



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 955 Sids Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION Halfway between Fm 205 & M.m.s

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Heavy Commercial

CURRENT USE

PROPOSED ZONING Heavy Commercial

PROPOSED USE Office / Commercial

ACREAGE 1.5 AC

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER TRI-TEX Construction

☐ APPLICANT

CONTACT PERSON DAVID LINDSAY

CONTACT PERSON

ADDRESS 955 Sids Rd

ADDRESS

Same

CITY, STATE & ZIP Rockwall tx 75032

CITY, STATE & ZIP

PHONE 214-460-0051

PHONE

E-MAIL david@tri-tex.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Lindsay [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 17 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF July, 2024

OWNER'S SIGNATURE

David Lindsay

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Terry Ottwell





DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- ☐ PLAT TYPE.
 - ☐ MINOR/AMENDING PLAT.
 - ☐ MASTER PLAT.
 - ☐ PRELIMINARY PLAT.
 - ☐ FINAL PLAT.
 - ☐ REPLAT.
 - ☐ VACATION PLAT.

Staff requires two (2), 18" x 24" copies be submitted at the time the application is submitted. See *Folding Requirements* in this development packet.

- ☐ DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
 - ☐ ONE (1) PDF COPY OF THE PLAT
 - ☐ ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- ☐ TREESCAPE PLAN [IF APPLICABLE].
- ☐ LANDSCAPE PLAN [IF APPLICABLE].
- ☐ APPLICATION AND APPLICATION FEE.

SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

- ☐ PLAN SET. A plan set is composed of the following items (failure to submit all of the items required shall constitute an incomplete application):
 - ☐ SITE PLAN.
 - ☐ LANDSCAPE PLAN.
 - ☐ TREESCAPE PLAN.
 - ☐ PHOTOMETRIC PLAN.
 - ☒ BUILDING ELEVATIONS. *Roofing*

Staff requires the submittal of two (2) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- ☐ PHYSICAL BUILDING MATERIAL SAMPLE BOARD (11" x 17"). See the *Material Sample Board Design Guidelines* in this development packet. Individual material samples or sample boards that are larger than 11" x 17" will not be accepted.

- ☒ VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, and the two (2) required compensatory measures being offered to off-set the variance in accordance with the requirements of the UDC.

- ☐ APPLICATION AND APPLICATION FEE.

ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- ☐ LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- ☐ ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires two (2), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. *In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.*
- ☐ LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- ☐ APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.

City of Rockwall
Planning and Zoning Dept.

Re: 955 Sids Road
Rockwall, Tx. 75032

I need to ask for a variance on the roofing material for my building. On the plans it calls out for stand and seam metal roofing. I am asking to use R-panel metal roofing instead. Originally on the plans I submitted they had R-Panel roofing shown and then city comments asked for the stand and seam material. At the time I was not aware of the change and that my architect had changed it, but once I spoke to Henry Lee we discussed it. I since have chased pricing on the materials and labor for the stand and seam / snap lock with multiple venders and pricing has come back way more expensive than expected. It will add \$ 70, 000 to my already strained budget. If I have to proceed with this roofing material it will put a big financial burden on me and is financially prohibitive even before I get to all the costs for the rest of the construction.

If allowed this Variance I would be willing to:

1. Change out the old chain link fencing and gates with a new rod iron materials. I feel that this would make a bigger improvement to the look of the property.
2. Update the appearance to the existing building (shop) to match the new building.

Also, I believe that the building will look better if the materials for the roof matches the R-Panel side walls and because the color is black it will not look much different. Please keep in mind that all the other building on that street have R-Paneled roofs except Rayburn Electric but they do not have a metal building with R-Panels side walls.

Thank you for your consideration in this matter.

David Lindsay

Tri-Tex Construction Inc.

955 Sids Road
Rockwall, Tx. 75032
(214) 460-0051

City of Rockwall
Review For Code Compliance
Subject To Field Inspection
And Code Compliance
04/02/2024 By: C.Foshee

CONSTRUCTION CODES
2021 International Codes,
2020 National Electrical Code and
Local Amendments

Construction according to Engineer's
Specifications - any changes must be
approved by the Engineer and
submitted to the City of Rockwall.

DEVELOPER:
TRI-TEX CONSTRUCTION
797 N GROVE RD STE 101
RICHARDSON, TX 75081
CONTACT: DAVID LINDSAY
PH#: 214-460-0051

OWNER/OCCUPANT:
TRI-TEX CONSTRUCTION INC

ARCHITECTURAL DRAWINGS PREPARED BY:
ABIDE DESIGNS, LLC.
ROYSE CITY, TX

CIVIL/SITE PLAN PREPARED BY:
TURNKEY TRACT
FRISCO, TX

**CODE COMPLIANCE SUBJECT TO
FIELD INSPECTORS APPROVAL**

CONSTRUCTION CODES - 2021 International Code & 2020 National Electrical Code and local amendments. 10 working days notice is required for phase VI / C.O. inspection. An application for a Certificate of Occupancy must be submitted to the Building Inspection Department at least 10 working days prior to Phase VI / C.O. inspection. All contractors on commercial sites must use Republic Waste for all trash removal. Phone number 972-225-4207.

ARCHITECTURAL DESIGN PLANS

COMMERCIAL BUILDING TRI-TEX CONSTRUCTION 955 SIDS RD ROCKWALL, TX 75032 ROCKWALL COUNTY

CURRENT ZONING: HEAVY COMMERCIAL
BUILDING OCCUPANT: TRI-TEX CONSTRUCTION
TOTAL CONDITIONED SF: 5600 SF
MAX. OCCUPANCY LOAD: 150 SF/PERSON, 38 PERSONS
INTENDED MAX OCCUPANCY LOAD: 25 PERSONS
OCCUPANCY CLASSIFICATION/USE: GROUB B - OFFICE/BUSINESS
CONSTRUCTION TYPE: TYPE VB



To Schedule a Inspection
rockwall.com/buildinginspections/inspectionsreq.asp



**Permit Number:
COM2023-6204**

**955 SIDS RD,
ROCKWALL, TX**

ADDITIONAL DOCUMENTS SUBMITTED FOR
REVIEW/APPROVAL (SEPARATELY):

CIVIL/SITE PLAN
MEP PLAN
TDLR REVIEW
ENERGY COMPLIANCE REVIEW
STRUCTURAL PLAN FOR SLAB/PEMB BUILDING

REFER TO "SITE PLAN" SHEET FOR OVERALL
BUILDING/ADDRESS LAYOUT

REFER TO SUBMITTAL CHECKLIST FOR A
COMPLETE LIST OF ALL DOCUMENTS
SUBMITTED IN BUILD PACKAGE.

BUILDERS COPY

**Keep On Job Site At All Times
For Inspection Use**

SUBJECT PROPERTY

CODE COMPLIANCE:	
2021 INTL. FIRE CODE (IFC)	
2021 INTL. BUILDING CODE (IBC)	
2021 INTL. PLUMBING CODE (IPC)	
2021 INTL. MECHANICAL CODE (IMC)	
2020 NATL. ELECRICAL CODE (NEC)	
2021 INTL. ENERGY CONSERVATION CODE (IEC)	
ALONG WITH ALL LOCAL/CITY AMENDMENTS	

REV 06

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-533-0459
AARON@ABIDEHOMEDESIGNS.COM

PROJECT
SUMMARY

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75032



DATE:
2/12/2024

SCALE:
1/4"=1'

SHEET:
1



FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6618 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6618 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	4/3/2023	AJH	BID/REVIEW PLANS
REV 02	3/8/2023	AJH	EXTENDED MAINSCOT, GENERAL NOTE UPDATES, SITE PLAN/LANDSCAPE UPDATES
REV 03	3/14/2023	AJH	UPDATED TREE AND SIDEWALK LOCATION PER CITY COMMENTS
REV 04	11/10/2023	AJH	UPDATED NOTES & SITE PLAN SHT
REV 05	12/6/2023	AJH	UPDATED SITE/LANDSCAPE PLAN
REV 06	12/22/2023	AJH	REVISED INTERIOR OFFICE LAYOUT, UPDATED ELECTRICAL/GLNG PLAN

BUILDERS COPY

Keep On Job Site At All Times
For Inspection Use

GENERAL NOTES:
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:
HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table	
Number	Title
1	PROJECT SUMMARY
2	PROJECT OVERVIEW
3	ELEVATIONS
4	ELEVATIONS (CONT.)
5	SCHEDULES & STYLE
6	SITE & LANDSCAPE PLAN
7	FOUNDATION/ROUGH-IN PLAN
8	ROOF PLAN - 1F
9	FRAMING PLAN - 1F
10	ELECTRICAL PLAN
11	CABINET PLAN

REV 06

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-533-0459
AARON@ABIDEHOMEDESIGNS.COM

PROJECT
OVERVIEW

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75032



DATE:

2/12/2024

SCALE:

1/4"=1'

SHEET:

2

Keep On Job Site At All Times
For Inspection Use

REV 06

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-533-0459
AARON@ABIDEHOMEDESIGNS.COM

ELEVATIONS

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082



DATE:

2/12/2024

SCALE:

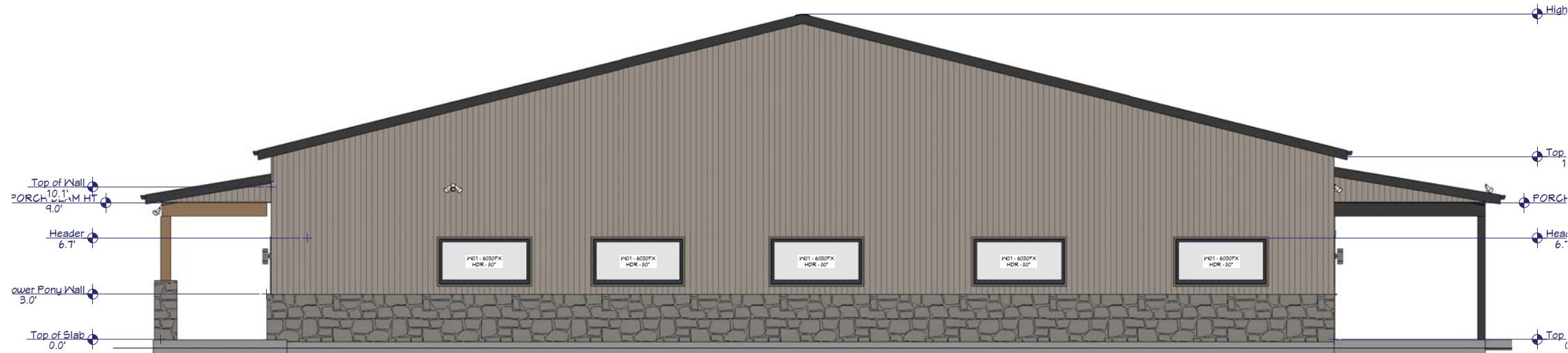
1/4"=1'

SHEET:

3



Exterior Elevation Front
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 429 SF
STONE PONY WALL: 245 SF (36%)



Exterior Elevation Right
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 884 SF
STONE PONY WALL: 212 SF (20%)

EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	STANDING SEAM, BLACK
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS: YES	
	(SEE STYLE SHEET FOR ADDITIONAL INFO.)

Keep On Job Site At All Times
For Inspection Use

REV 06

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-533-0459
AARON@ABIDEHOMEDESIGNS.COM

ELEVATIONS
(CONT.)

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75032



DATE:

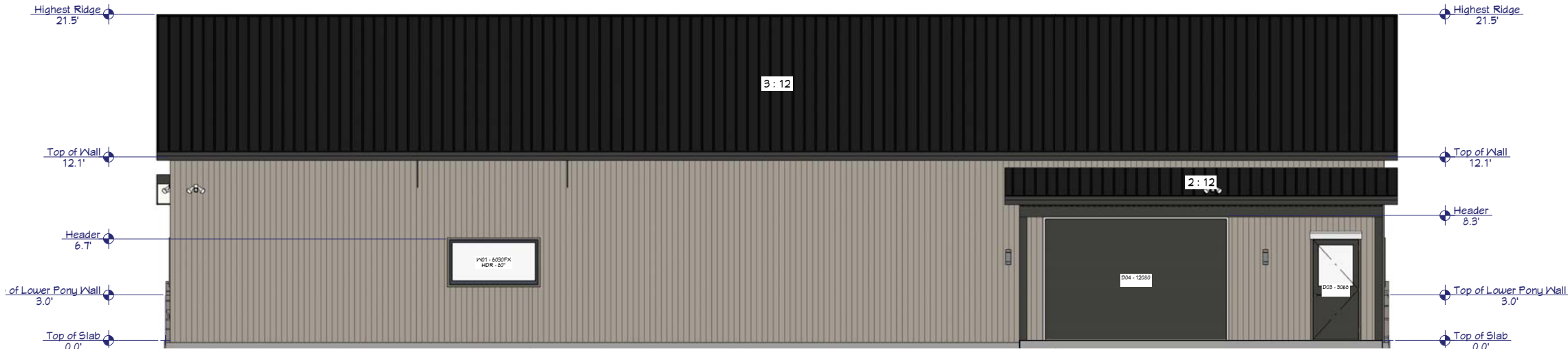
2/12/2024

SCALE:

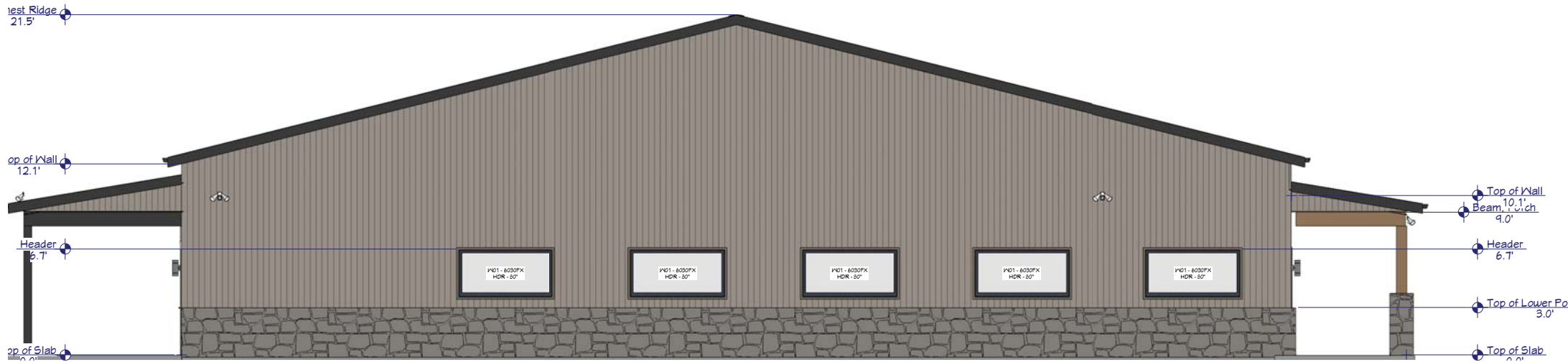
1/4"=1'

SHEET:

4



Exterior Elevation Back
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 1017 SF (100%)



Exterior Elevation Left
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 866 SF
STONE PONY WALL: 212 SF (20%)



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: July 30, 2024

APPLICANT: David Lindsay; *Tri-Tex Construction, Inc.*

CASE NUMBER: MIS2024-014; *Exception to the Roof Materials for 955 Sids Road*

On August 15, 2023, the Planning and Zoning Commission approved a site plan [Case No. SP2023-024] and an exception to the articulation requirements to allow the construction of an *Office Building* on the subject property. In June 2024, the property owner approached staff indicating that they had intended on utilizing R-Panel metal roofing on the building in lieu of the approved standing seam metal roofing. Staff informed the applicant that they would need to go through the Exception process as R-Panel metal roofing requires an exception from the Planning and Zoning Commission.

On July 19, 2024, the applicant -- *David Lindsay* -- submitted a development application requesting approval of an Exception for the proposed *Office Building* on the subject property. As directed by staff, the applicant submitted a letter and updated building elevations with their request. Based on the letter provided by the applicant, they are requesting approval of an R-Panel metal roof in lieu of the standing seam metal roof that was approved with the original site plan [Case No. SP2023-024]. According to Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(m)etal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent properties or public right-of-way shall be prohibited." In this case, the applicant is requesting an exception to change the conforming black standing seam metal roof to the non-conforming R-Panel metal roof.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that applicants provide compensatory measures that directly offset the requested exception. In this case, the applicant is proposing to [1] replace the existing chain link fencing and gates with wrought iron, and [2] update the exterior materials on the existing building to match the new building. Requests for exceptions to the general standards are discretionary decisions for the Planning and Zoning Commission. Staff should also note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception. If the Planning and Zoning Commission approves the applicant's request, staff will require an updated site plan package (i.e. *site plan showing the wrought iron fence and building elevations for the existing building*) that show conformance to the proposed compensatory measures. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 30, 2024 Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/25/2024

PROJECT NUMBER: MIS2024-014
PROJECT NAME: Variance to the Roof Material Standards for 955 Sids
SITE ADDRESS/LOCATIONS: 955 SIDS RD

CASE CAPTION: Discuss and consider a request by David Lindsay of Tri-Tex Construction for the approval of a Miscellaneous Case for an Exception to the roof materials for an office building on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/19/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/22/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	07/25/2024	Approved w/ Comments

07/25/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Miscellaneous Case for an Exception to the Roof Materials for an office building on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (MIS2024-014) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Building Elevations:

1. According to Subsection 04.01, General Commercial District Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), metal roofs shall be standing seam. This will be an Exception. (Subsection 04.01, of Article 05, UDC)
2. Please update the Exterior Material Table to reflect the roof material and color being requested.

I.6 Staff has identified the following exceptions and variances associated with the proposed request: [1] Roof Material.

I.7 Please note the scheduled meetings for this case:

- 1) Planning & Zoning meeting will be held on July 30, 2024.

I.8 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). A representative must be present for these meetings.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
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SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 955 Sids Road

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION Halfway between Fm 205 & M.m.s

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Heavy Commercial

CURRENT USE

PROPOSED ZONING Heavy Commercial

PROPOSED USE

Office / Commercial

ACREAGE 1.5 AC

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER TRI-TEX Construction

☐ APPLICANT

CONTACT PERSON DAVID LINDSAY

CONTACT PERSON

ADDRESS 955 Sids Rd

ADDRESS

Same

CITY, STATE & ZIP Rockwall tx 75032

CITY, STATE & ZIP

PHONE 214-460-0051

PHONE

E-MAIL David@TRI-Tex.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Lindsay [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 17 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

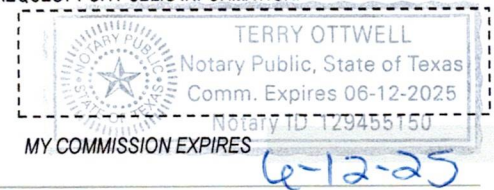
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF July, 2024

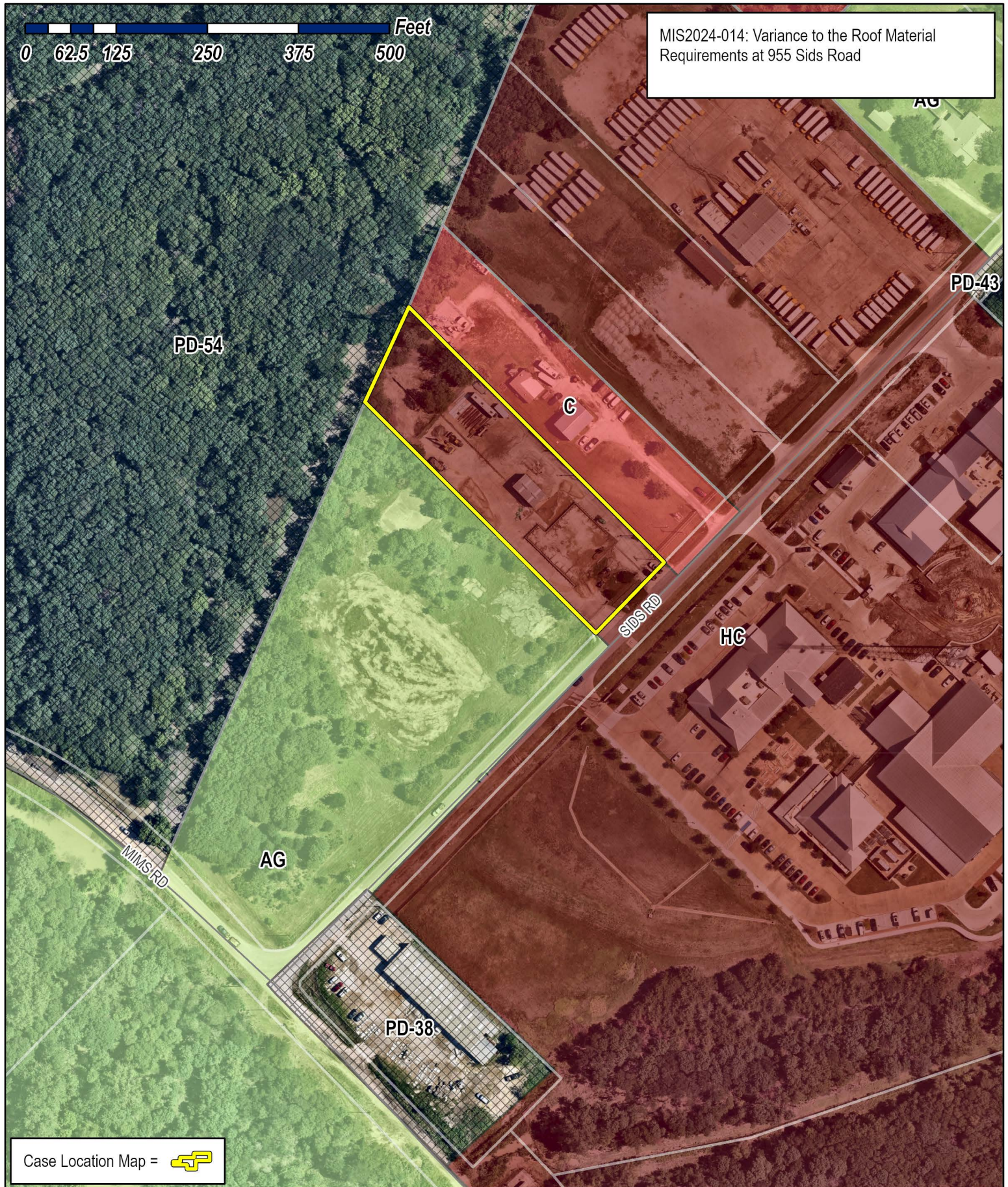
OWNER'S SIGNATURE

David Lindsay

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Terry Ottwell





Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



City of Rockwall
Planning and Zoning Dept.

Re: 955 Sids Road
Rockwall, Tx. 75032

I need to ask for a variance on the roofing material for my building. On the plans it calls out for stand and seam metal roofing. I am asking to use R-panel metal roofing instead. Originally on the plans I submitted they had R-Panel roofing shown and then city comments asked for the stand and seam material. At the time I was not aware of the change and that my architect had changed it, but once I spoke to Henry Lee we discussed it. I since have chased pricing on the materials and labor for the stand and seam / snap lock with multiple venders and pricing has come back way more expensive than expected. It will add \$ 70, 000 to my already strained budget. If I have to proceed with this roofing material it will put a big financial burden on me and is financially prohibitive even before I get to all the costs for the rest of the construction.

If allowed this Variance I would be willing to:

1. Change out the old chain link fencing and gates with a new rod iron materials. I feel that this would make a bigger improvement to the look of the property.
2. Update the appearance to the existing building (shop) to match the new building.

Also, I believe that the building will look better if the materials for the roof matches the R-Panel side walls and because the color is black it will not look much different. Please keep in mind that all the other building on that street have R-Paneled roofs except Rayburn Electric but they do not have a metal building with R-Panels side walls.

Thank you for your consideration in this matter.

David Lindsay

Tri-Tex Construction Inc.

955 Sids Road
Rockwall, Tx. 75032
(214) 460-0051



Firm Name and Address

TURNKEY TRACT
2770 MAIN ST #171
FRISCO, TX 75033
F-22283
nkcivilengineer4@gmail.com
214-483-1599

Project Name and Address

OFFICE BUILDING

955 SIDS ROAD
ROCKWALL, TEXAS 75032

SP2023-024

Project	Sheet
Date	04
08 / 14 / 2023	
Scale	13

OWNER
TRI-TEX CONSTRUCTION INC
797 N GROVE RD
RICHARDSON, TEXAS 75081



NOTE:
ALL PAD MOUNTED EQUIPMENT MUST BE SCREENED WITH FIVE (5)
GALLON EVERGREEN SHRUBS.

APPROVED: _____
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A
 DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED
 BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL
 ON THE _____ DAY OF August, 2023
 WITNESS OUR HANDS, THIS _____ DAY OF August, 2023.

 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

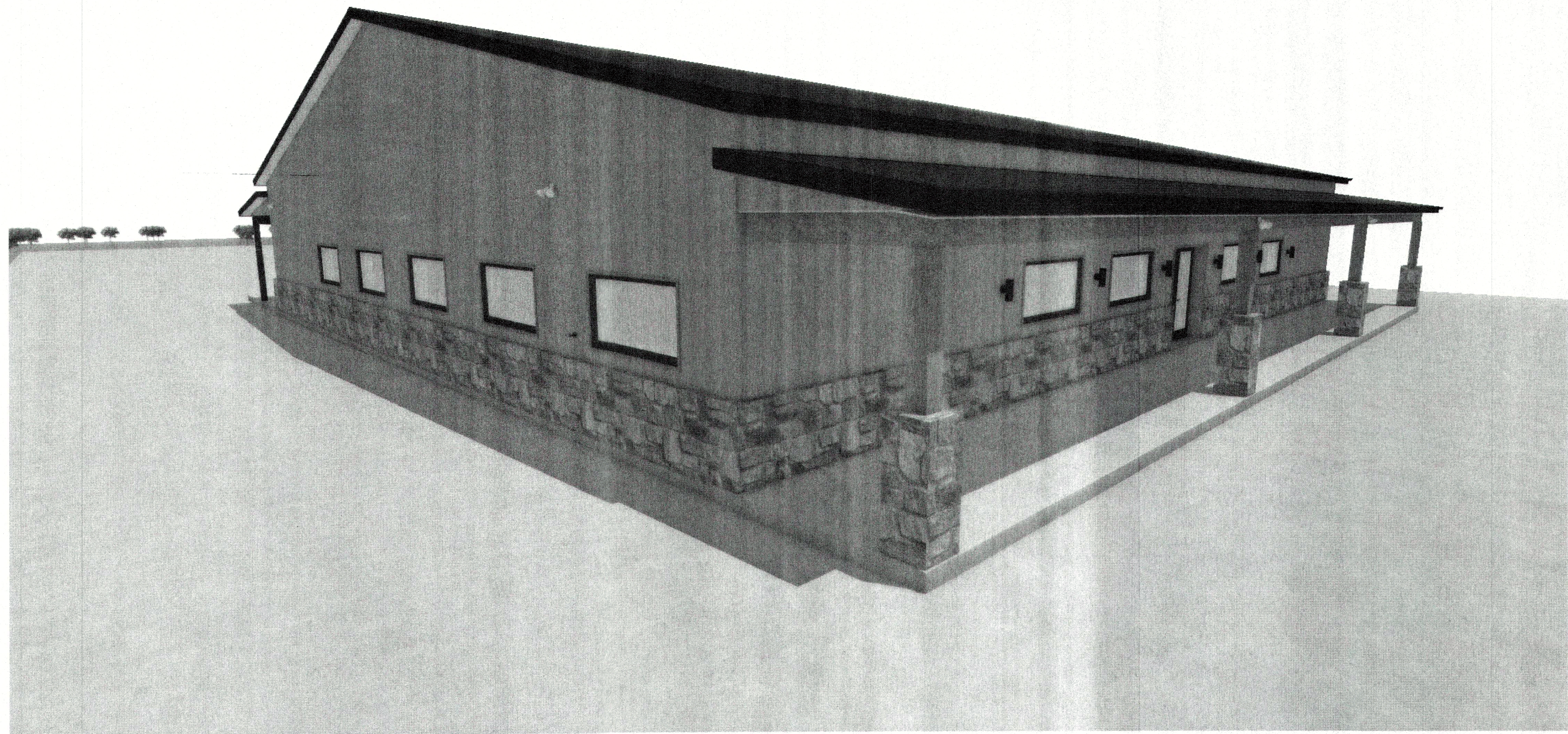
SITE DATA:

SITE AREA = 65,382 SF / 1.50 ACRE

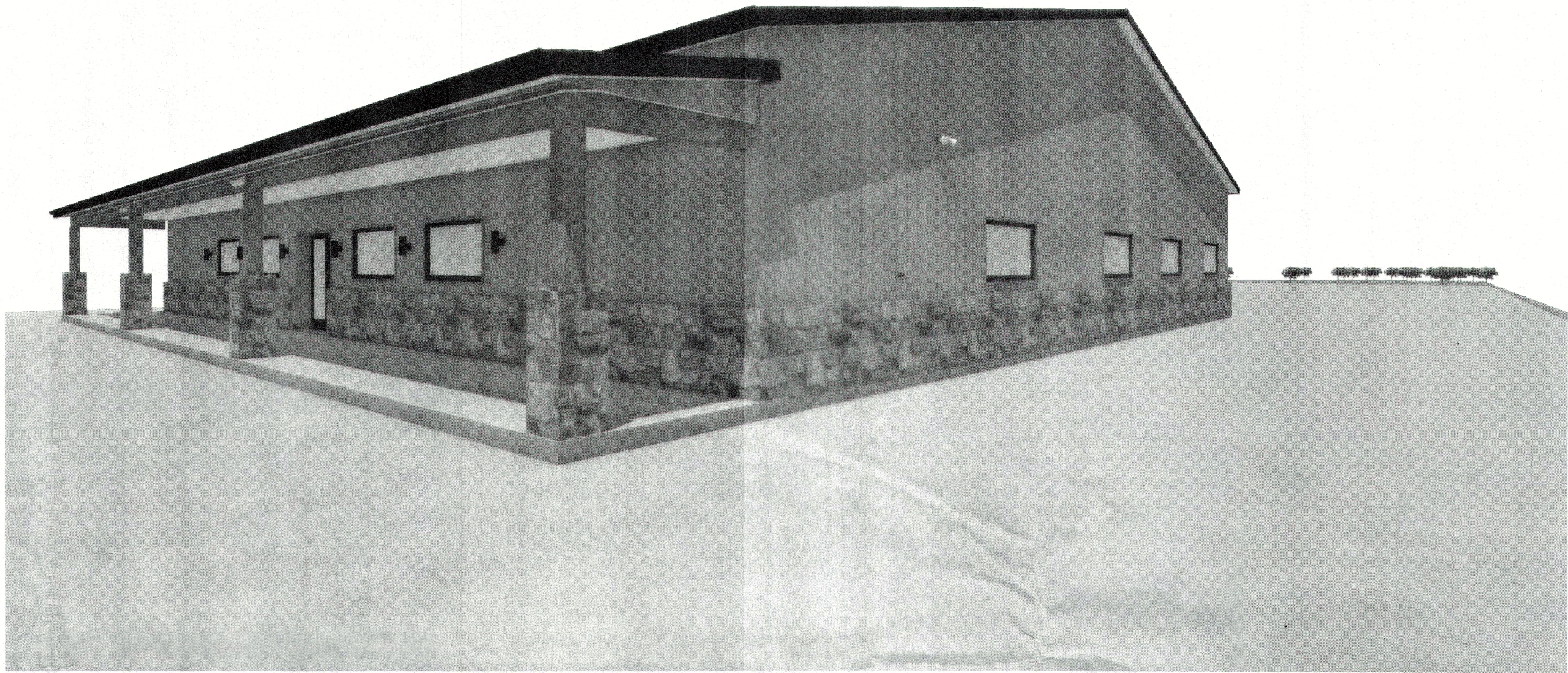
PARKING REQUIRED = OFFICE: 1 PER 300 SF = 19 SPACES

PARKING PROVIDED = 24 SPACES

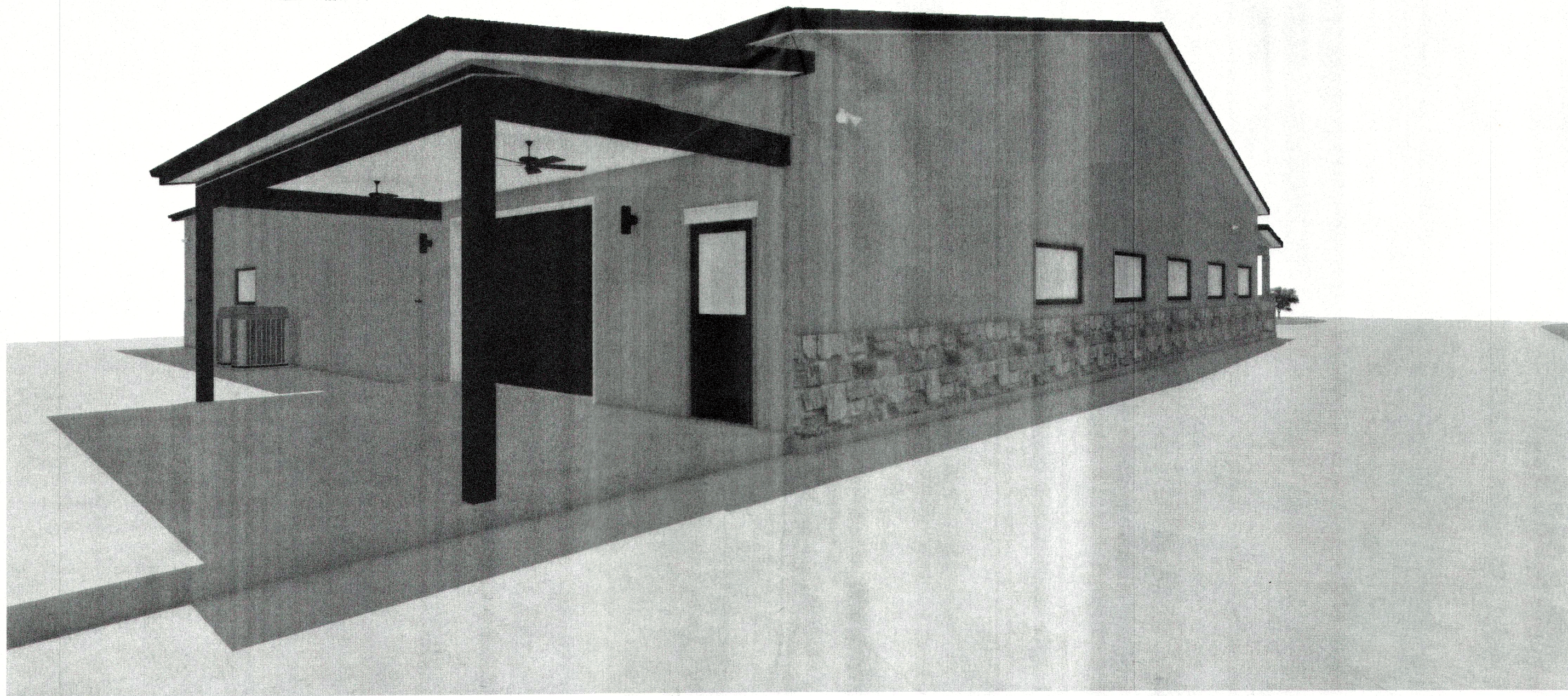
ADA SPACES PROVIDED = 1 SPACE



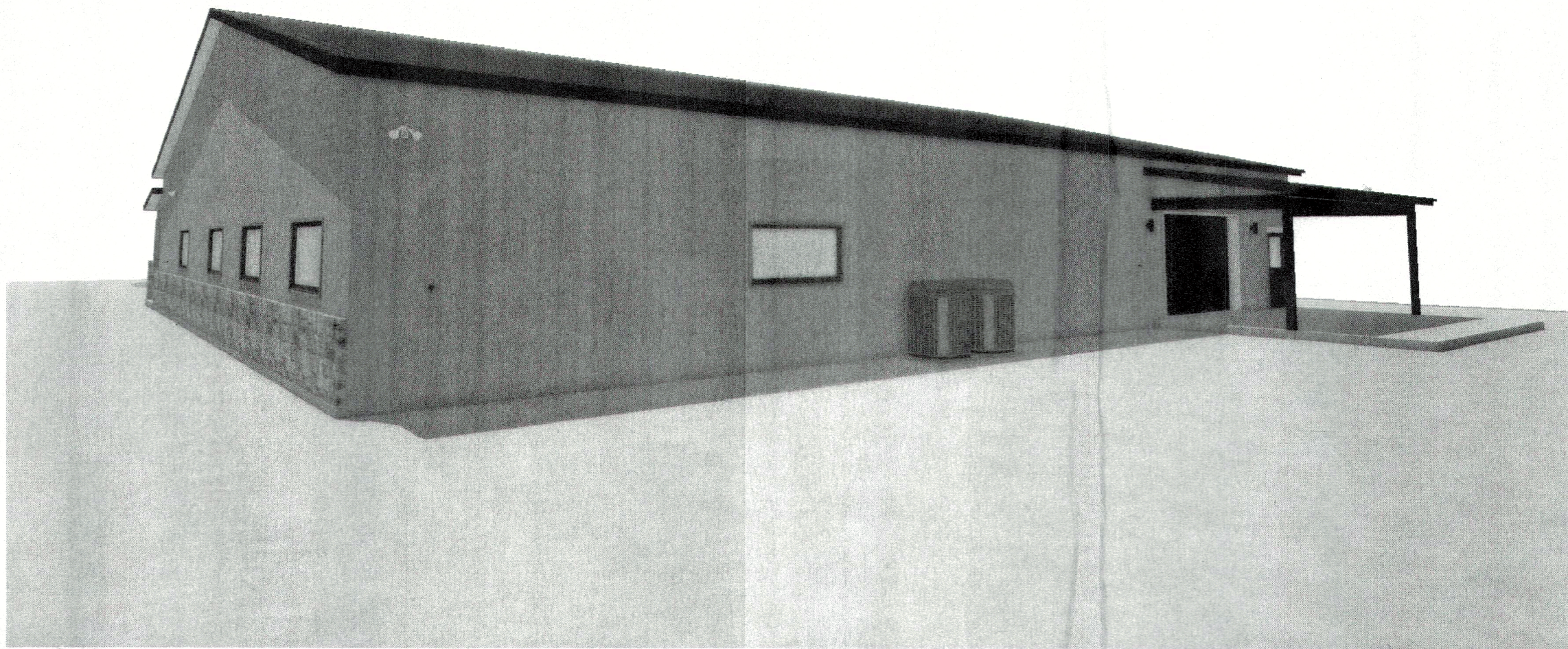
FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6618 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6618 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	4/9/2023	A.J.H.	BID/REVIEW PLANS
REV 02	8/9/2023	A.J.H.	EXTENDED MAINSLOT, GENERAL NOTE UPDATES, SITE PLAN/LANDSCAPE UPDATES
REV 03	8/14/2023	A.J.H.	UPDATED TREE AND SIDEWALK LOCATION PER CITY COMMENTS

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August, 2023.

[Signature]
Chairman

[Signature]
Director of Planning & Zoning

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST -2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST -PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO	
To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.	BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.
MIN. CODE RECOMMENDATIONS: ELECTRICAL SYSTEM CODE: SEC.2701 MECHANICAL SYSTEM CODE: SEC.2801 PLUMBING SYSTEM CODE: SEC.2901 (CONSULT LOCAL/CITY BUILDING REQUIREMENTS)	

GENERAL NOTES:
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:
HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

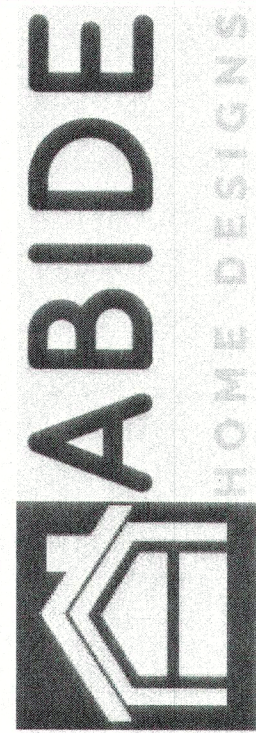
Layout Page Table	
Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	ELEVATIONS (CONT.)
4	SCHEDULES & STYLE
5	SITE PLAN
6	FOUNDATION/ROUGH-IN PLAN
7	ROOF PLAN - 1F
8	FRAMING PLAN - 1F
9	ELECTRICAL PLAN
10	CABINET PLAN

REV 03

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-593-0454
AARON@ABIDEHOMEDESIGNS.COM

PROJECT
OVERVIEW

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082

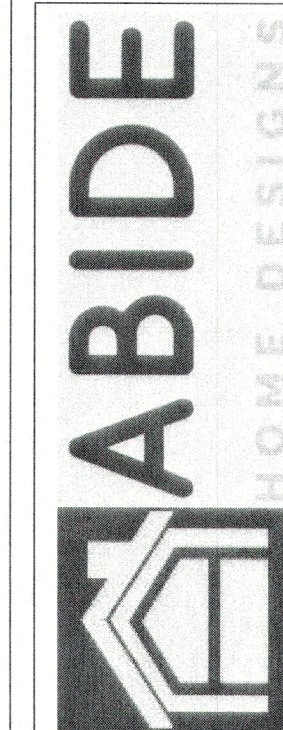


DATE:
8/14/2023

SCALE:
1/4"=1'

SHEET:
1

ELEVATIONS

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75032

DATE:

8/14/2023

SCALE:

1/4"=1'

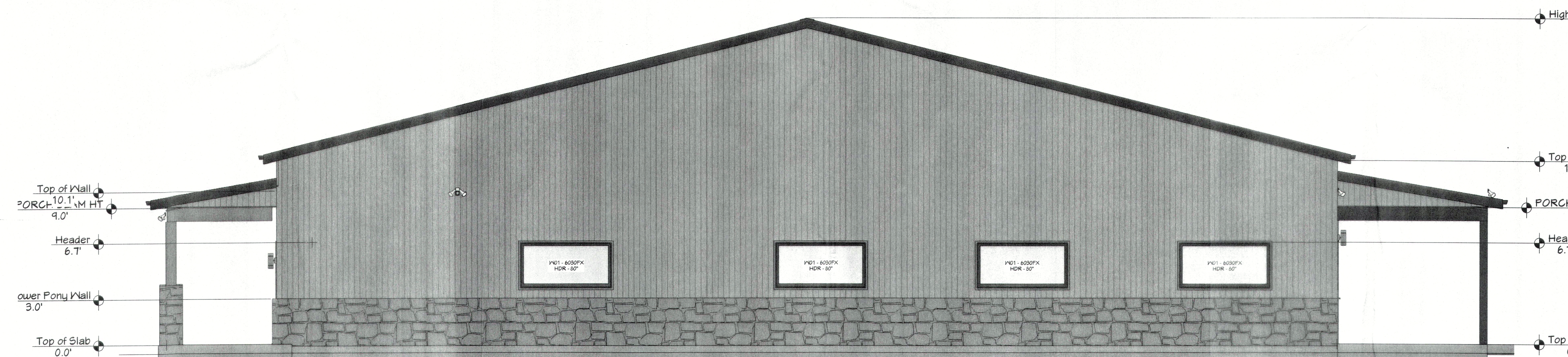
SHEET:

2



Exterior Elevation Front

MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 429 SF
STONE PONY WALL: 245 SF



Exterior Elevation Right

MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 884 SF
STONE PONY WALL: 212 SF

APPROVED:

I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August, 2023.

[Signature]
Planning & Zoning Commission,
Chairman

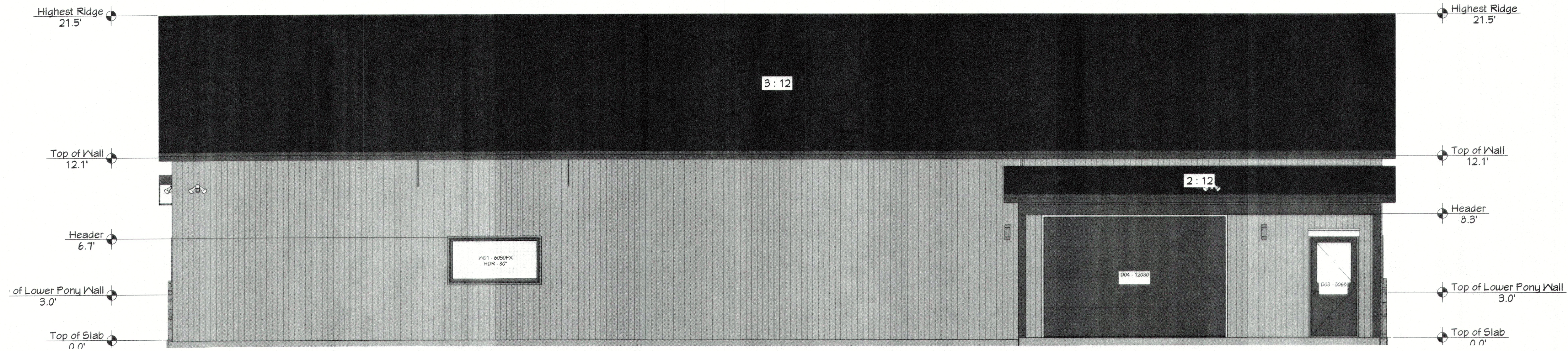
[Signature]
Director of Planning & Zoning

EXTERIOR MATERIALS:

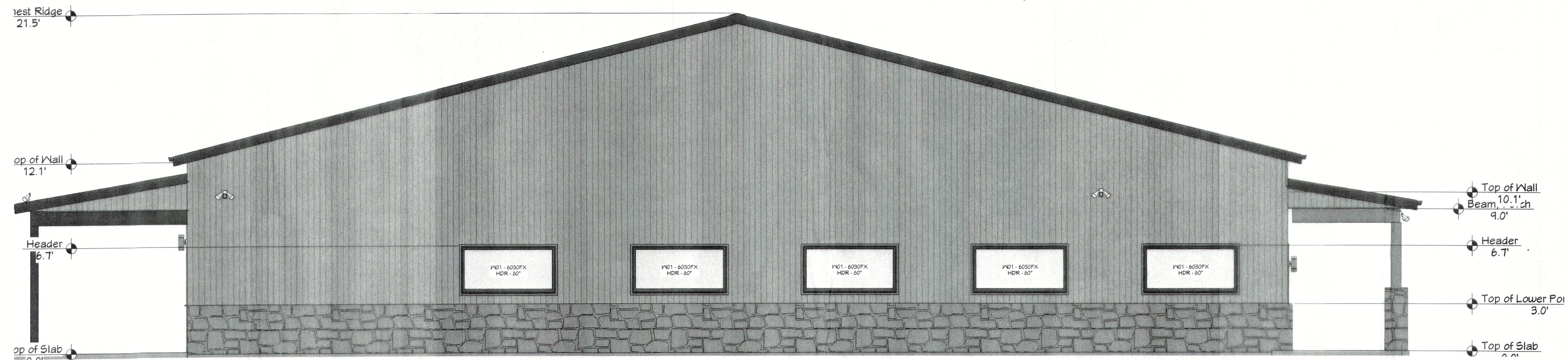
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	STANDING SEAM, BLACK

PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS: YES	

(SEE STYLE SHEET FOR ADDITIONAL INFO.)



Exterior Elevation Back
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 1017 SF



Exterior Elevation Left
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 866 SF
 STONE PONY WALL: 212 SF

APPROVED:
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August, 2023.
 [Signature] [Signature]
 Chairman Director of Planning & Zoning

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IBC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2006 IBC AND 2006 IMC SHALL BE USED.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

WIND/SNOW LOAD DESIGN CRITERIA: 2006 IRC AND IBC

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

FLOOR FINISHES:	
1F OFFICES/COMMON SPACES:	VINYL TILE
1F BATHS:	TILE

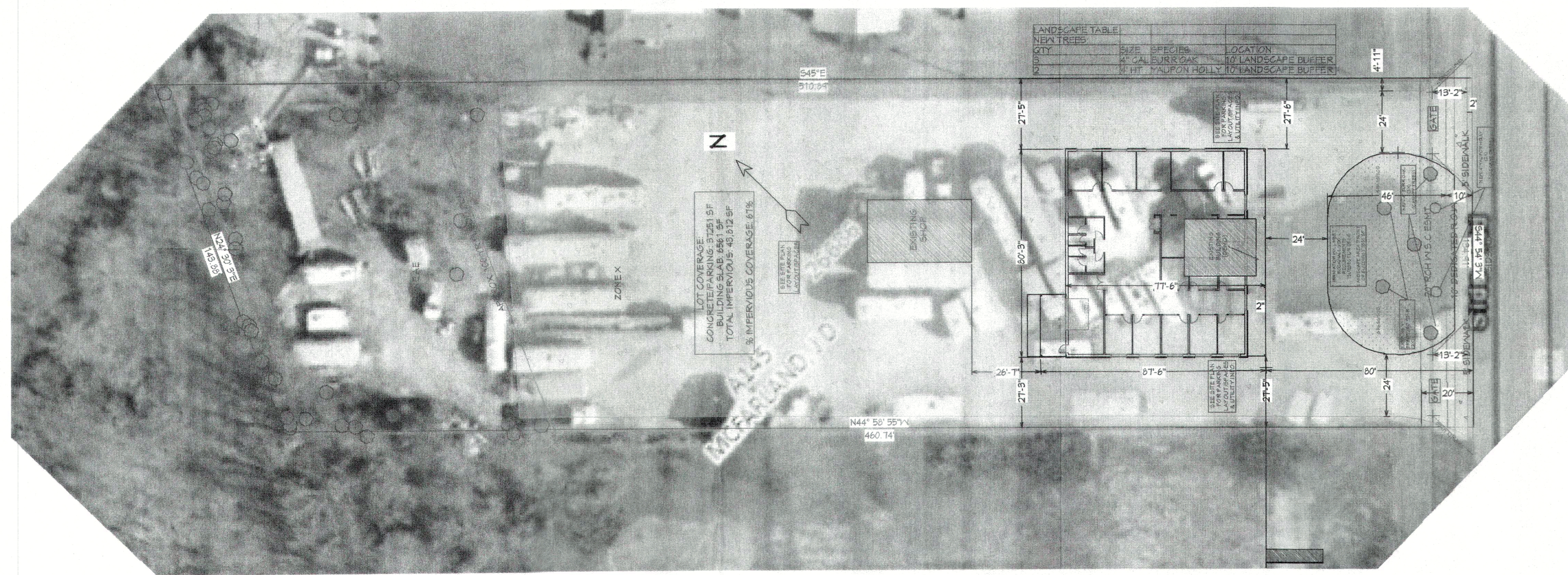
ROOM AREA/CEILING SCHEDULE			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ. FT.)	CEILING HEIGHT
1	OPEN AREA	1007	N/A
1	FILE ROOM	299	121 1/8"
1	ENTRY/RECEPTION	181	121 1/8"
1	KITCHEN/BREAK RM	424	N/A
1	M TLT 2	26	121 1/8"
1	OFFICE 4	157	121 1/8"
1	M ADA TLT	41	121 1/8"
1	M ADA TLT	41	121 1/8"
1	OFFICE 7	195	121 1/8"
1	OFFICE 6	158	121 1/8"
1	NETWORK/AV	118	121 1/8"
1	OFFICE 8	129	121 1/8"
1	PRIVACY HALL	18	121 1/8"
1	MENS RESTROOM	62	121 1/8"
1	PORCH	560	109 1/8"
1	OFFICE 7	131	121 1/8"
1	COMMON AREA	142	N/A
1	COMMON HALL 2	299	121 1/8"
1	CONFERENCE	349	121 1/8"
1	WOMEN'S RESTROOM	57	121 1/8"
1	COMMON HALL 1	298	121 1/8"
1	STORAGE	101	121 1/8"
1	M TLT 2	26	121 1/8"
1	OFFICE 1	157	121 1/8"
1	OFFICE 2	157	121 1/8"
1	OFFICE 3	158	121 1/8"
1	SUPPLY CLOSET	13	121 1/8"
1	OFFICE 9	195	121 1/8"
1	OFFICE 8	195	121 1/8"
1	PORCH	239	109 1/8"
TOTALS:		5933	

DOOR SCHEDULE

NUMBER	FLOOR	QTY	SIZE	EX/IN	SWING SIDE	DESCRIPTION	HEIGHT	WIDTH	DIVIDED LITES	DOOR PANELS	JAMB SIZE	3D PERSPECTIVE
D01	1	1	5468 L/R IN	IN	OUT	DOUBLE HINGED- 84 INTERIOR	80 "	64 "		1+1	3/4"x6 1/2"	
D02	1	11	3068 R IN	IN	OUT	HINGED- 84 INTERIOR	80 "	36 "		0+1	3/4"x4 1/2"	
D03	1	1	3068 L EX	EX	OUT	EXT. HINGED-GLASS PANEL	80 "	36 "	1	1+0	3/4"x11 1/2"	
D04	1	1	12080	EX	IN	GARAGE-MODERN STEEL - FLUSH	96 "	144 "		4	3/4"x11 1/2"	
D05	1	1	4068 L/R IN	IN	IN	DOUBLE HINGED- 84 INTERIOR	80 "	48 "		1+1	3/4"x4 1/2"	
D06	1	1	2668 R IN	IN	OUT	HINGED- 84 INTERIOR	80 "	30 "		0+1	3/4"x4 1/2"	
D08	1	1	6068 R EX	EX	IN	EXT. DOUBLE HINGED-GLASS PANEL	80 "	72 "	1	1+1	3/4"x11 1/2"	
D11	1	1	2668 L IN	IN	OUT	HINGED- 84 INTERIOR	80 "	30 "		1+0	3/4"x4 1/2"	
D12	1	8	3068 L IN	IN	OUT	HINGED- 84 INTERIOR	80 "	36 "		1+0	3/4"x4 1/2"	

WINDOW SCHEDULE

NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	WIDTH	HEIGHT	TOP	DIVIDED LITES	3D PERSPECTIVE
W01	19	1	6030FX	FIXED GLASS	72 "	36 "	80"	1	
W02	7	1	5030FX	FIXED GLASS	60 "	36 "	80"	1	



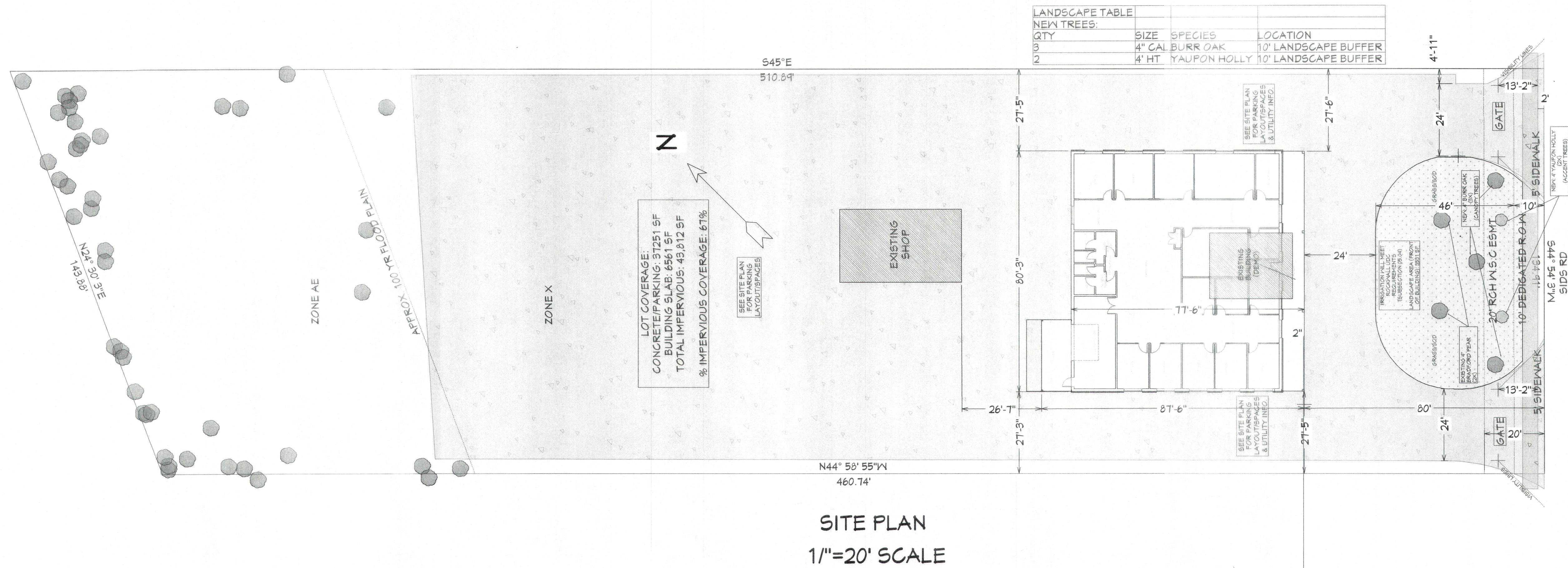
SITE PLAN (SAT)
SCALE: 1"=40'

SITE DATA:

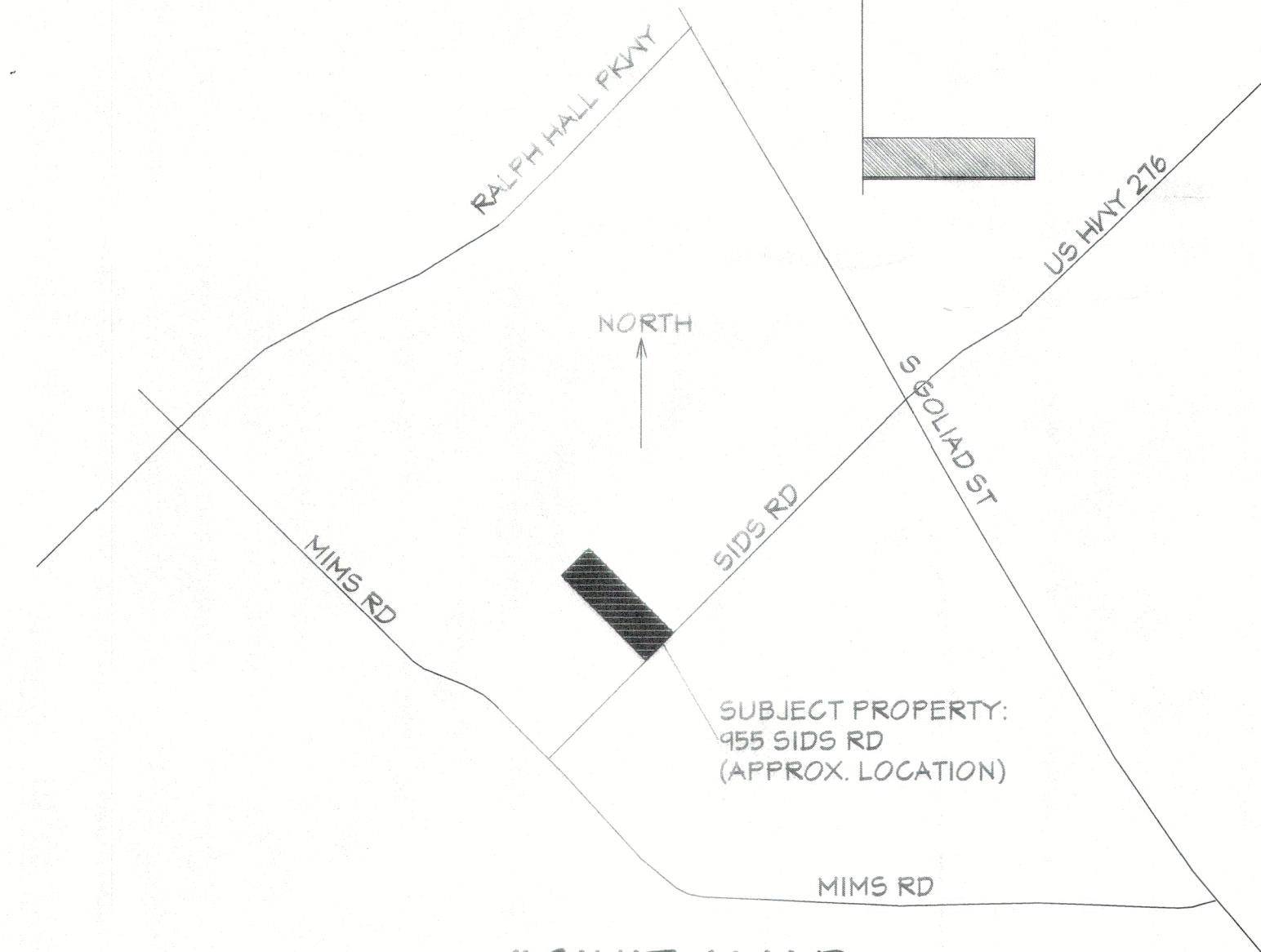
PROPERTY WILL REMAIN ZONED AS-IS:
COMMERCIAL, F1

PHOTOMETRICS - EXISTING SITE LIGHTING RETAINED. ALL LIGHTING
SHALL BE DOWNWARD FACING AND FULLY SHIELDED.

DEVELOPER: TRI-TEX CONSTRUCTION INC.



SITE PLAN
1"=20' SCALE



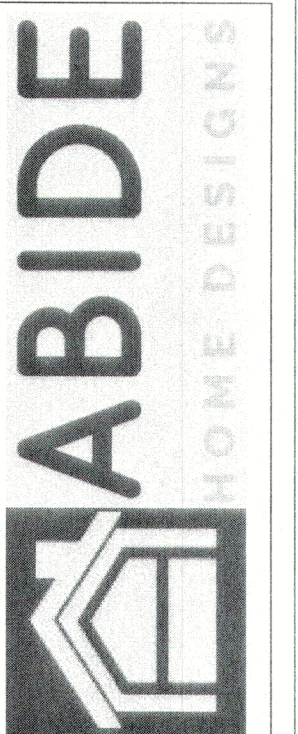
VICINITY MAP
SCALE: 1"=40' (APPROX)

SITE PLAN SIGNATURE BLOCK
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of
Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of
Rockwall on the 15th day of August, 2023.
WITNESS OUR HANDS, this 15th day of August, 2023.
Planning & Zoning Commission, Chairman
Director of Planning and Zoning

REV 03

SITE PLAN

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082



DATE:

8/14/2023

SCALE:

1/4"=1'

SHEET:

5

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-533-0959
AARON@ABIDEHOMEDESIGNS.COM



FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6618 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6618 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	4/3/2023	AJH	BID/REVIEW PLANS
REV 02	3/8/2023	AJH	EXTENDED MAINSCOT, GENERAL NOTE UPDATES, SITE PLAN/LANDSCAPE UPDATES
REV 03	3/14/2023	AJH	UPDATED TREE AND SIDEWALK LOCATION PER CITY COMMENTS
REV 04	11/10/2023	AJH	UPDATED NOTES & SITE PLAN SHT
REV 05	12/6/2023	AJH	UPDATED SITE/LANDSCAPE PLAN
REV 06	12/22/2023	AJH	REVISED INTERIOR OFFICE LAYOUT, UPDATED ELECTRICAL/GLNG PLAN

BUILDERS COPY

Keep On Job Site At All Times
For Inspection Use

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

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PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table

Number	Title
1	PROJECT SUMMARY
2	PROJECT OVERVIEW
3	ELEVATIONS
4	ELEVATIONS (CONT.)
5	SCHEDULES & STYLE
6	SITE & LANDSCAPE PLAN
7	FOUNDATION/ROUGH-IN PLAN
8	ROOF PLAN - 1F
9	FRAMING PLAN - 1F
10	ELECTRICAL PLAN
11	CABINET PLAN

REV 06

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-533-0459
AARON@ABIDEHOMEDESIGNS.COM

PROJECT
OVERVIEW

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75032



DATE:

2/12/2024

SCALE:

1/4"=1'

SHEET:

2

Keep On Job Site At All Times
For Inspection Use

REV 06

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-533-0459
AARON@ABIDEHOMEDESIGNS.COM

ELEVATIONS

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082



DATE:

2/12/2024

SCALE:

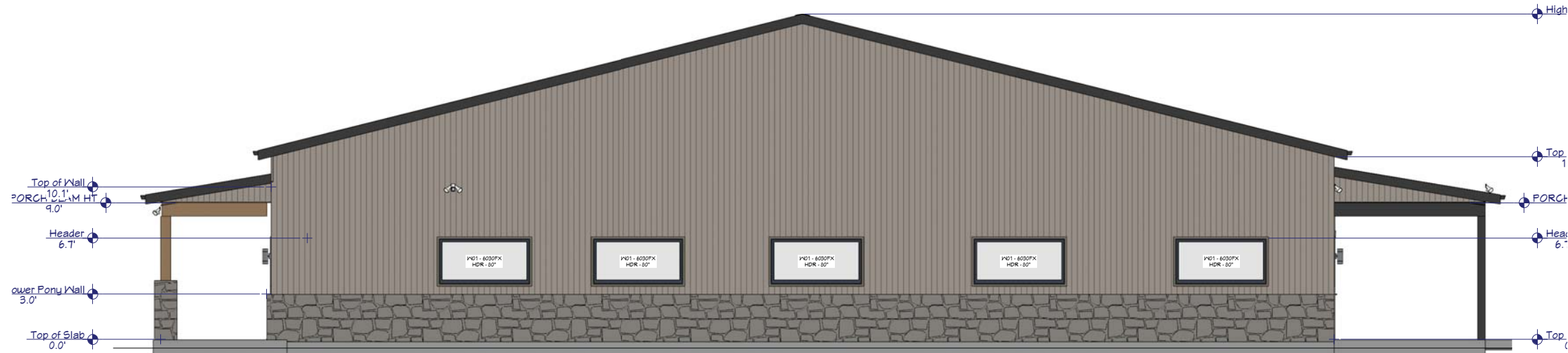
1/4"=1'

SHEET:

3



Exterior Elevation Front
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 429 SF
STONE PONY WALL: 245 SF (36%)



Exterior Elevation Right
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 884 SF
STONE PONY WALL: 212 SF (20%)

EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	STANDING SEAM, BLACK
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS: YES	
	(SEE STYLE SHEET FOR ADDITIONAL INFO.)

Keep On Job Site At All Times
For Inspection Use

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ELEVATIONS
(CONT.)

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75032



DATE:

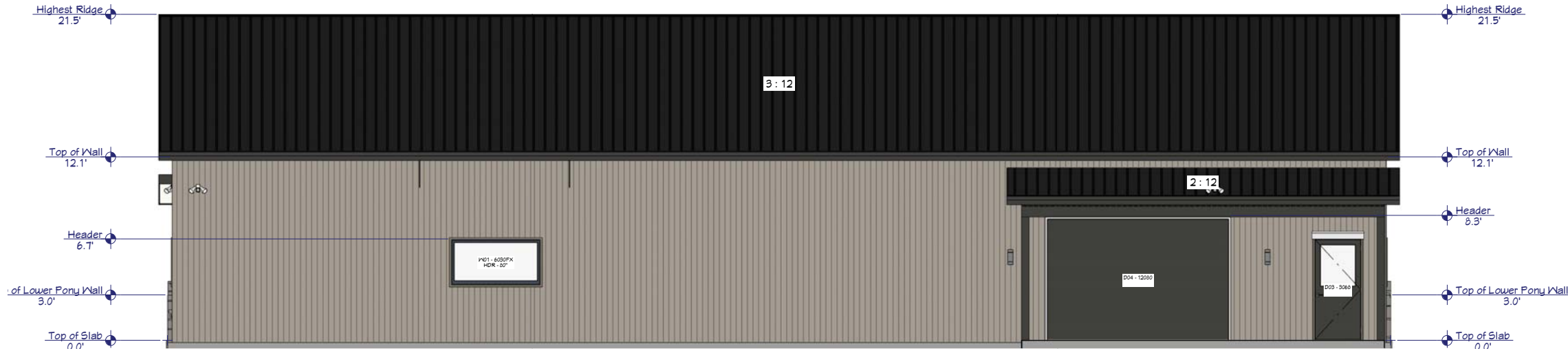
2/12/2024

SCALE:

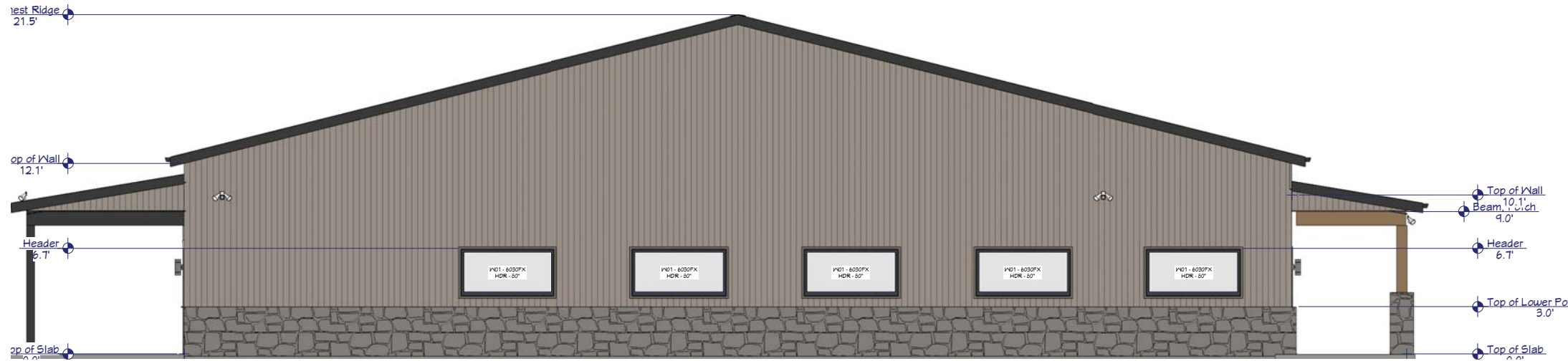
1/4"=1'

SHEET:

4



Exterior Elevation Back
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 1017 SF (100%)



Exterior Elevation Left
MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 866 SF
STONE PONY WALL: 212 SF (20%)



DATE: August 28, 2024

TO: David Lindsay
Tri-Tex Construction
955 Sids Road
Rockwall, Texas 75032

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: MIS2024-014; *Exception to the Roof Materials for 955 Sids Road*

David Lindsay:

This letter serves to notify you that the above referenced case (*i.e. Miscellaneous Case*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on July 30, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) Any construction resulting from the approval of this Miscellaneous Case shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On July 30, 2024, the Planning and Zoning Commission approved a motion to approve the miscellaneous case by a vote of 5-0, with Commissioner Hustings absent and one (1) vacancy.

Should you have any questions or concerns regarding your case, please feel free to contact me a (972) 772-6434.

Sincerely,

Henry Lee, AICP; Planner
City of Rockwall Planning and Zoning Department