



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
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- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 110 MISCHIEF W Rockwall TX 75032
SUBDIVISION CHANDLER'S LANDING LOT 16 BLOCK A
GENERAL LOCATION Rockwall

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENTIAL CURRENT USE VACANT LOT
PROPOSED ZONING RESIDENTIAL PROPOSED USE NEW HOUSE
ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>VANIO DILOV</u>	<input checked="" type="checkbox"/> APPLICANT	<u>VANIO DILOV</u>
CONTACT PERSON	<u>VANIO DILOV</u>	CONTACT PERSON	<u>VANIO DILOV</u>
ADDRESS	<u>2717 LAKEWOOD DR.</u>	ADDRESS	<u>2717 LAKEWOOD DR.</u>
	<u>ROWLETT</u>		<u>ROWLETT</u>
CITY, STATE & ZIP	<u>TX. 75088</u>	CITY, STATE & ZIP	<u>TX. 75088</u>
PHONE	<u>972-672-7777</u>	PHONE	<u>972-672-7777</u>
E-MAIL	<u>Desi. Dilov @ Gmail.com</u>	E-MAIL	<u>Desi. Dilov @ Gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Vanio Dilov [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

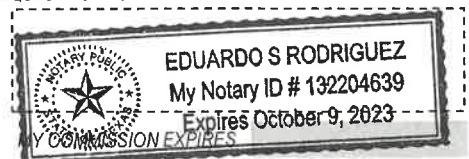
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 17th DAY OF MAY, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF MAY, 2023

OWNER'S SIGNATURE

Vanio Dilov

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR

VANIO & DESI

DILOV

2717 LAKEWOOD DR.

ROWLETT, TX 75088

(972) 672-7777

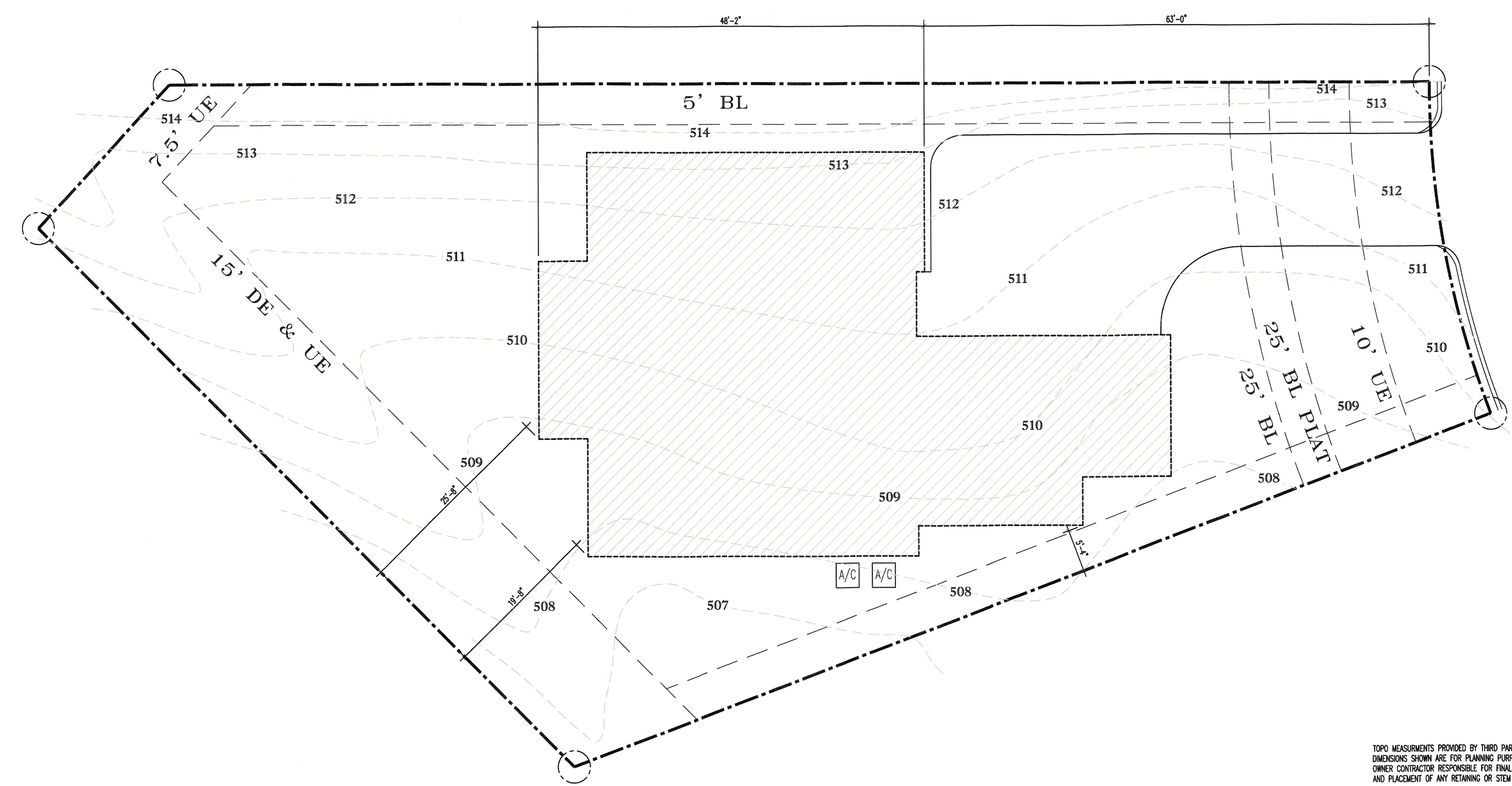
LOT 16 BLK A CHANDLERS LAANDING PH 20
SPEC BUILD
110 MISCHIEF LANE
ROCKWALL, TX 75032
ROCKWALL COUNTY

NO REVISION

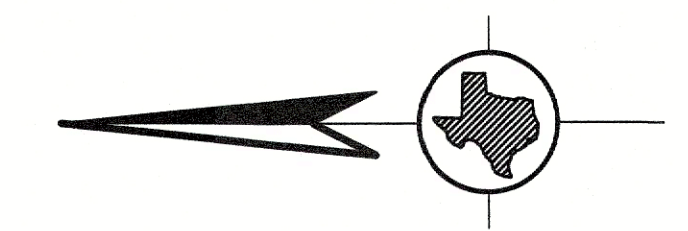
05-10-23

SHEET NUMBER

A0.5

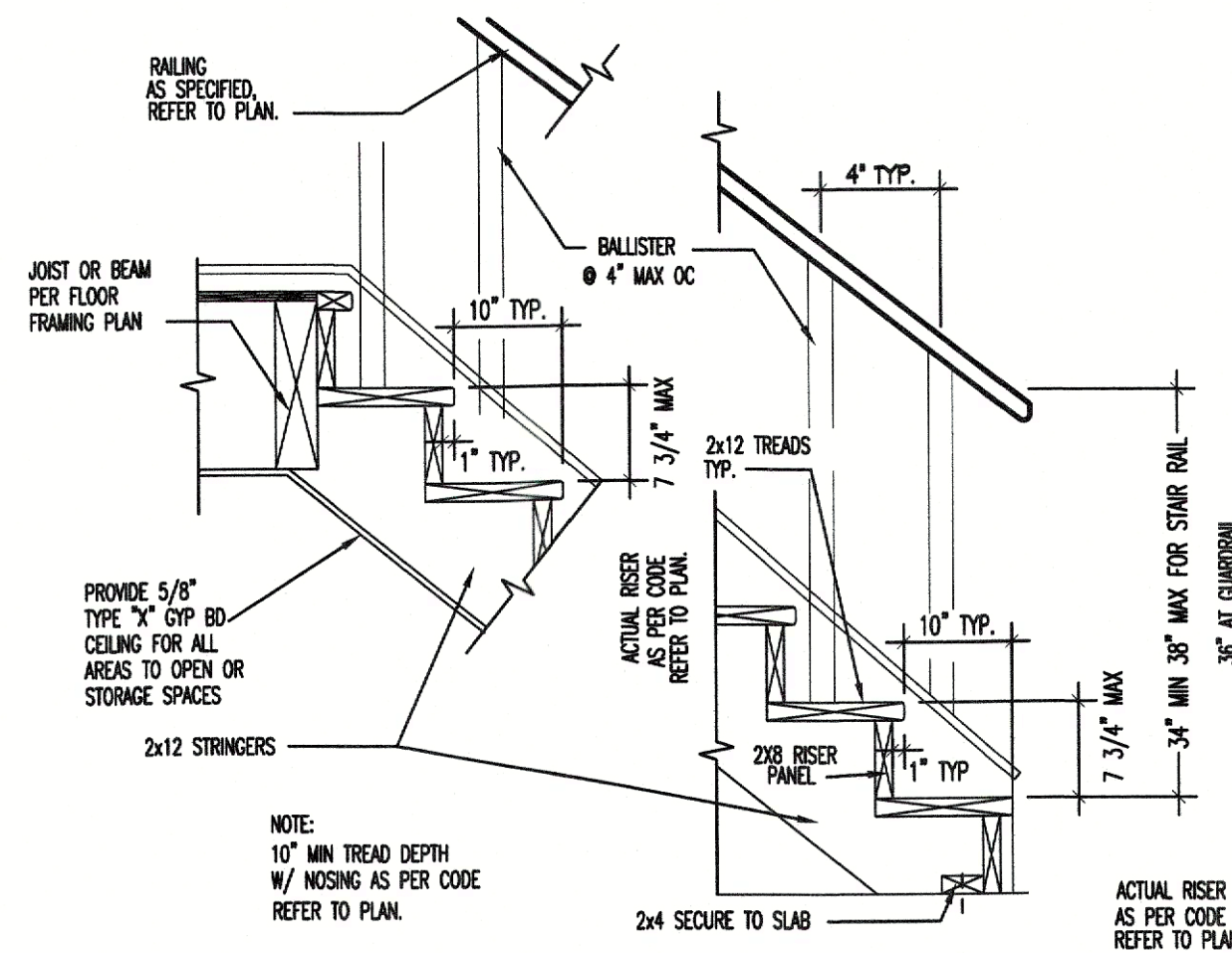


TOPO MEASUREMENTS PROVIDED BY THIRD PARTY SURVEY
DIMENSIONS SHOWN ARE FOR PLANNING PURPOSES ONLY
OWNER CONTRACTOR RESPONSIBLE FOR FINAL FORM SURVEY
AND PLACEMENT OF ANY RETAINING OR STEM WALLS



01 SLAB PROFILE ON SITE PLAN
SCALE: 1/8" = 1'-0"

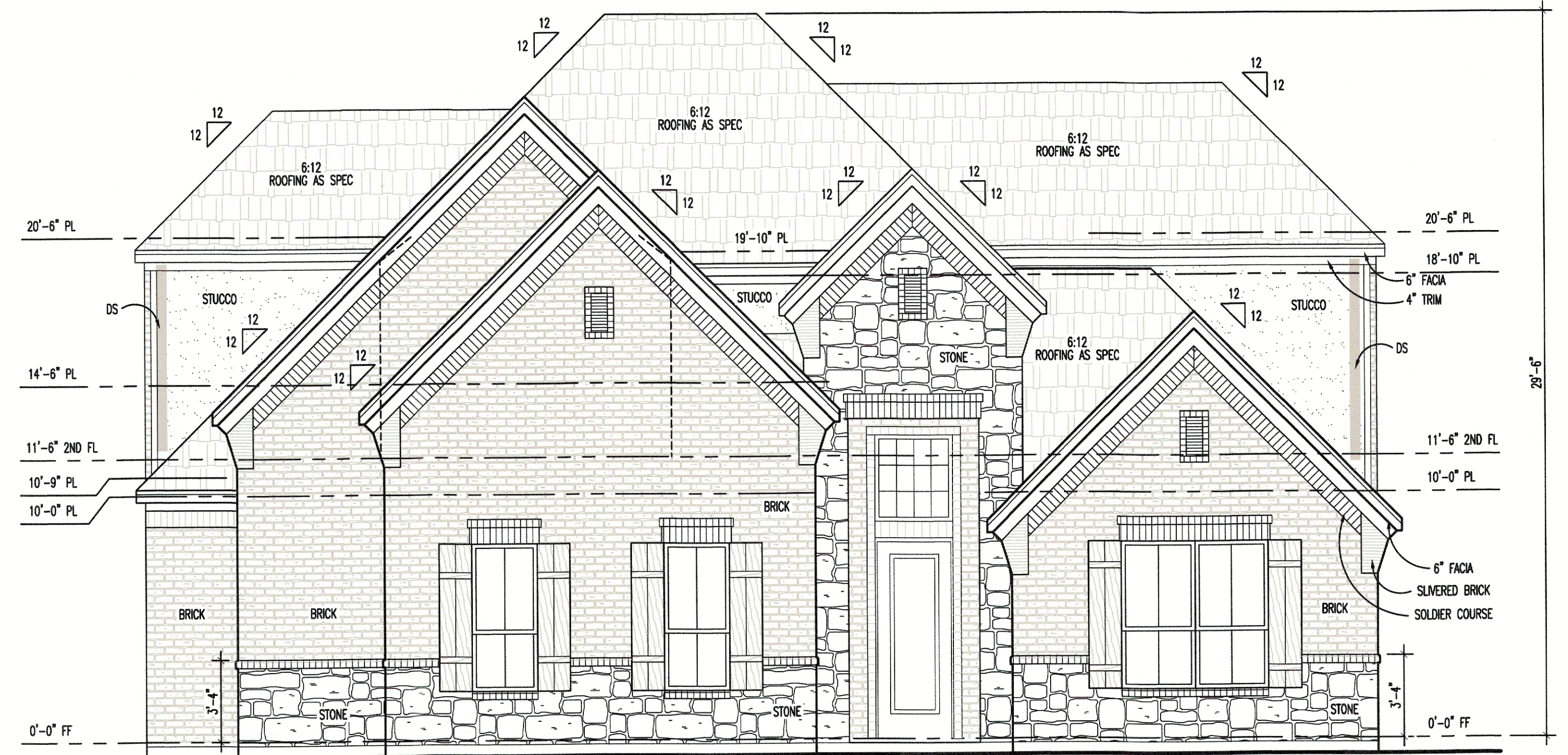
110
MISCHIEF
LANE



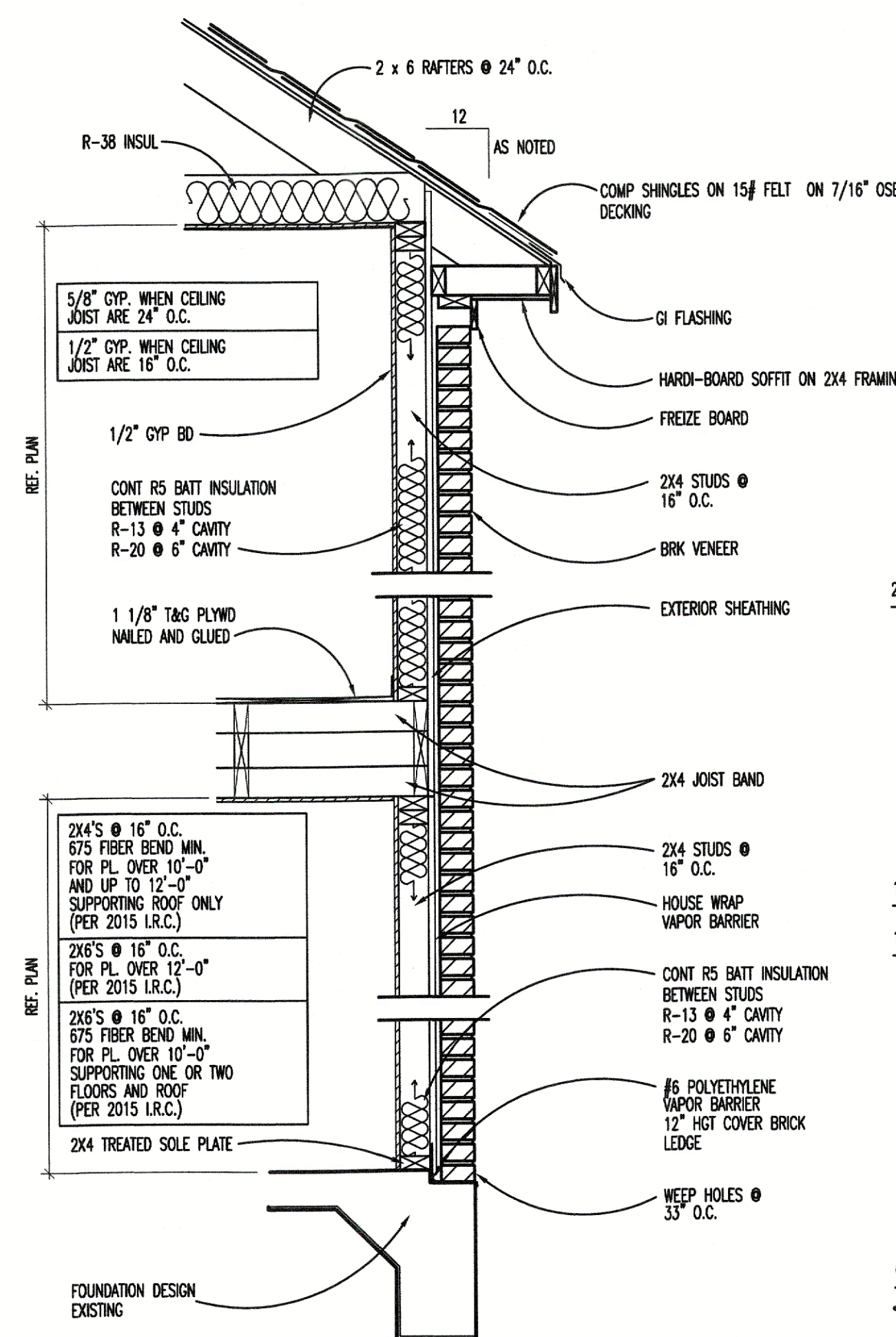
03 TYP STAIR SECTION
SCALE: 3/4"=1'-0"

EXTERIOR WALL INFO				
TOTAL EXT. WALL AREA	2,738	SF		
WDWS & DOORS	545	SF		
ACTUAL C'VD AREA	3,501	SF		
BRICK AREA	2,386	SF	87.1%	
STONE AREA	210	SF	7.7%	
STUCCO AREA	142	SF	5.2%	

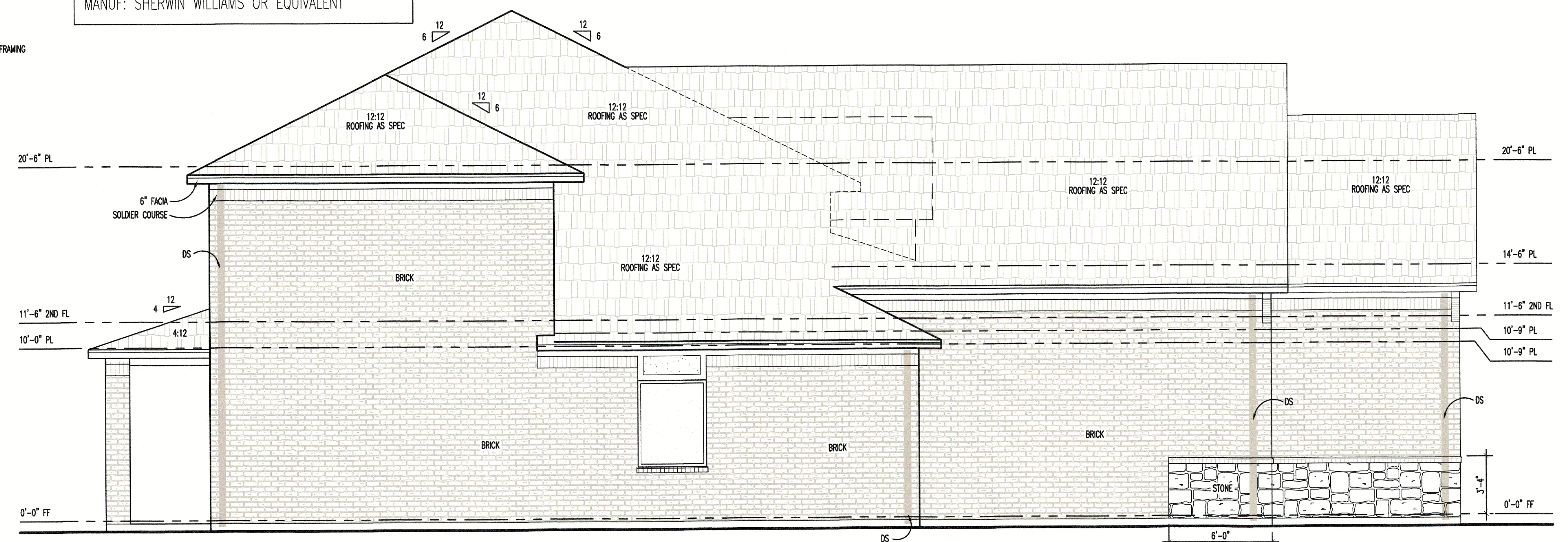
ROOFING MATERIALS	
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT	
COLOR: DRIFTWOOD GAF OR EQUIVALENT	
FACIA & SOFFIT	
1"X6" FACIA BOARD W/ 5/8"X12" HARDI SOFFIT	
PAINT	
COLOR: ADOBE	
MANUF: SHERWIN WILLIAMS OR EQUIVALENT	



01 FRONT ELEVATION
SCALE: 1/4"=1'-0"



04 TYP WALL DETAIL
SCALE: 3/4"=1'-0"



02 LEFT ELEVATION
SCALE: 1/4"=1'-0"



DESIGN SERVICES
PLAN NO. PH. (214)

DO NOT SCALE
CONTRACTOR
EXISTING CO
DIMENSIONS-
CONTRACT
DISCREPANCY
BEGINNING
24x36

OWNER/CONTRACTOR
VANIO
DILL
2717 LAKE
ROWLET
(972) 6

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20

NO REVISION

05-10

SHEET NO.

A2

EXTERIOR DOOR SCHEDULE				ALL GLAZING TO BE DUAL PANE INSULATED LOW-E
ROOM	#	SIZE	DETAILS	
FOYER	1	3080	WOOD ENTRY	
NOOK	1	2880	FULL LITE METAL	
MASTER	1	2880	FULL LITE METAL	
GARAGE	1	16'x8'	METAL OHD	
GARAGE	1	8'x8'	METAL OHD	

WINDOW SCHEDULE				ALL GLAZING TO BE DUAL PANE INSULATED LOW-E
ROOM	#	SIZE	DETAILS	
FOYER	1	3236	FX @ 12'-4" HH	
DINING	2	3060	SH @ 8'-0" HH	
NOOK	3	3060	SH @ 8'-0" HH	
LIVING	4	3060	SH @ 8'-0" HH	
MASTER BDRM	3	3060	SH @ 8'-0" HH	
MASTER BATH	1	4050	FX @ 8'-0" HH OBSCURED	
BDRM #2	3	3060	SH @ 8'-0" HH	
GAME ROOM	3	3060	SH @ 8'-0" HH	
BDRM #3	2	3060	SH @ 8'-0" HH	
BDRM #4	1	3060	SH @ 8'-0" HH	

INTERIOR DOOR SCHEDULE			
ROOM	#	SIZE	DETAILS
GARAGE	1	2880	20 MIN RATED W/ CLOSER HINGES
CLOSET & STOR	2	2080	INTERIOR MASONITE HC
PAN	1	2080	INTERIOR MASONITE HC
UTIL	1	2880	INTERIOR MASONITE HC
POWDER	1	2080	INTERIOR MASONITE HC
MASTER BDRM	1	2880	INTERIOR MASONITE HC
MASTER BATH	1	PR 1380	INTERIOR MASONITE HC
	1	2080	INTERIOR MASONITE HC
	1	2680	INTERIOR MASONITE HC
BDRM #2	1	2868	INTERIOR MASONITE HC
BDRM #3	1	2868	INTERIOR MASONITE HC
BDRM #4	1	2868	INTERIOR MASONITE HC
BATH #2	2	2068	INTERIOR MASONITE HC
BATH #3	2	2068	INTERIOR MASONITE HC
BATH #4	1	2068	INTERIOR MASONITE HC
STORAGE CLOSET	1	2868	INTERIOR MASONITE HC
BDRM CLOSETS	3	2068	INTERIOR MASONITE HC

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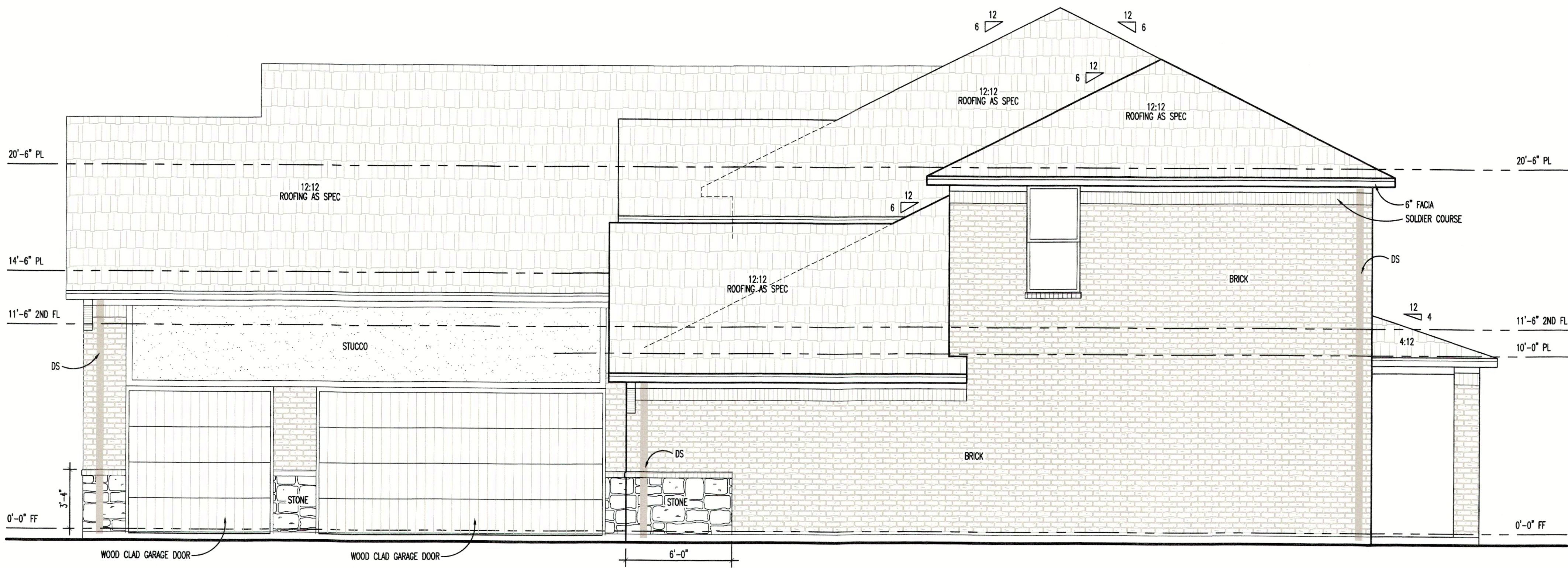
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COLOR: DRIFTWOOD GAF OR EQUIVALENT

FACIA & SOFFIT

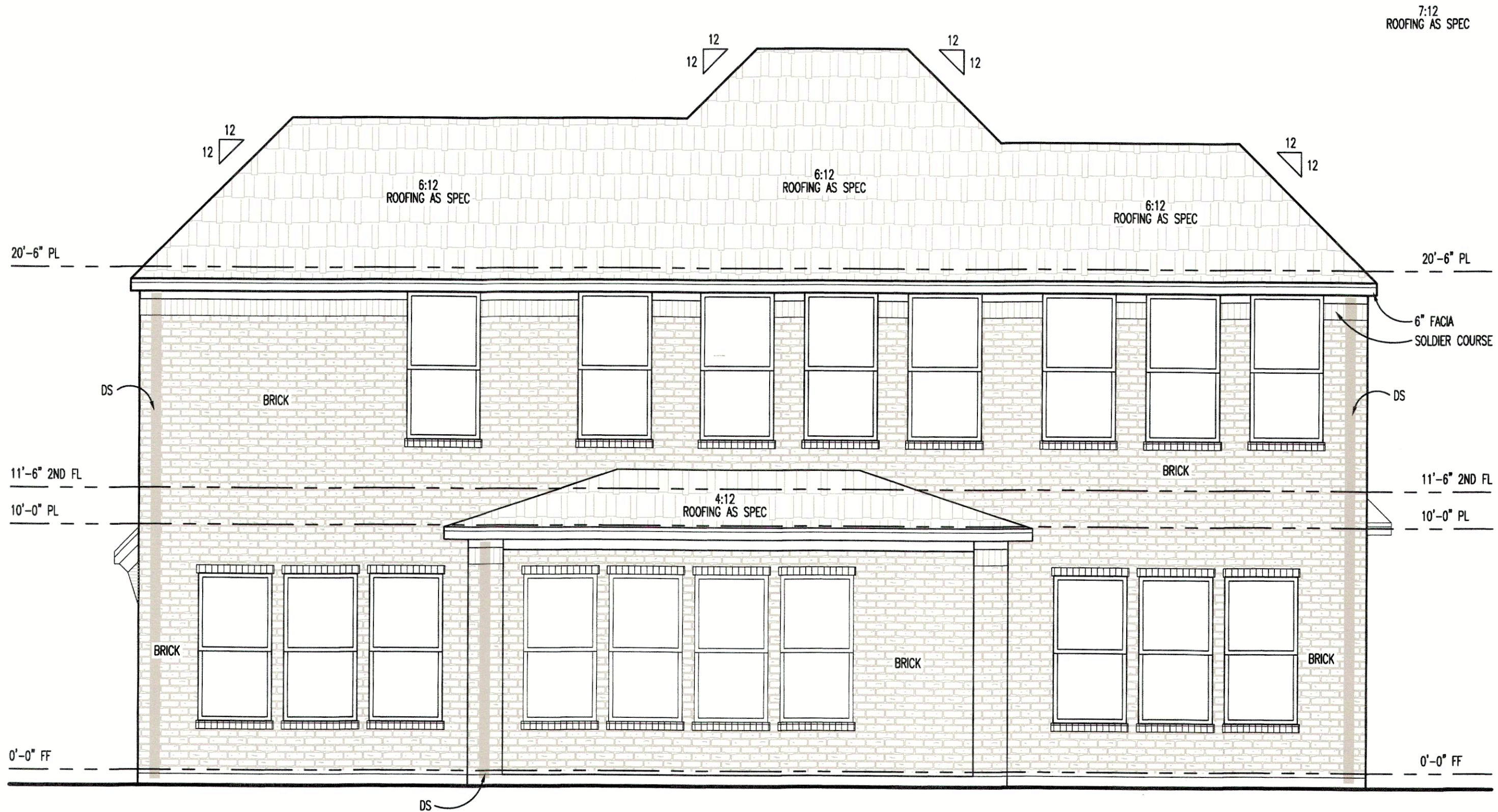
1"x6" FACIA BOARD W/
5/8"x12" HARDI SOFFIT

PAINT

COLOR: ADOBE
MANUF: SHERWIN WILLIAMS OR EQUIVALENT



01 LEFT ELEVATION
SCALE: 1/4"=1'-0"



02 REAR ELEVATION
SCALE: 1/4"=1'-0"



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR
VANIO & DE
DILOV
2717 LAKEWOOD J
ROWLETT, TX 75081
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75082

NO. REVISION

05-10-23

SHEET NUMBER

A3



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75001
PH. (214) 929-5086

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24x36" PRINT

OWNER/CONTRACTOR
VANIO & IDILOV
2717 LAKEWOOD
ROWLETT, TX
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75087

NO REVISION

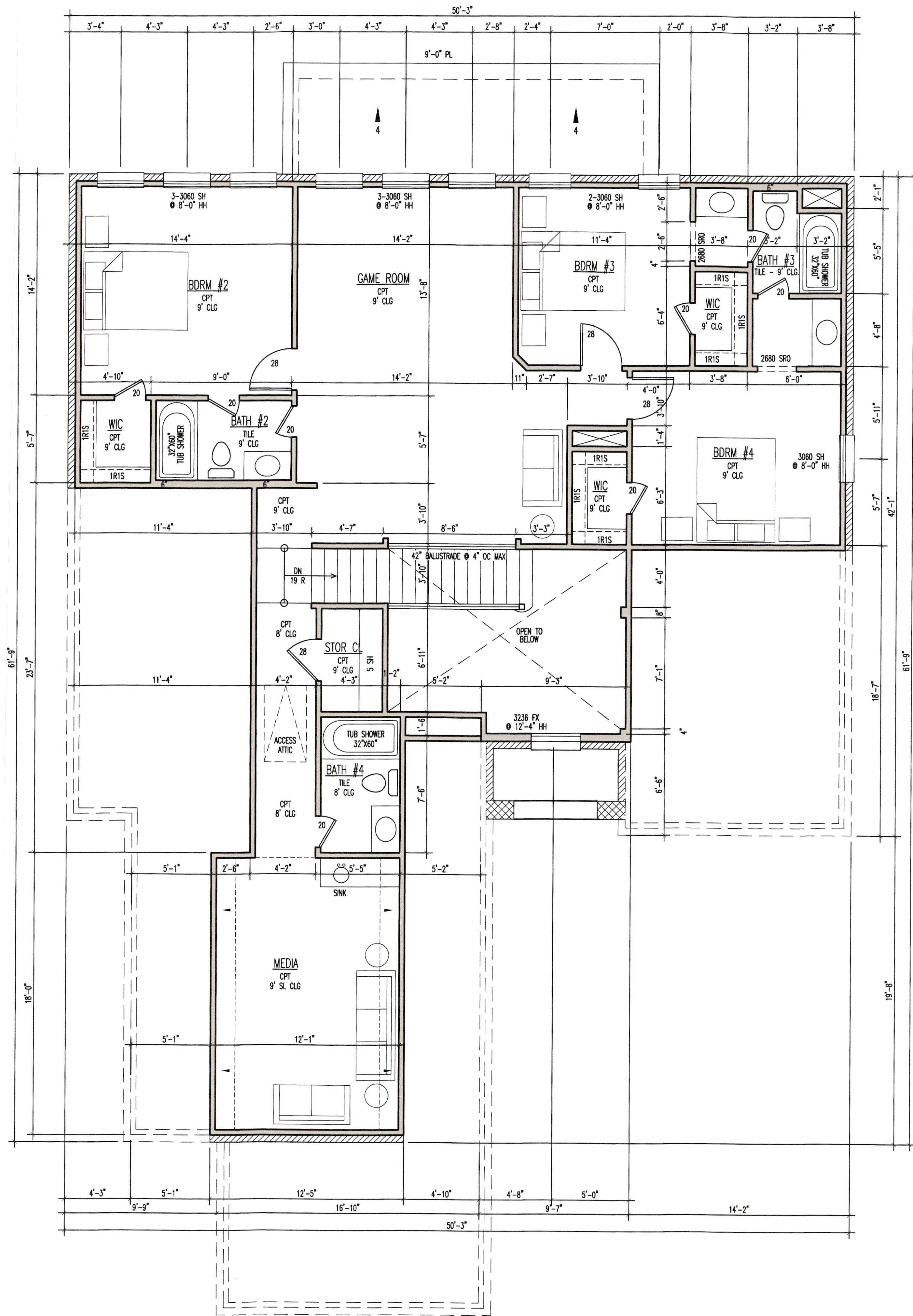
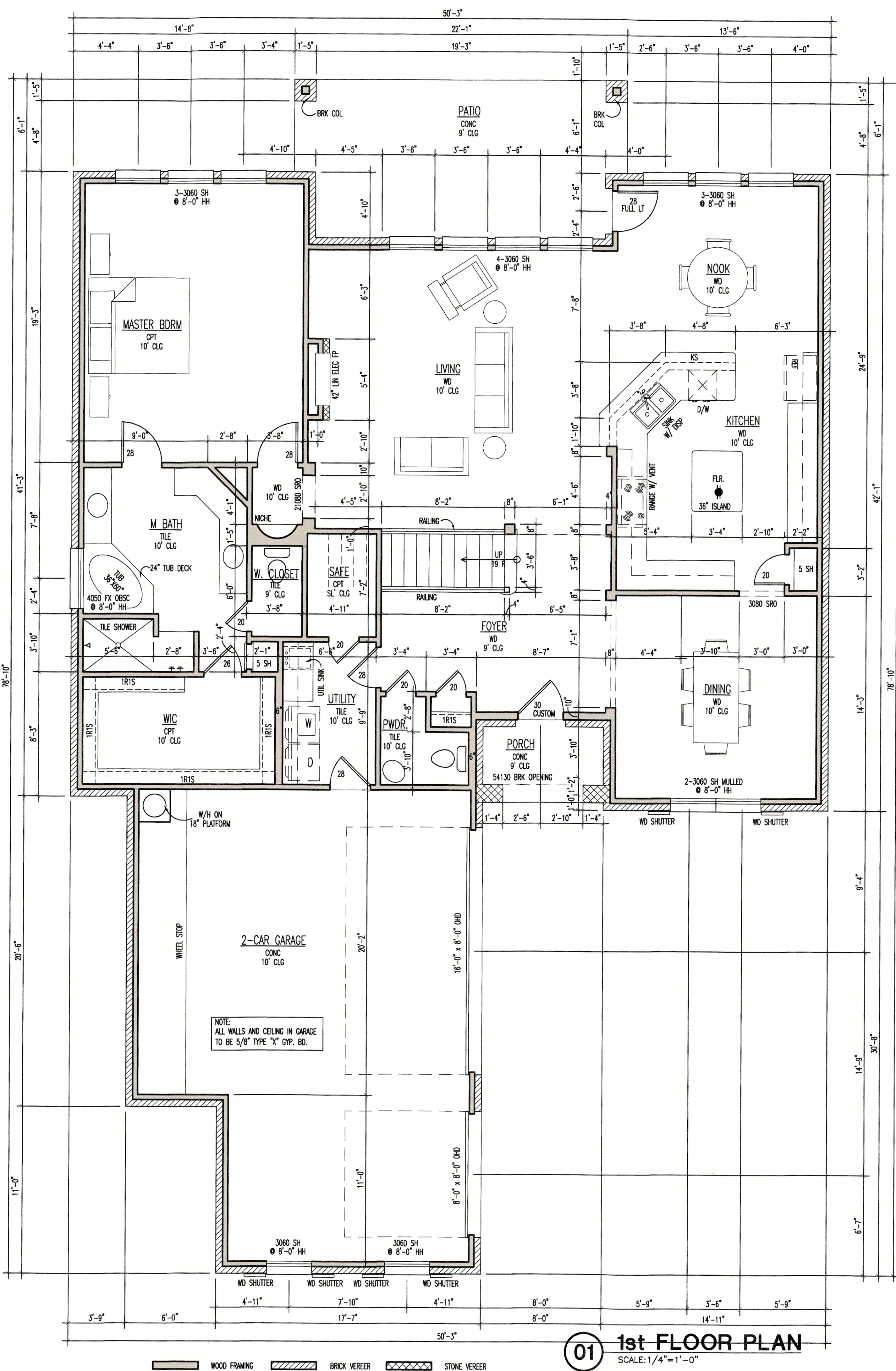
05-10-2

FIRST FLOOR A/C 1.5
SECOND FLOOR A/C 1.5
TOTAL A/C 3.0

FRONT CVD PORCH 36
REAR CVD PATIO 21
3-CAR GARAGE 66
TOTAL UNDER ROOF 123

SHEET NUMBER

A1



APPLICABLE CODES

2015	INTERNATIONAL BUILDING CODE	2015	INTERNATIONAL FUEL GAS CODE
2015	INTERNATIONAL MECHANICAL CODE	2015	INTERNATIONAL PROP. MAINTENANCE CODE
2015	INTERNATIONAL PLUMBING CODE	2015	INTERNATIONAL ELECTRICAL CONSERVATION CODE
2015	INTERNATIONAL FIRE PREVENTION CODE	2017	NATIONAL ELECTRICAL CODE

ALL CONTRACTORS SHALL REGISTER WITH MUNICIPALITY
AND PERFORM ALL TASKS TO COMPLY WITH APPLICABLE
CODES AND MUNICIPAL REGULATIONS

OWNER/CONTRACTOR

VANIO & DESI

DILOV

2717 LAKEWOOD DR.

ROWLETT, TX 75088

(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20

110 MISCHIEF LANE

ROCKWALL, TX 75032

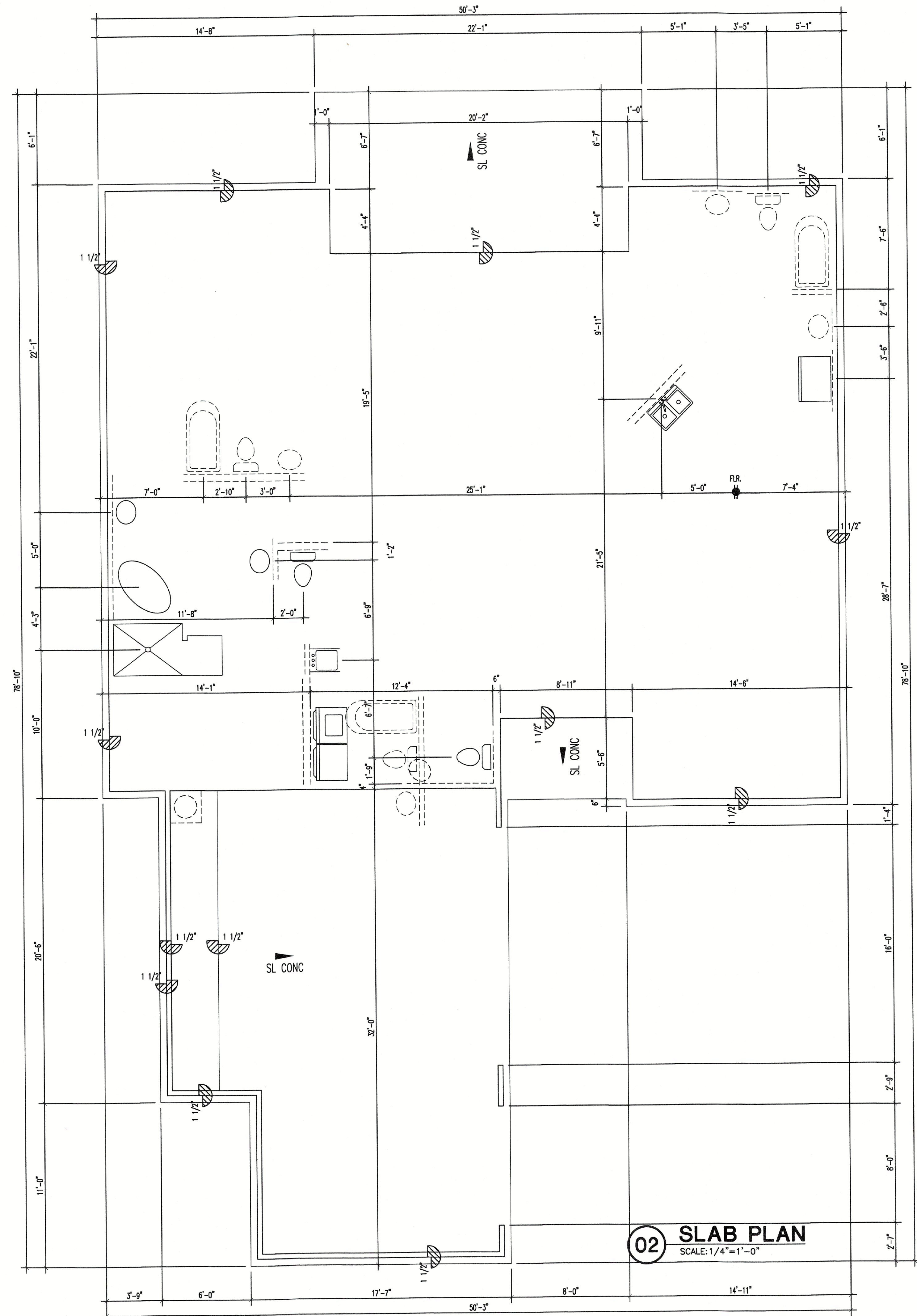
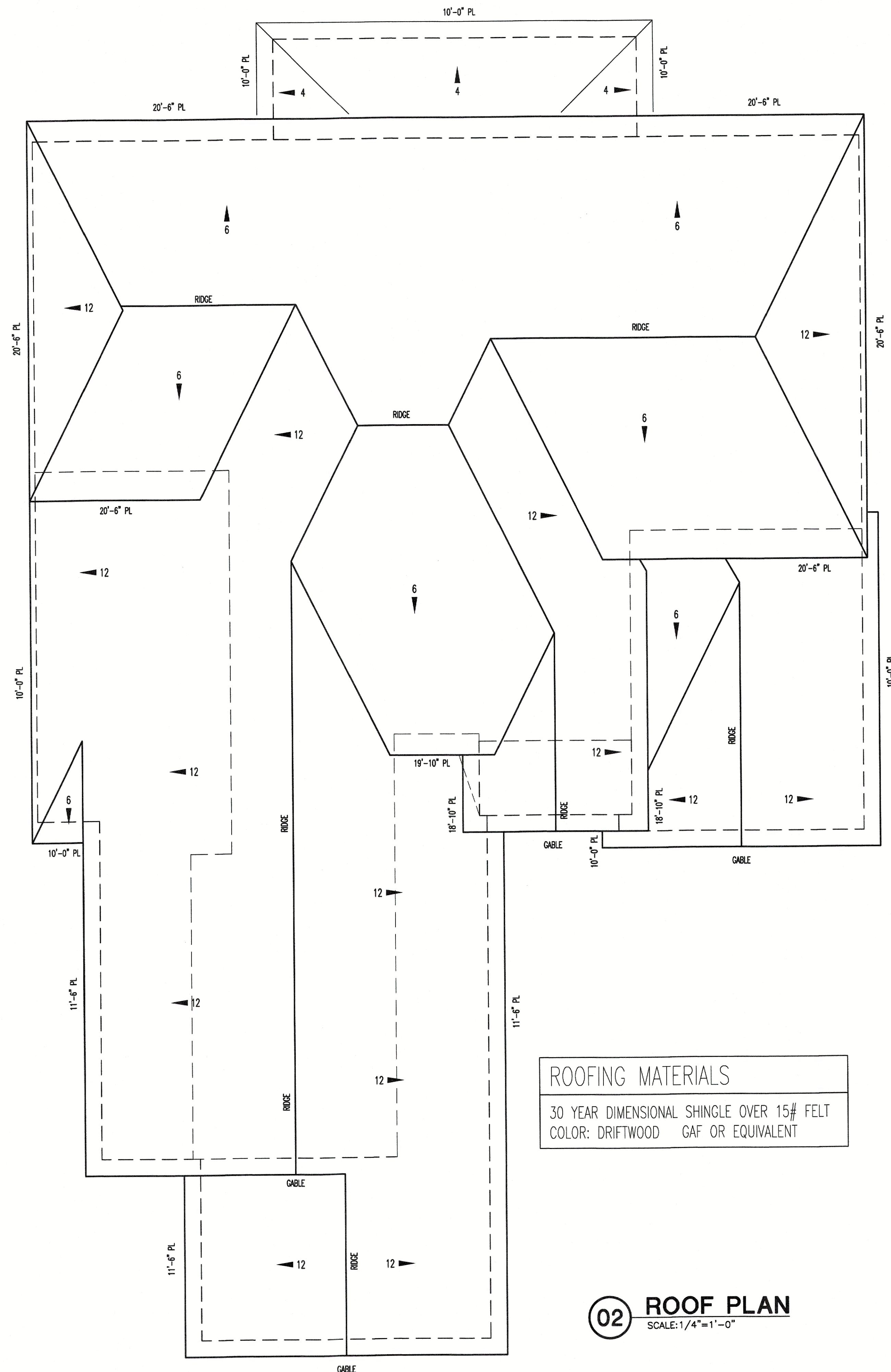
ROCKWALL COUNTY

NO REVISION

05-10-23

SHEET NUMBER

A4





DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75072
PH. (214) 925-5636

DO NOT SCALE DIMENSIONS
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THIS PLAN

OWNER/CONTRACTOR

**VANIO & DESI
DILOV**

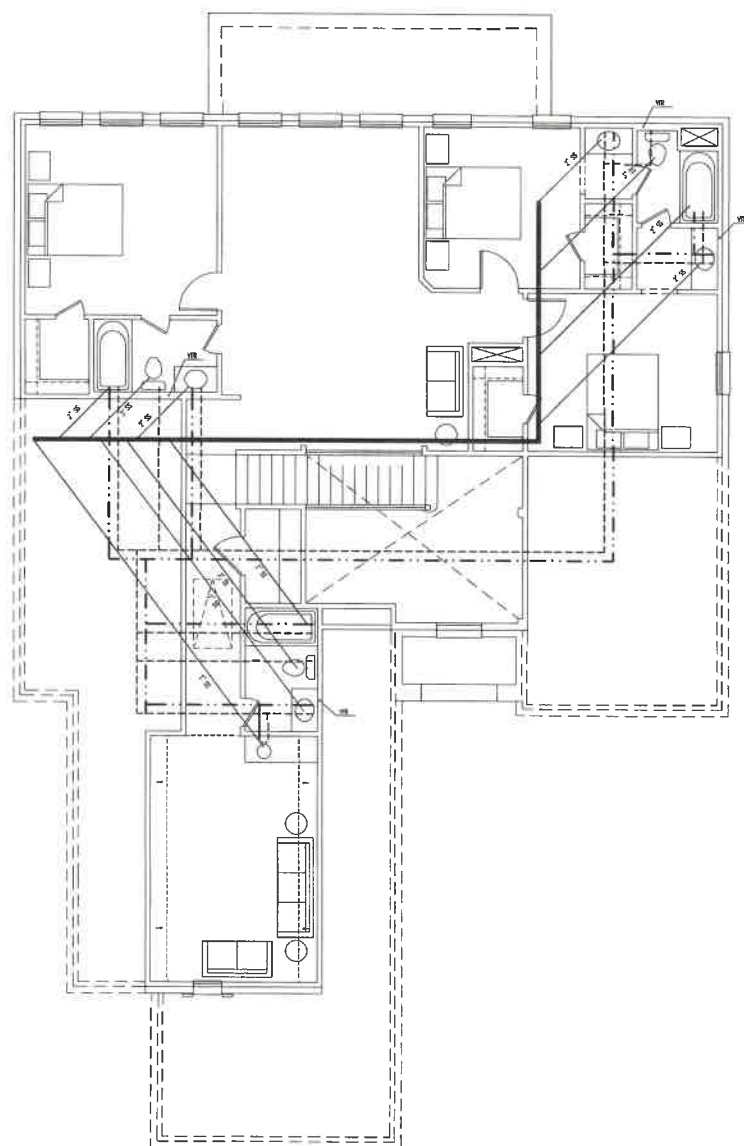
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ROWLETT, TX 75088
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110 MISCHIEF LANE
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ROCKWALL COUNTY

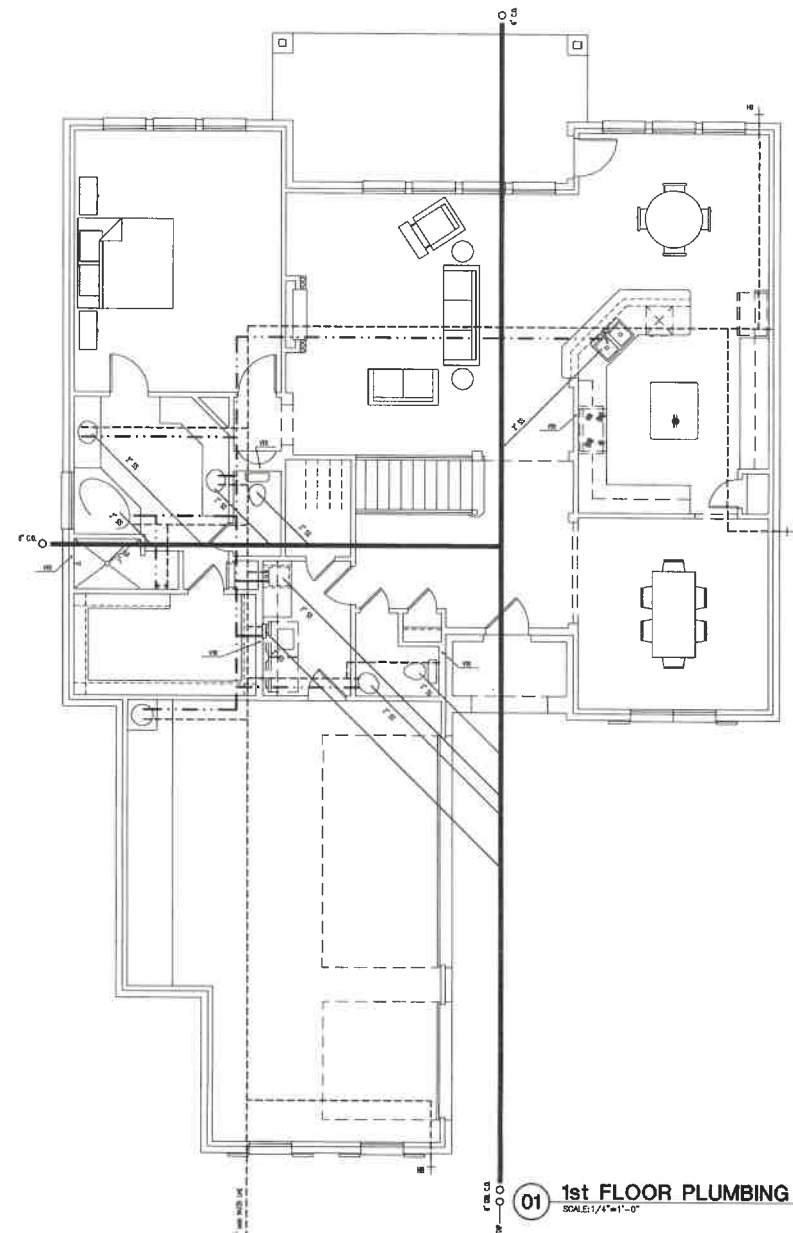
NO REVISION
05-10-23

SHEET NUMBER

A7



02 2nd FLOOR PLUMBING PLAN
SCALE: 1/4"=1'-0"



01 1st FLOOR PLUMBING PLAN
SCALE: 1/4"=1'-0"



DEVELOPMENT APPLICATION

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Planning and Zoning Department
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STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

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CONTACT PERSON	<u>VANIO DILOV</u>	CONTACT PERSON	<u>VANIO DILOV</u>
ADDRESS	<u>2717 LAKEWOOD DR.</u>	ADDRESS	<u>2717 LAKEWOOD DR.</u>
	<u>ROWLETT</u>		<u>ROWLETT</u>
CITY, STATE & ZIP	<u>TX. 75088</u>	CITY, STATE & ZIP	<u>TX. 75088</u>
PHONE	<u>972-672-7777</u>	PHONE	<u>972-672-7777</u>
E-MAIL	<u>Desi. Dilov @ Gmail.com</u>	E-MAIL	<u>Desi. Dilov @ Gmail.com</u>

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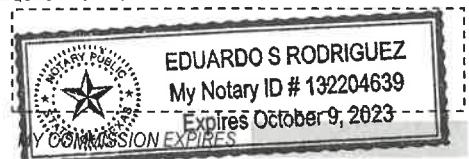
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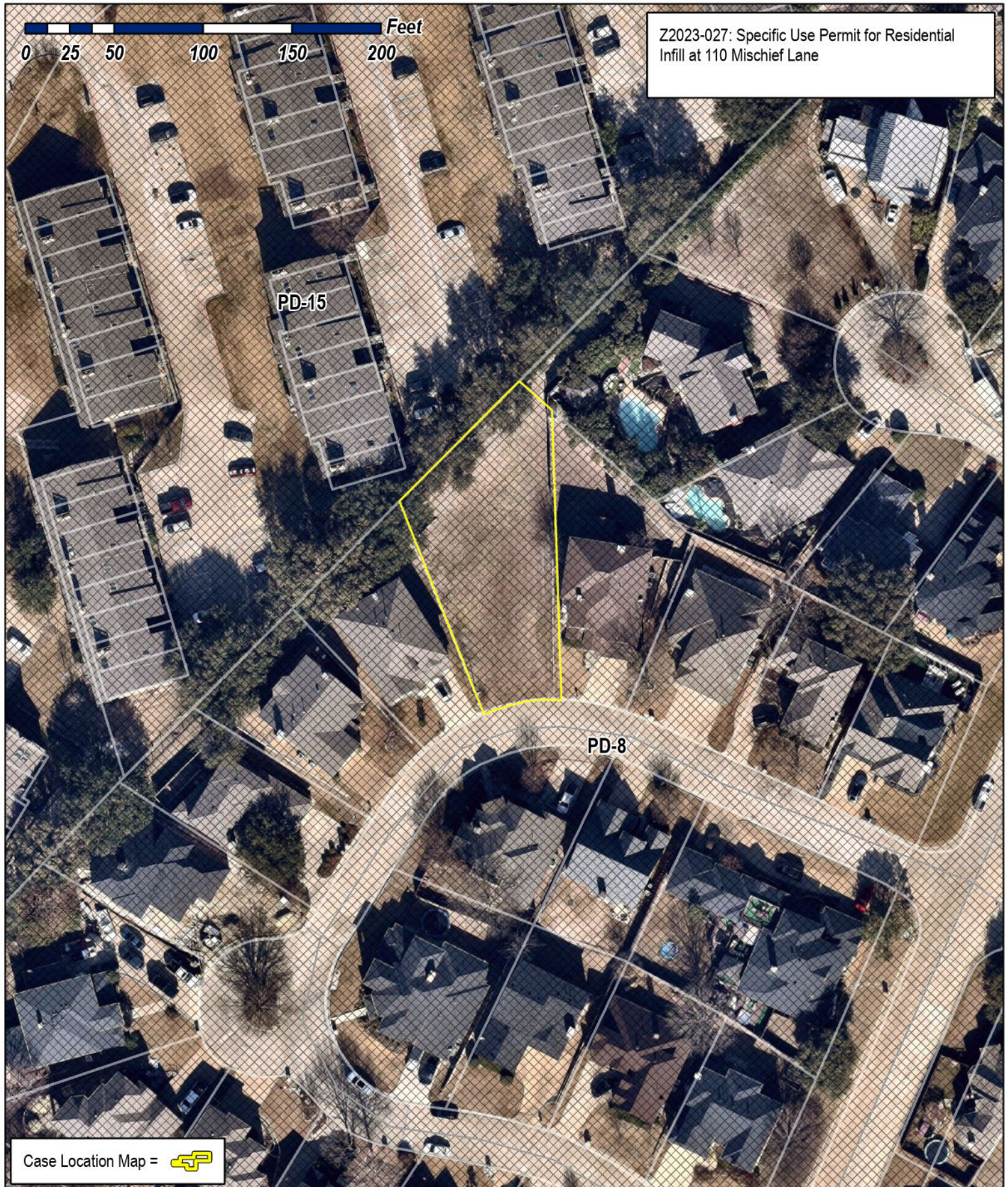
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OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-027: Specific Use Permit for Residential Infill at 110 Mischief Lane

PD-15

PD-8

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

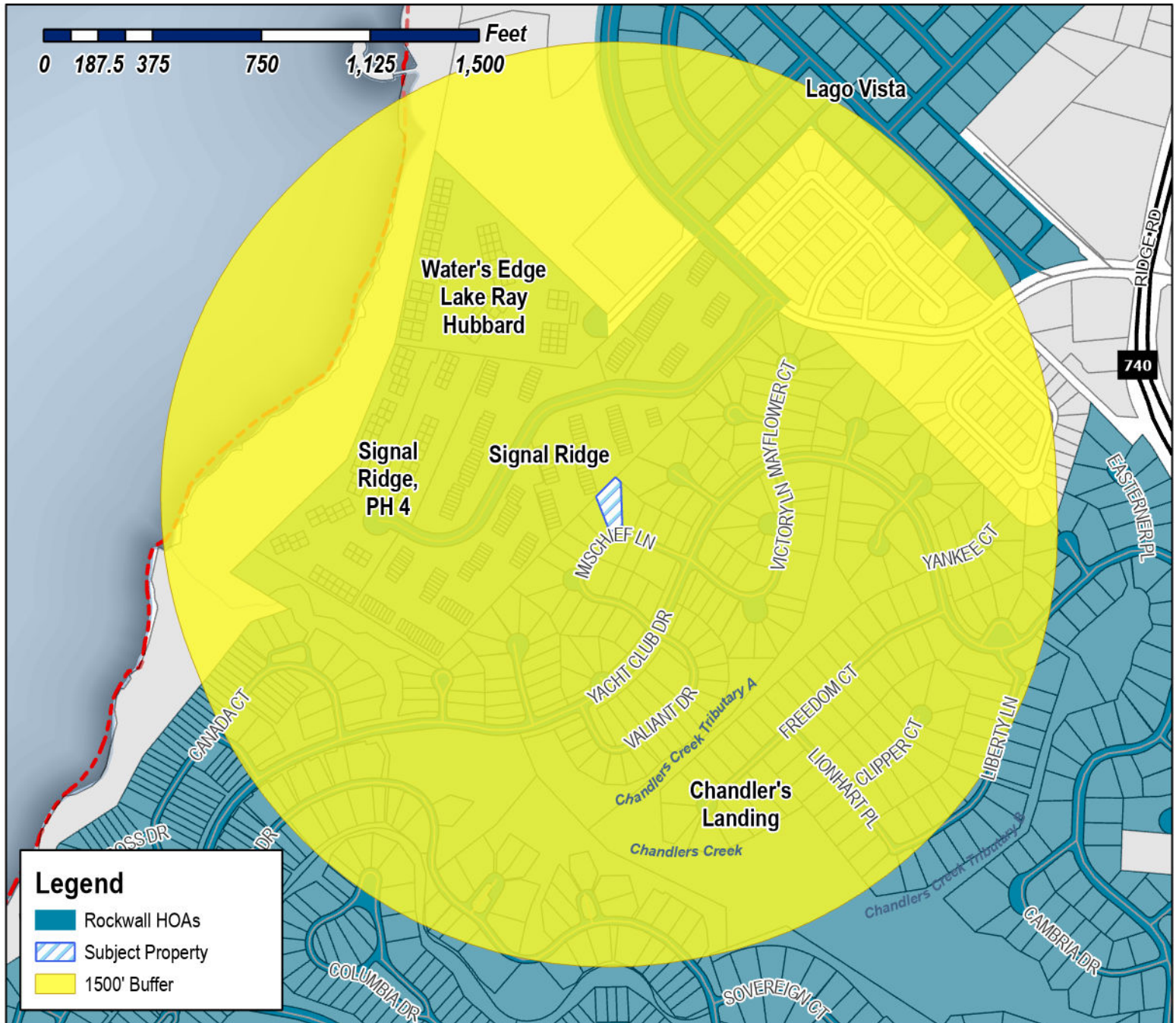




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Case Number: Z2023-027
Case Name: SUP for Residential Infill
Case Type: ZONING
Zoning: Planned Development District 8 (PD-8)
Case Address: 110 Mischief Lane

Date Saved: 5/23/2023
For Questions on this Case Call (972) 771-7745

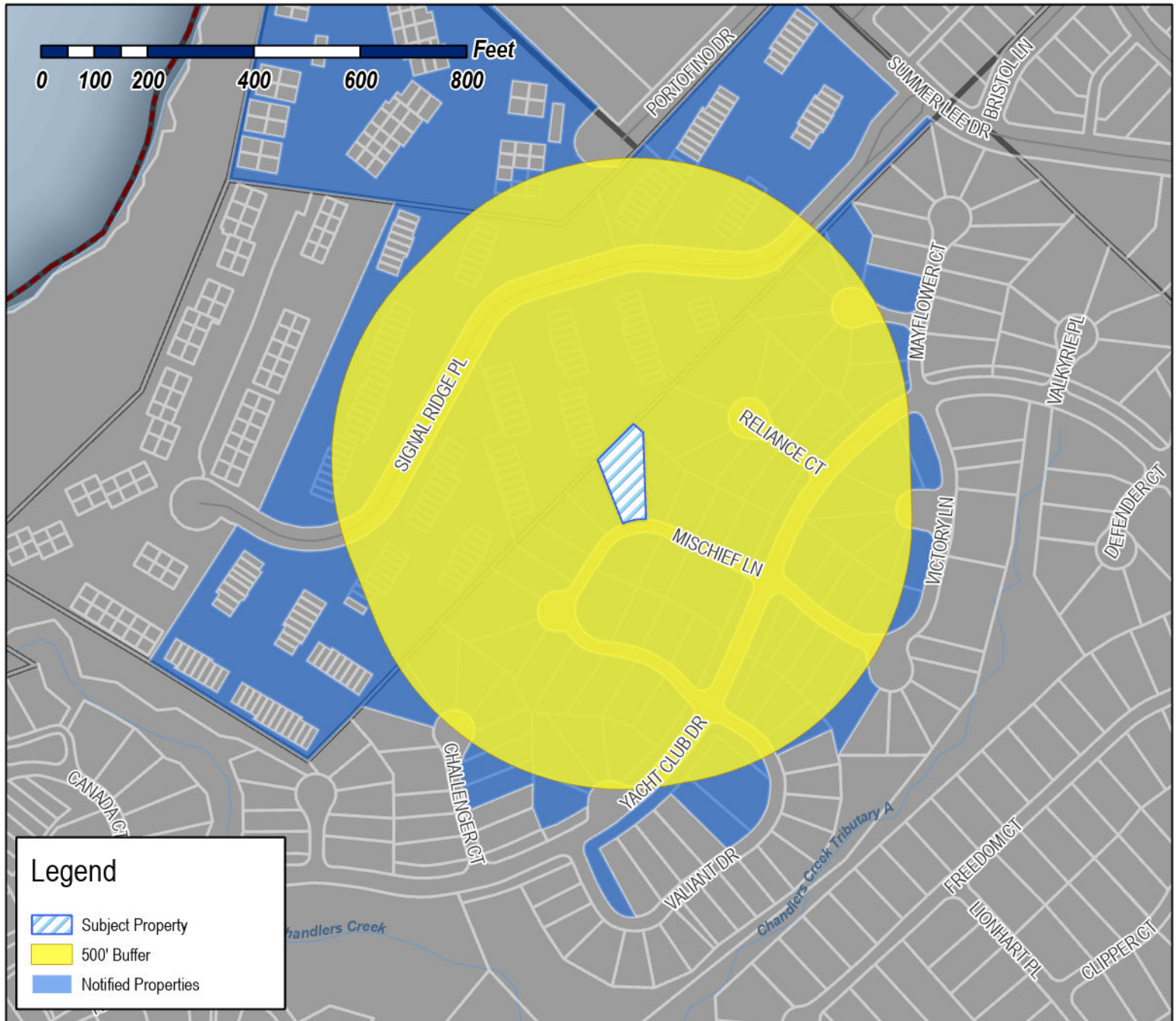




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Case Number: Z2023-027
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 110 Mischief Lane

Date Saved: 5/23/2023

For Questions on this Case Call: (972) 771-7746



BELOTE GARLAND III
1001 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL
1002 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1003 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SINNOTT KATHY
1004 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1005 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SEPEHRI SUSAN M
1006 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BROYLES STEPHANIE
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GOODMAN CARLA
101 DAME PATTIE DR
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA
101 MAYFLOWER CT
ROCKWALL, TX 75032

SWEET CHASE AND SADIE
101 RELIANCE CT
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
101 S BROOKSIDE DR APT 2505
DALLAS, TX 75214

MCAFFEE CANDACE
1010 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1013 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WORTHY SHARON A
1014 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ROGERS JOE ELLIS
1015 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1017 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

RESIDENT
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1019 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

HALL CORI
102 MISCHIEF LANE
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1021 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GIBBS STEPHANIE L
1022 SIGNAL RIDGE PLACE
ROCKWALL, TX 75087

RESIDENT
1023 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAIL SYDNEY
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1025 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOSEPH JACOB
1028 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1029 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
103 DAME PATTIE
ROCKWALL, TX 75032

RESIDENT
103 MAYFLOWER CT
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 GROSS RD BLDG A
MESQUITE, TX 75149

AUSTIN CHRISTI LYNN
103 RELIANCE COURT
ROCKWALL, TX 75032

DUKE HEATHER
1030 SIGNAL RIDGE PL UNIT 1030
ROCKWALL, TX 75032

RESIDENT
1031 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1034 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1035 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRYOR MICA MALONEY
1036 SIGNAL RIDGE PLACE #1036
ROCKWALL, TX 75032

RESIDENT
1037 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1038 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CONNER JANICE S
1039 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
104 RELIANCE CT
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
1040 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1041 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1042 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TRINGALI CAHTERINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KILGORE MADISON
1045 SIGNAL RIDGE PL
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1047 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ZAIDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OCONNOR MICHAEL
105 MAYFLOWER CT
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE
106 RELIANCE CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

NORTEX PROPERTIES INC
% JOSEPH L ZEHR
10808 LA CABREAH LN
FORT WAYNE, IN 46845

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
110 MISCHIEF LN
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1102 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1103 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO
1104 SIGNAL RIDGE #1104
ROCKWALL, TX 75032

RESIDENT
1105 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

GARDNER DAVID L REVOCABLE LIVING TRUST
DAVID L GARDNER TRUSTEE
1105 51ST ST W
BRADENTON, FL 34209

OGLIN THOMAS J & JOYCE L
1106 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1107 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNS ETHAN
1108 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RUBIO CONNIE L
1109 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CORDELL-JOHNSON KIMBERLY
1110 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1111 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLER JEFFRY AND KATHLEEN
1111 VISTA GRANDE ROAD
EL CAJON, CA 92019

TWOMEY ELIZABETH A
1112 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1113 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1114 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MATHERNE JUDITH L
1115 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MAKE READY RENOVATIONS LLC
1116 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MARKHAM DIANNA
1117 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

LEVENTHAL PATRICK J
1118 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BULLOCK JEFFREY B AND
MARGARITA HEREDIA
1119 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

FREEMAN RICHARD WILLIAM
1120 LIVE OAK CIRCLE
SHERMAN, TX 75092

LAMAN FRANCES ANN
1120 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1121 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LAWRENCE ALAN
1122 SIGNAL RIDGE PLACE # 1122
ROCKWALL, TX 75032

RESIDENT
1123 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1124 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1125 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA CHRISTOPHER
1126 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1127 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAUGHAN CULLY & SARA
1128 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1129 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J
114 MISCHIEF LANE
ROCKWALL, TX 75032

LETT LORNA
116 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
118 MISCHIEF LN
ROCKWALL, TX 75032

PUSTEJOVSKY MARK
11875 CR 4026
KEMP, TX 75143

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J
120 PURITAN CT
ROCKWALL, TX 75032

LOWREY COLT A AND
LEO WISE
122 MISCHIEF LN
ROCKWALL, TX 75032

HORTON TREVOR L AND MEGAN
122 PURITAN COURT
ROCKWALL, TX 75032

MCMURTRE DREW
1220 COIT RD STE 107
PLANO, TX 75075

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

POTISKA PATRICIA
124 PURITAN CT
ROCKWALL, TX 75032

RESIDENT
125 MISCHIEF LN
ROCKWALL, TX 75032

LOPEZ CHRIS MARK AND ASHLEY MARIE
126 MISCHIEF LN
ROCKWALL, TX 75087

WINKLES GARY AND KRISTY
126 PURITAN CT
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

RESIDENT
128 PURITAN CT
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
132 MISCHIEF LN
ROCKWALL, TX 75032

LANIGAN TIFFANY LEE
143 STEVENSON DR
FATE, TX 75087

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

RESIDENT
1501 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WEST VICTORIA FELICIA
1502 SIGNAL RIDGE
ROCKWALL, TX 75032

LE VASSEUR SANDI
1503 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1504 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BRINKMAN VICKI LYNN
1505 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1506 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FITZGERALD LARRY R AND JACQUELINE
1507 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1508 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1517 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1518 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA JUSTIN
1519 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

DECKER SARAH E
1520 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCCLENDON JAMIE
1521 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1522 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BROWN CORY
1523 SIGNAL RIDGE
ROCKWALL, TX 75032

TABOR MARILYN W
1524 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1525 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OSBORN LARETHA
1526 SIGNAL RIDGE PLACE UNIT 1526
ROCKWALL, TX 75032

RESIDENT
1527 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANCLEVE BARRY CURTIS
1528 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1529 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PINSON JON JEFFREY
1530 SIGNAL RIDGE PLACE BLDG S, UNIT 3
ROCKWALL, TX 75032

RESIDENT
1531 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1532 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1533 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1534 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NALL JODEE WAYNE
1535 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

SCHAR KATIE AND ERNST
1536 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

RESIDENT
1537 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1538 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1539 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILLIAMS CHARLES M AND TIFFANY
1540 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CURRENS WAYNE & ARLENE TRUSTEES
BUCHNER/CURRENS FAMILY TRUST
16 LAKEWAY DR
HEATH, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

MEDINA ALEJANDRO
1800 DALROCK #100
ROWLETT, TX 75088

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1910 SIGNAL RIDGE
ROCKWALL, TX 75032

OLSEN CATHERINE A
1920 KINGS PASS
HEATH, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
2001 SPRING RD SUITE 700
OAK BROOK, IL 60523

HARVILLE BRET
2003 PORTOFINO DR
ROCKWALL, TX 75032

LARAPINTA LLC
2028 E. BEN WHITE BLVD # 240-5820
AUSTIN, TX 75741

RESIDENT
2030 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2032 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2034 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2036 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2038 PORTOFINO DR
ROCKWALL, TX 75032

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

PINK DALLAS LLC
240 WILLOWCREST
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

TONA CHAD J & MARTI
256 VICTORY LANE
ROCKWALL, TX 75032

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
264 VICTORY LN
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN
268 VICTORY LN
ROCKWALL, TX 75032

DILOV VANIO
2717 LAKEWOOD DR
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
277 TERRY LANE
HEATH, TX 75032

BURKETT MARY REBECCA EASON
277 TERRY LN
HEATH, TX 75032

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BAILEY RONALD C AND BETH K
2919 COUNTRY PLACE CIR
CARROLLTON, TX 75006

SALT PROPERTIES LLC
2931 RIDGE ROAD SUITE 101-181
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

LYNN JASON AND DANIELLE
297 VICTORY LANE
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
2977 OAK DR
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

MIRFENDERESKI JONAH JAVAD AND
NALINA MICHELLE SHAPIRO
301 VALIANT DRIVE
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B
REV LIVING TRUST AGREEMENT
3020 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
303 VALIANT DR
ROCKWALL, TX 75032

HALL TABITHA AMY AND
TERESA ADAMS
305 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
306 VICTORY LN
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

RESIDENT
310 VICTORY LN
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

LESLIE RANDY
349 E ELDORADO DR
SCROGGINS, TX 75480

STRAHM ROBERT & DENA LYNNE
351 EQUESTRIAN DR
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
411 DRIFTWOOD ST
ROCKWALL, TX 75087

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

BRACK KENYATTA AND SELEAN TURNER
4501 YACHT CLUB DRIVE
ROCKWALL, TX 75032

KUMAR ANVITA
4701 COPPER MOUNTAIN LANE
RICHARDSON, TX 75082

BYRUM JO ANN
504 N ALAMO ROAD
ROCKWALL, TX 75087

BOUSSERT ANNE S & CHRISTIAN B
516 CAMELIA AVE
BATON ROUGE, LA 70806

HARMON H VICTOR
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

VEGA DAVID AND ALICIA C
550 MCDONALD ROAD
HEATH, TX 75032

RESIDENT
5506 CHALLENGER CT
ROCKWALL, TX 75032

NORTON ANGELA
5508 CHALLENGER CT
ROCKWALL, TX 75032

BRADSHAW ADRIAN
5510 CHALLENGER COURT
ROCKWALL, TX 75032

RESIDENT
5512 CHALLENGER CT
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN
5514 CHALLENGER CT
ROCKWALL, TX 75032

CABANISS CHAR CHERICE
DAVID R DE LA CERDA
5516 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS
643 TURTLE COVE BLVD
ROCKWALL, TX 75087

MUNGER JEFFREY K AND GAIL SLOANE
6558 FOXDALE CIRCLE
COLORADO SPRINGS, CO 80919

CORL JON & KIMBERLY BETH CORL AND
ELIZABETH EDWARDS
668 FEATHERSTONE DRIVE
ROCKWALL, TX 75087

THOMAS VELIA
7317 LOUGHEED PLZ
PLANO, TX 75025

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

BENTON EMILY AND
LORI BENTON
785 WINDING RIDGE LN
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
804 EAGLE PASS
HEATH, TX 75032

BRAY SHAWN & HANNAH GRACE LEHMANN-
BRAY
809 SIGNAL RIDGE
ROCKWALL, TX 75032

GERAULT JANET
810 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
811 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
812 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DUNN FAMILY TRUST AND DUNN MARITAL
TRUST
ALMA JEAN DEAN- TRUSTEE
813 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BRASHEARS KARI
814 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ANDREW JONATHON
815 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
816 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
828 CR 1035
COOPER, TX 75432

RESIDENT
919 SIGNAL RIDGE PL
ROCKWALL, TX 75032

INZILLO FRANCA
920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BEST JAMES AND DEBRA
922 SENDERA LN
ROCKWALL, TX 75087

MURRAY NORMA C
922 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
923 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
924 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
925 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
926 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
927 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILEY ALEXANDRIA AND JOHN WESLEY
SHELTON
928 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GREEN MAUREEN
945 BREEZY HILL LANE
ROCKWALL, TX 75087

HARRIS SUSAN
9660 ALPHA LN
QUINLAN, TX 75474

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
C/O CHARLES LINEVILLE P O BOX 743612
DALLAS, TX 75374

AMHILL FINANCIAL, LP
P. O. BOX 1179
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

THE SPACE PLACE, SERIES LLC, SERIES I
P.O. BOX 1271
MOUNT PLEASANT, TX 75456

LOGAN PAULINE K
P.O. BOX 2198
ROCKWALL, TX 75087

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

SRYGLEY JAMES
PO BOX 1928
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

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CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR

VANIO & DESI

DILOV

2717 LAKEWOOD DR.

ROWLETT, TX 75088

(972) 672-7777

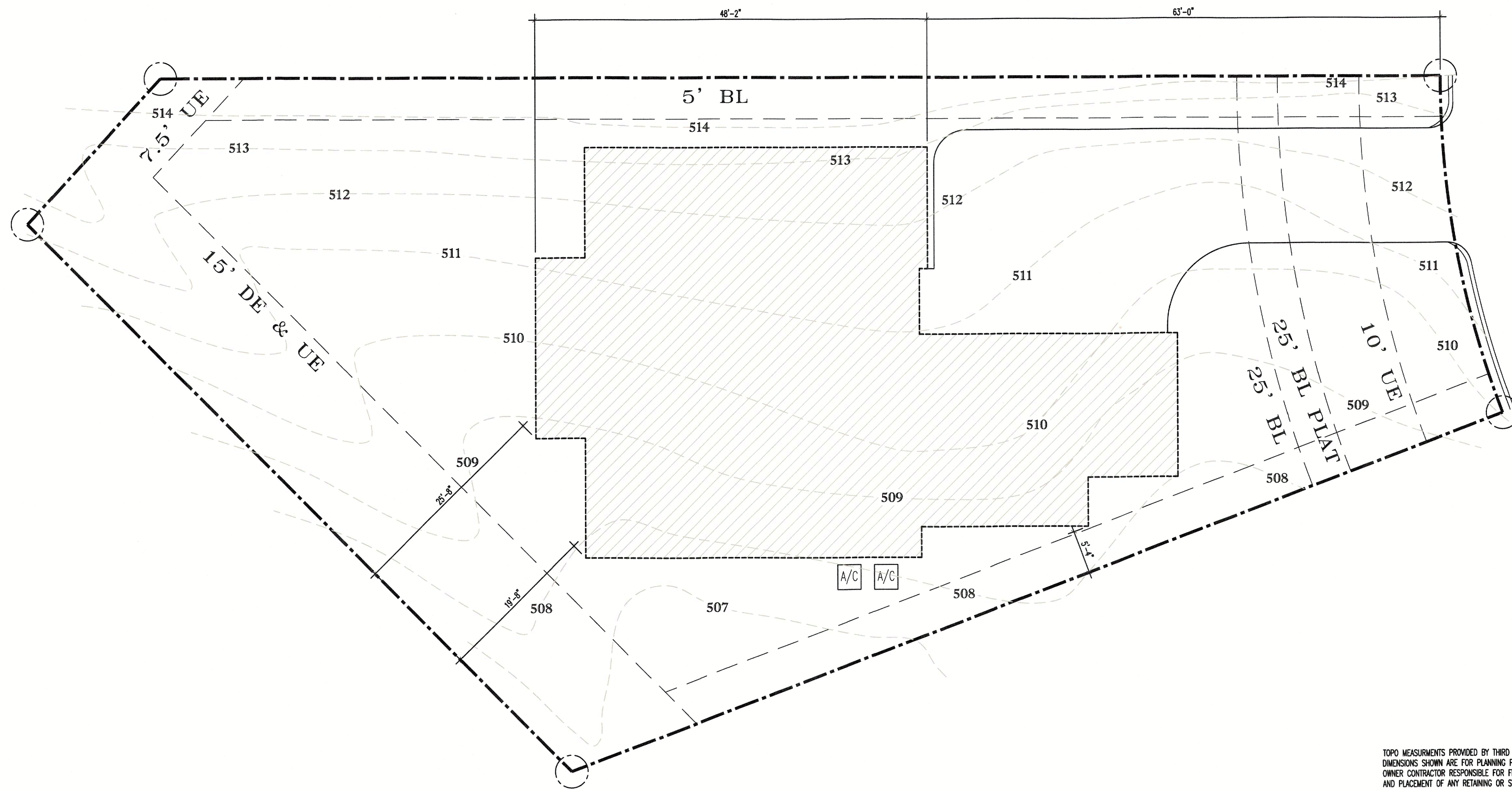
LOT 16 BLK A CHANDLERS LAANDING PH 20
SPEC BUILD
110 MISCHIEF LANE
ROCKWALL, TX 75032
ROCKWALL COUNTY

NO REVISION

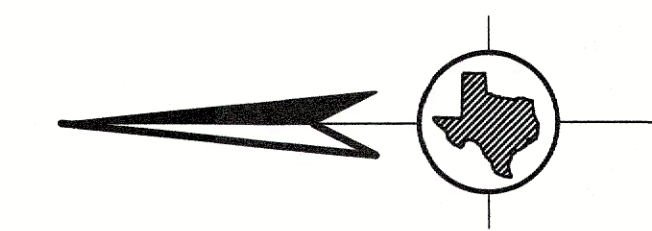
05-10-23

SHEET NUMBER

A0.5

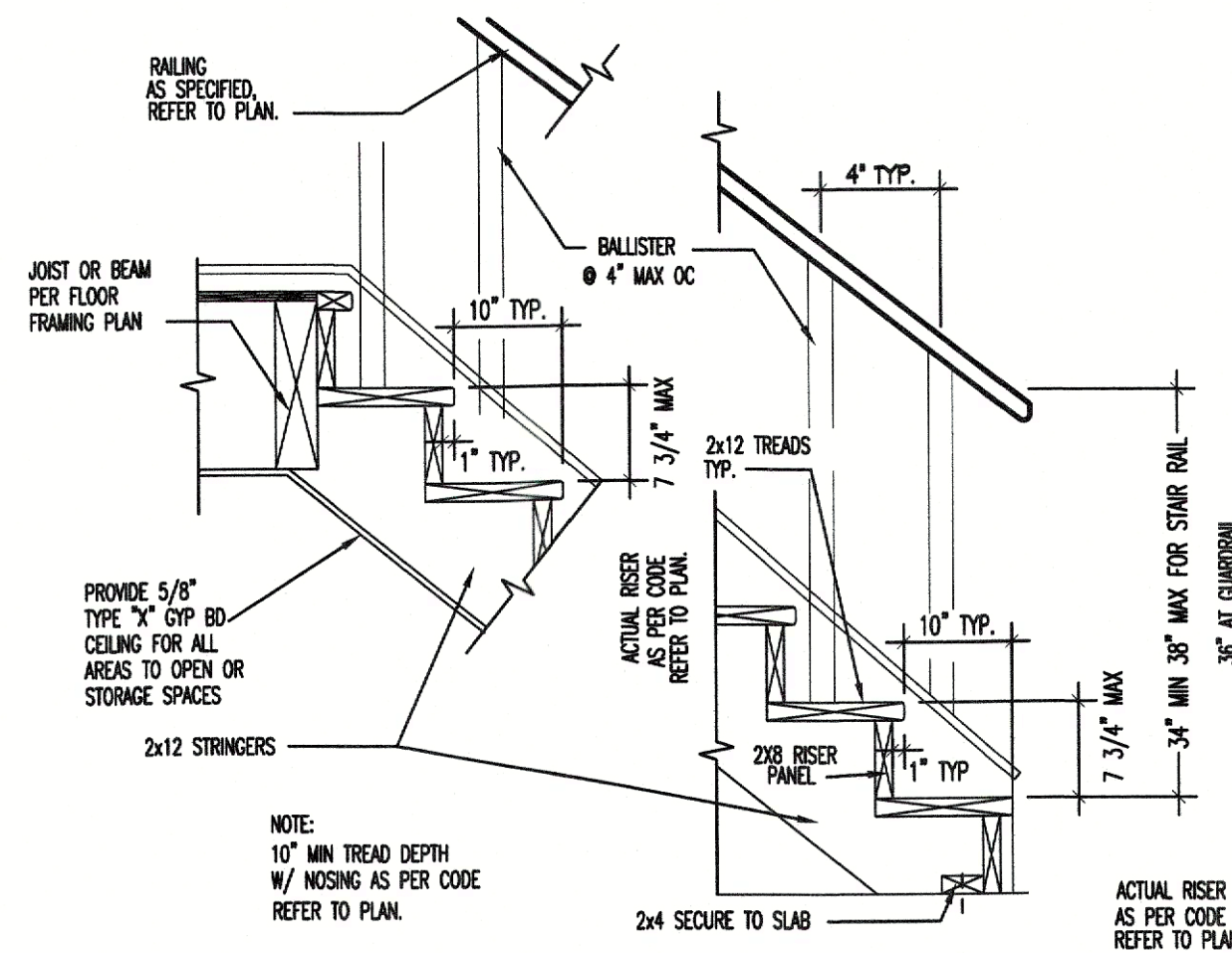


TOPO MEASUREMENTS PROVIDED BY THIRD PARTY SURVEY
DIMENSIONS SHOWN ARE FOR PLANNING PURPOSES ONLY
OWNER CONTRACTOR RESPONSIBLE FOR FINAL FORM SURVEY
AND PLACEMENT OF ANY RETAINING OR STEM WALLS



01 SLAB PROFILE ON SITE PLAN
SCALE: 1/8"=1'-0"

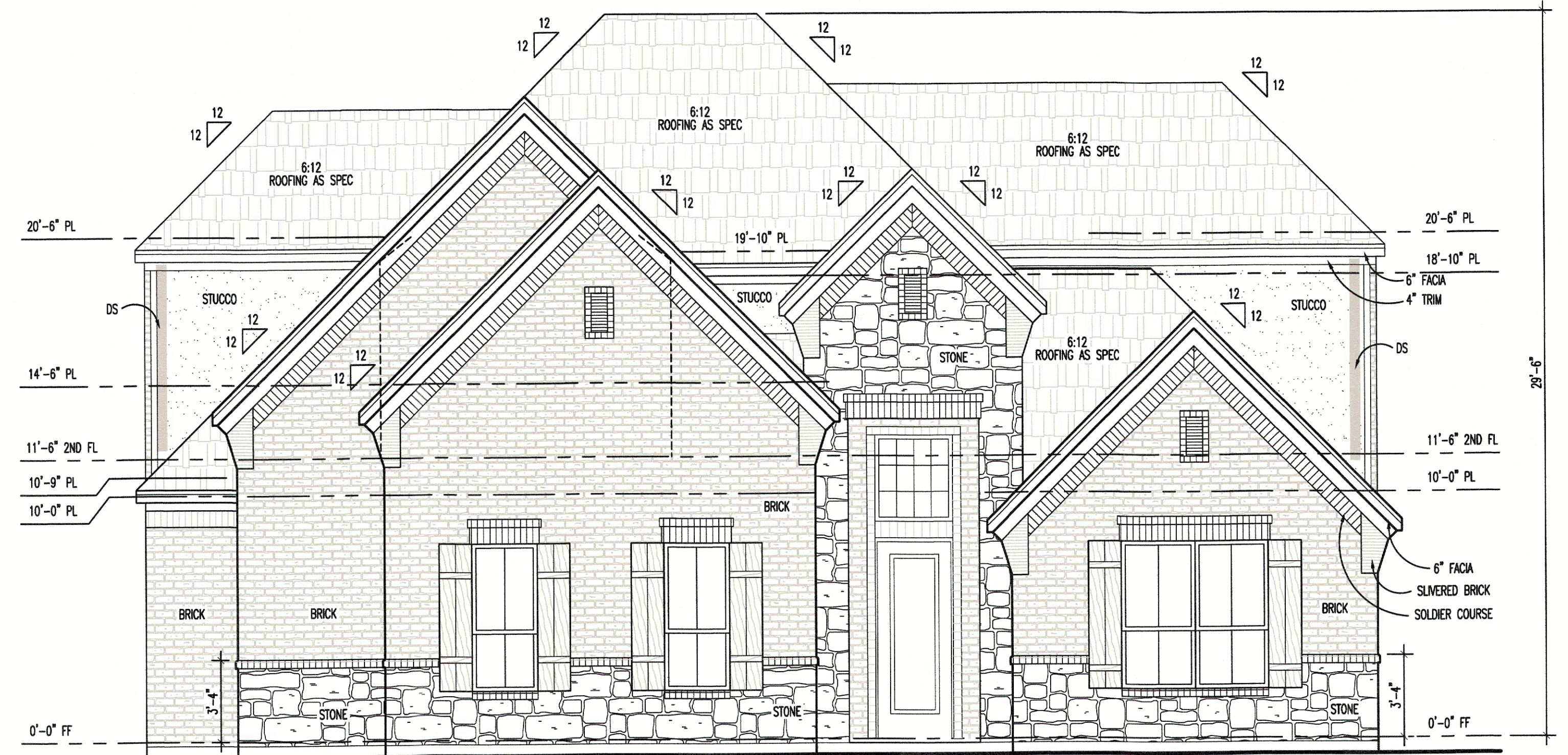
110
MISCHIEF
LANE



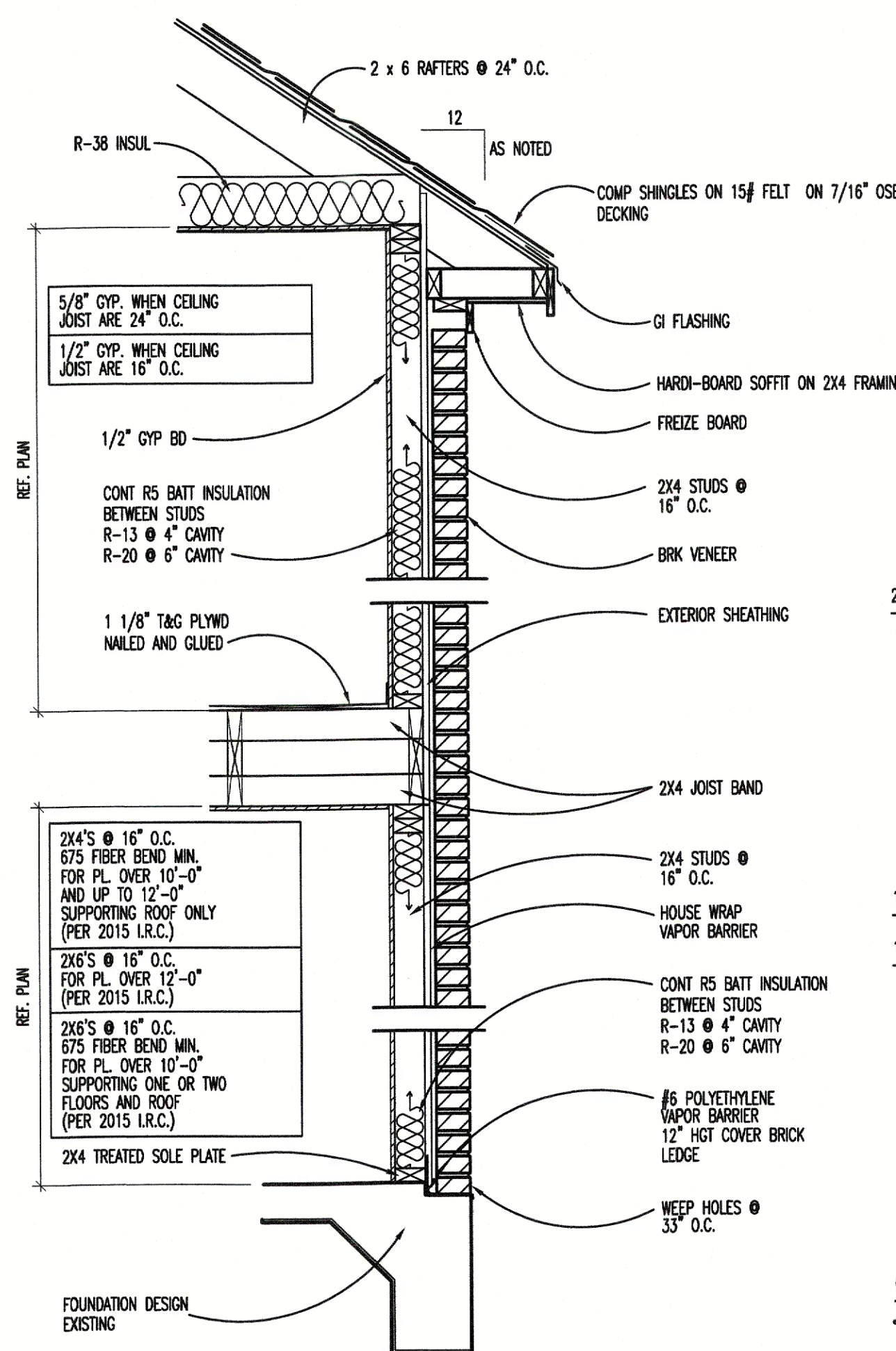
03 TYP STAIR SECTION
SCALE: 3/4"=1'-0"

EXTERIOR WALL INFO				
TOTAL EXT. WALL AREA	2,738	SF		
WDWS & DOORS	545	SF		
ACTUAL C'VD AREA	3,501	SF		
BRICK AREA	2,386	SF	87.1%	
STONE AREA	210	SF	7.7%	
STUCCO AREA	142	SF	5.2%	

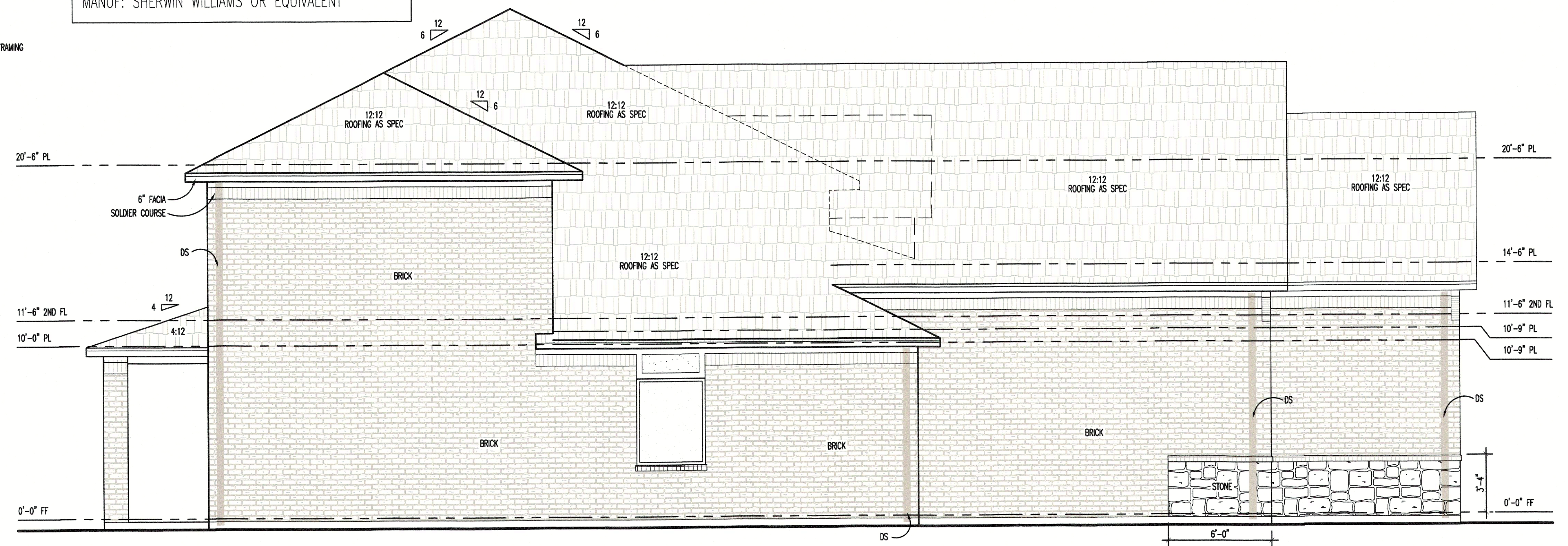
ROOFING MATERIALS	
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT	
COLOR: DRIFTWOOD GAF OR EQUIVALENT	
FACIA & SOFFIT	
1"X6" FACIA BOARD W/ 5/8"X12" HARDI SOFFIT	
PAINT	
COLOR: ADOBE	
MANUF: SHERWIN WILLIAMS OR EQUIVALENT	



01 FRONT ELEVATION
SCALE: 1/4"=1'-0"



04 TYP WALL DETAIL
SCALE: 3/4"=1'-0"



02 LEFT ELEVATION
SCALE: 1/4"=1'-0"



DESIGN SERVICES
PLAN NO. PH. (214)

DO NOT SCALE
CONTRACTOR EXISTING CO
DIMENSIONS - CONTRACT
DISCREPANCY BEGINNING
24/3/20

OWNER/CONTRACTOR
VANIO
DILL
2717 LAKE
ROWLEY
(972) 6

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20

NO REVISION

05-10

SHEET NO.

A2

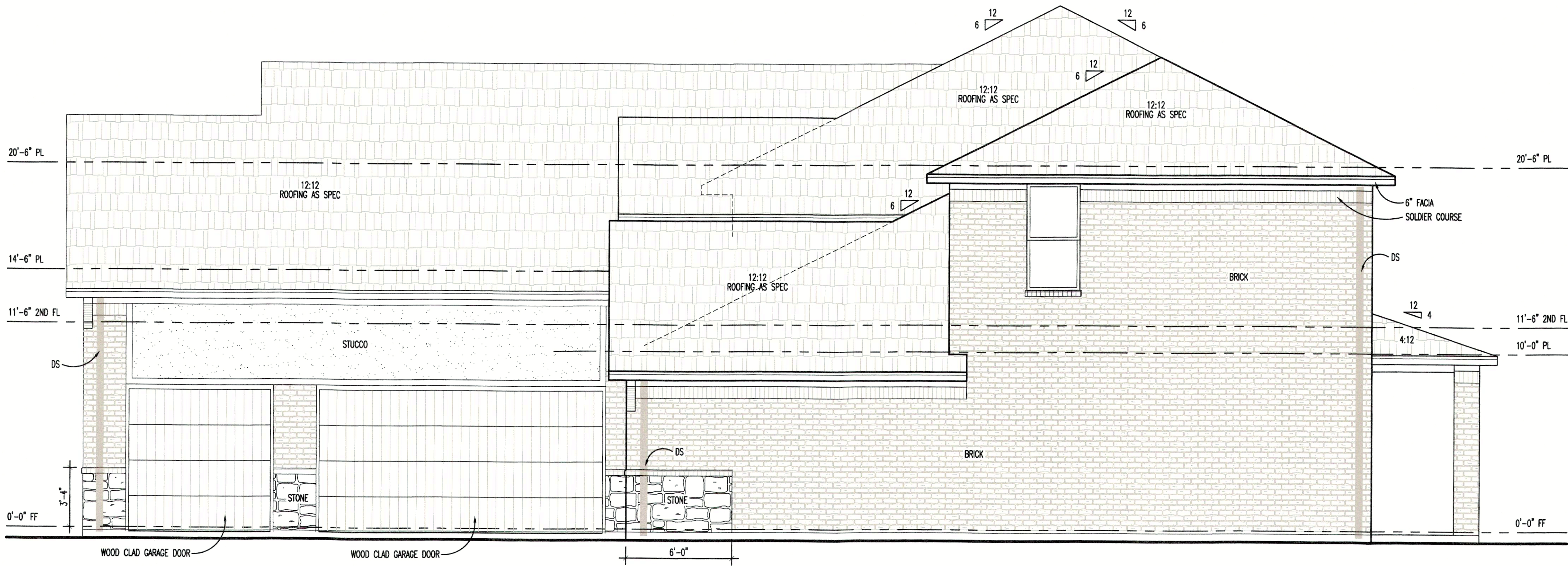
EXTERIOR DOOR SCHEDULE			
ALL GLAZING TO BE DUAL PANE INSULATED LOW-E			
ROOM	#	SIZE	DETAILS
FOYER	1	3080	WOOD ENTRY
NOOK	1	2880	FULL LITE METAL
MASTER	1	2880	FULL LITE METAL
GARAGE	1	16'x8'	METAL OHD
GARAGE	1	8'x8'	METAL OHD

WINDOW SCHEDULE			
ALL GLAZING TO BE DUAL PANE INSULATED LOW-E			
ROOM	#	SIZE	DETAILS
FOYER	1	3236	FX @ 12'-4" HH
DINING	2	3060	SH @ 8'-0" HH
NOOK	3	3060	SH @ 8'-0" HH
LIVING	4	3060	SH @ 8'-0" HH
MASTER BDRM	3	3060	SH @ 8'-0" HH
MASTER BATH	1	4050	FX @ 8'-0" HH OBSCURED
BDRM #2	3	3060	SH @ 8'-0" HH
GAME ROOM	3	3060	SH @ 8'-0" HH
BDRM #3	2	3060	SH @ 8'-0" HH
BDRM #4	1	3060	SH @ 8'-0" HH

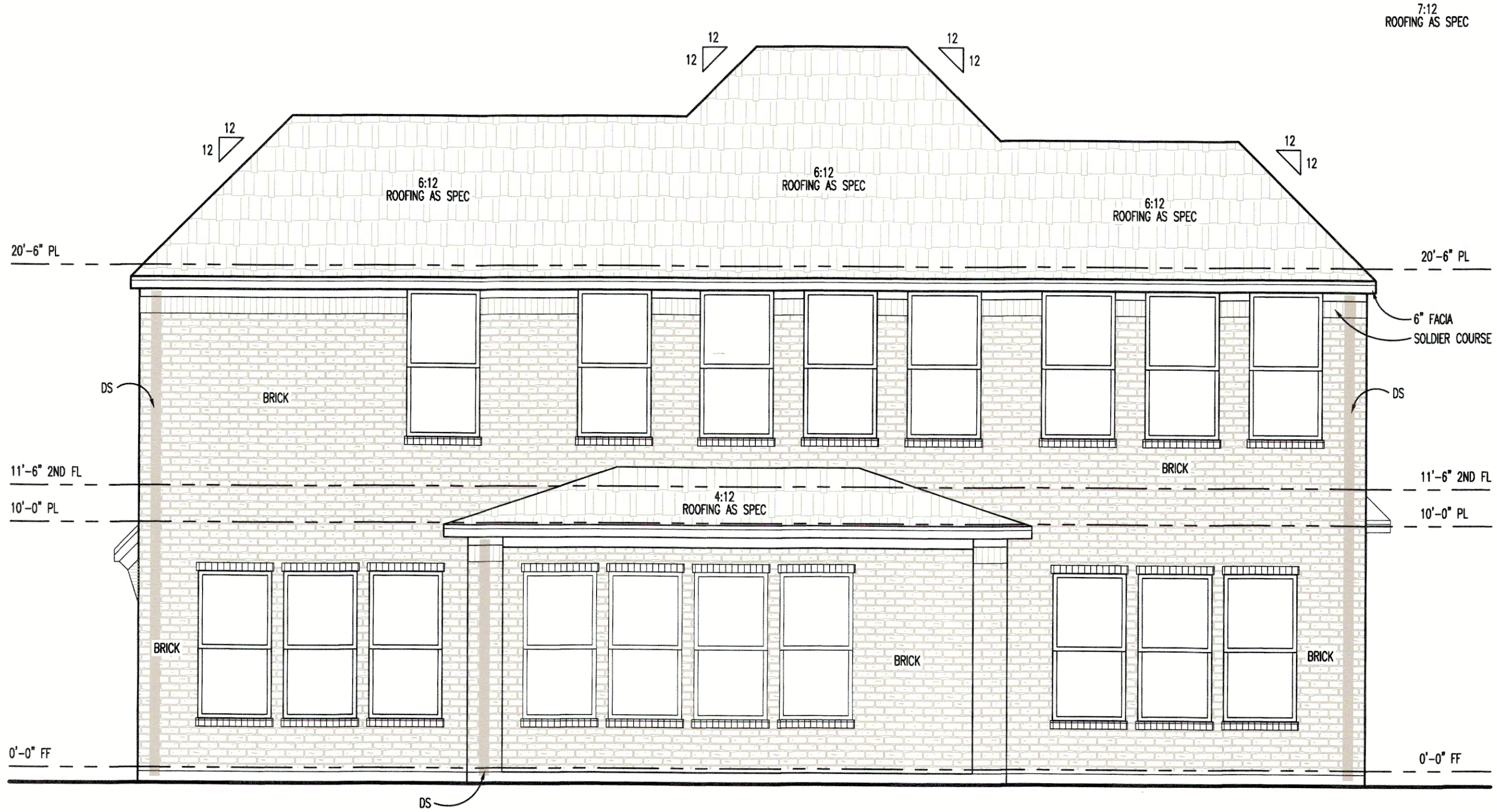
INTERIOR DOOR SCHEDULE			
ROOM	#	SIZE	DETAILS
GARAGE	1	2880	20 MIN RATED W/ CLOSER HINGES
CLOSET & STOR	2	2080	INTERIOR MASONITE HC
PAN	1	2080	INTERIOR MASONITE HC
UTIL	1	2880	INTERIOR MASONITE HC
POWDER	1	2080	INTERIOR MASONITE HC
MASTER BDRM	1	2880	INTERIOR MASONITE HC
MASTER BATH	1	PR 1380	INTERIOR MASONITE HC
	1	2080	INTERIOR MASONITE HC
	1	2680	INTERIOR MASONITE HC
BDRM #2	1	2868	INTERIOR MASONITE HC
BDRM #3	1	2868	INTERIOR MASONITE HC
BDRM #4	1	2868	INTERIOR MASONITE HC
BATH #2	2	2068	INTERIOR MASONITE HC
BATH #3	2	2068	INTERIOR MASONITE HC
BATH #4	1	2068	INTERIOR MASONITE HC
STORAGE CLOSET	1	2868	INTERIOR MASONITE HC
BDRM CLOSETS	3	2068	INTERIOR MASONITE HC

EXTERIOR WALL INFO			
TOTAL EXT. WALL AREA	2,738	SF	
WDWS & DOORS	545	SF	
ACTUAL C'VD AREA	3,501	SF	
BRICK AREA	2,386	SF	87.1%
STONE AREA	210	SF	7.7%
STUCCO AREA	142	SF	5.2%

ROOFING MATERIALS	
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT COLOR: DRIFTWOOD GAF OR EQUIVALENT	
FACIA & SOFFIT	
1"x6" FACIA BOARD W/ 5/8"x12" HARDI SOFFIT	
PAINT	
COLOR: ADOBE MANUF: SHERWIN WILLIAMS OR EQUIVALENT	



01 LEFT ELEVATION
SCALE: 1/4"=1'-0"



02 REAR ELEVATION
SCALE: 1/4"=1'-0"



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR
VANIO & DE
DILOV
2717 LAKEWOOD I
ROWLETT, TX 75081
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75082

NO REVISION
05-10-23

SHEET NUMBER
A3



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75001
PH. (214) 929-5086

DO NOT SCALE DRAWING
CONTRACTOR TO VERIFY /
EXISTING CONDITIONS AND
DIMENSIONS - NOTIFY OWNER
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36" PRINT

OWNER/CONTRACTOR
VANIO & IDILOV
2717 LAKEWOOD
ROWLETT, TX
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75087

NO REVISION

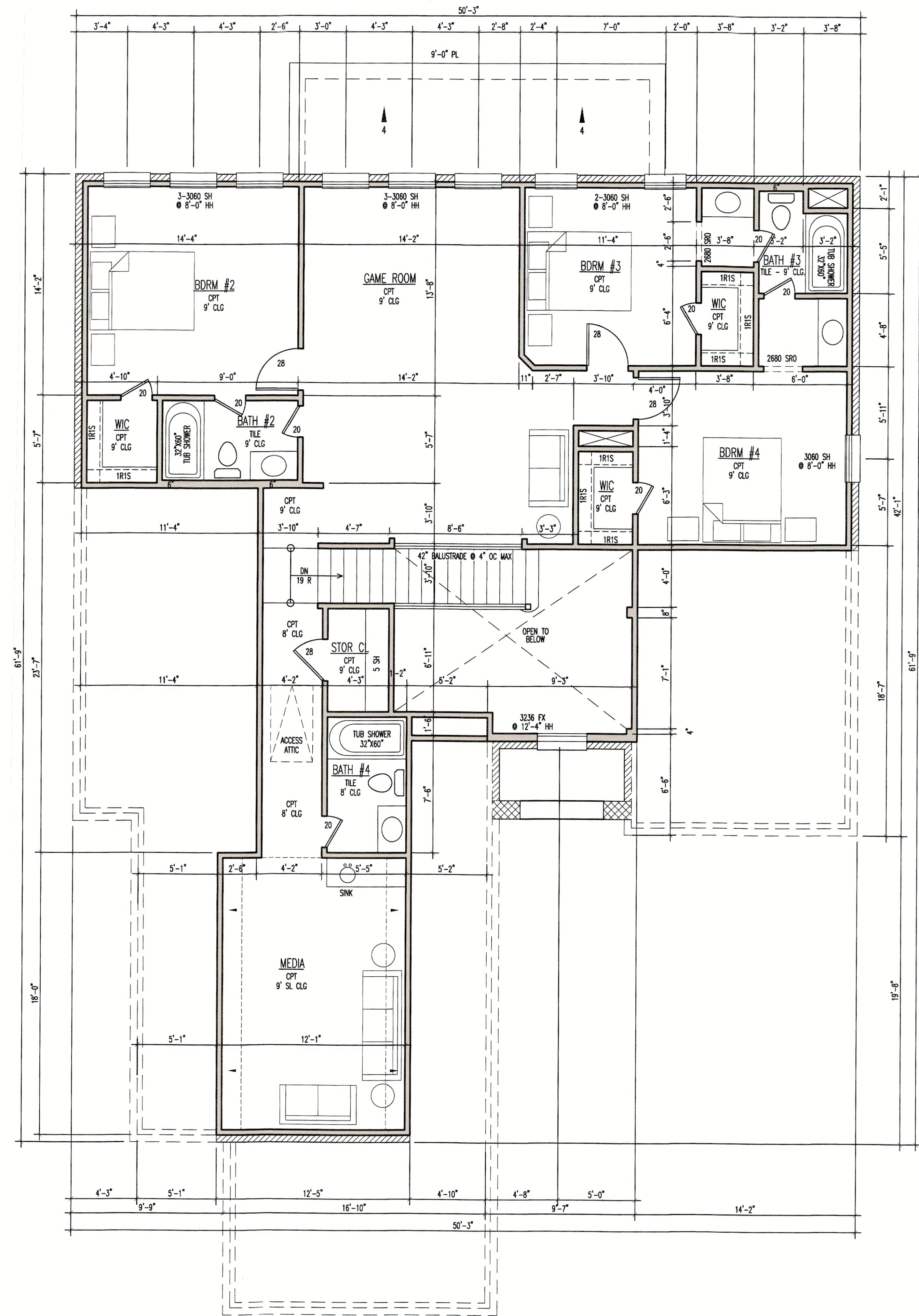
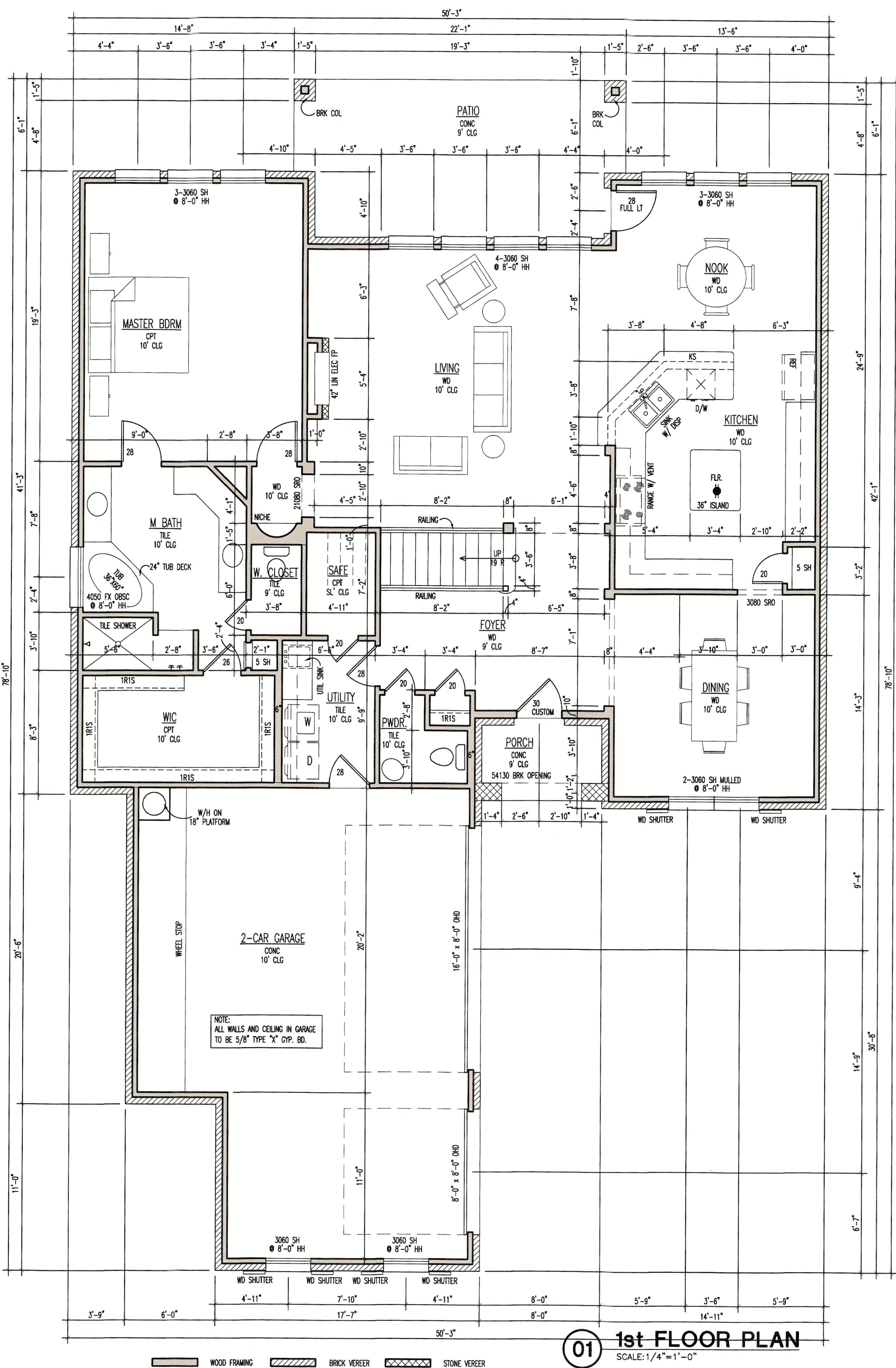
05-10-2

FIRST FLOOR A/C 1.5
SECOND FLOOR A/C 1.5
TOTAL A/C 3.0

FRONT CVD PORCH 36
REAR CVD PATIO 21
3-CAR GARAGE 66
TOTAL UNDER ROOF 123

SHEET NUMBER

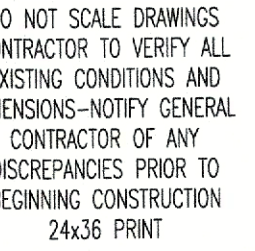
A1



APPLICABLE CODES

2015	INTERNATIONAL BUILDING CODE	2015	INTERNATIONAL FUEL GAS CODE
2015	INTERNATIONAL MECHANICAL CODE	2015	INTERNATIONAL PROP. MAINTENANCE CODE
2015	INTERNATIONAL PLUMBING CODE	2015	INTERNATIONAL ELECTRICAL CONSERVATION CODE
2015	INTERNATIONAL FIRE PREVENTION CODE	2017	NATIONAL ELECTRICAL CODE

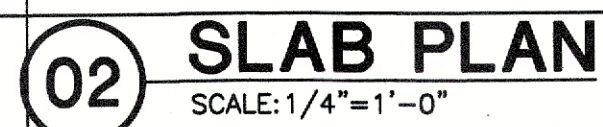
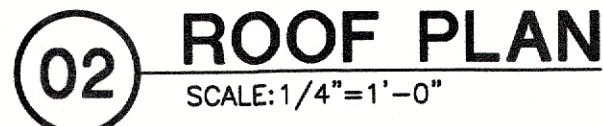
ALL CONTRACTORS SHALL REGISTER WITH MUNICIPALITY
AND PERFORM ALL TASKS TO COMPLY WITH APPLICABLE
CODES AND MUNICIPAL REGULATIONS



(972) 672-7777

SHEET NUMBER

A4





DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75072
PH. (214) 925-5636

DO NOT SCALE DIMENSIONS
CONTRACTOR TO VERIFY ALL
DIMENSIONS AND
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
THIS PLAN

OWNER/CONTRACTOR

**VANIO & DESI
DILOV**

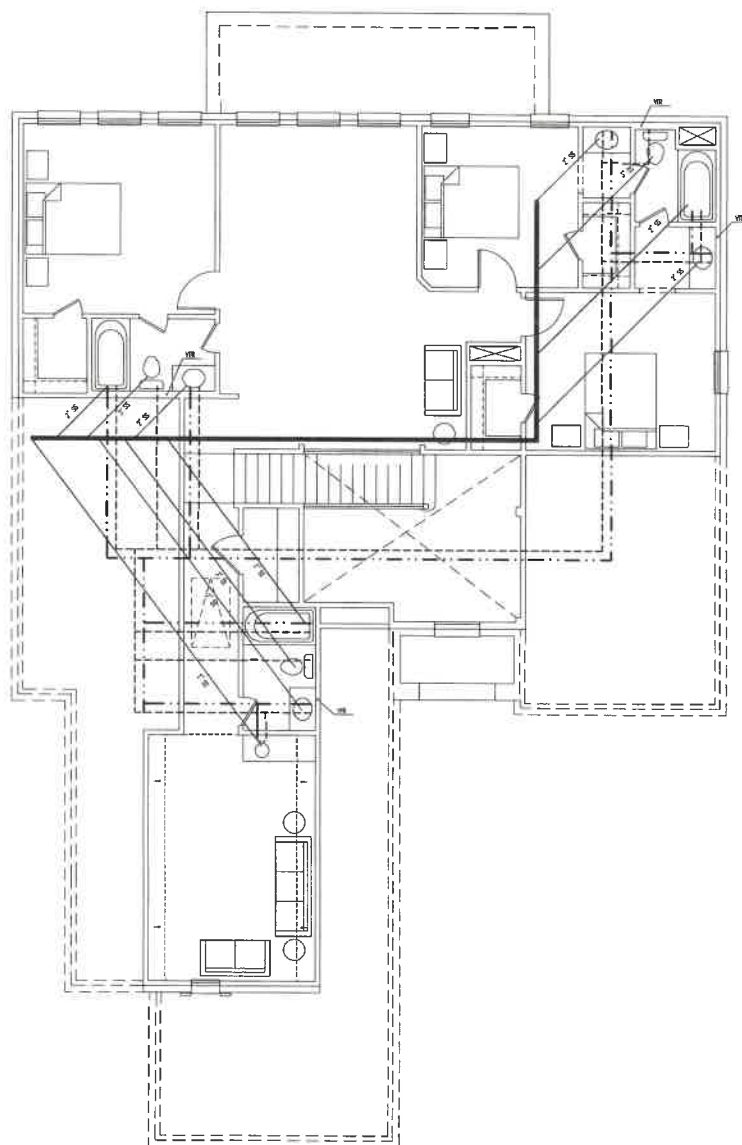
2717 LAKEWOOD DR.
ROWLETT, TX 75088
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75082
ROCKWALL COUNTY

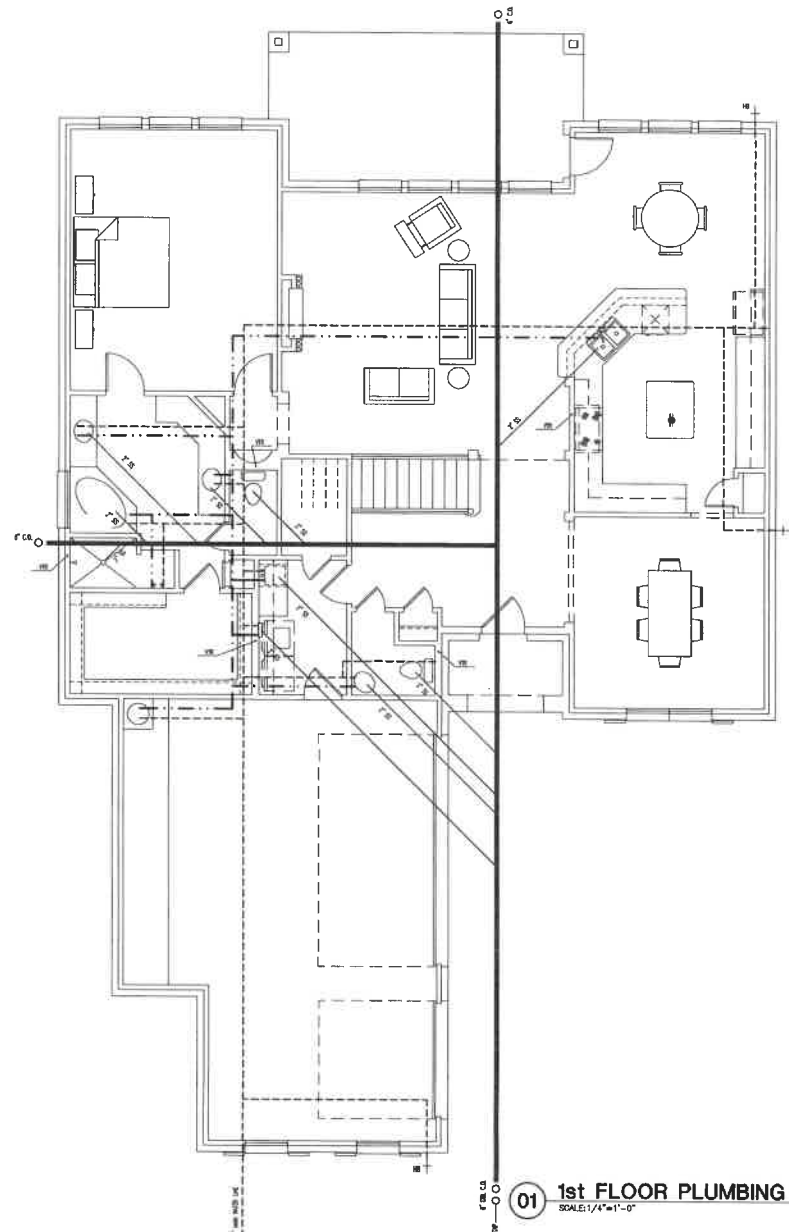
NO REVISION
05-10-23

SHEET NUMBER

A7



02 2nd FLOOR PLUMBING PLAN
SCALE: 1/4"=1'-0"



01 1st FLOOR PLUMBING PLAN
SCALE: 1/4"=1'-0"

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/25/2023

PROJECT NUMBER: Z2023-027
PROJECT NAME: Residential Infill at 110 Mischief Lane
SITE ADDRESS/LOCATIONS: 110 MISCHIEF LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	05/25/2023	Approved w/ Comments

05/25/2023: Z2023-027; Specific Use Permit (SUP) for Residential Infill for 110 Mischief Lane
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2023-027) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Chandler's Landing Phase 20 Subdivision, which is more than 90% developed and has been in existence for more than 10 years.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... {and} all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In this case, the proposed garage will be a j-swing garage.

M.7 Please review the attached Draft Ordinance prior to the May 30, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 7, 2023.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 13, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 30, 2023.

I.9 The projected City Council meeting dates for this case will be June 19, 2023 (1st Reading) and July 17, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

ENGINEERING	Sarah Johnston	05/25/2023	Needs Review
05/25/2023: - Show manhole and 6" sewer line.			
- Fences and structures will not be allowed within easement.			
- Show and label 18" storm line.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	05/22/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/23/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/23/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/19/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/22/2023	Approved
No Comments			



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR

VANIO & DESI

DILOV

2717 LAKEWOOD DR.

ROWLETT, TX 75088

(972) 672-7777

LOT 16 BLK A CHANDLERS LAANDING PH 20
SPEC BUILD
110 MISCHIEF LANE
ROCKWALL, TX 75032
ROCKWALL COUNTY

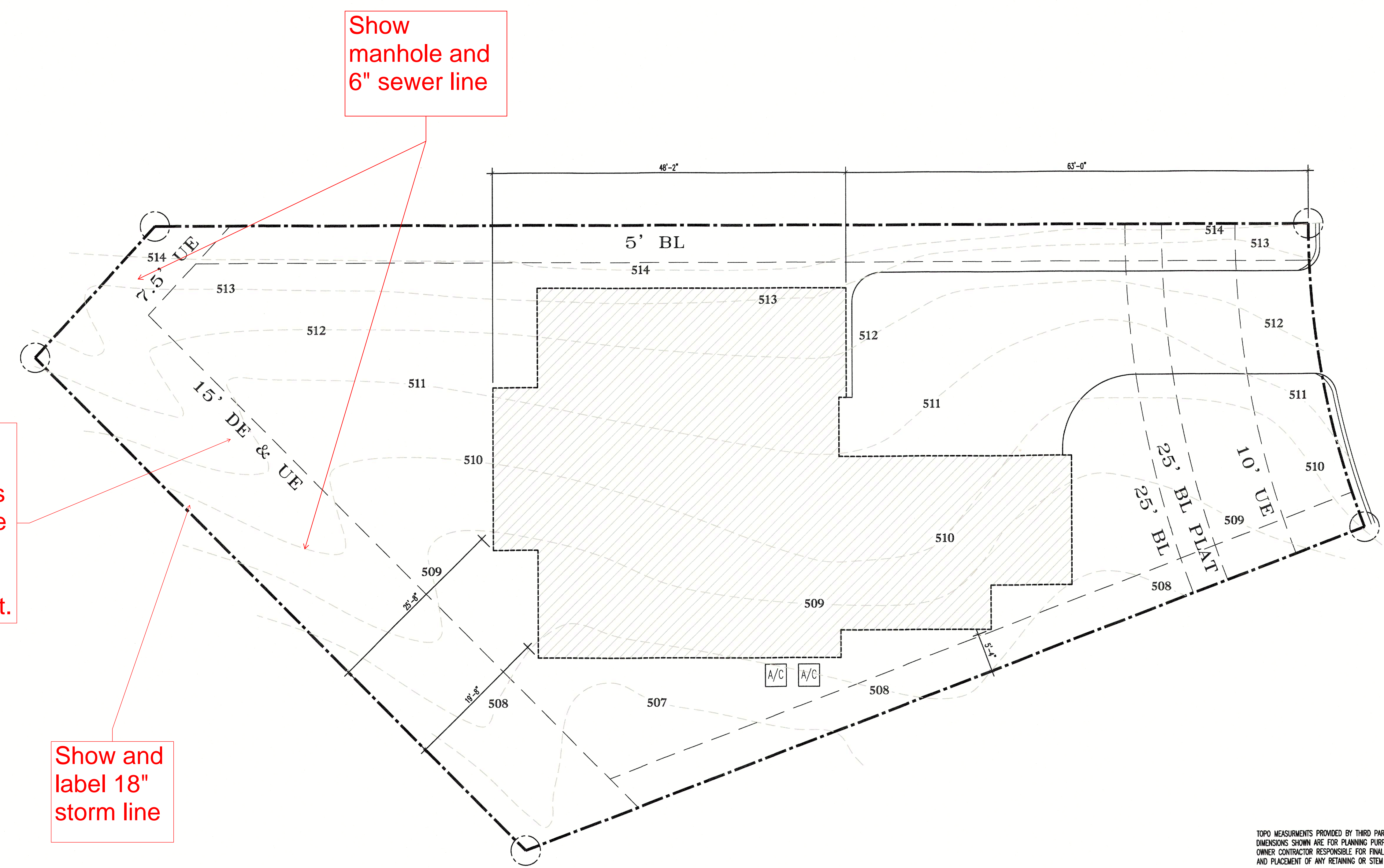
NO REVISION

05-10-23

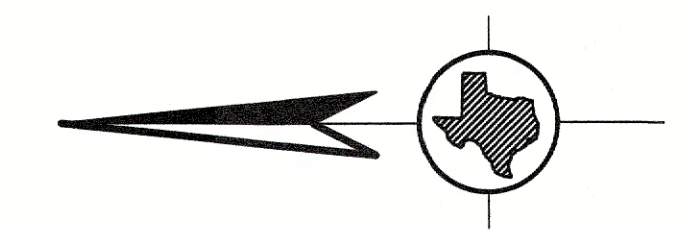
SHEET NUMBER

A0.5

110
MISCHIEF
LANE



TOPO MEASUREMENTS PROVIDED BY THIRD PARTY SURVEY
DIMENSIONS SHOWN ARE FOR PLANNING PURPOSES ONLY
OWNER CONTRACTOR RESPONSIBLE FOR FINAL FORM SURVEY
AND PLACEMENT OF ANY RETAINING OR STEM WALLS



01 SLAB PROFILE ON SITE PLAN
SCALE: 1/8"=1'-0"



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 110 MISCHIEF W Rockwall TX 75032
SUBDIVISION CHANDLER'S LANDING LOT 16 BLOCK A
GENERAL LOCATION Rockwall

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENTIAL CURRENT USE VACANT LOT
PROPOSED ZONING RESIDENTIAL PROPOSED USE NEW HOUSE
ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>VANIO DILOV</u>	<input checked="" type="checkbox"/> APPLICANT	<u>VANIO DILOV</u>
CONTACT PERSON	<u>VANIO DILOV</u>	CONTACT PERSON	<u>VANIO DILOV</u>
ADDRESS	<u>2717 LAKEWOOD DR.</u>	ADDRESS	<u>2717 LAKEWOOD DR.</u>
	<u>ROWLETT</u>		<u>ROWLETT</u>
CITY, STATE & ZIP	<u>TX. 75088</u>	CITY, STATE & ZIP	<u>TX. 75088</u>
PHONE	<u>972-672-7777</u>	PHONE	<u>972-672-7777</u>
E-MAIL	<u>Desi. Dilov@gmail.com</u>	E-MAIL	<u>Desi. Dilov@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

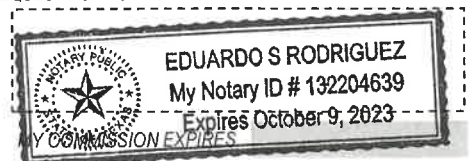
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Vanio Dilov [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

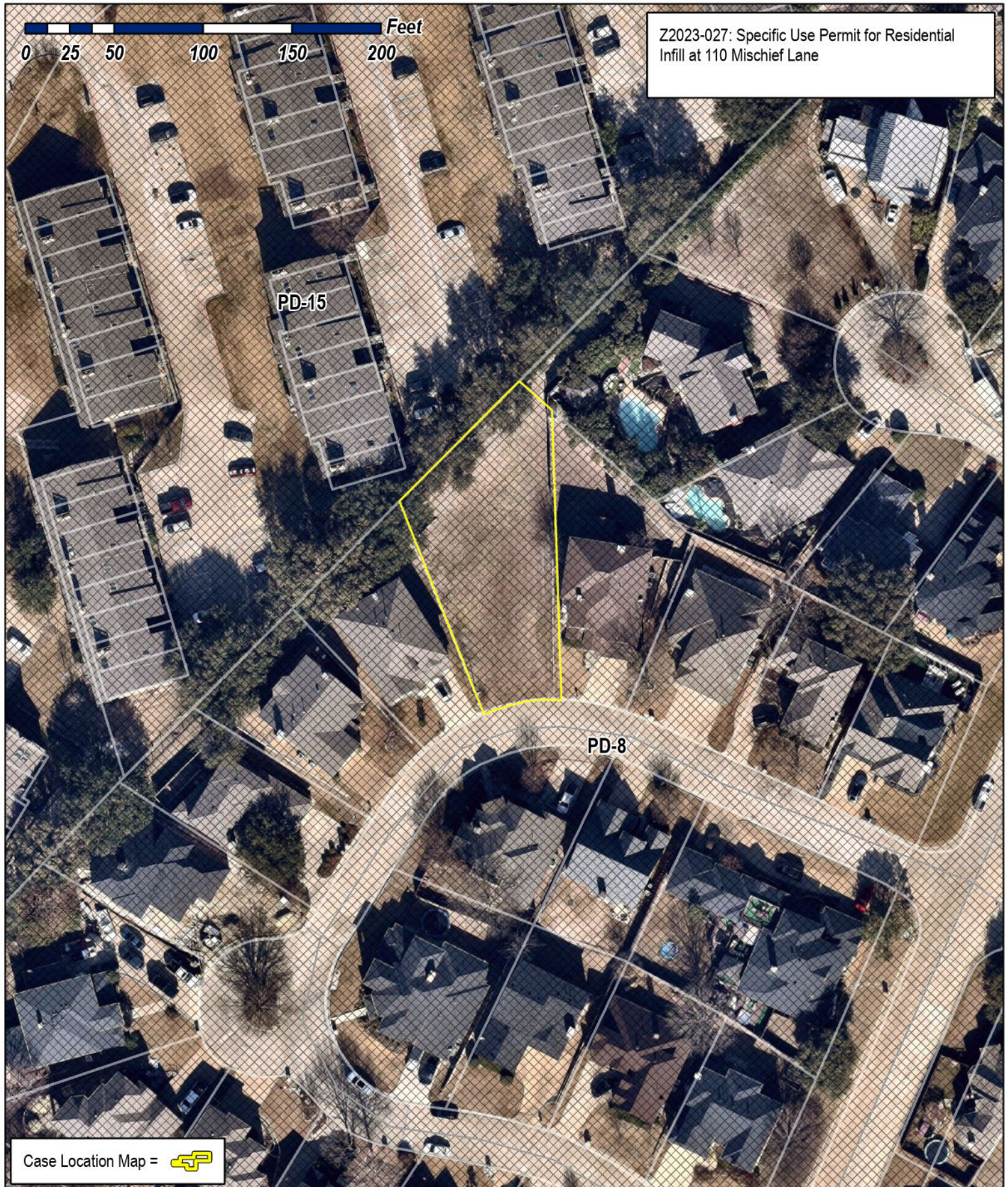
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 17th DAY OF MAY, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF MAY, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-027: Specific Use Permit for Residential Infill at 110 Mischief Lane

PD-15

PD-8

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

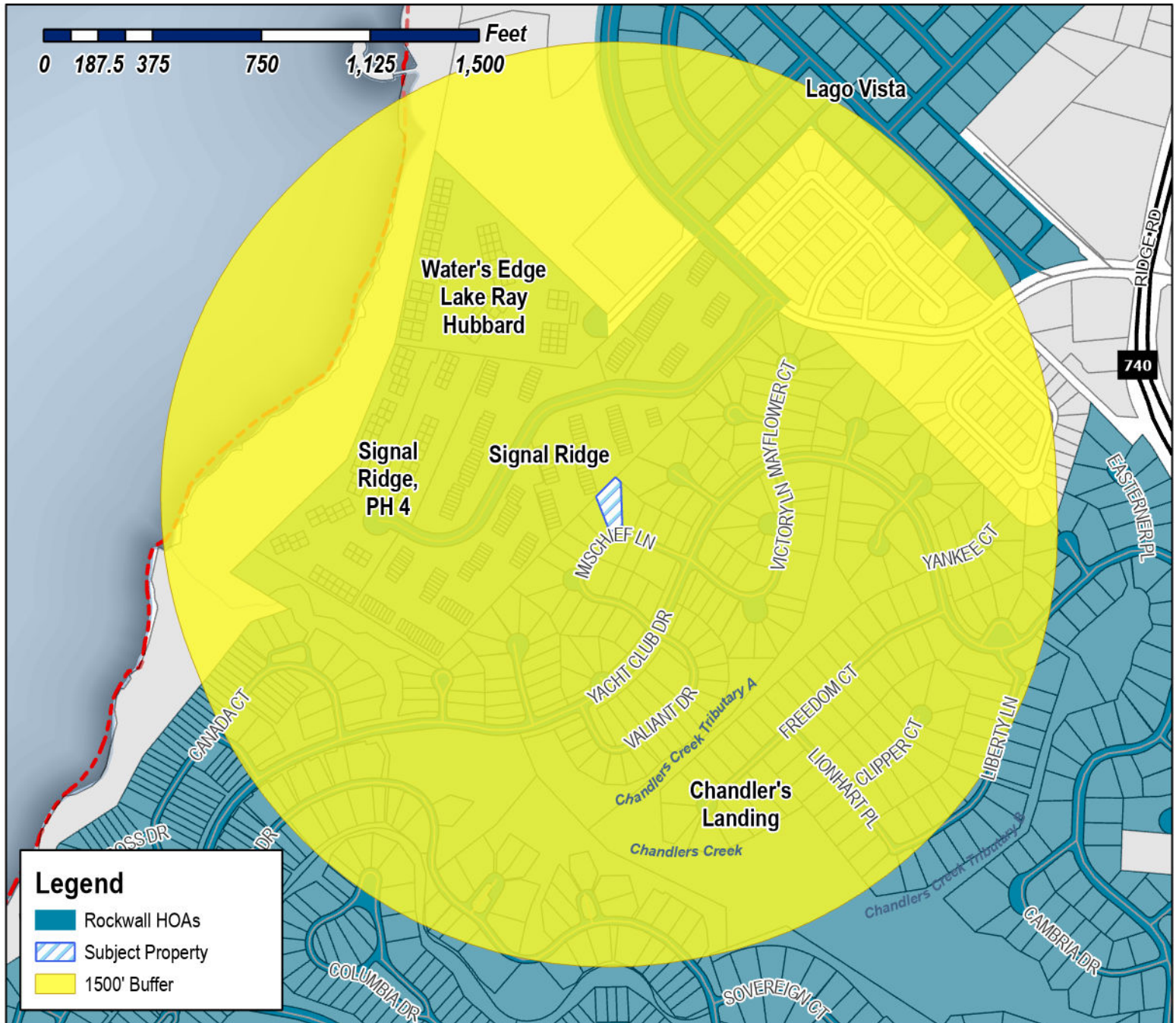




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2023-027
Case Name: SUP for Residential Infill
Case Type: ZONING
Zoning: Planned Development District 8 (PD-8)
Case Address: 110 Mischief Lane

Date Saved: 5/23/2023
For Questions on this Case Call (972) 771-7745



Guevara, Angelica

From: Zavala, Melanie
Sent: Tuesday, May 23, 2023 3:12 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-027]
Attachments: Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 26, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-027: SUP for Residential Infill at 110 Mischief Lane

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

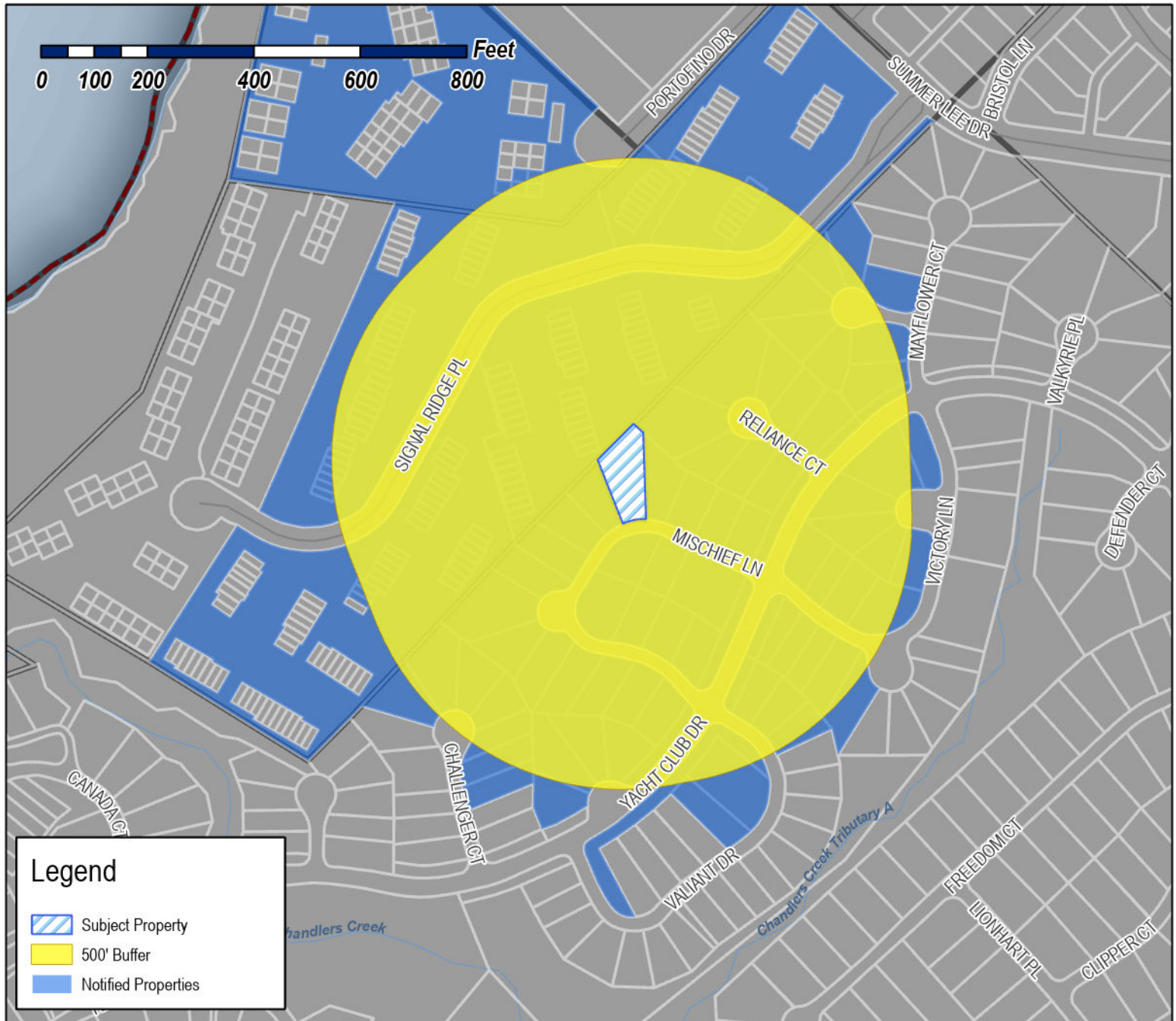
Thank You,
Melanie Zavala
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2023-027
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 110 Mischief Lane

Date Saved: 5/23/2023

For Questions on this Case Call: (972) 771-7746



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LANGSTON JOHN AND FRIEDA
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SWEET CHASE AND SADIE
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ROCKWALL, TX 75032

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JOHN C & ARLENE C FREDERIKSEN TRUSTEES
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REVOCABLE LIVING TRUST
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LORI BENTON
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801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
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ROCKWALL, TX 75032

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
804 EAGLE PASS
HEATH, TX 75032

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BRAY
809 SIGNAL RIDGE
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811 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
812 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DUNN FAMILY TRUST AND DUNN MARITAL
TRUST
ALMA JEAN DEAN- TRUSTEE
813 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BRASHEARS KARI
814 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ANDREW JONATHON
815 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
816 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
828 CR 1035
COOPER, TX 75432

RESIDENT
919 SIGNAL RIDGE PL
ROCKWALL, TX 75032

INZILLO FRANCA
920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
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BEST JAMES AND DEBRA
922 SENDERA LN
ROCKWALL, TX 75087

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922 SIGNAL RIDGE PL
ROCKWALL, TX 75032

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923 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
924 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
925 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
926 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
927 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILEY ALEXANDRIA AND JOHN WESLEY
SHELTON
928 SIGNAL RIDGE PL
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GREEN MAUREEN
945 BREEZY HILL LANE
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9660 ALPHA LN
QUINLAN, TX 75474

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
C/O CHARLES LINEVILLE P O BOX 743612
DALLAS, TX 75374

AMHILL FINANCIAL, LP
P. O. BOX 1179
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

THE SPACE PLACE, SERIES LLC, SERIES I
P.O. BOX 1271
MOUNT PLEASANT, TX 75456

LOGAN PAULINE K
P.O. BOX 2198
ROCKWALL, TX 75087

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

SRYGLEY JAMES
PO BOX 1928
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-027: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-027: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS—NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

MANIO & DESIGN

DILOV

ROWLETT, TX 75088

972) 672-7777

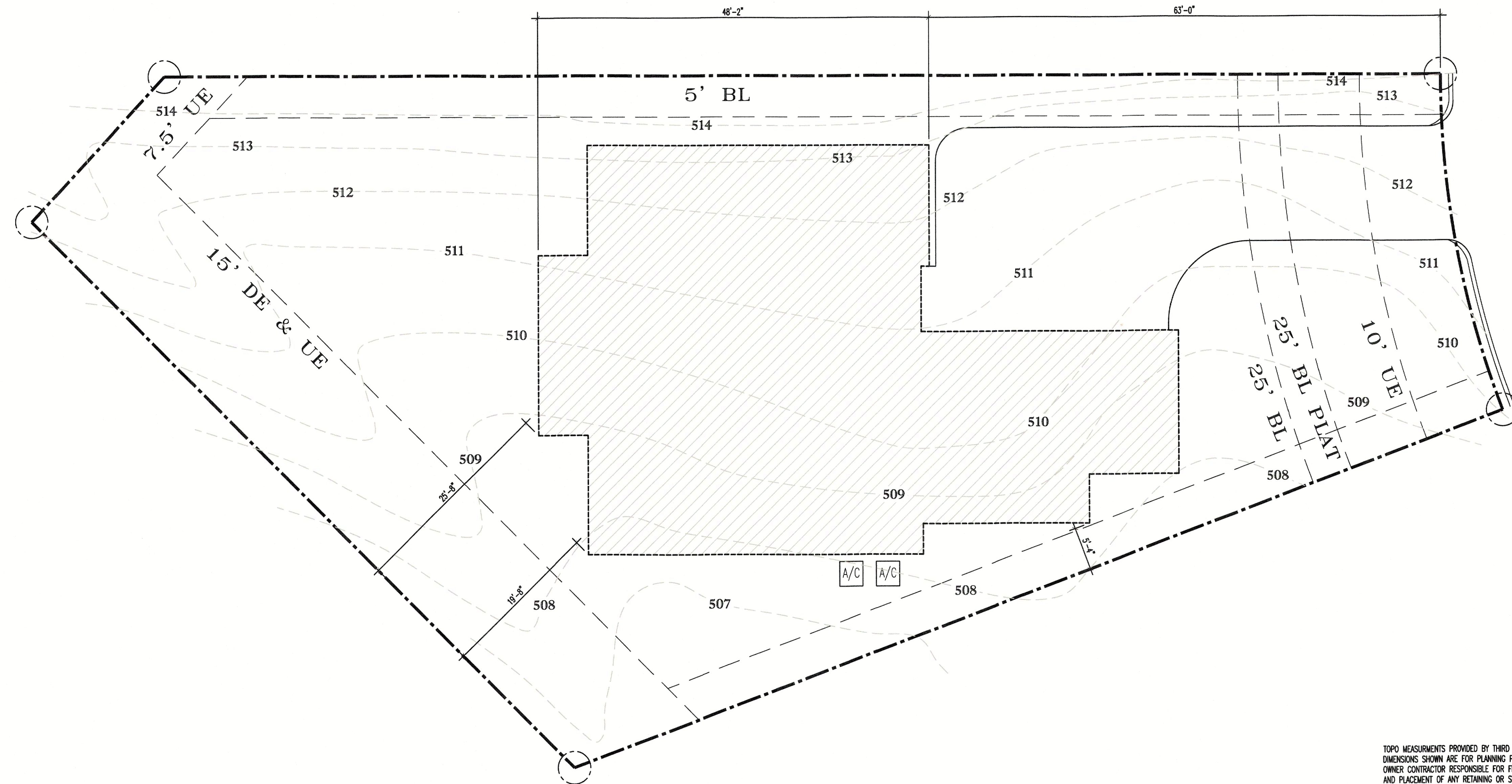
LOT 16 BLK A CHANDLERS LAANDING PH 20
SPEC BUILD
110 MISCHIEF LANE
ROCKWALL, TX 75032
ROCKWALL COUNTY

NO REVISION

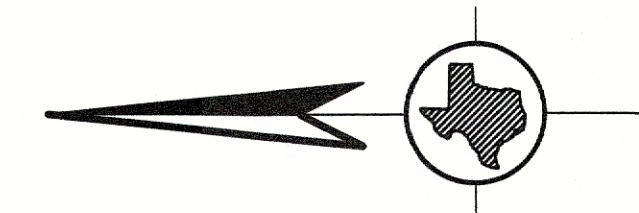
05-10-23

SHEET NUMBER

A0.5



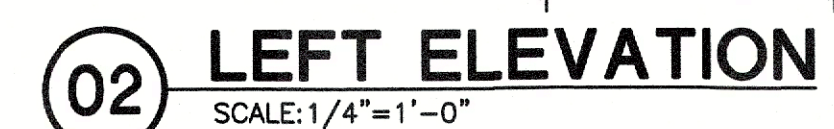
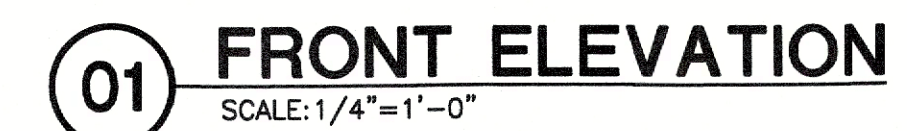
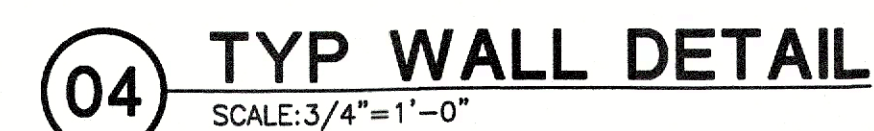
TOPO MEASUREMENTS PROVIDED BY THIRD PARTY SURVEY
DIMENSIONS SHOWN ARE FOR PLANNING PURPOSES ONLY
OWNER CONTRACTOR RESPONSIBLE FOR FINAL FORM SURVEY
AND PLACEMENT OF ANY RETAINING OR STEM WALLS



01 SLAB PROFILE ON SITE PLAN
SCALE: 1/8" = 1'-0"



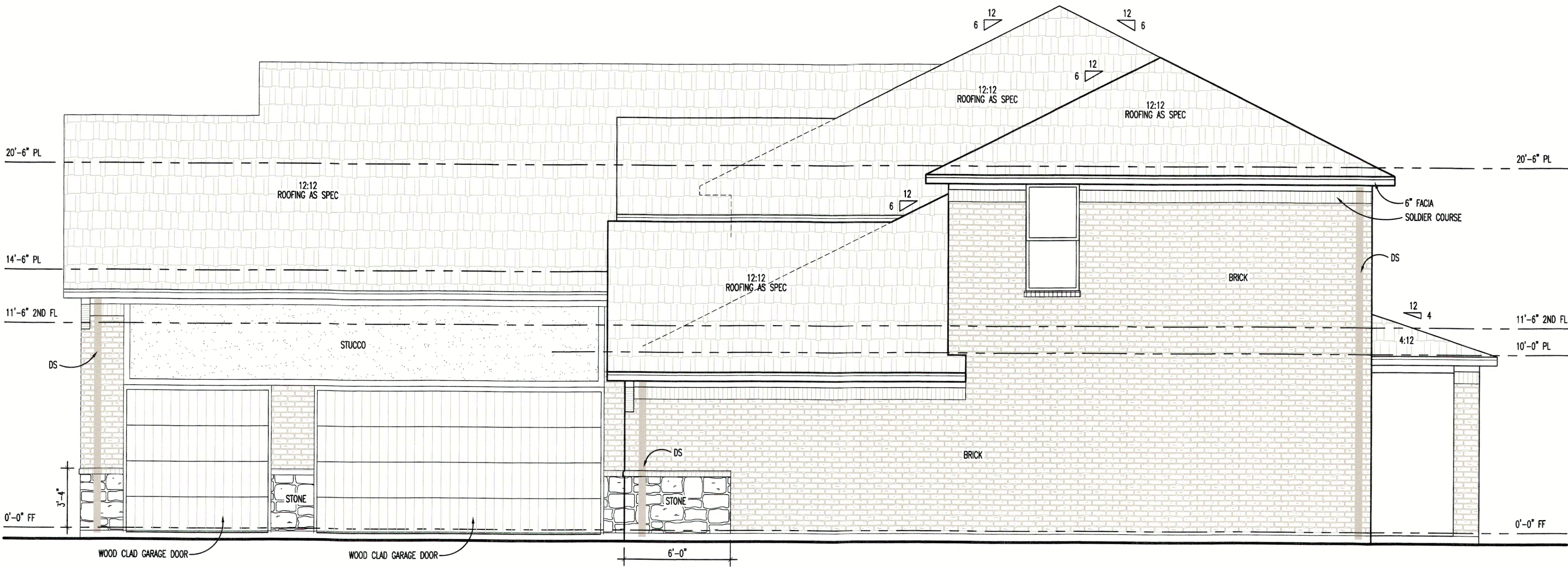
ROOFING MATERIALS
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT COLOR: DRIFTWOOD GAF OR EQUIVALENT
FACIA & SOFFIT
1"x6" FACIA BOARD W/ 5/8"x12" HARDI SOFFIT
PAINT
COLOR: ADOBE MANUF: SHERWIN WILLIAMS OR EQUIVALENT



EXTERIOR DOOR SCHEDULE				ALL GLAZING TO BE DUAL PANE INSULATED LOW-E
ROOM	#	SIZE	DETAILS	
FOYER	1	3080	WOOD ENTRY	
NOOK	1	2880	FULL LITE METAL	
MASTER	1	2880	FULL LITE METAL	
GARAGE	1	16'x8'	METAL OHD	
GARAGE	1	8'x8'	METAL OHD	

WINDOW SCHEDULE				ALL GLAZING TO BE DUAL PANE INSULATED LOW-E
ROOM	#	SIZE	DETAILS	
FOYER	1	3236	FX @ 12'-4" HH	
DINING	2	3060	SH @ 8'-0" HH	
NOOK	3	3060	SH @ 8'-0" HH	
LIVING	4	3060	SH @ 8'-0" HH	
MASTER BDRM	3	3060	SH @ 8'-0" HH	
MASTER BATH	1	4050	FX @ 8'-0" HH OBSCURED	
BDRM #2	3	3060	SH @ 8'-0" HH	
GAME ROOM	3	3060	SH @ 8'-0" HH	
BDRM #3	2	3060	SH @ 8'-0" HH	
BDRM #4	1	3060	SH @ 8'-0" HH	

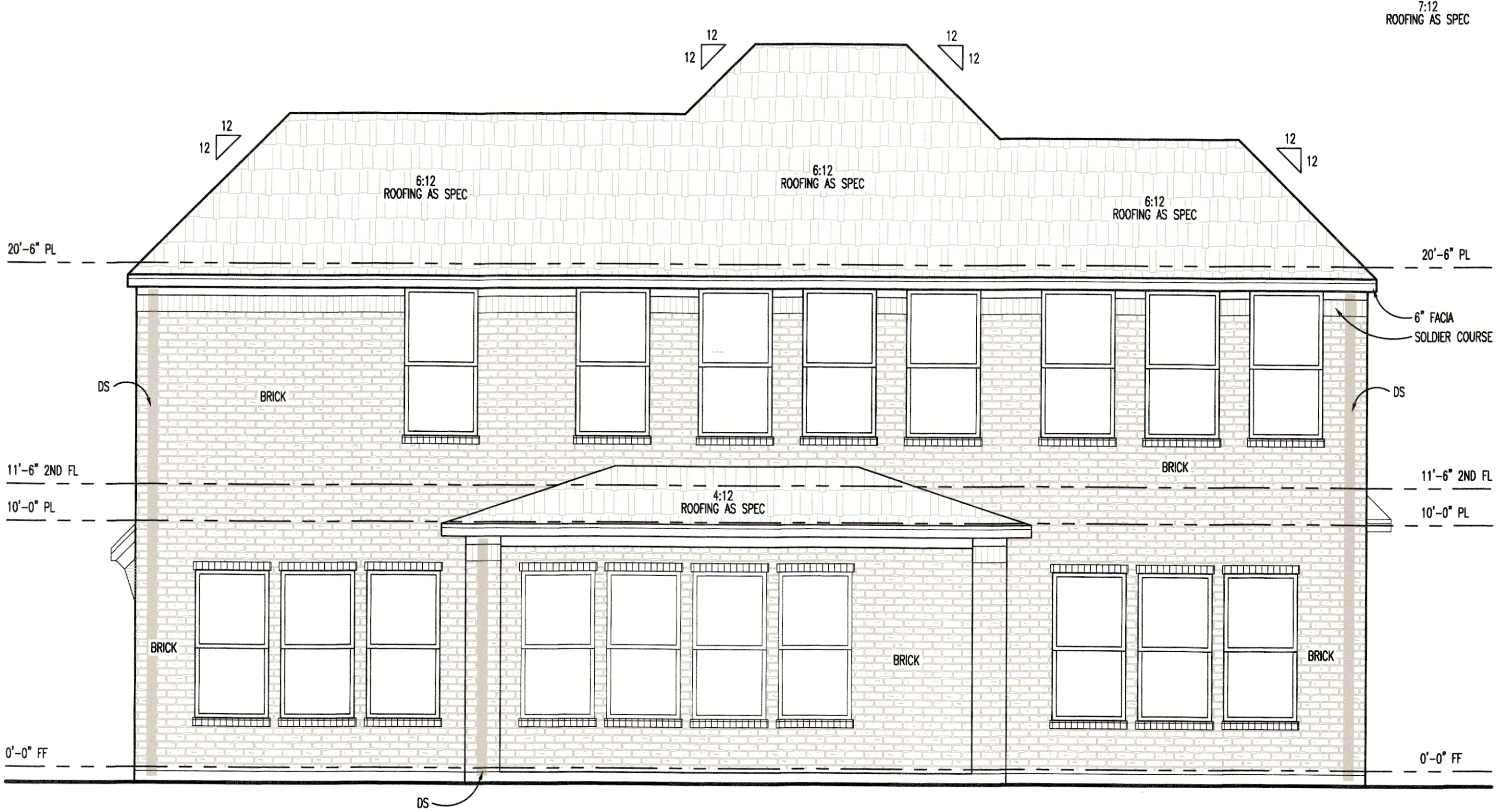
INTERIOR DOOR SCHEDULE			
ROOM	#	SIZE	DETAILS
GARAGE	1	2880	20 MIN RATED W/ CLOSER HINGES
CLOSET & STOR	2	2080	INTERIOR MASONITE HC
PAN	1	2080	INTERIOR MASONITE HC
UTIL	1	2880	INTERIOR MASONITE HC
POWDER	1	2080	INTERIOR MASONITE HC
MASTER BDRM	1	2880	INTERIOR MASONITE HC
MASTER BATH	1	PR 1380	INTERIOR MASONITE HC
	1	2080	INTERIOR MASONITE HC
	1	2680	INTERIOR MASONITE HC
BDRM #2	1	2868	INTERIOR MASONITE HC
BDRM #3	1	2868	INTERIOR MASONITE HC
BDRM #4	1	2868	INTERIOR MASONITE HC
BATH #2	2	2068	INTERIOR MASONITE HC
BATH #3	2	2068	INTERIOR MASONITE HC
BATH #4	1	2068	INTERIOR MASONITE HC
STORAGE CLOSET	1	2868	INTERIOR MASONITE HC
BDRM CLOSETS	3	2068	INTERIOR MASONITE HC



01 LEFT ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR WALL INFO				
TOTAL EXT. WALL AREA	2,738	SF		
WDWS & DOORS	545	SF		
ACTUAL C'VD AREA	3,501	SF		
BRICK AREA	2,386	SF	87.1%	
STONE AREA	210	SF	7.7%	
STUCCO AREA	142	SF	5.2%	

ROOFING MATERIALS	
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT COLOR: DRIFTWOOD GAF OR EQUIVALENT	
FACIA & SOFFIT	
1"x6" FACIA BOARD W/ 5/8"x12" HARDI SOFFIT	
PAINT	
COLOR: ADOBE MANUF: SHERWIN WILLIAMS OR EQUIVALENT	



02 REAR ELEVATION
SCALE: 1/4"=1'-0"



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR
VANIO & DE
DILOV
2717 LAKEWOOD I
ROWLETT, TX 75081
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75082

NO. REVISION
05-10-23

SHEET NUMBER
A3



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75001
PH. (214) 929-5086

DO NOT SCALE DRAWING
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24x36" PRINT

OWNER/CONTRACTOR
VANIO & IDILOV
2717 LAKEWOOD
ROWLETT, TX
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75087

NO REVISION

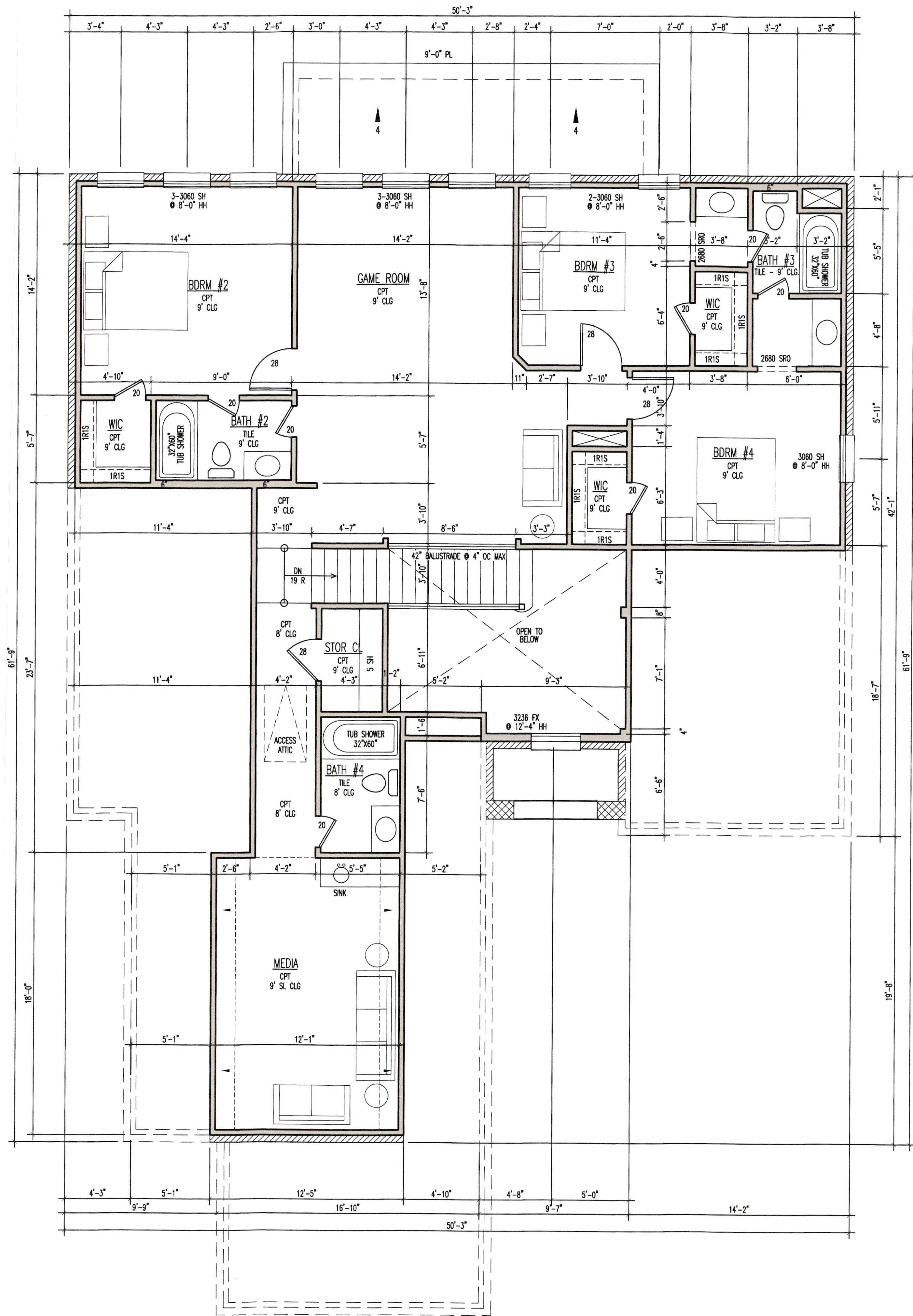
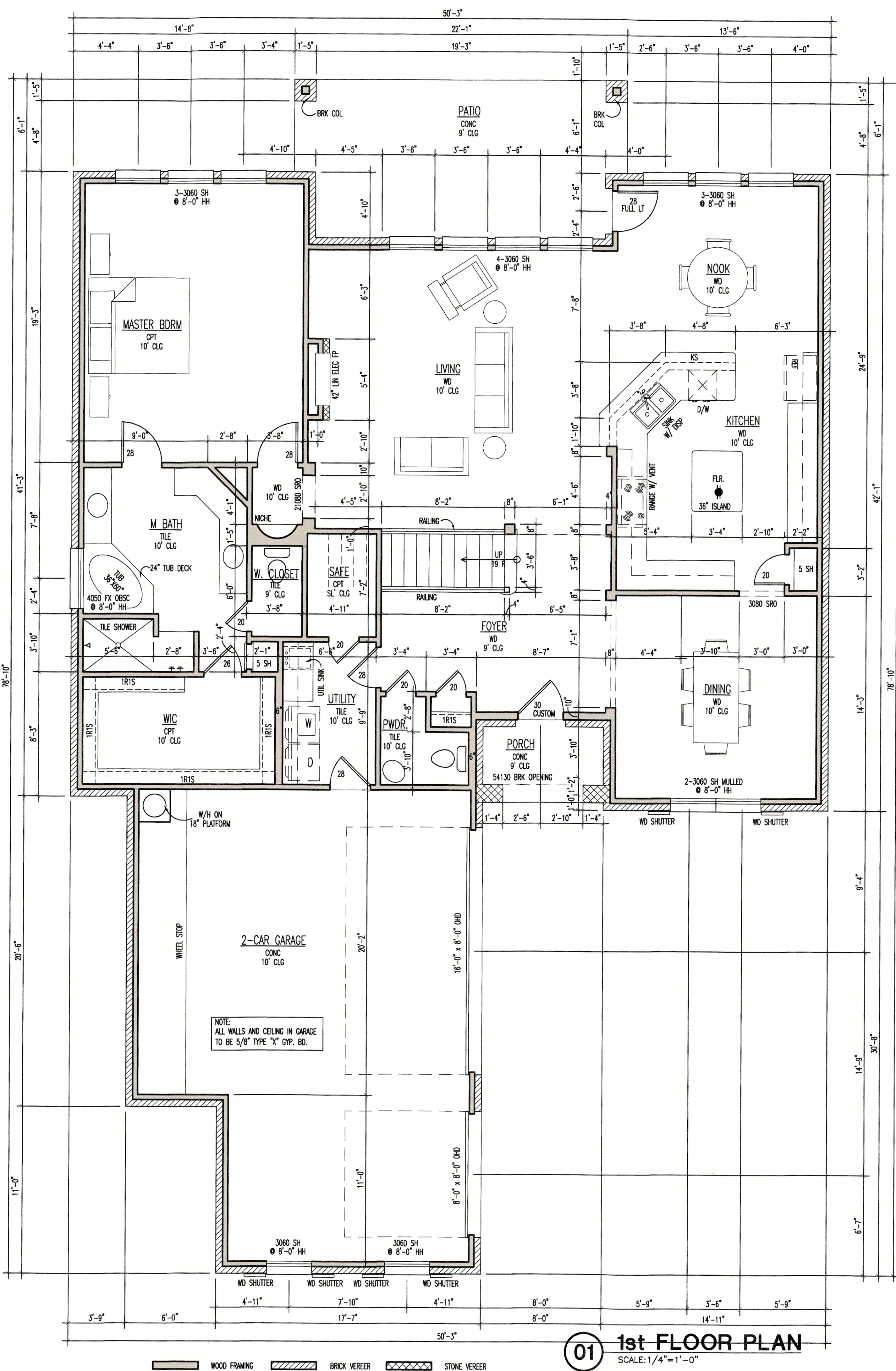
05-10-2

FIRST FLOOR A/C 1.5
SECOND FLOOR A/C 1.5
TOTAL A/C 3.0

FRONT CVD PORCH 36
REAR CVD PATIO 21
3-CAR GARAGE 66
TOTAL UNDER ROOF 123

SHEET NUMBER

A1



APPLICABLE CODES

2015	INTERNATIONAL BUILDING CODE	2015	INTERNATIONAL FUEL GAS CODE
2015	INTERNATIONAL MECHANICAL CODE	2015	INTERNATIONAL PROP. MAINTENANCE CODE
2015	INTERNATIONAL PLUMBING CODE	2015	INTERNATIONAL ELECTRICAL CONSERVATION CODE
2015	INTERNATIONAL FIRE PREVENTION CODE	2017	NATIONAL ELECTRICAL CODE

ALL CONTRACTORS SHALL REGISTER WITH MUNICIPALITY
AND PERFORM ALL TASKS TO COMPLY WITH APPLICABLE
CODES AND MUNICIPAL REGULATIONS



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

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24x36 PRINT

OWNER/CONTRACTOR

VANIO & DESI

DILOV

2717 LAKEWOOD DR.

ROWLETT, TX 75088

(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20

110 MISCHIEF LANE
ROCKWALL, TX 75032
ROCKWALL COUNTY

NO REVISION

05-10-23

Handwritten notes in red ink: "20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164-1165-1166-1167-1168-1169-1170-1171-1172-1173-1174-1175-1176-1177-1178-1179-1180-1181-1182-1183-1184-1185-1186-1187-1188-1189-1190-1191-1192-1193-1194-1195-1196-1197-1198-1199-1200-1201-1202-1203-1204-1205-1206-1207-1208-1209-1210-1211-1212-1213-1214-1215-1216-1217-1218-1219-1220-1221-1222-1223-1224-1225-1226-1227-1228-1229-1230-1231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DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75072
PH. (214) 925-5636

DO NOT SCALE DIMENSIONS
CONTRACTOR TO VERIFY ALL
DIMENSIONS AND
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
THIS PLAN

OWNER/CONTRACTOR

**VANIO & DESI
DILOV**

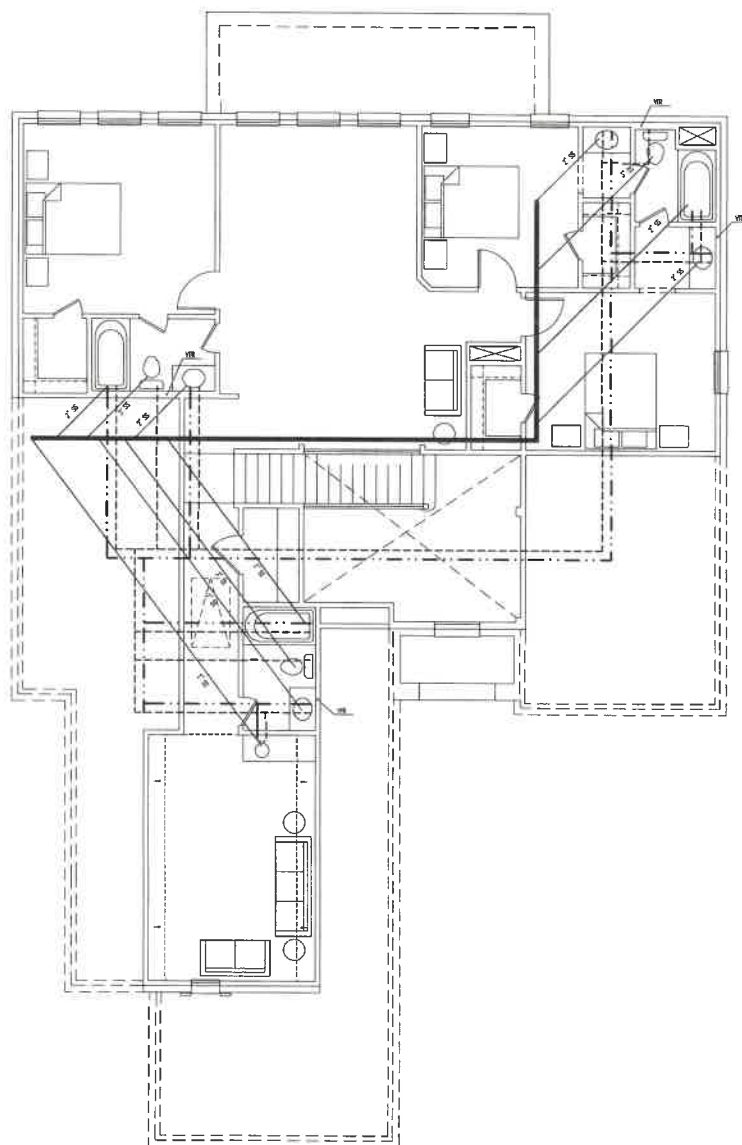
2717 LAKEWOOD DR.
ROWLETT, TX 75088
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75082
ROCKWALL COUNTY

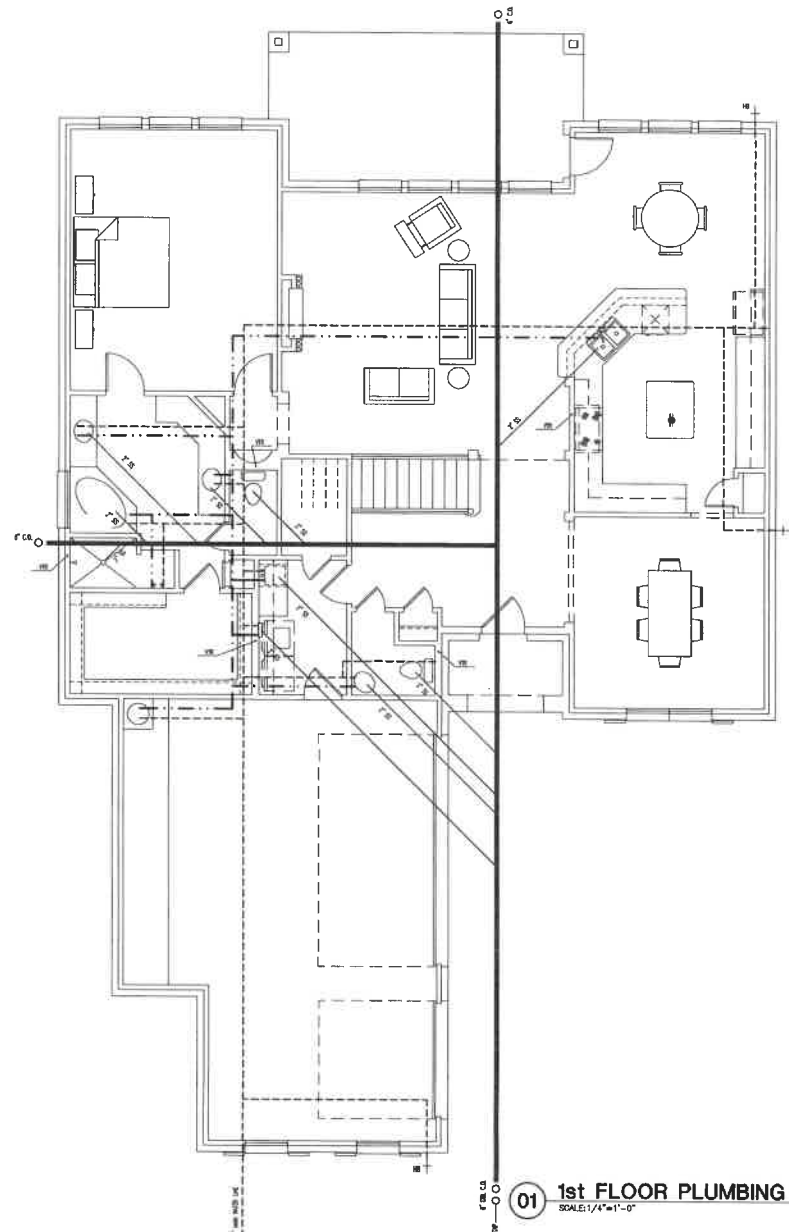
NO REVISION
05-10-23

SHEET NUMBER

A7



02 2nd FLOOR PLUMBING PLAN
SCALE: 1/4"=1'-0"



01 1st FLOOR PLUMBING PLAN
SCALE: 1/4"=1'-0"

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2250-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 16, BLOCK A, OF THE CHANDLER'S LANDING PHASE 20 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Vanio Dilov for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, of the Chandler's Landing Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 110 Mischief Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 17th DAY OF JULY, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 19, 2023

2nd Reading: July 17, 2023

Exhibit 'A':
Location Map and Residential Plot Plan

Address: 110 Mischief Lane

Legal Description: Lot 16, Block A, Chandler's Landing Phase 20 Addition

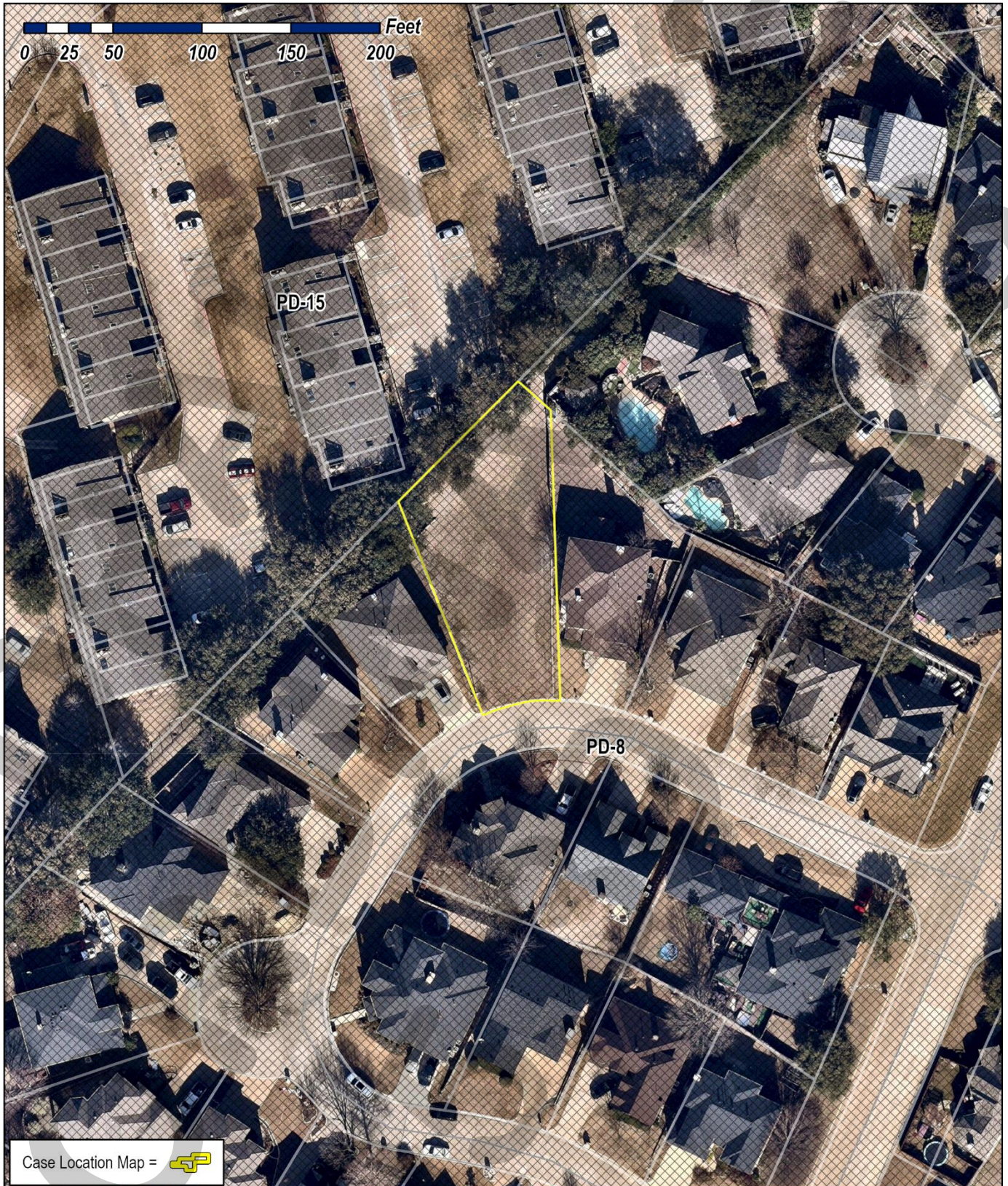
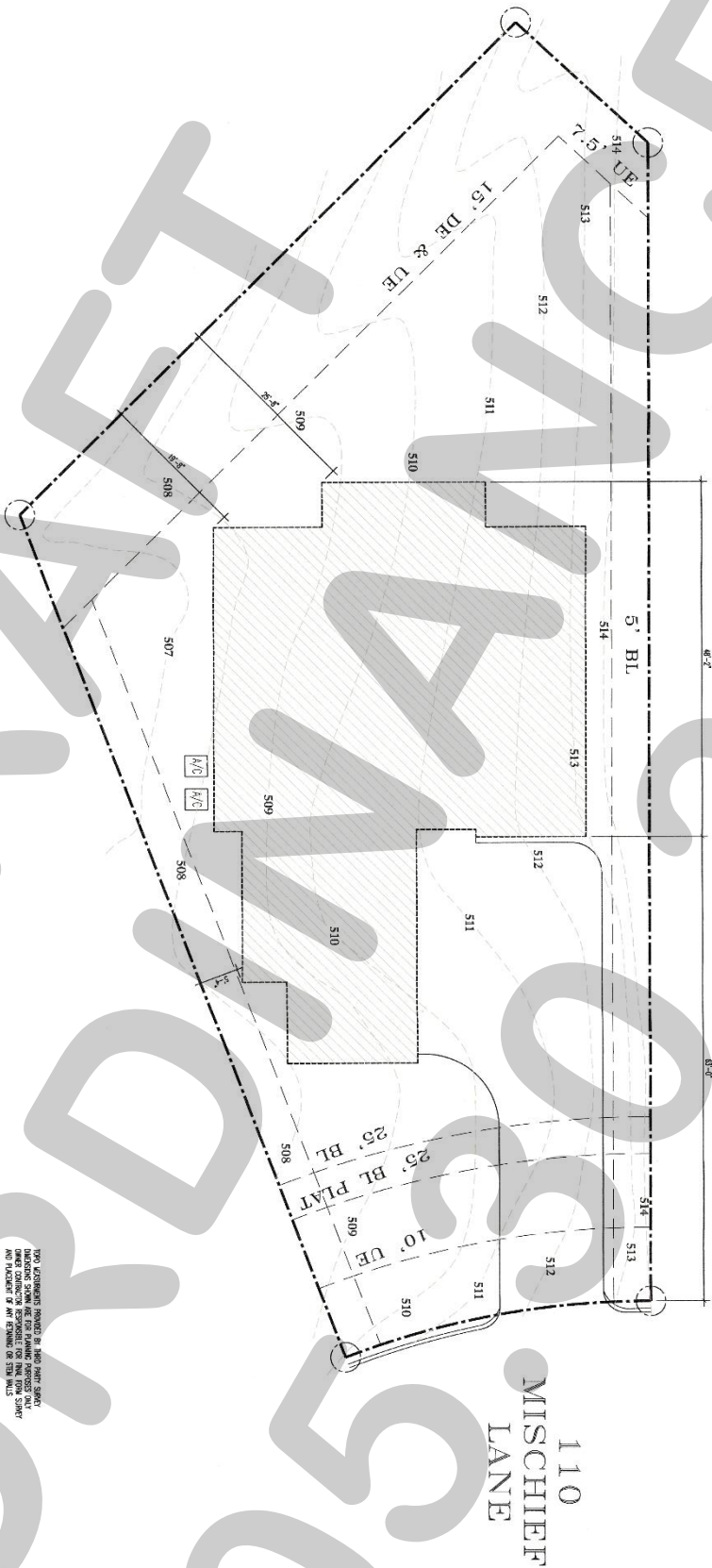
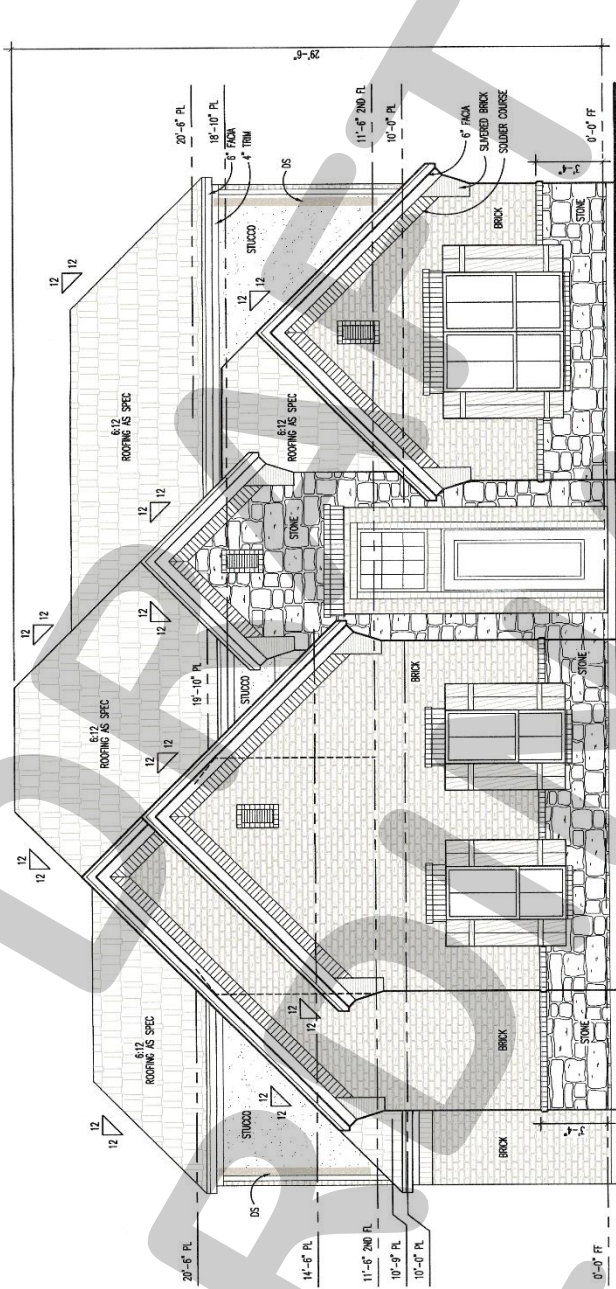


Exhibit 'A':
Location Map and Residential Plot Plan



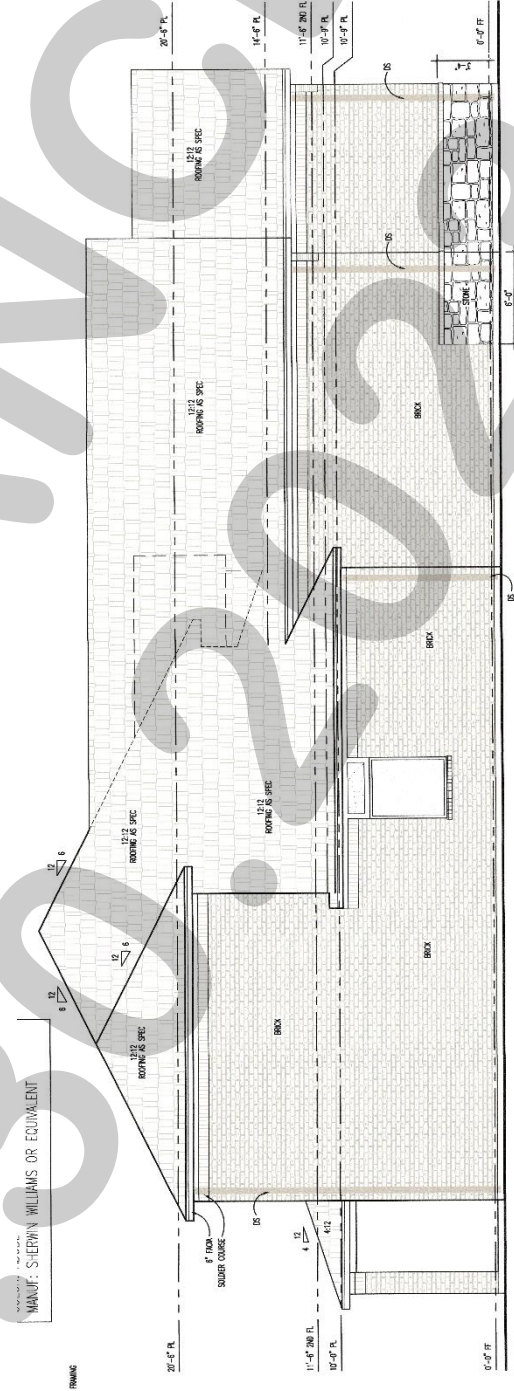
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Exhibit 'B':
Building Elevations



01 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



02 LEFT ELEVATION

SCALE: 1/8" = 1'-0"

01 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

02 REAR ELEVATION
SCALE: 1/4" = 1'-0"

The drawings show the rear elevation of a building. The left elevation (01) shows a gabled roof with a 12:12 pitch, a brick chimney, and a brick wall. The rear elevation (02) shows a brick wall with multiple windows and a brick chimney. Dimensions and material specifications are provided for each element.

02 REAR ELEVATION
SCALE: 1/4" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: June 13, 2023

APPLICANT: Vanio Dilov

CASE NUMBER: Z2023-027; *Specific Use Permit (SUP) for a Residential Infill for 110 Mischief Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. Phase 20 of the Chandler's Landing Subdivision was later amended by *Ordinance No. 85-43* on August 26, 1985. A preliminary plat (Case No. *PZ1985-049-01*) and a final plat (Case No. *PZ1985-051-01*) for Phase 20 of the Chandler's Landing Subdivision was later approved on July 2, 1985. This established the subject property as Lot 16, Block A, Chandler's Landing, Phase 20 Addition. The subject property remains zoned Planned Development District 8 (PD-8) and has remained vacant since it was originally platted.

PURPOSE

The applicant -- *Vanio Dilov* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 110 Mischief Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 2 of the Signal Ridge Subdivision, which consists of 57 townhomes on 3.98-acres of land. Beyond this is Phase 3 of the Signal Ridge Subdivision, which consists 113 townhomes on 8.88-acres of land. All of these phases of the Signal Ridge Subdivision are zoned Planned Development District 15 (PD-15) for *single-family condominium* land uses.

South: Directly south of the subject property is Mischief Lane, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is the remainder of Phase 20 of the Chandler's Landing Subdivision, which consists of 63 single-family residential lots on 12.11-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses. South of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property are four (4) parcels of land (*i.e. 102, 104, 106, and 108 Mischief Lane*) developed with single-family homes. East of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is Phase

16 of the Chandler's Landing Subdivision, which consists of 59 single-family residential lots on 13.00-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses.

West: Directly west of the subject property are Phase 2 and Phase 3 of the Signal Ridge Subdivision. Phase 2 of the Signal Ridge Subdivision consists of 57 townhomes on 3.98-acres of land. Phase 3 of the Signal Ridge Subdivision consists of 113 townhomes on 8.88-acres of land. Both of these phases are zoned Planned Development District 15 (PD-15) for *single-family condominium* land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Phase 20 of the Chandler's Landing Subdivision, which has been in existence since 1985, consists of 63 single-family residential lots, and is 96.83% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Mischief Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Mischief Lane	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Mischief Lane are oriented towards Mischief Lane, with the exception of 4501 Yacht Club Drive.	The front elevation of the home will face onto Mischief Lane.
Year Built	1990-2016	N/A
Building SF on Property	2,615 SF – 6,032 SF	2,895 SF
Building Architecture	Traditional Brick/Stone Suburban Residential with One (1) Modern Home	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	50-Feet
Building Materials	HardiBoard/HardiePlank, Brick, Stone and Stucco.	Combination of Brick and Stone
Paint and Color	White, Cream, Red, Pink, Beige, Grey, and Brown	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front and visible from Mischief Lane with the orientations being <i>flat front entry, garage forward entry, side entry, and 'J' or traditional swing entry.</i>	The garage will be a j-swing garage.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry

garages ...” In this case, the applicant is proposing a j-swing garage which is in conformance with Planned Development District 8 (PD-8) and the Unified Development Code standards.

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Mischief Lane and the proposed building elevations in the attached packet.

NOTIFICATIONS

On May 24, 2023, staff mailed 275 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water's Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, Lago Vista and Chandler's Landing Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit BC'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 110 MISCHIEF W Rockwall TX 75032
SUBDIVISION CHANDLER'S LANDING LOT 16 BLOCK A
GENERAL LOCATION Rockwall

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENTIAL CURRENT USE VACANT LOT
PROPOSED ZONING RESIDENTIAL PROPOSED USE NEW HOUSE
ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>VANIO DILOV</u>	<input checked="" type="checkbox"/> APPLICANT	<u>VANIO DILOV</u>
CONTACT PERSON	<u>VANIO DILOV</u>	CONTACT PERSON	<u>VANIO DILOV</u>
ADDRESS	<u>2717 LAKEWOOD DR.</u>	ADDRESS	<u>2717 LAKEWOOD DR.</u>
	<u>ROWLETT</u>		<u>ROWLETT</u>
CITY, STATE & ZIP	<u>TX. 75088</u>	CITY, STATE & ZIP	<u>TX. 75088</u>
PHONE	<u>972-672-7777</u>	PHONE	<u>972-672-7777</u>
E-MAIL	<u>Desi. Dilov @ Gmail.com</u>	E-MAIL	<u>Desi. Dilov @ Gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Vanio Dilov [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

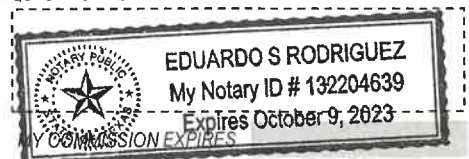
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 17th DAY OF MAY, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

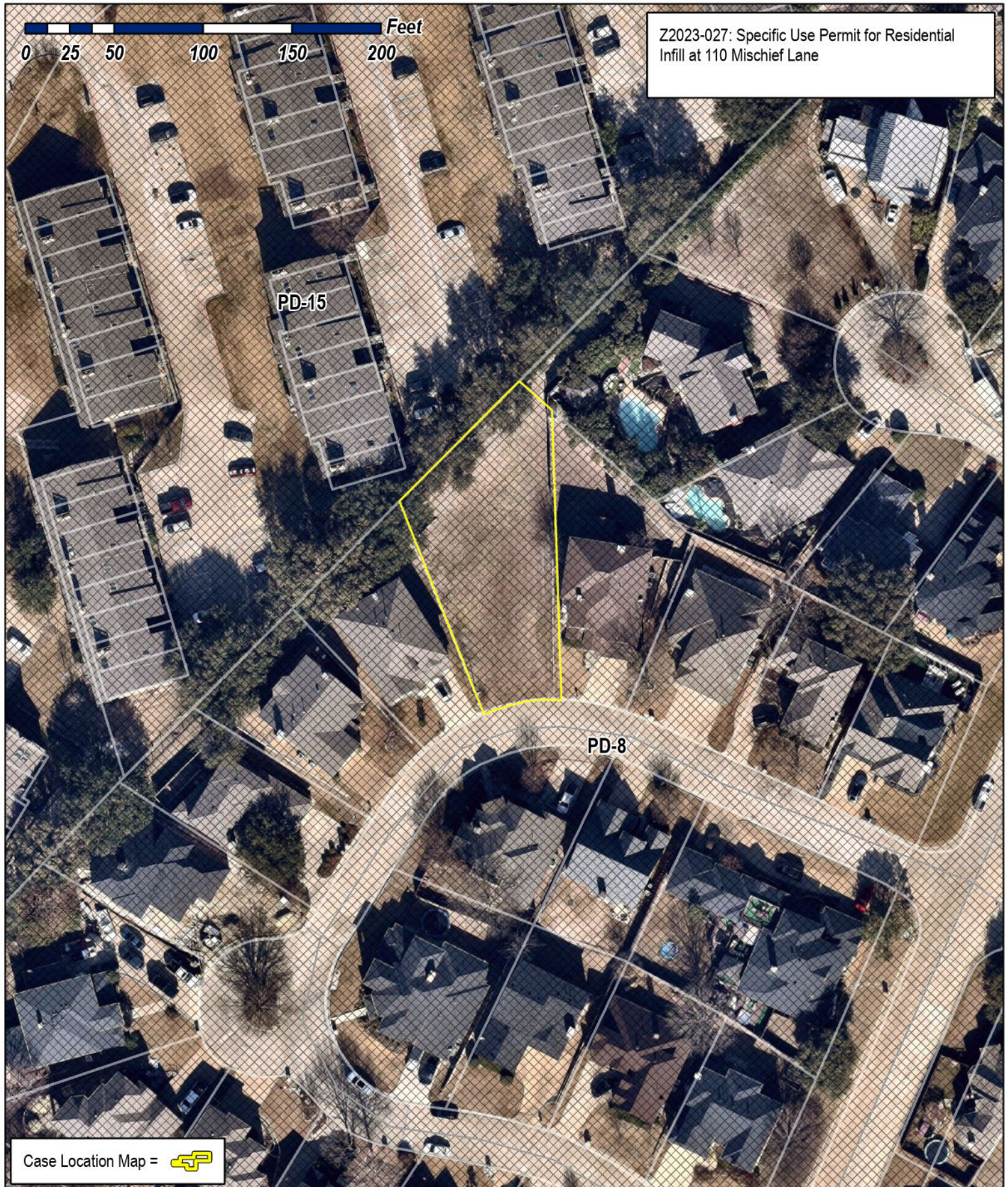
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF MAY, 2023

OWNER'S SIGNATURE

Vanio Dilov

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-027: Specific Use Permit for Residential Infill at 110 Mischief Lane

PD-15

PD-8

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

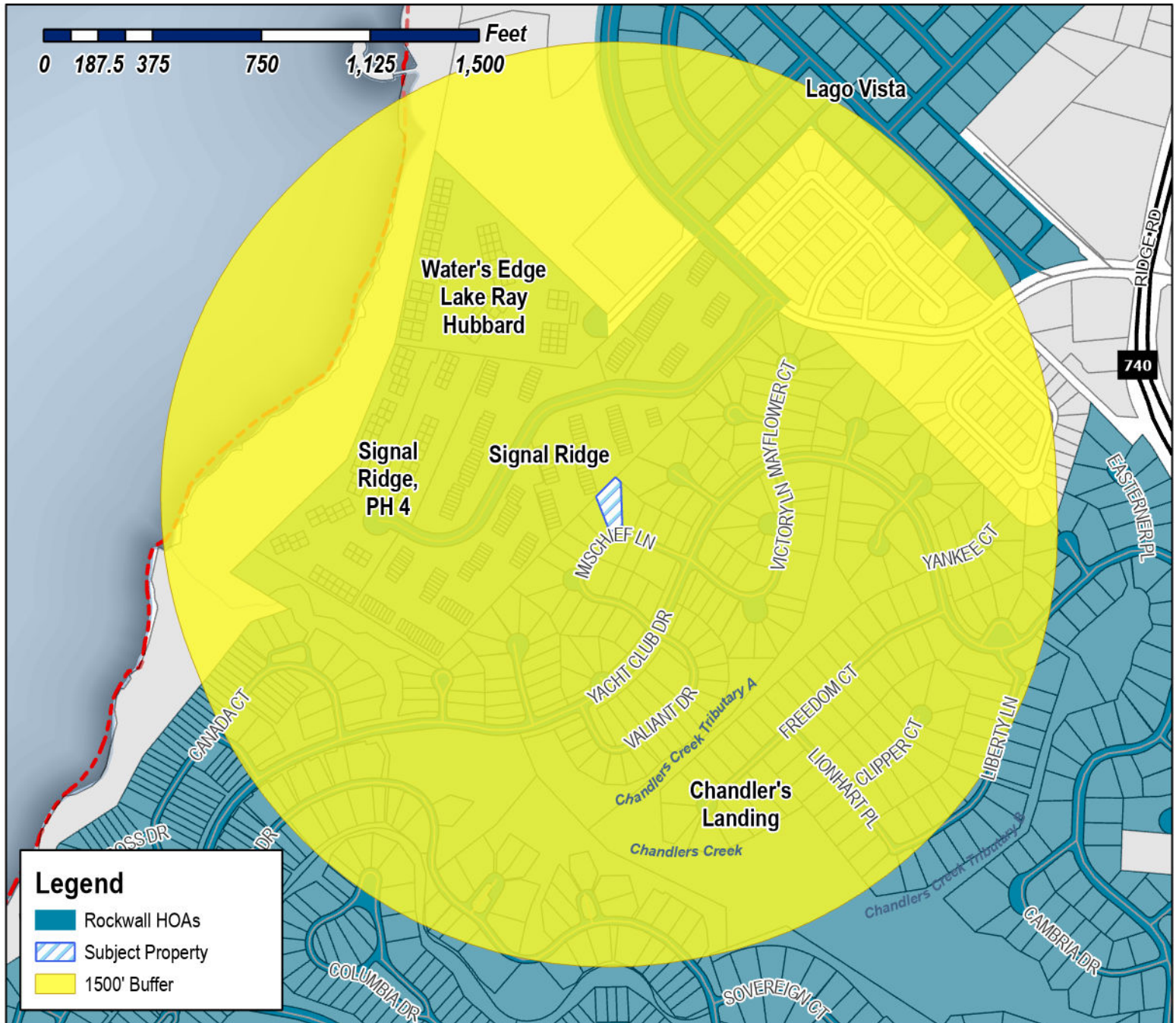




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Case Number: Z2023-027
Case Name: SUP for Residential Infill
Case Type: ZONING
Zoning: Planned Development District 8 (PD-8)
Case Address: 110 Mischief Lane

Date Saved: 5/23/2023
For Questions on this Case Call (972) 771-7745



Guevara, Angelica

From: Zavala, Melanie
Sent: Tuesday, May 23, 2023 3:12 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-027]
Attachments: Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 26, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-027: SUP for Residential Infill at 110 Mischief Lane

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

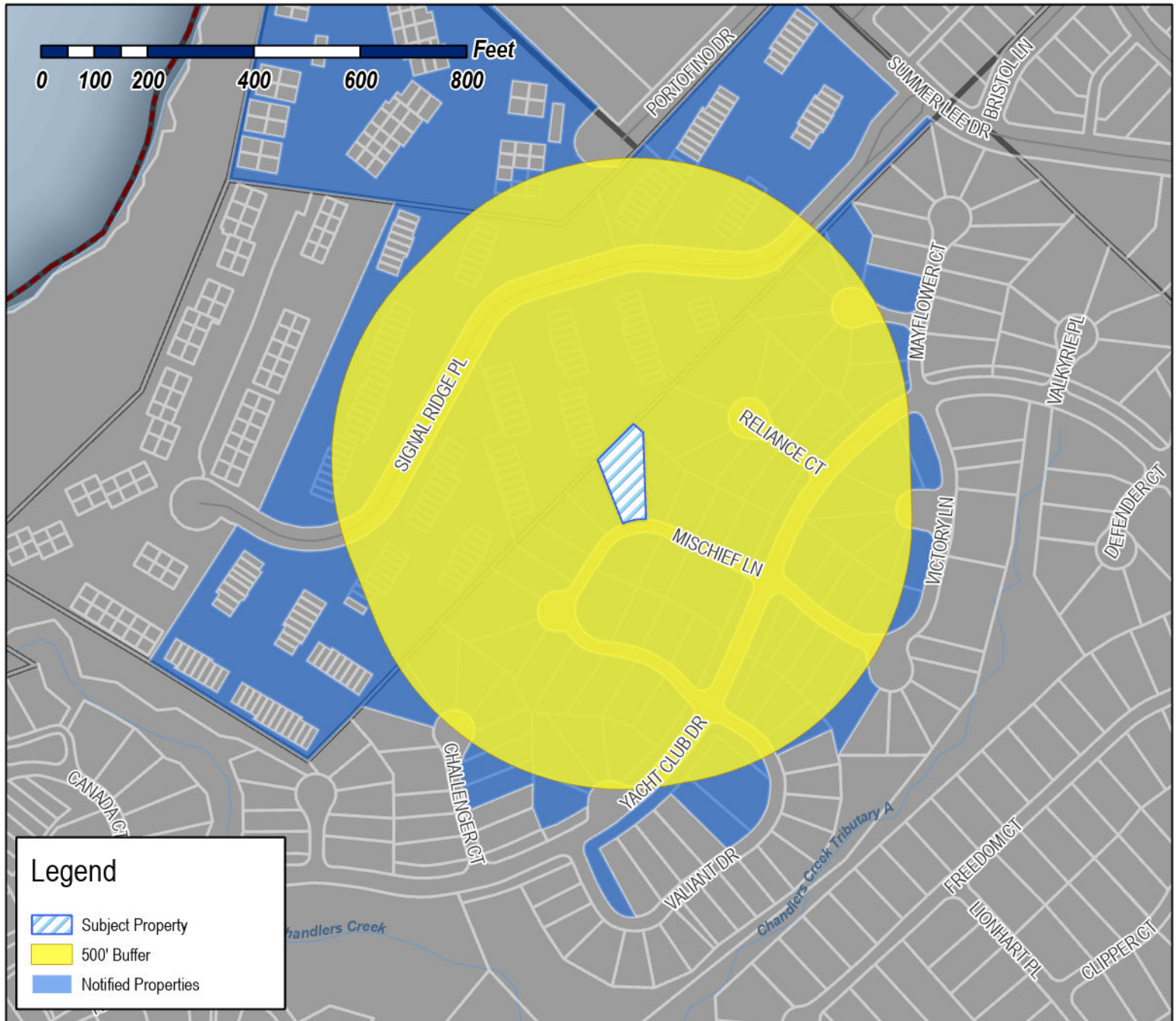
Thank You,
Melanie Zavala
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2023-027
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 110 Mischief Lane

Date Saved: 5/23/2023

For Questions on this Case Call: (972) 771-7746



BELOTE GARLAND III
1001 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL
1002 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1003 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SINNOTT KATHY
1004 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1005 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SEPEHRI SUSAN M
1006 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BROYLES STEPHANIE
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GOODMAN CARLA
101 DAME PATTIE DR
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA
101 MAYFLOWER CT
ROCKWALL, TX 75032

SWEET CHASE AND SADIE
101 RELIANCE CT
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
101 S BROOKSIDE DR APT 2505
DALLAS, TX 75214

MCAFEE CANDACE
1010 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1013 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WORTHY SHARON A
1014 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ROGERS JOE ELLIS
1015 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1017 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

RESIDENT
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1019 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

HALL CORI
102 MISCHIEF LANE
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1021 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GIBBS STEPHANIE L
1022 SIGNAL RIDGE PLACE
ROCKWALL, TX 75087

RESIDENT
1023 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAIL SYDNEY
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1025 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOSEPH JACOB
1028 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1029 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
103 DAME PATTIE
ROCKWALL, TX 75032

RESIDENT
103 MAYFLOWER CT
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 GROSS RD BLDG A
MESQUITE, TX 75149

AUSTIN CHRISTI LYNN
103 RELIANCE COURT
ROCKWALL, TX 75032

DUKE HEATHER
1030 SIGNAL RIDGE PL UNIT 1030
ROCKWALL, TX 75032

RESIDENT
1031 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1034 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1035 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRYOR MICA MALONEY
1036 SIGNAL RIDGE PLACE #1036
ROCKWALL, TX 75032

RESIDENT
1037 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1038 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CONNER JANICE S
1039 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
104 RELIANCE CT
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
1040 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1041 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1042 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TRINGALI CAHTERINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KILGORE MADISON
1045 SIGNAL RIDGE PL
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1047 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ZAIDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OCONNOR MICHAEL
105 MAYFLOWER CT
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE
106 RELIANCE CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

NORTEX PROPERTIES INC
% JOSEPH L ZEHR
10808 LA CABREAH LN
FORT WAYNE, IN 46845

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
110 MISCHIEF LN
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1102 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1103 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO
1104 SIGNAL RIDGE #1104
ROCKWALL, TX 75032

RESIDENT
1105 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

GARDNER DAVID L REVOCABLE LIVING TRUST
DAVID L GARDNER TRUSTEE
1105 51ST ST W
BRADENTON, FL 34209

OGLIN THOMAS J & JOYCE L
1106 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1107 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNS ETHAN
1108 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RUBIO CONNIE L
1109 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CORDELL-JOHNSON KIMBERLY
1110 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1111 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLER JEFFRY AND KATHLEEN
1111 VISTA GRANDE ROAD
EL CAJON, CA 92019

TWOMEY ELIZABETH A
1112 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1113 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1114 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MATHERNE JUDITH L
1115 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MAKE READY RENOVATIONS LLC
1116 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MARKHAM DIANNA
1117 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

LEVENTHAL PATRICK J
1118 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BULLOCK JEFFREY B AND
MARGARITA HEREDIA
1119 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

FREEMAN RICHARD WILLIAM
1120 LIVE OAK CIRCLE
SHERMAN, TX 75092

LAMAN FRANCES ANN
1120 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1121 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LAWRENCE ALAN
1122 SIGNAL RIDGE PLACE # 1122
ROCKWALL, TX 75032

RESIDENT
1123 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1124 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1125 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA CHRISTOPHER
1126 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1127 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAUGHAN CULLY & SARA
1128 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1129 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J
114 MISCHIEF LANE
ROCKWALL, TX 75032

LETT LORNA
116 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
118 MISCHIEF LN
ROCKWALL, TX 75032

PUSTEJOVSKY MARK
11875 CR 4026
KEMP, TX 75143

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J
120 PURITAN CT
ROCKWALL, TX 75032

LOWREY COLT A AND
LEO WISE
122 MISCHIEF LN
ROCKWALL, TX 75032

HORTON TREVOR L AND MEGAN
122 PURITAN COURT
ROCKWALL, TX 75032

MCMURTRE DREW
1220 COIT RD STE 107
PLANO, TX 75075

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

POTISKA PATRICIA
124 PURITAN CT
ROCKWALL, TX 75032

RESIDENT
125 MISCHIEF LN
ROCKWALL, TX 75032

LOPEZ CHRIS MARK AND ASHLEY MARIE
126 MISCHIEF LN
ROCKWALL, TX 75087

WINKLES GARY AND KRISTY
126 PURITAN CT
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

RESIDENT
128 PURITAN CT
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
132 MISCHIEF LN
ROCKWALL, TX 75032

LANIGAN TIFFANY LEE
143 STEVENSON DR
FATE, TX 75087

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

RESIDENT
1501 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WEST VICTORIA FELICIA
1502 SIGNAL RIDGE
ROCKWALL, TX 75032

LE VASSEUR SANDI
1503 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1504 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BRINKMAN VICKI LYNN
1505 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1506 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FITZGERALD LARRY R AND JACQUELINE
1507 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1508 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1517 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1518 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA JUSTIN
1519 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

DECKER SARAH E
1520 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCCLENDON JAMIE
1521 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1522 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BROWN CORY
1523 SIGNAL RIDGE
ROCKWALL, TX 75032

TABOR MARILYN W
1524 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1525 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OSBORN LARETHA
1526 SIGNAL RIDGE PLACE UNIT 1526
ROCKWALL, TX 75032

RESIDENT
1527 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANCLEVE BARRY CURTIS
1528 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1529 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PINSON JON JEFFREY
1530 SIGNAL RIDGE PLACE BLDG S, UNIT 3
ROCKWALL, TX 75032

RESIDENT
1531 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1532 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1533 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1534 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NALL JODEE WAYNE
1535 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

SCHAR KATIE AND ERNST
1536 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

RESIDENT
1537 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1538 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1539 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILLIAMS CHARLES M AND TIFFANY
1540 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CURRENS WAYNE & ARLENE TRUSTEES
BUCHNER/CURRENS FAMILY TRUST
16 LAKEWAY DR
HEATH, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

MEDINA ALEJANDRO
1800 DALROCK #100
ROWLETT, TX 75088

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1910 SIGNAL RIDGE
ROCKWALL, TX 75032

OLSEN CATHERINE A
1920 KINGS PASS
HEATH, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
2001 SPRING RD SUITE 700
OAK BROOK, IL 60523

HARVILLE BRET
2003 PORTOFINO DR
ROCKWALL, TX 75032

LARAPINTA LLC
2028 E. BEN WHITE BLVD # 240-5820
AUSTIN, TX 75741

RESIDENT
2030 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2032 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2034 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2036 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2038 PORTOFINO DR
ROCKWALL, TX 75032

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

PINK DALLAS LLC
240 WILLOWCREST
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

TONA CHAD J & MARTI
256 VICTORY LANE
ROCKWALL, TX 75032

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
264 VICTORY LN
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN
268 VICTORY LN
ROCKWALL, TX 75032

DILOV VANIO
2717 LAKEWOOD DR
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
277 TERRY LANE
HEATH, TX 75032

BURKETT MARY REBECCA EASON
277 TERRY LN
HEATH, TX 75032

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BAILEY RONALD C AND BETH K
2919 COUNTRY PLACE CIR
CARROLLTON, TX 75006

SALT PROPERTIES LLC
2931 RIDGE ROAD SUITE 101-181
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

LYNN JASON AND DANIELLE
297 VICTORY LANE
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
2977 OAK DR
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

MIRFENDERESKI JONAH JAVAD AND
NALINA MICHELLE SHAPIRO
301 VALIANT DRIVE
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B
REV LIVING TRUST AGREEMENT
3020 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
303 VALIANT DR
ROCKWALL, TX 75032

HALL TABITHA AMY AND
TERESA ADAMS
305 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
306 VICTORY LN
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

RESIDENT
310 VICTORY LN
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

LESLIE RANDY
349 E ELDORADO DR
SCROGGINS, TX 75480

STRAHM ROBERT & DENA LYNNE
351 EQUESTRIAN DR
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
411 DRIFTWOOD ST
ROCKWALL, TX 75087

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

BRACK KENYATTA AND SELEAN TURNER
4501 YACHT CLUB DRIVE
ROCKWALL, TX 75032

KUMAR ANVITA
4701 COPPER MOUNTAIN LANE
RICHARDSON, TX 75082

BYRUM JO ANN
504 N ALAMO ROAD
ROCKWALL, TX 75087

BOUSSERT ANNE S & CHRISTIAN B
516 CAMELIA AVE
BATON ROUGE, LA 70806

HARMON H VICTOR
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

VEGA DAVID AND ALICIA C
550 MCDONALD ROAD
HEATH, TX 75032

RESIDENT
5506 CHALLENGER CT
ROCKWALL, TX 75032

NORTON ANGELA
5508 CHALLENGER CT
ROCKWALL, TX 75032

BRADSHAW ADRIAN
5510 CHALLENGER COURT
ROCKWALL, TX 75032

RESIDENT
5512 CHALLENGER CT
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN
5514 CHALLENGER CT
ROCKWALL, TX 75032

CABANISS CHAR CHERICE
DAVID R DE LA CERDA
5516 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS
643 TURTLE COVE BLVD
ROCKWALL, TX 75087

MUNGER JEFFREY K AND GAIL SLOANE
6558 FOXDALE CIRCLE
COLORADO SPRINGS, CO 80919

CORL JON & KIMBERLY BETH CORL AND
ELIZABETH EDWARDS
668 FEATHERSTONE DRIVE
ROCKWALL, TX 75087

THOMAS VELIA
7317 LOUGHEED PLZ
PLANO, TX 75025

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

BENTON EMILY AND
LORI BENTON
785 WINDING RIDGE LN
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
804 EAGLE PASS
HEATH, TX 75032

BRAY SHAWN & HANNAH GRACE LEHMANN-
BRAY
809 SIGNAL RIDGE
ROCKWALL, TX 75032

GERAULT JANET
810 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
811 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
812 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DUNN FAMILY TRUST AND DUNN MARITAL
TRUST
ALMA JEAN DEAN- TRUSTEE
813 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BRASHEARS KARI
814 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ANDREW JONATHON
815 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
816 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
828 CR 1035
COOPER, TX 75432

RESIDENT
919 SIGNAL RIDGE PL
ROCKWALL, TX 75032

INZILLO FRANCA
920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BEST JAMES AND DEBRA
922 SENDERA LN
ROCKWALL, TX 75087

MURRAY NORMA C
922 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
923 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
924 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
925 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
926 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
927 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILEY ALEXANDRIA AND JOHN WESLEY
SHELTON
928 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GREEN MAUREEN
945 BREEZY HILL LANE
ROCKWALL, TX 75087

HARRIS SUSAN
9660 ALPHA LN
QUINLAN, TX 75474

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
C/O CHARLES LINEVILLE P O BOX 743612
DALLAS, TX 75374

AMHILL FINANCIAL, LP
P. O. BOX 1179
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

THE SPACE PLACE, SERIES LLC, SERIES I
P.O. BOX 1271
MOUNT PLEASANT, TX 75456

LOGAN PAULINE K
P.O. BOX 2198
ROCKWALL, TX 75087

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

SRYGLEY JAMES
PO BOX 1928
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-027: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-027: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS—NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

MANIO & DESIGN

DILOV

ROWLETT, TX 75088

972) 672-7777

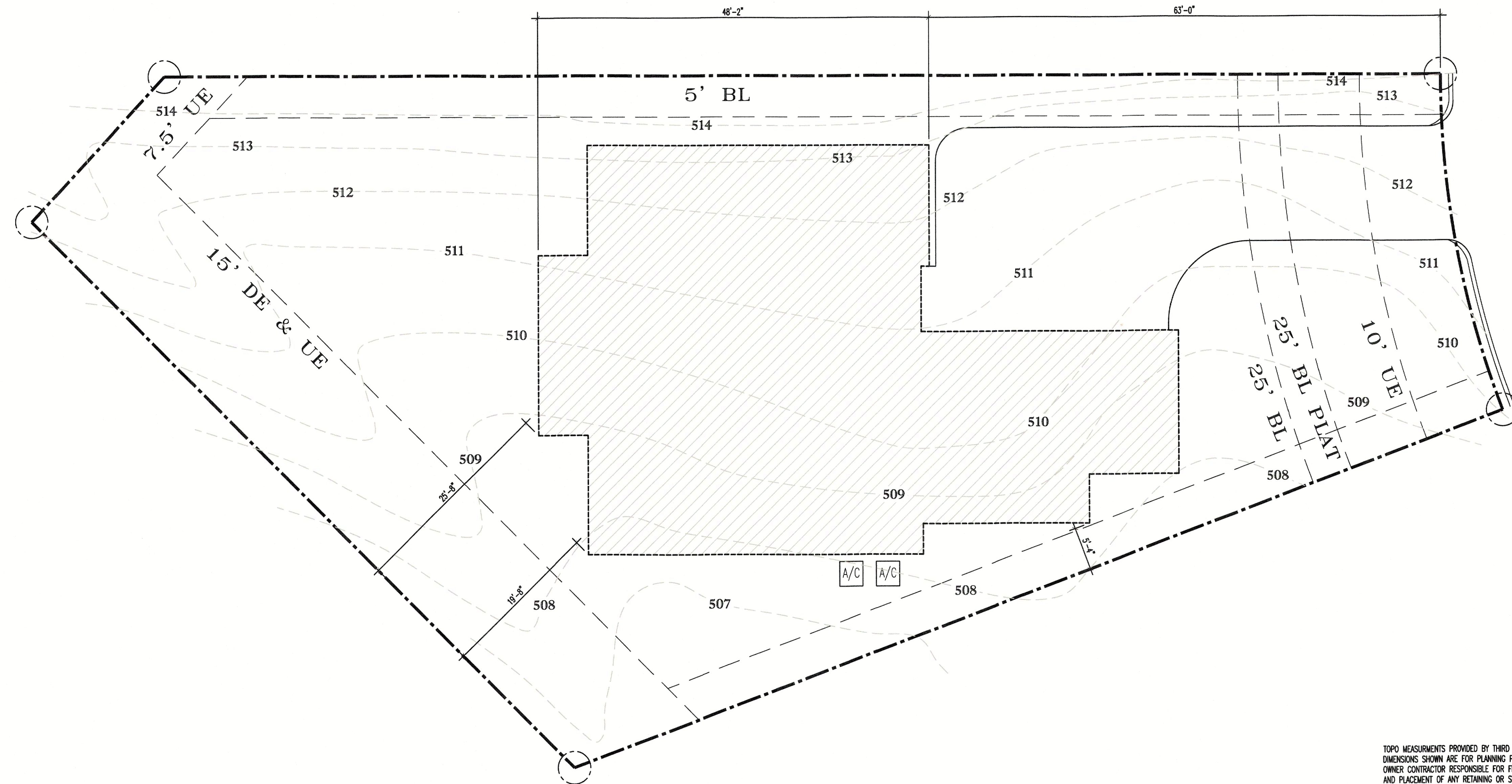
LOT 16 BLK A CHANDLERS LAANDING PH 20
SPEC BUILD
110 MISCHIEF LANE
ROCKWALL, TX 75032
ROCKWALL COUNTY

NO REVISION

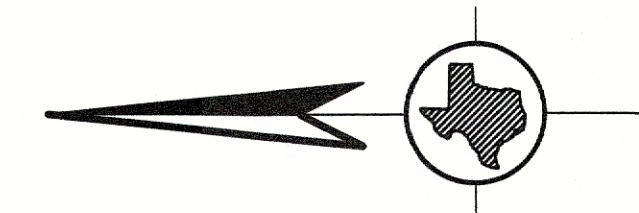
05-10-23

SHEET NUMBER

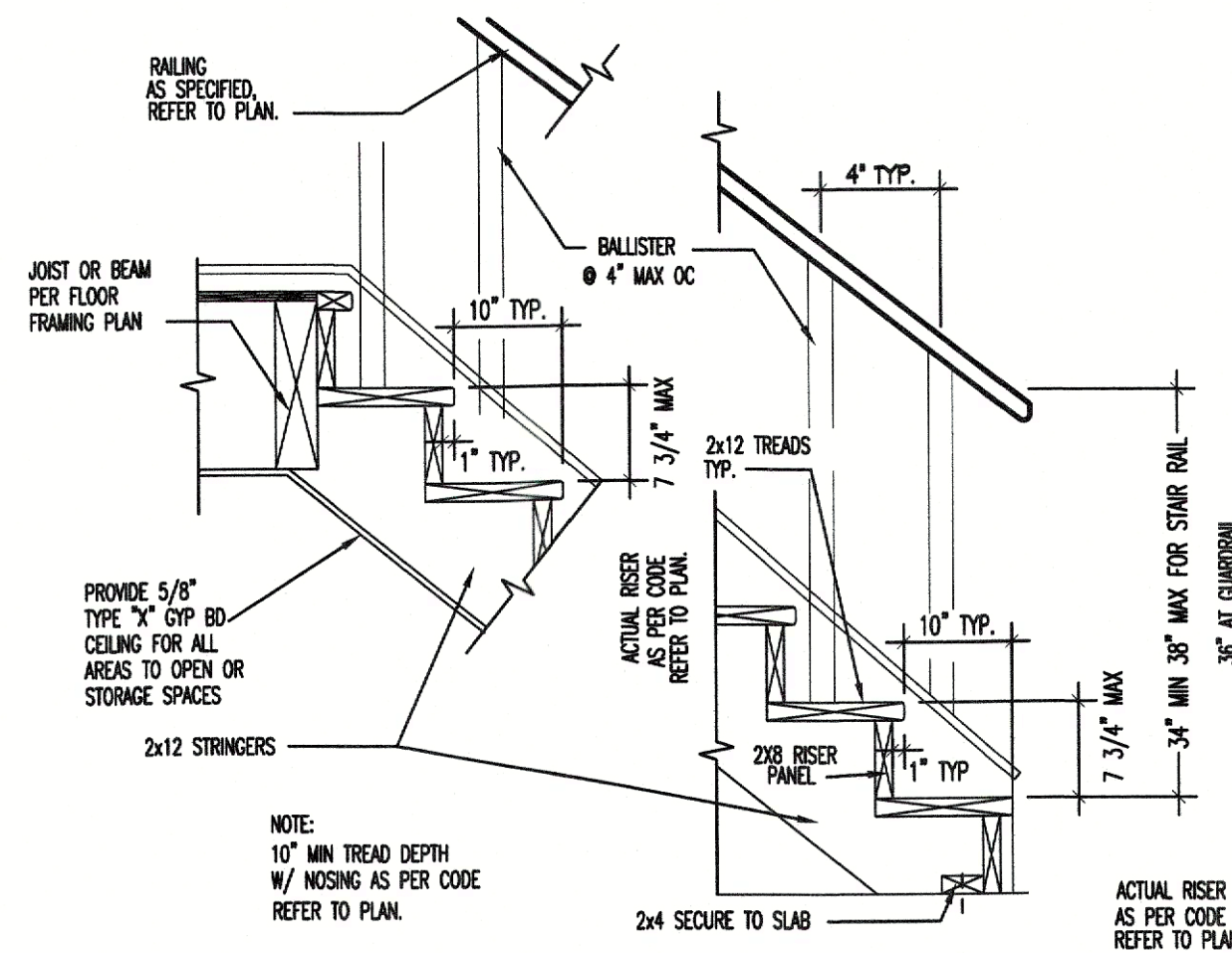
A0.5



TOPO MEASUREMENTS PROVIDED BY THIRD PARTY SURVEY
 DIMENSIONS SHOWN ARE FOR PLANNING PURPOSES ONLY
 OWNER CONTRACTOR RESPONSIBLE FOR FINAL FORM SURVEY
 AND PLACEMENT OF ANY RETAINING OR STEM WALLS



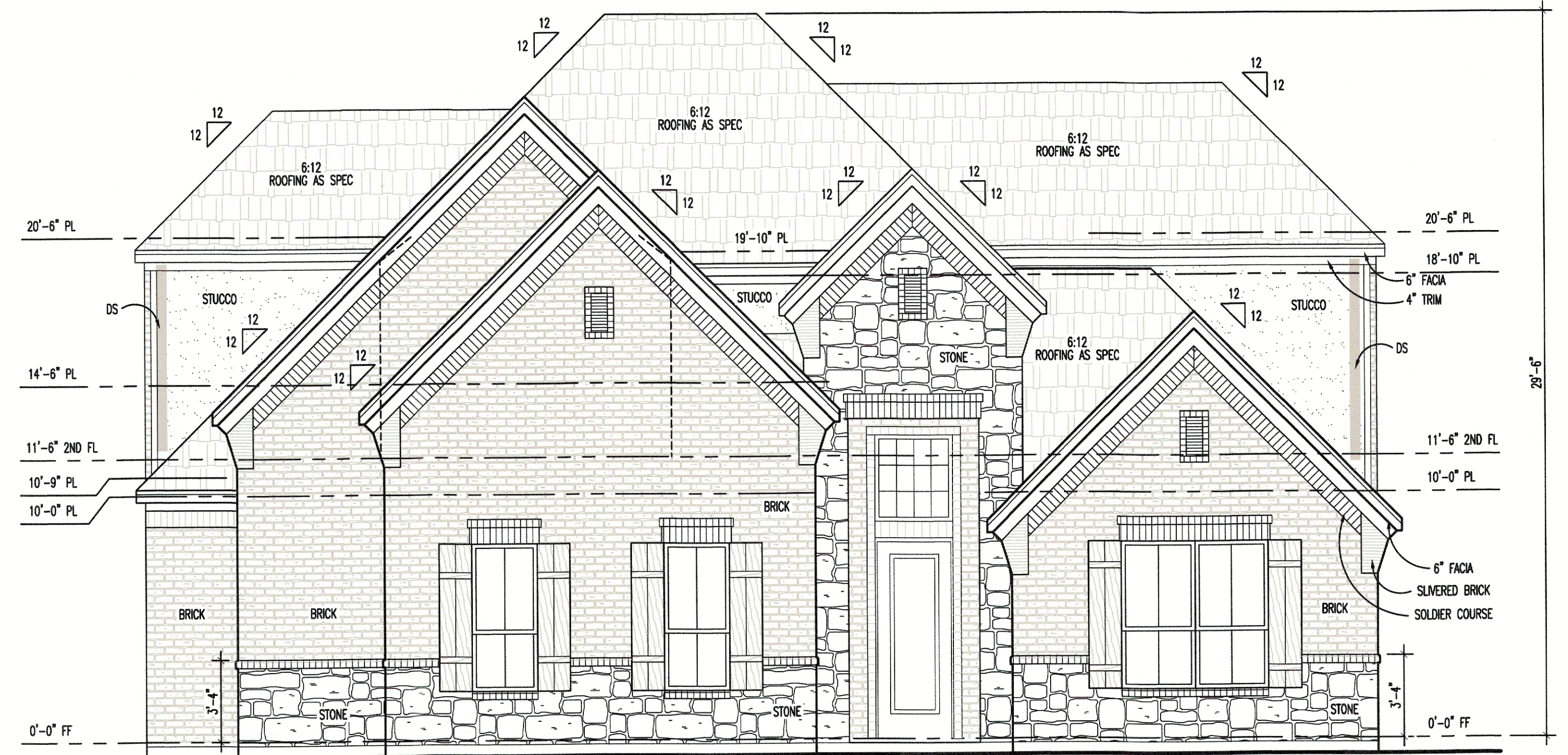
01 SLAB PROFILE ON SITE PLAN
SCALE: 1/8" = 1'-0"



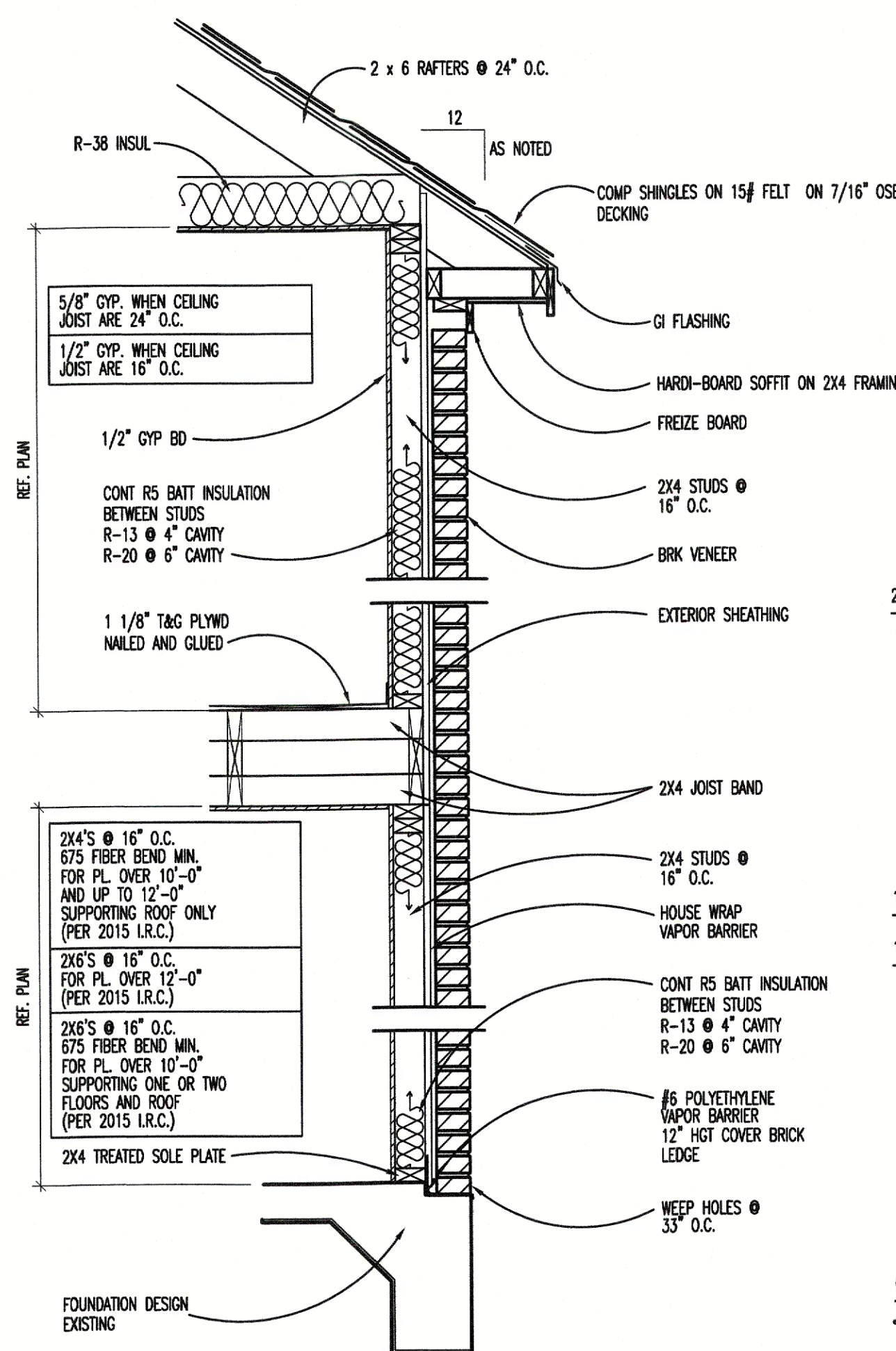
03 TYP STAIR SECTION
SCALE: 3/4"=1'-0"

EXTERIOR WALL INFO				
TOTAL EXT. WALL AREA	2,738	SF		
WDWS & DOORS	545	SF		
ACTUAL C'VD AREA	3,501	SF		
BRICK AREA	2,386	SF	87.1%	
STONE AREA	210	SF	7.7%	
STUCCO AREA	142	SF	5.2%	

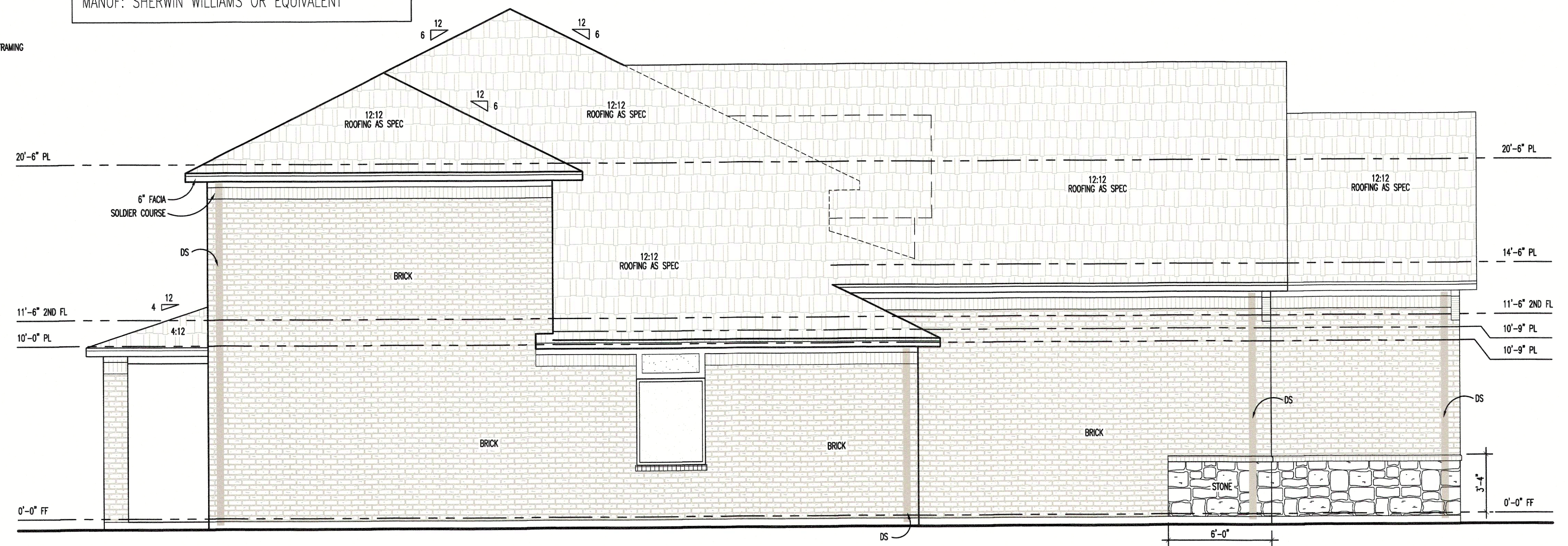
ROOFING MATERIALS	
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT	
COLOR: DRIFTWOOD GAF OR EQUIVALENT	
FACIA & SOFFIT	
1"X6" FACIA BOARD W/ 5/8"X12" HARDI SOFFIT	
PAINT	
COLOR: ADOBE	
MANUF: SHERWIN WILLIAMS OR EQUIVALENT	



01 FRONT ELEVATION
SCALE: 1/4"=1'-0"



04 TYP WALL DETAIL
SCALE: 3/4"=1'-0"



02 LEFT ELEVATION
SCALE: 1/4"=1'-0"



DESIGN SERVICES
PLANO, PH. (214) 440-1111

DO NOT SCALE
CONTRACTOR EXISTING CONDITIONS
CONTRACT DISCREPANCY BEGINNING 24/3/20

OWNER/CONTRACTOR
VANIO DILLON
2717 LAKE ROWLEY
(972) 611-1111

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20

NO REVISIONS

05-10

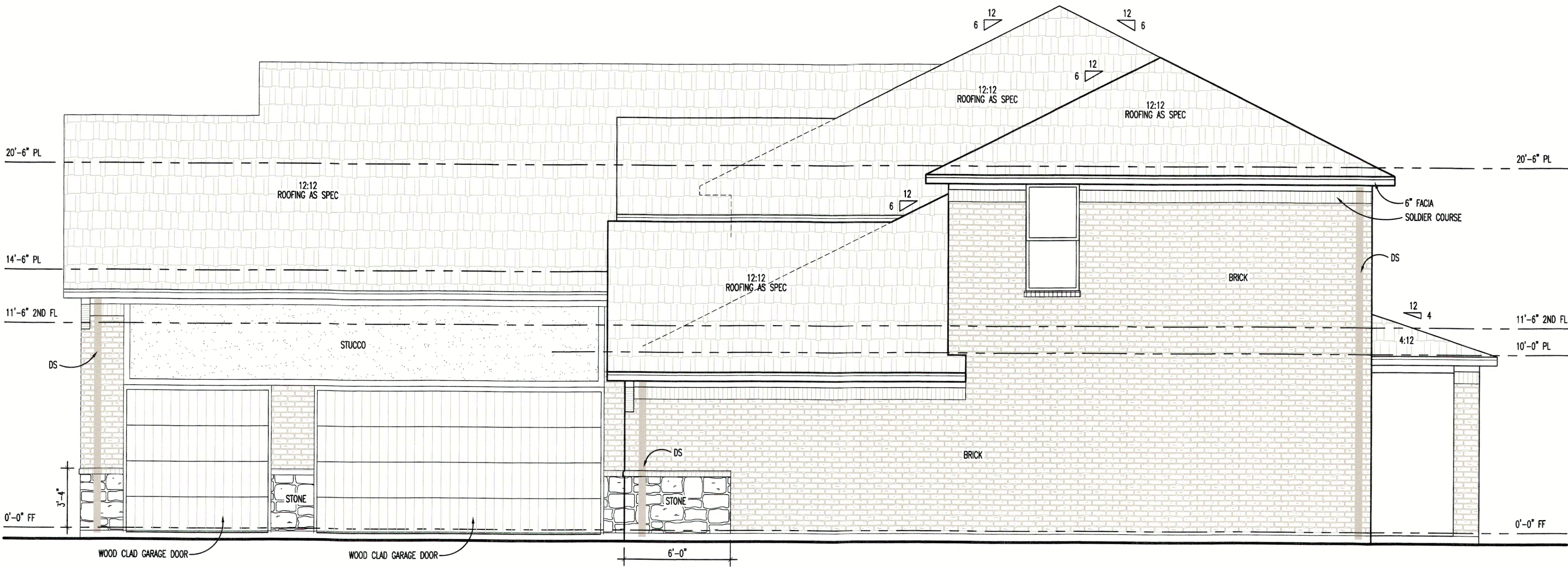
SHEET NO.

A2

EXTERIOR DOOR SCHEDULE				ALL GLAZING TO BE DUAL PANE INSULATED LOW-E
ROOM	#	SIZE	DETAILS	
FOYER	1	3080	WOOD ENTRY	
NOOK	1	2880	FULL LITE METAL	
MASTER	1	2880	FULL LITE METAL	
GARAGE	1	16'x8'	METAL OHD	
GARAGE	1	8'x8'	METAL OHD	

WINDOW SCHEDULE				ALL GLAZING TO BE DUAL PANE INSULATED LOW-E
ROOM	#	SIZE	DETAILS	
FOYER	1	3236	FX @ 12'-4" HH	
DINING	2	3060	SH @ 8'-0" HH	
NOOK	3	3060	SH @ 8'-0" HH	
LIVING	4	3060	SH @ 8'-0" HH	
MASTER BDRM	3	3060	SH @ 8'-0" HH	
MASTER BATH	1	4050	FX @ 8'-0" HH OBSCURED	
BDRM #2	3	3060	SH @ 8'-0" HH	
GAME ROOM	3	3060	SH @ 8'-0" HH	
BDRM #3	2	3060	SH @ 8'-0" HH	
BDRM #4	1	3060	SH @ 8'-0" HH	

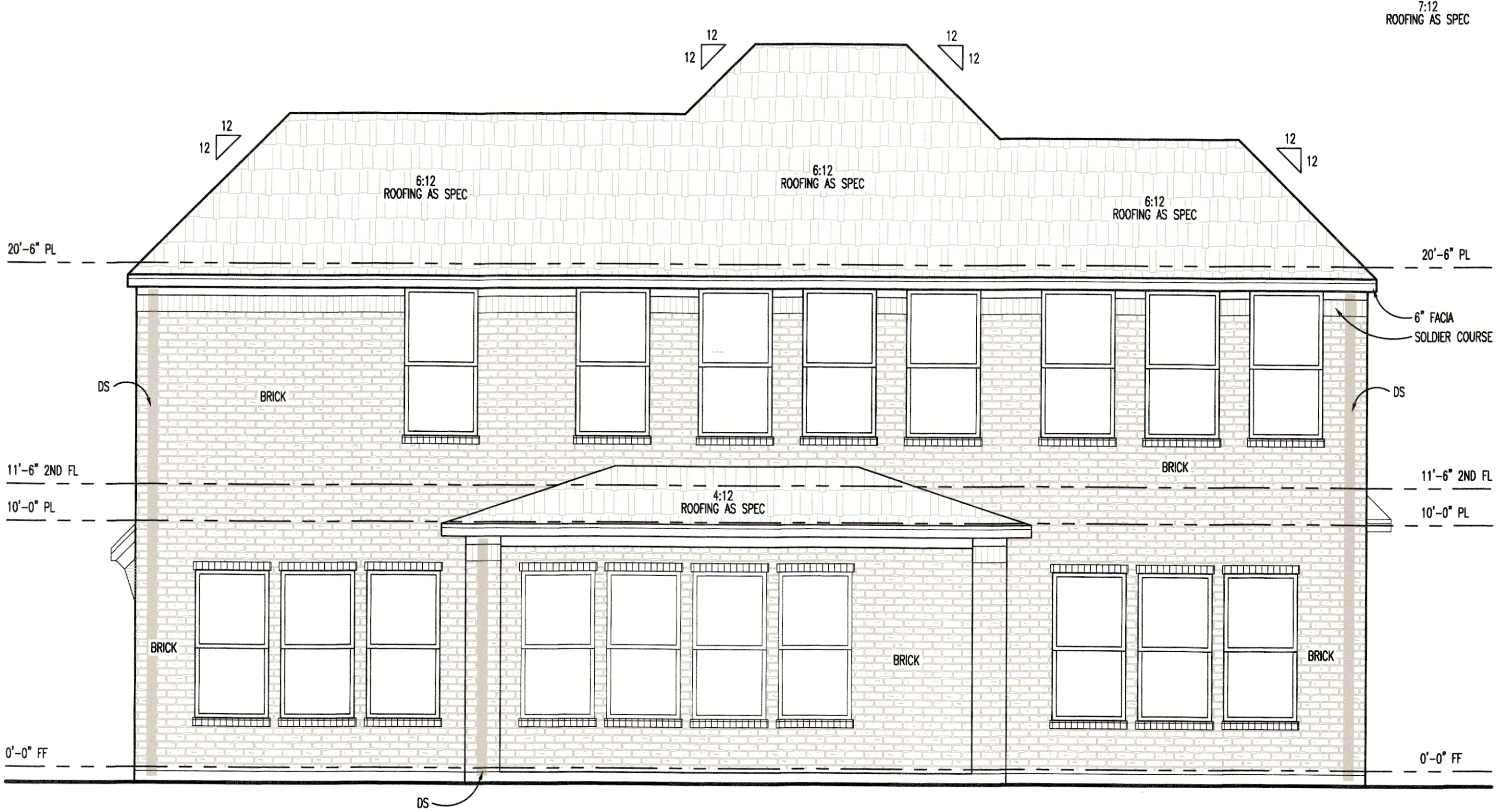
INTERIOR DOOR SCHEDULE			
ROOM	#	SIZE	DETAILS
GARAGE	1	2880	20 MIN RATED W/ CLOSER HINGES
CLOSET & STOR	2	2080	INTERIOR MASONITE HC
PAN	1	2080	INTERIOR MASONITE HC
UTIL	1	2880	INTERIOR MASONITE HC
POWDER	1	2080	INTERIOR MASONITE HC
MASTER BDRM	1	2880	INTERIOR MASONITE HC
MASTER BATH	1	PR 1380	INTERIOR MASONITE HC
	1	2080	INTERIOR MASONITE HC
	1	2680	INTERIOR MASONITE HC
BDRM #2	1	2868	INTERIOR MASONITE HC
BDRM #3	1	2868	INTERIOR MASONITE HC
BDRM #4	1	2868	INTERIOR MASONITE HC
BATH #2	2	2068	INTERIOR MASONITE HC
BATH #3	2	2068	INTERIOR MASONITE HC
BATH #4	1	2068	INTERIOR MASONITE HC
STORAGE CLOSET	1	2868	INTERIOR MASONITE HC
BDRM CLOSETS	3	2068	INTERIOR MASONITE HC



01 LEFT ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR WALL INFO				
TOTAL EXT. WALL AREA	2,738	SF		
WDWS & DOORS	545	SF		
ACTUAL C'VD AREA	3,501	SF		
BRICK AREA	2,386	SF	87.1%	
STONE AREA	210	SF	7.7%	
STUCCO AREA	142	SF	5.2%	

ROOFING MATERIALS	
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT COLOR: DRIFTWOOD GAF OR EQUIVALENT	
FACIA & SOFFIT	
1"x6" FACIA BOARD W/ 5/8"x12" HARDI SOFFIT	
PAINT	
COLOR: ADOBE MANUF: SHERWIN WILLIAMS OR EQUIVALENT	



02 REAR ELEVATION
SCALE: 1/4"=1'-0"



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

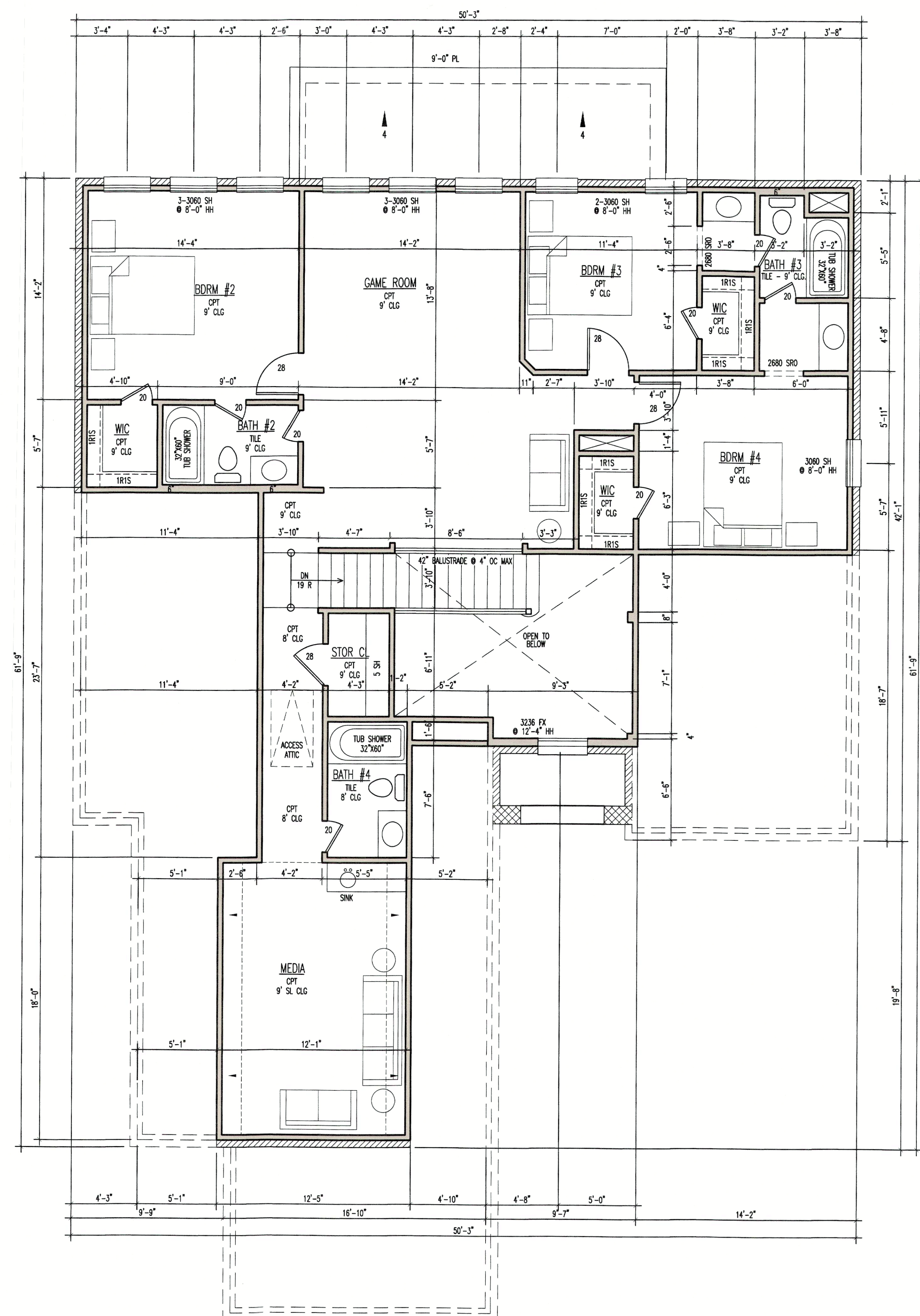
DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR
VANIO & DE
DILOV
2717 LAKEWOOD I
ROWLETT, TX 75081
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75082

NO REVISION
05-10-23

SHEET NUMBER
A3

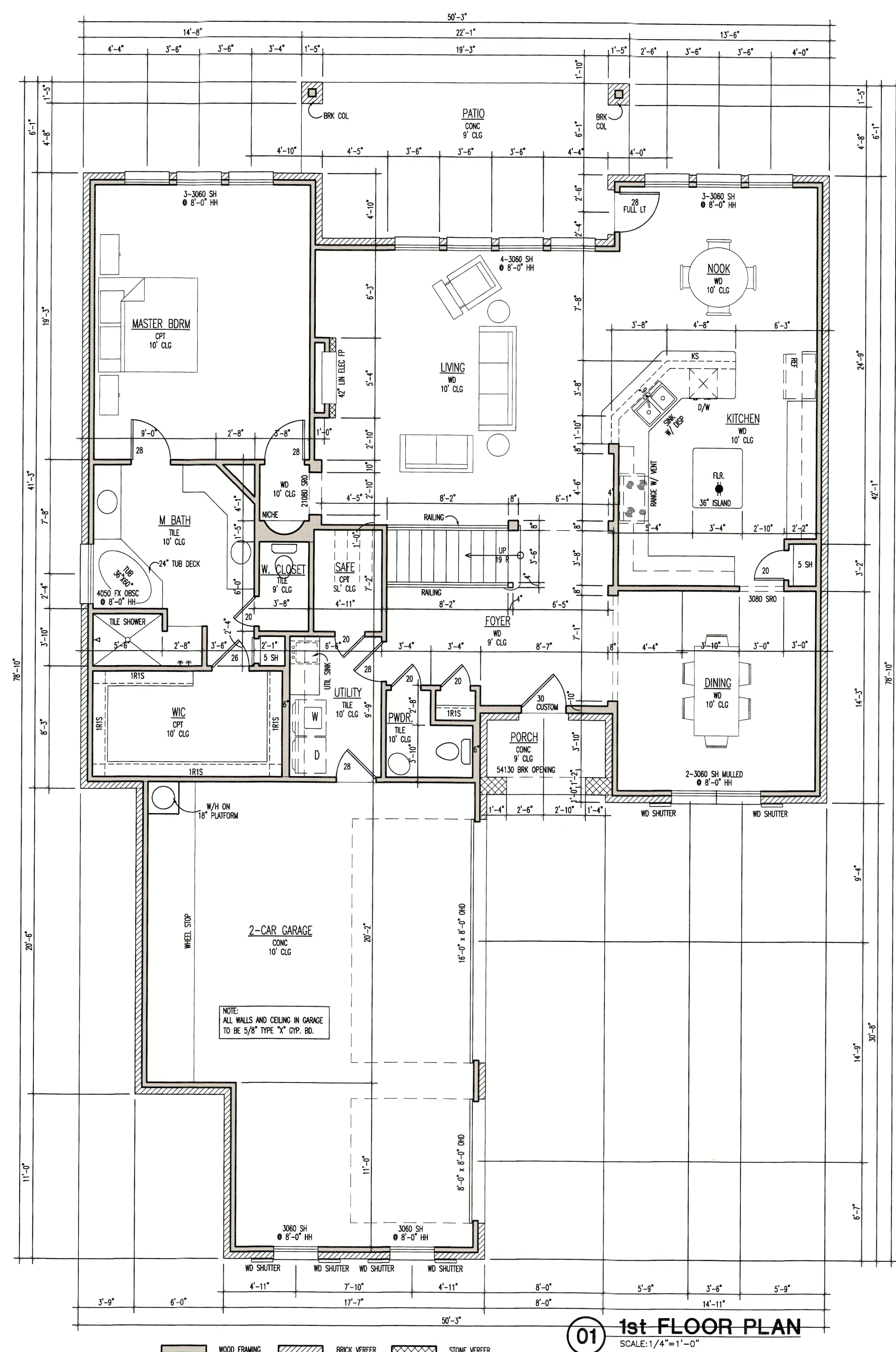


APPLICABLE CODES

2015	INTERNATIONAL BUILDING CODE	2015	INTERNATIONAL FUEL GAS CODE
2015	INTERNATIONAL MECHANICAL CODE	2015	INTERNATIONAL PROP. MAINTENANCE CODE
2015	INTERNATIONAL PLUMBING CODE	2015	INTERNATIONAL ELECTRICAL CODE
2015	INTERNATIONAL FIRE PREVENTION CODE	2017	NATIONAL ELECTRICAL CODE

ALL CONTRACTORS SHALL REGISTER WITH MUNICIPALITY AND PERFORM ALL TASKS TO COMPLY WITH APPLICABLE CODES AND MUNICIPAL REGULATIONS

02 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"



01 1st FLOOR PLAN
SCALE: 1/4" = 1'-0"



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75001
PH. (214) 929-5086

DO NOT SCALE DRAWING
CONTRACTOR TO VERIFY /
EXISTING CONDITIONS AND
DIMENSIONS - NOTIFY OWNER
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36" PRINT

OWNER/CONTR
VANIO & I
DILOV
2717 LAKEWOOD
ROWLETT, TX
(972) 672-77

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
DALLAS, TX 75229

NO REVISION

05-10-2

FIRST FLOOR A/C 1.5
SECOND FLOOR A/C 1.5
TOTAL A/C 3.0

FRONT CVD PORCH 36
REAR CVD PATIO 21
3-CAR GARAGE 66
TOTAL UNDER ROOF 123

SHEET NUMBER

A1

OWNER/CONTRACTOR

VANIO & DESI

DILOV

2717 LAKEWOOD DR.

ROWLETT, TX 75088

(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20

THE MISCHIEF LANE

ROCKWALL, TX 75032

ROCKWALL COUNTY

0 REVISION

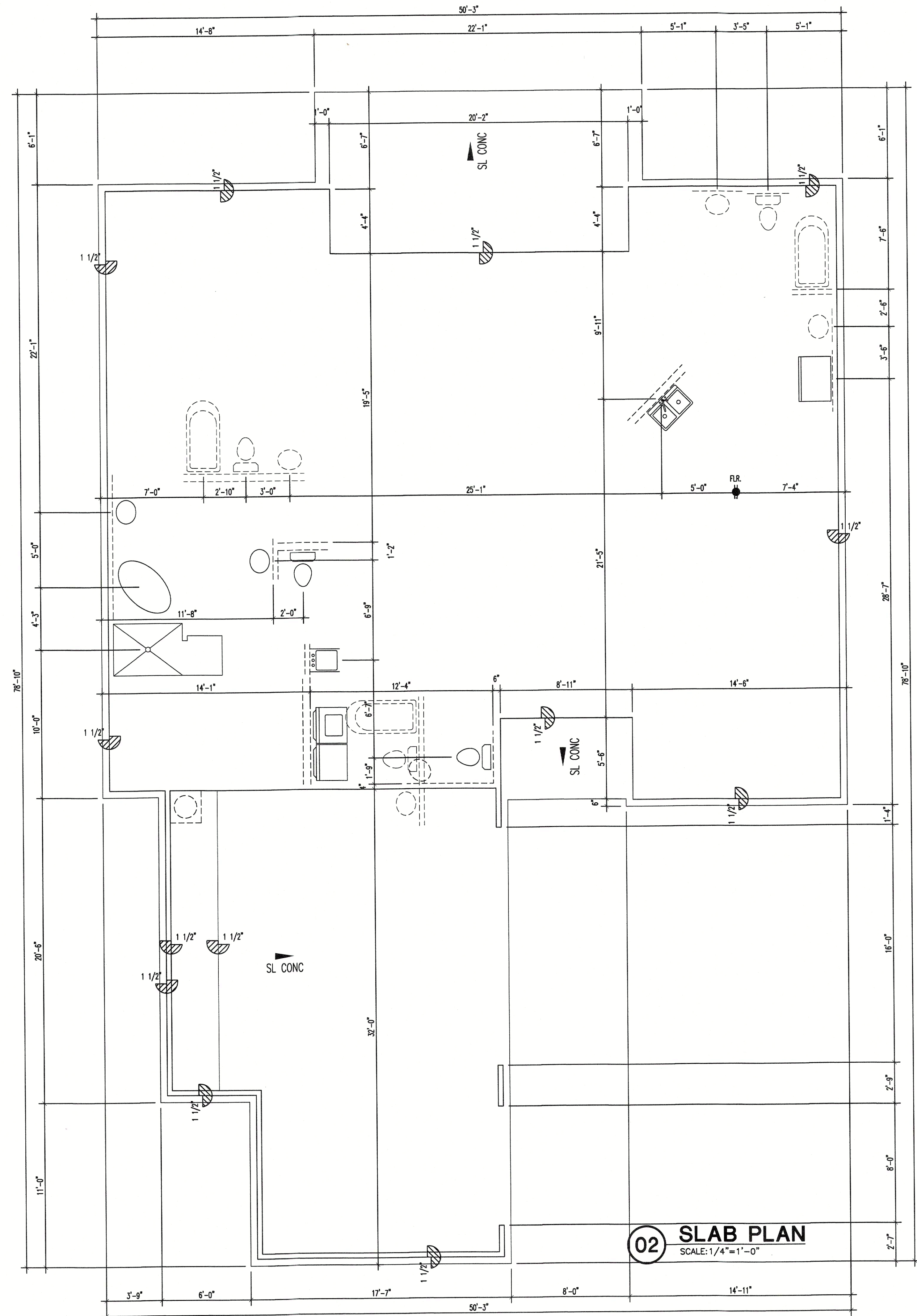
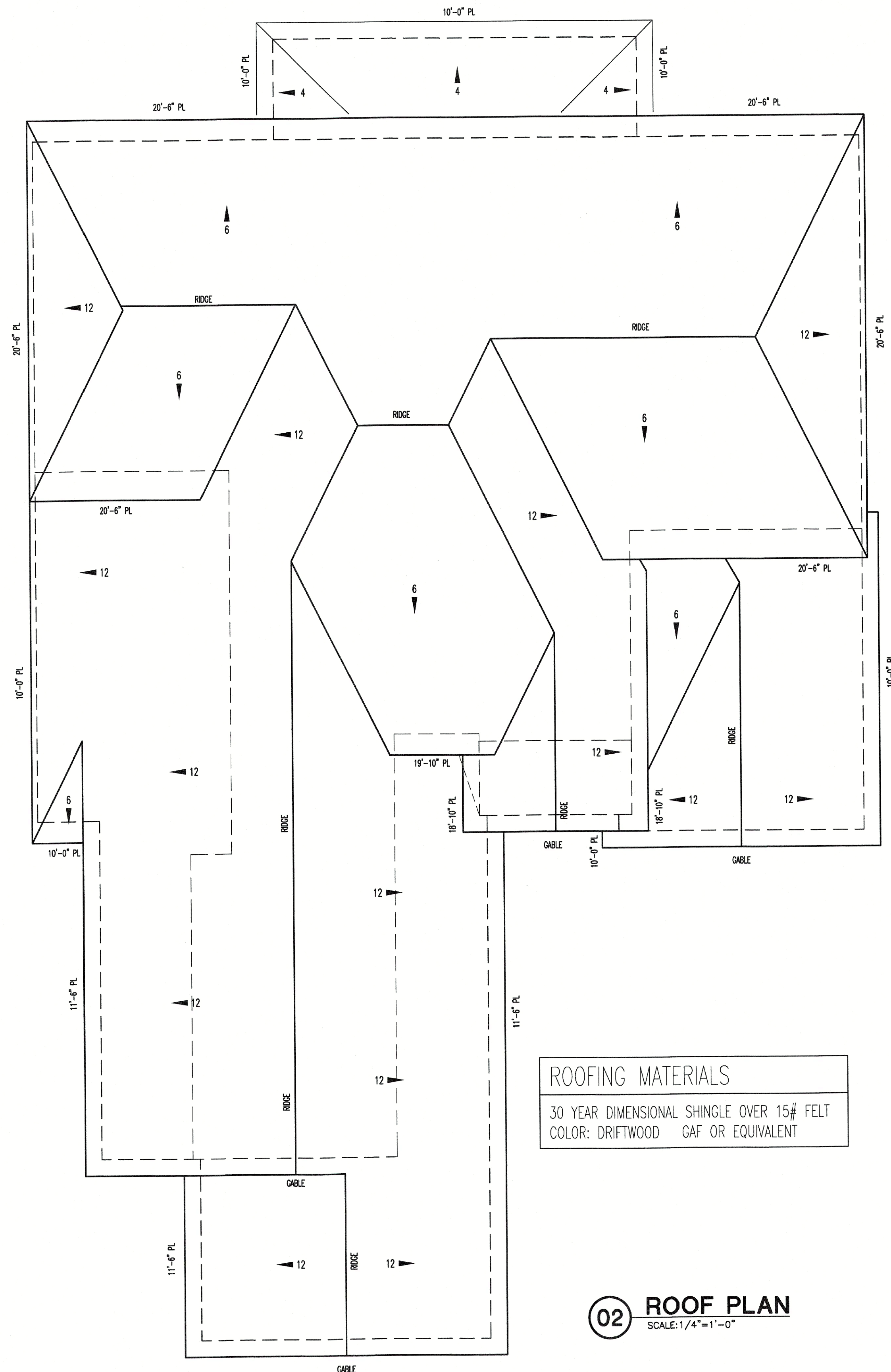
05-10-23

HEET NUMBER

A4

HEET NUMBER

A4





DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75072
PH. (214) 925-5636

DO NOT SCALE DIMENSIONS
CONTRACTOR TO VERIFY ALL
DIMENSIONS AND
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
THIS PLAN

OWNER/CONTRACTOR

**VANIO & DESI
DILOV**

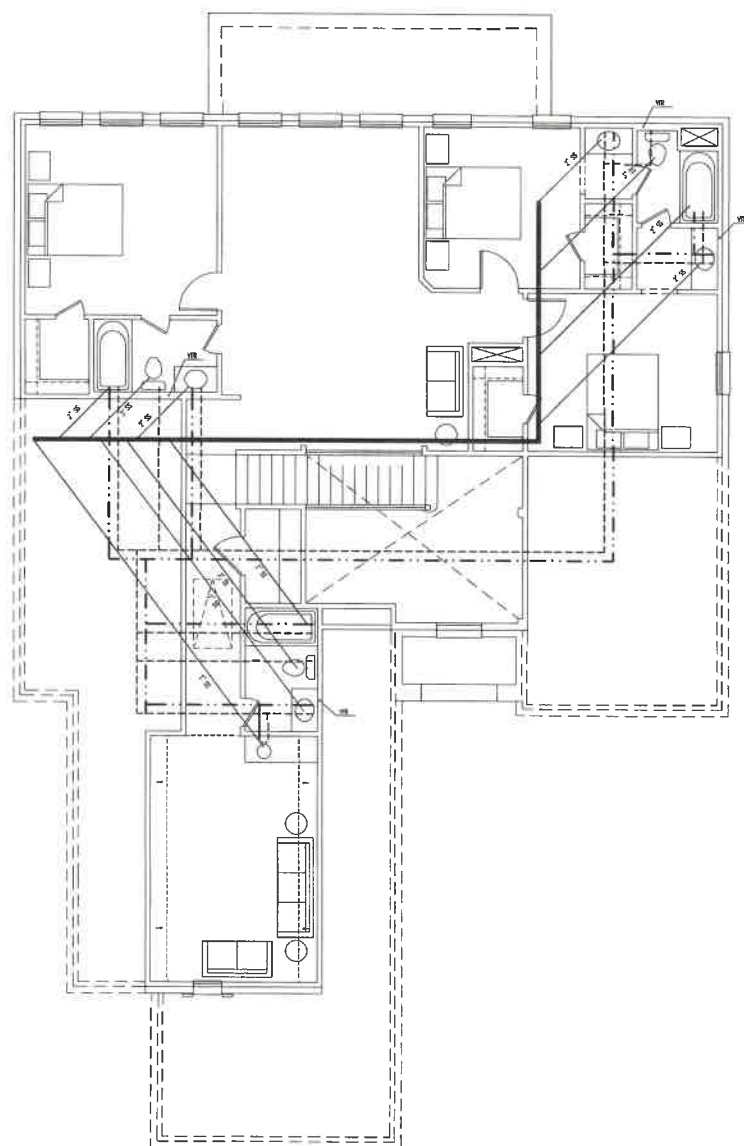
2717 LAKEWOOD DR.
ROWLETT, TX 75088
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75082
ROCKWALL COUNTY

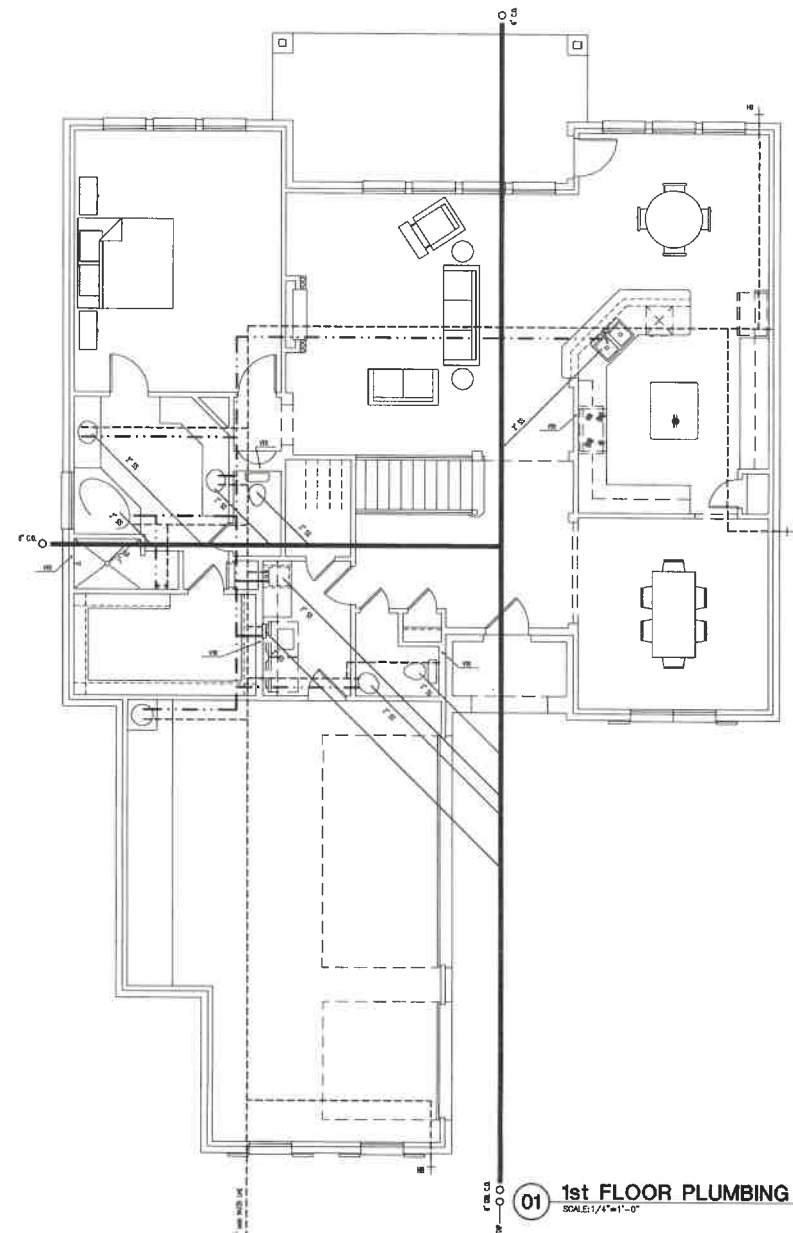
NO REVISION
05-10-23

SHEET NUMBER

A7



02 2nd FLOOR PLUMBING PLAN
SCALE: 1/4"=1'-0"



01 1st FLOOR PLUMBING PLAN
SCALE: 1/4"=1'-0"



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
102 Mischief Lane	Single-Family Home	2000	4,541	N/A	Brick and Siding
104 Mischief Lane	Single-Family Home	1990	2,837	N/A	Brick and Stone
106 Mischief Lane	Single-Family Home	1995	3,034	N/A	Brick and Siding
108 Mischief Lane	Single-Family Home	2003	5,306	N/A	Brick and Stone
110 Mischief Lane	Vacant	N/A	N/A	N/A	Vacant
112 Mischief Lane	Single-Family Home	2015	4,155	N/A	Brick and Stone
114 Mischief Lane	Single-Family Home	2005	3,861	N/A	Brick and Stone
116 Mischief Lane	Single-Family Home	2003	2,825	160	Brick and Siding
125 Mischief Lane	Single-Family Home	2016	4,371	N/A	Brick and Stone
109 Mischief Lane	Single-Family Home	1994	3,255	N/A	Brick and Siding
105 Mischief Lane	Single-Family Home	2001	2,615	N/A	Brick
4501 Yacht Club Drive	Single-Family Home	1993	6,032	N/A	Brick and Siding
AVERAGES:		2001	3,894	160	



CITY OF ROCKWALL

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102 Mischief Lane



104 Mischief Lane



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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106 Mischief Lane



108 Mischief Lane



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



110 Mischief Lane



112 Mischief Lane



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



114 Mischief Lane



116 Mischief Lane



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



125 Mischief Lane



109 Mischief Lane



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



105 Mischief Lane



4501 Yacht Club Drive

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2250-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 16, BLOCK A, OF THE CHANDLER'S LANDING PHASE 20 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Vanio Dilov for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, of the Chandler's Landing Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 110 Mischief Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 17th DAY OF JULY, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

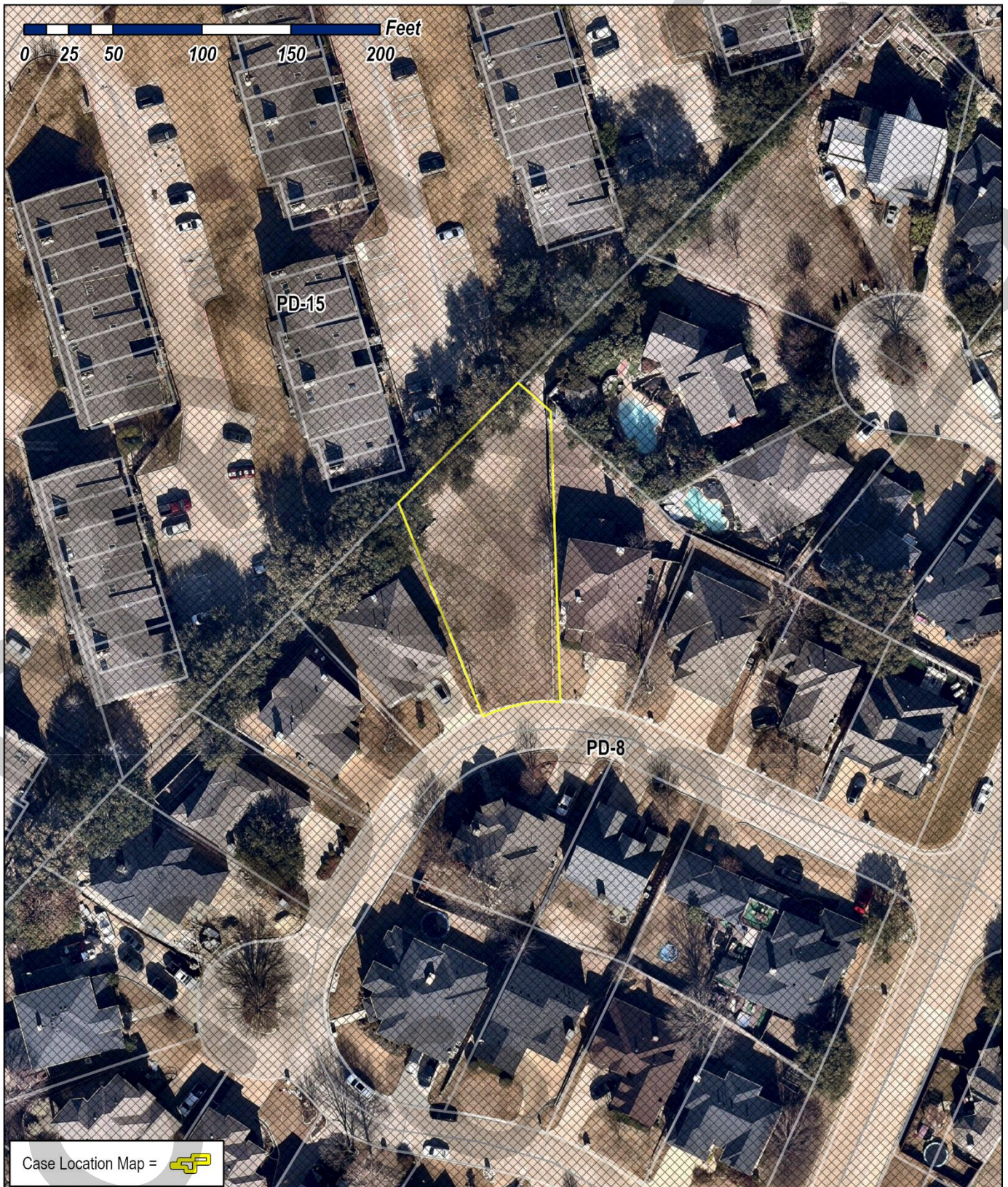
1st Reading: June 19, 2023

2nd Reading: July 17, 2023

Exhibit 'A':
Location Map and Residential Plot Plan

Address: 110 Mischief Lane

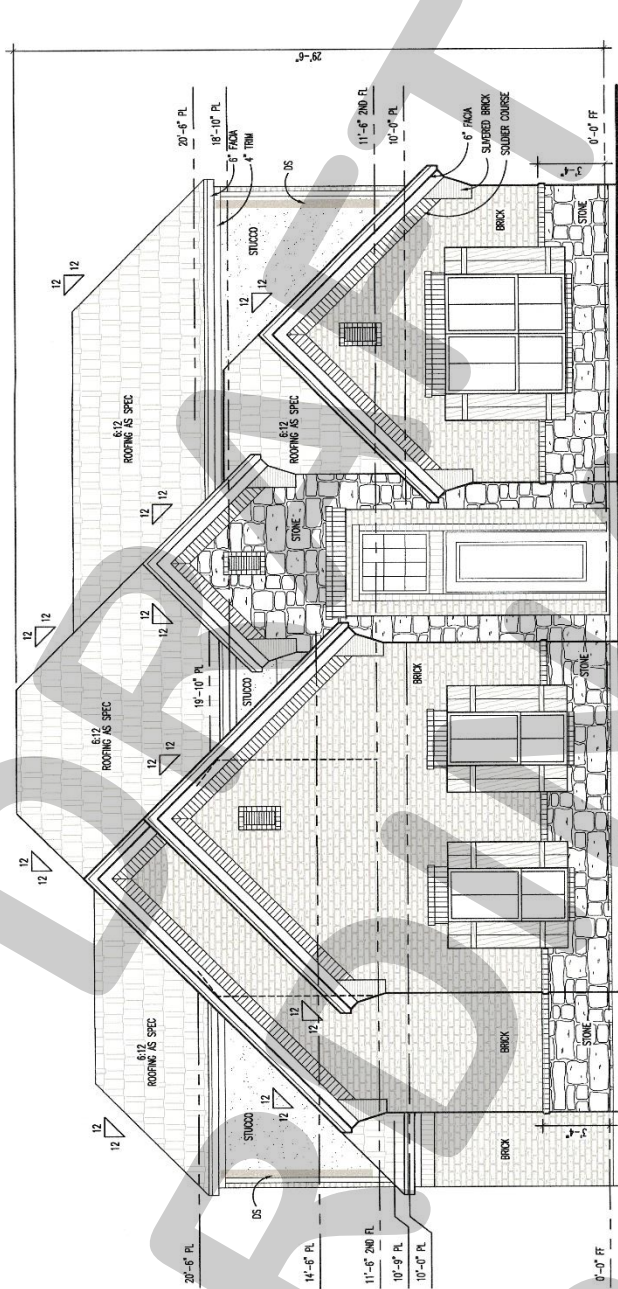
Legal Description: Lot 16, Block A, Chandler's Landing Phase 20 Addition



[illegible]

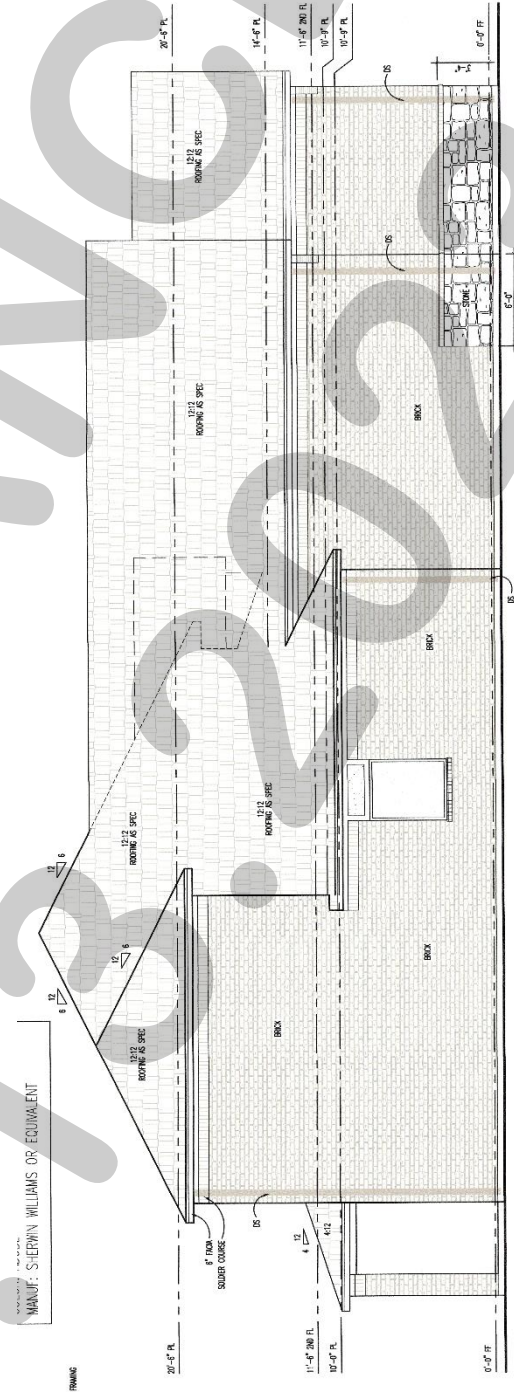
TYPE MEASUREMENTS PROVIDED BY THIRD PARTY SURVEY DIMENSIONS SHOWN ARE FOR PLANNING PURPOSES ONLY. OWNER/CONTRACTOR RESPONSIBLE FOR FINAL FORM SURVEY AND PLACEMENT OF ART RETURNING OR STEEL WALLS.

Exhibit 'B':
Building Elevations



01 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



02 LEFT ELEVATION

SCALE: 1/4" = 1'-0"

Architectural drawings of the rear elevation of a building, including a left elevation and a rear elevation. The left elevation shows a building with a gabled roof, a chimney, and a porch. The rear elevation shows a building with a gabled roof, a chimney, and a porch. Both elevations are labeled with dimensions and materials.

01 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

02 REAR ELEVATION
SCALE: 1/4" = 1'-0"

02 REAR ELEVATION
SCALE: 1/4" = 1'-0"



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: June 19, 2023

APPLICANT: Vanio Dilov

CASE NUMBER: Z2023-027; *Specific Use Permit (SUP) for a Residential Infill for 110 Mischief Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. Phase 20 of the Chandler's Landing Subdivision was later amended by *Ordinance No. 85-43* on August 26, 1985. A preliminary plat (Case No. *PZ1985-049-01*) and a final plat (Case No. *PZ1985-051-01*) for Phase 20 of the Chandler's Landing Subdivision was later approved on July 2, 1985. This established the subject property as Lot 16, Block A, Chandler's Landing, Phase 20 Addition. The subject property remains zoned Planned Development District 8 (PD-8) and has remained vacant since it was originally platted.

PURPOSE

The applicant -- *Vanio Dilov* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 110 Mischief Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Phase 2 of the Signal Ridge Subdivision, which consists of 57 townhomes on 3.98-acres of land. Beyond this is Phase 3 of the Signal Ridge Subdivision, which consists 113 townhomes on 8.88-acres of land. All of these phases of the Signal Ridge Subdivision are zoned Planned Development District 15 (PD-15) for *single-family condominium* land uses.

South: Directly south of the subject property is Mischief Lane, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is the remainder of Phase 20 of the Chandler's Landing Subdivision, which consists of 63 single-family residential lots on 12.11-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses. South of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property are four (4) parcels of land (*i.e. 102, 104, 106, and 108 Mischief Lane*) developed with single-family homes. East of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is Phase

16 of the Chandler's Landing Subdivision, which consists of 59 single-family residential lots on 13.00-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses.

West: Directly west of the subject property are Phase 2 and Phase 3 of the Signal Ridge Subdivision. Phase 2 of the Signal Ridge Subdivision consists of 57 townhomes on 3.98-acres of land. Phase 3 of the Signal Ridge Subdivision consists of 113 townhomes on 8.88-acres of land. Both of these phases are zoned Planned Development District 15 (PD-15) for *single-family condominium* land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Phase 20 of the Chandler's Landing Subdivision, which has been in existence since 1985, consists of 63 single-family residential lots, and is 96.83% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Mischief Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Mischief Lane	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Mischief Lane are oriented towards Mischief Lane, with the exception of 4501 Yacht Club Drive.	The front elevation of the home will face onto Mischief Lane.
Year Built	1990-2016	N/A
Building SF on Property	2,615 SF – 6,032 SF	2,895 SF
Building Architecture	Traditional Brick/Stone Suburban Residential with One (1) Modern Home	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	50-Feet
Building Materials	HardiBoard/HardiePlank, Brick, Stone and Stucco.	Combination of Brick and Stone
Paint and Color	White, Cream, Red, Pink, Beige, Grey, and Brown	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front and visible from Mischief Lane with the orientations being <i>flat front entry, garage forward entry, side entry, and 'J' or traditional swing entry.</i>	The garage will be a j-swing garage.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry

garages ...” In this case, the applicant is proposing a j-swing garage which is in conformance with Planned Development District 8 (PD-8) and the Unified Development Code standards.

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Mischief Lane and the proposed building elevations in the attached packet.

NOTIFICATIONS

On May 24, 2023, staff mailed 275 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water's Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, Lago Vista and Chandler's Landing Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit BC'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On June 13, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 110 MISCHIEF W Rockwall TX 75032
SUBDIVISION CHANDLER'S LANDING LOT 16 BLOCK A
GENERAL LOCATION Rockwall

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENTIAL CURRENT USE VACANT LOT
PROPOSED ZONING RESIDENTIAL PROPOSED USE NEW HOUSE
ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>VANIO DILOV</u>	<input checked="" type="checkbox"/> APPLICANT	<u>VANIO DILOV</u>
CONTACT PERSON	<u>VANIO DILOV</u>	CONTACT PERSON	<u>VANIO DILOV</u>
ADDRESS	<u>2717 LAKEWOOD DR.</u>	ADDRESS	<u>2717 LAKEWOOD DR.</u>
	<u>ROWLETT</u>		<u>ROWLETT</u>
CITY, STATE & ZIP	<u>TX. 75088</u>	CITY, STATE & ZIP	<u>TX. 75088</u>
PHONE	<u>972-672-7777</u>	PHONE	<u>972-672-7777</u>
E-MAIL	<u>Desi. Dilov@gmail.com</u>	E-MAIL	<u>Desi. Dilov@gmail.com</u>

NOTARY VERIFICATION [REQUIRED]

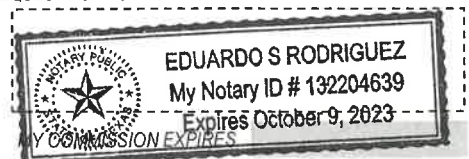
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Vanio Dilov [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

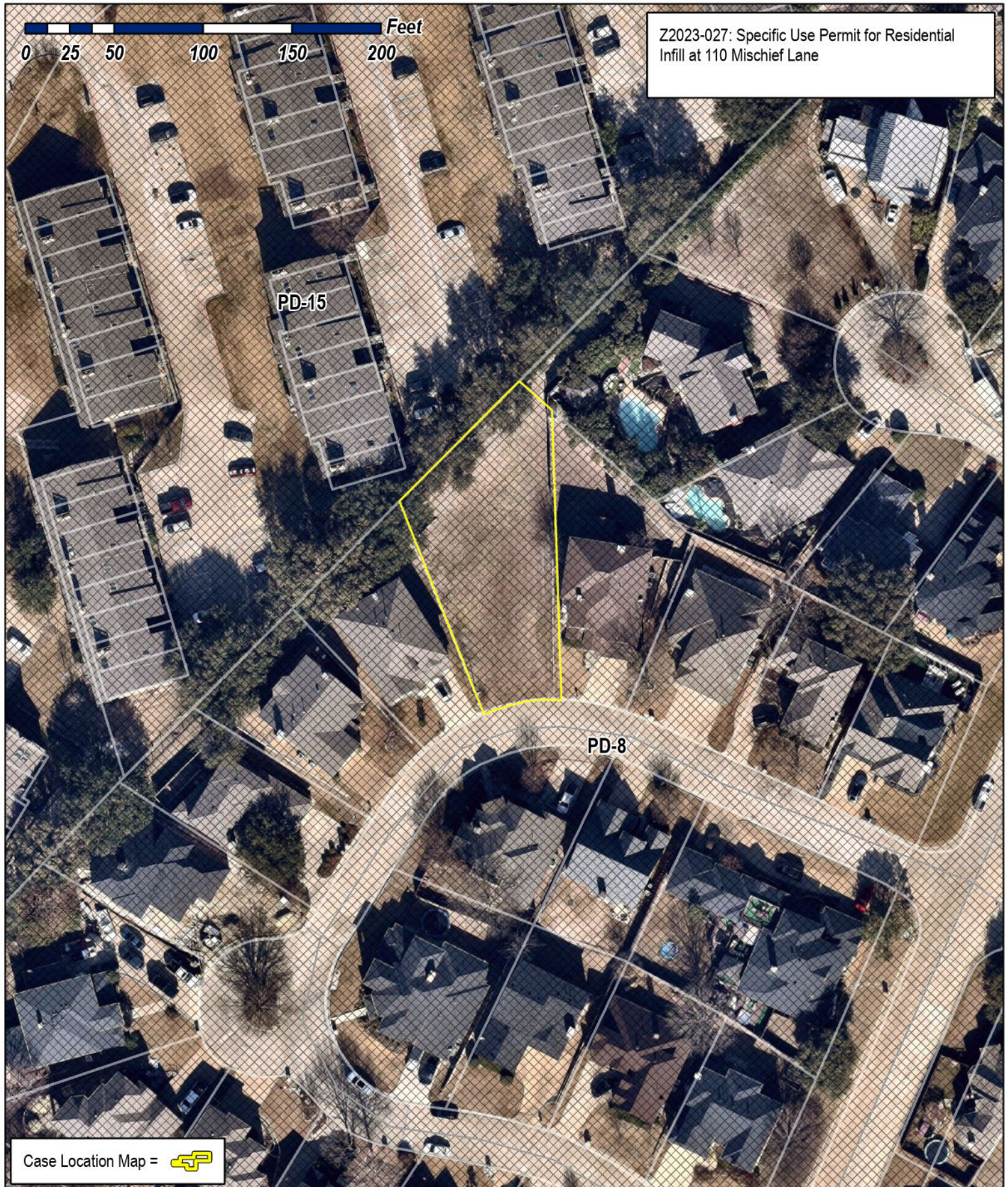
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS 17th DAY OF MAY, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF MAY, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-027: Specific Use Permit for Residential Infill at 110 Mischief Lane

PD-15

PD-8

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

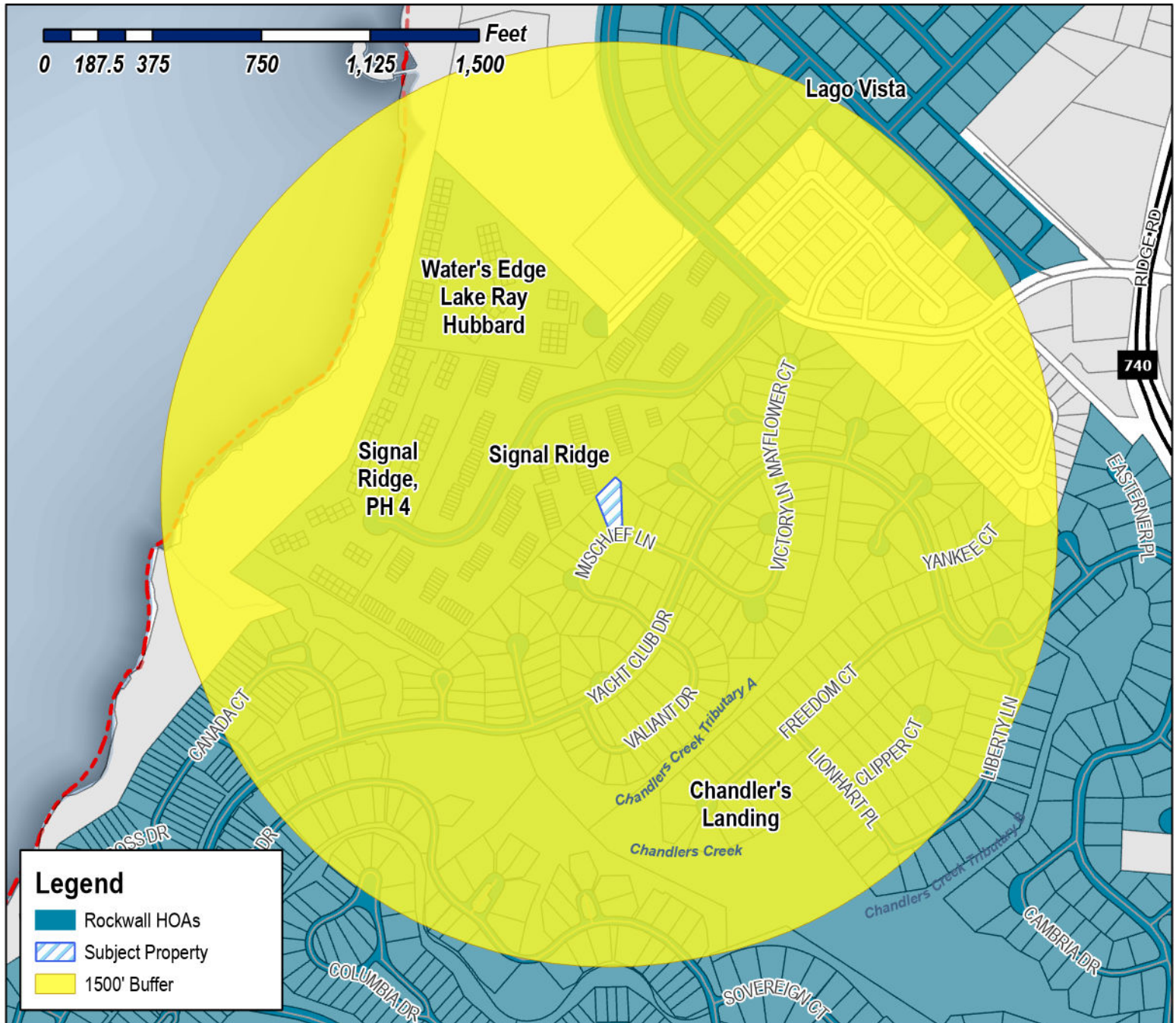




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Case Number: Z2023-027
Case Name: SUP for Residential Infill
Case Type: ZONING
Zoning: Planned Development District 8 (PD-8)
Case Address: 110 Mischief Lane

Date Saved: 5/23/2023
For Questions on this Case Call (972) 771-7745



Guevara, Angelica

From: Zavala, Melanie
Sent: Tuesday, May 23, 2023 3:12 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-027]
Attachments: Public Notice (05.23.2023).pdf; HOA Map (05.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 26, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-027: SUP for Residential Infill at 110 Mischief Lane

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

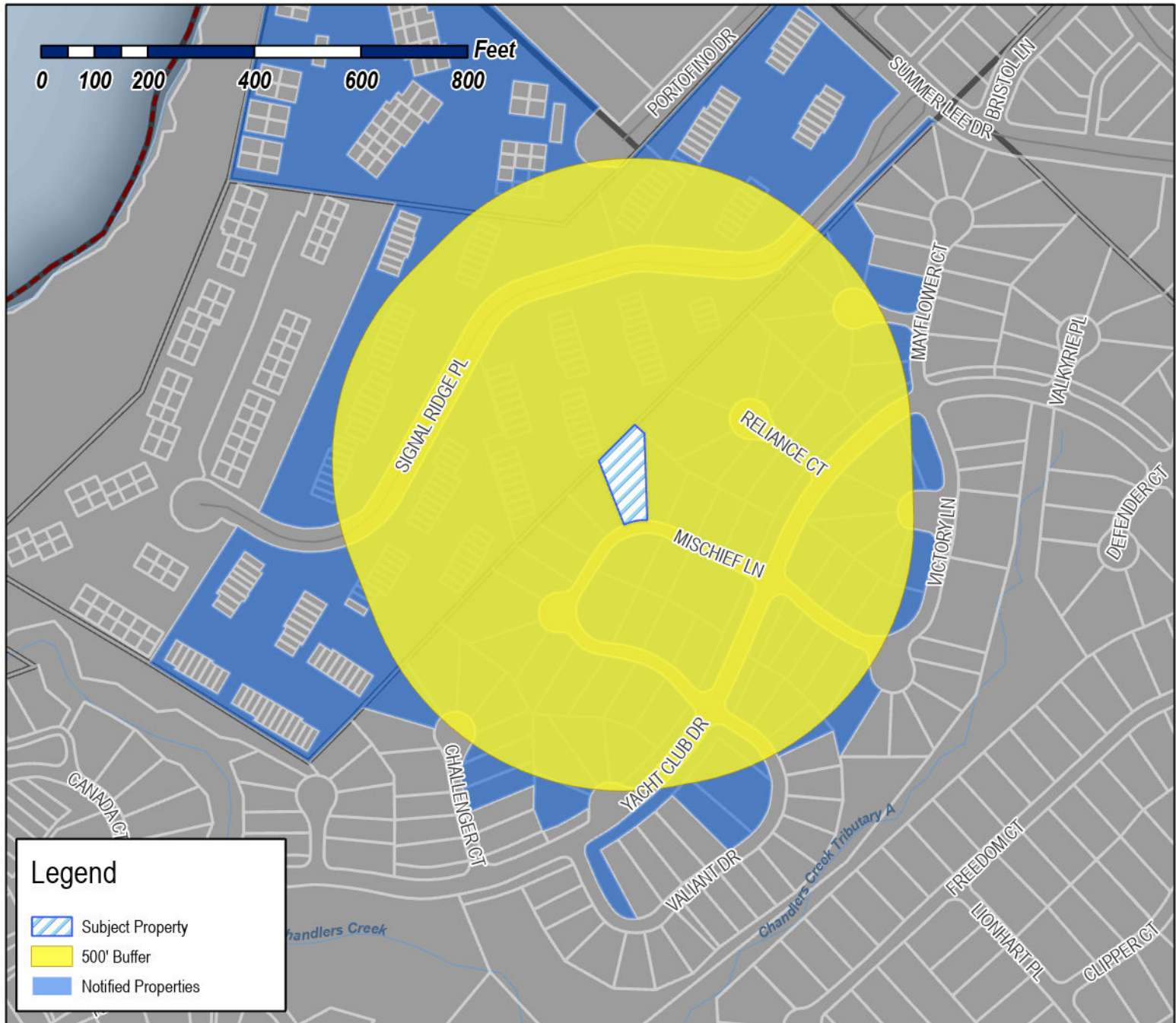
Thank You,
Melanie Zavala
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2023-027
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 110 Mischief Lane

Date Saved: 5/23/2023

For Questions on this Case Call: (972) 771-7746



BELOTE GARLAND III
1001 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL
1002 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1003 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SINNOTT KATHY
1004 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1005 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SEPEHRI SUSAN M
1006 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BROYLES STEPHANIE
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GOODMAN CARLA
101 DAME PATTIE DR
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA
101 MAYFLOWER CT
ROCKWALL, TX 75032

SWEET CHASE AND SADIE
101 RELIANCE CT
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
101 S BROOKSIDE DR APT 2505
DALLAS, TX 75214

MCAFFEE CANDACE
1010 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1013 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WORTHY SHARON A
1014 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ROGERS JOE ELLIS
1015 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1017 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

RESIDENT
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1019 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

HALL CORI
102 MISCHIEF LANE
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1021 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GIBBS STEPHANIE L
1022 SIGNAL RIDGE PLACE
ROCKWALL, TX 75087

RESIDENT
1023 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAIL SYDNEY
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1025 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOSEPH JACOB
1028 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1029 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
103 DAME PATTIE
ROCKWALL, TX 75032

RESIDENT
103 MAYFLOWER CT
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 GROSS RD BLDG A
MESQUITE, TX 75149

AUSTIN CHRISTI LYNN
103 RELIANCE COURT
ROCKWALL, TX 75032

DUKE HEATHER
1030 SIGNAL RIDGE PL UNIT 1030
ROCKWALL, TX 75032

RESIDENT
1031 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1034 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1035 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRYOR MICA MALONEY
1036 SIGNAL RIDGE PLACE #1036
ROCKWALL, TX 75032

RESIDENT
1037 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1038 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CONNER JANICE S
1039 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
104 RELIANCE CT
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
1040 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1041 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1042 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TRINGALI CAHTERINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KILGORE MADISON
1045 SIGNAL RIDGE PL
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1047 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ZAIDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OCONNOR MICHAEL
105 MAYFLOWER CT
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE
106 RELIANCE CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

NORTEX PROPERTIES INC
% JOSEPH L ZEHR
10808 LA CABREAH LN
FORT WAYNE, IN 46845

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
110 MISCHIEF LN
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1102 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1103 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO
1104 SIGNAL RIDGE #1104
ROCKWALL, TX 75032

RESIDENT
1105 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

GARDNER DAVID L REVOCABLE LIVING TRUST
DAVID L GARDNER TRUSTEE
1105 51ST ST W
BRADENTON, FL 34209

OGLIN THOMAS J & JOYCE L
1106 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1107 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNS ETHAN
1108 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RUBIO CONNIE L
1109 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CORDELL-JOHNSON KIMBERLY
1110 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1111 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLER JEFFRY AND KATHLEEN
1111 VISTA GRANDE ROAD
EL CAJON, CA 92019

TWOMEY ELIZABETH A
1112 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1113 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1114 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MATHERNE JUDITH L
1115 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MAKE READY RENOVATIONS LLC
1116 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MARKHAM DIANNA
1117 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

LEVENTHAL PATRICK J
1118 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BULLOCK JEFFREY B AND
MARGARITA HEREDIA
1119 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

FREEMAN RICHARD WILLIAM
1120 LIVE OAK CIRCLE
SHERMAN, TX 75092

LAMAN FRANCES ANN
1120 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1121 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LAWRENCE ALAN
1122 SIGNAL RIDGE PLACE # 1122
ROCKWALL, TX 75032

RESIDENT
1123 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1124 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1125 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA CHRISTOPHER
1126 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1127 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAUGHAN CULLY & SARA
1128 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1129 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J
114 MISCHIEF LANE
ROCKWALL, TX 75032

LETT LORNA
116 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
118 MISCHIEF LN
ROCKWALL, TX 75032

PUSTEJOVSKY MARK
11875 CR 4026
KEMP, TX 75143

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J
120 PURITAN CT
ROCKWALL, TX 75032

LOWREY COLT A AND
LEO WISE
122 MISCHIEF LN
ROCKWALL, TX 75032

HORTON TREVOR L AND MEGAN
122 PURITAN COURT
ROCKWALL, TX 75032

MCMURTRE DREW
1220 COIT RD STE 107
PLANO, TX 75075

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

POTISKA PATRICIA
124 PURITAN CT
ROCKWALL, TX 75032

RESIDENT
125 MISCHIEF LN
ROCKWALL, TX 75032

LOPEZ CHRIS MARK AND ASHLEY MARIE
126 MISCHIEF LN
ROCKWALL, TX 75087

WINKLES GARY AND KRISTY
126 PURITAN CT
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

RESIDENT
128 PURITAN CT
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
132 MISCHIEF LN
ROCKWALL, TX 75032

LANIGAN TIFFANY LEE
143 STEVENSON DR
FATE, TX 75087

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

RESIDENT
1501 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WEST VICTORIA FELICIA
1502 SIGNAL RIDGE
ROCKWALL, TX 75032

LE VASSEUR SANDI
1503 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1504 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BRINKMAN VICKI LYNN
1505 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1506 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FITZGERALD LARRY R AND JACQUELINE
1507 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1508 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1517 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1518 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA JUSTIN
1519 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

DECKER SARAH E
1520 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCCLENDON JAMIE
1521 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1522 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BROWN CORY
1523 SIGNAL RIDGE
ROCKWALL, TX 75032

TABOR MARILYN W
1524 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1525 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OSBORN LARETHA
1526 SIGNAL RIDGE PLACE UNIT 1526
ROCKWALL, TX 75032

RESIDENT
1527 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANCLEVE BARRY CURTIS
1528 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1529 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PINSON JON JEFFREY
1530 SIGNAL RIDGE PLACE BLDG S, UNIT 3
ROCKWALL, TX 75032

RESIDENT
1531 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1532 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1533 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1534 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NALL JODEE WAYNE
1535 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

SCHAR KATIE AND ERNST
1536 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

RESIDENT
1537 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1538 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1539 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILLIAMS CHARLES M AND TIFFANY
1540 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CURRENS WAYNE & ARLENE TRUSTEES
BUCHNER/CURRENS FAMILY TRUST
16 LAKEWAY DR
HEATH, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

MEDINA ALEJANDRO
1800 DALROCK #100
ROWLETT, TX 75088

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1910 SIGNAL RIDGE
ROCKWALL, TX 75032

OLSEN CATHERINE A
1920 KINGS PASS
HEATH, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
2001 SPRING RD SUITE 700
OAK BROOK, IL 60523

HARVILLE BRET
2003 PORTOFINO DR
ROCKWALL, TX 75032

LARAPINTA LLC
2028 E. BEN WHITE BLVD # 240-5820
AUSTIN, TX 75741

RESIDENT
2030 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2032 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2034 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2036 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2038 PORTOFINO DR
ROCKWALL, TX 75032

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

PINK DALLAS LLC
240 WILLOWCREST
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

TONA CHAD J & MARTI
256 VICTORY LANE
ROCKWALL, TX 75032

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
264 VICTORY LN
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN
268 VICTORY LN
ROCKWALL, TX 75032

DILOV VANIO
2717 LAKEWOOD DR
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
277 TERRY LANE
HEATH, TX 75032

BURKETT MARY REBECCA EASON
277 TERRY LN
HEATH, TX 75032

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BAILEY RONALD C AND BETH K
2919 COUNTRY PLACE CIR
CARROLLTON, TX 75006

SALT PROPERTIES LLC
2931 RIDGE ROAD SUITE 101-181
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

LYNN JASON AND DANIELLE
297 VICTORY LANE
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
2977 OAK DR
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

MIRFENDERESKI JONAH JAVAD AND
NALINA MICHELLE SHAPIRO
301 VALIANT DRIVE
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B
REV LIVING TRUST AGREEMENT
3020 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
303 VALIANT DR
ROCKWALL, TX 75032

HALL TABITHA AMY AND
TERESA ADAMS
305 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
306 VICTORY LN
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

RESIDENT
310 VICTORY LN
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

LESLIE RANDY
349 E ELDORADO DR
SCROGGINS, TX 75480

STRAHM ROBERT & DENA LYNNE
351 EQUESTRIAN DR
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
411 DRIFTWOOD ST
ROCKWALL, TX 75087

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

BRACK KENYATTA AND SELEAN TURNER
4501 YACHT CLUB DRIVE
ROCKWALL, TX 75032

KUMAR ANVITA
4701 COPPER MOUNTAIN LANE
RICHARDSON, TX 75082

BYRUM JO ANN
504 N ALAMO ROAD
ROCKWALL, TX 75087

BOUSSERT ANNE S & CHRISTIAN B
516 CAMELIA AVE
BATON ROUGE, LA 70806

HARMON H VICTOR
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

VEGA DAVID AND ALICIA C
550 MCDONALD ROAD
HEATH, TX 75032

RESIDENT
5506 CHALLENGER CT
ROCKWALL, TX 75032

NORTON ANGELA
5508 CHALLENGER CT
ROCKWALL, TX 75032

BRADSHAW ADRIAN
5510 CHALLENGER COURT
ROCKWALL, TX 75032

RESIDENT
5512 CHALLENGER CT
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN
5514 CHALLENGER CT
ROCKWALL, TX 75032

CABANISS CHAR CHERICE
DAVID R DE LA CERDA
5516 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

ROCKWALL PROPERTY SOLUTIONS
643 TURTLE COVE BLVD
ROCKWALL, TX 75087

MUNGER JEFFREY K AND GAIL SLOANE
6558 FOXDALE CIRCLE
COLORADO SPRINGS, CO 80919

CORL JON & KIMBERLY BETH CORL AND
ELIZABETH EDWARDS
668 FEATHERSTONE DRIVE
ROCKWALL, TX 75087

THOMAS VELIA
7317 LOUGHEED PLZ
PLANO, TX 75025

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

BENTON EMILY AND
LORI BENTON
785 WINDING RIDGE LN
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
804 EAGLE PASS
HEATH, TX 75032

BRAY SHAWN & HANNAH GRACE LEHMANN-
BRAY
809 SIGNAL RIDGE
ROCKWALL, TX 75032

GERAULT JANET
810 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
811 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
812 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DUNN FAMILY TRUST AND DUNN MARITAL
TRUST
ALMA JEAN DEAN- TRUSTEE
813 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BRASHEARS KARI
814 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ANDREW JONATHON
815 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
816 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
828 CR 1035
COOPER, TX 75432

RESIDENT
919 SIGNAL RIDGE PL
ROCKWALL, TX 75032

INZILLO FRANCA
920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BEST JAMES AND DEBRA
922 SENDERA LN
ROCKWALL, TX 75087

MURRAY NORMA C
922 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
923 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
924 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
925 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
926 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
927 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILEY ALEXANDRIA AND JOHN WESLEY
SHELTON
928 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GREEN MAUREEN
945 BREEZY HILL LANE
ROCKWALL, TX 75087

HARRIS SUSAN
9660 ALPHA LN
QUINLAN, TX 75474

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
C/O CHARLES LINEVILLE P O BOX 743612
DALLAS, TX 75374

AMHILL FINANCIAL, LP
P. O. BOX 1179
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

THE SPACE PLACE, SERIES LLC, SERIES I
P.O. BOX 1271
MOUNT PLEASANT, TX 75456

LOGAN PAULINE K
P.O. BOX 2198
ROCKWALL, TX 75087

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

SRYGLEY JAMES
PO BOX 1928
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-027: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Vanio Dilov for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, Chandler's Landing, Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family homes, addressed as 110 Mischief Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 13, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 19, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 19, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-027: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:	
Address:	

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

The Lot is too small to Add A Home
Then the Home would Be too small Also & would
Bring Down other Home values in the Area

Name:

Randy Leslie

Address:

1005 Signal Ridge PL Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS—NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

VANIO & DESI

DILOV

ROWLETT, TX 75088

972) 672-7777

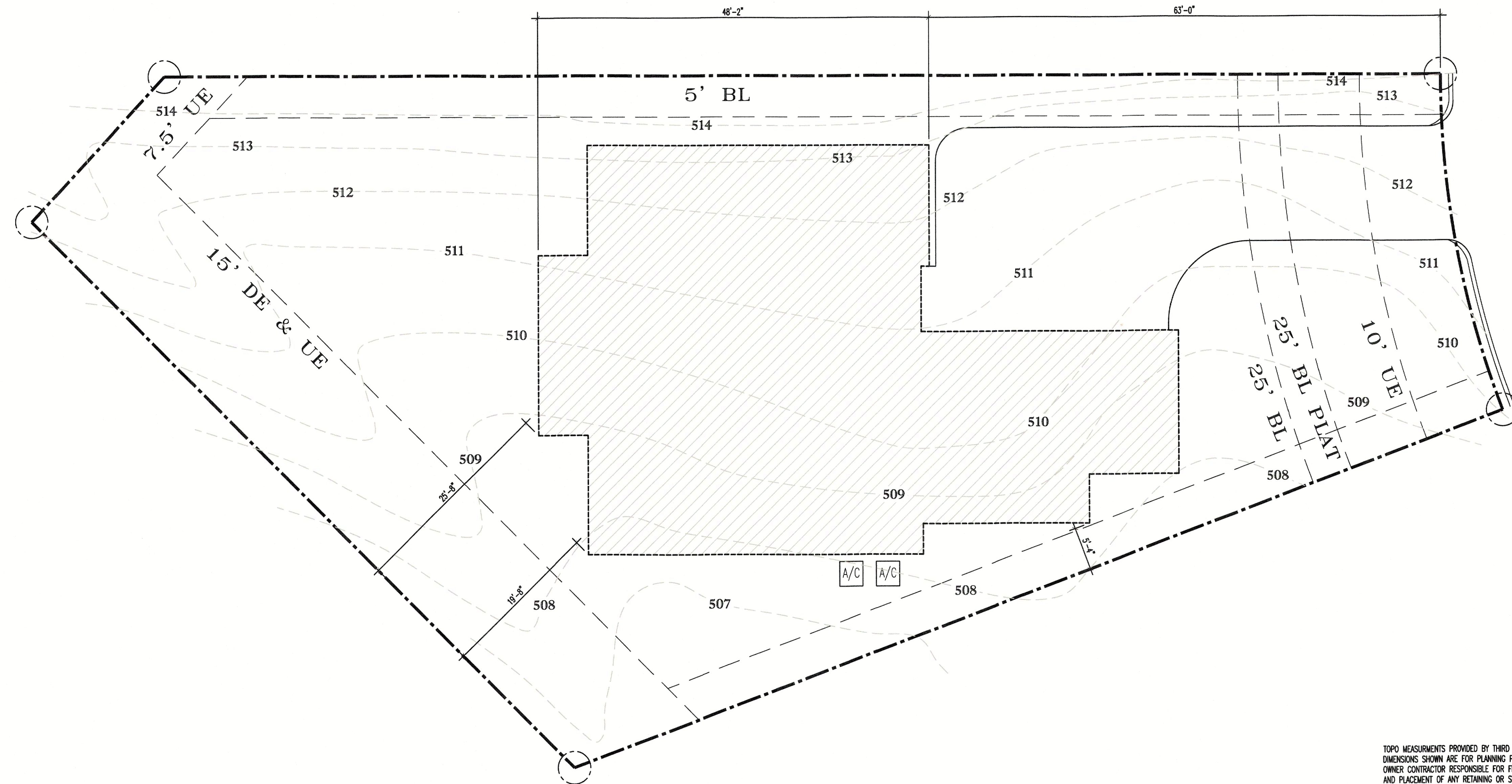
SPEC BUILD
 LOT 16 BLK A CHANDLERS LAANDING PH 20
 110 MISCHIEF LANE
 ROCKWALL, TX 75032
 ROCKWALL COUNTY

NO REVISION

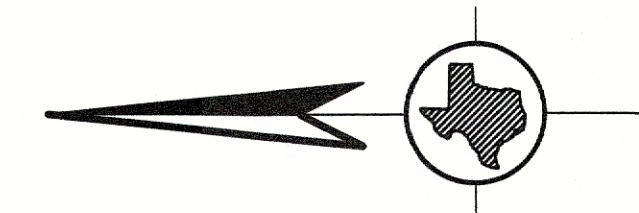
05-10-23

SHEET NUMBER

A0.5



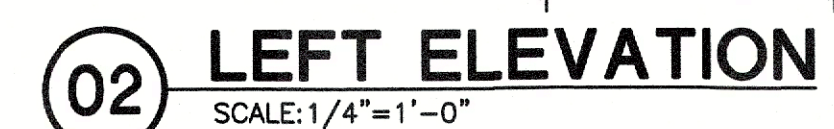
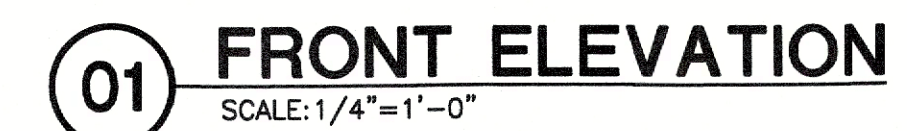
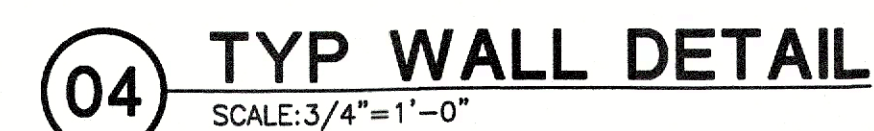
TOPO MEASUREMENTS PROVIDED BY THIRD PARTY SURVEY
 DIMENSIONS SHOWN ARE FOR PLANNING PURPOSES ONLY
 OWNER CONTRACTOR RESPONSIBLE FOR FINAL FORM SURVEY
 AND PLACEMENT OF ANY RETAINING OR STEM WALLS



01 SLAB PROFILE ON SITE PLAN
SCALE: 1/8" = 1'-0"



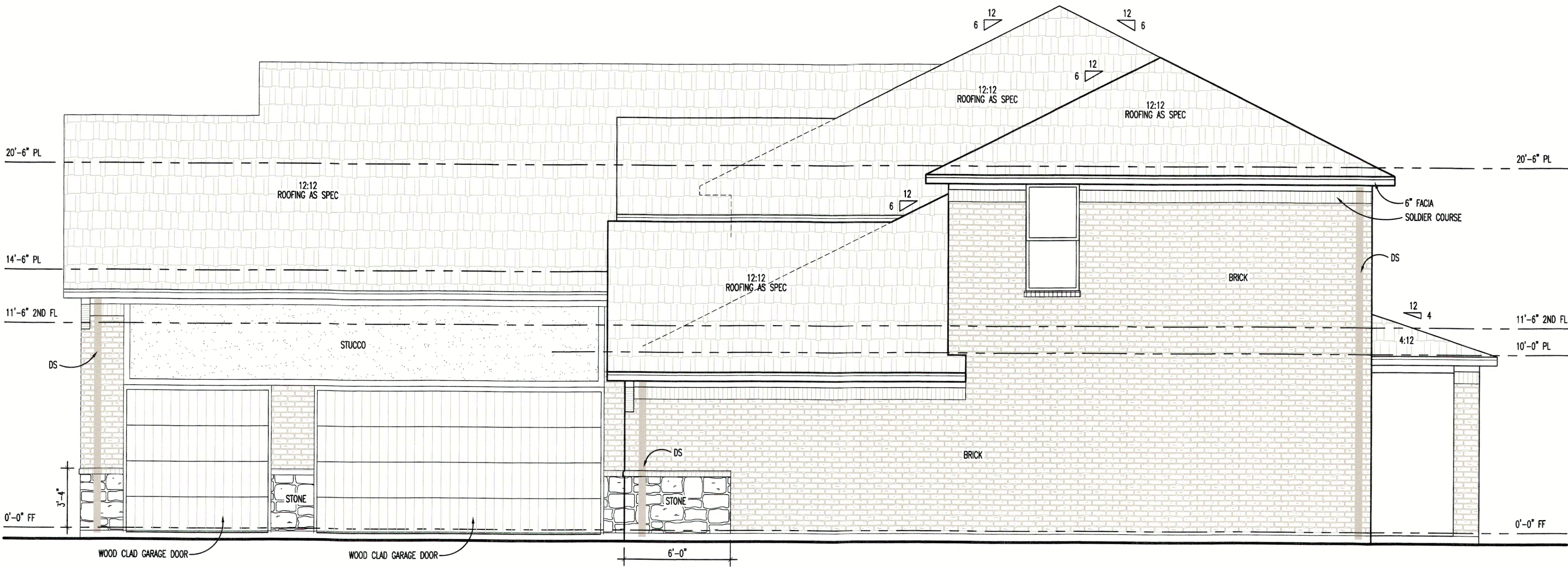
ROOFING MATERIALS
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT COLOR: DRIFTWOOD GAF OR EQUIVALENT
FACIA & SOFFIT
1"x6" FACIA BOARD W/ 5/8"x12" HARDI SOFFIT
PAINT
COLOR: ADOBE MANUF: SHERWIN WILLIAMS OR EQUIVALENT



EXTERIOR DOOR SCHEDULE				ALL GLAZING TO BE DUAL PANE INSULATED LOW-E
ROOM	#	SIZE	DETAILS	
FOYER	1	3080	WOOD ENTRY	
NOOK	1	2880	FULL LITE METAL	
MASTER	1	2880	FULL LITE METAL	
GARAGE	1	16'x8'	METAL OHD	
GARAGE	1	8'x8'	METAL OHD	

WINDOW SCHEDULE				ALL GLAZING TO BE DUAL PANE INSULATED LOW-E
ROOM	#	SIZE	DETAILS	
FOYER	1	3236	FX @ 12'-4" HH	
DINING	2	3060	SH @ 8'-0" HH	
NOOK	3	3060	SH @ 8'-0" HH	
LIVING	4	3060	SH @ 8'-0" HH	
MASTER BDRM	3	3060	SH @ 8'-0" HH	
MASTER BATH	1	4050	FX @ 8'-0" HH OBSCURED	
BDRM #2	3	3060	SH @ 8'-0" HH	
GAME ROOM	3	3060	SH @ 8'-0" HH	
BDRM #3	2	3060	SH @ 8'-0" HH	
BDRM #4	1	3060	SH @ 8'-0" HH	

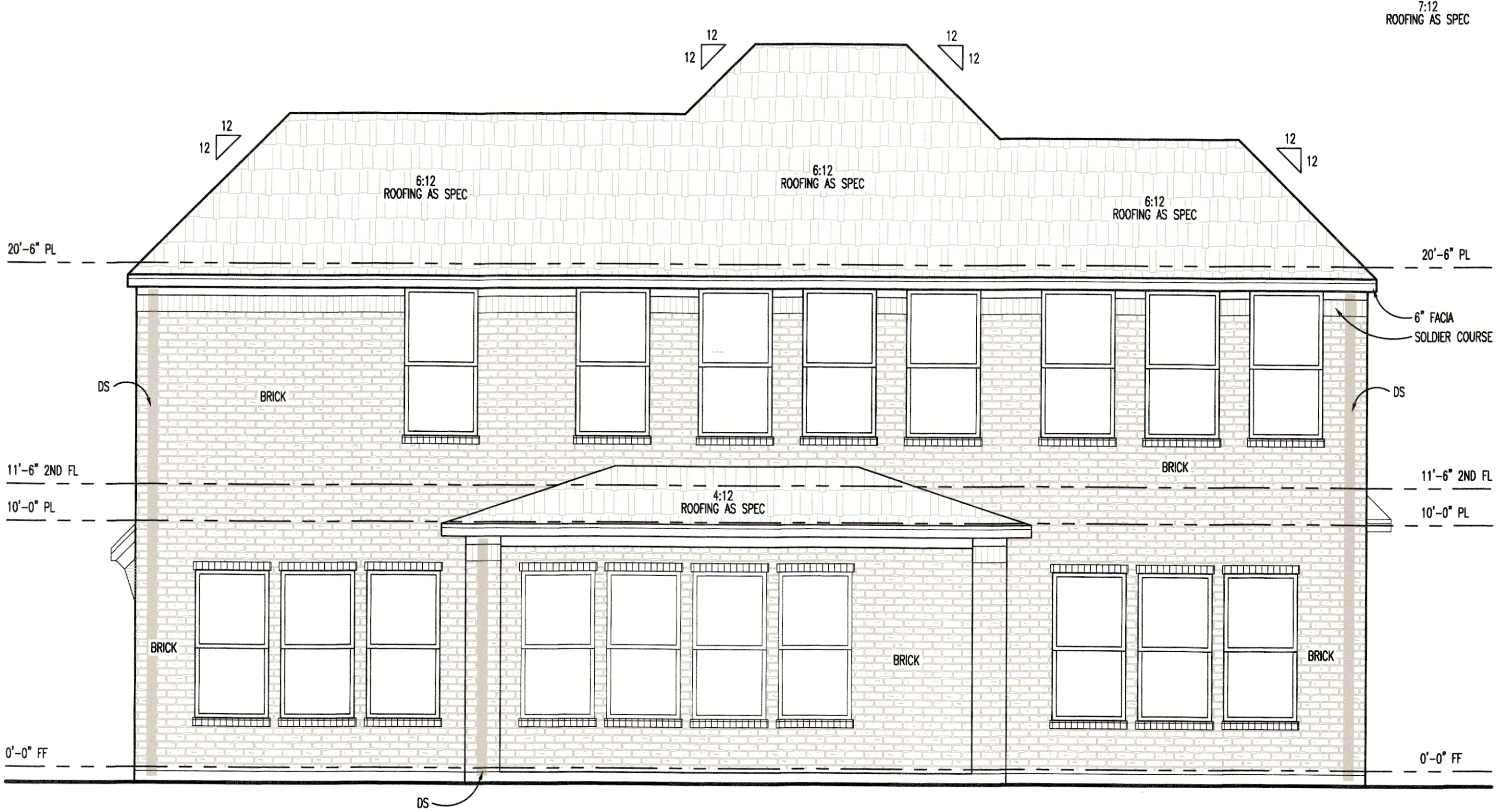
INTERIOR DOOR SCHEDULE			
ROOM	#	SIZE	DETAILS
GARAGE	1	2880	20 MIN RATED W/ CLOSER HINGES
CLOSET & STOR	2	2080	INTERIOR MASONITE HC
PAN	1	2080	INTERIOR MASONITE HC
UTIL	1	2880	INTERIOR MASONITE HC
POWDER	1	2080	INTERIOR MASONITE HC
MASTER BDRM	1	2880	INTERIOR MASONITE HC
MASTER BATH	1	PR 1380	INTERIOR MASONITE HC
	1	2080	INTERIOR MASONITE HC
	1	2680	INTERIOR MASONITE HC
BDRM #2	1	2868	INTERIOR MASONITE HC
BDRM #3	1	2868	INTERIOR MASONITE HC
BDRM #4	1	2868	INTERIOR MASONITE HC
BATH #2	2	2068	INTERIOR MASONITE HC
BATH #3	2	2068	INTERIOR MASONITE HC
BATH #4	1	2068	INTERIOR MASONITE HC
STORAGE CLOSET	1	2868	INTERIOR MASONITE HC
BDRM CLOSETS	3	2068	INTERIOR MASONITE HC



01 LEFT ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR WALL INFO				
TOTAL EXT. WALL AREA	2,738	SF		
WDWS & DOORS	545	SF		
ACTUAL C'VD AREA	3,501	SF		
BRICK AREA	2,386	SF	87.1%	
STONE AREA	210	SF	7.7%	
STUCCO AREA	142	SF	5.2%	

ROOFING MATERIALS	
30 YEAR DIMENSIONAL SHINGLE OVER 15# FELT COLOR: DRIFTWOOD GAF OR EQUIVALENT	
FACIA & SOFFIT	
1"x6" FACIA BOARD W/ 5/8"x12" HARDI SOFFIT	
PAINT	
COLOR: ADOBE MANUF: SHERWIN WILLIAMS OR EQUIVALENT	



02 REAR ELEVATION
SCALE: 1/4"=1'-0"



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

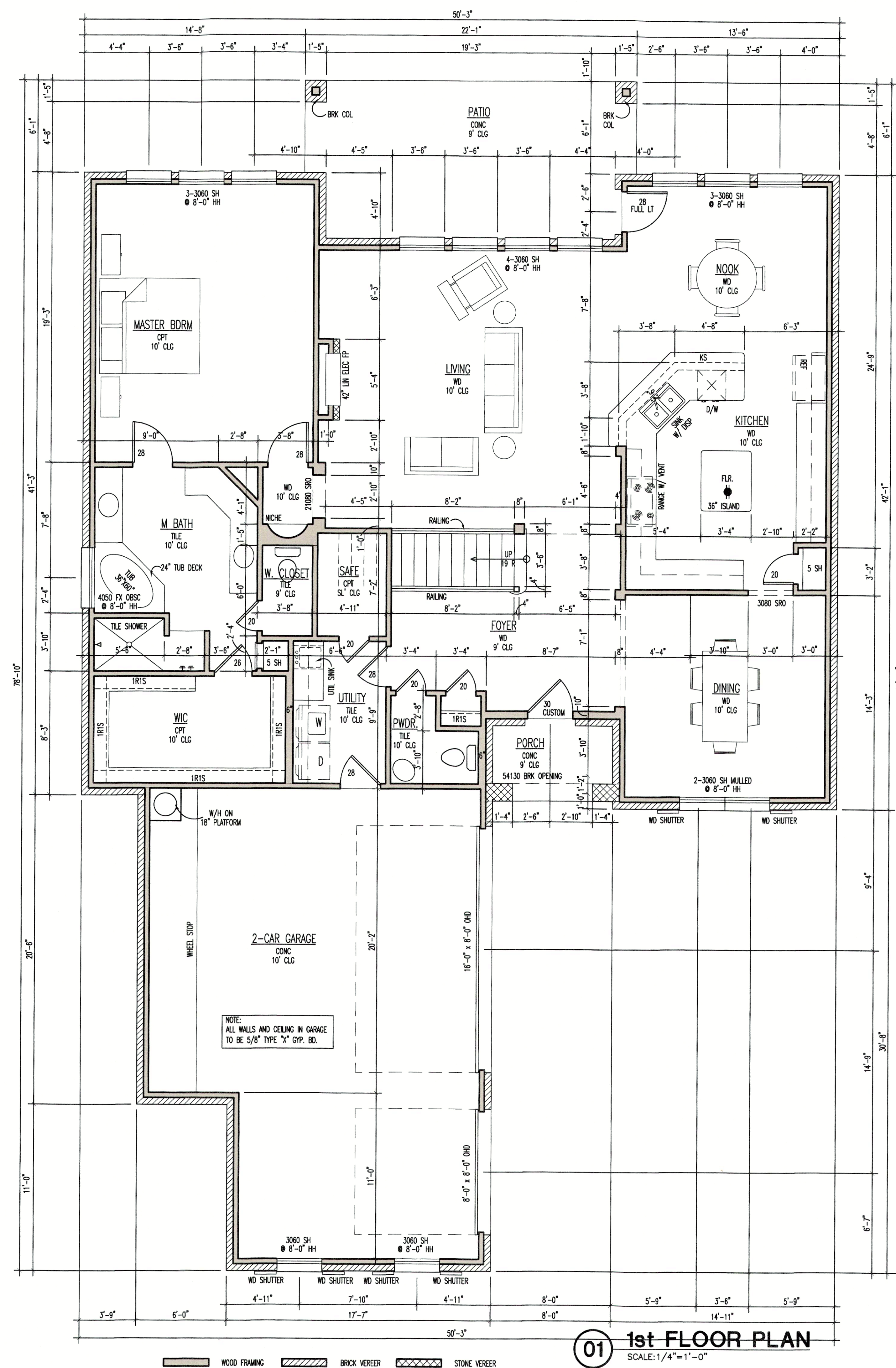
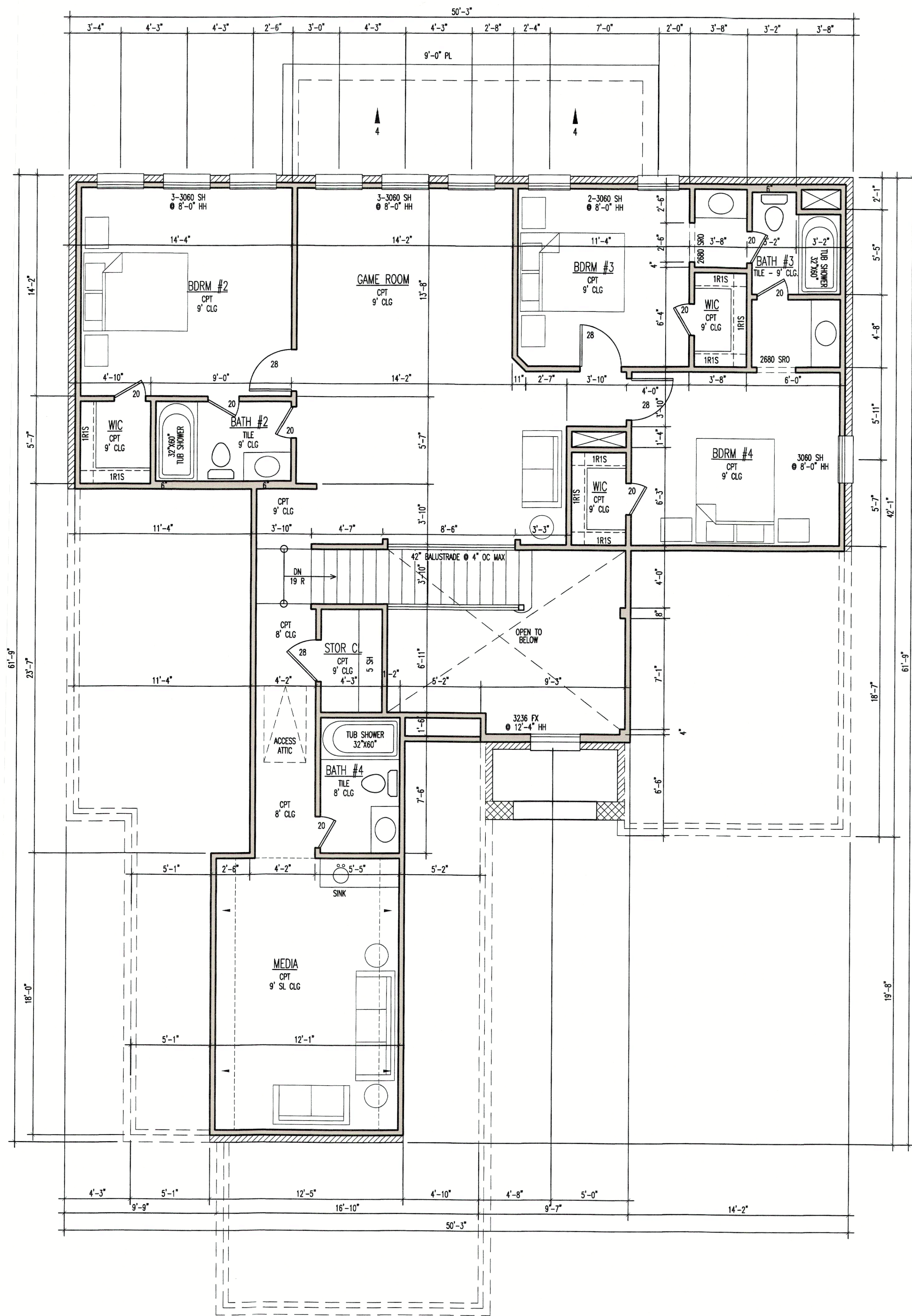
DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR
VANIO & DE
DILOV
2717 LAKEWOOD J
ROWLETT, TX 75081
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75082

NO REVISION
05-10-23

SHEET NUMBER
A3



APPLICABLE CODES

2015	INTERNATIONAL BUILDING CODE	2015	INTERNATIONAL FUEL GAS CODE
2015	INTERNATIONAL MECHANICAL CODE	2015	INTERNATIONAL PROP. MAINTENANCE CODE
2015	INTERNATIONAL PLUMBING CODE	2015	INTERNATIONAL ELECTRICAL CODE
2015	INTERNATIONAL FIRE PREVENTION CODE	2017	NATIONAL ELECTRICAL CODE

ALL CONTRACTORS SHALL REGISTER WITH MUNICIPALITY AND PERFORM ALL TASKS TO COMPLY WITH APPLICABLE CODES AND MUNICIPAL REGULATIONS

02 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

WOOD FRAMING BRICK VENEER STONE VENEER

01 1st FLOOR PLAN
SCALE: 1/4" = 1'-0"



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75001
PH. (214) 929-5086

DO NOT SCALE DRAWING
CONTRACTOR TO VERIFY /
EXISTING CONDITIONS AND
DIMENSIONS - NOTIFY OWNER
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36" PRINT

OWNER/CONTR
VANIO & I
DILOV
2717 LAKEWOOD
ROWLETT, TX
(972) 672-77

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
DALLAS, TX 75220

NO REVISION

05-10-2

FIRST FLOOR A/C 1.5
SECOND FLOOR A/C 1.5
TOTAL A/C 3.0

FRONT CVD PORCH 36
REAR CVD PATIO 21
3-CAR GARAGE 66
TOTAL UNDER ROOF 123

SHEET NUMBER

A1



DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75002
PH. (214) 929-5086

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS-NOTIFY GENERAL
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
24x36 PRINT

OWNER/CONTRACTOR

VANIO & DESI

DILOV

2717 LAKEWOOD DR.

ROWLETT, TX 75088

(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20

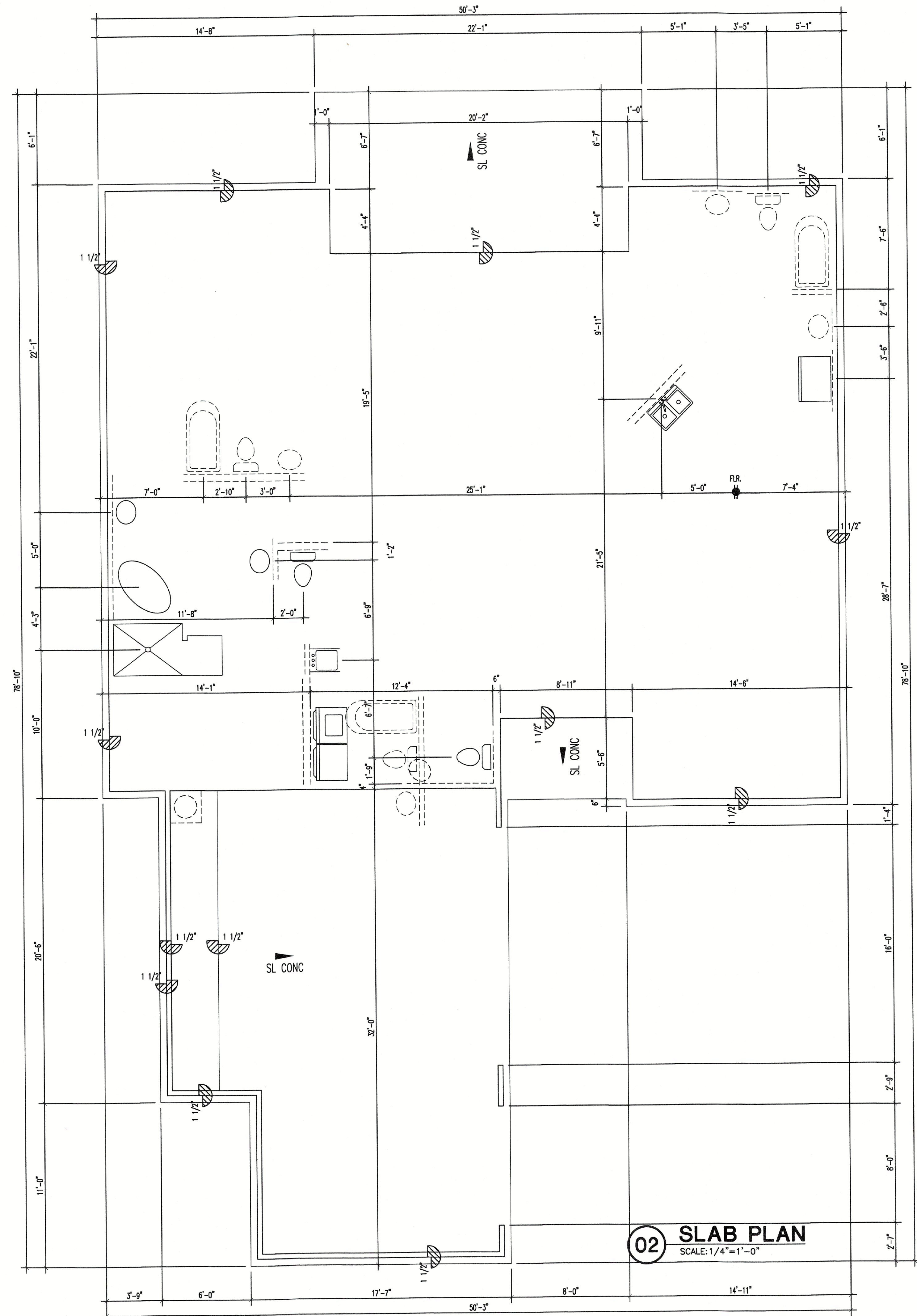
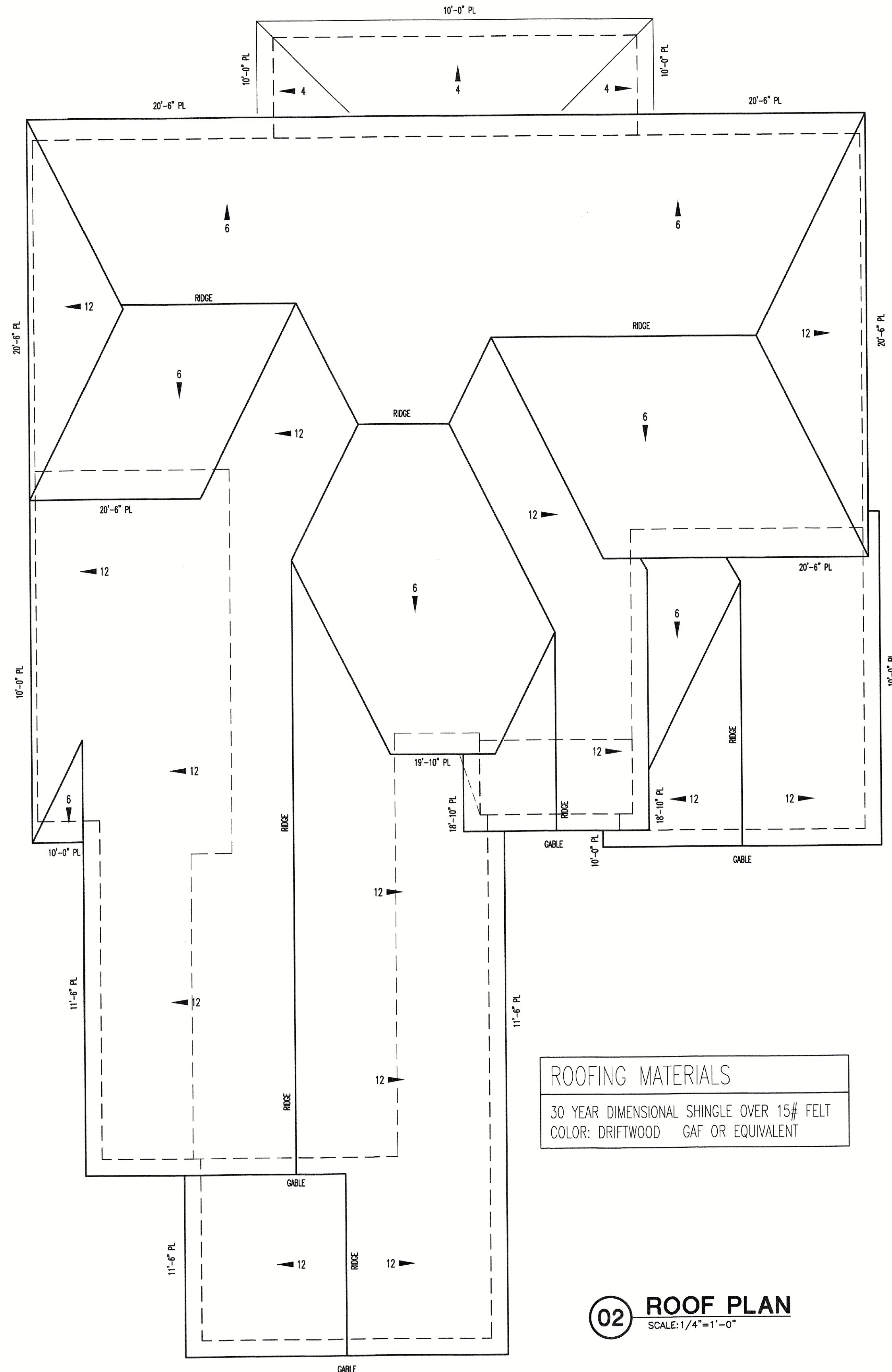
110 MISCHIEF LANE
ROCKWALL, TX 75032
ROCKWALL COUNTY

NO REVISION

05-10-23

SHEET NUMBER

A4





DESIGN DEVELOPMENT
SERVICES
PLANO, TX 75072
PH. (214) 925-5636

DO NOT SCALE DIMENSIONS
CONTRACTOR TO VERIFY ALL
DIMENSIONS AND
CONTRACTOR OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION
THIS PLAN

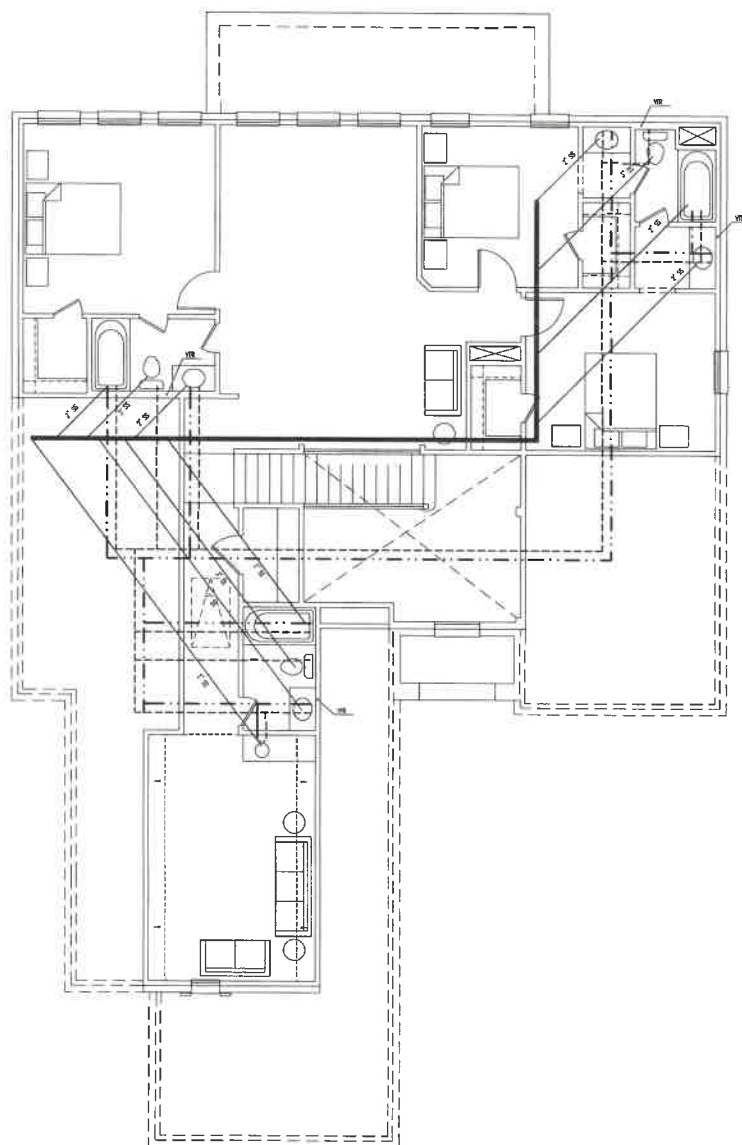
OWNER/CONTRACTOR
**VANIO & DESI
DILOV**
2717 LAKEWOOD DR.
ROWLETT, TX 75088
(972) 672-7777

SPEC BUILD
LOT 16 BLK A CHANDLERS LAANDING PH 20
110 MISCHIEF LANE
ROCKWALL, TX 75082
ROCKWALL COUNTY

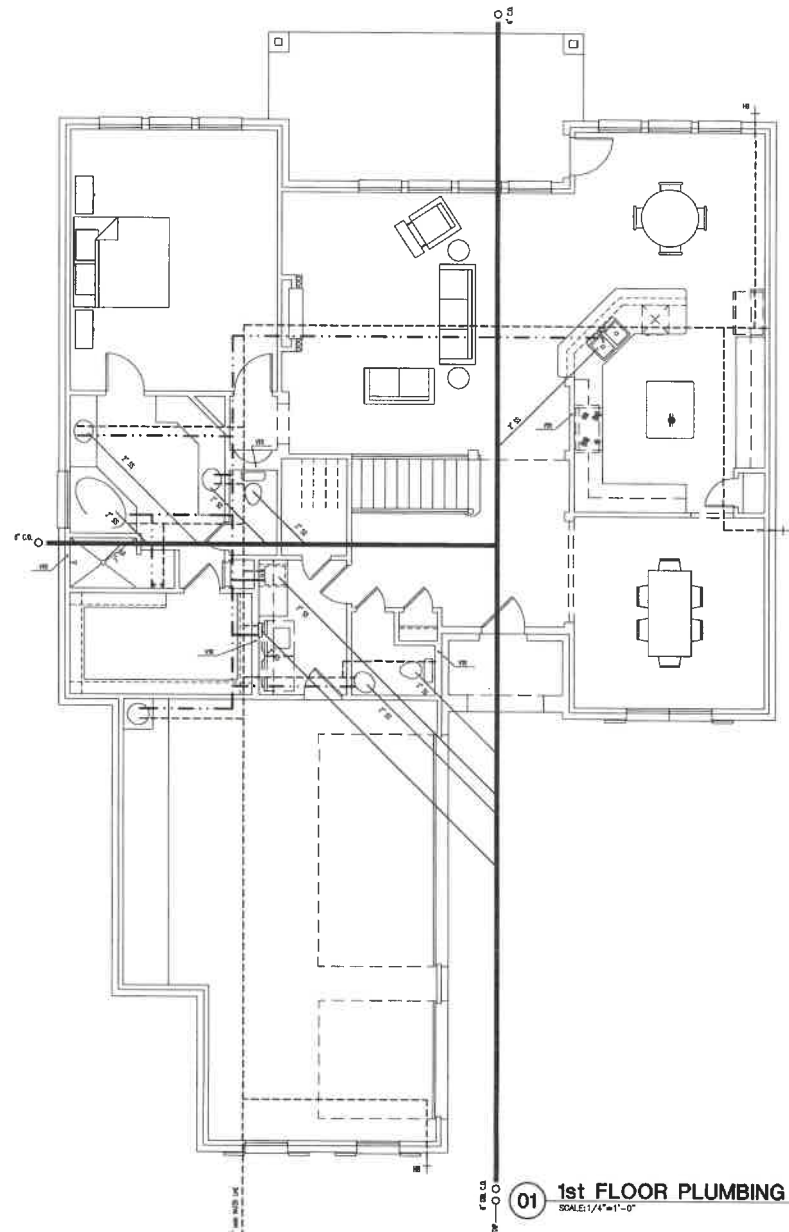
NO REVISION
05-10-23

SHEET NUMBER

A7



02 2nd FLOOR PLUMBING PLAN
SCALE: 1/4"=1'-0"



01 1st FLOOR PLUMBING PLAN
SCALE: 1/4"=1'-0"



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
102 Mischief Lane	Single-Family Home	2000	4,541	N/A	Brick and Siding
104 Mischief Lane	Single-Family Home	1990	2,837	N/A	Brick and Stone
106 Mischief Lane	Single-Family Home	1995	3,034	N/A	Brick and Siding
108 Mischief Lane	Single-Family Home	2003	5,306	N/A	Brick and Stone
110 Mischief Lane	Vacant	N/A	N/A	N/A	Vacant
112 Mischief Lane	Single-Family Home	2015	4,155	N/A	Brick and Stone
114 Mischief Lane	Single-Family Home	2005	3,861	N/A	Brick and Stone
116 Mischief Lane	Single-Family Home	2003	2,825	160	Brick and Siding
125 Mischief Lane	Single-Family Home	2016	4,371	N/A	Brick and Stone
109 Mischief Lane	Single-Family Home	1994	3,255	N/A	Brick and Siding
105 Mischief Lane	Single-Family Home	2001	2,615	N/A	Brick
4501 Yacht Club Drive	Single-Family Home	1993	6,032	N/A	Brick and Siding
AVERAGES:		2001	3,894	160	



CITY OF ROCKWALL

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102 Mischief Lane



104 Mischief Lane



CITY OF ROCKWALL

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106 Mischief Lane



108 Mischief Lane



CITY OF ROCKWALL

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110 Mischief Lane



112 Mischief Lane



CITY OF ROCKWALL

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114 Mischief Lane



116 Mischief Lane



CITY OF ROCKWALL

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125 Mischief Lane



109 Mischief Lane



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-027

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



105 Mischief Lane



4501 Yacht Club Drive

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2250-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 16, BLOCK A, OF THE CHANDLER'S LANDING PHASE 20 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Vanio Dilov for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, of the Chandler's Landing Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 110 Mischief Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 17th DAY OF JULY, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 19, 2023

2nd Reading: July 17, 2023

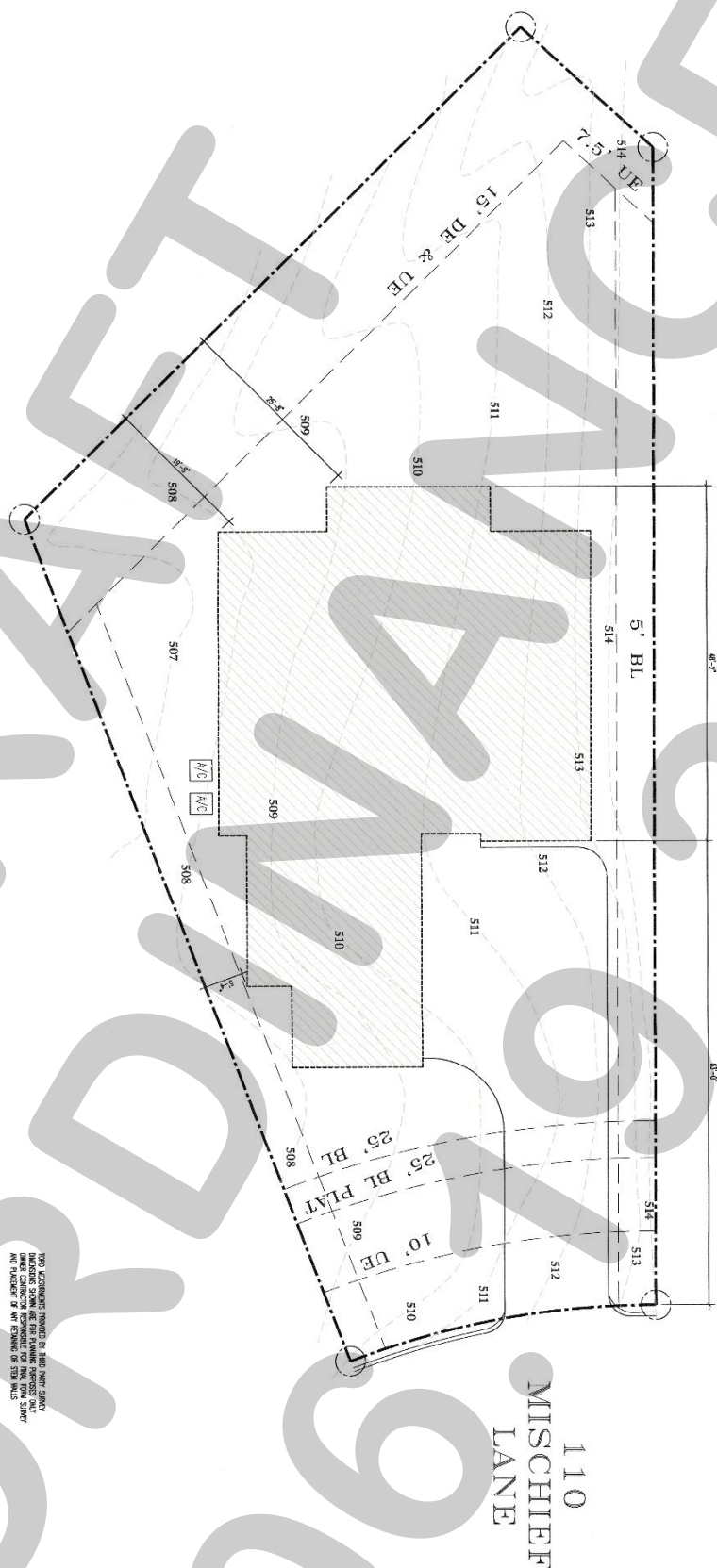
Exhibit 'A':
Location Map and Residential Plot Plan

Address: 110 Mischief Lane

Legal Description: Lot 16, Block A, Chandler's Landing Phase 20 Addition

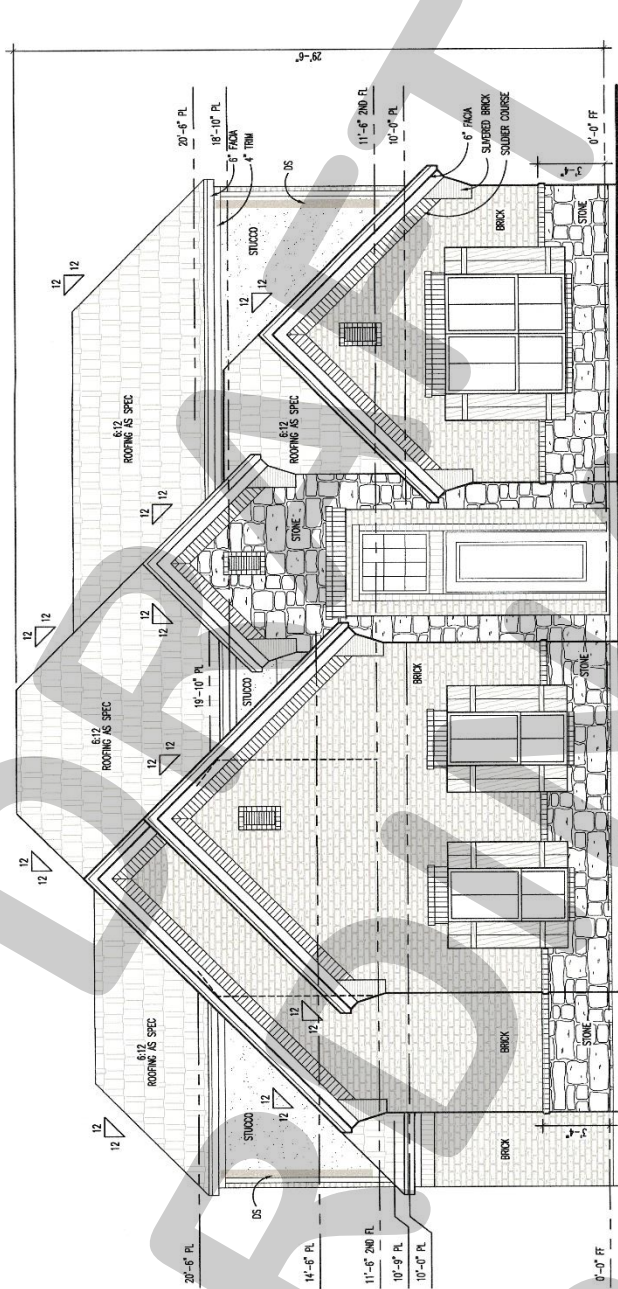


Exhibit 'A':
Location Map and Residential Plot Plan



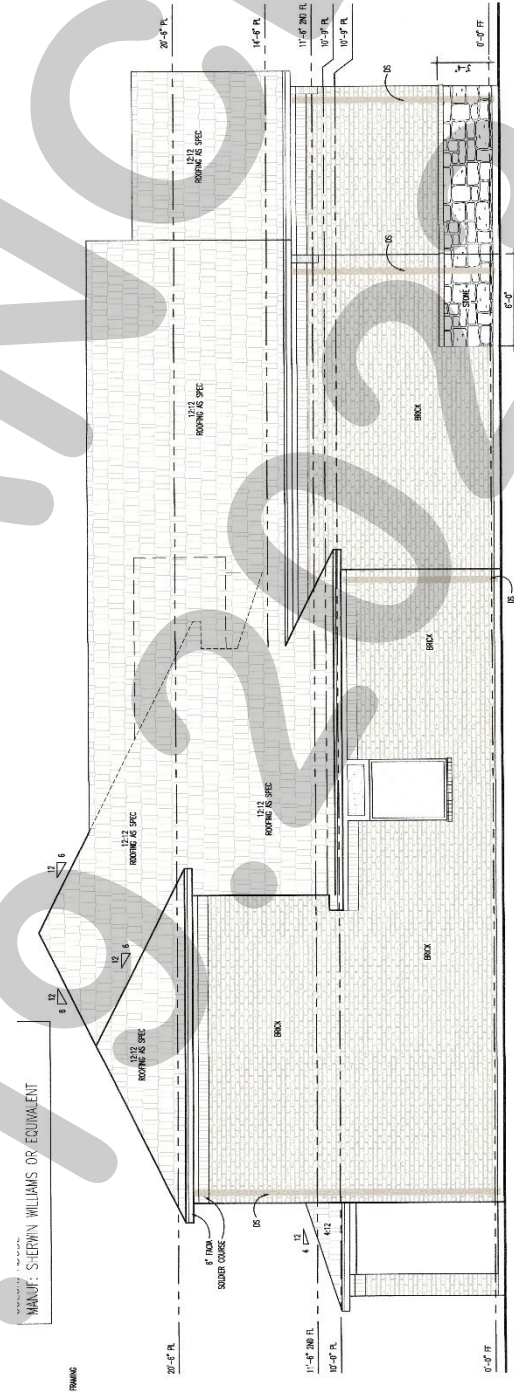
THIS DOCUMENT IS PROVIDED AS A GUIDE ONLY. SURVEY DATA IS FOR INFORMATIONAL PURPOSES ONLY. THE USER OF THIS DOCUMENT IS RESPONSIBLE FOR OBTAINING A PROFESSIONAL SURVEY AND PLACEMENT OF ANY PERMANENT SURVEY MARKS.

Exhibit 'B':
Building Elevations



01 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



02 LEFT ELEVATION

SCALE: 1/8" = 1'-0"

01 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

02 REAR ELEVATION
SCALE: 1/4" = 1'-0"

02 REAR ELEVATION
SCALE: 1/4" = 1'-0"



July 18, 2023

TO: Vanio Dilov
2717 Lakewood Drive
Rowlett, TX 75088

FROM: Angelica Guevara
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2023-027; *Specific Use Permit (SUP) For Residential Infill in an Established Subdivision*

Mr. Dilov:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on July 17, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 13, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

City Council

On June 19, 2023, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

On July 17, 2023, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 23-28, S-307*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6438.

Sincerely,

Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 23-38

SPECIFIC USE PERMIT NO. S-307

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2250-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 16, BLOCK A, OF THE CHANDLER'S LANDING PHASE 20 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Vanio Dilov for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2250-acre parcel of land identified as Lot 16, Block A, of the Chandler's Landing Phase 20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 110 Mischief Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

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SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 17th DAY OF JULY, 2023.**


Trace Johannesen, Mayor

ATTEST:


Kristy Teague, City Secretary



APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: June 19, 2023

2nd Reading: July 17, 2023

Exhibit 'A':

Location Map and Residential Plot Plan

Address: 110 Mischief Lane

Legal Description: Lot 16, Block A, Chandler's Landing Phase 20 Addition

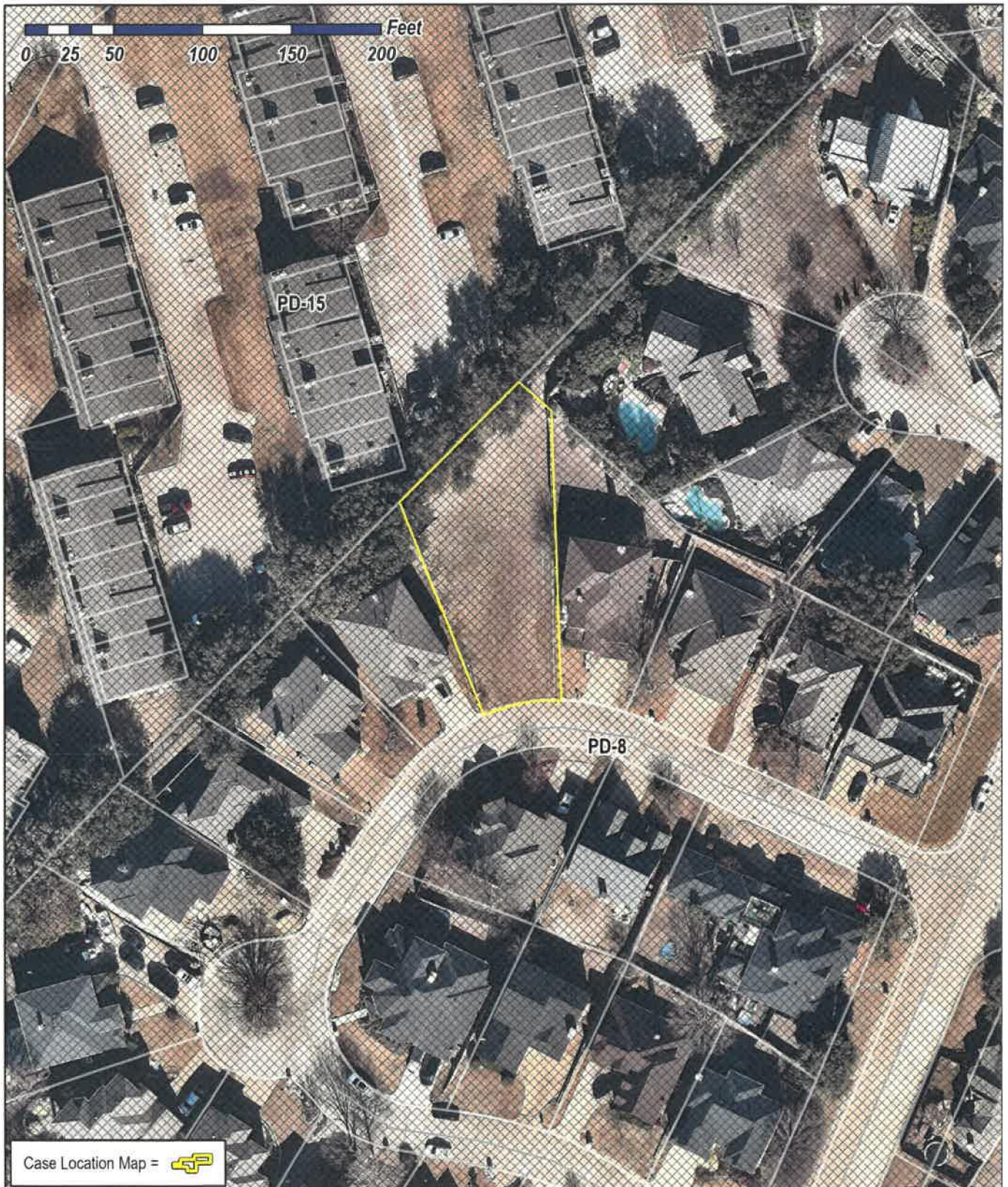


Exhibit 'A':
Location Map and Residential Plot Plan

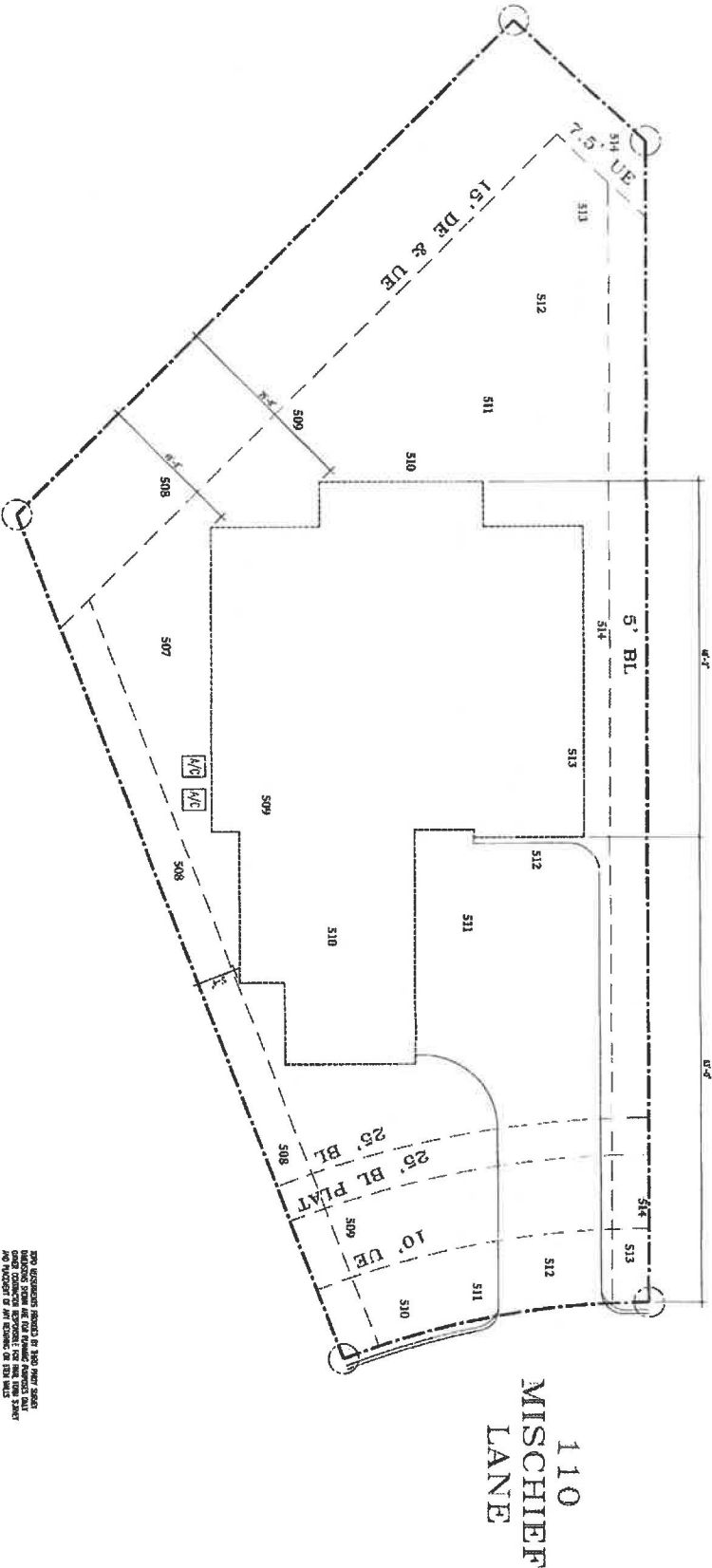
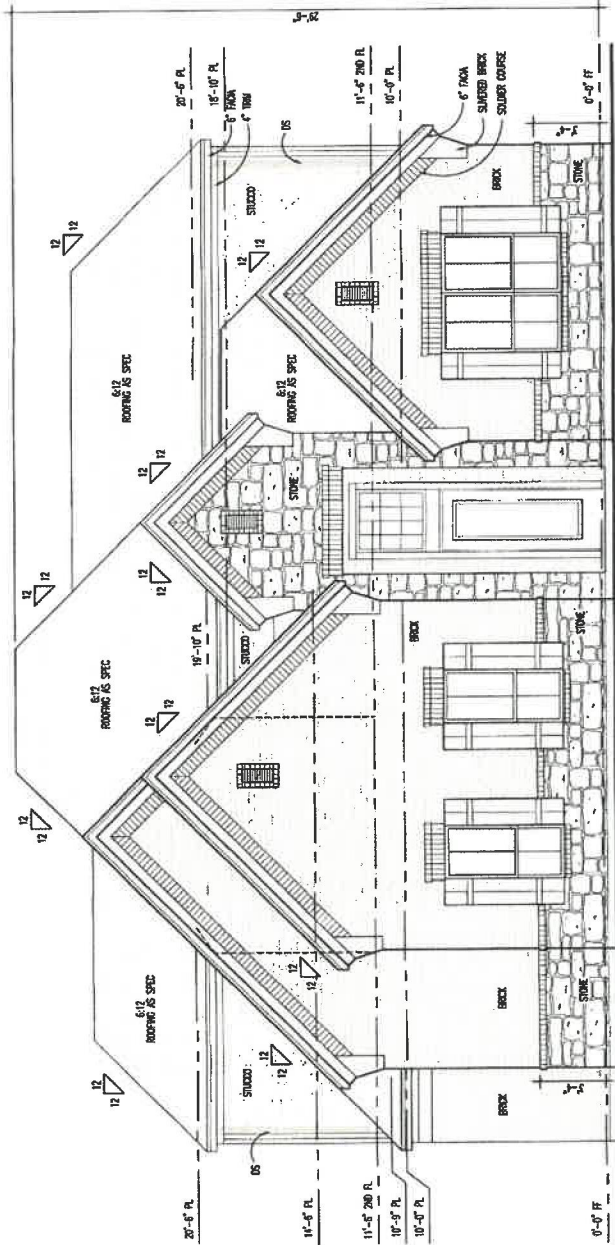
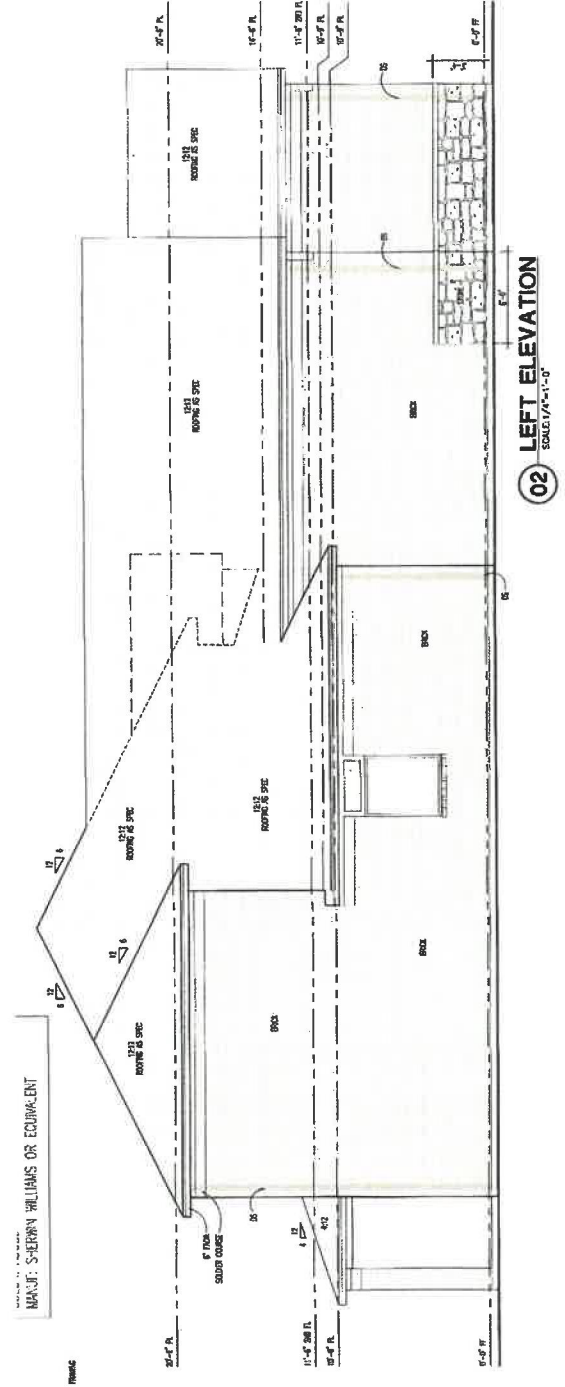


Exhibit 'B':
Building Elevations



01 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



02 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

