



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES

From: Manuel Tijerina manultijerina70@gmail.com
 Date: Jun 15, 2023 at 8:32:10 PM
 To: otposadas@gmail.com



DEVELOPMENT APPLICATION

City of Rockwall
 Planning and Zoning Department
 385 S. Golind Street
 Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1, 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ BY DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS: 709 Forest Trace
 SUBDIVISION: High Ridge Estates LOT 13 BLOCK A
 GENERAL LOCATION: Skolied & Boydston Ave

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING: _____ CURRENT USE: Vacant
 PROPOSED ZONING: _____ PROPOSED USE: New Home Construction
 ACREAGE: _____ LOTS (CURRENT): 1 LOTS (PROPOSED): 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3187 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input type="checkbox"/> OWNER	<u>Manuel Tijerina</u>	<input checked="" type="checkbox"/> APPLICANT	
CONTACT PERSON	<u>Manuel Tijerina</u>	CONTACT PERSON	<u>Orlando Pasadas</u>
ADDRESS	<u>7902 Garner Rd</u>	ADDRESS	<u>41 Anna Lois Dr</u>
CITY, STATE & ZIP	<u>Rowlett, TX 75088</u>	CITY, STATE & ZIP	<u>Waxahatchie TX 75167</u>
PHONE	<u>214-773-9971</u>	PHONE	<u>214 284 5571</u>
E-MAIL	<u>manultijerina70@gmail.com</u>	E-MAIL	<u>otposadas@gmail.com</u>

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Manuel Tijerina [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

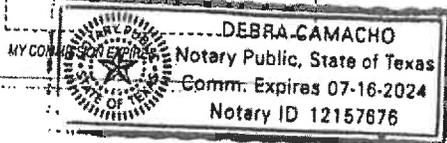
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF JUNE 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

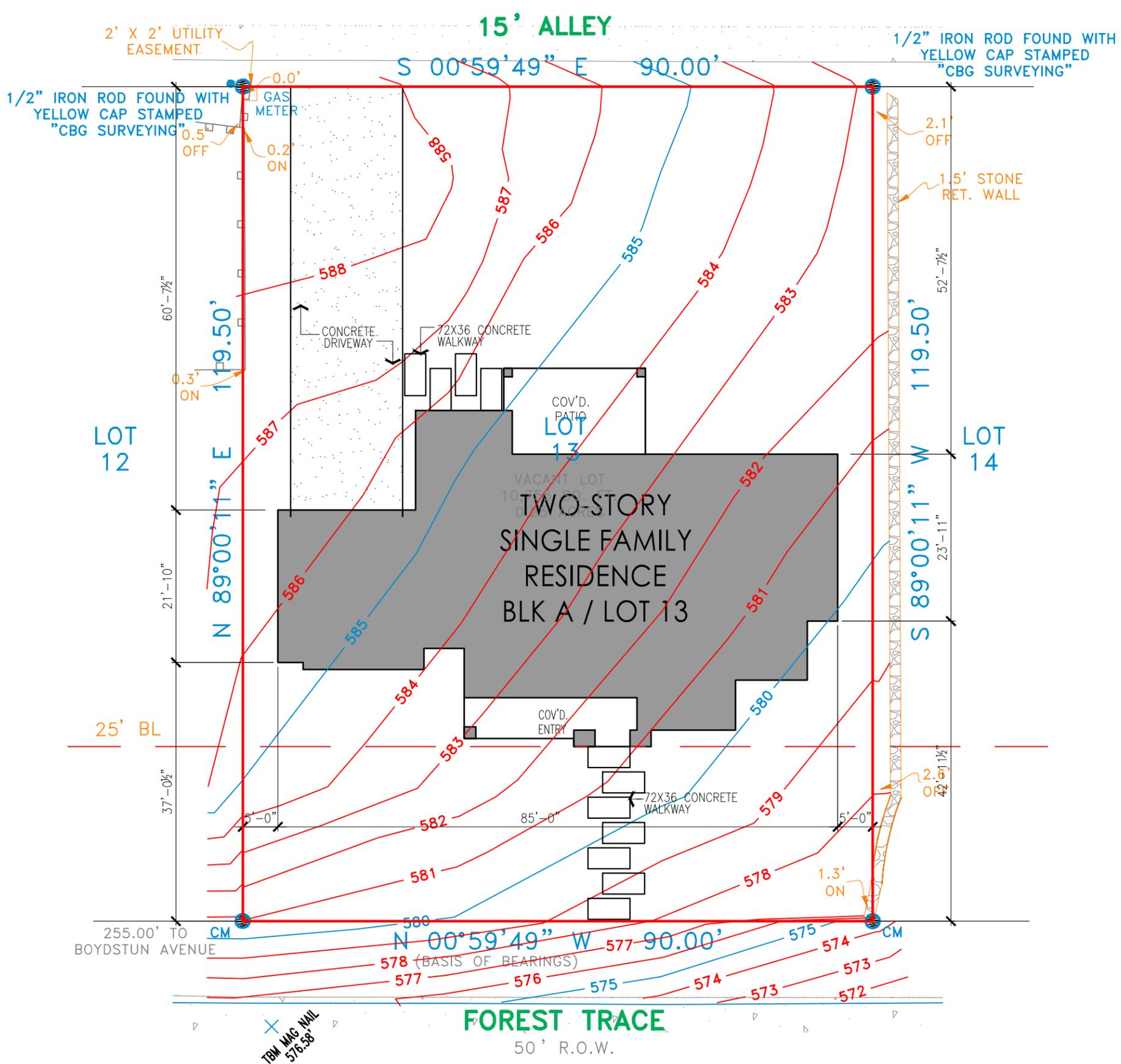
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF JUNE 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Debra Camacho





709 FOREST TRACE
 BLK A / LOT 13 / HIGH RIDGE STATE
 ROCKWALL, ROCKWALL COUNTY, TX



LEGEND:

- DRAINAGE ARROW
- REAR PATIO AREA

NOTE:
 CROSS HATCHED AREA INDICATES REAR YARD OPEN SPACE.

NOTE:
 BUILDER SHOULD PLANT TREE AS PER COMMUNITY STANDARD AS REQUIRED.

FLATWORK AREA TABULATIONS			
LEAD WALK	APPROX.	18	S.F.
CITY WALK	APPROX.	0	S.F.
DRIVE	APPROX.	970	S.F.
APPROACH	APPROX.	0	S.F.
TOTAL	APPROX.	988	S.F.

LOT COVERAGE			
LOT AREA	APPROX.	10755	S.F.
MAIN BUILDING AREA	APPROX.	2982	S.F.
LOT COVERAGE	APPROX.	27.73	%

1 SITE PLAN
 SP1 SCALE: 1/16" = 1'-0"

SHEET NO. SP1 OF 13	DRAWN BY: LRN	DESIGN PLAN NAME/NUMBER: 3235 PLAN	NEW RESIDENCE FOR: MANUEL TIJERILLA	ADDRESS: 709 FOREST TRACE ROCKWALL, ROCKWALL COUNTY, TX BLK A/LOT 13/HIGH RIDGE STATE
	ISSUED FOR REVIEW 02-03-2022	ELEVATION: STONE GARAGE: REAR ENTRY		

GENERAL SLAB FORM & PLUMBING NOTES:

COORDINATE AND VERIFY LOCATIONS OF ALL PLUMBING & REQUIRED ELECTRICAL WITH FLOOR PLAN.

ALL DIMENSIONS ARE TO FACE OF FOUNDATION, UNLESS NOTED OTHERWISE. NOTIFY THE ARCHITECTURAL DEPARTMENT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

ALL PLUMBING DIMENSIONS ARE DIAGRAMMATIC TO SPECIFIED PLUMBING FIXTURE, CONTRACTOR/TRADE ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLAN AND SPECIFICATION.

WHEN NOTED/REQUIRED SHOWER SLAB MUST BE DROP TO 3 1/2" AND SLOPE TO DRAINAGE, UNLESS NOTED OTHERWISE.

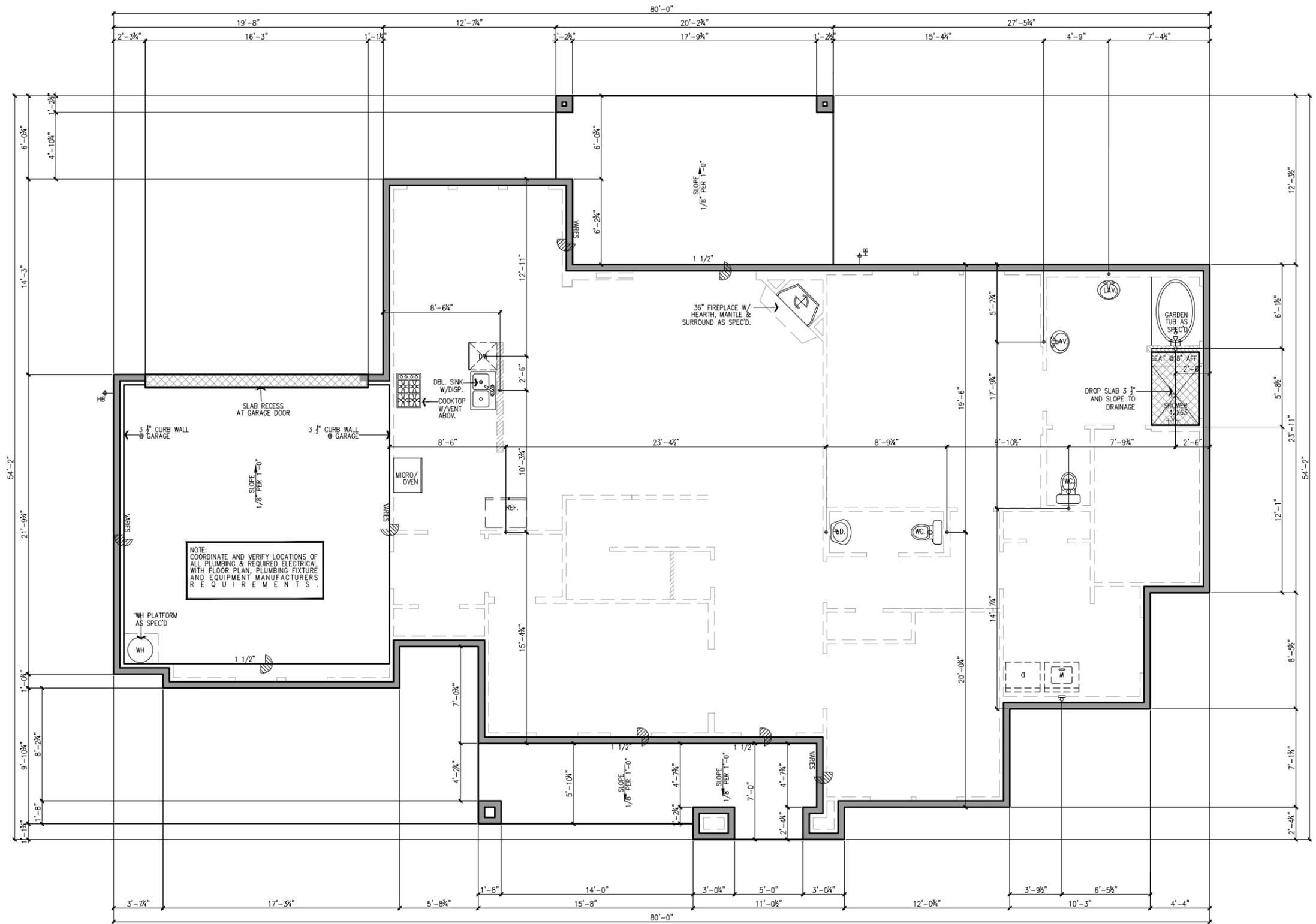
SHOWER SEAT MUST BE INCLUDED IN SHOWER DROP.

GARAGE CURB WALL MUST BE 3 1/2", TYP.

GARAGE SLAB MUST BE RECESS AT GARAGE DOOR.

PROVIDE BRICK LEDGE AT EXTERIOR WALLS AT 1 1/2" X 5 1/2", TYP.

CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS



FIRST FLOOR PLAN
SLAB FORM & PLUMBING PLAN
 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

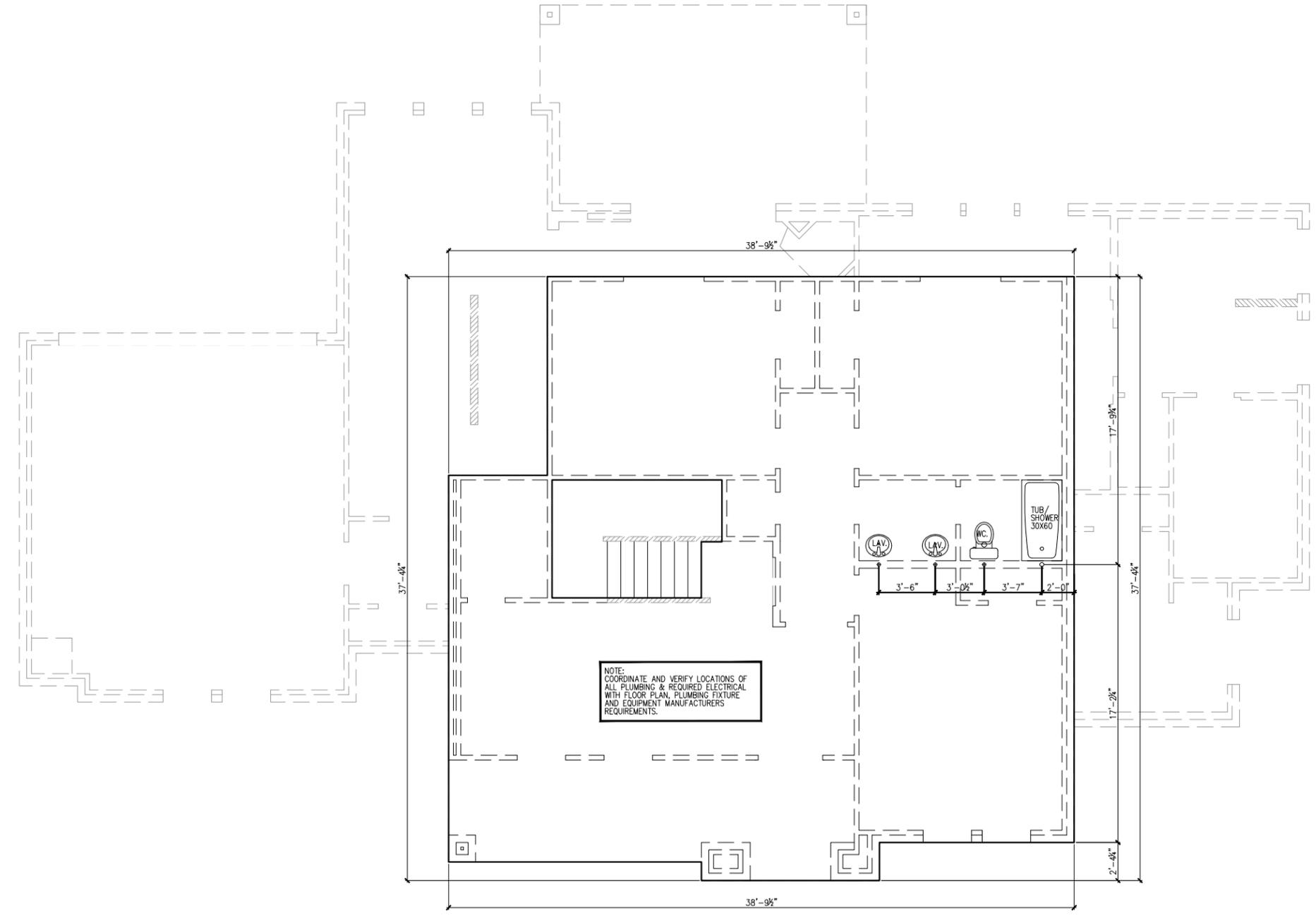
DRAWN BY:
 LRN

ISSUED ON
 02-03-2022

SHEET NO.
S1
 OF
13

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1	SECOND FLOOR PLUMBING PLAN
S1.1	SCALE: 1/8" = 1'-0"



ADDRESS: 709 FOREST TRACE
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NEW RESIDENCE FOR:
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DESIGN PLAN NAME/NUMBER:
3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 02-03-2022

SHEET NO.
S1.1
 OF
13

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

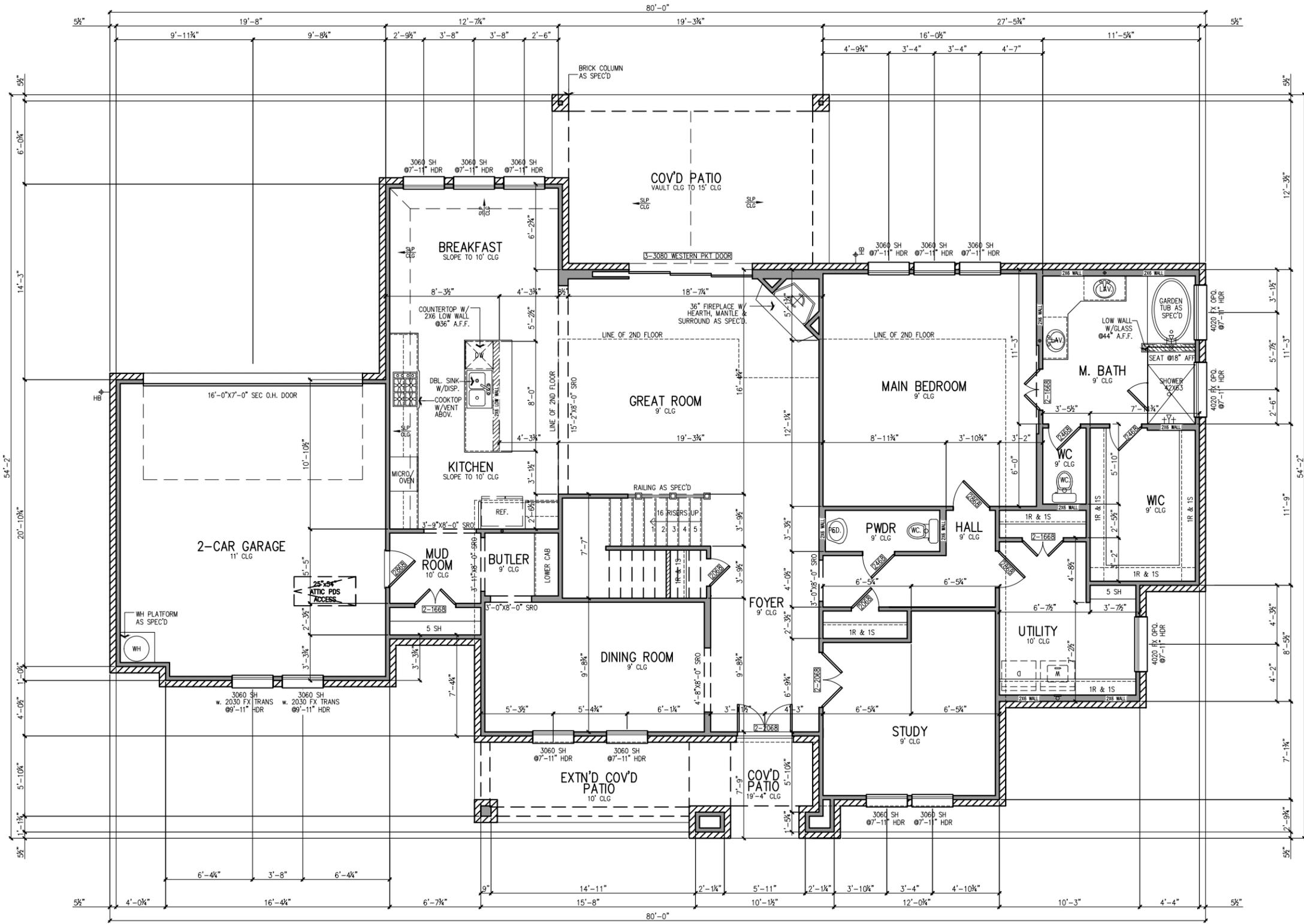
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 02-03-2022

SHEET NO.
 A1
 OF
 13



AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,976 SQ. FT.	2,037 SQ. FT.	2,124 SQ. FT.		
Second Floor	1,010 SQ. FT.	1,076 SQ. FT.	1,082 SQ. FT.		
Total	2,986 SQ. FT.	3,113 SQ. FT.			
Total Living Area			3,206 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
3-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
Total Garage Area	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
Covered Porch	0 SQ. FT.	157 SQ. FT.	159 SQ. FT.		
Covered Patio	0 SQ. FT.	236 SQ. FT.	241 SQ. FT.		
Covered Balcony	0 SQ. FT.	156 SQ. FT.	173 SQ. FT.		
Total Covered Porch/Patio Area	0 SQ. FT.	549 SQ. FT.	573 SQ. FT.		
Total Slab Area			2,982 SQ. FT.		
Total Under Roof			4,237 SQ. FT.		
Total Exterior Frame	3,397 SQ. FT.				
Total Interior Frame		4,091 SQ. FT.			
Overall Width = 80'-0"		Overall Depth = 54'-2"			

1 FIRST FLOOR PLAN
 A1 SCALE: 1/8" = 1'-0"

C:\USERS\LOLA\DESKTOP\MANUEL-HOUSE_3\2021-12-09.DWG

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

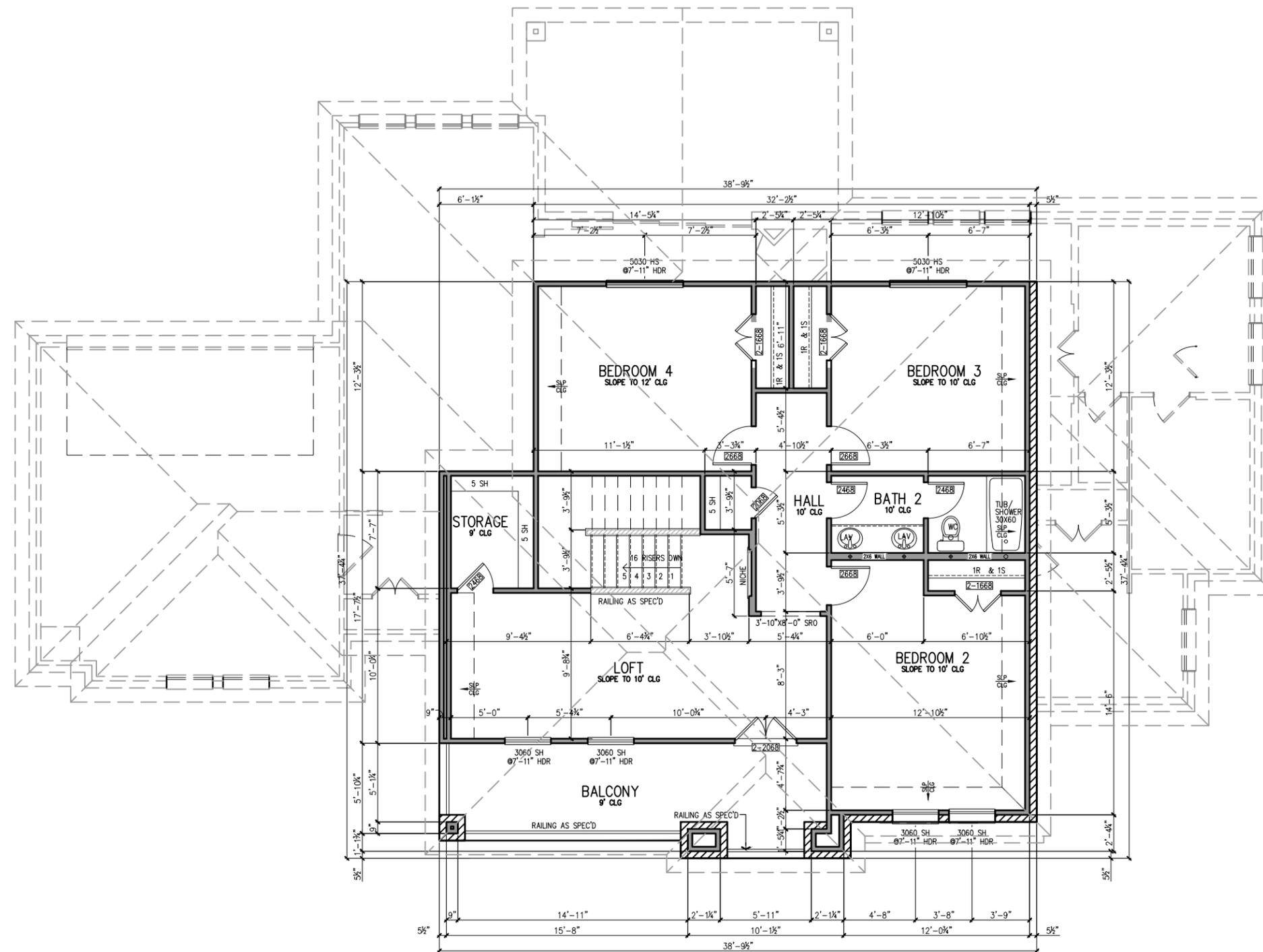
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

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SHEET NO.
 A1.1
 OF
 13

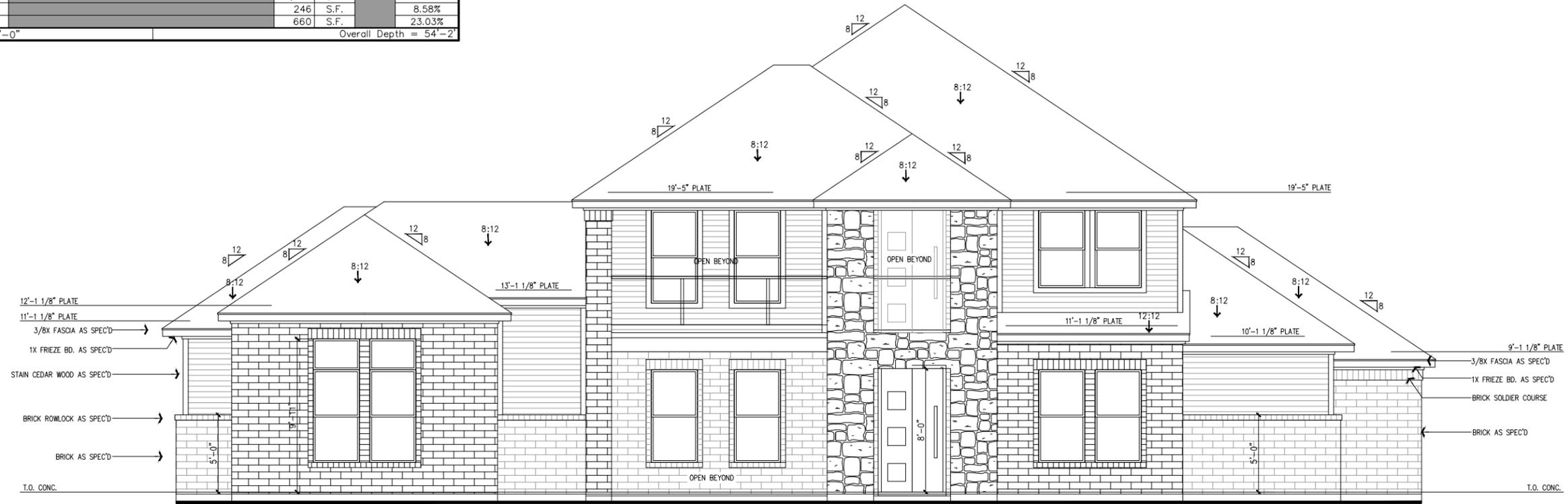


AREA CALCULATIONS_709 FOREST TRACE

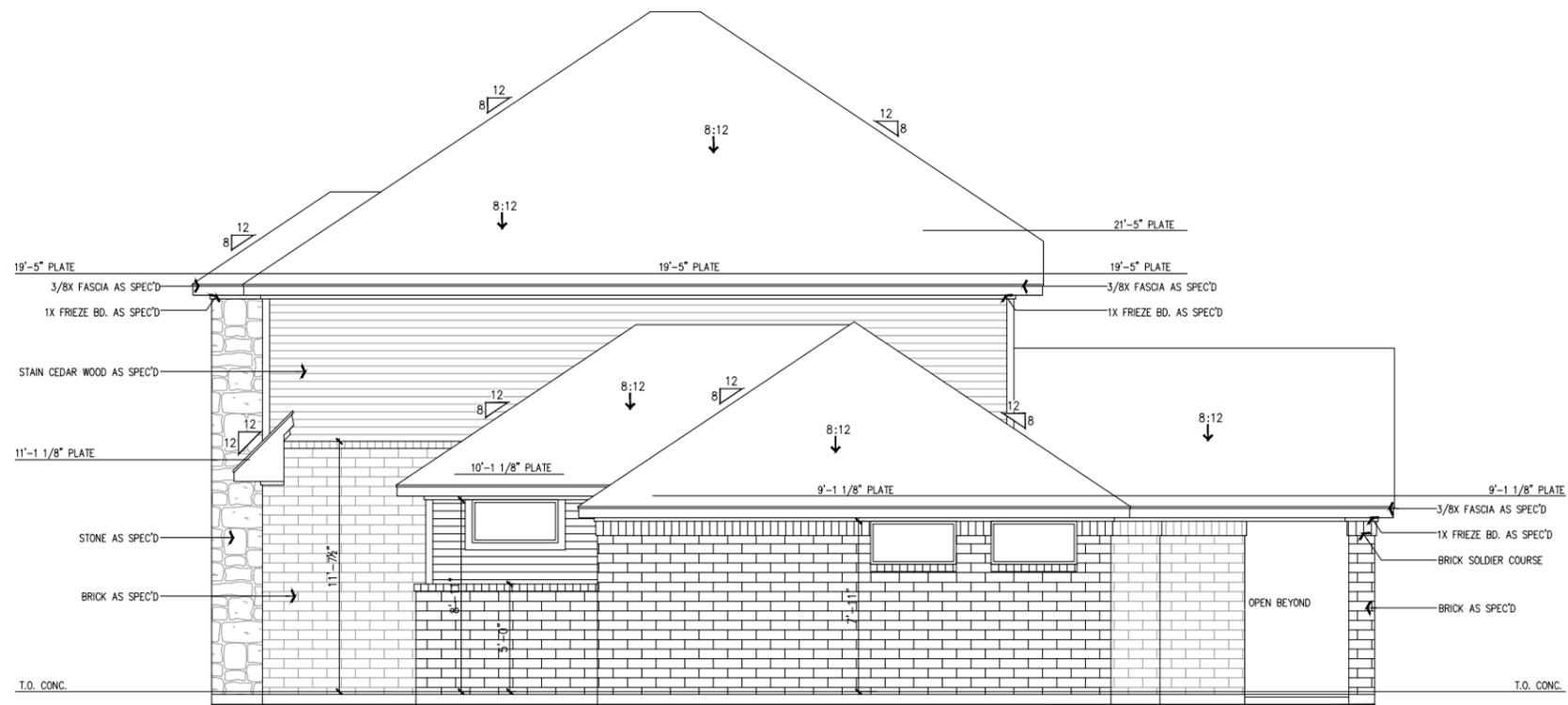
	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,976 SQ. FT.	2,037 SQ. FT.	2,124 SQ. FT.		
Second Floor	1,010 SQ. FT.	1,076 SQ. FT.	1,082 SQ. FT.		
Total	2,986 SQ. FT.	3,113 SQ. FT.			
Total Living Area			3,206 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
3-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
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Total Covered Porch/Patio Area	0 SQ. FT.	549 SQ. FT.	573 SQ. FT.		
Total Slab Area			2,982 SQ. FT.		
Total Under Roof			4,237 SQ. FT.		
Total Interior Frame	3,397 SQ. FT.				
Total Exterior Frame		4,091 SQ. FT.			
Overall Width = 80'-0"		Overall Depth = 54'-2"			

1 SECOND FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

MATERIAL AREA TABULATIONS		709 FOREST TRACE									
	BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL				
Front Elevation	550	S.F.	61.66%	122	S.F.	13.68%	220	S.F.	24.66%	892	S.F.
Right Side Elevation	400	S.F.	63.80%	82	S.F.	13.08%	145	S.F.	23.13%	627	S.F.
Rear Elevation	500	S.F.	73.53%	0	S.F.	0.00%	180	S.F.	26.47%	680	S.F.
Left Side Elevation	510	S.F.	76.46%	42	S.F.	6.30%	115	S.F.	17.24%	667	S.F.
Total Area	1,960	S.F.		246	S.F.		660	S.F.		2,866	S.F.
Total Brick Area							1,960	S.F.		68.39%	
Total Stone Area				246	S.F.					8.58%	
Total Siding Area						660	S.F.			23.03%	
Overall Width = 80'-0"		Overall Depth = 54'-2"									



1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
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NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

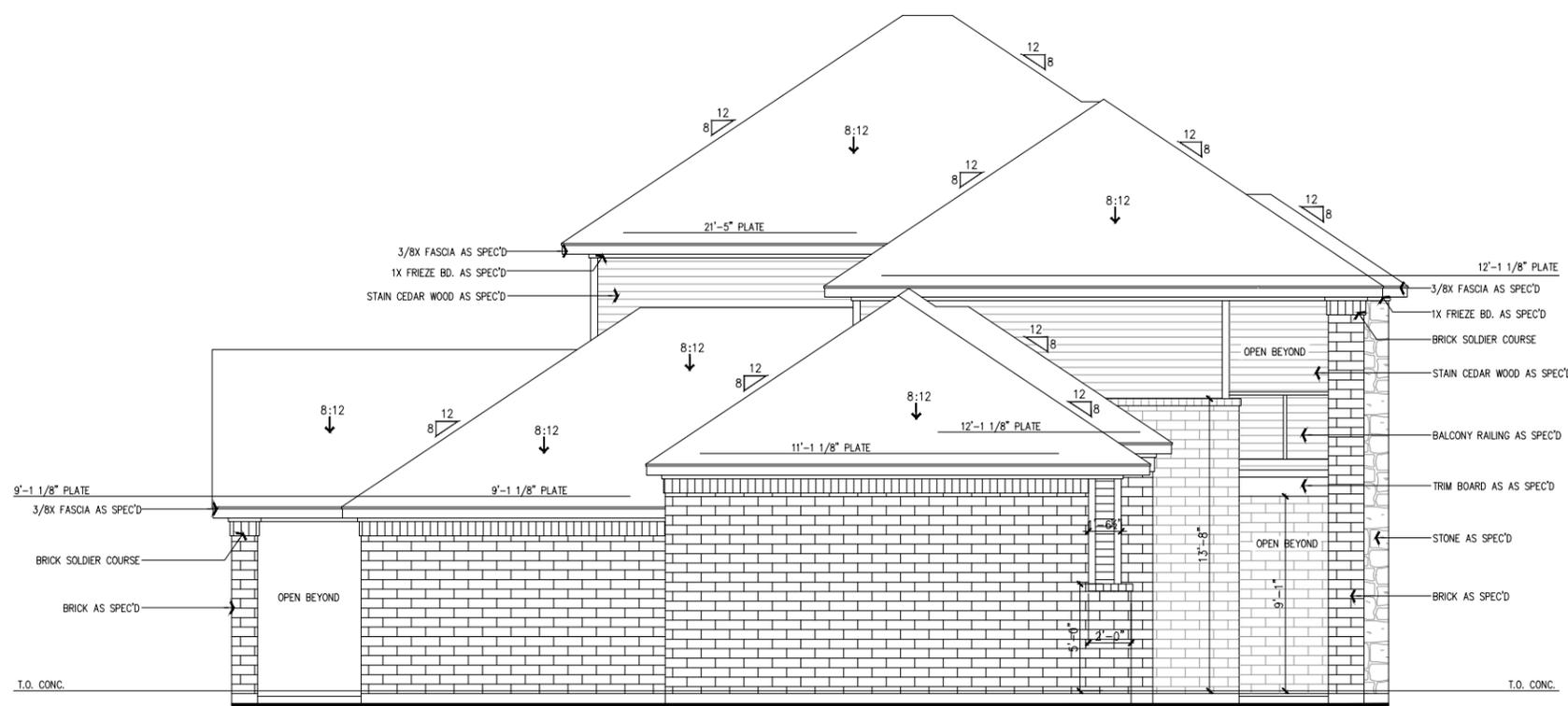
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SHEET NO.
A3
OF
13



1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
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NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
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SHEET NO.
A4
OF
13

GENERAL ROOF NOTES:

ROOF PITCH:
8:12 UNLESS OTHERWISE NOTED.

OVERHANG:
1'-4 1/2" FROM FRAME UNLESS OTHERWISE NOTED.

SLOPE DOWN IN DIRECTION OF ARROWS.

GUTTER & DOWNSPOUT LOCATIONS AS SPECIFIED.

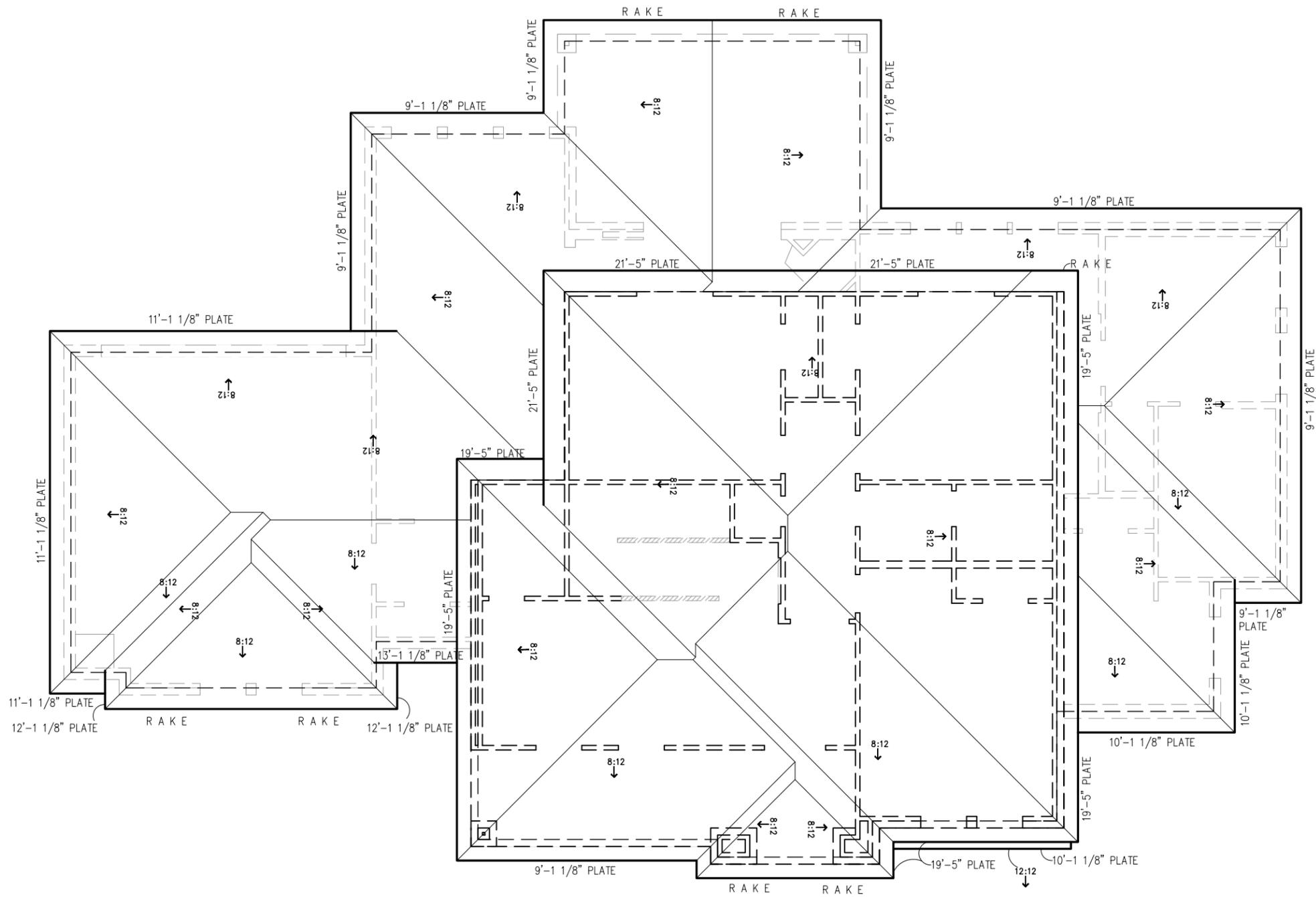
ROOFING MATERIAL AS SPECIFIED.

PRE-FINISHED GALV. METAL FLASHING AND DRIP EDGE SHALL BE USED AT ALL APPLICABLE LOCATIONS.

METAL VENT STACKS SHALL BE PRE-FINISHED OR PAINTED TO MATCH ROOF.

REFER TO ROOF PLAN FOR ROOF SLOPES, PLATE HEIGHTS AND INFORMATION NOT PROVIDED IN THESE NOTES.

PROPER ATTIC VENTILATION REQUIRES THAT THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NO LESS THAN 1/300 PROVIDED THAT A VAPOR RETARDED HAVING A PERMANENCE NOT EXCEEDING ONE PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING OR AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VERIFY VENTILATION REQUIREMENTS WITH ROOF SYSTEM MANUFACTURER



1 ROOF PLAN
A5 SCALE: 1/8" = 1'-0"

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BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
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ELEVATION: STONE
GARAGE: REAR ENTRY

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SHEET NO.
A5
OF
13

GENERAL ELECTRICAL NOTES:

ALL ELECTRICAL ITEMS SHOWN ON THIS PLAN (INCLUDING, BUT NOT LIMITED TO, LIGHTS, FANS, PLUGS, AND FIXTURES) MAY INCLUDE UPGRADES ITEMS AND ARE SHOWN FOR PRESENTATION PURPOSES ONLY.

THE FINAL ELECTRICAL PLAN WILL BE DESIGNED AND INSTALLED TO MEET THE SPECIFIC ELECTRICAL CODE REQUIREMENTS OF THE JURISDICTION WHERE THE HOME IS BUILT.

ALL LIGHTING FIXTURES SHALL BE LED (LIGHT-EMITTING DIODE)

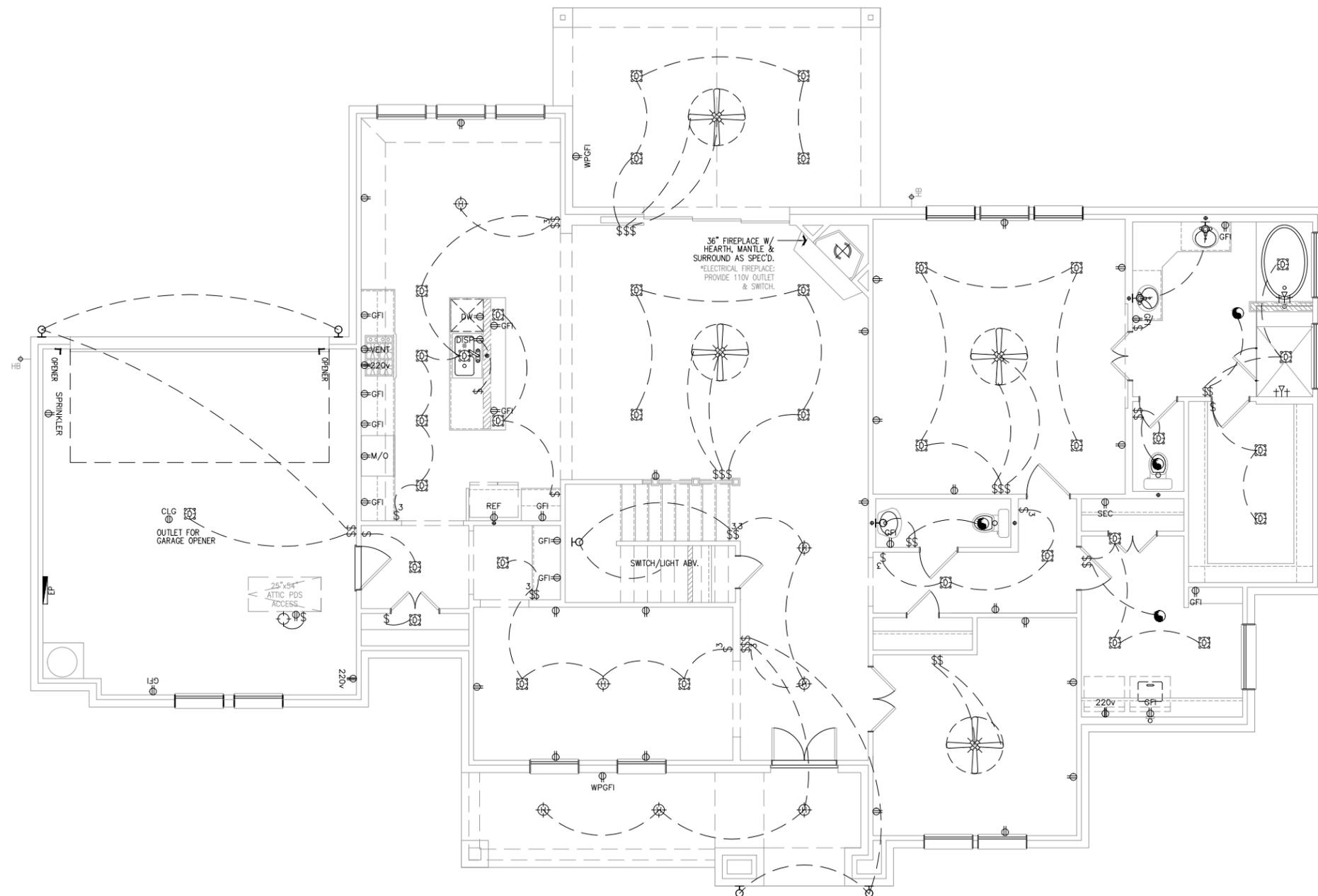
ALL ELECTRICAL FIXTURES SHALL BE AS PER NATIONAL ELECTRICAL CODE (NEC).

COORDINATE AND VERIFY LOCATIONS OF ALL ELECTRICAL FIXTURE WITH FLOOR PLAN.

ALL FIXTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.

ALL ELECTRICAL ITEM SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS

ELECTRICAL LEGEND			
HB	HOSE BIBB	FLUSH LED LIGHT DISK	
GAS	GAS LINE	EXTERIOR COACH LIGHT	
EP	ELECTRICAL PANEL	WALL MOUNTED LIGHT	
\$	SWITCH	CEILING MOUNTED LIGHT	
\$3	3-WAY SWITCH	HANGING LIGHT	
\$4	4-WAY SWITCH	FLOOD LIGHT	
\$D	DIMMER SWITCH	WALL SCONCE	
⊕	DUPLEX OUTLET	FLUORESCENT LIGHT w/1 BULB	
SEC ⊕	SECURITY OUTLET	UP LIGHT	
SPRINKLER ⊕	SPRINKLER OUTLET	EXHAUST FAN	
FLOOR ⊕	FLOOR OUTLET	COMBO SMOKE AND CARBON MONOXIDE DETECTOR	
GFI ⊕	GFI OUTLET	SMOKE DETECTOR	
WPGFI ⊕	WATER PROOF GFI OUTLET	DOOR BELL BUTTON	
DISP ⊕	DISPOSAL OUTLET	DOOR CHIMES	
DW ⊕	DISHWASHER OUTLET	CABLE TV OUTLET	
CLG ⊕	CEILING MOUNTED OUTLET	ATTIC ACCES	
220v ⊕	220V OUTLET	GARAGE OPENER	
⊕	CEILING FAN	CEILING FAN w/ LIGHT	



1 ELECTRICAL PLAN
A6 FIRST FLOOR
SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

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ALL LIGHTING FIXTURES SHALL BE LED (LIGHT-EMITTING DIODE)

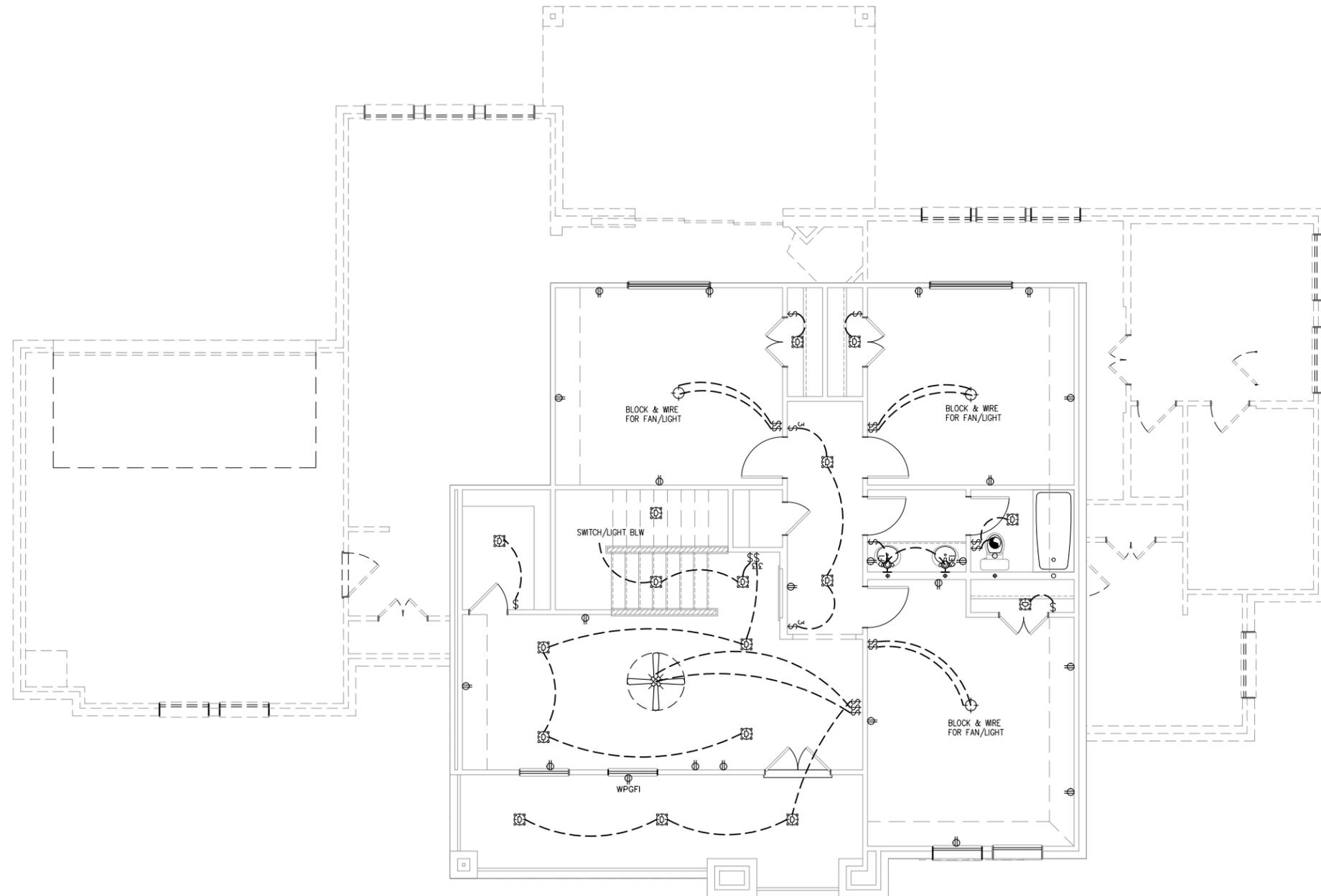
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ELECTRICAL LEGEND			
HB	HOSE BIBB	FLUSH LED LIGHT DISK	
GAS	GAS LINE	EXTERIOR COACH LIGHT	
EP	ELECTRICAL PANEL	WALL MOUNTED LIGHT	
S	SWITCH	CEILING MOUNTED LIGHT	
3	3-WAY SWITCH	HANGING LIGHT	
4	4-WAY SWITCH	FLOOD LIGHT	
D	DIMMER SWITCH	WALL SCONCE	
Φ	DUPLEX OUTLET	FLUORESCENT LIGHT w/1 BULB	
SEC Φ	SECURITY OUTLET	UP LIGHT	
SPRINKLER Φ	SPRINKLER OUTLET	EXHAUST FAN	
FLOOR Φ	FLOOR OUTLET	COMBO SMOKE AND CARBON MONOXIDE DETECTOR	
GFI Φ	GFI OUTLET	SMOKE DETECTOR	
WPGFI Φ	WATER PROOF GFI OUTLET	DOOR BELL BUTTON	
DISP Φ	DISPOSAL OUTLET	DOOR CHIMES	
DW Φ	DISHWASHER OUTLET	CABLE TV OUTLET	
CLG Φ	CEILING MOUNTED OUTLET	ATTIC ACCES	
220v Φ	220V OUTLET	GARAGE OPENER	
CEILING FAN		CEILING FAN w/ LIGHT	



1
A6.1 ELECTRICAL PLAN
SECOND FLOOR
SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
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ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1, 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 709 Forest Trace
 SUBDIVISION High Ridge Estates LOT 13 BLOCK A
 GENERAL LOCATION Skidziel & Boydston Ave

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING CURRENT USE Vacant
 PROPOSED ZONING PROPOSED USE New Home Construction
 ACREAGE LOTS (CURRENT) 1 LOTS (PROPOSED) 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER Manuel Tijerina APPLICANT
 CONTACT PERSON Manuel Tijerina CONTACT PERSON Orlando Pasadas
 ADDRESS 7922 Garner Rd ADDRESS 41 Anna Lee Dr
 CITY, STATE & ZIP Rowlett, TX 75088 CITY, STATE & ZIP Waxahachie TX 75167
 PHONE 214-773-9971 PHONE 214-284-5571
 E-MAIL manueltijerina70@gmail.com E-MAIL OrPasadas@gmail.com

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Manuel Tijerina (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1500 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF June, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.¹

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF June, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Debra Camacho

MY COMMISSION EXPIRES



DEBRA CAMACHO
Notary Public, State of Texas
Comm. Expires 07-16-2024
Notary ID 12157676



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

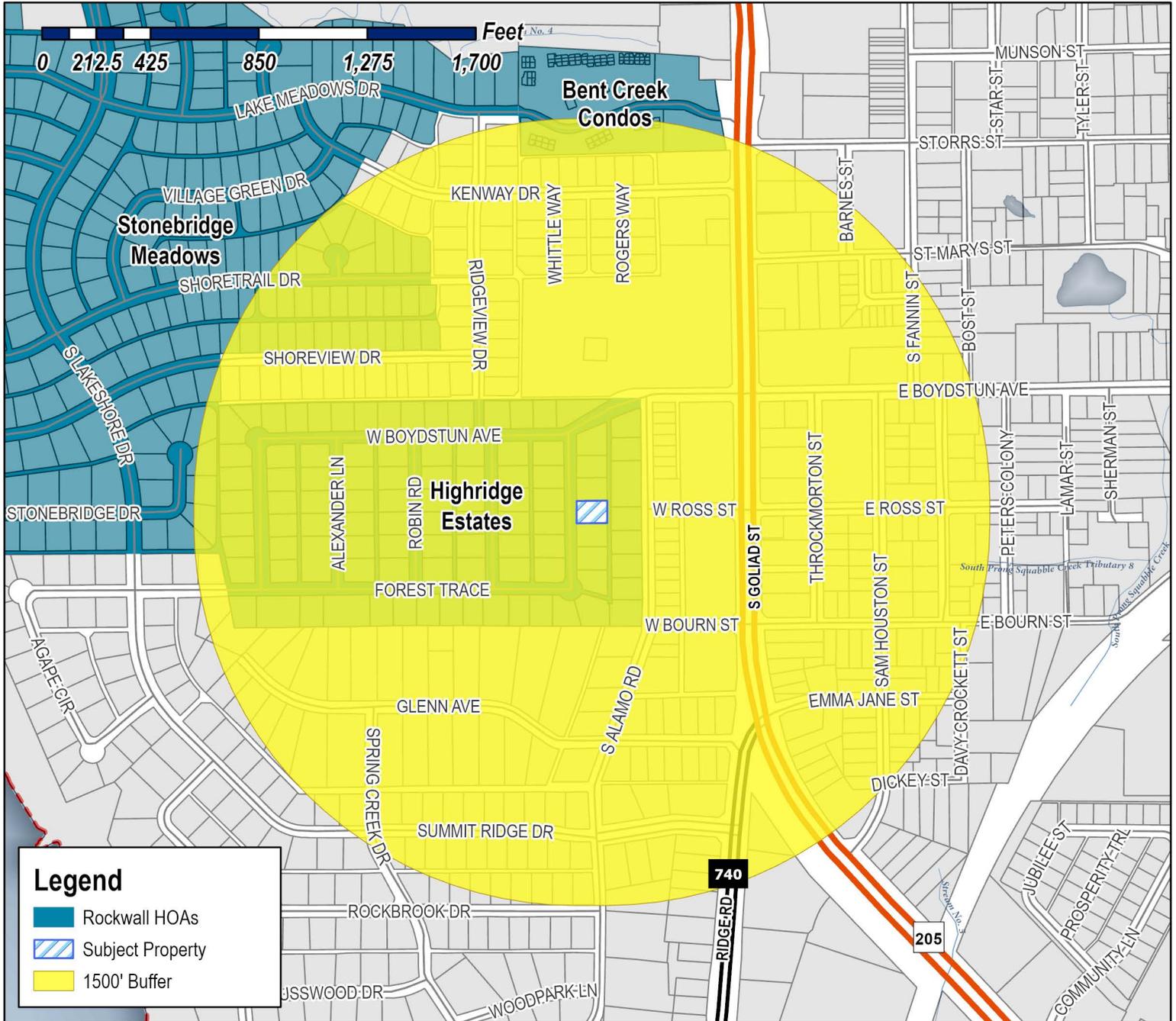




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Legend

- Rockwall HOAs
- Subject Property
- 1500' Buffer

Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023
 For Questions on this Case Call (972) 771-7745

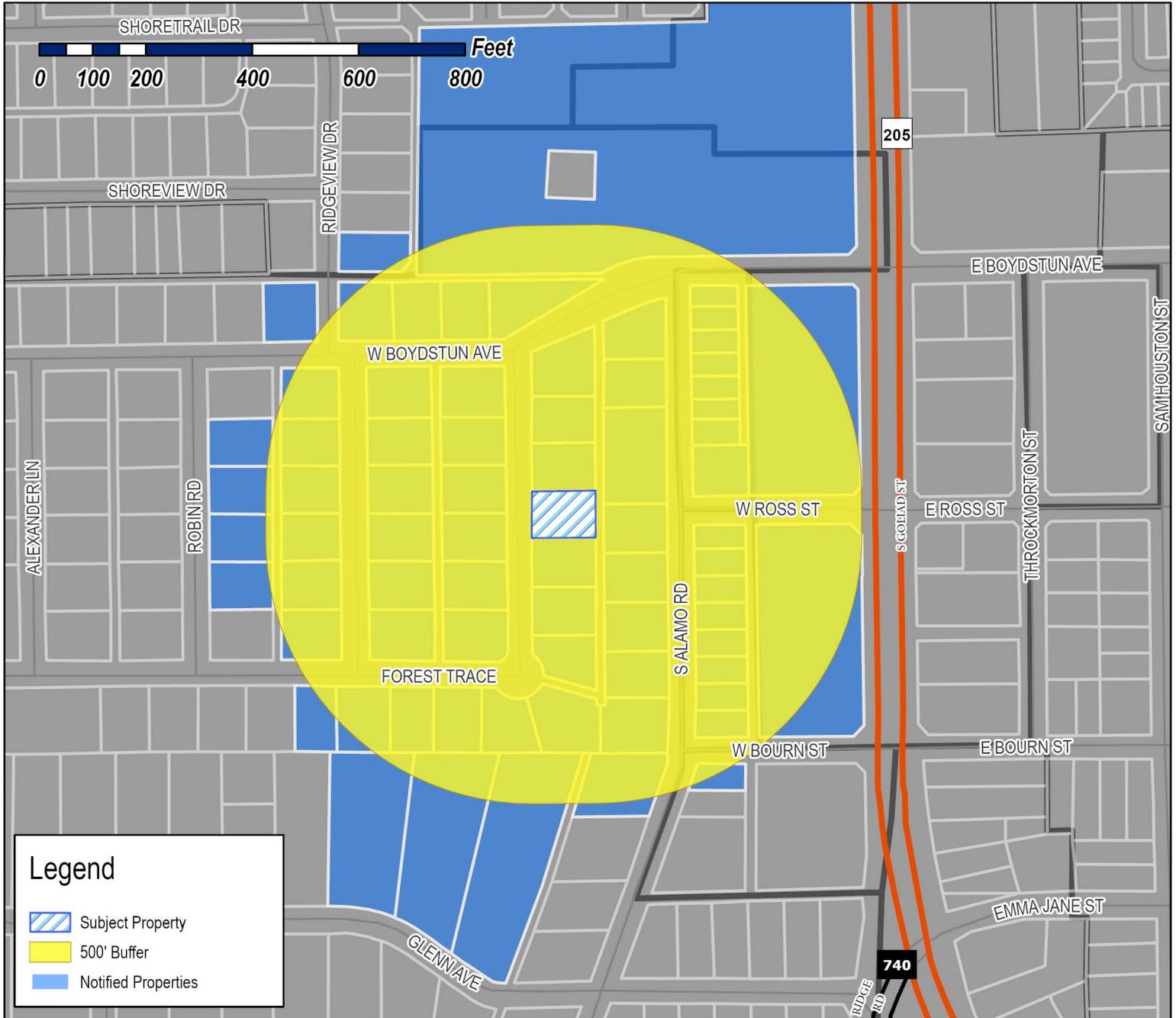




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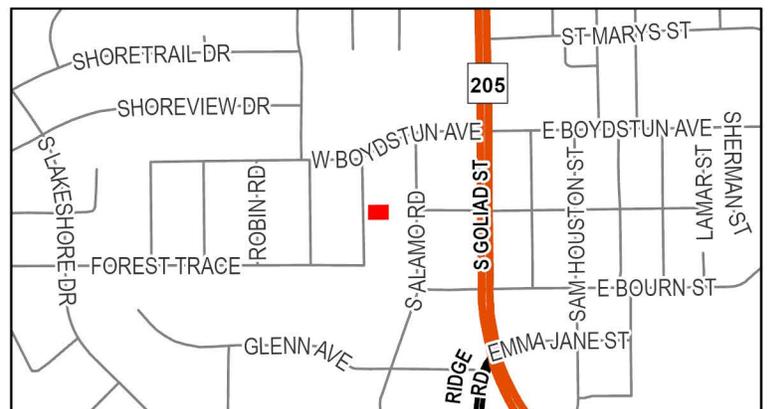
Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023

For Questions on this Case Call: (972) 771-7746



BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

OTTO IRIS
1502 S 1ST ST STE 3
GARLAND, TX 75040

TIJERINA MANUEL
1713 MISSION DR
GARLAND, TX 75042

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

GIBSON CHARLES D AND LINDSAY K
201 FOREST TRACE
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

RUESS JOHN CHARLES & KATHY LEA
202 W BOYDSTUN ST
ROCKWALL, TX 75087

RESIDENT
203 FOREST TRACE
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MARKS RICHARD R & JUNE
TRUSTEES OF THE MARKS FAMILY LIVING TRUST
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

HAYDICKY JOSEPH N
205 FOREST TRACE
ROCKWALL, TX 75087

ANGIEL JOHN H & KAY M
206 GLENN AVE
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011
REX M PREDDY AND PATTI S PREDDY- TRUSTEES
206 WEST BOYDSTUN AVE
ROCKWALL, TX 75087

BROWN BREANNE ELIZABETH STRAWN AND
AARON KRISTOPHER
207 FOREST TRACE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA
208 BOYDSTUN AVE
ROCKWALL, TX 75087

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

ST CLAIR DOUG & KELLY
301 FOREST TRACE
ROCKWALL, TX 75087

COMPTON HAYDEN AND TAYLOR LOVERA
302 W BOYDSTUN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
303 FOREST TRACE
ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON
517 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
602 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST
664 SORITA CIR
HEATH, TX 75032

REED DARLENE
701 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
702 S ALAMO DR
ROCKWALL, TX 75087

CRESPO DENYS AND HALEY
703 FOREST TRACE
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY
703 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

RESIDENT
703 S ALAMO
ROCKWALL, TX 75087

FREED SARAH
704 FOREST TRACE
ROCKWALL, TX 75087

PASSON BRETT A & LAURIE J
704 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
704 S ALAMO DR
ROCKWALL, TX 75087

CULLINS JENNIFER L
705 FOREST TRACE
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST
C/O ROBERT LOUIS AND
705 RIDGEVIEW DR
ROCKWALL, TX 75087

STROMAN ROBERT E & JUDY DANIELS
705 ROBIN RD
ROCKWALL, TX 75087

RESIDENT
705 S ALAMO
ROCKWALL, TX 75087

FORD CLYDE G
706 FOREST TRACE
ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S
706 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

MILLS CHARLES O
706 S ALAMO RD
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &
DAVID SCOTT
707 FOREST TRCE
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE
707 RIDGEVIEW DR
ROCKWALL, TX 75087

FLOWERS DONALD
707 ROBIN DR
ROCKWALL, TX 75087

RESIDENT
707 S ALAMO
ROCKWALL, TX 75087

KELEMEN ANNA V AND
MATTHEW BURBRIDGE
708 FOREST TRACE
ROCKWALL, TX 75087

FLOURA ROSEANN EXECUTOR
708 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
709 FOREST TRACE
ROCKWALL, TX 75087

RESIDENT
709 ROBIN RD
ROCKWALL, TX 75087

FALCON ANN L & LEONARD
709 RIDGEVIEW DR
ROCKWALL, TX 75087

FLEMING LINDA
709 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
710 RIDGEVIEW DR
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY
710 FOREST TRACE
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
710 S GOLIAD ST
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M
711 RIDGEVIEW
ROCKWALL, TX 75087

MUNOZ THOMAS & SUZANNE
711 ROBIN DR
ROCKWALL, TX 75087

POPP KATHLEEN
711 S ALAMO
ROCKWALL, TX 75087

GRAY JIM
712 FOREST TRACE
ROCKWALL, TX 75087

MORI DANIEL J & JUDY
712 RIDGEVIEW DR
ROCKWALL, TX 75087

HILLMAN DORIANN AND
JOEL OTT
713 FOREST TRACE
ROCKWALL, TX 75087

COHEN MARK A
713 RIDGEVIEW DR
ROCKWALL, TX 75087

SHERA DEBORAH K
713 S ALAMO RD
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS
714 FOREST TRCE
ROCKWALL, TX 75087

SIPLE MARIAN C
714 RIDGEVIEW DR
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

MILLS CHARLES O
715 S ALAMO RD
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
807 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
809 ALAMO RD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
813 S ALAMO RD
ROCKWALL, TX 75087

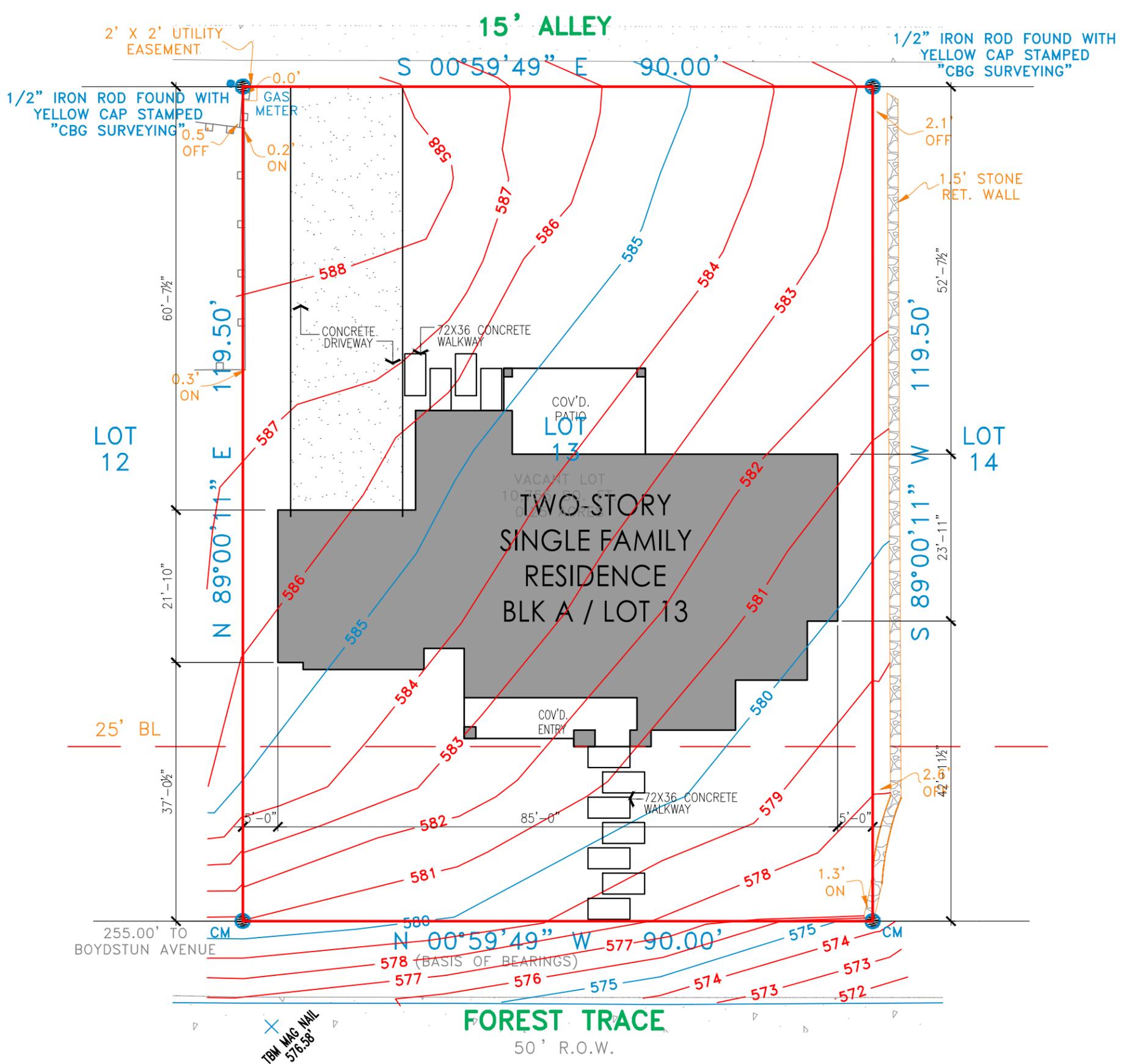
RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

CROSBY SILAS SAMUEL AND RACHEL E
8706 WESTFIELD DRIVE
ROWLETT, TX 75088

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
902 S ALAMO
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738



LEGEND:

- DRAINAGE ARROW
- REAR PATIO AREA

NOTE:
CROSS HATCHED AREA INDICATES REAR YARD OPEN SPACE.

NOTE:
BUILDER SHOULD PLANT TREE AS PER COMMUNITY STANDARD AS REQUIRED.

709 FOREST TRACE
BLK A / LOT 13 / HIGH RIDGE STATE
ROCKWALL, ROCKWALL COUNTY, TX



FLATWORK AREA TABULATIONS			
LEAD WALK	APPROX.	18	S.F.
CITY WALK	APPROX.	0	S.F.
DRIVE	APPROX.	970	S.F.
APPROACH	APPROX.	0	S.F.
TOTAL	APPROX.	988	S.F.

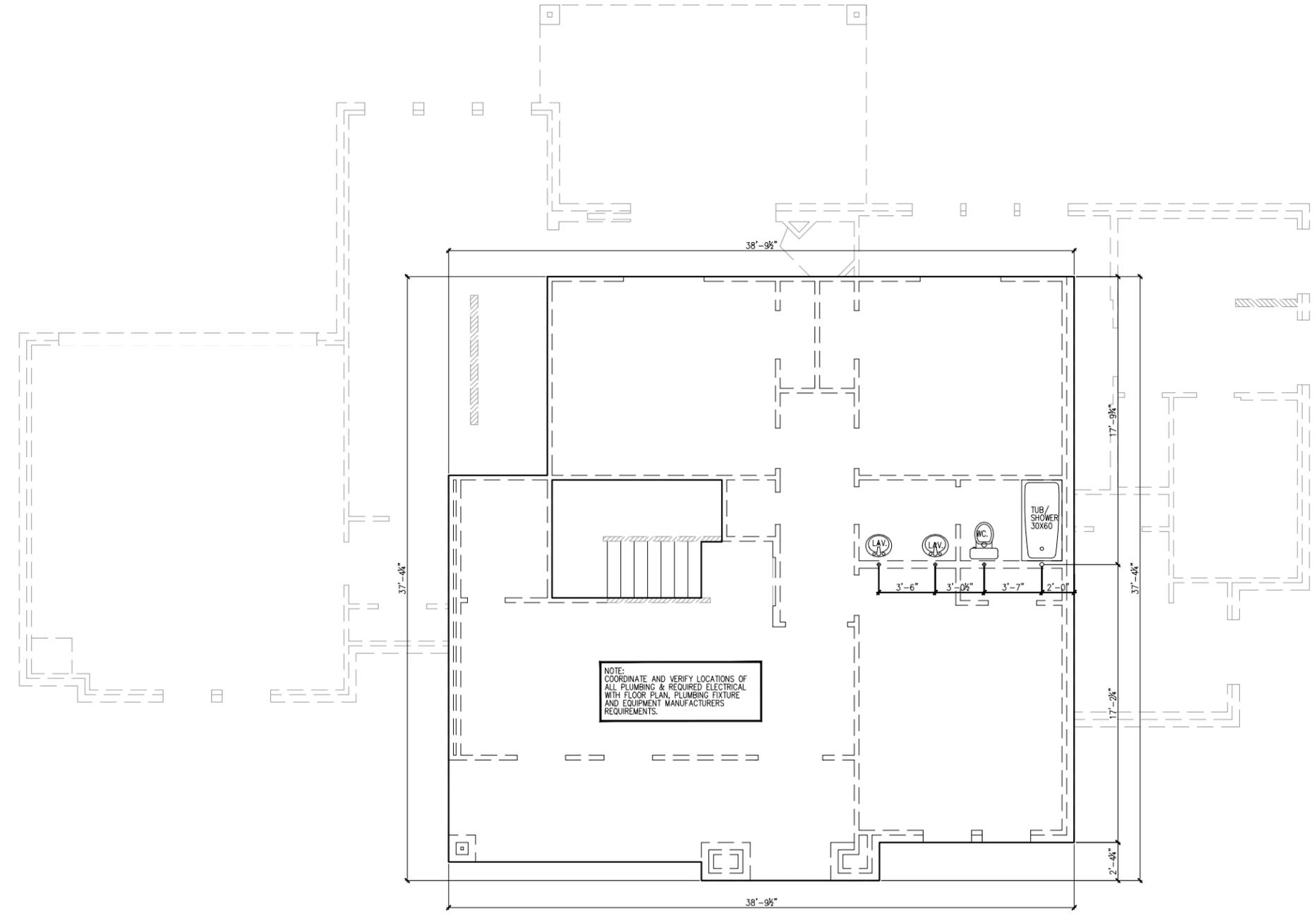
LOT COVERAGE			
LOT AREA	APPROX.	10755	S.F.
MAIN BUILDING AREA	APPROX.	2982	S.F.
LOT COVERAGE	APPROX.	27.73	%

1 SITE PLAN
SP1 SCALE: 1/16" = 1'-0"

SHEET NO. SP1 OF 13	DRAWN BY: LRN	DESIGN PLAN NAME/NUMBER: 3235 PLAN	NEW RESIDENCE FOR: MANUEL TIJERILLA	ADDRESS: 709 FOREST TRACE ROCKWALL, ROCKWALL COUNTY, TX BLK A/LOT 13/HIGH RIDGE STATE
	ISSUED FOR REVIEW 02-03-2022	ELEVATION: STONE GARAGE: REAR ENTRY		

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1	SECOND FLOOR PLUMBING PLAN
S1.1	SCALE: 1/8" = 1'-0"



ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 02-03-2022

SHEET NO.
S1.1
 OF
13

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

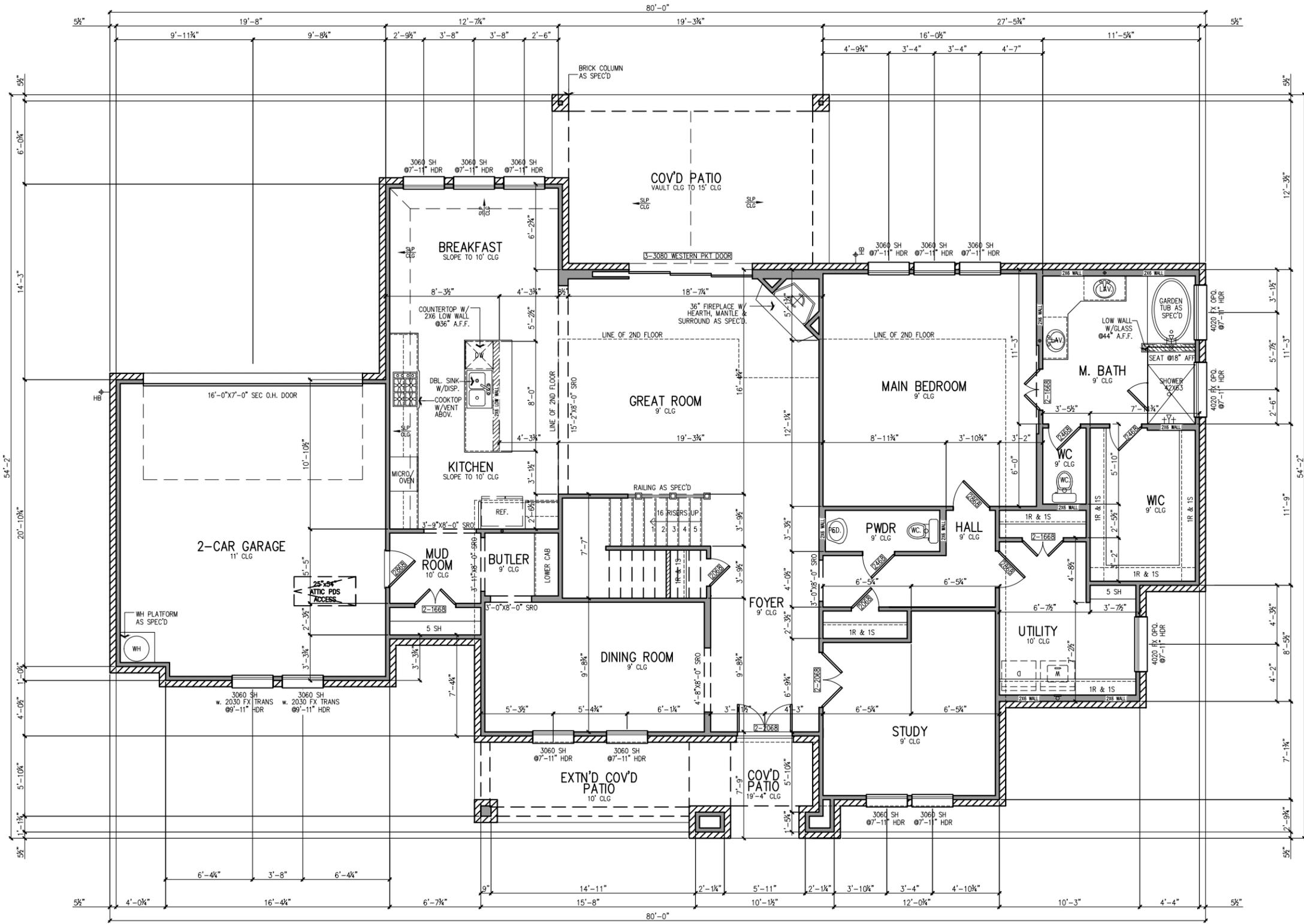
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 02-03-2022

SHEET NO.
 A1
 OF
 13



AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,976 SQ. FT.	2,037 SQ. FT.	2,124 SQ. FT.		
Second Floor	1,010 SQ. FT.	1,076 SQ. FT.	1,082 SQ. FT.		
Total	2,986 SQ. FT.	3,113 SQ. FT.			
Total Living Area			3,206 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
3-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
Total Garage Area	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
Covered Porch	0 SQ. FT.	157 SQ. FT.	159 SQ. FT.		
Covered Patio	0 SQ. FT.	236 SQ. FT.	241 SQ. FT.		
Covered Balcony	0 SQ. FT.	156 SQ. FT.	173 SQ. FT.		
Total Covered Porch/Patio Area	0 SQ. FT.	549 SQ. FT.	573 SQ. FT.		
Total Slab Area			2,982 SQ. FT.		
Total Under Roof			4,237 SQ. FT.		
Total Exterior Frame	3,397 SQ. FT.				
Total Interior Frame		4,091 SQ. FT.			
Overall Width = 80'-0"		Overall Depth = 54'-2"			

1 FIRST FLOOR PLAN
 A1 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

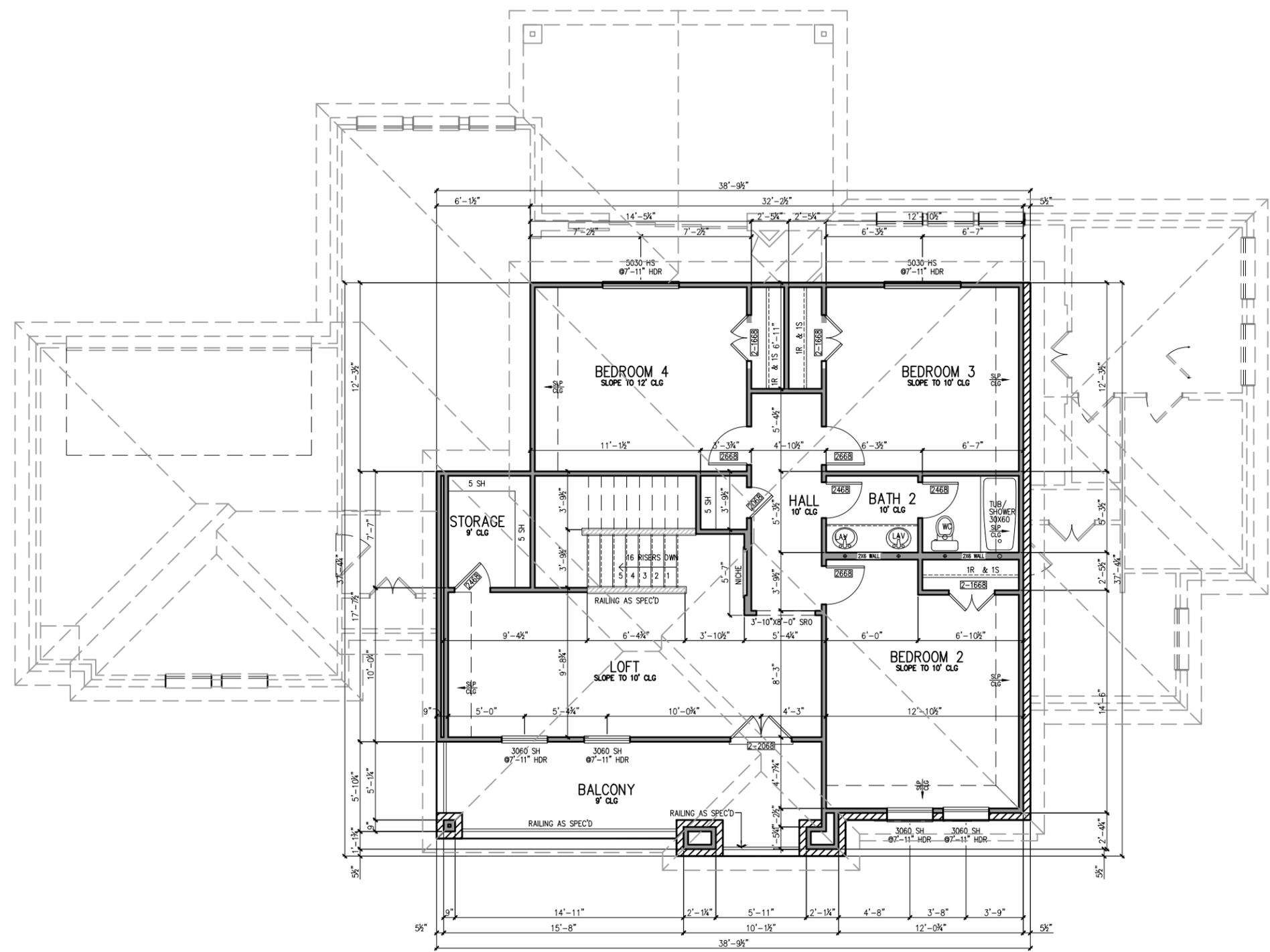
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 02-03-2022

SHEET NO.
 A1.1
 OF
 13



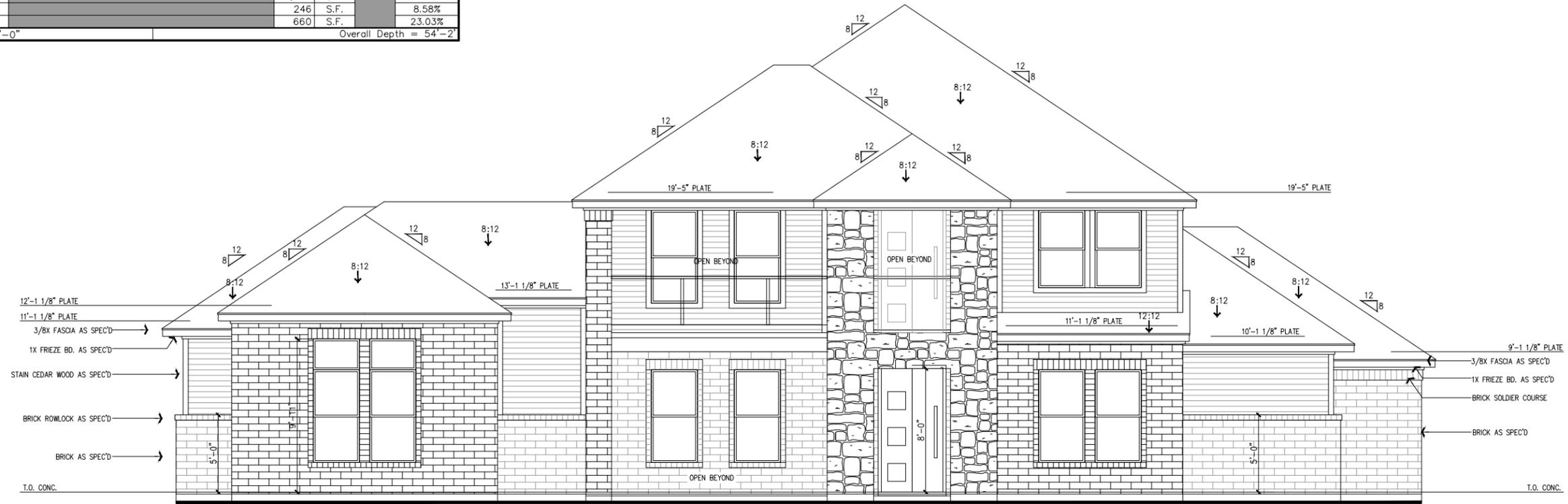
AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,976 SQ. FT.	2,037 SQ. FT.	2,124 SQ. FT.		
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Total	2,986 SQ. FT.	3,113 SQ. FT.			
Total Living Area			3,206 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
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Total Covered Porch/Patio Area	0 SQ. FT.	549 SQ. FT.	573 SQ. FT.		
Total Slab Area			2,982 SQ. FT.		
Total Under Roof			4,237 SQ. FT.		
Total Interior Frame	3,397 SQ. FT.				
Total Exterior Frame		4,091 SQ. FT.			
Overall Width = 80'-0"			Overall Depth = 54'-2"		

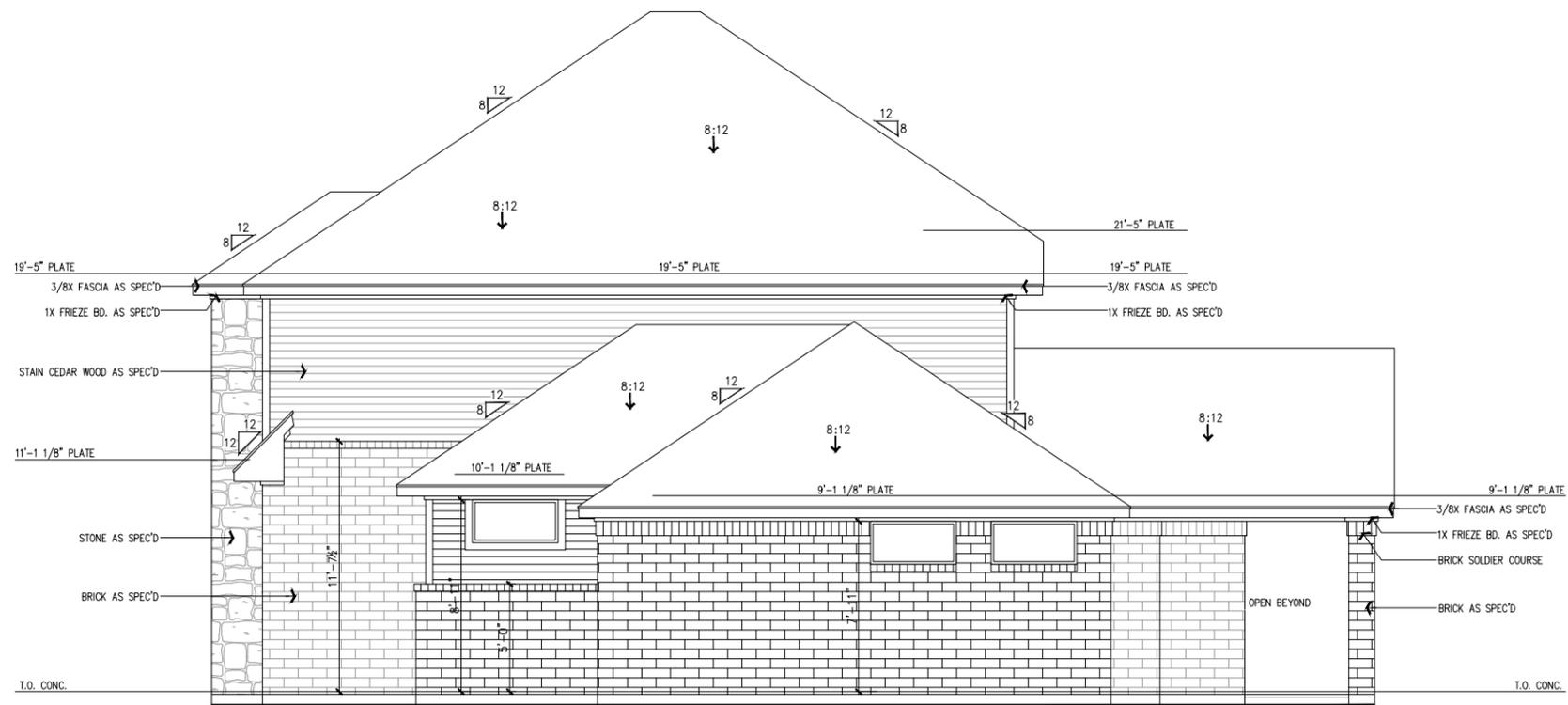
1 SECOND FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

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MATERIAL AREA TABULATIONS		709 FOREST TRACE									
	BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL				
Front Elevation	550	S.F.	61.66%	122	S.F.	13.68%	220	S.F.	24.66%	892	S.F.
Right Side Elevation	400	S.F.	63.80%	82	S.F.	13.08%	145	S.F.	23.13%	627	S.F.
Rear Elevation	500	S.F.	73.53%	0	S.F.	0.00%	180	S.F.	26.47%	680	S.F.
Left Side Elevation	510	S.F.	76.46%	42	S.F.	6.30%	115	S.F.	17.24%	667	S.F.
Total Area	1,960	S.F.		246	S.F.		660	S.F.		2,866	S.F.
Total Brick Area							1,960	S.F.		68.39%	
Total Stone Area				246	S.F.					8.58%	
Total Siding Area				660	S.F.					23.03%	
Overall Width = 80'-0"											Overall Depth = 54'-2"



1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

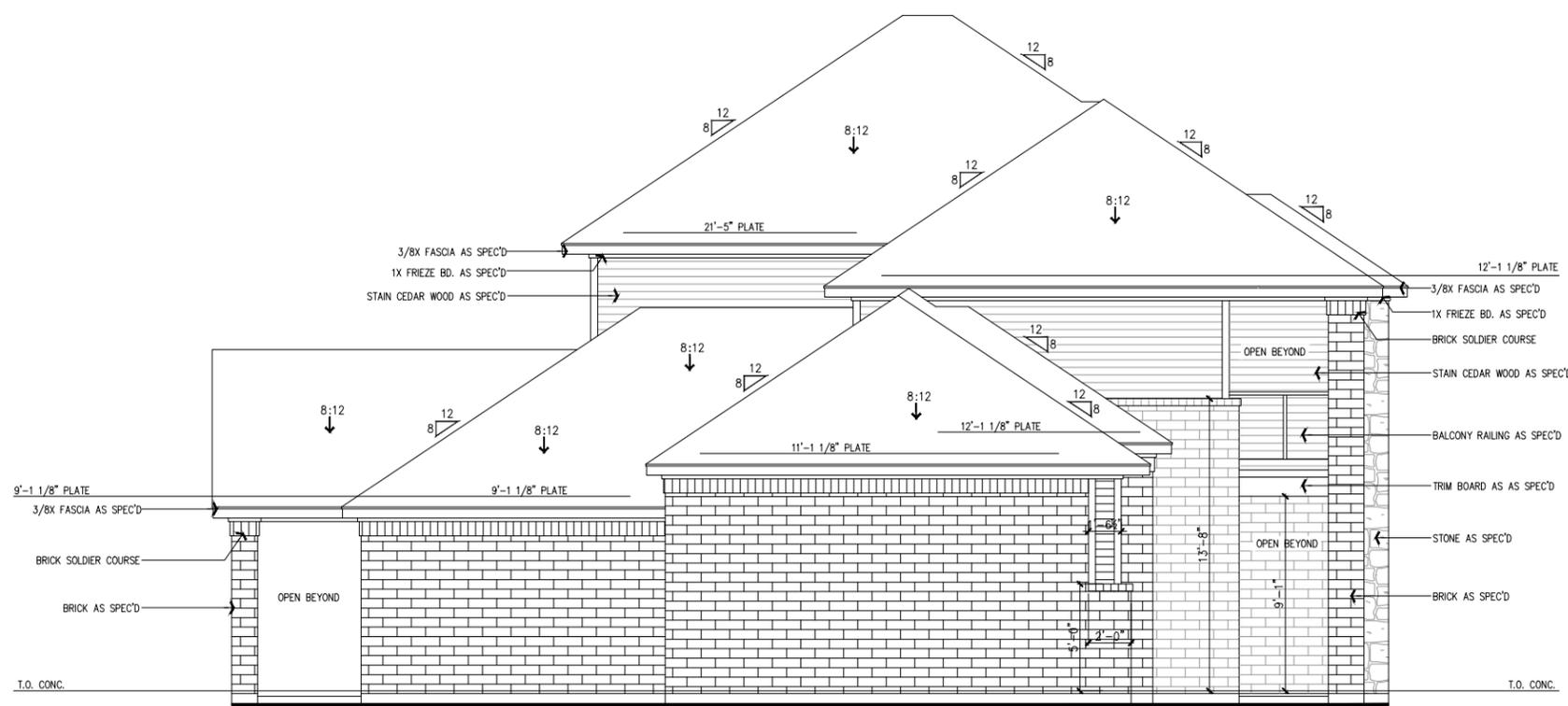
DRAWN BY:
LRN

ISSUED ON
02-03-2022

SHEET NO.
A3
OF
13



1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
02-03-2022

SHEET NO.
A4
OF
13

GENERAL ROOF NOTES:

ROOF PITCH:
8:12 UNLESS OTHERWISE NOTED.

OVERHANG:
1'-4 1/2" FROM FRAME UNLESS OTHERWISE NOTED.

SLOPE DOWN IN DIRECTION OF ARROWS.

GUTTER & DOWNSPOUT LOCATIONS AS SPECIFIED.

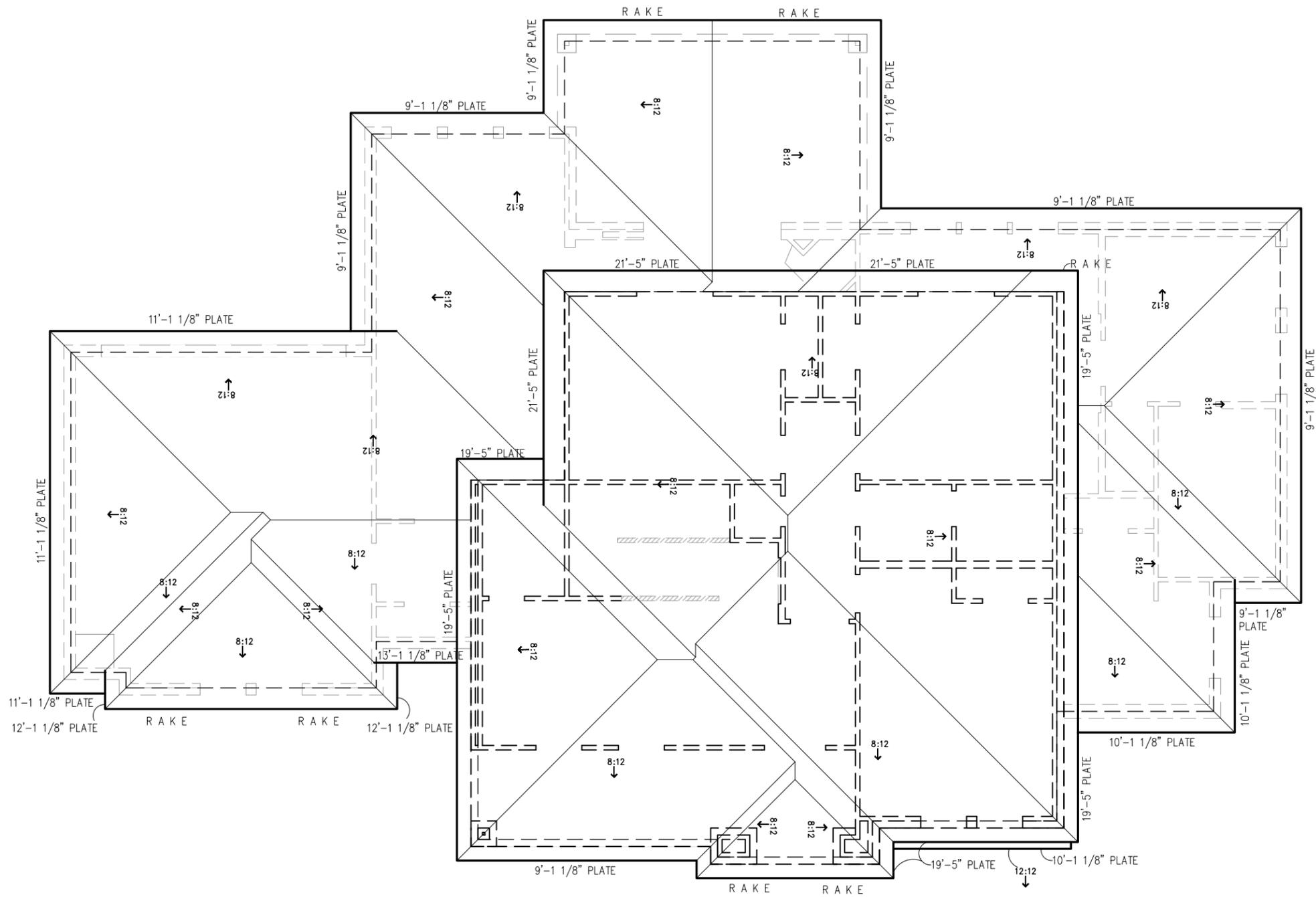
ROOFING MATERIAL AS SPECIFIED.

PRE-FINISHED GALV. METAL FLASHING AND DRIP EDGE SHALL BE USED AT ALL APPLICABLE LOCATIONS.

METAL VENT STACKS SHALL BE PRE-FINISHED OR PAINTED TO MATCH ROOF.

REFER TO ROOF PLAN FOR ROOF SLOPES, PLATE HEIGHTS AND INFORMATION NOT PROVIDED IN THESE NOTES.

PROPER ATTIC VENTILATION REQUIRES THAT THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NO LESS THAN 1/300 PROVIDED THAT A VAPOR RETARDED HAVING A PERMANENCE NOT EXCEEDING ONE PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING OR AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VERIFY VENTILATION REQUIREMENTS WITH ROOF SYSTEM MANUFACTURER



1 ROOF PLAN
A5 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
02-03-2022

SHEET NO.
A5
OF
13

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 6/22/2023

PROJECT NUMBER: Z2023-031
PROJECT NAME: SUP for Residential Infill at 709 Forest Trace
SITE ADDRESS/LOCATIONS: 709 FOREST TRACE

CASE CAPTION: Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	06/22/2023	Approved w/ Comments

06/22/2023: Z2023-031; Specific Use Permit (SUP) for Residential Infill for 709 Forest Trace
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2023-031) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Highridge Estates Subdivision, which is 90% or more developed, consists of 99 lots, and has been in existence since June 1, 1972.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is located in the rear of the home which is in conformance with the standards for a home in a Single-Family 16 (SF-16) District.

M.7 Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that properties in

a Single-Family 10 (SF-10) District should have a minimum side setback of 6-feet. In this request, the proposed home has a side setback of 5-feet. This will need to be corrected on the site plan.

M.8 Please review the attached Draft Ordinance prior to the June 27, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than July 5, 2023.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 5, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 11, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on June 27, 2023.

I.10 The projected City Council meeting dates for this case will be July 17, 2023 [1st Reading] and August 7, 2023 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/22/2023	Approved w/ Comments

06/22/2023: - How will the lot be graded for the house? Everything needs to drain to Forest Trace like existing conditions.
- Lot and driveway will need to be graded so that drainage does not flow towards the house.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	06/22/2023	Needs Review

06/22/2023: SIDE SETBACK FOR SF-10 IS 6 FEET AND THE HOUSE ON THE PLOT PLAN INDICATES ONLY 5 FEET FROM THE PROPERTY LINE. HOUSE PLAN WILL NEED TO BE REVISED

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Angelica Guevara	06/22/2023	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Angelica Guevara	06/22/2023	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/19/2023	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *Ally*

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 709 Forest Trace

SUBDIVISION High Ridge Estates

LOT 13 BLOCK A

GENERAL LOCATION Skholisel & Boydston Ave

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE Vgent

PROPOSED ZONING _____

PROPOSED USE New Home Construction

ACREAGE _____

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Manuel Tijerina

APPLICANT _____

CONTACT PERSON Manuel Tijerina

CONTACT PERSON Olivia Pasadas

ADDRESS 7922 Garner Rd

ADDRESS 41 Anna Leis Dr

CITY, STATE & ZIP Rowlett, TX 75088

CITY, STATE & ZIP Waxahatchie TX 75167

PHONE 214-773-9971

PHONE 214 284 5571

E-MAIL manueltijerina70@gmail.com

E-MAIL OlPasadas@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Manuel Tijerina [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF June, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF June, 2023

OWNER'S SIGNATURE Manuel Tijerina

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Debra Camacho





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

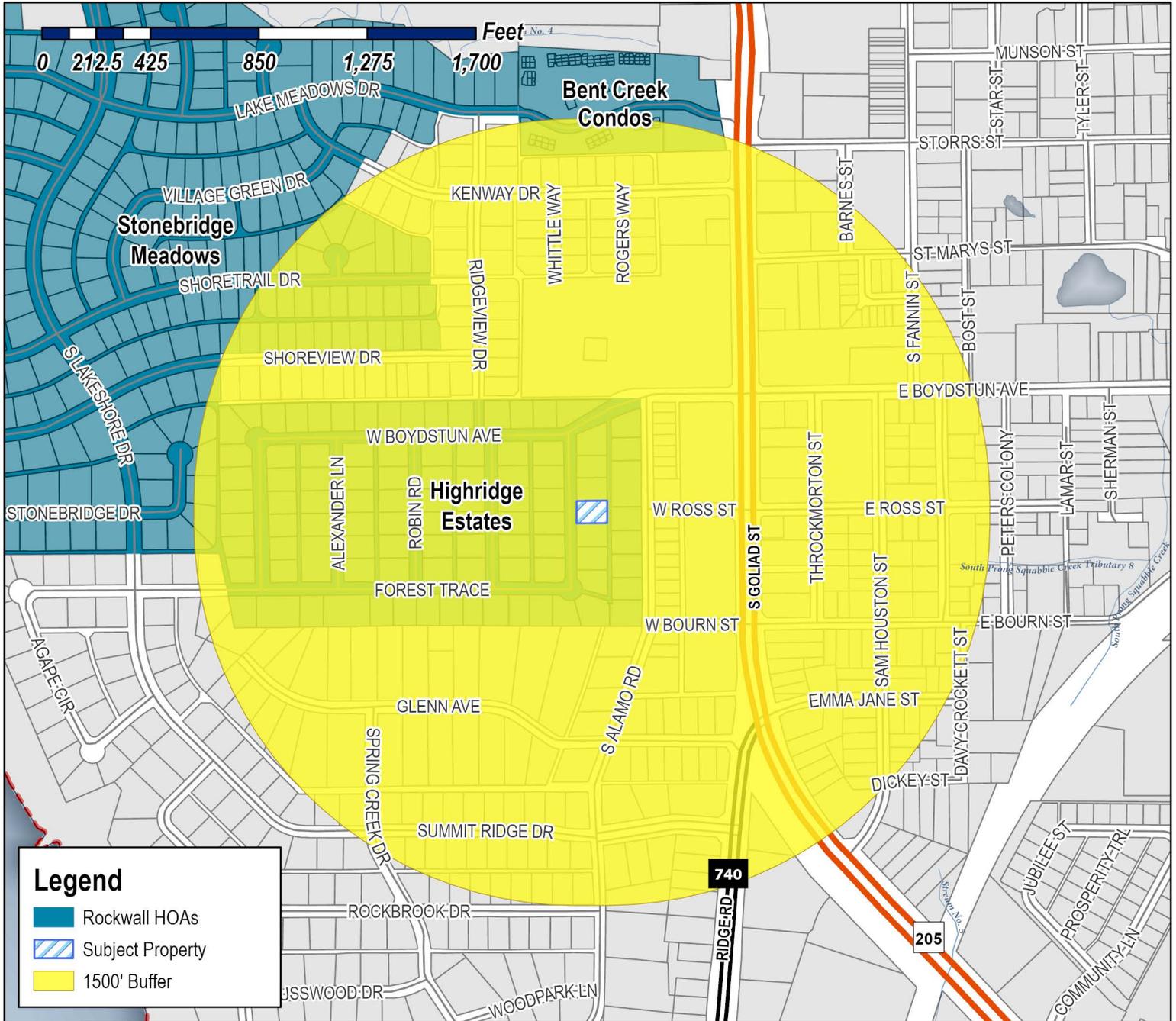




City of Rockwall

Planning & Zoning Department
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Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-031]
Date: Monday, June 19, 2023 3:54:11 PM
Attachments: [HOA Map \(06.16.2023\).pdf](#)
[Public Notice \(P&Z\) - \(06.19.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [June 23, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 11, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 17, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2023-031: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

Thank you,

Melanie Zavala

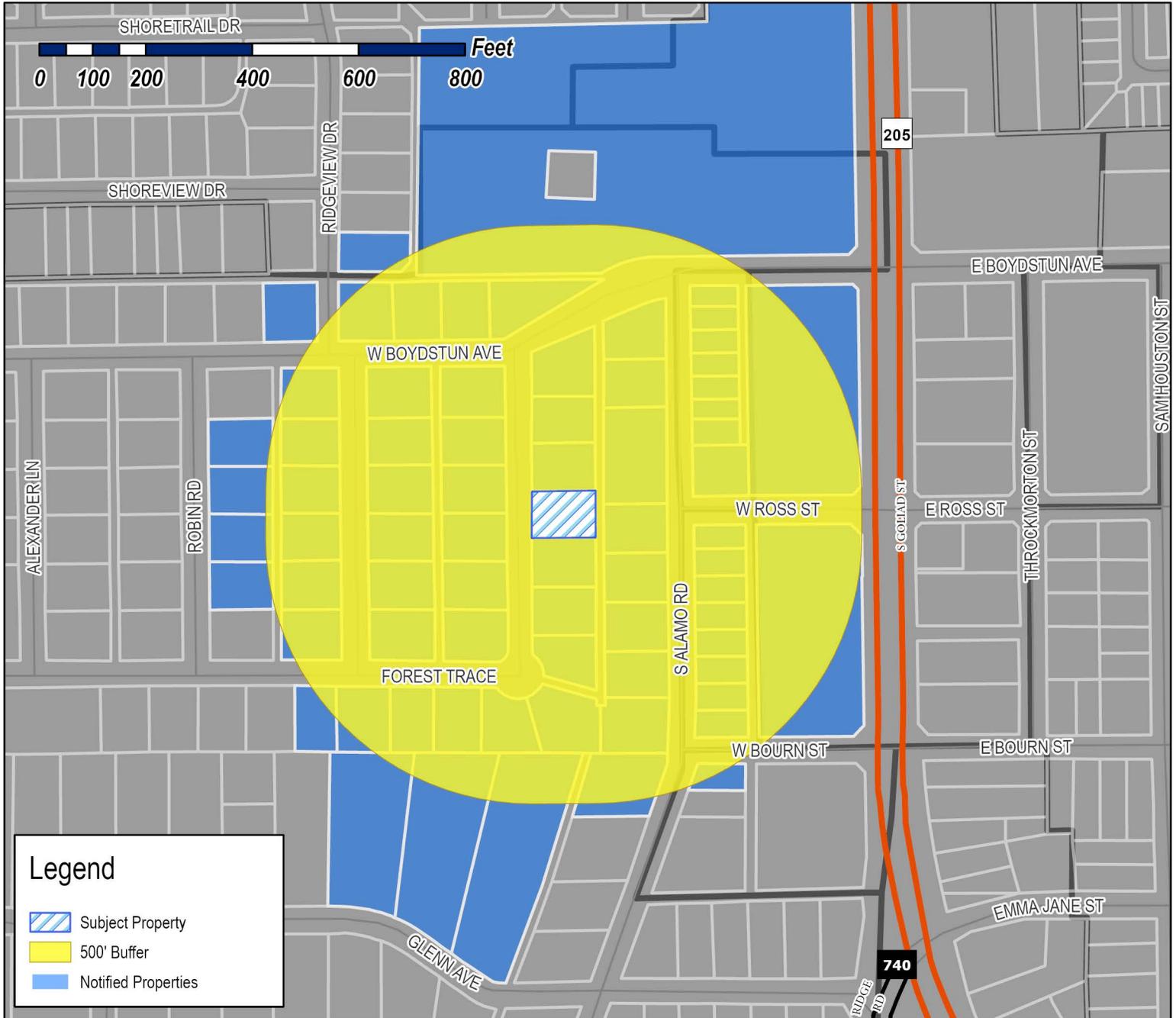
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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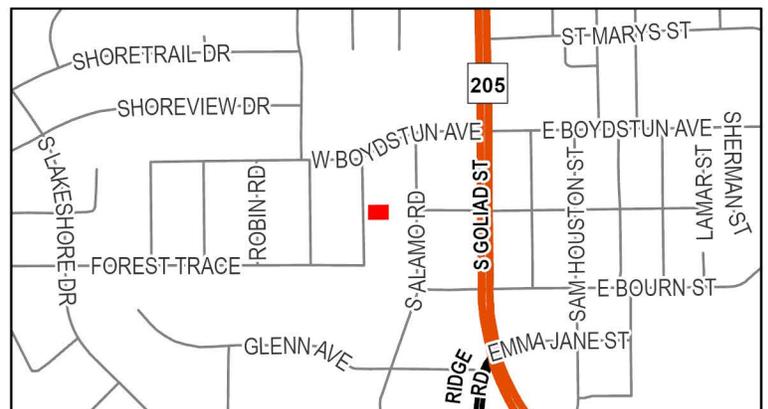
Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023

For Questions on this Case Call: (972) 771-7746



BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

OTTO IRIS
1502 S 1ST ST STE 3
GARLAND, TX 75040

TIJERINA MANUEL
1713 MISSION DR
GARLAND, TX 75042

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

GIBSON CHARLES D AND LINDSAY K
201 FOREST TRACE
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

RUESS JOHN CHARLES & KATHY LEA
202 W BOYDSTUN ST
ROCKWALL, TX 75087

RESIDENT
203 FOREST TRACE
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MARKS RICHARD R & JUNE
TRUSTEES OF THE MARKS FAMILY LIVING TRUST
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

HAYDICKY JOSEPH N
205 FOREST TRACE
ROCKWALL, TX 75087

ANGIEL JOHN H & KAY M
206 GLENN AVE
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011
REX M PREDDY AND PATTI S PREDDY- TRUSTEES
206 WEST BOYDSTUN AVE
ROCKWALL, TX 75087

BROWN BREANNE ELIZABETH STRAWN AND
AARON KRISTOPHER
207 FOREST TRACE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA
208 BOYDSTUN AVE
ROCKWALL, TX 75087

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

ST CLAIR DOUG & KELLY
301 FOREST TRACE
ROCKWALL, TX 75087

COMPTON HAYDEN AND TAYLOR LOVERA
302 W BOYDSTUN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
303 FOREST TRACE
ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON
517 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
602 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST
664 SORITA CIR
HEATH, TX 75032

REED DARLENE
701 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
702 S ALAMO DR
ROCKWALL, TX 75087

CRESPO DENYS AND HALEY
703 FOREST TRACE
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY
703 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

RESIDENT
703 S ALAMO
ROCKWALL, TX 75087

FREED SARAH
704 FOREST TRACE
ROCKWALL, TX 75087

PASSON BRETT A & LAURIE J
704 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
704 S ALAMO DR
ROCKWALL, TX 75087

CULLINS JENNIFER L
705 FOREST TRACE
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST
C/O ROBERT LOUIS AND
705 RIDGEVIEW DR
ROCKWALL, TX 75087

STROMAN ROBERT E & JUDY DANIELS
705 ROBIN RD
ROCKWALL, TX 75087

RESIDENT
705 S ALAMO
ROCKWALL, TX 75087

FORD CLYDE G
706 FOREST TRACE
ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S
706 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

MILLS CHARLES O
706 S ALAMO RD
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &
DAVID SCOTT
707 FOREST TRCE
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE
707 RIDGEVIEW DR
ROCKWALL, TX 75087

FLOWERS DONALD
707 ROBIN DR
ROCKWALL, TX 75087

RESIDENT
707 S ALAMO
ROCKWALL, TX 75087

KELEMEN ANNA V AND
MATTHEW BURBRIDGE
708 FOREST TRACE
ROCKWALL, TX 75087

FLOURA ROSEANN EXECUTOR
708 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
709 FOREST TRACE
ROCKWALL, TX 75087

RESIDENT
709 ROBIN RD
ROCKWALL, TX 75087

FALCON ANN L & LEONARD
709 RIDGEVIEW DR
ROCKWALL, TX 75087

FLEMING LINDA
709 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
710 RIDGEVIEW DR
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY
710 FOREST TRACE
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
710 S GOLIAD ST
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M
711 RIDGEVIEW
ROCKWALL, TX 75087

MUNOZ THOMAS & SUZANNE
711 ROBIN DR
ROCKWALL, TX 75087

POPP KATHLEEN
711 S ALAMO
ROCKWALL, TX 75087

GRAY JIM
712 FOREST TRACE
ROCKWALL, TX 75087

MORI DANIEL J & JUDY
712 RIDGEVIEW DR
ROCKWALL, TX 75087

HILLMAN DORIANN AND
JOEL OTT
713 FOREST TRACE
ROCKWALL, TX 75087

COHEN MARK A
713 RIDGEVIEW DR
ROCKWALL, TX 75087

SHERA DEBORAH K
713 S ALAMO RD
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS
714 FOREST TRCE
ROCKWALL, TX 75087

SIPLE MARIAN C
714 RIDGEVIEW DR
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

MILLS CHARLES O
715 S ALAMO RD
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
807 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
809 ALAMO RD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

CROSBY SILAS SAMUEL AND RACHEL E
8706 WESTFIELD DRIVE
ROWLETT, TX 75088

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
902 S ALAMO
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-031: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-031: SUP for Residential Infill

Please place a check mark on the appropriate line below:

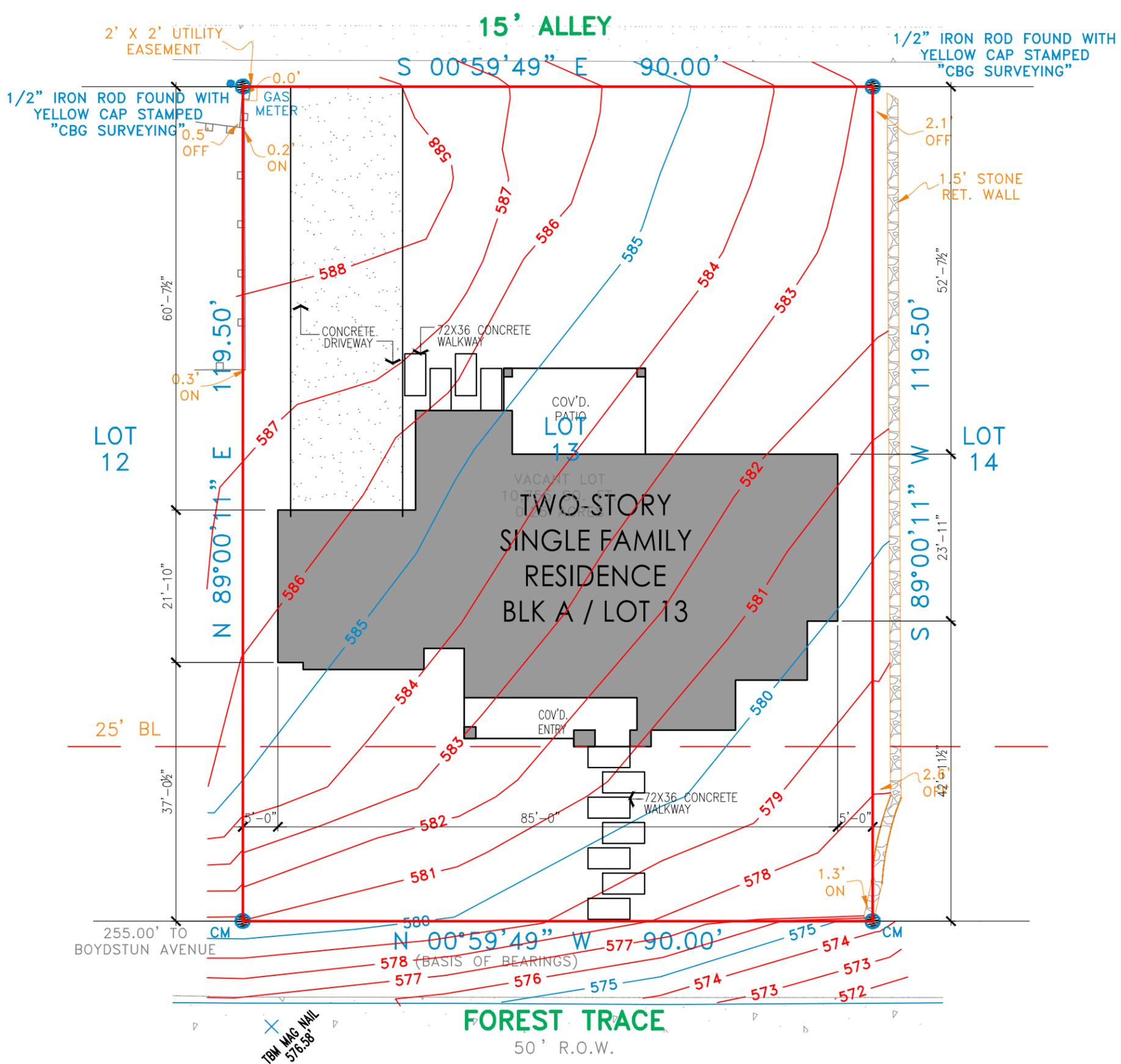
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



709 FOREST TRACE
 BLK A / LOT 13 / HIGH RIDGE STATE
 ROCKWALL, ROCKWALL COUNTY, TX



LEGEND:

- DRAINAGE ARROW
- REAR PATIO AREA

NOTE:
 CROSS HATCHED AREA INDICATES REAR YARD OPEN SPACE.

NOTE:
 BUILDER SHOULD PLANT TREE AS PER COMMUNITY STANDARD AS REQUIRED.

FLATWORK AREA TABULATIONS			
LEAD WALK	APPROX.	18	S.F.
CITY WALK	APPROX.	0	S.F.
DRIVE	APPROX.	970	S.F.
APPROACH	APPROX.	0	S.F.
TOTAL	APPROX.	988	S.F.

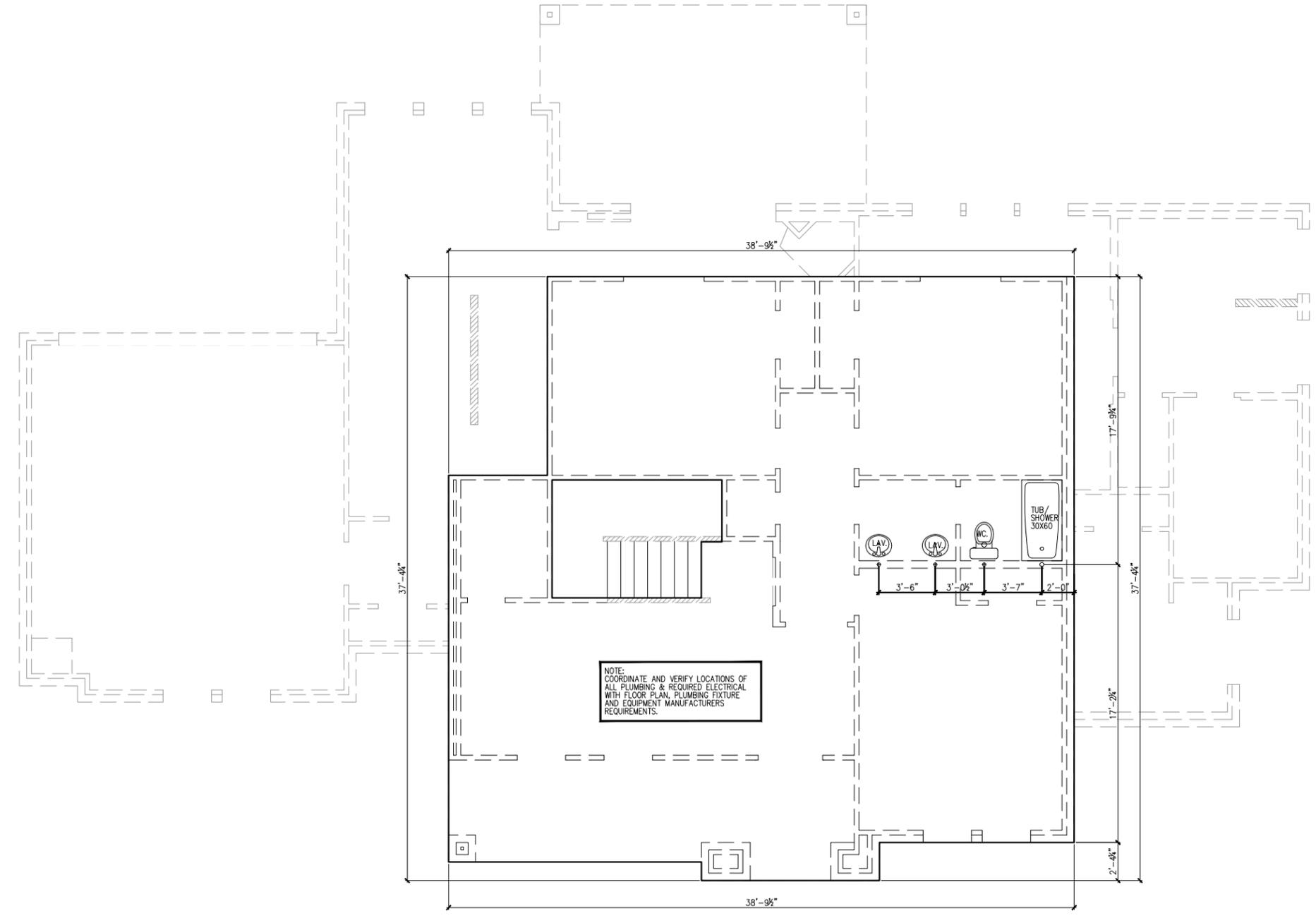
LOT COVERAGE			
LOT AREA	APPROX.	10755	S.F.
MAIN BUILDING AREA	APPROX.	2982	S.F.
LOT COVERAGE	APPROX.	27.73	%

1 SITE PLAN
 SP1 SCALE: 1/16" = 1'-0"

SHEET NO. SP1 OF 13	DRAWN BY: LRN	DESIGN PLAN NAME/NUMBER: 3235 PLAN	NEW RESIDENCE FOR: MANUEL TIJERILLA	ADDRESS: 709 FOREST TRACE ROCKWALL, ROCKWALL COUNTY, TX BLK A/LOT 13/HIGH RIDGE STATE
	ISSUED FOR REVIEW 02-03-2022	ELEVATION: STONE GARAGE: REAR ENTRY		

C:\USERS\LOLA\DESKTOP\MANUEL-HOUSE_3\2021-12-09.DWG

1	SECOND FLOOR PLUMBING PLAN
S1.1	SCALE: 1/8" = 1'-0"



ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 02-03-2022

SHEET NO.
S1.1
 OF
13

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

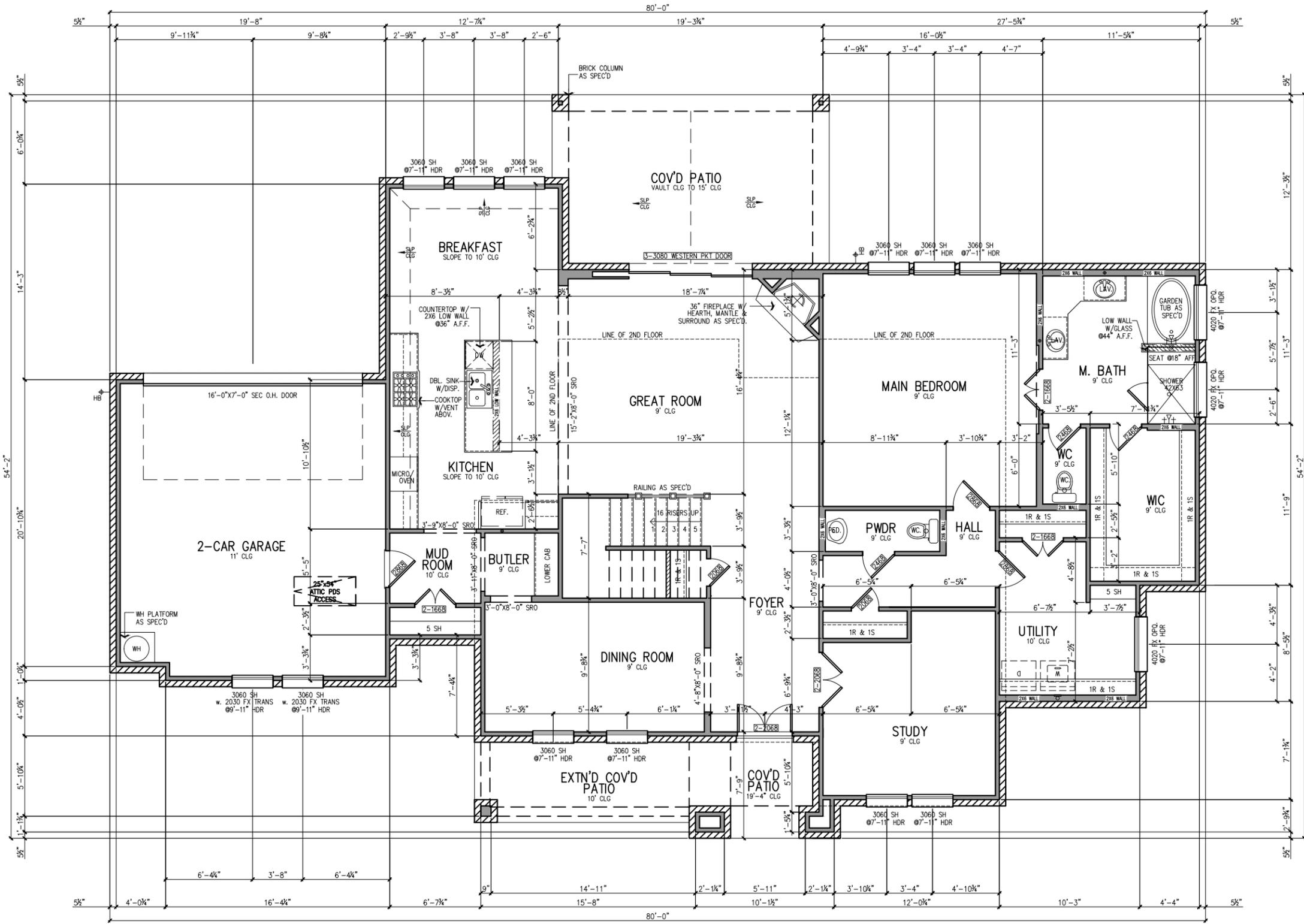
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 02-03-2022

SHEET NO.
 A1
 OF
 13



AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,976 SQ. FT.	2,037 SQ. FT.	2,124 SQ. FT.		
Second Floor	1,010 SQ. FT.	1,076 SQ. FT.	1,082 SQ. FT.		
Total	2,986 SQ. FT.	3,113 SQ. FT.			
Total Living Area			3,206 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
3-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
Total Garage Area	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
Covered Porch	0 SQ. FT.	157 SQ. FT.	159 SQ. FT.		
Covered Patio	0 SQ. FT.	236 SQ. FT.	241 SQ. FT.		
Covered Balcony	0 SQ. FT.	156 SQ. FT.	173 SQ. FT.		
Total Covered Porch/Patio Area	0 SQ. FT.	549 SQ. FT.	573 SQ. FT.		
Total Slab Area			2,982 SQ. FT.		
Total Under Roof			4,237 SQ. FT.		
Total Exterior Frame	3,397 SQ. FT.				
Total Interior Frame		4,091 SQ. FT.			
Overall Width = 80'-0"		Overall Depth = 54'-2"			

1 FIRST FLOOR PLAN
 A1 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

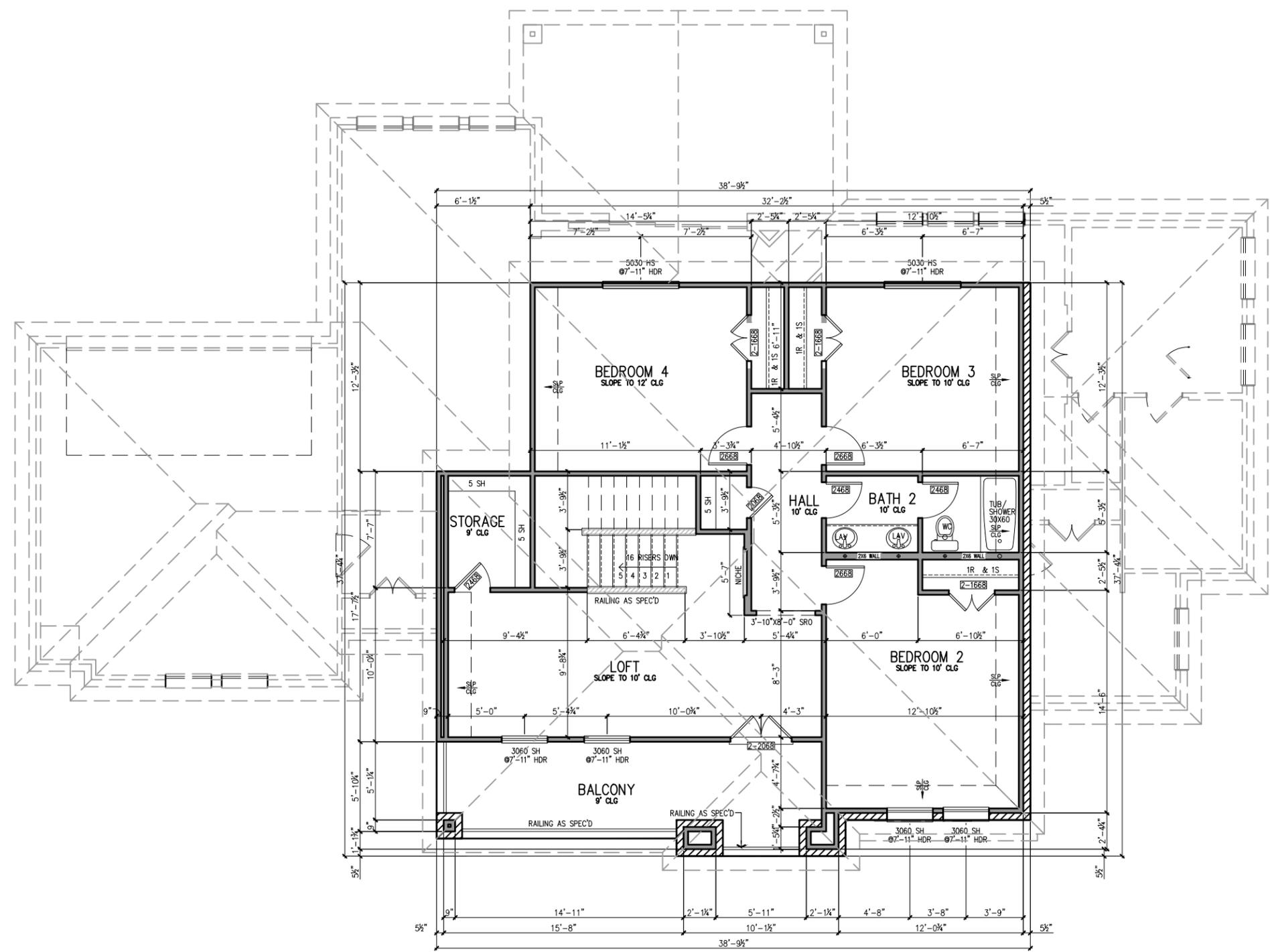
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 02-03-2022

SHEET NO.
 A1.1
 OF
 13

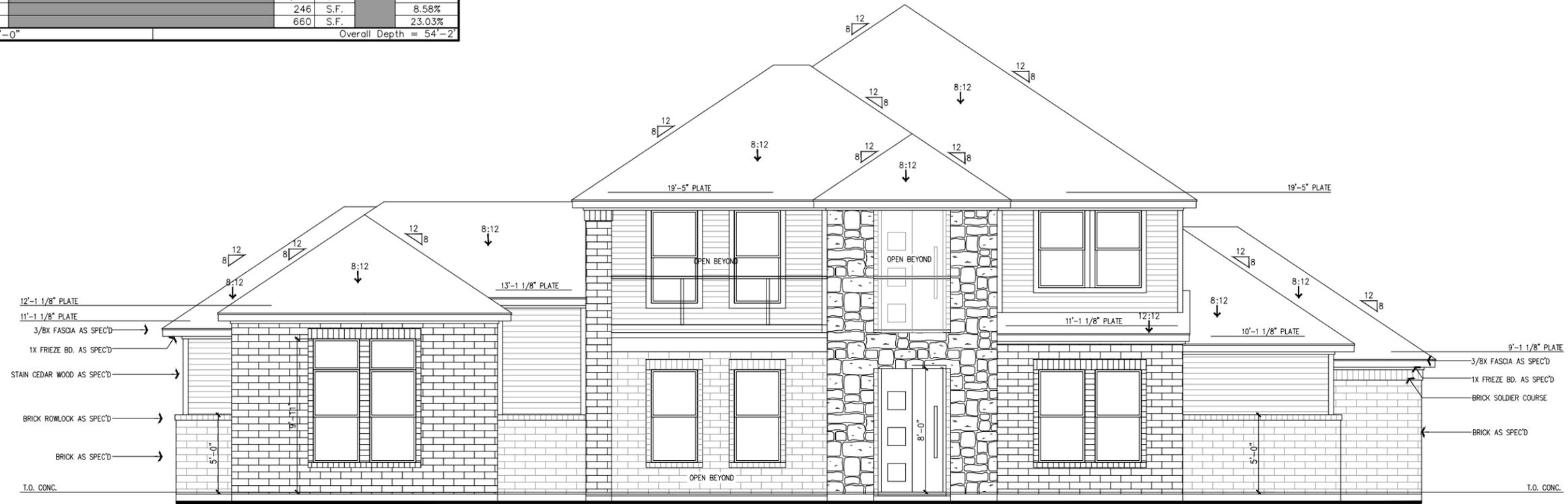


AREA CALCULATIONS_709 FOREST TRACE

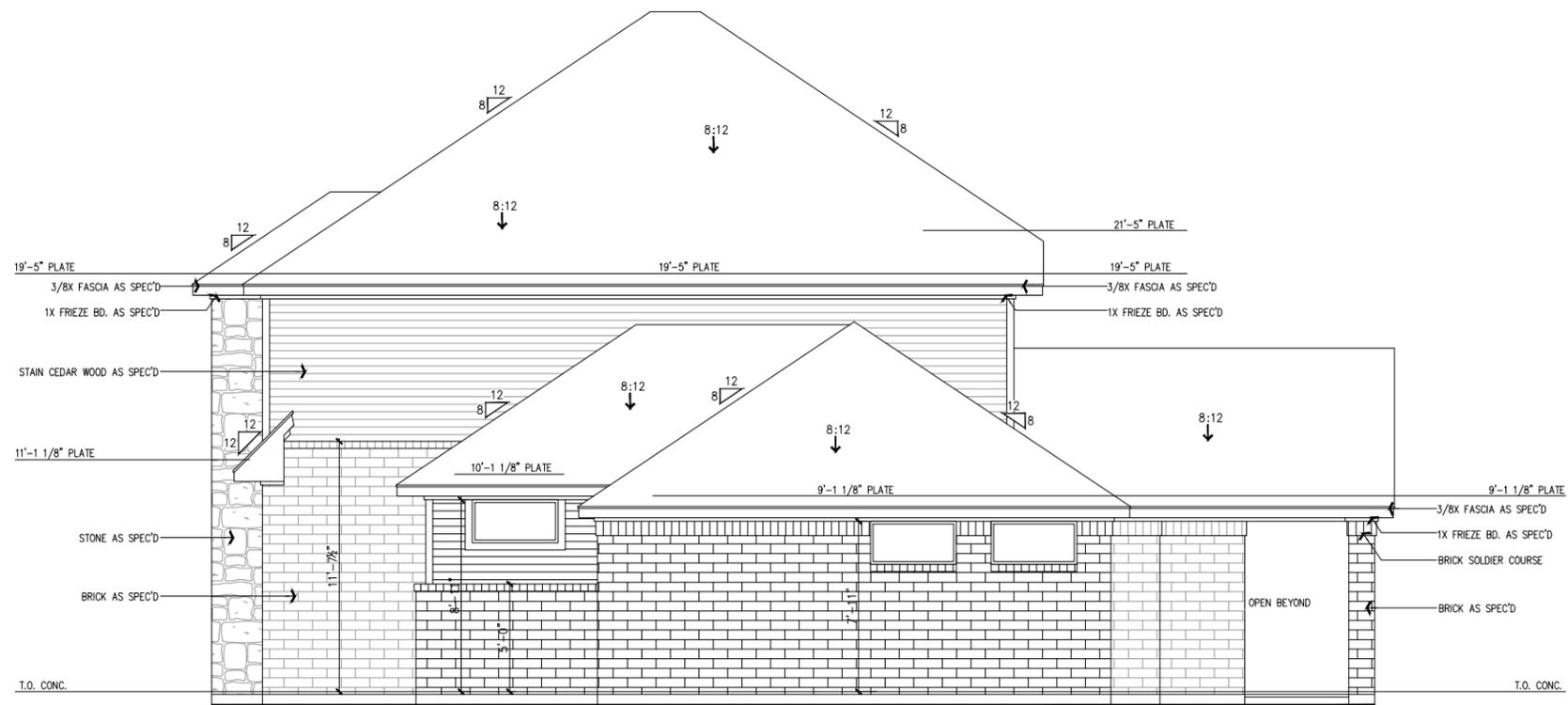
	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,976 SQ. FT.	2,037 SQ. FT.	2,124 SQ. FT.		
Second Floor	1,010 SQ. FT.	1,076 SQ. FT.	1,082 SQ. FT.		
Total	2,986 SQ. FT.	3,113 SQ. FT.			
Total Living Area			3,206 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
3-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
Total Garage Area	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
Covered Porch	0 SQ. FT.	157 SQ. FT.	159 SQ. FT.		
Covered Patio	0 SQ. FT.	236 SQ. FT.	241 SQ. FT.		
Covered Balcony	0 SQ. FT.	156 SQ. FT.	173 SQ. FT.		
Total Covered Porch/Patio Area	0 SQ. FT.	549 SQ. FT.	573 SQ. FT.		
Total Slab Area			2,982 SQ. FT.		
Total Under Roof			4,237 SQ. FT.		
Total Interior Frame	3,397 SQ. FT.				
Total Exterior Frame		4,091 SQ. FT.			
Overall Width = 80'-0"			Overall Depth = 54'-2"		

1 SECOND FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

MATERIAL AREA TABULATIONS		709 FOREST TRACE									
	BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL				
Front Elevation	550	S.F.	61.66%	122	S.F.	13.68%	220	S.F.	24.66%	892	S.F.
Right Side Elevation	400	S.F.	63.80%	82	S.F.	13.08%	145	S.F.	23.13%	627	S.F.
Rear Elevation	500	S.F.	73.53%	0	S.F.	0.00%	180	S.F.	26.47%	680	S.F.
Left Side Elevation	510	S.F.	76.46%	42	S.F.	6.30%	115	S.F.	17.24%	667	S.F.
Total Area	1,960	S.F.		246	S.F.		660	S.F.		2,866	S.F.
Total Brick Area							1,960	S.F.		68.39%	
Total Stone Area				246	S.F.					8.58%	
Total Siding Area						660	S.F.			23.03%	
Overall Width = 80'-0"		Overall Depth = 54'-2"									



1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

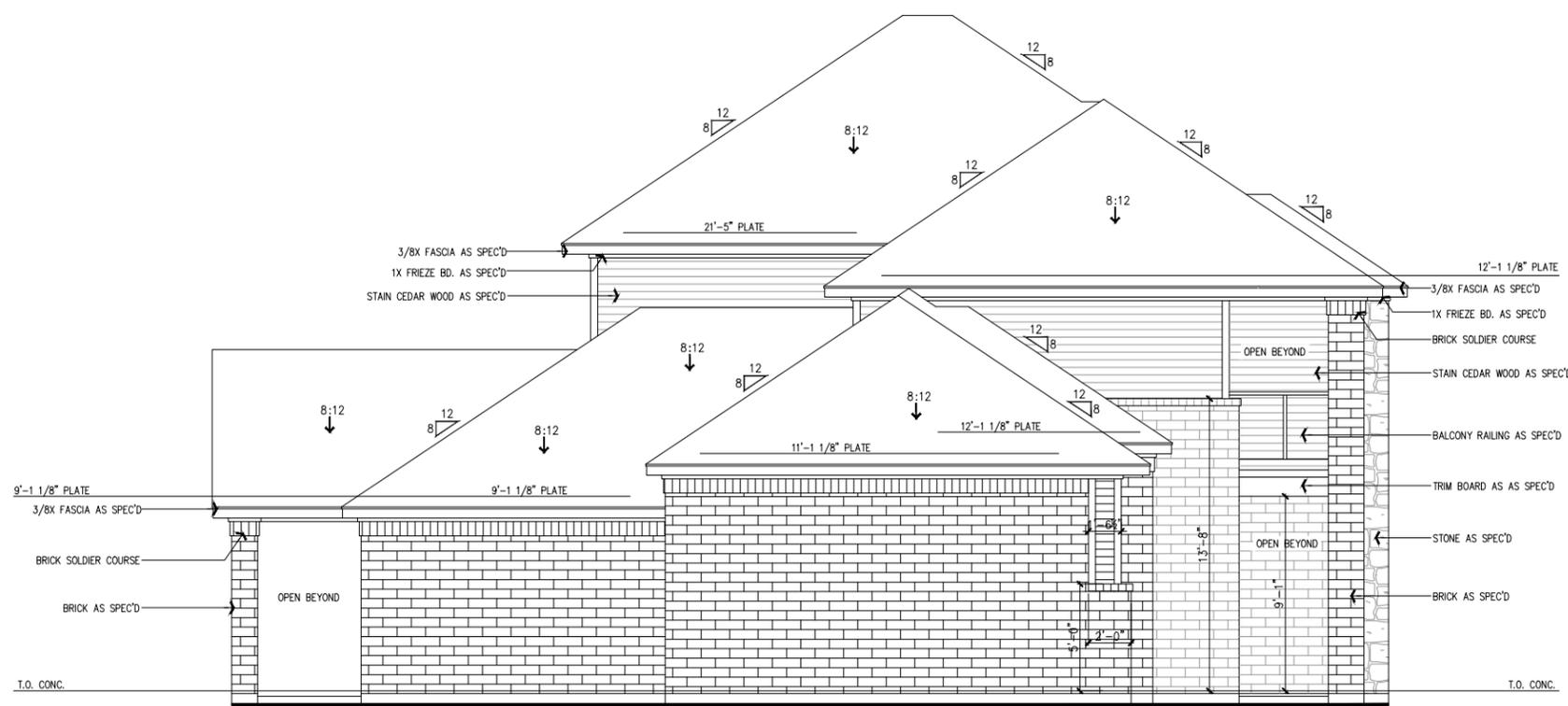
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LRN

ISSUED ON
02-03-2022

SHEET NO.
A3
OF
13



1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
02-03-2022

SHEET NO.
A4
OF
13

GENERAL ROOF NOTES:

ROOF PITCH:
8:12 UNLESS OTHERWISE NOTED.

OVERHANG:
1'-4 1/2" FROM FRAME UNLESS OTHERWISE NOTED.

SLOPE DOWN IN DIRECTION OF ARROWS.

GUTTER & DOWNSPOUT LOCATIONS AS SPECIFIED.

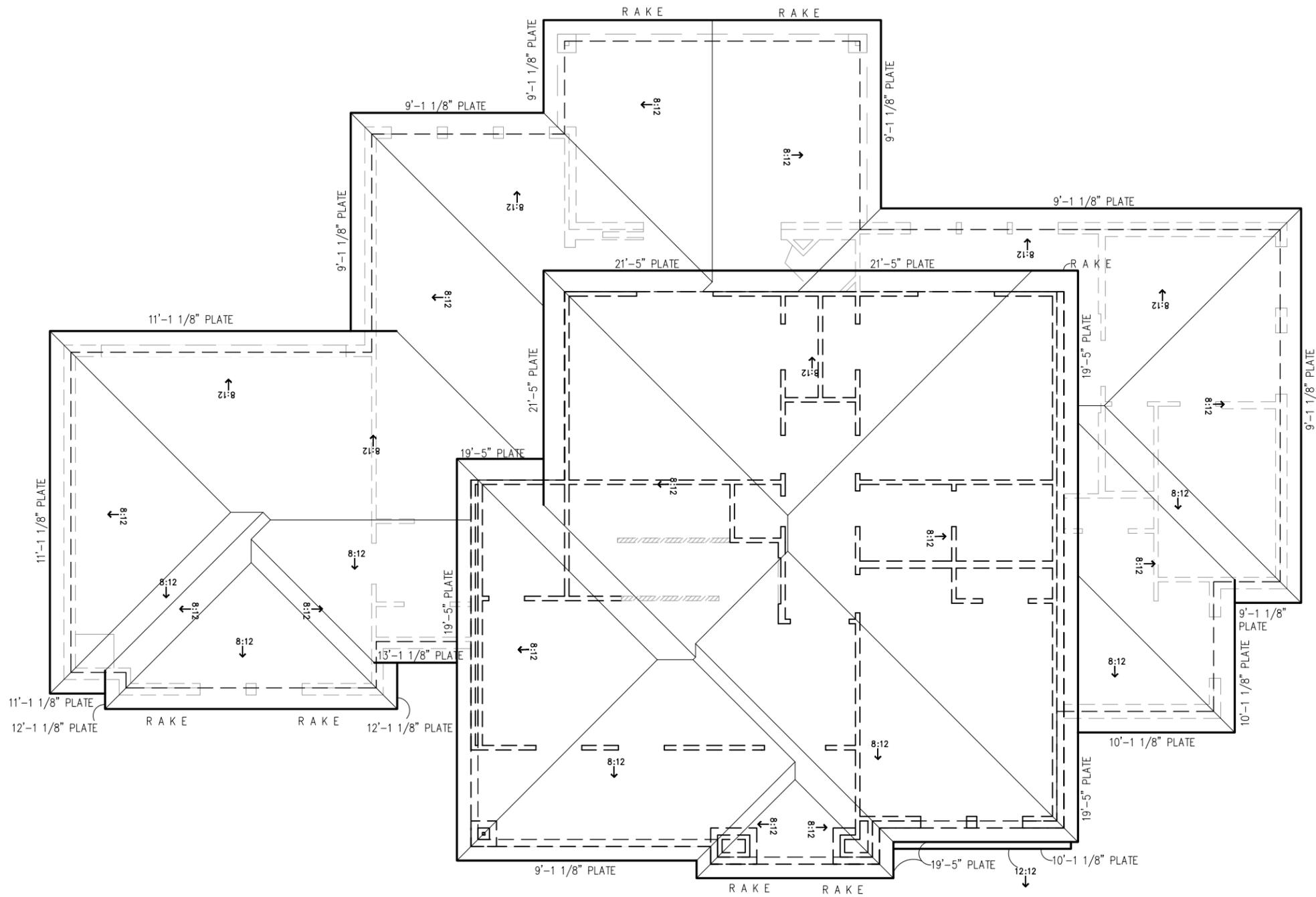
ROOFING MATERIAL AS SPECIFIED.

PRE-FINISHED GALV. METAL FLASHING AND DRIP EDGE SHALL BE USED AT ALL APPLICABLE LOCATIONS.

METAL VENT STACKS SHALL BE PRE-FINISHED OR PAINTED TO MATCH ROOF.

REFER TO ROOF PLAN FOR ROOF SLOPES, PLATE HEIGHTS AND INFORMATION NOT PROVIDED IN THESE NOTES.

PROPER ATTIC VENTILATION REQUIRES THAT THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NO LESS THAN 1/300 PROVIDED THAT A VAPOR RETARDED HAVING A PERMANENCE NOT EXCEEDING ONE PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING OR AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VERIFY VENTILATION REQUIREMENTS WITH ROOF SYSTEM MANUFACTURER



1 ROOF PLAN
A5 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
02-03-2022

SHEET NO.
A5
OF
13



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, and Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick
713 Forest Trace	Single-Family Home	1993	2,509	N/A	Brick
715 Forest Trace	Single-Family Home	1980	4,075	N/A	Brick
714 Forest Trace	Single-Family Home	1981	3,165	N/A	Brick and Siding
712 Forest Trace	Single-Family Home	1985	3,631	384	Brick
710 Forest Trace	Single-Family Home	1979	3,818	N/A	Brick
708 Forest Trace	Single-Family Home	1981	3,016	164	Brick
706 Forest Trace	Single-Family Home	1976	4,103	N/A	Brick
	AVERAGES:	1983	3,638	213	



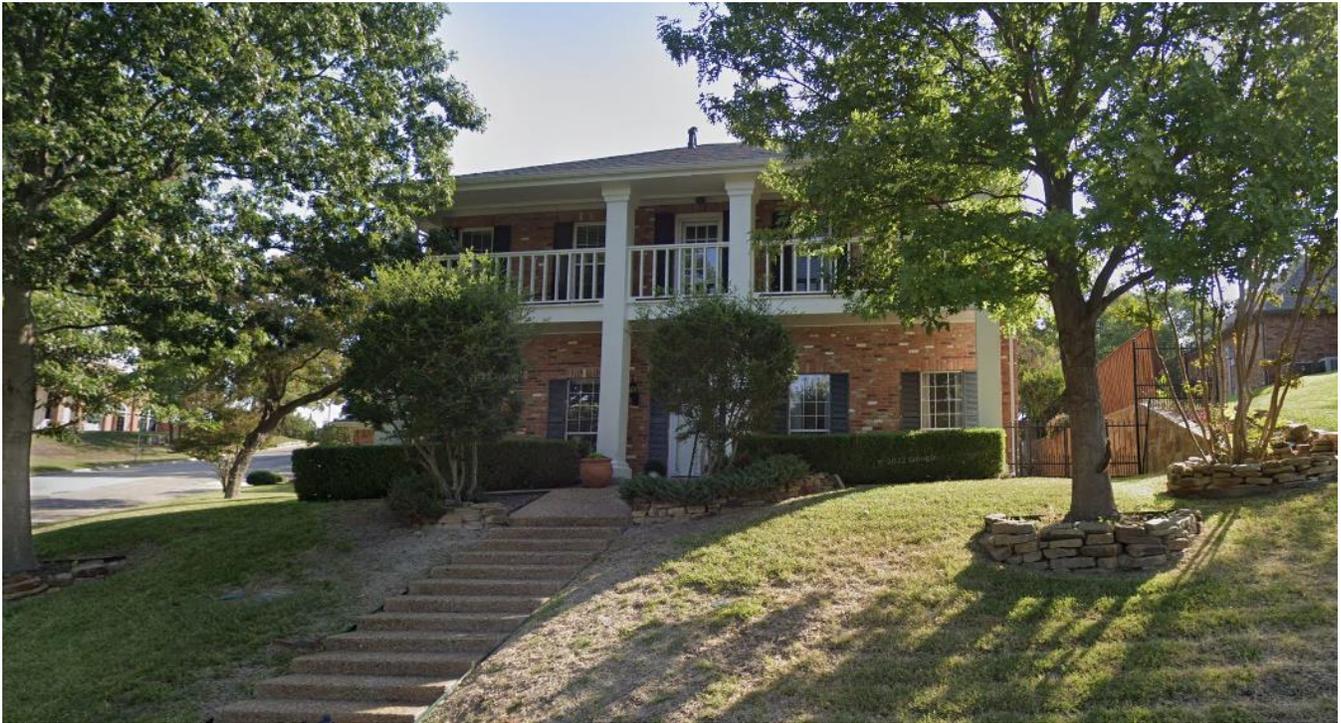
CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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703 Forest Trace



705 Forest Trace



CITY OF ROCKWALL

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707 Forest Trace



709 Forest Trace



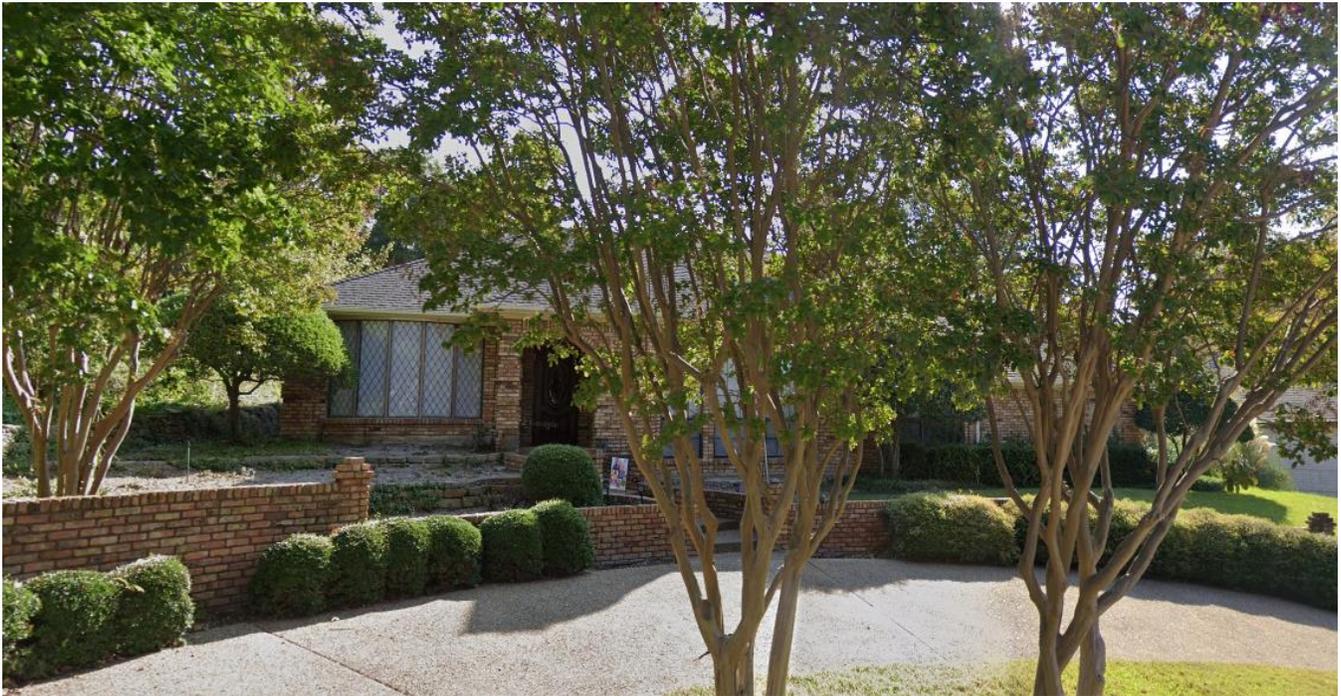
CITY OF ROCKWALL

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711 Forest Trace



713 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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715 Forest Trace



714 Forest Trace



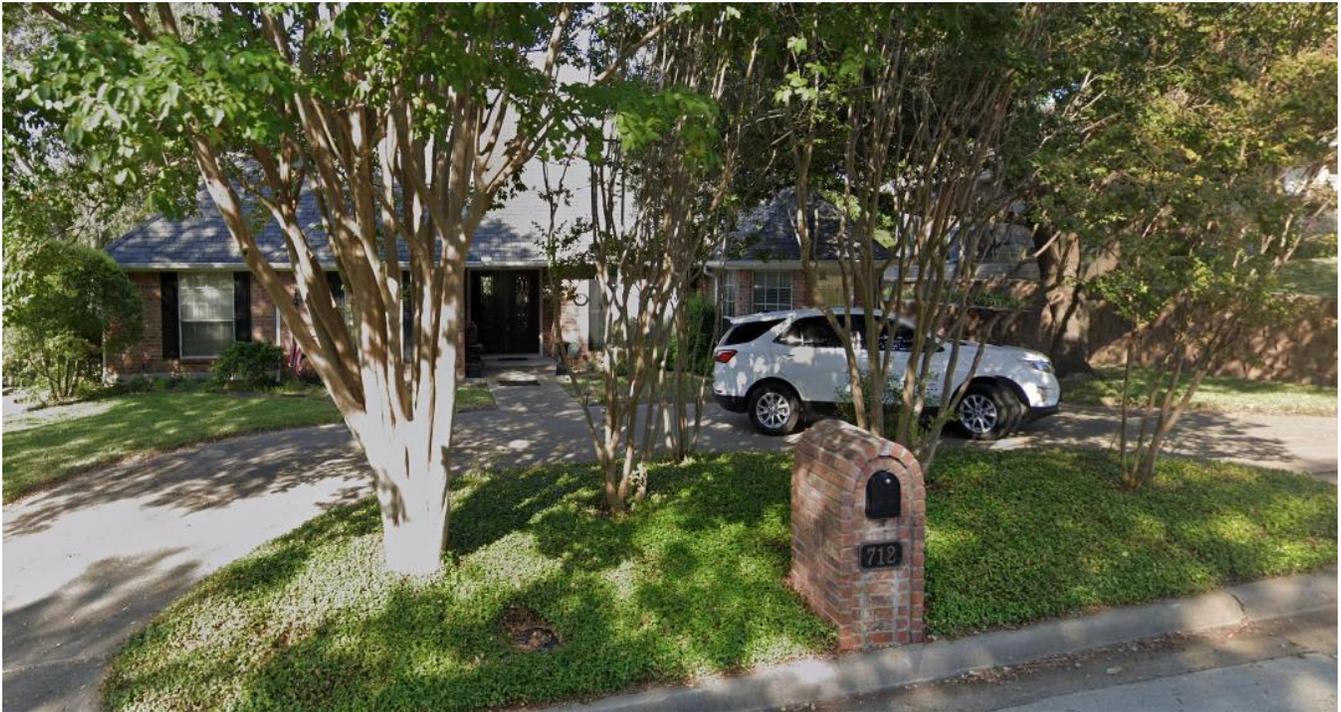
CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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712 Forest Trace



710 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



708 Forest Trace



706 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 13, BLOCK A, HIGHRIDGE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Manuel Tijerina for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as Lot 13, Block A, of the Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7th DAY OF AUGUST, 2023.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: July 17, 2023

2nd Reading: August 7, 2023

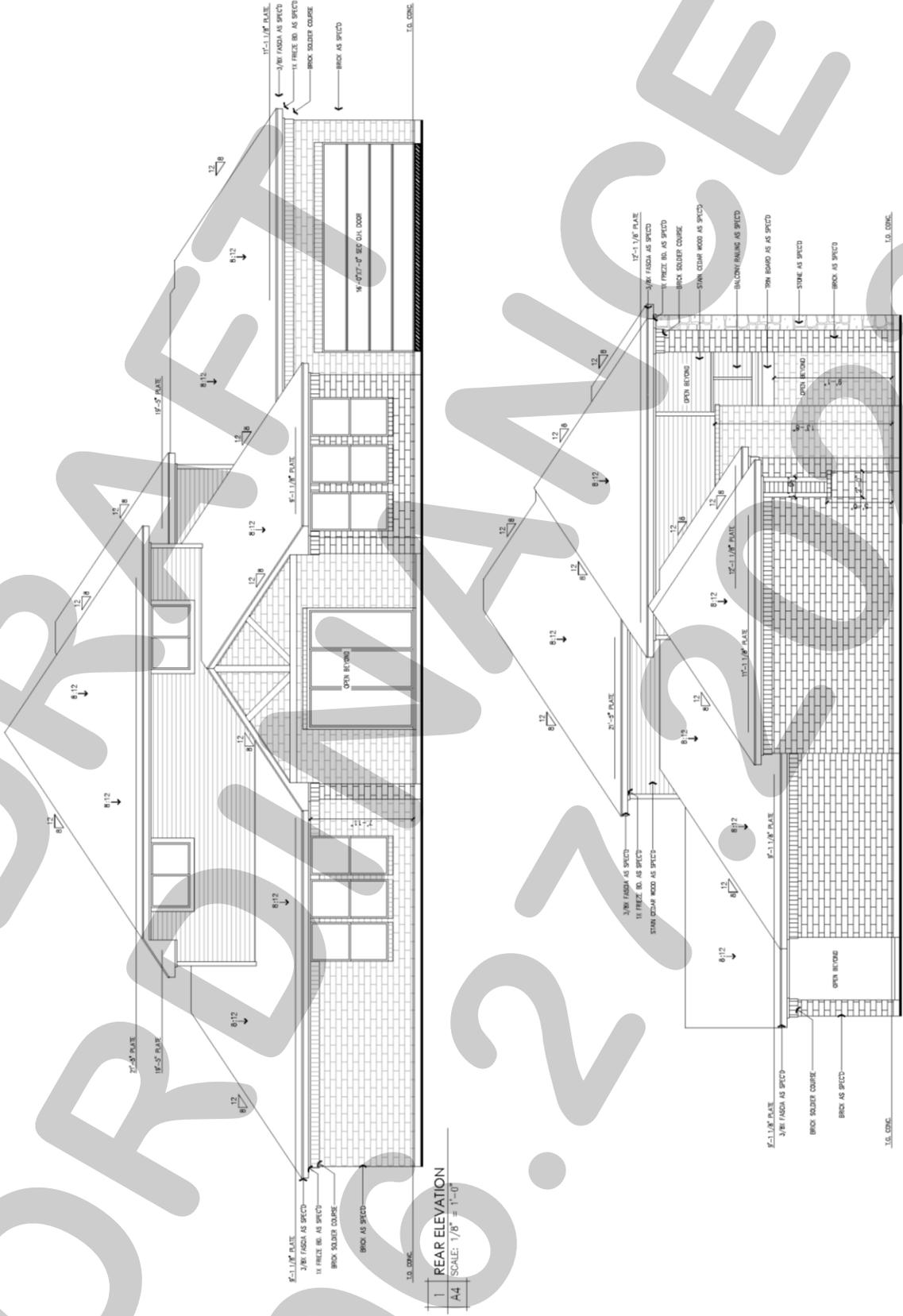
Exhibit 'A':
Location Map

Address: 709 Forest Trace

Legal Description: Lot 13, Block A, Highridge Estates Addition



Exhibit 'C':
Building Elevations



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: July 11, 2023

APPLICANT: Manuel Tijerina

CASE NUMBER: Z2023-031; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 709 Forest Trace*

SUMMARY

Hold a public hearing to discuss and consider a request by Manuel Tijerina for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District. Sometime between January 3, 1972 and May 16, 1983, the subject property was rezoned to Single-Family 10 (SF-10) District, and has remained zoned Single-Family 10 (SF-10) District since this change. The subject property has remained vacant since its annexation.

PURPOSE

The applicant -- *Manuel Tijerina* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 709 Forest Trace. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is are three (3) parcels of land (*i.e. 703, 705, and 707 Forest Trace*) developed with single-family homes. North of these properties is W. Boydston Avenue, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is one (1) parcel of land (*i.e. 202 W. Boydston Avenue*) developed with a single-family home. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are four (4) parcels of land (*i.e. 711, 713, 715, and 201 Forest Trace*) developed with single-family homes. Beyond this is the Lake Meadows Subdivision, which consists of 26 single-family residential lots on 18.53-acres. These properties and this subdivision are zoned Single-Family 10 (SF-10) District. South of this is Glenn Avenue, which is identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property are two (2) parcels of land (*i.e. 706 and 710 S. Alamo Road*) developed with single-family homes that are zoned Single-Family 10 (SF-10) District. East of this is the intersection of S. Alamo Road and W. Ross Street. Both of these roadways are identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond

this are Lots 1-7 of the Amachris Place Subdivision and Lot 5, Block F, of the Sanger Addition which are zoned Planned Development District 12 (PD-12), as well as a portion of the Sanger Subdivision (*i.e. Lots 6-13, Block M, Sanger Addition*) zoned Zero Lot Line 5 (ZL-5) District.

West: Directly west of the subject property are two (2) parcels of land (*i.e. 708 and 710 Forest Trace*) developed with single-family homes. East of these are an additional two (2) parcels of land (*i.e. 707 and 709 Ridgeview Drive*) developed with single-family homes and are zoned Single-Family 10 (SF-10) District. Beyond this is Ridgeview Drive, which is identified an R2 (*i.e. residential, two (2) lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is located in the Highridge Estates Subdivision, which has been in existence since 1972, consists of 99 single-family residential lots, and is more than 90.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Forest Trace compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Forest Trace	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Forest Trace are oriented towards Forest Trace.	The front elevation of the home will face onto Forest Trace.
Year Built	1976-2003	N/A
Building SF on Property	2,509 SF – 4,730 SF	4,237 SF
Building Architecture	Traditional Brick/Stone Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) foot rear yard setback.	10-Feet
Building Materials	HardiBoard/HardiePlank, Brick, and Stone.	Combination of Brick, Stone, and Siding
Paint and Color	White, Cream, Red, Pink, Beige, and Brown	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the rear of the homes and not visible from Forest Trace.	The garage will be located in the rear of the proposed home.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Forest Trace and the proposed building elevations in the attached packet. The approval of this

request is a discretionary decision to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On June 22, 2023, staff mailed 85 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Bent Creek Condos, Stonebridge Meadows, and Highridge Estates Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *Ally*

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 709 Forest Trace

SUBDIVISION High Ridge Estates

LOT 13 BLOCK A

GENERAL LOCATION Scholisel & Boydston Ave

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE Vgent

PROPOSED ZONING _____

PROPOSED USE New Home Construction

ACREAGE _____

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Manuel Tijerina

APPLICANT _____

CONTACT PERSON Manuel Tijerina

CONTACT PERSON Olivia Pasadas

ADDRESS 7922 Garner Rd

ADDRESS 41 Anna Leis Dr

CITY, STATE & ZIP Rowlett, TX 75088

CITY, STATE & ZIP Waxahatchie TX 75167

PHONE 214-773-9971

PHONE 214 284 5571

E-MAIL manueltijerina70@gmail.com

E-MAIL OlPasadas@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Manuel Tijerina [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF June, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF June, 2023

OWNER'S SIGNATURE Manuel Tijerina

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Debra Camacho





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

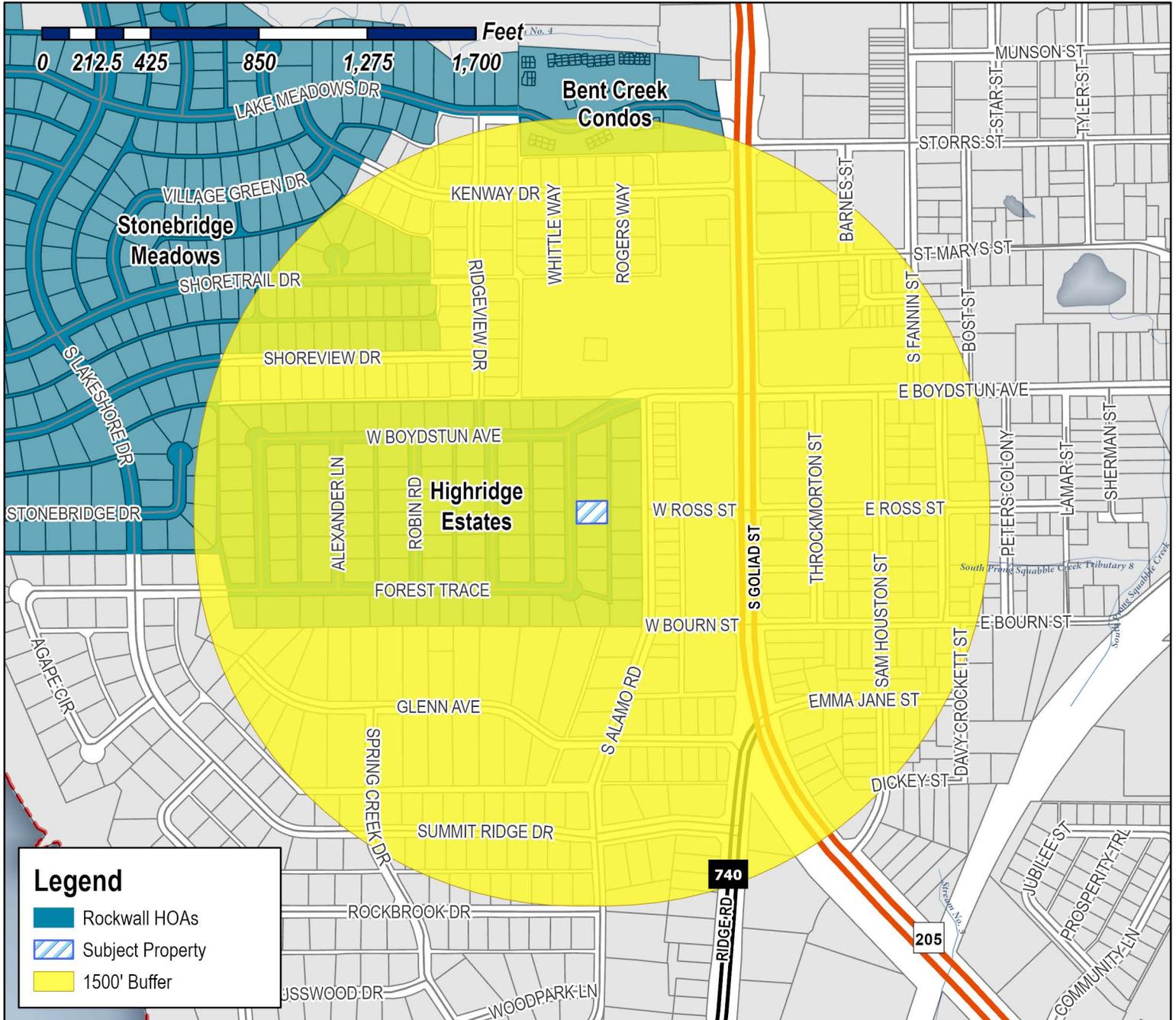




City of Rockwall

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Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-031]
Date: Monday, June 19, 2023 3:54:11 PM
Attachments: [HOA Map \(06.16.2023\).pdf](#)
[Public Notice \(P&Z\) - \(06.19.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [June 23, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 11, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 17, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2023-031: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

Thank you,

Melanie Zavala

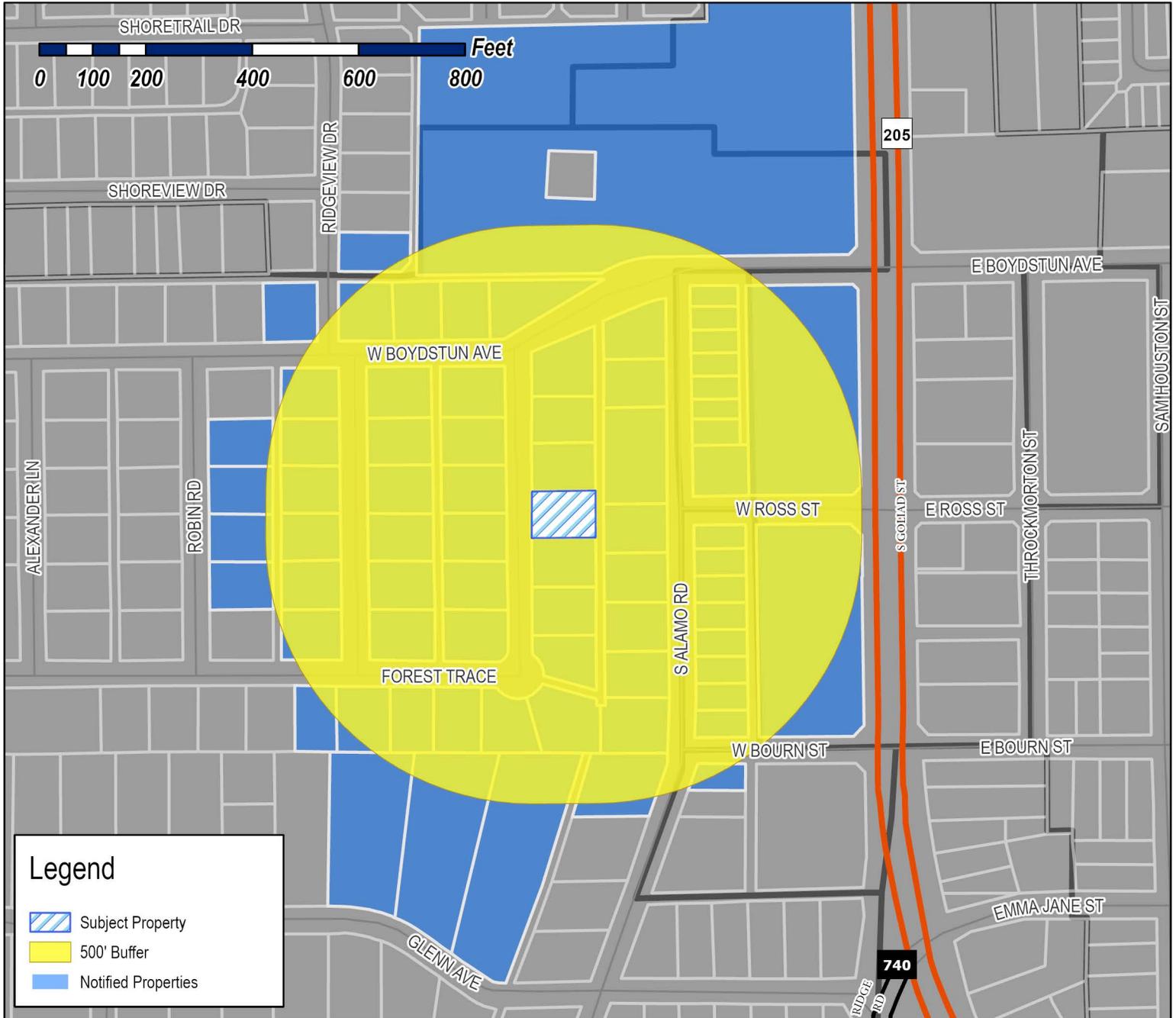
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023

For Questions on this Case Call: (972) 771-7746



BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

OTTO IRIS
1502 S 1ST ST STE 3
GARLAND, TX 75040

TIJERINA MANUEL
1713 MISSION DR
GARLAND, TX 75042

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

GIBSON CHARLES D AND LINDSAY K
201 FOREST TRACE
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

RUESS JOHN CHARLES & KATHY LEA
202 W BOYDSTUN ST
ROCKWALL, TX 75087

RESIDENT
203 FOREST TRACE
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPAY
204 GLENN AVE
ROCKWALL, TX 75087

MARKS RICHARD R & JUNE
TRUSTEES OF THE MARKS FAMILY LIVING TRUST
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

HAYDICKY JOSEPH N
205 FOREST TRACE
ROCKWALL, TX 75087

ANGIEL JOHN H & KAY M
206 GLENN AVE
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011
REX M PREDDY AND PATTI S PREDDY- TRUSTEES
206 WEST BOYDSTUN AVE
ROCKWALL, TX 75087

BROWN BREANNE ELIZABETH STRAWN AND
AARON KRISTOPHER
207 FOREST TRACE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA
208 BOYDSTUN AVE
ROCKWALL, TX 75087

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

ST CLAIR DOUG & KELLY
301 FOREST TRACE
ROCKWALL, TX 75087

COMPTON HAYDEN AND TAYLOR LOVERA
302 W BOYDSTUN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
303 FOREST TRACE
ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON
517 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
602 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST
664 SORITA CIR
HEATH, TX 75032

REED DARLENE
701 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
702 S ALAMO DR
ROCKWALL, TX 75087

CRESPO DENYS AND HALEY
703 FOREST TRACE
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY
703 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

RESIDENT
703 S ALAMO
ROCKWALL, TX 75087

FREED SARAH
704 FOREST TRACE
ROCKWALL, TX 75087

PASSON BRETT A & LAURIE J
704 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
704 S ALAMO DR
ROCKWALL, TX 75087

CULLINS JENNIFER L
705 FOREST TRACE
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST
C/O ROBERT LOUIS AND
705 RIDGEVIEW DR
ROCKWALL, TX 75087

STROMAN ROBERT E & JUDY DANIELS
705 ROBIN RD
ROCKWALL, TX 75087

RESIDENT
705 S ALAMO
ROCKWALL, TX 75087

FORD CLYDE G
706 FOREST TRACE
ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S
706 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

MILLS CHARLES O
706 S ALAMO RD
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &
DAVID SCOTT
707 FOREST TRCE
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE
707 RIDGEVIEW DR
ROCKWALL, TX 75087

FLOWERS DONALD
707 ROBIN DR
ROCKWALL, TX 75087

RESIDENT
707 S ALAMO
ROCKWALL, TX 75087

KELEMEN ANNA V AND
MATTHEW BURBRIDGE
708 FOREST TRACE
ROCKWALL, TX 75087

FLOURA ROSEANN EXECUTOR
708 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
709 FOREST TRACE
ROCKWALL, TX 75087

RESIDENT
709 ROBIN RD
ROCKWALL, TX 75087

FALCON ANN L & LEONARD
709 RIDGEVIEW DR
ROCKWALL, TX 75087

FLEMING LINDA
709 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
710 RIDGEVIEW DR
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY
710 FOREST TRACE
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
710 S GOLIAD ST
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M
711 RIDGEVIEW
ROCKWALL, TX 75087

MUNOZ THOMAS & SUZANNE
711 ROBIN DR
ROCKWALL, TX 75087

POPP KATHLEEN
711 S ALAMO
ROCKWALL, TX 75087

GRAY JIM
712 FOREST TRACE
ROCKWALL, TX 75087

MORI DANIEL J & JUDY
712 RIDGEVIEW DR
ROCKWALL, TX 75087

HILLMAN DORIANN AND
JOEL OTT
713 FOREST TRACE
ROCKWALL, TX 75087

COHEN MARK A
713 RIDGEVIEW DR
ROCKWALL, TX 75087

SHERA DEBORAH K
713 S ALAMO RD
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS
714 FOREST TRCE
ROCKWALL, TX 75087

SIPLE MARIAN C
714 RIDGEVIEW DR
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

MILLS CHARLES O
715 S ALAMO RD
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
807 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
809 ALAMO RD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

CROSBY SILAS SAMUEL AND RACHEL E
8706 WESTFIELD DRIVE
ROWLETT, TX 75088

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
902 S ALAMO
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-031: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-031: SUP for Residential Infill

Please place a check mark on the appropriate line below:

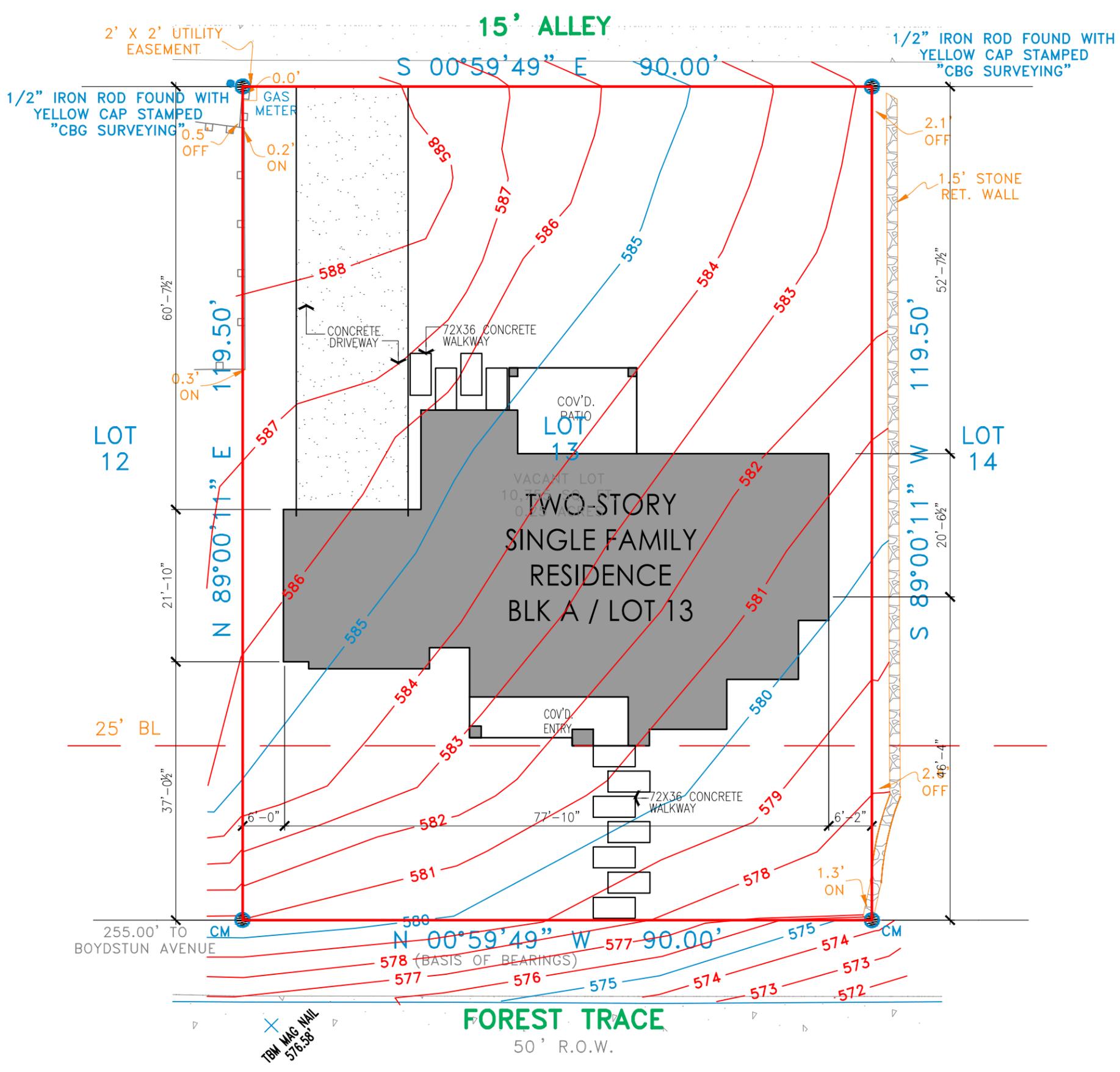
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



709 FOREST TRACE
 BLK A / LOT 13 / HIGH RIDGE STATE
 ROCKWALL, ROCKWALL COUNTY, TX



LEGEND:

- DRAINAGE ARROW
- REAR PATIO AREA
- NOTE: CROSS HATCHED AREA INDICATES REAR YARD OPEN SPACE.
- NOTE: BUILDER SHOULD PLANT TREE AS PER COMMUNITY STANDARD AS REQUIRED.

FLATWORK AREA TABULATIONS			
LEAD WALK	APPROX.	18	S.F.
CITY WALK	APPROX.	0	S.F.
DRIVE	APPROX.	970	S.F.
APPROACH	APPROX.	0	S.F.
TOTAL	APPROX.	988	S.F.

LOT COVERAGE			
LOT AREA	APPROX.	10755	S.F.
MAIN BUILDING AREA	APPROX.	2982	S.F.
LOT COVERAGE	APPROX.	27.73	%

1 SITE PLAN
 SP1 SCALE: 1/16" = 1'-0"

SHEET NO. SP1 OF 13	DRAWN BY: LRN	DESIGN PLAN NAME/NUMBER: 3235 PLAN	NEW RESIDENCE FOR: MANUEL TIJERILLA	ADDRESS: 709 FOREST TRACE ROCKWALL, ROCKWALL COUNTY, TX BLK A/LOT 13/HIGH RIDGE STATE
	ISSUED FOR REVIEW 06-28-2023	ELEVATION: STONE GARAGE: REAR ENTRY		

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

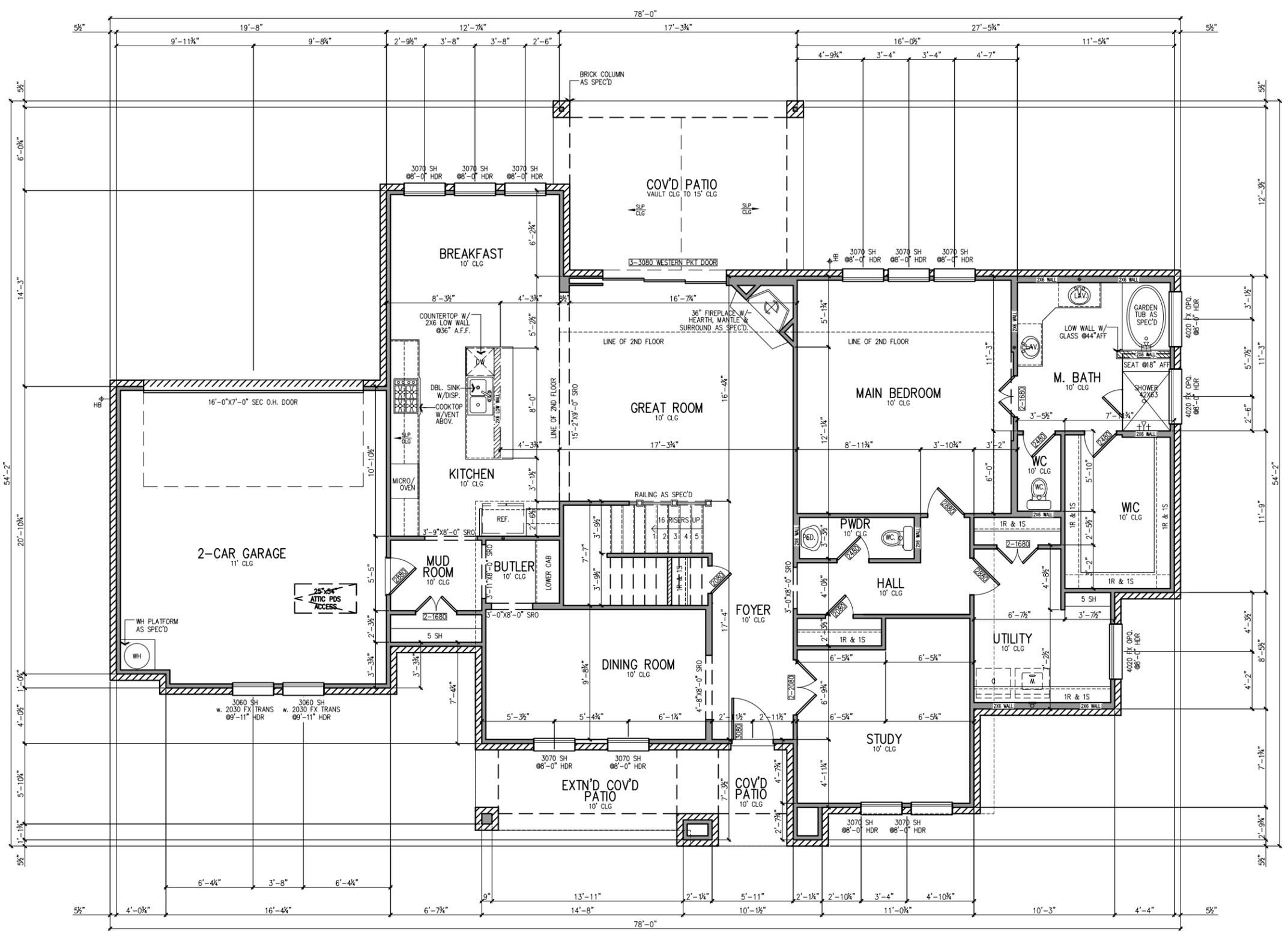
NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
A1
 OF
13



AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911	SQ. FT. 1,970	SQ. FT. 2,055	SQ. FT.	
Second Floor	981	SQ. FT. 1,046	SQ. FT. 1,052	SQ. FT.	
Total	2,892	SQ. FT. 3,016	SQ. FT. 3,107	SQ. FT.	
Total Living Area			3,107	SQ. FT.	
1-Car Garage	0	SQ. FT. 0	SQ. FT. 0	SQ. FT.	
2-Car Garage	411	SQ. FT. 429	SQ. FT. 458	SQ. FT.	
3-Car Garage	0	SQ. FT. 0	SQ. FT. 0	SQ. FT.	
Total Garage Area	411	SQ. FT. 429	SQ. FT. 458	SQ. FT.	
Covered Porch	0	SQ. FT. 147	SQ. FT. 149	SQ. FT.	
Covered Patio	0	SQ. FT. 211	SQ. FT. 217	SQ. FT.	
Covered Balcony	0	SQ. FT. 151	SQ. FT. 167	SQ. FT.	
Total Covered Porch/Patio Area	0	SQ. FT. 509	SQ. FT. 533	SQ. FT.	
Total Slab Area			2,879	SQ. FT.	
Total Under Roof			4,098	SQ. FT.	
Total Interior Frame	3,303	SQ. FT.			
Total Exterior Frame		3,954	SQ. FT.		
Overall Width = 78'-0"			Overall Depth = 54'-2"		

1 FIRST FLOOR PLAN
A1 SCALE: 1/8" = 1'-0"

C:\USERS\JUANNE.RIVERA\LOCAL\DOWNLOADS\2022-02-03_709 FOREST TRACE.DWG

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

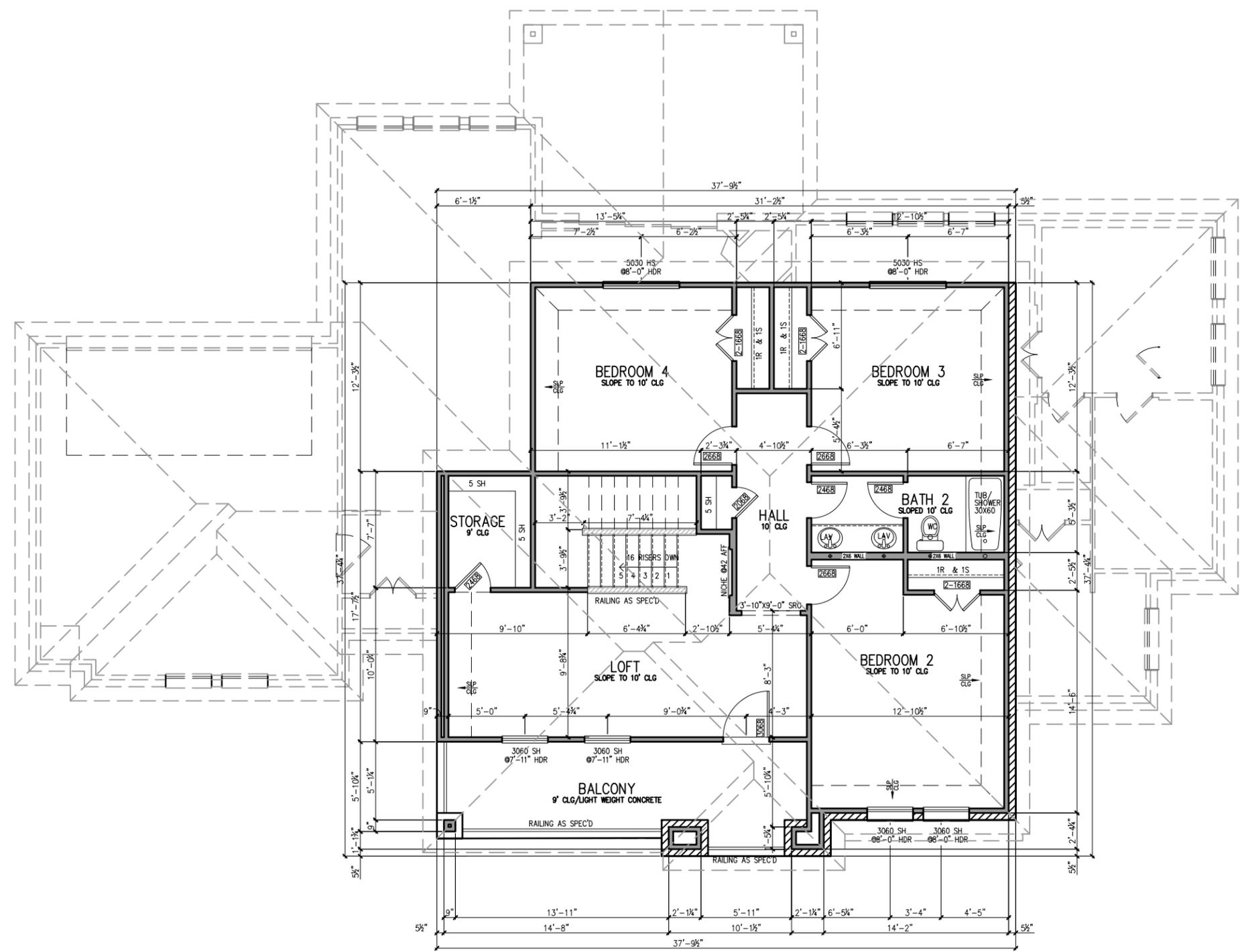
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
 A1.1
 OF
 13



AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911 SQ. FT.	1,970 SQ. FT.	2,055 SQ. FT.		
Second Floor	981 SQ. FT.	1,046 SQ. FT.	1,052 SQ. FT.		
Total	2,892 SQ. FT.	3,016 SQ. FT.			
Total Living Area			3,107 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
3-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
Total Garage Area	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
Covered Porch	0 SQ. FT.	147 SQ. FT.	149 SQ. FT.		
Covered Patio	0 SQ. FT.	211 SQ. FT.	217 SQ. FT.		
Covered Balcony	0 SQ. FT.	151 SQ. FT.	167 SQ. FT.		
Total Covered Porch/Patio Area	0 SQ. FT.	509 SQ. FT.	533 SQ. FT.		
Total Slab Area			2,879 SQ. FT.		
Total Under Roof			4,098 SQ. FT.		
Total Interior Frame	3,303 SQ. FT.				
Total Exterior Frame		3,954 SQ. FT.			
Overall Width = 78'-0"			Overall Depth = 54'-2"		

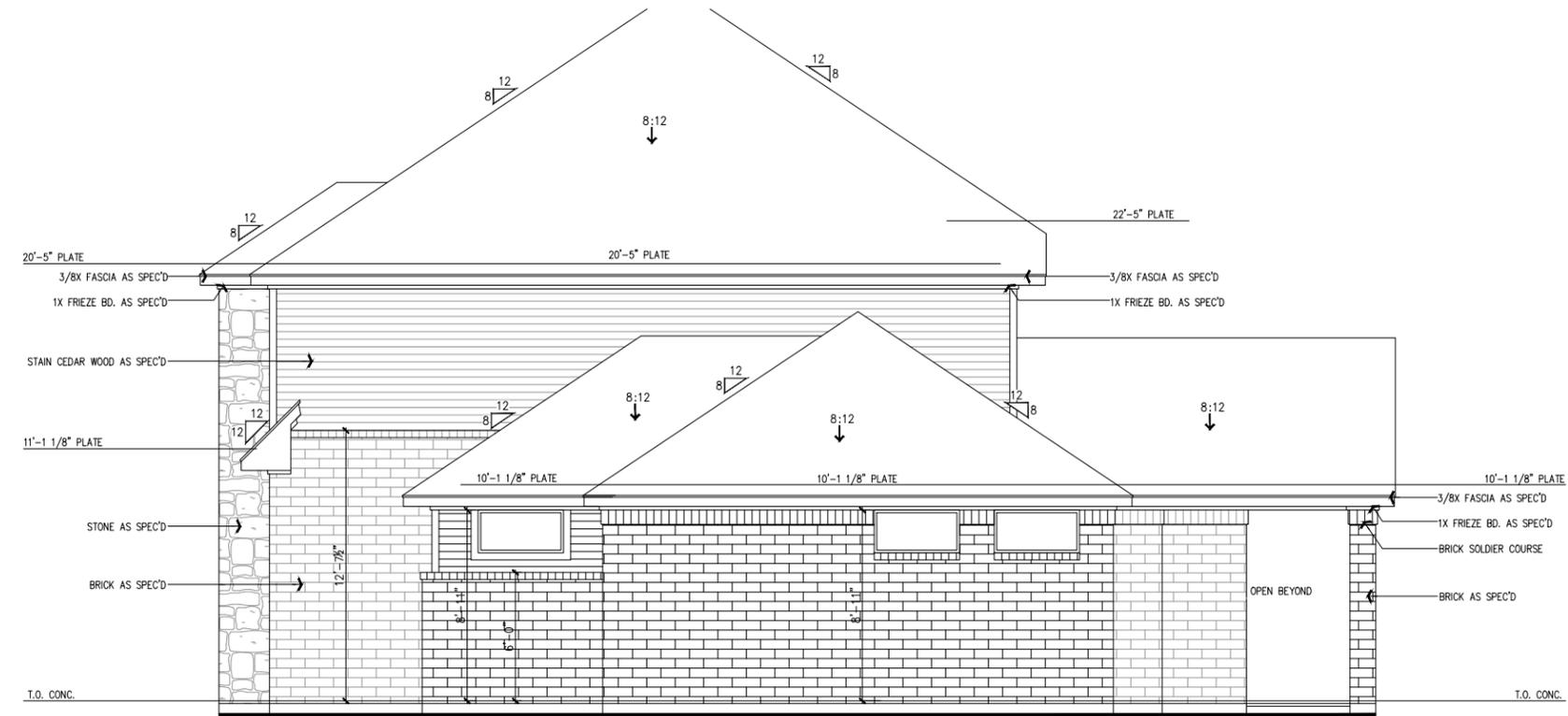
1 SECOND FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

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MATERIAL AREA TABULATIONS		709 FOREST TRACE									
		BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL			
Front Elevation	487	S.F.	53.22%	256	S.F.	27.98%	172	S.F.	18.80%	915	S.F.
Right Side Elevation	413	S.F.	67.48%	44	S.F.	7.19%	155	S.F.	25.33%	612	S.F.
Rear Elevation	458	S.F.	71.23%	0	S.F.	0.00%	185	S.F.	28.77%	643	S.F.
Left Side Elevation	489	S.F.	78.37%	22	S.F.	3.53%	113	S.F.	18.11%	624	S.F.
Total Area	1,847	S.F.		322	S.F.		625	S.F.		2,794	S.F.
Total Brick Area							1,847	S.F.		66.11%	
Total Stone Area				322	S.F.					11.52%	
Total Siding Area						625	S.F.			22.37%	
Overall Width = 78'-0"		Overall Depth = 54'-2"									



1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

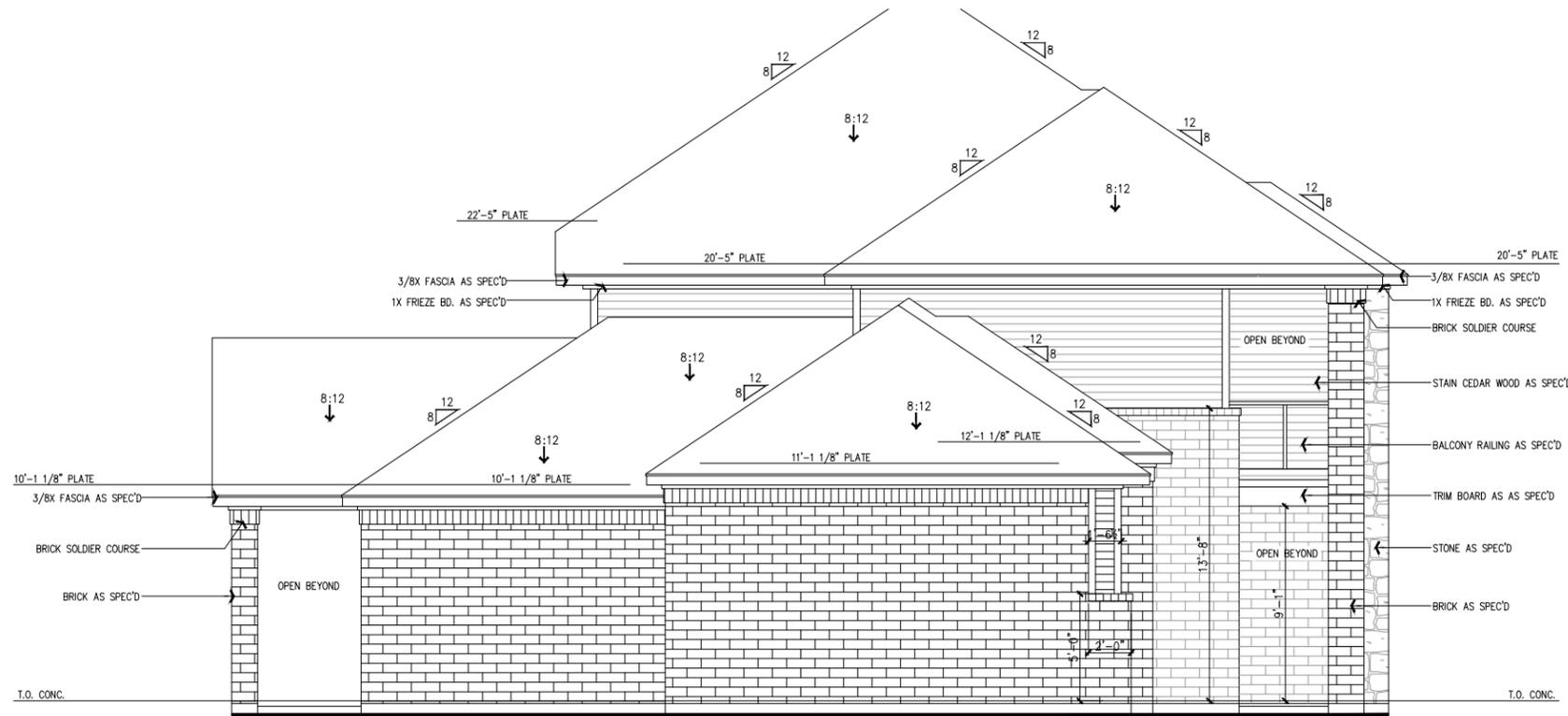
DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A3
OF
13



1 REAR ELEVATION
 A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
 A4 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
 A4
 OF
 13

GENERAL ROOF NOTES:

ROOF PITCH:
8:12 UNLESS OTHERWISE NOTED.

OVERHANG:
1'-4 1/2" FROM FRAME UNLESS OTHERWISE NOTED.

SLOPE DOWN IN DIRECTION OF ARROWS.

GUTTER & DOWNSPOUT LOCATIONS AS SPECIFIED.

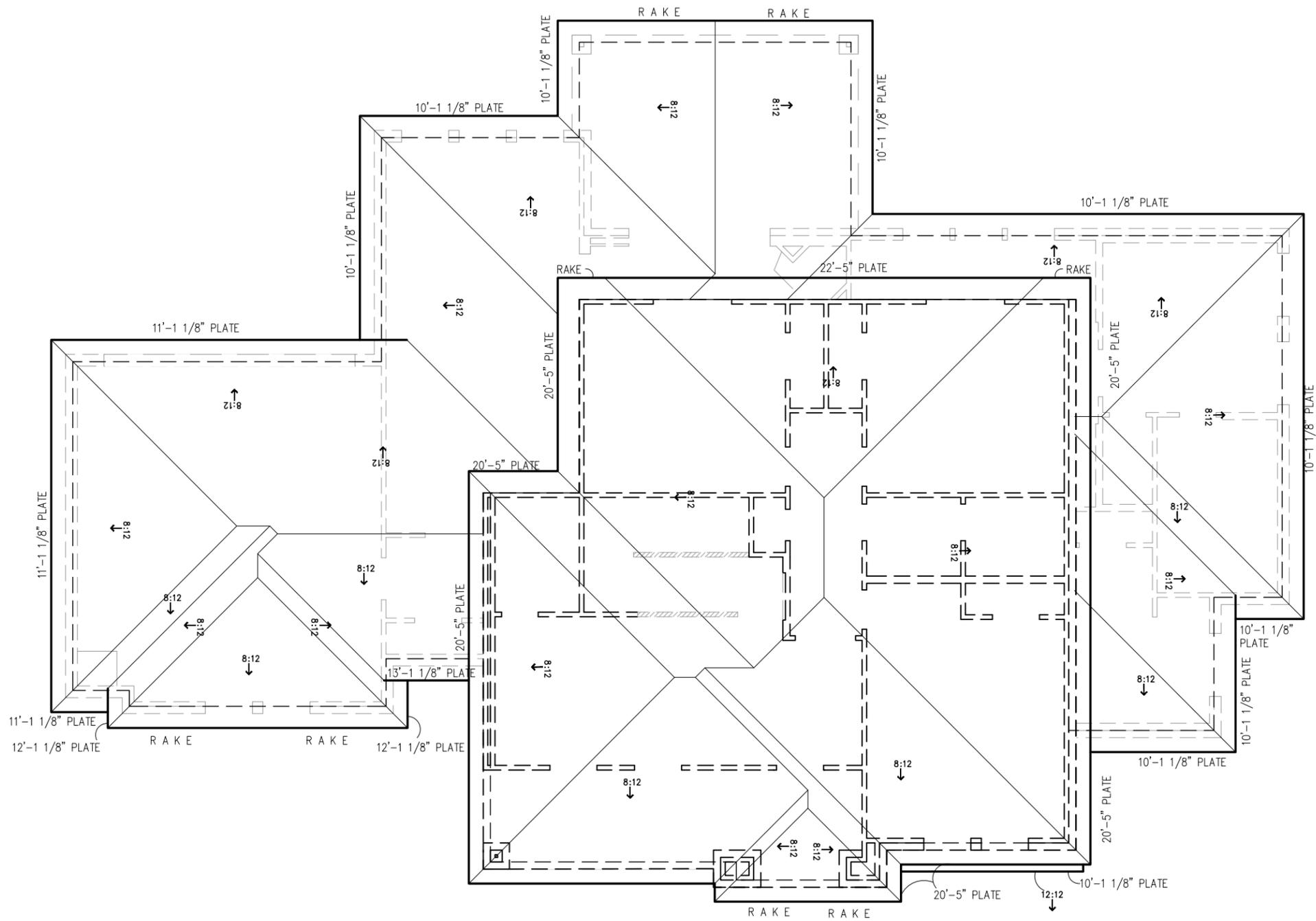
ROOFING MATERIAL AS SPECIFIED.

PRE-FINISHED GALV. METAL FLASHING AND DRIP EDGE SHALL BE USED AT ALL APPLICABLE LOCATIONS.

METAL VENT STACKS SHALL BE PRE-FINISHED OR PAINTED TO MATCH ROOF.

REFER TO ROOF PLAN FOR ROOF SLOPES, PLATE HEIGHTS AND INFORMATION NOT PROVIDED IN THESE NOTES.

PROPER ATTIC VENTILATION REQUIRES THAT THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NO LESS THAN 1/300 PROVIDED THAT A VAPOR RETARDED HAVING A PERMANENCE NOT EXCEEDING ONE PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING OR AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VERIFY VENTILATION REQUIREMENTS WITH ROOF SYSTEM MANUFACTURER



1 ROOF PLAN
A5 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A5
OF
13



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, and Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick
713 Forest Trace	Single-Family Home	1993	2,509	N/A	Brick
715 Forest Trace	Single-Family Home	1980	4,075	N/A	Brick
714 Forest Trace	Single-Family Home	1981	3,165	N/A	Brick and Siding
712 Forest Trace	Single-Family Home	1985	3,631	384	Brick
710 Forest Trace	Single-Family Home	1979	3,818	N/A	Brick
708 Forest Trace	Single-Family Home	1981	3,016	164	Brick
706 Forest Trace	Single-Family Home	1976	4,103	N/A	Brick
	AVERAGES:	1983	3,638	213	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

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703 Forest Trace



705 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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707 Forest Trace



709 Forest Trace



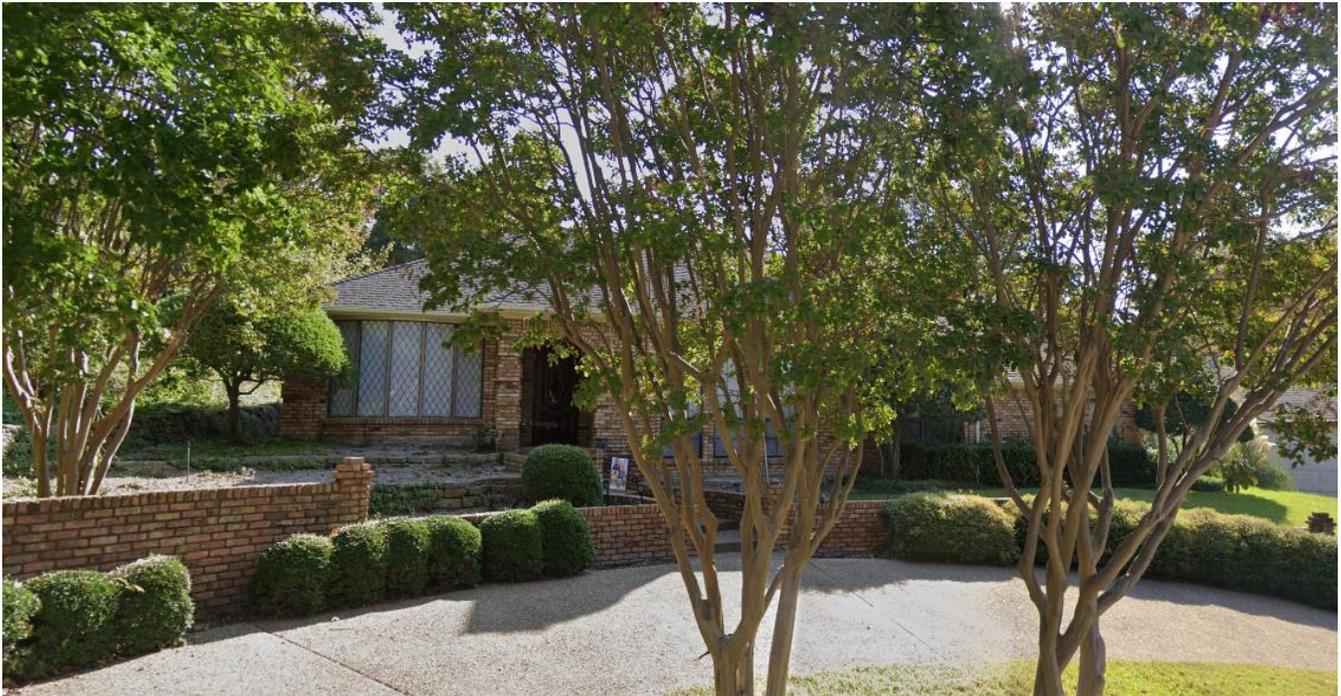
CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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711 Forest Trace



713 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

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715 Forest Trace



714 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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712 Forest Trace



710 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



708 Forest Trace



706 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 13, BLOCK A, HIGHRIDGE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Manuel Tijerina for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as Lot 13, Block A, of the Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7th DAY OF AUGUST, 2023.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: July 17, 2023

2nd Reading: August 7, 2023

**Exhibit 'A':
Location Map**

Address: 709 Forest Trace

Legal Description: Lot 13, Block A, Highridge Estates Addition



**Exhibit 'B':
Residential Plot Plan**

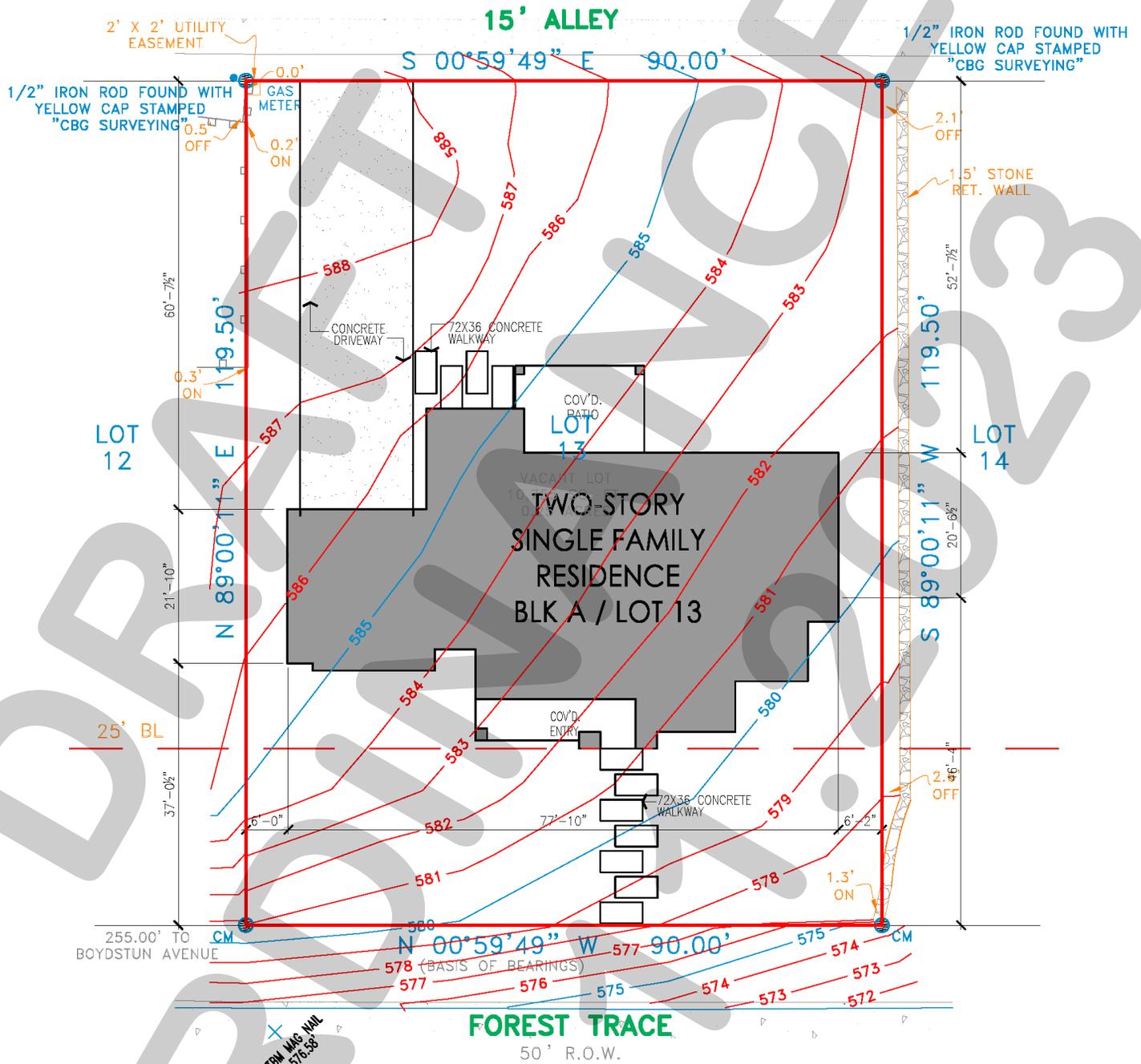
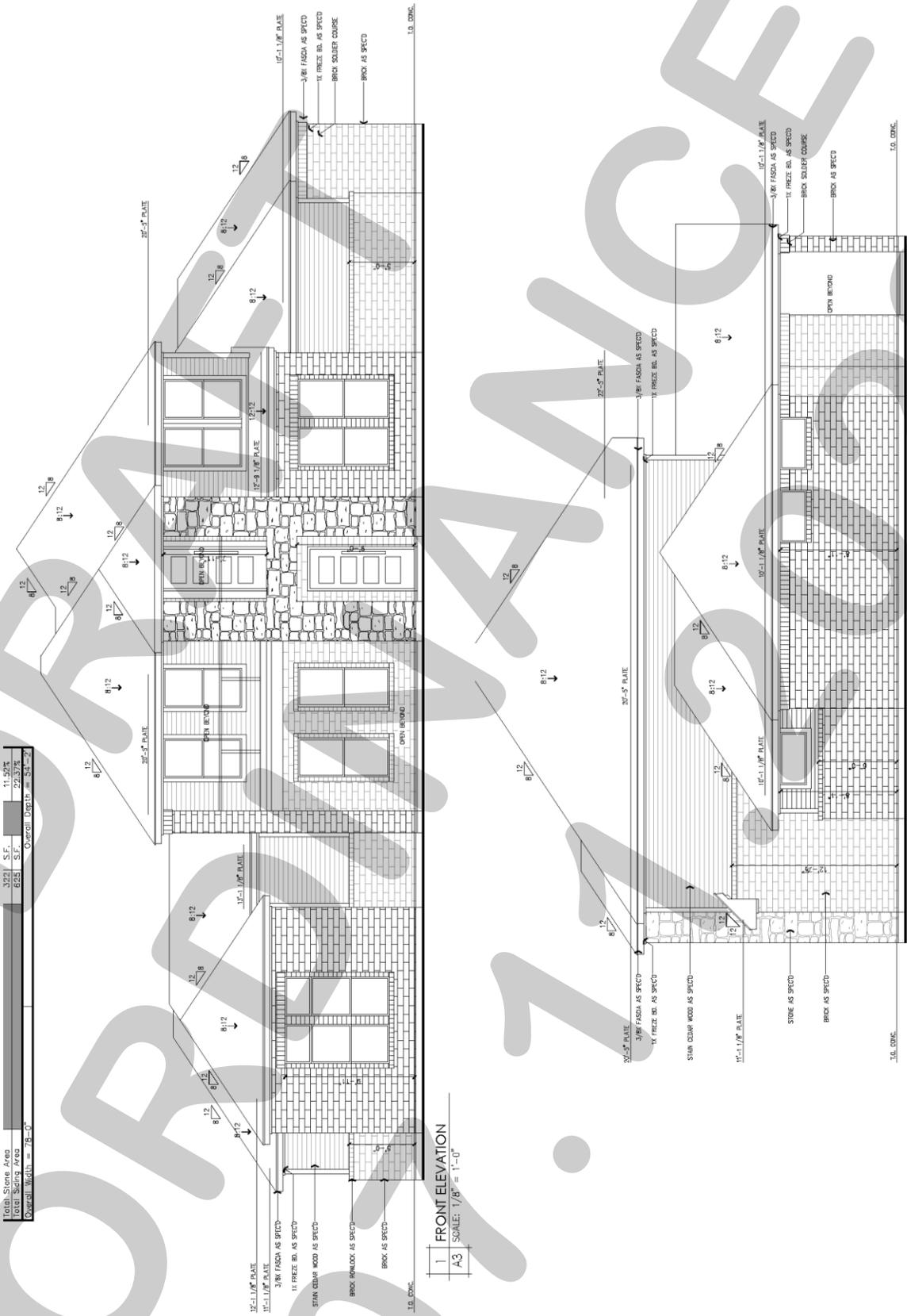


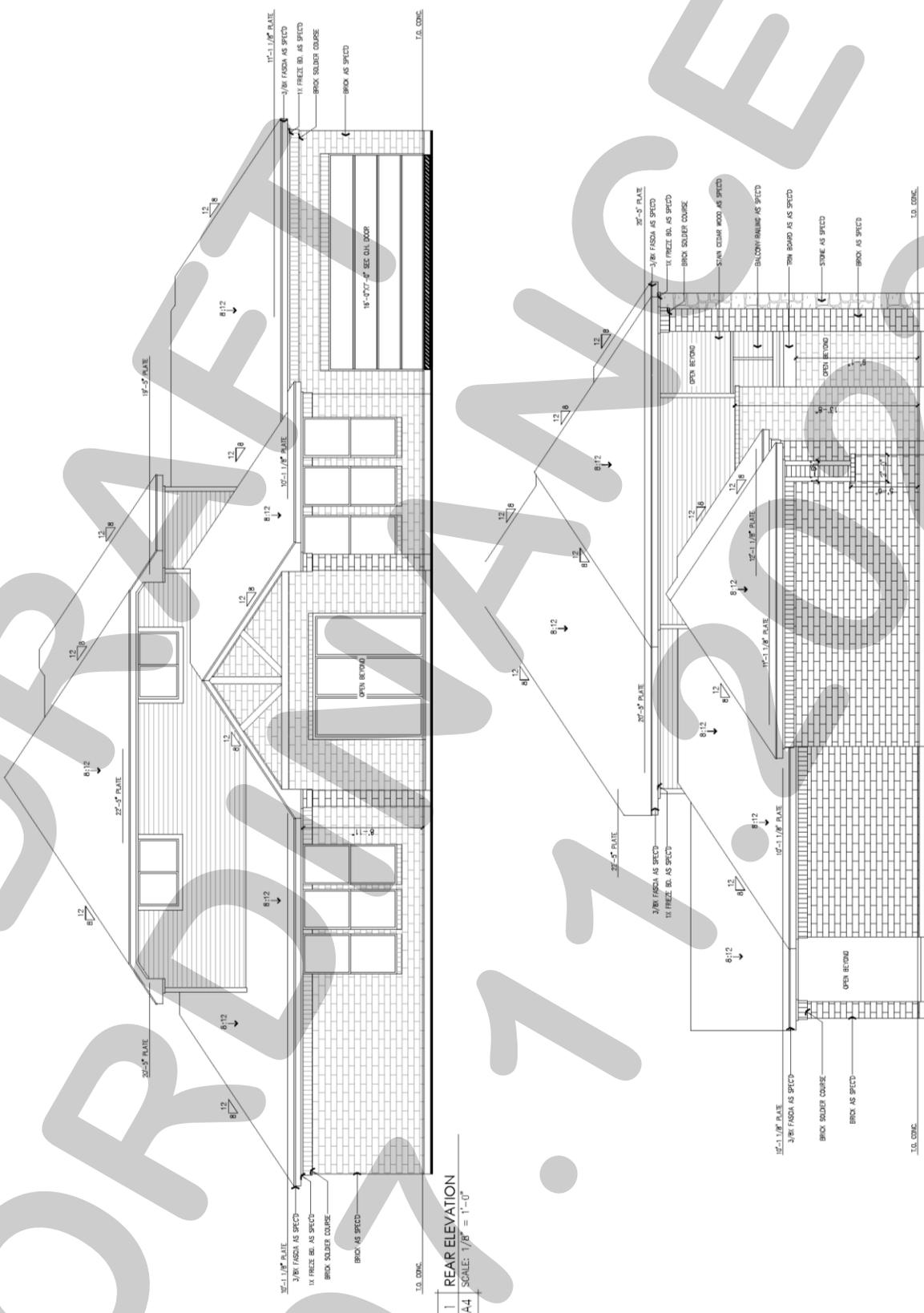
Exhibit 'C':
Building Elevations



Total Stone Area	322	S.F.	1.50%
Total Stoning Area	625	S.F.	2.57%
Overall Ratio =	19:1		

1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"

Exhibit 'C':
Building Elevations



1 REAR ELEVATION
A-4 SCALE: 1/8" = 1'-0"



CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: July 17, 2023

APPLICANT: Manuel Tijerina

CASE NUMBER: Z2023-031; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 709 Forest Trace*

On July 11, 2023, the Planning and Zoning Commission held a public hearing on *Case No. Z2023-031*, and approved a motion to continue the public hearing to the July 25, 2023 Planning and Zoning Commission meeting. The purpose of this action was to allow the applicant time to make changes to their building elevations and address concerns raised by the Planning and Zoning Commission during the public hearing. According to Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(a) public hearing may be continued by the Planning and Zoning Commission or City Council any time after the public hearing has commenced. The continuation of a public hearing shall be to a specific time and date no later than 30-days from the first or most recent public hearing. A continued public hearing shall be presumed to be held in the same location as the initial public hearing, unless a different location is announced. The announcement of a continuation at a public hearing shall be sufficient notice and no additional notice is required.” This means the City Council will need to announce the new public hearing date of August 7, 2023. No further action or motions are required. Should the City Council have any questions, staff will be available at the July 17, 2023 City Council Meeting.



CITY OF ROCKWALL
PLANNING AND ZONING MEMORANDUM
PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 25, 2023
APPLICANT: Manuel Tijerina
CASE NUMBER: Z2023-031; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 709 Forest Trace*

On July 20, 2023, staff spoke with Otilio Posadas, on behalf of Manuel Tijerina, in regard to the Specific Use Permit (SUP) request for 709 Forest Trace. Mr. Posadas indicated that the applicant would like to move forward with the two (2) story house that was originally submitted with the request. Mr. Posadas also stated that the square footage of the home would be amended to be smaller; however, staff has not received any plans from Mr. Posadas or the applicant. Based on this staff has provided the same case memo, draft ordinance, and exhibits provided at the July 11, 2023 Planning and Zoning Commission meeting. Should the Planning and Zoning Commission have any questions, staff will be available at the July 25, 2023 Planning and Zoning Work Session Meeting.



TO: Planning and Zoning Commission
DATE: July 11, 2023
APPLICANT: Manuel Tijerina
CASE NUMBER: Z2023-031; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 709 Forest Trace*

SUMMARY

Hold a public hearing to discuss and consider a request by Manuel Tijerina for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District. Sometime between January 3, 1972 and May 16, 1983, the subject property was rezoned to Single-Family 10 (SF-10) District, and has remained zoned Single-Family 10 (SF-10) District since this change. The subject property has remained vacant since its annexation.

PURPOSE

The applicant -- *Manuel Tijerina* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 709 Forest Trace. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is are three (3) parcels of land (*i.e. 703, 705, and 707 Forest Trace*) developed with single-family homes. North of these properties is W. Boydston Avenue, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is one (1) parcel of land (*i.e. 202 W. Boydston Avenue*) developed with a single-family home. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are four (4) parcels of land (*i.e. 711, 713, 715, and 201 Forest Trace*) developed with single-family homes. Beyond this is the Lake Meadows Subdivision, which consists of 26 single-family residential lots on 18.53-acres. These properties and this subdivision are zoned Single-Family 10 (SF-10) District. South of this is Glenn Avenue, which is identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property are two (2) parcels of land (*i.e. 706 and 710 S. Alamo Road*) developed with single-family homes that are zoned Single-Family 10 (SF-10) District. East of this is the intersection of S. Alamo Road and W. Ross Street. Both of these roadways are identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond

this are Lots 1-7 of the Amachris Place Subdivision and Lot 5, Block F, of the Sanger Addition which are zoned Planned Development District 12 (PD-12), as well as a portion of the Sanger Subdivision (*i.e. Lots 6-13, Block M, Sanger Addition*) zoned Zero Lot Line 5 (ZL-5) District.

West: Directly west of the subject property are two (2) parcels of land (*i.e. 708 and 710 Forest Trace*) developed with single-family homes. East of these are an additional two (2) parcels of land (*i.e. 707 and 709 Ridgeview Drive*) developed with single-family homes and are zoned Single-Family 10 (SF-10) District. Beyond this is Ridgeview Drive, which is identified an R2 (*i.e. residential, two (2) lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as **“(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.”** An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as **“...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.”** The subject property is located in the Highridge Estates Subdivision, which has been in existence since 1972, consists of 99 single-family residential lots, and is more than 90.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, **“...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...”** The following is a summary of observations concerning the housing on Forest Trace compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Forest Trace	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Forest Trace are oriented towards Forest Trace.	The front elevation of the home will face onto Forest Trace.
Year Built	1976-2003	N/A
Building SF on Property	2,509 SF – 4,730 SF	4,237 SF
Building Architecture	Traditional Brick/Stone Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) foot rear yard setback.	10-Feet
Building Materials	HardiBoard/HardiePlank, Brick, and Stone.	Combination of Brick, Stone, and Siding
Paint and Color	White, Cream, Red, Pink, Beige, and Brown	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the rear of the homes and not visible from Forest Trace.	The garage will be located in the rear of the proposed home.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Forest Trace and the proposed building elevations in the attached packet. The approval of this

request is a discretionary decision to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On June 22, 2023, staff mailed 85 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Bent Creek Condos, Stonebridge Meadows, and Highridge Estates **Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet** of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices in regard **to the applicant's request**.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in **Exhibit 'B'** of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in **Exhibit 'C'** of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *Alji*

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 709 Forest Trace

SUBDIVISION High Ridge Estates

LOT 13 BLOCK A

GENERAL LOCATION Skholisel & Boydston Ave

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE Vgent

PROPOSED ZONING _____

PROPOSED USE New Home Construction

ACREAGE _____

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Manuel Tijerina

APPLICANT _____

CONTACT PERSON Manuel Tijerina

CONTACT PERSON Olivia Pasadas

ADDRESS 7922 Garner Rd

ADDRESS 41 Anna Leis Dr

CITY, STATE & ZIP Rowlett, TX 75088

CITY, STATE & ZIP Waxahatchie TX 75167

PHONE 214-773-9971

PHONE 214 284 5571

E-MAIL manueltijerina70@gmail.com

E-MAIL OlPasadas@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Manuel Tijerina [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF June 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF June, 2023

OWNER'S SIGNATURE Manuel Tijerina

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Debra Camacho





Z2023-031: Specific Use Permit (SUP) for Residential Infill at 709 Forest Trace

0 25 50 100 150 200 Feet

FOREST TRACE

PD-12

WIROSS1T

SF-10

SALAMOR D

ZL-5

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

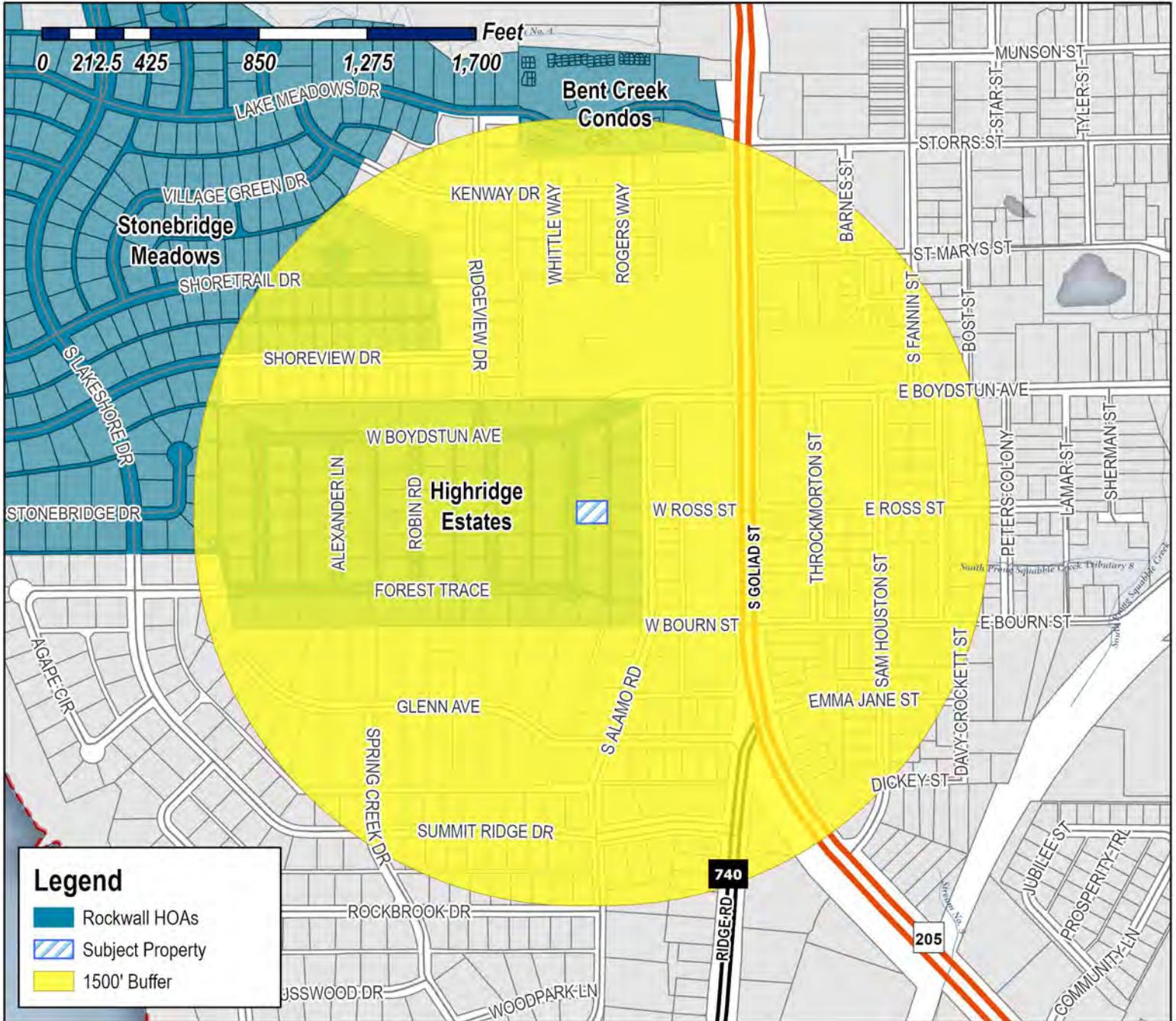




City of Rockwall

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Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-031]
Date: Monday, June 19, 2023 3:54:11 PM
Attachments: [HOA Map \(06.16.2023\).pdf](#)
[Public Notice \(P&Z\) - \(06.19.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [June 23, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 11, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 17, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2023-031: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

Thank you,

Melanie Zavala

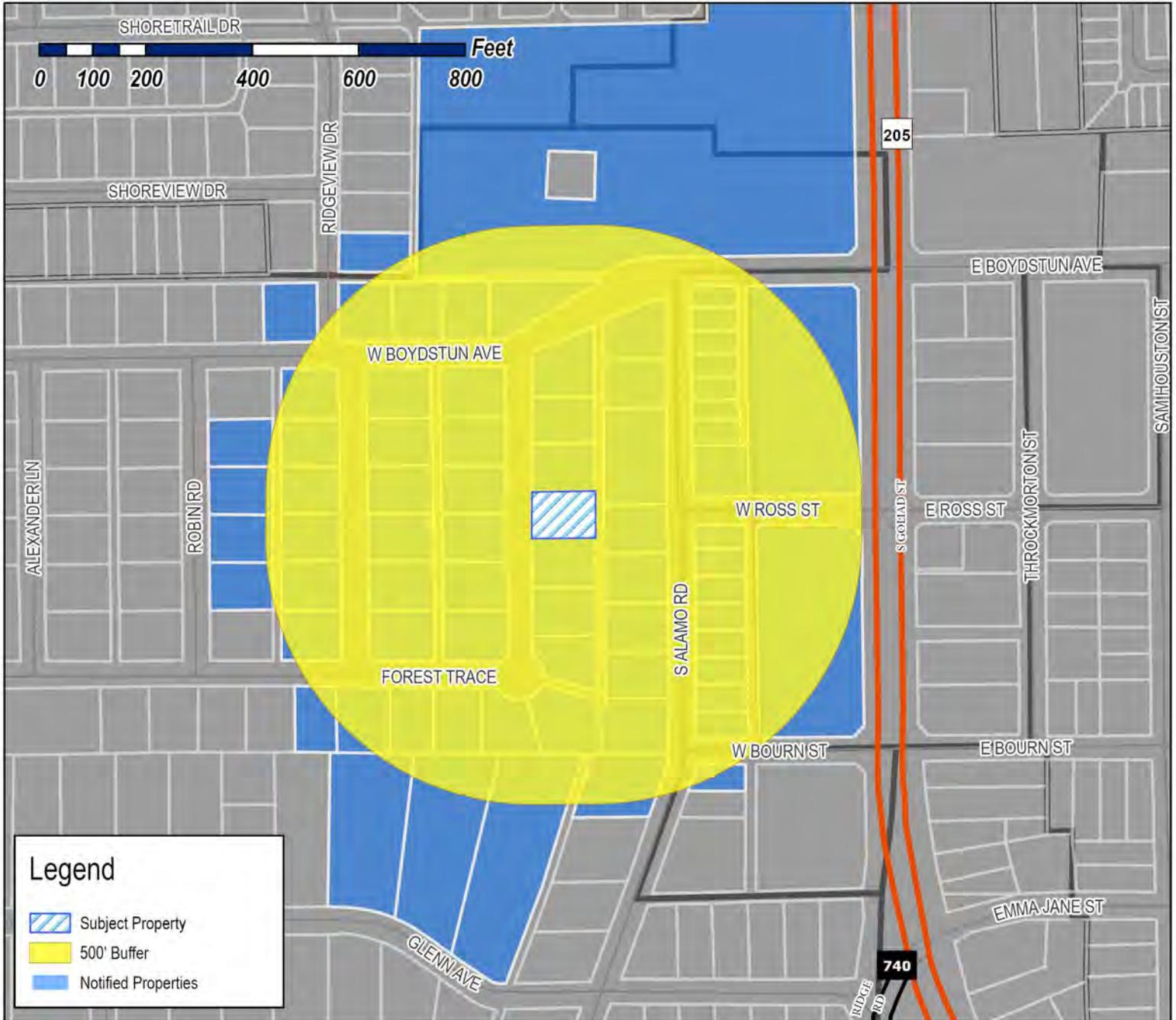
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023

For Questions on this Case Call: (972) 771-7746



BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

OTTO IRIS
1502 S 1ST ST STE 3
GARLAND, TX 75040

TIJERINA MANUEL
1713 MISSION DR
GARLAND, TX 75042

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

GIBSON CHARLES D AND LINDSAY K
201 FOREST TRACE
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

RUESS JOHN CHARLES & KATHY LEA
202 W BOYDSTUN ST
ROCKWALL, TX 75087

RESIDENT
203 FOREST TRACE
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MARKS RICHARD R & JUNE
TRUSTEES OF THE MARKS FAMILY LIVING TRUST
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

HAYDICKY JOSEPH N
205 FOREST TRACE
ROCKWALL, TX 75087

ANGIEL JOHN H & KAY M
206 GLENN AVE
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011
REX M PREDDY AND PATTI S PREDDY- TRUSTEES
206 WEST BOYDSTUN AVE
ROCKWALL, TX 75087

BROWN BREANNE ELIZABETH STRAWN AND
AARON KRISTOPHER
207 FOREST TRACE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA
208 BOYDSTUN AVE
ROCKWALL, TX 75087

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

ST CLAIR DOUG & KELLY
301 FOREST TRACE
ROCKWALL, TX 75087

COMPTON HAYDEN AND TAYLOR LOVERA
302 W BOYDSTUN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
303 FOREST TRACE
ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON
517 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
602 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST
664 SORITA CIR
HEATH, TX 75032

REED DARLENE
701 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
702 S ALAMO DR
ROCKWALL, TX 75087

CRESPO DENYS AND HALEY
703 FOREST TRACE
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY
703 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

RESIDENT
703 S ALAMO
ROCKWALL, TX 75087

FREED SARAH
704 FOREST TRACE
ROCKWALL, TX 75087

PASSON BRETT A & LAURIE J
704 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
704 S ALAMO DR
ROCKWALL, TX 75087

CULLINS JENNIFER L
705 FOREST TRACE
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST
C/O ROBERT LOUIS AND
705 RIDGEVIEW DR
ROCKWALL, TX 75087

STROMAN ROBERT E & JUDY DANIELS
705 ROBIN RD
ROCKWALL, TX 75087

RESIDENT
705 S ALAMO
ROCKWALL, TX 75087

FORD CLYDE G
706 FOREST TRACE
ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S
706 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

MILLS CHARLES O
706 S ALAMO RD
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &
DAVID SCOTT
707 FOREST TRCE
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE
707 RIDGEVIEW DR
ROCKWALL, TX 75087

FLOWERS DONALD
707 ROBIN DR
ROCKWALL, TX 75087

RESIDENT
707 S ALAMO
ROCKWALL, TX 75087

KELEMEN ANNA V AND
MATTHEW BURBRIDGE
708 FOREST TRACE
ROCKWALL, TX 75087

FLOURA ROSEANN EXECUTOR
708 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
709 FOREST TRACE
ROCKWALL, TX 75087

RESIDENT
709 ROBIN RD
ROCKWALL, TX 75087

FALCON ANN L & LEONARD
709 RIDGEVIEW DR
ROCKWALL, TX 75087

FLEMING LINDA
709 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
710 RIDGEVIEW DR
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY
710 FOREST TRACE
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
710 S GOLIAD ST
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M
711 RIDGEVIEW
ROCKWALL, TX 75087

MUNOZ THOMAS & SUZANNE
711 ROBIN DR
ROCKWALL, TX 75087

POPP KATHLEEN
711 S ALAMO
ROCKWALL, TX 75087

GRAY JIM
712 FOREST TRACE
ROCKWALL, TX 75087

MORI DANIEL J & JUDY
712 RIDGEVIEW DR
ROCKWALL, TX 75087

HILLMAN DORIANN AND
JOEL OTT
713 FOREST TRACE
ROCKWALL, TX 75087

COHEN MARK A
713 RIDGEVIEW DR
ROCKWALL, TX 75087

SHERA DEBORAH K
713 S ALAMO RD
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS
714 FOREST TRCE
ROCKWALL, TX 75087

SIPLE MARIAN C
714 RIDGEVIEW DR
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

MILLS CHARLES O
715 S ALAMO RD
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
807 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
809 ALAMO RD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

CROSBY SILAS SAMUEL AND RACHEL E
8706 WESTFIELD DRIVE
ROWLETT, TX 75088

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
902 S ALAMO
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-031: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Manuel Tigring for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-031: SUP for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

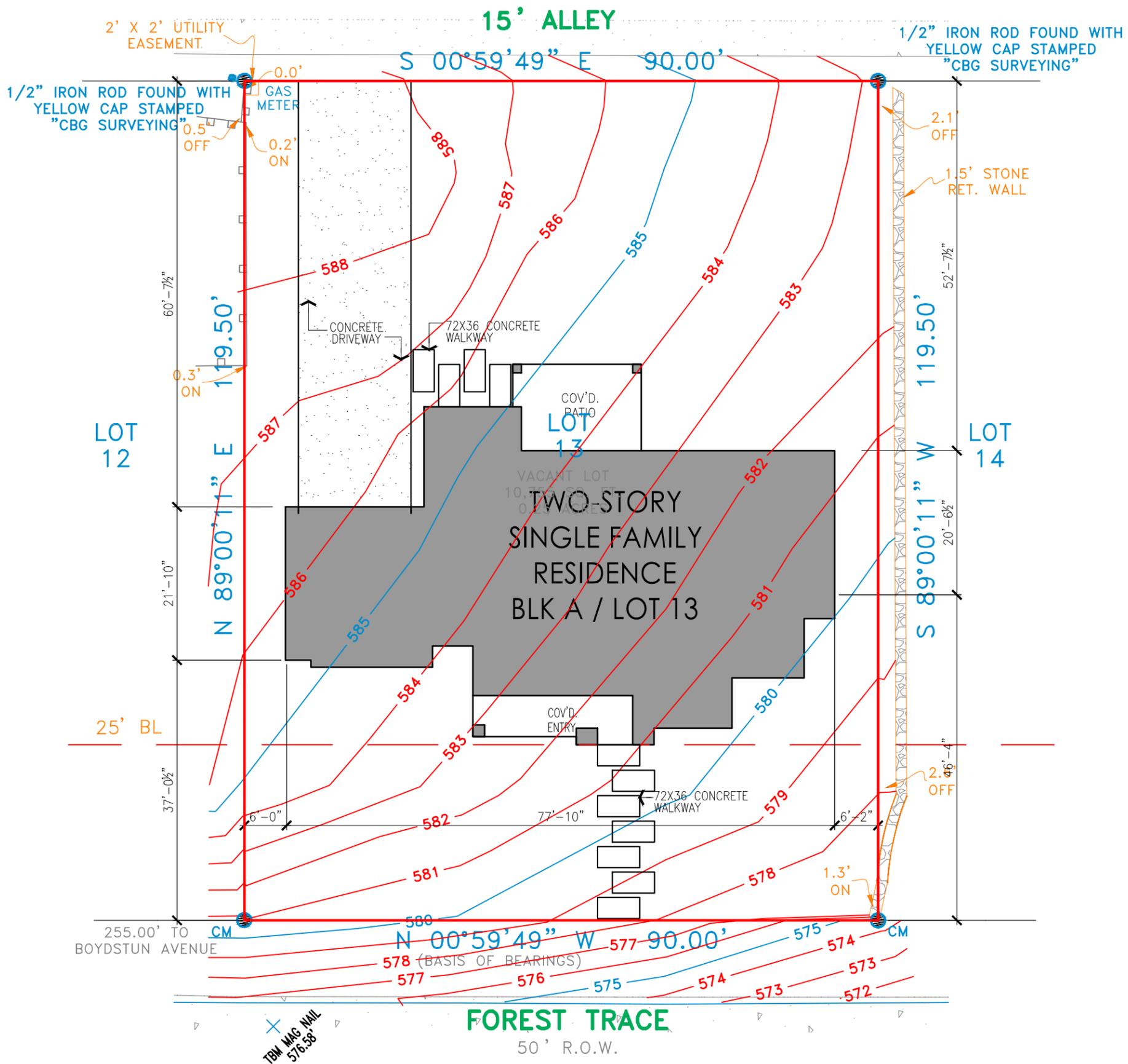
Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



709 FOREST TRACE
 BLK A / LOT 13 / HIGH RIDGE STATE
 ROCKWALL, ROCKWALL COUNTY, TX



LEGEND:

- DRAINAGE ARROW
- REAR PATIO AREA
- NOTE: CROSS HATCHED AREA INDICATES REAR YARD OPEN SPACE.
- NOTE: BUILDER SHOULD PLANT TREE AS PER COMMUNITY STANDARD AS REQUIRED.

FLATWORK AREA TABULATIONS			
LEAD WALK	APPROX.	18	S.F.
CITY WALK	APPROX.	0	S.F.
DRIVE	APPROX.	970	S.F.
APPROACH	APPROX.	0	S.F.
TOTAL	APPROX.	988	S.F.

LOT COVERAGE			
LOT AREA	APPROX.	10755	S.F.
MAIN BUILDING AREA	APPROX.	2982	S.F.
LOT COVERAGE	APPROX.	27.73	%

1 SITE PLAN
 SP1 SCALE: 1/16" = 1'-0"

SHEET NO. SP1 OF 13	DRAWN BY: LRN	DESIGN PLAN NAME/NUMBER: 3235 PLAN	NEW RESIDENCE FOR: MANUEL TIJERILLA	ADDRESS: 709 FOREST TRACE ROCKWALL, ROCKWALL COUNTY, TX BLK A/LOT 13/HIGH RIDGE STATE
	ISSUED FOR REVIEW 06-28-2023	ELEVATION: STONE GARAGE: REAR ENTRY		

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

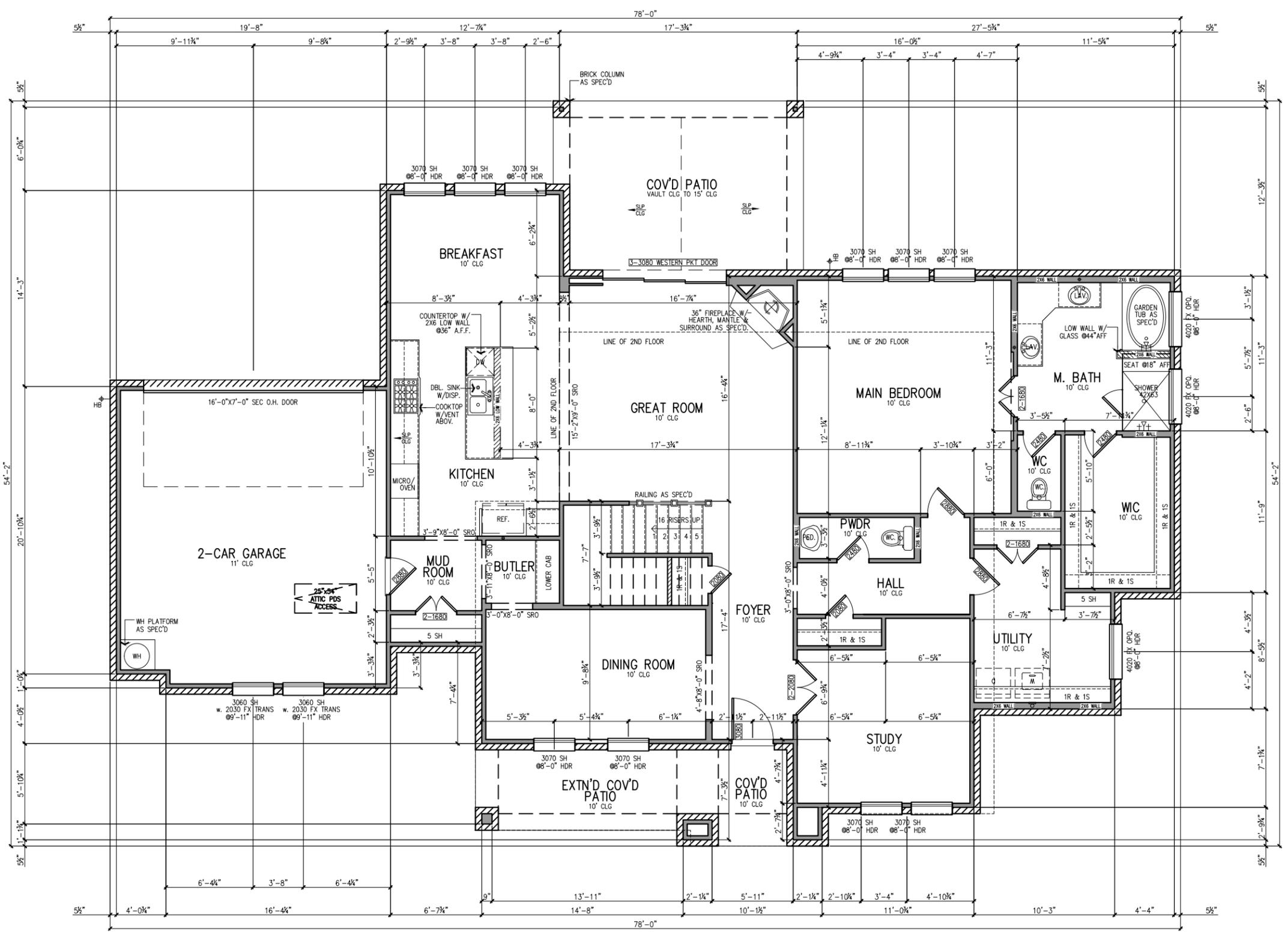
NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
A1
 OF
13



AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911	SQ. FT.	1,970	SQ. FT.	2,055
Second Floor	981	SQ. FT.	1,046	SQ. FT.	1,052
Total	2,892	SQ. FT.	3,016	SQ. FT.	3,107
Total Living Area					
1-Car Garage	0	SQ. FT.	0	SQ. FT.	0
2-Car Garage	411	SQ. FT.	429	SQ. FT.	458
3-Car Garage	0	SQ. FT.	0	SQ. FT.	0
Total Garage Area	411	SQ. FT.	429	SQ. FT.	458
Covered Porch	0	SQ. FT.	147	SQ. FT.	149
Covered Patio	0	SQ. FT.	211	SQ. FT.	217
Covered Balcony	0	SQ. FT.	151	SQ. FT.	167
Total Covered Porch/Patio Area	0	SQ. FT.	509	SQ. FT.	533
Total Slab Area					2,879
Total Under Roof					4,098
Total Interior Frame	3,303	SQ. FT.			
Total Exterior Frame			3,954	SQ. FT.	
Overall Width = 78'-0"			Overall Depth = 54'-2"		

1 FIRST FLOOR PLAN
A1 SCALE: 1/8" = 1'-0"

C:\USERS\JUANNE.RIVERA\LOCAL\DOWNLOADS\2022-02-03_709 FOREST TRACE.DWG

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

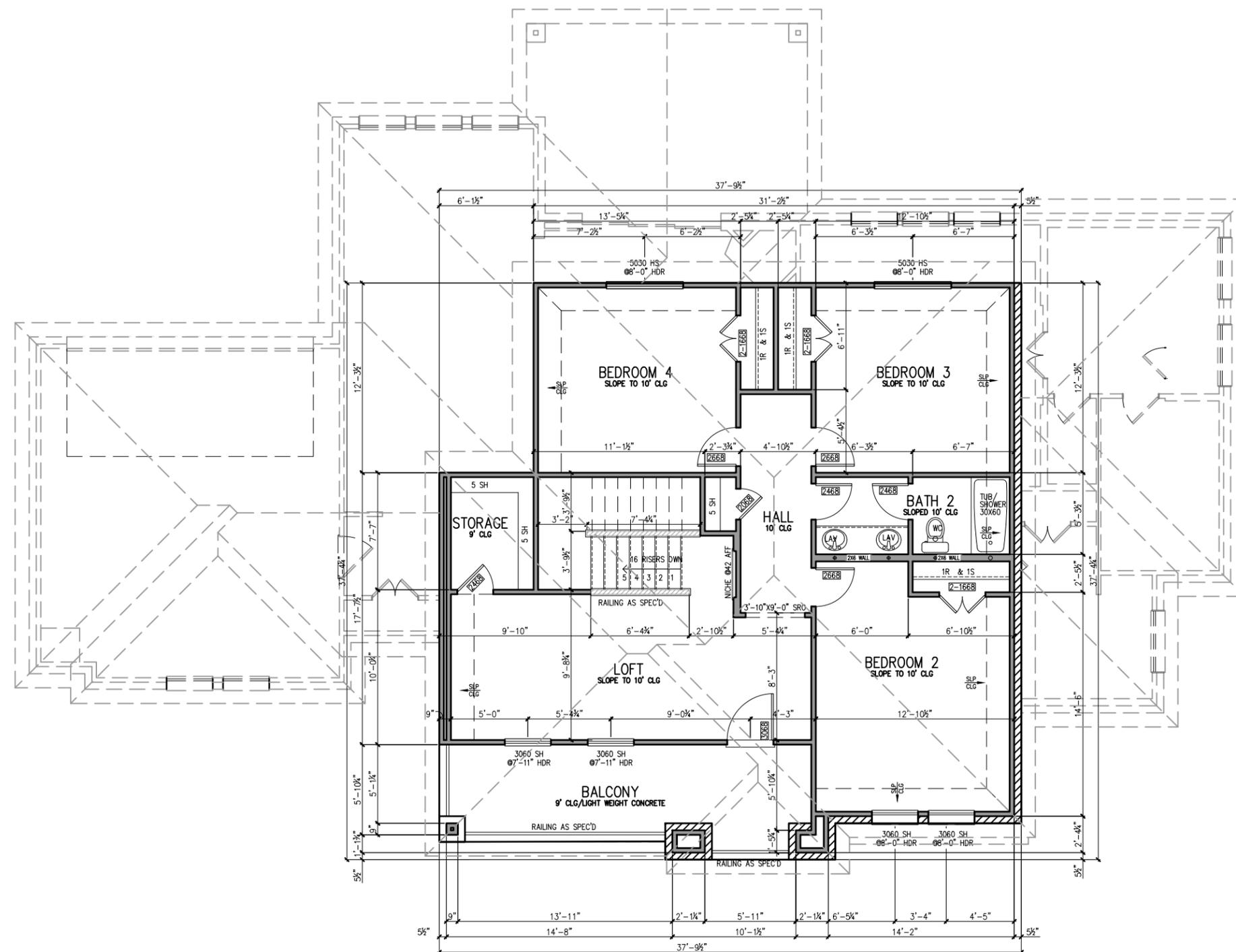
NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
A1.1
 OF
 13



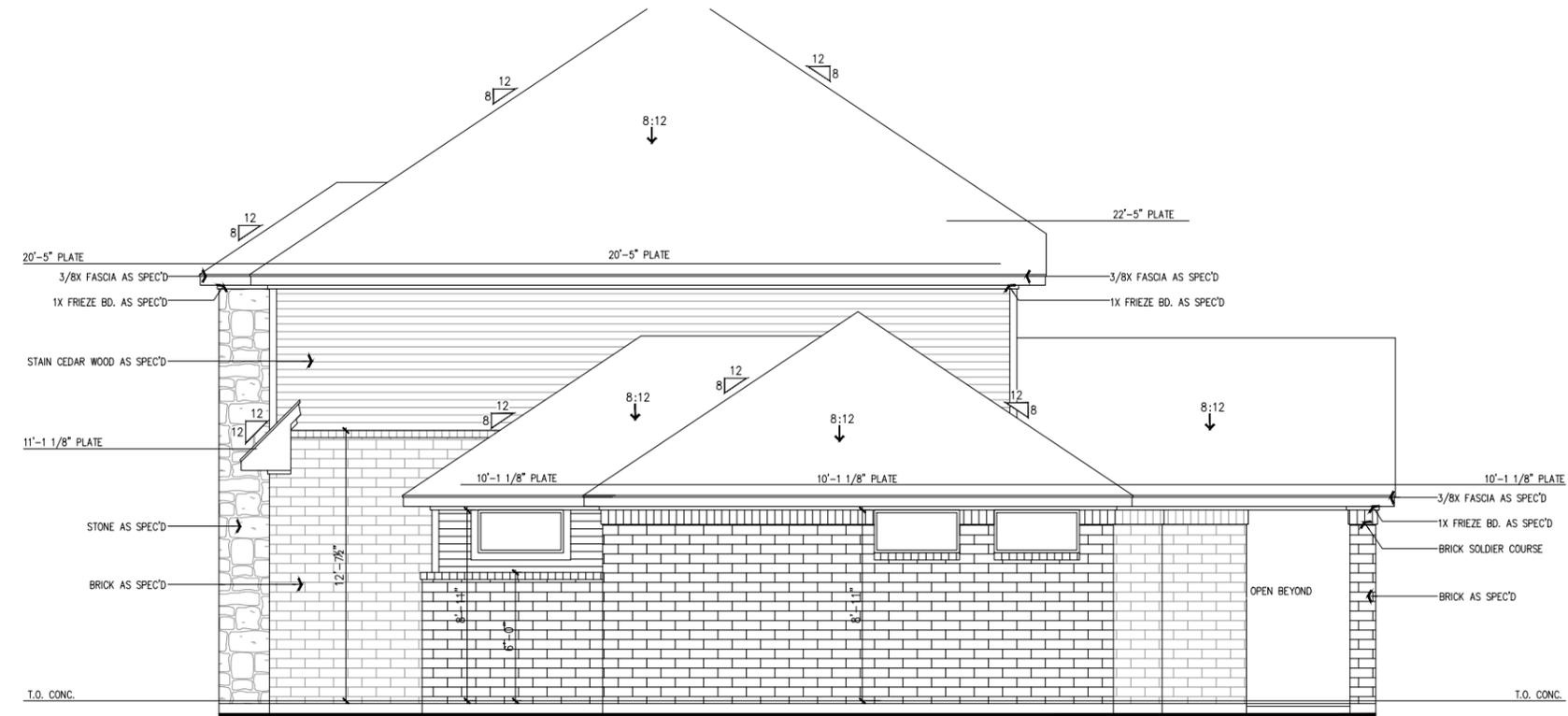
AREA CALCULATIONS_709 FOREST TRACE					
	INTERIOR FRAME		EXTERIOR FRAME		W/MASONRY
First Floor	1,911	SQ. FT.	1,970	SQ. FT.	2,055
Second Floor	981	SQ. FT.	1,046	SQ. FT.	1,052
Total	2,892	SQ. FT.	3,016	SQ. FT.	3,107
Total Living Area					3,107
1-Car Garage	0	SQ. FT.	0	SQ. FT.	0
2-Car Garage	411	SQ. FT.	429	SQ. FT.	458
3-Car Garage	0	SQ. FT.	0	SQ. FT.	0
Total Garage Area	411	SQ. FT.	429	SQ. FT.	458
Covered Porch	0	SQ. FT.	147	SQ. FT.	149
Covered Patio	0	SQ. FT.	211	SQ. FT.	217
Covered Balcony	0	SQ. FT.	151	SQ. FT.	167
Total Covered Porch/Patio Area	0	SQ. FT.	509	SQ. FT.	533
Total Slab Area					2,879
Total Under Roof					4,098
Total Interior Frame	3,303	SQ. FT.			
Total Exterior Frame			3,954	SQ. FT.	
Overall Width = 78'-0"		Overall Depth = 54'-2"			

1 SECOND FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

MATERIAL AREA TABULATIONS		709 FOREST TRACE									
		BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL			
Front Elevation	487	S.F.	53.22%	256	S.F.	27.98%	172	S.F.	18.80%	915	S.F.
Right Side Elevation	413	S.F.	67.48%	44	S.F.	7.19%	155	S.F.	25.33%	612	S.F.
Rear Elevation	458	S.F.	71.23%	0	S.F.	0.00%	185	S.F.	28.77%	643	S.F.
Left Side Elevation	489	S.F.	78.37%	22	S.F.	3.53%	113	S.F.	18.11%	624	S.F.
Total Area	1,847	S.F.		322	S.F.		625	S.F.		2,794	S.F.
Total Brick Area							1,847	S.F.		66.11%	
Total Stone Area				322	S.F.					11.52%	
Total Siding Area						625	S.F.			22.37%	
Overall Width = 78'-0"		Overall Depth = 54'-2"									



1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

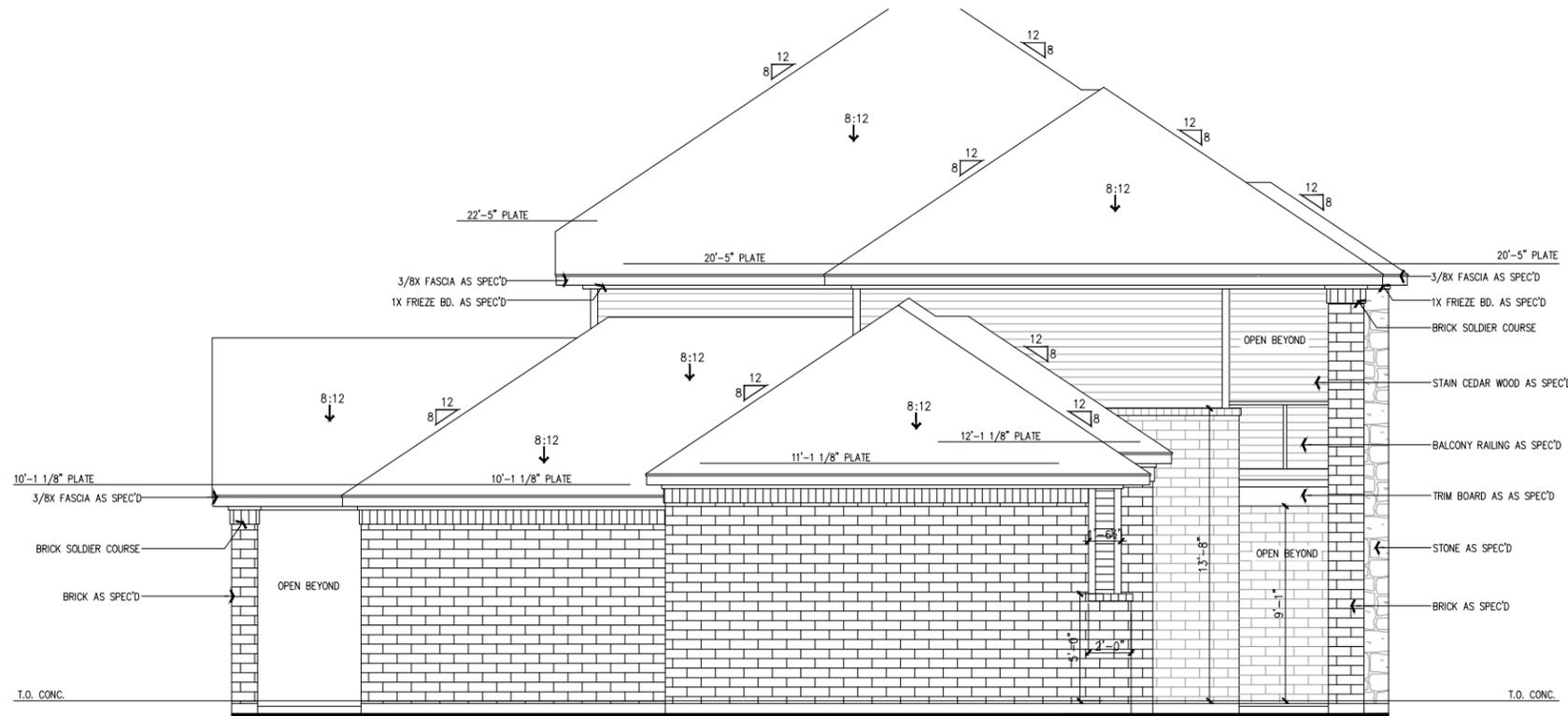
DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A3
OF
13



1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A4
OF
13

GENERAL ROOF NOTES:

ROOF PITCH:
8:12 UNLESS OTHERWISE NOTED.

OVERHANG:
1'-4 1/2" FROM FRAME UNLESS OTHERWISE NOTED.

SLOPE DOWN IN DIRECTION OF ARROWS.

GUTTER & DOWNSPOUT LOCATIONS AS SPECIFIED.

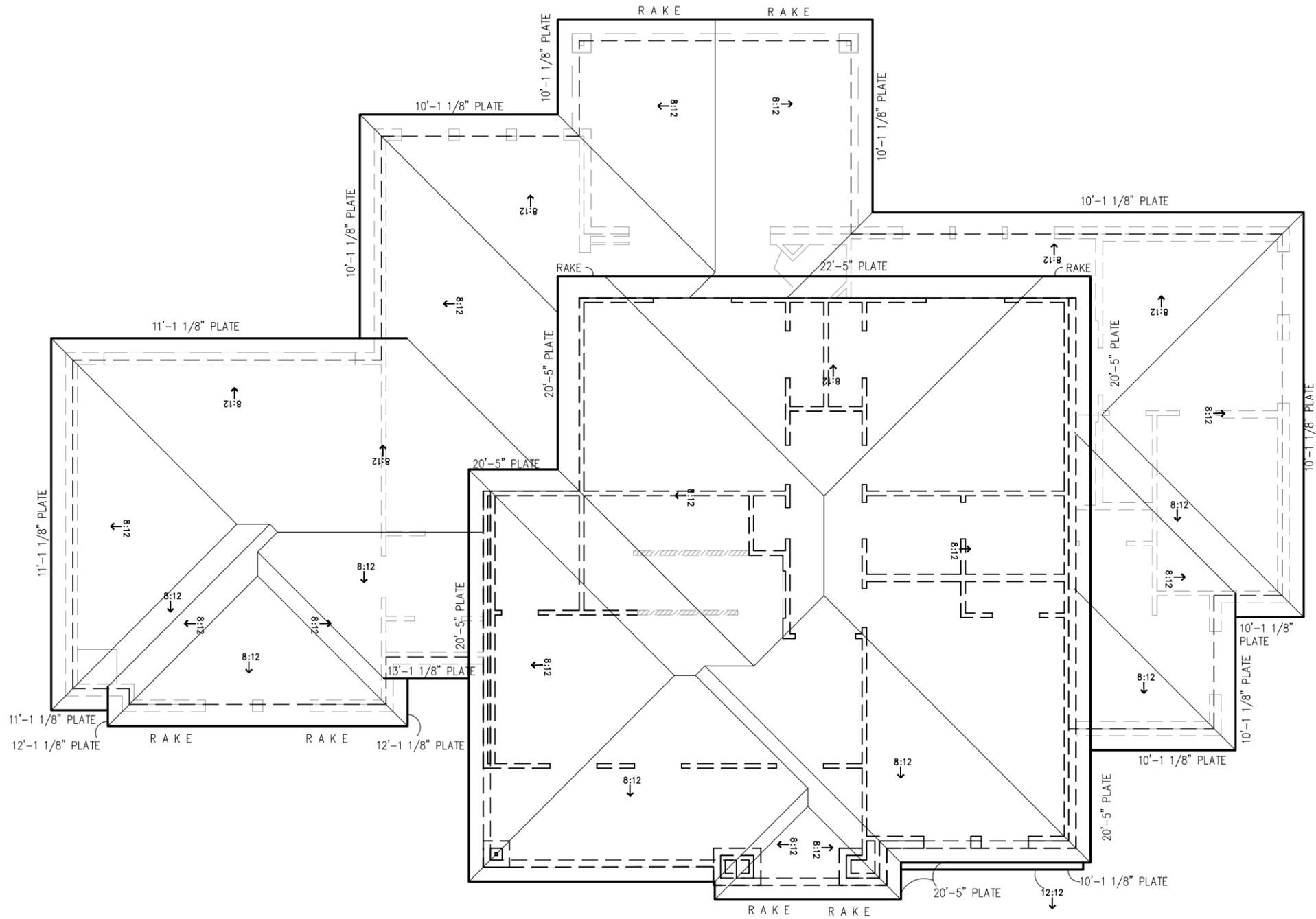
ROOFING MATERIAL AS SPECIFIED.

PRE-FINISHED GALV. METAL FLASHING AND DRIP EDGE SHALL BE USED AT ALL APPLICABLE LOCATIONS.

METAL VENT STACKS SHALL BE PRE-FINISHED OR PAINTED TO MATCH ROOF.

REFER TO ROOF PLAN FOR ROOF SLOPES, PLATE HEIGHTS AND INFORMATION NOT PROVIDED IN THESE NOTES.

PROPER ATTIC VENTILATION REQUIRES THAT THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NO LESS THAN 1/300 PROVIDED THAT A VAPOR RETARDED HAVING A PERMANENCE NOT EXCEEDING ONE PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING OR AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VERIFY VENTILATION REQUIREMENTS WITH ROOF SYSTEM MANUFACTURER



1 ROOF PLAN
A5 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A5
OF
13

C:\USERS\LUANNE.RIVERA\LOCAL DOWNLOADS\2022-02-03_709 FOREST TRACE.DWG



ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, and Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick
713 Forest Trace	Single-Family Home	1993	2,509	N/A	Brick
715 Forest Trace	Single-Family Home	1980	4,075	N/A	Brick
714 Forest Trace	Single-Family Home	1981	3,165	N/A	Brick and Siding
712 Forest Trace	Single-Family Home	1985	3,631	384	Brick
710 Forest Trace	Single-Family Home	1979	3,818	N/A	Brick
708 Forest Trace	Single-Family Home	1981	3,016	164	Brick
706 Forest Trace	Single-Family Home	1976	4,103	N/A	Brick
	AVERAGES:	1983	3,638	213	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



703 Forest Trace



705 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

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707 Forest Trace



709 Forest Trace



711 Forest Trace



713 Forest Trace



715 Forest Trace



714 Forest Trace



712 Forest Trace



710 Forest Trace



708 Forest Trace



706 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 13, BLOCK A, HIGHRIDGE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Manuel Tijerina for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as Lot 13, Block A, of the Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7th DAY OF AUGUST, 2023.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: July 17, 2023

2nd Reading: August 7, 2023

**Exhibit 'A':
Location Map**

Address: 709 Forest Trace

Legal Description: Lot 13, Block A, Highridge Estates Addition



**Exhibit 'B':
Residential Plot Plan**

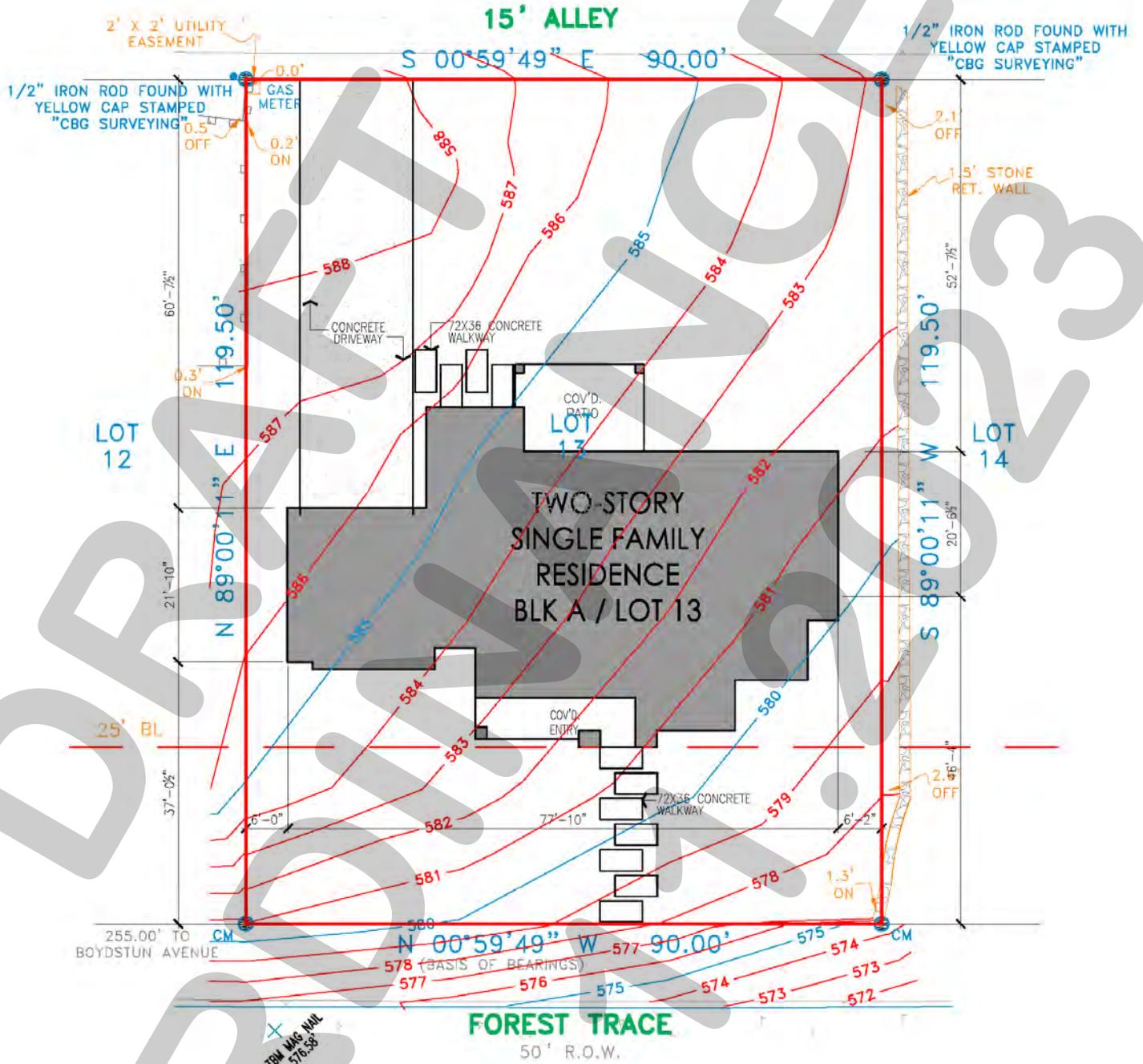
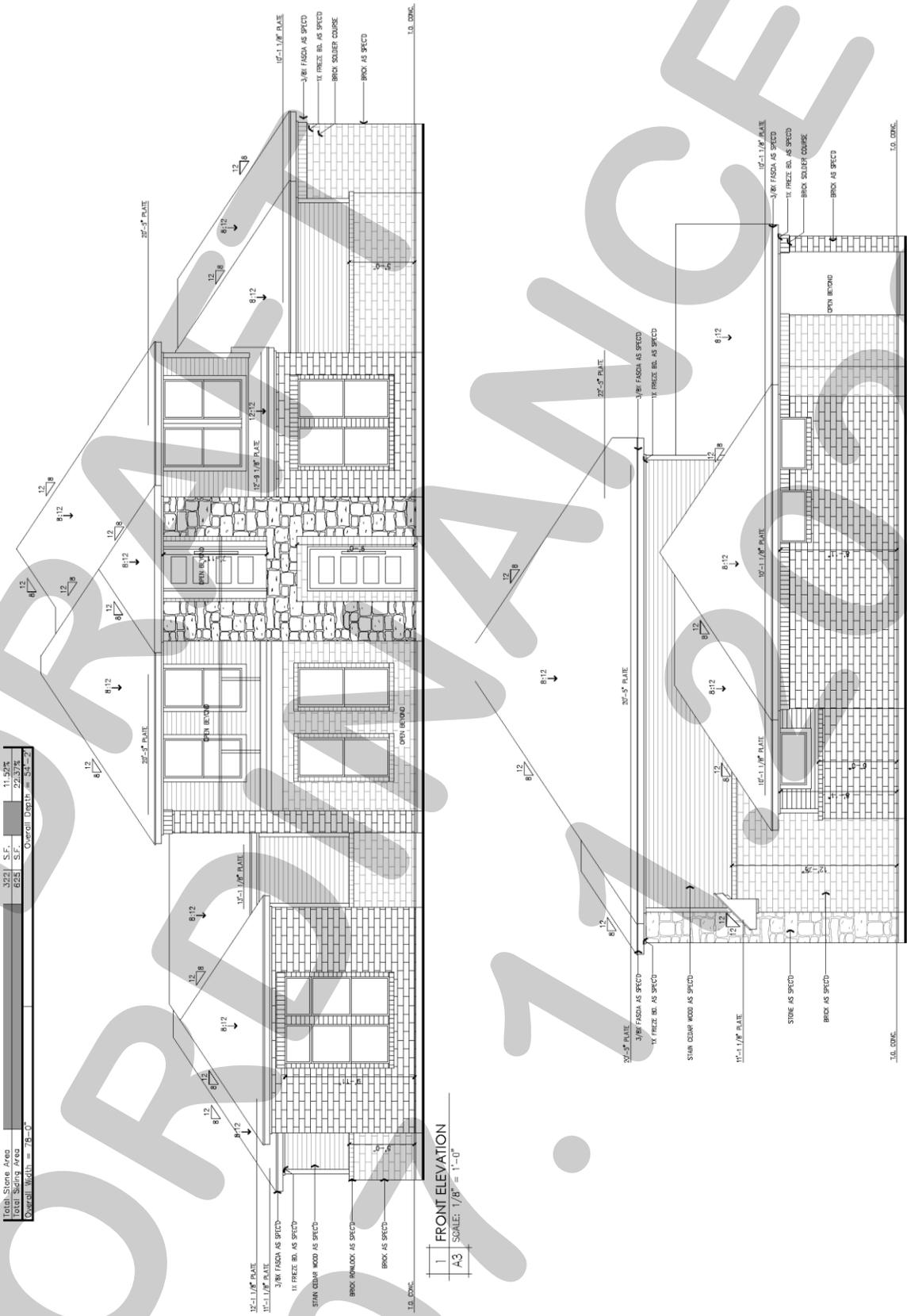


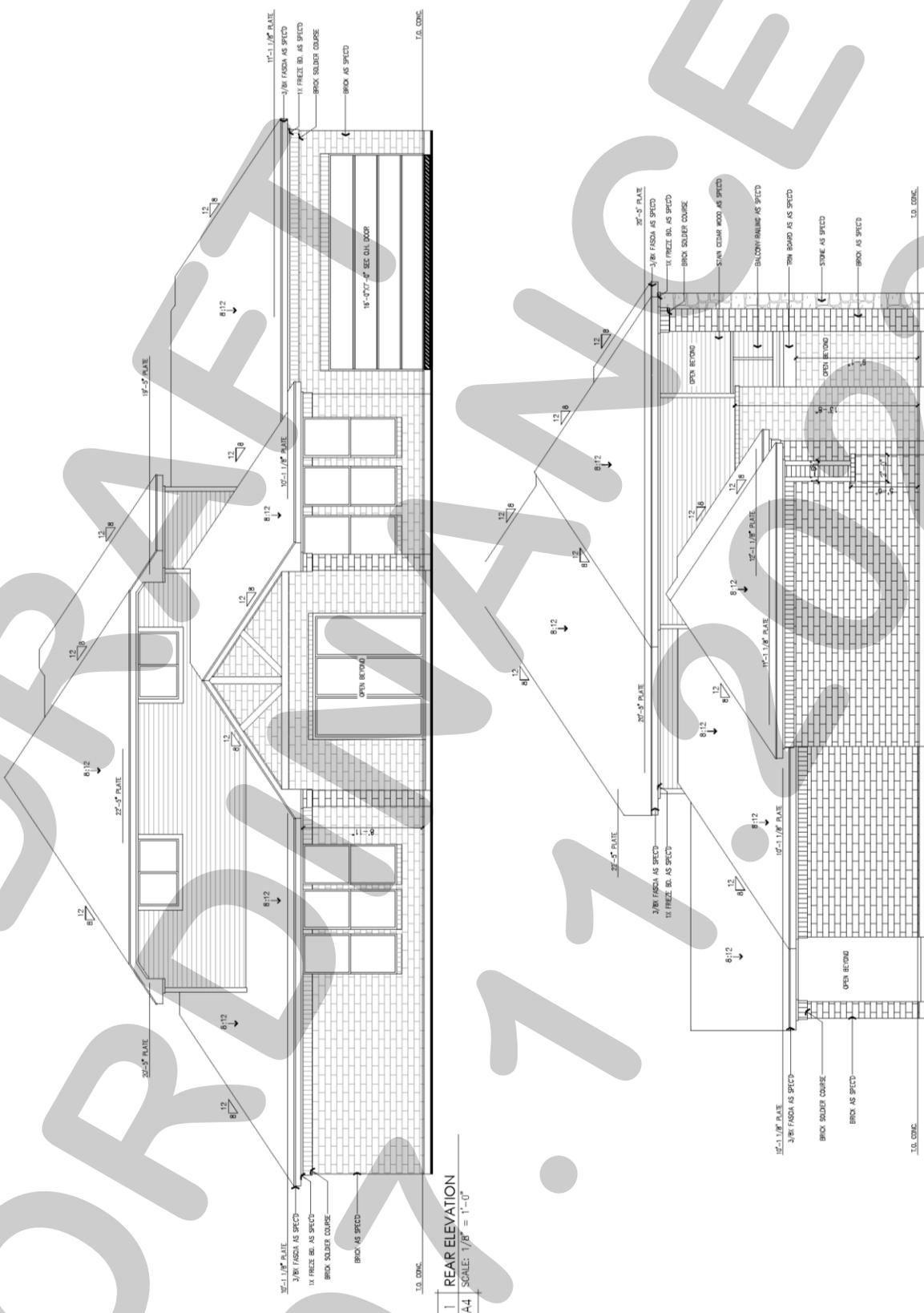
Exhibit 'C':
Building Elevations



Total Stone Area	322	S.F.	1.50%
Total Stoning Area	625	S.F.	2.97%
Overall Ratio =	19:1		

1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"

Exhibit 'C':
Building Elevations



1 REAR ELEVATION
A-4 SCALE: 1/8" = 1'-0"



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: August 7, 2023

APPLICANT: Manuel Tijerina

CASE NUMBER: Z2023-031; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 709 Forest Trace*

SUMMARY

Hold a public hearing to discuss and consider a request by Manuel Tijerina for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District. Sometime between January 3, 1972 and May 16, 1983, the subject property was rezoned to Single-Family 10 (SF-10) District, and has remained zoned Single-Family 10 (SF-10) District since this change. The subject property has remained vacant since its annexation.

PURPOSE

The applicant -- *Manuel Tijerina* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 709 Forest Trace. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is are three (3) parcels of land (*i.e. 703, 705, and 707 Forest Trace*) developed with single-family homes. North of these properties is W. Boydston Avenue, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is one (1) parcel of land (*i.e. 202 W. Boydston Avenue*) developed with a single-family home. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are four (4) parcels of land (*i.e. 711, 713, 715, and 201 Forest Trace*) developed with single-family homes. Beyond this is the Lake Meadows Subdivision, which consists of 26 single-family residential lots on 18.53-acres. These properties and this subdivision are zoned Single-Family 10 (SF-10) District. South of this is Glenn Avenue, which is identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property are two (2) parcels of land (*i.e. 706 and 710 S. Alamo Road*) developed with single-family homes that are zoned Single-Family 10 (SF-10) District. East of this is the intersection of S. Alamo Road and W. Ross Street. Both of these roadways are identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond

this are Lots 1-7 of the Amachris Place Subdivision and Lot 5, Block F, of the Sanger Addition which are zoned Planned Development District 12 (PD-12), as well as a portion of the Sanger Subdivision (*i.e. Lots 6-13, Block M, Sanger Addition*) zoned Zero Lot Line 5 (ZL-5) District.

West: Directly west of the subject property are two (2) parcels of land (*i.e. 708 and 710 Forest Trace*) developed with single-family homes. East of these are an additional two (2) parcels of land (*i.e. 707 and 709 Ridgeview Drive*) developed with single-family homes and are zoned Single-Family 10 (SF-10) District. Beyond this is Ridgeview Drive, which is identified an R2 (*i.e. residential, two (2) lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is located in the Highridge Estates Subdivision, which has been in existence since 1972, consists of 99 single-family residential lots, and is more than 90.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 10 (SF-10) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Forest Trace compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Forest Trace	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Forest Trace are oriented towards Forest Trace.	The front elevation of the home will face onto Forest Trace.
Year Built	1976-2003	N/A
Building SF on Property	2,509 SF – 4,730 SF	4,237 SF
Building Architecture	Traditional Brick/Stone Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) foot rear yard setback.	10-Feet
Building Materials	HardiBoard/HardiePlank, Brick, and Stone.	Combination of Brick, Stone, and Siding
Paint and Color	White, Cream, Red, Pink, Beige, and Brown	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the rear of the homes and not visible from Forest Trace.	The garage will be located in the rear of the proposed home.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Forest Trace and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On June 22, 2023, staff mailed 85 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Bent Creek Condos, Stonebridge Meadows, and Highridge Estates Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) emails in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 11, 2023, the Planning and Zoning Commission made a motion to continue the public hearing to the July 25, 2023 Planning and Zoning Commission meeting which passed by a vote of 5-1, with Commissioner Llewelyn dissenting and Commissioner Conway absent. According to Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "(a) public hearing may be continued by the Planning and Zoning Commission or City Council any time after the public hearing has commenced. The continuation of a public hearing shall be to a specific time and date no later than 30-days from the first or most recent public hearing. A continued public hearing shall be presumed to be held in the same location as the initial public hearing, unless a different location is announced. The announcement of a continuation at a public hearing shall be sufficient notice and no additional notice is required."

On July 25, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-0, with Chairman Deckard, and Commissioners Womble and Llewelyn absent.

CITY COUNCIL

On July 17, 2023, the City Council announced the new public hearing date of August 7, 2023.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *Alji*

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 709 Forest Trace

SUBDIVISION High Ridge Estates

LOT 13 BLOCK A

GENERAL LOCATION Skholisel & Boydston Ave

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE Vgent

PROPOSED ZONING _____

PROPOSED USE New Home Construction

ACREAGE _____

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Manuel Tijerina

APPLICANT _____

CONTACT PERSON Manuel Tijerina

CONTACT PERSON Olivia Pasadas

ADDRESS 7922 Garner Rd

ADDRESS 41 Anna Leis Dr

CITY, STATE & ZIP Rowlett, TX 75088

CITY, STATE & ZIP Waxahatchie TX 75167

PHONE 214-773-9971

PHONE 214 284 5571

E-MAIL manueltijerina70@gmail.com

E-MAIL OlPasadas@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Manuel Tijerina [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF June 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF June, 2023

OWNER'S SIGNATURE Manuel Tijerina

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Debra Camacho





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

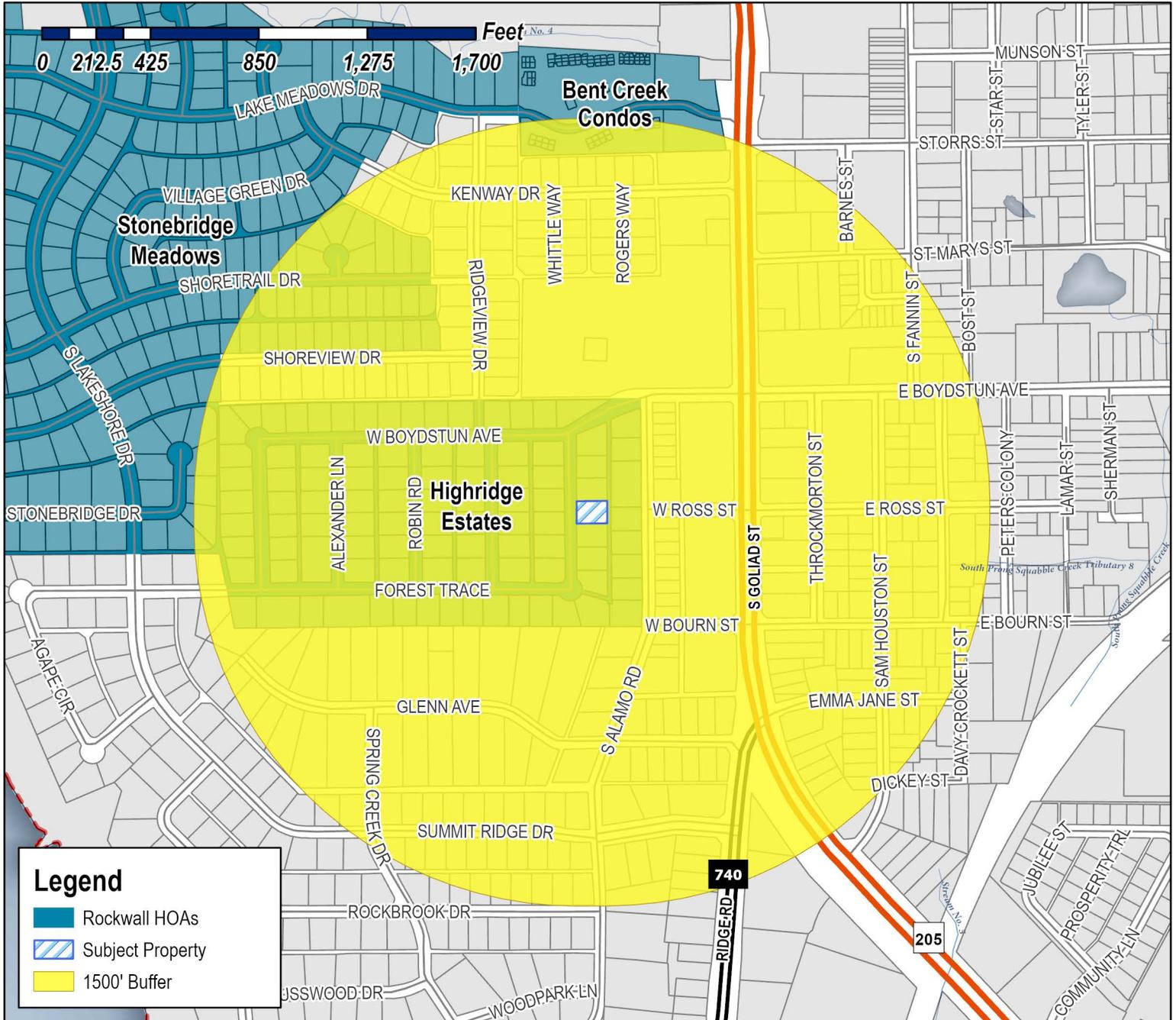




City of Rockwall

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Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-031]
Date: Monday, June 19, 2023 3:54:11 PM
Attachments: [HOA Map \(06.16.2023\).pdf](#)
[Public Notice \(P&Z\) - \(06.19.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [June 23, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 11, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 17, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2023-031: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

Thank you,

Melanie Zavala

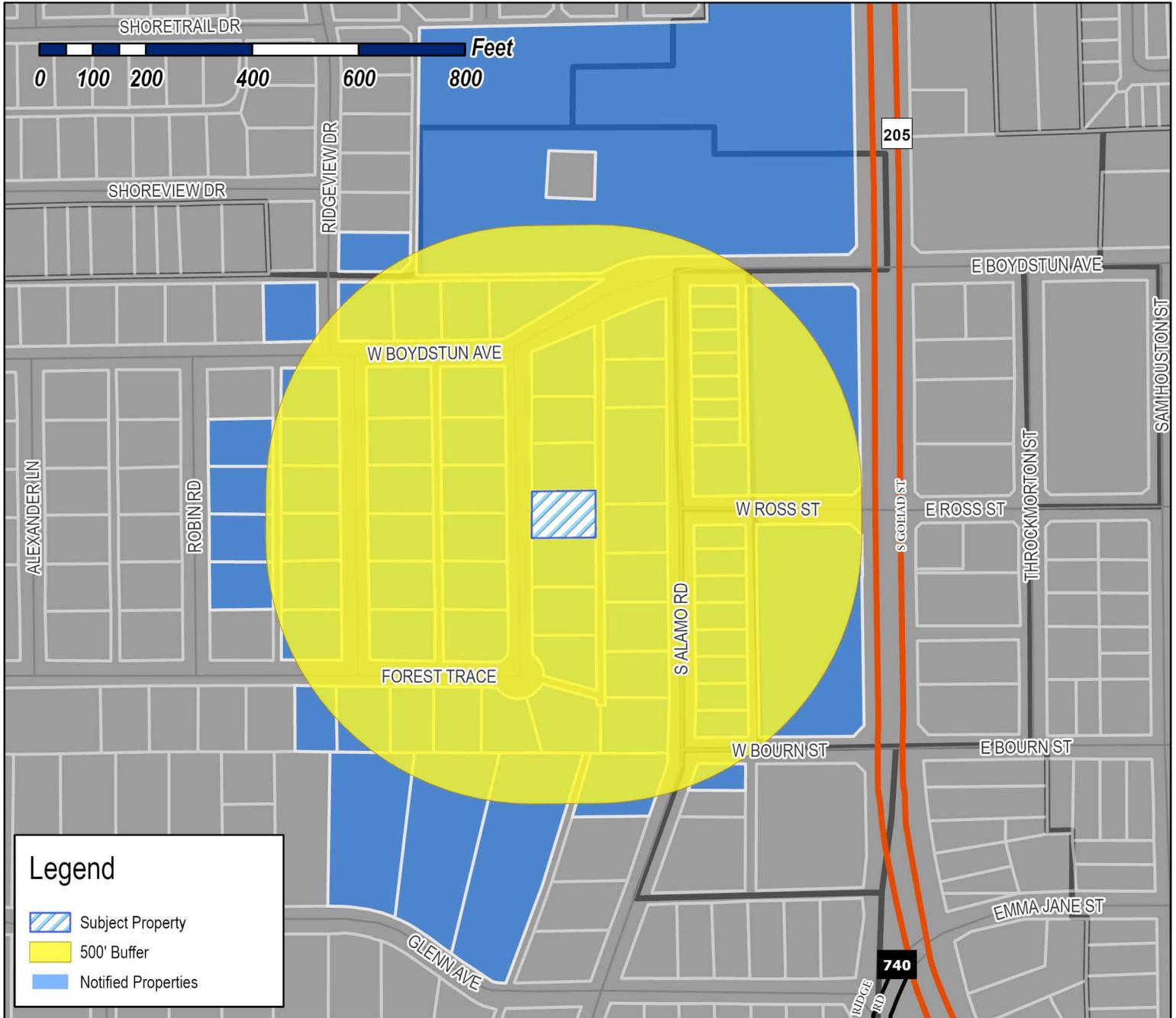
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023

For Questions on this Case Call: (972) 771-7746



BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

OTTO IRIS
1502 S 1ST ST STE 3
GARLAND, TX 75040

TIJERINA MANUEL
1713 MISSION DR
GARLAND, TX 75042

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

GIBSON CHARLES D AND LINDSAY K
201 FOREST TRACE
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

RUESS JOHN CHARLES & KATHY LEA
202 W BOYDSTUN ST
ROCKWALL, TX 75087

RESIDENT
203 FOREST TRACE
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPAY
204 GLENN AVE
ROCKWALL, TX 75087

MARKS RICHARD R & JUNE
TRUSTEES OF THE MARKS FAMILY LIVING TRUST
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

HAYDICKY JOSEPH N
205 FOREST TRACE
ROCKWALL, TX 75087

ANGIEL JOHN H & KAY M
206 GLENN AVE
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011
REX M PREDDY AND PATTI S PREDDY- TRUSTEES
206 WEST BOYDSTUN AVE
ROCKWALL, TX 75087

BROWN BREANNE ELIZABETH STRAWN AND
AARON KRISTOPHER
207 FOREST TRACE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA
208 BOYDSTUN AVE
ROCKWALL, TX 75087

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

ST CLAIR DOUG & KELLY
301 FOREST TRACE
ROCKWALL, TX 75087

COMPTON HAYDEN AND TAYLOR LOVERA
302 W BOYDSTUN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
303 FOREST TRACE
ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON
517 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
602 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST
664 SORITA CIR
HEATH, TX 75032

REED DARLENE
701 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
702 S ALAMO DR
ROCKWALL, TX 75087

CRESPO DENYS AND HALEY
703 FOREST TRACE
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY
703 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

RESIDENT
703 S ALAMO
ROCKWALL, TX 75087

FREED SARAH
704 FOREST TRACE
ROCKWALL, TX 75087

PASSON BRETT A & LAURIE J
704 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
704 S ALAMO DR
ROCKWALL, TX 75087

CULLINS JENNIFER L
705 FOREST TRACE
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST
C/O ROBERT LOUIS AND
705 RIDGEVIEW DR
ROCKWALL, TX 75087

STROMAN ROBERT E & JUDY DANIELS
705 ROBIN RD
ROCKWALL, TX 75087

RESIDENT
705 S ALAMO
ROCKWALL, TX 75087

FORD CLYDE G
706 FOREST TRACE
ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S
706 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

MILLS CHARLES O
706 S ALAMO RD
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &
DAVID SCOTT
707 FOREST TRCE
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE
707 RIDGEVIEW DR
ROCKWALL, TX 75087

FLOWERS DONALD
707 ROBIN DR
ROCKWALL, TX 75087

RESIDENT
707 S ALAMO
ROCKWALL, TX 75087

KELEMEN ANNA V AND
MATTHEW BURBRIDGE
708 FOREST TRACE
ROCKWALL, TX 75087

FLOURA ROSEANN EXECUTOR
708 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
709 FOREST TRACE
ROCKWALL, TX 75087

RESIDENT
709 ROBIN RD
ROCKWALL, TX 75087

FALCON ANN L & LEONARD
709 RIDGEVIEW DR
ROCKWALL, TX 75087

FLEMING LINDA
709 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
710 RIDGEVIEW DR
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY
710 FOREST TRACE
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
710 S GOLIAD ST
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M
711 RIDGEVIEW
ROCKWALL, TX 75087

MUNOZ THOMAS & SUZANNE
711 ROBIN DR
ROCKWALL, TX 75087

POPP KATHLEEN
711 S ALAMO
ROCKWALL, TX 75087

GRAY JIM
712 FOREST TRACE
ROCKWALL, TX 75087

MORI DANIEL J & JUDY
712 RIDGEVIEW DR
ROCKWALL, TX 75087

HILLMAN DORIANN AND
JOEL OTT
713 FOREST TRACE
ROCKWALL, TX 75087

COHEN MARK A
713 RIDGEVIEW DR
ROCKWALL, TX 75087

SHERA DEBORAH K
713 S ALAMO RD
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS
714 FOREST TRCE
ROCKWALL, TX 75087

SIPLE MARIAN C
714 RIDGEVIEW DR
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

MILLS CHARLES O
715 S ALAMO RD
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
807 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
809 ALAMO RD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

CROSBY SILAS SAMUEL AND RACHEL E
8706 WESTFIELD DRIVE
ROWLETT, TX 75088

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
902 S ALAMO
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-031: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-031: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for support or opposition]

Name: [Grey bar]
Address: [Grey bar]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Ross, Bethany

From: Brent Bryant [REDACTED]
Sent: Tuesday, July 11, 2023 1:45 PM
To: Planning
Subject: Case 2023-031

Hi Angelica,

This is Brent Bryant at [REDACTED] in Rockwall. In reference to case 2023-031, I would like to oppose the 2 story home being built on the lot on Forrest Trace and directly behind my house . I assume the building restrictions were put in place to protect the Alamo Rd properties view and I would like to keep that protection.

Thank you,

Brent Bryant
[REDACTED]

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CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: [Sarah Freed](#)
To: [Planning](#)
Subject: SUP Z2023-031 - Response
Date: Monday, July 17, 2023 10:46:59 AM

Good morning,

I am opposed to the request for the following reasons: 1. The proposed house is too large for the property and will set a precedence for future "McMansions" and 2. Zoning and UDC rules are put in place, and should be followed in most circumstances.

This is a mature neighborhood, with few few lots in it. As some of the homes are older in the neighborhood, this could reset the standards for tear downs and houses on top of each other. It is not in keeping with the aesthetic of our neighborhood.

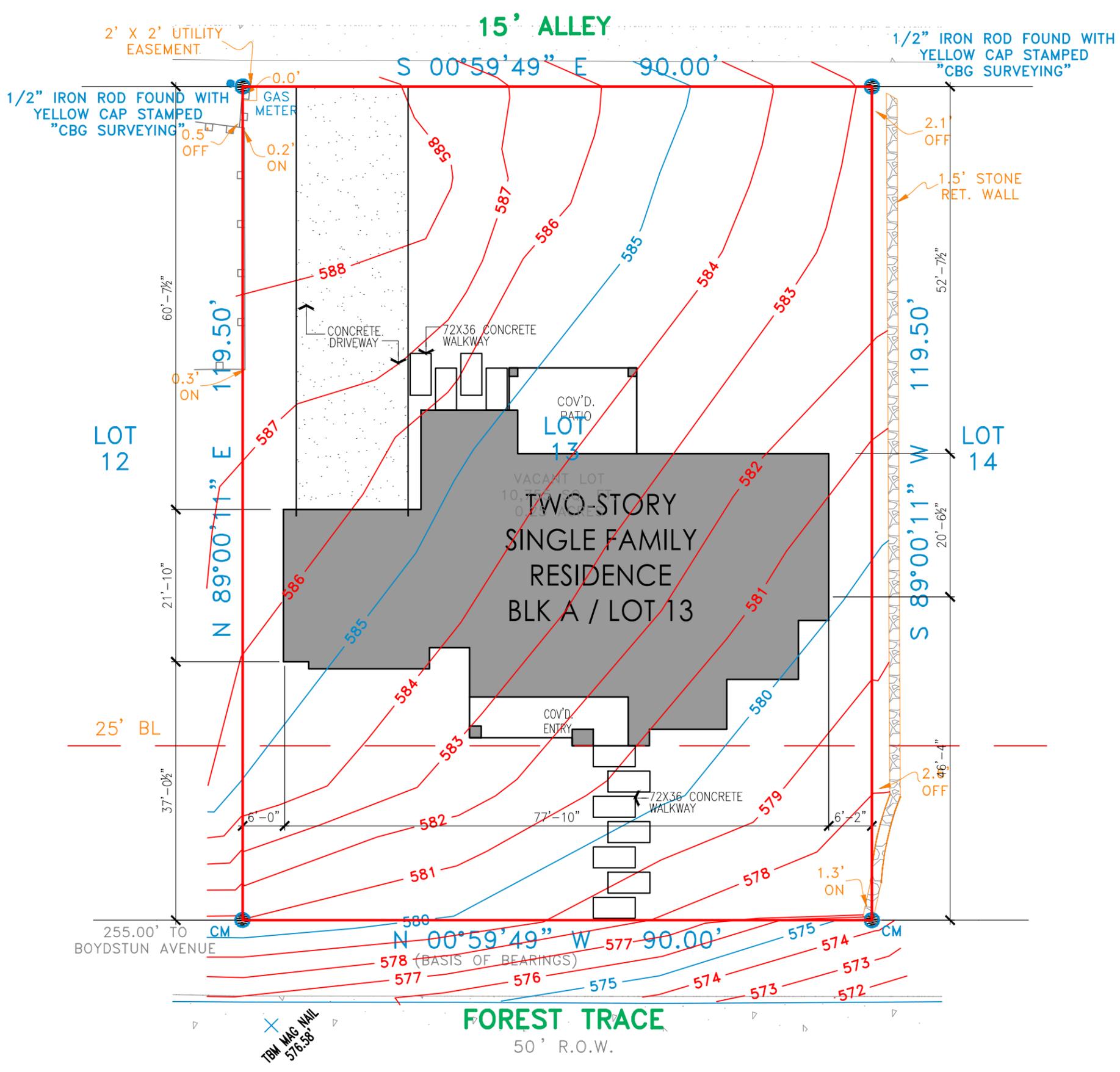
Thank you,

Sarah E. Freed



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709 FOREST TRACE
 BLK A / LOT 13 / HIGH RIDGE STATE
 ROCKWALL, ROCKWALL COUNTY, TX



LEGEND:

← DRAINAGE ARROW

REAR PATIO AREA
 NOTE: CROSS HATCHED AREA INDICATES REAR YARD OPEN SPACE.

NOTE: BUILDER SHOULD PLANT TREE AS PER COMMUNITY STANDARD AS REQUIRED.

FLATWORK AREA TABULATIONS			
LEAD WALK	APPROX.	18	S.F.
CITY WALK	APPROX.	0	S.F.
DRIVE	APPROX.	970	S.F.
APPROACH	APPROX.	0	S.F.
TOTAL	APPROX.	988	S.F.

LOT COVERAGE			
LOT AREA	APPROX.	10755	S.F.
MAIN BUILDING AREA	APPROX.	2982	S.F.
LOT COVERAGE	APPROX.	27.73	%

1 SITE PLAN
 SP1 SCALE: 1/16" = 1'-0"

SHEET NO. SP1 OF 13	DRAWN BY: LRN	DESIGN PLAN NAME/NUMBER: 3235 PLAN	NEW RESIDENCE FOR: MANUEL TIJERILLA	ADDRESS: 709 FOREST TRACE ROCKWALL, ROCKWALL COUNTY, TX BLK A/LOT 13/HIGH RIDGE STATE
	ISSUED FOR REVIEW 06-28-2023	ELEVATION: STONE GARAGE: REAR ENTRY		

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

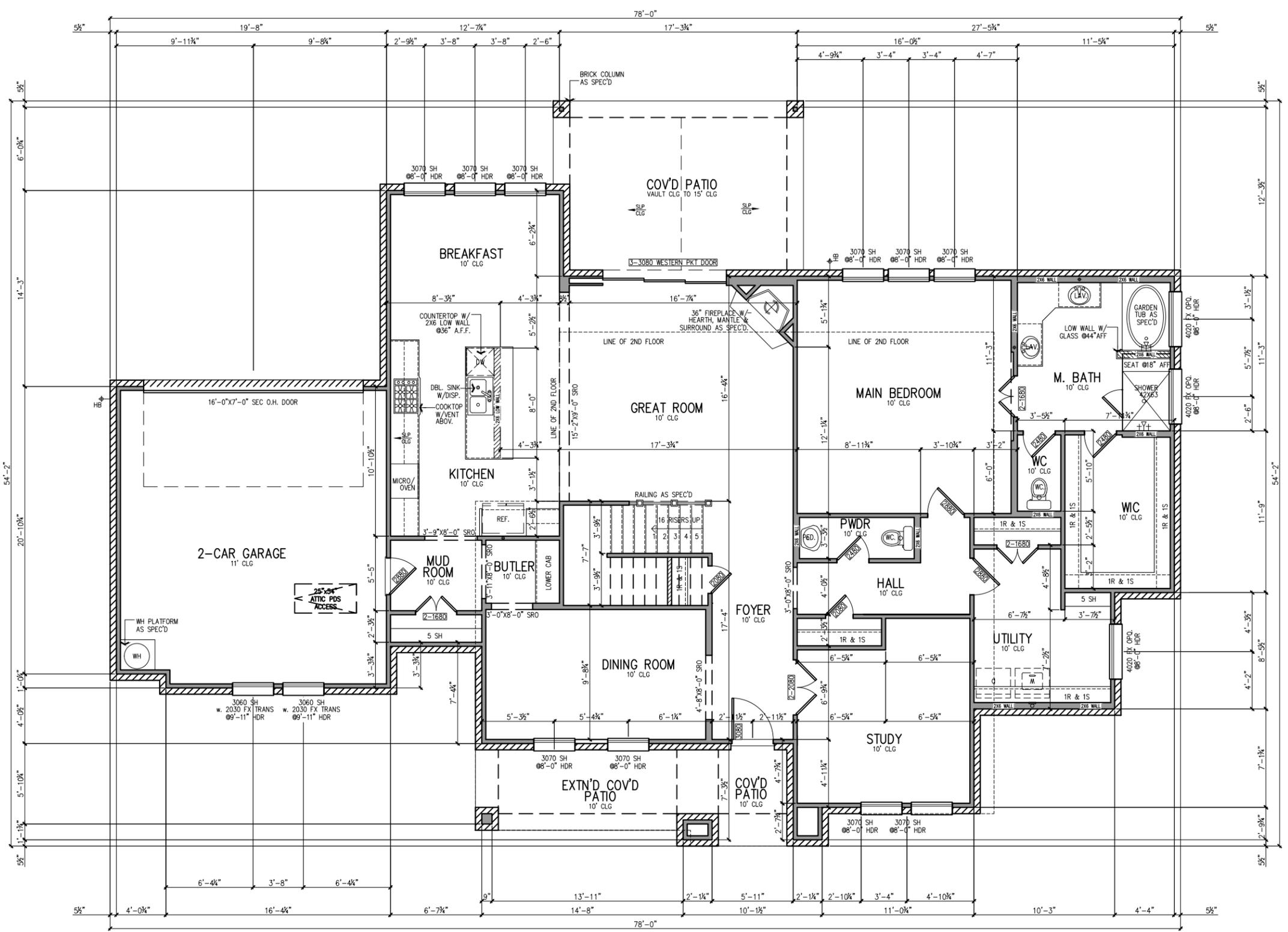
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
 A1
 OF
 13



AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911	SQ. FT.	1,970	SQ. FT.	2,055
Second Floor	981	SQ. FT.	1,046	SQ. FT.	1,052
Total	2,892	SQ. FT.	3,016	SQ. FT.	3,107
Total Living Area					3,107
1-Car Garage	0	SQ. FT.	0	SQ. FT.	0
2-Car Garage	411	SQ. FT.	429	SQ. FT.	458
3-Car Garage	0	SQ. FT.	0	SQ. FT.	0
Total Garage Area	411	SQ. FT.	429	SQ. FT.	458
Covered Porch	0	SQ. FT.	147	SQ. FT.	149
Covered Patio	0	SQ. FT.	211	SQ. FT.	217
Covered Balcony	0	SQ. FT.	151	SQ. FT.	167
Total Covered Porch/Patio Area	0	SQ. FT.	509	SQ. FT.	533
Total Slab Area					2,879
Total Under Roof					4,098
Total Interior Frame	3,303	SQ. FT.			
Total Exterior Frame			3,954	SQ. FT.	
Overall Width = 78'-0"			Overall Depth = 54'-2"		

1 FIRST FLOOR PLAN
 A1 SCALE: 1/8" = 1'-0"

C:\USERS\JUANNE.RIVERA\LOCAL\DOWNLOADS\2022-02-03_709 FOREST TRACE.DWG

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

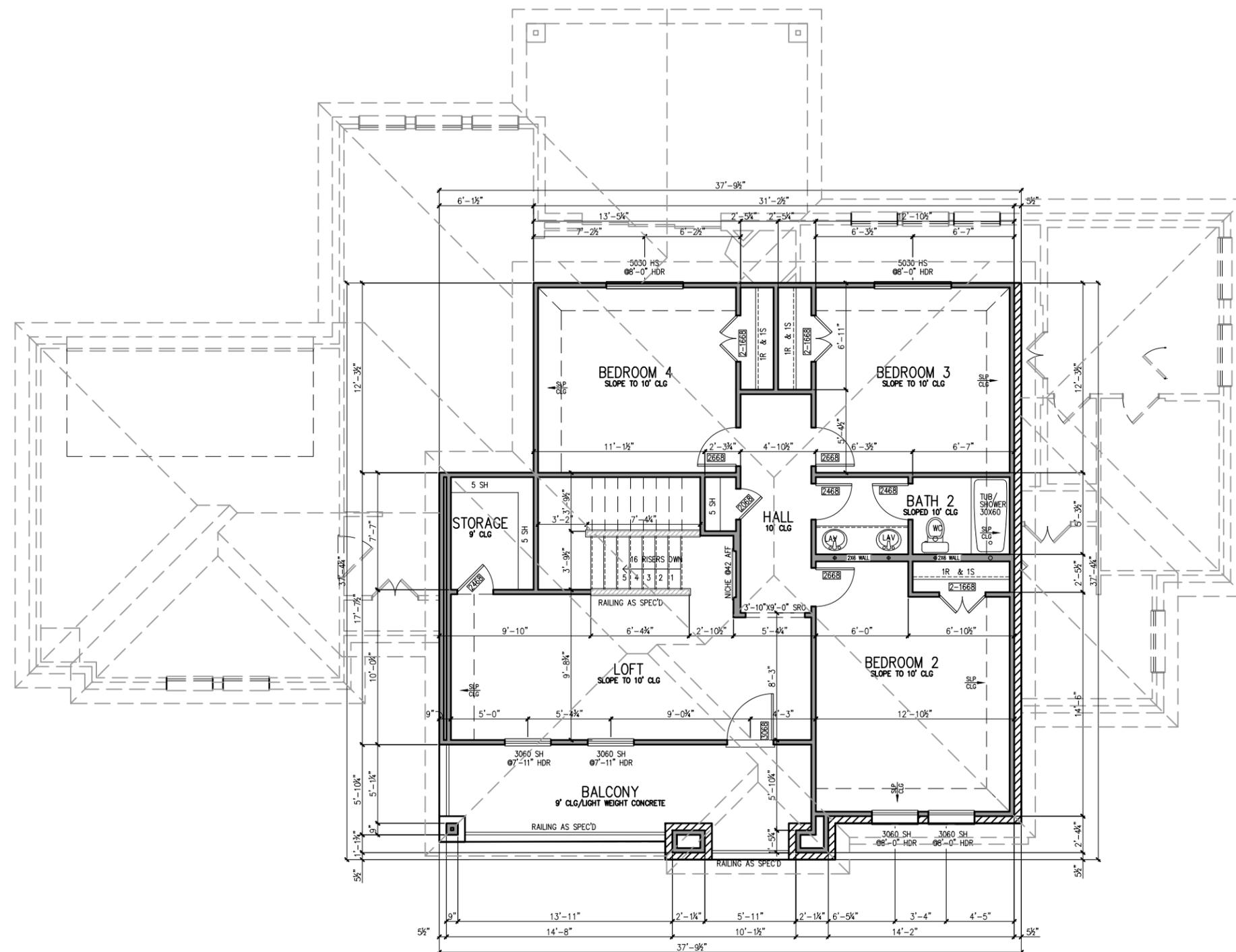
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
 A1.1
 OF
 13



AREA CALCULATIONS_709 FOREST TRACE

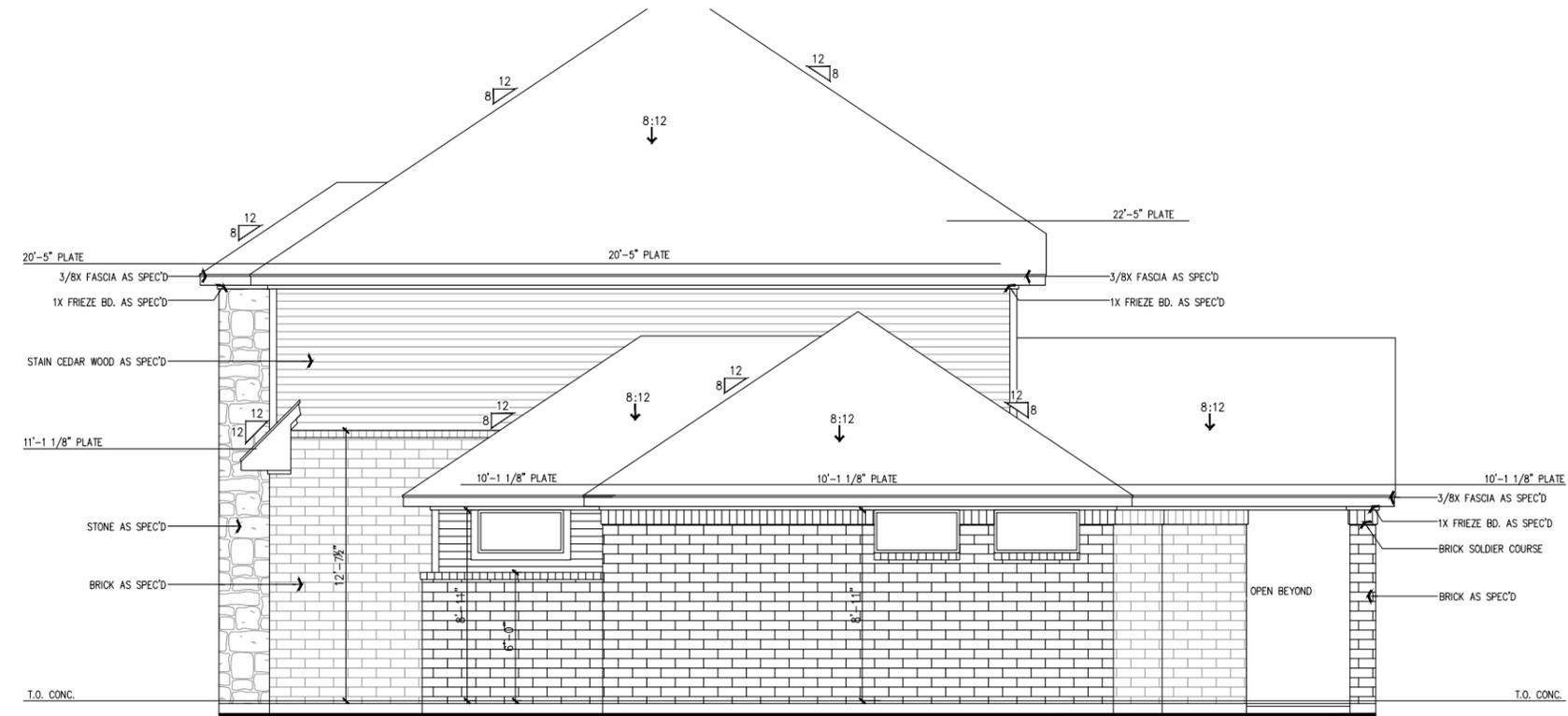
	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911 SQ. FT.	1,970 SQ. FT.	2,055 SQ. FT.		
Second Floor	981 SQ. FT.	1,046 SQ. FT.	1,052 SQ. FT.		
Total	2,892 SQ. FT.	3,016 SQ. FT.			
Total Living Area			3,107 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
3-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
Total Garage Area	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
Covered Porch	0 SQ. FT.	147 SQ. FT.	149 SQ. FT.		
Covered Patio	0 SQ. FT.	211 SQ. FT.	217 SQ. FT.		
Covered Balcony	0 SQ. FT.	151 SQ. FT.	167 SQ. FT.		
Total Covered Porch/Patio Area	0 SQ. FT.	509 SQ. FT.	533 SQ. FT.		
Total Slab Area			2,879 SQ. FT.		
Total Under Roof			4,098 SQ. FT.		
Total Interior Frame	3,303 SQ. FT.				
Total Exterior Frame		3,954 SQ. FT.			
Overall Width = 78'-0"			Overall Depth = 54'-2"		

1 SECOND FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

MATERIAL AREA TABULATIONS		709 FOREST TRACE									
		BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL			
Front Elevation	487	S.F.	53.22%	256	S.F.	27.98%	172	S.F.	18.80%	915	S.F.
Right Side Elevation	413	S.F.	67.48%	44	S.F.	7.19%	155	S.F.	25.33%	612	S.F.
Rear Elevation	458	S.F.	71.23%	0	S.F.	0.00%	185	S.F.	28.77%	643	S.F.
Left Side Elevation	489	S.F.	78.37%	22	S.F.	3.53%	113	S.F.	18.11%	624	S.F.
Total Area	1,847	S.F.		322	S.F.		625	S.F.		2,794	S.F.
Total Brick Area							1,847	S.F.		66.11%	
Total Stone Area				322	S.F.					11.52%	
Total Siding Area						625	S.F.			22.37%	
Overall Width = 78'-0"		Overall Depth = 54'-2"									



1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

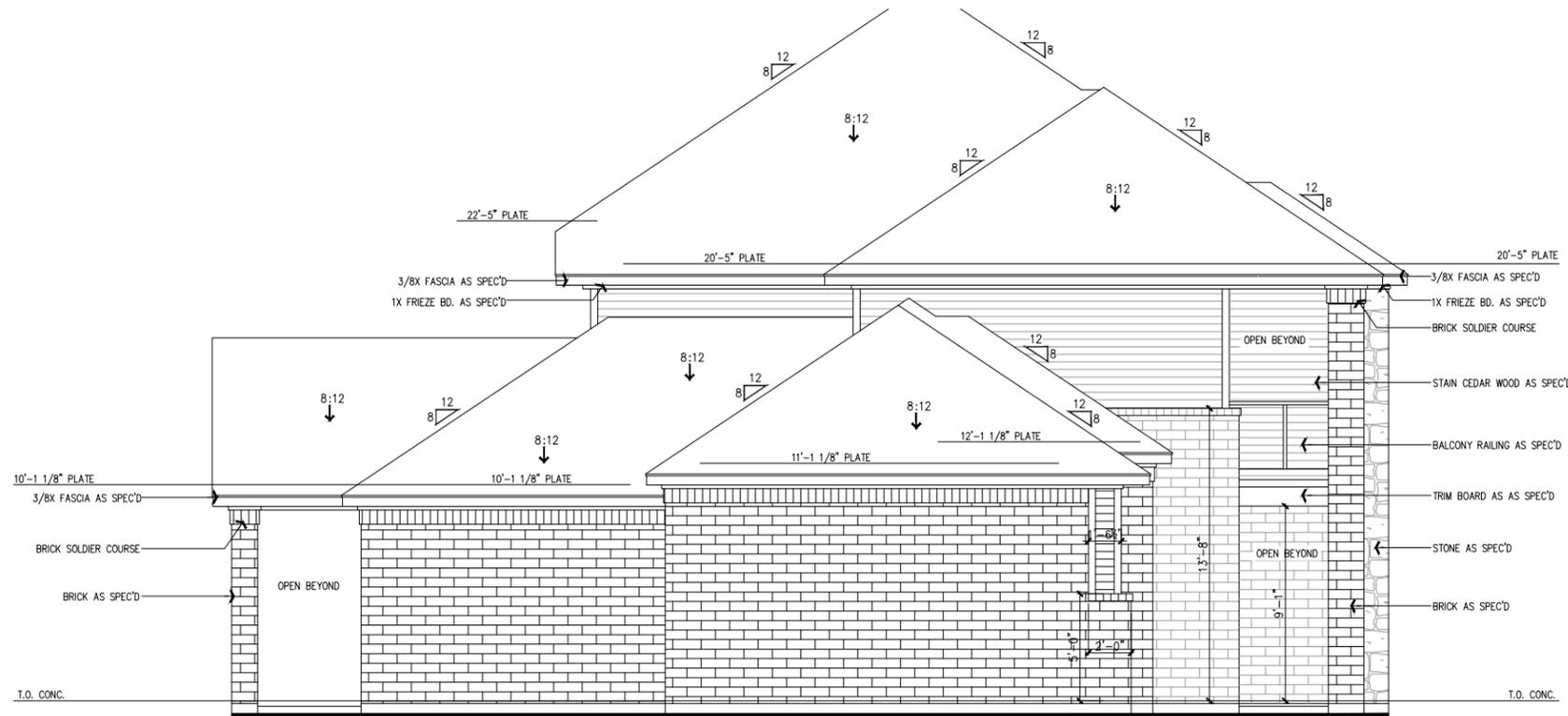
DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A3
OF
13



1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A4
OF
13

GENERAL ROOF NOTES:

ROOF PITCH:
8:12 UNLESS OTHERWISE NOTED.

OVERHANG:
1'-4 1/2" FROM FRAME UNLESS OTHERWISE NOTED.

SLOPE DOWN IN DIRECTION OF ARROWS.

GUTTER & DOWNSPOUT LOCATIONS AS SPECIFIED.

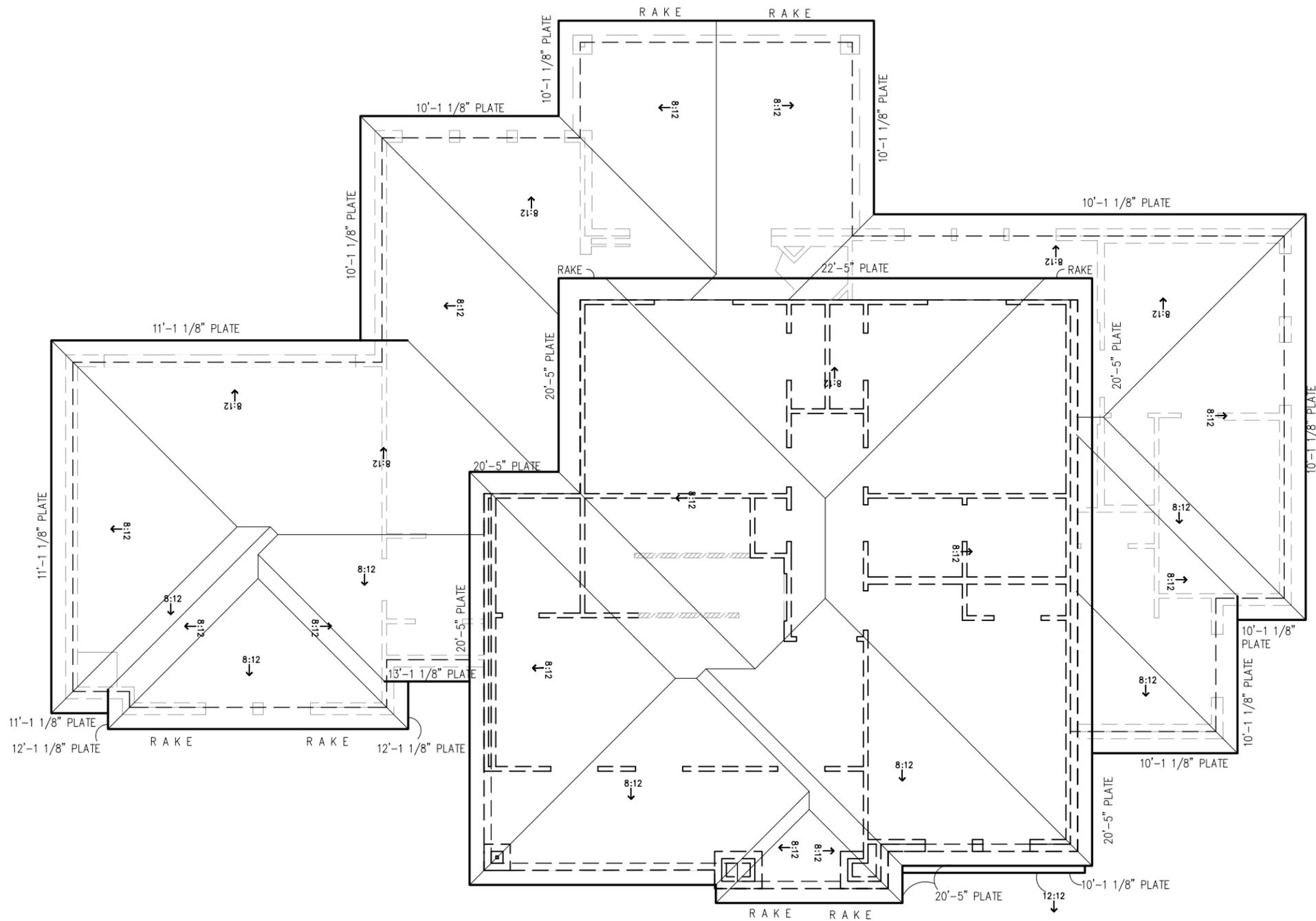
ROOFING MATERIAL AS SPECIFIED.

PRE-FINISHED GALV. METAL FLASHING AND DRIP EDGE SHALL BE USED AT ALL APPLICABLE LOCATIONS.

METAL VENT STACKS SHALL BE PRE-FINISHED OR PAINTED TO MATCH ROOF.

REFER TO ROOF PLAN FOR ROOF SLOPES, PLATE HEIGHTS AND INFORMATION NOT PROVIDED IN THESE NOTES.

PROPER ATTIC VENTILATION REQUIRES THAT THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NO LESS THAN 1/300 PROVIDED THAT A VAPOR RETARDED HAVING A PERMANENCE NOT EXCEEDING ONE PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING OR AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VERIFY VENTILATION REQUIREMENTS WITH ROOF SYSTEM MANUFACTURER



1 ROOF PLAN
A5 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A5
OF
13



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, and Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick
713 Forest Trace	Single-Family Home	1993	2,509	N/A	Brick
715 Forest Trace	Single-Family Home	1980	4,075	N/A	Brick
714 Forest Trace	Single-Family Home	1981	3,165	N/A	Brick and Siding
712 Forest Trace	Single-Family Home	1985	3,631	384	Brick
710 Forest Trace	Single-Family Home	1979	3,818	N/A	Brick
708 Forest Trace	Single-Family Home	1981	3,016	164	Brick
706 Forest Trace	Single-Family Home	1976	4,103	N/A	Brick
	AVERAGES:	1983	3,638	213	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

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703 Forest Trace



705 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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707 Forest Trace



709 Forest Trace



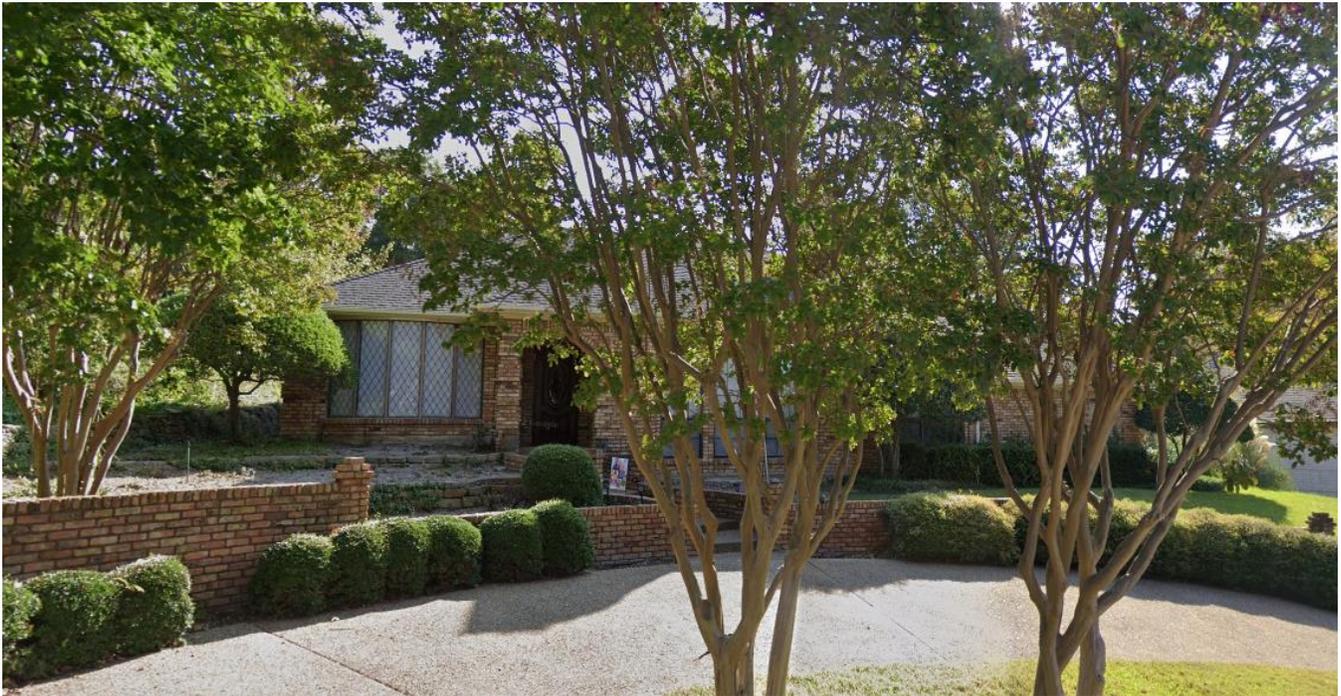
CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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711 Forest Trace



713 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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715 Forest Trace



714 Forest Trace



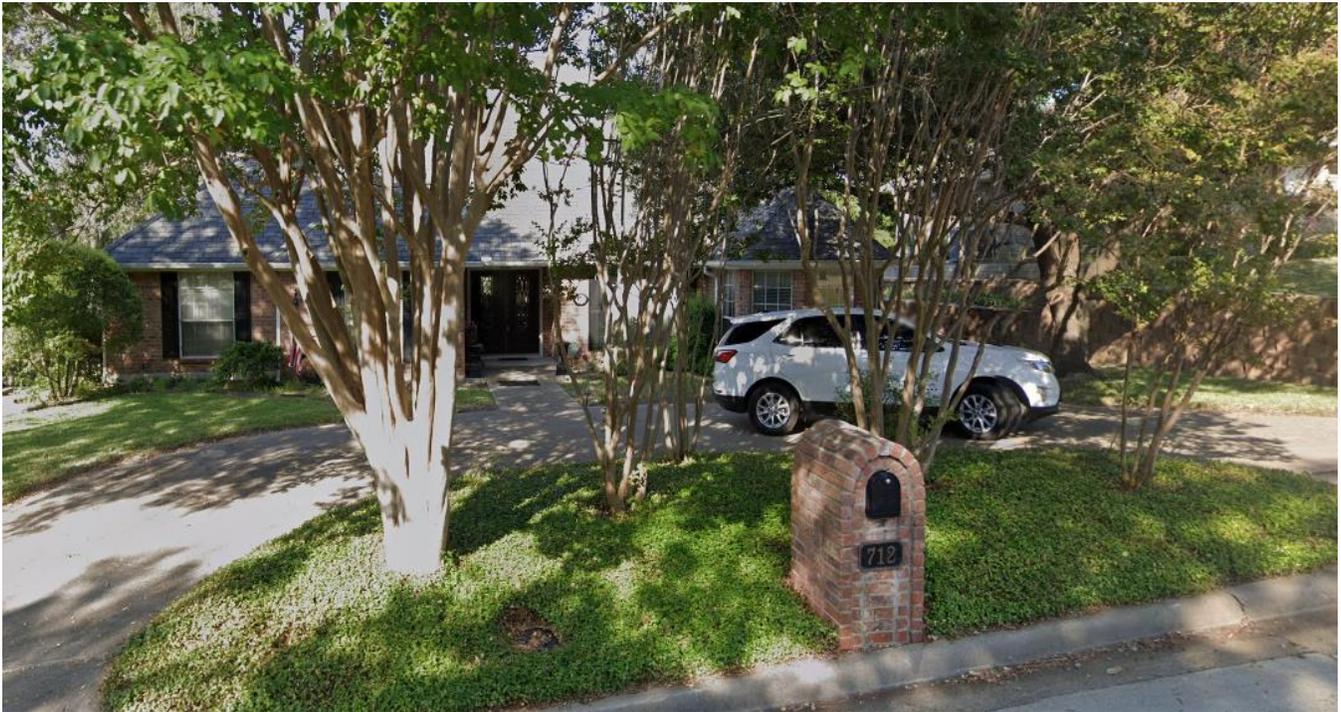
CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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712 Forest Trace



710 Forest Trace



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



708 Forest Trace



706 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 13, BLOCK A, HIGHRIDGE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Manuel Tijerina for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as Lot 13, Block A, of the Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7th DAY OF AUGUST, 2023.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: July 17, 2023

2nd Reading: August 7, 2023

**Exhibit 'A':
Location Map**

Address: 709 Forest Trace

Legal Description: Lot 13, Block A, Highridge Estates Addition



**Exhibit 'B':
Residential Plot Plan**

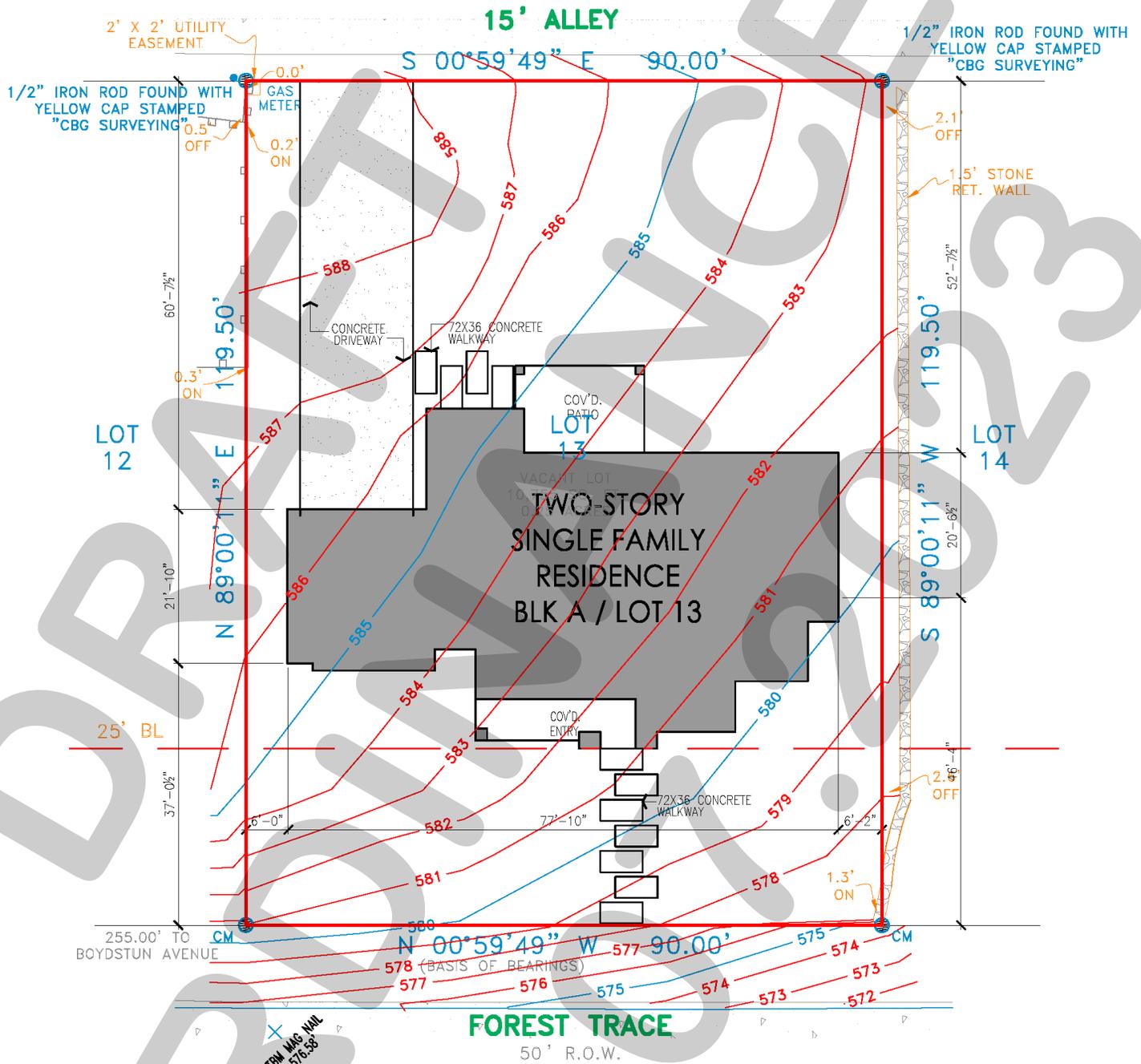
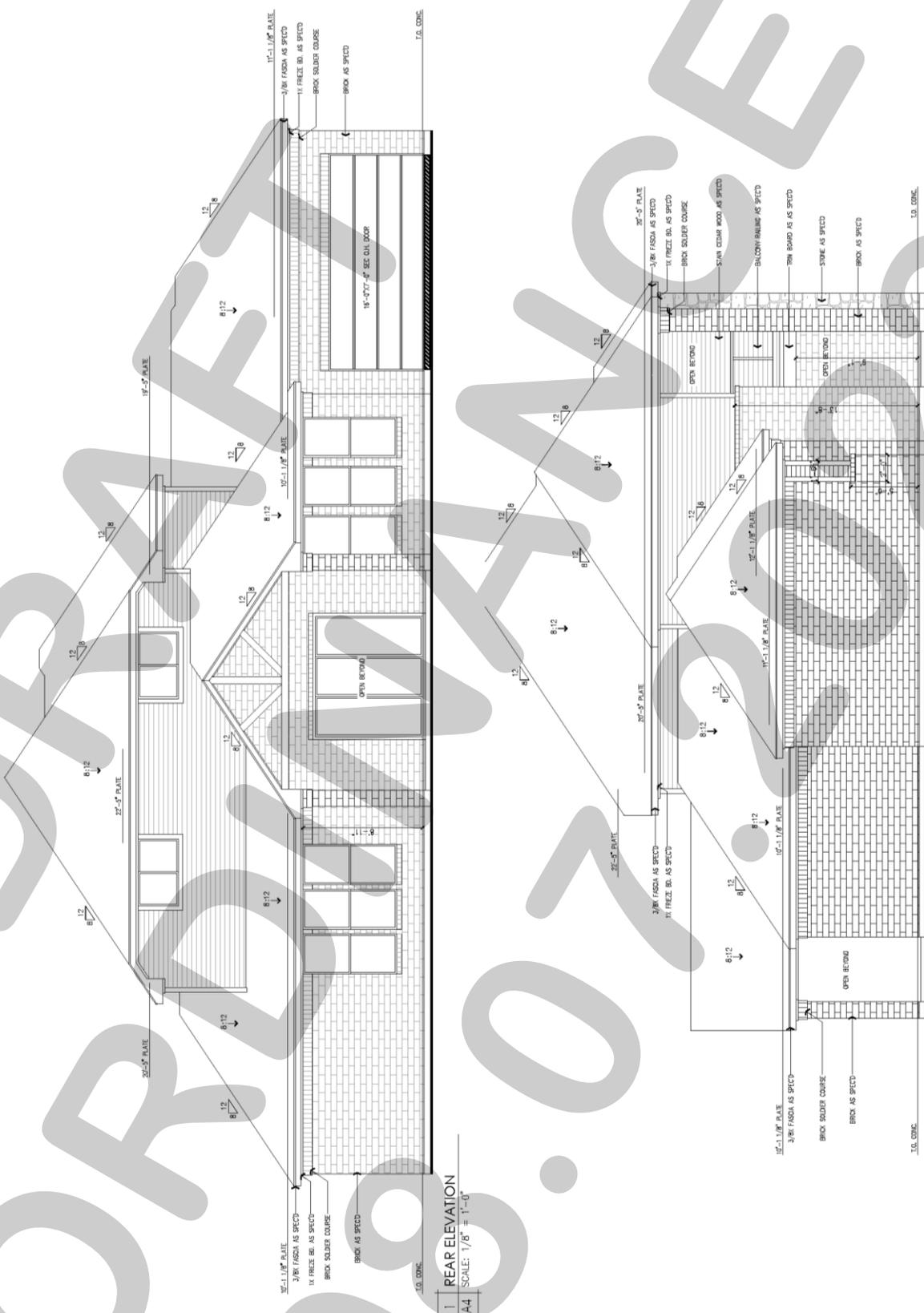


Exhibit 'C':
Building Elevations



1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



September 13, 2023

TO: Otilio Posadas
41 Anna Leigh Drive
Waxahachie, TX 75167

CC: Manuel Tijerina
7922 Garner Road
Rowlett, TX 75088

FROM: Angelica Guevara
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2023-031; *Specific Use Permit (SUP) For Residential Infill in an Established Subdivision*

Mr. Posadas:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on August 21, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit BA* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On July 11, 2023, the Planning and Zoning Commission approved a motion to table the Specific Use Permit (SUP) to the July 25, 2023 Planning and Zoning meeting by a vote of 5-1, with Commissioner Llewelyn dissenting and Commissioner Conway absent.

On July 25, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-0, with Chairman Deckard and Commissioners Womble and Llewelyn absent.

City Council

On August 7, 2023, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

On August 21, 2023, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 23-42, S-309*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6438.

Sincerely,



Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 23-42

SPECIFIC USE PERMIT NO. S-309

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 13, BLOCK A, HIGHRIDGE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Manuel Tijerina for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as Lot 13, Block A, of the Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

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SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

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The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

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- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

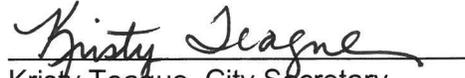
SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 21st DAY OF AUGUST, 2023.

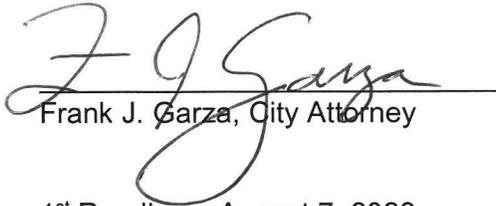


Trace Johannesen, Mayor

ATTEST:


Kristy Teague, City Secretary

APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: August 7, 2023

2nd Reading: August 21, 2023

Exhibit 'A':
Location Map

Address: 709 Forest Trace

Legal Description: Lot 13, Block A, Highridge Estates Addition

