



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS

820 E Heath St.

SUBDIVISION

Solar Village

LOT

1

BLOCK

A

GENERAL LOCATION

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

OWNER

Richard Expo

APPLICANT

CONTACT PERSON

RYSZARD WASZCZUK

CONTACT PERSON

ADDRESS

838 Nash St.

ADDRESS

CITY, STATE & ZIP

Rockwall, TX. 75087

CITY, STATE & ZIP

PHONE

972-400-8047

PHONE

E-MAIL

Richardexpo@hotmail.com

E-MAIL

**NOTARY VERIFICATION [REQUIRED]**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYSZARD WASZCZUK (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

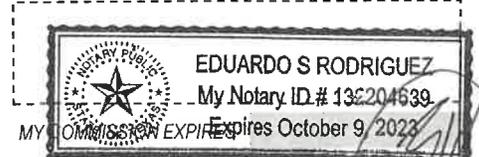
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14<sup>th</sup> DAY OF July 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14<sup>th</sup> DAY OF July 2023

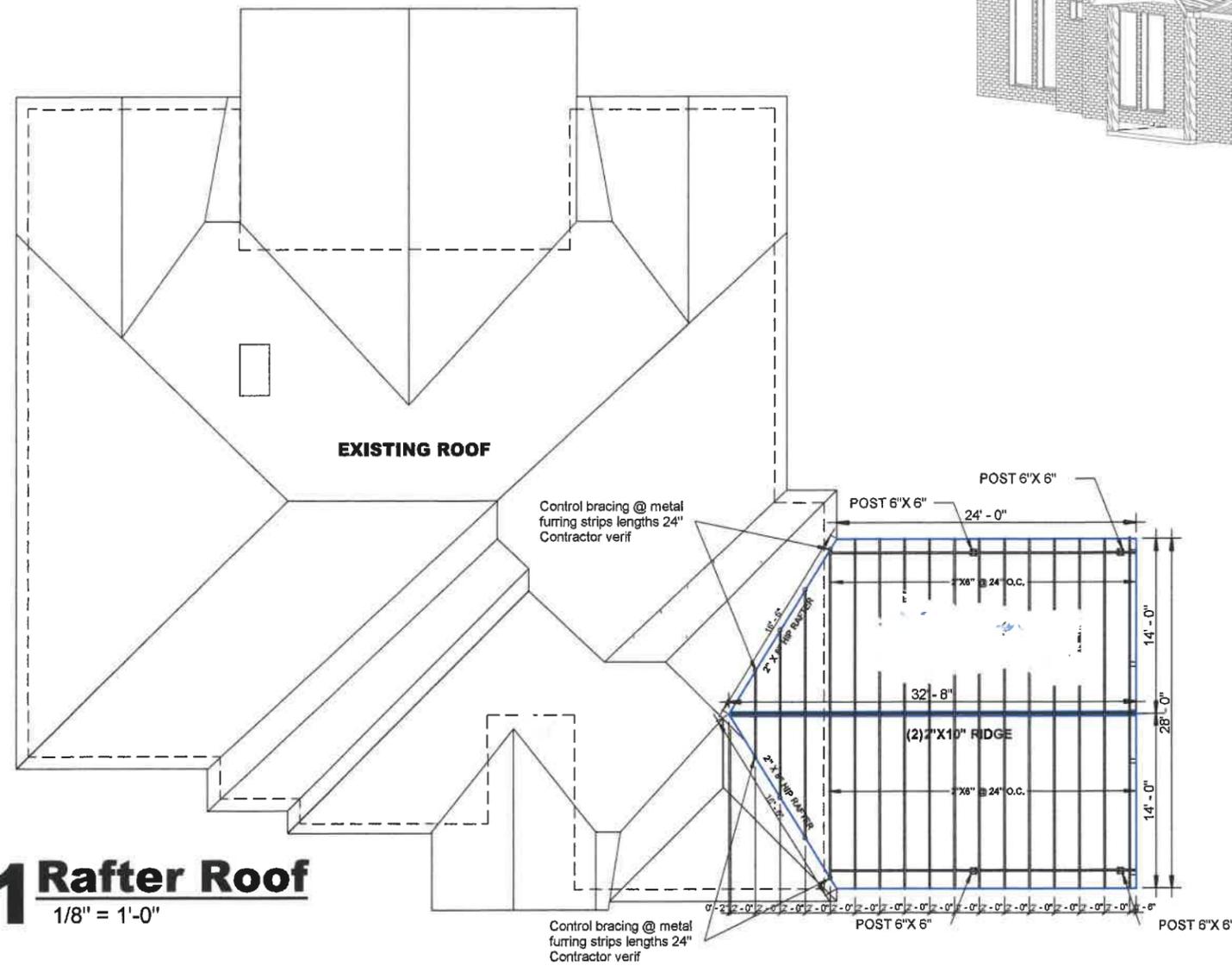
OWNER'S SIGNATURE

*[Signature]*

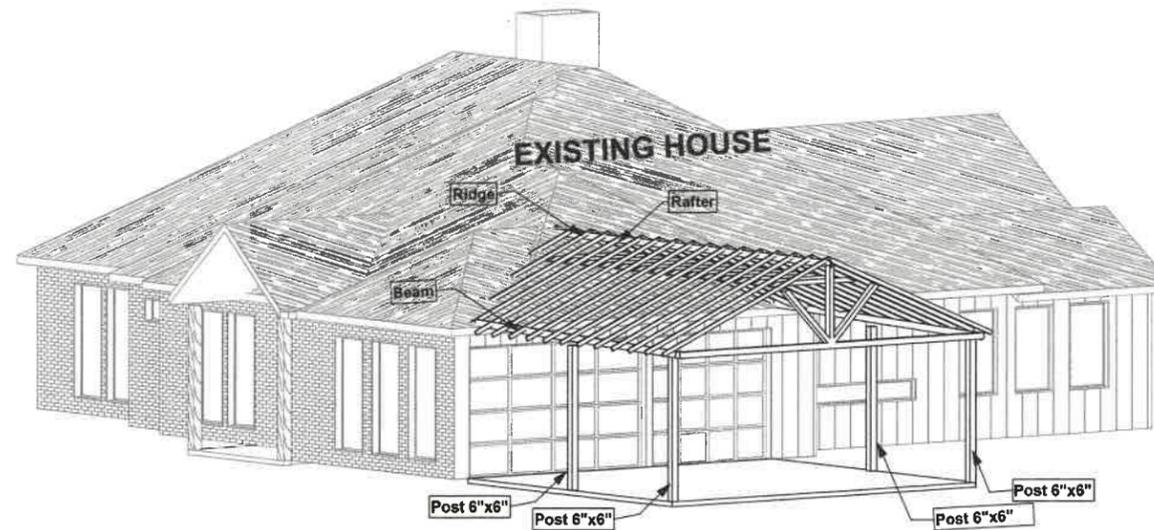
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS







**1 Rafter Roof**  
1/8" = 1'-0"



**2 Framing Carport**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE DESIGN PROFESSIONAL, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCES IN SURROUNDING LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY CHANGES DUE TO ERRORS, OMISSIONS, OR MISINTERPRETATIONS OF THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THE HOUSE ONLY ONCE. ANY CORRECTIONS, CHANGES, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATIONS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**

820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**

LOT 7

**RAFTER ROOF**

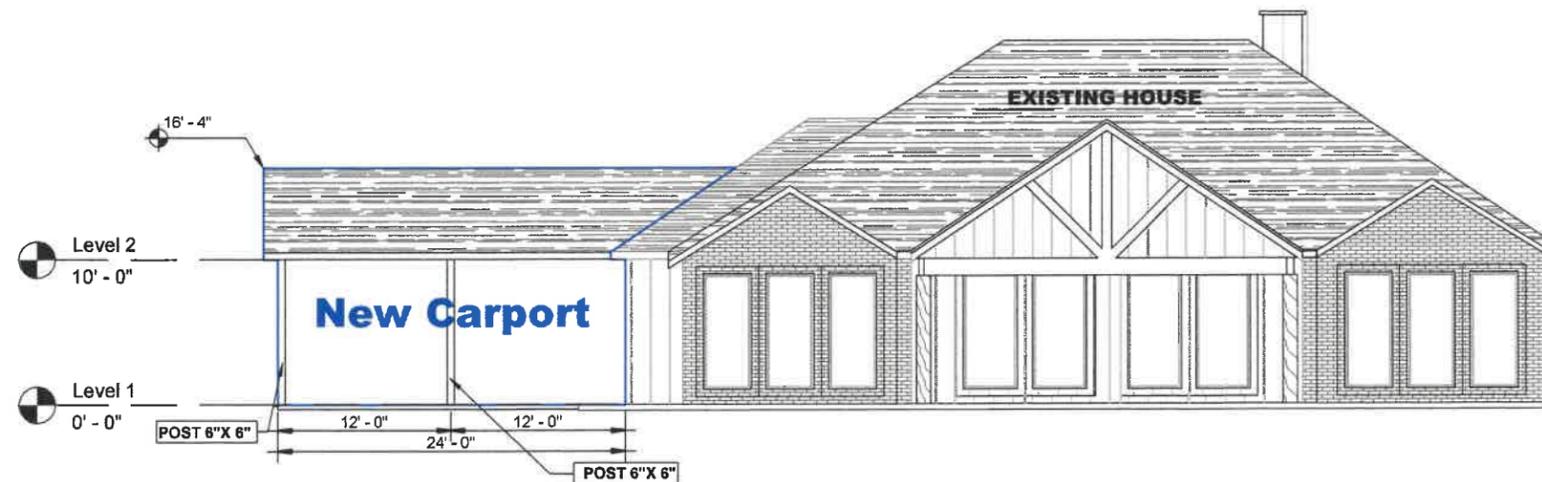
Project number:

Date: 6/23/2023 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**1 Front Elevation**  
1/8" = 1'-0"



**2 Right Elevation**  
1/8" = 1'-0"



**3 Left Elevation**  
1/8" = 1'-0"



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GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRADING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

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820 E HEATH ST  
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LOT 7

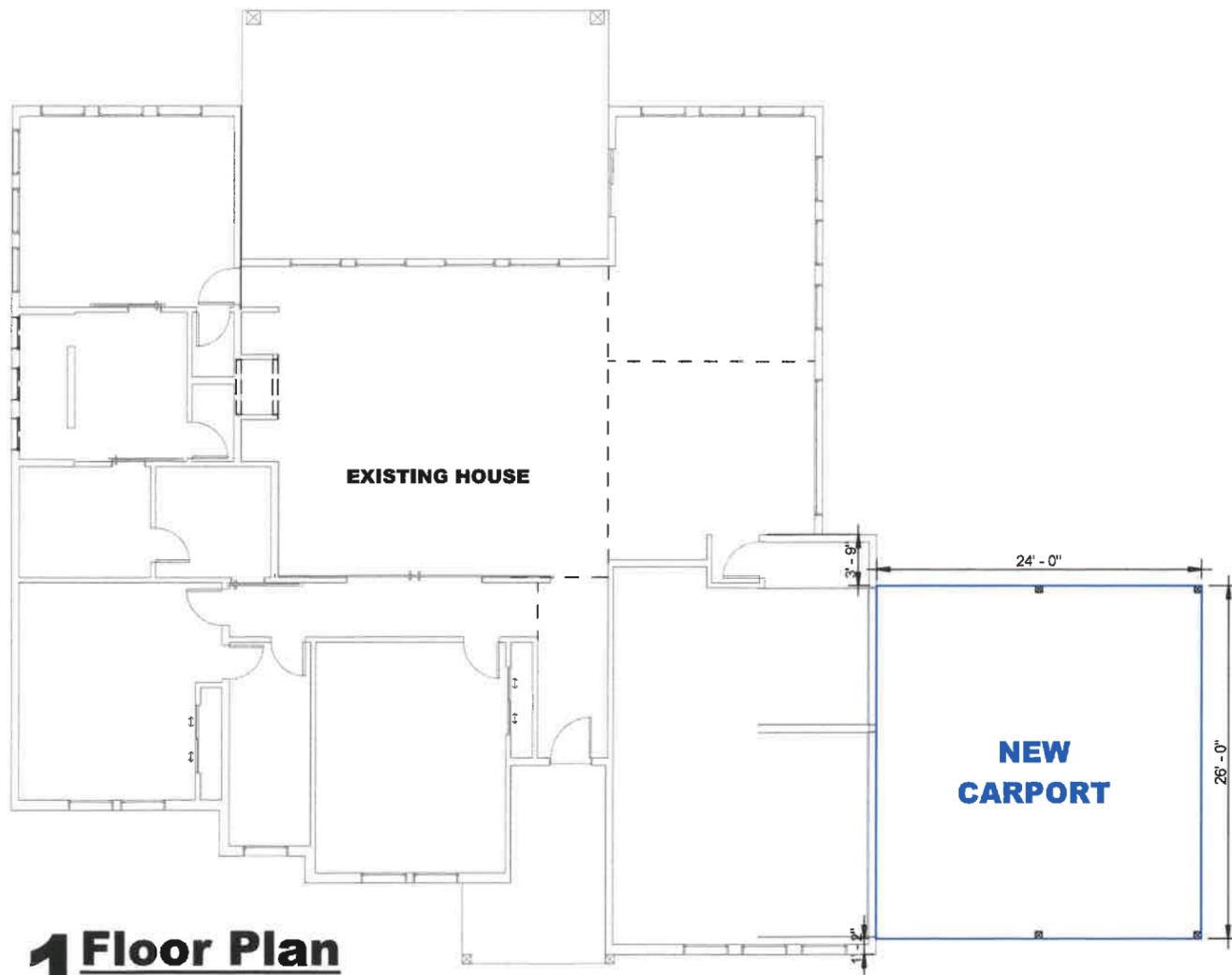
**ELEVATIONS**

Project number:

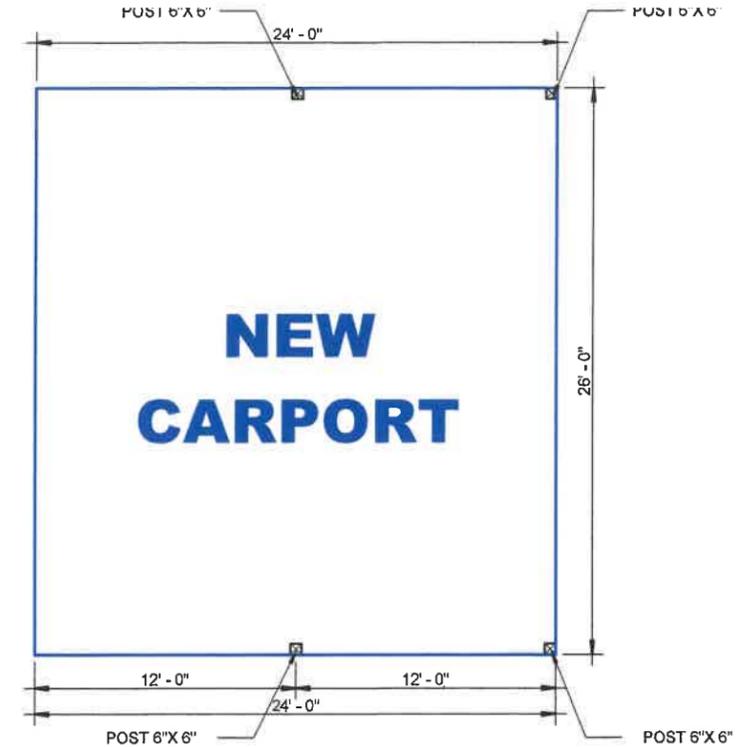
Date: 6/23/2023

Scale 1/8" = 1'-0"

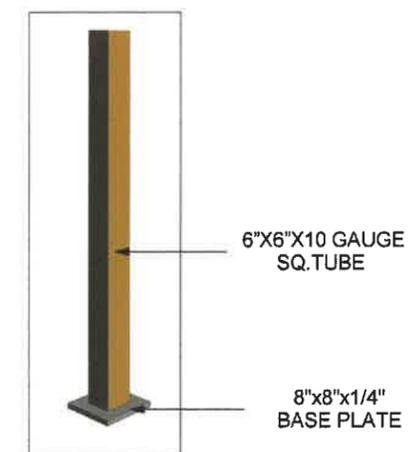
Drawn by: Projects & Construction Araque



**1 Floor Plan**  
1/8" = 1'-0"



**2 Top View Post**  
3/16" = 1'-0"



**3 Detail Post**



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820 E HEATH ST  
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**Legal Description**

LOT 7

**FLOOR PLAN**

Project number:

Date:

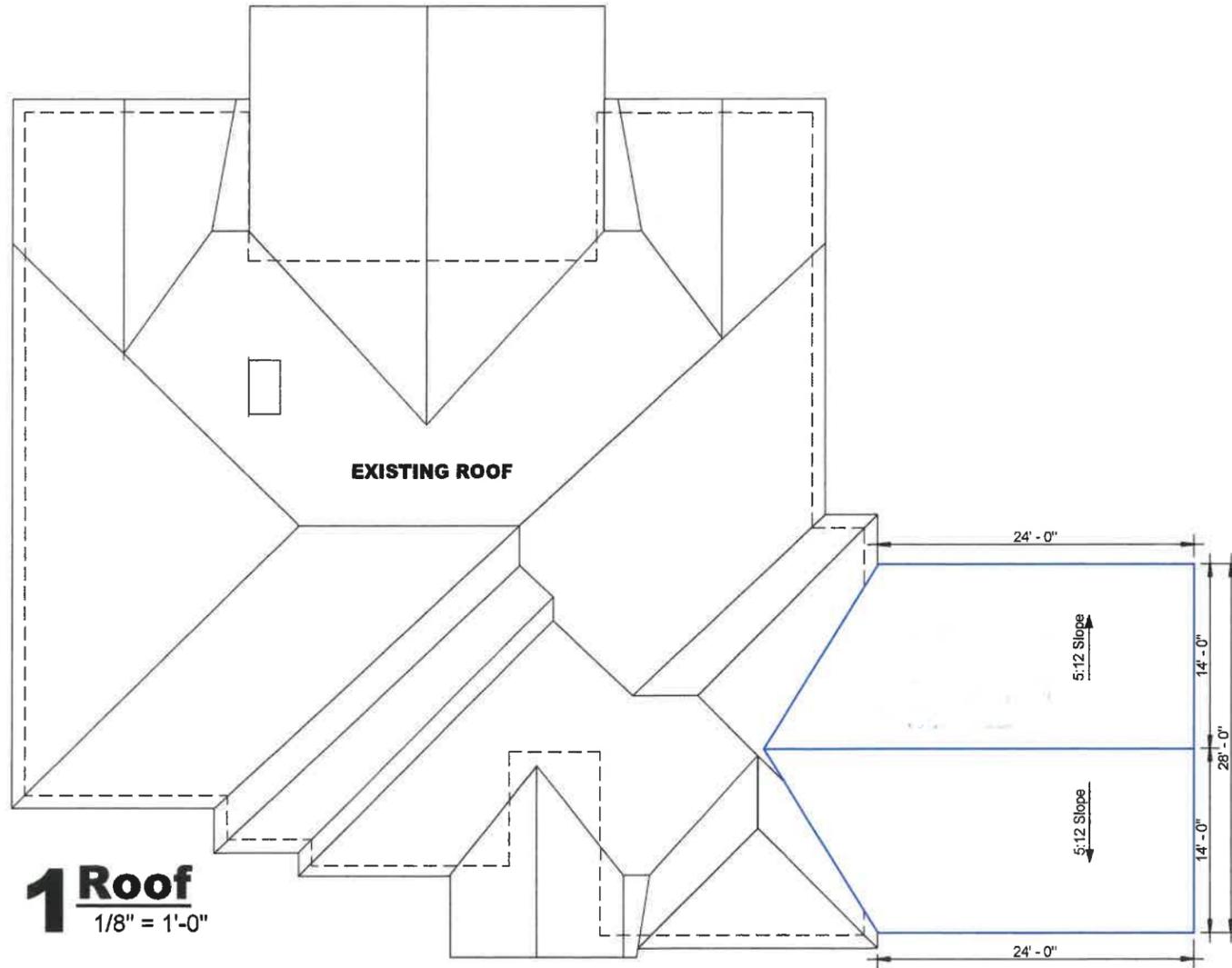
6/23/2023

Scale

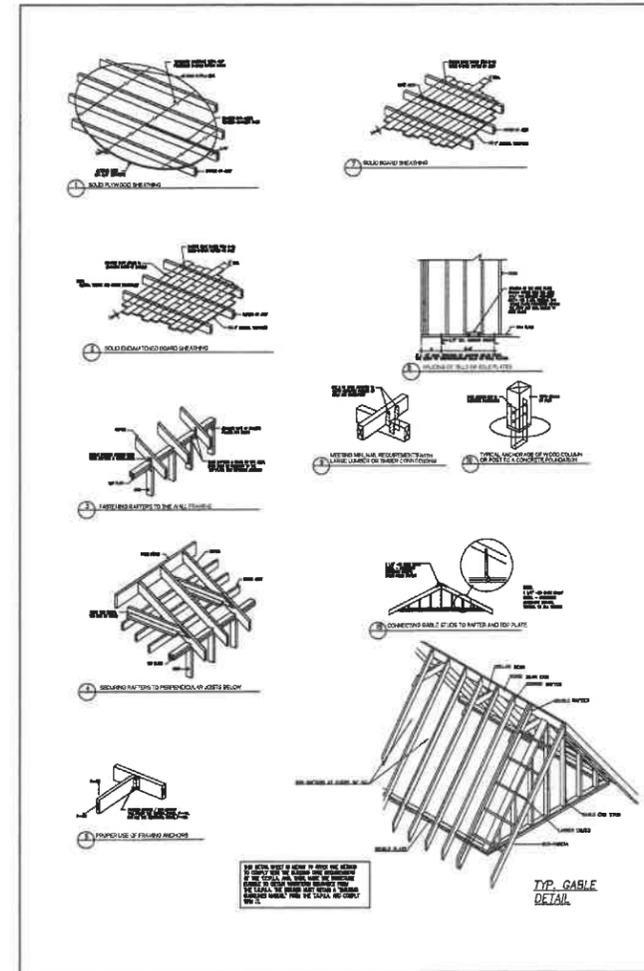
As indicated

Drawn by: Projects & Construction Araque

2



**FRAMING NOTES**



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**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**  
LOT 7

**ROOF**

Project number:

Date: 6/23/2023 Scale As indicated

Drawn by: Projects & Construction Araque

**3**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

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### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

820 E Heath St.

SUBDIVISION

Solar Village

LOT

1

BLOCK

A

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

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### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Richard Expo

APPLICANT

CONTACT PERSON

RYSZARD WASZCZUK

CONTACT PERSON

ADDRESS

838 Nash St.

ADDRESS

CITY, STATE & ZIP

Rockwall, TX. 75087

CITY, STATE & ZIP

PHONE

972-400-8047

PHONE

E-MAIL

Richardexpo@hotmail.com

E-MAIL

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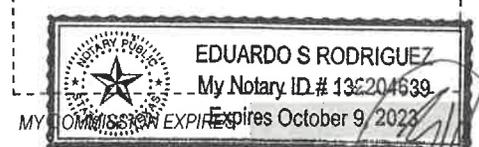
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GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14<sup>th</sup> DAY OF July, 2023

OWNER'S SIGNATURE

*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-036: Specific Use Permit for a Carport at 820 E. Heath Street



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

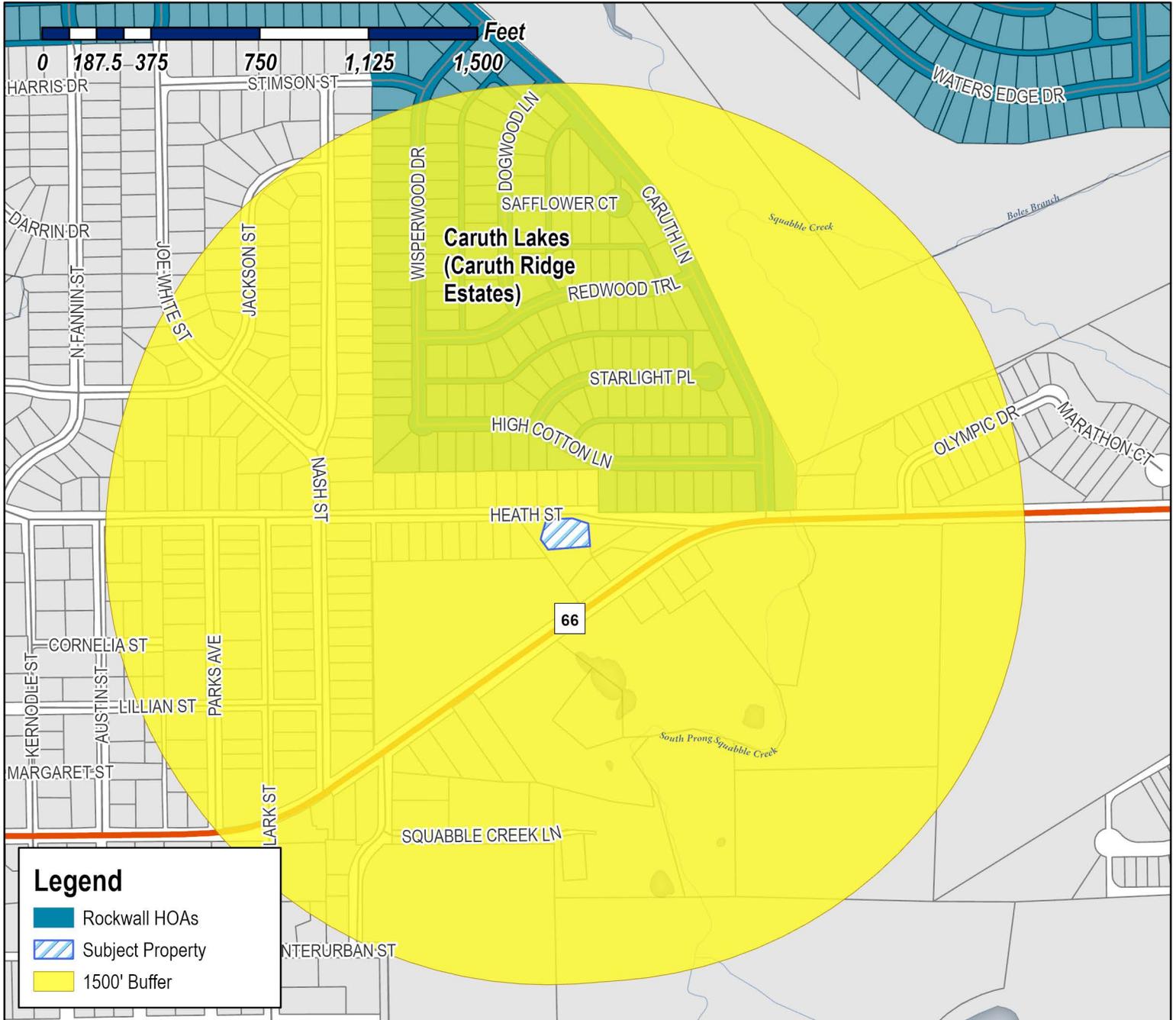




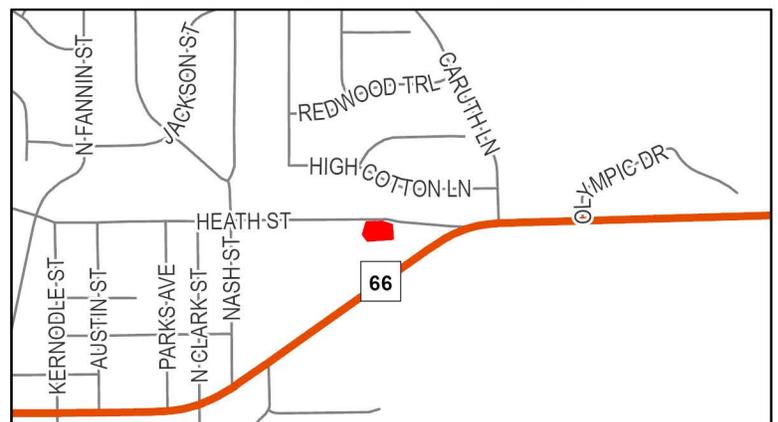
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**Case Number:** Z2023-036  
**Case Name:** SUP for a Carport  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 820 E. Heath Street



**Date Saved:** 7/14/2023

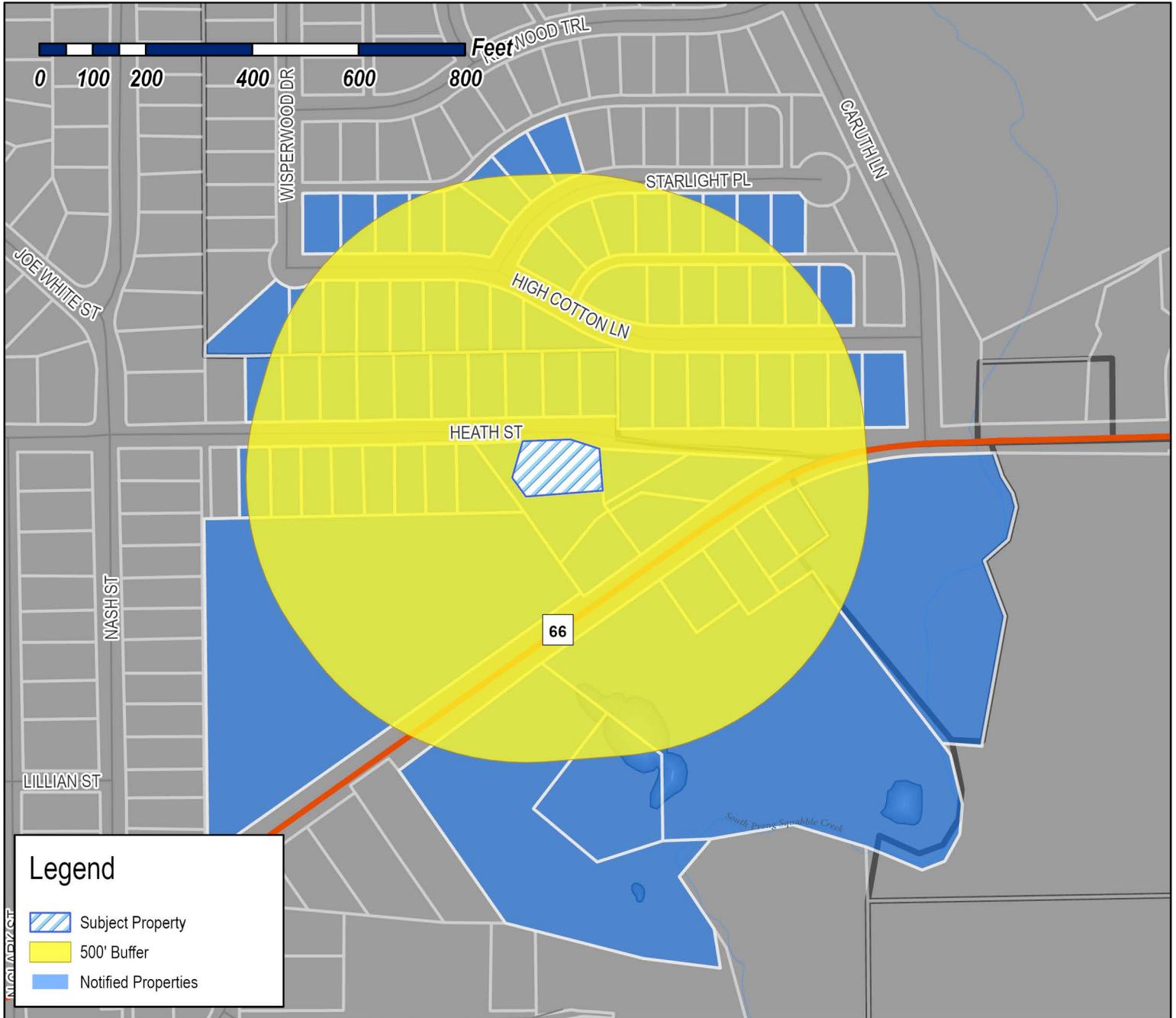
For Questions on this Case Call (972) 771-7745



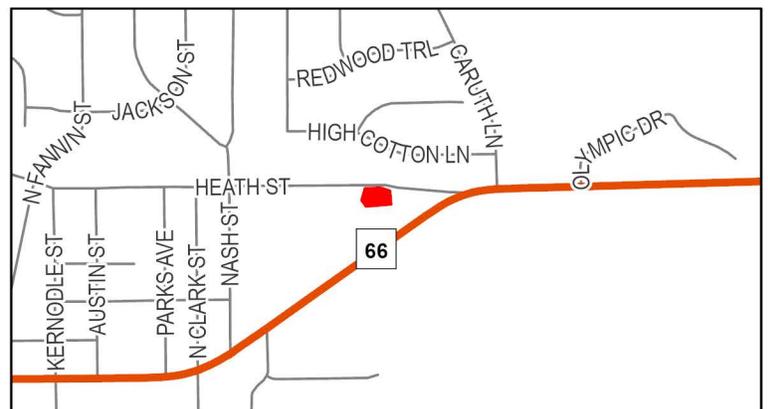
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385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2023-036  
**Case Name:** SUP for a Carport  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 820 E. Heath Street



**Date Saved:** 7/14/2023

For Questions on this Case Call: (972) 771-7746

KINDELL GROUP LLC  
1 TABER LANE  
ROCKWALL, TX 75087

RESIDENT  
1001 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
1002 HIGH COTTON LN  
ROCKWALL, TX 75087

ADAMS JOHNNY R JR & JEANNE K  
1005 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
1007 STARLIGHT PL  
ROCKWALL, TX 75087

SPENCE JODY L  
1010 HIGH COTTON LN  
ROCKWALL, TX 75087

KINSELLA ERIC P & CARLA J  
1011 HIGH COTTON LN  
ROCKWALL, TX 75087

RUST WILLIAM KA ND TERRI DAWN  
1013 STARLIGHT PL  
ROCKWALL, TX 75087

JENNINGS RICHARD  
1016 HIGH COTTON LN  
ROCKWALL, TX 75087

LAMBERT MILDRED L & NORMAN R  
1017 HIGH COTTON LN  
ROCKWALL, TX 75087

WIENBARG KIMBERLY  
1019 STARLIGHT  
ROCKWALL, TX 75087

HEIN KYLE G & VERONICA L  
1022 HIGH COTTON LN  
ROCKWALL, TX 75087

WOODS WILLIAM & RITA  
1023 HIGH COTTON LN  
ROCKWALL, TX 75087

JARESH DONALD & COLETTE  
1025 STARLIGHT PL  
ROCKWALL, TX 75087

PRESLEY DELISA & RANDALL  
1028 HIGH COTTON LANE  
ROCKWALL, TX 75087

SINGH GURDARSHAN AND PARAMJIT SINGH  
1029 HIGH COTTON LN  
ROCKWALL, TX 75087

BAKER CHRISTOPHER MILLER AND MONICA  
NAHIR  
1031 STARLIGHT PL  
ROCKWALL, TX 75087

BASHAM TOMMY & JAMIE  
1034 HIGH COTTON LN  
ROCKWALL, TX 75087

KEGLEY SCOTT  
1035 HIGH COTTON LN  
ROCKWALL, TX 75087

JOHNSON ROBERT AND  
VIRGINIA LEE  
1040 HIGH COTTON LN  
ROCKWALL, TX 75087

GAJEWSKI MISTY  
1041 HIGH COTTON LANE  
ROCKWALL, TX 75087

BACK STACY ANN & CHARLES BACK JR  
1049 HIGH COTTON LANE  
ROCKWALL, TX 75087

HOPEWELL MARILYN E  
1056 WISPERWOOD DR  
ROCKWALL, TX 75087

SWH 2017-1 BORROWER LP  
1131 W WARNER RD STE 102  
TEMPE, AZ 85284

HPA TEXAS SUB 2017-1 LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

HPA BORROWER 2018-1 MS LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

ROCKWALL ENTERPRISES LLC  
1309 MORAINNE PL  
HEATH, TX 75032

DORAZIO RICHARD & SHARON LIVING TRUST  
RICHARD A & SHARON L DORAZIO TRUSTEES  
143 SHEPHERDS GLEN RD  
HEATH, TX 75032

SHUGART MELODY S  
1511 FT DUQUESNA DR  
SUN CITY CENTER, FL 33573

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

THE BRANCH OFFICE PROPERTIES LLC  
25 NOBLE CT  
HEATH, TX 75032

HOLLAND PAUL  
2534 CR 3419  
HAWKINS, TX 75765

R FIFTY GREEN HOMES  
2704 FOXCHASE LN  
ROCKWALL, TX 75032

CAS INVESTMENT PROPERTIES LLC- SERIES 809  
HEATH  
521 WILLOW SPRINGS DR.  
HEATH, TX 75032

TAYLOR WANDA  
803 E HEATH ST  
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS  
804 E HEATH ST  
ROCKWALL, TX 75087

KRUEGER CHARLES H & JENNY L  
805 E HEATH ST  
ROCKWALL, TX 75087

CONLEY JANONA & THOMAS J  
806 E. HEATH ST  
ROCKWALL, TX 75087

MOHEDANO MARTIN  
807 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
808 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
809 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
810 E HEATH ST  
ROCKWALL, TX 75087

WARDELL LUKE A  
811 E HEATH ST  
ROCKWALL, TX 75087

KINSEY HILLARY  
812 EAST HEATH STREET  
ROCKWALL, TX 75087

GULLEY STAN LAVERE ETUX  
813 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
814 E HEATH ST  
ROCKWALL, TX 75087

HODGES BRIAN CODY & CHRISTY MICHELLE  
815 E HEATH ST  
ROCKWALL, TX 75087

NICHOLS CORY  
816 E HEATH ST  
ROCKWALL, TX 75087

RODRIGUEZ PAULA CANDACE  
817 E HEATH STREET  
ROCKWALL, TX 75087

RESIDENT  
818 E HEATH ST  
ROCKWALL, TX 75087

MOORE MIRIAM  
819 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
820 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
821 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
824 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
828 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
832 WILLIAMS ST  
ROCKWALL, TX 75087

RANDALL ROBERT S & SHERY B  
835 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
836 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
840 HEATH ST  
ROCKWALL, TX 75087

DOTSON DUNCAN L & DOLORES J  
841 HIGH COTTON LN  
ROCKWALL, TX 75087

MINCE RANDY JOE & RHONDA LYNN  
844 HIGH COTTON LN  
ROCKWALL, TX 75087

WEAVER BONNIE & SCOTT  
847 HIGH COTTON LN  
ROCKWALL, TX 75087

CHUNG WON S & HYE Y  
850 HIGH COTTON LN  
ROCKWALL, TX 75087

MEYER LANEY AND RANDAL  
853 HIGH COTTON LANE  
ROCKWALL, TX 75087

LAIN JACOB & SARAH  
856 HIGH COTTON LANE  
ROCKWALL, TX 75087

CLEMENT MICHAEL BRENT  
859 HIGH COTTON LANE  
ROCKWALL, TX 75087

COTTI MICHAEL A  
862 HIGH COTTON LANE  
ROCKWALL, TX 75087

RESIDENT  
865 HIGH COTTON LN  
ROCKWALL, TX 75087

MCKNIGHT SCOTT A & KAY A  
871 HIGH COTTON LN  
ROCKWALL, TX 75087

MCKINNEY ROBERT A & JENNIFER J  
877 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
901 WILLIAMS ST  
ROCKWALL, TX 75087

TATE NATHAN A AND LAURA S AND  
DARLENE SINGLETON  
928 WILLIAMS ST  
ROCKWALL, TX 75087

SINGLETON ROY LEE SR & LINDA D  
930 WILLIAMS ST  
ROCKWALL, TX 75087

CANTRELL JANET SUE  
932 WILLIAMS ST  
ROCKWALL, TX 75087

SAKOLEVIDIS DESTINY AND JOHN COOK JR  
934 WILLIAMS ST  
ROCKWALL, TX 75087

RESIDENT  
936 WILLIAMS ST  
ROCKWALL, TX 75087

SANCHEZ RAQUEL  
938 WILLIAMS STREET  
ROCKWALL, TX 75087

SPILLMAN JAMES T  
940 WILLIAMS ST  
ROCKWALL, TX 75087

HILL HEATH D & JENNIFER S  
974 STARLIGHT PL  
ROCKWALL, TX 75087

SHARP MARCUS & STELLA  
980 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
983 STARLIGHT PL  
ROCKWALL, TX 75087

KEIFER R MATTHEW & KRISTEN C  
986 STARLIGHT PL  
ROCKWALL, TX 75087

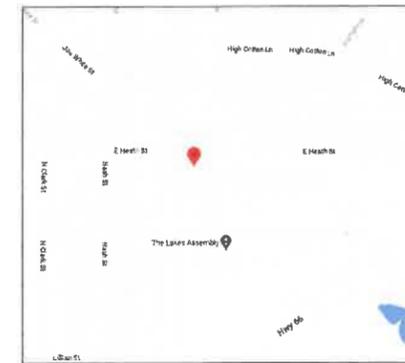
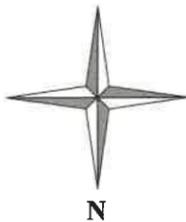
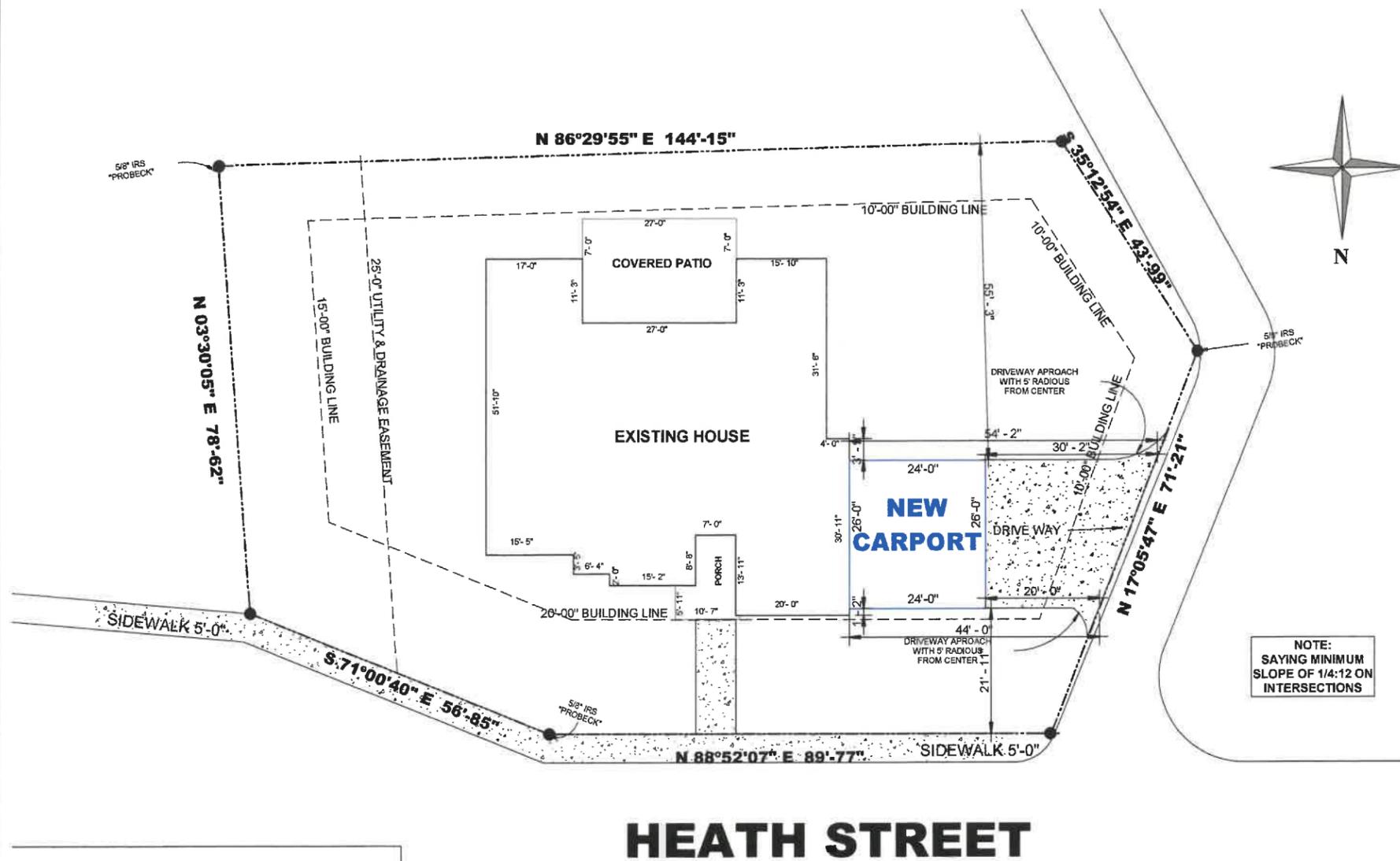
RESIDENT  
991 STARLIGHT PL  
ROCKWALL, TX 75087

POMROY SHAWN AND PATRICIA  
992 STARLIGHT PL  
ROCKWALL, TX 75087

GRANBERRY EDITH  
M/R  
, TX 75087

CARUTH RIDGE EST HOMEOWNERS ASSOC INC  
C/O GOODWIN MANAGEMENT, INC.  
PO BOX 203310  
AUSTIN, TX 78720

ROCKWALL ASSEMBLY OF GOD  
C/O DAVID SPIEGEL  
PO BOX 33  
ROCKWALL, TX 75087



VICINITY MAP

820 E HEATH ST  
 ROCKWALL, TX 75087

EXISTING HOUSE	3,681.5 SG/FT
NEW CARPORT	624 SG/FT
TOTAL NEW CONSTRUCTION	624 SG/FT
LOT AREA	0.3492 ACRES

NOTE:  
 SAYING MINIMUM  
 SLOPE OF 1/4:12 ON  
 INTERSECTIONS

**1 Site Plan**  
 1/16" = 1'-0"



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVISIONS AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THE JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

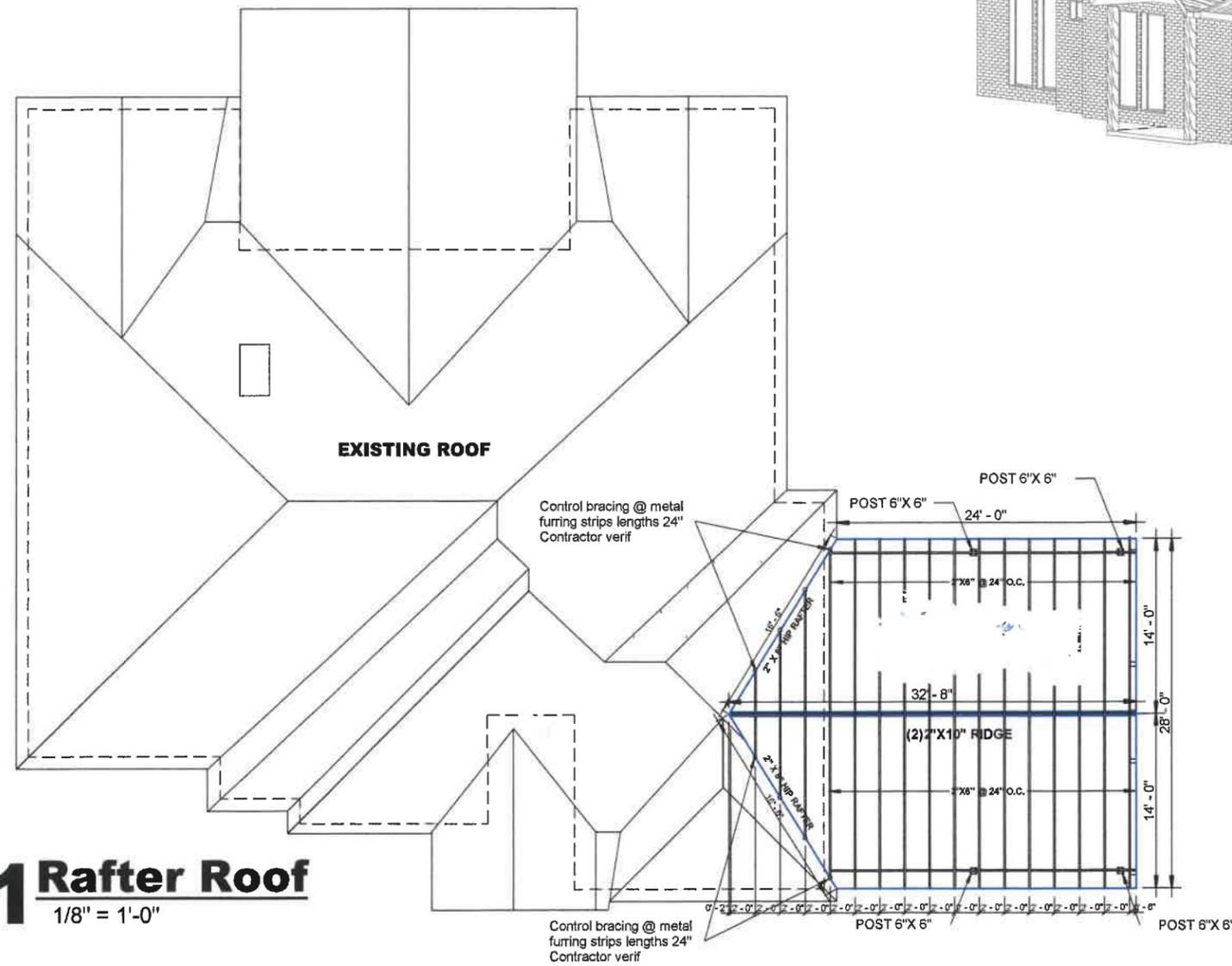
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR REVISIONS ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPIES, TRACES, OR ALTERATIONS OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
 820 E HEATH ST  
 ROCKWALL, TX 75087

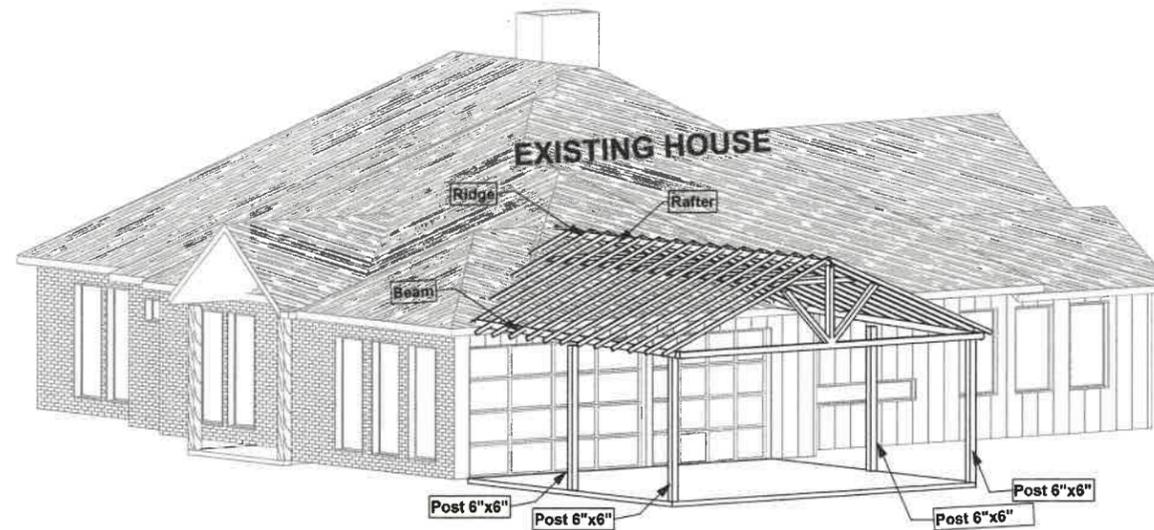
**Legal Description**  
 LOT 7

<b>SITE PLAN</b>	
Project number:	
Date:	6/23/2023
Scale:	1/16" = 1'-0"
Drawn by: Projects & Construction Araque	

**1**



**1 Rafter Roof**  
1/8" = 1'-0"



**2 Framing Carport**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE DESIGN PROFESSIONAL, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCES IN SURROUNDING LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY CHANGES DUE TO ERRORS, OMISSIONS, OR MISINTERPRETATIONS OF THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THE HOUSE ONLY ONCE. ANY CORRECTIONS OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATIONS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**

820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**

LOT 7

**RAFTER ROOF**

Project number:

Date: 6/23/2023 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**1 Front Elevation**  
1/8" = 1'-0"



**2 Right Elevation**  
1/8" = 1'-0"



**3 Left Elevation**  
1/8" = 1'-0"



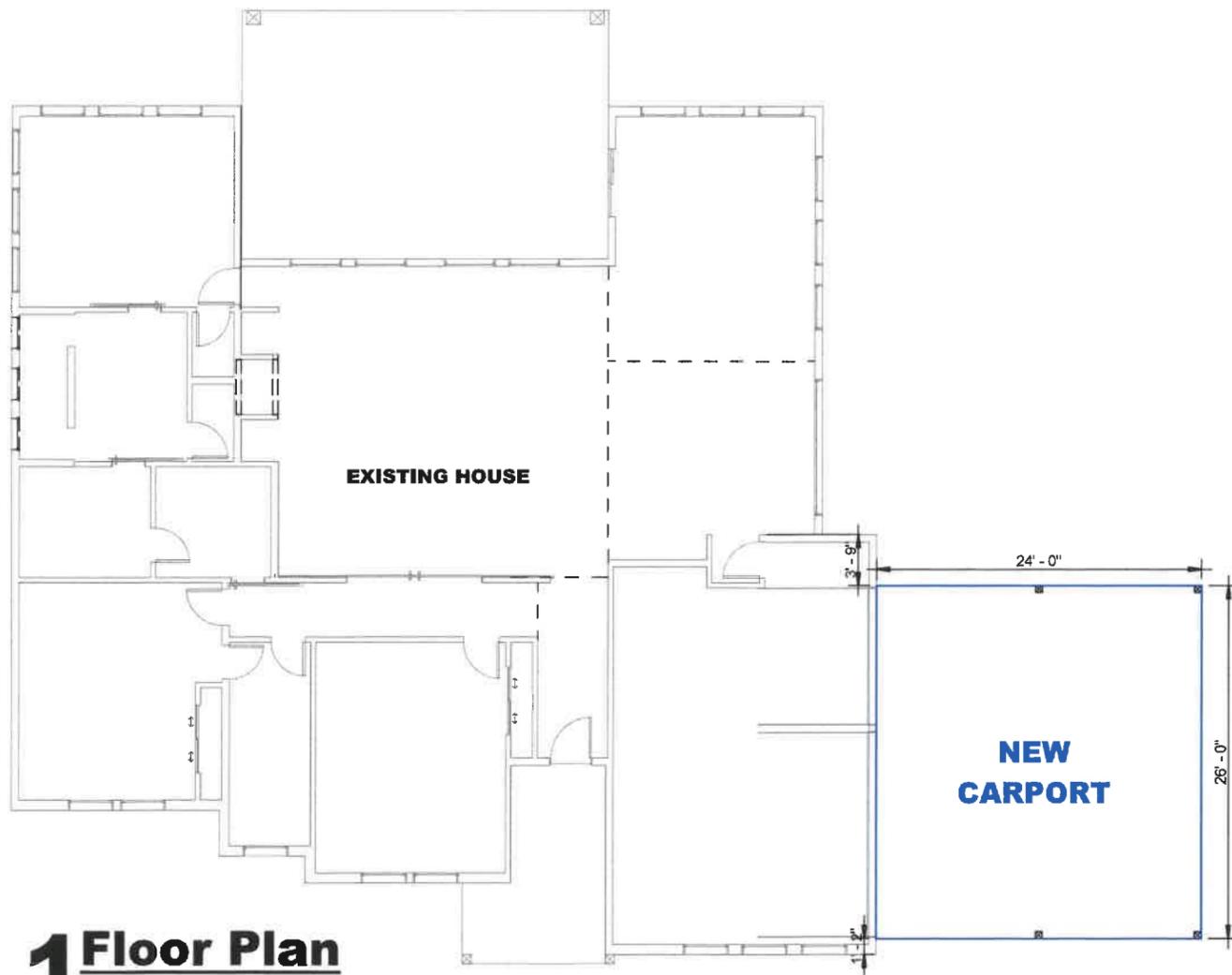
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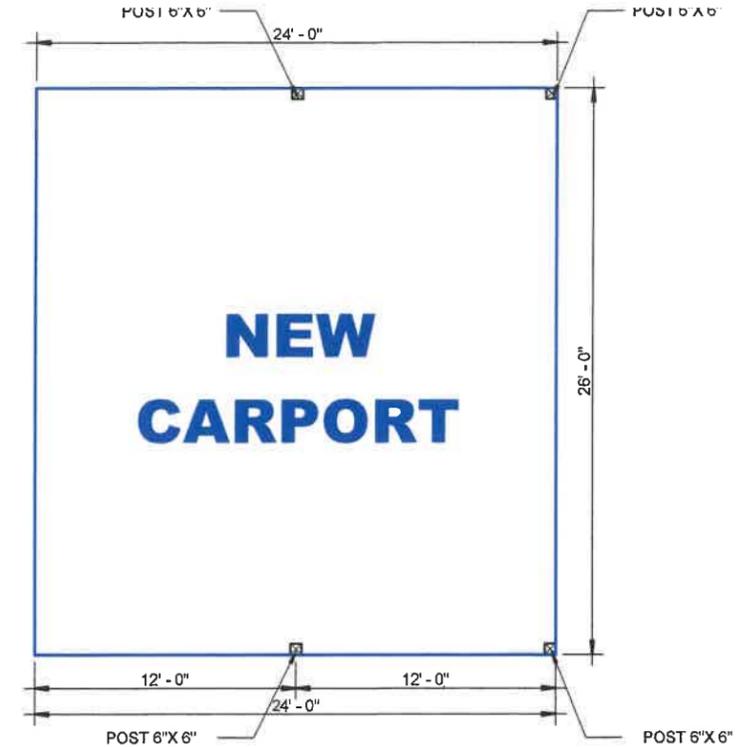
**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**  
LOT 7

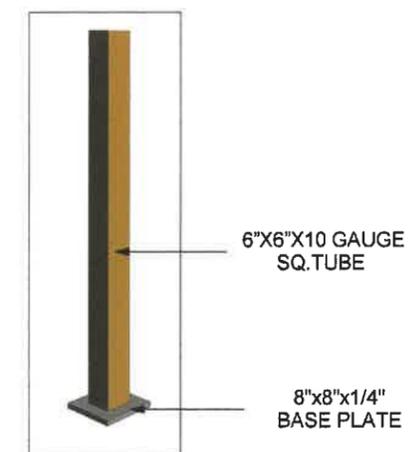
ELEVATIONS	
Project number:	
Date: 6/23/2023	Scale 1/8" = 1'-0"
Drawn by: Projects & Construction Araque	



**1 Floor Plan**  
1/8" = 1'-0"



**2 Top View Post**  
3/16" = 1'-0"



**3 Detail Post**



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**Project Name & Address**

820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**

LOT 7

**FLOOR PLAN**

Project number:

Date:

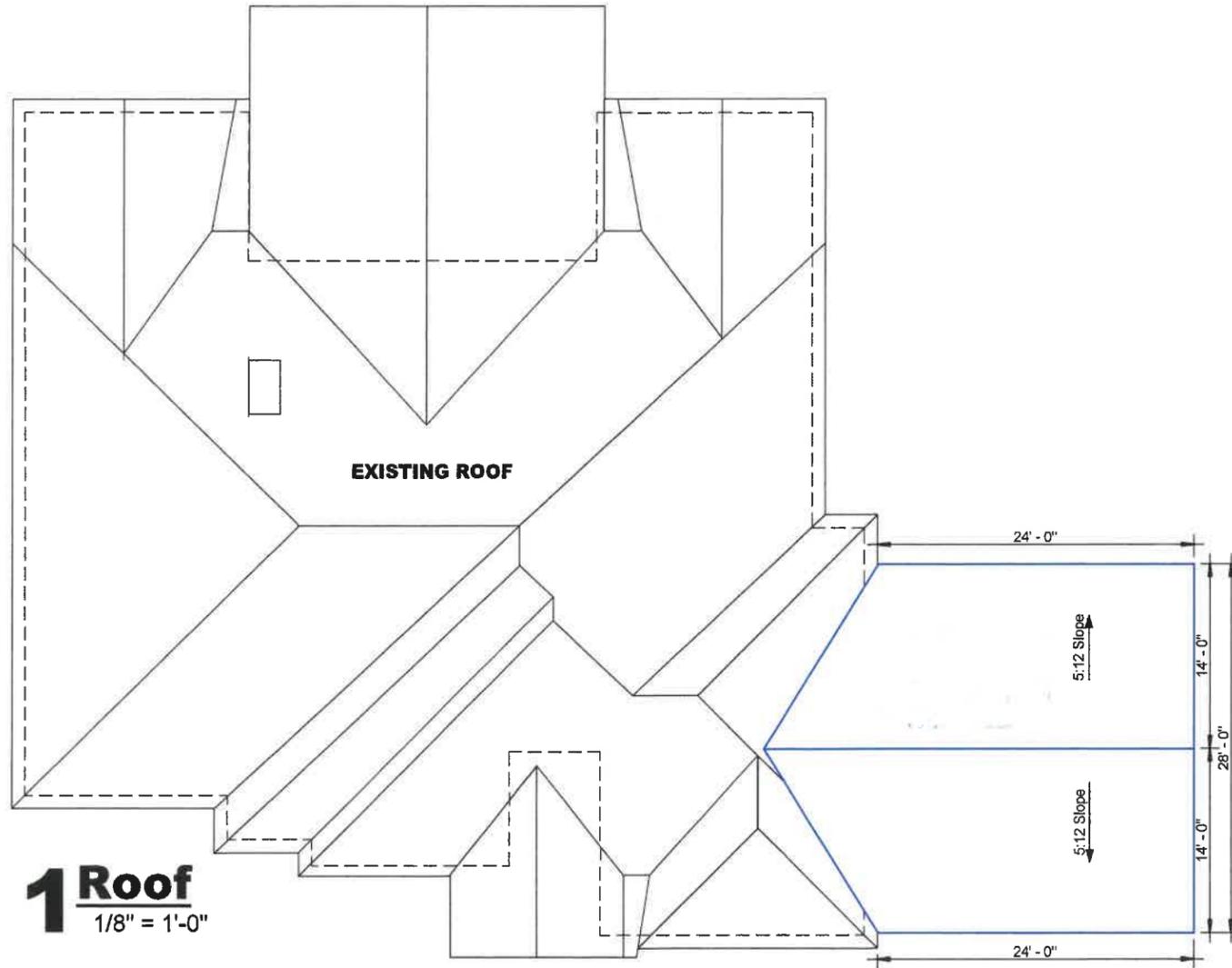
6/23/2023

Scale

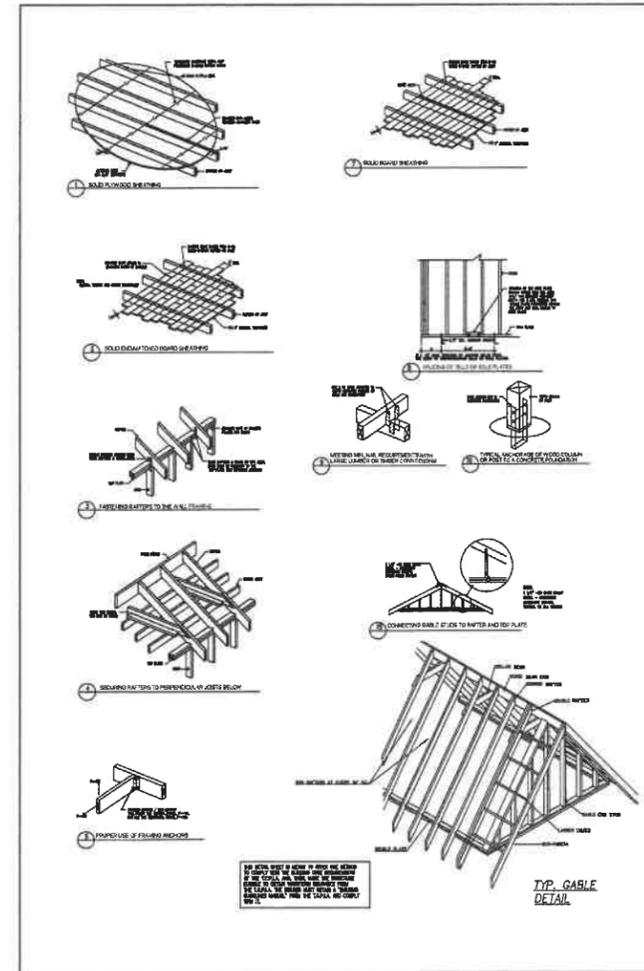
As indicated

Drawn by: Projects & Construction Araque

2



**FRAMING NOTES**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, FOUNDATION, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**  
LOT 7

**ROOF**

Project number: \_\_\_\_\_

Date: 6/23/2023 Scale As indicated

Drawn by: Projects & Construction Araque

**3**

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 7/21/2023

PROJECT NUMBER: Z2023-036  
PROJECT NAME: SUP for a Carport at 820 Heath Street  
SITE ADDRESS/LOCATIONS: 820 HEATH ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	07/20/2023	Approved w/ Comments

07/20/2023: Z2023-036; SUP for a Carport at 820 E. Heath Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, and addressed as 820 E. Heath Street.
- I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).
- M.3 For reference, include the case number (Z2023-036) in the lower right-hand corner of all pages on future submittals.
- M.4 Please review the attached draft ordinance prior to the July 25, 2023 Planning & Zoning Commission meeting.
- I.5 According to the Unified Development Code (UDC), carports on residential lots in a Single Family 7 (SF-7) District are subject to the following requirements:
  - 1) The maximum allowable size of a carport is 500 SF.
  - 2) The carport must be open on at least two (2) sides.
  - 3) The carport must be located a minimum of 20-feet behind the front façade of the primary structure and be architecturally integrated into the main residential structure.
  - 4) The carport must meet the garage setback adjacent to an alley (i.e. a minimum of ten [10] feet).
  - 5) The carport must meet the minimum side yard setbacks (i.e. a minimum of six [6] feet).
- I.6 Carports not conforming to these requirements shall require a Specific Use Permit (SUP).
- I.7 In this case, the applicant is requesting a 624 SF architecturally integrated carport that does not meet the minimum set back of 20-feet behind the front façade of the primary structure. In addition, the carport is 124 SF more than the allowable size for a carport.
- M.8 Staff has included the following operational conditions in the attached Specific Use Permit (SUP) ordinance:
  - 1) The carport shall maintain conformance to the approved site plan and building elevations depicted in Exhibits 'A' & 'B' of the Specific Use Permit (SUP) ordinance.
  - 2) The carport shall not exceed a maximum size of 625 square feet.
  - 3) The carport shall not exceed a maximum overall height of 17 feet.
  - 4) The carport is subject to administrative review in the event that the Subject Property is sold, conveyed or altered in any manner.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 8, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 15, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on July 25, 2023.

I.10 The projected City Council meeting dates for this case will be August 21, 2023 (1st Reading) and September 5, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jonathan Browning	07/19/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/20/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/17/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	07/21/2023	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/19/2023	Approved
No Comments			



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS: 820 E Heath St.

SUBDIVISION: Solar Village LOT: 1 BLOCK: A

GENERAL LOCATION: \_\_\_\_\_

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING: \_\_\_\_\_ CURRENT USE: \_\_\_\_\_

PROPOSED ZONING: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_

ACREAGE: \_\_\_\_\_ LOTS [CURRENT]: \_\_\_\_\_ LOTS [PROPOSED]: \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

OWNER: Richard Expo  APPLICANT: \_\_\_\_\_

CONTACT PERSON: RYSZARD WASZCZUK CONTACT PERSON: \_\_\_\_\_

ADDRESS: 838 Nash St. ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP: Rockwall, TX. 75087 CITY, STATE & ZIP: \_\_\_\_\_

PHONE: 972-400-8047 PHONE: \_\_\_\_\_

E-MAIL: Richardexpo@hotmail.com E-MAIL: \_\_\_\_\_

**NOTARY VERIFICATION [REQUIRED]**

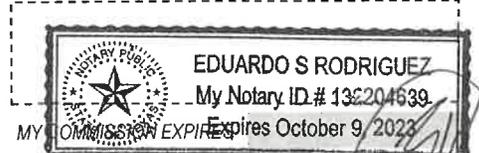
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYSZARD WASZCZUK (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14<sup>th</sup> DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14<sup>th</sup> DAY OF July, 2023

OWNER'S SIGNATURE: \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: \_\_\_\_\_





Z2023-036: Specific Use Permit for a Carport at 820 E. Heath Street



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

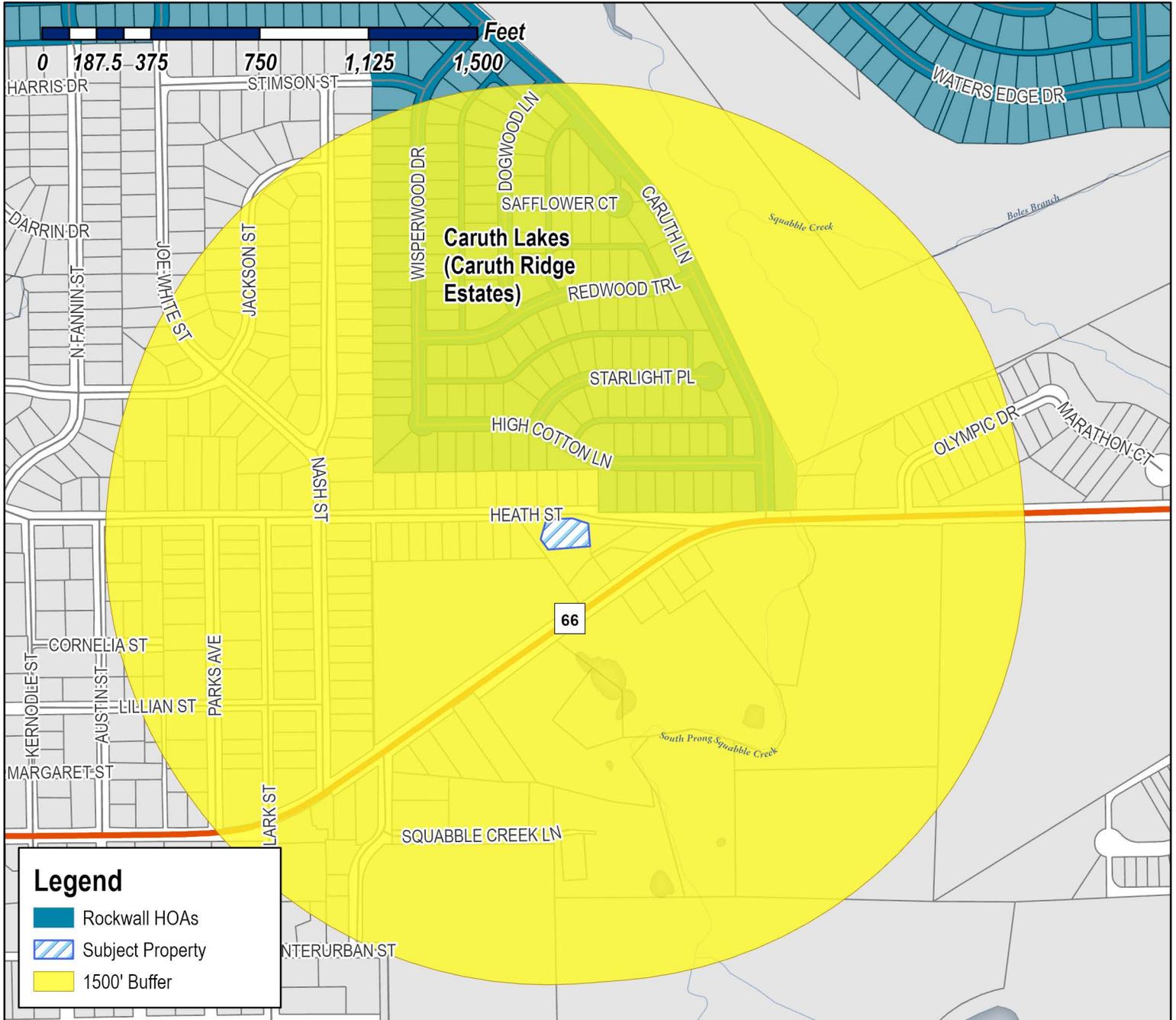




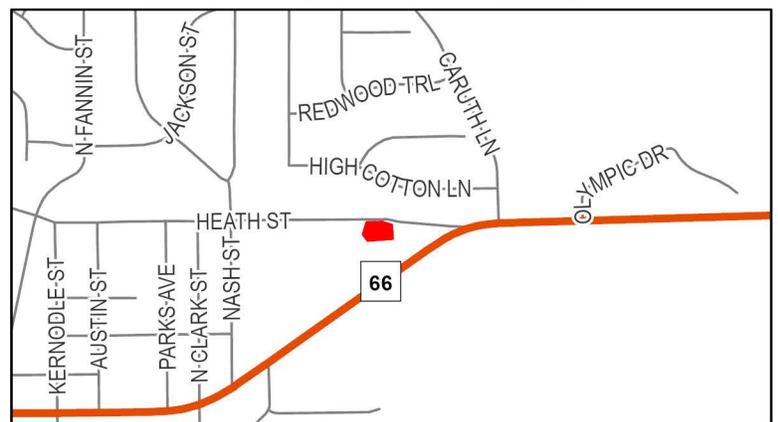
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2023-036  
**Case Name:** SUP for a Carport  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 820 E. Heath Street



**Date Saved:** 7/14/2023

For Questions on this Case Call (972) 771-7745

## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, July 19, 2023 9:06 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-036]  
**Attachments:** Public Notice (P&Z) (7.17.2023).pdf; HOA Map (07.14.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *July 21, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 15, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-036: SUP for a Carport**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a *Specific Use Permit (SUP)* for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

Thank you,

*Melanie Zavala*

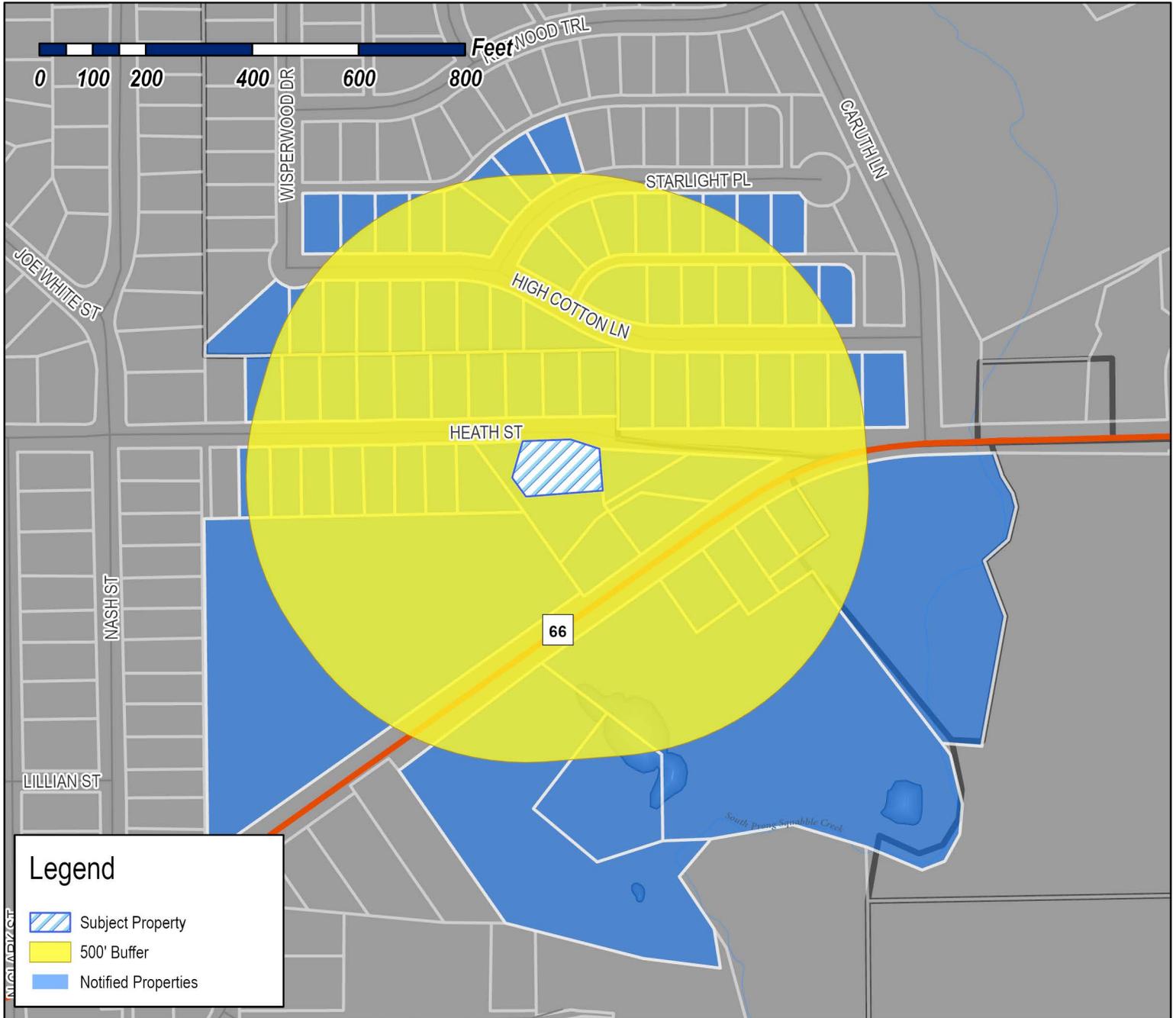
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Legend**

- Subject Property
- 500' Buffer
- Notified Properties

**Case Number:** Z2023-036  
**Case Name:** SUP for a Carport  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 820 E. Heath Street



**Date Saved:** 7/14/2023

For Questions on this Case Call: (972) 771-7746

KINDELL GROUP LLC  
1 TABER LANE  
ROCKWALL, TX 75087

RESIDENT  
1001 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
1002 HIGH COTTON LN  
ROCKWALL, TX 75087

ADAMS JOHNNY R JR & JEANNE K  
1005 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
1007 STARLIGHT PL  
ROCKWALL, TX 75087

SPENCE JODY L  
1010 HIGH COTTON LN  
ROCKWALL, TX 75087

KINSELLA ERIC P & CARLA J  
1011 HIGH COTTON LN  
ROCKWALL, TX 75087

RUST WILLIAM KA ND TERRI DAWN  
1013 STARLIGHT PL  
ROCKWALL, TX 75087

JENNINGS RICHARD  
1016 HIGH COTTON LN  
ROCKWALL, TX 75087

LAMBERT MILDRED L & NORMAN R  
1017 HIGH COTTON LN  
ROCKWALL, TX 75087

WIENBARG KIMBERLY  
1019 STARLIGHT  
ROCKWALL, TX 75087

HEIN KYLE G & VERONICA L  
1022 HIGH COTTON LN  
ROCKWALL, TX 75087

WOODS WILLIAM & RITA  
1023 HIGH COTTON LN  
ROCKWALL, TX 75087

JARESH DONALD & COLETTE  
1025 STARLIGHT PL  
ROCKWALL, TX 75087

PRESLEY DELISA & RANDALL  
1028 HIGH COTTON LANE  
ROCKWALL, TX 75087

SINGH GURDARSHAN AND PARAMJIT SINGH  
1029 HIGH COTTON LN  
ROCKWALL, TX 75087

BAKER CHRISTOPHER MILLER AND MONICA  
NAHIR  
1031 STARLIGHT PL  
ROCKWALL, TX 75087

BASHAM TOMMY & JAMIE  
1034 HIGH COTTON LN  
ROCKWALL, TX 75087

KEGLEY SCOTT  
1035 HIGH COTTON LN  
ROCKWALL, TX 75087

JOHNSON ROBERT AND  
VIRGINIA LEE  
1040 HIGH COTTON LN  
ROCKWALL, TX 75087

GAJEWSKI MISTY  
1041 HIGH COTTON LANE  
ROCKWALL, TX 75087

BACK STACY ANN & CHARLES BACK JR  
1049 HIGH COTTON LANE  
ROCKWALL, TX 75087

HOPEWELL MARILYN E  
1056 WISPERWOOD DR  
ROCKWALL, TX 75087

SWH 2017-1 BORROWER LP  
1131 W WARNER RD STE 102  
TEMPE, AZ 85284

HPA TEXAS SUB 2017-1 LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

HPA BORROWER 2018-1 MS LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

ROCKWALL ENTERPRISES LLC  
1309 MORAINNE PL  
HEATH, TX 75032

DORAZIO RICHARD & SHARON LIVING TRUST  
RICHARD A & SHARON L DORAZIO TRUSTEES  
143 SHEPHERDS GLEN RD  
HEATH, TX 75032

SHUGART MELODY S  
1511 FT DUQUESNA DR  
SUN CITY CENTER, FL 33573

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

THE BRANCH OFFICE PROPERTIES LLC  
25 NOBLE CT  
HEATH, TX 75032

HOLLAND PAUL  
2534 CR 3419  
HAWKINS, TX 75765

R FIFTY GREEN HOMES  
2704 FOXCHASE LN  
ROCKWALL, TX 75032

CAS INVESTMENT PROPERTIES LLC- SERIES 809  
HEATH  
521 WILLOW SPRINGS DR.  
HEATH, TX 75032

TAYLOR WANDA  
803 E HEATH ST  
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS  
804 E HEATH ST  
ROCKWALL, TX 75087

KRUEGER CHARLES H & JENNY L  
805 E HEATH ST  
ROCKWALL, TX 75087

CONLEY JANONA & THOMAS J  
806 E. HEATH ST  
ROCKWALL, TX 75087

MOHEDANO MARTIN  
807 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
808 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
809 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
810 E HEATH ST  
ROCKWALL, TX 75087

WARDELL LUKE A  
811 E HEATH ST  
ROCKWALL, TX 75087

KINSEY HILLARY  
812 EAST HEATH STREET  
ROCKWALL, TX 75087

GULLEY STAN LAVERE ETUX  
813 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
814 E HEATH ST  
ROCKWALL, TX 75087

HODGES BRIAN CODY & CHRISTY MICHELLE  
815 E HEATH ST  
ROCKWALL, TX 75087

NICHOLS CORY  
816 E HEATH ST  
ROCKWALL, TX 75087

RODRIGUEZ PAULA CANDACE  
817 E HEATH STREET  
ROCKWALL, TX 75087

RESIDENT  
818 E HEATH ST  
ROCKWALL, TX 75087

MOORE MIRIAM  
819 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
820 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
821 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
824 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
828 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
832 WILLIAMS ST  
ROCKWALL, TX 75087

RANDALL ROBERT S & SHERY B  
835 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
836 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
840 HEATH ST  
ROCKWALL, TX 75087

DOTSON DUNCAN L & DOLORES J  
841 HIGH COTTON LN  
ROCKWALL, TX 75087

MINCE RANDY JOE & RHONDA LYNN  
844 HIGH COTTON LN  
ROCKWALL, TX 75087

WEAVER BONNIE & SCOTT  
847 HIGH COTTON LN  
ROCKWALL, TX 75087

CHUNG WON S & HYE Y  
850 HIGH COTTON LN  
ROCKWALL, TX 75087

MEYER LANEY AND RANDAL  
853 HIGH COTTON LANE  
ROCKWALL, TX 75087

LAIN JACOB & SARAH  
856 HIGH COTTON LANE  
ROCKWALL, TX 75087

CLEMENT MICHAEL BRENT  
859 HIGH COTTON LANE  
ROCKWALL, TX 75087

COTTI MICHAEL A  
862 HIGH COTTON LANE  
ROCKWALL, TX 75087

RESIDENT  
865 HIGH COTTON LN  
ROCKWALL, TX 75087

MCKNIGHT SCOTT A & KAY A  
871 HIGH COTTON LN  
ROCKWALL, TX 75087

MCKINNEY ROBERT A & JENNIFER J  
877 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
901 WILLIAMS ST  
ROCKWALL, TX 75087

TATE NATHAN A AND LAURA S AND  
DARLENE SINGLETON  
928 WILLIAMS ST  
ROCKWALL, TX 75087

SINGLETON ROY LEE SR & LINDA D  
930 WILLIAMS ST  
ROCKWALL, TX 75087

CANTRELL JANET SUE  
932 WILLIAMS ST  
ROCKWALL, TX 75087

SAKOLEVIDIS DESTINY AND JOHN COOK JR  
934 WILLIAMS ST  
ROCKWALL, TX 75087

RESIDENT  
936 WILLIAMS ST  
ROCKWALL, TX 75087

SANCHEZ RAQUEL  
938 WILLIAMS STREET  
ROCKWALL, TX 75087

SPILLMAN JAMES T  
940 WILLIAMS ST  
ROCKWALL, TX 75087

HILL HEATH D & JENNIFER S  
974 STARLIGHT PL  
ROCKWALL, TX 75087

SHARP MARCUS & STELLA  
980 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
983 STARLIGHT PL  
ROCKWALL, TX 75087

KEIFER R MATTHEW & KRISTEN C  
986 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
991 STARLIGHT PL  
ROCKWALL, TX 75087

POMROY SHAWN AND PATRICIA  
992 STARLIGHT PL  
ROCKWALL, TX 75087

GRANBERRY EDITH  
M/R  
, TX 75087

CARUTH RIDGE EST HOMEOWNERS ASSOC INC  
C/O GOODWIN MANAGEMENT, INC.  
PO BOX 203310  
AUSTIN, TX 78720

ROCKWALL ASSEMBLY OF GOD  
C/O DAVID SPIEGEL  
PO BOX 33  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-036: SUP for a Carport**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-036: SUP for a Carport**

Please place a check mark on the appropriate line below:

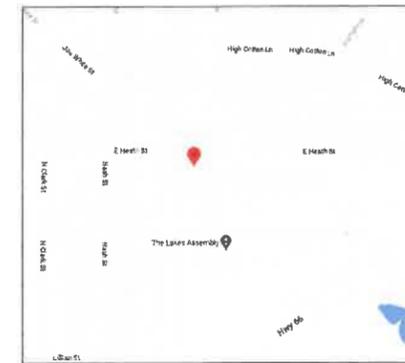
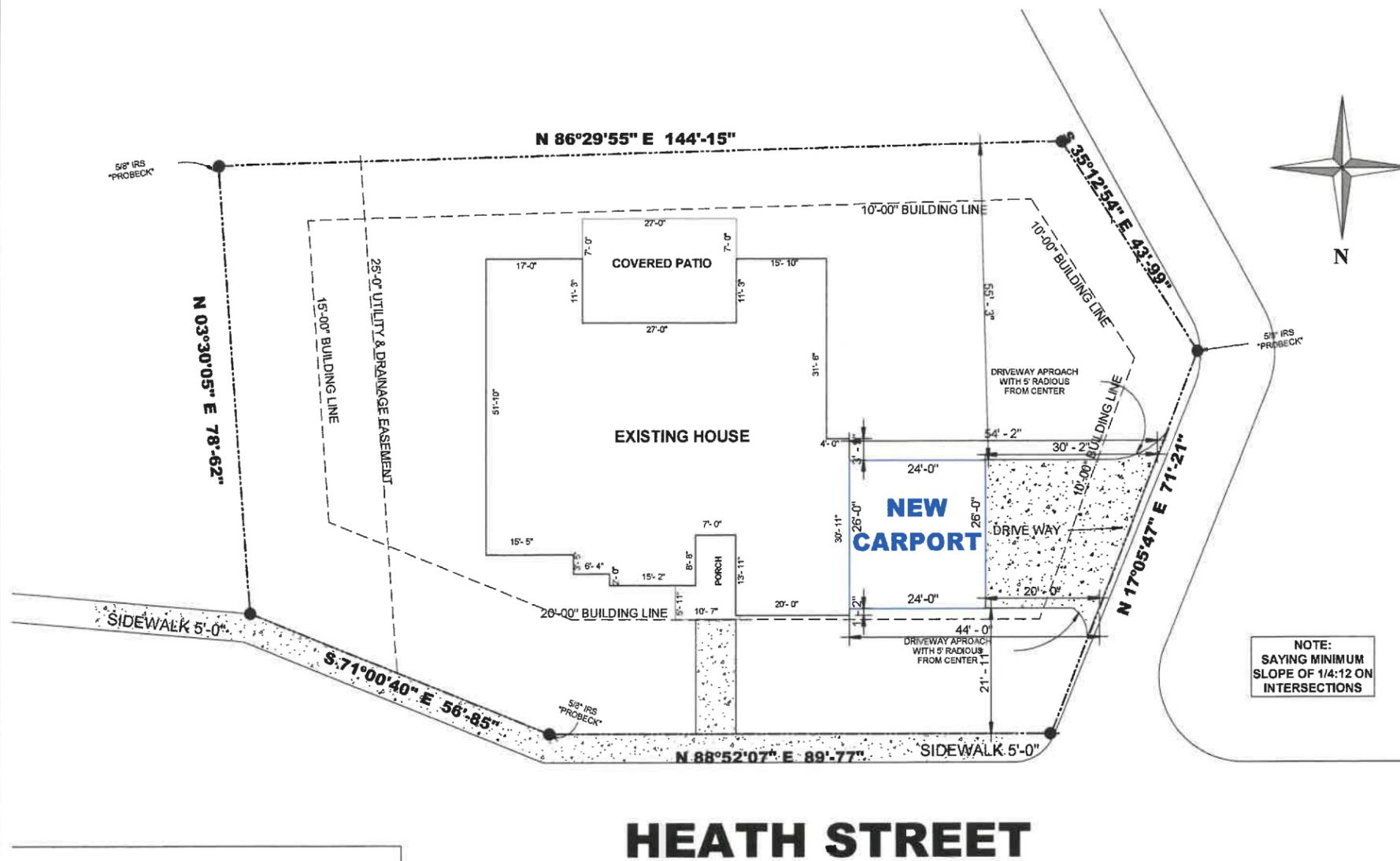
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP

820 E HEATH ST  
ROCKWALL, TX 75087

EXISTING HOUSE	3,681.5 SG/FT
NEW CARPORT	624 SG/FT
TOTAL NEW CONSTRUCTION	624 SG/FT
LOT AREA	0.3492 ACRES

NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

**1 Site Plan**  
1/16" = 1'-0"

**HEATH STREET**



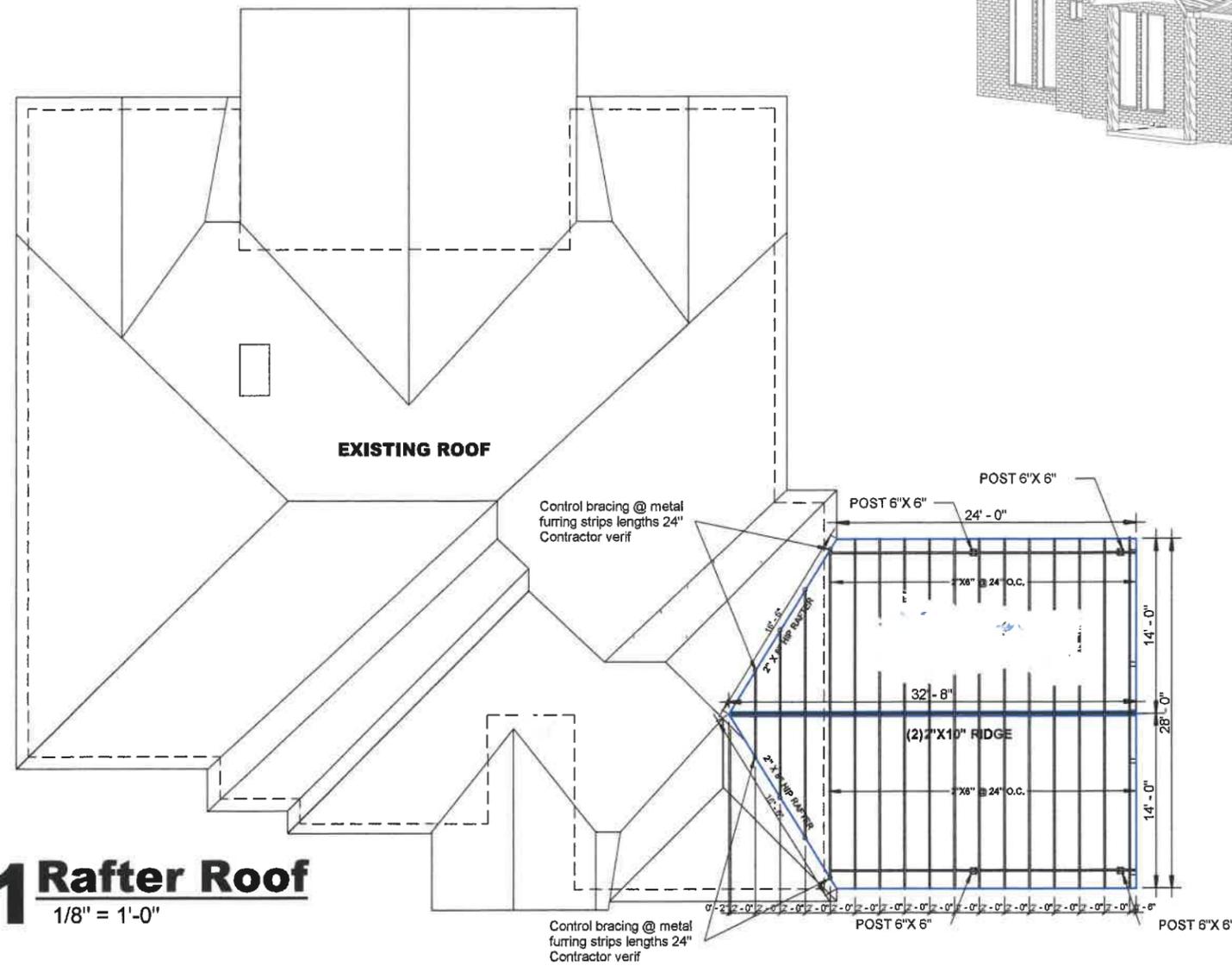
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVISIONS AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THE JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE DO NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR REVISIONS ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPIES, TRACES, OR ALTERATIONS OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

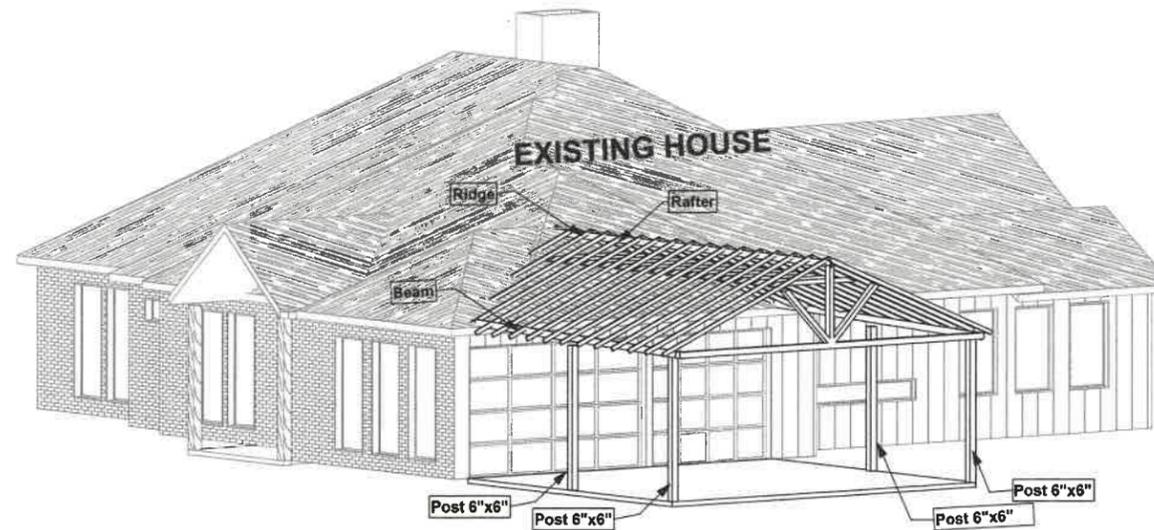
**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**  
LOT 7

<b>SITE PLAN</b>	
Project number:	
Date:	6/23/2023
Scale:	1/16" = 1'-0"
Drawn by: Projects & Construction Araque	



**1 Rafter Roof**  
1/8" = 1'-0"



**2 Framing Carport**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE DESIGN PROFESSIONAL, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCES IN SURVEYING LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY CHANGES DUE TO ERRORS, OMISSIONS, OR MISINTERPRETATIONS OF THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THE HOUSE ONLY ONCE. ANY CORRECTIONS OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATIONS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**

820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**

LOT 7

**RAFTER ROOF**

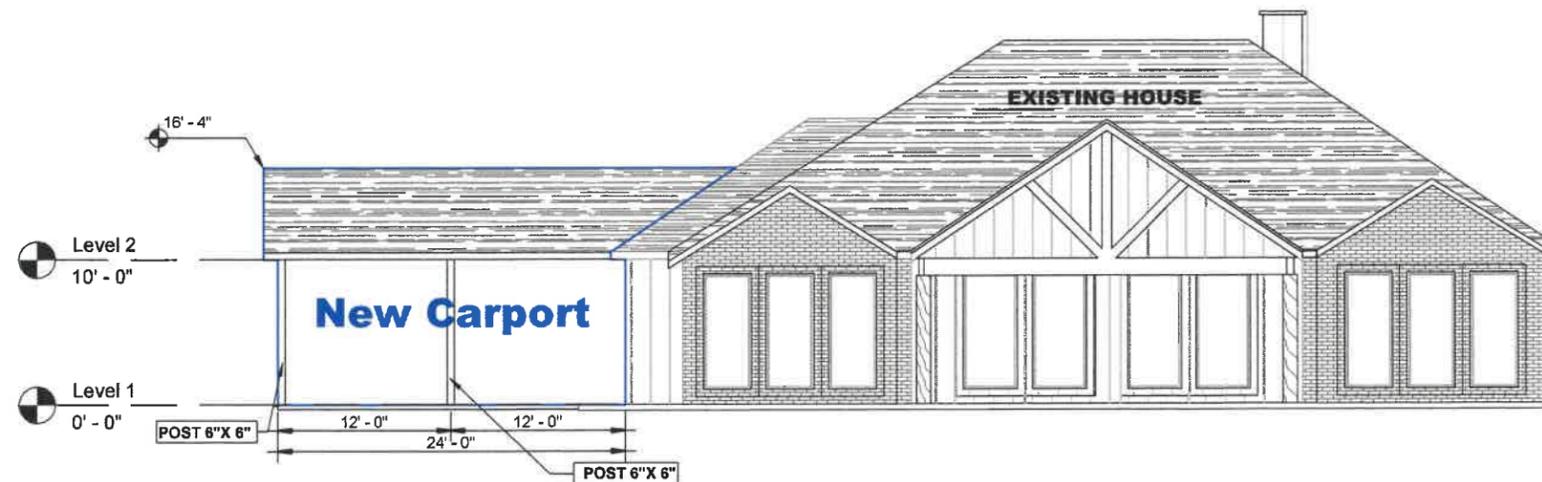
Project number:

Date: 6/23/2023 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**1 Front Elevation**  
1/8" = 1'-0"

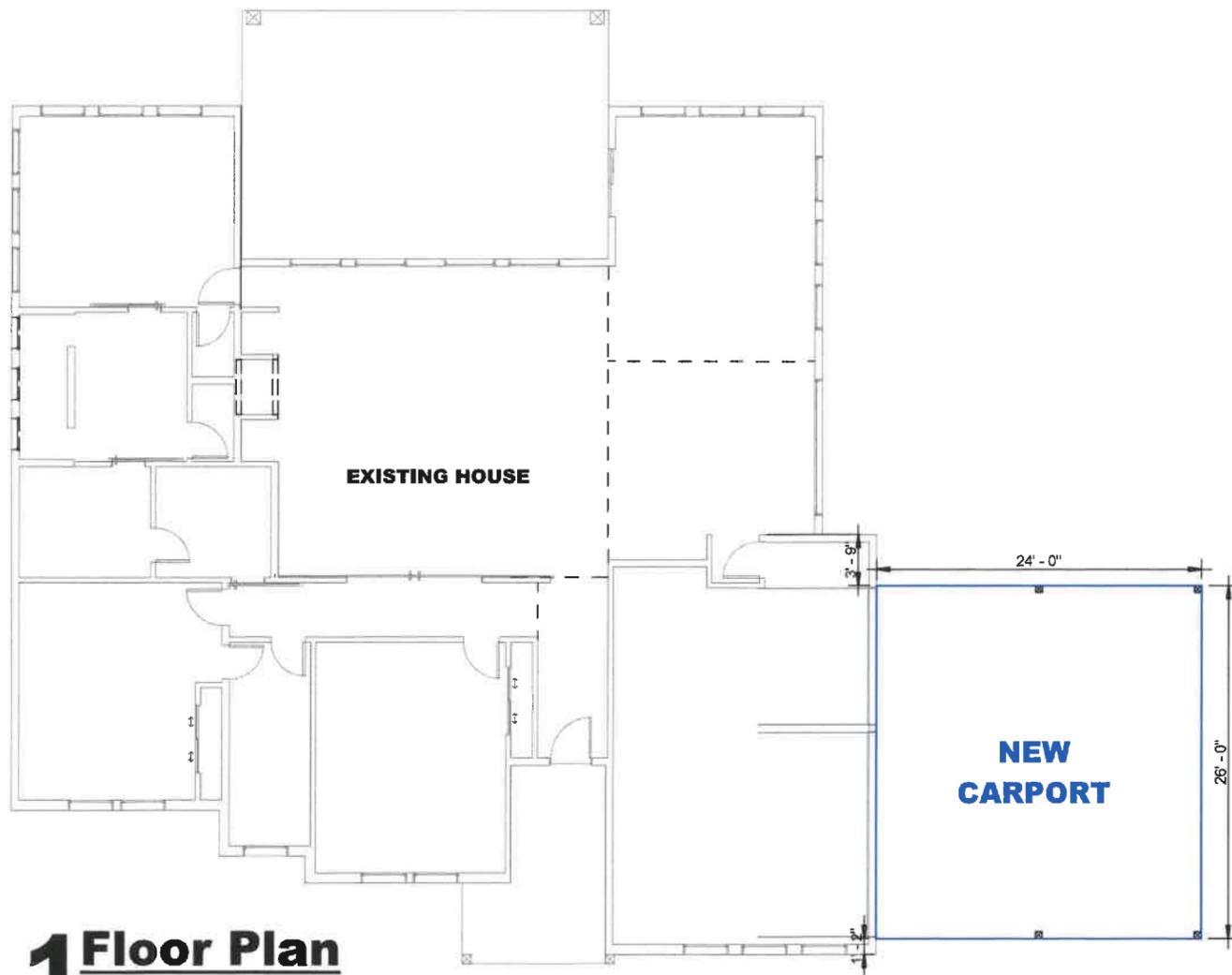


**2 Right Elevation**  
1/8" = 1'-0"

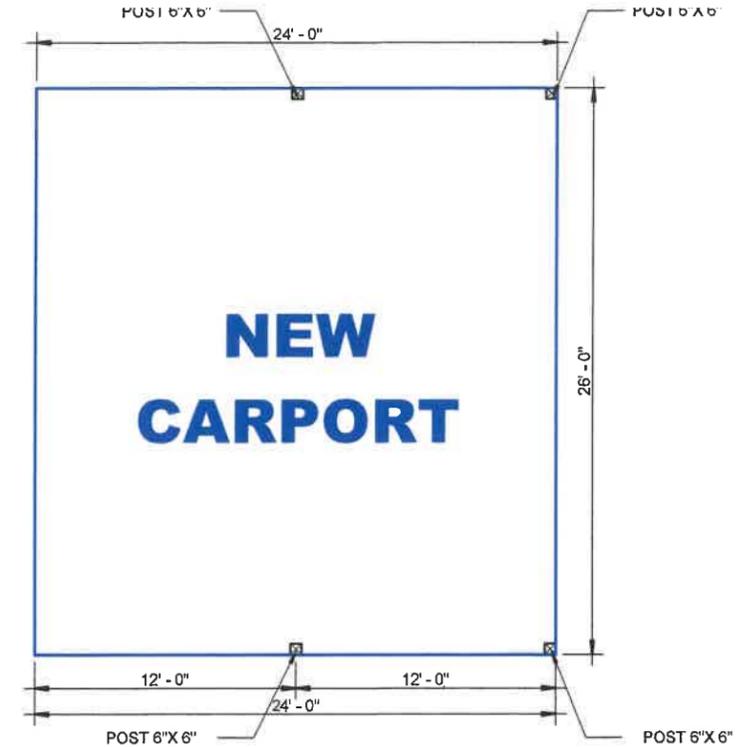


**3 Left Elevation**  
1/8" = 1'-0"

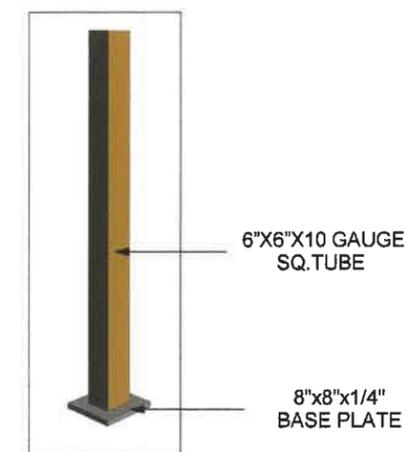
	<small>THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB. NOTE ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.</small>  <small>GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRADING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.</small>	<b>Project Name &amp; Address</b> 820 E HEATH ST ROCKWALL, TX 75087	<b>ELEVATIONS</b>		<h1>5</h1>	
		<b>Legal Description</b> LOT 7	Project number:	Date: 6/23/2023    Scale: 1/8" = 1'-0"		
			Drawn by: Projects & Construction Araque			



**1 Floor Plan**  
1/8" = 1'-0"



**2 Top View Post**  
3/16" = 1'-0"



**3 Detail Post**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**

820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**

LOT 7

**FLOOR PLAN**

Project number:

Date:

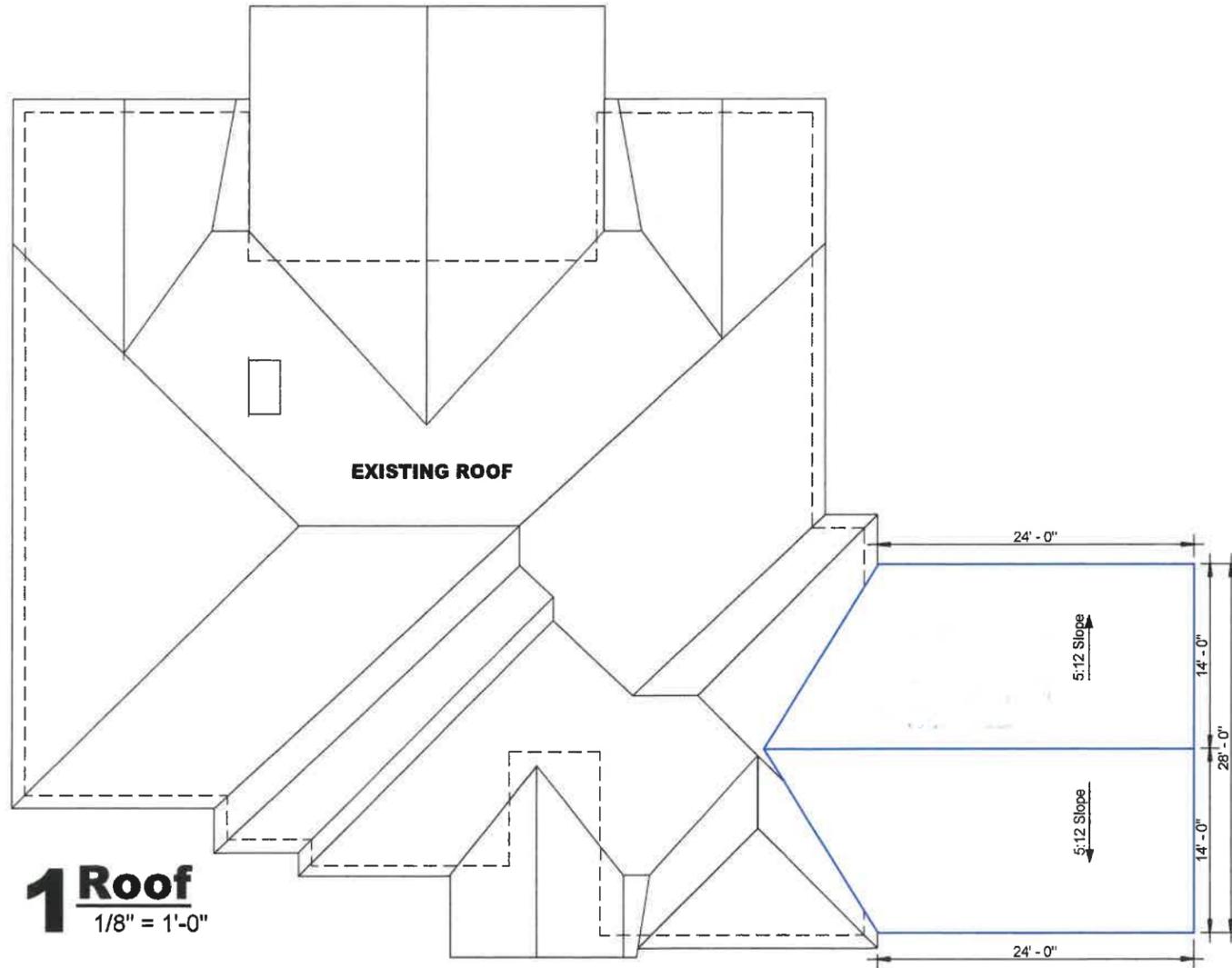
6/23/2023

Scale

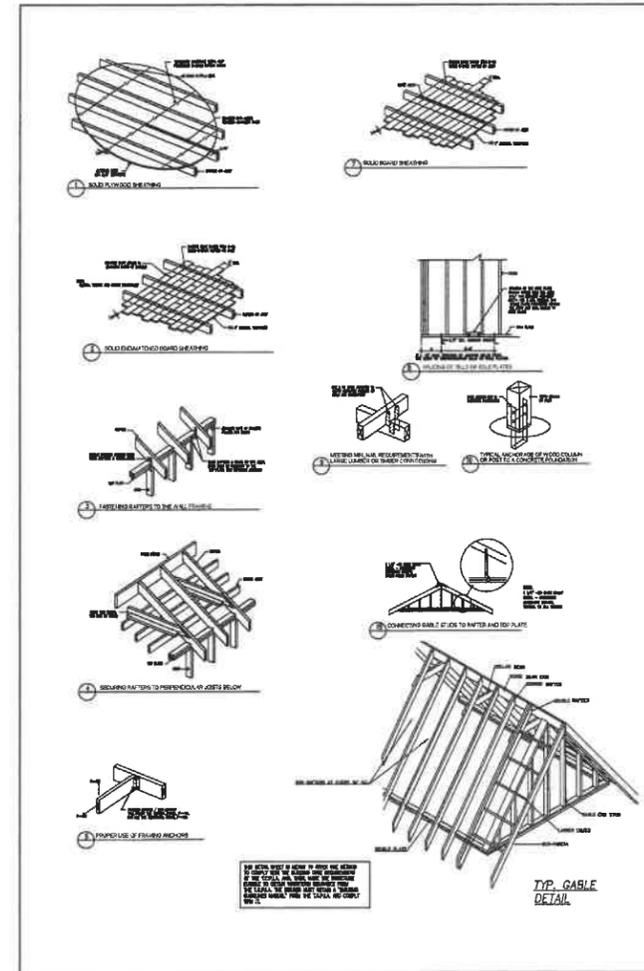
As indicated

Drawn by: Projects & Construction Araque

2



**FRAMING NOTES**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, FOUNDATION AND STRUCTURAL, BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEPENDENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTERS THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY OPTIMAL TWEAKS OR ALTERATIONS TO THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**  
LOT 7

**ROOF**

Project number:

Date: 6/23/2023 Scale As indicated

Drawn by: Projects & Construction Araque

**3**

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A CARPORT THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON AN 0.3492-ACRE PARCEL OF LAND IDENTIFIED AS LOT 7, BLOCK A, SOLAR VILLAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Carport* that does not meet the minimum size or setback requirements for a carport in a Single Family 7 (SF-7) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a carport on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- (2) The carport shall not exceed a maximum size of 625 SF.
- (3) The carport shall not exceed a maximum overall height of 17-feet.
- (4) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF SEPTEMBER, 2023.

\_\_\_\_\_  
Trace Johannessen, Mayor

ATTEST:

\_\_\_\_\_  
Kristy Teague, City Secretary

APPROVED AS TO FORM:

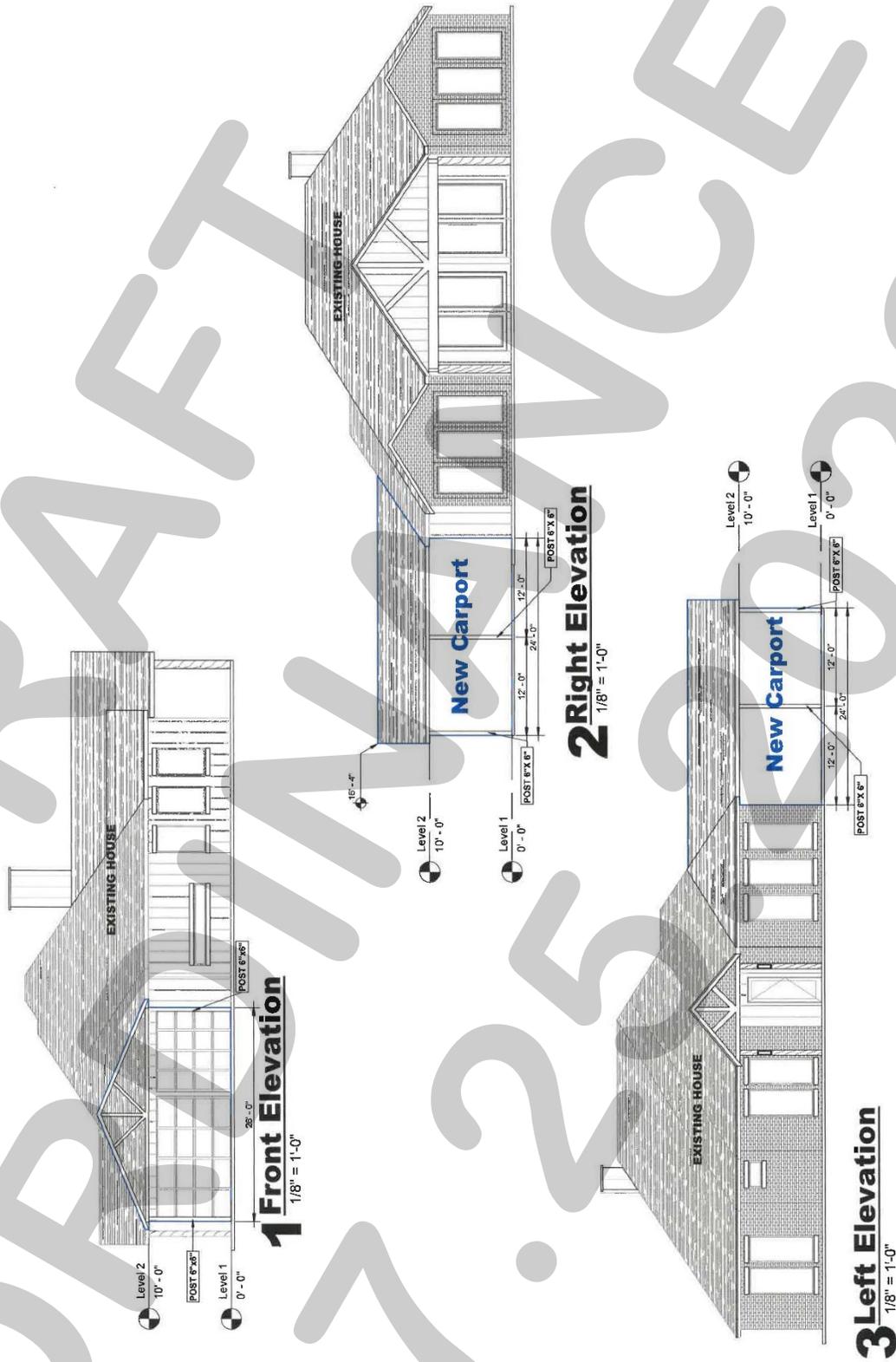
\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: August 21, 2023

2<sup>nd</sup> Reading: September 5, 2023



Exhibit 'B'  
Building Elevations





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** August 15, 2023  
**APPLICANT:** Richard Expo  
**CASE NUMBER:** Z2023-036; *Specific Use Permit (SUP) for a Carport at 820 E. Heath Street*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

### BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. Based on the May 16, 1983 zoning map, this designation changed between January 4, 1972 and May 15, 1983 to Single-Family 7 (SF-7) District and has remained Single-Family 7 (SF-7) District since this change. On November 18, 2013, the City Council approved a preliminary plat [Case No. P2013-032] for the Solar Village Addition, which consists of six (6) single-family residential lots. On July 7, 2014, the City Council approved a final plat [Case No. P2014-014] for Lots 1-6, Block A., Solar Village. On May 11, 2022, a replat [Case No. P2022-022] for Lots 7-12, Block A, Solar Village was administratively approved. The purpose of this replat was to correct the state plane coordinates and update the lot areas. On February 17, 2023, a building permit [RES2023-254] was issued allowing the construction of a 6,442 SF single-family home on the subject property.

### PURPOSE

The applicant -- *Richard Expo* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a *Carport* that exceeds the maximum allowable square footage and does not meet the minimum setback requirements as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 820 Heath Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is one (1) single-family home (*i.e. 819 E Heath Street*), which is situated within the Hal Phelps Subdivision. This subdivision is zoned Single-Family 7 (SF-7) District and consists of 11 residential lots. Beyond this is Phase 5 of the Caruth Lakes Subdivision, which is zoned Planned Development District 5 (PD-5) and consists of 137 residential lots.

South: Directly south of the subject property is the rest of the Solar Village Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of six (6) residential lots. Beyond this is Williams Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a 5.82-acre tract of land (*i.e. Tract 50, of the R Ballard Survey, Abstract No. 29*) with a single-family home situated on it. This property is zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is the rest of the Solar Village Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of six (6) residential lots. Beyond this is Williams Street which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 3.120-acre tract of land (*i.e. Tract 66, of the R Ballard, Abstract 29*), addressed as 940 Williams Street, and zoned Light Industrial (LI) District. The property is developed with a 2,096 SF single-family home.

West: Directly west of the subject property is the Green Meadows Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of nine (9) residential lots. Beyond this is the Fondren Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of 16 residential lots.

## **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted a development application, concept plan, and building elevations proposing to construct a 24-foot by 26-foot (*or 624 SF*) carport on the subject property. The proposed carport will architecturally be integrated with the existing attached garage and home, and will stand less than 14-feet in height as measured to the mid-point of the pitched roof. The proposed structure will be situated in the side yard and be a minimum of 20-feet from the side yard property line (*i.e. the eastern property line*) and a minimum of 20-feet from the front yard (*i.e. the northern*) property line even with the front façade of the single-family home.

## **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of one (1) carport. The maximum square footage of a carport is 500 SF. Carports are limited to a maximum height of 15-feet. The setbacks for a carport in a Single-Family 7 (SF-7) District are ten (10) feet from the rear property line and 20-feet from the alleyway. This section of the code goes on to state, "(i)n residential districts, carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the corner of the front façade and meet the garage setback adjacent to an alley." Carports not conforming to these requirements shall require a Specific Use Permit (SUP).

## **STAFF ANALYSIS**

In this case, the applicant's request generally conforms to the height requirements for a carport; however, the carport does not adhere to the maximum allowable size or the requirement to be located 20-feet behind the front façade in a Single-Family 7 (SF-7) District. Specifically, the carport will exceed the permitted 124 SF and the proposed carport is placed even with the front of the front façade of the home. For the purpose of comparing the proposed *Carport* with other carports in the area, staff reviewed aerial and street view images to locate similar structures. Through this analysis, staff was unable to identify any other *Carports* constructed within three (3) blocks of the subject property. Based on the proposed size and location of the accessory building, staff should point out that this structure will have high visibility from the adjacent properties along E Heath Street. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On July 21, 2023, staff mailed 87 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes Homeowner's Associations (HOAs) which was the only Homeowner's Association (HOA) within the 1,500-foot buffer participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time, staff has received one (1) notice in opposition of the request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a Carport, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) The carport shall not exceed a maximum size of 625 SF.
  - (c) The carport shall not exceed a maximum overall height of 17-feet.
  - (d) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

820 E Heath St.

SUBDIVISION

Solar Village

LOT

1

BLOCK

A

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Richard Expo

APPLICANT

CONTACT PERSON

RYSZARD WASZCZUK

CONTACT PERSON

ADDRESS

838 Nash St.

ADDRESS

CITY, STATE & ZIP

Rockwall, TX. 75087

CITY, STATE & ZIP

PHONE

972-400-8047

PHONE

E-MAIL

Richardexpo@hotmail.com

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYSZARD WASZCZUK (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

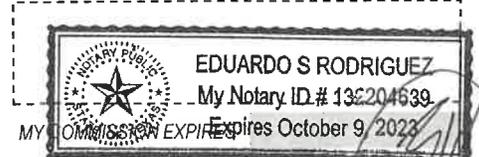
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14<sup>th</sup> DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14<sup>th</sup> DAY OF July, 2023

OWNER'S SIGNATURE

*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-036: Specific Use Permit for a Carport at 820 E. Heath Street



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

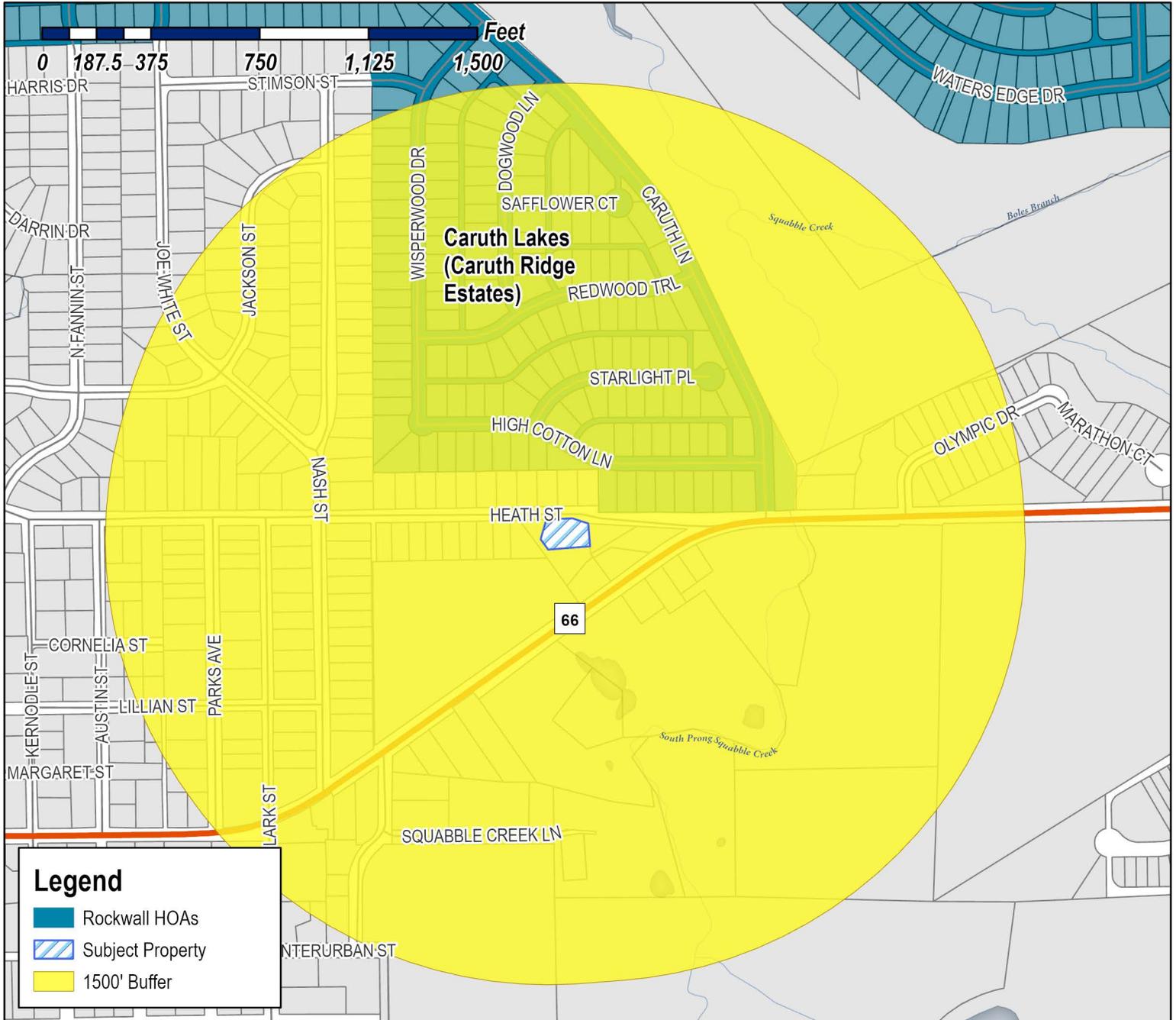




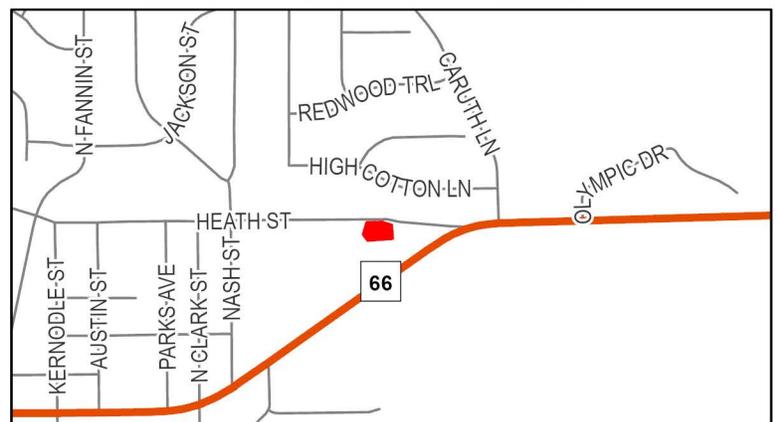
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**Case Number:** Z2023-036  
**Case Name:** SUP for a Carport  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 820 E. Heath Street



**Date Saved:** 7/14/2023

For Questions on this Case Call (972) 771-7745

## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, July 19, 2023 9:06 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-036]  
**Attachments:** Public Notice (P&Z) (7.17.2023).pdf; HOA Map (07.14.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *July 21, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 15, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-036: SUP for a Carport**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a *Specific Use Permit (SUP)* for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

Thank you,

*Melanie Zavala*

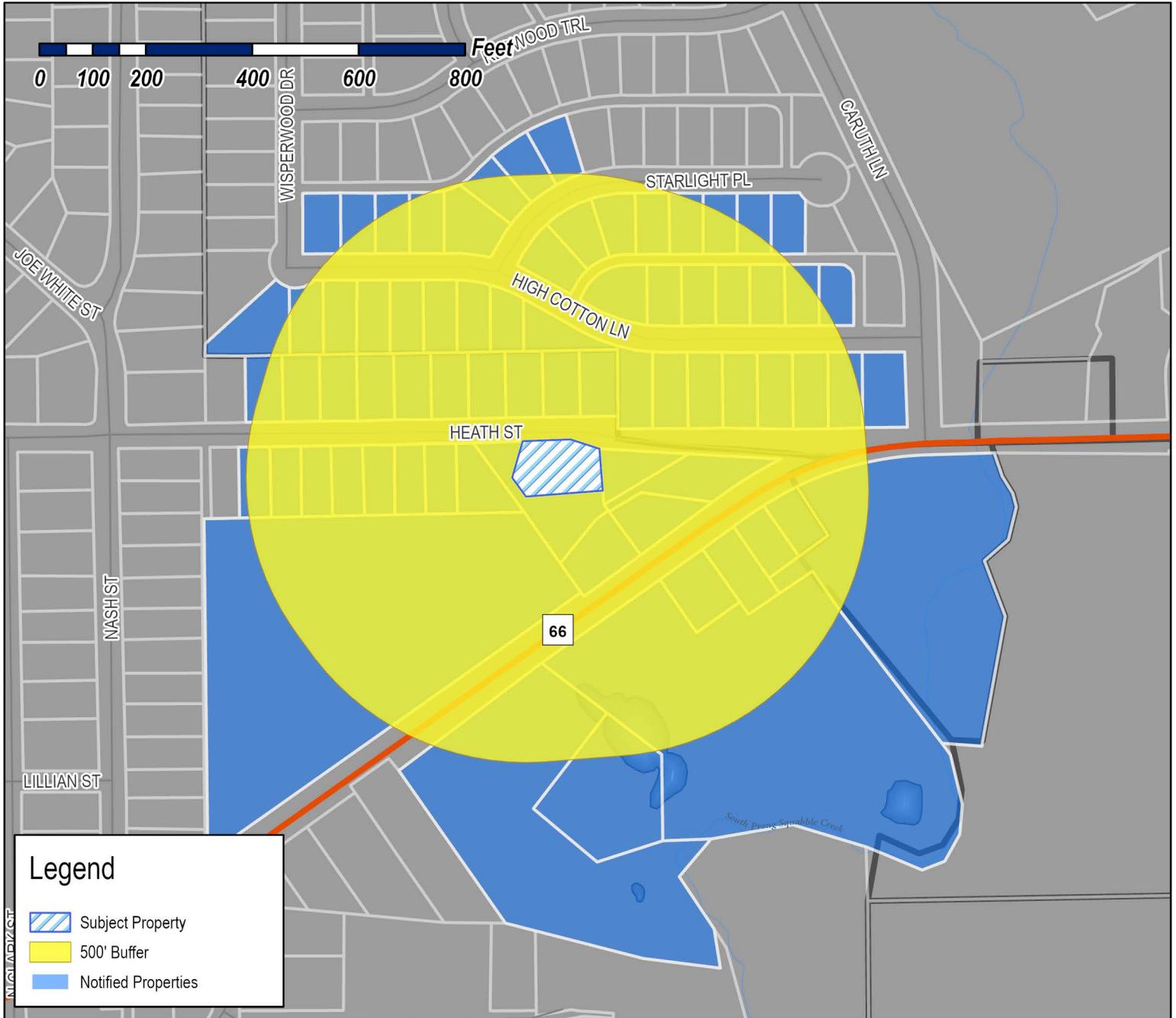
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2023-036  
**Case Name:** SUP for a Carport  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 820 E. Heath Street



**Date Saved:** 7/14/2023

For Questions on this Case Call: (972) 771-7746

KINDELL GROUP LLC  
1 TABER LANE  
ROCKWALL, TX 75087

RESIDENT  
1001 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
1002 HIGH COTTON LN  
ROCKWALL, TX 75087

ADAMS JOHNNY R JR & JEANNE K  
1005 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
1007 STARLIGHT PL  
ROCKWALL, TX 75087

SPENCE JODY L  
1010 HIGH COTTON LN  
ROCKWALL, TX 75087

KINSELLA ERIC P & CARLA J  
1011 HIGH COTTON LN  
ROCKWALL, TX 75087

RUST WILLIAM KA ND TERRI DAWN  
1013 STARLIGHT PL  
ROCKWALL, TX 75087

JENNINGS RICHARD  
1016 HIGH COTTON LN  
ROCKWALL, TX 75087

LAMBERT MILDRED L & NORMAN R  
1017 HIGH COTTON LN  
ROCKWALL, TX 75087

WIENBARG KIMBERLY  
1019 STARLIGHT  
ROCKWALL, TX 75087

HEIN KYLE G & VERONICA L  
1022 HIGH COTTON LN  
ROCKWALL, TX 75087

WOODS WILLIAM & RITA  
1023 HIGH COTTON LN  
ROCKWALL, TX 75087

JARESH DONALD & COLETTE  
1025 STARLIGHT PL  
ROCKWALL, TX 75087

PRESLEY DELISA & RANDALL  
1028 HIGH COTTON LANE  
ROCKWALL, TX 75087

SINGH GURDARSHAN AND PARAMJIT SINGH  
1029 HIGH COTTON LN  
ROCKWALL, TX 75087

BAKER CHRISTOPHER MILLER AND MONICA  
NAHIR  
1031 STARLIGHT PL  
ROCKWALL, TX 75087

BASHAM TOMMY & JAMIE  
1034 HIGH COTTON LN  
ROCKWALL, TX 75087

KEGLEY SCOTT  
1035 HIGH COTTON LN  
ROCKWALL, TX 75087

JOHNSON ROBERT AND  
VIRGINIA LEE  
1040 HIGH COTTON LN  
ROCKWALL, TX 75087

GAJEWSKI MISTY  
1041 HIGH COTTON LANE  
ROCKWALL, TX 75087

BACK STACY ANN & CHARLES BACK JR  
1049 HIGH COTTON LANE  
ROCKWALL, TX 75087

HOPEWELL MARILYN E  
1056 WISPERWOOD DR  
ROCKWALL, TX 75087

SWH 2017-1 BORROWER LP  
1131 W WARNER RD STE 102  
TEMPE, AZ 85284

HPA TEXAS SUB 2017-1 LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

HPA BORROWER 2018-1 MS LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

ROCKWALL ENTERPRISES LLC  
1309 MORAINNE PL  
HEATH, TX 75032

DORAZIO RICHARD & SHARON LIVING TRUST  
RICHARD A & SHARON L DORAZIO TRUSTEES  
143 SHEPHERDS GLEN RD  
HEATH, TX 75032

SHUGART MELODY S  
1511 FT DUQUESNA DR  
SUN CITY CENTER, FL 33573

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

THE BRANCH OFFICE PROPERTIES LLC  
25 NOBLE CT  
HEATH, TX 75032

HOLLAND PAUL  
2534 CR 3419  
HAWKINS, TX 75765

R FIFTY GREEN HOMES  
2704 FOXCHASE LN  
ROCKWALL, TX 75032

CAS INVESTMENT PROPERTIES LLC- SERIES 809  
HEATH  
521 WILLOW SPRINGS DR.  
HEATH, TX 75032

TAYLOR WANDA  
803 E HEATH ST  
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS  
804 E HEATH ST  
ROCKWALL, TX 75087

KRUEGER CHARLES H & JENNY L  
805 E HEATH ST  
ROCKWALL, TX 75087

CONLEY JANONA & THOMAS J  
806 E. HEATH ST  
ROCKWALL, TX 75087

MOHEDANO MARTIN  
807 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
808 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
809 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
810 E HEATH ST  
ROCKWALL, TX 75087

WARDELL LUKE A  
811 E HEATH ST  
ROCKWALL, TX 75087

KINSEY HILLARY  
812 EAST HEATH STREET  
ROCKWALL, TX 75087

GULLEY STAN LAVERE ETUX  
813 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
814 E HEATH ST  
ROCKWALL, TX 75087

HODGES BRIAN CODY & CHRISTY MICHELLE  
815 E HEATH ST  
ROCKWALL, TX 75087

NICHOLS CORY  
816 E HEATH ST  
ROCKWALL, TX 75087

RODRIGUEZ PAULA CANDACE  
817 E HEATH STREET  
ROCKWALL, TX 75087

RESIDENT  
818 E HEATH ST  
ROCKWALL, TX 75087

MOORE MIRIAM  
819 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
820 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
821 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
824 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
828 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
832 WILLIAMS ST  
ROCKWALL, TX 75087

RANDALL ROBERT S & SHERY B  
835 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
836 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
840 HEATH ST  
ROCKWALL, TX 75087

DOTSON DUNCAN L & DOLORES J  
841 HIGH COTTON LN  
ROCKWALL, TX 75087

MINCE RANDY JOE & RHONDA LYNN  
844 HIGH COTTON LN  
ROCKWALL, TX 75087

WEAVER BONNIE & SCOTT  
847 HIGH COTTON LN  
ROCKWALL, TX 75087

CHUNG WON S & HYE Y  
850 HIGH COTTON LN  
ROCKWALL, TX 75087

MEYER LANEY AND RANDAL  
853 HIGH COTTON LANE  
ROCKWALL, TX 75087

LAIN JACOB & SARAH  
856 HIGH COTTON LANE  
ROCKWALL, TX 75087

CLEMENT MICHAEL BRENT  
859 HIGH COTTON LANE  
ROCKWALL, TX 75087

COTTI MICHAEL A  
862 HIGH COTTON LANE  
ROCKWALL, TX 75087

RESIDENT  
865 HIGH COTTON LN  
ROCKWALL, TX 75087

MCKNIGHT SCOTT A & KAY A  
871 HIGH COTTON LN  
ROCKWALL, TX 75087

MCKINNEY ROBERT A & JENNIFER J  
877 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
901 WILLIAMS ST  
ROCKWALL, TX 75087

TATE NATHAN A AND LAURA S AND  
DARLENE SINGLETON  
928 WILLIAMS ST  
ROCKWALL, TX 75087

SINGLETON ROY LEE SR & LINDA D  
930 WILLIAMS ST  
ROCKWALL, TX 75087

CANTRELL JANET SUE  
932 WILLIAMS ST  
ROCKWALL, TX 75087

SAKOLEVIDIS DESTINY AND JOHN COOK JR  
934 WILLIAMS ST  
ROCKWALL, TX 75087

RESIDENT  
936 WILLIAMS ST  
ROCKWALL, TX 75087

SANCHEZ RAQUEL  
938 WILLIAMS STREET  
ROCKWALL, TX 75087

SPILLMAN JAMES T  
940 WILLIAMS ST  
ROCKWALL, TX 75087

HILL HEATH D & JENNIFER S  
974 STARLIGHT PL  
ROCKWALL, TX 75087

SHARP MARCUS & STELLA  
980 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
983 STARLIGHT PL  
ROCKWALL, TX 75087

KEIFER R MATTHEW & KRISTEN C  
986 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
991 STARLIGHT PL  
ROCKWALL, TX 75087

POMROY SHAWN AND PATRICIA  
992 STARLIGHT PL  
ROCKWALL, TX 75087

GRANBERRY EDITH  
M/R  
, TX 75087

CARUTH RIDGE EST HOMEOWNERS ASSOC INC  
C/O GOODWIN MANAGEMENT, INC.  
PO BOX 203310  
AUSTIN, TX 78720

ROCKWALL ASSEMBLY OF GOD  
C/O DAVID SPIEGEL  
PO BOX 33  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-036: SUP for a Carport**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2023-036: SUP for a Carport**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]  
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning

USE THIS QR CODE  
TO GO DIRECTLY  
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-036: SUP for a Carport**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

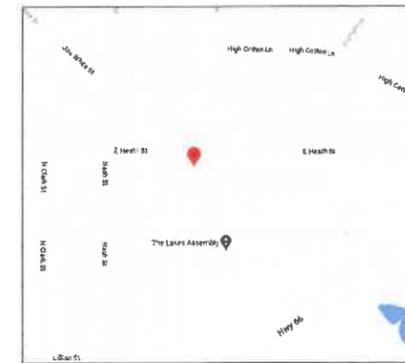
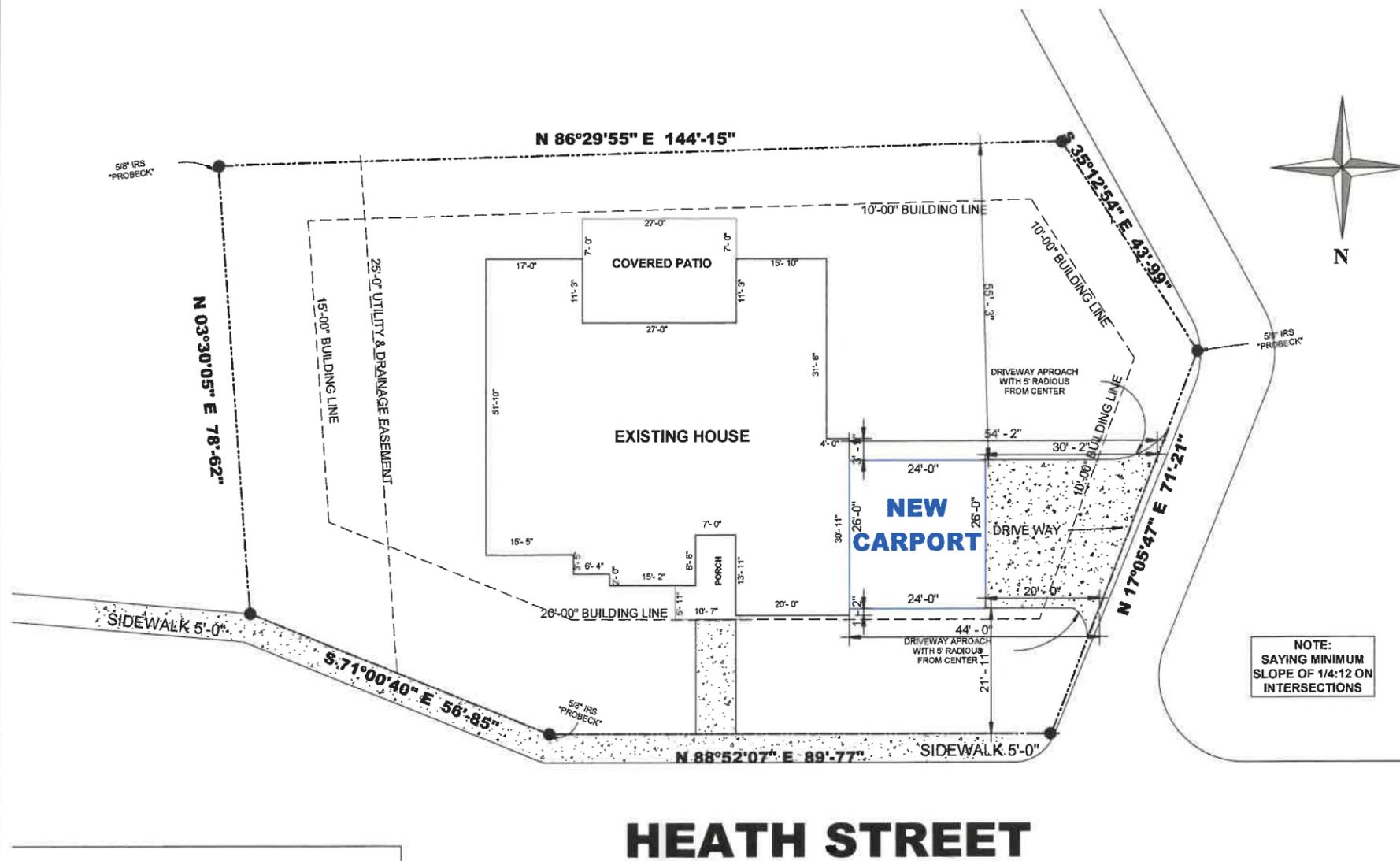
I am opposed to the request for the reasons listed below.

the area is already to crowded  
and town zoned it for a reason

Name: Patricia Penroy  
Address: 972 Starlight PL 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP

820 E HEATH ST  
ROCKWALL, TX 75087

EXISTING HOUSE	3,681.5 SG/FT
NEW CARPORT	624 SG/FT
TOTAL NEW CONSTRUCTION	624 SG/FT
LOT AREA	0.3492 ACRES

NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

**1 Site Plan**  
1/16" = 1'-0"

**HEATH STREET**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVISIONS AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THE JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

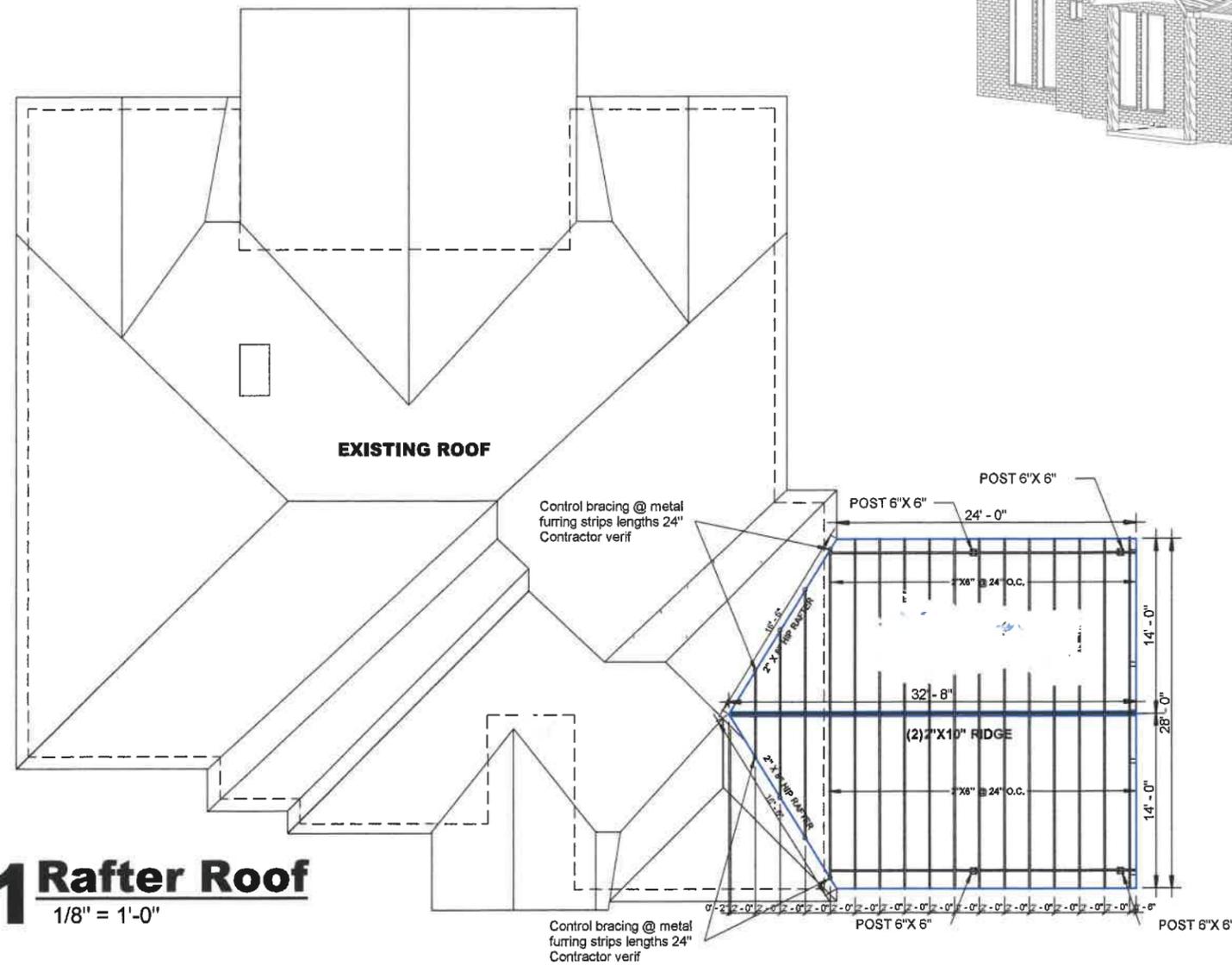
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR REVISIONS ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPIES, TRACES, OR ALTERATIONS OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

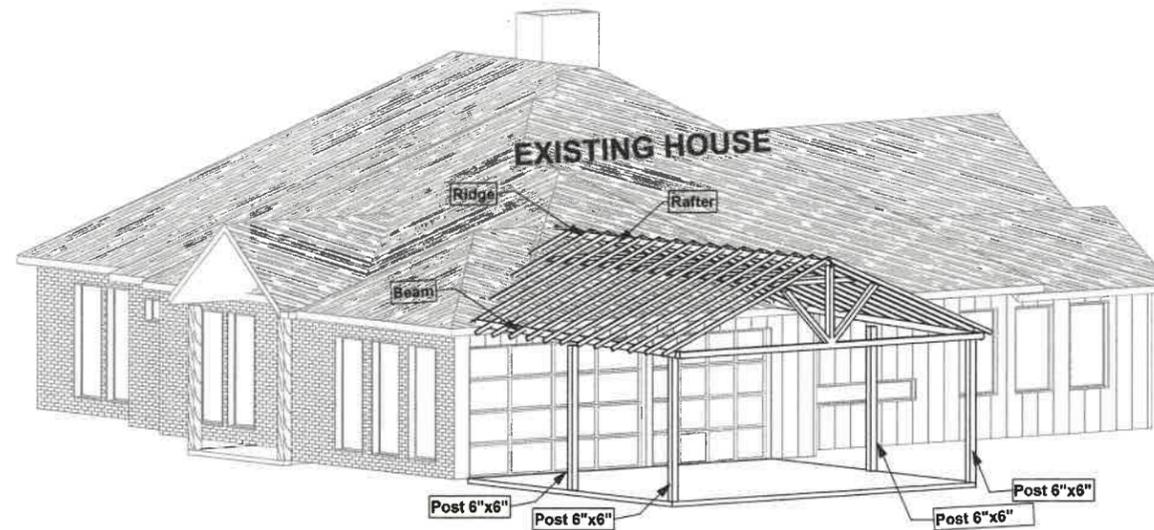
**Legal Description**  
LOT 7

<b>SITE PLAN</b>	
Project number:	
Date:	6/23/2023
Scale:	1/16" = 1'-0"
Drawn by: Projects & Construction Araque	

**1**



**1 Rafter Roof**  
1/8" = 1'-0"



**2 Framing Carport**



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GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCES IN SURROUNDING LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY CHANGES DUE TO ERRORS, OMISSIONS, OR MISINTERPRETATIONS OF THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THE HOUSE ONLY ONCE. ANY CORRECTIONS, REVISIONS, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATIONS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**

820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**

LOT 7

**RAFTER ROOF**

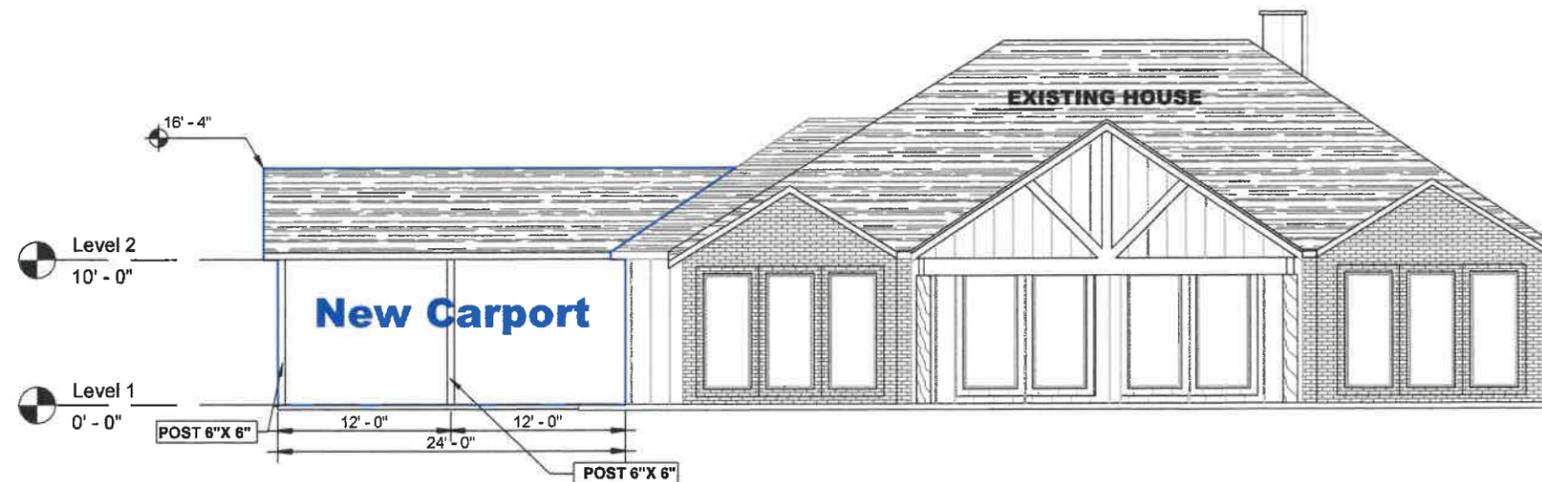
Project number:

Date: 6/23/2023 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**1 Front Elevation**  
1/8" = 1'-0"

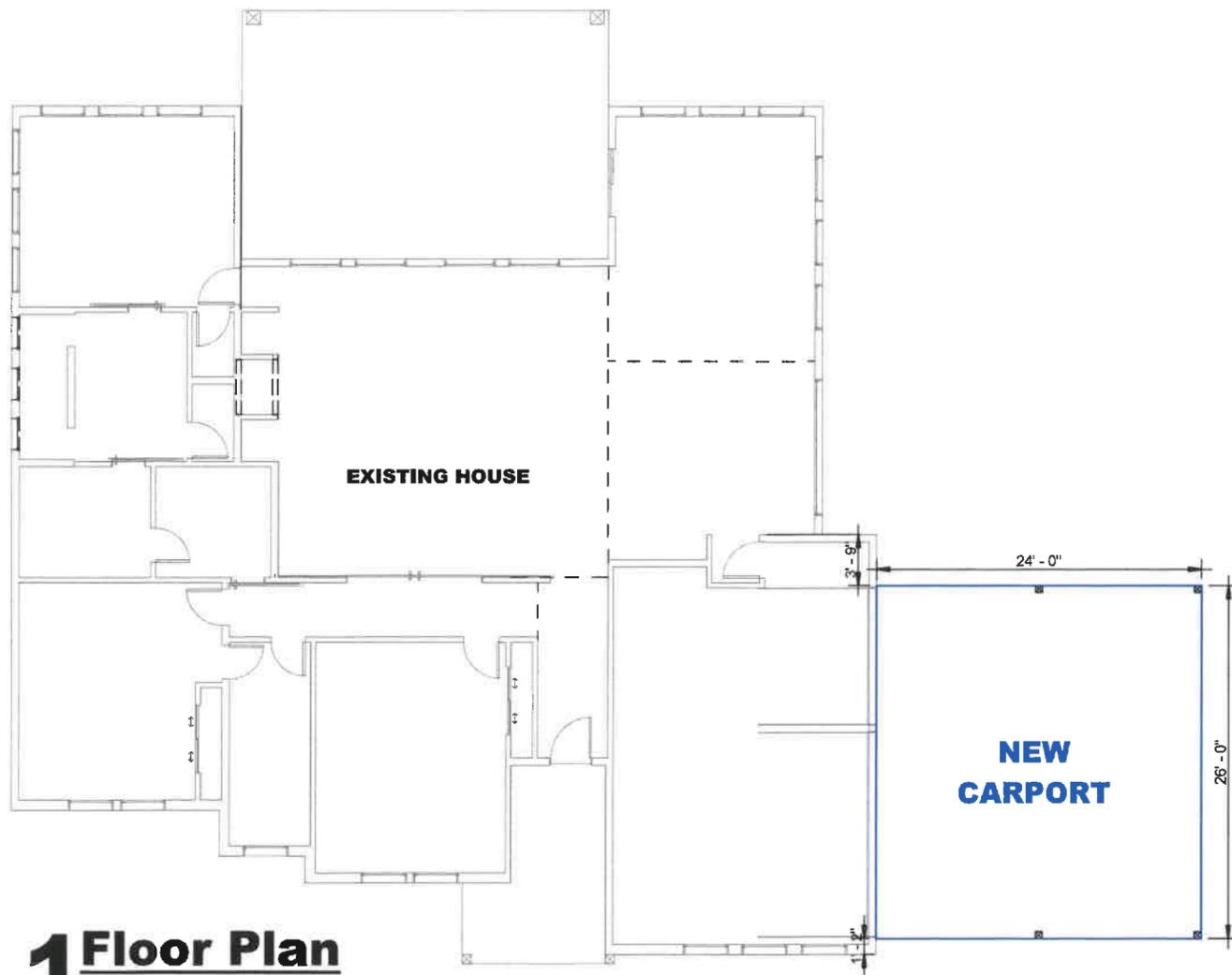


**2 Right Elevation**  
1/8" = 1'-0"

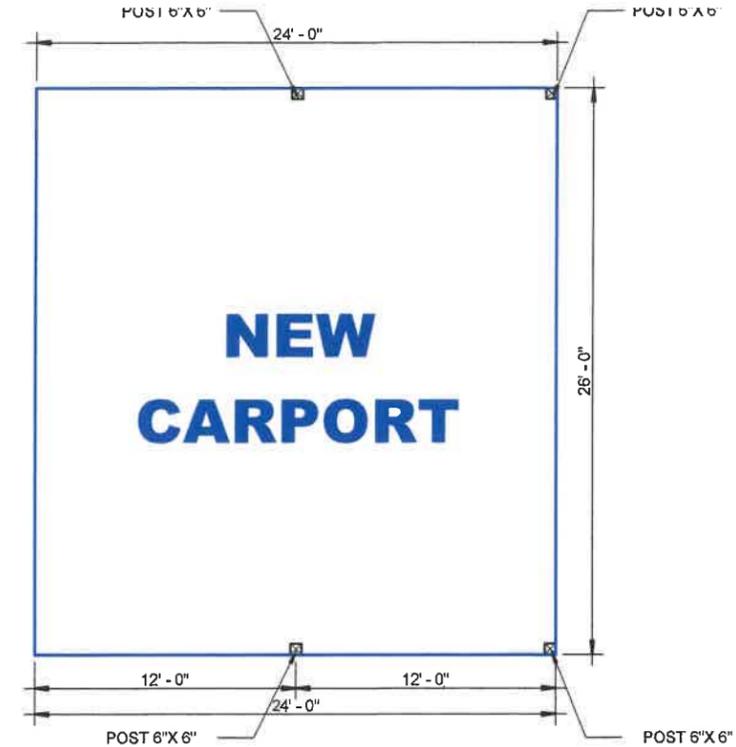


**3 Left Elevation**  
1/8" = 1'-0"

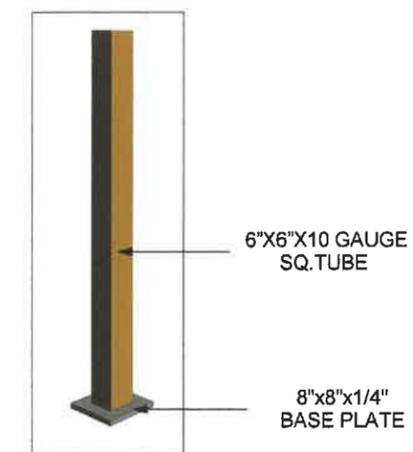
	<small>THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, FOUND AND STRUCTURAL, BEFORE BEGINNING CONSTRUCTION OF ANY FOOTING, WALL, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.</small>  <small>GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.</small>	<b>Project Name &amp; Address</b> 820 E HEATH ST ROCKWALL, TX 75087	<b>ELEVATIONS</b>		<h1>5</h1>	
		<b>Legal Description</b> LOT 7	Project number:	Date: 6/23/2023    Scale: 1/8" = 1'-0"		
			Drawn by: Projects & Construction Araque			



**1 Floor Plan**  
1/8" = 1'-0"



**2 Top View Post**  
3/16" = 1'-0"



**3 Detail Post**



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**Project Name & Address**

820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**

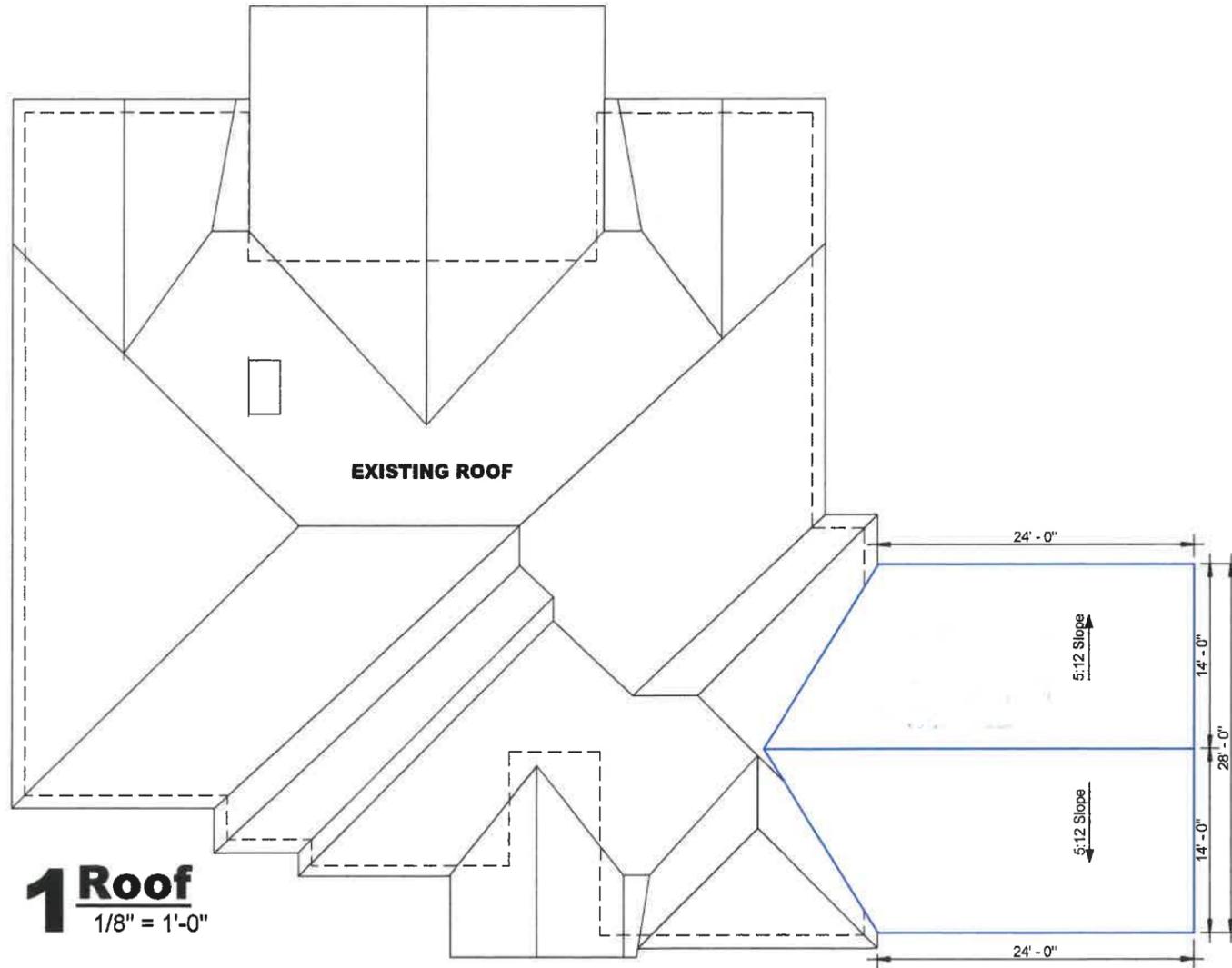
LOT 7

**FLOOR PLAN**

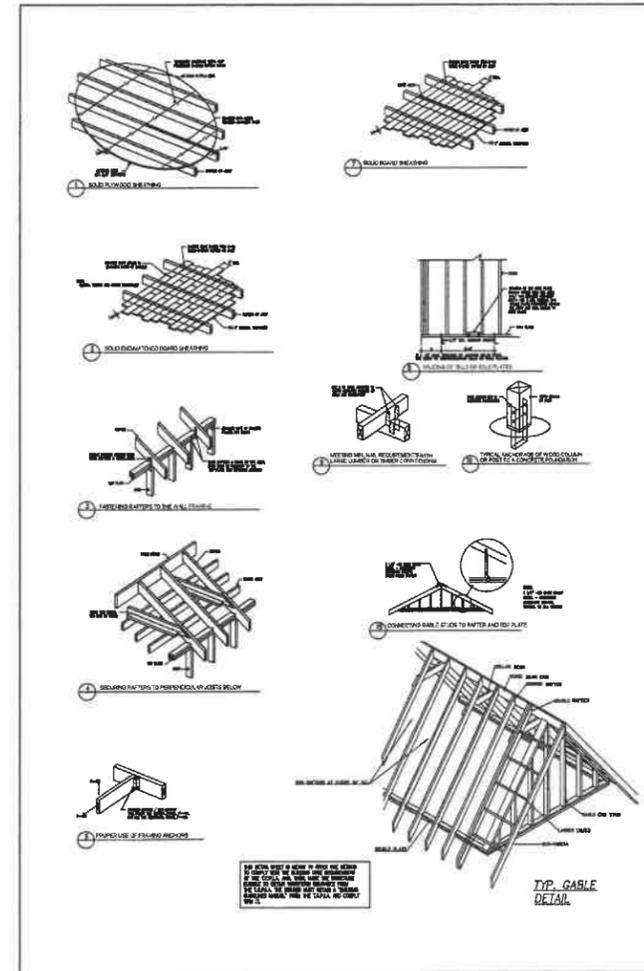
Project number:

Date: 6/23/2023 Scale As indicated

Drawn by: Projects & Construction Araque



**FRAMING NOTES**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**  
LOT 7

**ROOF**

Project number:

Date: 6/23/2023 Scale As indicated

Drawn by: Projects & Construction Araque

**3**

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A CARPORT THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON AN 0.3492-ACRE PARCEL OF LAND IDENTIFIED AS LOT 7, BLOCK A, SOLAR VILLAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Carport* that does not meet the minimum size or setback requirements for a carport in a Single Family 7 (SF-7) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a carport on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- (2) The carport shall not exceed a maximum size of 625 SF.
- (3) The carport shall not exceed a maximum overall height of 17-feet.
- (4) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF SEPTEMBER, 2023.

\_\_\_\_\_  
Trace Johannessen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

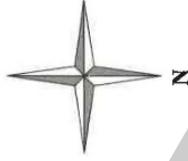
**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

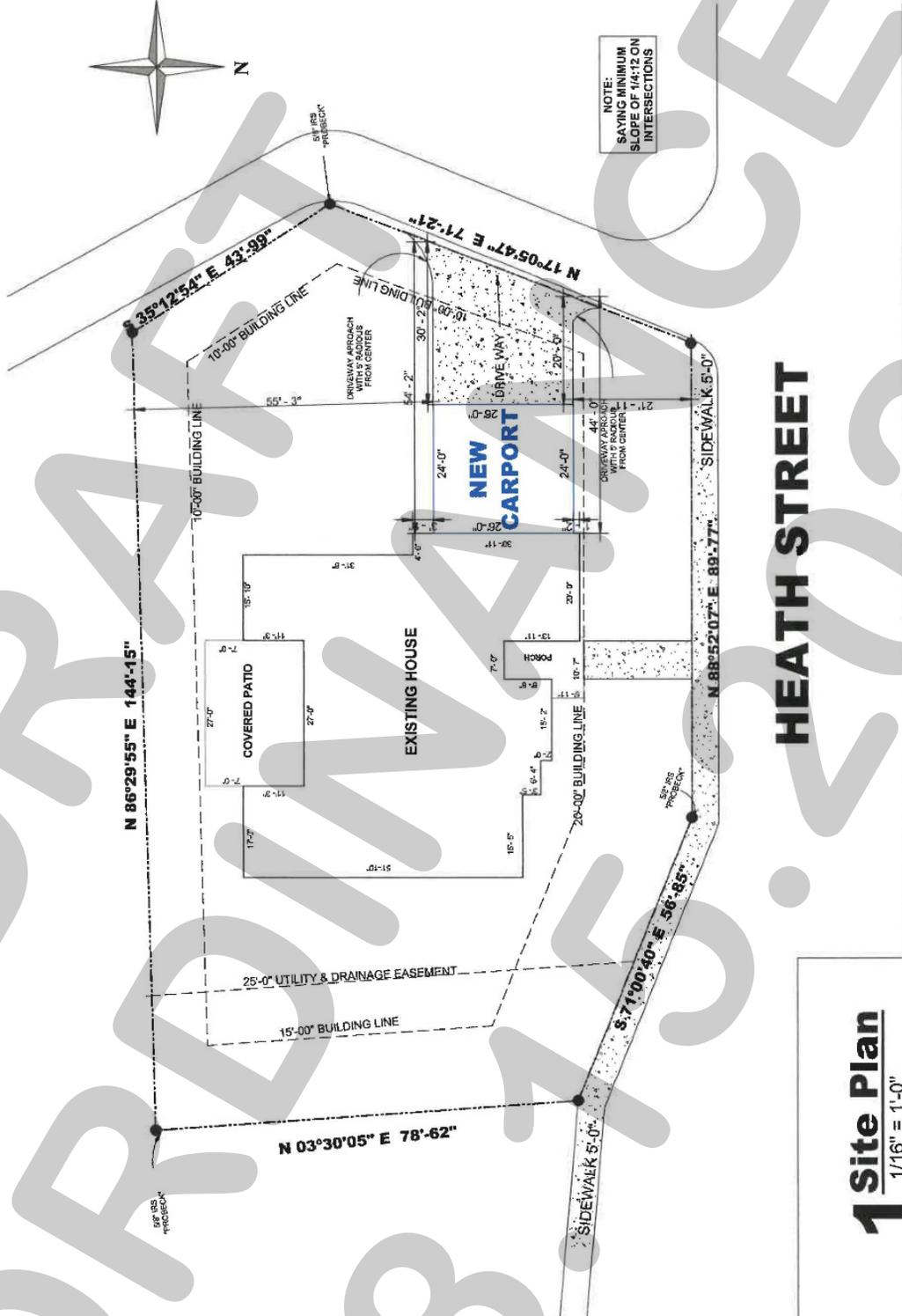
1<sup>st</sup> Reading: August 21, 2023

2<sup>nd</sup> Reading: September 5, 2023

Exhibit 'A'  
Concept Plan



NOTE:  
SAVING MINIMUM  
SLOPE OF 1/412 ON  
INTERSECTIONS



HEATH STREET

**1** Site Plan  
1/16" = 1'-0"





# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** August 21, 2023  
**APPLICANT:** Richard Expo  
**CASE NUMBER:** Z2023-036; *Specific Use Permit (SUP) for a Carport at 820 E. Heath Street*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

### BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. Based on the May 16, 1983 zoning map, this designation changed between January 4, 1972 and May 15, 1983 to Single-Family 7 (SF-7) District and has remained Single-Family 7 (SF-7) District since this change. On November 18, 2013, the City Council approved a preliminary plat [Case No. P2013-032] for the Solar Village Addition, which consists of six (6) single-family residential lots. On July 7, 2014, the City Council approved a final plat [Case No. P2014-014] for Lots 1-6, Block A., Solar Village. On May 11, 2022, a replat [Case No. P2022-022] for Lots 7-12, Block A, Solar Village was administratively approved. The purpose of this replat was to correct the state plane coordinates and update the lot areas. On February 17, 2023, a building permit [RES2023-254] was issued allowing the construction of a 6,442 SF single-family home on the subject property.

### PURPOSE

The applicant -- *Richard Expo* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a *Carport* that exceeds the maximum allowable square footage and does not meet the minimum setback requirements as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 820 Heath Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is one (1) single-family home (*i.e. 819 E Heath Street*), which is situated within the Hal Phelps Subdivision. This subdivision is zoned Single-Family 7 (SF-7) District and consists of 11 residential lots. Beyond this is Phase 5 of the Caruth Lakes Subdivision, which is zoned Planned Development District 5 (PD-5) and consists of 137 residential lots.

South: Directly south of the subject property is the rest of the Solar Village Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of six (6) residential lots. Beyond this is Williams Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a 5.82-acre tract of land (*i.e. Tract 50, of the R Ballard Survey, Abstract No. 29*) with a single-family home situated on it. This property is zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is the rest of the Solar Village Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of six (6) residential lots. Beyond this is Williams Street which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 3.120-acre tract of land (*i.e. Tract 66, of the R Ballard, Abstract 29*), addressed as 940 Williams Street, and zoned Light Industrial (LI) District. The property is developed with a 2,096 SF single-family home.

West: Directly west of the subject property is the Green Meadows Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of nine (9) residential lots. Beyond this is the Fondren Subdivision, which is zoned Single-Family 7 (SF-7) District and consists of 16 residential lots.

## **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted a development application, concept plan, and building elevations proposing to construct a 24-foot by 26-foot (*or 624 SF*) carport on the subject property. The proposed carport will architecturally be integrated with the existing attached garage and home, and will stand less than 14-feet in height as measured to the mid-point of the pitched roof. The proposed structure will be situated in the side yard and be a minimum of 20-feet from the side yard property line (*i.e. the eastern property line*) and a minimum of 20-feet from the front yard (*i.e. the northern*) property line even with the front façade of the single-family home.

## **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of one (1) carport. The maximum square footage of a carport is 500 SF. Carports are limited to a maximum height of 15-feet. The setbacks for a carport in a Single-Family 7 (SF-7) District are ten (10) feet from the rear property line and 20-feet from the alleyway. This section of the code goes on to state, "(i)n residential districts, carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the corner of the front façade and meet the garage setback adjacent to an alley." Carports not conforming to these requirements shall require a Specific Use Permit (SUP).

## **STAFF ANALYSIS**

In this case, the applicant's request generally conforms to the height requirements for a carport; however, the carport does not adhere to the maximum allowable size or the requirement to be located 20-feet behind the front façade in a Single-Family 7 (SF-7) District. Specifically, the carport will exceed the permitted 124 SF and the proposed carport is placed even with the front of the front façade of the home. For the purpose of comparing the proposed *Carport* with other carports in the area, staff reviewed aerial and street view images to locate similar structures. Through this analysis, staff was unable to identify any other *Carports* constructed within three (3) blocks of the subject property. Based on the proposed size and location of the accessory building, staff should point out that this structure will have high visibility from the adjacent properties along E Heath Street. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On July 21, 2023, staff mailed 87 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes Homeowner's Associations (HOAs) which was the only Homeowner's Association (HOA) within the 1,500-foot buffer participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back in regards to the request.

## **CONDITIONS OF APPROVAL**

If City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for a Carport, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) The carport shall not exceed a maximum size of 625 SF.
  - (c) The carport shall not exceed a maximum overall height of 17-feet.
  - (d) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On August 15, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit by a vote of 4-1, with Commissioner Llewellyn dissenting and Commissioner Hustings absent.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

820 E Heath St.

SUBDIVISION

Solar Village

LOT

1

BLOCK

A

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Richard Expo

APPLICANT

CONTACT PERSON

RYSZARD WASZCZUK

CONTACT PERSON

ADDRESS

838 Nash St.

ADDRESS

CITY, STATE & ZIP

Rockwall, TX. 75087

CITY, STATE & ZIP

PHONE

972-400-8047

PHONE

E-MAIL

Richardexpo@hotmail.com

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RYSZARD WASZCZUK (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

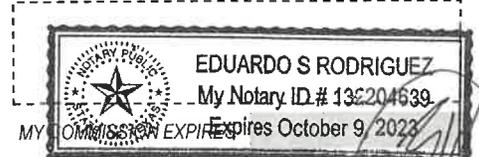
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14<sup>th</sup> DAY OF July, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14<sup>th</sup> DAY OF July, 2023

OWNER'S SIGNATURE

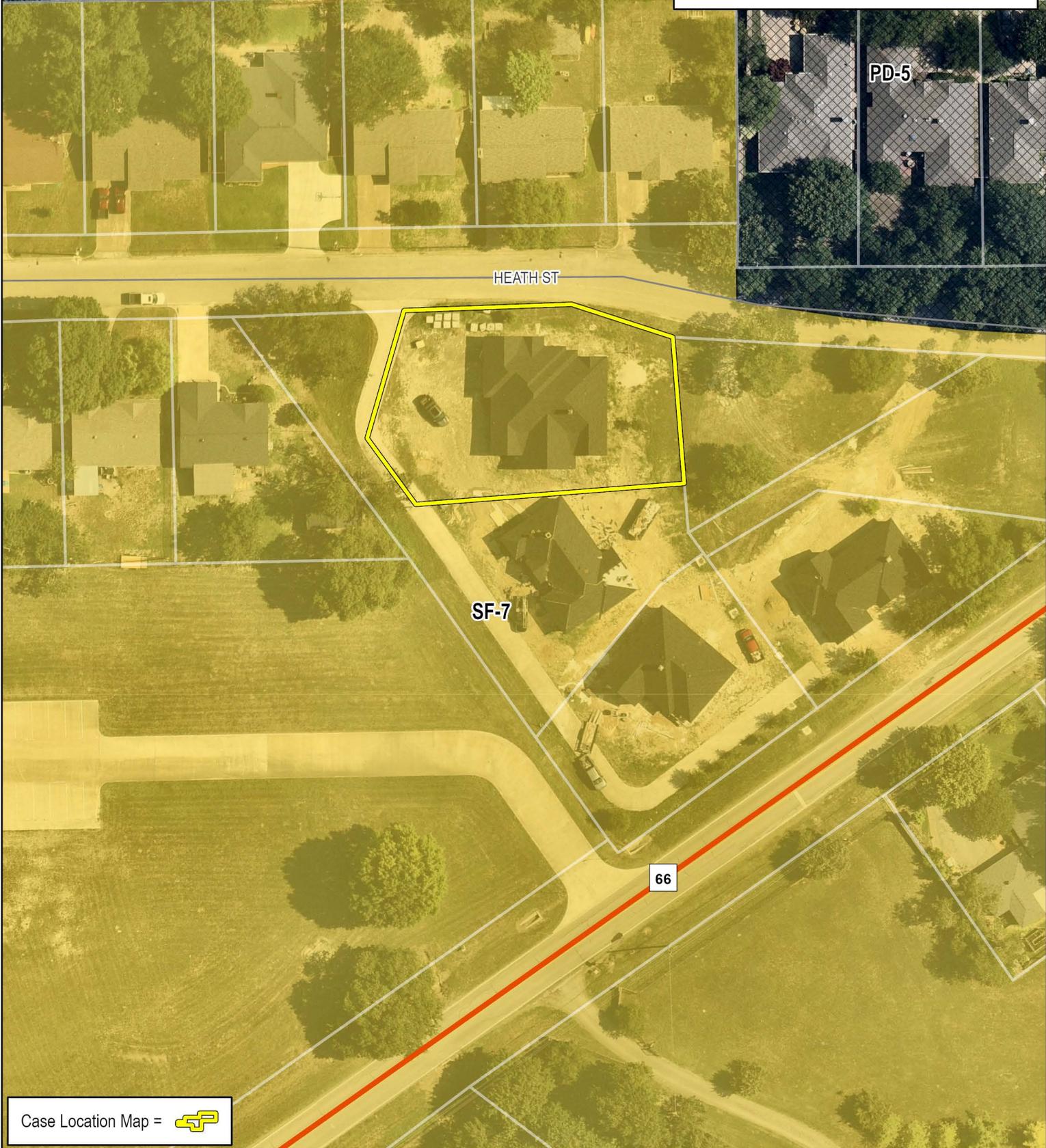
*[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-036: Specific Use Permit for a Carport at 820 E. Heath Street



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

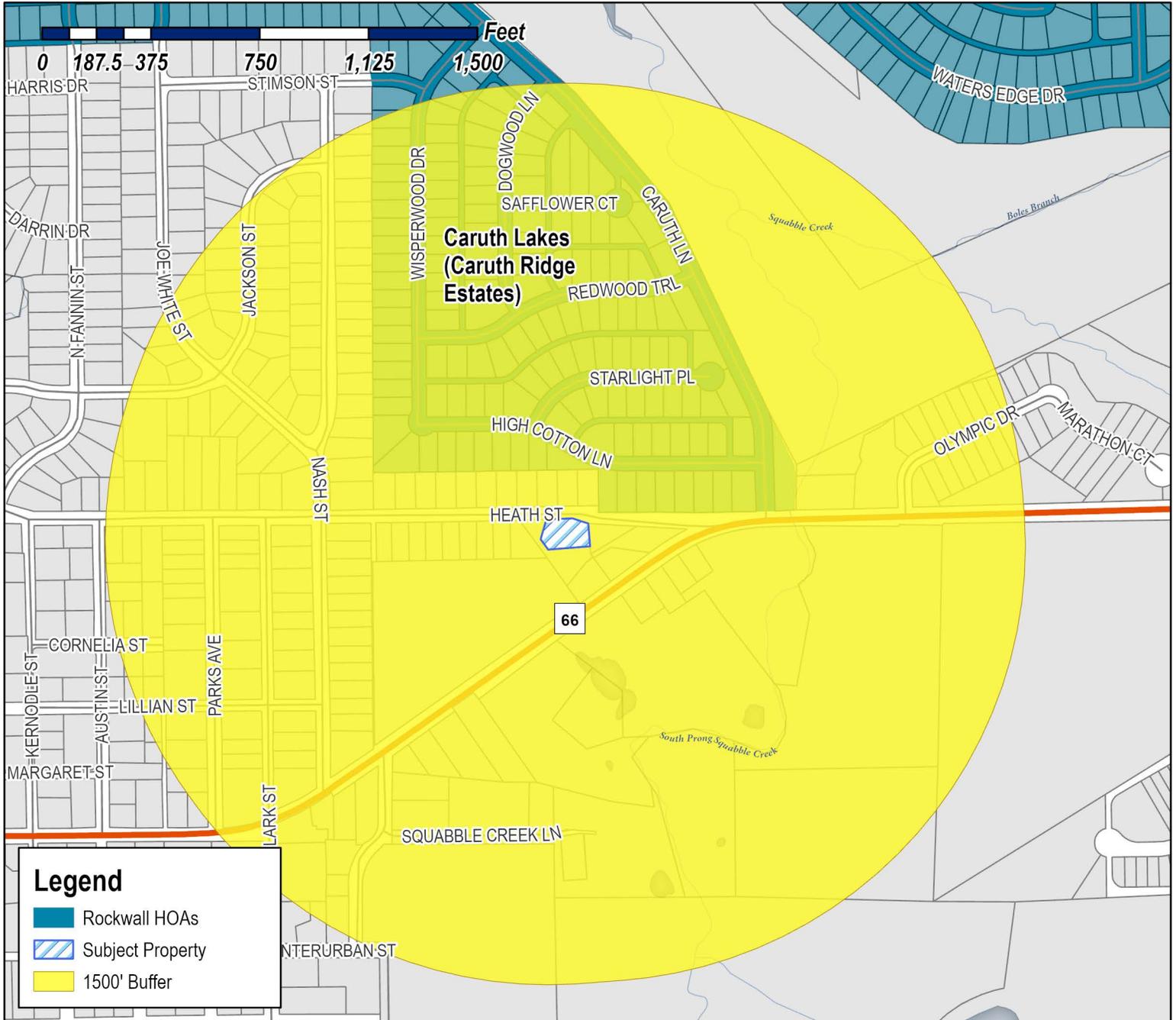




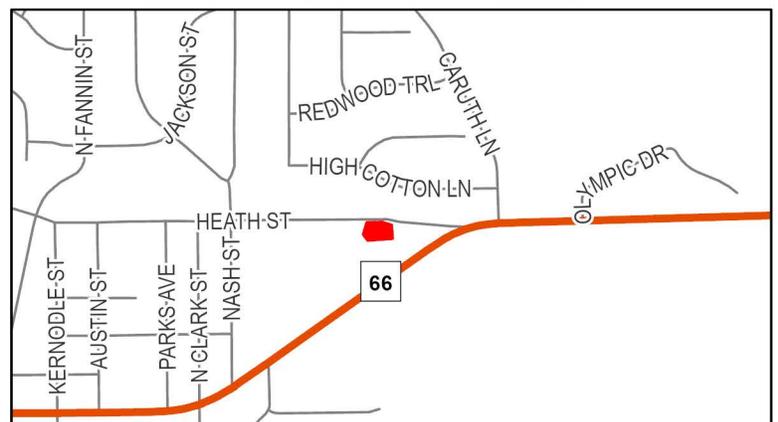
# City of Rockwall

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**Case Number:** Z2023-036  
**Case Name:** SUP for a Carport  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 820 E. Heath Street



**Date Saved:** 7/14/2023

For Questions on this Case Call (972) 771-7745

## Ross, Bethany

---

**From:** Zavala, Melanie  
**Sent:** Wednesday, July 19, 2023 9:06 AM  
**Cc:** Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-036]  
**Attachments:** Public Notice (P&Z) (7.17.2023).pdf; HOA Map (07.14.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *July 21, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, August 15, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, August 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-036: SUP for a Carport**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a *Specific Use Permit (SUP)* for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

Thank you,

*Melanie Zavala*

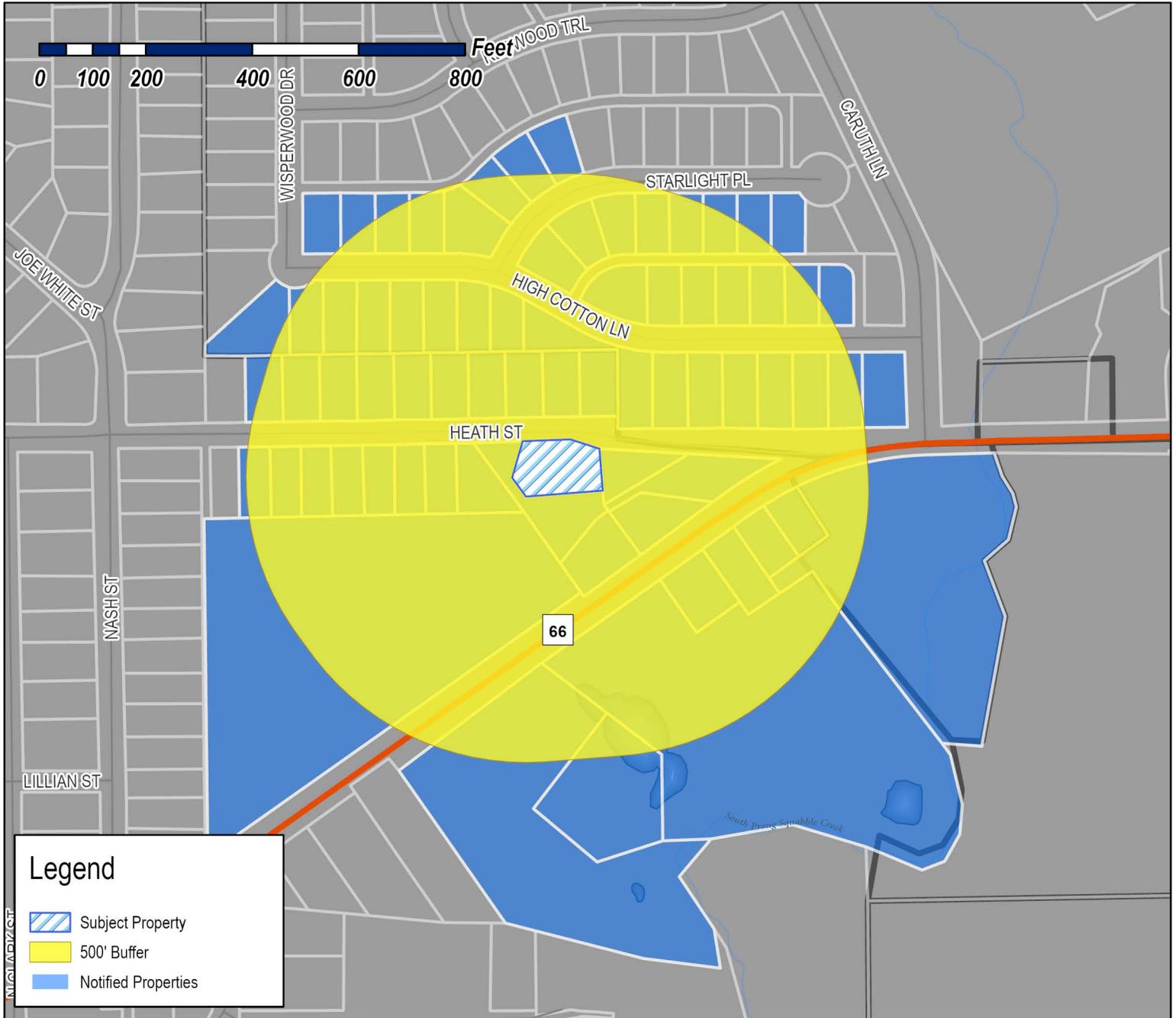
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2023-036  
**Case Name:** SUP for a Carport  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 820 E. Heath Street



**Date Saved:** 7/14/2023

For Questions on this Case Call: (972) 771-7746

KINDELL GROUP LLC  
1 TABER LANE  
ROCKWALL, TX 75087

RESIDENT  
1001 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
1002 HIGH COTTON LN  
ROCKWALL, TX 75087

ADAMS JOHNNY R JR & JEANNE K  
1005 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
1007 STARLIGHT PL  
ROCKWALL, TX 75087

SPENCE JODY L  
1010 HIGH COTTON LN  
ROCKWALL, TX 75087

KINSELLA ERIC P & CARLA J  
1011 HIGH COTTON LN  
ROCKWALL, TX 75087

RUST WILLIAM KA ND TERRI DAWN  
1013 STARLIGHT PL  
ROCKWALL, TX 75087

JENNINGS RICHARD  
1016 HIGH COTTON LN  
ROCKWALL, TX 75087

LAMBERT MILDRED L & NORMAN R  
1017 HIGH COTTON LN  
ROCKWALL, TX 75087

WIENBARG KIMBERLY  
1019 STARLIGHT  
ROCKWALL, TX 75087

HEIN KYLE G & VERONICA L  
1022 HIGH COTTON LN  
ROCKWALL, TX 75087

WOODS WILLIAM & RITA  
1023 HIGH COTTON LN  
ROCKWALL, TX 75087

JARESH DONALD & COLETTE  
1025 STARLIGHT PL  
ROCKWALL, TX 75087

PRESLEY DELISA & RANDALL  
1028 HIGH COTTON LANE  
ROCKWALL, TX 75087

SINGH GURDARSHAN AND PARAMJIT SINGH  
1029 HIGH COTTON LN  
ROCKWALL, TX 75087

BAKER CHRISTOPHER MILLER AND MONICA  
NAHIR  
1031 STARLIGHT PL  
ROCKWALL, TX 75087

BASHAM TOMMY & JAMIE  
1034 HIGH COTTON LN  
ROCKWALL, TX 75087

KEGLEY SCOTT  
1035 HIGH COTTON LN  
ROCKWALL, TX 75087

JOHNSON ROBERT AND  
VIRGINIA LEE  
1040 HIGH COTTON LN  
ROCKWALL, TX 75087

GAJEWSKI MISTY  
1041 HIGH COTTON LANE  
ROCKWALL, TX 75087

BACK STACY ANN & CHARLES BACK JR  
1049 HIGH COTTON LANE  
ROCKWALL, TX 75087

HOPEWELL MARILYN E  
1056 WISPERWOOD DR  
ROCKWALL, TX 75087

SWH 2017-1 BORROWER LP  
1131 W WARNER RD STE 102  
TEMPE, AZ 85284

HPA TEXAS SUB 2017-1 LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

HPA BORROWER 2018-1 MS LLC  
120 S RIVERSIDE PLZ STE 2000  
CHICAGO, IL 60606

ROCKWALL ENTERPRISES LLC  
1309 MORAINNE PL  
HEATH, TX 75032

DORAZIO RICHARD & SHARON LIVING TRUST  
RICHARD A & SHARON L DORAZIO TRUSTEES  
143 SHEPHERDS GLEN RD  
HEATH, TX 75032

SHUGART MELODY S  
1511 FT DUQUESNA DR  
SUN CITY CENTER, FL 33573

2019-1 IH BORROWER LP  
1717 MAIN SST SUITE 2000  
DALLAS, TX 75201

THE BRANCH OFFICE PROPERTIES LLC  
25 NOBLE CT  
HEATH, TX 75032

HOLLAND PAUL  
2534 CR 3419  
HAWKINS, TX 75765

R FIFTY GREEN HOMES  
2704 FOXCHASE LN  
ROCKWALL, TX 75032

CAS INVESTMENT PROPERTIES LLC- SERIES 809  
HEATH  
521 WILLOW SPRINGS DR.  
HEATH, TX 75032

TAYLOR WANDA  
803 E HEATH ST  
ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS  
804 E HEATH ST  
ROCKWALL, TX 75087

KRUEGER CHARLES H & JENNY L  
805 E HEATH ST  
ROCKWALL, TX 75087

CONLEY JANONA & THOMAS J  
806 E. HEATH ST  
ROCKWALL, TX 75087

MOHEDANO MARTIN  
807 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
808 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
809 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
810 E HEATH ST  
ROCKWALL, TX 75087

WARDELL LUKE A  
811 E HEATH ST  
ROCKWALL, TX 75087

KINSEY HILLARY  
812 EAST HEATH STREET  
ROCKWALL, TX 75087

GULLEY STAN LAVERE ETUX  
813 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
814 E HEATH ST  
ROCKWALL, TX 75087

HODGES BRIAN CODY & CHRISTY MICHELLE  
815 E HEATH ST  
ROCKWALL, TX 75087

NICHOLS CORY  
816 E HEATH ST  
ROCKWALL, TX 75087

RODRIGUEZ PAULA CANDACE  
817 E HEATH STREET  
ROCKWALL, TX 75087

RESIDENT  
818 E HEATH ST  
ROCKWALL, TX 75087

MOORE MIRIAM  
819 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
820 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
821 E HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
824 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
828 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
832 WILLIAMS ST  
ROCKWALL, TX 75087

RANDALL ROBERT S & SHERY B  
835 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
836 HEATH ST  
ROCKWALL, TX 75087

RESIDENT  
840 HEATH ST  
ROCKWALL, TX 75087

DOTSON DUNCAN L & DOLORES J  
841 HIGH COTTON LN  
ROCKWALL, TX 75087

MINCE RANDY JOE & RHONDA LYNN  
844 HIGH COTTON LN  
ROCKWALL, TX 75087

WEAVER BONNIE & SCOTT  
847 HIGH COTTON LN  
ROCKWALL, TX 75087

CHUNG WON S & HYE Y  
850 HIGH COTTON LN  
ROCKWALL, TX 75087

MEYER LANEY AND RANDAL  
853 HIGH COTTON LANE  
ROCKWALL, TX 75087

LAIN JACOB & SARAH  
856 HIGH COTTON LANE  
ROCKWALL, TX 75087

CLEMENT MICHAEL BRENT  
859 HIGH COTTON LANE  
ROCKWALL, TX 75087

COTTI MICHAEL A  
862 HIGH COTTON LANE  
ROCKWALL, TX 75087

RESIDENT  
865 HIGH COTTON LN  
ROCKWALL, TX 75087

MCKNIGHT SCOTT A & KAY A  
871 HIGH COTTON LN  
ROCKWALL, TX 75087

MCKINNEY ROBERT A & JENNIFER J  
877 HIGH COTTON LN  
ROCKWALL, TX 75087

RESIDENT  
901 WILLIAMS ST  
ROCKWALL, TX 75087

TATE NATHAN A AND LAURA S AND  
DARLENE SINGLETON  
928 WILLIAMS ST  
ROCKWALL, TX 75087

SINGLETON ROY LEE SR & LINDA D  
930 WILLIAMS ST  
ROCKWALL, TX 75087

CANTRELL JANET SUE  
932 WILLIAMS ST  
ROCKWALL, TX 75087

SAKOLEVIDIS DESTINY AND JOHN COOK JR  
934 WILLIAMS ST  
ROCKWALL, TX 75087

RESIDENT  
936 WILLIAMS ST  
ROCKWALL, TX 75087

SANCHEZ RAQUEL  
938 WILLIAMS STREET  
ROCKWALL, TX 75087

SPILLMAN JAMES T  
940 WILLIAMS ST  
ROCKWALL, TX 75087

HILL HEATH D & JENNIFER S  
974 STARLIGHT PL  
ROCKWALL, TX 75087

SHARP MARCUS & STELLA  
980 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
983 STARLIGHT PL  
ROCKWALL, TX 75087

KEIFER R MATTHEW & KRISTEN C  
986 STARLIGHT PL  
ROCKWALL, TX 75087

RESIDENT  
991 STARLIGHT PL  
ROCKWALL, TX 75087

POMROY SHAWN AND PATRICIA  
992 STARLIGHT PL  
ROCKWALL, TX 75087

GRANBERRY EDITH  
M/R  
, TX 75087

CARUTH RIDGE EST HOMEOWNERS ASSOC INC  
C/O GOODWIN MANAGEMENT, INC.  
PO BOX 203310  
AUSTIN, TX 78720

ROCKWALL ASSEMBLY OF GOD  
C/O DAVID SPIEGEL  
PO BOX 33  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-036: SUP for a Carport**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 15, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-036: SUP for a Carport**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-036: SUP for a Carport**

Hold a public hearing to discuss and consider a request by Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a Carport that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and take any action necessary.

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Rockwall, TX 75087

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-036: SUP for a Carport**

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

*This Village is placed in a terrible location. It is already crowded + congested at Hwy 66 + Heath St., & will block views even more with carports added. It is + is congested already. They are right behind our home!*

Name: *John + Jeanne Adams*

Address: *1005 High Cotton Lane, Rockwall TX 75087*

**Tex. Loc. Gov. Code, Sec. 211.006 (d)** If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning

USE THIS QR CODE  
TO GO DIRECTLY  
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-036: SUP for a Carport**

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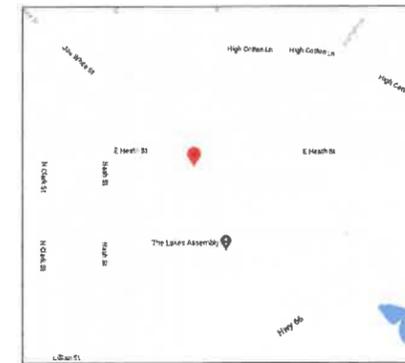
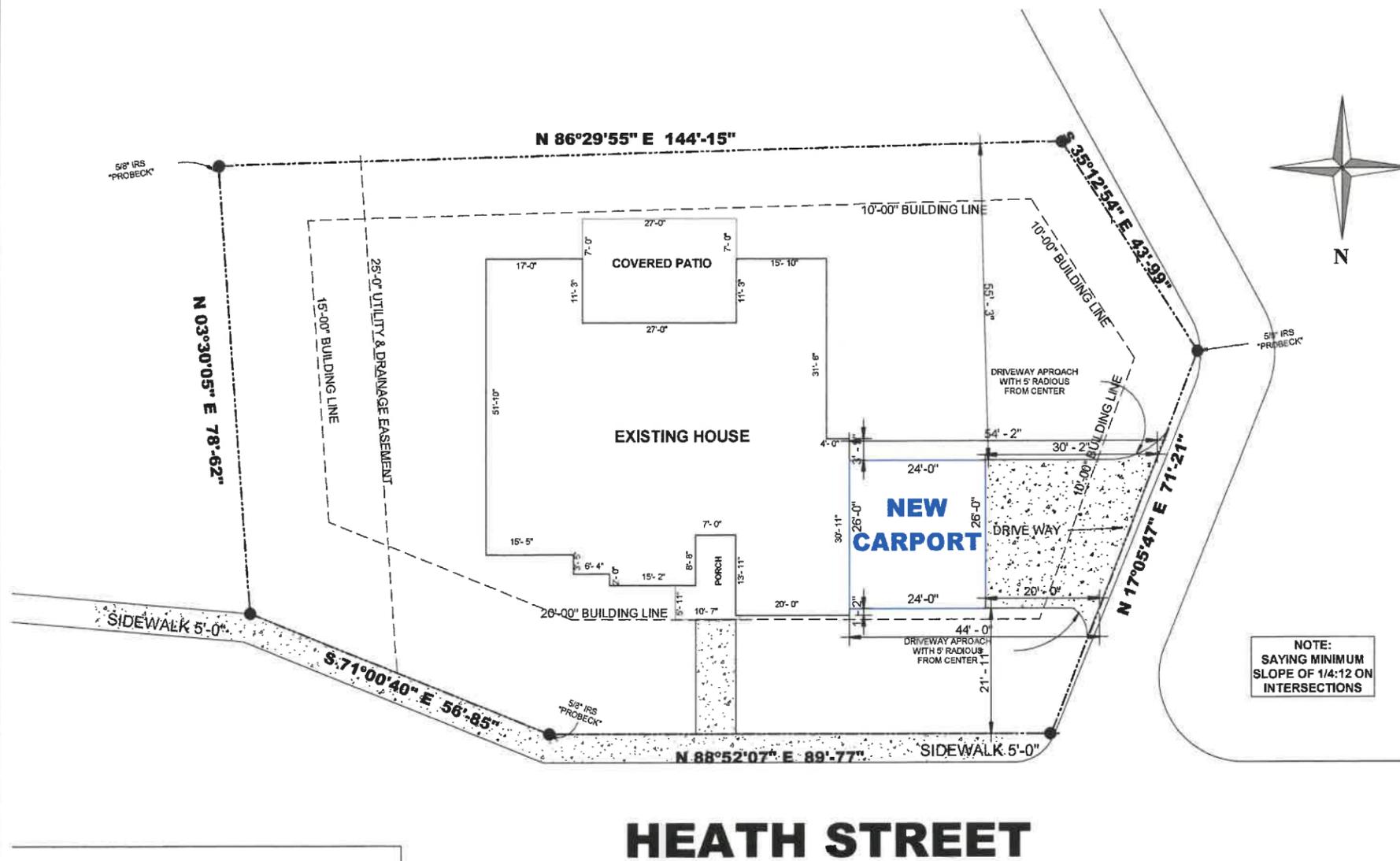
I am opposed to the request for the reasons listed below.

the area is already to crowded  
and town zoned it for a reason

Name: Patricia Penroy  
Address: 972 Starlight PL 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP

820 E HEATH ST  
ROCKWALL, TX 75087

EXISTING HOUSE	3,681.5 SG/FT
NEW CARPORT	624 SG/FT
TOTAL NEW CONSTRUCTION	624 SG/FT
LOT AREA	0.3492 ACRES

NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

**1 Site Plan**  
1/16" = 1'-0"

**HEATH STREET**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THE STRUCTURE. THESE PLANS MUST BE REVISIONS AND CHECKED BY THE DESIGN PROFESSIONAL. ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY WORK. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

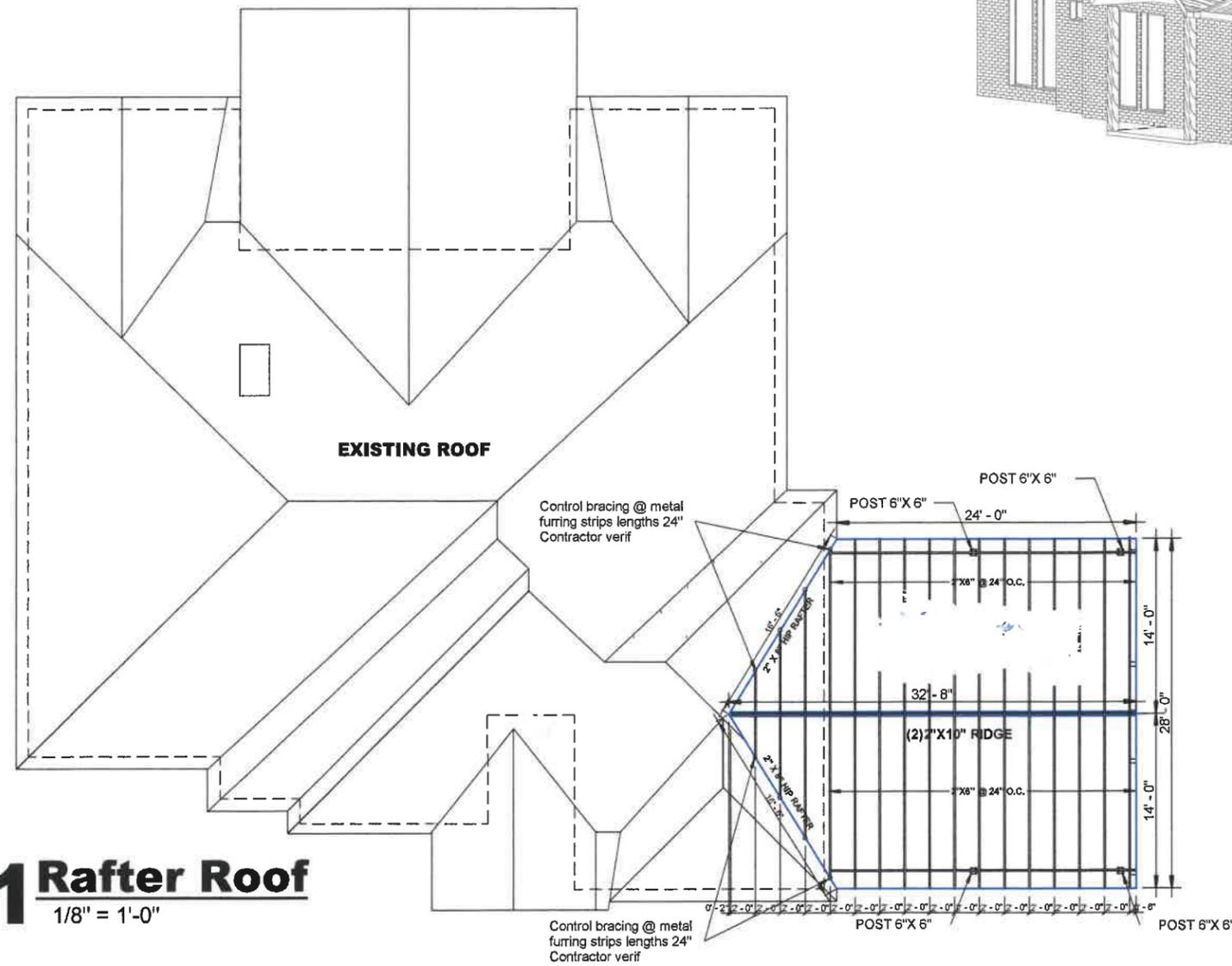
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR REVISIONS ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPIES, TRACES, OR ALTERATIONS OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

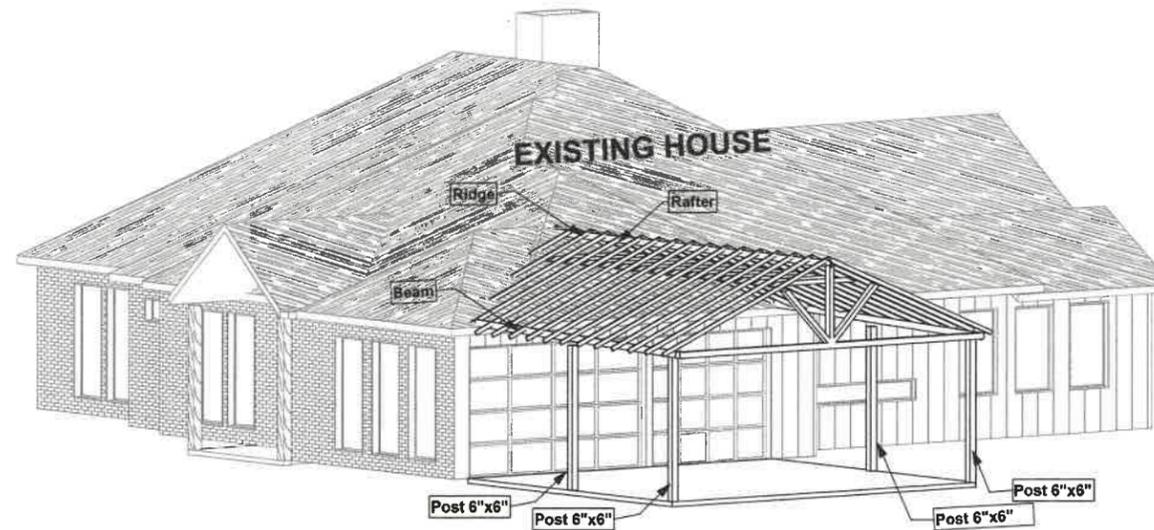
**Legal Description**  
LOT 7

<b>SITE PLAN</b>	
Project number:	
Date:	6/23/2023
Scale:	1/16" = 1'-0"
Drawn by: Projects & Construction Araque	

**1**



**1 Rafter Roof**  
1/8" = 1'-0"



**2 Framing Carport**



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**Project Name & Address**

820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**

LOT 7

**RAFTER ROOF**

Project number:

Date: 6/23/2023 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**1 Front Elevation**  
1/8" = 1'-0"

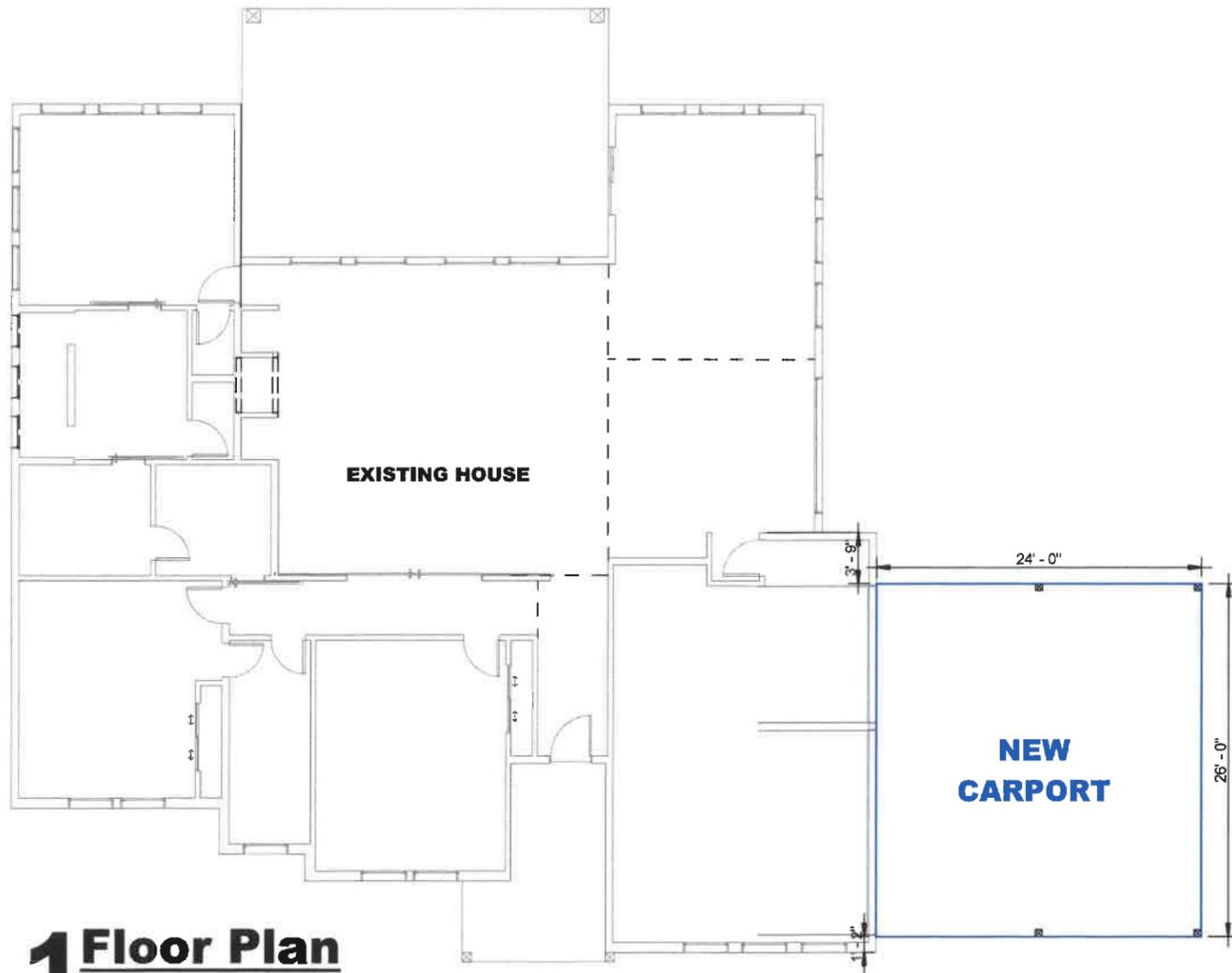


**2 Right Elevation**  
1/8" = 1'-0"

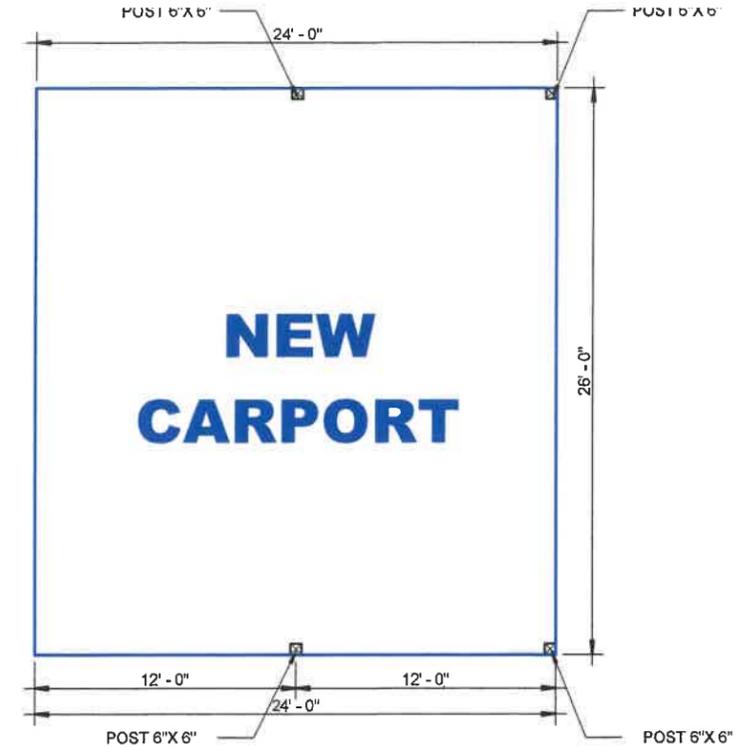


**3 Left Elevation**  
1/8" = 1'-0"

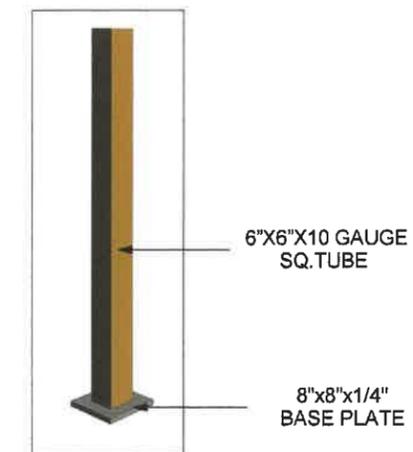
	<small>THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, FOUND AND STRUCTURAL, BEFORE BEGINNING CONSTRUCTION OF ANY FOOTING, WALL, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.</small>  <small>GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.</small>	<b>Project Name &amp; Address</b> 820 E HEATH ST ROCKWALL, TX 75087	<b>ELEVATIONS</b>		<h1>5</h1>	
		<b>Legal Description</b> LOT 7	Project number:	Date: 6/23/2023    Scale: 1/8" = 1'-0"		
			Drawn by: Projects & Construction Araque			



**1 Floor Plan**  
1/8" = 1'-0"



**2 Top View Post**  
3/16" = 1'-0"



**3 Detail Post**



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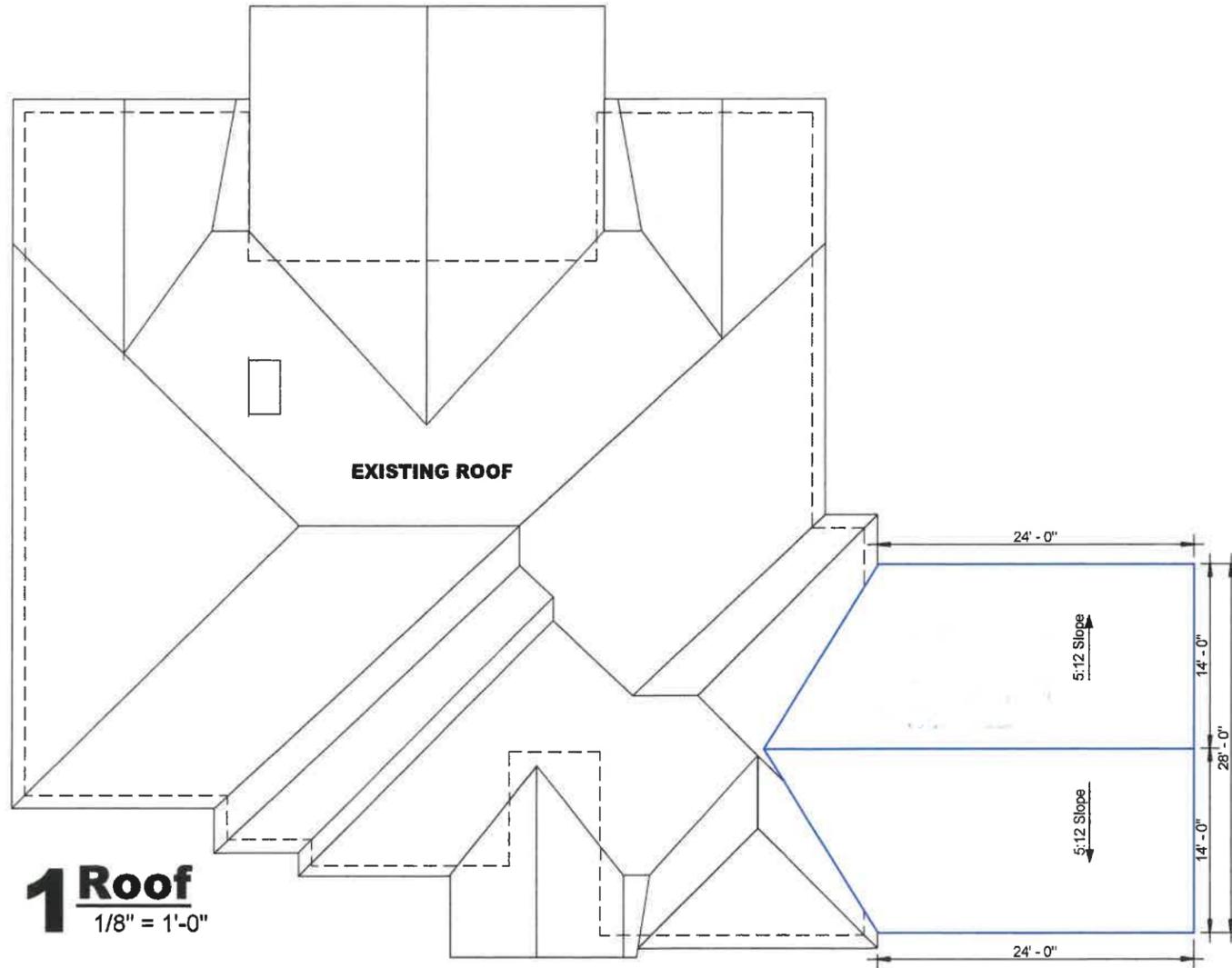
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**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

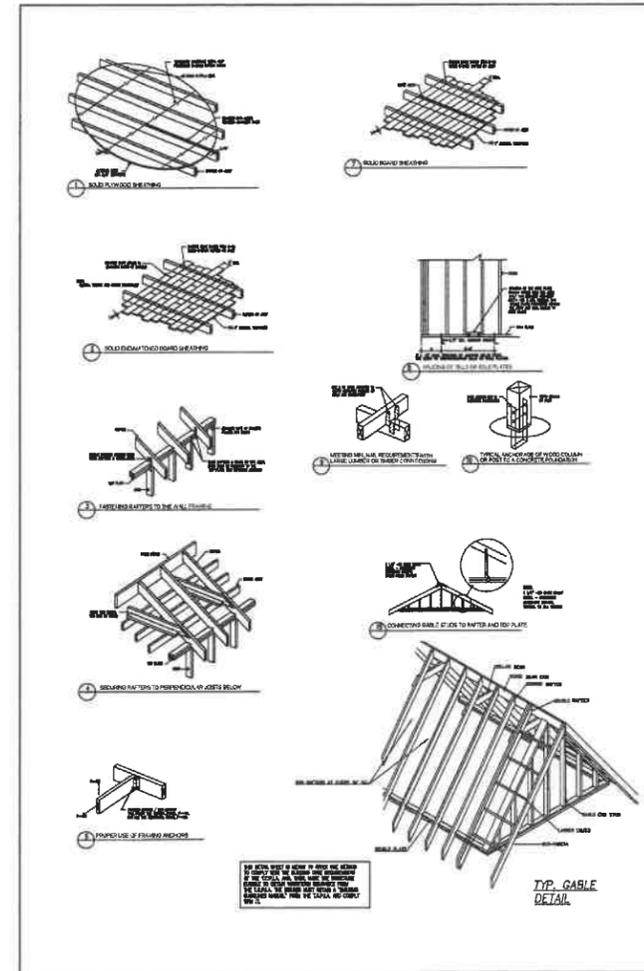
**Legal Description**  
LOT 7

FLOOR PLAN	
Project number:	
Date: 6/23/2023	Scale As indicated
Drawn by: Projects & Construction Araque	

2



**FRAMING NOTES**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, PERMITS, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY JOB. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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**Project Name & Address**  
820 E HEATH ST  
ROCKWALL, TX 75087

**Legal Description**  
LOT 7

**ROOF**

Project number: \_\_\_\_\_

Date: 6/23/2023 Scale As indicated

Drawn by: Projects & Construction Araque

**3**

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A CARPORT THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON AN 0.3492-ACRE PARCEL OF LAND IDENTIFIED AS LOT 7, BLOCK A, SOLAR VILLAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Richard Expo on behalf of Ryszard Waszczuk for the approval of a Specific Use Permit (SUP) for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Carport* that does not meet the minimum size or setback requirements for a carport in a Single Family 7 (SF-7) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a carport on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- (2) The carport shall not exceed a maximum size of 625 SF.
- (3) The carport shall not exceed a maximum overall height of 17-feet.
- (4) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF SEPTEMBER, 2023.**

\_\_\_\_\_  
Trace Johannessen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

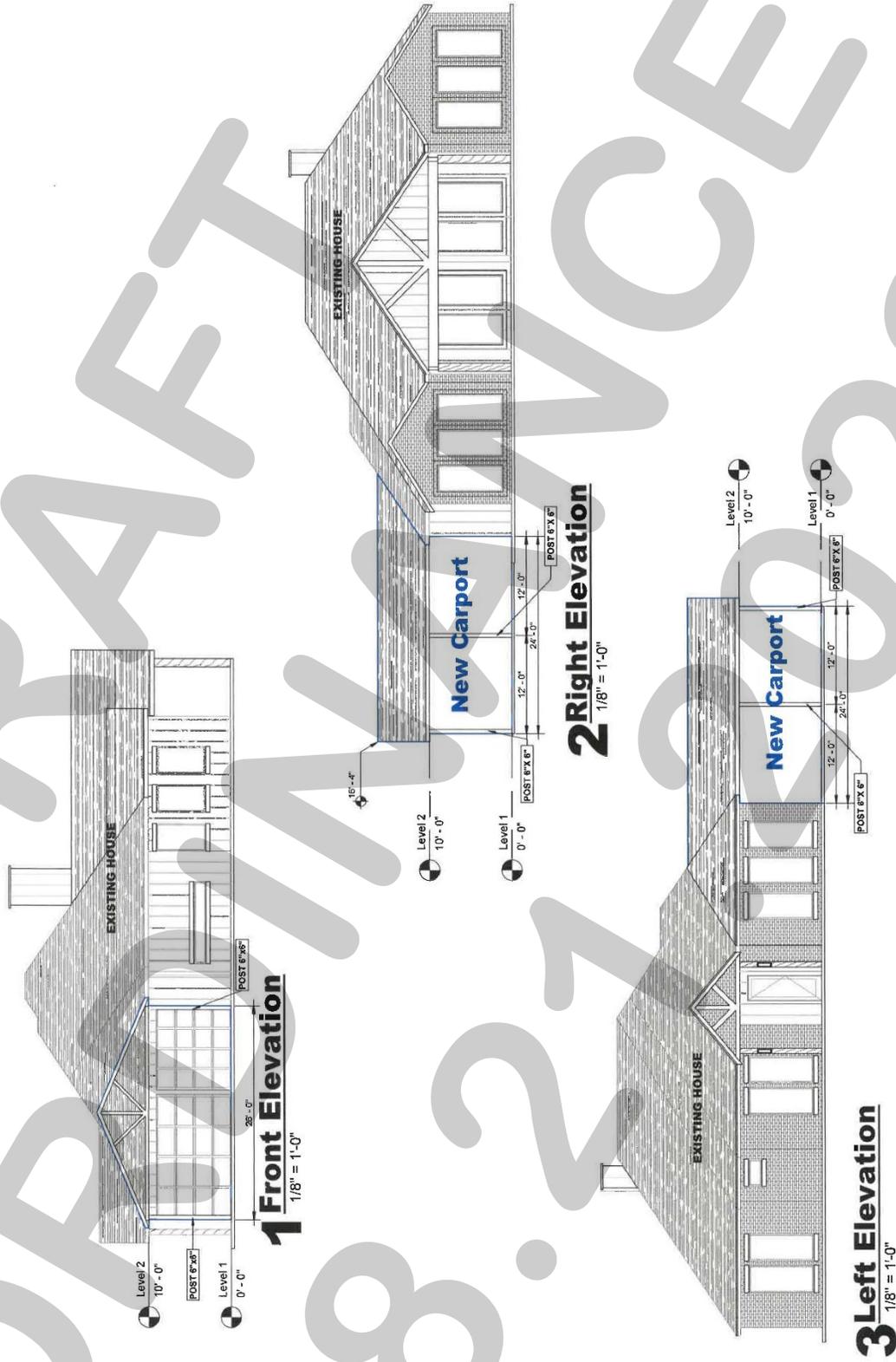
\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: August 21, 2023

2<sup>nd</sup> Reading: September 5, 2023



Exhibit 'B'  
Building Elevations





September 6, 2023

TO: Richard Expo  
838 Nash Street  
Rockwall, Texas 75087

FROM: Bethany Ross  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2023-036; *Specific Use Permit (SUP) for a Carport at 820 E. Heath Street*

Richard:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on September 5, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) The carport shall not exceed a maximum size of 625 SF.
  - (c) The carport shall not exceed a maximum overall height of 17-feet.
  - (d) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On August 15, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit by a vote of 4-1, with Commissioner Llewellyn dissenting and Commissioner Hustings absent.

City Council

On August 21, 2023, the City Council approved a motion to approve the Specific Use Permit by a vote of 7-0.  
On September 5, 2023, the City Council approved a motion to approve the Specific Use Permit by a vote of 7-0.

Included with this letter is a copy of Ordinance No. 23-48, S-313 which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6488.

Sincerely,

A handwritten signature in purple ink that reads "Bethany Ross". The signature is written in a cursive, flowing style.

Bethany Ross  
Planner

CITY OF ROCKWALL

ORDINANCE NO. 23-48

SPECIFIC USE PERMIT NO. S-313

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *CARPOR*T THAT DOES NOT MEET THE MINIMUM REQUIREMENTS ON AN 0.3492-ACRE PARCEL OF LAND IDENTIFIED AS LOT 7, BLOCK A, SOLAR VILLAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Richard Expo on behalf of Ryszard Waszczuk for the approval of a *Specific Use Permit (SUP)* for a *Carport* that does not meet the minimum requirements on an 0.3492-acre parcel of land identified as Lot 7, Block A, Solar Village Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 820 E. Heath Street, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Carport* that does not meet the minimum size or setback requirements for a carport in a Single Family 7 (SF-7) District as stipulated by, *Article 04, Permissible Uses*, and *Article V, District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a carport on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The carport shall maintain conformance to the approved site plan and building elevations depicted in *Exhibits 'A' & 'B'* of this ordinance.
- (2) The carport shall not exceed a maximum size of 625 SF.
- (3) The carport shall not exceed a maximum overall height of 17-feet.
- (4) The carport is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

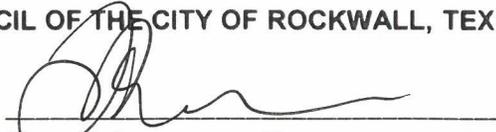
**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF SEPTEMBER, 2023.

  
Trace Johannessen, Mayor

ATTEST:

  
Kristy Teague, City Secretary

APPROVED AS TO FORM:

  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: August 21, 2023

2<sup>nd</sup> Reading: September 5, 2023

Exhibit 'A'  
Concept Plan

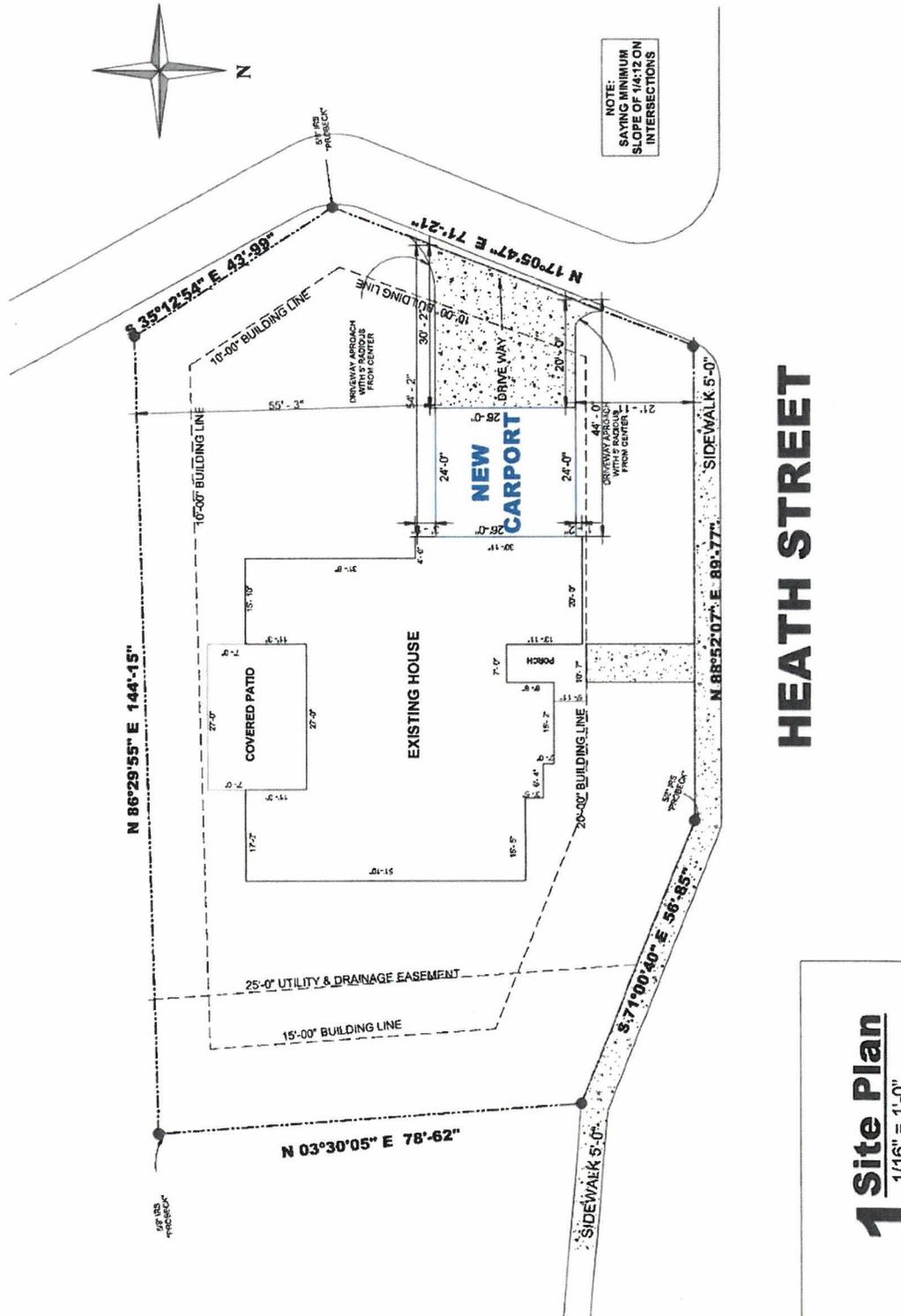


Exhibit 'B'  
Building Elevations

