



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
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- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 303 HARBORVIEW DR. ROCKWALL. TX 75032

SUBDIVISION HARBOR LANDING, PHASE 2

LOT 18

BLOCK B

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING X

CURRENT USE VACANT LOT

PROPOSED ZONING N/A

PROPOSED USE SINGLE RESIDENTIAL

ACREAGE 0.16 ACRES

LOTS [CURRENT] 1 LOT

LOTS [PROPOSED] 1 LOT

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ANGELINA NGUYEN

APPLICANT _____

CONTACT PERSON ANGELINA NGUYEN

CONTACT PERSON _____

ADDRESS 1025 LAKE RIDGE DR

ADDRESS _____

CITY, STATE & ZIP RICHARDSON. TX 75081

CITY, STATE & ZIP _____

PHONE 214 263 8091

PHONE _____

E-MAIL YMY.A.NGUYEN@GMAIL.COM

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

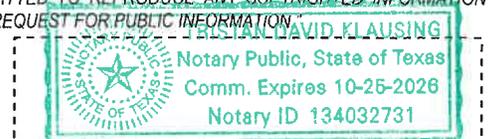
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Angelina Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August, 2023.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____



MY COMMISSION EXPIRES 10/29/20



303 Harborview Drive

Being Lot 18, Block B, Harbor Landing, Phase Two, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map or Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

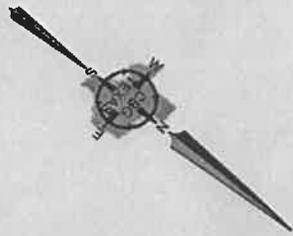


Lawyers Title

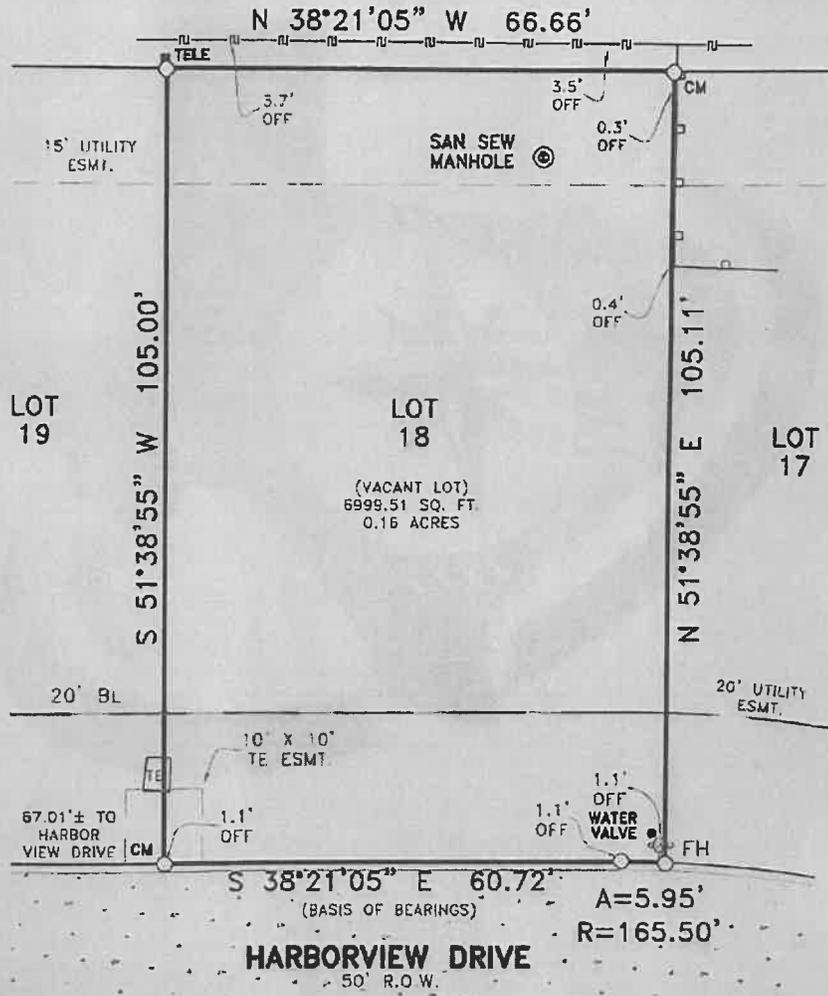
INSURANCE CORPORATION

LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ✦ POINT FOR CORNER
- ✦ FENCE POST FOR CORNER
- CONTROLLING MONUMENT
- CM AIR CONDITIONER
- AC POOL
- PE EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



RAY HUBBARD SMI JV LLC
C.F. NO. 201600022170



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL 112, PG. 546, VOL 174, PG. 46, VOL 608, PG. 127, VOL 649, PG. 73, VOL 743, PG. 58

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
VOL 43, PG. 536, VOL 1875, PG. 42

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Lawyers Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JRDC/JLM
 Scale: 1" = 20'
 Date: 08/28/2020
 GF No.: LT-19145-1801452000500-KK
 Job No. 2016354

CBG
SURVEYING TEXAS LLC
12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.8485
F 214.349.2216
Firm No. 10168800
www.cbgtllo.com



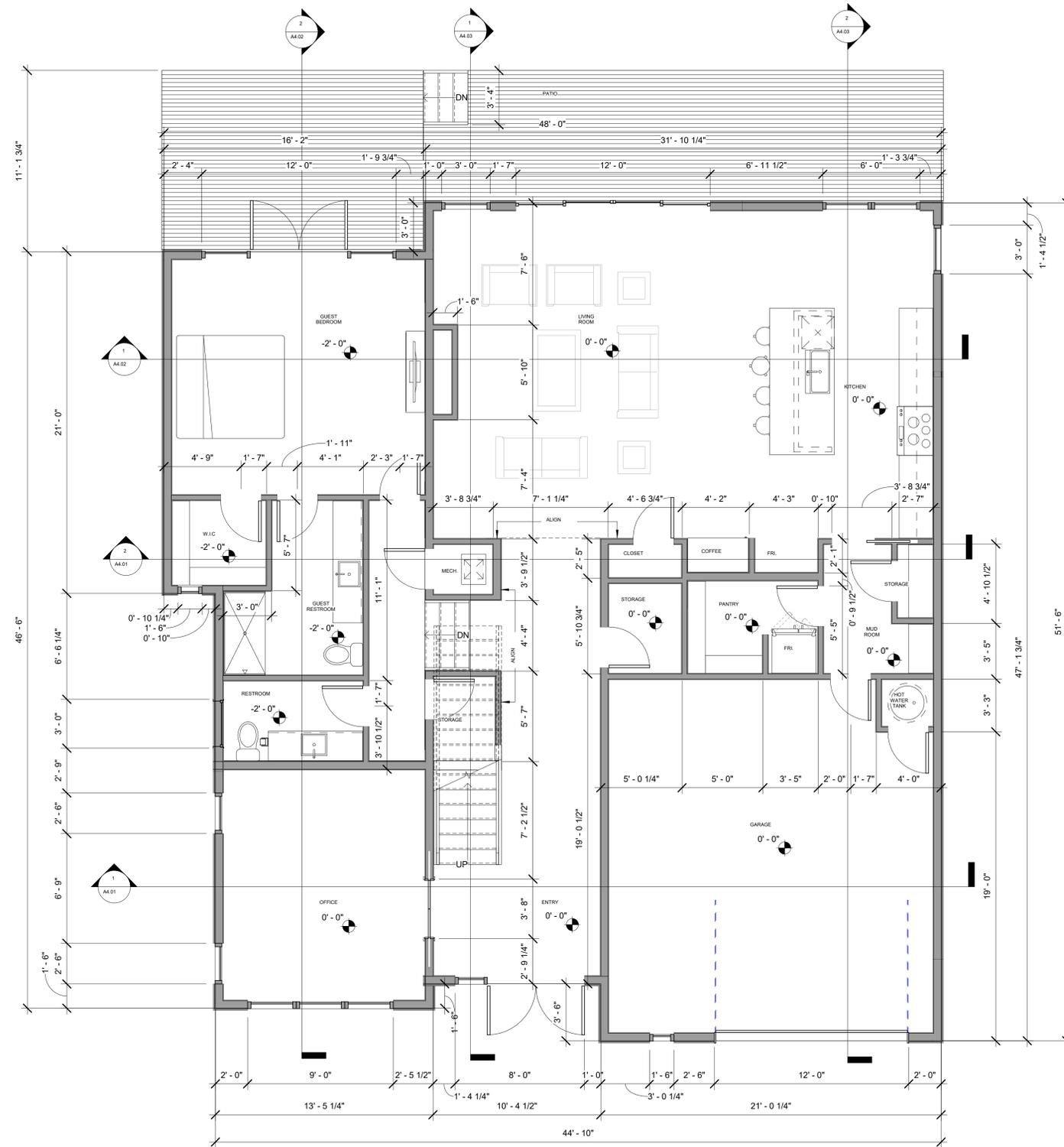
Accepted by: _____
 Date: _____
 Purchaser
 Purchaser

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE FROWELED, BROOMED AND SEALED.
2. NOTES, DIMENSIONS AND TAGS ARE INCLUDED ON THE PLANS. ALL DOORS ARE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. METER RISER ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
4. SPACE CONTROL, CENTER OF OPTIMUM WALL BOARD TO LIFT EXPANSES TO 32-0" MAXIMUM. EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING OPTIMUM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 200 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 9'-0" IN EITHER DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FLUORING. OR SPACE CONTROL JOINTS AT THE CEILING AND WALL. PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT.
5. REFER TO GREAT AX FOR ROOF NOTES AND FINISHES.
6. REFER TO ROOF PLAN LEGEND ON SHEET AX-XX FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

- | | | | |
|--|------------------------|--|----------------------------|
| | EXTERIOR ELEVATION TAG | | FLOOR DOWN |
| | WALL SECTION TAG | | ASSUMED PROPERTY LINE |
| | DETAIL SECTION TAG | | 5 1/2" BRICK / STONE LEDGE |
| | PARTITION WALL TAG | | METER |
| | DOOR TAG SYMBOL | | FINISH FLOOR ELEVATION |
| | WINDOW TAG SYMBOL | | |



1 FLOOR PLAN - GROUND LEVEL
1/4" = 1'-0"

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

ISSUE FOR PERMIT

Sheet Name	FLOOR PLAN
Original Issue	
Sheet Number	A1.01
Project #	
Project Number	
Drawing Date	08/04/21

Issue	Issue Name	Date

Sheet Name EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number	A2.10
Project #	Drawing Date
Project Number	03/27/22

ELEVATION NOTES

1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 1" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANE, PROPER GASKETS AND SEALANTS, INSIDER HOODS AS REQUIRED SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL Joints OF GROUNDWALL MATERIALS, WALL/CEILING TRANSITIONS, TRIM, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BUILDING, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL INTERIOR FINISHES, BALCONIES AND JOISTS SHALL BE SLOPED 1/8" PER 1' TO DRAINAGE DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6" MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1/8" MIN FOR 12' PER BC 1904.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.D.
10. ALL EXTERIOR MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM, FACED HEADERS, BELLS, TRUSS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERHANGS, AND STAIR WING WALLS TO BE S108 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHHA CORNERS, EDGES, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE MATCHING OR BY 2000 SHOWROOM SHOWN BY SHIMPOFFY FINISHES OR 2000 SYNCRASE TAN SHIMPOFFY FINISHES AND DRABO BLACK BEAM. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUPLERS TO MATCH EXTERIOR WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER STANDARD COLORS BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHHA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CAVOPIY
N1	NICHHA PANEL	H1	GLASS WINDOW
M1	METAL COPPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND

	DOOR TAG		T.O.P. 100'-0" XTH FLOOR	TOP OF PLATE
	WINDOW TAG		T.O.D. 100'-0" XTH FLOOR	TOP OF DECK
	WALL SECTION TAG		T.O.H. 100'-0" XTH FLOOR	TOP OF HEEL
	DETAIL SECTION TAG		T.O.S. 100'-0" XTH FLOOR	TOP OF SLAB
	SLOPE TAGS		F.F. 100'-0"	FINISH FLOOR



2 BACK ELEVATION
1/4" = 1'-0"



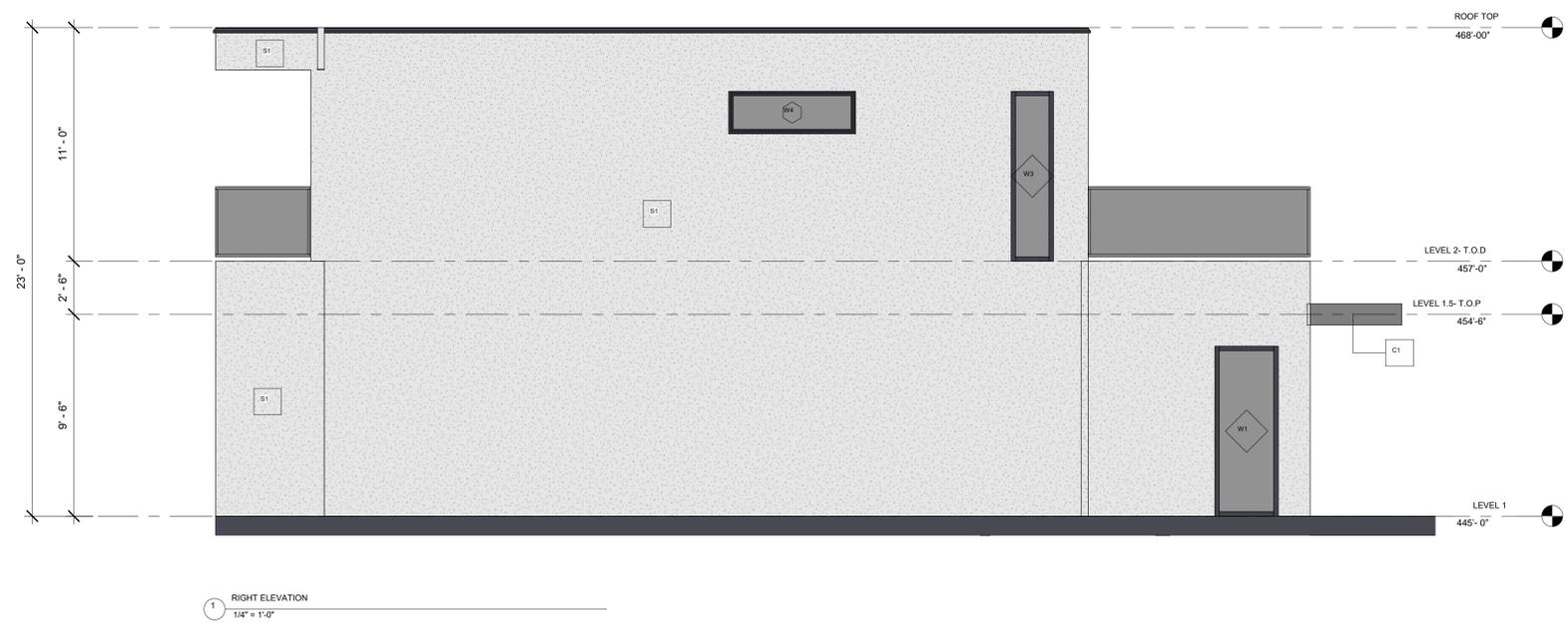
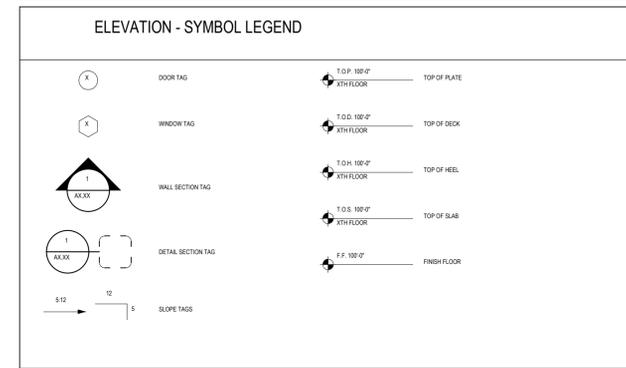
1 FRONT ELEVATION
1/4" = 1'-0"

Issue	Issue Name	Date

Sheet Name EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number	A2.11
Project #	
Project Number	
Drawing Date	04/24/22

- ### ELEVATION NOTES
- PROVIDE 1/2" MINIMUM SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
 - MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 1" FROM FACE OF WALL.
 - REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS.
 - FLASHING, WATERPROOF MEMBRANES, PROPER GUTTERS AND SEAMING, INSULATION AS REQUIRED SHALL BE INSTALLED ACCORDING TO WINDOW, DOOR, ROOF, CORNER, HORIZONTAL AND VERTICAL Joints OF DRAINAGE MATERIALS, MATERIALS, TRANSITION TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
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 - ALSO ALL MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
 - PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

- ### COLOR LEGEND
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 - ALL EXPOSED ALUMINUM (CORNERS, EDGES, AND CONNECTIONS) TO BE DARK ANTIQUE BRONZE.
 - ELIMINATION SERIES CORNERS TO BE FINISH OF S108 SHOWING THROUGH S108 WITH ROPPOFF FINISHES ON 2000 SYNCHRONY TAN S108 CYBER SPACE AND DRABO BLACK BEAR. ARCHITECT TO DISTRIBUTE COLOR KEY.
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 - CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHIA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.
- | | | | |
|----|--------------|----|-----------------------|
| S1 | STUCCO | C1 | CANOPY |
| N1 | NICHIA PANEL | H1 | GLASS WINDOW |
| M1 | METAL COPING | R1 | STANDING SEAM ROOFING |





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

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LOT 18

BLOCK B

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ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

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CURRENT USE VACANT LOT

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PROPOSED USE SINGLE RESIDENTIAL

ACREAGE 0.16 ACRES

LOTS [CURRENT] 1 LOT

LOTS [PROPOSED] 1 LOT

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OWNER ANGELINA NGUYEN

APPLICANT _____

CONTACT PERSON ANGELINA NGUYEN

CONTACT PERSON _____

ADDRESS 1025 LAKE RIDGE DR

ADDRESS _____

CITY, STATE & ZIP RICHARDSON. TX 75081

CITY, STATE & ZIP _____

PHONE 214 263 8091

PHONE _____

E-MAIL YMY.A.NGUYEN@GMAIL.COM

E-MAIL _____

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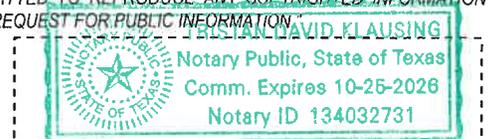
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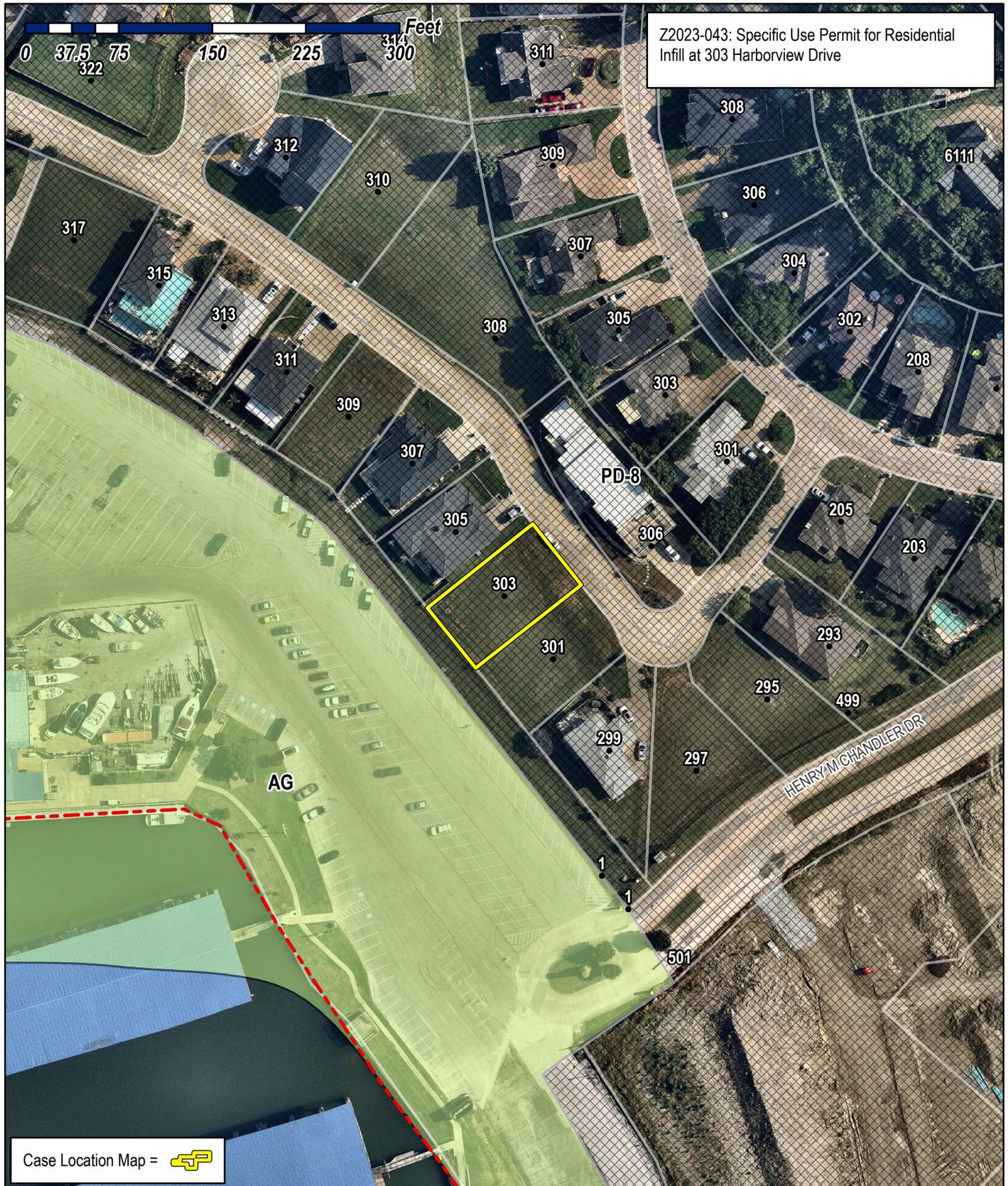
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OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____



MY COMMISSION EXPIRES 10/29/20



Z2023-043: Specific Use Permit for Residential Infill at 303 Harborview Drive

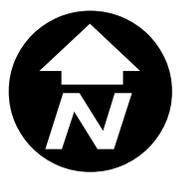
Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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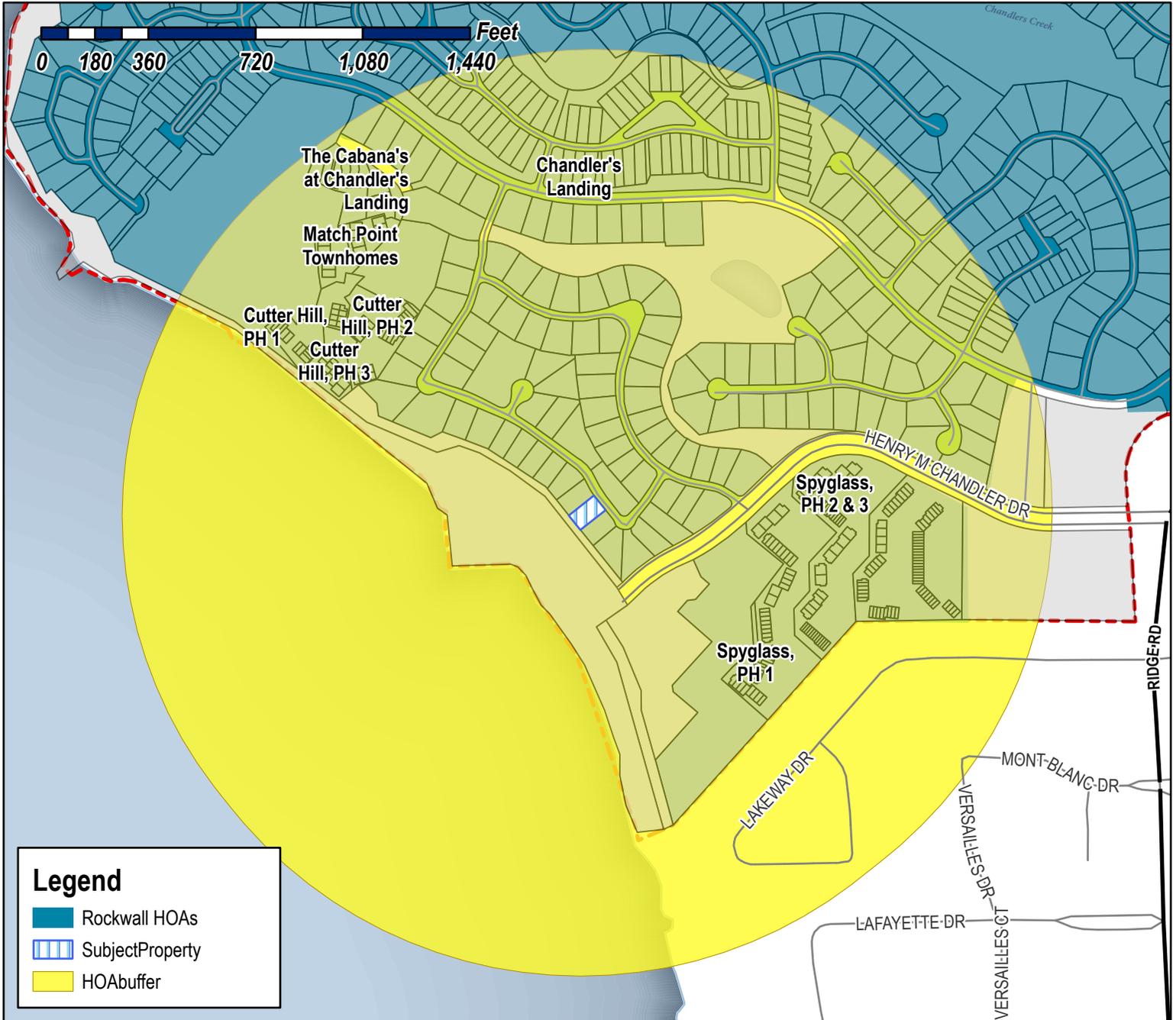




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Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr

Date Saved: 8/18/2023
 For Questions on this Case Call (972) 771-7745

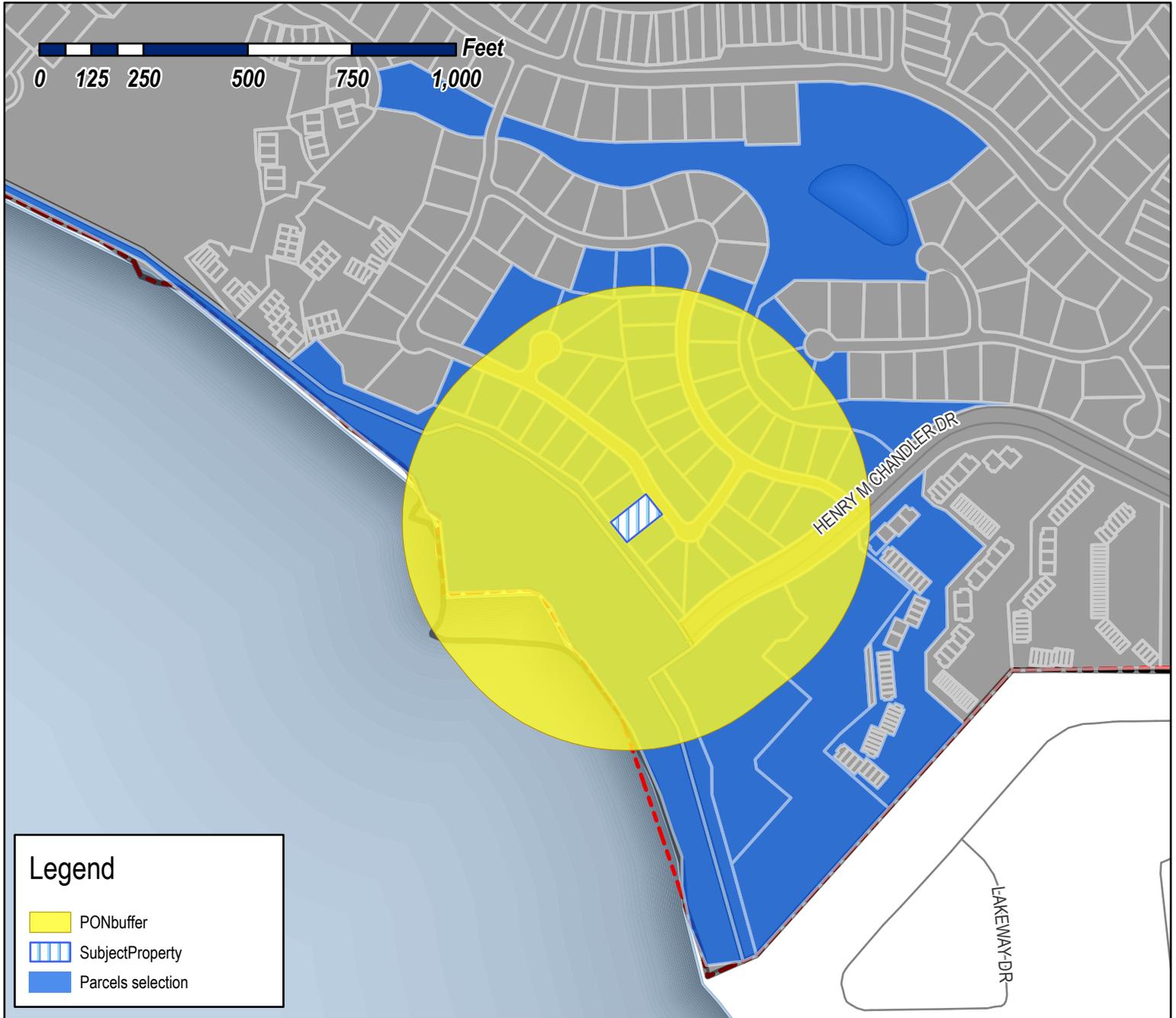




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Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr.

Date Saved: 8/18/2023

For Questions on this Case Call: (972) 771-7746



NGUYEN ANGELINA
1025 LAKE RIDGE DR
RICHARDSON, TX 75081

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD
115 DEFENDER C
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC
14918 MYSTIC TERRACE LANE
CYPRESS, TX 77429

RESIDENT
155 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
158 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

MCKNIGHT MARY D
201 HARBOR LANDING DR
ROCKWALL, TX 75032

WILSON SEAN
202 HARBOR LANDING DR
ROCKWALL, TX 75032

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
O
204 HARBOR LANDING
ROCKWALL, TX 75032

RESIDENT
205 HARBOR LANDING DR
ROCKWALL, TX 75032

D'AMBROSIA DEAN AND MUSTAFA OMAR
206 HARBOR LANDING DR
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN
208 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

BALLARD AMANDA L &
O
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
295 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
297 HARBORVIEW DR
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH
299 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE
301 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

RESIDENT
301 HARBORVIEW DR
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
303 HARBORVIEW DR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CONFIDENTIAL
305 HARBORVIEW DR
ROCKWALL, TX 75032

CLEATON JERRY LEE
306 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARBORVIEW DR
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DR
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
312 HARBOR LANDING DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
O
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

ARCE JAIME G
315 VICTORY LN
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75032



303 Harborview Drive

Being Lot 18, Block B, Harbor Landing, Phase Two, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map or Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

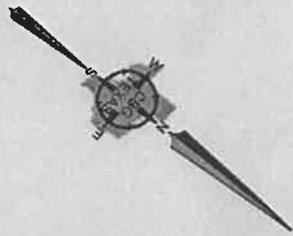


Lawyers Title

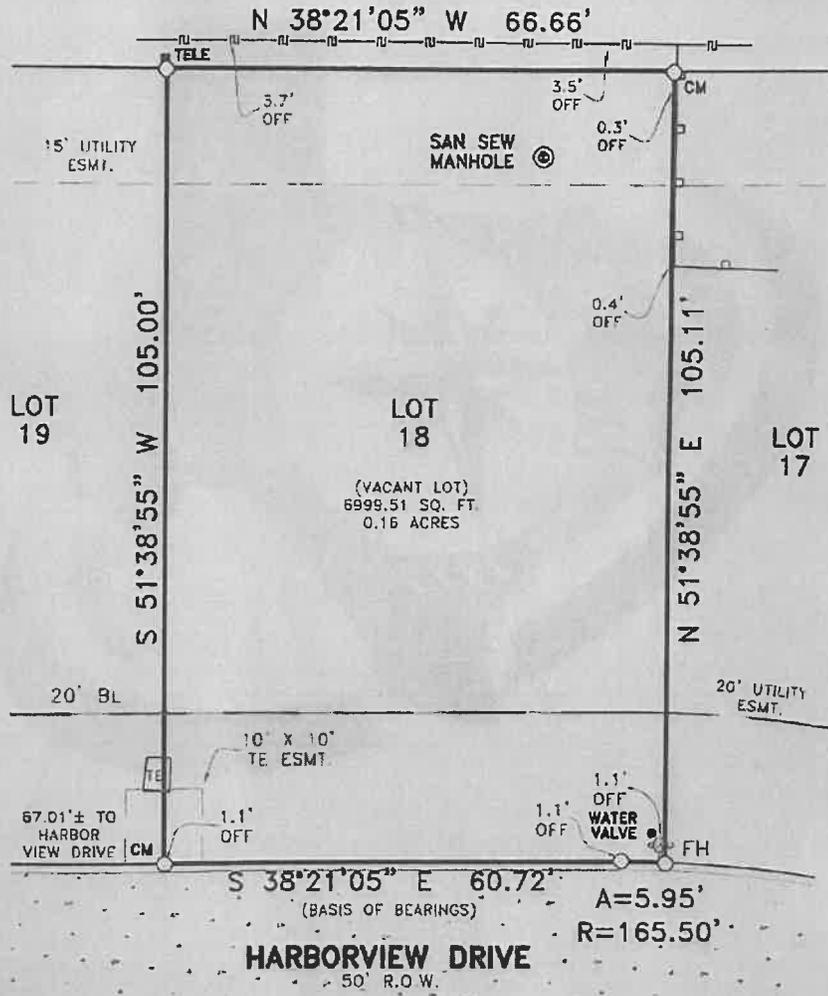
INSURANCE CORPORATION

LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ✦ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



RAY HUBBARD SMI JV LLC
C.F. NO. 201600022170



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL 112, PG. 546, VOL 174, PG. 46, VOL 608, PG. 127, VOL 649, PG. 73, VOL 743, PG. 58

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
VOL 43, PG. 536, VOL 1875, PG. 42

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Lawyers Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JRDC/JLM
 Scale: 1" = 20'
 Date: 08/28/2020
 GF No.: LT-19145-1801452000500-KK
 Job No. 2016354

CBG
SURVEYING TEXAS LLC
12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.8485
F 214.349.2216
Firm No. 10168800
www.cbgtllo.com



Accepted by: _____
 Date: _____
 Purchaser
 Purchaser

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

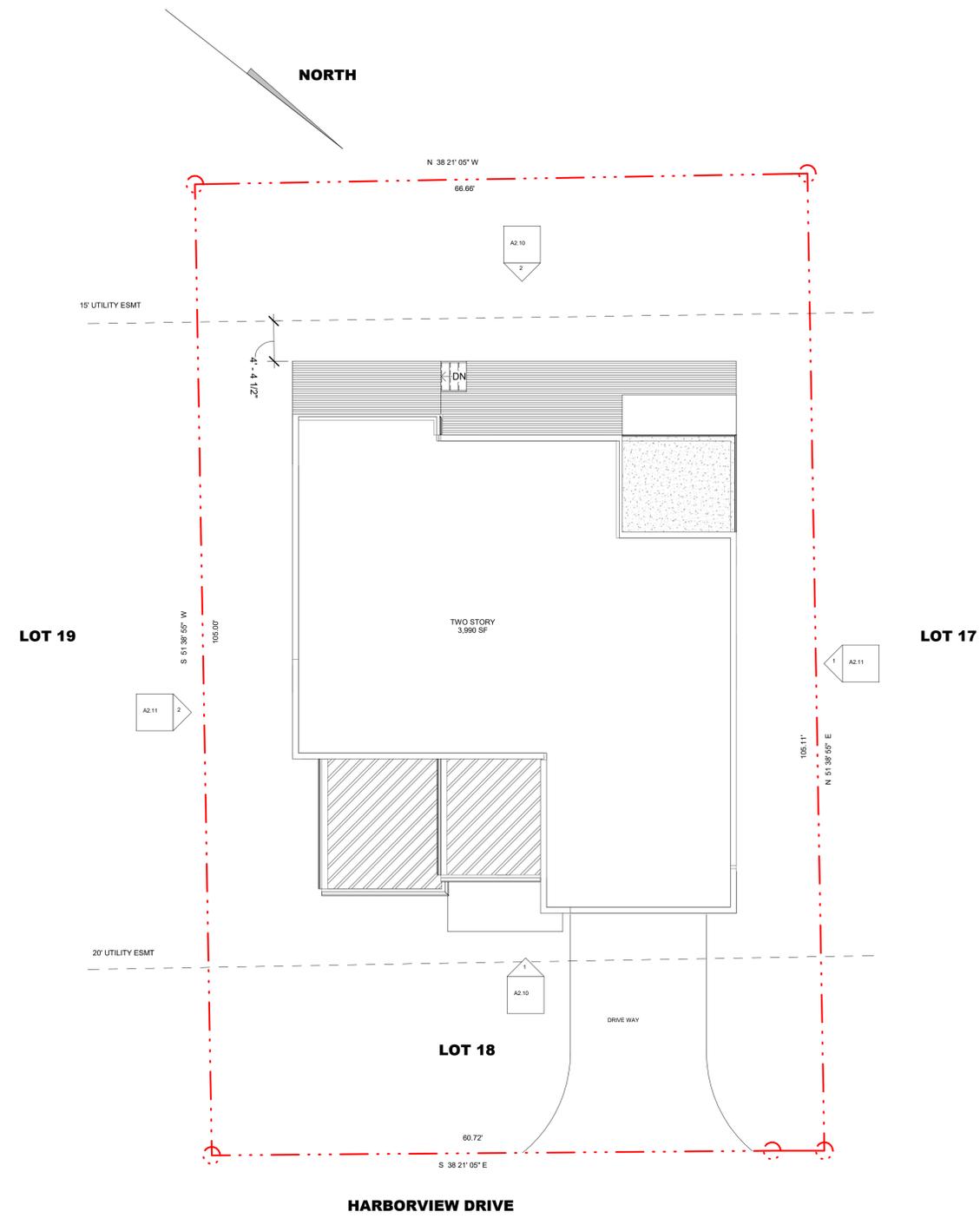
Sheet Name
SITE PLAN

Original Issue
Sheet Number

A1.00

Project #
Project Number

Drawing Date
08/04/21



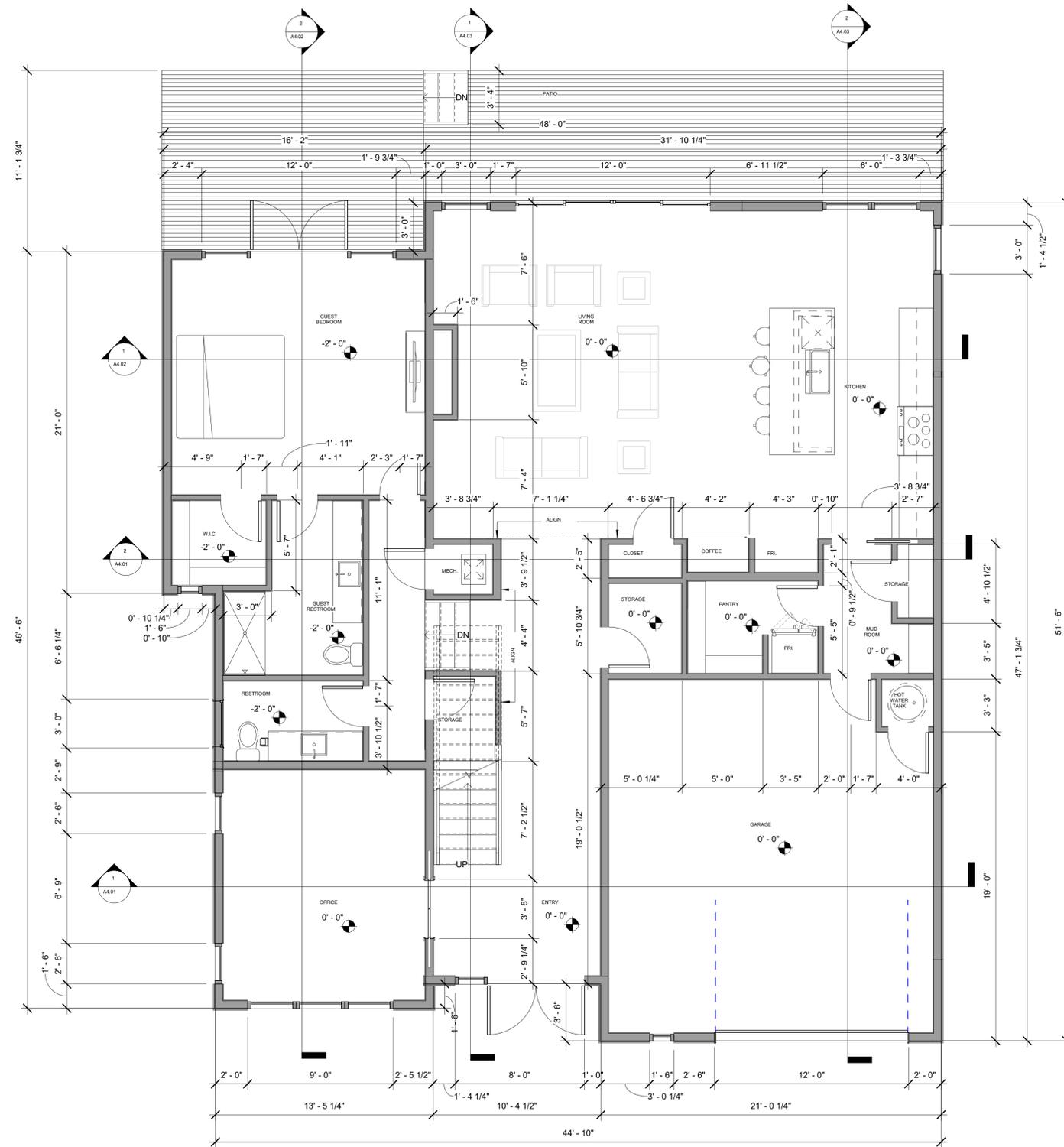
1 SITE PLAN
1/8" = 1'-0"

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE FROWELED, BROOMED AND SEALED.
2. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE PLANS. ALL DOORS ARE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. METER RISER ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
4. SPACE CONTROL, CENTER OF GRAVITY WALL BOARD TO LIFT EXPANSION TO 32" MAXIMUM. EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING Gypsum BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 200 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 90" OF EITHER DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FLUING, OR SPACE CONTROL JOINTS AT THE CEILING AND WALL. PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT.
5. REFER TO GUEST AX FOR ROOF NOTES AND FINISHES.
6. REFER TO ROOF PLAN LEGEND ON SHEET AX FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

- | | | | |
|--|------------------------|--|----------------------------|
| | EXTERIOR ELEVATION TAG | | FLOOR DOWN |
| | WALL SECTION TAG | | ASSUMED PROPERTY LINE |
| | DETAIL SECTION TAG | | 5 1/2" BRICK / STONE LEDGE |
| | PARTITION WALL TAG | | METER |
| | DOOR TAG SYMBOL | | FINISH FLOOR ELEVATION |
| | WINDOW TAG SYMBOL | | |



1 FLOOR PLAN - GROUND LEVEL
1/4" = 1'-0"

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

ISSUE FOR PERMIT

Sheet Name	FLOOR PLAN
Original Issue	
Sheet Number	A1.01
Project #	
Project Number	
Drawing Date	08/04/21



2 BACK ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

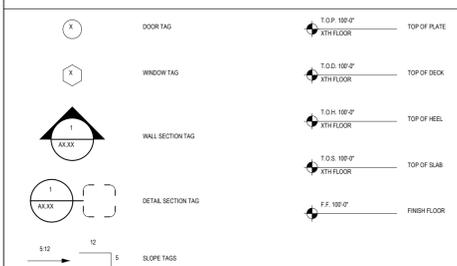
1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 1" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANE, PROPER GASKETS AND SEALANTS, INSIDER HOODS AS REQUIRED SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF GRESSE/IMPARTIAL MATERIALS, MATERIAL TRANSITIONS, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BUILDING, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL INTERIOR FINISHES, BALCONIES AND JOISTS SHALL BE SLOPED 1/8" PER 10' MINIMUM IN DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6" MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 10' PER BC 1904.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.D.
10. ALL EXTERIOR MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM, FACED HEADERS, BELLS, TRILLS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERHANGS, AND STAIR WING WALLS TO BE S1708 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHIA CORNERS, EDGES, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE MATCHING OR BY 2000 SHOWROOM SHOWN BY SHIM RICH OFF FURNITURE OR 2000 SYNCRASE TAN. SMOOTH CYBER SPACE AND DRABO BLACK BEAM. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHING & EXPANSION JOINT COUERS TO MATCH BALCONY WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER. STANDING SEAM ROOFING TO MATCH MANUFACTURER COLOR.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHIA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

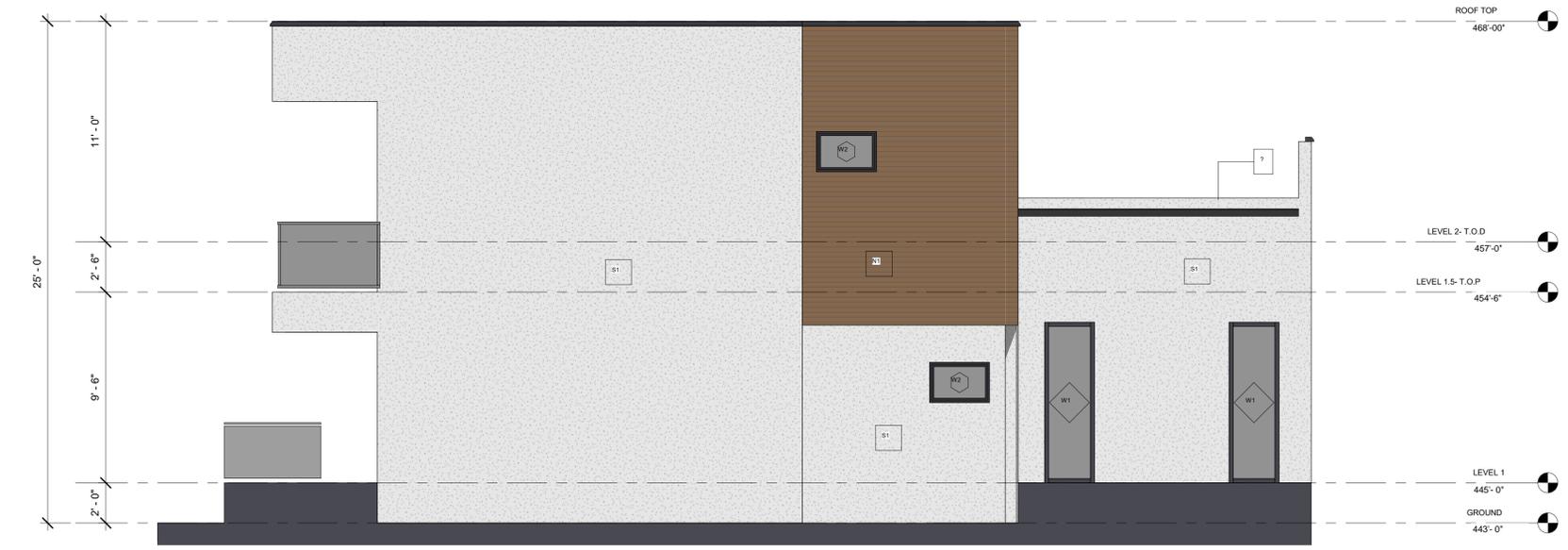
S1	STUCCO	C1	CANOPY
N1	NICHIA PANEL	H1	GLASS HANDRAIL
M1	METAL COPPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND

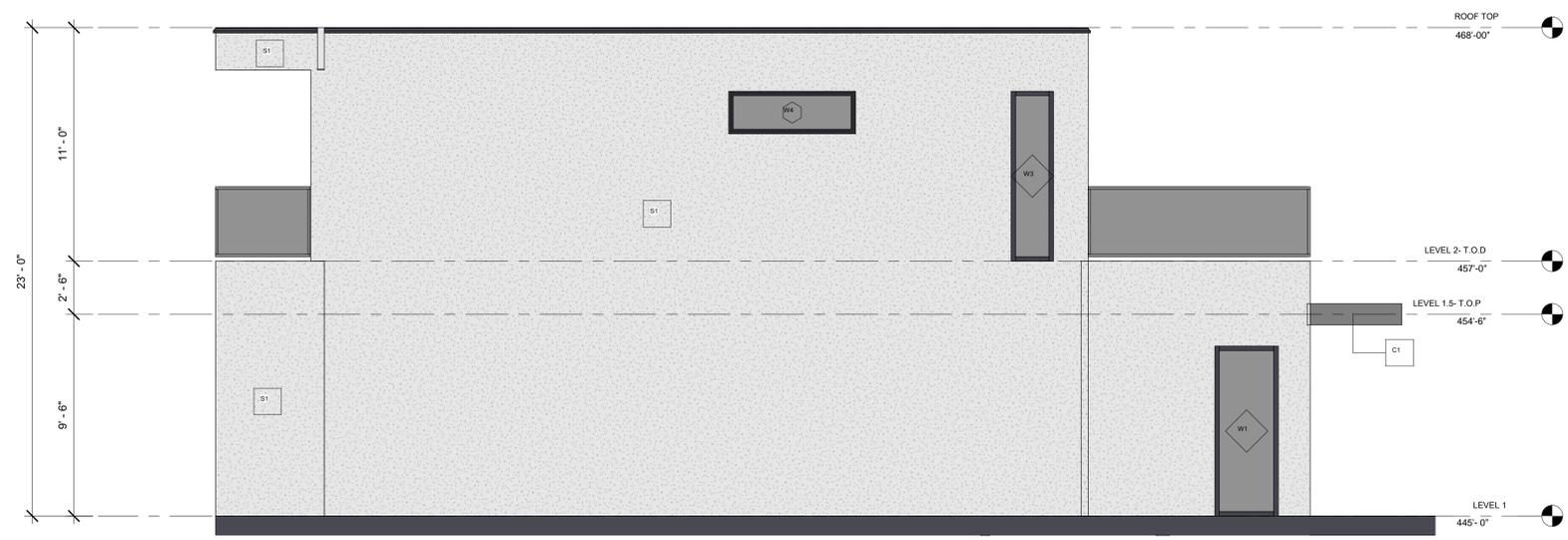


Issue	Issue Name	Date

Sheet Name EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number A2.10	
Project #	Drawing Date
Project Number	03/27/22



2 LEFT ELEVATION
1/4" = 1'-0"



1 RIGHT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

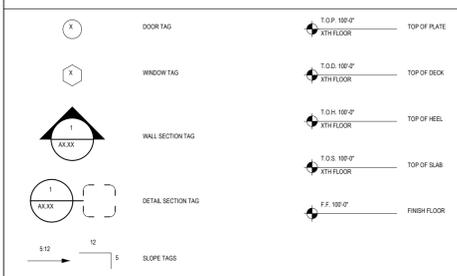
1. PROVIDE 1/2" MINIMUM SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANES, PROPER GUTTERS AND SEAMING, INSULATION AS REQUIRED SHALL BE INSTALLED ACCORDING TO WINDOW, DOOR, ROOF, CORNER, HORIZONTAL AND VERTICAL Joints OF DRAINAGE MATERIALS, MATERIALS, TRANSITION TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BALCONY, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL PITCHED ROOFS, BALCONIES AND JOISTS SHALL BE SLOPED 1/8" PER 1' TO MINIMUM DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6" MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12' PER IBC 1901.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND MECHANICAL DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.D.
10. ALL EXTERIOR MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM (FACED, HEADERS, BELLS, TRILLS, CORNICES, PARAPETS, BALCONY RAIL TRIM, STAIR OVERHANGS, AND STAIR WING WALLS) TO BE S108 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM (CORNERS, EDGING, AND CONNECTIONS) TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE FINISH OF S108 SHOWING SHOWING S108 SHOWING FINISHES ON 2000 SYNCHRONIC TAN S108 CYBER SPACE AND DRABE BLACK BEAR. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUPLERS TO MATCH EXTERIOR WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER STANDARD COLORS BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHIA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CANOPY
N1	NICHIA PANEL	H1	GLASS HANDRAIL
M1	METAL COPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND



Issue	Issue Name	Date

Sheet Name EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number A2.11	
Project #	Drawing Date
Project Number	04/24/22

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: Z2023-043
PROJECT NAME: SUP for Residential Infill for 303 Harborview Drive
SITE ADDRESS/LOCATIONS: 303 HARBORVIEW DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill In an Established Subdivision on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	08/25/2023	Approved w/ Comments

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1519-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2023-043) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located adjacent to the Harbor Landing Phase 1 Subdivision, which is 100% developed, consists of 38 residential lots, and has been in existence since December 22, 1986.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... {and} all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 Please indicate the lot coverage and building setbacks. The building setbacks are as follows: Front Yard: 20-feet, Side Yard: 6-feet, and Rear Yard: 10-feet.

I.7 The minimum roof pitch for a residential structure is 3:12. In this case you are requesting a flat roof with a parapet. This will require a waiver to this requirement. That being said, there are other homes nearby that have the same roof, so approval of this waiver should be easier for the Planning and Zoning Commission.

M.8 According to Planned Development 8 (PD-8), the maximum height of the home shall be 20-feet or 23-feet depending on the pad elevation; the maximum rooftop elevation shall

be 468-feet; and the maximum pad elevation shall be 448-feet. See court order requirements for Block B, Lot 18, Harborview Landing Phase 2 below.

M.9 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In this case the proposed garage is located 2-feet in front of the front façade of the single-family home. This will require a waiver to the requirements of the Unified Development Code (UDC).

M.10 Please review the attached Draft Ordinance prior to the August 29, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than September 6, 2023.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning and Zoning Commission Public Hearing Meeting.

I.12 The projected City Council meeting dates for this case will be September 18, 2023 (1st Reading) and October 2, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. No structures, decks, walls, overhangs, pools, etc. will be allowed in easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

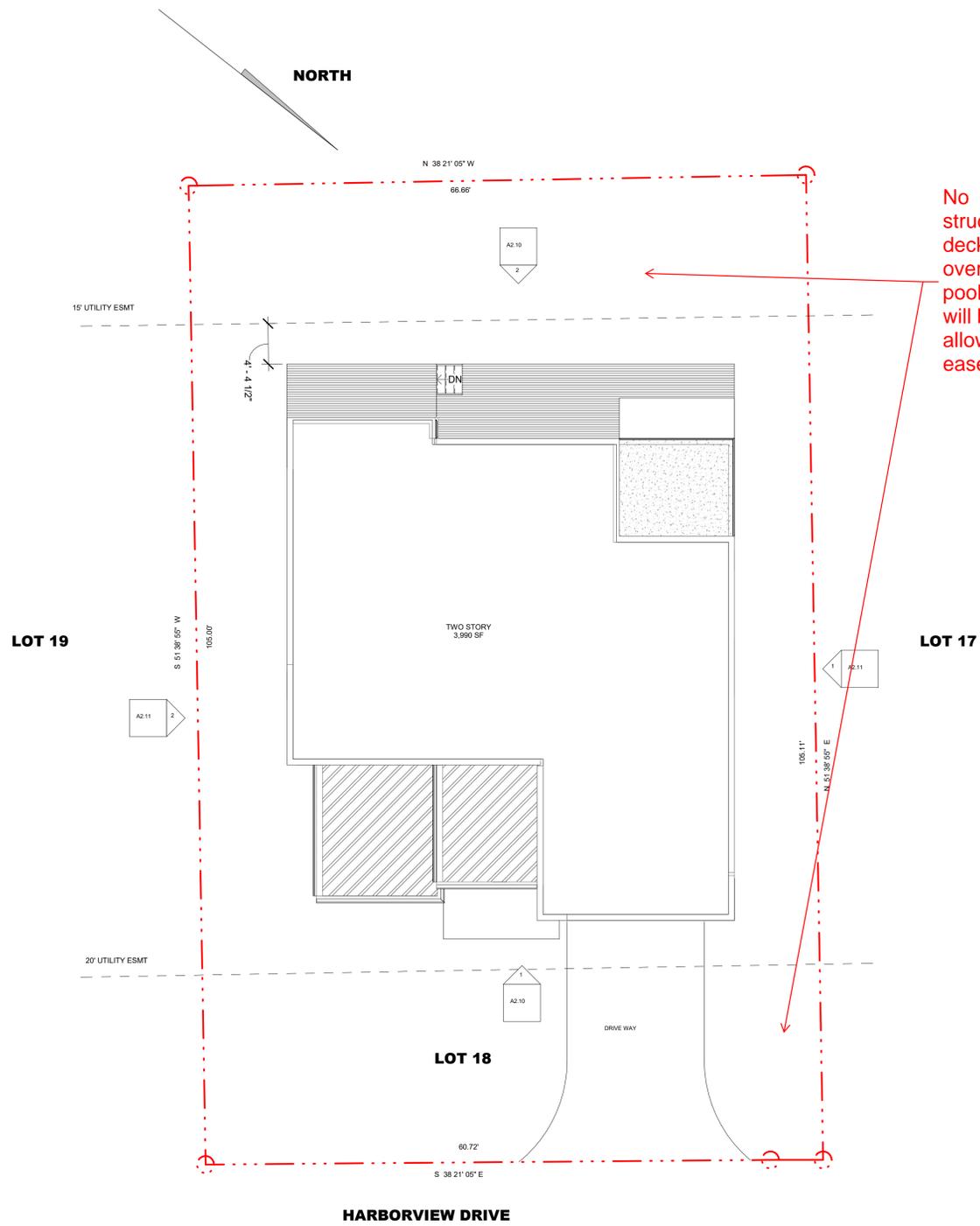
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments

No Comments - MP
No Comments - JB



1 SITE PLAN
1/8" = 1'-0"

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

Sheet Name SITE PLAN	
Original Issue	
Sheet Number A1.00	
Project #	Drawing Date
Project Number	08/04/21



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 303 HARBORVIEW DR. ROCKWALL. TX 75032

SUBDIVISION HARBOR LANDING, PHASE 2

LOT

18

BLOCK

B

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING X

CURRENT USE

VACANT LOT

PROPOSED ZONING N/A

PROPOSED USE

SINGLE RESIDENTIAL

ACREAGE 0.16 ACRES

LOTS [CURRENT]

1 LOT

LOTS [PROPOSED]

1 LOT

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ANGELINA NGUYEN

APPLICANT

CONTACT PERSON ANGELINA NGUYEN

CONTACT PERSON

ADDRESS 1025 LAKE RIDGE DR

ADDRESS

CITY, STATE & ZIP RICHARDSON. TX 75081

CITY, STATE & ZIP

PHONE 214 263 8091

PHONE

E-MAIL YMY.A.NGUYEN@GMAIL.COM

E-MAIL

NOTARY VERIFICATION [REQUIRED]

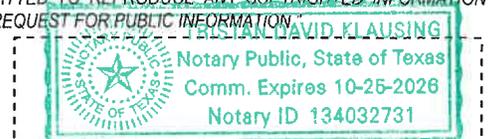
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Angelina Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August, 2023.

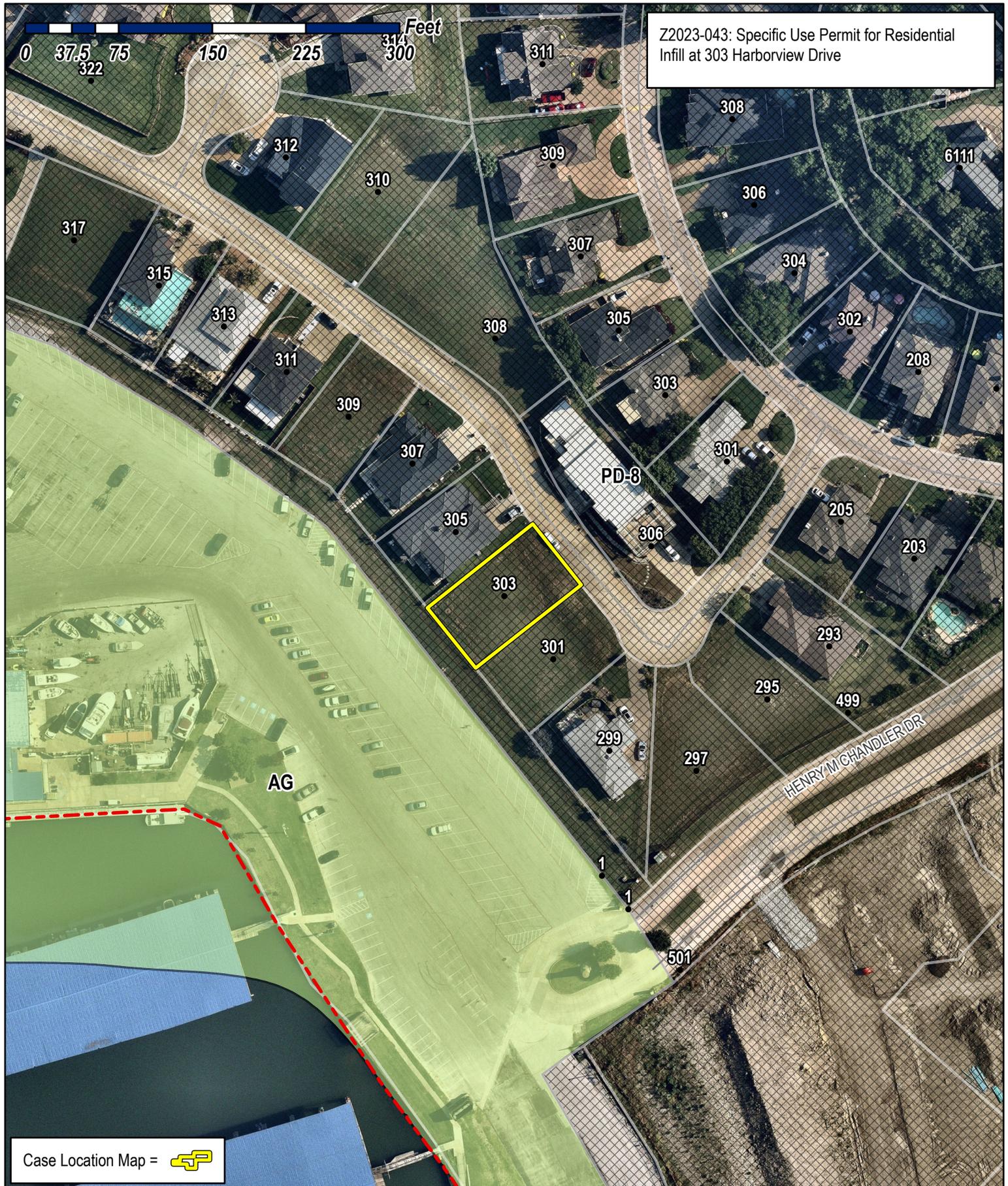
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

10/29/20



Z2023-043: Specific Use Permit for Residential Infill at 303 Harborview Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

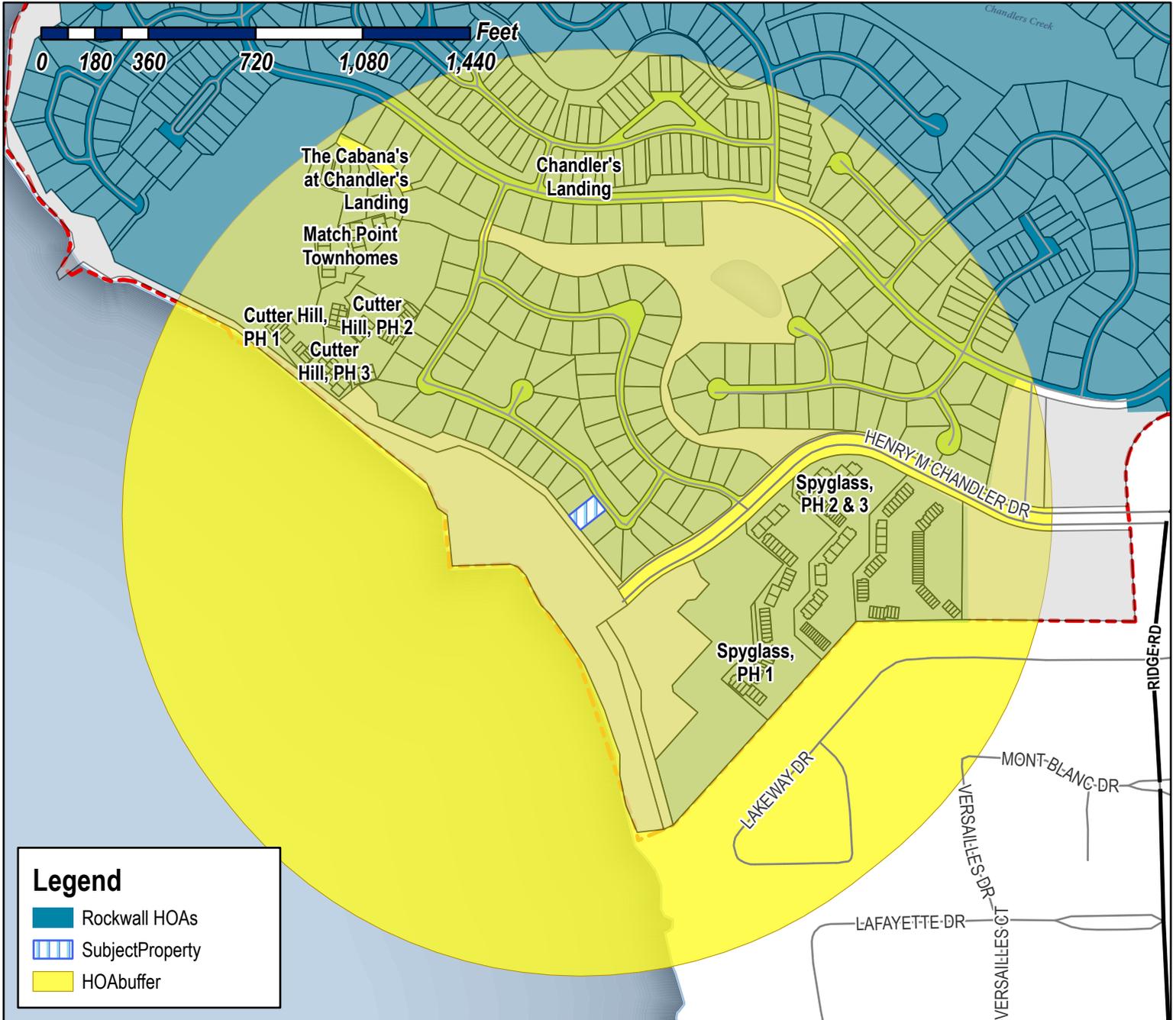




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Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr

Date Saved: 8/18/2023
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Zavala, Melanie
Sent: Wednesday, August 23, 2023 4:40 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-043]
Attachments: Public Notice (P&Z).pdf; HOA Map (08.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *August 25, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-043: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill In an Established Subdivision* on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

Thank You,

Melanie Zavala

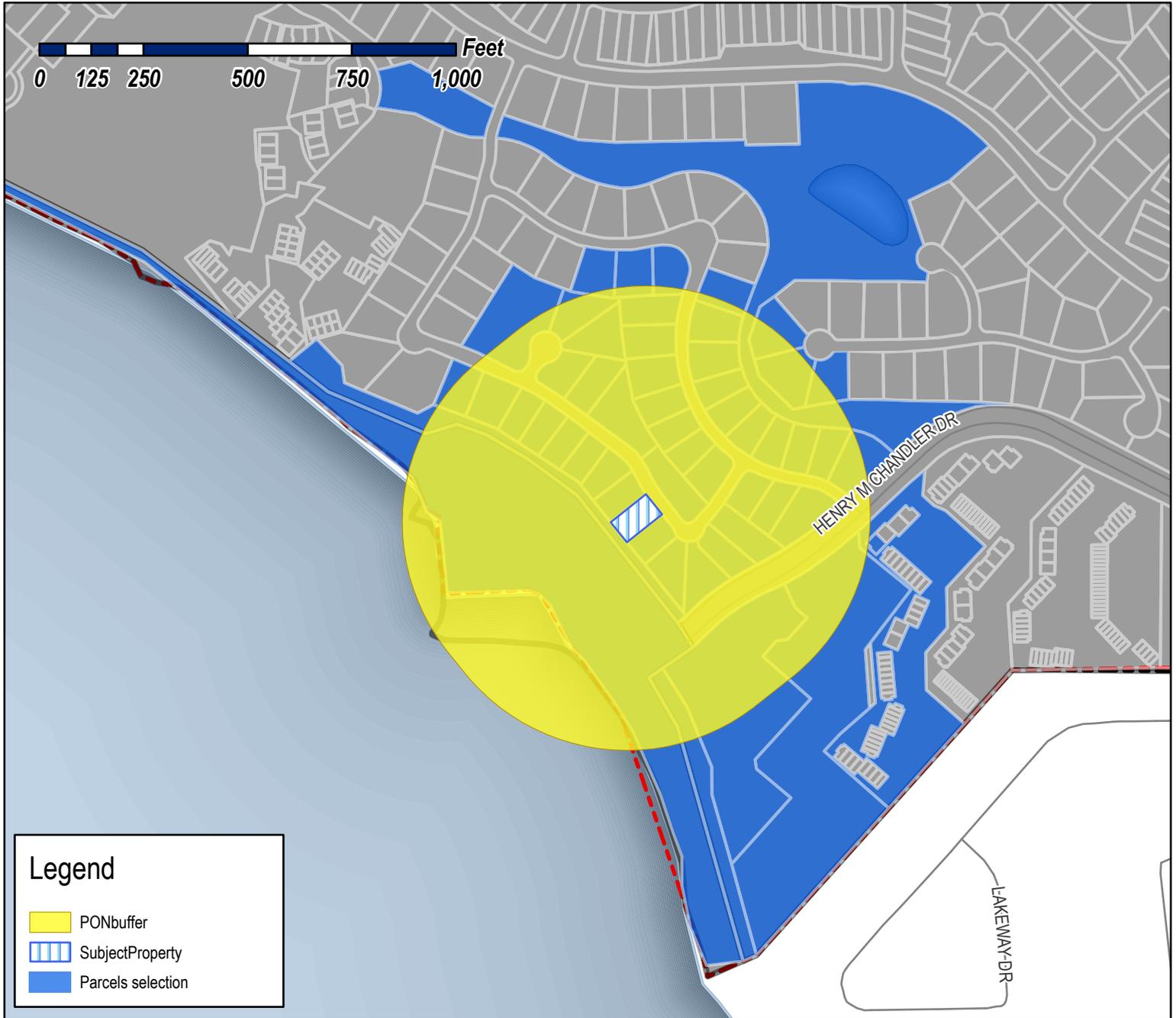
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr.

Date Saved: 8/18/2023

For Questions on this Case Call: (972) 771-7746



NGUYEN ANGELINA
1025 LAKE RIDGE DR
RICHARDSON, TX 75081

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD
115 DEFENDER C
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC
14918 MYSTIC TERRACE LANE
CYPRESS, TX 77429

RESIDENT
155 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
158 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

MCKNIGHT MARY D
201 HARBOR LANDING DR
ROCKWALL, TX 75032

WILSON SEAN
202 HARBOR LANDING DR
ROCKWALL, TX 75032

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
O
204 HARBOR LANDING
ROCKWALL, TX 75032

RESIDENT
205 HARBOR LANDING DR
ROCKWALL, TX 75032

D'AMBROSIA DEAN AND MUSTAFA OMAR
206 HARBOR LANDING DR
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN
208 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

BALLARD AMANDA L &
O
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
295 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
297 HARBORVIEW DR
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH
299 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE
301 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

RESIDENT
301 HARBORVIEW DR
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
303 HARBORVIEW DR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CONFIDENTIAL
305 HARBORVIEW DR
ROCKWALL, TX 75032

CLEATON JERRY LEE
306 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARBORVIEW DR
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DR
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
312 HARBOR LANDING DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
O
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

ARCE JAIME G
315 VICTORY LN
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-043: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill In an Established Subdivision on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-043: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



303 Harborview Drive

Being Lot 18, Block B, Harbor Landing, Phase Two, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map or Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

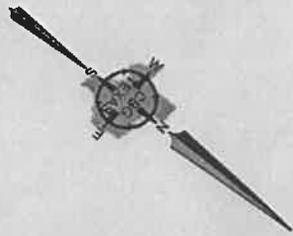


Lawyers Title

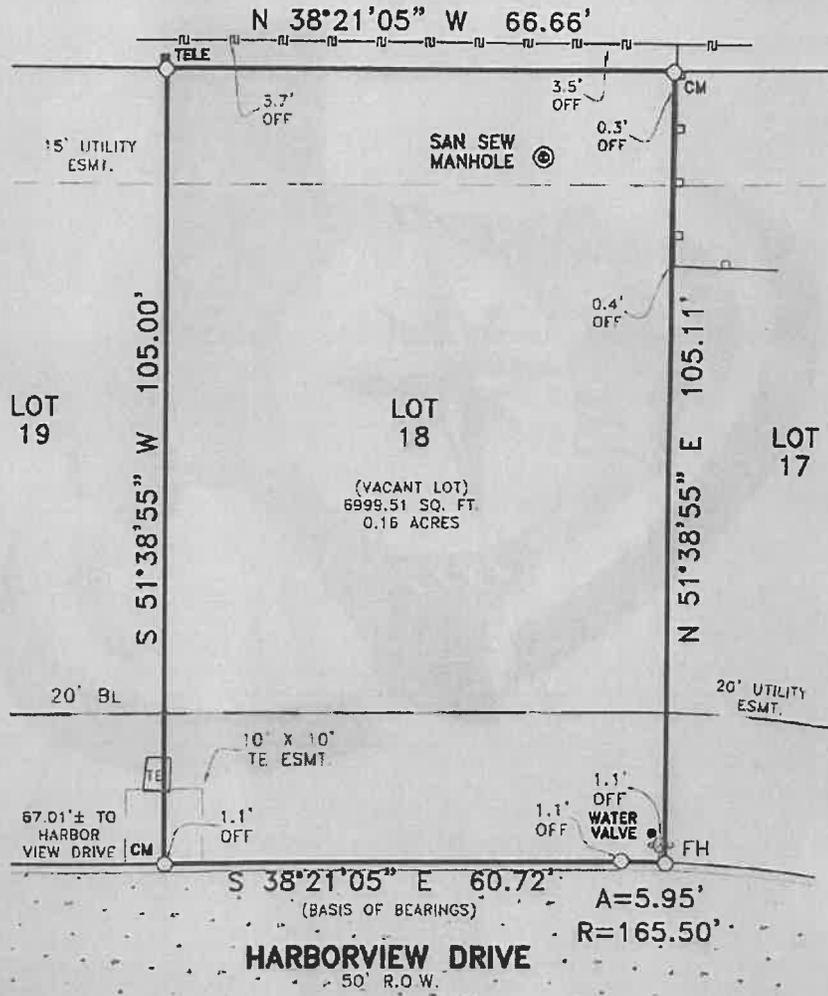
INSURANCE CORPORATION

LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ✦ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



RAY HUBBARD SMI JV LLC
C.F. NO. 201600022170



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL 112, PG. 546, VOL 174, PG. 46, VOL 608, PG. 127, VOL 649, PG. 73, VOL 743, PG. 58

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
VOL 43, PG. 536, VOL 1875, PG. 42

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 49397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Lawyers Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JRDC/JLM
 Scale: 1" = 20'
 Date: 08/28/2020
 GF No.: LT-19145-1801452000500-KK
 Job No. 2016354

CBG
SURVEYING TEXAS LLC
12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.8485
F 214.349.2216
Firm No. 10168800
www.cbgtllo.com



Accepted by: _____
 Date: _____
 Purchaser
 Purchaser

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

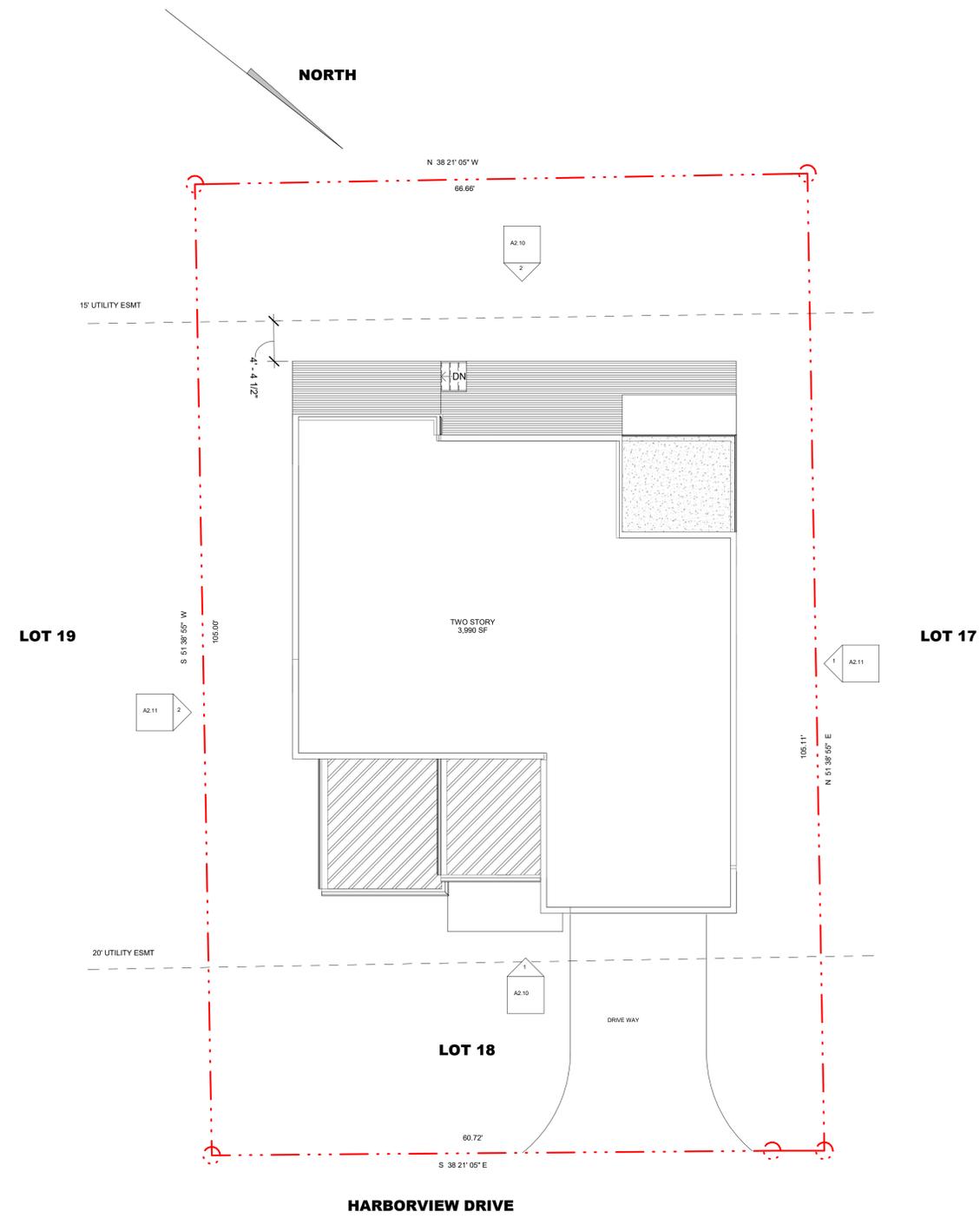
Sheet Name
SITE PLAN

Original Issue
Sheet Number

A1.00

Project #
Project Number

Drawing Date
08/04/21



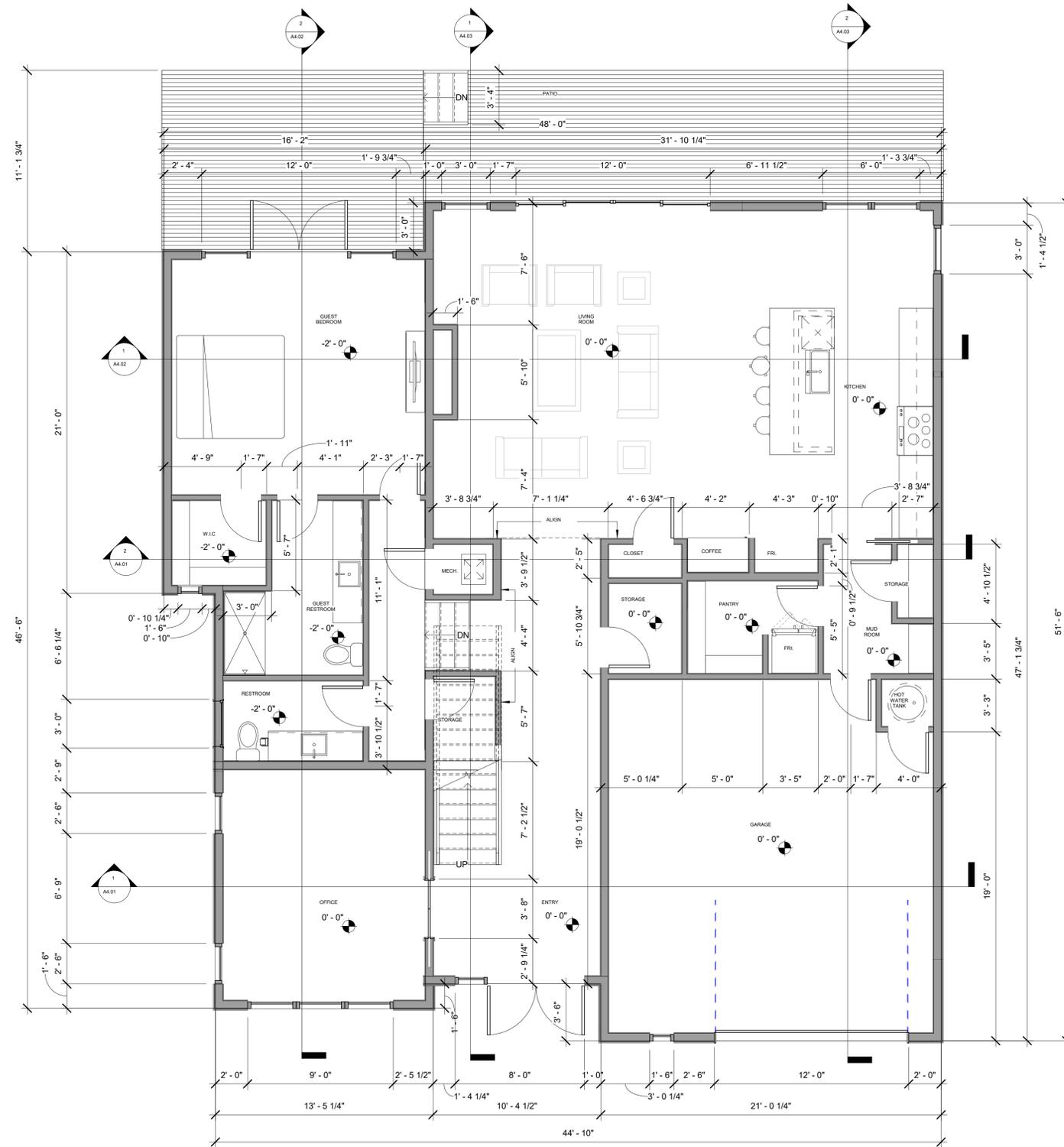
1 SITE PLAN
1/8" = 1'-0"

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE FROWELED, BROOMED AND SEALED.
2. NOTES, DIMENSIONS AND TAGS ARE INCLUDED ON THE PLANS. ALL DOORS ARE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. METER RISER ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
4. SPACE CONTROL, CENTER OF OPTIMUM WALL BOARD TO LIFT EXPANSES TO 32" MAXIMUM. EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING OPTIMUM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 200 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 90" OF EITHER DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FLUCCIING. OR SPACE CONTROL JOINTS AT THE CEILING AND WALL. PER THE MANUFACTURERS RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT.
5. REFER TO SHEET A4.01 FOR ROOF NOTES AND FINISHES.
6. REFER TO ROOF PLAN LEGEND ON SHEET A4.01 FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

	EXTERIOR ELEVATION TAG		FLOOR DOWN
	WALL SECTION TAG		ASSUMED PROPERTY LINE
	DETAIL SECTION TAG		5 1/2" BRICK / STONE LEDGE
	PARTITION WALL TAG		METER
	DOOR TAG SYMBOL		FINISH FLOOR ELEVATION
	WINDOW TAG SYMBOL		



1 FLOOR PLAN - GROUND LEVEL
1/4" = 1'-0"

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

ISSUE FOR PERMIT

Sheet Name	FLOOR PLAN
Original Issue	
Sheet Number	A1.01
Project #	
Project Number	
Drawing Date	08/04/21



2 BACK ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

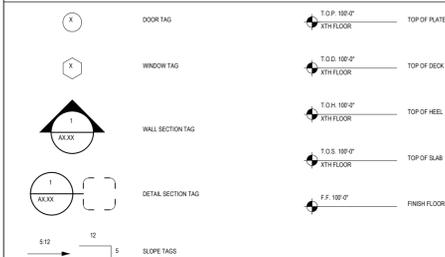
1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 1" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANES, PROPER GASKETS AND SEALANTS (WHERE REQUIRED) AS REQUIRED SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISJUNCT MATERIALS, MATERIAL TRANSITIONS, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BUILDING, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL INTERIOR FINISHES, BALCONIES AND JOISTS SHALL BE SLOPED 1/8" PER 1' TO MINIMUM DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12' PER IBC 1903.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.D.
10. ALL EXTERIOR MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM (FACE, HEADERS, BELLS, TRUSS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERHANGS, AND STAIR WING WALLS) TO BE S1708 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHHA CORNERS, EDGES, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE MATCHING OR BY 2000 SHOWROOM BROWN SW 9004 ROPPOFF FINISHES OR 2005 SYNCHRONY TAN SW 7019 CYBER SPACE AND DRABE BLACK BEAN. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUPLERS TO MATCH SUBSTRATE WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER'S FINISHED COLOR BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHHA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

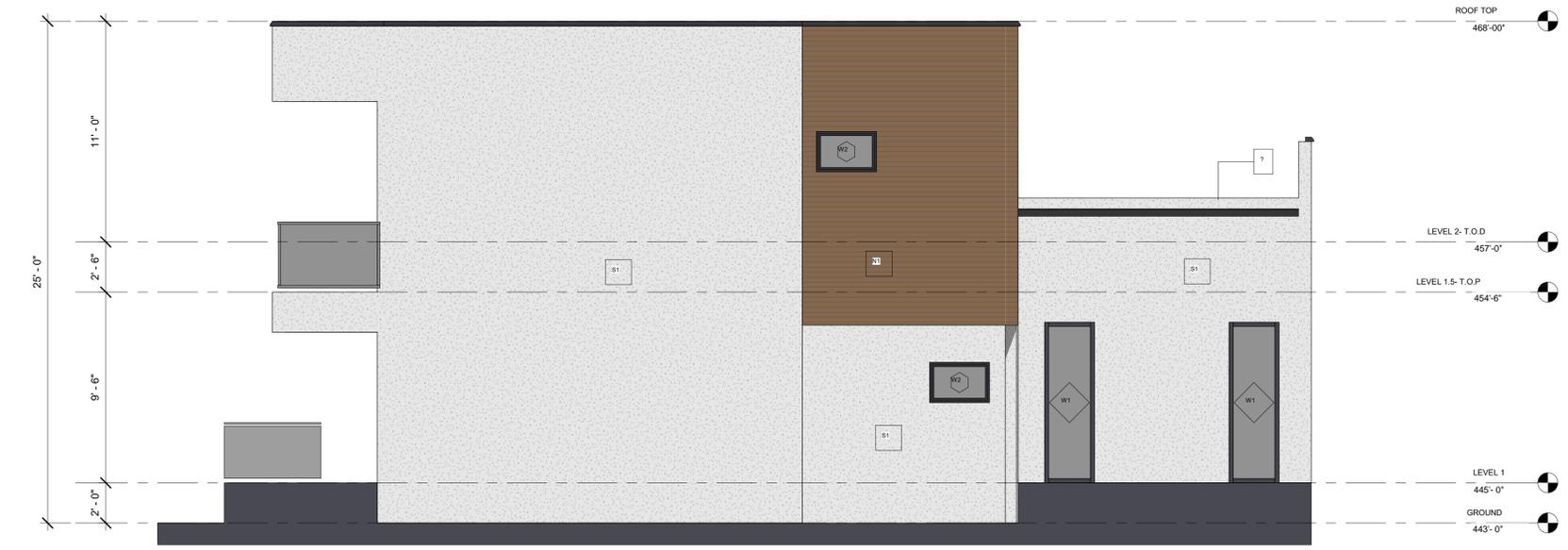
S1	STUCCO	C1	CANOPY
N1	NICHHA PANEL	H1	GLASS WINDOW
M1	METAL COPPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND

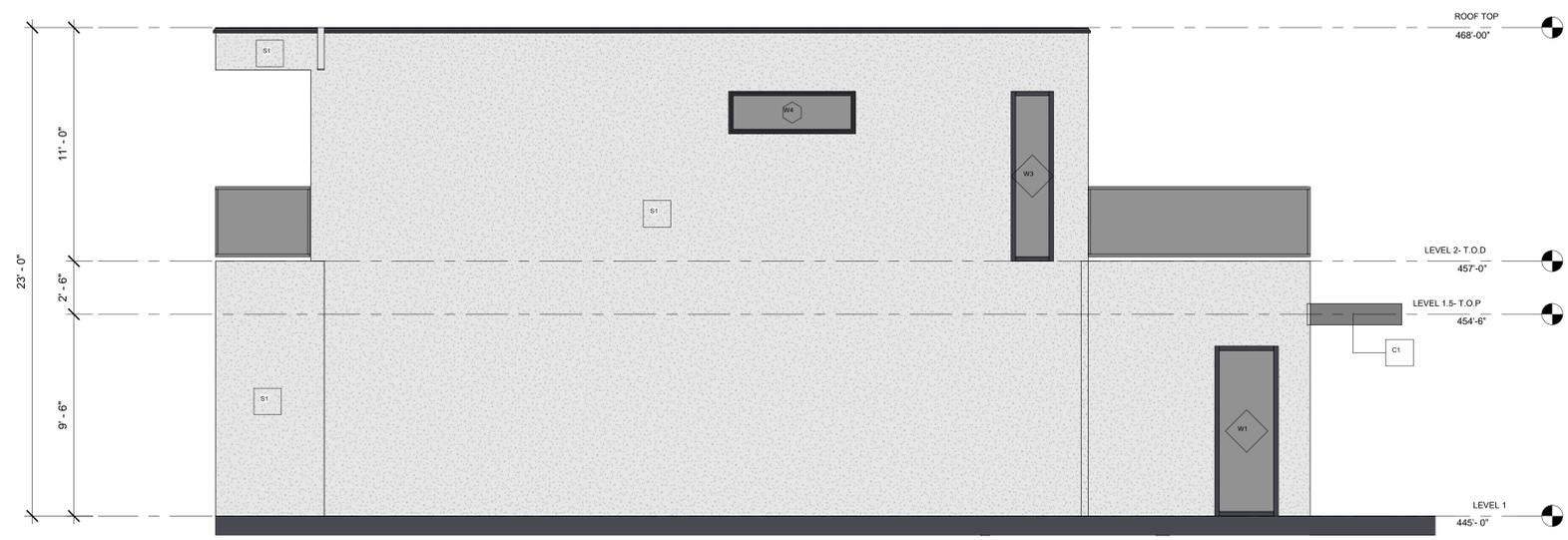


Issue	Issue Name	Date

Sheet Name EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number A2.10	
Project #	Drawing Date
Project Number	03/27/22



2 LEFT ELEVATION
1/4" = 1'-0"



1 RIGHT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

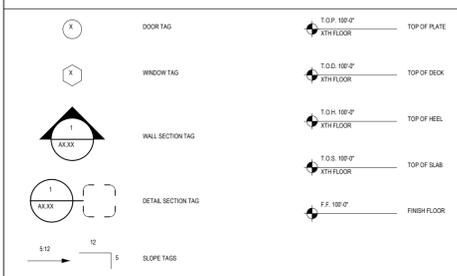
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2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES THREE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANES, PROPER GUTTERS AND SEAMING UNDER HOODS AS REQUIRED SHALL BE INSTALLED ACCORDING TO WINDOW, DOOR, ROOF OPENINGS, HORIZONTAL AND VERTICAL Joints OF GROUNDWATER MEMBRANE, WINDOW TRANSOMING, TRIM, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BALDING, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL PITCHED ROOFS, BALCONIES AND JOISTS MUST BE SLOPED 1/8" PER 1' TO MINIMUM DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6" MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12' PER BC 1904.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND MECHANICAL DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.D.
10. ALL METAL MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM (FACE, HEADERS, BELLS, TRUSS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERHANGS, AND STAIR WING WALLS) TO BE S108 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM (CORNERS, EDGING, AND CONNECTIONS) TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE FINISH OF S108 SHOWWOOD BROWN SW 98M ROPROFF FINISHES ON 2000 SYNCHRONIC TAN S107R CYBER SPACE AND GRABBE BLACK BEAN. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUERS TO MATCH METAL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER STANDARD COLORS BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHIA/METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CAWOPIY
N1	NICHIA PANEL	H1	GLASS WINDOW
M1	METAL COPPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND



Issue	Issue Name	Date

Sheet Name EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number A2.11	
Project #	Drawing Date
Project Number	04/24/22

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1519-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 18, BLOCK B, OF THE HARBOR LANDING PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1519-acre parcel of land identified as Lot 18, Block B, of the Harbor Landing Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 7 (SF-7) District land uses, addressed as 303 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF OCTOBER, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 18, 2023

2nd Reading: October 2, 2023

Exhibit 'A':
Location Map and Residential Plot Plan

Address: 303 Harborview Drive

Legal Description: Lot 18, Block B, Harbor Landing Phase 2 Addition

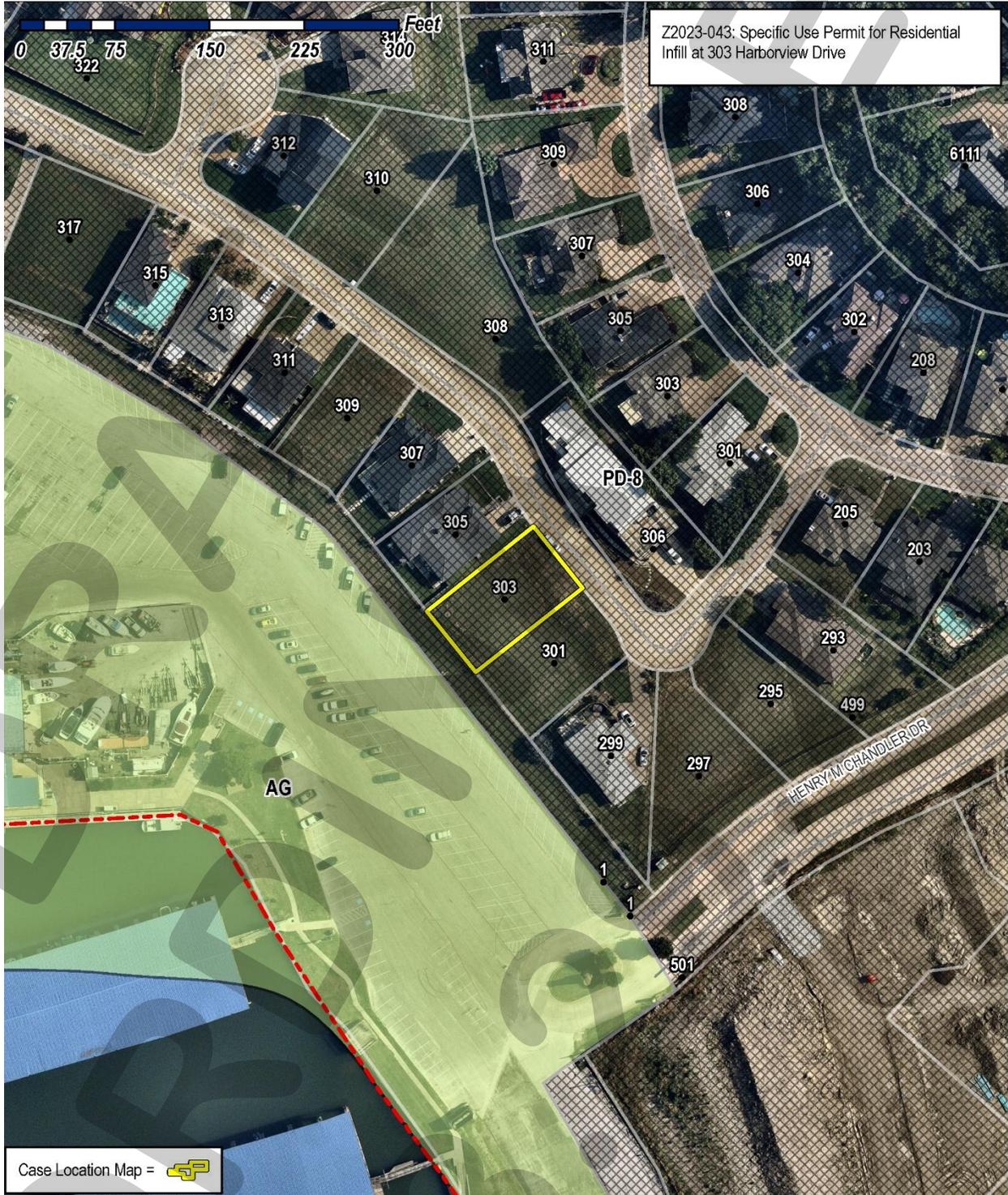


Exhibit 'A':
Location Map and Residential Plot Plan

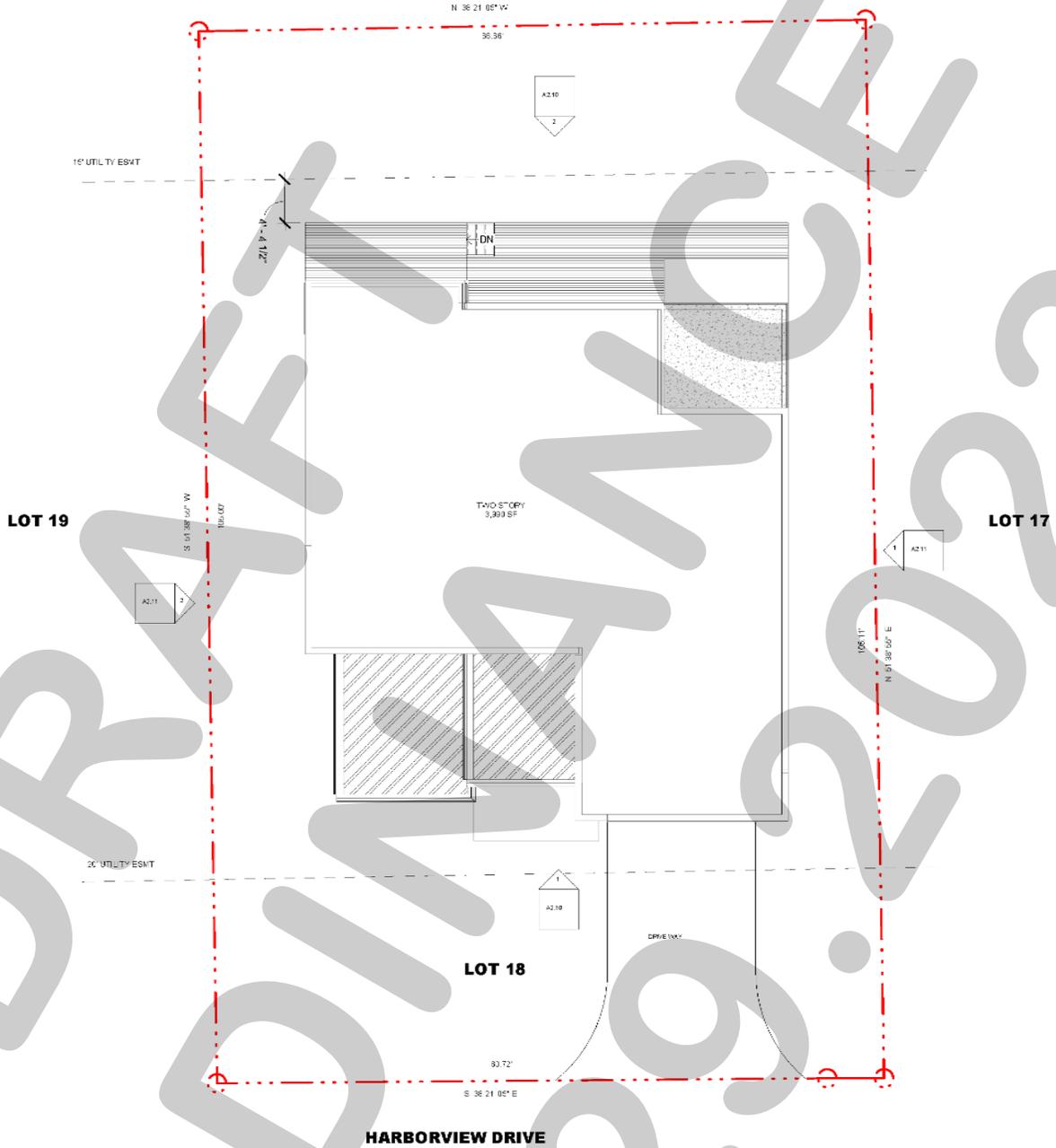


Exhibit 'B':
Building Elevations

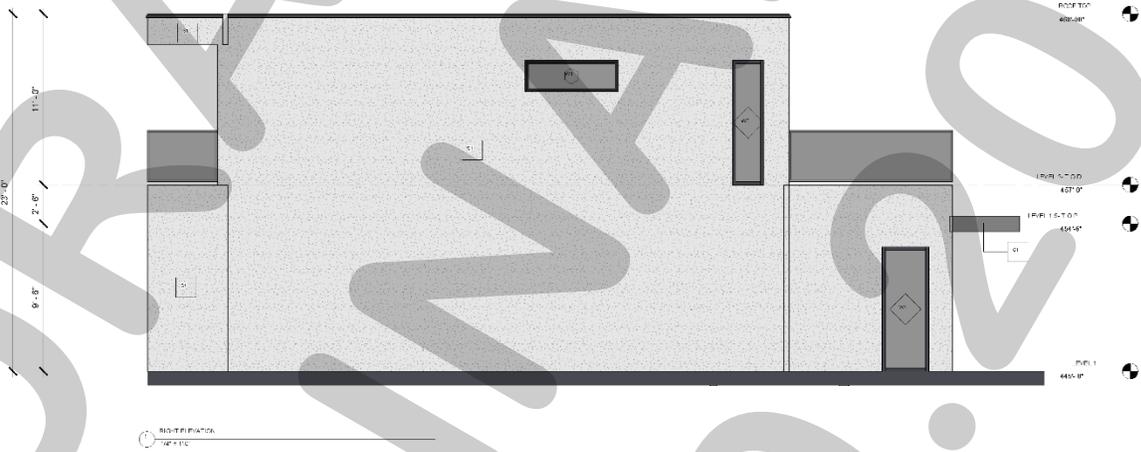


2
BACK ELEVATION
1/4" = 1'-0"



1
FRONT ELEVATION
1/4" = 1'-0"

**Exhibit 'B':
Building Elevations**





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 12, 2023
APPLICANT: Angelina Nguyen
CASE NUMBER: Z2023-043; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision for 303 Harborview Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.1519-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973 by *Ordinance No. 73-43 (Case No. A1973-005)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 2 of Harborview Landing was later amended by *Ordinance No. 84-16* on April 2, 1984. A Preliminary Plat (*Case No. PZ1987-022-01*) and Final Plat (*Case No. PZ1987-030-01*) were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevation, maximum pad elevation, and maximum house height was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. On August 7, 2023, the City Council adopted *Ordinance No. 23-40* consolidating all of the ordinances associated with Planned Development District 8 (PD8); however, no changes were made affecting the subject property. The subject property has remained zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

PURPOSE

The applicant, Angelina Nguyen, is requesting the approval of a *Specific Use Permit (SUP)* for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 310 Harborview Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Harborview Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the remainder of Phase 2 of the Harbor Landing Subdivision, which was established on June 15, 1987, and consists of 32 residential lots. North of this is Phase 1 of Harbor Landing, which was established on December 22, 1986, and consists of 38 residential lots.

South: Directly south of the subject property is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard which is owned and maintained by the City of Dallas.

East: Directly east of the subject property is the remainder of Phase 2 of the Harbor Landing Subdivision, which was established on June 15, 1987, and consists of 32 residential lots. East of this is Phase 1 of Harbor Landing, which was established on December 22, 1986, and consists of 38 residential lots. Beyond this is Henry M. Chandler Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is Spyglass Hill Phase 3, which was established on January 15, 1985, and consists of 47 condominium. All of these properties are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is the Lake Ray Hubbard Takeline and the Chandler’s Landing Marina. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard which is owned and maintained by the City of Dallas.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Harbor Landing Subdivision, which has been in existence since December 22, 1986 and consists of 70 residential lots (*five [5] of which are vacant*), and is considered to be more than 90% developed (*i.e. 92.86% developed*). The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Harborview Drive	Proposed Housing
Building Height	Two (2) Story	Two (2) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Harborview Drive
Year Built	2012-2020	N/A
Building SF on Property	2,330 SF – 4,982 SF	3,990 SF
Building Architecture	Traditional Brick/Stucco and Modern Contemporary	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	x>20-Feet
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	x>6-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	x>15-Feet
Building Materials	Brick, Stone, Stucco	Stucco, Nichiha Panel, Metal
Paint and Color	Red, Tan, Brown, Grey, White, Black	Brown, Grey
Roofs	Composite Shingles, Metal Roofs	Flat, Metal Roof [VARIANCE REQUESTED]
Driveways	Driveways are all in the front with the orientations being <i>flat front entry</i> .	The garage is proposed to be situated 2-feet beyond the front façade of the home. [VARIANCE REQUESTED]

In this case, the applicant is proposing a home that is not conforming to two (2) standards outlined in the Unified Development Code (UDC). These are as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to orient the garage so that it projects in front of the front façade of the single-family home. Staff estimates that the garage will protrude approximately two (2) feet in front of the front façade of the home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Harbor Landing Subdivision extends from 1992-2000, there are several examples of houses in this area that have a similar garage configuration.
- (2) Roof Pitch. According to Subsection 03.01(A), *General Residential District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with a flat, metal roof. Staff should point out that there are at least two (2) homes in this phase of the Harbor Landing Subdivision with metal roofs that are similar to the roof design being proposed by the applicant.

With this being said, the approval of a waiver to the garage orientation or roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council would be waiving these requirements. With the exception of these two (2) deviations from the *General Residential Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached packet.

NOTIFICATIONS

On August 22, 2023, staff mailed 53 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Chandler’s Landing, The Cabana at Chandler’s Landing, Match Point Townhomes, Cutter Hill Phase 1, Cutter Hill Phase 2, Cutter Hill Phase 3, Spyglass Phases 2 & 3, and Spyglass Phase 1 Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff received an email from the Chandler’s Landing Architectural Control Committee, stating that they do not allow a flat roof. Staff conveyed this information to the applicant.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 303 HARBORVIEW DR. ROCKWALL. TX 75032

SUBDIVISION HARBOR LANDING, PHASE 2

LOT

18

BLOCK

B

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING X

CURRENT USE

VACANT LOT

PROPOSED ZONING N/A

PROPOSED USE

SINGLE RESIDENTIAL

ACREAGE 0.16 ACRES

LOTS [CURRENT]

1 LOT

LOTS [PROPOSED]

1 LOT

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ANGELINA NGUYEN

APPLICANT

CONTACT PERSON ANGELINA NGUYEN

CONTACT PERSON

ADDRESS 1025 LAKE RIDGE DR

ADDRESS

CITY, STATE & ZIP RICHARDSON, TX 75081

CITY, STATE & ZIP

PHONE 214 263 8091

PHONE

E-MAIL YMY.A.NGUYEN@GMAIL.COM

E-MAIL

NOTARY VERIFICATION [REQUIRED]

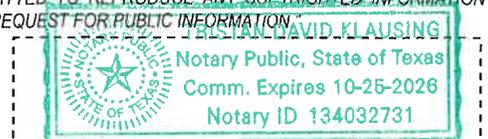
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Angelina Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August, 2023.

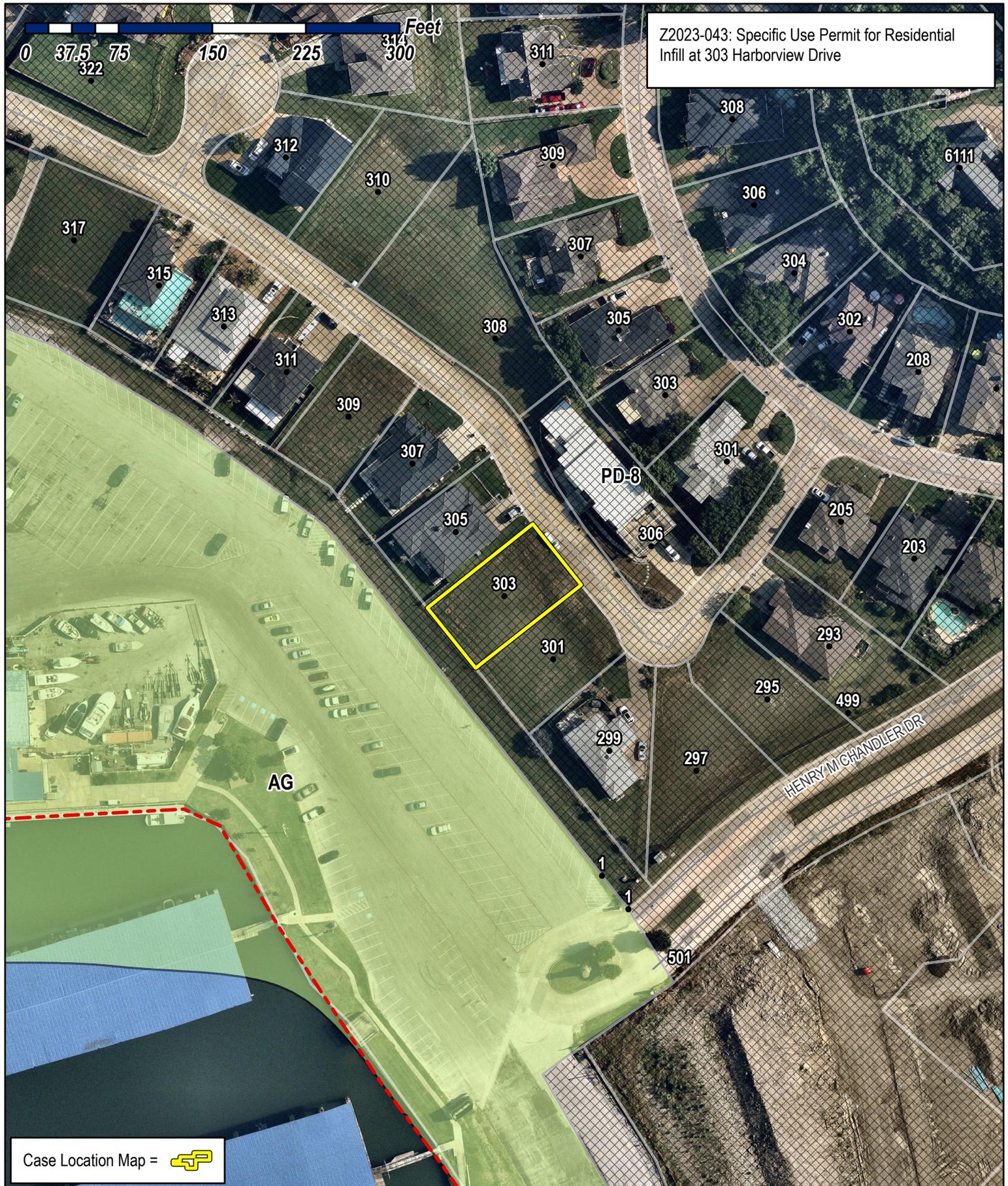
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

10/29/20



Z2023-043: Specific Use Permit for Residential Infill at 303 Harborview Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

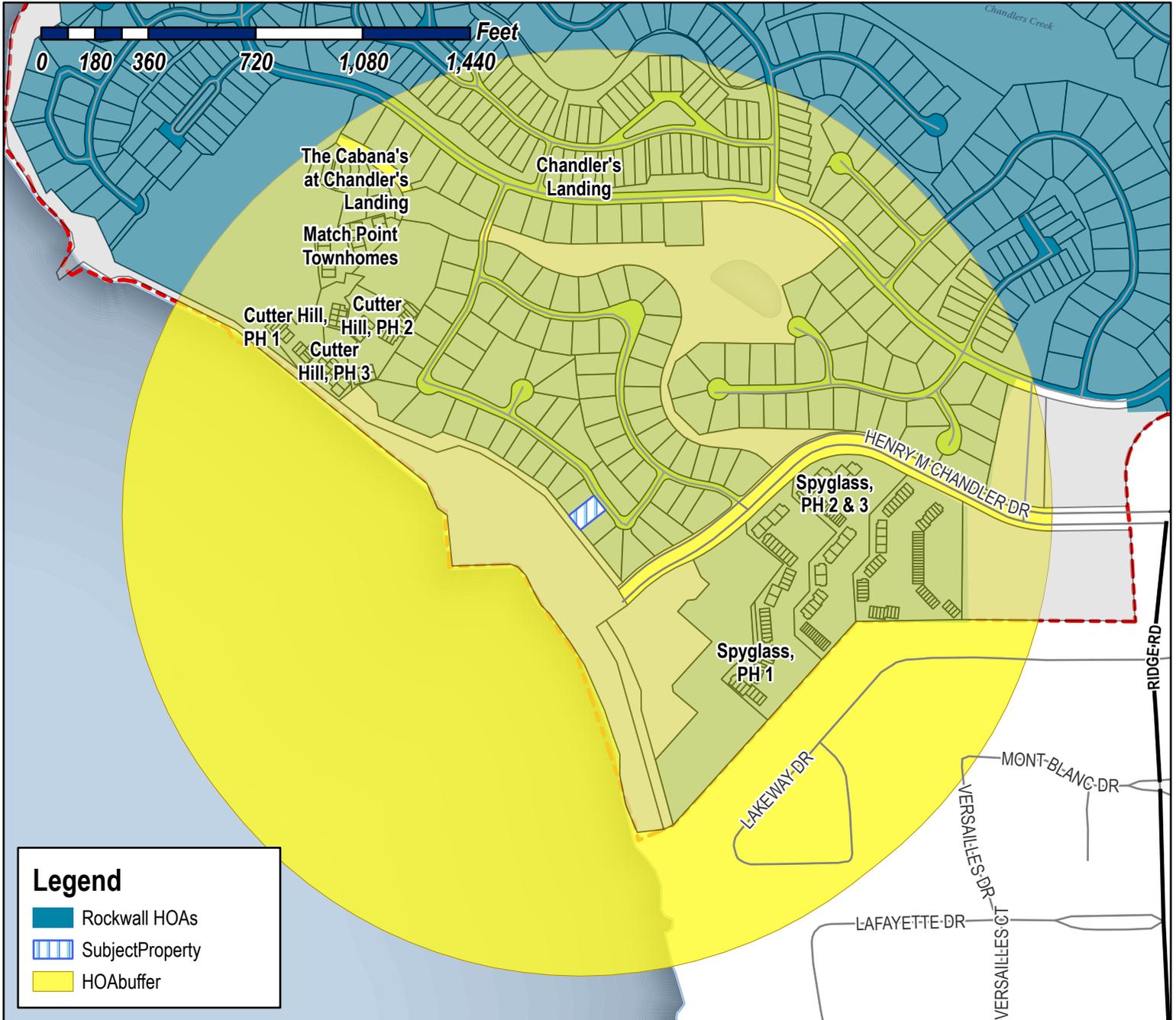




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Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr

Date Saved: 8/18/2023
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Zavala, Melanie
Sent: Wednesday, August 23, 2023 4:40 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-043]
Attachments: Public Notice (P&Z).pdf; HOA Map (08.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *August 25, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-043: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill In an Established Subdivision* on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

Thank You,

Melanie Zavala

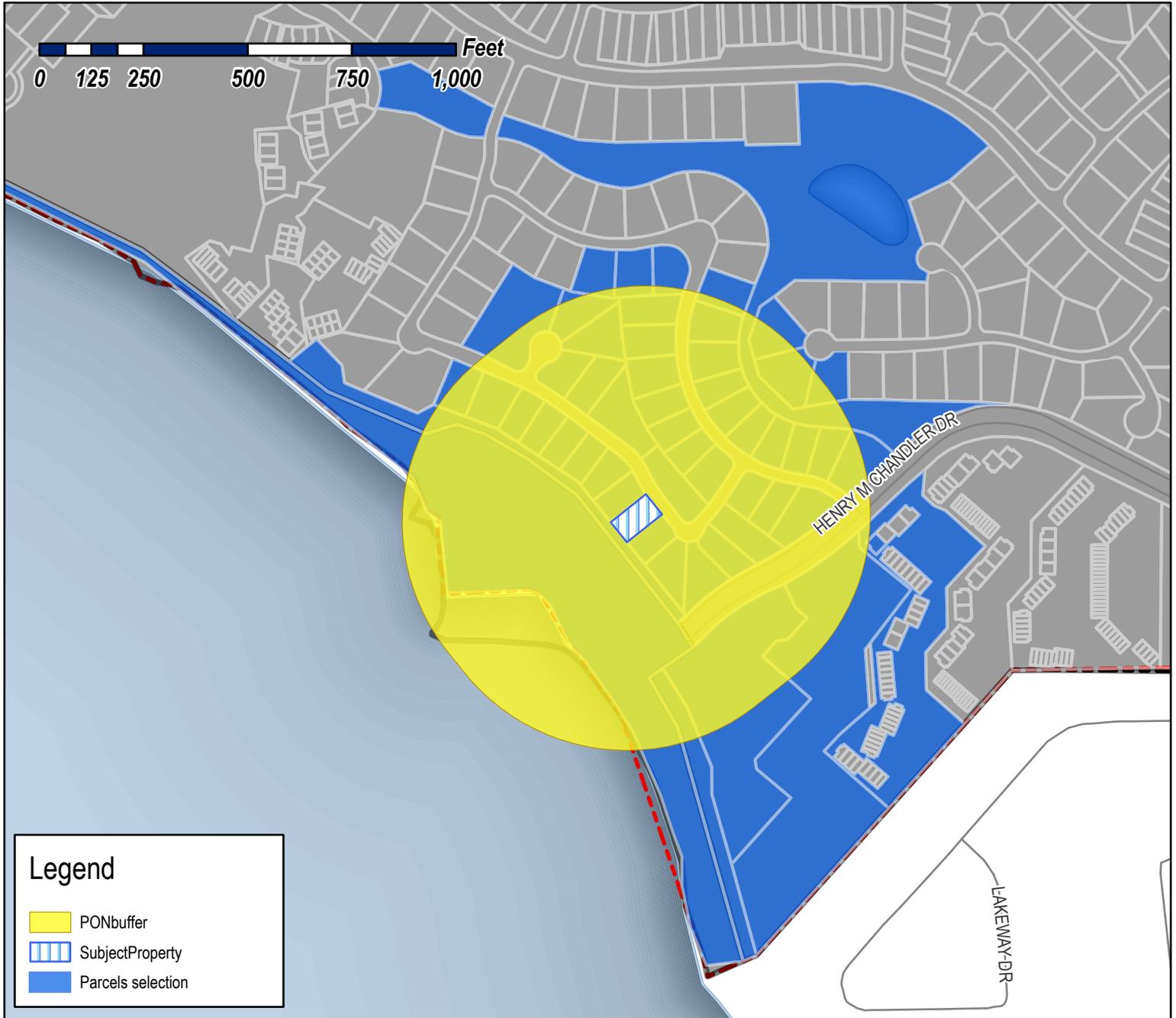
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr.

Date Saved: 8/18/2023

For Questions on this Case Call: (972) 771-7746



NGUYEN ANGELINA
1025 LAKE RIDGE DR
RICHARDSON, TX 75081

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD
115 DEFENDER C
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC
14918 MYSTIC TERRACE LANE
CYPRESS, TX 77429

RESIDENT
155 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
158 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

MCKNIGHT MARY D
201 HARBOR LANDING DR
ROCKWALL, TX 75032

WILSON SEAN
202 HARBOR LANDING DR
ROCKWALL, TX 75032

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
O
204 HARBOR LANDING
ROCKWALL, TX 75032

RESIDENT
205 HARBOR LANDING DR
ROCKWALL, TX 75032

D'AMBROSIA DEAN AND MUSTAFA OMAR
206 HARBOR LANDING DR
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN
208 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

BALLARD AMANDA L &
O
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
295 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
297 HARBORVIEW DR
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH
299 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE
301 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

RESIDENT
301 HARBORVIEW DR
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
303 HARBORVIEW DR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CONFIDENTIAL
305 HARBORVIEW DR
ROCKWALL, TX 75032

CLEATON JERRY LEE
306 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARBORVIEW DR
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DR
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
312 HARBOR LANDING DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
O
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

ARCE JAIME G
315 VICTORY LN
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-043: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill In an Established Subdivision on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-043: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



303 Harborview Drive

Being Lot 18, Block B, Harbor Landing, Phase Two, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map or Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

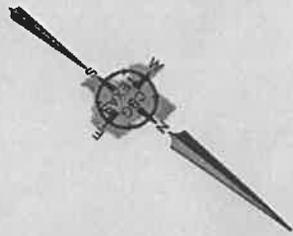


Lawyers Title

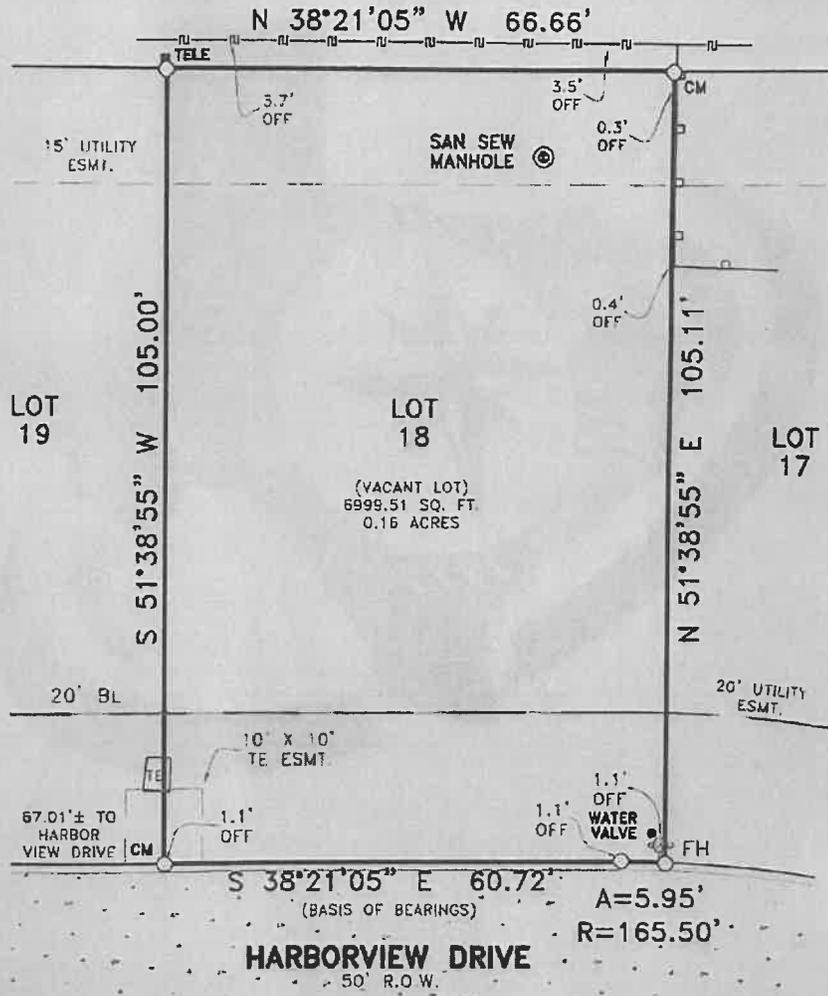
INSURANCE CORPORATION

LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ✦ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



RAY HUBBARD SMI JV LLC
C.F. NO. 201600022170



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL 112, PG. 546, VOL 174, PG. 46, VOL 608, PG. 127, VOL 649, PG. 73, VOL 743, PG. 58

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
VOL 43, PG. 536, VOL 1875, PG. 42

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Lawyers Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JRDC/JLM
 Scale: 1" = 20'
 Date: 08/28/2020
 GF No.: LT-19145-1801452000500-KK
 Job No.: 2016354

CBG
SURVEYING TEXAS LLC
12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.8485
F 214.349.2216
Firm No. 10168800
www.cbgtllo.com



Accepted by: _____
 Date: _____
 Purchaser
 Purchaser

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

Sheet Name
SITE PLAN

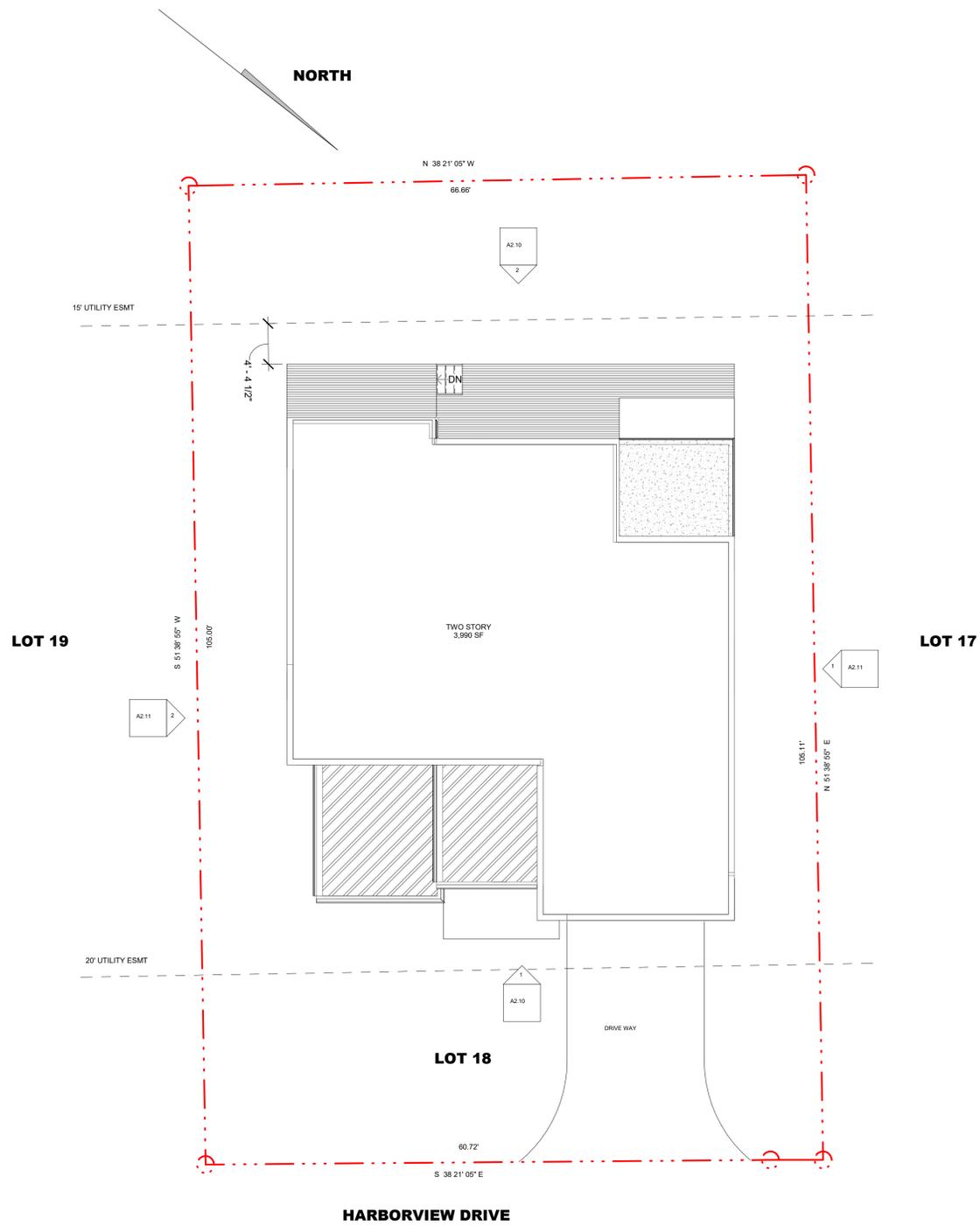
Original Issue

Sheet Number

A1.00

Project #
Project Number

Drawing Date
08/04/21



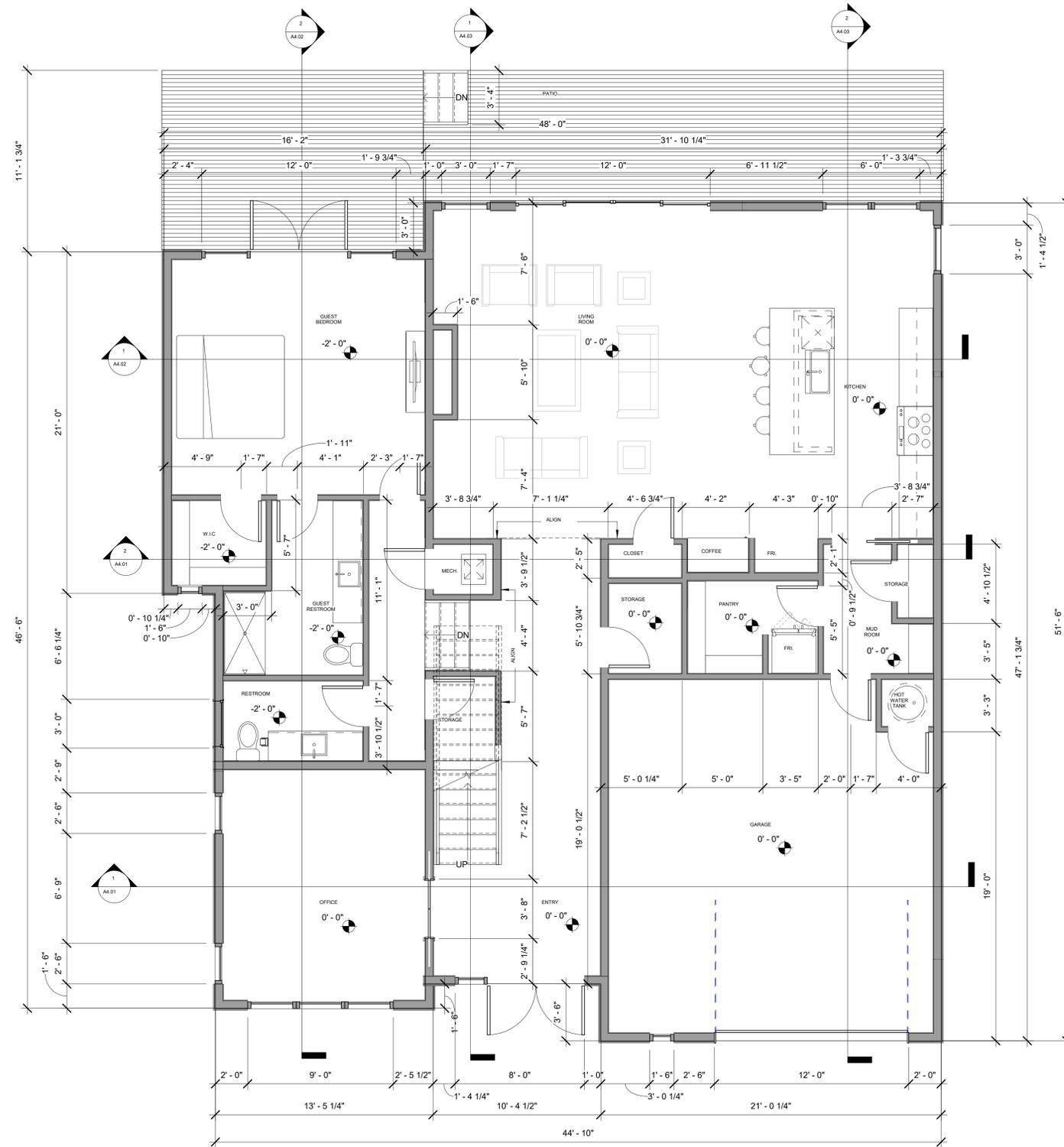
1 SITE PLAN
1/8" = 1'-0"

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE FROWELED, BROOMED AND SEALED.
2. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE PLANS. ALL DOORS ARE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. METER RISERS ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
4. SPACE CONTROL JOINTS ON CEILING SHALL BE LIMITED TO 32" MAXIMUM EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING OPTIMUM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 200 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 90° OF JUNCTIONS. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FLUCCIING. OR SPACE CONTROL JOINTS AT THE CEILING AND WALL. REFER TO THE MANUFACTURER'S RECOMMENDATIONS FOR CEILING, CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT.
5. REFER TO SHEET AA-X FOR ROOF NOTES AND FINISHES.
6. REFER TO ROOF PLAN LEGEND ON SHEET AA-X FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

- | | | | |
|--|------------------------|--|----------------------------|
| | EXTERIOR ELEVATION TAG | | FURROWDOWN |
| | WALL SECTION TAG | | ASSUMED PROPERTY LINE |
| | DETAIL SECTION TAG | | 5 1/2" BRICK / STONE LEDGE |
| | PARTITION WALL TAG | | METER |
| | DOOR TAG SYMBOL | | FINISH FLOOR ELEVATION |
| | WINDOW TAG SYMBOL | | |



1 FLOOR PLAN - GROUND LEVEL
1/4" = 1'-0"

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

ISSUE FOR PERMIT

Sheet Name	FLOOR PLAN
Original Issue	
Sheet Number	A1.01
Project #	
Project Number	
Drawing Date	08/04/21

ELEVATION NOTES

1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 1" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANES, PROPER GASKETS AND SEALANTS, INSULATION AS REQUIRED SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISJUNCT MATERIALS, MATERIAL TRANSITIONS, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BUILDING, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL INTERIOR FINISHES, BALCONIES AND JOISTS SHALL BE SLOPED 1/8" PER 1' TO MINIMUM DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12' PER IBC 1901.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.D.
10. ALL EXTERIOR MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM, FACED HEADERS, BELLS, TRUSS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERLANDS, AND STAIR WING WALLS TO BE S1708 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHHA CORNERS, EDGES, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE MATCH OF S1708 SHOWROOM SHOWN ON SHIM ROOF OFF FINISHES ON 2025 SYNCHRONISE TAN S1708 CYBER SPACE AND DRABO BLACK BEAM. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUPLERS TO MATCH S1708 WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER'S FINISHED COLOR BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHHA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CAVOPIY
N1	NICHHA PANEL	H1	GLASS WINDOW
M1	METAL COPPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND

	DOOR TAG		T.O.P. 100'-0"	TOP OF PLATE
	WINDOW TAG		T.O.D. 100'-0"	TOP OF DECK
	WALL SECTION TAG		T.O.H. 100'-0"	TOP OF HEEL
	DETAIL SECTION TAG		T.O.S. 100'-0"	TOP OF SLAB
	SLOPE TAGS		F.F. 100'-0"	FINISH FLOOR



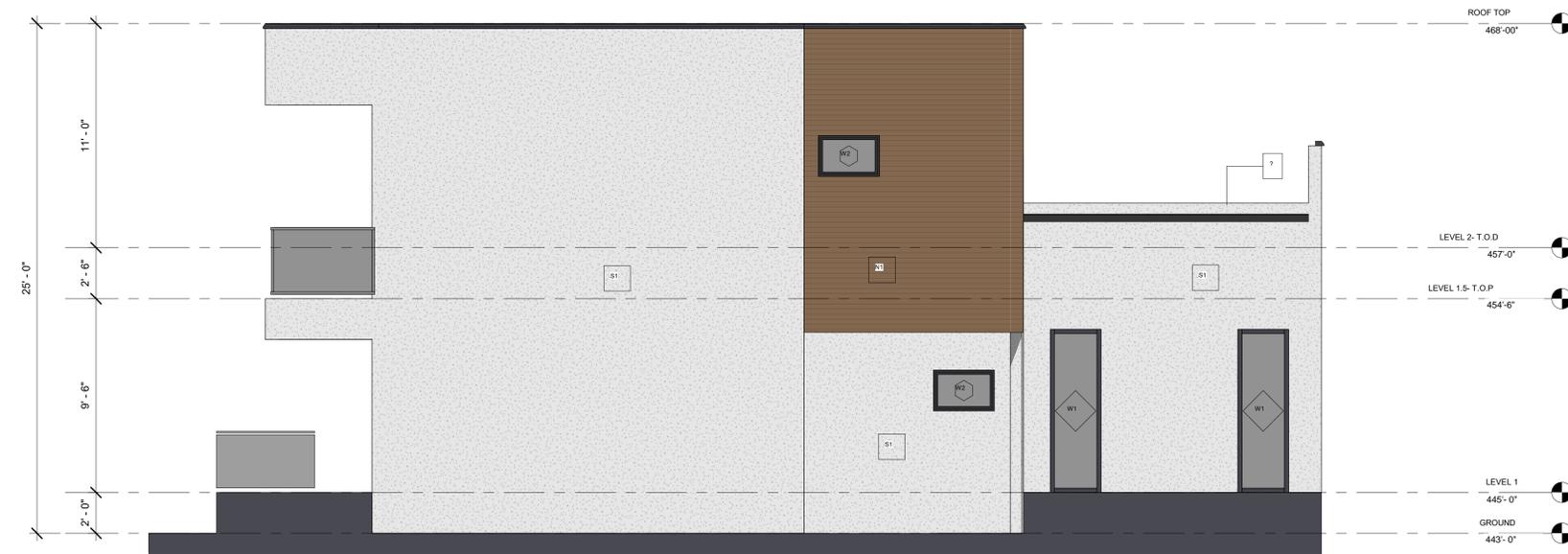
2 BACK ELEVATION
1/4" = 1'-0"



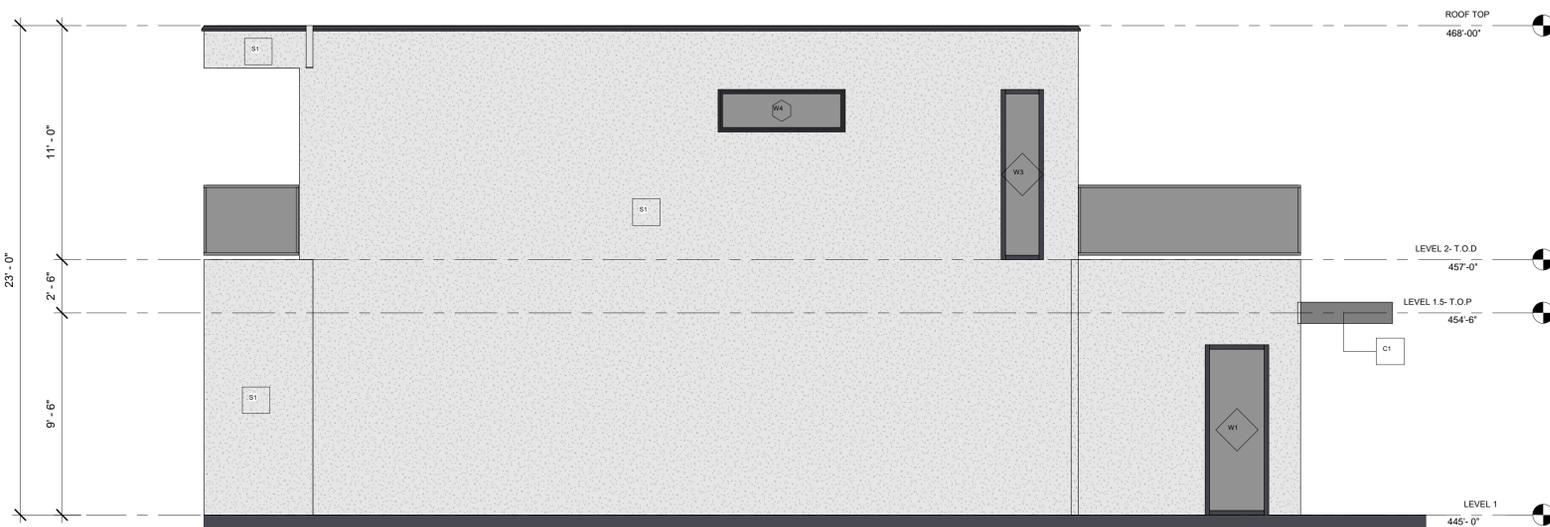
1 FRONT ELEVATION
1/4" = 1'-0"

Issue	Issue Name	Date

Sheet Name	
EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number	
A2.10	
Project #	Drawing Date
Project Number	03/27/22



2 LEFT ELEVATION
1/4" = 1'-0"



1 RIGHT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

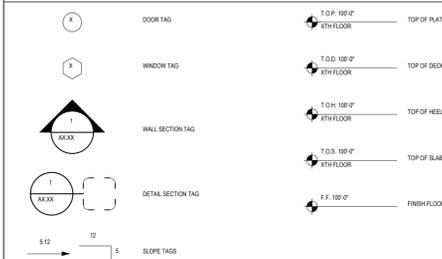
1. PROVIDE 1/2" MINIMUM SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES THREE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANES, PROPER GUTTERS AND SEAMING UNDER HOODS AS REQUIRED SHALL BE INSTALLED ACCORDING TO WINDOW, DOOR, ROOF OPENINGS, HORIZONTAL AND VERTICAL Joints OF GRESSEAR MATERIALS, METERS, TRANSOMES, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BALCONING, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL PITCHED ROOFS, BALCONIES AND JOISTS MUST BE SLOPED 1/8" PER 1'0" MINIMUM DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6" MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12' PER BC 1904.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND MECHANICAL DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.D.
10. ALL METAL MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM FACED, HEADERS, BELLS, TRUSS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERHANGS, AND STAIR WING WALLS TO BE S108 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHRA CORNERS, EDGES, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE FINISH OF S108 SHOWING BROWN SW 98M RICHWOOD FINISHES ON 2000 SYNCHRONIC TAN S107R CYBER SPACE AND GRABBE BLACK BEAN. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUPLERS TO MATCH NICHRA WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER STANDARD COLORS BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHRA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CAWOPIY
N1	NICHRA PANEL	H1	GLASS HORIZONTAL
M1	METAL COPPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND



Issue	Issue Name	Date

Sheet Name EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number A2.11	
Project #	Drawing Date
Project Number	04/24/22

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1519-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 18, BLOCK B, OF THE HARBOR LANDING PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1519-acre parcel of land identified as Lot 18, Block B, of the Harbor Landing Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 7 (SF-7) District land uses, addressed as 303 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF OCTOBER, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 18, 2023

2nd Reading: October 2, 2023

Exhibit 'A':
Location Map and Residential Plot Plan

Address: 303 Harborview Drive

Legal Description: Lot 18, Block B, Harbor Landing Phase 2 Addition

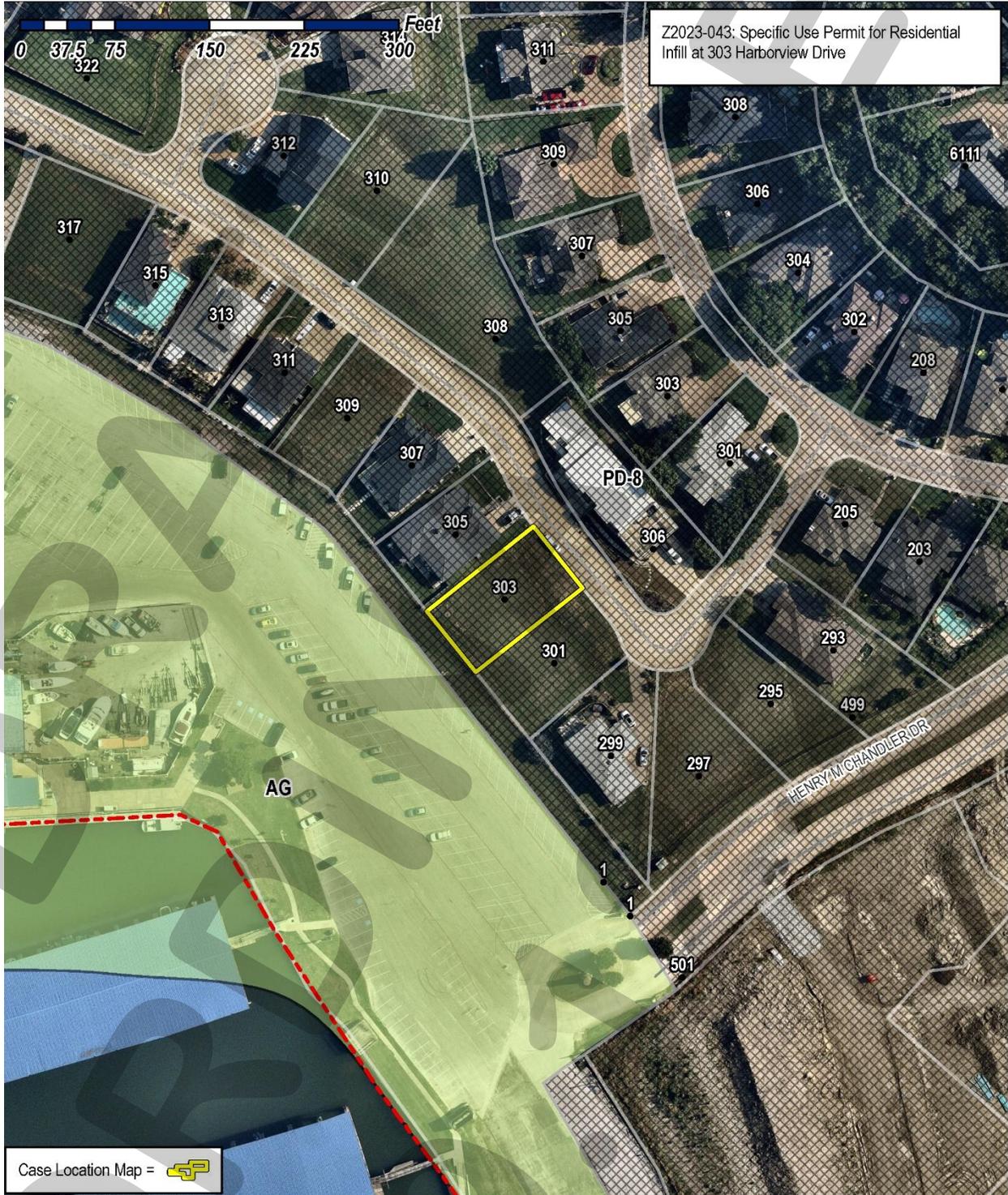


Exhibit 'B':
Building Elevations

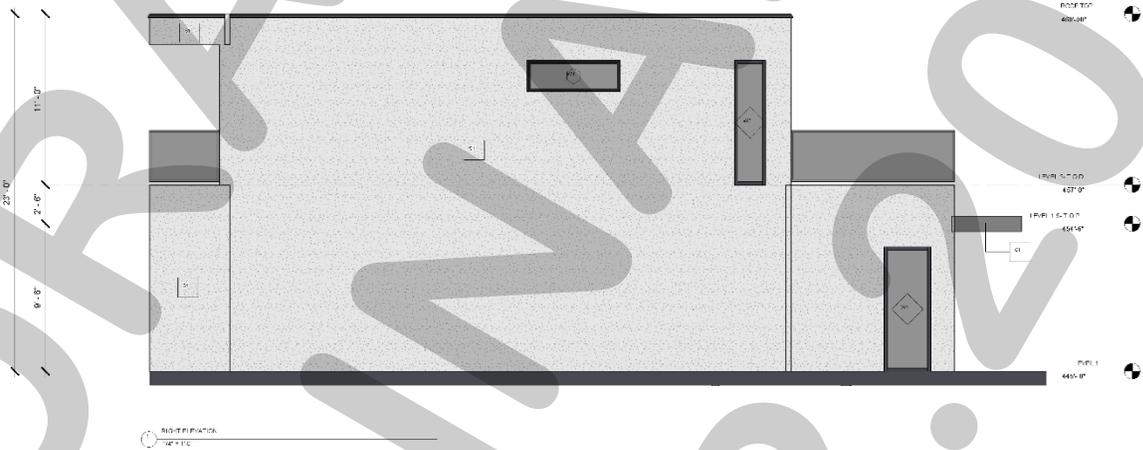


2 BACK ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

**Exhibit 'B':
Building Elevations**





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: September 18, 2023
APPLICANT: Angelina Nguyen
CASE NUMBER: Z2023-043; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision for 303 Harborview Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.1519-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973 by *Ordinance No. 73-43 (Case No. A1973-005)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 2 of Harborview Landing was later amended by *Ordinance No. 84-16* on April 2, 1984. A Preliminary Plat (*Case No. PZ1987-022-01*) and Final Plat (*Case No. PZ1987-030-01*) were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevation, maximum pad elevation, and maximum house height was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. On August 7, 2023, the City Council adopted *Ordinance No. 23-40* consolidating all of the ordinances associated with Planned Development District 8 (PD8); however, no changes were made affecting the subject property. The subject property has remained zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

PURPOSE

The applicant, Angelina Nguyen, is requesting the approval of a *Specific Use Permit (SUP)* for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 310 Harborview Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Harborview Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the remainder of Phase 2 of the Harbor Landing Subdivision, which was established on June 15, 1987, and consists of 32 residential lots. North of this is Phase 1 of Harbor Landing, which was established on December 22, 1986, and consists of 38 residential lots.

South: Directly south of the subject property is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard which is owned and maintained by the City of Dallas.

East: Directly east of the subject property is the remainder of Phase 2 of the Harbor Landing Subdivision, which was established on June 15, 1987, and consists of 32 residential lots. East of this is Phase 1 of Harbor Landing, which was established on December 22, 1986, and consists of 38 residential lots. Beyond this is Henry M. Chandler Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is Spyglass Hill Phase 3, which was established on January 15, 1985, and consists of 47 condominium. All of these properties are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is the Lake Ray Hubbard Takeline and the Chandler’s Landing Marina. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard which is owned and maintained by the City of Dallas.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Harbor Landing Subdivision, which has been in existence since December 22, 1986 and consists of 70 residential lots (*five [5] of which are vacant*), and is considered to be more than 90% developed (*i.e. 92.86% developed*). The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Harborview Drive	Proposed Housing
Building Height	Two (2) Story	Two (2) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Harborview Drive
Year Built	2012-2020	N/A
Building SF on Property	2,330 SF – 4,982 SF	3,990 SF
Building Architecture	Traditional Brick/Stucco and Modern Contemporary	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	x>20-Feet
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	x>6-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	x>15-Feet
Building Materials	Brick, Stone, Stucco	Stucco, Nichiha Panel, Metal
Paint and Color	Red, Tan, Brown, Grey, White, Black	Brown, Grey
Roofs	Composite Shingles, Metal Roofs	Flat, Metal Roof [VARIANCE REQUESTED]
Driveways	Driveways are all in the front with the orientations being <i>flat front entry</i> .	The garage is proposed to be situated 2-feet beyond the front façade of the home. [VARIANCE REQUESTED]

In this case, the applicant is proposing a home that is not conforming to two (2) standards outlined in the Unified Development Code (UDC). These are as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to orient the garage so that it projects in front of the front façade of the single-family home. Staff estimates that the garage will protrude approximately two (2) feet in front of the front façade of the home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Harbor Landing Subdivision extends from 1992-2000, there are several examples of houses in this area that have a similar garage configuration.
- (2) Roof Pitch. According to Subsection 03.01(A), *General Residential District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with a flat, metal roof. Staff should point out that there are at least two (2) homes in this phase of the Harbor Landing Subdivision with metal roofs that are similar to the roof design being proposed by the applicant.

With this being said, the approval of a waiver to the garage orientation or roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council would be waiving these requirements. With the exception of these two (2) deviations from the *General Residential Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached packet.

NOTIFICATIONS

On August 22, 2023, staff mailed 53 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Chandler’s Landing, The Cabana at Chandler’s Landing, Match Point Townhomes, Cutter Hill Phase 1, Cutter Hill Phase 2, Cutter Hill Phase 3, Spyglass Phases 2 & 3, and Spyglass Phase 1 Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff received an email from the Chandler’s Landing Architectural Control Committee, stating that they do not allow a flat roof. Staff conveyed this information to the applicant.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On September 12, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the SUP by a vote of 6-0 with Commissioner Womble absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 303 HARBORVIEW DR. ROCKWALL. TX 75032

SUBDIVISION HARBOR LANDING, PHASE 2

LOT

18

BLOCK

B

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING X

CURRENT USE

VACANT LOT

PROPOSED ZONING N/A

PROPOSED USE

SINGLE RESIDENTIAL

ACREAGE 0.16 ACRES

LOTS [CURRENT]

1 LOT

LOTS [PROPOSED]

1 LOT

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER ANGELINA NGUYEN

APPLICANT

CONTACT PERSON ANGELINA NGUYEN

CONTACT PERSON

ADDRESS 1025 LAKE RIDGE DR

ADDRESS

CITY, STATE & ZIP RICHARDSON. TX 75081

CITY, STATE & ZIP

PHONE 214 263 8091

PHONE

E-MAIL YMY.A.NGUYEN@GMAIL.COM

E-MAIL

NOTARY VERIFICATION [REQUIRED]

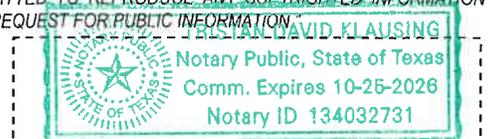
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Angelina Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August, 2023.

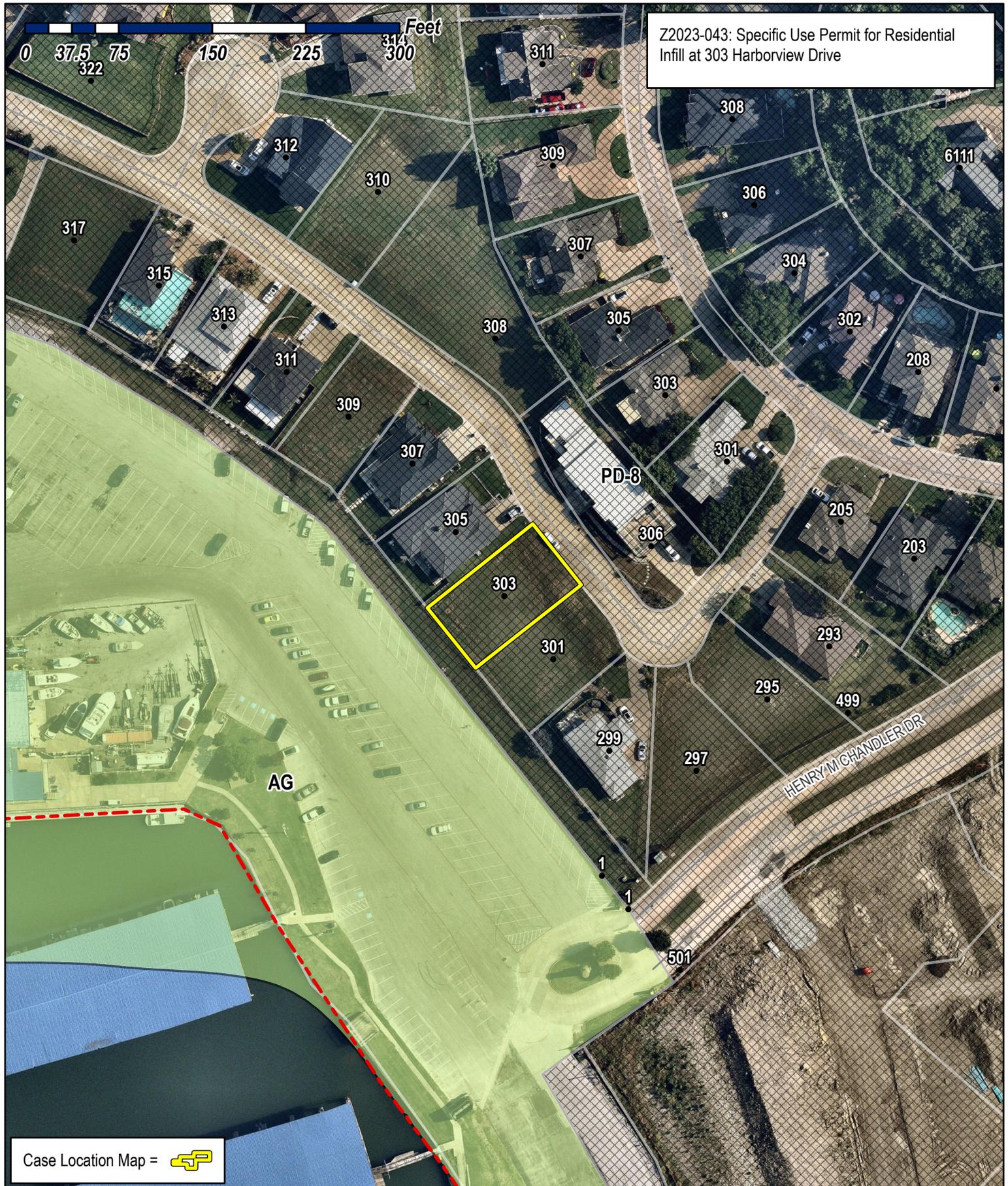
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

10/29/20



Z2023-043: Specific Use Permit for Residential Infill at 303 Harborview Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

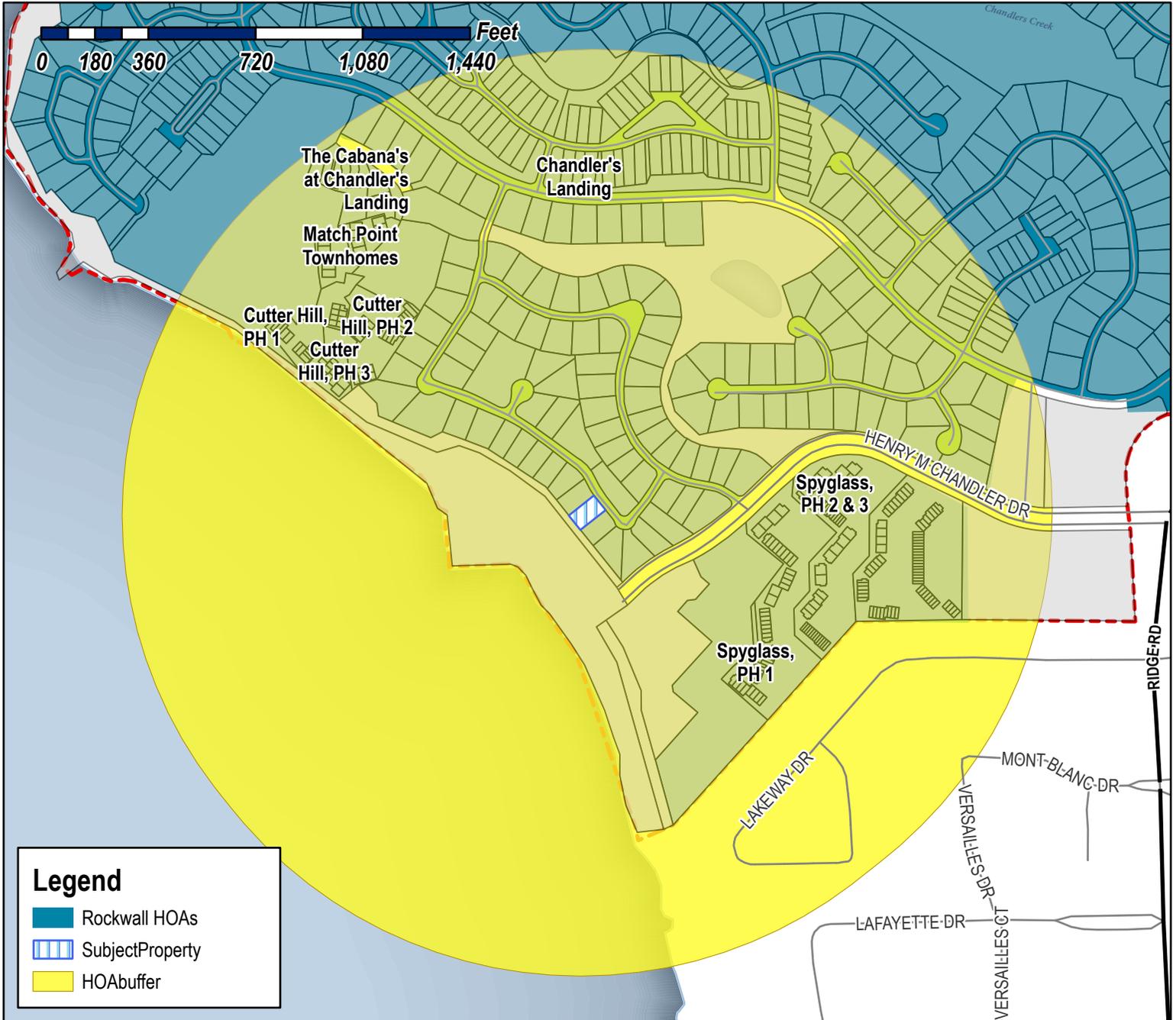




City of Rockwall

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Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr

Date Saved: 8/18/2023
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Zavala, Melanie
Sent: Wednesday, August 23, 2023 4:40 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-043]
Attachments: Public Notice (P&Z).pdf; HOA Map (08.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *August 25, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-043: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill In an Established Subdivision* on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

Thank You,

Melanie Zavala

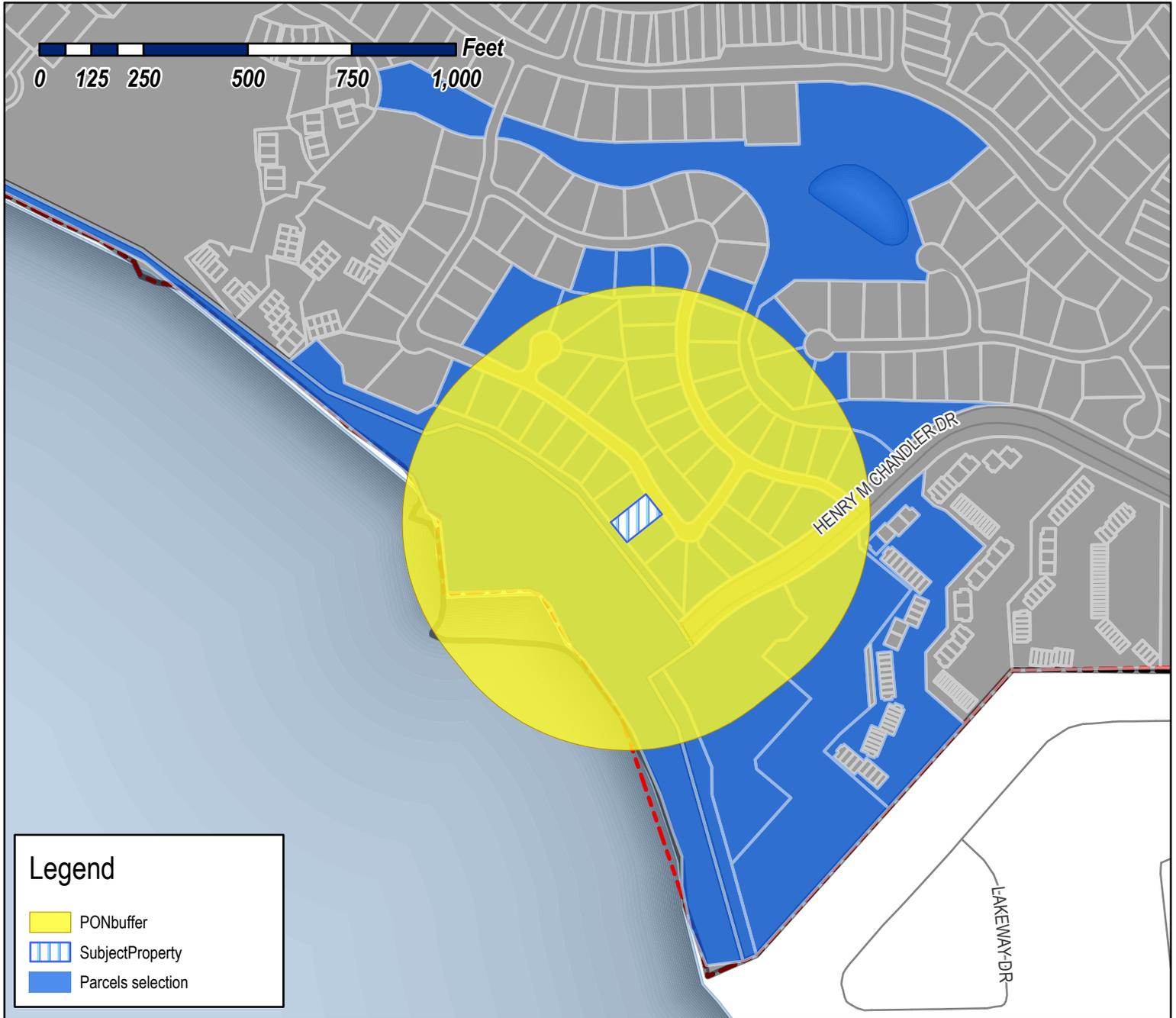
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr.

Date Saved: 8/18/2023

For Questions on this Case Call: (972) 771-7746



NGUYEN ANGELINA
1025 LAKE RIDGE DR
RICHARDSON, TX 75081

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD
115 DEFENDER C
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC
14918 MYSTIC TERRACE LANE
CYPRESS, TX 77429

RESIDENT
155 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
158 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

MCKNIGHT MARY D
201 HARBOR LANDING DR
ROCKWALL, TX 75032

WILSON SEAN
202 HARBOR LANDING DR
ROCKWALL, TX 75032

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
O
204 HARBOR LANDING
ROCKWALL, TX 75032

RESIDENT
205 HARBOR LANDING DR
ROCKWALL, TX 75032

D'AMBROSIA DEAN AND MUSTAFA OMAR
206 HARBOR LANDING DR
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN
208 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

BALLARD AMANDA L &
O
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
295 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
297 HARBORVIEW DR
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH
299 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE
301 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

RESIDENT
301 HARBORVIEW DR
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
303 HARBORVIEW DR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CONFIDENTIAL
305 HARBORVIEW DR
ROCKWALL, TX 75032

CLEATON JERRY LEE
306 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARBORVIEW DR
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DR
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
312 HARBOR LANDING DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
O
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

ARCE JAIME G
315 VICTORY LN
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-043: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill In an Established Subdivision on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-043: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
293 Harborview Drive	Single-Family Home	2016	2,330	N/A	Stone
299 Harborview Drive	Single-Family Home	2013	2,751	N/A	Brick
303 Harborview Drive	<i>Subject Property</i>	N/A	N/A	N/A	N/A
305 Harborview Drive	Single-Family Home	N/A	3,279	N/A	Stone
306 Harborview Drive	Single-Family Home	2018	4,982	N/A	Stucco
307 Harborview Drive	Single-Family Home	2020	2,920	N/A	Brick
310 Harborview Drive	Single-Family Home	Permitted	4,896	N/A	Stucco
311 Harborview Drive	Single-Family Home	2016	3,054	N/A	Stucco
313 Harborview Drive	Single-Family Home	2012	2,828	N/A	Stucco
315 Harborview Drive	Single-Family Home	2015	2,698	N/A	Stucco
	AVERAGES:	2016	3,304	N/A	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



293 Harborview Drive



299 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



305 Harborview Drive



306 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



307 Harborview Drive



310 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



311 Harborview Drive



313 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-033

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



315 Harborview Drive



303 Harborview Drive

Being Lot 18, Block B, Harbor Landing, Phase Two, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map or Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

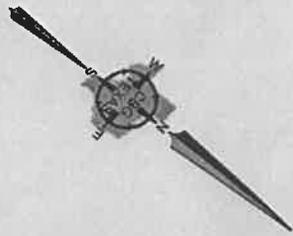


Lawyers Title

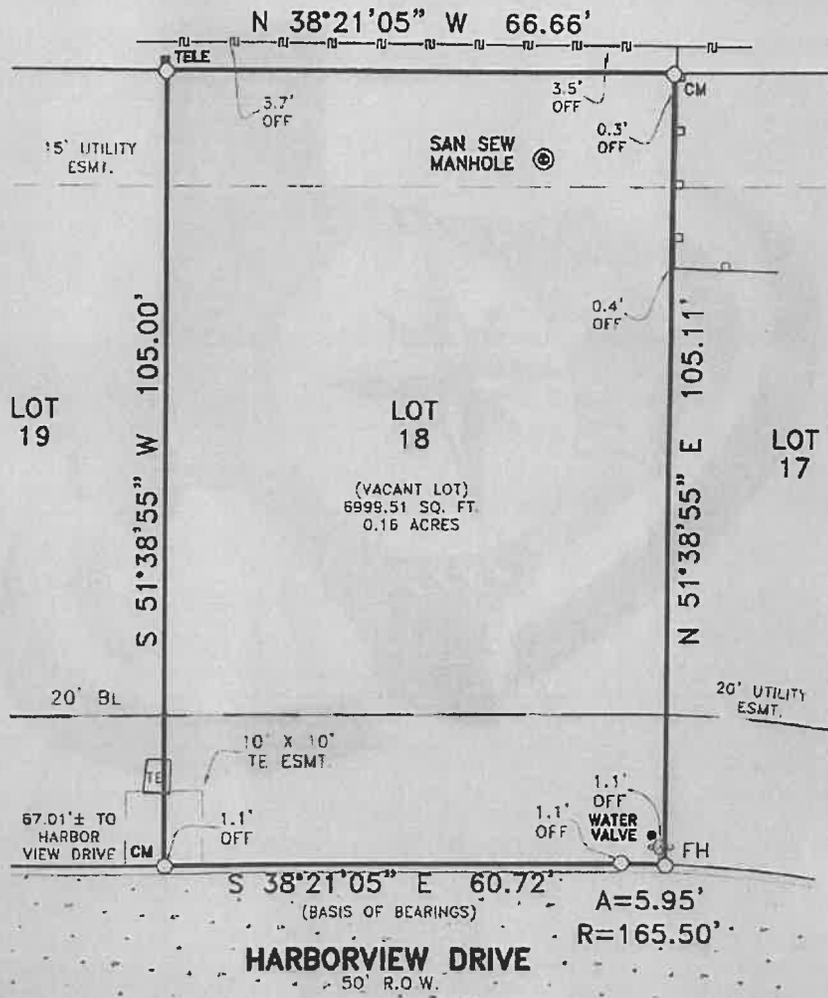
INSURANCE CORPORATION

LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ✦ POINT FOR CORNER
- ✦ FENCE POST FOR CORNER
- CONTROLLING MONUMENT
- CM AIR CONDITIONER
- AC POOL
- PE EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- ||— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /— EDGE OF ASPHALT
- ▲— EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



RAY HUBBARD SMI JV LLC
C.F. NO. 201600022170



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL 112, PG. 546, VOL 174, PG. 46, VOL 608, PG. 127, VOL 649, PG. 73, VOL 743, PG. 58

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
VOL 43, PG. 536, VOL 1875, PG. 42

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Lawyers Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: JRDC/JLM

Scale: 1" = 20'

Date: 08/28/2020

GF No.: LT-19145-1801452000500-KK

Job No. 2016354

CBG
SURVEYING TEXAS LLC

12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.8485
F 214.349.2216
Firm No. 10168800
www.cbgsurvtllo.com



Accepted by: _____
Date: _____
Purchaser

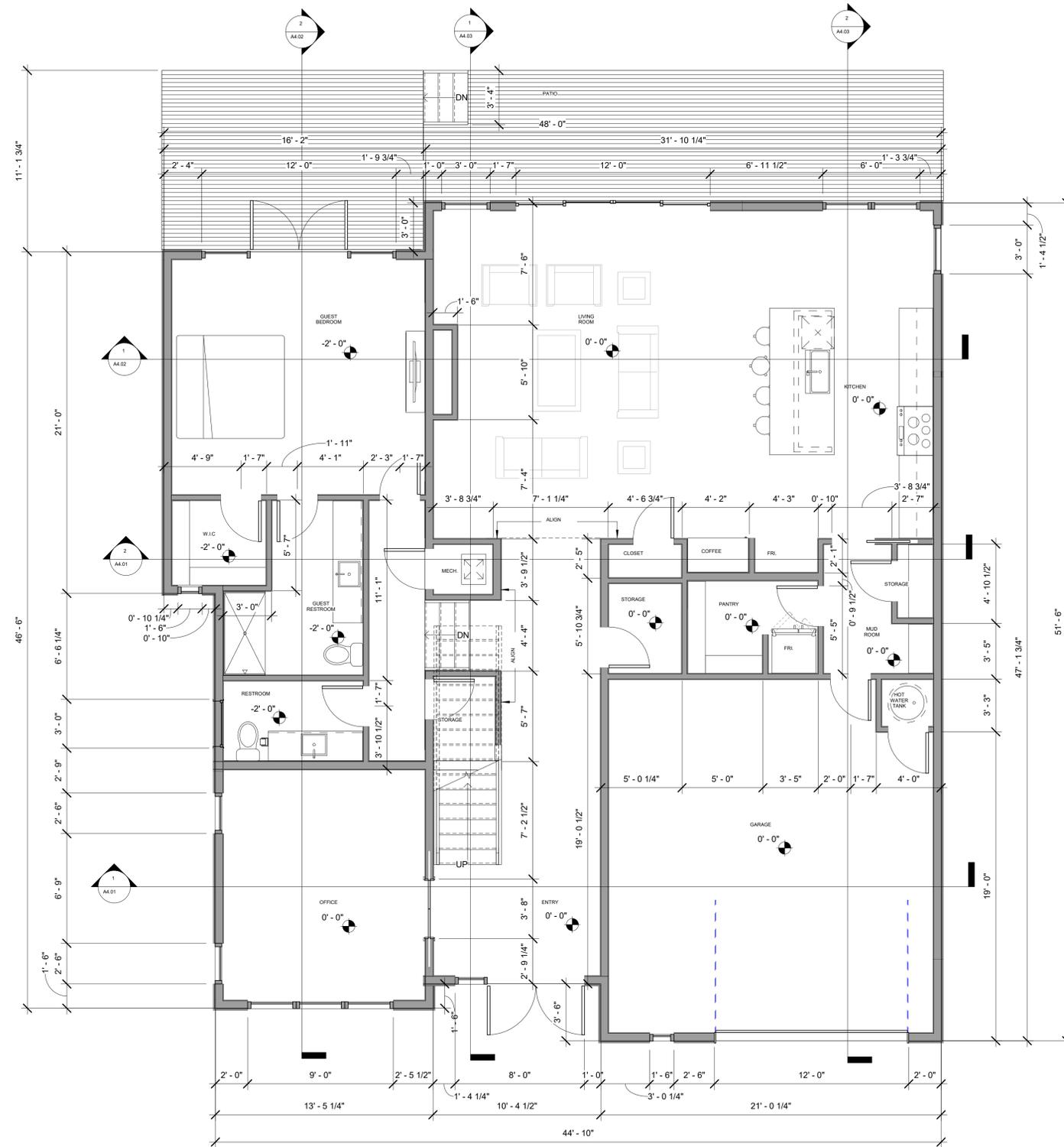
Accepted by: _____
Date: _____
Purchaser

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE FROWELED, BROOMED AND SEALED.
2. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE PLANS. ALL DOORS ARE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. METER RISERS ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
4. SPACE CONTROL JOINTS ON CEILING SHALL BE LIMITED TO MAXIMUM EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING OPTIMUM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 200 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 90° OF JUNCTION DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FLUCCIING. OR SPACE CONTROL JOINTS AT THE CEILING AND WALL. PER THE MANUFACTURER'S RECOMMENDATION FOR CEILING, CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT.
5. REFER TO SHEET AA.XX FOR ROOF NOTES AND FINISHES.
6. REFER TO ROOF PLAN LEGEND ON SHEET AA.XX FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

	EXTERIOR ELEVATION TAG		FURROWDOWN
	WALL SECTION TAG		ASSUMED PROPERTY LINE
	DETAIL SECTION TAG		5 1/2" BRICK / STONE LEDGE
	PARTITION WALL TAG		METER
	DOOR TAG SYMBOL		FINISH FLOOR ELEVATION
	WINDOW TAG SYMBOL		



1 FLOOR PLAN - GROUND LEVEL
1/4" = 1'-0"

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE, ROCKWALL,
TEXAS 75032

Issue	Issue Name	Date

ISSUE FOR PERMIT

Sheet Name	FLOOR PLAN
Original Issue	
Sheet Number	A1.01
Project #	
Project Number	
Drawing Date	08/04/21

ELEVATION NOTES

1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 1" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANES, PROPER GASKETS AND SEALANTS (WHERE REQUIRED) AS REQUIRED SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISJUNCT MATERIALS, MATERIAL TRANSITIONS, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BUILDING, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL INTERIOR FINISHES, BALCONIES AND JOISTS SHALL BE SLOPED 1/8" PER 1' TO MINIMUM DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12' PER IBC 1901.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND MECHANICAL DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.D.
10. ALL EXTERIOR MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM (FACE, HEADERS, BELLS, TRUSS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERHANGS, AND STAIR WING WALLS) TO BE S108 FACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHIA CORNERS, EDGES, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE MATCH OF S108 SHOWROOM SHOWN ON SHIM ROOF OFF FINISHES ON 2025 SYNCHRONISE TAN S107R CYBER SPACE AND DRABO BLACK BEAM. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COUPLERS TO MATCH S108 WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER'S FINISHED COLOR BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHIA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CAVOPI
N1	NICHIA PANEL	H1	GLASS WINDOW
M1	METAL COPPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND

	DOOR TAG		T.O.P. 100'-0"	TOP OF PLATE
	WINDOW TAG		T.O.D. 100'-0"	TOP OF DECK
	WALL SECTION TAG		T.O.H. 100'-0"	TOP OF HEEL
	DETAIL SECTION TAG		T.O.S. 100'-0"	TOP OF SLAB
	SLOPE TAGS		F.F. 100'-0"	FINISH FLOOR



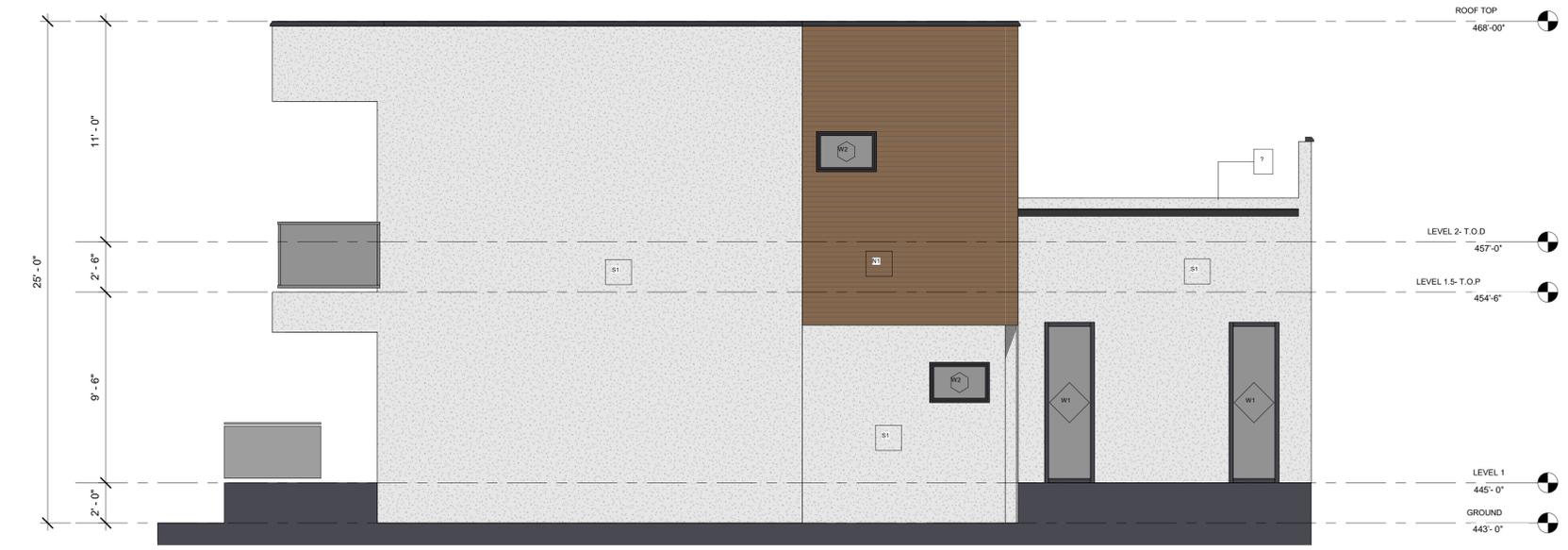
2 BACK ELEVATION
1/4" = 1'-0"



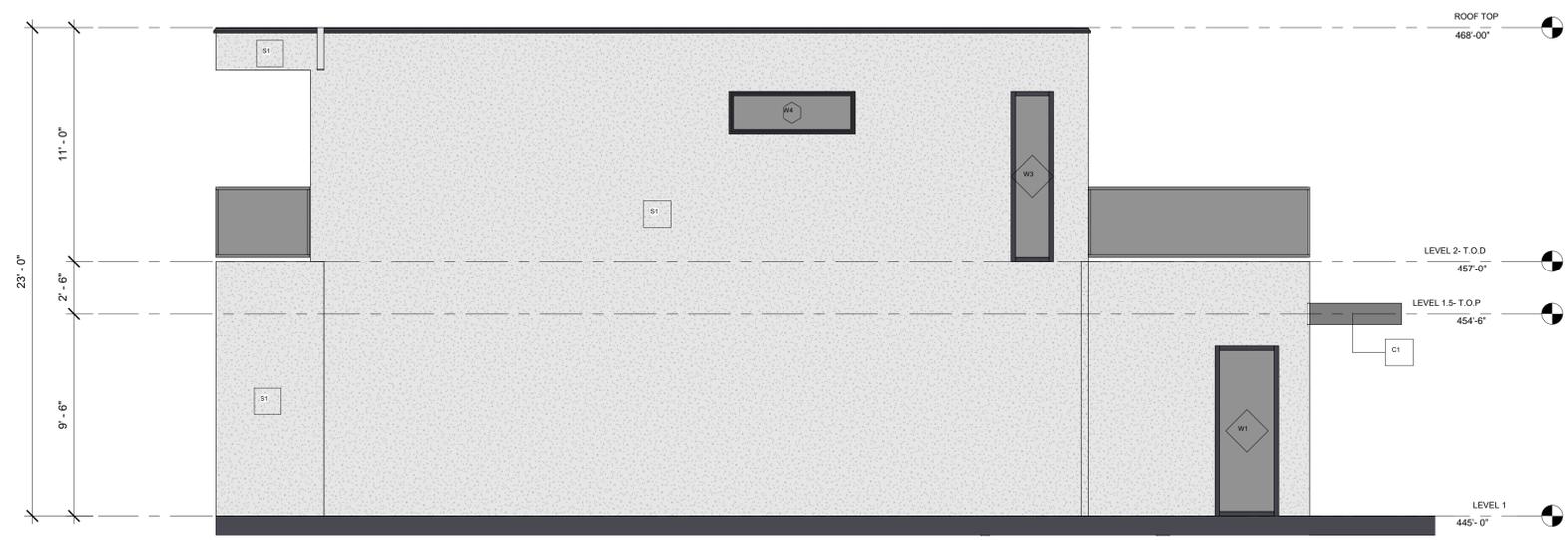
1 FRONT ELEVATION
1/4" = 1'-0"

Issue	Issue Name	Date

Sheet Name	
EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number	
A2.10	
Project #	Drawing Date
Project Number	03/27/22



2 LEFT ELEVATION
1/4" = 1'-0"



1 RIGHT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

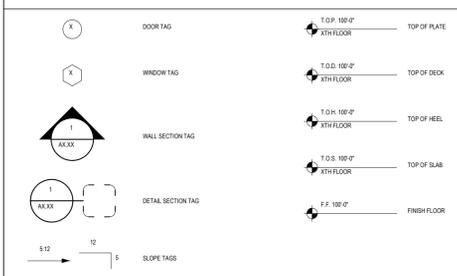
1. PROVIDE 1/2" MINIMUM SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES THREE BOTTOM OF LIGHT FIXTURE IS AT F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS.
4. FLASHING, WATERPROOF MEMBRANES, PROPER GUTTERS AND SEAMING UNDER HOODS AS REQUIRED SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S, ROOFING, HORIZONTAL AND VERTICAL JOINTS OF GRESSE/MAZON, METAL, BRICK, TRANSPARENT TRIM, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BALCONING, ROOF AND EXTERIOR ENVELOPE THAT PROTECTS WATER PROPERLY.
6. ALL PITCHED ROOFS, BALCONIES AND JOISTS MUST BE SLOPED 1/8" PER 1'-0" MINIMUM IN DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 6" MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 1% MIN FOR 12' PER IBC 1901.3.
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND MECHANICAL DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, L.I.N.O.
10. ALL METAL MECHANICAL VENTS BOTH HORIZONTAL AND VERTICAL.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM (FACE, HEADERS, SILLS, TRUSS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERLANDS, AND STAIR WING WALLS) TO BE 5/8" TYPICAL WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM (CORNERS, EDGES, AND CONNECTIONS) TO BE DARK ANTIQUE BRONZE.
3. ELEVATION SERIES CORNERS TO BE FINISH OF 3/8" BRASS BROWNSHOWN SW 3MM RIBBON OFF FINISHES ON 2000 SYNCHRONIC TYP. SMOOTH FINISH SPACE AND DRINKS BLACK BEAN. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHINGS & EXPANSION JOINT COLORED TO MATCH SURROUNDING COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER'S STANDARD COLORS BY ARCHITECT DURING THE SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHIA/METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CAWOPIY
N1	NICHIA PANEL	H1	GLASS WINDOW
M1	METAL COPPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND



Issue	Issue Name	Date

Sheet Name EXTERIOR ELEVATIONS	
Original Issue	
Sheet Number A2.11	
Project #	Drawing Date
Project Number	04/24/22

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1519-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 18, BLOCK B, OF THE HARBOR LANDING PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1519-acre parcel of land identified as Lot 18, Block B, of the Harbor Landing Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 7 (SF-7) District land uses, addressed as 303 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF OCTOBER, 2023.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 18, 2023

2nd Reading: October 2, 2023

Exhibit 'A':
Location Map and Residential Plot Plan

Address: 303 Harborview Drive

Legal Description: Lot 18, Block B, Harbor Landing Phase 2 Addition

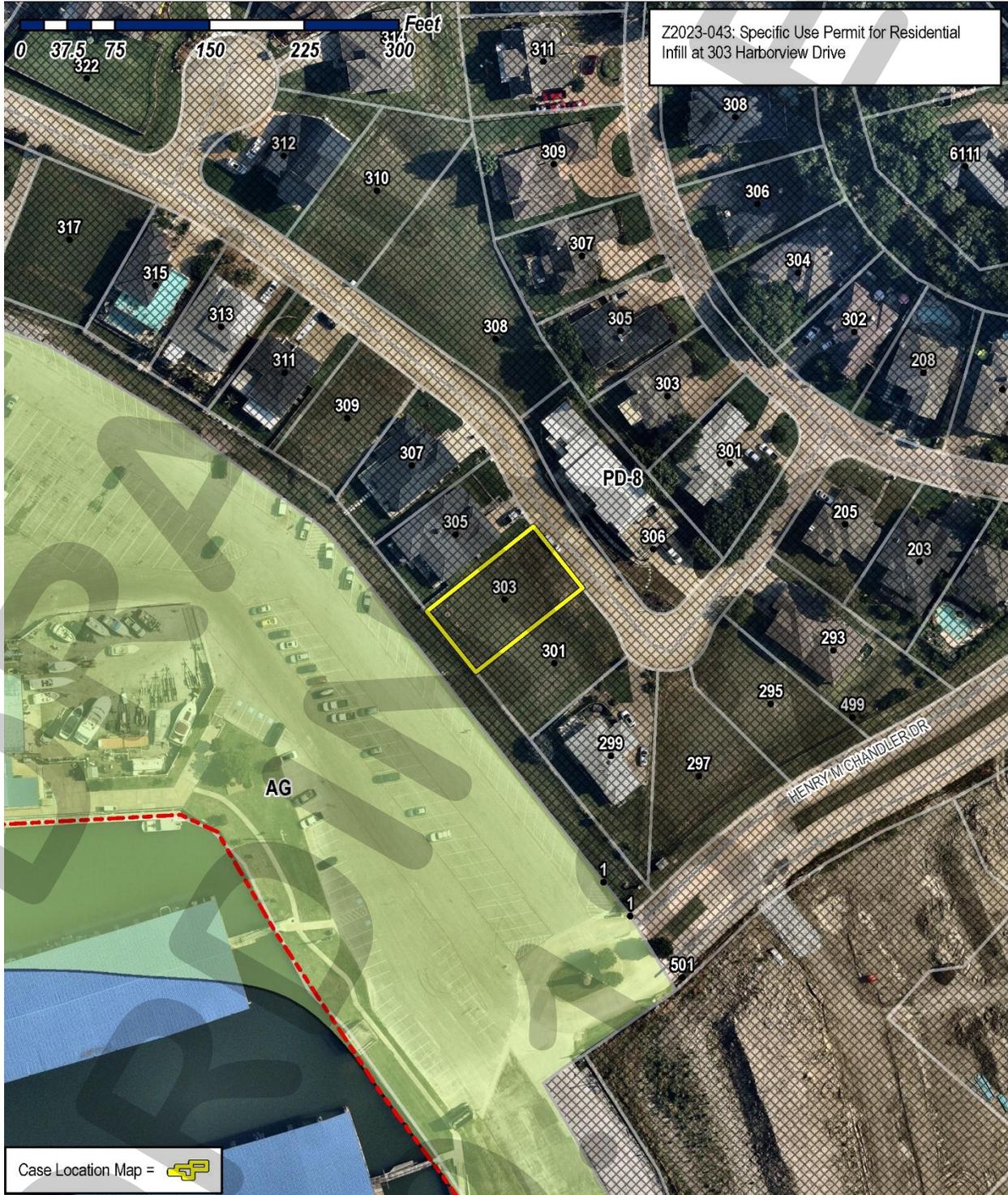
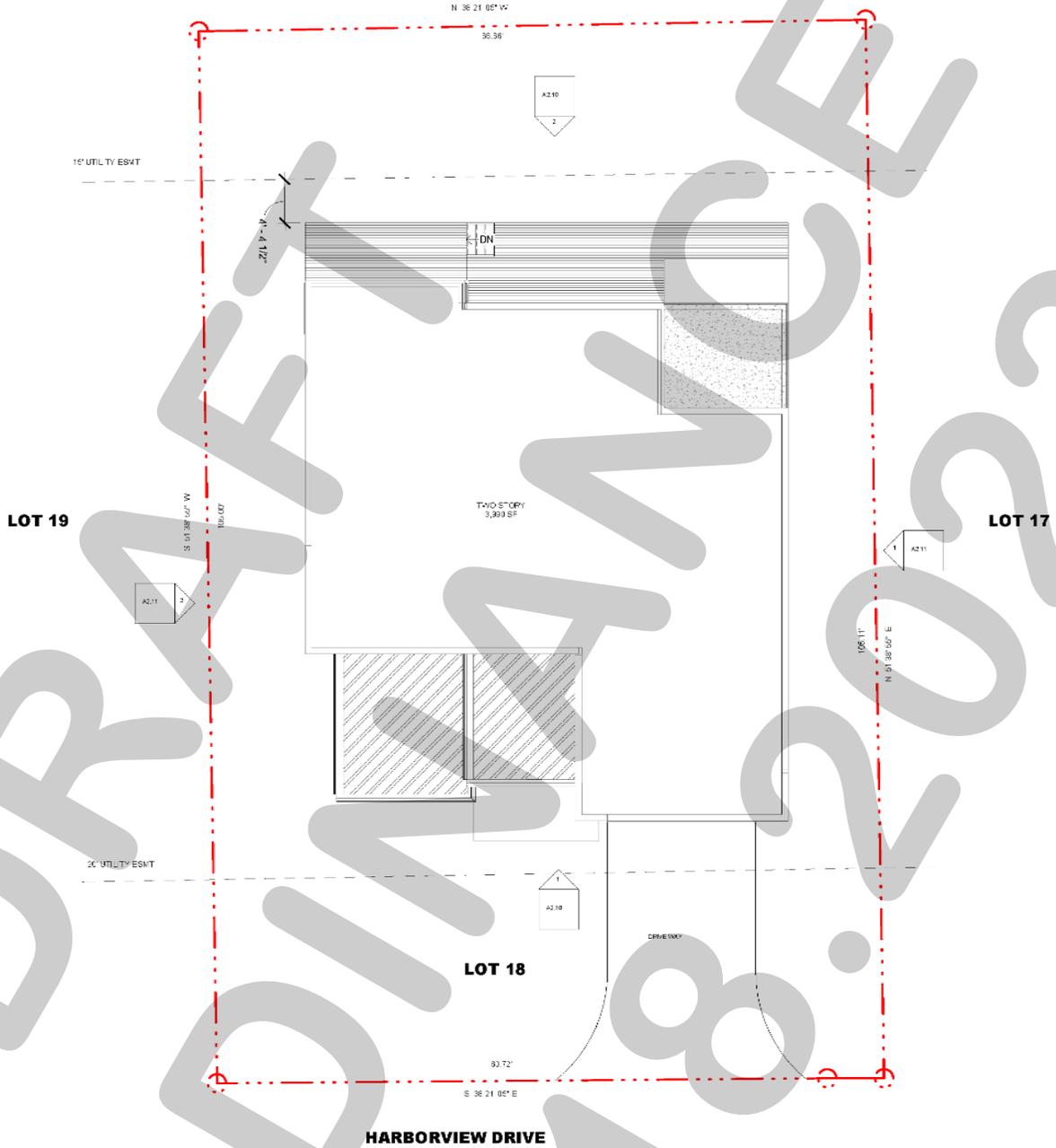
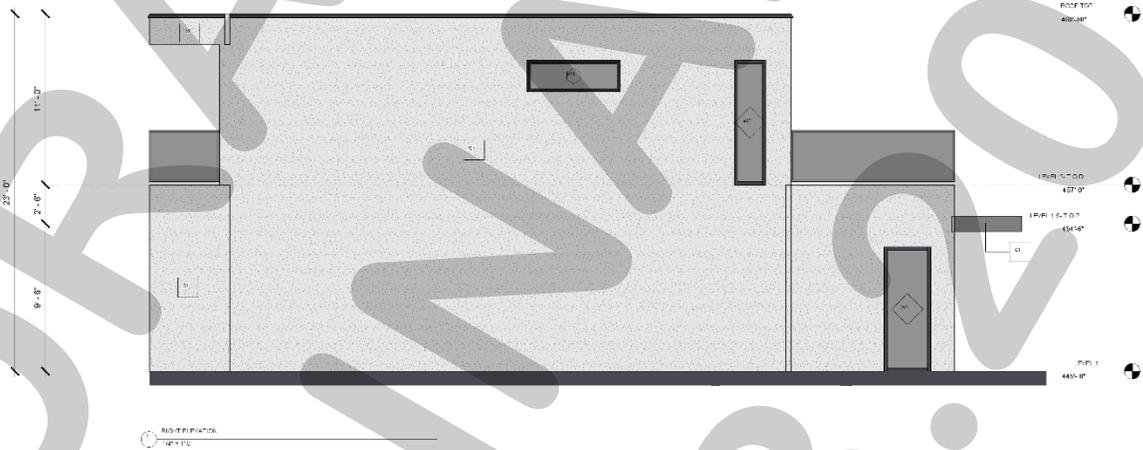


Exhibit 'A':
Location Map and Residential Plot Plan



**Exhibit 'B':
Building Elevations**





October 5, 2023

TO: Angelina Nguyen
1025 Lake Ridge Drive
Richardson, TX 75081

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2023-043; *Specific Use Permit (SUP) 303 Harborview Drive*

Angelina Nguyen:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on October 2, 2023. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance; and,
 - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

Planning and Zoning Commission

On September 12, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the SUP by a vote of 6-0, with Commissioner Womble absent.

City Council

On October 2, 2023, the City Council approved a motion to approve the SUP by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 23-58, S-317*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6434.

Sincerely,

A handwritten signature in black ink, appearing to read 'Henry Lee', is written over a horizontal line.

Henry Lee, AICP, *Senior Planner*
City of Rockwall Planning and Zoning Department