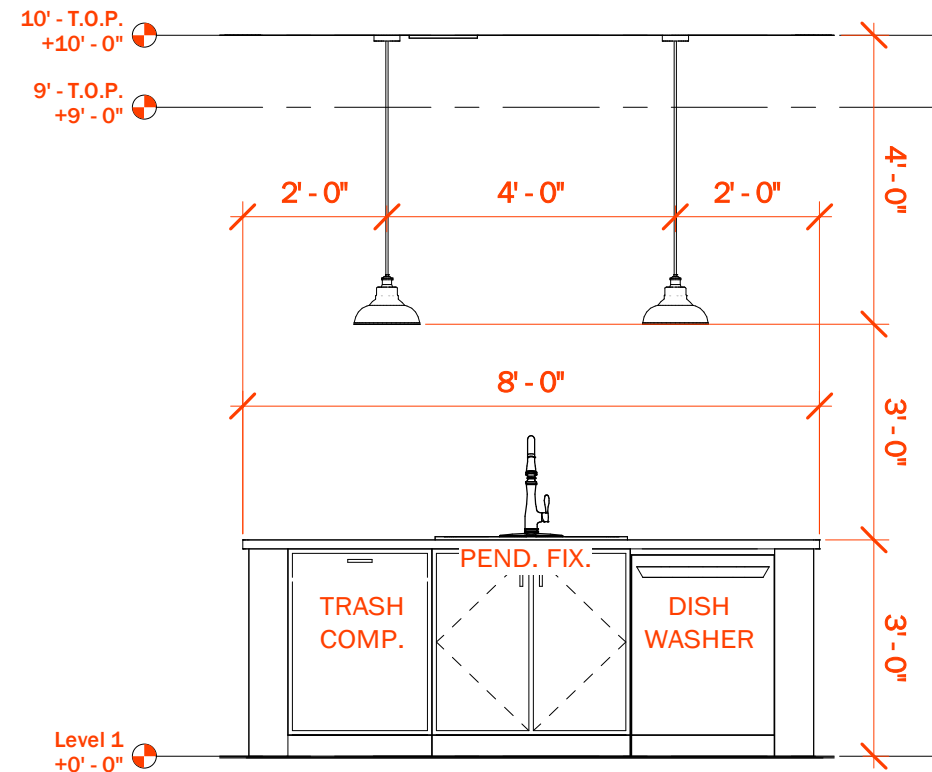
Left & Right  
Elevations

A105.2

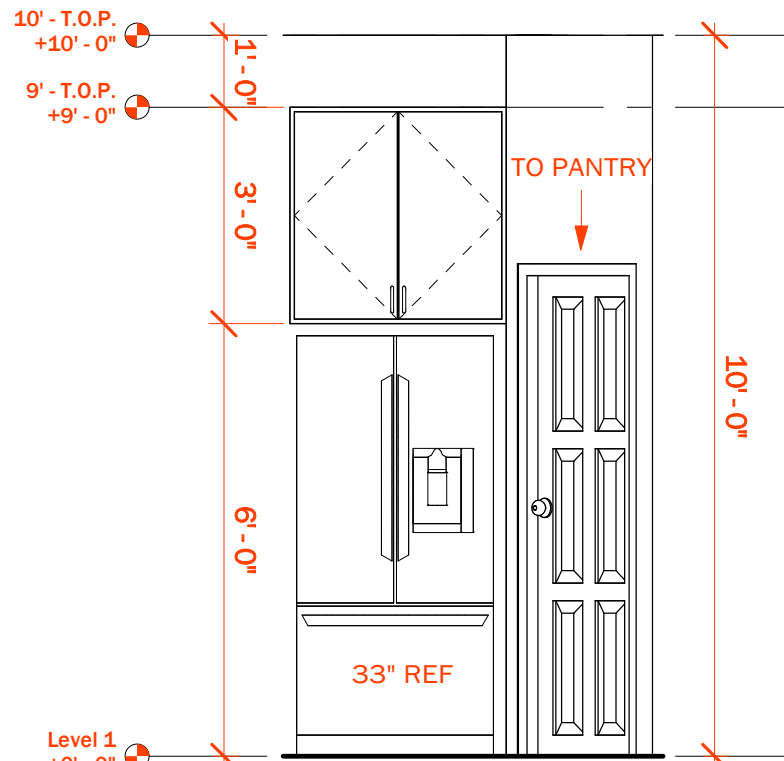
Drawn By KS



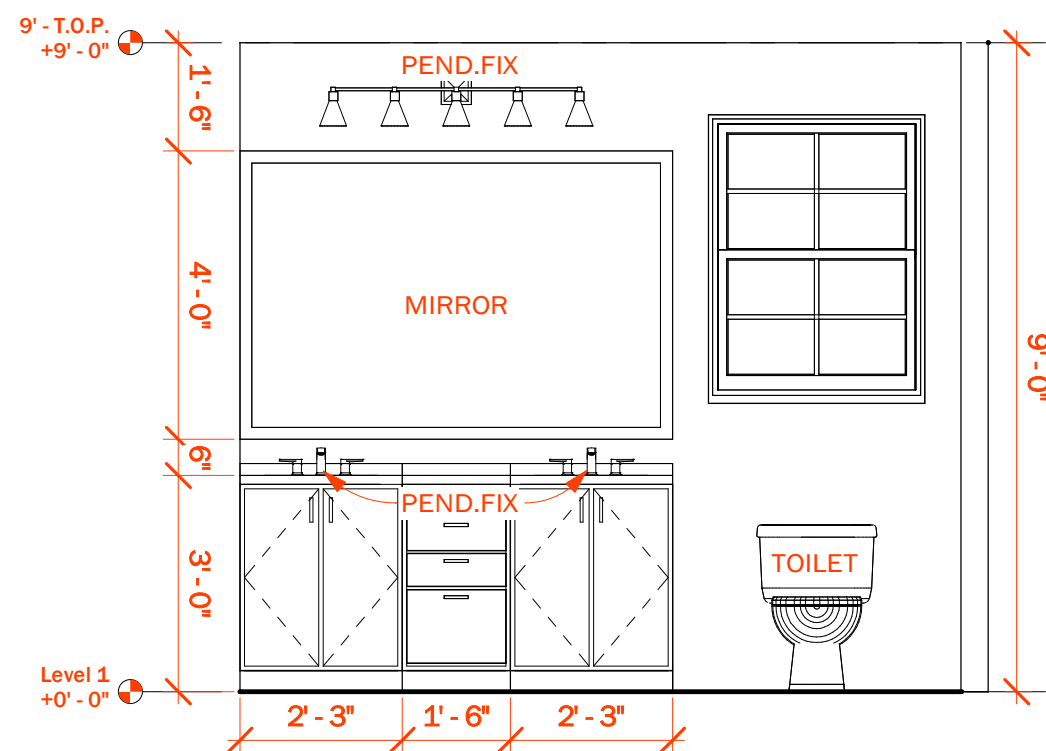
**1** K1  
SCALE: 3/8" = 1'-0"



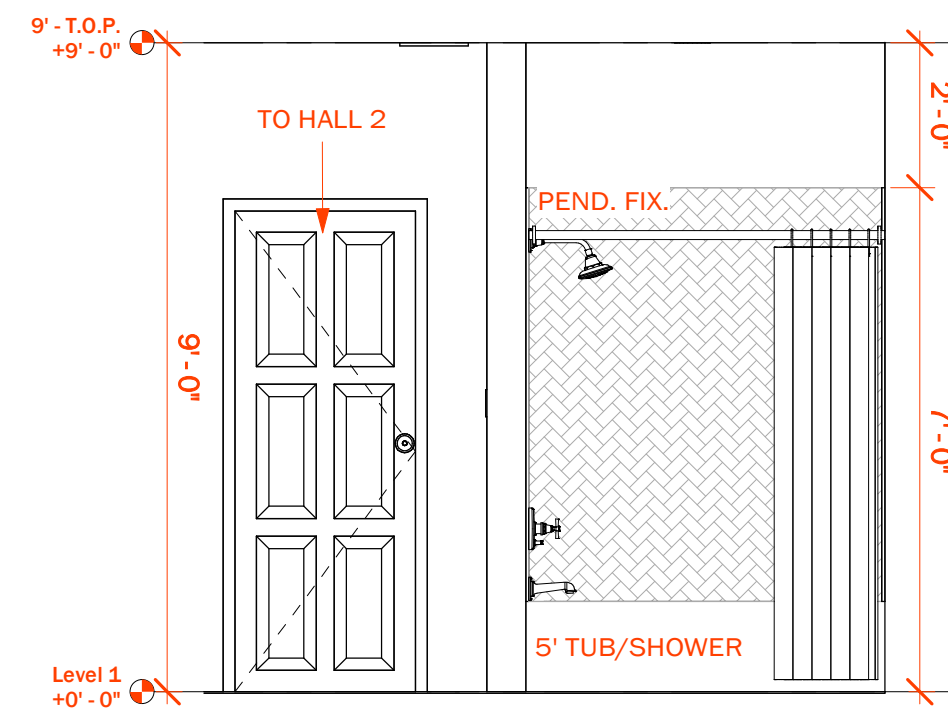
**2** K2  
SCALE: 3/8" = 1'-0"



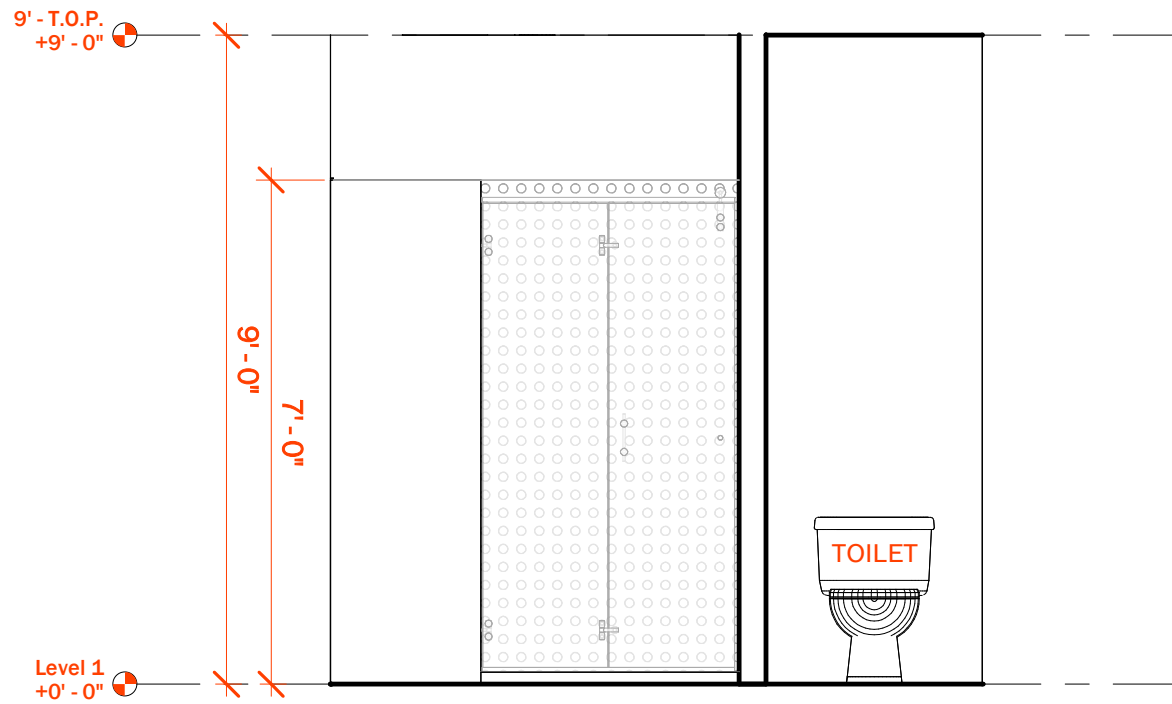
**3** K3  
SCALE: 3/8" = 1'-0"



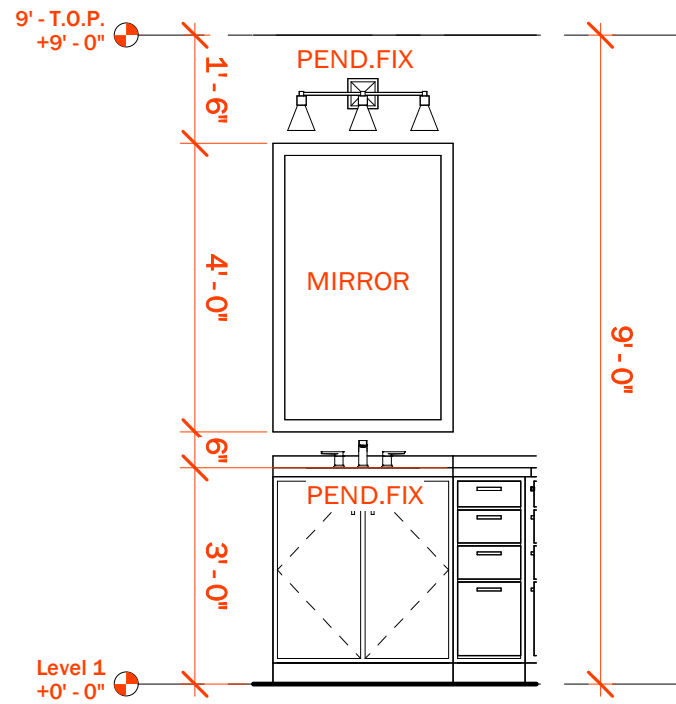
**4** B2-1  
SCALE: 3/8" = 1'-0"



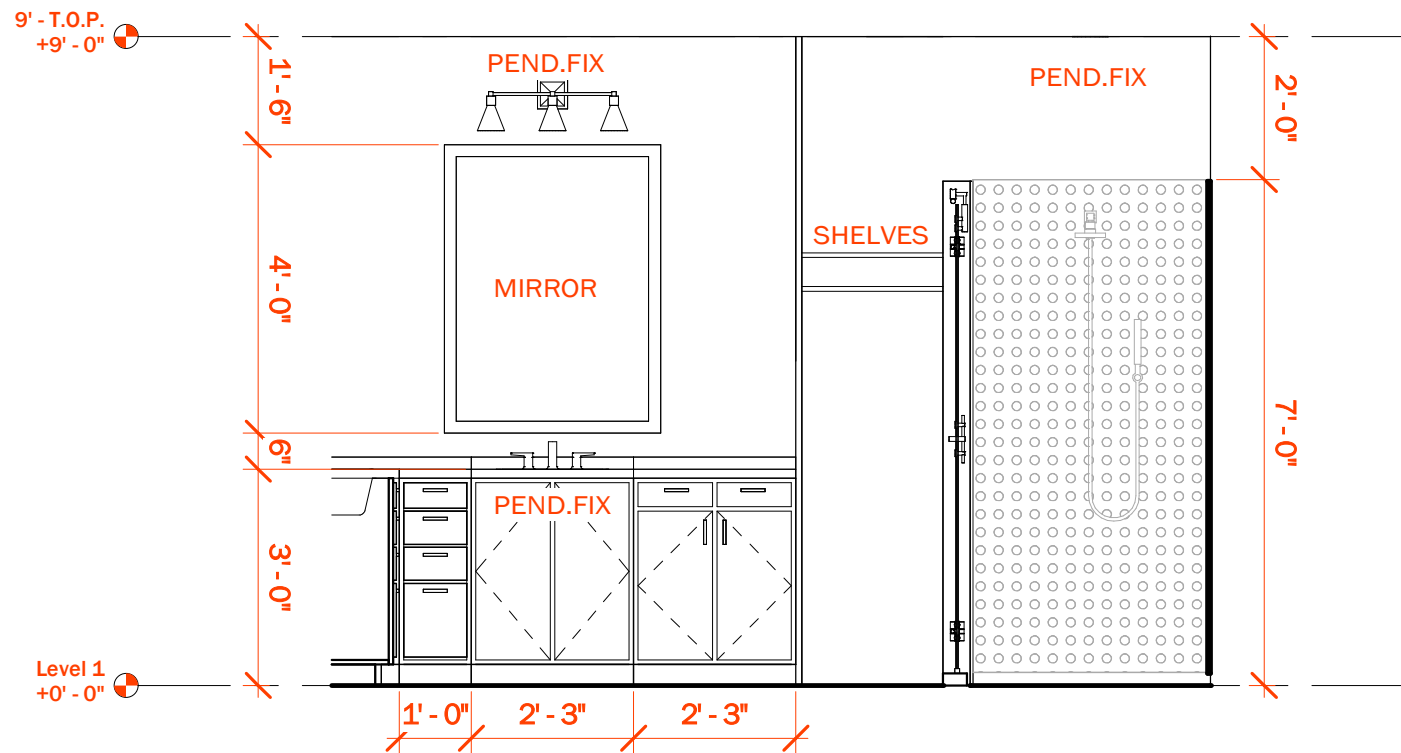
**5** B2-2  
SCALE: 3/8" = 1'-0"



1 MB 3  
SCALE: 3/8" = 1'-0"



2 MB 1  
SCALE: 3/8" = 1'-0"

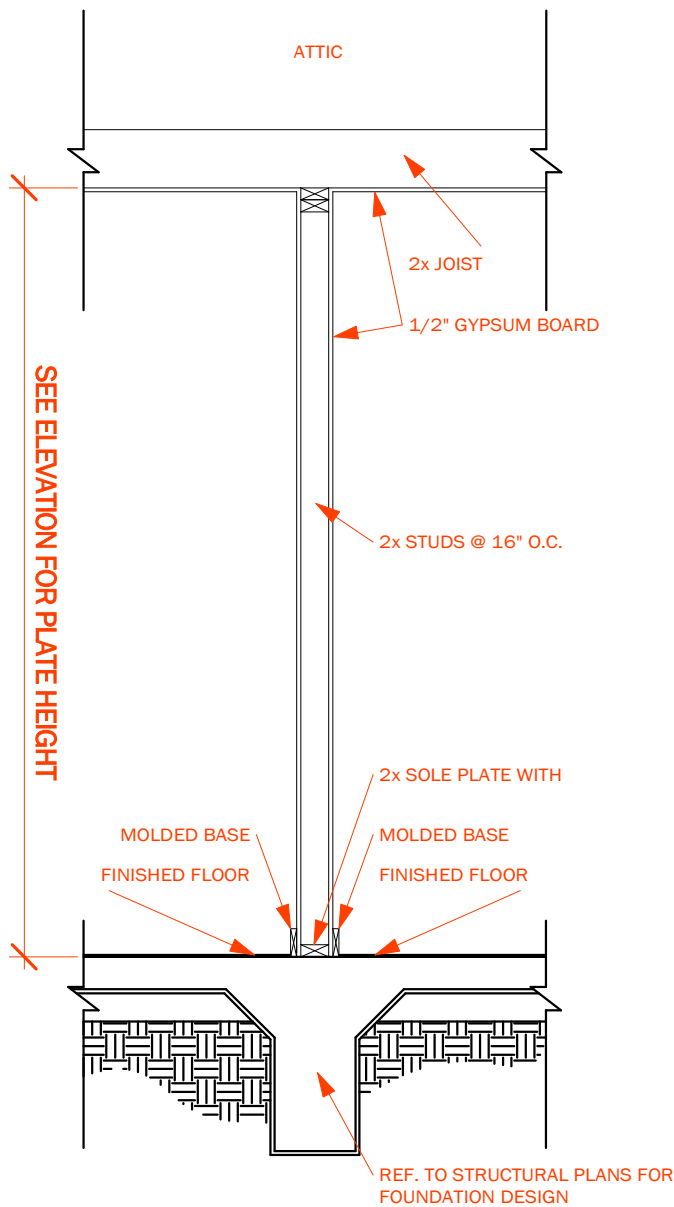


3 MB 2  
SCALE: 3/8" = 1'-0"



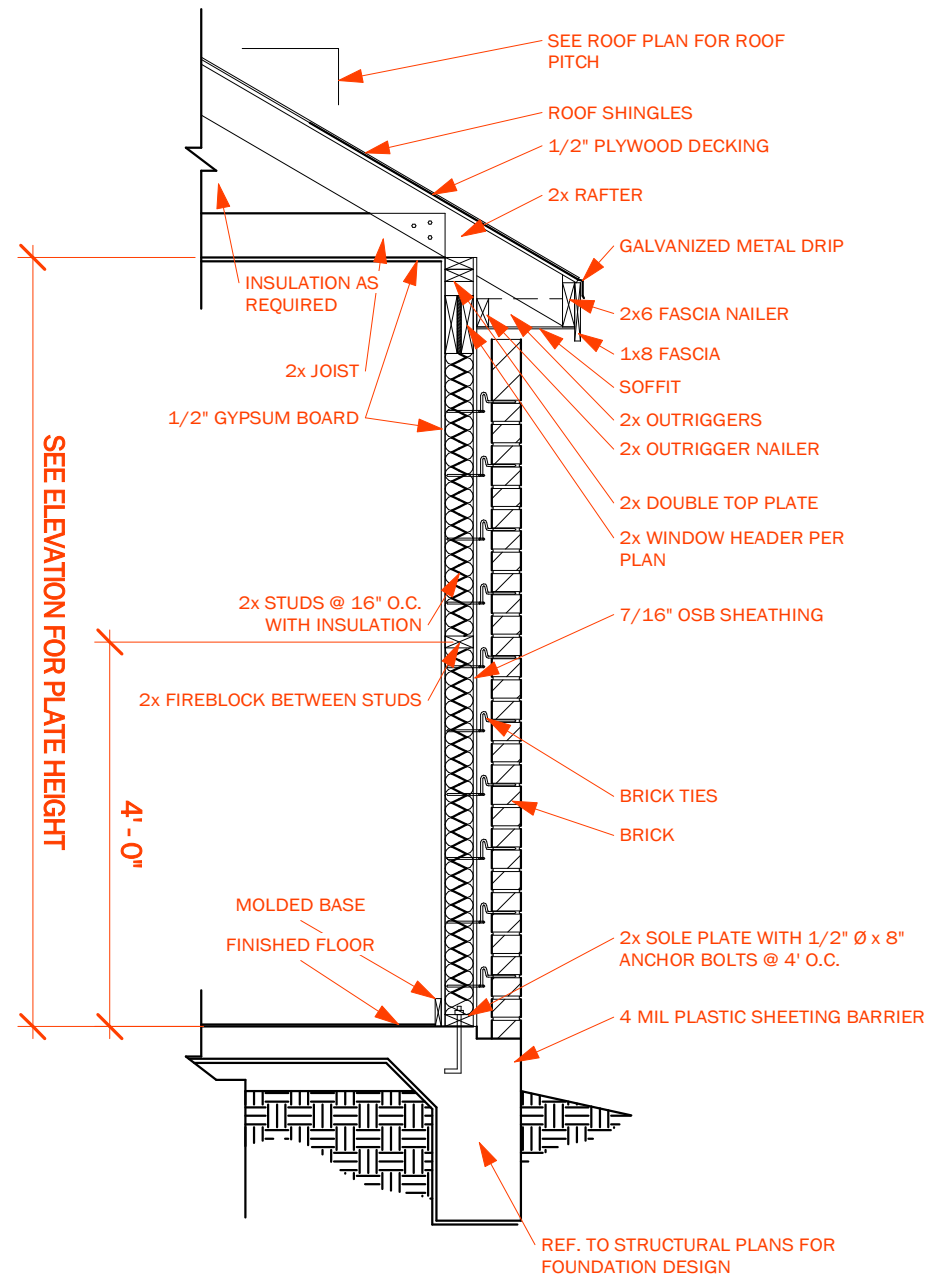
Door Schedule				
Type Mark	Count	Width	Height	Description
D1-1	1	3' - 0"	8' - 0"	EXTERIOR DOOR - SINGLE SWING - OWNER SELECT
D1-2	1	3' - 0"	8' - 0"	EXTERIOR DOOR - SINGLE SWING - OWNER SELECT
D1-3	1	16' - 0"	7' - 0"	GARAGE DOOR - OWNER SELECT
ID1-A	3	2' - 0"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID1-B	2	2' - 6"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID1-C	5	2' - 8"	6' - 8"	INTERIOR DOOR - SINGLE SWING - OWNER SELECT
ID4-A	1	4' - 0"	6' - 8"	INTERIOR DOUBLE DOOR - SINGLE SWING -OWNER SELECT
ID5-B	2	4' - 8"	6' - 8"	INTERIOR BIFOLDING DOOR - OWNER SELECT
O1-E	1	5' - 0"	8' - 0"	DOOR OPENING
O1-F	1	2' - 1 1/2"	4' - 6 1/2"	ATTIC ACCESS DOOR - OWNER SELECT

Window Schedule								
Type Mark	Count	Width	Height	Description	Head Height	ExteriorFinish Color	Interior Finish Color	Grids
W1-1	2	6' - 0"	6' - 0"	DOUBLE - SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-2	6	3' - 0"	6' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-3	5	3' - 0"	5' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W1-4	1	3' - 0"	4' - 0"	SINGLE HUNG WINDOW - OWNER SELECT	8' - 0"	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes
W5-F	2	0' - 8"	2' - 8"	LOUVER - OWNER SELECT	<varies>	T.B.D. BY OWNER	T.B.D. BY OWNER	Yes



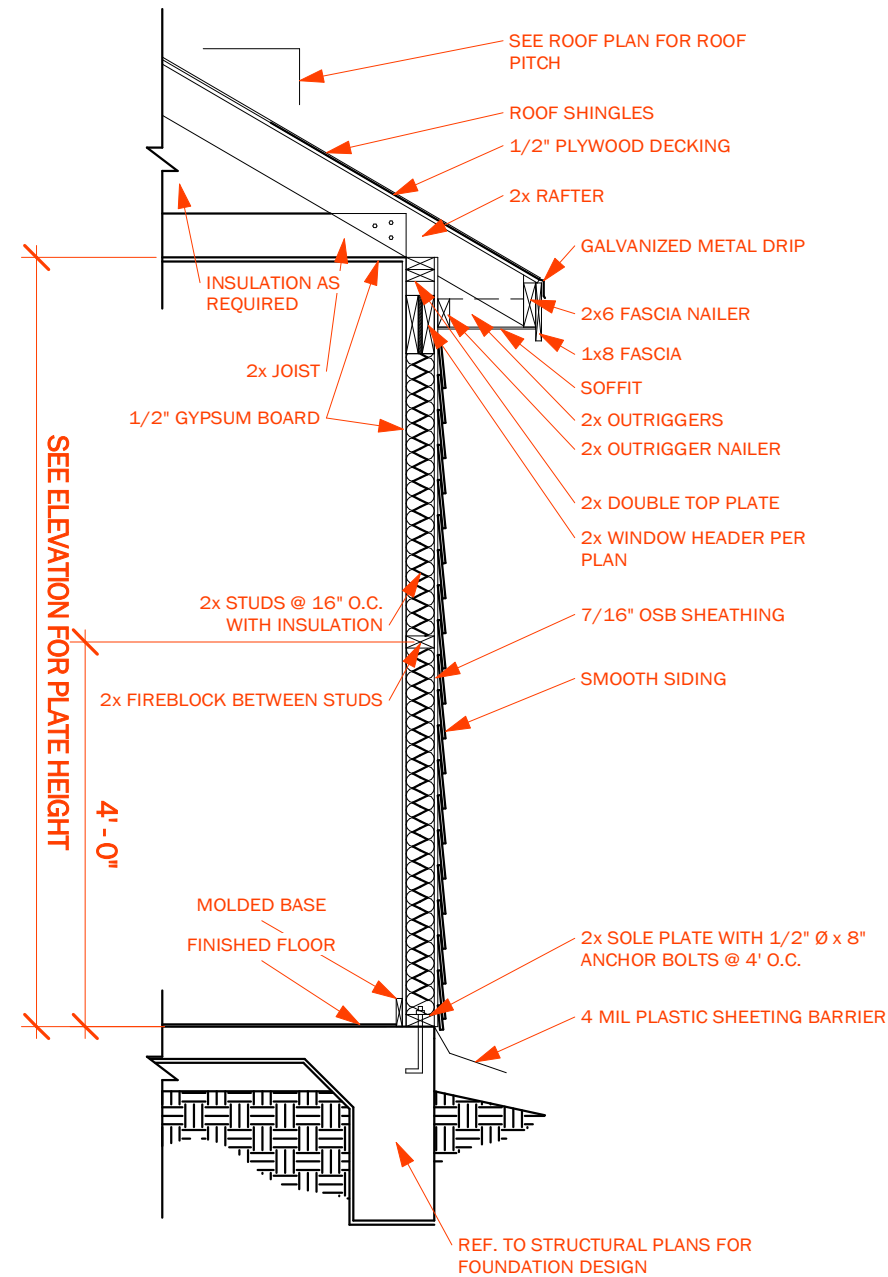
**1** Typical Wall Details - Interior

SCALE: 1/2" = 1'-0"



**2** Typical Wall Details -Brick

SCALE: 1/2" = 1'-0"



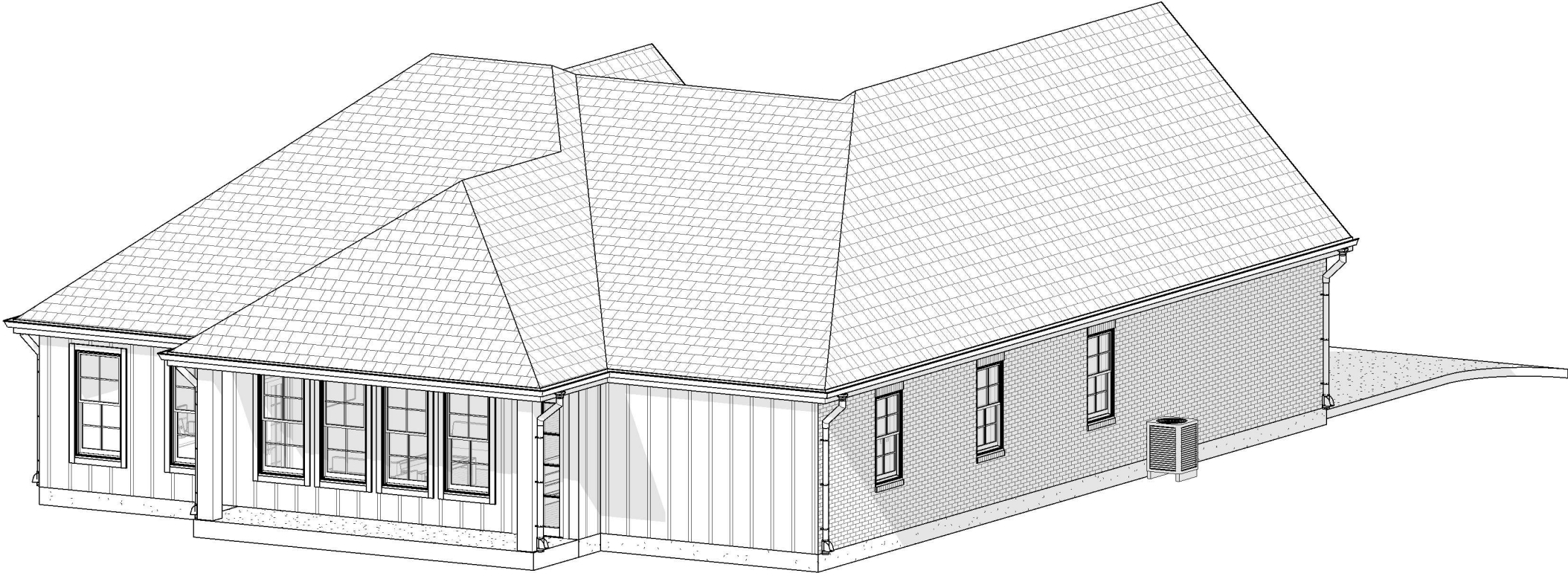
**3** Typical Wall Details -Siding

SCALE: 1/2" = 1'-0"



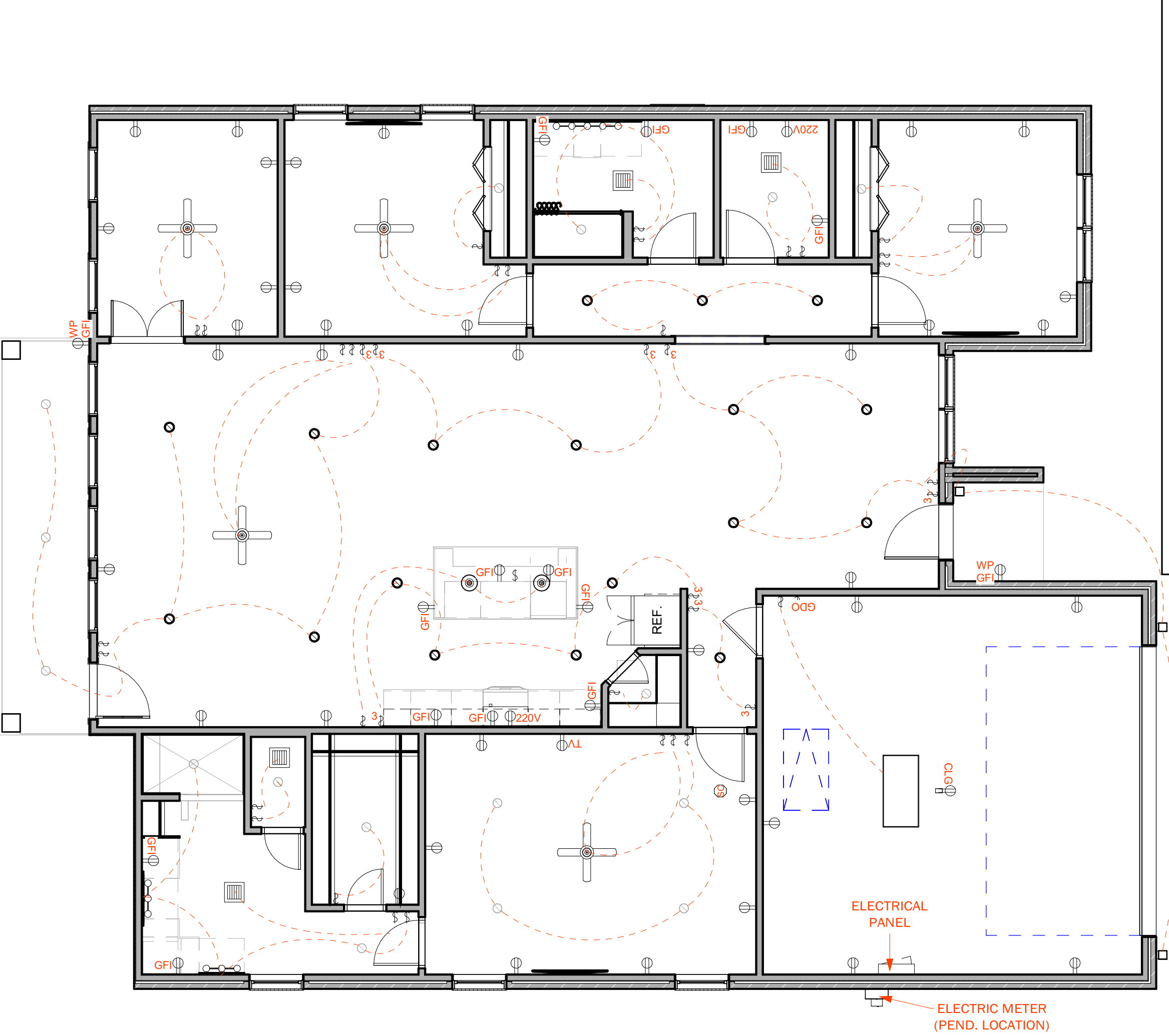


**1** 3D View - 1  
SCALE:



**2** 3D View - 2  
SCALE:





	-2' X 4' LINEAR BOX		-SINGLE DUPLEX OUTLET
	-CEILING FAN W/LIGHT KIT		-GFI DUPLEX OUTLET
	-CHANDELIER		-WEATHERPROOF GFI DUPLEX OUTLET
	-EXHAUST FAN		-CEILING DUPLEX OUTLET
	-RECESSED CAN LIGHT		-FLOOR DUPLEX OUTLET
	-EXTERIOR WALL LIGHT		-TOP OF COUNTER DUPLEX OUTLET
	-EXTERIOR GOOSENECK LIGHT		-TV DUPLEX OUTLET
	-EMERGENCY/FLOOD LIGHT		-SPRINKLER OUTLET
	-EXTERIOR SPOT LIGHT		-220 VOLT DUPLEX OUTLET
	-PENDANT LIGHT		-SINGLE WALL SWITCH
	-SINGLE BULB VANITY LIGHT		-3 WAY WALL SWITCH
	-3 BULB VANITY LIGHT FIXTURE		-DIMMER WALL SWITCH
	-5 BULB VANITY LIGHT FIXTURE		-GARAGE DOOR WALL SWITCH
	-SIDE VANITY LIGHT		-SMOKE/CO2 DETECTOR
	-ELECTRIC METER		-THERMOSTAT
	-ELECTRIC PANEL		-INTERNET/TELEPHONE JACK

**1** Level 1 Electrical Plan  
SCALE: 3/16" = 1'-0"

ELECTRICAL  
PANEL

ELECTRIC METER  
(PEND. LOCATION)



CHRISTIAN SERRANO  
DESIGN  
GROUP

223 Russell Dr  
Rockwall TX, 75032

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Project No. CSC - 10348

12-07-2022

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Notes

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DESIGN GROUP  
(469) 383-6084  
WWW.CHRISTIANSERRANOCONSTRUCTION.COM



Scale As indicated

Level 1 Electrical  
Plan  
E101.1

Drawn By K5

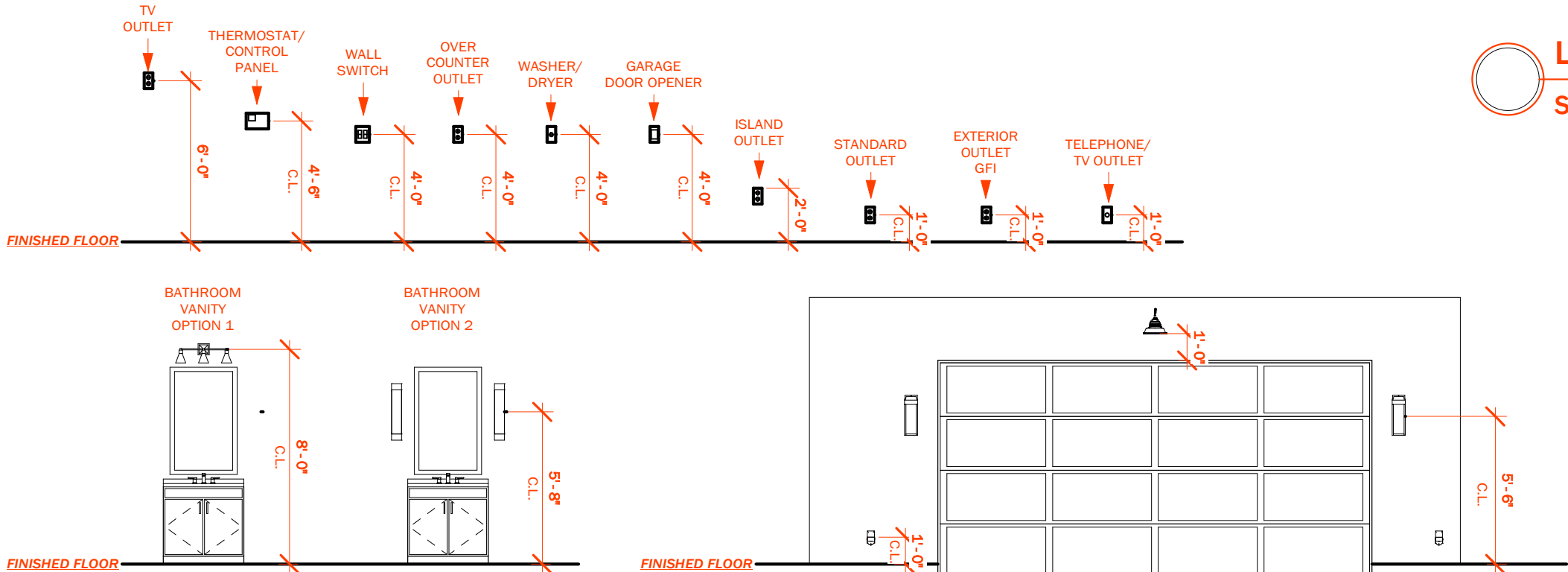
ELECTRICAL SPECIFICATIONS

1. ALL TELEPHONE LINES ARE TO BE CONCEALED & OUTLETS RECESSED. ALL TELEPHONE SERVICE TO BE CAPABLE OF CARRYING LINES IN MAIN HOUSE.
2. INSTALL SWITCHES 48" ABOVE FLOOR HEIGHT, INSTALL RECEPTACLE OUTLETS, CABLE, AND TELEPHONE 18" ABOVE FLOOR HEIGHT. INSTALL SWITCHES LOCATED IN BATHROOM 42" ABOVE FLOOR HEIGHT.
3. SWITCHES, OUTLETS, AND COVER PLATES ARE TO BE WHITE. INSTALL DIMMERS AS SHOWN.
4. ALL DIMMERS ARE TO BE TOGGLE TYPE. ALL OUTLETS ARE TO BE RECESSED. ALL WIRING TO BE CONCEALED.
5. ALL SMOKE DETECTORS TO BE NEW & BATTERY OPERATED.
6. VERIFY FIXTURE AND OUTLET LOCATIONS WITH OWNER PRIOR TO RUNNING ELECTRICAL FEEDS.
7. VERIFY OVERHEAD GARAGE DOOR OPENER SPECIFICATIONS AND SELECTION WITH OWNER.

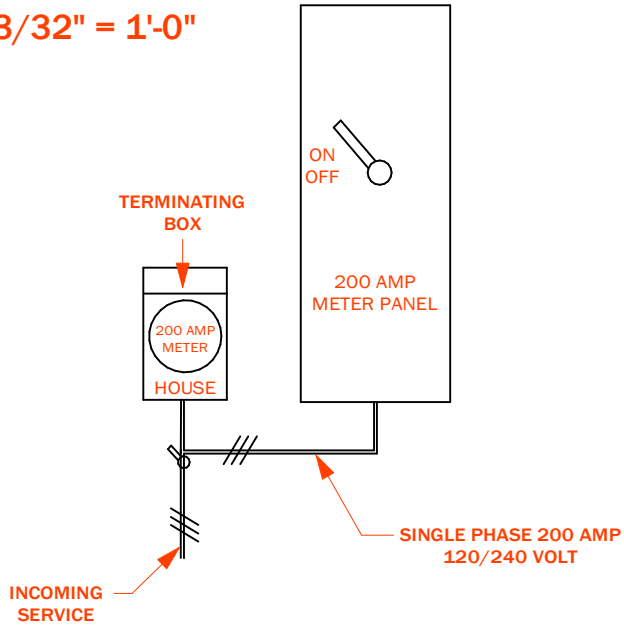
LIGHTING AND POWER GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
2. THE PROVISION OF THE CODE SHALL APPLY TO THE ERECTION, INSTALLATION, ALTERATION, REPAIRS, HEALTH, PROPERTY,& PUBLIC WELFARE REGULATING, AND CONTROLLING THE DESIGN, CONSTRUCTION, INSTALLATION, QUALITY OF MATERIALS, LOCATION, OPERATION, & MAINTENANCE OR USE OF ELECTRICAL EQUIPMENT & SYSTEMS.
3. CONTRACTOR SHALL VERIFY ALL CEILING TYPES & COORDINATE TRIMS PRIOR TO PURCHASE OF LIGHTING FIXTURES. FURNISH ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET JOB REQUIREMENTS. LECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FIXTURES ARRIVING ON SITE WITH INCORRECT MOUNTING.
4. COORDINATE ALL LIGHTING TYPES AND LOCATIONS WITH DESIGNER AND OWNER PRIOR TO INSTALLATION. MOUNTING HEIGHTS OF ALL WALL MOUNTED & PENDANT MOUNTED LIGHTING FIXTURES SHALL BE DETERMINED BY DESIGNER. REFER TO ARCHITECTURAL SECTIONS & ELEVATIONS.
5. LOCATION & GROUPING ARRANGEMENT/ORIENTATION OF ALL SWITCHES SHALL BE COORDINATED WITH THE DESIGNER PRIOR TO INSTALLATION.
6. COORDINATE LOCATION OF ALL LIGHTING FIXTURES WITH THE MECHANICAL & PLUMBING PRIOR TO ELECTRICAL ROUGH-IN.
7. FINAL INSPECTION SHALL BE MADE AFTER THE WORK IS COMPLETE, ALL ELECTRICAL FIXTURES WILL BE INSPECTED TO VERIFY CORRECT PLACEMENT, CONNECTION. AND IF STRUCTURE IS READY FOR OCCUPANCY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING OF SUCH INSPECTION.
8. SMOKE DETECTOR DEVICE TO BE SELECTED BY OWNER. LOCATIONS SHOWN ARE PRELIMINARY-COORDINATE FINAL LOCATIONS WITH FIRE MARSHALL.
9. CARBON MONOXIDE DEVICE TO BE SELECTED BY OWNER.
10. COORDINATE TELEPHONE, CABLE, FIBER OPTIC, WIFI, DATA, SPEAKER LOCATIONS, AND SECURITY ALARM WITH AUDIO VISUAL/TECHNOLOGY CONTRACTOR AND DESIGNER..
11. ALL LIGHTING LOCATED IN DAMP OR WET LOCATIONS TO BE RATED FOR SUCH.
12. LIGHTING IN SHOWER STALLS TO BE VAPOR TIGHT FIXTURES.
13. LIGHTING IN SMALL CLOSET TO HAVE DOOR ACTIVATED SWITCH.
14. COORDINATE LOCATION OF MAIN AND SUB ELECTRICAL PANELS WITH DESIGNER AND OWNER.
15. COORDINATE POWER FOR ALL FIXTURES.
16. COORDINATE ADDITIONAL POWER REQUIREMENTS FOR EQUIPMENT, LIGHTING, AND INTERIOR SPEAKERS.
17. INDICATES FIXTURE SHALL BE CONNECTED TO "CONSTANT-ON" EMERGENCY (LIFE-SAFETY) CIRCUIT, PROVIDE "LOCK-ON" EMERGENCY BREAKER AT PANELBOARD.
18. CUTTING OF FLOORS, WALLS, & CEILINGS SHALL BE REQUIRED FOR THE INSTALLATION OF PIPES, CONDUITS, DUCTS, WIRING, SLEEVES, & SEAL AS REQUIRED BY THE DESIGNER.

	-2' X 4' LINEAR BOX		-SINGLE DUPLEX OUTLET
	-CEILING FAN W/LIGHT KIT		-GFCI DUPLEX OUTLET
	-CHANDELIER		-WEATHERPROOF GFCI DUPLEX OUTLET
	-EXHAUST FAN		-CEILING DUPLEX OUTLET
	-RECESSED CAN LIGHT		-FLOOR DUPLEX OUTLET
	-EXTERIOR WALL LUGHT		-TOP OF COUNTER DUPLEX OUTLET
	-EXTERIOR GOOSENECK LIGHT		-TV DUPLEX OUTLET
	-EMERGENCY/FLOOD LIGHT		-SPRINKLER OUTLET
	-EXTERIOR SPOT LIGHT		-220 VOLT DUPLEX OUTLET
	-PENDANT LIGHT		-SINGLE WALL SWITCH
	-SINGLE BULB VANITY LIGHT		-3 WAY WALL SWITCH
	-3 BULB VANITY LIGHT FIXTURE		-DIMMER WALL SWITCH
	-5 BULB VANITY LIGHT FIXTURE		-GARAGE DOOR WALL SWITCH
	-SIDE VANITY LIGHT		-SMOKE/CO2 DETECTOR
	-ELECTRIC METER		-THERMOSTAT
	-ELECTRIC PANEL		-INTERNET/TELEPHONE JACK

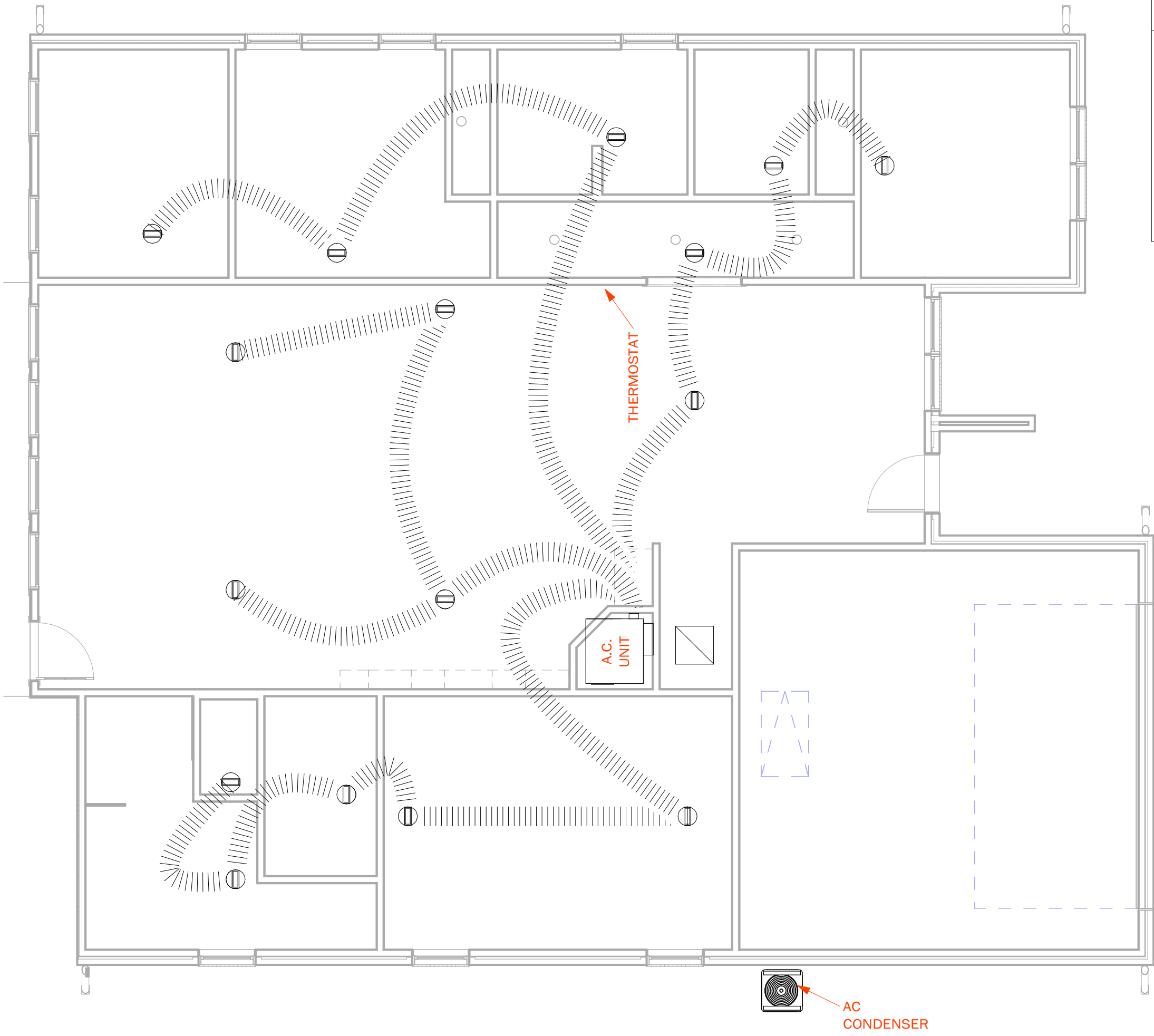





Lighting Fixtures Legend  
SCALE: 3/32" = 1'-0"



Power Riser Details  
SCALE: 3/16" = 1'-0"

Electrical Devise Heights  
SCALE: 3/16" = 1'-0"



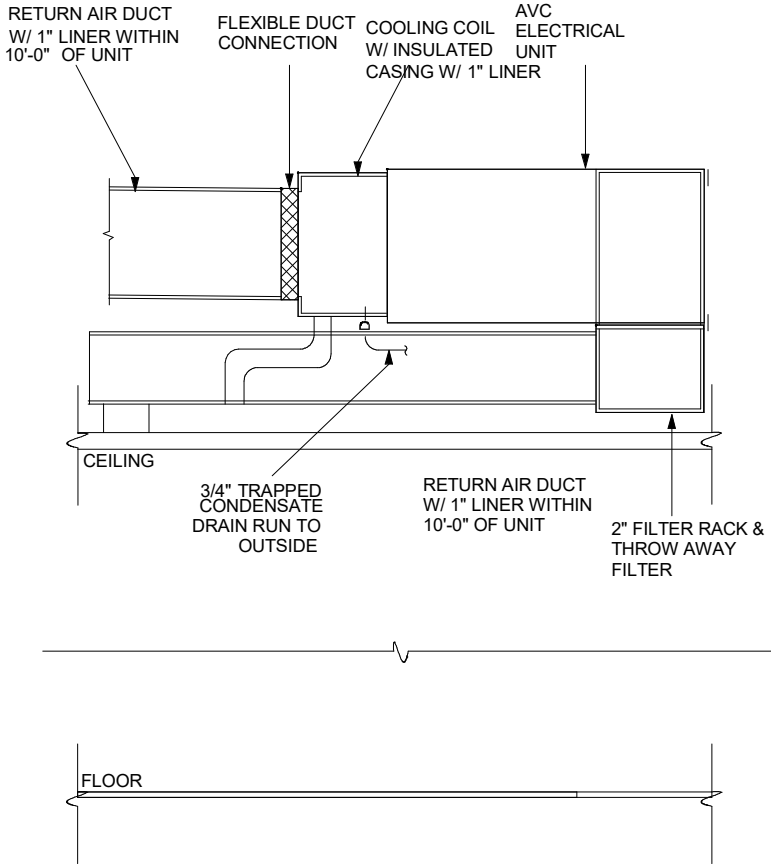
LEGEND	
	VENTS
	FLEXIBLE DUCT
	RETURN

**1** Level 1 HVAC Plan  
SCALE: 3/16" = 1'-0"

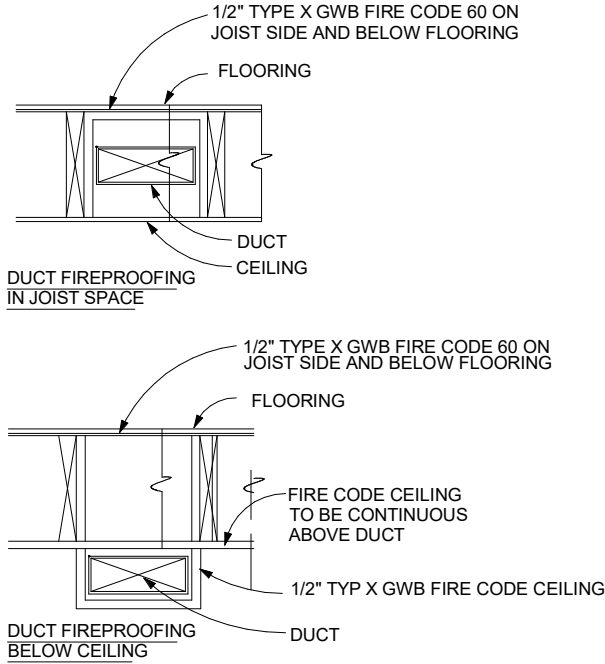


MECHANICAL GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODES.
2. FURNISH ALL LABOR, MATERIALS, FIXTURES, EQUIPMENT, & SERVICES NECESSARY FOR THE INSTALLATION OF A COMPLETE & FUNCTIONAL H.V.A.C SYSTEM, PLUMBING SYSTEM, & ELECTRICAL SYSTEM
3. CONTRACTOR SHALL APPLY & PAY FOR ALL PERMITS & CONNECTION FEES REQUIRED FOR WORK.
4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE WORK TO BE DONE & SHALL EXAMINE SITE & CONSIDER THE CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE IN THE PERFORMANCE OF THE CONTRACTED WORK. NO ALLOWANCES SHALL BE MADE SUBSEQUENTLY IN THIS CONNECTION, FOR ANY ERRORS, THROUGH NEGLIGENCE ON HIS PART. THE CONTRACTOR IS HERE BY ADVISED THAT HE WILL BE REQUIRED TO OBSERVE NECESSARY PRACTICES FOR FIRE & SAFETY PRECAUTIONS FOR THE PROTECTION OF THE FACILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS, & CLEARANCES & COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO START OF WORK.
5. ALL DUCTWORK SHALL BE FABRICATED FROM FILED TAKEN DIMENSIONS AND NOT FROM DRAWINGS, PRIOR TO DUCT FABRICATION, CEILING CLEARANCES SHALL BE VERIFIED WITH ALL ELECTRICAL, PLUMBING, & ARCHITECTURAL DRAWINGS.
6. SUBMIT 6 COPE OF EACH SHOP DRAWINGS FOR THE FOLLOWING: HIGH-ENERGY EFFICIENCY EQUIPMENT, SPLIT SYSTEM COOLING COILS, AIR COOLED CONDENSING UNIT, THERMOSTAT, GRILLES, REGISTERS, DUCTS, TRIMS, PIPES, JOINING METHODS, WATER HEATER, GUY GRAY UNITS, FLOOR DRAINS, BREAKER PANEL, CIRCUIT BREAKERS, SWITCHES, LUMINARIES, MOTION DETECTORS, DISCONNECT SWITCHES, & OUTLETS.
7. ELECTRICAL CONTRACTOR SHALL FURNISH ALL MOTOR CONTROLLERS, PILOT OTHER DEVICES,& SHALL IMPLEMENT ALL ALL REQUIRED WIRING EXCEPT A.T.C. WIRING.
8. ALL SUPPLY & RETURN DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH 1/2 FIBERGLASS WITH A.S.I. VAPOR BARRIER OR EQUAL.
9. GRILLES, REGISTERS, & DIFFUSER SHALL BE OF CAPACITIES & INDICATED SIZES IN ACCORDANCE WITH MANUFACTURERS PRINTED LITERATURE FOR RESIDENTIAL SOUND LEVELS & THROWS. MOUNT TIGHT TO CONSTRUCTION USING GASKETS TO PREVENT AIR LEAKAGE & STREAKING. BRANCHES FROM MAIN TO OUTLETS SHALL BE MADE USING ADJUSTABLE DEFLECTORS POSITIONED & SECURED TO PROVIDE SPECIFIED AIR QUANTITIES. , REGISTERS & GRILLES SHALL BE PROVIDED BY LIMA OR EQUAL.AND SHALL MATCH COLOR OF ADJACENT CEILING OF WALL. COORDINATE ALL REGISTERS IN CEILINGS WITH LIGHT FIXTURES.

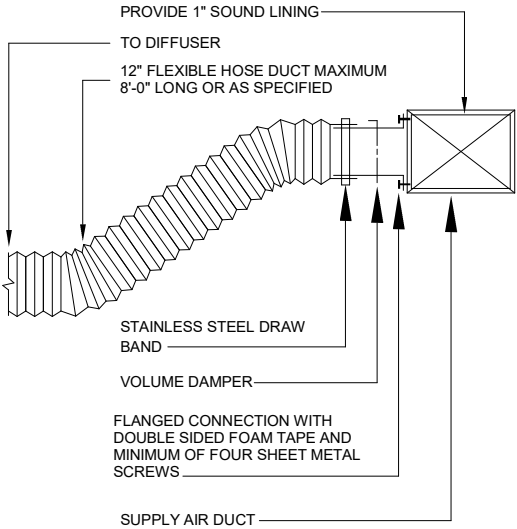


AVC ELECTRICAL UNIT DETAIL  
SCALE: N.T.S

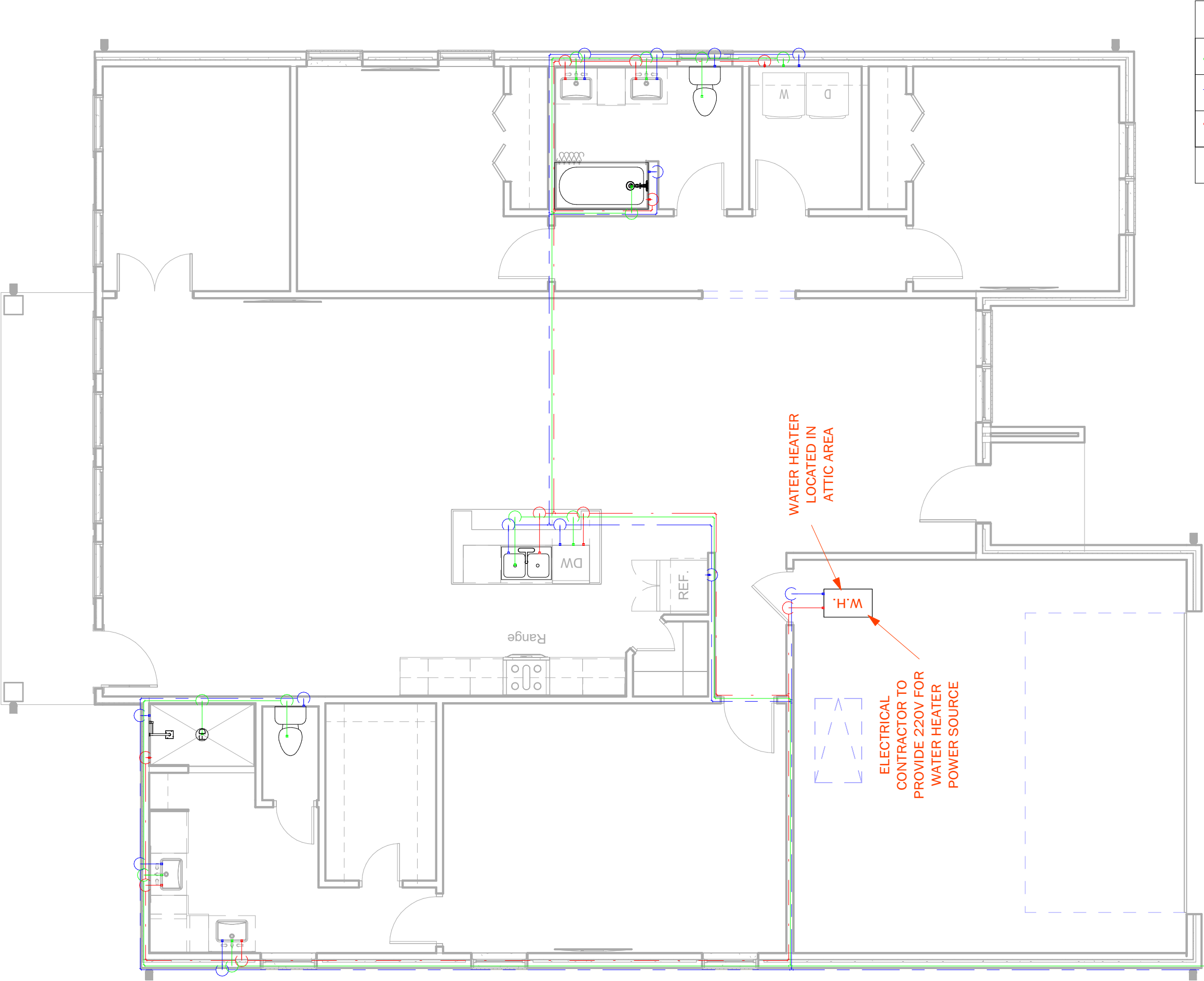


UNIT, DUCT SIZING, AND CFMs SHOWN ON DRAWINGS ARE APPROXIMATE, CONTRACTOR IS RESPONSIBLE FOR DESIGNING BALANCING SYSTEM FOR EVEN EFFICIENT HEATING AND COOLING

DUCT DETAIL  
SCALE: N.T.S



DIFFUSER TO FLEXIBLE DUCT CONNECTION DETAIL  
NOT TO SCALE



PLUMBING LEGEND	
	SANITARY SEWER
	COLD WATER
	HOT WATER
	PROPANE GAS LINE

PENDING UTILITY  
LINE LOCATION  
SEWAGE &  
WATER LINES TO  
BE SET BEFORE  
POURING  
CONCRETE

**1** Level 1 Plumbing  
SCALE: 3/16" = 1'-0"

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CHRISTIAN SERRANO  
DESIGN  
GROUP

223 Russell Dr  
223 Russell Dr.  
Rockwall TX, 75032

Project No.

CSC - 10348

12-07-2022

Revisions

Notes

NOT FOR CONSTRUCTION

CHRISTIAN SERRANO  
DESIGN GROUP

(469) 383-6084

WWW.CHRISTIANSERRANOCONSTRUCTION.COM

NAHB  
National Association  
of Home Builders

DallasBuilders  
Association



Scale

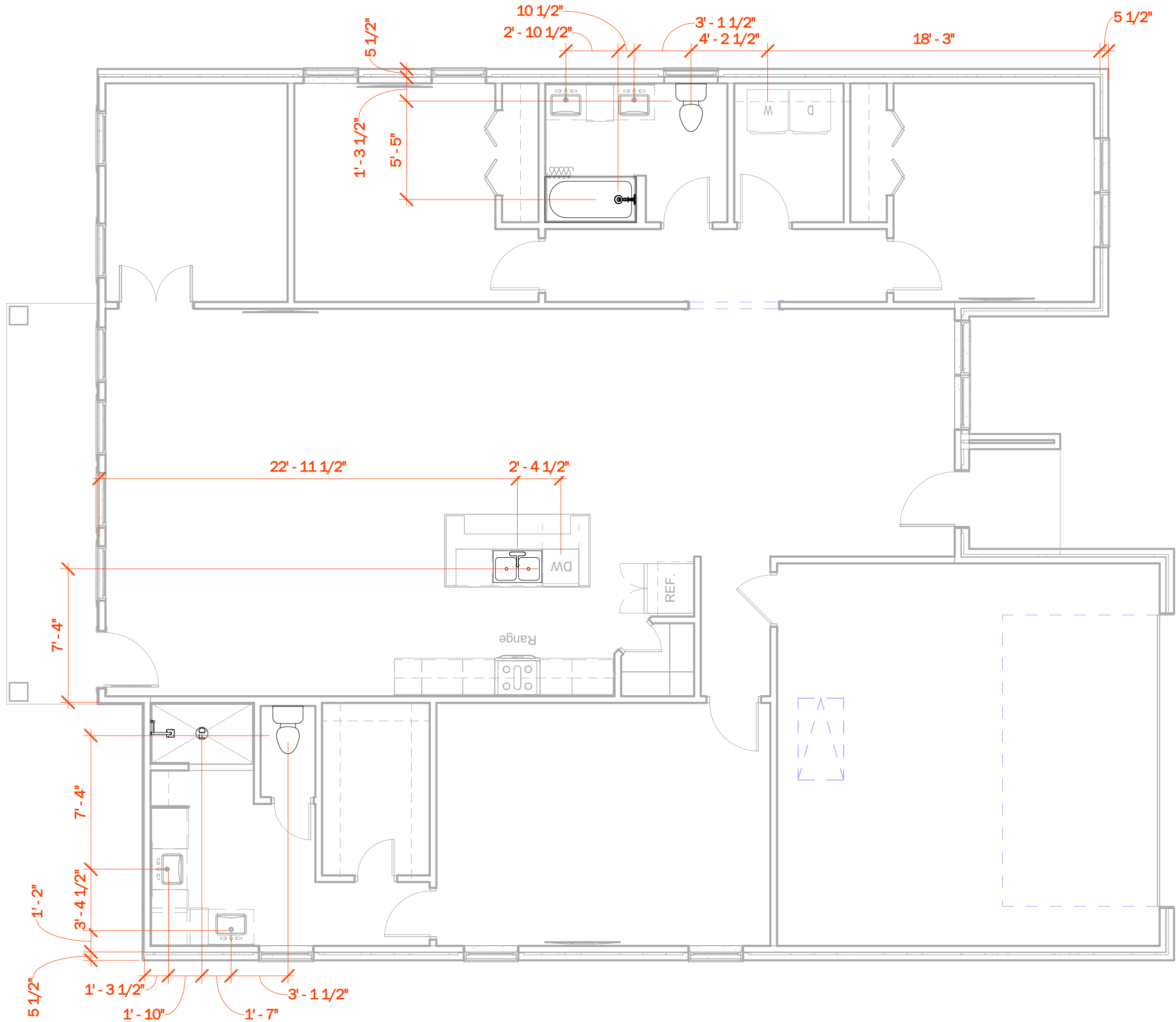
As indicated

Level 1 Plumbing  
Plan

P101.1

Drawn By

KS



### Level 1 Forming Plan

1

SCALE: 3/16" = 1'-0"

Plumbing Forming  
Plan

P102

Drawn By

JS

CHRISTIAN SERRANO  
DESIGN GROUP

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WWW.CHRISTIANSERRANOCONSTRUCTION.COM



Revisions

Notes

NOT FOR CONSTRUCTION

12-07-2022

Project No. CSC - 10348

223 Russell Dr

223 Russell Dr.  
Rockwall TX, 75032



CHRISTIAN SERRANO  
DESIGN GROUP

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GENERAL PLUMBING NOTES

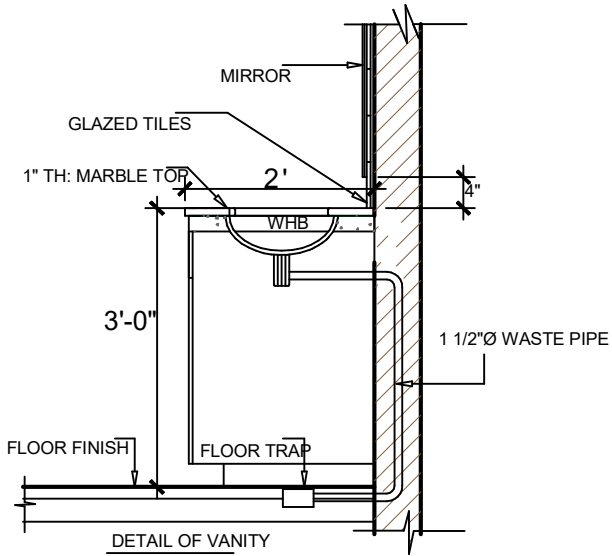
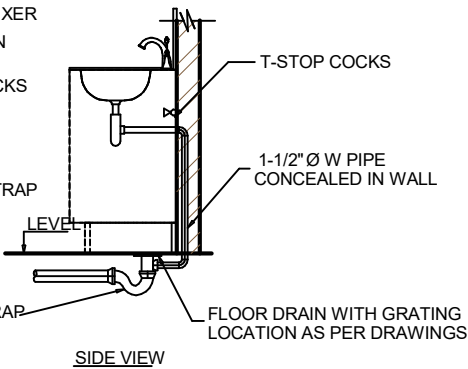
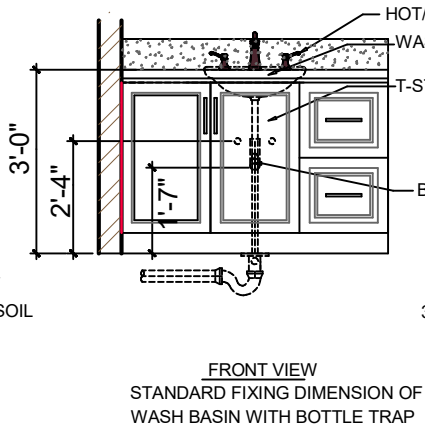
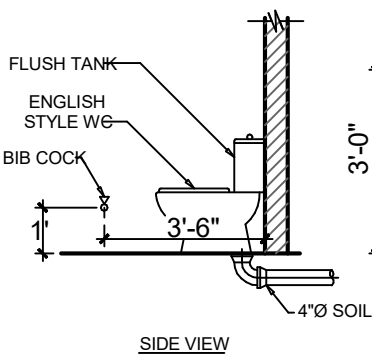
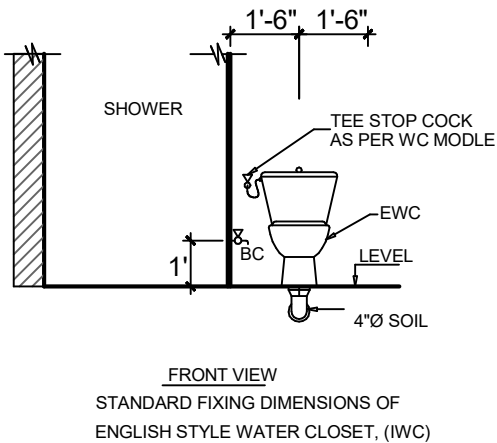
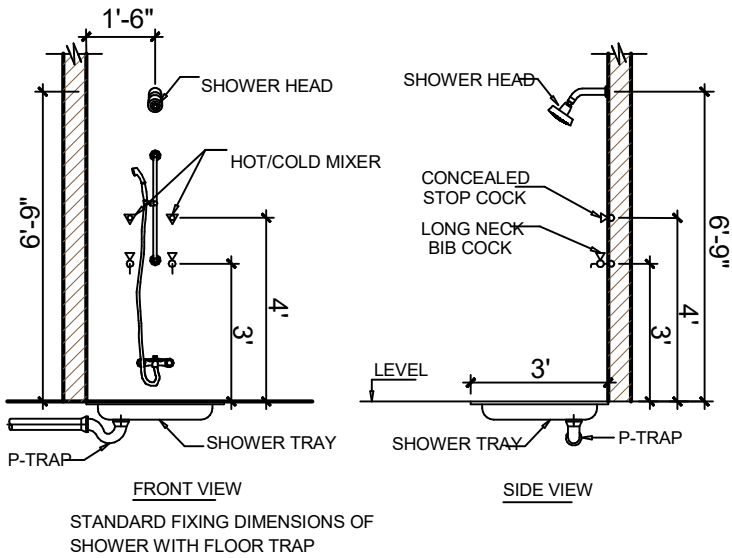
1 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL PLUMBING CODES.

2 - THE PROVISIONS OF THE CODE SHALL APPLY TO THE ERECTION, INSTALLATION, ALTERATION, HEALTH, PROPERTY AND PUBLIC WELFARE REGULATING AND CONTROLLING THE DESIGN, CONSTRUCTION, INSTALLATION, QUALITY OF MATERIALS, LOCATION, OPERATION OR USE OF PLUMBING EQUIPMENT.

3. ALL PLUMBING SYSTEMS, MATERIALS APPURTENANCES SHALL BE MAINTAINED IN PROPER CONDITION IN ACCORDANCE WITH THE ORIGINAL DESIGN IN A SAFE AND SANITARY CONDITION. ALL DEVICES OR SAFEGUARDS REQUIRED BY CODE SHALL BE MAINTAINED IN COMPLIANCE WITH THE CODE EDITION UNDER WHICH INSTALLED. THE OWNER OR OWNERS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PLUMBING SYSTEMS. TO DETERMINE COMPLIANCE WITH THIS PROVISION, THE CODE OFFICIAL SHALL HAVE THE AUTHORITY TO REQUIRE ANY PLUMBING SYSTEMS TO BE RE-INSPECTED.

4. FINAL INSPECTION SHALL BE MADE AFTER THE BUILDING IS COMPLETE, ALL PLUMBING FIXTURES ARE IN PLACE AND PROPERLY CONNECTED, AND THE STRUCTURE IS READY FOR OCCUPANCY. THE HOLDER OF THE PLUMBING SHALL BE RESPONSIBLE FOR THE SCHEDULING OF SUCH INSPECTIONS.

5. PROVIDE AND INSTALL NEW PLUMBING FIXTURES. CONNECT TO EXISTING WASTE, COLD WATER AND HOT WATER LINES AS SHOWN.





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

#### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
223 Russell Drive	Vacant	N/A	N/A	N/A	N/A
235 Russell Drive	Vacant	N/A	N/A	N/A	N/A
247 Russell Drive	Vacant	N/A	N/A	N/A	N/A
250 Nicole Drive	Modular Home	1998	1,344	820	Siding
222 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
208 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
196 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
186 Nicole Drive	Vacant	N/A	N/A	N/A	N/A
181 Russell Drive	Vacant	N/A	N/A	N/A	N/A
193 Russell Drive	Modular Home	1997	1,984	N/A	N/A
209 Russell Drive	Modular Home	1978	1,180	296	Siding
198 Russell Drive	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1991	1,503	558	





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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223 Russell Drive



235 Russell Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

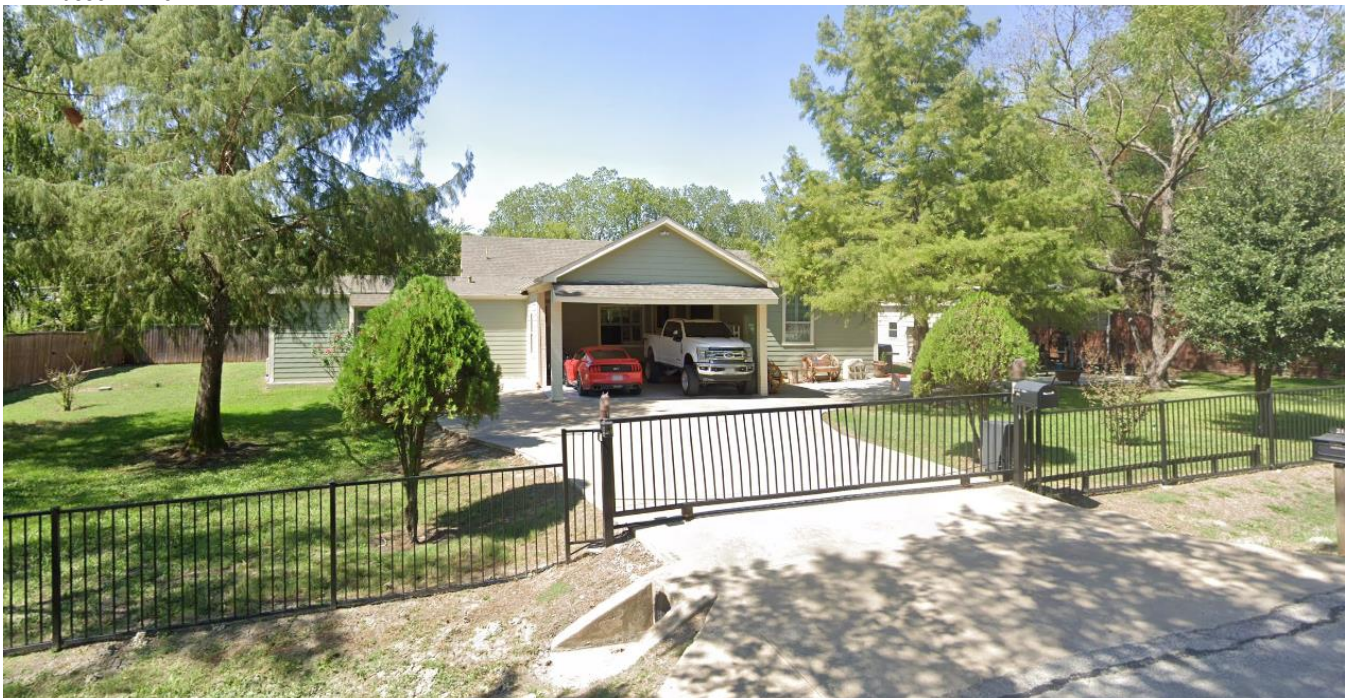
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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



247 Russell Drive



250 Nicole Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



222 Nicole Drive



208 Nicole Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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196 Nicole Drive



186 Nicole Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

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181 Russell Drive



193 Russell Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-015

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



209 Russell Drive



198 Russell Drive



CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1690-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1290 OF THE LAKE ROCKWALL ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Martha Balleza and Ana Quezada for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1690-acre parcel of land identified as Lot 1290 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 223 Russell Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [Ordinance No. 16-01] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 75 (PD-75) [Ordinance No. 16-01] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,



**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>st</sup> DAY OF MAY, 2023.**

\_\_\_\_\_  
Kevin Fowler, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: April 17, 2023

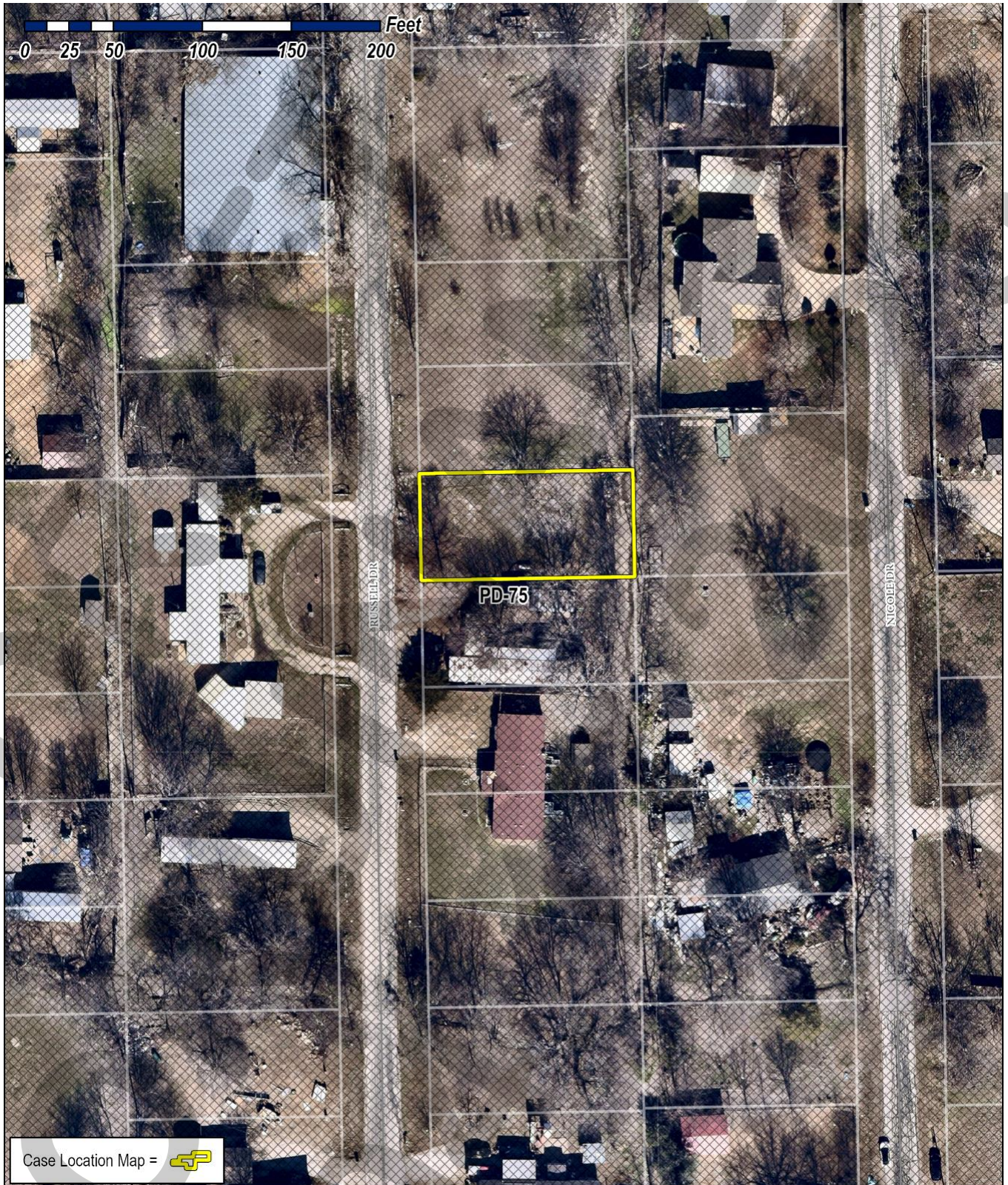
2<sup>nd</sup> Reading: May 1, 2023



**Exhibit 'A':**  
**Location Map and Residential Plot Plan**

Address: 223 Russell Drive

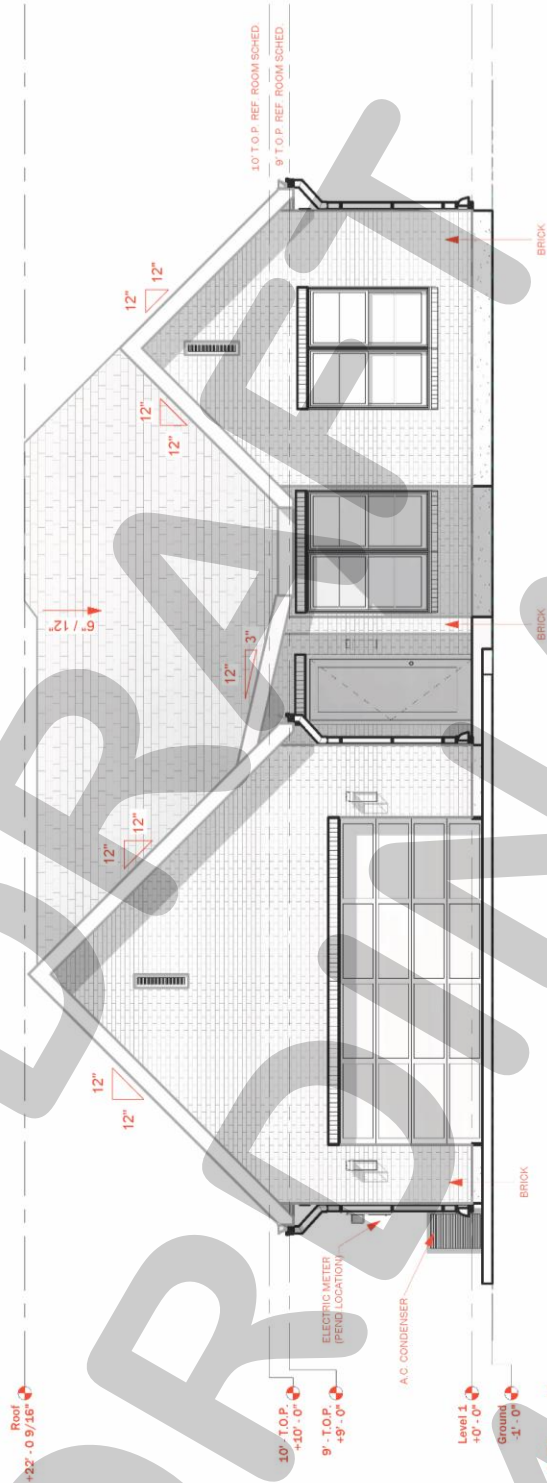
Legal Description: Lot 1290 of the Lake Rockwall Estates #2 Addition





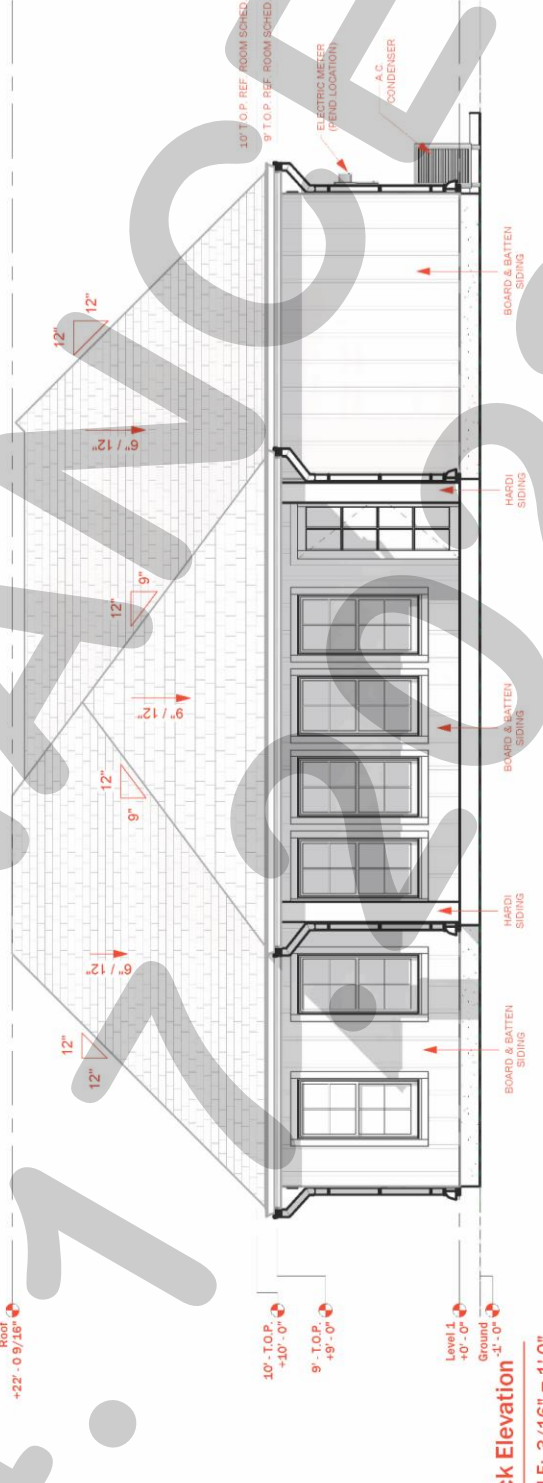
This site plan for Lot 1290 illustrates the proposed layout for a single-family home and its associated driveway. The lot is bounded by 223 Russell Drive to the north and east, and a proposed driveway to the south. The proposed home is a large, irregularly shaped structure with several setbacks: 6.0' to the north, 5.6' to the west, 5.1' to the east, and 7.5' to the south. A 20' build line is shown along the northern boundary. The driveway is located to the south of the home, with a 10' build line along its eastern boundary. The lot is labeled 'LOT 1290' and the proposed home is labeled 'PROPOSED SINGLE FAMILY HOME'. The driveway is labeled 'PROPOSED DRIVEWAY'. The plan also shows a 'WALKWAY' and a '10' BUILD LINE' along the southern boundary. The lot is bounded by 223 Russell Drive to the north and east, and a proposed driveway to the south. The lot is labeled 'LOT 1290' and the proposed home is labeled 'PROPOSED SINGLE FAMILY HOME'. The driveway is labeled 'PROPOSED DRIVEWAY'. The plan also shows a 'WALKWAY' and a '10' BUILD LINE' along the southern boundary.

**Exhibit 'B':**  
*Building Elevations*



### Front Elevation

SCALE: 3/16" = 1'-0"



## Back Elevation

SCALE: 3/16" = 1'-0"

**1 Left Elevation**  
**SCALE: 3/16" = 1'-0"**

**2 Right Elevation**  
**SCALE: 3/16" = 1'-0"**





May 2, 2023

TO: Martha Balleza  
Ana Quezada  
4408 Aiken Trail  
Sachse, TX 75048

FROM: Angelica Guevara  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2023-015; *Specific Use Permit (SUP) For Residential Infill within an Established Subdivision*

Martha/Ana:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on May 1, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On April 11, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0, with Commissioner Womble absent.

City Council

On April 17, 2023, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 6-0, with Council Member Moeller absent.

On May 1, 2023, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

Included with this letter is a copy of Ordinance No. 23-28, S-303, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6438.

Sincerely,



Angelica Guevara  
Planning Technician  
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 23-28

SPECIFIC USE PERMIT NO. S-303

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1690-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1290 OF THE LAKE ROCKWALL ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Martha Balleza and Ana Quezada for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1690-acre parcel of land identified as Lot 1290 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 223 Russell Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,



**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

## **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

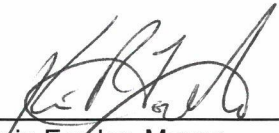
**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>st</sup> DAY OF MAY, 2023.**

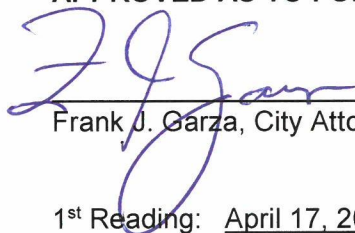
  
\_\_\_\_\_  
Kevin Fowler, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Teague, City Secretary



**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: April 17, 2023

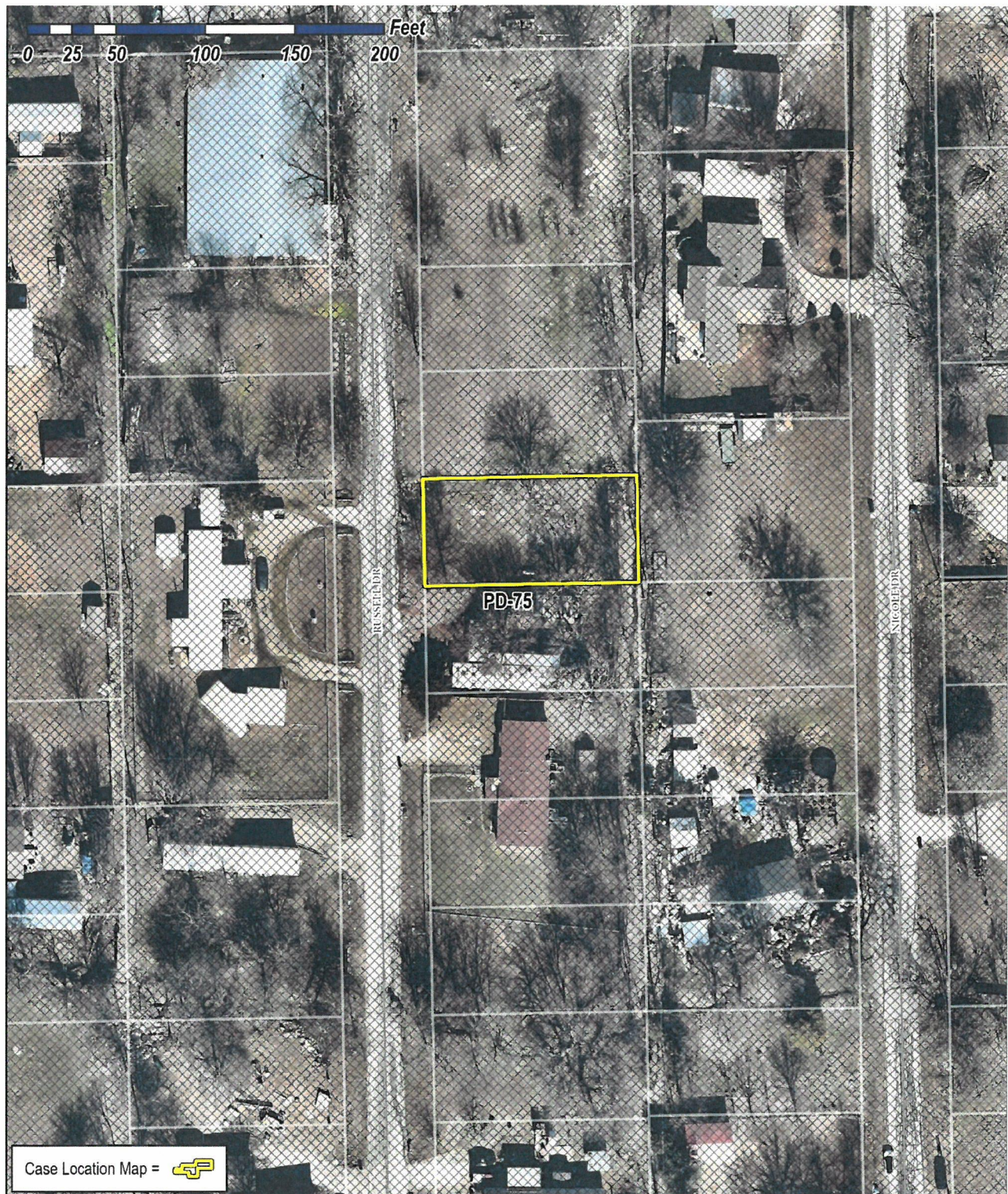
2<sup>nd</sup> Reading: May 1, 2023



**Exhibit 'A':**  
*Location Map and Residential Plot Plan*

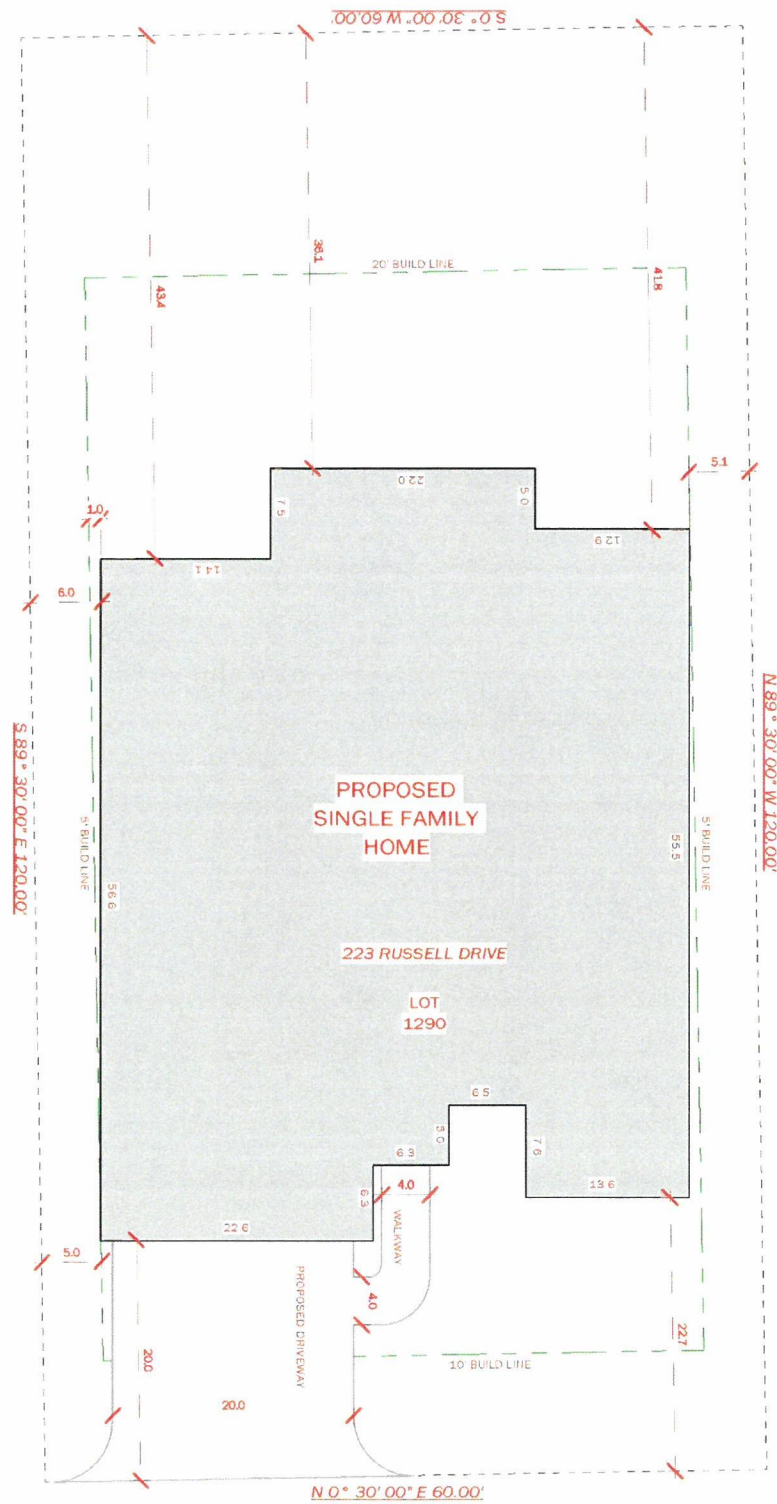
Address: 223 Russell Drive

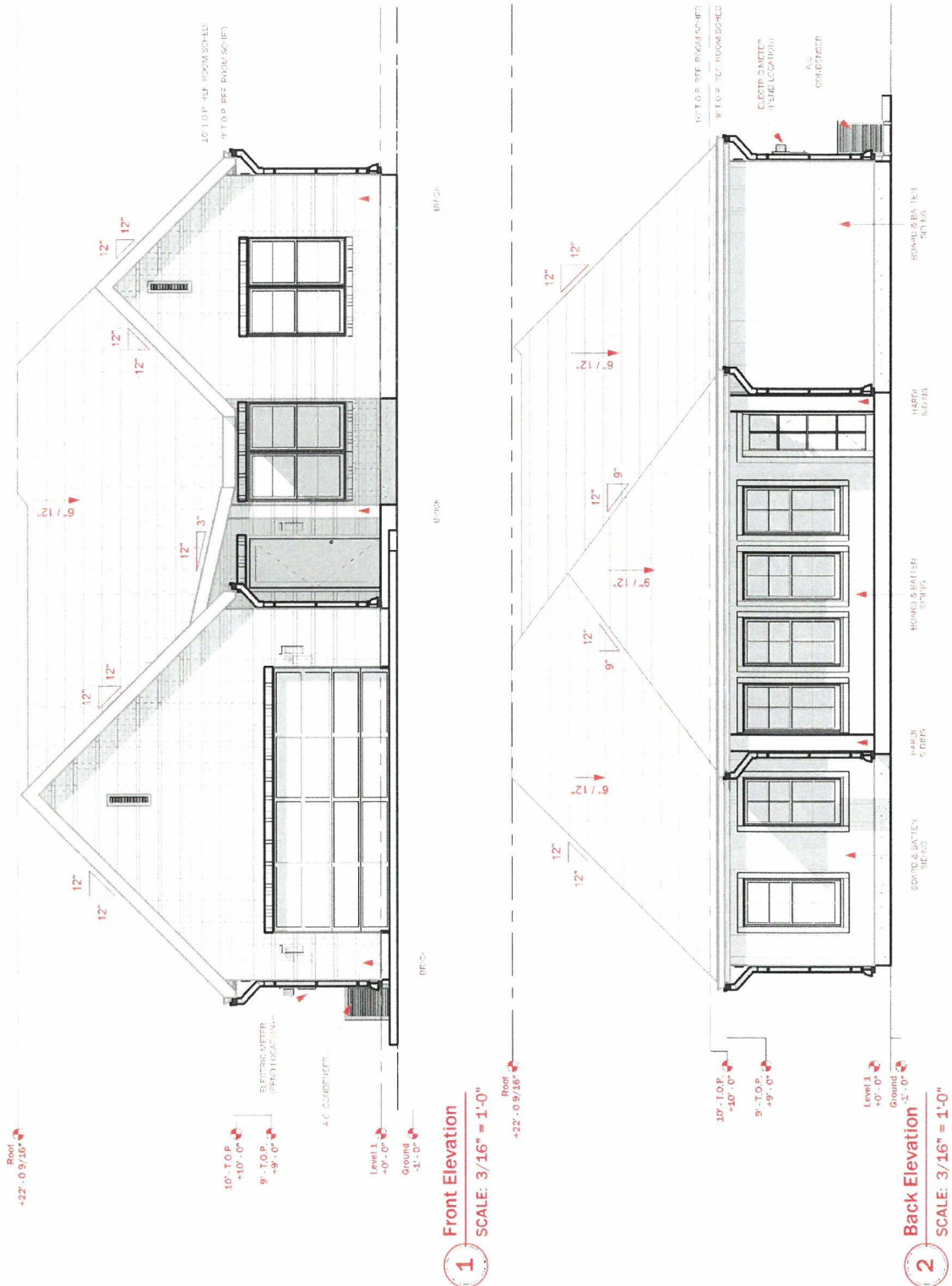
Legal Description: Lot 1290 of the Lake Rockwall Estates #2 Addition





**Exhibit 'A':**  
*Location Map and Residential Plot Plan*





**Exhibit 'B':**  
*Building Elevations*

