



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS La Jolla Pointe Drive

SUBDIVISION La Jolla Pointe Addition

LOT 22

BLOCK A

GENERAL LOCATION Corner of La Jolla Pointe Drive & Carmel Circle

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE vacant

PROPOSED ZONING Specific Use Permit (SUP)

PROPOSED USE office

ACREAGE 4.2837

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 36 Wagon Road, LLC

APPLICANT Rockwall Economic Development Corporation

CONTACT PERSON Paul Liechty

CONTACT PERSON Matt Wavering

ADDRESS 502 Terry Lane

ADDRESS 2610 Observation Trl, Suite 104

CITY, STATE & ZIP Heath, TX 75032

CITY, STATE & ZIP Rockwall, TX 75032

PHONE

PHONE 972-772-0025

E-MAIL drpliechty@gmail.com

E-MAIL mwavering@rockwalledc.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Liechty, Manager [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

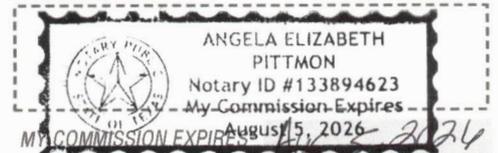
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$264.26 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF November, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7 DAY OF November, 2023

OWNER'S SIGNATURE

Paul Liechty
Angela Elizabeth Pittmon

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





November 13, 2023

Ryan Miller
Director of Planning
City of Rockwall
385 S. Goliad Street,
Rockwall, TX 75087

Re: La Jolla Pointe Drive

Mr. Miller:

Enclosed you will find an application and supporting documents requesting that the Planning and Zoning Commission and City Council grant a Specific Use Permit (SUP) on the 9.9406-acre tract of land located on La Jolla Pointe Drive in Rockwall. The Rockwall Economic Development Corporation (REDC) has contracts to purchase the two parcels of land and has been performing due diligence and planning exercises over the past several months.

The REDC intends to utilize the property to attract "Class-A" corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall. In order to attract the tenants and the significant tax value investment desired by the REDC, we are proposing office projects that will be vertical in nature, which we feel will be of superior quality than the standard one or two-story garden-style office buildings that are more commonly seen without public involvement.

The provided cross-sections show a potential maximum building height of 120 feet above grade. Therefore, the zoning requires an amendment to allow for building heights up to 120 feet, as well as the FAR (floor area ratio) to accommodate office buildings of this scale. Please note that the property grade is approximately 12 feet below the elevation of Ridge Road and 13 feet below the elevation of Carmel Circle. Furthermore, the site's elevation is 20 feet or more below the Ridge Road elevation.

It is worth noting that the REDC is strictly governed by state statute as well as oversight provided by a Board of Directors of Rockwall residents appointed by the Rockwall City Council. You may rest-assured that the future development of this property will be of the highest-quality, will adhere to City of Rockwall development standards, and will support business enterprise and local employment alike. Furthermore, the REDC is highly selective in its recruiting efforts and therefore will be patient in the development of this property, not wishing to compromise on quality for an expedient development. Due to this fact, the REDC requests that the SUP remains effective for a period of no less than 10 years in order to provide ample time for marketing and attraction efforts.

The REDC kindly requests this SUP to facilitate the development of this property for the purposes of high-quality corporate office development.

Respectfully,

A handwritten signature in black ink, appearing to read "Matt Wavering". The signature is fluid and cursive, with a large loop at the end.

Matt Wavering
Vice President

FLOOD STATEMENT:

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0040L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

RECORD PROPERTY DESCRIPTION

"TRACT 1"

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 23, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

"TRACT 2"

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 22, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

NOTES ADDRESSING SCHEDULE B EXCEPTIONS:

AS TO "TRACT 1" DESCRIBED ABOVE:

(Pursuant to Commitment for Title Insurance, issued by Fidelity National Title Insurance Company, GF, No. LT-19124-1901242300245, effective date July 11, 2023, issued July 5, 2023.)

- 1. The surveyed property is all of Lots 22 and 23, Block A of La Jolla Pointe Addition, recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas.
- 10f. The following easements and/or building lines and other matters shown on the plat recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas:
 - a) Detention Pond Easement as shown hereon;
 - b) 20' Drainage and Retaining Wall Easement as shown hereon;
 - c) 10' Utility Easement as shown hereon.
- 10g. Water Easement to the City of Rockwall, recorded in Volume 105, Page 870, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10h. Water Easement to the City of Rockwall, recorded in Volume 124, Page 937, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10i. Utility Easement to the City of Rockwall, recorded in Volume 5162, Page 190, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.

AS TO "TRACT 2" DESCRIBED ABOVE:

(Pursuant to Commitment for Title Insurance, issued by First American Title Insurance Company, GF, No. 1002-386489-RTT, effective date August 29, 2023, issued September 12, 2023.)

- 10e. The following easements and/or building lines, as shown on plat recorded in Instrument No. 20200000017593, Official Public Records, Rockwall County, Texas:
 - Detention pond easement as shown hereon.
- 10f. The surveyed property is a portion of the property described in Instrument No. 20180000009623, Official Public Records, Rockwall County, Texas. Utility Easement and Drainage Easement described in said Instrument as shown hereon.
- 10g. The 15-foot Sanitary Sewer Easement, recorded in Cabinet E, Page 279, Plat Records, Rockwall County, Texas, as shown hereon.

SURVEYORS CERTIFICATION:

To: ROUND ROCK LAND COMPANY LLC;
AKSHA 10, LLC;
36 WAGON ROAD, LLC;
FIDELITY NATIONAL TITLE INSURANCE COMPANY;
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION;
FWT DEVELOPMENT LLC, A TEXAS LIMITED LIABILITY COMPANY;
FIRST AMERICAN TITLE INSURANCE COMPANY;
REPUBLIC TITLE OF TEXAS, INC.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 8, 9, 13, 16 and 19 of Table A thereof. The field work was completed on August 25, 2023.

 09/15/2023 Date
Craig D. Bartosh
Registered Professional Land Surveyor No. 6459
Kimley-Horn and Associates, Inc.
13455 Noel Road
Two Galleria Office Tower, Suite 700
Dallas, Texas 75240
Ph. (972) 770-1300
craig.bartosh@kimley-horn.com



ALTA/NSPS LAND TITLE SURVEY
TRACT 1 - 5.6569 ACRES
TRACT 2 - 4.2837 ACRES
WILLIAM BLEVINS SURVEY,
ABSTRACT NO. 9
JAMES SMITH SURVEY,
ABSTRACT NO. 200
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

Kimley»Horn

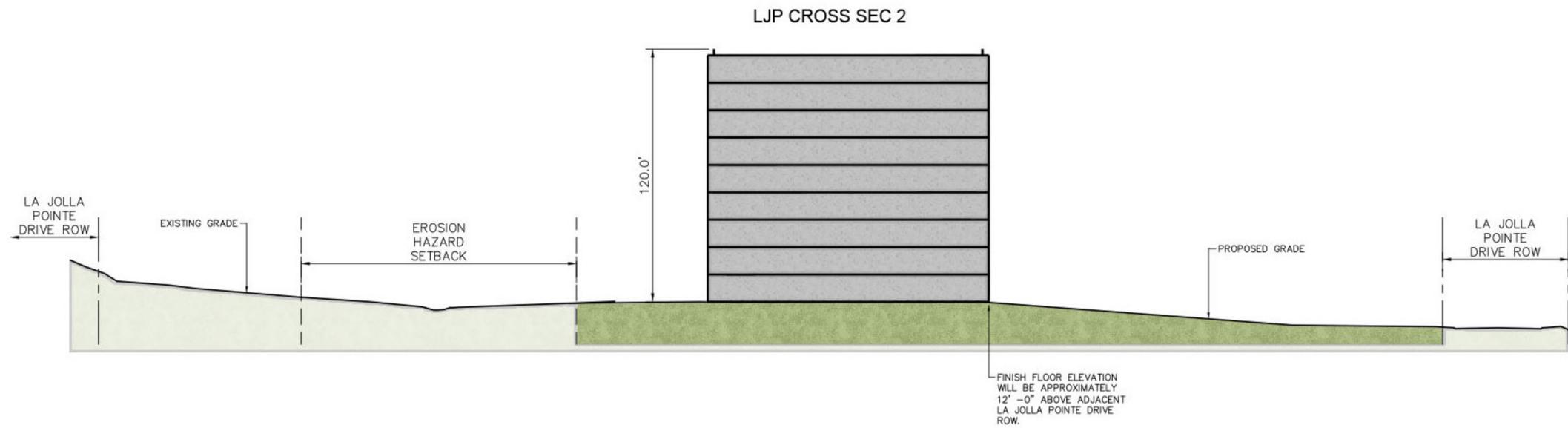
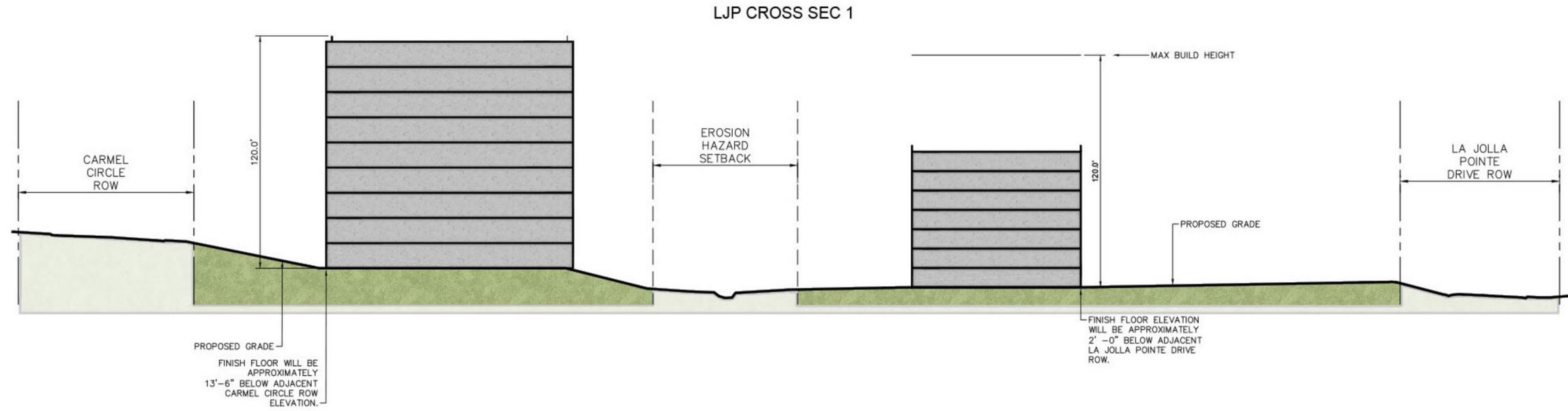
13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	GDW	CDB	Sep. 2023	064584402	2 OF 2

CONCEPT SITE PLAN



CONCEPT SITE SECTION





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
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STAFF USE ONLY

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LOTS [PROPOSED]

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PHONE 972-772-0025

E-MAIL drpliechty@gmail.com

E-MAIL mwavering@rockwalledc.com

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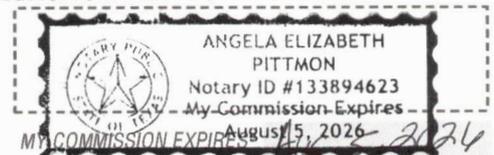
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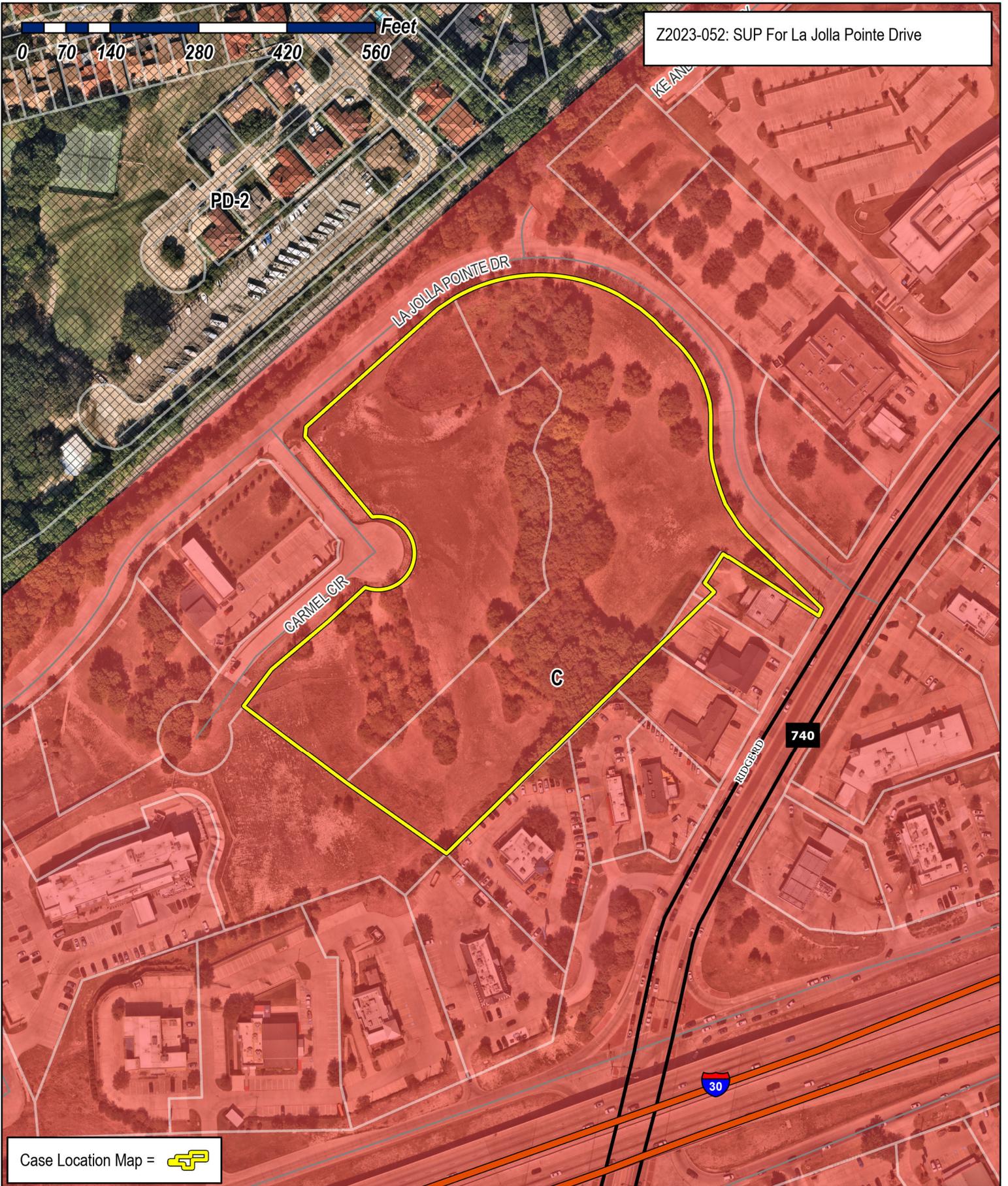
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7 DAY OF November, 2023

OWNER'S SIGNATURE

Paul Liechty
Angela Elizabeth Pittmon

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-052: SUP For La Jolla Pointe Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

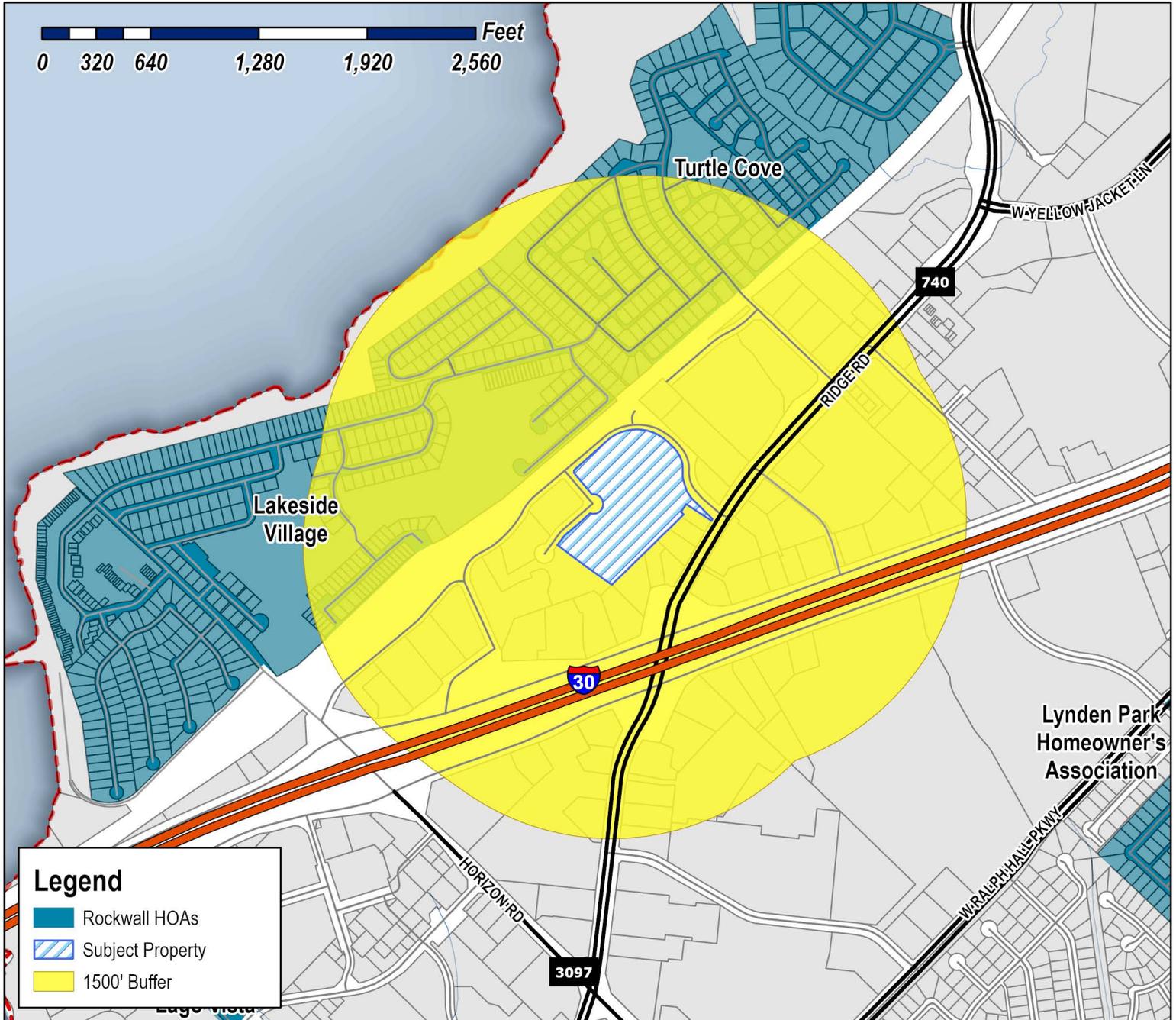




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Case Number: Z2023-052
Case Name: SUP for La Jolla Pointe Drive
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: La Jolla Pointe Drive

Date Saved: 11/13/2023
 For Questions on this Case Call (972) 771-7745

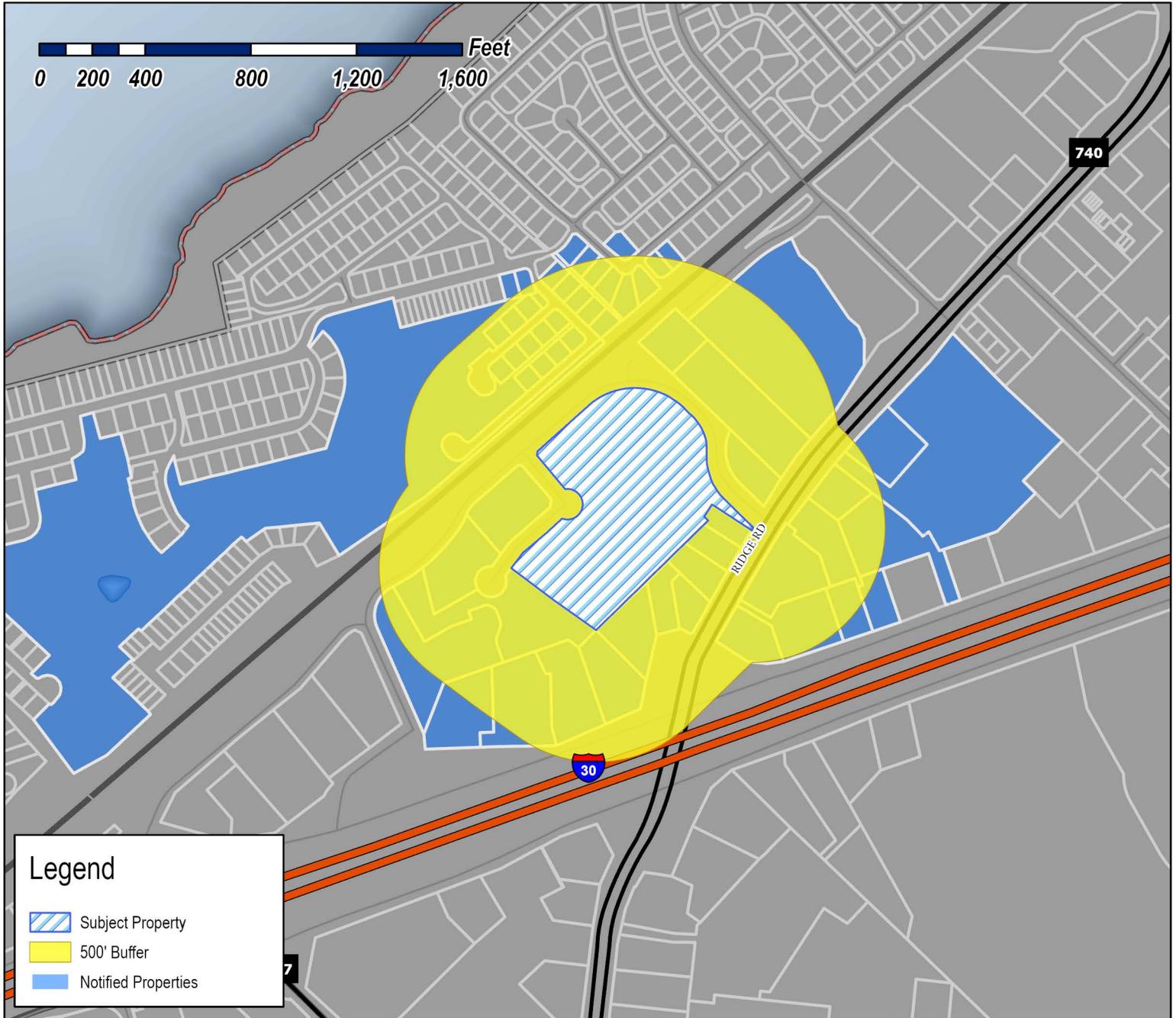




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Case Number: Z2023-052
Case Name: SUP for La Jolla Pointe Drive
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: La Jolla Pointe Drive

Date Saved: 11/13/2023

For Questions on this Case Call: (972) 771-7746



SPARKS TANA J
1000 SPARKS DR
FATE, TX 75087

SHIPMAN FIRE GROUP INC
1020 LA JOLLA POINTE DRIVE
ROCKWALL, TX 75087

TURTLE COVE RESIDENTIAL ASSOC INC
C/O NEIGHBORHOOD MANAGEMENT
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

STEAK N SHAKE OPERATIONS, INC
C/O THE STEAK N SHAKE COMPANY
107 S PENNSYLVANIA ST SUITE 400
INDIANAPOLIS, IN 46204

TOLKACHJOV HOLDINGS ROCKWALL LLC
1105 LADY DE VANCE LN
LEWISVILLE, TX 75056

BOLD LLC
121 WYLER DR
DAKOTA, IL 61018

RESIDENT
1600 LA JOLLA POINTE DR
ROCKWALL, TX 75087

TRITON I-30 ROCKWALL LLC
1845 WOODALL ROGERS FREEWAY, SUITE 1100
DALLAS, TX 75201

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

2424 MTA REALTY LLC
2424 RIDGE ROAD
ROCKWALL, TX 75087

RESIDENT
2455 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2475 RIDGE RD
ROCKWALL, TX 75087

ESTATE OF DR RICHARD L BROOKS
2504 RIDGE RD STE 107
ROCKWALL, TX 75087

BROOKS RICHARD L MD
2504 RIDGE RD STE 101
ROCKWALL, TX 75087

AKSHAR 10 LLC
2508 SAM SCHOOL ROAD
SOUTHLAKE, TX 76092

RESIDENT
2510 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2535 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2545 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2555 RIDGE RD
ROCKWALL, TX 75087

BELAC PROPERTIES LLC
2600 RIDGE RD STE 102
ROCKWALL, TX 75087

BROOKS TIM
2602 RIDGE ROAD SUITE 1
ROCKWALL, TX 75087

RESIDENT
2604 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2608 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2610 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2616 RIDGE RD
ROCKWALL, TX 75087

2455 RIDGE LLC
2701 CUSTER PARKWAY SUITE 706
RICHARDSON, TX 75080

HALL JUSTIN KIMBELL
2902 PRESTON TRAIL
ROCKWALL, TX 75087

MARLEY KELLE AND CLAYTON D
2904 PRESTON TRAIL
ROCKWALL, TX 75087

DUCHARME JASON
2906 PRESTON TRAIL
ROCKWALL, TX 75087

LEE GREGORY P AND LAUREN W
2908 PRESTON TRAIL
ROCKWALL, TX 75087

KESTER SEAN AND MISTI
2910 PRESTON TRAIL
ROCKWALL, TX 75087

EHLERT GORDON W & LINDA K
3001 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3002 PRESTON TR
ROCKWALL, TX 75087

TURNER CECE
3002 PRESTON CT
ROCKWALL, TX 75087

SANCHEZ ENEIDA
3003 LAKESIDE DR
ROCKWALL, TX 75087

ROGERS GENTRY
3003 PRESTON COURT
ROCKWALL, TX 75087

RESIDENT
3004 PRESTON TR
ROCKWALL, TX 75087

MILLER KATHLEEN PALMER
3004 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3005 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3006 PRESTON TR
ROCKWALL, TX 75087

HAMBLEY DAVID L JR & CAROL A
3006 PRESTON COURT
ROCKWALL, TX 75087

CHILDRESS DENNIS K JR & HILARY
3007 LAKESIDE DR
ROCKWALL, TX 75087

BURK CATHERINE & HOWARD T
3007 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3008 PRESTON TR
ROCKWALL, TX 75087

ZUMWALT HAROLD J & VICKY
3009 PRESTON CT
ROCKWALL, TX 75087

GANCI GLENN
305 DREW LN
HEATH, TX 75032

LOTL HOLDINGS LLC
320 PORTVIEW PLACE
ROCKWALL, TX 75032

RESIDENT
4100 VILLAGE DR
ROCKWALL, TX 75087

ROBERTS JAMES F
4112 VILLAGE DR
ROCKWALL, TX 75087

QSR 30 LAND LLC
4515 LBJ FREEWAY
DALLAS, TX 75224

CBAX PROPERTIES LLC
465 W PRESIDENT GEORGE BUSH HWY
RICHARDSON, TX 75080

36 WAGON ROAD, LLC
502 TERRY LANE
HEATH, TX 75032

36 WAGON ROAD, LLC
502 TERRY LANE
HEATH, TX 75032

RESIDENT
550 LA JOLLA DR
ROCKWALL, TX 75087

RESIDENT
550 VIGOR WAY
ROCKWALL, TX 75087

RESIDENT
550 E I30
ROCKWALL, TX 75087

RESIDENT
560 E I30
ROCKWALL, TX 75087

RESIDENT
568 E I30
ROCKWALL, TX 75087

RESIDENT
578 E I30
ROCKWALL, TX 75087

ROCKWALL CORNER CORPORATION
600 E I-30
ROCKWALL, TX 75087

RESIDENT
610 I30
ROCKWALL, TX 75087

ROCKWALL INNKEEPERS I LTD
6176 FM 2011
LONGVIEW, TX 75603

ROCKWALL INNKEEPERS I LTD
6176 FM 2011
LONGVIEW, TX 75603

RESIDENT
630 I 30
ROCKWALL, TX 75087

ZASTROW BRADLEY L & SANDRA D
641 CHANNEL RIDGE DR
ROCKWALL, TX 75087

COGDELL CHELSEA ANNE
645 CHANNEL RIDGE DRIVE
ROCKWALL, TX 75087

SVRCEK JOSEPH T
649 CHANNEL RIDGE DR
ROCKWALL, TX 75087

PAUL'S KWIK KAR INC
650 E INTERSTATE 30
ROCKWALL, TX 75087

MCCOY RAYMOND & BELVA
653 CHANNEL RIDGE DR
ROCKWALL, TX 75087

RESIDENT
657 CHANNEL RIDGE DR
ROCKWALL, TX 75087

ALLEN TEXAS WHITE TIGER CORPORATION
853 BEAR CROSSING DRIVE
ALLEN, TX 75013

MCDONALDS CORP (398/42)
C/O KEVA CHILDRESS
935 W RALPH HALL PKWY #101
ROCKWALL, TX 75032

SANDERS JOLINDA
950 BRIAR OAKS DRIVE
ROCKWALL, TX 75087

FIELDS TODD H AND NANCY E
954 BRIAR OAKS DR
ROCKWALL, TX 75087

GERRALD SCOTT W & JUDY A
955 BRIAR OAK DR
ROCKWALL, TX 75087

WILLIAMS KYLIE J
958 BRIAR OAK DR
ROCKWALL, TX 75087

JAGH HOSPITALITY LP
996 E I-30
ROCKWALL, TX 75087

ROBERT H FAMILY TRUST AND BMK FIN CORP
AND
SHERRI LANE HEWETT AND SUSAN LYNNE
HEWETT LUCAS
C/O IHOP ATTN HAKIM REMA P. O. BOX 12168
DALLAS, TX 75225

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE H O ASSOC
P.O. BOX 650255
DALLAS, TX 75265

B&M ALPHA INC
PO BOX 171754
ARLINGTON, TX 76003

ROCKWALL II PROPERTIES LLC
PO BOX 630768
HOUSTON, TX 77263

WAFFLE HOUSE INC
ATTN: TAX DEPT
PO BOX 6450
NORCROSS, GA 30091



November 13, 2023

Ryan Miller
Director of Planning
City of Rockwall
385 S. Goliad Street,
Rockwall, TX 75087

Re: La Jolla Pointe Drive

Mr. Miller:

Enclosed you will find an application and supporting documents requesting that the Planning and Zoning Commission and City Council grant a Specific Use Permit (SUP) on the 9.9406-acre tract of land located on La Jolla Pointe Drive in Rockwall. The Rockwall Economic Development Corporation (REDC) has contracts to purchase the two parcels of land and has been performing due diligence and planning exercises over the past several months.

The REDC intends to utilize the property to attract "Class-A" corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall. In order to attract the tenants and the significant tax value investment desired by the REDC, we are proposing office projects that will be vertical in nature, which we feel will be of superior quality than the standard one or two-story garden-style office buildings that are more commonly seen without public involvement.

The provided cross-sections show a potential maximum building height of 120 feet above grade. Therefore, the zoning requires an amendment to allow for building heights up to 120 feet, as well as the FAR (floor area ratio) to accommodate office buildings of this scale. Please note that the property grade is approximately 12 feet below the elevation of Ridge Road and 13 feet below the elevation of Carmel Circle. Furthermore, the site's elevation is 20 feet or more below the Ridge Road elevation.

It is worth noting that the REDC is strictly governed by state statute as well as oversight provided by a Board of Directors of Rockwall residents appointed by the Rockwall City Council. You may rest-assured that the future development of this property will be of the highest-quality, will adhere to City of Rockwall development standards, and will support business enterprise and local employment alike. Furthermore, the REDC is highly selective in its recruiting efforts and therefore will be patient in the development of this property, not wishing to compromise on quality for an expedient development. Due to this fact, the REDC requests that the SUP remains effective for a period of no less than 10 years in order to provide ample time for marketing and attraction efforts.

The REDC kindly requests this SUP to facilitate the development of this property for the purposes of high-quality corporate office development.

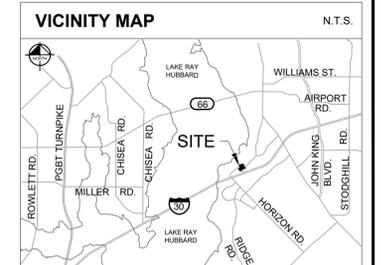
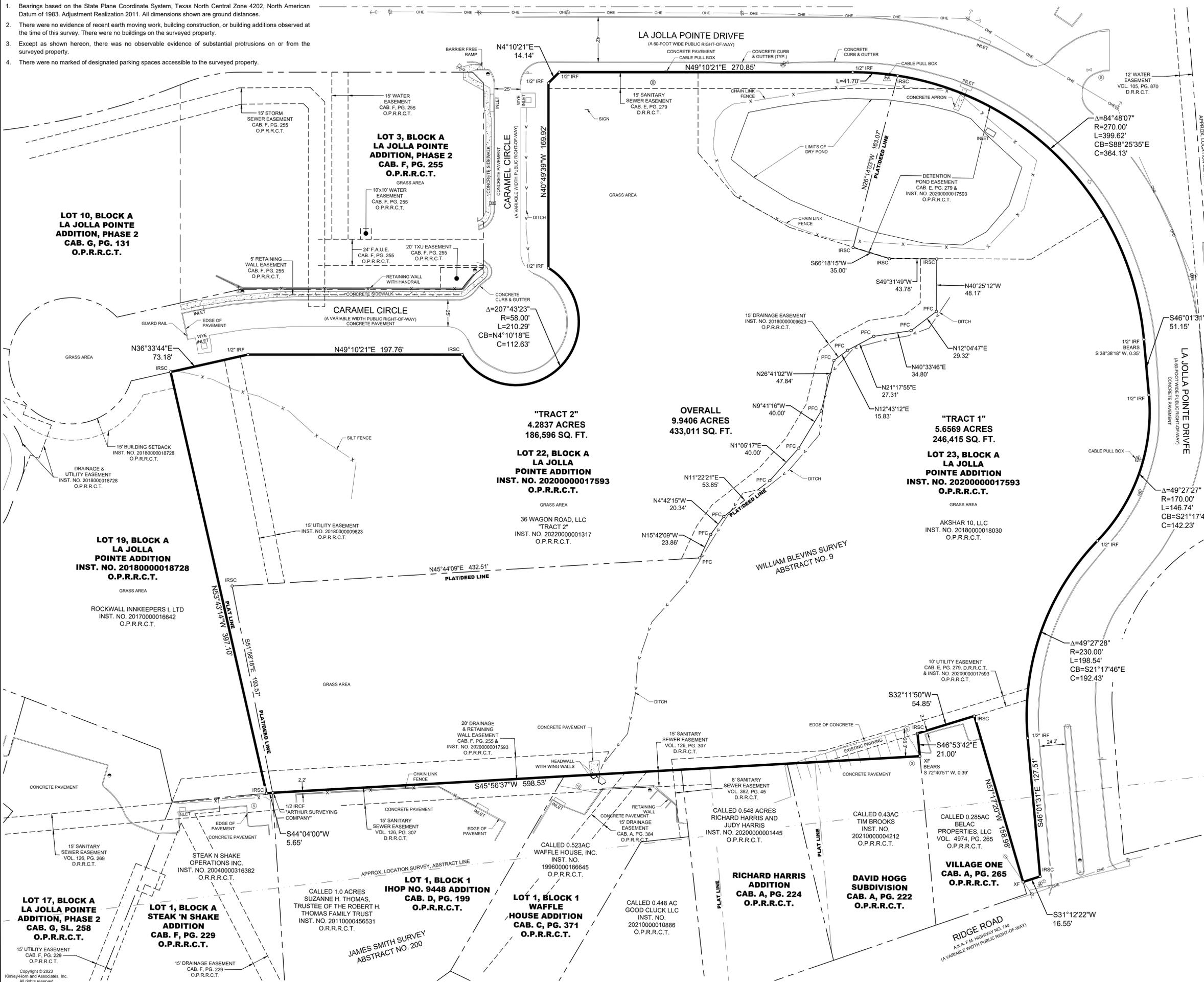
Respectfully,

A handwritten signature in black ink, appearing to read "Matt Wavering". The signature is fluid and cursive, with a large loop at the end.

Matt Wavering
Vice President

NOTES:

- Bearings based on the State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011. All dimensions shown are ground distances.
- There were no evidence of recent earth moving work, building construction, or building additions observed at the time of this survey. There were no buildings on the surveyed property.
- Except as shown hereon, there was no observable evidence of substantial protrusions on or from the surveyed property.
- There were no marked of designated parking spaces accessible to the surveyed property.



LEGEND

☐	ROOF DRAIN	☐	MAIL BOX
☐	CABLE TV BOX	☐	NEWS STAND
☐	CABLE TV HANDHOLE	☐	PHONE BOOTH
☐	CABLE TV MARKER FLAG	☐	SECURITY CAMERA
☐	CABLE TV MARKER SIGN	☐	TRASH BIN
☐	COMMUNICATIONS BOX	☐	SANITARY SEWER CLEAN OUT
☐	COMMUNICATIONS HANDHOLE	☐	SANITARY SEWER HANDHOLE
☐	COMMUNICATIONS MARKER FLAG	☐	SANITARY SEWER LET STATION
☐	COMMUNICATIONS MARKER SIGN	☐	SANITARY SEWER METER
☐	COMMUNICATIONS VAULT	☐	SANITARY SEWER METER SIGN
☐	ELEVATION BENCHMARK	☐	SANITARY SEWER SEPTIC TANK
☐	FLOW DIRECTION	☐	SANITARY SEWER VAULT
☐	FIBER OPTIC BOX	☐	STORM SEWER BOX
☐	FIBER OPTIC HANDHOLE	☐	STORM SEWER CLEAN OUT
☐	FIBER OPTIC MARKER FLAG	☐	STORM SEWER HANDHOLE
☐	FIBER OPTIC MARKER SIGN	☐	STORM SEWER METER
☐	FIBER OPTIC VAULT	☐	STORM SEWER METER SIGN
☐	MONITORING WELL	☐	STORM SEWER MARKER FLAG
☐	FUEL TANK	☐	STORM SEWER MARKER SIGN
☐	GAS BOX	☐	STORM SEWER VAULT
☐	GAS HANDHOLE	☐	STORM SEWER
☐	GAS METER	☐	STORM SEWER CLEAN OUT
☐	GAS MARKER FLAG	☐	STORM SEWER HANDHOLE
☐	GAS MARKER SIGN	☐	STORM SEWER METER
☐	GAS SIGN	☐	STORM SEWER METER SIGN
☐	GAS TANK	☐	STORM SEWER MARKER FLAG
☐	GAS VAULT	☐	STORM SEWER MARKER SIGN
☐	GAS WELL	☐	STORM SEWER VAULT
☐	TELEPHONE BOX	☐	TRAFFIC SIGNAL
☐	TELEPHONE HANDHOLE	☐	TRAFFIC SIGNAL
☐	TELEPHONE MARKER FLAG	☐	TRAFFIC SIGNAL
☐	TELEPHONE MARKER SIGN	☐	TRAFFIC SIGNAL
☐	TELEPHONE VAULT	☐	TRAFFIC SIGNAL
☐	PIPELINE BOX	☐	UNIDENTIFIED MARKER SIGN
☐	PIPELINE HANDHOLE	☐	UNIDENTIFIED MARKER SIGN
☐	PIPELINE METER	☐	UNIDENTIFIED MARKER SIGN
☐	PIPELINE MARKER FLAG	☐	UNIDENTIFIED MARKER SIGN
☐	PIPELINE MARKER SIGN	☐	UNIDENTIFIED MARKER SIGN
☐	PIPELINE VAULT	☐	UNIDENTIFIED MARKER SIGN
☐	PIPELINE VALVE	☐	UNIDENTIFIED MARKER SIGN
☐	ELECTRIC BOX	☐	UNIDENTIFIED MARKER SIGN
☐	ELECTRIC METER	☐	UNIDENTIFIED MARKER SIGN
☐	ELECTRIC METER SIGN	☐	UNIDENTIFIED MARKER SIGN
☐	ELECTRIC MARKER FLAG	☐	UNIDENTIFIED MARKER SIGN
☐	ELECTRIC MARKER SIGN	☐	UNIDENTIFIED MARKER SIGN
☐	ELECTRIC VAULT	☐	UNIDENTIFIED MARKER SIGN
☐	ELECTRIC SWITCH	☐	UNIDENTIFIED MARKER SIGN
☐	ELECTRIC TRANSFORMER	☐	UNIDENTIFIED MARKER SIGN
☐	ELECTRIC VAULT	☐	UNIDENTIFIED MARKER SIGN
☐	HANDICAPPED PARKING	☐	UNIDENTIFIED MARKER SIGN
☐	PARKING METER	☐	UNIDENTIFIED MARKER SIGN
☐	RAILROAD BOX	☐	UNIDENTIFIED MARKER SIGN
☐	RAILROAD HANDHOLE	☐	UNIDENTIFIED MARKER SIGN
☐	RAILROAD SIGN	☐	UNIDENTIFIED MARKER SIGN
☐	RAILROAD VAULT	☐	UNIDENTIFIED MARKER SIGN
☐	SIGN	☐	UNIDENTIFIED MARKER SIGN
☐	MARKER/REBAR/BOARD	☐	UNIDENTIFIED MARKER SIGN
☐	A/C UNIT	☐	UNIDENTIFIED MARKER SIGN
☐	BASKET BALL GOAL	☐	UNIDENTIFIED MARKER SIGN
☐	BONE LOCATION	☐	UNIDENTIFIED MARKER SIGN
☐	FLAG POLE	☐	UNIDENTIFIED MARKER SIGN
☐	GOAL POST	☐	UNIDENTIFIED MARKER SIGN
☐	GRAVE TRAP	☐	UNIDENTIFIED MARKER SIGN
☐	IRRIGATION VALVE	☐	UNIDENTIFIED MARKER SIGN

LINE TYPE LEGEND

—	BOUNDARY LINE
- - -	FENCE
—+—	CONCRETE PAVEMENT
—	FLOW LINE
—	PROPERTY/ADJACENT LINE



ALTA/NSPS LAND TITLE SURVEY
TRACT 1 - 5.6569 ACRES
TRACT 2 - 4.2837 ACRES
WILLIAM BLEVINS SURVEY,
ABSTRACT NO. 9
JAMES SMITH SURVEY,
ABSTRACT NO. 200
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	GDW	CDB	Sep. 2023	064584402	1 OF 2

FLOOD STATEMENT:

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0040L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

RECORD PROPERTY DESCRIPTION

"TRACT 1"

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 23, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

"TRACT 2"

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 22, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

NOTES ADDRESSING SCHEDULE B EXCEPTIONS:

AS TO "TRACT 1" DESCRIBED ABOVE:

(Pursuant to Commitment for Title Insurance, issued by Fidelity National Title Insurance Company, GF. No. LT-19124-1901242300245, effective date July 11, 2023, issued July 5, 2023.)

- 1. The surveyed property is all of Lots 22 and 23, Block A of La Jolla Pointe Addition, recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas.
- 10f. The following easements and/or building lines and other matters shown on the plat recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas:
 - a) Detention Pond Easement as shown hereon;
 - b) 20' Drainage and Retaining Wall Easement as shown hereon;
 - c) 10' Utility Easement as shown hereon.
- 10g. Water Easement to the City of Rockwall, recorded in Volume 105, Page 870, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10h. Water Easement to the City of Rockwall, recorded in Volume 124, Page 937, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10i. Utility Easement to the City of Rockwall, recorded in Volume 5162, Page 190, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.

AS TO "TRACT 2" DESCRIBED ABOVE:

(Pursuant to Commitment for Title Insurance, issued by First American Title Insurance Company, GF. No. 1002-386489-RTT, effective date August 29, 2023, issued September 12, 2023.)

- 10e. The following easements and/or building lines, as shown on plat recorded in Instrument No. 20200000017593, Official Public Records, Rockwall County, Texas:
 - Detention pond easement as shown hereon.
- 10f. The surveyed property is a portion of the property described in Instrument No. 20180000009623, Official Public Records, Rockwall County, Texas. Utility Easement and Drainage Easement described in said Instrument as shown hereon.
- 10g. The 15-foot Sanitary Sewer Easement, recorded in Cabinet E, Page 279, Plat Records, Rockwall County, Texas, as shown hereon.

SURVEYORS CERTIFICATION:

To: ROUND ROCK LAND COMPANY LLC;
AKSHA 10, LLC;
36 WAGON ROAD, LLC;
FIDELITY NATIONAL TITLE INSURANCE COMPANY;
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION;
FWT DEVELOPMENT LLC, A TEXAS LIMITED LIABILITY COMPANY;
FIRST AMERICAN TITLE INSURANCE COMPANY;
REPUBLIC TITLE OF TEXAS, INC.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 8, 9, 13, 16 and 19 of Table A thereof. The field work was completed on August 25, 2023.

 09/15/2023 Date
Craig D. Bartosh
Registered Professional Land Surveyor No. 6459
Kimley-Horn and Associates, Inc.
13455 Noel Road
Two Galleria Office Tower, Suite 700
Dallas, Texas 75240
Ph. (972) 770-1300
craig.bartosh@kimley-horn.com



ALTA/NSPS LAND TITLE SURVEY
TRACT 1 - 5.6569 ACRES
TRACT 2 - 4.2837 ACRES
WILLIAM BLEVINS SURVEY,
ABSTRACT NO. 9
JAMES SMITH SURVEY,
ABSTRACT NO. 200
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

Kimley»Horn

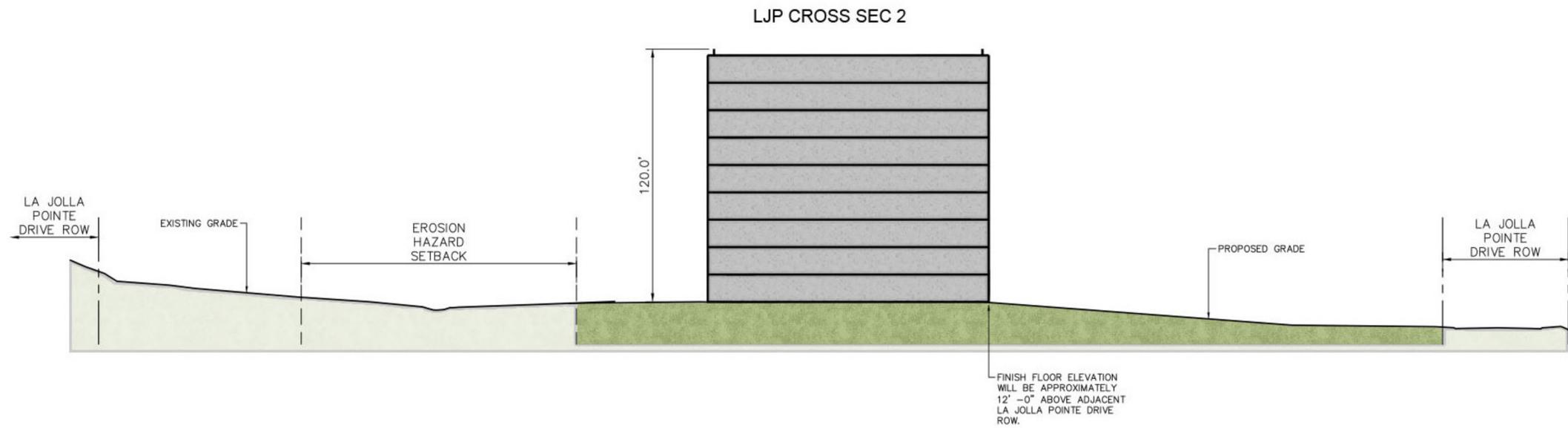
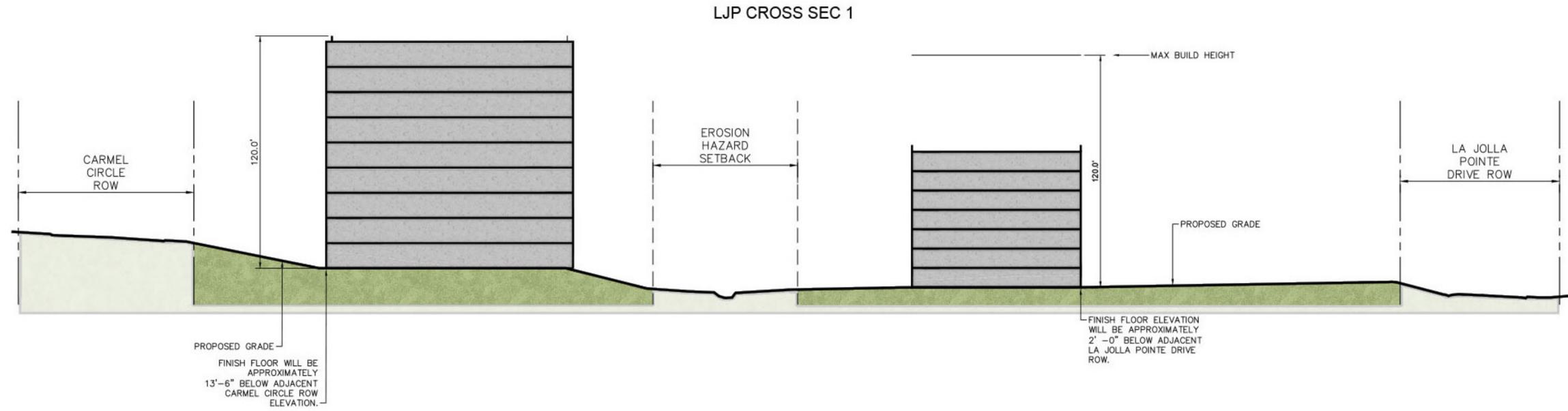
13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	GDW	CDB	Sep. 2023	064584402	2 OF 2

CONCEPT SITE PLAN



CONCEPT SITE SECTION



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 11/20/2023

PROJECT NUMBER: Z2023-052
PROJECT NAME: SUP for La Jolla Pointe Drive
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a Specific Use Permit (SUP) for an Office Building that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	11/20/2023	Approved w/ Comments

11/20/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for an Office Building that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, and generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2023-052) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.02(D), Office and Professional Land Uses, of Article 13, Definitions, of the Unified Development Code (UDC), an Office Building is a "...facility that provides executive, management, administrative, or professional services not specifically listed elsewhere in Section 01, Land Use Schedule, of Article 04, Permissible Uses, but not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices."

I.5 The subject property is zoned Commercial (C) District, which allows for a maximum height of 60-feet. This can be increased to 240-feet through a Specific Use Permit (SUP). With this being said, the subject property is also located within the Scenic Overlay (SOV) District. The Scenic Overlay (SOV) District has a more restrictive maximum height of 36 -feet; however, this height may be increased up to 240-feet through a Specific Use Permit (SUP). In this case, the applicant is requesting a Specific Use Permit (SUP) to increase the maximum height up to 120-feet in order to facilitate the future development of Office Buildings on the subject property.

M.6 Please provide a legal description in a text document format (e.g. Microsoft Word). This is needed for the Draft Ordinance.

M.7 Please review the attached Draft Ordinance prior to the November 28, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than December 5, 2023.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional

information that is requested. Revisions for this case will be due on December 5, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 12, 2023 Planning and Zoning Commission Public Hearing Meeting.

I.9 The projected City Council meeting dates for this case will be December 18, 2023 (1st Reading) and January 2, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	11/14/2023	Approved w/ Comments

11/14/2023: General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.

Drainage Items:

- No detention in 100yr flood plain.
- Detention is existing, but volume and outfall will need to be verified.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Drainage study will be required to establish 100 year water surface in all creeks and drain-ways. It will also be needed to cross creek with drive aisles and sidewalks.
- Must show erosion hazard setback easement.
- Floodplain, erosion hazard setback, and detention ponds must be in a drainage easement with 20' additional easement.
- 100-year WSEL must be called out for detention ponds, and floodplains a minimum of every 300'.
- FFE for all buildings must be called out when adjacent to floodplain and detention ponds. Minimum 2' above 100-year WSEL.

Water and Wastewater Items:

- On Site Plan - show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

Roadway Paving Items:

- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.
- Must pave the remainder of Carmel Circle including sidewalks.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	11/16/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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FIRE	Ariana Kistner	11/17/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	11/14/2023	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	11/20/2023	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	11/14/2023	Approved
No Comments			

CONCEPT SITE PLAN



General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.

Drainage Items:

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- Detention is existing, but volume and outfall will need to be verified.
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Landscaping:

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- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS La Jolla Pointe Drive

SUBDIVISION La Jolla Pointe Addition

LOT 22 BLOCK A

GENERAL LOCATION Corner of La Jolla Pointe Drive & Carmel Circle

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE vacant

PROPOSED ZONING Specific Use Permit (SUP)

PROPOSED USE office

ACREAGE 4.2837

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 36 Wagon Road, LLC

APPLICANT Rockwall Economic Development Corporation

CONTACT PERSON Paul Liechty

CONTACT PERSON Matt Wavering

ADDRESS 502 Terry Lane

ADDRESS 2610 Observation Trl, Suite 104

CITY, STATE & ZIP Heath, TX 75032

CITY, STATE & ZIP Rockwall, TX 75032

PHONE

PHONE 972-772-0025

E-MAIL drpliechty@gmail.com

E-MAIL mwavering@rockwalledc.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Liechty, Manager [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

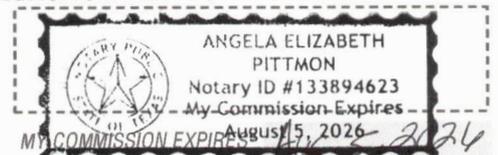
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$264.26 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF November, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7 DAY OF November, 2023

OWNER'S SIGNATURE

Paul Liechty
Angela Elizabeth Pittmon

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS La Jolla Pointe Drive

SUBDIVISION La Jolla Pointe Addition

LOT 23 BLOCK A

GENERAL LOCATION La Jolla Pointe Drive, west of Ridge Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE vacant

PROPOSED ZONING Specific Use Permit (SUP)

PROPOSED USE office

ACREAGE 5.6569

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Akshar 10, LLC

APPLICANT Rockwall Economic Development Corporation

CONTACT PERSON Shailesh Vora

CONTACT PERSON Matt Wavering

ADDRESS 2508 Sam School Road

ADDRESS 2610 Observation Trl, Suite 104

CITY, STATE & ZIP Southlake, TX 76092

CITY, STATE & ZIP Rockwall, TX 75032

PHONE

PHONE 972-772-0025

E-MAIL scvora@sbcglobal.net

E-MAIL mwavering@rockwalledc.com

NOTARY VERIFICATION [REQUIRED]

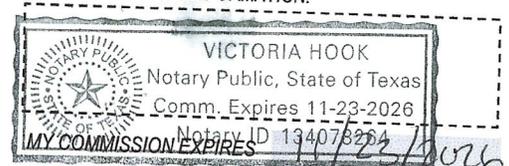
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shailesh VORA [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

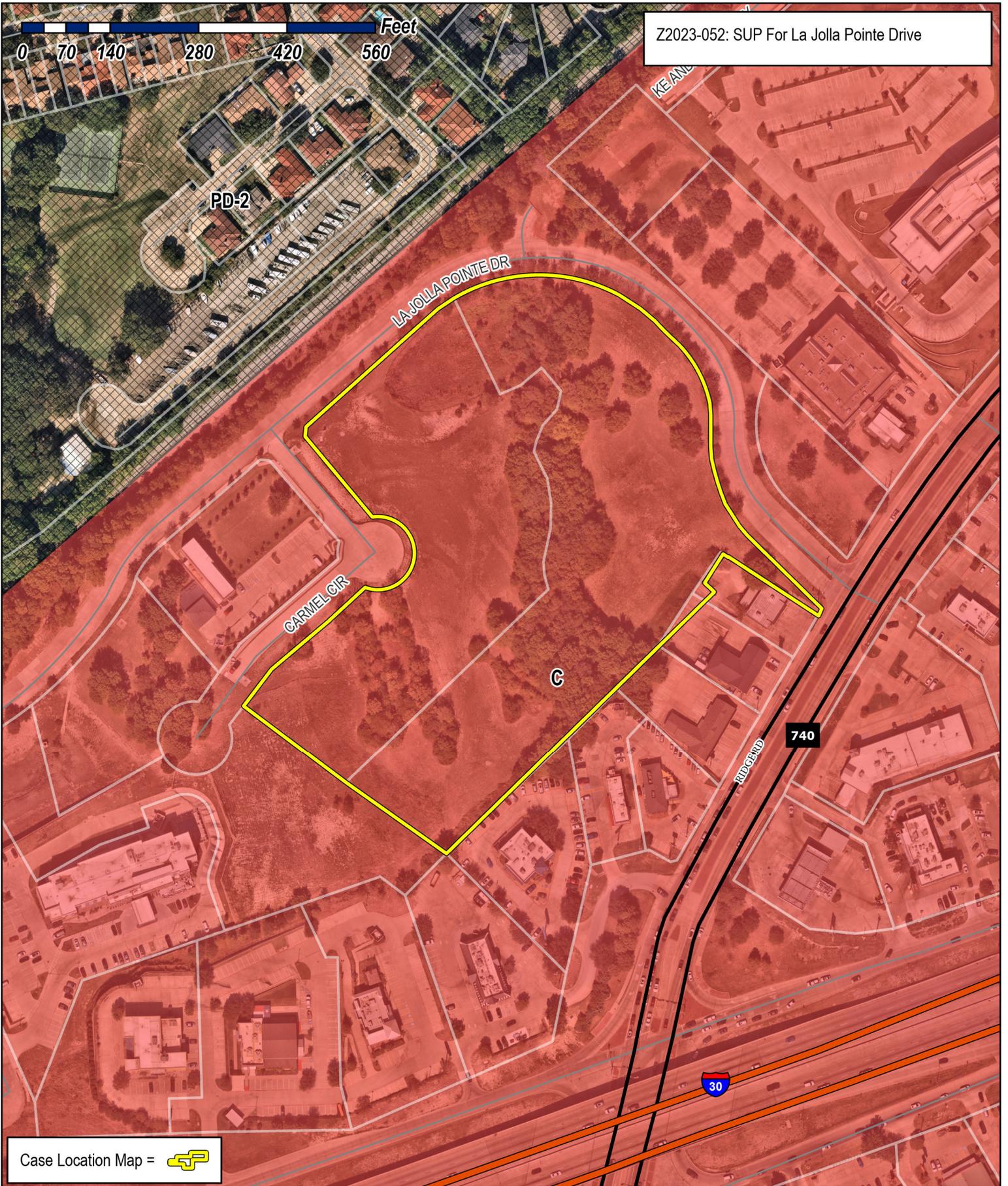
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$284.85 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF November, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4 DAY OF November, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-052: SUP For La Jolla Pointe Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

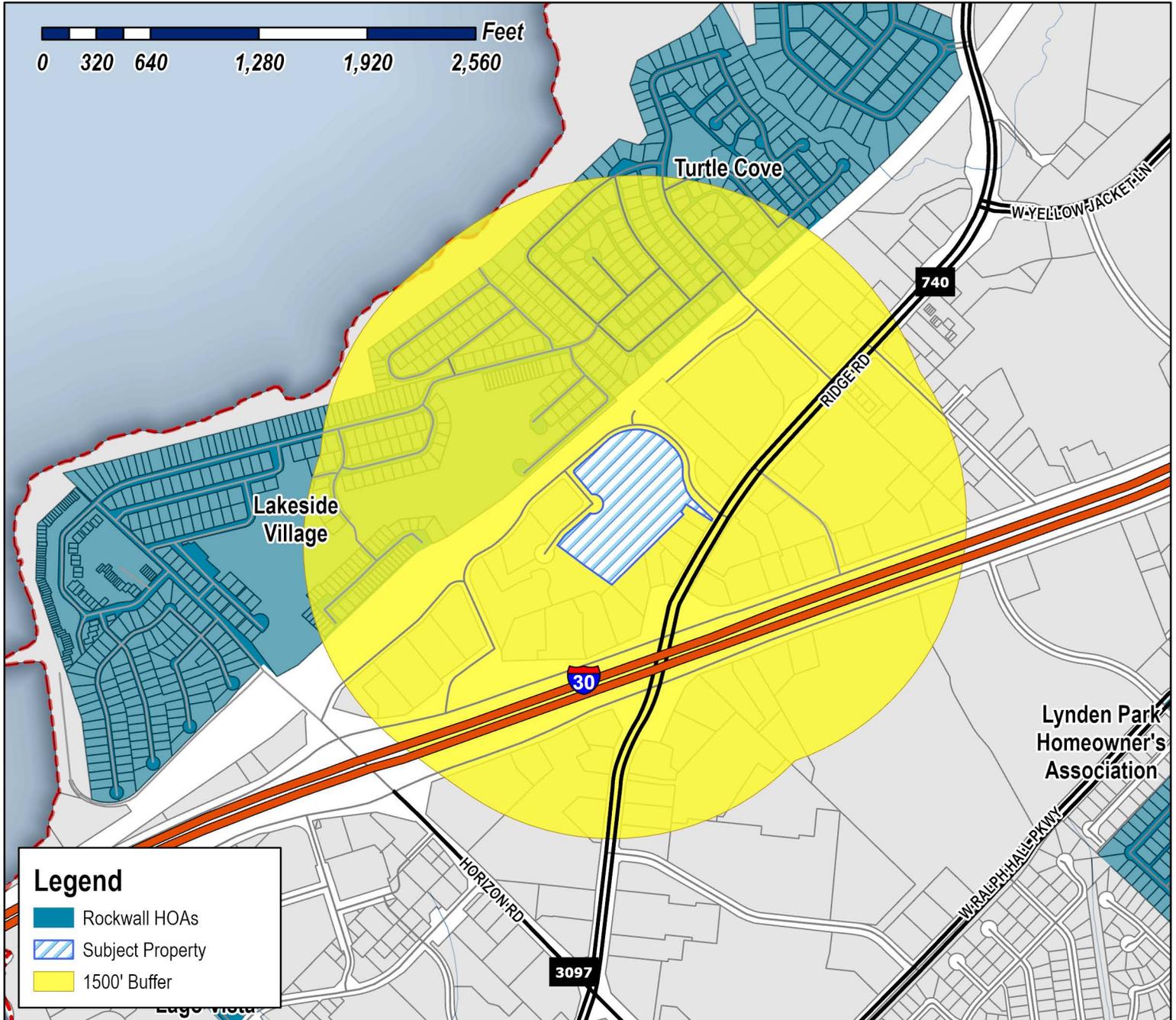




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-052
Case Name: SUP for La Jolla Pointe Drive
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: La Jolla Pointe Drive

Date Saved: 11/13/2023
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Zavala, Melanie
Sent: Thursday, November 16, 2023 3:19 PM
Cc: Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry
Subject: Neighborhood Notification Program [Z2023-052]
Attachments: Public Notice (P&Z) (11.15.2023).pdf; HOA Notification Map (11.13.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *November 17, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-052: SUP for La Jolla Pointe Drive

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a *Specific Use Permit (SUP)* for an *Office Building* that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [*FM-740*], and take any action necessary.

Thank You,

Melanie Zavala

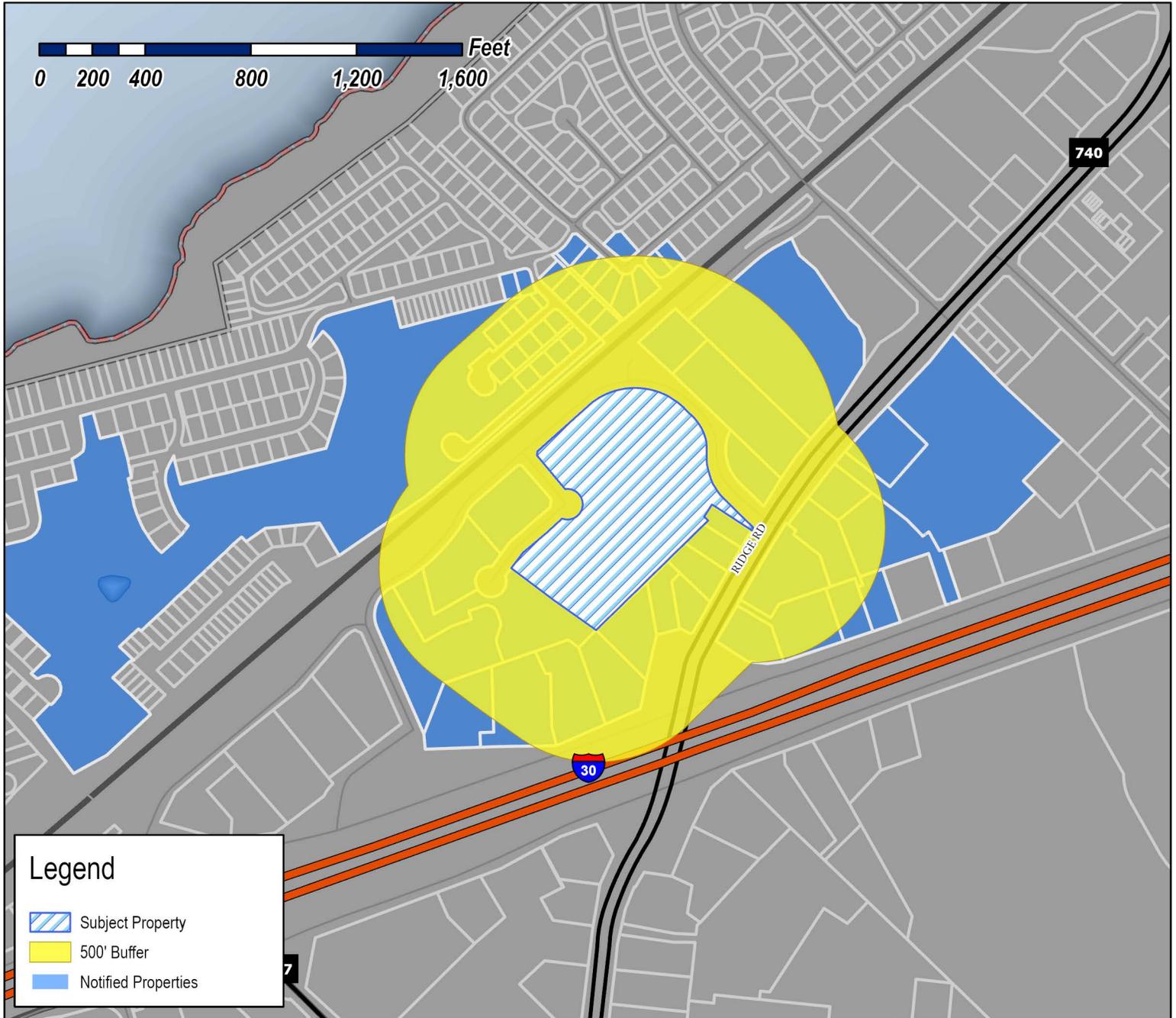
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-052
Case Name: SUP for La Jolla Pointe Drive
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: La Jolla Pointe Drive



Date Saved: 11/13/2023

For Questions on this Case Call: (972) 771-7746

SPARKS TANA J
1000 SPARKS DR
FATE, TX 75087

SHIPMAN FIRE GROUP INC
1020 LA JOLLA POINTE DRIVE
ROCKWALL, TX 75087

TURTLE COVE RESIDENTIAL ASSOC INC
C/O NEIGHBORHOOD MANAGEMENT
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

STEAK N SHAKE OPERATIONS, INC
C/O THE STEAK N SHAKE COMPANY
107 S PENNSYLVANIA ST SUITE 400
INDIANAPOLIS, IN 46204

TOLKACHJOV HOLDINGS ROCKWALL LLC
1105 LADY DE VANCE LN
LEWISVILLE, TX 75056

BOLD LLC
121 WYLER DR
DAKOTA, IL 61018

RESIDENT
1600 LA JOLLA POINTE DR
ROCKWALL, TX 75087

TRITON I-30 ROCKWALL LLC
1845 WOODALL ROGERS FREEWAY, SUITE 1100
DALLAS, TX 75201

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

2424 MTA REALTY LLC
2424 RIDGE ROAD
ROCKWALL, TX 75087

RESIDENT
2455 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2475 RIDGE RD
ROCKWALL, TX 75087

ESTATE OF DR RICHARD L BROOKS
2504 RIDGE RD STE 107
ROCKWALL, TX 75087

BROOKS RICHARD L MD
2504 RIDGE RD STE 101
ROCKWALL, TX 75087

AKSHAR 10 LLC
2508 SAM SCHOOL ROAD
SOUTHLAKE, TX 76092

RESIDENT
2510 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2535 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2545 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2555 RIDGE RD
ROCKWALL, TX 75087

BELAC PROPERTIES LLC
2600 RIDGE RD STE 102
ROCKWALL, TX 75087

BROOKS TIM
2602 RIDGE ROAD SUITE 1
ROCKWALL, TX 75087

RESIDENT
2604 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2608 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2610 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2616 RIDGE RD
ROCKWALL, TX 75087

2455 RIDGE LLC
2701 CUSTER PARKWAY SUITE 706
RICHARDSON, TX 75080

HALL JUSTIN KIMBELL
2902 PRESTON TRAIL
ROCKWALL, TX 75087

MARLEY KELLE AND CLAYTON D
2904 PRESTON TRAIL
ROCKWALL, TX 75087

DUCHARME JASON
2906 PRESTON TRAIL
ROCKWALL, TX 75087

LEE GREGORY P AND LAUREN W
2908 PRESTON TRAIL
ROCKWALL, TX 75087

KESTER SEAN AND MISTI
2910 PRESTON TRAIL
ROCKWALL, TX 75087

EHLERT GORDON W & LINDA K
3001 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3002 PRESTON TR
ROCKWALL, TX 75087

TURNER CECE
3002 PRESTON CT
ROCKWALL, TX 75087

SANCHEZ ENEIDA
3003 LAKESIDE DR
ROCKWALL, TX 75087

ROGERS GENTRY
3003 PRESTON COURT
ROCKWALL, TX 75087

RESIDENT
3004 PRESTON TR
ROCKWALL, TX 75087

MILLER KATHLEEN PALMER
3004 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3005 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3006 PRESTON TR
ROCKWALL, TX 75087

HAMBLEY DAVID L JR & CAROL A
3006 PRESTON COURT
ROCKWALL, TX 75087

CHILDRESS DENNIS K JR & HILARY
3007 LAKESIDE DR
ROCKWALL, TX 75087

BURK CATHERINE & HOWARD T
3007 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3008 PRESTON TR
ROCKWALL, TX 75087

ZUMWALT HAROLD J & VICKY
3009 PRESTON CT
ROCKWALL, TX 75087

GANCI GLENN
305 DREW LN
HEATH, TX 75032

LOTL HOLDINGS LLC
320 PORTVIEW PLACE
ROCKWALL, TX 75032

RESIDENT
4100 VILLAGE DR
ROCKWALL, TX 75087

ROBERTS JAMES F
4112 VILLAGE DR
ROCKWALL, TX 75087

QSR 30 LAND LLC
4515 LBJ FREEWAY
DALLAS, TX 75224

CBAX PROPERTIES LLC
465 W PRESIDENT GEORGE BUSH HWY
RICHARDSON, TX 75080

36 WAGON ROAD, LLC
502 TERRY LANE
HEATH, TX 75032

36 WAGON ROAD, LLC
502 TERRY LANE
HEATH, TX 75032

RESIDENT
550 LA JOLLA DR
ROCKWALL, TX 75087

RESIDENT
550 VIGOR WAY
ROCKWALL, TX 75087

RESIDENT
550 E I30
ROCKWALL, TX 75087

RESIDENT
560 E I30
ROCKWALL, TX 75087

RESIDENT
568 E I30
ROCKWALL, TX 75087

RESIDENT
578 E I30
ROCKWALL, TX 75087

ROCKWALL CORNER CORPORATION
600 E I-30
ROCKWALL, TX 75087

RESIDENT
610 I30
ROCKWALL, TX 75087

ROCKWALL INNKEEPERS I LTD
6176 FM 2011
LONGVIEW, TX 75603

ROCKWALL INNKEEPERS I LTD
6176 FM 2011
LONGVIEW, TX 75603

RESIDENT
630 I 30
ROCKWALL, TX 75087

ZASTROW BRADLEY L & SANDRA D
641 CHANNEL RIDGE DR
ROCKWALL, TX 75087

COGDELL CHELSEA ANNE
645 CHANNEL RIDGE DRIVE
ROCKWALL, TX 75087

SVRCEK JOSEPH T
649 CHANNEL RIDGE DR
ROCKWALL, TX 75087

PAUL'S KWIK KAR INC
650 E INTERSTATE 30
ROCKWALL, TX 75087

MCCOY RAYMOND & BELVA
653 CHANNEL RIDGE DR
ROCKWALL, TX 75087

RESIDENT
657 CHANNEL RIDGE DR
ROCKWALL, TX 75087

ALLEN TEXAS WHITE TIGER CORPORATION
853 BEAR CROSSING DRIVE
ALLEN, TX 75013

MCDONALDS CORP (398/42)
C/O KEVA CHILDRESS
935 W RALPH HALL PKWY #101
ROCKWALL, TX 75032

SANDERS JOLINDA
950 BRIAR OAKS DRIVE
ROCKWALL, TX 75087

FIELDS TODD H AND NANCY E
954 BRIAR OAKS DR
ROCKWALL, TX 75087

GERRALD SCOTT W & JUDY A
955 BRIAR OAK DR
ROCKWALL, TX 75087

WILLIAMS KYLIE J
958 BRIAR OAK DR
ROCKWALL, TX 75087

JAGH HOSPITALITY LP
996 E I-30
ROCKWALL, TX 75087

ROBERT H FAMILY TRUST AND BMK FIN CORP
AND
SHERRI LANE HEWETT AND SUSAN LYNNE
HEWETT LUCAS
C/O IHOP ATTN HAKIM REMA P. O. BOX 12168
DALLAS, TX 75225

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE H O ASSOC
P.O. BOX 650255
DALLAS, TX 75265

B&M ALPHA INC
PO BOX 171754
ARLINGTON, TX 76003

ROCKWALL II PROPERTIES LLC
PO BOX 630768
HOUSTON, TX 77263

WAFFLE HOUSE INC
ATTN: TAX DEPT
PO BOX 6450
NORCROSS, GA 30091

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-052: SUP for La Jolla Pointe Drive

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a Specific Use Permit (SUP) for an Office Building that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-052: SUP for La Jolla Pointe Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



November 13, 2023

Ryan Miller
Director of Planning
City of Rockwall
385 S. Goliad Street,
Rockwall, TX 75087

Re: La Jolla Pointe Drive

Mr. Miller:

Enclosed you will find an application and supporting documents requesting that the Planning and Zoning Commission and City Council grant a Specific Use Permit (SUP) on the 9.9406-acre tract of land located on La Jolla Pointe Drive in Rockwall. The Rockwall Economic Development Corporation (REDC) has contracts to purchase the two parcels of land and has been performing due diligence and planning exercises over the past several months.

The REDC intends to utilize the property to attract "Class-A" corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall. In order to attract the tenants and the significant tax value investment desired by the REDC, we are proposing office projects that will be vertical in nature, which we feel will be of superior quality than the standard one or two-story garden-style office buildings that are more commonly seen without public involvement.

The provided cross-sections show a potential maximum building height of 120 feet above grade. Therefore, the zoning requires an amendment to allow for building heights up to 120 feet, as well as the FAR (floor area ratio) to accommodate office buildings of this scale. Please note that the property grade is approximately 12 feet below the elevation of Ridge Road and 13 feet below the elevation of Carmel Circle. Furthermore, the site's elevation is 20 feet or more below the Ridge Road elevation.

It is worth noting that the REDC is strictly governed by state statute as well as oversight provided by a Board of Directors of Rockwall residents appointed by the Rockwall City Council. You may rest-assured that the future development of this property will be of the highest-quality, will adhere to City of Rockwall development standards, and will support business enterprise and local employment alike. Furthermore, the REDC is highly selective in its recruiting efforts and therefore will be patient in the development of this property, not wishing to compromise on quality for an expedient development. Due to this fact, the REDC requests that the SUP remains effective for a period of no less than 10 years in order to provide ample time for marketing and attraction efforts.

The REDC kindly requests this SUP to facilitate the development of this property for the purposes of high-quality corporate office development.

Respectfully,

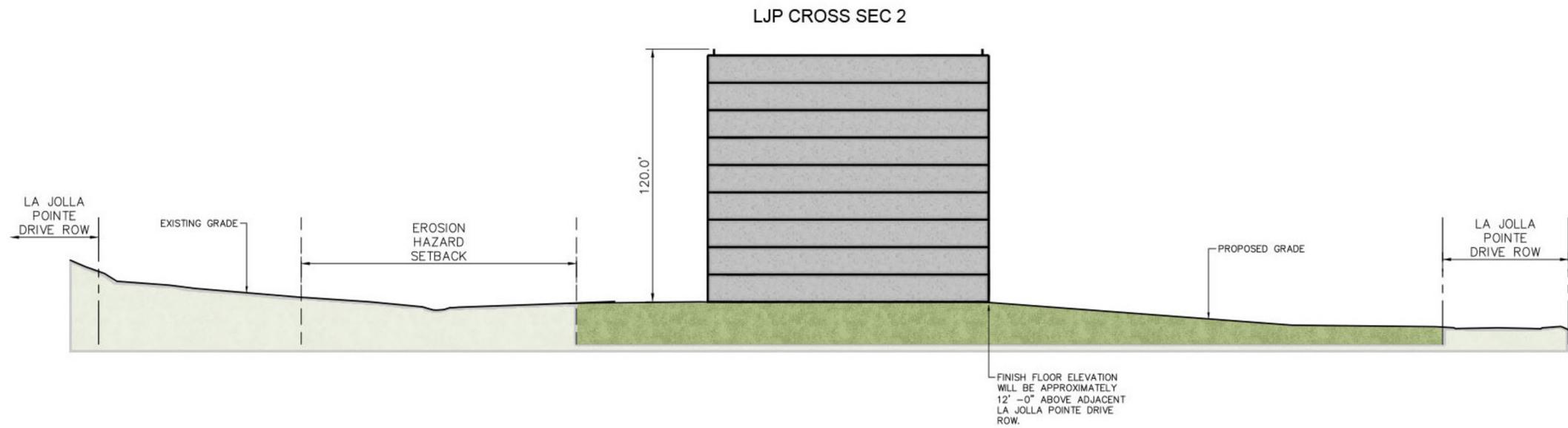
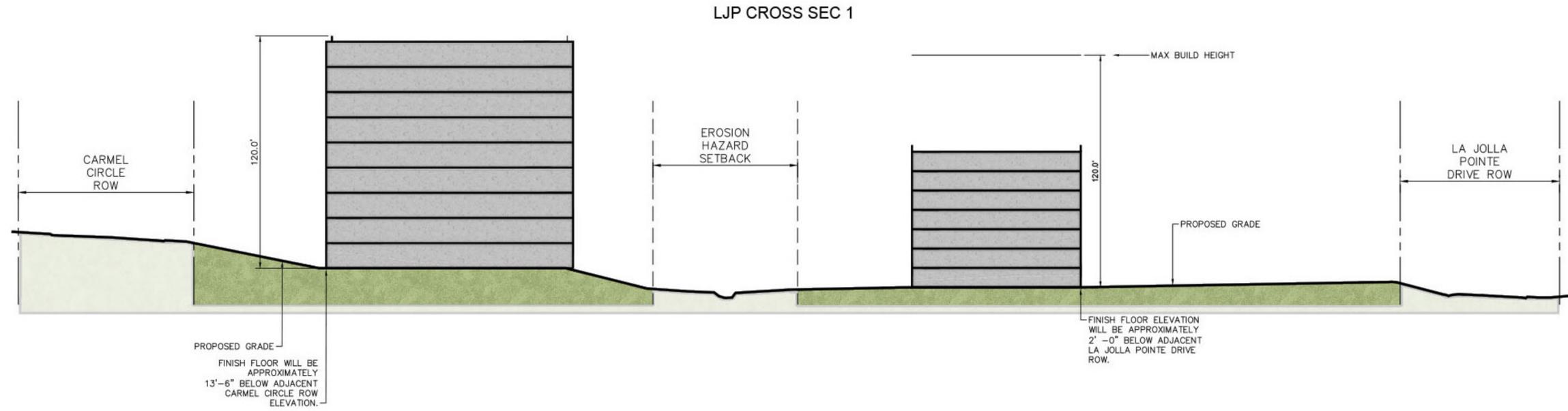
A handwritten signature in black ink, appearing to read "Matt Wavering", with a large, sweeping flourish at the end.

Matt Wavering
Vice President

CONCEPT SITE PLAN



CONCEPT SITE SECTION



FLOOD STATEMENT:

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0040L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

RECORD PROPERTY DESCRIPTION

"TRACT 1"

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 23, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

"TRACT 2"

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 22, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

NOTES ADDRESSING SCHEDULE B EXCEPTIONS:

AS TO "TRACT 1" DESCRIBED ABOVE:

(Pursuant to Commitment for Title Insurance, issued by Fidelity National Title Insurance Company, GF, No. LT-19124-1901242300245, effective date July 11, 2023, issued July 5, 2023.)

- 1. The surveyed property is all of Lots 22 and 23, Block A of La Jolla Pointe Addition, recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas.
- 10f. The following easements and/or building lines and other matters shown on the plat recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas:
 - a) Detention Pond Easement as shown hereon;
 - b) 20' Drainage and Retaining Wall Easement as shown hereon;
 - c) 10' Utility Easement as shown hereon.
- 10g. Water Easement to the City of Rockwall, recorded in Volume 105, Page 870, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10h. Water Easement to the City of Rockwall, recorded in Volume 124, Page 937, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10i. Utility Easement to the City of Rockwall, recorded in Volume 5162, Page 190, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.

AS TO "TRACT 2" DESCRIBED ABOVE:

(Pursuant to Commitment for Title Insurance, issued by First American Title Insurance Company, GF, No. 1002-386489-RTT, effective date August 29, 2023, issued September 12, 2023.)

- 10e. The following easements and/or building lines, as shown on plat recorded in Instrument No. 20200000017593, Official Public Records, Rockwall County, Texas:
 - Detention pond easement as shown hereon.
- 10f. The surveyed property is a portion of the property described in Instrument No. 20180000009623, Official Public Records, Rockwall County, Texas. Utility Easement and Drainage Easement described in said Instrument as shown hereon.
- 10g. The 15-foot Sanitary Sewer Easement, recorded in Cabinet E, Page 279, Plat Records, Rockwall County, Texas, as shown hereon.

SURVEYORS CERTIFICATION:

To: ROUND ROCK LAND COMPANY LLC;
AKSHA 10, LLC;
36 WAGON ROAD, LLC;
FIDELITY NATIONAL TITLE INSURANCE COMPANY;
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION;
FWT DEVELOPMENT LLC, A TEXAS LIMITED LIABILITY COMPANY;
FIRST AMERICAN TITLE INSURANCE COMPANY;
REPUBLIC TITLE OF TEXAS, INC.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 8, 9, 13, 16 and 19 of Table A thereof. The field work was completed on August 25, 2023.

 09/15/2023 Date
Craig D. Bartosh
Registered Professional Land Surveyor No. 6459
Kimley-Horn and Associates, Inc.
13455 Noel Road
Two Galleria Office Tower, Suite 700
Dallas, Texas 75240
Ph. (972) 770-1300
craig.bartosh@kimley-horn.com



ALTA/NSPS LAND TITLE SURVEY
TRACT 1 - 5.6569 ACRES
TRACT 2 - 4.2837 ACRES
WILLIAM BLEVINS SURVEY,
ABSTRACT NO. 9
JAMES SMITH SURVEY,
ABSTRACT NO. 200
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	GDW	CDB	Sep. 2023	064584402	2 OF 2

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *BUILDINGS THAT EXCEED 36-FEET IN HEIGHT* ON A 9.9406-ACRE TRACT OF LAND IDENTIFIED AS LOTS 22 & 23, BLOCK A, LA JOLLA POINTE ADDITION, PHASE 2, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Matt Wavering of the Rockwall Economic Development Corporation (REDC) for the approval of a Specific Use Permit (SUP) for *Buildings that Exceed 36-Feet in Height* on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Buildings that Exceed 36-Feet in Height* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, *Commercial (C) District*; Subsection 06.02, *General Overlay District Standards*; Subsection 06.06, *IH-30 Overlay (IH-30 OV) District*; and Subsection 06.08, *Scenic Overlay (SOV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --

and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of *Buildings that Exceed 36-Feet in Height* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Buildings on the *Subject Property* shall not exceed 120-feet or as depicted on the building elevations/cross sections contained in the Conceptual Building Heights in *Exhibit 'C'* of this ordinance.
- 3) The Specific Use Permit (SUP) shall be valid for a period of ten (10) years from the approval date of this ordinance (*i.e. valid until January 2, 2034*). If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90-days prior to the expiration date of this ordinance (*i.e. October 4, 2033*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to the Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the

adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF JANUARY, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

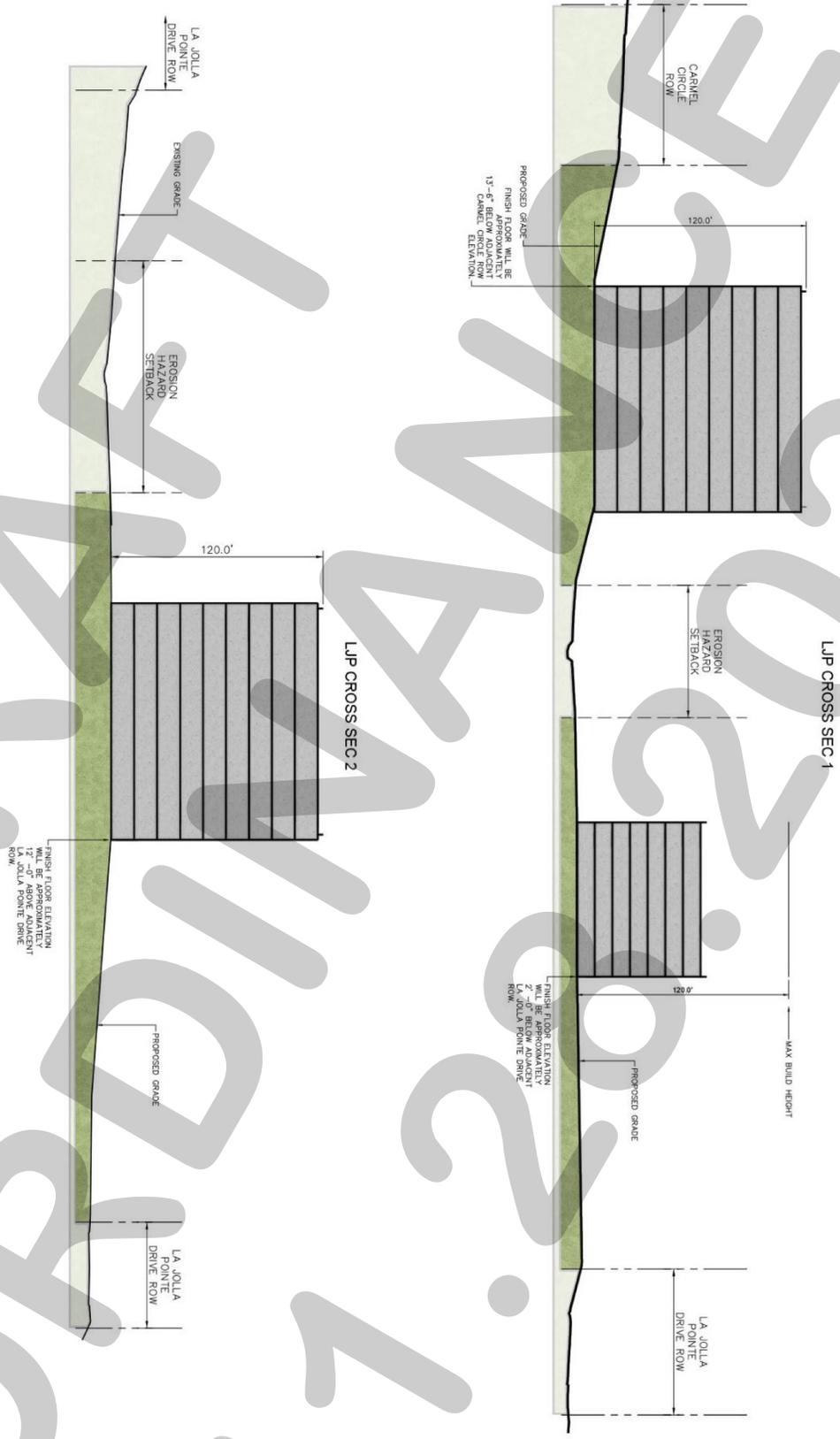
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 18, 2023

2nd Reading: January 2, 2024

Exhibit 'C'
Conceptual Building Heights





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 12, 2023
APPLICANT: Matt Wavering; *Rockwall Economic Development Corporation (REDC)*
CASE NUMBER: Z2023-052; *Specific Use Permit (SUP) for La Jolla Pointe Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a Specific Use Permit (SUP) for an *Office Building* that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on September 5, 1960 by *Ordinance No. 60-02 [Case No. A1960-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. At some point between the time of annexation and January 3, 1972, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District. On November 17, 2003, the City Council approved a final plat [Case No. P2003-024] that establish the subject property as Lot 1, Block A, La Jolla Pointe, Phase 2 Addition. On February 7, 2005 the City Council approved a replat [Case No. P2004-068] that reestablished the subject property as a Lots 4-6, Block A, La Jolla Pointe, Phase 2 Addition. On August 21, 2006, the City Council approved another replat [Case No. P2006-019] that change the subject property to Lots 6, 7, and a portion of Lot 8, Block A, La Jolla Pointe, Phase 2 Addition. On April 2, 2018, the City Council approved a Specific Use Permit (SUP) [Ordinance No. 18-20; S-187] allowing a *Limited Service Hotel* on a portion of the subject property. This Specific Use Permit (SUP) expired on October 1, 2020. On August 20, 2018 the City Council approved two (2) site plans [Case No. SP2018-024 & SP2018-025] to allow the construction of an *Office Building* and a *Medical Office Building* on the subject property. These site plans expired on August 20, 2020. On October 1, 2018 the City Council approved a site plan [Case No. SP2018-023] to allow the construction of a *Hotel*. This site plan expired on October 1, 2020. On March 2, 2020, the City Council approved a replat [Case No. P2020-009] that reestablished the subject property as Lots 22 & 23, Block A, La Jolla Pointe, Phase 2 Addition. The property has remained vacant since the time of annexation.

PURPOSE

On November 13, 2023, the applicant -- *Matt Wavering of the Rockwall Economic Development Corporation (REDC)* -- submitted an application requesting a Specific Use Permit (SUP) for an *Office Building* that will exceed 36-feet in height on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is La Jolla Pointe Drive, which is identified as a *Minor Collector* on Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this is Phase 3 of the Turtle Cove

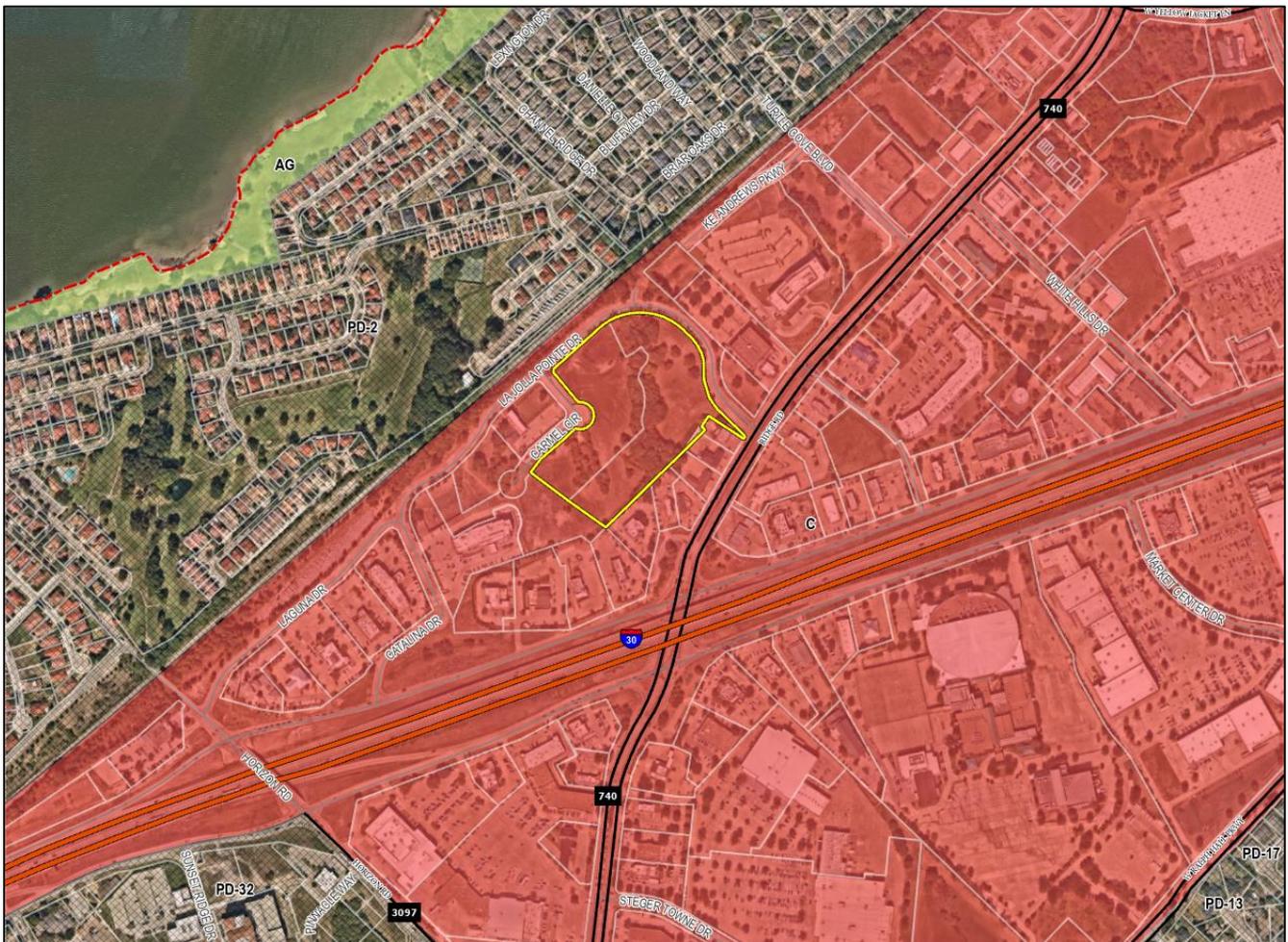
Subdivision, which consists of 102 single-family residential lots. This subdivision was established on April 11, 2000 and is zoned Planned Development District 2 (PD2) for single-family residential land uses.

South: Directly south of the subject property are several parcels developed with restaurants (*i.e. Steak N Shake, IHOP, Waffle House, Velvet Taco, and Snuffers*) that are zoned Commercial (C) District. Beyond this is the westbound frontage road of IH-30, followed by the main lanes of IH-30, and the eastbound frontage road for IH-30.

East: Directly east of the subject property are three (3) parcels of land developed with *Office Buildings (i.e. Ebby Halliday, Allstate, Epstein & Kolacz)* and zoned Commercial (C) District. Beyond this is Ridge Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are several parcels of land developed with commercial/retail land uses that are zoned Commercial (C) District.

West: Directly west of the subject property is the intersection of Carmel Circle and La Jolla Pointe Drive. Carmel Circle is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) and La Jolla Pointe Drive is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Following this is Phase 3 of the Lakeside Village Subdivision, which consists of 122 single-family residential lots. This subdivision was established in 1972 and is zoned Planned Development District 2 (PD-2) for single-family residential land uses

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and a conceptual building height exhibit indicating that the proposed development scheme will be multi-story *Office Buildings*. Based on the conceptual building height exhibit, the intent of the requested Specific Use Permit (SUP) is to develop the subject property with *Office Buildings* that exceed the height requirement of 36-feet stipulated by the Scenic Overlay (SOV) District. According to the applicant's letter, the increased height is being requested in order to attract "high-quality employment opportunities" that are of "superior quality than the standard one or two-story garden-style office buildings." The applicant has also indicated that development of the property will be *highly selective*. Given this, the applicant is also requesting that the Specific Use Permit (SUP) remain effective for ten (10) years in lieu of the standard one (1) year per Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

CONFORMANCE WITH THE CITY'S CODES

According to Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as "(a) facility that provides executive, management, administrative, or professional services... not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices." In this case, the proposed concept plan indicates the development of *Office Buildings* on the subject property, which is in conformance with this definition. In addition, according to Subsection 06.02, *General Overlay District Standards*, Article 05, *District Development Standards*, of the Unified Development Code (UDC), any building over 36-feet in height requires a Specific Use Permit (SUP). This requirement prompted the applicant to submit for the proposed Specific Use Permit (SUP).

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *IH-30 Corridor District*. All of the property located within the *IH-30 Corridor District* is designated for the *Special Commercial (SC) Corridor* land use. The OURHometown Vision 2040 Comprehensive Plan describes the *Special Commercial (SC) Corridor* as being reserved for *Regional Centers*, which are described as being one (1) of the following four (4) models: *Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center*; however, the *Primary Land Uses* identified for this land use designation include *Corporate Office*. Based on this, the applicant's request is in conformance with the *Future Land Use Plan*. Staff should also note that the *IH-30 Corridor District* is divided into three (3) *Corridor Zones* (i.e. the *Preservation, Opportunity, and Transitional Zones*). In this case, the subject property is located within a *Transitional Zone*, which is defined as "(a) segment of the existing corridor that is currently underutilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential." The subject property is currently vacant and is surrounded by single-story, single-tenant *Office Buildings* and *Restaurants*. Based on this, the proposed future development would appear to maximize the subject property's tax potential and conform to the *IH-30 Corridor Plan* contained in Appendix 'B', *Corridor Plans*, of the OURHometown Vision 2040 Comprehensive Plan.

According to the *Vision Statement* within Chapter 06, *Economic Development*, of the OURHometown Vision 2040 Comprehensive Plan, "(t)he City of Rockwall should continue to build a diversified local economy by attracting and retaining businesses that can utilize the City's existing highly skilled workforce and aid in the creation of a stable and resilient tax base." In this case, the applicant's letter states that they intend to attract *Class-A* corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall." Given this, the applicant's request appears to conform to goals and policies laid out for *Economic Development* within the OURHometown Vision 2040 Comprehensive Plan.

STAFF ANALYSIS

In this case, the proposed concept plan and conceptual building height exhibit appear to conform with all of the density and dimensional requirements for a property in a Commercial (C) District, with the exception of maximum height requirement. The applicant's proposal also appears to conform with the intent of the OURHometown Vision 2040 Comprehensive Plan. Staff has included provisions in the Specific Use Permit (SUP) ordinance that will require general conformance with the concept plan at the time of site plan approval, and that the proposed buildings cannot exceed 120-feet as depicted in the conceptual building height exhibit. At the request of the applicant, staff has also included a ten (10) year term for the Specific Use Permit (SUP). This appears to be warranted due to the scale of the proposed development and the amount of time that may be necessary for

the Rockwall Economic Development Corporation (REDC) to attract high-quality corporate office users. With this being said, a request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On November 15, 2023, staff mailed 85 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lakeside Village and Turtle Cove Homeowner's Association (HOA), which are the only Homeowners' Associations (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received two (2) notices in opposition and one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an Office Building that exceeds 36-feet in height on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of this ordinance.
 - (b) Buildings on the Subject Property shall not exceed 120-feet or as depicted on the building elevations/cross sections contained in the Conceptual Building Heights in Exhibit 'C' of this ordinance.
 - (c) The Specific Use Permit (SUP) shall be valid for a period of ten (10) years from the approval date of this ordinance (*i.e. valid until January 2, 2034*). If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90-days prior to the expiration date of this ordinance (*i.e. October 4, 2033*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to the Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, Procedures for Zoning Applications, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS La Jolla Pointe Drive

SUBDIVISION La Jolla Pointe Addition

LOT 22 BLOCK A

GENERAL LOCATION Corner of La Jolla Pointe Drive & Carmel Circle

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE vacant

PROPOSED ZONING Specific Use Permit (SUP)

PROPOSED USE office

ACREAGE 4.2837

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 36 Wagon Road, LLC

APPLICANT Rockwall Economic Development Corporation

CONTACT PERSON Paul Liechty

CONTACT PERSON Matt Wavering

ADDRESS 502 Terry Lane

ADDRESS 2610 Observation Trl, Suite 104

CITY, STATE & ZIP Heath, TX 75032

CITY, STATE & ZIP Rockwall, TX 75032

PHONE

PHONE 972-772-0025

E-MAIL drpliechty@gmail.com

E-MAIL mwavering@rockwalledc.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Liechty, Manager [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

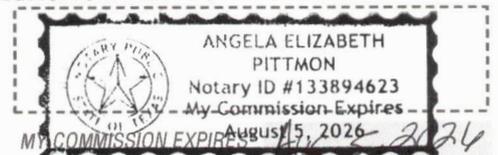
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$264.26 _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ 13th _____ DAY OF _____ November _____, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7 DAY OF November, 2023

OWNER'S SIGNATURE

Paul Liechty
Angela Elizabeth Pittmon

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS La Jolla Pointe Drive

SUBDIVISION La Jolla Pointe Addition

LOT 23

BLOCK A

GENERAL LOCATION La Jolla Pointe Drive, west of Ridge Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE vacant

PROPOSED ZONING Specific Use Permit (SUP)

PROPOSED USE office

ACREAGE 5.6569

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Akshar 10, LLC

APPLICANT Rockwall Economic Development Corporation

CONTACT PERSON Shailesh Vora

CONTACT PERSON Matt Wavering

ADDRESS 2508 Sam School Road

ADDRESS 2610 Observation Trl, Suite 104

CITY, STATE & ZIP Southlake, TX 76092

CITY, STATE & ZIP Rockwall, TX 75032

PHONE _____

PHONE 972-772-0025

E-MAIL scvora@sbcglobal.net

E-MAIL mwavering@rockwalledc.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shailesh VORA [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

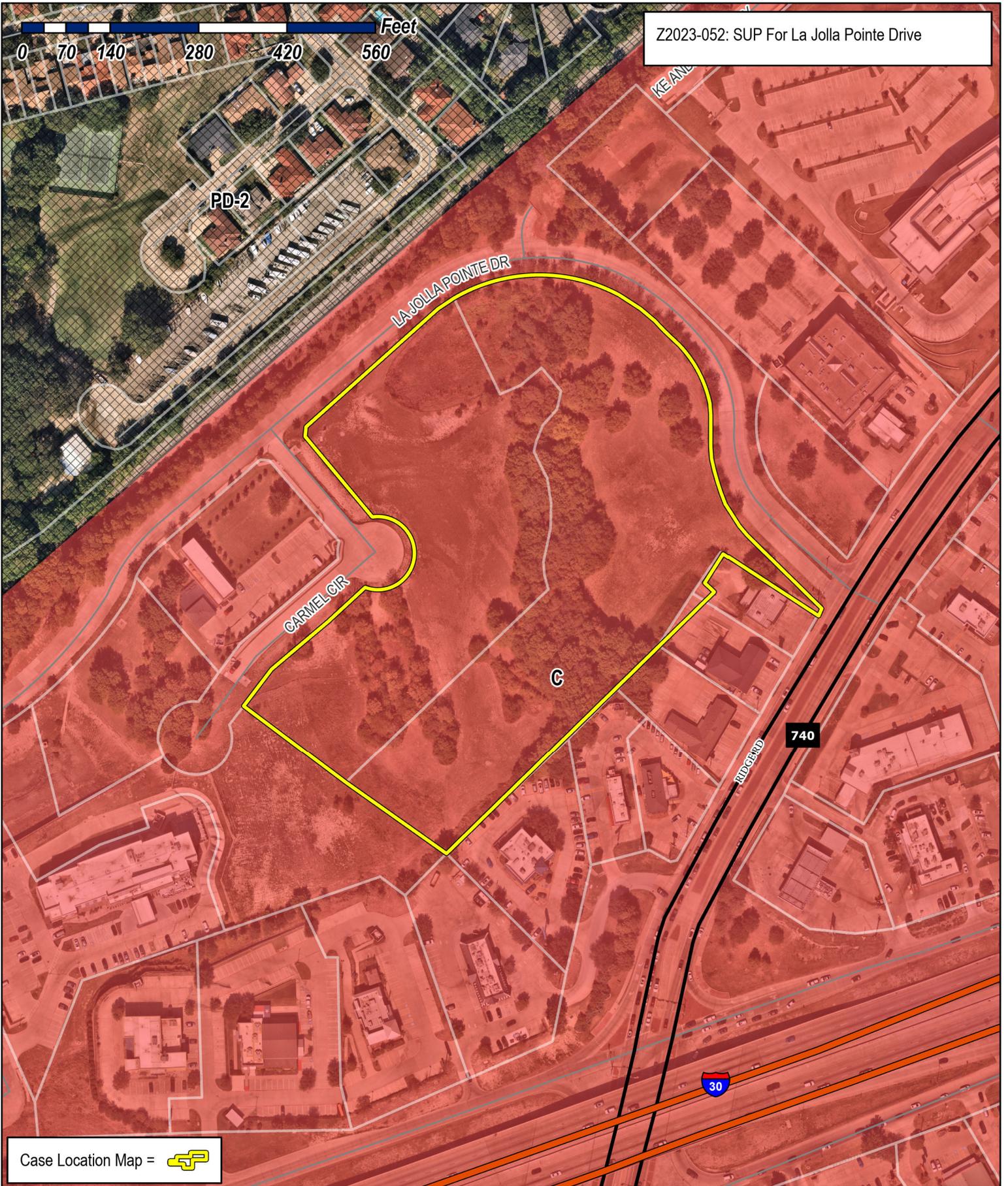
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$284.85 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF November, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4 DAY OF November, 2023

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





Z2023-052: SUP For La Jolla Pointe Drive

0 70 140 280 420 560 Feet

PD-2

LA JOLLA PONTE DR

CARMEL CIR

G

RIDGE RD

740

30

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

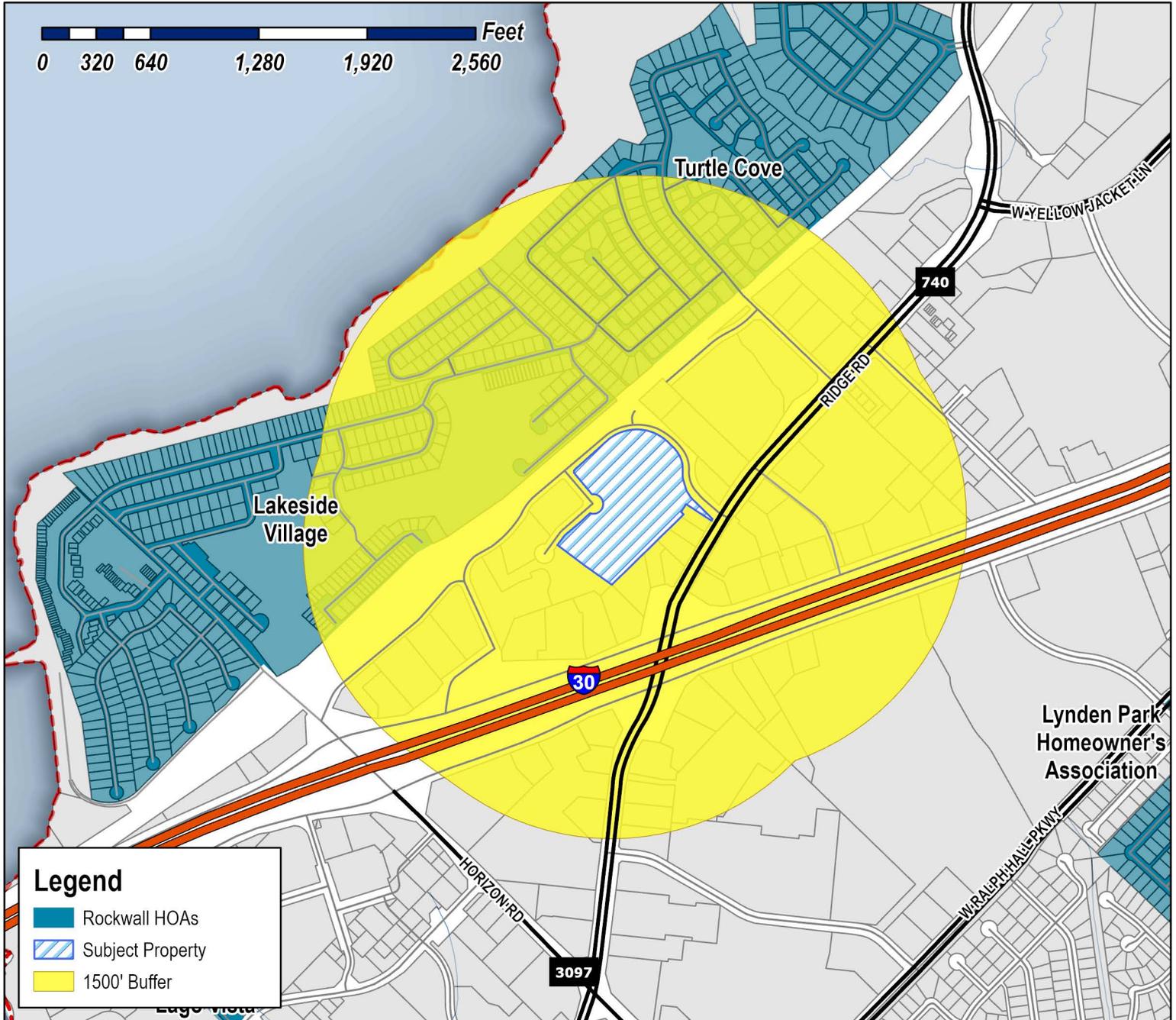




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Case Number: Z2023-052
Case Name: SUP for La Jolla Pointe Drive
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: La Jolla Pointe Drive

Date Saved: 11/13/2023
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Zavala, Melanie
Sent: Thursday, November 16, 2023 3:19 PM
Cc: Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry
Subject: Neighborhood Notification Program [Z2023-052]
Attachments: Public Notice (P&Z) (11.15.2023).pdf; HOA Notification Map (11.13.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *November 17, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-052: SUP for La Jolla Pointe Drive

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a *Specific Use Permit (SUP)* for an *Office Building* that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [*FM-740*], and take any action necessary.

Thank You,

Melanie Zavala

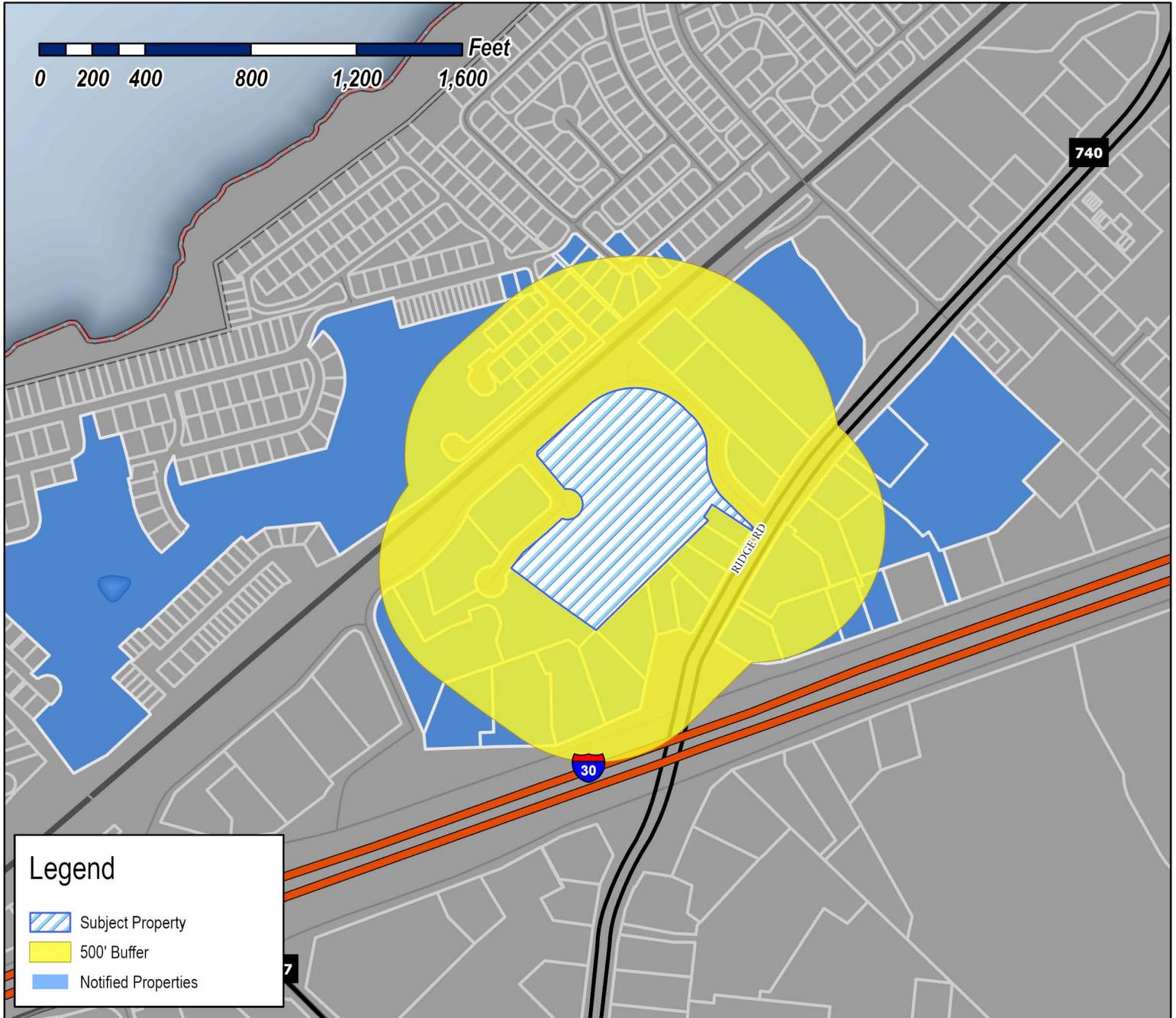
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2023-052
Case Name: SUP for La Jolla Pointe Drive
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: La Jolla Pointe Drive



Date Saved: 11/13/2023

For Questions on this Case Call: (972) 771-7746

SPARKS TANA J
1000 SPARKS DR
FATE, TX 75087

SHIPMAN FIRE GROUP INC
1020 LA JOLLA POINTE DRIVE
ROCKWALL, TX 75087

TURTLE COVE RESIDENTIAL ASSOC INC
C/O NEIGHBORHOOD MANAGEMENT
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

STEAK N SHAKE OPERATIONS, INC
C/O THE STEAK N SHAKE COMPANY
107 S PENNSYLVANIA ST SUITE 400
INDIANAPOLIS, IN 46204

TOLKACHJOV HOLDINGS ROCKWALL LLC
1105 LADY DE VANCE LN
LEWISVILLE, TX 75056

BOLD LLC
121 WYLER DR
DAKOTA, IL 61018

RESIDENT
1600 LA JOLLA POINTE DR
ROCKWALL, TX 75087

TRITON I-30 ROCKWALL LLC
1845 WOODALL ROGERS FREEWAY, SUITE 1100
DALLAS, TX 75201

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

2424 MTA REALTY LLC
2424 RIDGE ROAD
ROCKWALL, TX 75087

RESIDENT
2455 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2475 RIDGE RD
ROCKWALL, TX 75087

ESTATE OF DR RICHARD L BROOKS
2504 RIDGE RD STE 107
ROCKWALL, TX 75087

BROOKS RICHARD L MD
2504 RIDGE RD STE 101
ROCKWALL, TX 75087

AKSHAR 10 LLC
2508 SAM SCHOOL ROAD
SOUTHLAKE, TX 76092

RESIDENT
2510 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2535 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2545 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2555 RIDGE RD
ROCKWALL, TX 75087

BELAC PROPERTIES LLC
2600 RIDGE RD STE 102
ROCKWALL, TX 75087

BROOKS TIM
2602 RIDGE ROAD SUITE 1
ROCKWALL, TX 75087

RESIDENT
2604 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2608 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2610 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2616 RIDGE RD
ROCKWALL, TX 75087

2455 RIDGE LLC
2701 CUSTER PARKWAY SUITE 706
RICHARDSON, TX 75080

HALL JUSTIN KIMBELL
2902 PRESTON TRAIL
ROCKWALL, TX 75087

MARLEY KELLE AND CLAYTON D
2904 PRESTON TRAIL
ROCKWALL, TX 75087

DUCHARME JASON
2906 PRESTON TRAIL
ROCKWALL, TX 75087

LEE GREGORY P AND LAUREN W
2908 PRESTON TRAIL
ROCKWALL, TX 75087

KESTER SEAN AND MISTI
2910 PRESTON TRAIL
ROCKWALL, TX 75087

EHLERT GORDON W & LINDA K
3001 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3002 PRESTON TR
ROCKWALL, TX 75087

TURNER CECE
3002 PRESTON CT
ROCKWALL, TX 75087

SANCHEZ ENEIDA
3003 LAKESIDE DR
ROCKWALL, TX 75087

ROGERS GENTRY
3003 PRESTON COURT
ROCKWALL, TX 75087

RESIDENT
3004 PRESTON TR
ROCKWALL, TX 75087

MILLER KATHLEEN PALMER
3004 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3005 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3006 PRESTON TR
ROCKWALL, TX 75087

HAMBLEY DAVID L JR & CAROL A
3006 PRESTON COURT
ROCKWALL, TX 75087

CHILDRESS DENNIS K JR & HILARY
3007 LAKESIDE DR
ROCKWALL, TX 75087

BURK CATHERINE & HOWARD T
3007 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3008 PRESTON TR
ROCKWALL, TX 75087

ZUMWALT HAROLD J & VICKY
3009 PRESTON CT
ROCKWALL, TX 75087

GANCI GLENN
305 DREW LN
HEATH, TX 75032

LOTL HOLDINGS LLC
320 PORTVIEW PLACE
ROCKWALL, TX 75032

RESIDENT
4100 VILLAGE DR
ROCKWALL, TX 75087

ROBERTS JAMES F
4112 VILLAGE DR
ROCKWALL, TX 75087

QSR 30 LAND LLC
4515 LBJ FREEWAY
DALLAS, TX 75224

CBAX PROPERTIES LLC
465 W PRESIDENT GEORGE BUSH HWY
RICHARDSON, TX 75080

36 WAGON ROAD, LLC
502 TERRY LANE
HEATH, TX 75032

36 WAGON ROAD, LLC
502 TERRY LANE
HEATH, TX 75032

RESIDENT
550 LA JOLLA DR
ROCKWALL, TX 75087

RESIDENT
550 VIGOR WAY
ROCKWALL, TX 75087

RESIDENT
550 E I30
ROCKWALL, TX 75087

RESIDENT
560 E I30
ROCKWALL, TX 75087

RESIDENT
568 E I30
ROCKWALL, TX 75087

RESIDENT
578 E I30
ROCKWALL, TX 75087

ROCKWALL CORNER CORPORATION
600 E I-30
ROCKWALL, TX 75087

RESIDENT
610 I30
ROCKWALL, TX 75087

ROCKWALL INNKEEPERS I LTD
6176 FM 2011
LONGVIEW, TX 75603

ROCKWALL INNKEEPERS I LTD
6176 FM 2011
LONGVIEW, TX 75603

RESIDENT
630 I 30
ROCKWALL, TX 75087

ZASTROW BRADLEY L & SANDRA D
641 CHANNEL RIDGE DR
ROCKWALL, TX 75087

COGDELL CHELSEA ANNE
645 CHANNEL RIDGE DRIVE
ROCKWALL, TX 75087

SVRCEK JOSEPH T
649 CHANNEL RIDGE DR
ROCKWALL, TX 75087

PAUL'S KWIK KAR INC
650 E INTERSTATE 30
ROCKWALL, TX 75087

MCCOY RAYMOND & BELVA
653 CHANNEL RIDGE DR
ROCKWALL, TX 75087

RESIDENT
657 CHANNEL RIDGE DR
ROCKWALL, TX 75087

ALLEN TEXAS WHITE TIGER CORPORATION
853 BEAR CROSSING DRIVE
ALLEN, TX 75013

MCDONALDS CORP (398/42)
C/O KEVA CHILDRESS
935 W RALPH HALL PKWY #101
ROCKWALL, TX 75032

SANDERS JOLINDA
950 BRIAR OAKS DRIVE
ROCKWALL, TX 75087

FIELDS TODD H AND NANCY E
954 BRIAR OAKS DR
ROCKWALL, TX 75087

GERRALD SCOTT W & JUDY A
955 BRIAR OAK DR
ROCKWALL, TX 75087

WILLIAMS KYLIE J
958 BRIAR OAK DR
ROCKWALL, TX 75087

JAGH HOSPITALITY LP
996 E I-30
ROCKWALL, TX 75087

ROBERT H FAMILY TRUST AND BMK FIN CORP
AND
SHERRI LANE HEWETT AND SUSAN LYNNE
HEWETT LUCAS
C/O IHOP ATTN HAKIM REMA P. O. BOX 12168
DALLAS, TX 75225

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE H O ASSOC
P.O. BOX 650255
DALLAS, TX 75265

B&M ALPHA INC
PO BOX 171754
ARLINGTON, TX 76003

ROCKWALL II PROPERTIES LLC
PO BOX 630768
HOUSTON, TX 77263

WAFFLE HOUSE INC
ATTN: TAX DEPT
PO BOX 6450
NORCROSS, GA 30091

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-052: SUP for La Jolla Pointe Drive

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a Specific Use Permit (SUP) for an Office Building that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-052: SUP for La Jolla Pointe Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Lee, Henry

From: Lisa Epstein <[REDACTED]>
Sent: Wednesday, November 29, 2023 2:43 PM
To: Planning
Cc: Bradley Epstein
Subject: Case No. 22023-052: SUP for La Jolla Pointe Drive

Hello,

I am contacting you to state my opposition for the proposed specific use permit for La Jolla Pointe Drive.

My husband and I own the building located at 2600 Ridge Road, and the proposed change will negatively impact our building in several ways.

First, it will completely destroy our view of the lake. We have a deck on the back of our building that we currently use for client events. We appreciate being able to do this and share our view with clients. If this SUP passes, we will no longer be able to enjoy this important aspect of our building. Secondly, our property value will be negatively affected. Our view is currently a major "selling point" of our building and without that view, the value of the building will decrease. Our property will be significantly financially impacted, how is this to be resolved in a way that feels fair? Going against current codes and restrictions will come at a negative financial impact to the value of the building. Where will this restitution come from and how will this difference be rectified? Another issue we have with a large building behind us is all of the traffic and noise it will bring. We are located near a very busy intersection and traffic already stacks up, making it difficult at times to enter or exit our parking lot.

Years ago, we proposed raising the height of the building to add a second story. At that time, P & Z told us that we were unable to raise the building, due to the height restrictions in the scenic overlay. Why now is the city considering waiving the height restrictions within the scenic overlay? Why would the city not enforce the same rules and restrictions that we have lived by ever since?

Additionally, the highlighted area designating the new development seems to come all the way up to Ridge Road, next to our building. We believe that this is city property, and we have been maintaining that property for years with regards to landscaping, etc. We are concerned about the possible placement of any sort of construction, including signage, in that strip of land. We are against any alteration or construction of any sort in that area.

We understand that growth is coming, and that a new office building is something that would benefit the city in many ways. We also strongly believe that Lake Ray Hubbard adds a significant benefit to our community. Part of that benefit is the lake's beauty, which is accessible to all. We are under threat of losing this benefit to the community and to our building. Therefore, we don't believe that it is within the rights of that developer to encroach upon those views. After all, this is why the city has established height restrictions for this area.

I will be in attendance at the meeting December 12, but cannot attend the meeting on December 18.

Thank you for the time and attention regarding our opposition to the SUP proposed for La Jolla Pointe Drive.

Sincerely,
Lisa Epstein

[REDACTED]

Lee, Henry

From: Sean Kester <[REDACTED]>
Sent: Monday, November 20, 2023 7:20 PM
To: Planning
Subject: Case No. Z2023-052: SUP for La Jolla Pointe Drive

Opposed, with conditions.

My house is the closest to the proposed variance plan. The green areas are very important to me and enhance the value of my property. The lack of light pollution enhances the value of my property. The quietness enhances the value of my property.

Sure there is a train track between, but that train is minimal (and I love trains as I work in supply chain).

What would make it palatable includes several points. #1 is in the fall/winter when the leaves are down, I don't want to be sitting in my backyard and see buildings. #2 is preserve much of the green, mature growth as possible. #3 Keep the light pollution to an absolute minimum. #4 No, I do not want some high rise looking into my property. I can see the beautiful American flag from my front yard and that's all I want to see - no buildings.

On the sound, well some buildings there would add a buffer from I-30 noise, so that would be a positive (when the wind blows right).

Respectfully submitted,

Sean Kester
[REDACTED]

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

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PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Z2023-052: SUP for La Jolla Pointe Drive

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Henry Lee
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Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-052: SUP for La Jolla Pointe Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

This is great location in Rockwall for several commercial businesses. Large office Bldg - multi-story will be visible from Hwy (like Trend Tower). It will bring more businesses to Rockwall, especially with expanding Hwy

DRSHAILESHVORA@gmail.com DR VORA

Name: Shailesh VORA MD

Address: [Redacted]

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



November 13, 2023

Ryan Miller
Director of Planning
City of Rockwall
385 S. Goliad Street,
Rockwall, TX 75087

Re: La Jolla Pointe Drive

Mr. Miller:

Enclosed you will find an application and supporting documents requesting that the Planning and Zoning Commission and City Council grant a Specific Use Permit (SUP) on the 9.9406-acre tract of land located on La Jolla Pointe Drive in Rockwall. The Rockwall Economic Development Corporation (REDC) has contracts to purchase the two parcels of land and has been performing due diligence and planning exercises over the past several months.

The REDC intends to utilize the property to attract "Class-A" corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall. In order to attract the tenants and the significant tax value investment desired by the REDC, we are proposing office projects that will be vertical in nature, which we feel will be of superior quality than the standard one or two-story garden-style office buildings that are more commonly seen without public involvement.

The provided cross-sections show a potential maximum building height of 120 feet above grade. Therefore, the zoning requires an amendment to allow for building heights up to 120 feet, as well as the FAR (floor area ratio) to accommodate office buildings of this scale. Please note that the property grade is approximately 12 feet below the elevation of Ridge Road and 13 feet below the elevation of Carmel Circle. Furthermore, the site's elevation is 20 feet or more below the Ridge Road elevation.

It is worth noting that the REDC is strictly governed by state statute as well as oversight provided by a Board of Directors of Rockwall residents appointed by the Rockwall City Council. You may rest-assured that the future development of this property will be of the highest-quality, will adhere to City of Rockwall development standards, and will support business enterprise and local employment alike. Furthermore, the REDC is highly selective in its recruiting efforts and therefore will be patient in the development of this property, not wishing to compromise on quality for an expedient development. Due to this fact, the REDC requests that the SUP remains effective for a period of no less than 10 years in order to provide ample time for marketing and attraction efforts.

The REDC kindly requests this SUP to facilitate the development of this property for the purposes of high-quality corporate office development.

Respectfully,

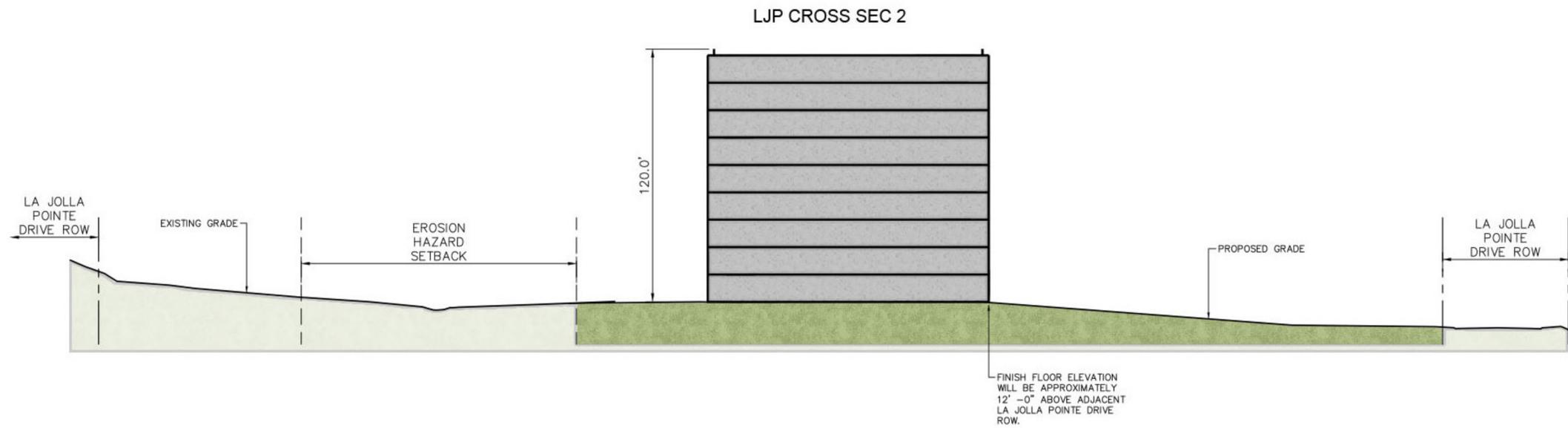
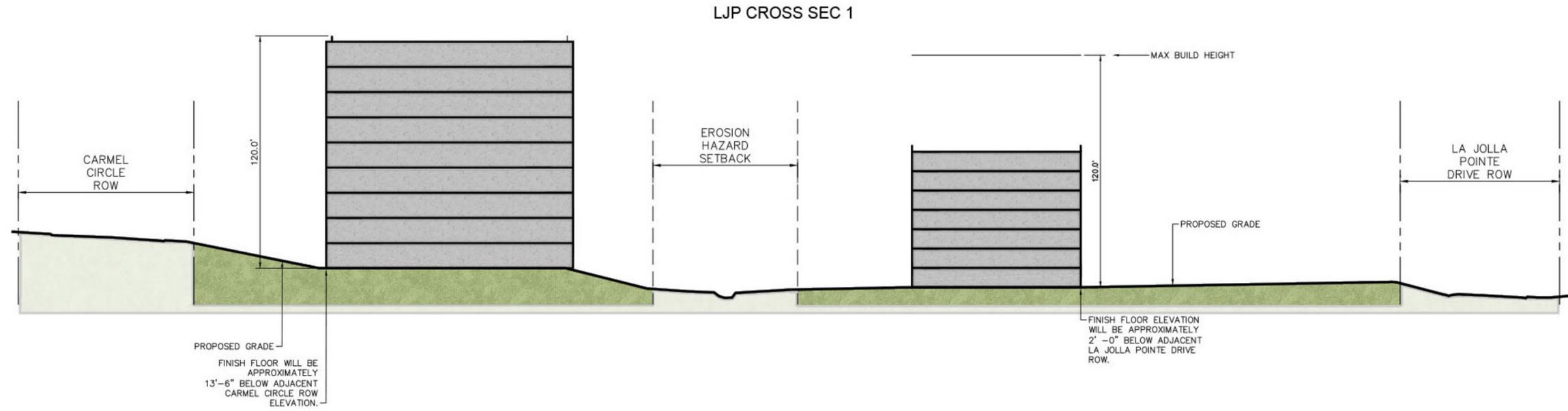
A handwritten signature in black ink, appearing to read "Matt Wavering". The signature is fluid and cursive, with a large loop at the end.

Matt Wavering
Vice President

CONCEPT SITE PLAN

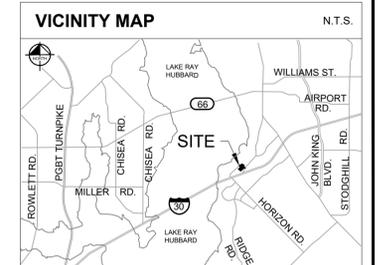
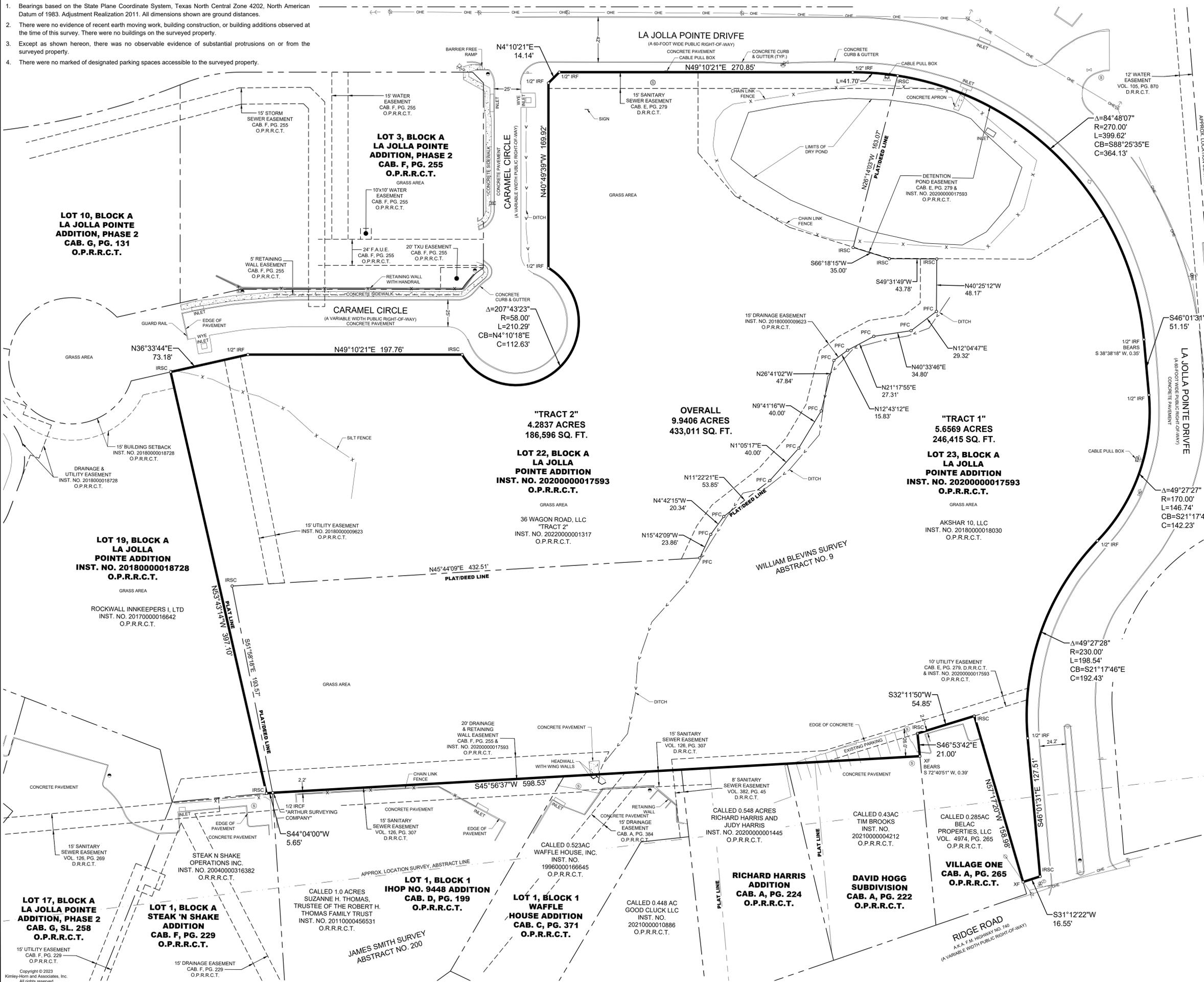


CONCEPT SITE SECTION



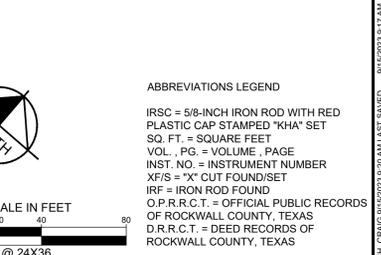
NOTES:

- Bearings based on the State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011. All dimensions shown are ground distances.
- There were no evidence of recent earth moving work, building construction, or building additions observed at the time of this survey. There were no buildings on the surveyed property.
- Except as shown hereon, there was no observable evidence of substantial protrusions on or from the surveyed property.
- There were no marked of designated parking spaces accessible to the surveyed property.



LEGEND

☐	ROOF DRAIN	☐	MAIL BOX
☐	CABLE TV BOX	☐	NEWS STAND
☐	CABLE TV HANDHOLE	☐	PHONE BOOTH
☐	CABLE TV MARKER FLAG	☐	SECURITY CAMERA
☐	CABLE TV MARKER SIGN	☐	TRASH BIN
☐	CABLE TV VAULT	☐	SANITARY SEWER BOX
☐	COMMUNICATIONS BOX	☐	SANITARY SEWER CLEAN OUT
☐	COMMUNICATIONS HANDHOLE	☐	SANITARY SEWER HANDHOLE
☐	COMMUNICATIONS MARKER FLAG	☐	SANITARY SEWER LET
☐	COMMUNICATIONS MARKER SIGN	☐	SANITARY SEWER LET STATION
☐	COMMUNICATIONS VAULT	☐	SANITARY SEWER METER
☐	ELEVATION BENCHMARK	☐	SANITARY SEWER MANHOLE
☐	FIBER OPTIC BOX	☐	SANITARY SEWER MARKER FLAG
☐	FIBER OPTIC HANDHOLE	☐	SANITARY SEWER MARKER SIGN
☐	FIBER OPTIC MANHOLE	☐	STORM SEWER BOX
☐	FIBER OPTIC MARKER FLAG	☐	STORM SEWER CLEAN OUT
☐	FIBER OPTIC MARKER SIGN	☐	STORM SEWER HANDHOLE
☐	FIBER OPTIC VAULT	☐	STORM SEWER LET
☐	FLOW DIRECTION	☐	STORM SEWER METER
☐	FUEL TANK	☐	STORM SEWER MANHOLE
☐	GAS BOX	☐	STORM SEWER MARKER FLAG
☐	GAS HANDHOLE	☐	STORM SEWER MARKER SIGN
☐	GAS MANHOLE	☐	STORM SEWER VAULT
☐	GAS MARKER FLAG	☐	TRAFFIC SIGNAL
☐	GAS MARKER SIGN	☐	TRAFFIC SIGNAL
☐	GAS TANK	☐	TRAFFIC SIGNAL
☐	GAS VAULT	☐	TRAFFIC SIGNAL
☐	GAS WELL	☐	TRAFFIC SIGNAL
☐	TELEPHONE BOX	☐	TRAFFIC SIGNAL
☐	TELEPHONE HANDHOLE	☐	UNIDENTIFIED BOX
☐	TELEPHONE MANHOLE	☐	UNIDENTIFIED HANDHOLE
☐	TELEPHONE MARKER FLAG	☐	UNIDENTIFIED METER
☐	TELEPHONE MARKER SIGN	☐	UNIDENTIFIED MANHOLE
☐	TELEPHONE VAULT	☐	UNIDENTIFIED MARKER FLAG
☐	PIPELINE BOX	☐	UNIDENTIFIED MARKER SIGN
☐	PIPELINE HANDHOLE	☐	UNIDENTIFIED POLE
☐	PIPELINE METER	☐	UNIDENTIFIED TANK
☐	PIPELINE MARKER FLAG	☐	UNIDENTIFIED VALVE
☐	PIPELINE MARKER SIGN	☐	UNIDENTIFIED VALVE
☐	PIPELINE VAULT	☐	UNIDENTIFIED VALVE
☐	PIPELINE VALVE	☐	WATER BOX
☐	ELECTRIC BOX	☐	FIRE DEPT. CONNECTION
☐	ELECTRIC HANDHOLE	☐	WATER HAND HOLE
☐	ELECTRIC MANHOLE	☐	FIRE HOSANT
☐	ELECTRIC MARKER FLAG	☐	WATER METER
☐	ELECTRIC MARKER SIGN	☐	WATER METER
☐	ELECTRIC VAULT	☐	WATER METER
☐	ELECTRIC SWITCH	☐	WATER METER
☐	ELECTRIC TRANSFORMER	☐	WATER METER
☐	ELECTRIC VAULT	☐	WATER METER
☐	HANDICAPPED PARKING	☐	PK NAIL FOUND
☐	PARKING METER	☐	IRON ROD FOUND
☐	RAILROAD BOX	☐	"X" CUT IN CONCRETE SET
☐	RAILROAD HANDHOLE	☐	"X" CUT IN CONCRETE FOUND
☐	RAILROAD SIGNAL	☐	POINT FOR CORNER
☐	RAILROAD SIGN	☐	
☐	RAILROAD VAULT	☐	
☐	SIGN	☐	
☐	MARKER/REBAR/BOARD	☐	
☐	A/C UNIT	☐	
☐	BASKET BALL GOAL	☐	
☐	BONE LOCATION	☐	
☐	FLAG POLE	☐	
☐	GOAL POST	☐	
☐	GRAVE TRAP	☐	
☐	IRRIGATION VALVE	☐	



ALTA/NSPS LAND TITLE SURVEY
 TRACT 1 - 5.6569 ACRES
 TRACT 2 - 4.2837 ACRES
 WILLIAM BLEVINS SURVEY,
 ABSTRACT NO. 9
 JAMES SMITH SURVEY,
 ABSTRACT NO. 200
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS

Kimley»Horn
 13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620
 Scale: 1" = 40' Drawn by: GDW Checked by: CDB Date: Sep. 2023 Project No: 064584402 Sheet No: 1 OF 2

FLOOD STATEMENT:

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0040L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

RECORD PROPERTY DESCRIPTION

"TRACT 1"

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 23, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

"TRACT 2"

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 22, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

NOTES ADDRESSING SCHEDULE B EXCEPTIONS:

AS TO "TRACT 1" DESCRIBED ABOVE:

(Pursuant to Commitment for Title Insurance, issued by Fidelity National Title Insurance Company, GF. No. LT-19124-1901242300245, effective date July 11, 2023, issued July 5, 2023.)

- 1. The surveyed property is all of Lots 22 and 23, Block A of La Jolla Pointe Addition, recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas.
- 10f. The following easements and/or building lines and other matters shown on the plat recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas:
 - a) Detention Pond Easement as shown hereon;
 - b) 20' Drainage and Retaining Wall Easement as shown hereon;
 - c) 10' Utility Easement as shown hereon.
- 10g. Water Easement to the City of Rockwall, recorded in Volume 105, Page 870, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10h. Water Easement to the City of Rockwall, recorded in Volume 124, Page 937, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10i. Utility Easement to the City of Rockwall, recorded in Volume 5162, Page 190, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.

AS TO "TRACT 2" DESCRIBED ABOVE:

(Pursuant to Commitment for Title Insurance, issued by First American Title Insurance Company, GF. No. 1002-386489-RTT, effective date August 29, 2023, issued September 12, 2023.)

- 10e. The following easements and/or building lines, as shown on plat recorded in Instrument No. 20200000017593, Official Public Records, Rockwall County, Texas:
 - Detention pond easement as shown hereon.
- 10f. The surveyed property is a portion of the property described in Instrument No. 20180000009623, Official Public Records, Rockwall County, Texas. Utility Easement and Drainage Easement described in said Instrument as shown hereon.
- 10g. The 15-foot Sanitary Sewer Easement, recorded in Cabinet E, Page 279, Plat Records, Rockwall County, Texas, as shown hereon.

SURVEYORS CERTIFICATION:

To: ROUND ROCK LAND COMPANY LLC;
AKSHA 10, LLC;
36 WAGON ROAD, LLC;
FIDELITY NATIONAL TITLE INSURANCE COMPANY;
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION;
FWT DEVELOPMENT LLC, A TEXAS LIMITED LIABILITY COMPANY;
FIRST AMERICAN TITLE INSURANCE COMPANY;
REPUBLIC TITLE OF TEXAS, INC.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 8, 9, 13, 16 and 19 of Table A thereof. The field work was completed on August 25, 2023.

 09/15/2023 Date
Craig D. Bartosh
Registered Professional Land Surveyor No. 6459
Kimley-Horn and Associates, Inc.
13455 Noel Road
Two Galleria Office Tower, Suite 700
Dallas, Texas 75240
Ph. (972) 770-1300
craig.bartosh@kimley-horn.com



ALTA/NSPS LAND TITLE SURVEY
TRACT 1 - 5.6569 ACRES
TRACT 2 - 4.2837 ACRES
WILLIAM BLEVINS SURVEY,
ABSTRACT NO. 9
JAMES SMITH SURVEY,
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CITY OF ROCKWALL,
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Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	GDW	CDB	Sep. 2023	064584402	2 OF 2

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *BUILDINGS THAT EXCEED 36-FEET IN HEIGHT* ON A 9.9406-ACRE TRACT OF LAND IDENTIFIED AS LOTS 22 & 23, BLOCK A, LA JOLLA POINTE ADDITION, PHASE 2, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Matt Wavering of the Rockwall Economic Development Corporation (REDC) for the approval of a Specific Use Permit (SUP) for *Buildings that Exceed 36-Feet in Height* on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Buildings that Exceed 36-Feet in Height* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, *Commercial (C) District*; Subsection 06.02, *General Overlay District Standards*; Subsection 06.06, *IH-30 Overlay (IH-30 OV) District*; and Subsection 06.08, *Scenic Overlay (SOV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --

and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of *Buildings that Exceed 36-Feet in Height* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Buildings on the *Subject Property* shall not exceed 120-feet or as depicted on the building elevations/cross sections contained in the Conceptual Building Heights in *Exhibit 'C'* of this ordinance.
- 3) The Specific Use Permit (SUP) shall be valid for a period of ten (10) years from the approval date of this ordinance (*i.e. valid until January 2, 2034*). If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90-days prior to the expiration date of this ordinance (*i.e. October 4, 2033*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to the Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the

adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF JANUARY, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 18, 2023

2nd Reading: January 2, 2024

Exhibit 'B'
Concept Plan

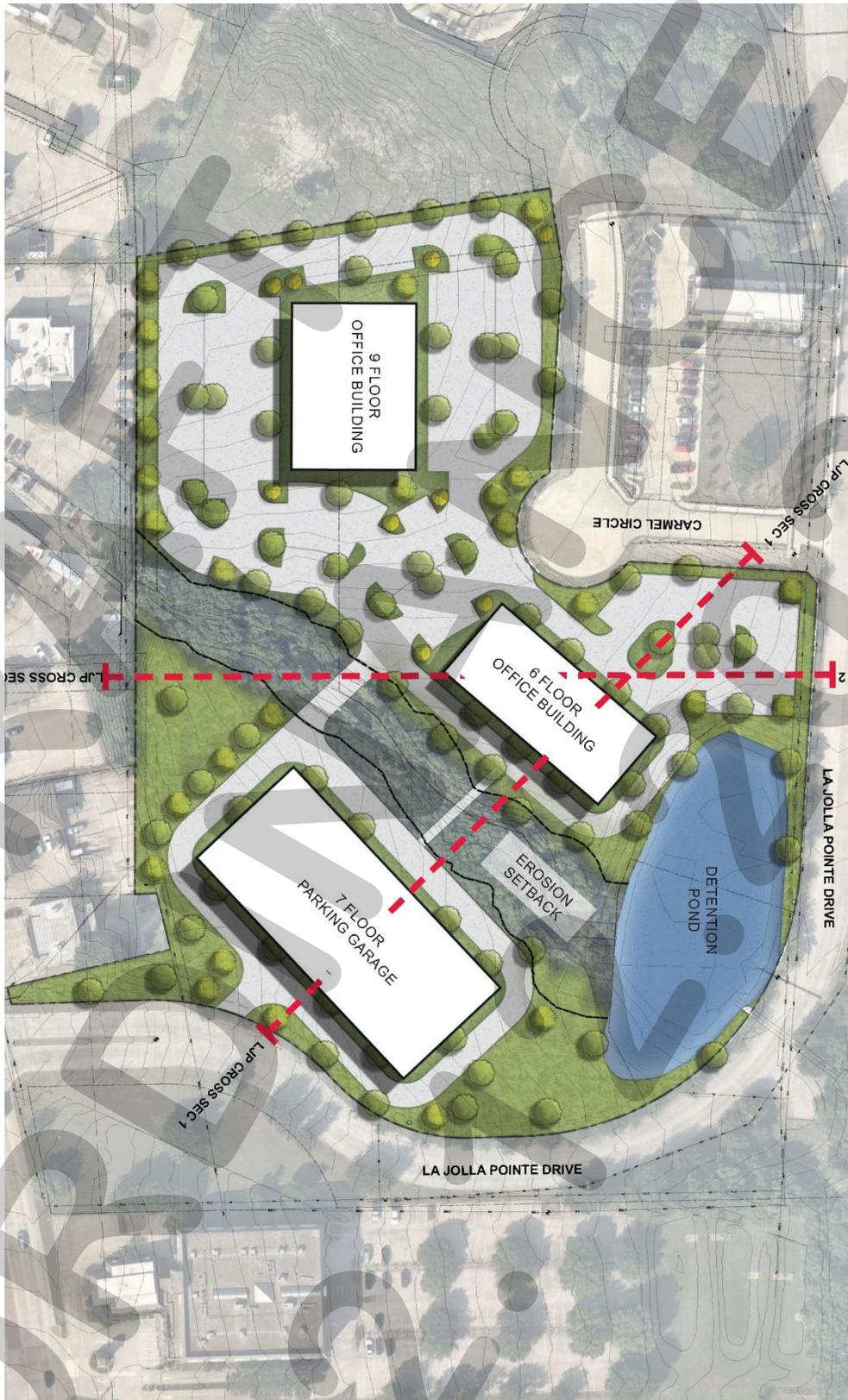
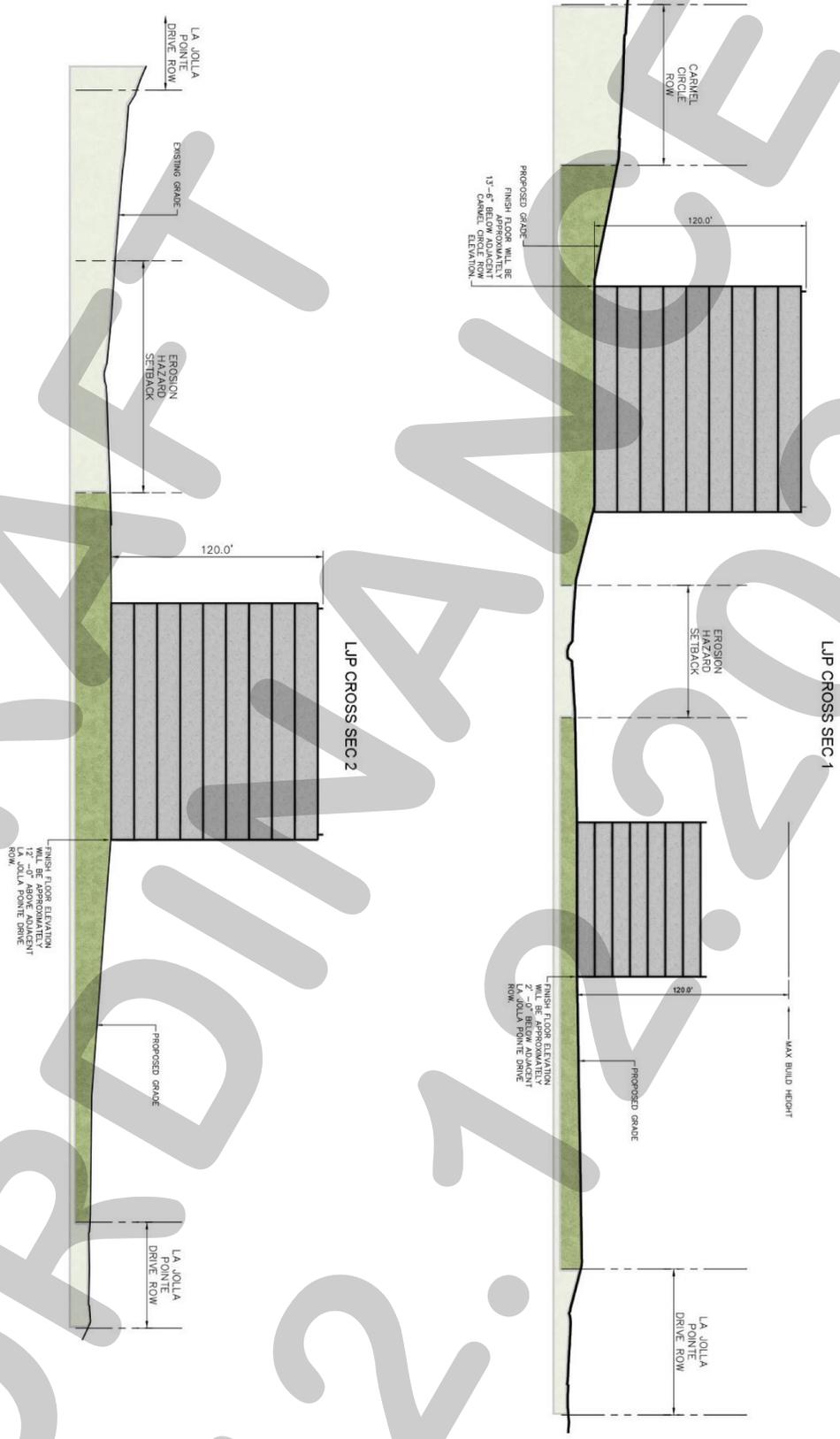


Exhibit 'C'
Conceptual Building Heights





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: December 18, 2023
APPLICANT: Matt Wavering; *Rockwall Economic Development Corporation (REDC)*
CASE NUMBER: Z2023-052; *Specific Use Permit (SUP) for La Jolla Pointe Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a Specific Use Permit (SUP) for an *Office Building* that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on September 5, 1960 by *Ordinance No. 60-02 [Case No. A1960-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. At some point between the time of annexation and January 3, 1972, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District. On November 17, 2003, the City Council approved a final plat [Case No. P2003-024] that establish the subject property as Lot 1, Block A, La Jolla Pointe, Phase 2 Addition. On February 7, 2005 the City Council approved a replat [Case No. P2004-068] that reestablished the subject property as a Lots 4-6, Block A, La Jolla Pointe, Phase 2 Addition. On August 21, 2006, the City Council approved another replat [Case No. P2006-019] that change the subject property to Lots 6, 7, and a portion of Lot 8, Block A, La Jolla Pointe, Phase 2 Addition. On April 2, 2018, the City Council approved a Specific Use Permit (SUP) [Ordinance No. 18-20; S-187] allowing a *Limited Service Hotel* on a portion of the subject property. This Specific Use Permit (SUP) expired on October 1, 2020. On August 20, 2018 the City Council approved two (2) site plans [Case No. SP2018-024 & SP2018-025] to allow the construction of an *Office Building* and a *Medical Office Building* on the subject property. These site plans expired on August 20, 2020. On October 1, 2018 the City Council approved a site plan [Case No. SP2018-023] to allow the construction of a *Hotel*. This site plan expired on October 1, 2020. On March 2, 2020, the City Council approved a replat [Case No. P2020-009] that reestablished the subject property as Lots 22 & 23, Block A, La Jolla Pointe, Phase 2 Addition. The property has remained vacant since the time of annexation.

PURPOSE

On November 13, 2023, the applicant -- *Matt Wavering of the Rockwall Economic Development Corporation (REDC)* -- submitted an application requesting a Specific Use Permit (SUP) for an *Office Building* that will exceed 36-feet in height on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is La Jolla Pointe Drive, which is identified as a *Minor Collector* on Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this is Phase 3 of the Turtle Cove

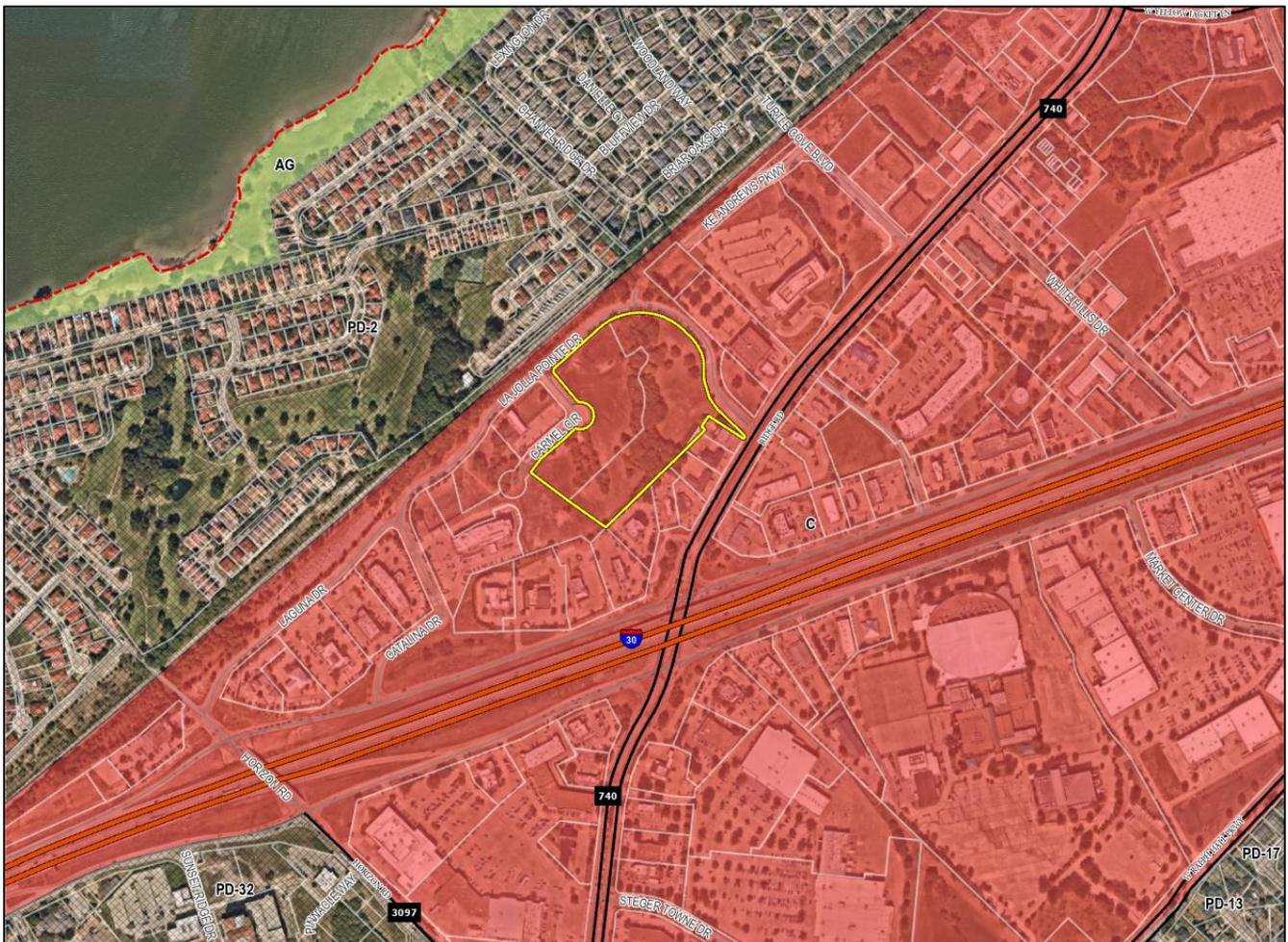
Subdivision, which consists of 102 single-family residential lots. This subdivision was established on April 11, 2000 and is zoned Planned Development District 2 (PD2) for single-family residential land uses.

South: Directly south of the subject property are several parcels developed with restaurants (*i.e. Steak N Shake, IHOP, Waffle House, Velvet Taco, and Snuffers*) that are zoned Commercial (C) District. Beyond this is the westbound frontage road of IH-30, followed by the main lanes of IH-30, and the eastbound frontage road for IH-30.

East: Directly east of the subject property are three (3) parcels of land developed with *Office Buildings (i.e. Ebby Halliday, Allstate, Epstein & Kolacz)* and zoned Commercial (C) District. Beyond this is Ridge Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are several parcels of land developed with commercial/retail land uses that are zoned Commercial (C) District.

West: Directly west of the subject property is the intersection of Carmel Circle and La Jolla Pointe Drive. Carmel Circle is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) and La Jolla Pointe Drive is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Following this is Phase 3 of the Lakeside Village Subdivision, which consists of 122 single-family residential lots. This subdivision was established in 1972 and is zoned Planned Development District 2 (PD-2) for single-family residential land uses

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and a conceptual building height exhibit indicating that the proposed development scheme will be multi-story *Office Buildings*. Based on the conceptual building height exhibit, the intent of the requested Specific Use Permit (SUP) is to develop the subject property with *Office Buildings* that exceed the height requirement of 36-feet stipulated by the Scenic Overlay (SOV) District. According to the applicant's letter, the increased height is being requested in order to attract "high-quality employment opportunities" that are of "superior quality than the standard one or two-story garden-style office buildings." The applicant has also indicated that development of the property will be *highly selective*. Given this, the applicant is also requesting that the Specific Use Permit (SUP) remain effective for ten (10) years in lieu of the standard one (1) year per Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

CONFORMANCE WITH THE CITY'S CODES

According to Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as "(a) facility that provides executive, management, administrative, or professional services... not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices." In this case, the proposed concept plan indicates the development of *Office Buildings* on the subject property, which is in conformance with this definition. In addition, according to Subsection 06.02, *General Overlay District Standards*, Article 05, *District Development Standards*, of the Unified Development Code (UDC), any building over 36-feet in height requires a Specific Use Permit (SUP). This requirement prompted the applicant to submit for the proposed Specific Use Permit (SUP).

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *IH-30 Corridor District*. All of the property located within the *IH-30 Corridor District* is designated for the *Special Commercial (SC) Corridor* land use. The OURHometown Vision 2040 Comprehensive Plan describes the *Special Commercial (SC) Corridor* as being reserved for *Regional Centers*, which are described as being one (1) of the following four (4) models: *Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center*; however, the *Primary Land Uses* identified for this land use designation include *Corporate Office*. Based on this, the applicant's request is in conformance with the *Future Land Use Plan*. Staff should also note that the *IH-30 Corridor District* is divided into three (3) *Corridor Zones* (i.e. *the Preservation, Opportunity, and Transitional Zones*). In this case, the subject property is located within a *Transitional Zone*, which is defined as "(a) segment of the existing corridor that is currently underutilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential." The subject property is currently vacant and is surrounded by single-story, single-tenant *Office Buildings* and *Restaurants*. Based on this, the proposed future development would appear to maximize the subject property's tax potential and conform to the *IH-30 Corridor Plan* contained in Appendix 'B', *Corridor Plans*, of the OURHometown Vision 2040 Comprehensive Plan.

According to the *Vision Statement* within Chapter 06, *Economic Development*, of the OURHometown Vision 2040 Comprehensive Plan, "(t)he City of Rockwall should continue to build a diversified local economy by attracting and retaining businesses that can utilize the City's existing highly skilled workforce and aid in the creation of a stable and resilient tax base." In this case, the applicant's letter states that they intend to attract *Class-A* corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall." Given this, the applicant's request appears to conform to goals and policies laid out for *Economic Development* within the OURHometown Vision 2040 Comprehensive Plan.

STAFF ANALYSIS

In this case, the proposed concept plan and conceptual building height exhibit appear to conform with all of the density and dimensional requirements for a property in a Commercial (C) District, with the exception of maximum height requirement. The applicant's proposal also appears to conform with the intent of the OURHometown Vision 2040 Comprehensive Plan. Staff has included provisions in the Specific Use Permit (SUP) ordinance that will require general conformance with the concept plan at the time of site plan approval, and that the proposed buildings cannot exceed 120-feet as depicted in the conceptual building height exhibit. At the request of the applicant, staff has also included a ten (10) year term for the Specific Use Permit (SUP). This appears to be warranted due to the scale of the proposed development and the amount of time that may be necessary for

the Rockwall Economic Development Corporation (REDC) to attract high-quality corporate office users. With this being said, a request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On November 15, 2023, staff mailed 85 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lakeside Village and Turtle Cove Homeowner's Association (HOA), which are the only Homeowners' Associations (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received two (2) notices in opposition and one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for an *Office Building* that exceeds 36-feet in height on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
 - (b) Buildings on the *Subject Property* shall not exceed 120-feet or as depicted on the building elevations/cross sections contained in the Conceptual Building Heights in *Exhibit 'C'* of this ordinance.
 - (c) The Specific Use Permit (SUP) shall be valid for a period of ten (10) years from the approval date of this ordinance (*i.e. valid until January 2, 2034*). If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90-days prior to the expiration date of this ordinance (*i.e. October 4, 2033*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to the Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On December 12, 2023, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-2, with Commissioners Conway and Llewellyn dissenting and Commissioner Womble absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS La Jolla Pointe Drive

SUBDIVISION La Jolla Pointe Addition

LOT 22

BLOCK A

GENERAL LOCATION Corner of La Jolla Pointe Drive & Carmel Circle

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE vacant

PROPOSED ZONING Specific Use Permit (SUP)

PROPOSED USE office

ACREAGE 4.2837

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 36 Wagon Road, LLC

APPLICANT Rockwall Economic Development Corporation

CONTACT PERSON Paul Liechty

CONTACT PERSON Matt Wavering

ADDRESS 502 Terry Lane

ADDRESS 2610 Observation Trl, Suite 104

CITY, STATE & ZIP Heath, TX 75032

CITY, STATE & ZIP Rockwall, TX 75032

PHONE

PHONE 972-772-0025

E-MAIL drpliechty@gmail.com

E-MAIL mwavering@rockwalledc.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Liechty, Manager [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

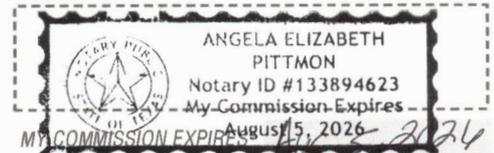
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$264.26 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF November, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7 DAY OF November, 2023

OWNER'S SIGNATURE

Paul Liechty
Angela Elizabeth Pittmon

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS La Jolla Pointe Drive

SUBDIVISION La Jolla Pointe Addition

LOT 23 BLOCK A

GENERAL LOCATION La Jolla Pointe Drive, west of Ridge Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE vacant

PROPOSED ZONING Specific Use Permit (SUP)

PROPOSED USE office

ACREAGE 5.6569

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Akshar 10, LLC

APPLICANT Rockwall Economic Development Corporation

CONTACT PERSON Shailesh Vora

CONTACT PERSON Matt Wavering

ADDRESS 2508 Sam School Road

ADDRESS 2610 Observation Trl, Suite 104

CITY, STATE & ZIP Southlake, TX 76092

CITY, STATE & ZIP Rockwall, TX 75032

PHONE

PHONE 972-772-0025

E-MAIL scvora@sbcglobal.net

E-MAIL mwavering@rockwalledc.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shailesh VORA [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

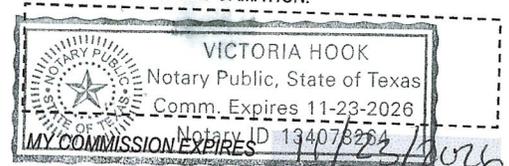
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$284.85 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF November, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

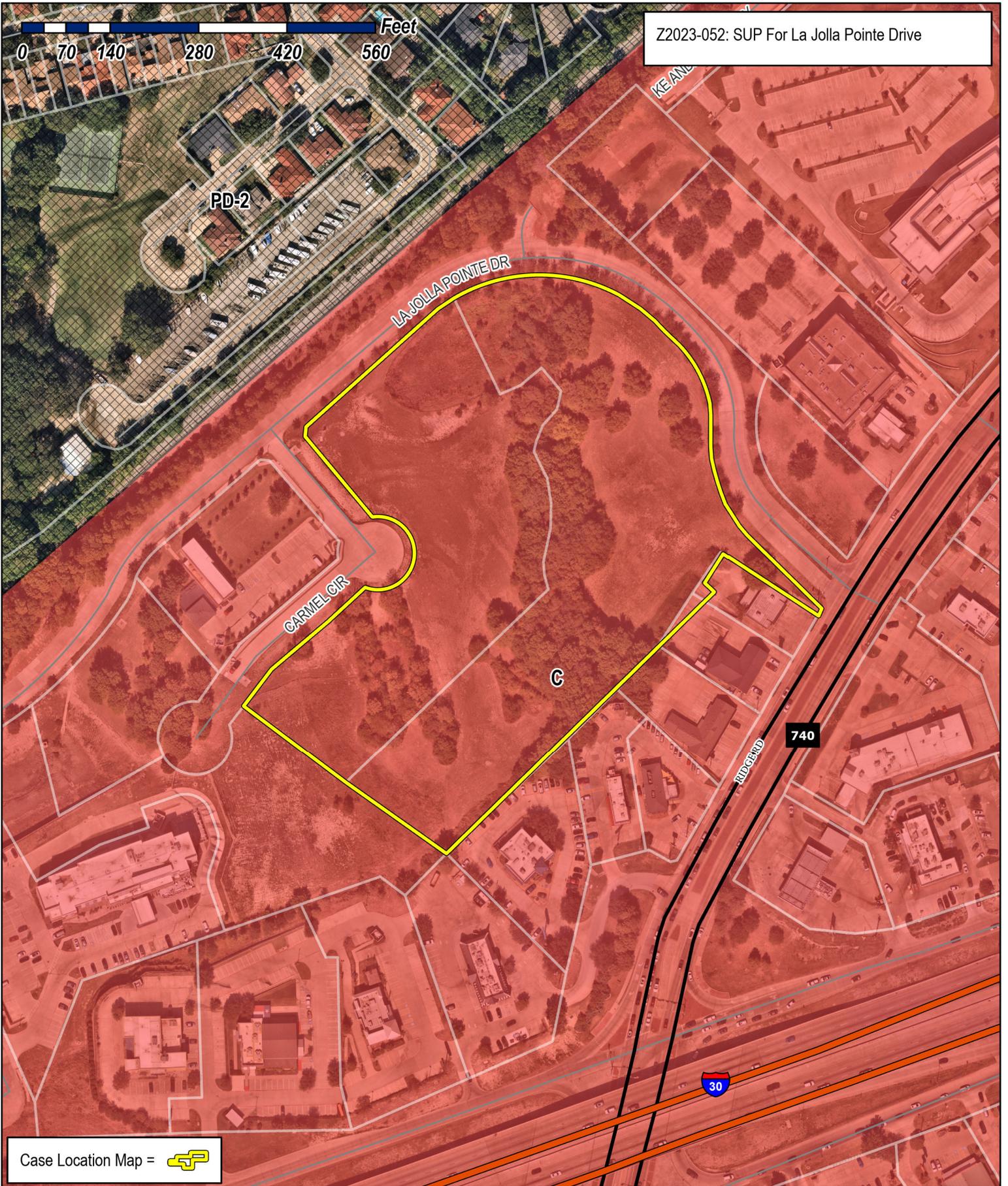
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4 DAY OF November, 2023

OWNER'S SIGNATURE

Shailesh Vora

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2023-052: SUP For La Jolla Pointe Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

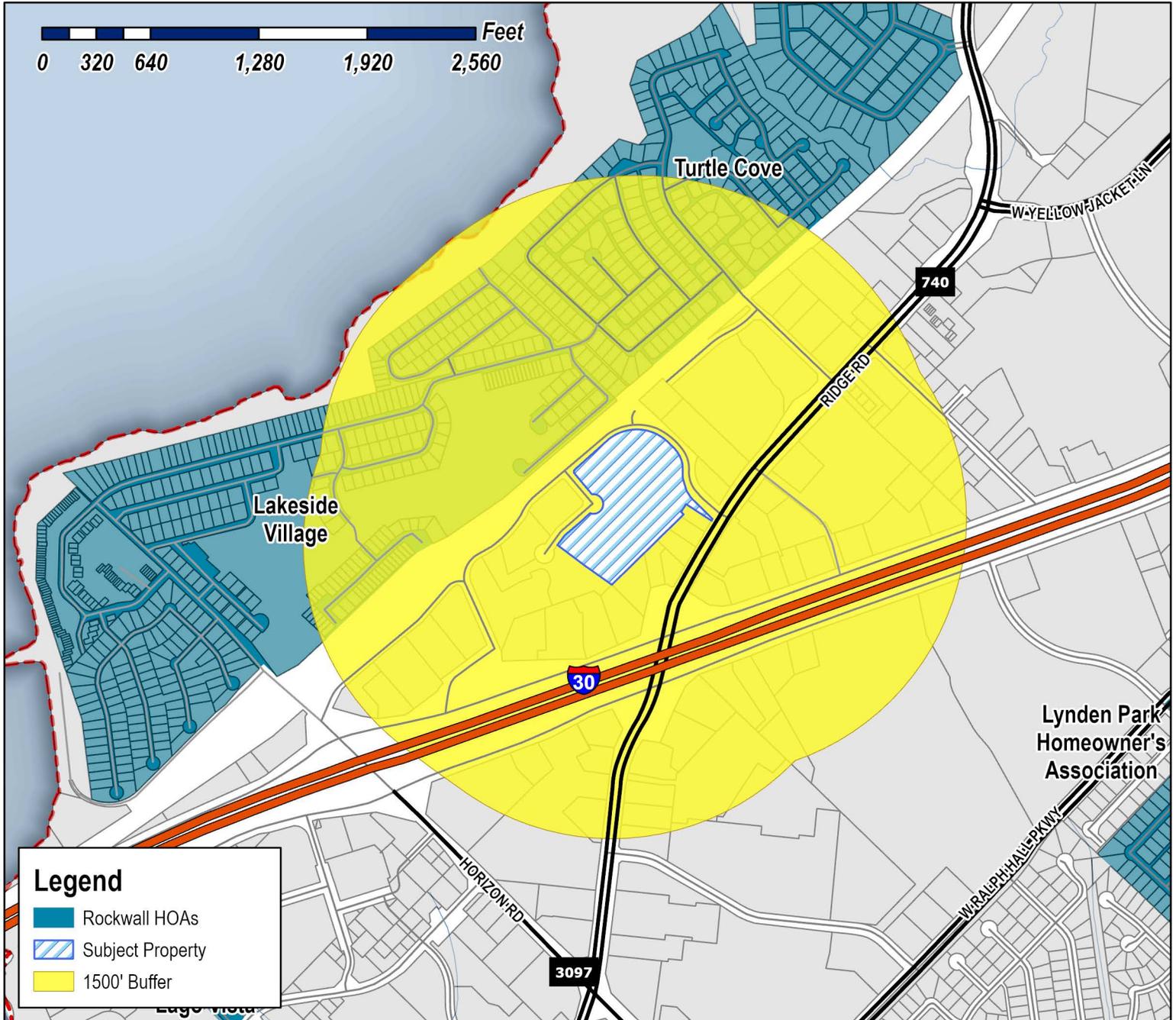




City of Rockwall

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Case Number: Z2023-052
Case Name: SUP for La Jolla Pointe Drive
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: La Jolla Pointe Drive

Date Saved: 11/13/2023
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Zavala, Melanie
Sent: Thursday, November 16, 2023 3:19 PM
Cc: Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry
Subject: Neighborhood Notification Program [Z2023-052]
Attachments: Public Notice (P&Z) (11.15.2023).pdf; HOA Notification Map (11.13.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [November 17, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, December 12, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, December 18, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-052: SUP for La Jolla Pointe Drive

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for an [Office Building](#) that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [[FM-740](#)], and take any action necessary.

Thank You,

Melanie Zavala

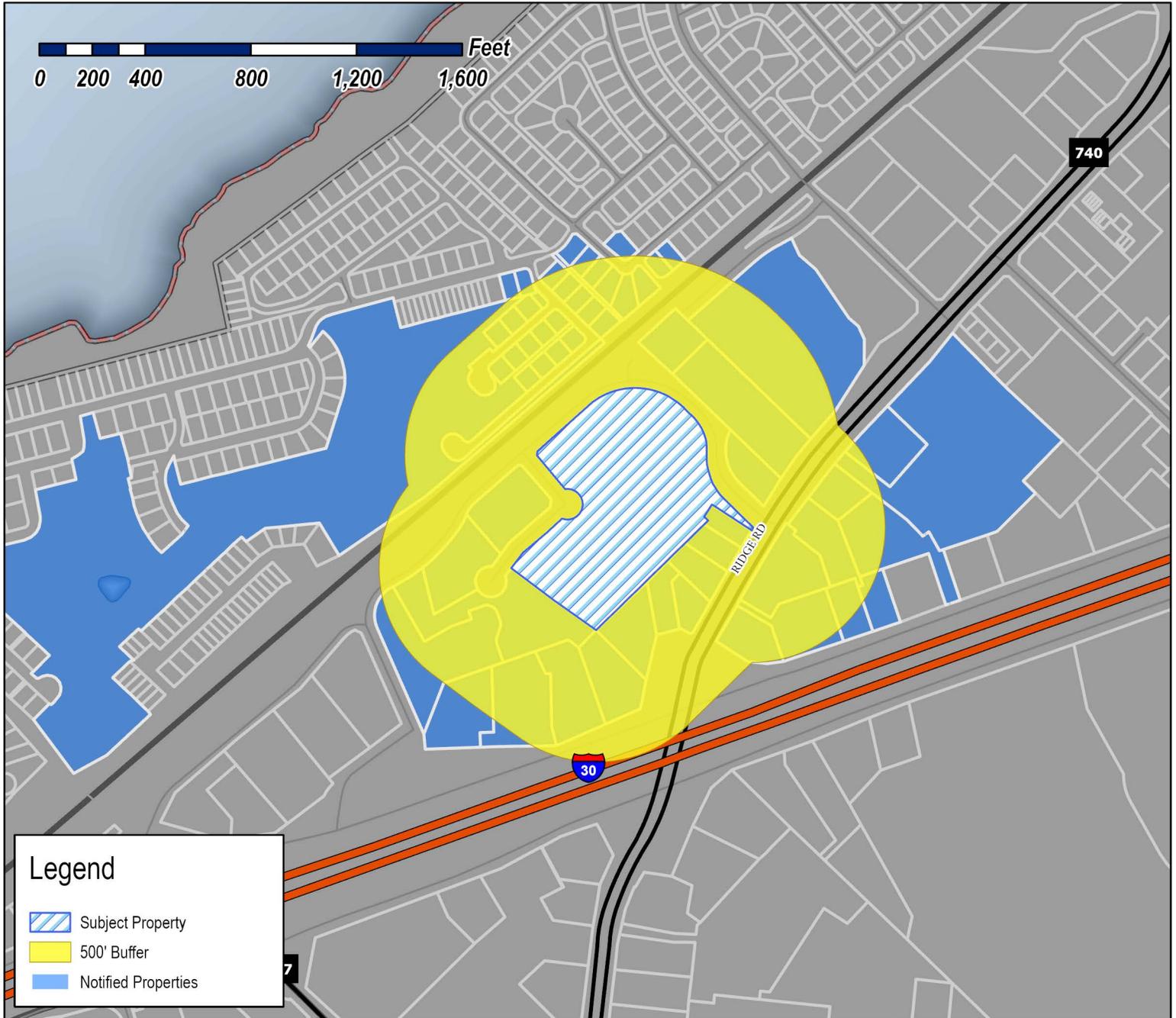
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-052
Case Name: SUP for La Jolla Pointe Drive
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: La Jolla Pointe Drive

Date Saved: 11/13/2023

For Questions on this Case Call: (972) 771-7746



SPARKS TANA J
1000 SPARKS DR
FATE, TX 75087

SHIPMAN FIRE GROUP INC
1020 LA JOLLA POINTE DRIVE
ROCKWALL, TX 75087

TURTLE COVE RESIDENTIAL ASSOC INC
C/O NEIGHBORHOOD MANAGEMENT
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

STEAK N SHAKE OPERATIONS, INC
C/O THE STEAK N SHAKE COMPANY
107 S PENNSYLVANIA ST SUITE 400
INDIANAPOLIS, IN 46204

TOLKACHJOV HOLDINGS ROCKWALL LLC
1105 LADY DE VANCE LN
LEWISVILLE, TX 75056

BOLD LLC
121 WYLER DR
DAKOTA, IL 61018

RESIDENT
1600 LA JOLLA POINTE DR
ROCKWALL, TX 75087

TRITON I-30 ROCKWALL LLC
1845 WOODALL ROGERS FREEWAY, SUITE 1100
DALLAS, TX 75201

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

2424 MTA REALTY LLC
2424 RIDGE ROAD
ROCKWALL, TX 75087

RESIDENT
2455 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2475 RIDGE RD
ROCKWALL, TX 75087

ESTATE OF DR RICHARD L BROOKS
2504 RIDGE RD STE 107
ROCKWALL, TX 75087

BROOKS RICHARD L MD
2504 RIDGE RD STE 101
ROCKWALL, TX 75087

AKSHAR 10 LLC
2508 SAM SCHOOL ROAD
SOUTHLAKE, TX 76092

RESIDENT
2510 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2535 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2545 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2555 RIDGE RD
ROCKWALL, TX 75087

BELAC PROPERTIES LLC
2600 RIDGE RD STE 102
ROCKWALL, TX 75087

BROOKS TIM
2602 RIDGE ROAD SUITE 1
ROCKWALL, TX 75087

RESIDENT
2604 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2608 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2610 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2616 RIDGE RD
ROCKWALL, TX 75087

2455 RIDGE LLC
2701 CUSTER PARKWAY SUITE 706
RICHARDSON, TX 75080

HALL JUSTIN KIMBELL
2902 PRESTON TRAIL
ROCKWALL, TX 75087

MARLEY KELLE AND CLAYTON D
2904 PRESTON TRAIL
ROCKWALL, TX 75087

DUCHARME JASON
2906 PRESTON TRAIL
ROCKWALL, TX 75087

LEE GREGORY P AND LAUREN W
2908 PRESTON TRAIL
ROCKWALL, TX 75087

KESTER SEAN AND MISTI
2910 PRESTON TRAIL
ROCKWALL, TX 75087

EHLERT GORDON W & LINDA K
3001 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3002 PRESTON TR
ROCKWALL, TX 75087

TURNER CECE
3002 PRESTON CT
ROCKWALL, TX 75087

SANCHEZ ENEIDA
3003 LAKESIDE DR
ROCKWALL, TX 75087

ROGERS GENTRY
3003 PRESTON COURT
ROCKWALL, TX 75087

RESIDENT
3004 PRESTON TR
ROCKWALL, TX 75087

MILLER KATHLEEN PALMER
3004 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3005 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3006 PRESTON TR
ROCKWALL, TX 75087

HAMBLEY DAVID L JR & CAROL A
3006 PRESTON COURT
ROCKWALL, TX 75087

CHILDRESS DENNIS K JR & HILARY
3007 LAKESIDE DR
ROCKWALL, TX 75087

BURK CATHERINE & HOWARD T
3007 PRESTON CT
ROCKWALL, TX 75087

RESIDENT
3008 PRESTON TR
ROCKWALL, TX 75087

ZUMWALT HAROLD J & VICKY
3009 PRESTON CT
ROCKWALL, TX 75087

GANCI GLENN
305 DREW LN
HEATH, TX 75032

LOTL HOLDINGS LLC
320 PORTVIEW PLACE
ROCKWALL, TX 75032

RESIDENT
4100 VILLAGE DR
ROCKWALL, TX 75087

ROBERTS JAMES F
4112 VILLAGE DR
ROCKWALL, TX 75087

QSR 30 LAND LLC
4515 LBJ FREEWAY
DALLAS, TX 75224

CBAX PROPERTIES LLC
465 W PRESIDENT GEORGE BUSH HWY
RICHARDSON, TX 75080

36 WAGON ROAD, LLC
502 TERRY LANE
HEATH, TX 75032

36 WAGON ROAD, LLC
502 TERRY LANE
HEATH, TX 75032

RESIDENT
550 LA JOLLA DR
ROCKWALL, TX 75087

RESIDENT
550 VIGOR WAY
ROCKWALL, TX 75087

RESIDENT
550 E I30
ROCKWALL, TX 75087

RESIDENT
560 E I30
ROCKWALL, TX 75087

RESIDENT
568 E I30
ROCKWALL, TX 75087

RESIDENT
578 E I30
ROCKWALL, TX 75087

ROCKWALL CORNER CORPORATION
600 E I-30
ROCKWALL, TX 75087

RESIDENT
610 I30
ROCKWALL, TX 75087

ROCKWALL INNKEEPERS I LTD
6176 FM 2011
LONGVIEW, TX 75603

ROCKWALL INNKEEPERS I LTD
6176 FM 2011
LONGVIEW, TX 75603

RESIDENT
630 I 30
ROCKWALL, TX 75087

ZASTROW BRADLEY L & SANDRA D
641 CHANNEL RIDGE DR
ROCKWALL, TX 75087

COGDELL CHELSEA ANNE
645 CHANNEL RIDGE DRIVE
ROCKWALL, TX 75087

SVRCEK JOSEPH T
649 CHANNEL RIDGE DR
ROCKWALL, TX 75087

PAUL'S KWIK KAR INC
650 E INTERSTATE 30
ROCKWALL, TX 75087

MCCOY RAYMOND & BELVA
653 CHANNEL RIDGE DR
ROCKWALL, TX 75087

RESIDENT
657 CHANNEL RIDGE DR
ROCKWALL, TX 75087

ALLEN TEXAS WHITE TIGER CORPORATION
853 BEAR CROSSING DRIVE
ALLEN, TX 75013

MCDONALDS CORP (398/42)
C/O KEVA CHILDRESS
935 W RALPH HALL PKWY #101
ROCKWALL, TX 75032

SANDERS JOLINDA
950 BRIAR OAKS DRIVE
ROCKWALL, TX 75087

FIELDS TODD H AND NANCY E
954 BRIAR OAKS DR
ROCKWALL, TX 75087

GERRALD SCOTT W & JUDY A
955 BRIAR OAK DR
ROCKWALL, TX 75087

WILLIAMS KYLIE J
958 BRIAR OAK DR
ROCKWALL, TX 75087

JAGH HOSPITALITY LP
996 E I-30
ROCKWALL, TX 75087

ROBERT H FAMILY TRUST AND BMK FIN CORP
AND
SHERRI LANE HEWETT AND SUSAN LYNNE
HEWETT LUCAS
C/O IHOP ATTN HAKIM REMA P. O. BOX 12168
DALLAS, TX 75225

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE HOMEOWNERS
P.O. BOX 650255
DALLAS, TX 75265

LAKESIDE VILLAGE H O ASSOC
P.O. BOX 650255
DALLAS, TX 75265

B&M ALPHA INC
PO BOX 171754
ARLINGTON, TX 76003

ROCKWALL II PROPERTIES LLC
PO BOX 630768
HOUSTON, TX 77263

WAFFLE HOUSE INC
ATTN: TAX DEPT
PO BOX 6450
NORCROSS, GA 30091

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-052: SUP for La Jolla Pointe Drive

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a Specific Use Permit (SUP) for an Office Building that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 12, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 18, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-052: SUP for La Jolla Pointe Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Lee, Henry

From: Lisa Epstein <[REDACTED]>
Sent: Wednesday, November 29, 2023 2:43 PM
To: Planning
Cc: Bradley Epstein
Subject: Case No. 22023-052: SUP for La Jolla Pointe Drive

Hello,

I am contacting you to state my opposition for the proposed specific use permit for La Jolla Pointe Drive.

My husband and I own the building located at 2600 Ridge Road, and the proposed change will negatively impact our building in several ways.

First, it will completely destroy our view of the lake. We have a deck on the back of our building that we currently use for client events. We appreciate being able to do this and share our view with clients. If this SUP passes, we will no longer be able to enjoy this important aspect of our building. Secondly, our property value will be negatively affected. Our view is currently a major "selling point" of our building and without that view, the value of the building will decrease. Our property will be significantly financially impacted, how is this to be resolved in a way that feels fair? Going against current codes and restrictions will come at a negative financial impact to the value of the building. Where will this restitution come from and how will this difference be rectified? Another issue we have with a large building behind us is all of the traffic and noise it will bring. We are located near a very busy intersection and traffic already stacks up, making it difficult at times to enter or exit our parking lot.

Years ago, we proposed raising the height of the building to add a second story. At that time, P & Z told us that we were unable to raise the building, due to the height restrictions in the scenic overlay. Why now is the city considering waiving the height restrictions within the scenic overlay? Why would the city not enforce the same rules and restrictions that we have lived by ever since?

Additionally, the highlighted area designating the new development seems to come all the way up to Ridge Road, next to our building. We believe that this is city property, and we have been maintaining that property for years with regards to landscaping, etc. We are concerned about the possible placement of any sort of construction, including signage, in that strip of land. We are against any alteration or construction of any sort in that area.

We understand that growth is coming, and that a new office building is something that would benefit the city in many ways. We also strongly believe that Lake Ray Hubbard adds a significant benefit to our community. Part of that benefit is the lake's beauty, which is accessible to all. We are under threat of losing this benefit to the community and to our building. Therefore, we don't believe that it is within the rights of that developer to encroach upon those views. After all, this is why the city has established height restrictions for this area.

I will be in attendance at the meeting December 12, but cannot attend the meeting on December 18.

Thank you for the time and attention regarding our opposition to the SUP proposed for La Jolla Pointe Drive.

Sincerely,
Lisa Epstein

[REDACTED]

Lee, Henry

From: Sean Kester <[REDACTED]>
Sent: Monday, November 20, 2023 7:20 PM
To: Planning
Subject: Case No. Z2023-052: SUP for La Jolla Pointe Drive

Opposed, with conditions.

My house is the closest to the proposed variance plan. The green areas are very important to me and enhance the value of my property. The lack of light pollution enhances the value of my property. The quietness enhances the value of my property.

Sure there is a train track between, but that train is minimal (and I love trains as I work in supply chain).

What would make it palatable includes several points. #1 is in the fall/winter when the leaves are down, I don't want to be sitting in my backyard and see buildings. #2 is preserve much of the green, mature growth as possible. #3 Keep the light pollution to an absolute minimum. #4 No, I do not want some high rise looking into my property. I can see the beautiful American flag from my front yard and that's all I want to see - no buildings.

On the sound, well some buildings there would add a buffer from I-30 noise, so that would be a positive (when the wind blows right).

Respectfully submitted,

Sean Kester
[REDACTED]

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-052: SUP for La Jolla Pointe Drive

Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation (REDC) on behalf of Paul Liechty of 36 Wagon Road, LLC and Shailesha Vora of Akshar 10, LLC for the approval of a Specific Use Permit (SUP) for an Office Building that will exceed 36-feet in the Scenic Overlay (SOV) District on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and take any action necessary.

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Henry Lee
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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-052: SUP for La Jolla Pointe Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

This is great location in Rockwall for several commercial businesses. Large office Bldg - multi-story will be visible from Hwy (like Trend Tower). It will bring more businesses to Rockwall, especially with expanding Hwy

DRSHAILESHVORA@gmail.com DR VORA

Name: Shailesh VORA MD

Address: [Redacted]

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



November 13, 2023

Ryan Miller
Director of Planning
City of Rockwall
385 S. Goliad Street,
Rockwall, TX 75087

Re: La Jolla Pointe Drive

Mr. Miller:

Enclosed you will find an application and supporting documents requesting that the Planning and Zoning Commission and City Council grant a Specific Use Permit (SUP) on the 9.9406-acre tract of land located on La Jolla Pointe Drive in Rockwall. The Rockwall Economic Development Corporation (REDC) has contracts to purchase the two parcels of land and has been performing due diligence and planning exercises over the past several months.

The REDC intends to utilize the property to attract "Class-A" corporate office developments occupied by tenants that can provide high-quality employment opportunities for the citizens of Rockwall. In order to attract the tenants and the significant tax value investment desired by the REDC, we are proposing office projects that will be vertical in nature, which we feel will be of superior quality than the standard one or two-story garden-style office buildings that are more commonly seen without public involvement.

The provided cross-sections show a potential maximum building height of 120 feet above grade. Therefore, the zoning requires an amendment to allow for building heights up to 120 feet, as well as the FAR (floor area ratio) to accommodate office buildings of this scale. Please note that the property grade is approximately 12 feet below the elevation of Ridge Road and 13 feet below the elevation of Carmel Circle. Furthermore, the site's elevation is 20 feet or more below the Ridge Road elevation.

It is worth noting that the REDC is strictly governed by state statute as well as oversight provided by a Board of Directors of Rockwall residents appointed by the Rockwall City Council. You may rest-assured that the future development of this property will be of the highest-quality, will adhere to City of Rockwall development standards, and will support business enterprise and local employment alike. Furthermore, the REDC is highly selective in its recruiting efforts and therefore will be patient in the development of this property, not wishing to compromise on quality for an expedient development. Due to this fact, the REDC requests that the SUP remains effective for a period of no less than 10 years in order to provide ample time for marketing and attraction efforts.

The REDC kindly requests this SUP to facilitate the development of this property for the purposes of high-quality corporate office development.

Respectfully,

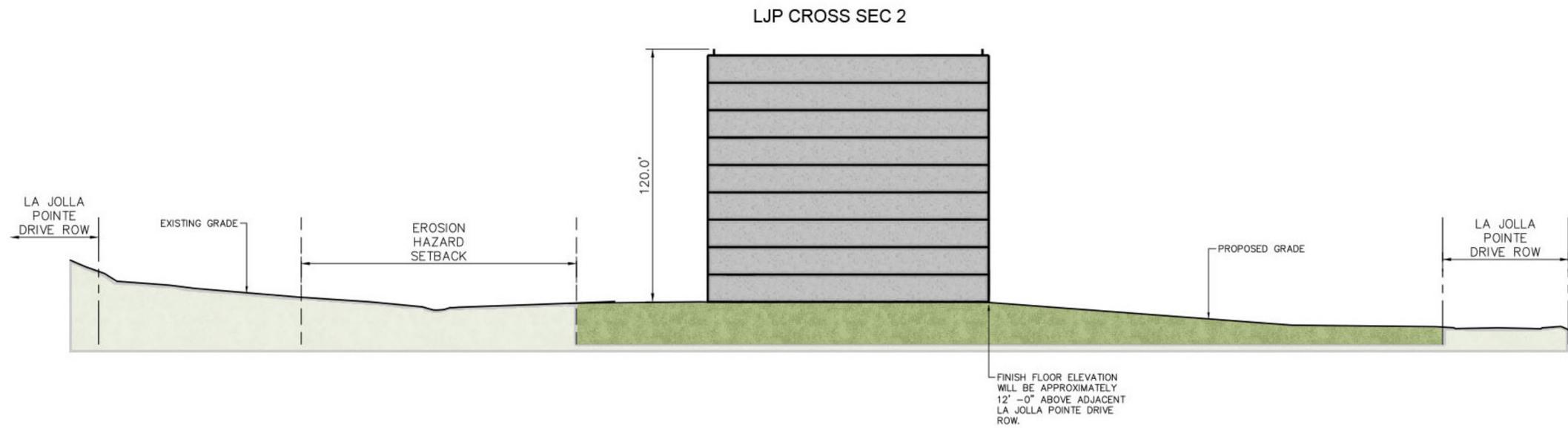
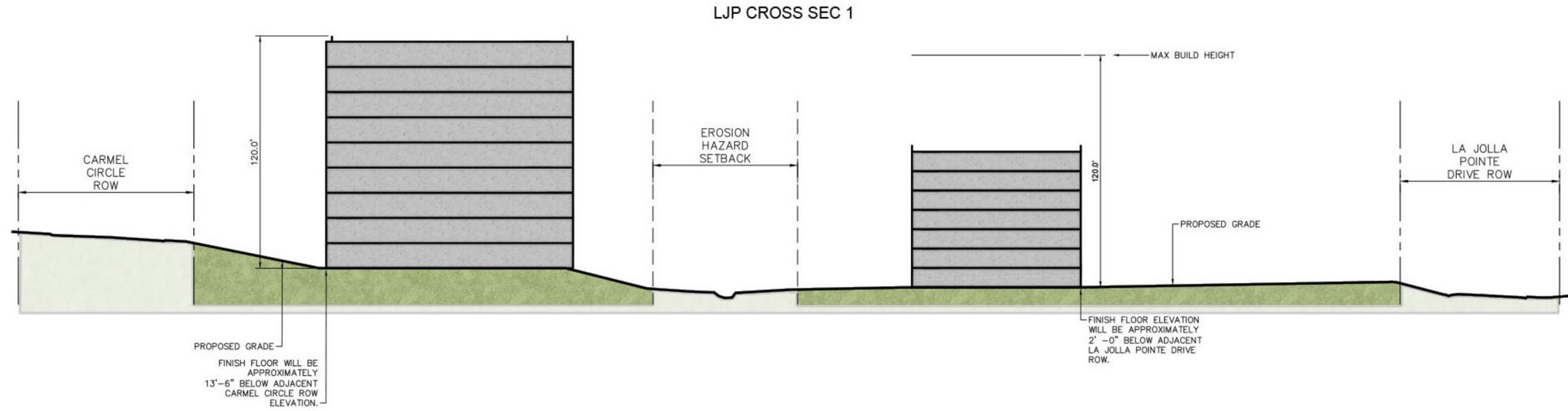
A handwritten signature in black ink, appearing to read "Matt Wavering", with a large, sweeping flourish at the end.

Matt Wavering
Vice President

CONCEPT SITE PLAN

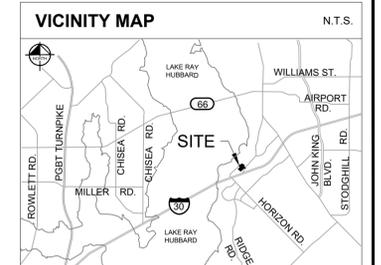
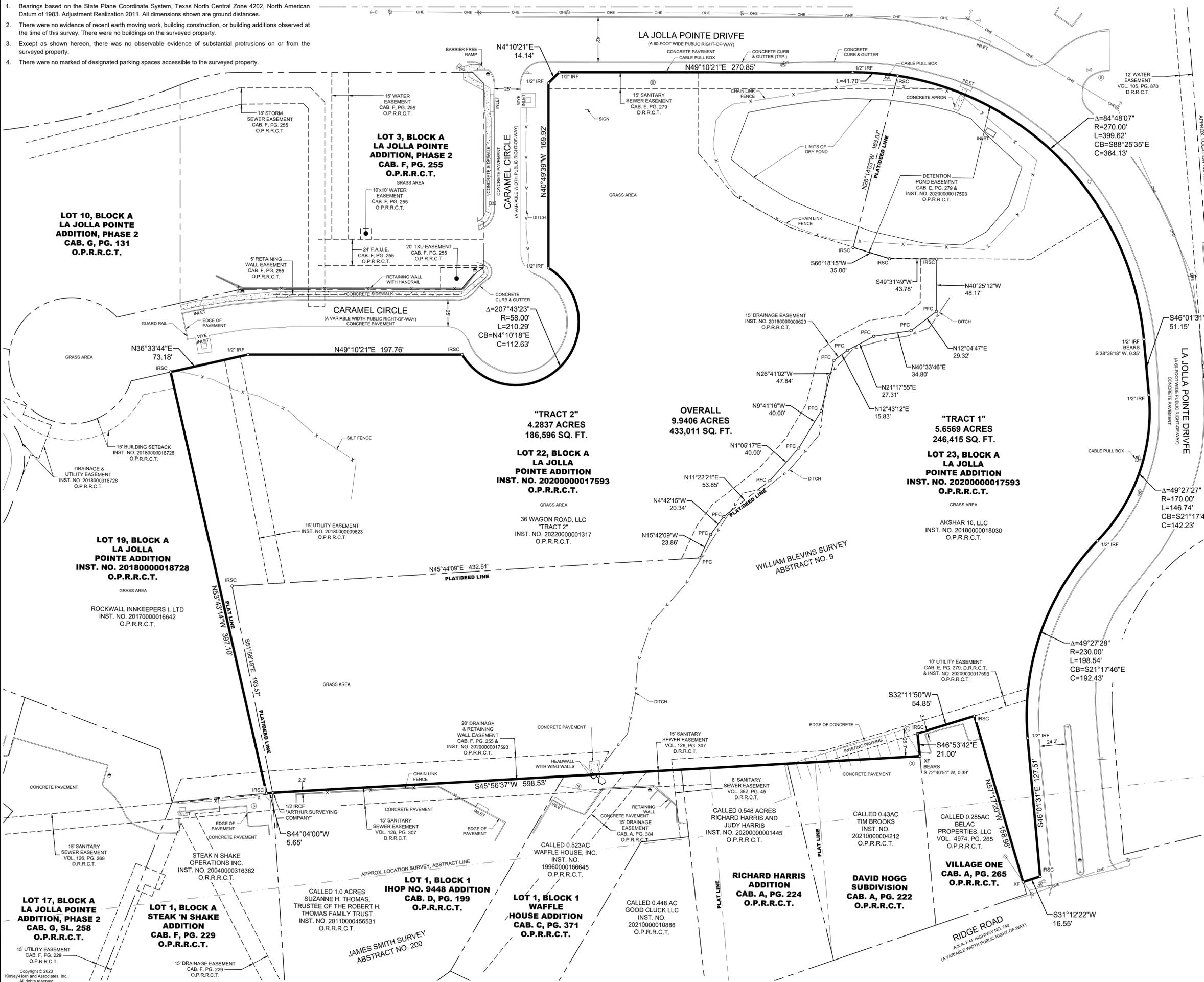


CONCEPT SITE SECTION



NOTES:

- Bearings based on the State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011. All dimensions shown are ground distances.
- There were no evidence of recent earth moving work, building construction, or building additions observed at the time of this survey. There were no buildings on the surveyed property.
- Except as shown hereon, there was no observable evidence of substantial protrusions on or from the surveyed property.
- There were no marked of designated parking spaces accessible to the surveyed property.



LEGEND

[Symbol]	ROOF DRAIN	[Symbol]	MAIL BOX
[Symbol]	CABLE TV BOX	[Symbol]	NEWS STAND
[Symbol]	CABLE TV HANDHOLE	[Symbol]	PHONE BOOTH
[Symbol]	CABLE TV MARKER FLAG	[Symbol]	SECURITY CAMERA
[Symbol]	CABLE TV MARKER SIGN	[Symbol]	TRASH BIN
[Symbol]	COMMUNICATIONS BOX	[Symbol]	SANITARY SEWER CLEAN OUT
[Symbol]	COMMUNICATIONS HANDHOLE	[Symbol]	SANITARY SEWER HANDHOLE
[Symbol]	COMMUNICATIONS MARKER FLAG	[Symbol]	SANITARY SEWER LET STATION
[Symbol]	COMMUNICATIONS MARKER SIGN	[Symbol]	SANITARY SEWER METER
[Symbol]	COMMUNICATIONS VAULT	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	ELEVATION BENCHMARK	[Symbol]	SANITARY SEWER MARKER FLAG
[Symbol]	FLOW DIRECTION	[Symbol]	SANITARY SEWER MARKER SIGN
[Symbol]	FIBER OPTIC BOX	[Symbol]	SANITARY SEWER MARKER SIGN
[Symbol]	FIBER OPTIC HANDHOLE	[Symbol]	STORM SEWER CLEAN OUT
[Symbol]	FIBER OPTIC MANHOLE	[Symbol]	STORM SEWER HANDHOLE
[Symbol]	FIBER OPTIC MARKER FLAG	[Symbol]	STORM SEWER MANHOLE
[Symbol]	FIBER OPTIC MARKER SIGN	[Symbol]	STORM SEWER METER
[Symbol]	FIBER OPTIC VAULT	[Symbol]	STORM SEWER MARKER FLAG
[Symbol]	MONITORING WELL	[Symbol]	STORM SEWER MARKER SIGN
[Symbol]	FUEL TANK	[Symbol]	STORM SEWER VAULT
[Symbol]	GAS BOX	[Symbol]	STORM SEWER VAULT
[Symbol]	GAS HANDHOLE	[Symbol]	STORM SEWER VAULT
[Symbol]	GAS METER	[Symbol]	TRAFFIC BOLLARD
[Symbol]	GAS MANHOLE	[Symbol]	TRAFFIC BOX
[Symbol]	GAS MARKER FLAG	[Symbol]	TRAFFIC BARRIER
[Symbol]	GAS MARKER SIGN	[Symbol]	TRAFFIC SIGNAL
[Symbol]	GAS TANK	[Symbol]	TRAFFIC SIGN
[Symbol]	GAS VAULT	[Symbol]	TRAFFIC SIGN
[Symbol]	GAS WELL	[Symbol]	TRAFFIC SIGN
[Symbol]	TELEPHONE BOX	[Symbol]	TRAFFIC SIGN
[Symbol]	TELEPHONE HANDHOLE	[Symbol]	UNIDENTIFIED BOX
[Symbol]	TELEPHONE MANHOLE	[Symbol]	UNIDENTIFIED HANDHOLE
[Symbol]	TELEPHONE MARKER FLAG	[Symbol]	UNIDENTIFIED METER
[Symbol]	TELEPHONE MARKER SIGN	[Symbol]	UNIDENTIFIED MANHOLE
[Symbol]	TELEPHONE VAULT	[Symbol]	UNIDENTIFIED MARKER FLAG
[Symbol]	PIPELINE BOX	[Symbol]	UNIDENTIFIED MARKER SIGN
[Symbol]	PIPELINE HANDHOLE	[Symbol]	UNIDENTIFIED POLE
[Symbol]	PIPELINE METER	[Symbol]	UNIDENTIFIED TANK
[Symbol]	PIPELINE MARKER FLAG	[Symbol]	UNIDENTIFIED VALVE
[Symbol]	PIPELINE MARKER SIGN	[Symbol]	UNIDENTIFIED VALVE
[Symbol]	PIPELINE VAULT	[Symbol]	WATER BOX
[Symbol]	PIPELINE VALVE	[Symbol]	FIRE DEPT. CONNECTION
[Symbol]	ELECTRIC BOX	[Symbol]	WATER HAND HOLE
[Symbol]	FLOOD LIGHT	[Symbol]	FIRE HORNS
[Symbol]	GUY ANCHOR	[Symbol]	WATER METER
[Symbol]	GUY ANCHOR POLE	[Symbol]	WATER MANHOLE
[Symbol]	ELECTRIC MANHOLE	[Symbol]	WATER MARKER FLAG
[Symbol]	ELECTRIC MARKER FLAG	[Symbol]	WATER MARKER SIGN
[Symbol]	ELECTRIC METER	[Symbol]	WATER TANK
[Symbol]	ELECTRIC MANHOLE	[Symbol]	WATER VAULT
[Symbol]	ELECTRIC MARKER SIGN	[Symbol]	WATER VALVE
[Symbol]	UTILITY POLE	[Symbol]	AIR RELEASE VALVE
[Symbol]	ELECTRIC SWITCH	[Symbol]	WATER WELL
[Symbol]	ELECTRIC VAULT	[Symbol]	IRSC 5/8" IRON ROD W/ "KHA" CAP SET
[Symbol]	ELECTRIC TRANSFORMER	[Symbol]	IRSC IRON ROD WITH CAP FOUND
[Symbol]	HANDICAPPED PARKING	[Symbol]	PK# PK NAIL FOUND
[Symbol]	PARKING METER	[Symbol]	IRF IRON ROD FOUND
[Symbol]	RAILROAD BOX	[Symbol]	"X" CUT IN CONCRETE SET
[Symbol]	RAILROAD HANDHOLE	[Symbol]	"X" CUT IN CONCRETE FOUND
[Symbol]	RAILROAD SIGNAL	[Symbol]	PFC POINT FOR CORNER
[Symbol]	RAILROAD SIGN	[Symbol]	
[Symbol]	RAILROAD VAULT	[Symbol]	
[Symbol]	SIGN	[Symbol]	
[Symbol]	MARKERS/BOLLARD	[Symbol]	
[Symbol]	A/C UNIT	[Symbol]	
[Symbol]	BASKET BALL GOAL	[Symbol]	
[Symbol]	BONE LOCATION	[Symbol]	
[Symbol]	FLAG POLE	[Symbol]	
[Symbol]	GOAL POST	[Symbol]	
[Symbol]	GRAVE TRAP	[Symbol]	
[Symbol]	IRRIGATION VALVE	[Symbol]	

LINE TYPE LEGEND

[Line Style]	BOUNDARY LINE
[Line Style]	FENCE
[Line Style]	CONCRETE PAVEMENT
[Line Style]	FLOW LINE
[Line Style]	PROPERTY/ADJACENT LINE

ABBREVIATIONS LEGEND

IRSC = 5/8-INCH IRON ROD WITH RED PLASTIC CAP STAMPED "KHA" SET
VOL. , PG. = VOLUME, PAGE
INST. NO. = INSTRUMENT NUMBER
XF/5" = "X" CUT FOUND/SET
IRF = IRON ROD FOUND
O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
D.R.R.C.T. = DEED RECORDS OF ROCKWALL COUNTY, TEXAS

GRAPHIC SCALE IN FEET
1" = 40' @ 24X36

ALTA/NSPS LAND TITLE SURVEY
TRACT 1 - 5.6569 ACRES
TRACT 2 - 4.2837 ACRES
WILLIAM BLEVINS SURVEY,
ABSTRACT NO. 9
JAMES SMITH SURVEY,
ABSTRACT NO. 200
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	GDW	CDB	Sep. 2023	064584402	1 OF 2

FLOOD STATEMENT:

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0040L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

RECORD PROPERTY DESCRIPTION

"TRACT 1"

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 23, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

"TRACT 2"

Being a tract of land situated in the William Blevins Survey, Abstract No. 9, City of Rockwall, Rockwall County, Texas, and being all of Lot 22, Block A of La Jolla Pointe Addition, an Addition to the City of Rockwall, Texas, according to the Map or Plat thereof recorded in Instrument No. 20200000017593 of the Official Public Records, Rockwall County, Texas, (O.P.R.R.C.T.)

NOTES ADDRESSING SCHEDULE B EXCEPTIONS:

AS TO "TRACT 1" DESCRIBED ABOVE:

(Pursuant to Commitment for Title Insurance, issued by Fidelity National Title Insurance Company, GF, No. LT-19124-1901242300245, effective date July 11, 2023, issued July 5, 2023.)

- 1. The surveyed property is all of Lots 22 and 23, Block A of La Jolla Pointe Addition, recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas.
- 10f. The following easements and/or building lines and other matters shown on the plat recorded in Instrument No. 2020-17593, Map Records, Rockwall County, Texas:
 - a) Detention Pond Easement as shown hereon;
 - b) 20' Drainage and Retaining Wall Easement as shown hereon;
 - c) 10' Utility Easement as shown hereon.
- 10g. Water Easement to the City of Rockwall, recorded in Volume 105, Page 870, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10h. Water Easement to the City of Rockwall, recorded in Volume 124, Page 937, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.
- 10i. Utility Easement to the City of Rockwall, recorded in Volume 5162, Page 190, Real Property Records, Rockwall County, Texas, does not lie on the surveyed property.

AS TO "TRACT 2" DESCRIBED ABOVE:

(Pursuant to Commitment for Title Insurance, issued by First American Title Insurance Company, GF, No. 1002-386489-RTT, effective date August 29, 2023, issued September 12, 2023.)

- 10e. The following easements and/or building lines, as shown on plat recorded in Instrument No. 20200000017593, Official Public Records, Rockwall County, Texas:
 - Detention pond easement as shown hereon.
- 10f. The surveyed property is a portion of the property described in Instrument No. 20180000009623, Official Public Records, Rockwall County, Texas. Utility Easement and Drainage Easement described in said Instrument as shown hereon.
- 10g. The 15-foot Sanitary Sewer Easement, recorded in Cabinet E, Page 279, Plat Records, Rockwall County, Texas, as shown hereon.

SURVEYORS CERTIFICATION:

To: ROUND ROCK LAND COMPANY LLC;
AKSHA 10, LLC;
36 WAGON ROAD, LLC;
FIDELITY NATIONAL TITLE INSURANCE COMPANY;
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION;
FWT DEVELOPMENT LLC, A TEXAS LIMITED LIABILITY COMPANY;
FIRST AMERICAN TITLE INSURANCE COMPANY;
REPUBLIC TITLE OF TEXAS, INC.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 8, 9, 13, 16 and 19 of Table A thereof. The field work was completed on August 25, 2023.

 09/15/2023 Date
Craig D. Bartosh
Registered Professional Land Surveyor No. 6459
Kimley-Horn and Associates, Inc.
13455 Noel Road
Two Galleria Office Tower, Suite 700
Dallas, Texas 75240
Ph. (972) 770-1300
craig.bartosh@kimley-horn.com



ALTA/NSPS LAND TITLE SURVEY
TRACT 1 - 5.6569 ACRES
TRACT 2 - 4.2837 ACRES
WILLIAM BLEVINS SURVEY,
ABSTRACT NO. 9
JAMES SMITH SURVEY,
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CITY OF ROCKWALL,
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13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3620

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	GDW	CDB	Sep. 2023	064584402	2 OF 2

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *BUILDINGS THAT EXCEED 36-FEET IN HEIGHT* ON A 9.9406-ACRE TRACT OF LAND IDENTIFIED AS LOTS 22 & 23, BLOCK A, LA JOLLA POINTE ADDITION, PHASE 2, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Matt Wavering of the Rockwall Economic Development Corporation (REDC) for the approval of a Specific Use Permit (SUP) for *Buildings that Exceed 36-Feet in Height* on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Buildings that Exceed 36-Feet in Height* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, *Commercial (C) District*; Subsection 06.02, *General Overlay District Standards*; Subsection 06.06, *IH-30 Overlay (IH-30 OV) District*; and Subsection 06.08, *Scenic Overlay (SOV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --

and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of *Buildings that Exceed 36-Feet in Height* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Buildings on the *Subject Property* shall not exceed 120-feet or as depicted on the building elevations/cross sections contained in the Conceptual Building Heights in *Exhibit 'C'* of this ordinance.
- 3) The Specific Use Permit (SUP) shall be valid for a period of ten (10) years from the approval date of this ordinance (*i.e. valid until January 2, 2034*). If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90-days prior to the expiration date of this ordinance (*i.e. October 4, 2033*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to the Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the

adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF JANUARY, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 18, 2023

2nd Reading: January 2, 2024

Exhibit 'A' Survey

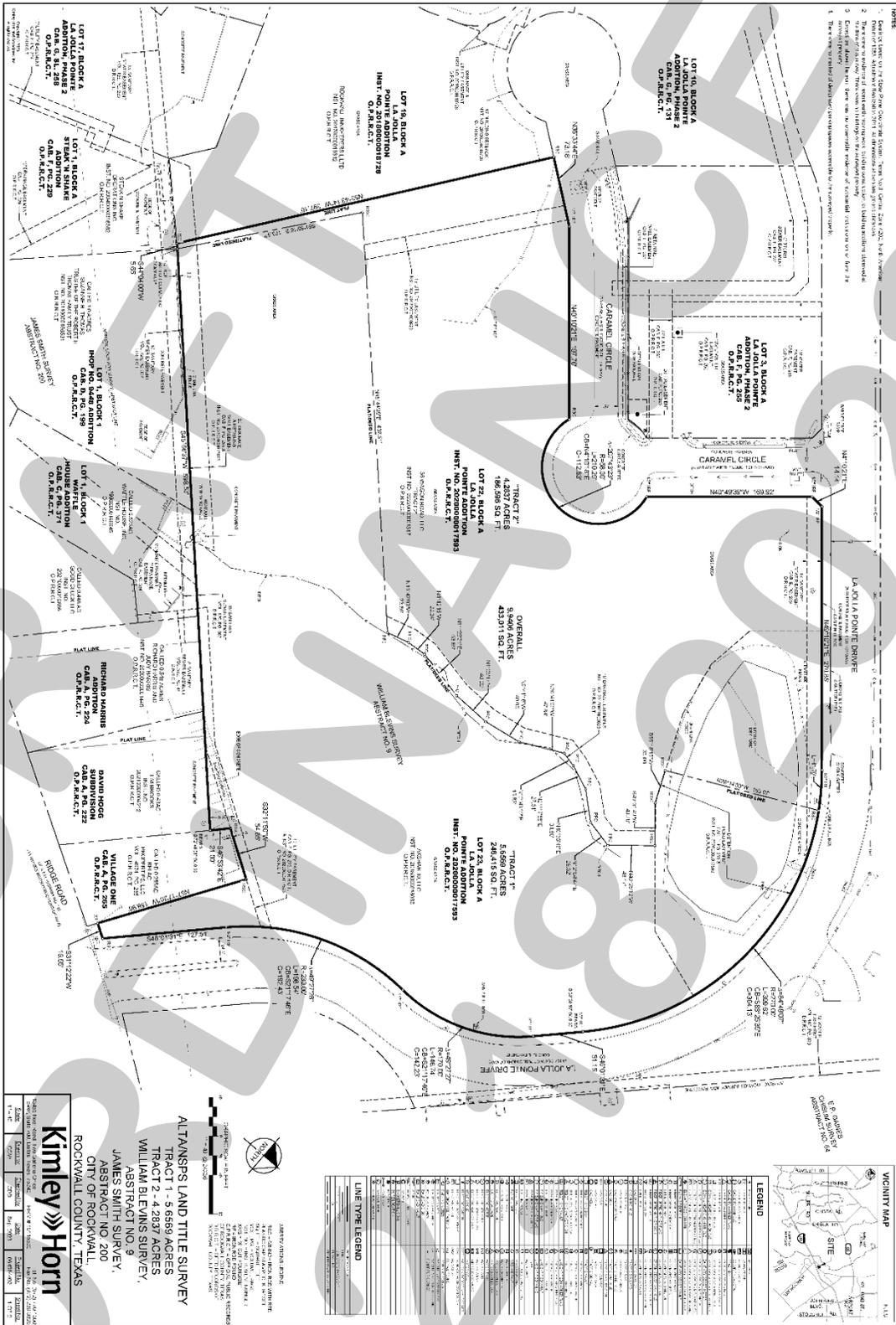


Exhibit 'B'
Concept Plan

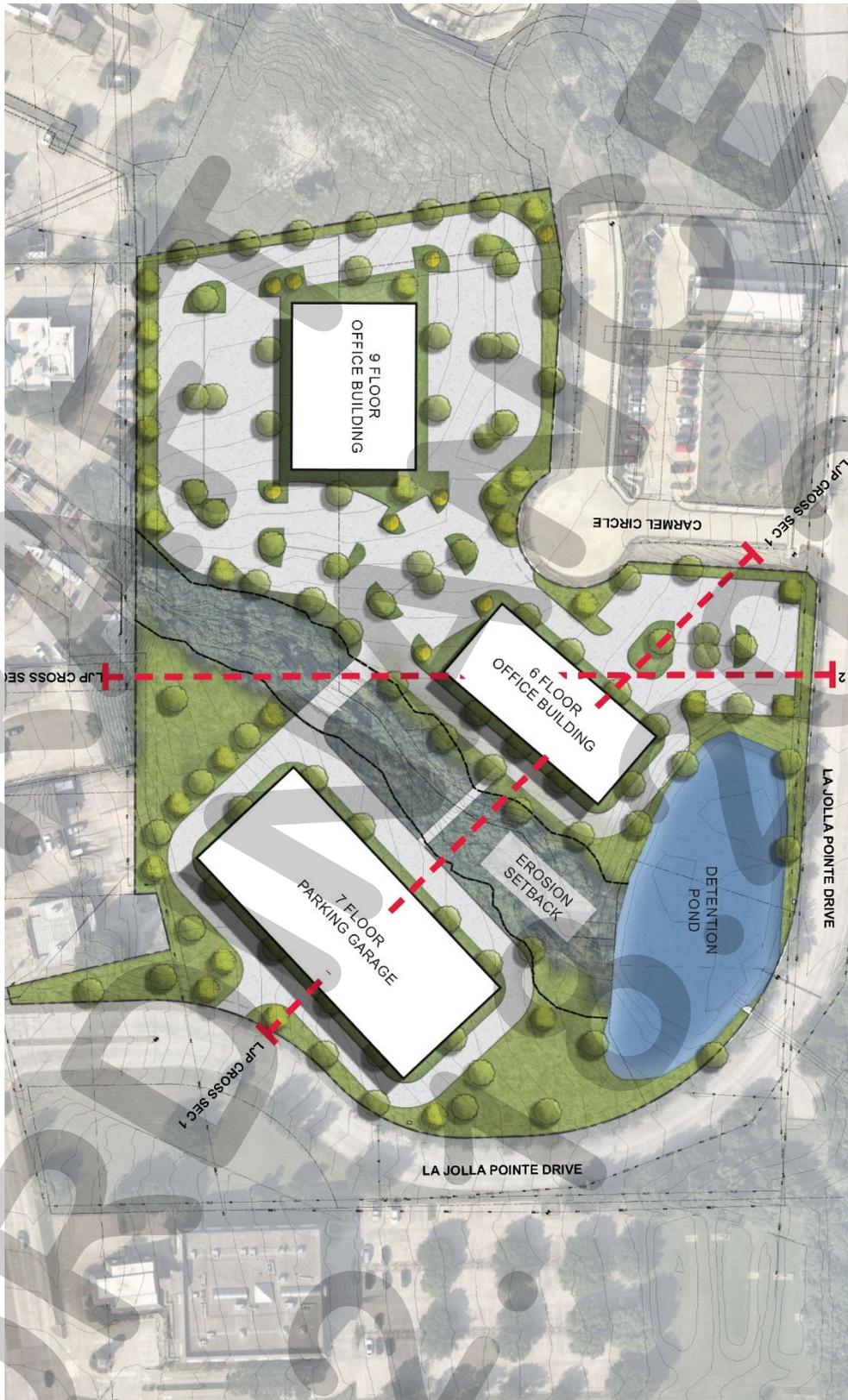
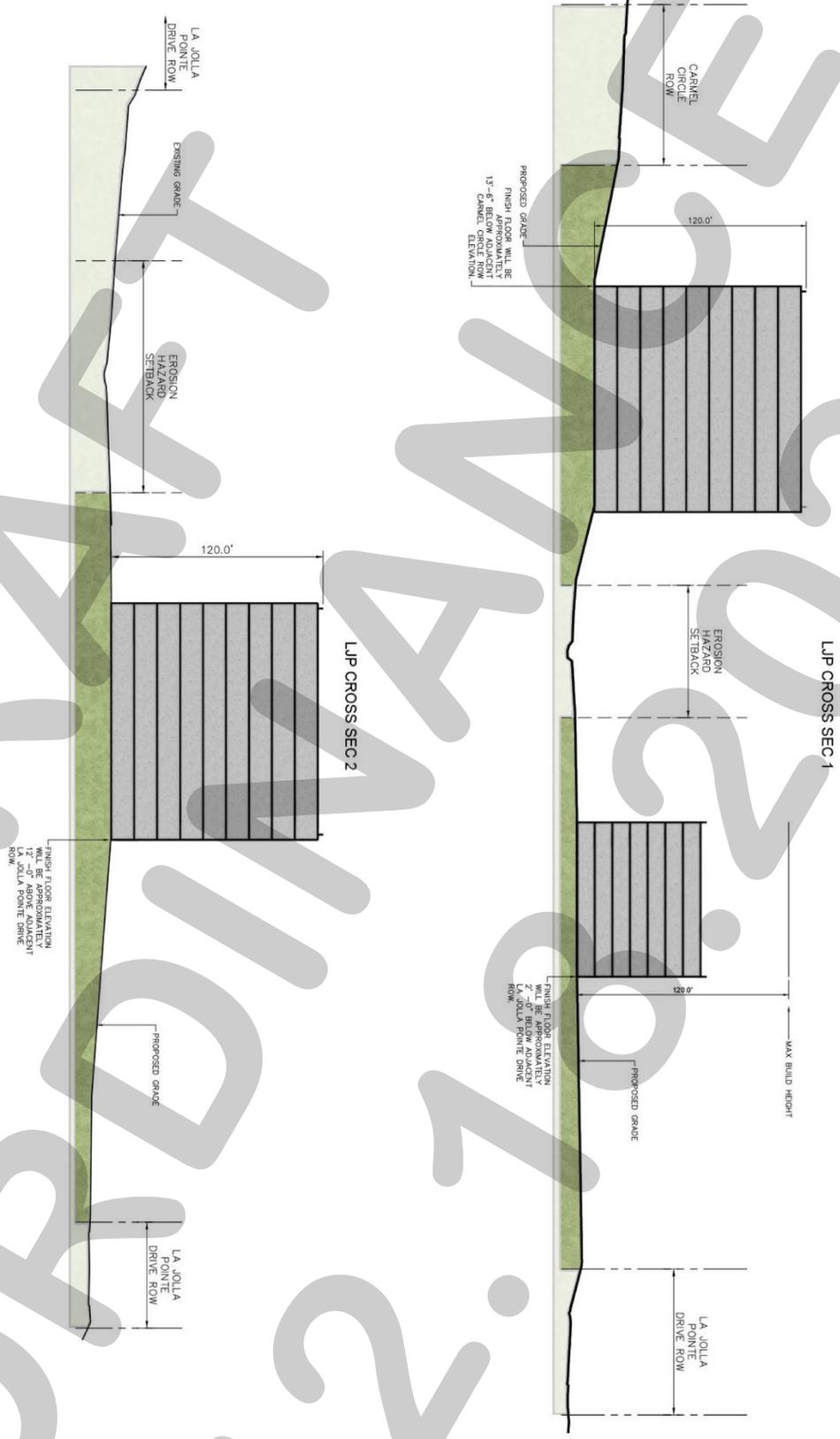


Exhibit 'C'
Conceptual Building Heights





January 11, 2024

TO: Matt Wavering
Rockwall Economic Development Corporation
2610 Observation Trail, Suite 104
Rockwall, TX 75032

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2023-052; SUP La Jolla Pointe Drive

Matt Wavering:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on January 2, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Conditions of Approval

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of this ordinance.
 - (b) Buildings on the *Subject Property* shall not exceed 120-feet or as depicted on the building elevations/cross sections contained in the Conceptual Building Heights in Exhibit 'C' of this ordinance.
 - (c) The Specific Use Permit (SUP) shall be valid for a period of ten (10) years from the approval date of this ordinance (*i.e. valid until January 2, 2034*). If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90-days prior to the expiration date of this ordinance (*i.e. October 4, 2033*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to the Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On December 12, 2023, the Planning and Zoning Commission approved a motion to recommend approval of a SUP by a vote of 4-2, with Commissioners Conway and Llewellyn dissenting, and Commissioner Womble absent.

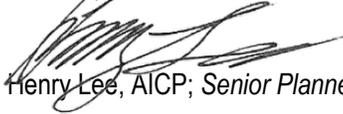
City Council

On December 18, 2023, the City Council approved a motion to approve the SUP by a vote of 7-0.

On January 2, 2024, the City Council approved a motion to approve the SUP by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 24-01, 322*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 771-7745.

Sincerely,



Henry Lee, AICP; *Senior Planner*

CITY OF ROCKWALL

ORDINANCE NO. 24-01

SPECIFIC USE PERMIT NO. S-322

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *BUILDINGS THAT EXCEED 36-FEET IN HEIGHT* ON A 9.9406-ACRE TRACT OF LAND IDENTIFIED AS LOTS 22 & 23, BLOCK A, LA JOLLA POINTE ADDITION, PHASE 2, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Matt Wavering of the Rockwall Economic Development Corporation (REDC) for the approval of a Specific Use Permit (SUP) for *Buildings that Exceed 36-Feet in Height* on a 9.9406-acre tract of land identified as Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District and the Scenic Overlay (SOV) District, generally located west of the intersection of La Jolla Pointe Drive and Ridge Road [FM-740], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. The Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Buildings that Exceed 36-Feet in Height* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, *Commercial (C) District*; Subsection 06.02, *General Overlay District Standards*; Subsection 06.06, *IH-30 Overlay (IH-30 OV) District*; and Subsection 06.08, *Scenic Overlay (SOV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --

and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of *Buildings that Exceed 36-Feet in Height* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Buildings on the *Subject Property* shall not exceed 120-feet or as depicted on the building elevations/cross sections contained in the Conceptual Building Heights in *Exhibit 'C'* of this ordinance.
- 3) The Specific Use Permit (SUP) shall be valid for a period of ten (10) years from the approval date of this ordinance (*i.e. valid until January 2, 2034*). If an extension of the Specific Use Permit (SUP) is necessary, the property owner shall submit a request in writing to the Director of Planning and Zoning no less than 90-days prior to the expiration date of this ordinance (*i.e. October 4, 2033*). Upon receipt of a request for an extension, the Director of Planning and Zoning shall bring the request forward to the Planning and Zoning Commission and City Council for review. The Planning and Zoning Commission and City Council shall be charged with determining if an extension of the Specific Use Permit (SUP) is warranted. This shall be conducted in accordance with the process and procedures outlined in Subsection 02.03, *Procedures for Zoning Applications*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and with which this ordinance was originally adopted.

2.2 COMPLIANCE

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- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

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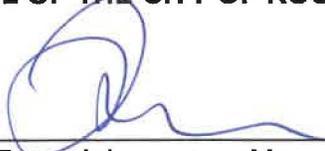
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SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 2ND DAY OF JANUARY, 2024.**



Trace Johannesen, Mayor

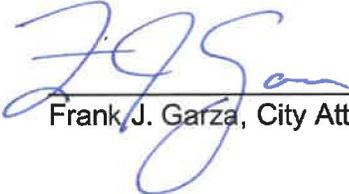
ATTEST:



Kristy Teague, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: December 18, 2023

2nd Reading: January 2, 2024

Exhibit 'B'
Concept Plan

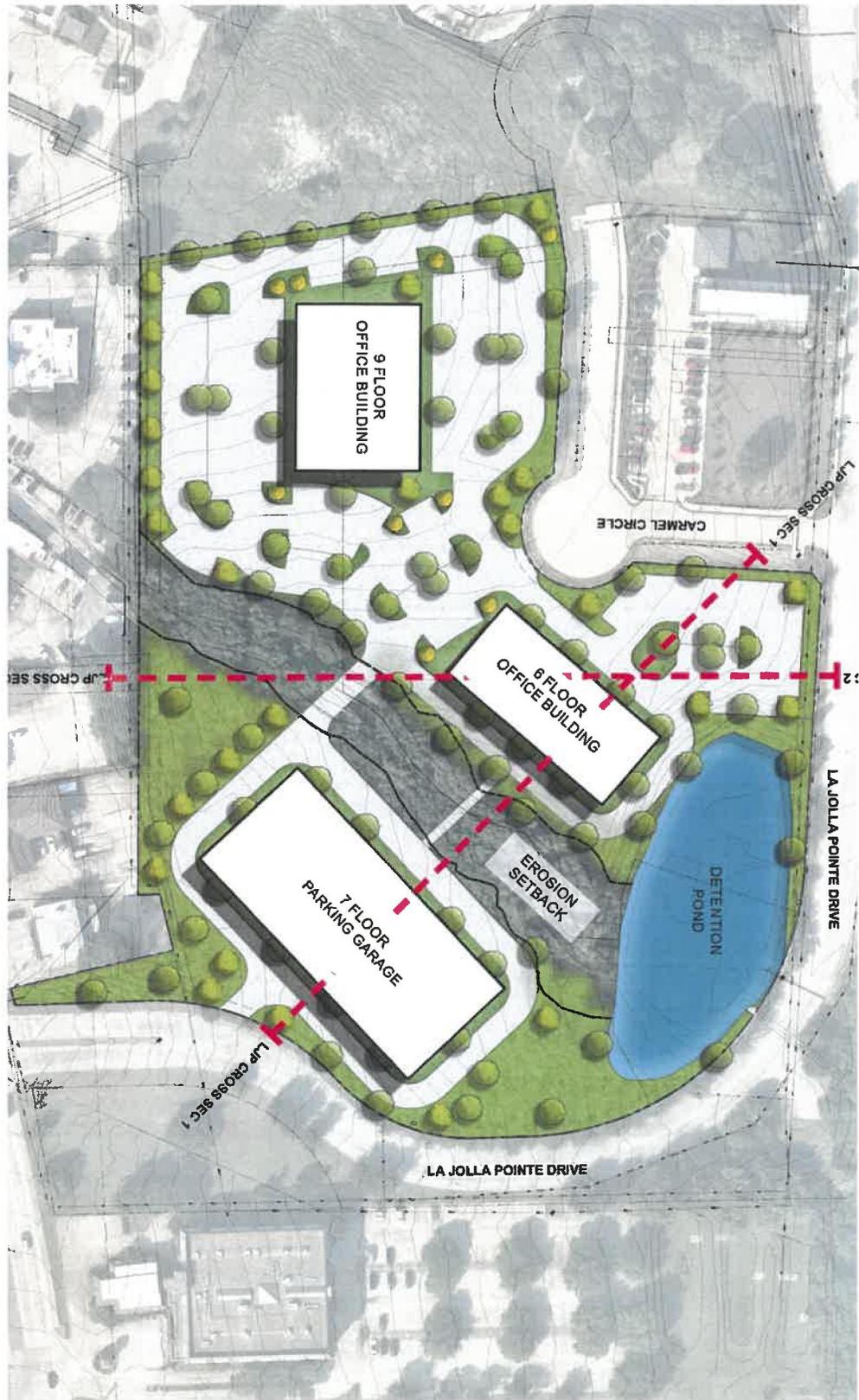


Exhibit 'C'

Conceptual Building Heights

