



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1, 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1700 Justin Road, Rockwall, Texas**

SUBDIVISION **Channell Subdivision**

LOT **4**

BLOCK **A**

GENERAL LOCATION **Northwest Corner of Justin Road and John King Boulevard**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-89**

CURRENT USE **Office & Factory**

PROPOSED ZONING **PD-89**

PROPOSED USE **Office & Factory**

ACREAGE **18.762**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Channell, Inc**

APPLICANT **Westwood Professional Services**

CONTACT PERSON **Edward Burke**

CONTACT PERSON **Kyle Harris**

ADDRESS **1700 Justin Road**

ADDRESS **7557 Rambler Road**

Suite 1400

CITY, STATE & ZIP **Rockwall, Texas 75087**

CITY, STATE & ZIP **Dallas, Texas, 75231**

PHONE **951-719-2600**

PHONE **(972)235-3031**

E-MAIL **eburke@channell.com**

E-MAIL **kyle.harris@westwoodps.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **Edward Burke** [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: **REP**

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ **675.24** TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20 **24**. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____

OWNER'S SIGNATURE

REP

NOTARY PUBLIC IN AND FOR THE STATE OF CALIFORNIA

MY COMMISSION EXPIRES

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of Riverside }

On April 19, 2024 before me, Pamela L. Bishop, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Edward James Burke
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Pamela L. Bishop
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian of Conservator

Other: _____

Signer is Representing: _____

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian of Conservator

Other: _____

Signer is Representing: _____

65' R.O.W.
POINT OF BEGINNING

SEE DETAIL ②

SEE DETAIL ①

ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)

CONTINENTAL PET TECHNOLOGIES
(VOL. 552, PG. 127)

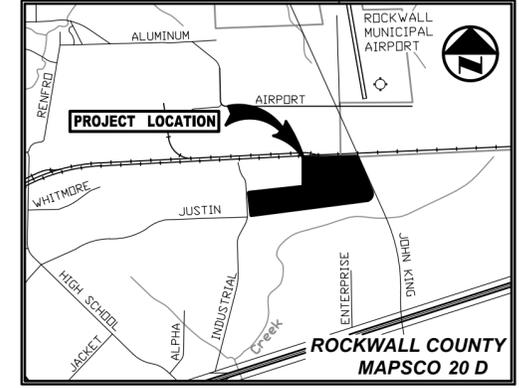
N 88°07'13" E 850.17'

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
(INST. NO. 2023000006336)
(ABANDONED B.T.P.)

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
(INST. NO. 20150000014737)



GRAPHIC SCALE IN FEET



VICINITY MAP
(NOT TO SCALE)

LEGEND

- IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND (C.M.)
- CSC 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND (C.M.)
- (C.M.) CONTROLLING MONUMENT
- IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND (B.T.P.) BY THIS PLAT
- CSC 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND (B.T.P.) BY THIS PLAT
- (C.M.) CONTROLLING MONUMENT BY THIS PLAT
- EASEMENT ABANDONED BY THIS PLAT
- EASEMENT BY THIS PLAT
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED EASEMENT LINE
- SETBACK LINE
- ABSTRACT LINE
- CENTERLINE

N 01°03'48" W 111.88'
LOT 2, BLOCK A
SPR PACKAGING ADDITION
(CAB. H, SLIDE 155)
ALVAPLAST US DEVELOPMENT, LLC
(VOL. 2018, PG. 11676)

N: 7,024,472.23
E: 2,600,192.82

N 45°43'30" W 42.68'
JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

CITY OF ROCKWALL
(VOL. 507, PG. 181)

INDUSTRIAL BOULEVARD
(65-FOOT WIDE RIGHT-OF-WAY)

AMAZON.COM SERVICES LLC
(INST. NO. 20210000025041)

LOT 1, BLOCK B
CHANNELL SUBDIVISION
(CAB. I, SLIDE 337)
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
(VOL. 4168, PG. 317)

LOT 5, BLOCK A
18.762 ACRES
(817,294 SF)

LOT 4, BLOCK A
CHANNELL SUBDIVISION
(INST. NO. 20230000006336)
WILLCAR HOLDINGS LLC
(INST. NO. 20170000002016)

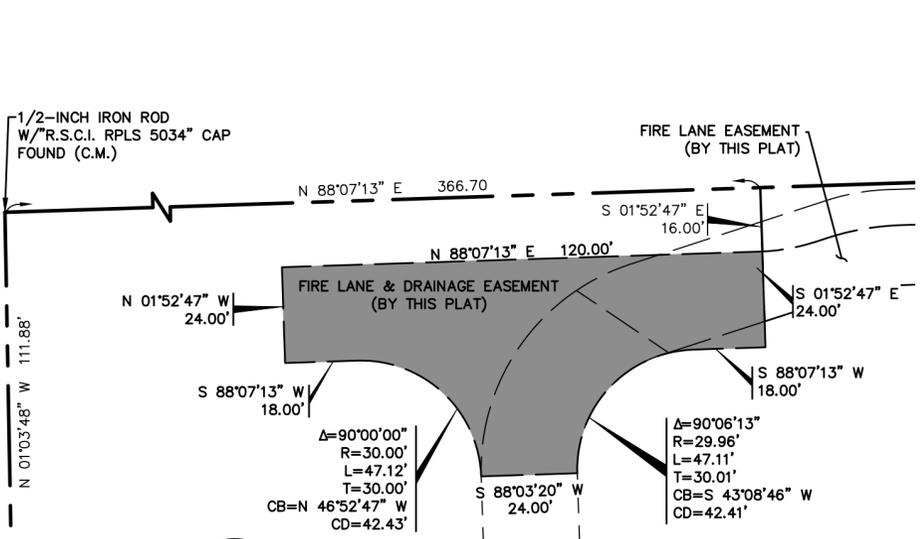
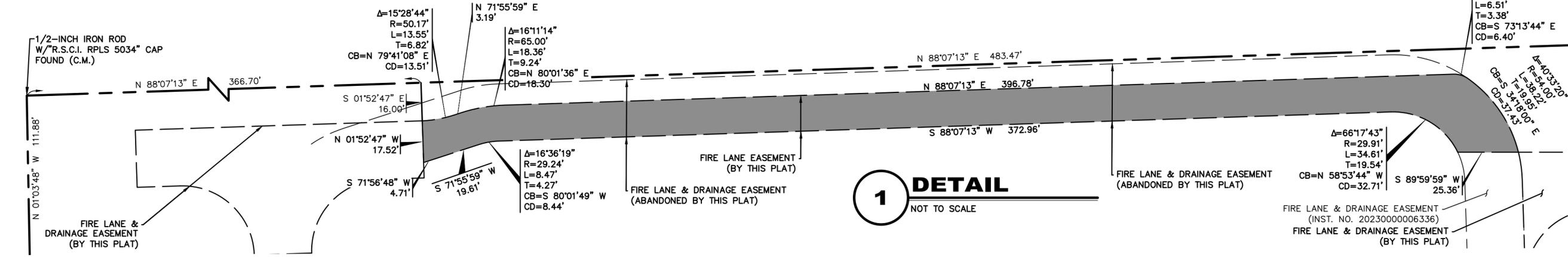
NATHAN BUTLER - ABSTRACT NO. 20
ARCHIBALD HANNA - ABSTRACT NO. 99

N 71°46'54" W 100.00'

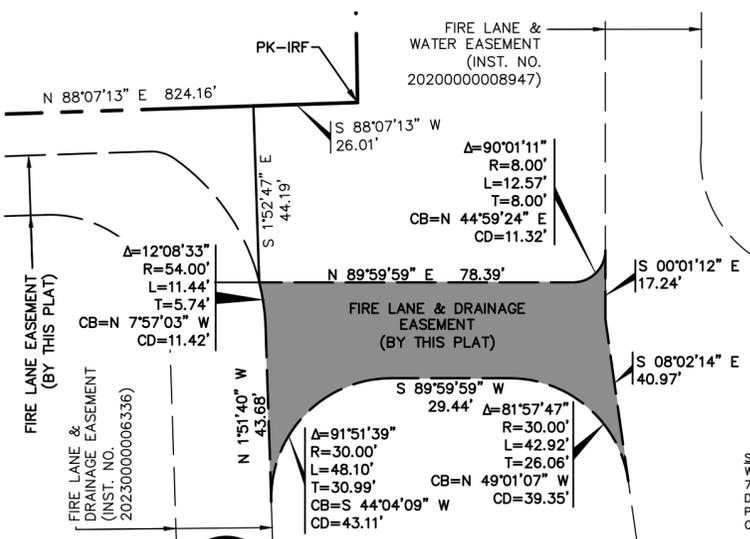
JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

Δ=22°51'11"
R=807.50'
L=322.08'
T=163.21'
CB=N 83°12'29" W
CD=319.95'

1 DETAIL
NOT TO SCALE



2 DETAIL
NOT TO SCALE



3 DETAIL
NOT TO SCALE

SHEET 1 OF 3
REPLAT
**LOT 5, BLOCK A,
CHANNELL SUBDIVISION**

BEING A REPLAT OF LOT 4, BLOCK A,
CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. _____

SURVEYOR/ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER:
WILLCAR HOLDINGS LLC
26040 YNEZ ROAD
TEMECULA, CALIFORNIA 92592
PH: 909-240-3460
CONTACT: ALTON FRAZIER

Westwood
Westwood Professional Services, Inc. westwoodps.com

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

DRAWN BY LAH	CHECKED BY KCH	SCALE 1"=60'	DATE APRIL 2024	JOB NUMBER 3273-20.063
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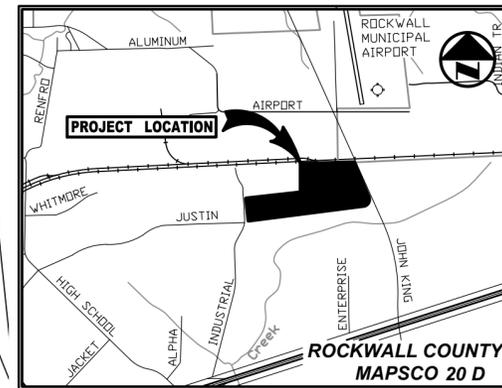
LAHERMANDEZ1 04/17/2024 - 9:22AM
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REPLAT-LOT 5, BLOCK A, CHANNELL SUBDIVISION

U.P./DALLAS GARLAND N.E. RAILROAD

(A 100-FOOT RIGHT-OF-WAY)
N 88°10'00" E 693.99'

N 88°16'13" E
116.20'



VICINITY MAP
(NOT TO SCALE)

LEGEND

- IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND
- CSC 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND
- (C.M.) CONTROLLING MONUMENT
- (B.T.P.) BY THIS PLAT
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED EASEMENT LINE
- SETBACK LINE
- ABSTRACT LINE
- CENTERLINE
- EASEMENT ABANDONED BY THIS PLAT
- EASEMENT BY THIS PLAT

ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)
CONTINENTAL PET TECHNOLOGIES
(VOL. 552, PG. 127)

N 01°03'38" W 550.29'

LOT 5, BLOCK A
18.762 ACRES
(817,294 SF)

LOT 4, BLOCK A
CHANNELL SUBDIVISION
(INST. NO. 2023000006336)

WILLCAR HOLDINGS LLC
(INST. NO. 20170000002016)

JOHN KING BOULEVARD
(A 120-FOOT WIDE RIGHT-OF-WAY)

PART OF
CITY OF ROCKWALL
(VOL. 5418, PG 54)

$\Delta=17^{\circ}06'33''$
 $R=1,810.00'$
 $L=540.49'$
 $T=272.27'$
 $CB=S 21^{\circ}54'26'' E$
 $CD=538.48'$

$\Delta=84^{\circ}24'20''$
 $R=29.50'$
 $L=43.46'$
 $T=26.75'$
 $CB=S 37^{\circ}35'03'' W$
 $CD=39.63'$

S 30°27'42" E
46.15'
N: 7,024,535.78
E: 2,601,989.93

SHEET 2 OF 3

REPLAT LOT 5, BLOCK A, CHANNELL SUBDIVISION

BEING A REPLAT OF LOT 4, BLOCK A,
CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. _____

Westwood
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

DRAWN BY LAH	CHECKED BY KCH	SCALE 1"=60'	DATE APRIL 2024	JOB NUMBER 3273-20.063
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SURVEYOR/ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER:
WILLCAR HOLDINGS LLC
26040 YNEZ ROAD
TEMECULA, CALIFORNIA 92592
PH: 909-240-3460
CONTACT: ALTON FRAZIER

LAHERNANDEZI 04/17/2024 - 9:22AM
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REPLAT-LOT 5, BLOCK A, CHANNELL SUBDIVISION

MATCH LINE (SEE SHEET 1)

N 88°07'13" E
850.17'

SEE DETAIL 1

SEE DETAIL 3

25' BUILDING SETBACK
(CAB. I, SLIDE 337)

S 14°39'43" E
12.00'

S 74°47'13" W 191.98'
 $\Delta=00^{\circ}33'04''$
 $R=892.50'$
 $L=8.58'$
 $T=4.29'$
 $CB=S 75^{\circ}03'45'' W$
 $CD=8.58'$

$\Delta=04^{\circ}26'56''$
 $R=904.50'$
 $L=70.23'$
 $T=35.13'$
 $CB=S 77^{\circ}33'45'' W$
 $CD=70.22'$

CITY OF ROCKWALL
20' SANITARY SEWER EASEMENT
(VOL. 3182, PG. 118)

TEMUNOVIC
PARTNERSHIP, LTD.
(VOL. 7038, PG. 314)

JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

S 85°21'55" W 325.98'
 $\Delta=10^{\circ}34'42''$
 $R=807.50'$
 $L=149.09'$
 $T=74.76'$
 $CB=S 80^{\circ}04'34'' W$
 $CD=148.87'$

LOT 1, BLOCK B
CHANNELL SUBDIVISION
(CAB. I, SLIDE 337)
ROCKWALL ECONOMIC
DEVELOPMENT CORPORATION
(VOL. 4168, PG. 317)

$\Delta=22^{\circ}51'11''$
 $R=807.50'$
 $L=322.08'$
 $T=163.21'$
 $CB=N 83^{\circ}12'29'' W$
 $CD=319.95'$

S 85°21'55" W 325.98'

WATER EASEMENT
(INST. NO. 20160000011900)

DRAINAGE EASEMENT
(CAB. I, SLIDE 337)

S 85°21'55" W 325.98'

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Willcar Holdings LLC, is the owner of an 18.762 acre tract of land in the City of Rockwall, Rockwall County, Texas; said tract of land being described as follows:

LEGAL DESCRIPTION

DESCRIPTION, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Archibald Hanna Survey, Abstract No. 99, and the David Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas; said tract being all of Lot 4, Block A, Channell Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Instrument No. 20230000006336 of the Official Public Records of Rockwall County, Texas; said tract also being all of that certain tract of land described in Special Warranty Deed to Willcar Holdings LLC recorded in Instrument No. 20170000002016 of the said Official Public Records; said 18.762 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (a 65-foot wide right-of-way); said point being the westernmost northwest corner of said Lot 3 and the southwest corner of Rockwall Industrial East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 72 of said Plat Records;

THENCE, North 88 degrees, 07 minutes, 13 seconds East, departing the said east line of Industrial Boulevard and along the south line of said Rockwall Industrial East, a distance of 850.17 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner; said point being the southeast corner of said Rockwall Industrial East;

THENCE, North 01 degrees, 03 minutes, 38 seconds West, along the east line of said Rockwall Industrial East, a distance of 550.29 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner in the south right-of-way line of the UP/DALLAS GARLAND N.E. RAILROAD (a 100-foot wide right-of-way); said point being the northeast corner of said Rockwall Industrial East;

THENCE, along the said south line of the UP/DALLAS GARLAND N.E. RAILROAD, the following two (2) calls:

North 88 degrees, 10 minutes, 00 seconds East, a distance of 693.99 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

North 88 degrees, 16 minutes, 13 seconds East, a distance of 16.20 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the west right-of-way line of John King Boulevard (a 120-foot wide right-of-way);

THENCE, departing the said south line of the UP/DALLAS GARLAND N.E. RAILROAD and along the said west line of John King Boulevard, the following three (3) calls:

South 13 degrees, 13 minutes, 35 seconds East, a distance of 112.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a non-tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 17 degrees, 06 minutes, 33 seconds, a radius of 1,810.00 feet, a chord bearing and distance of South 21 degrees, 54 minutes, 26 seconds East, 538.48 feet, an arc distance of 540.49 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 30 degrees, 27 minutes, 42 seconds East, a distance of 46.15 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the northeast end of a circular right-of-way corner clip at the intersection of the said west line of John King Boulevard and the north right-of-way line of Justin Road (a variable width right-of-way) and the beginning of a non-tangent curve to the right;

THENCE, in a southwesterly direction, departing the said west line of John King Boulevard and along said corner clip and said curve to the right, having a central angle of 84 degrees, 24 minutes, 20 seconds, a radius of 29.50 feet, a chord bearing and distance of South 37 degrees, 35 minutes, 03 seconds West, 39.63 feet, an arc distance of 43.46 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said north line of Justin Road; said point being at the southwest end of said corner clip;

THENCE, departing the said corner clip and along the said north line of Justin Road, the following fourteen (14) calls:

South 79 degrees, 47 minutes, 13 seconds West, a distance of 186.63 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

South 89 degrees, 47 minutes, 13 seconds West, a distance of 50.50 feet to a 1/2-inch iron rod with "CSC 4252" cap found for corner;

South 00 degrees, 38 minutes, 16 seconds East, a distance of 8.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner;

South 79 degrees, 47 minutes, 13 seconds West, a distance of 10.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner at the beginning of a tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 04 degrees, 26 minutes, 56 seconds, a radius of 904.50 feet, a chord bearing and distance of South 77 degrees, 33 minutes, 45 seconds West, 70.22 feet, an arc distance of 70.23 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner;

South 14 degrees, 39 minutes, 43 seconds East, a distance of 12.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being the beginning of a non-tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 00 degrees, 33 minutes, 04 seconds, a radius of 892.50 feet, a chord bearing and distance of South 75 degrees, 03 minutes, 45 seconds West, 8.58 feet, an arc distance of 8.58 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 74 degrees, 47 minutes, 13 seconds West, a distance of 191.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 10 degrees, 34 minutes, 42 seconds, a radius of 807.50 feet, a chord bearing and distance of South 80 degrees, 04 minutes, 34 seconds West, 148.87 feet, an arc distance of 149.09 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 85 degrees, 21 minutes, 55 seconds West, a distance of 325.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 22 degrees, 51 minutes, 11 seconds, a radius of 807.50 feet, a chord bearing and distance of North 83 degrees, 12 minutes, 29 seconds West, 319.95 feet, an arc distance of 322.08 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

North 71 degrees, 46 minutes, 54 seconds West, a distance of 100.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the left;

In a westerly direction, along said curve to the left, having a central angle of 18 degrees, 36 minutes, 18 seconds, a radius of 892.50 feet, a chord bearing and distance of North 81 degrees, 05 minutes, 03 seconds West, 288.54 feet, an arc distance of 289.81 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

(LEGAL DESCRIPTION CONTINUED)

South 89 degrees, 36 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the southeast end of a right-of-way corner clip at the intersection of said north line of Justin Road with the said east line of Industrial Boulevard;

THENCE, North 45 degrees, 43 minutes, 30 seconds West, departing the said north line of Justin Road and along the said corner clip, a distance of 42.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said east line of Industrial Boulevard; said point being at the northwest end of said corner clip;

THENCE, North 01 degrees, 03 minutes, 48 seconds West, departing the said corner clip and along the said east line of Industrial Boulevard, a distance of 111.88 feet to the POINT OF BEGINNING;

CONTAINING, 817,294 square feet or 18.762 acres of land, more or less.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Kyle C. Harris, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. RELEASED 4/17/24.

Kyle C. Harris Date
Registered Professional Land Surveyor
No. 6266
kyle.harris@westwoodps.com



Planning and Zoning Commission

Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2024.

Mayor, City of Rockwall

City Secretary

City Engineer

GENERAL NOTES

- 1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
2. Bearing system for this survey is based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (2011) and correlated to the City of Rockwall Monument R016. The coordinates shown hereon are State Plane (Grid) Coordinates, no scale and no projection.
3. The property owner shall be responsible for maintenance, repair, and replacement of all drainage and detention easements.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as the LOT 5, BLOCK A, CHANNELL SUBDIVISION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the LOT 5, BLOCK A, CHANNELL SUBDIVISION have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the Subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

William H. Channell, President

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared William H. Channell, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires:

SHEET 3 OF 3

REPLAT
LOT 5, BLOCK A,
CHANNELL SUBDIVISION

BEING A REPLAT OF LOT 4, BLOCK A, CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20, THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99 AND THE DAVID HARR SURVEY, ABSTRACT NO. 102 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. _____

Westwood

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

Table with 5 columns: DRAWN BY, CHECKED BY, SCALE, DATE, JOB NUMBER. Values: LAH, KCH, NONE, APRIL 2024, 3273-20.063

SURVEYOR/ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER:
WILLCAR HOLDINGS LLC
26040 YNEZ ROAD
TEMECULA, CALIFORNIA 92592
PH: 909-240-3460
CONTACT: ALTON FRAZIER



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE)¹</p> <p><input checked="" type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1, 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²</p> <p>NOTES:</p> <p>¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1700 Justin Road, Rockwall, Texas**

SUBDIVISION **Channell Subdivision** LOT **4** BLOCK **A**

GENERAL LOCATION **Northwest Corner of Justin Road and John King Boulevard**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-89** CURRENT USE **Office & Factory**

PROPOSED ZONING **PD-89** PROPOSED USE **Office & Factory**

ACREAGE **18.762** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Channell, Inc	<input checked="" type="checkbox"/> APPLICANT	Westwood Professional Services
CONTACT PERSON	Edward Burke	CONTACT PERSON	Kyle Harris
ADDRESS	1700 Justin Road	ADDRESS	7557 Rambler Road Suite 1400
CITY, STATE & ZIP	Rockwall, Texas 75087	CITY, STATE & ZIP	Dallas, Texas, 75231
PHONE	951-719-2600	PHONE	(972)235-3031
E-MAIL	eburke@channell.com	E-MAIL	kyle.harris@westwoodps.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **Edward Burke** [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: **REP**

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ **675.24** TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20 **24**. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____

OWNER'S SIGNATURE

REP

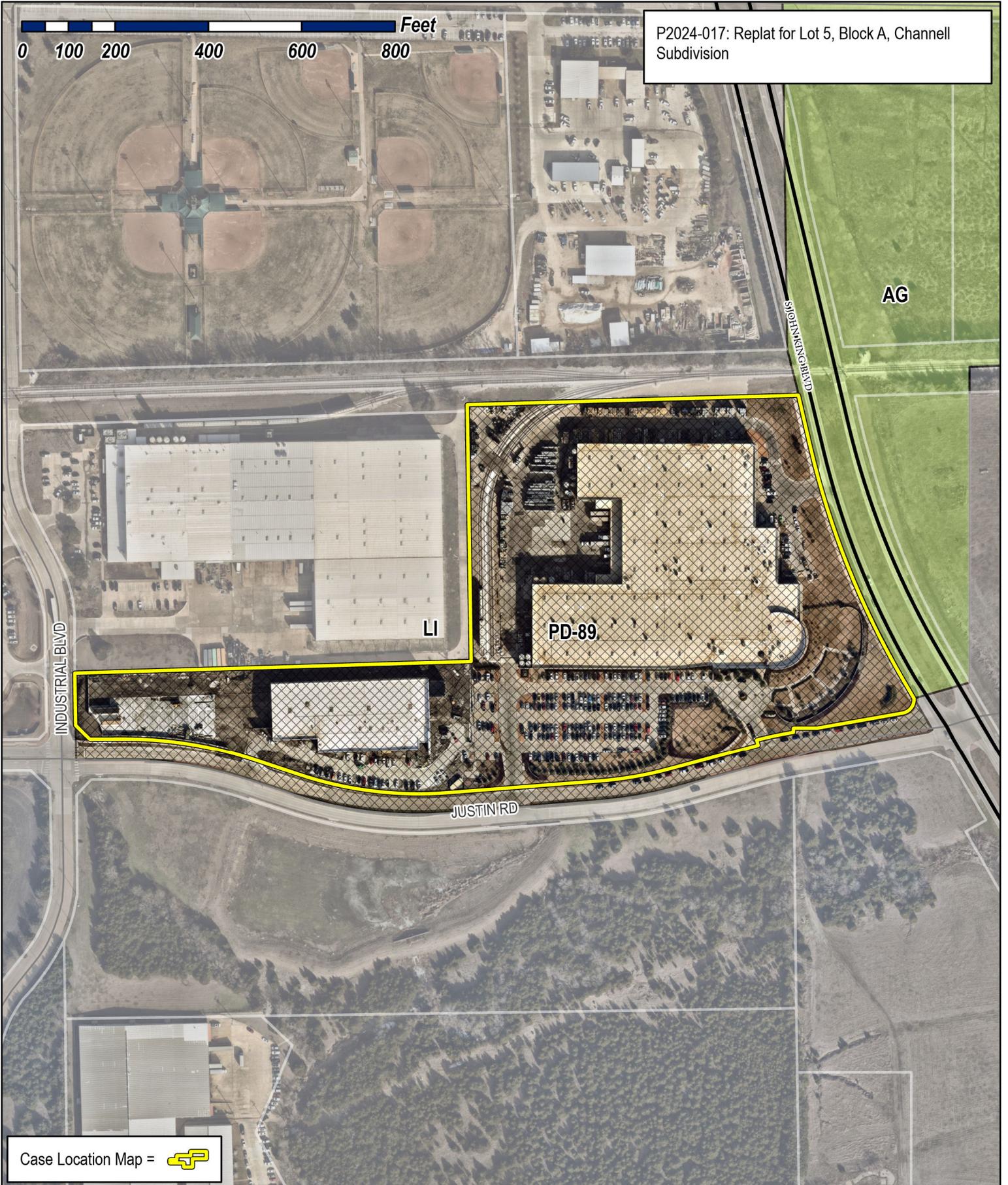
NOTARY PUBLIC IN AND FOR THE STATE OF CALIFORNIA



MY COMMISSION EXPIRES

0 100 200 400 600 800 Feet

P2024-017: Replat for Lot 5, Block A, Channell Subdivision



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of Riverside

On April 19, 2024 before me, Pamela L. Bishop, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Edward James Burke
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Pamela L. Bishop
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian of Conservator

Other: _____

Signer is Representing: _____

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian of Conservator

Other: _____

Signer is Representing: _____

65' R.O.W.
POINT OF BEGINNING

SEE DETAIL ②

SEE DETAIL ①

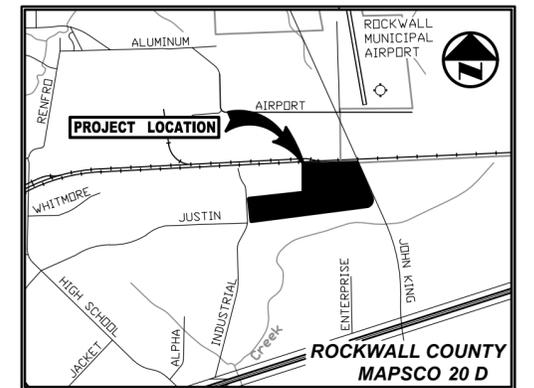
ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)

CONTINENTAL PET TECHNOLOGIES
(VOL. 552, PG. 127)

N 88°07'13" E 850.17'

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
(INST. NO. 2023000006336)
(ABANDONED B.T.P.)

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
(INST. NO. 20150000014737)



VICINITY MAP
(NOT TO SCALE)

LEGEND

- IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND (C.M.)
- CSC 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND (C.M.)
- (C.M.) CONTROLLING MONUMENT
- IRF (B.T.P.) BY THIS PLAT
- CSC (B.T.P.) BY THIS PLAT
- (C.M.) CONTROLLING MONUMENT
- EASEMENT ABANDONED BY THIS PLAT
- EASEMENT BY THIS PLAT
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED EASEMENT LINE
- SETBACK LINE
- ABSTRACT LINE
- CENTERLINE

N 01°03'48" W 111.88'
LOT 2, BLOCK A
SPR PACKAGING ADDITION
(CAB. H, SLIDE 155)
ALVAPLAST US DEVELOPMENT, LLC
(VOL. 2018, PG. 11676)

N: 7,024,472.23
E: 2,600,192.82

JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

CITY OF ROCKWALL
(VOL. 507, PG. 181)

INDUSTRIAL BOULEVARD
(65-FOOT WIDE RIGHT-OF-WAY)

AMAZON.COM SERVICES LLC
(INST. NO. 20210000025041)

LOT 1, BLOCK B
CHANNELL SUBDIVISION
(CAB. I, SLIDE 337)
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
(VOL. 4168, PG. 317)

LOT 5, BLOCK A
18.762 ACRES
(817,294 SF)

LOT 4, BLOCK A
CHANNELL SUBDIVISION
(INST. NO. 20230000006336)
WILLCAR HOLDINGS LLC
(INST. NO. 20170000002016)

NATHAN BUTLER - ABSTRACT NO. 20
ARCHIBALD HANNA - ABSTRACT NO. 99

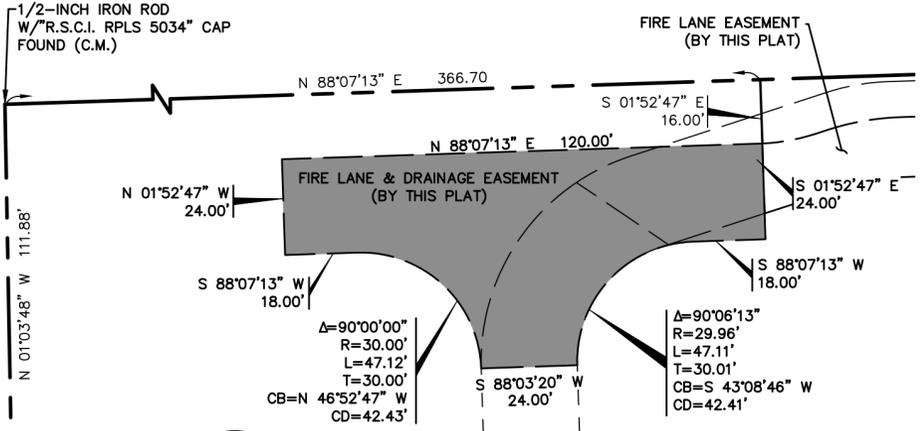
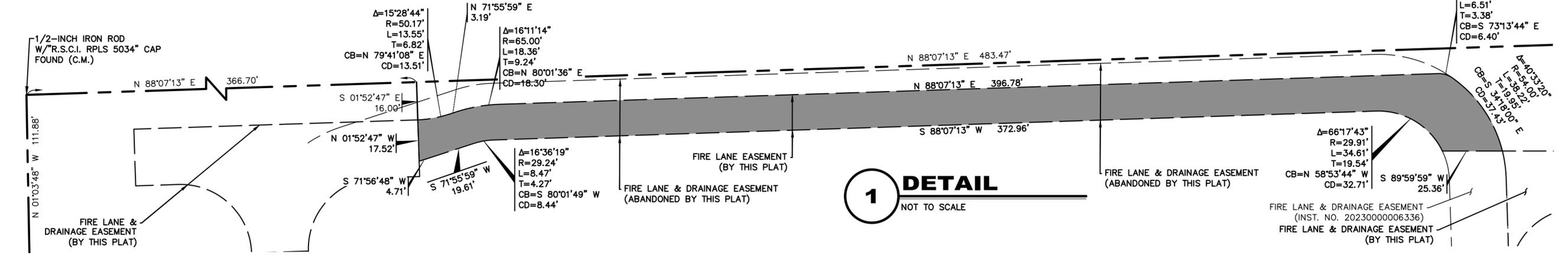
N 71°46'54" W 100.00'

JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

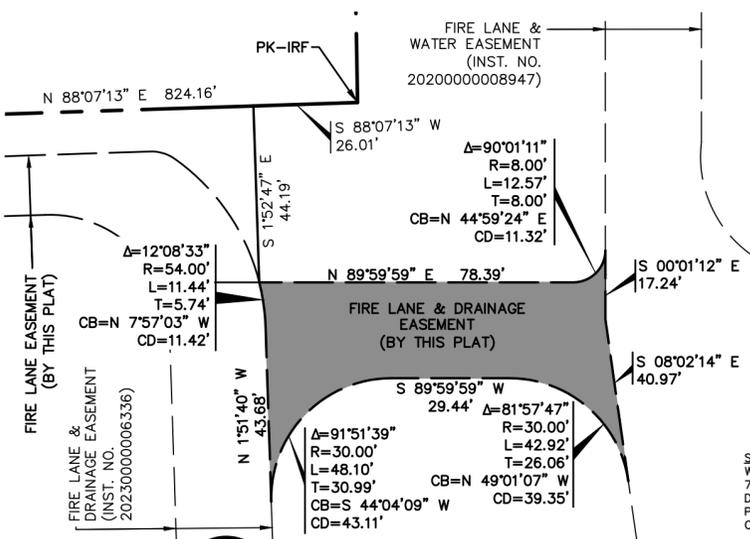
Δ=22°51'11"
R=807.50'
L=322.08'
T=163.21'
CB=N 83°12'29" W
CD=319.95'

MATCH LINE (SEE SHEET 2)

1 DETAIL
NOT TO SCALE



2 DETAIL
NOT TO SCALE



3 DETAIL
NOT TO SCALE

SHEET 1 OF 3
REPLAT
**LOT 5, BLOCK A,
CHANNELL SUBDIVISION**
BEING A REPLAT OF LOT 4, BLOCK A,
CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. _____

SURVEYOR/ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER:
WILLCAR HOLDINGS LLC
26040 YNEZ ROAD
TEMECULA, CALIFORNIA 92592
PH: 909-240-3460
CONTACT: ALTON FRAZIER

Westwood
Westwood Professional Services, Inc. westwoodps.com

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

DRAWN BY LAH	CHECKED BY KCH	SCALE 1"=60'	DATE APRIL 2024	JOB NUMBER 3273-20.063
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LAHERMANDEZ1 04/17/2024 - 9:22AM
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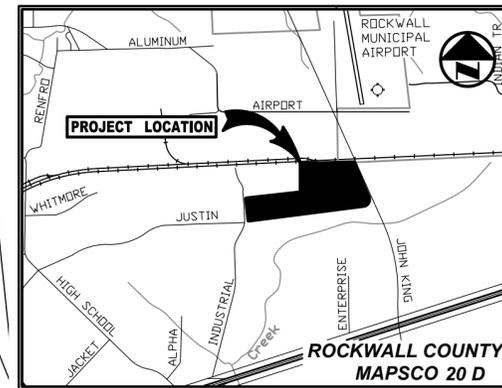
REPLAT-LOT 5, BLOCK A, CHANNELL SUBDIVISION

U.P./DALLAS GARLAND N.E. RAILROAD

(A 100-FOOT RIGHT-OF-WAY)

N 88°10'00" E 693.99'

N 88°16'13" E 116.20'



VICINITY MAP
(NOT TO SCALE)

LEGEND

- IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND
- CSC 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND
- (C.M.) CONTROLLING MONUMENT
- (B.T.P.) BY THIS PLAT
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED EASEMENT LINE
- SETBACK LINE
- ABSTRACT LINE
- CENTERLINE
- EASEMENT ABANDONED BY THIS PLAT
- EASEMENT BY THIS PLAT

ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)
CONTINENTAL PET TECHNOLOGIES
(VOL. 552, PG. 127)

N 01°03'38" W 550.29'

LOT 5, BLOCK A
18.762 ACRES
(817,294 SF)

LOT 4, BLOCK A
CHANNELL SUBDIVISION
(INST. NO. 20230000006336)

WILLCAR HOLDINGS LLC
(INST. NO. 20170000002016)

JOHN KING BOULEVARD
(A 120-FOOT WIDE RIGHT-OF-WAY)

PART OF
CITY OF ROCKWALL
(VOL. 5418, PG 54)

ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)
CONTINENTAL PET TECHNOLOGIES
(VOL. 552, PG. 127)

N 88°07'13" E 850.17'

LOT 4, BLOCK A
CHANNELL SUBDIVISION
(INST. NO. 20230000006336)

WILLCAR HOLDINGS LLC
(INST. NO. 20170000002016)

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(A 120-FOOT WIDE RIGHT-OF-WAY)

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CITY OF ROCKWALL
(VOL. 5418, PG 54)

ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)
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N 88°07'13" E 850.17'

LOT 4, BLOCK A
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PART OF
CITY OF ROCKWALL
(VOL. 5418, PG 54)

ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)
CONTINENTAL PET TECHNOLOGIES
(VOL. 552, PG. 127)

N 88°07'13" E 850.17'

LOT 4, BLOCK A
CHANNELL SUBDIVISION
(INST. NO. 20230000006336)

WILLCAR HOLDINGS LLC
(INST. NO. 20170000002016)

JOHN KING BOULEVARD
(A 120-FOOT WIDE RIGHT-OF-WAY)

PART OF
CITY OF ROCKWALL
(VOL. 5418, PG 54)

$\Delta=22^{\circ}51'11''$
 $R=807.50'$
 $L=322.08'$
 $T=163.21'$
 $CB=N 83^{\circ}12'29'' W$
 $CD=319.95'$

JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

$\Delta=10^{\circ}34'42''$
 $R=807.50'$
 $L=149.09'$
 $T=74.76'$
 $CB=S 80^{\circ}04'34'' W$
 $CD=148.87'$

LOT 1, BLOCK B
CHANNELL SUBDIVISION
(CAB. I, SLIDE 337)
ROCKWALL ECONOMIC
DEVELOPMENT CORPORATION
(VOL. 4168, PG. 317)

$S 14^{\circ}39'43'' E$
 $12.00'$

$S 74^{\circ}47'13'' W$
 $191.98'$

$\Delta=00^{\circ}33'04''$
 $R=892.50'$
 $L=8.58'$
 $T=4.29'$
 $CB=S 75^{\circ}03'45'' W$
 $CD=8.58'$

$\Delta=04^{\circ}26'56''$
 $R=904.50'$
 $L=70.23'$
 $T=35.13'$
 $CB=S 77^{\circ}33'45'' W$
 $CD=70.22'$

$\Delta=84^{\circ}24'20''$
 $R=29.50'$
 $L=43.46'$
 $T=26.75'$
 $CB=S 37^{\circ}35'03'' W$
 $CD=39.63'$

$S 30^{\circ}27'42'' E$
 $46.15'$

N: 7,024,535.78
E: 2,601,989.93

SHEET 2 OF 3

REPLAT
LOT 5, BLOCK A,
CHANNELL SUBDIVISION

BEING A REPLAT OF LOT 4, BLOCK A,
CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
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AN ADDITION TO THE CITY OF ROCKWALL,
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CASE NO. _____

Westwood
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

Westwood Professional Services, Inc.	westwoodps.com
DRAWN BY LAH	CHECKED BY KCH
SCALE 1"=60'	DATE APRIL 2024
JOB NUMBER 3273-20.063	

LAHERNANDEZI 04/17/2024 - 9:22AM
C:\TEMP\AC\PUBLISH_8068\3273-20.063RPR.DWG

REPLAT-LOT 5, BLOCK A, CHANNELL SUBDIVISION

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Willcar Holdings LLC, is the owner of an 18.762 acre tract of land in the City of Rockwall, Rockwall County, Texas; said tract of land being described as follows:

LEGAL DESCRIPTION

DESCRIPTION, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Archibald Hanna Survey, Abstract No. 99, and the David Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas; said tract being all of Lot 4, Block A, Channell Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Instrument No. 20230000006336 of the Official Public Records of Rockwall County, Texas; said tract also being all of that certain tract of land described in Special Warranty Deed to Willcar Holdings LLC recorded in Instrument No. 20170000002016 of the said Official Public Records; said 18.762 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (a 65-foot wide right-of-way); said point being the westernmost northwest corner of said Lot 3 and the southwest corner of Rockwall Industrial East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 72 of said Plat Records;

THENCE, North 88 degrees, 07 minutes, 13 seconds East, departing the said east line of Industrial Boulevard and along the south line of said Rockwall Industrial East, a distance of 850.17 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner; said point being the southeast corner of said Rockwall Industrial East;

THENCE, North 01 degrees, 03 minutes, 38 seconds West, along the east line of said Rockwall Industrial East, a distance of 550.29 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner in the south right-of-way line of the UP/DALLAS GARLAND N.E. RAILROAD (a 100-foot wide right-of-way); said point being the northeast corner of said Rockwall Industrial East;

THENCE, along the said south line of the UP/DALLAS GARLAND N.E. RAILROAD, the following two (2) calls:

North 88 degrees, 10 minutes, 00 seconds East, a distance of 693.99 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

North 88 degrees, 16 minutes, 13 seconds East, a distance of 16.20 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the west right-of-way line of John King Boulevard (a 120-foot wide right-of-way);

THENCE, departing the said south line of the UP/DALLAS GARLAND N.E. RAILROAD and along the said west line of John King Boulevard, the following three (3) calls:

South 13 degrees, 13 minutes, 35 seconds East, a distance of 112.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a non-tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 17 degrees, 06 minutes, 33 seconds, a radius of 1,810.00 feet, a chord bearing and distance of South 21 degrees, 54 minutes, 26 seconds East, 538.48 feet, an arc distance of 540.49 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 30 degrees, 27 minutes, 42 seconds East, a distance of 46.15 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the northeast end of a circular right-of-way corner clip at the intersection of the said west line of John King Boulevard and the north right-of-way line of Justin Road (a variable width right-of-way) and the beginning of a non-tangent curve to the right;

THENCE, in a southwesterly direction, departing the said west line of John King Boulevard and along said corner clip and said curve to the right, having a central angle of 84 degrees, 24 minutes, 20 seconds, a radius of 29.50 feet, a chord bearing and distance of South 37 degrees, 35 minutes, 03 seconds West, 39.63 feet, an arc distance of 43.46 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said north line of Justin Road; said point being at the southwest end of said corner clip;

THENCE, departing the said corner clip and along the said north line of Justin Road, the following fourteen (14) calls:

South 79 degrees, 47 minutes, 13 seconds West, a distance of 186.63 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

South 89 degrees, 47 minutes, 13 seconds West, a distance of 50.50 feet to a 1/2-inch iron rod with "CSC 4252" cap found for corner;

South 00 degrees, 38 minutes, 16 seconds East, a distance of 8.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner;

South 79 degrees, 47 minutes, 13 seconds West, a distance of 10.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner at the beginning of a tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 04 degrees, 26 minutes, 56 seconds, a radius of 904.50 feet, a chord bearing and distance of South 77 degrees, 33 minutes, 45 seconds West, 70.22 feet, an arc distance of 70.23 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner;

South 14 degrees, 39 minutes, 43 seconds East, a distance of 12.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being the beginning of a non-tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 00 degrees, 33 minutes, 04 seconds, a radius of 892.50 feet, a chord bearing and distance of South 75 degrees, 03 minutes, 45 seconds West, 8.58 feet, an arc distance of 8.58 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 74 degrees, 47 minutes, 13 seconds West, a distance of 191.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 10 degrees, 34 minutes, 42 seconds, a radius of 807.50 feet, a chord bearing and distance of South 80 degrees, 04 minutes, 34 seconds West, 148.87 feet, an arc distance of 149.09 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 85 degrees, 21 minutes, 55 seconds West, a distance of 325.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 22 degrees, 51 minutes, 11 seconds, a radius of 807.50 feet, a chord bearing and distance of North 83 degrees, 12 minutes, 29 seconds West, 319.95 feet, an arc distance of 322.08 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

North 71 degrees, 46 minutes, 54 seconds West, a distance of 100.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the left;

In a westerly direction, along said curve to the left, having a central angle of 18 degrees, 36 minutes, 18 seconds, a radius of 892.50 feet, a chord bearing and distance of North 81 degrees, 05 minutes, 03 seconds West, 288.54 feet, an arc distance of 289.81 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

(LEGAL DESCRIPTION CONTINUED)

South 89 degrees, 36 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the southeast end of a right-of-way corner clip at the intersection of said north line of Justin Road with the said east line of Industrial Boulevard;

THENCE, North 45 degrees, 43 minutes, 30 seconds West, departing the said north line of Justin Road and along the said corner clip, a distance of 42.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said east line of Industrial Boulevard; said point being at the northwest end of said corner clip;

THENCE, North 01 degrees, 03 minutes, 48 seconds West, departing the said corner clip and along the said east line of Industrial Boulevard, a distance of 111.88 feet to the POINT OF BEGINNING;

CONTAINING, 817,294 square feet or 18.762 acres of land, more or less.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Kyle C. Harris, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. RELEASED 4/17/24.

Kyle C. Harris Date
Registered Professional Land Surveyor
No. 6266
kyle.harris@westwoodps.com



Planning and Zoning Commission

Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2024.

Mayor, City of Rockwall

City Secretary

City Engineer

GENERAL NOTES

- 1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
2. Bearing system for this survey is based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (2011) and correlated to the City of Rockwall Monument R016. The coordinates shown hereon are State Plane (Grid) Coordinates, no scale and no projection.
3. The property owner shall be responsible for maintenance, repair, and replacement of all drainage and detention easements.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as the LOT 5, BLOCK A, CHANNELL SUBDIVISION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the LOT 5, BLOCK A, CHANNELL SUBDIVISION have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the Subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

William H. Channell, President

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared William H. Channell, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires:

SHEET 3 OF 3

REPLAT
LOT 5, BLOCK A,
CHANNELL SUBDIVISION

BEING A REPLAT OF LOT 4, BLOCK A, CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20, THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99 AND THE DAVID HARR SURVEY, ABSTRACT NO. 102 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. _____

Westwood

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

Table with 5 columns: DRAWN BY (LAH), CHECKED BY (KCH), SCALE (NONE), DATE (APRIL 2024), JOB NUMBER (3273-20.063)

SURVEYOR/ENGINEER: WESTWOOD PROFESSIONAL SERVICES 7557 RAMBLER ROAD, SUITE 1400 DALLAS, TEXAS 75231 PH: 972-235-3031 CONTACT: KYLE C. HARRIS

OWNER: WILLCAR HOLDINGS LLC 26040 YNEZ ROAD TEMECULA, CALIFORNIA 92592 PH: 909-240-3460 CONTACT: ALTON FRAZIER



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 30, 2024
APPLICANT: Kyle Harris; *Westwood Professional Services*
CASE NUMBER: P2024-017; *Replat for Lot 5, Block A, Channell Subdivision*

SUMMARY

Consider a request by Kyle Harris of Westwood Professional Services on behalf of Edward Burke of Channell, Inc. for the approval of a Replat for Lot 5, Block A, Channell Subdivision being a 18.762-acre parcel of land identified as Lot 4, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 89 (PD-89) for Light Industrial (LI) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Replat for an 18.762-acre parcel of land (*i.e. Lot 4, Block A, Channell Subdivision*) for the purpose of reestablishing one (1) non-residential lot (*i.e. Lot 5, Block A, Channell Subdivision*) to modify fire lane and drainage easements on the subject property.
- Background. The subject property was annexed by the City Council on September 16, 1974 by *Ordinance No. 74-25 [i.e. Case No. A1974-005]*. Based on the May 7, 1993 historic zoning maps, between the time of annexation and May 7, 1993 the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District. On March 17, 2014 the City Council approved a final plat [*i.e. Case No. P2014-008*] establishing Lot 1, Block A and Lot 1, Block B, Channell Subdivision. On July 8, 2014, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2014-011*] for a 225,910 SF manufacturing and office building on the 18.762-acre subject property. As a part of the aforementioned site plan request, and on July 21, 2014, the City Council approved variances to the parking, building materials, light pole height requirements, and a special exception to allow tilt wall construction. On September 17, 2014, the City Council approved a replat [*i.e. Case No. P2014-038*] for the subject property. An amendment to the approved site plan [*i.e. Case No. SP2014-011*] was approved by the City Council on May 16, 2016. A subsequent site plan [*i.e. Case No.'s SP2019-021 [withdrawn] and SP2019-045*] -- which was approved on December 10, 2019 -- established screening for the outside storage areas on the north side of the existing building, realigned the western drive aisle, and laid out additional parking areas. An amended site plan [*i.e. Case No. SP2020-011*] was submitted and approved by the Planning and Zoning Commission on July 14, 2020. On January 4, 2021, the City Council approved a zoning change from a Light Industrial (LI) District to Planned Development District 89 (PD-89) [*i.e. Case No. Z2020-053*] for Light Industrial (LI) District land uses for the purpose of establishing a corporate campus. A final amended site plan [*i.e. Case No. SP2021-011*] was approved administratively by staff for the purpose of constructing a ~55,760 SF office/warehouse facility. On July 6, 2021, City Council approved a replat [*i.e. Case No. P2021-030*] on the subject property to establish the subject property as Lot 4, Block A, Channell Subdivision.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Replat for Lot 5, Block A, Channell Subdivision, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to the filing of this Replat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/25/2024

PROJECT NUMBER: P2024-017
PROJECT NAME: Replat Lot 4, Block A, Channel Subdivision
SITE ADDRESS/LOCATIONS: 1700 JUSTIN RD, ROCKWALL, 75087

CASE CAPTION: Consider a request by Kyle Harris of Westwood Professional Services on behalf of Edward Burke of Channell, Inc. for the approval of a Replat for Lot 5, Block A, Channell Subdivision being a 18.762-acre parcel of land identified as Lot 4, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 89 (PD-89) for Light Industrial (LI) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	04/25/2024	Approved w/ Comments

04/25/2024: P2024-017: Replat for Lot 5, Block A, Channell Subdivision

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 5, Block A, Channell Subdivision being a 18.762-acre parcel of land identified as Lot 4, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 89 (PD-89) for Light Industrial (LI) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2024-017) in the lower right-hand corner of all pages on future submittals.

M.4 Provide the correct format for the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.5 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.7 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Work Session: April 30, 2024
City Council Meeting: May 6, 2024

I.8 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	04/23/2024	Approved w/ Comments

- 04/23/2024: 1. Min 30'
- 2. This section is no longer fire lane.
- 3. Add note: The property owner is responsible for repair, replacement, and maintenance of all drainage easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	04/25/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/19/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/22/2024	Approved

No Comments

65' R.O.W.
POINT OF BEGINNING

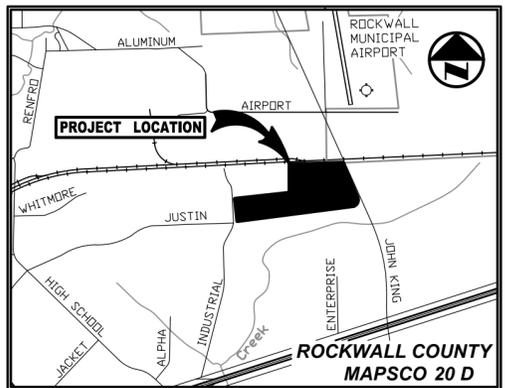
SEE DETAIL ②

SEE DETAIL ①

ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)
CONTINENTAL PET TECHNOLOGIES
(VOL. 552, PG. 127)

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
(INST. NO. 2023000006336)
(ABANDONED B.T.P.)

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
(INST. NO. 20150000014737)



VICINITY MAP
(NOT TO SCALE)

LEGEND

- IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND (C.M.)
- CSC 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND (C.M.)
- (C.M.) CONTROLLING MONUMENT
- IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND (B.T.P.) BY THIS PLAT
- CSC 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND (B.T.P.) BY THIS PLAT
- (C.M.) CONTROLLING MONUMENT (B.T.P.) BY THIS PLAT
- EASEMENT ABANDONED BY THIS PLAT
- EASEMENT BY THIS PLAT
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED EASEMENT LINE
- SETBACK LINE
- ABSTRACT LINE
- CENTERLINE

N 01°03'48" W 111.88'
LOT 2, BLOCK A
SPR PACKAGING ADDITION
(CAB. H, SLIDE 155)
ALVAPLAST US DEVELOPMENT, LLC
(VOL. 2018, PG. 11676)

N: 7,024,472.23
E: 2,600,192.82

JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

CITY OF ROCKWALL
(VOL. 507, PG. 181)

INDUSTRIAL BOULEVARD
(65-FOOT WIDE RIGHT-OF-WAY)

AMAZON.COM SERVICES LLC
(INST. NO. 20210000025041)

LOT 1, BLOCK B
CHANNELL SUBDIVISION
(CAB. I, SLIDE 337)
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
(VOL. 4168, PG. 317)

LOT 5, BLOCK A
18.762 ACRES
(817,294 SF)

LOT 4, BLOCK A
CHANNELL SUBDIVISION
(INST. NO. 20230000006336)
WILLCAR HOLDINGS LLC
(INST. NO. 20170000002016)

NATHAN BUTLER - ABSTRACT NO. 20
ARCHIBALD HANNA - ABSTRACT NO. 99

JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

Δ=22°51'11"
R=807.50'
L=322.08'
T=163.21'
CB=N 83°12'29" W
CD=319.95'

MATCH LINE (SEE SHEET 2)

1 DETAIL
NOT TO SCALE

This section is no longer fire lane.

Add note: The property owner is responsible for repair, replacement, and maintenance of all drainage easements

SHEET 1 OF 3
REPLAT

**LOT 5, BLOCK A,
CHANNELL SUBDIVISION**

BEING A REPLAT OF LOT 4, BLOCK A,
CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. _____

2 DETAIL
NOT TO SCALE

3 DETAIL
NOT TO SCALE

SURVEYOR/ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER:
WILLCAR HOLDINGS LLC
26040 YNEZ ROAD
TEMECULA, CALIFORNIA 92592
PH: 909-240-3460
CONTACT: ALTON FRAZIER

Westwood
Westwood Professional Services, Inc. westwoodps.com

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

DRAWN BY LAH	CHECKED BY KCH	SCALE 1"=60'	DATE APRIL 2024	JOB NUMBER 3273-20.063
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LAHERMANDEZ1 04/17/2024 - 9:22AM
C:\TEMP\ACGPUBLISH_8068\3273-20.063R.P.DWG

REPLAT-LOT 5, BLOCK A, CHANNELL SUBDIVISION



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE)¹</p> <p><input checked="" type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1, 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²</p> <p>NOTES:</p> <p>¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1700 Justin Road, Rockwall, Texas**

SUBDIVISION **Channell Subdivision** LOT **4** BLOCK **A**

GENERAL LOCATION **Northwest Corner of Justin Road and John King Boulevard**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-89** CURRENT USE **Office & Factory**

PROPOSED ZONING **PD-89** PROPOSED USE **Office & Factory**

ACREAGE **18.762** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Channell, Inc	<input checked="" type="checkbox"/> APPLICANT	Westwood Professional Services
CONTACT PERSON	Edward Burke	CONTACT PERSON	Kyle Harris
ADDRESS	1700 Justin Road	ADDRESS	7557 Rambler Road Suite 1400
CITY, STATE & ZIP	Rockwall, Texas 75087	CITY, STATE & ZIP	Dallas, Texas, 75231
PHONE	951-719-2600	PHONE	(972)235-3031
E-MAIL	eburke@channell.com	E-MAIL	kyle.harris@westwoodps.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Edward Burke [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: *REP*

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 675.24 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20 24. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____

OWNER'S SIGNATURE
REP

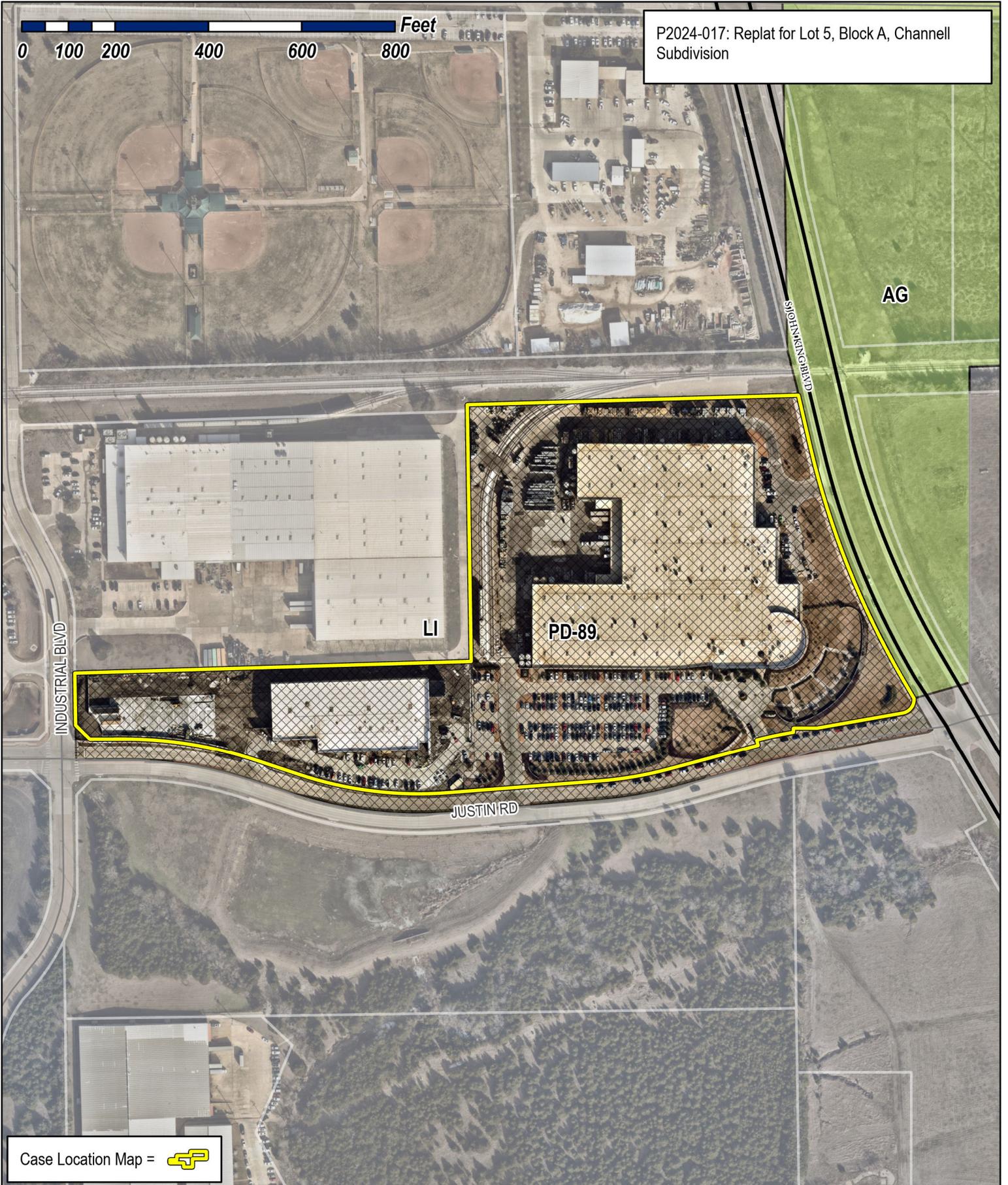
NOTARY PUBLIC IN AND FOR THE STATE OF CALIFORNIA



MY COMMISSION EXPIRES

0 100 200 400 600 800 Feet

P2024-017: Replat for Lot 5, Block A, Channell Subdivision



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of Riverside

On April 19, 2024 before me, Pamela L. Bishop, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Edward James Burke
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Pamela L. Bishop
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian of Conservator

Other: _____

Signer is Representing: _____

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian of Conservator

Other: _____

Signer is Representing: _____

65' R.O.W.
POINT OF BEGINNING

SEE DETAIL ②

SEE DETAIL ①

ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)

CONTINENTAL PET TECHNOLOGIES
(VOL. 552, PG. 127)

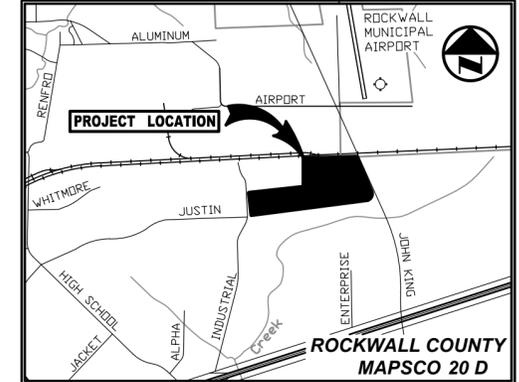
N 88°07'13" E 850.17'

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
(INST. NO. 2023000006336)
(ABANDONED B.T.P.)

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
(INST. NO. 20150000014737)



GRAPHIC SCALE IN FEET



VICINITY MAP
(NOT TO SCALE)

LEGEND

- IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND (C.M.)
- CSC 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND (C.M.) CONTROLLING MONUMENT
- (B.T.P.) BY THIS PLAT
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED EASEMENT LINE
- SETBACK LINE
- ABSTRACT LINE
- CENTERLINE
- EASEMENT BY THIS PLAT
- EASEMENT ABANDONED BY THIS PLAT

N 01°03'48" W 111.88'
LOT 2, BLOCK A
SPR PACKAGING ADDITION
(CAB. H, SLIDE 155)
ALVAPLAST US DEVELOPMENT, LLC
(VOL. 2018, PG. 11676)

N: 7,024,472.23
E: 2,600,192.82

JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

N 45°43'30" W 42.68'

S 89°36'48" W 70.14'

CITY OF ROCKWALL
(VOL. 507, PG. 181)

INDUSTRIAL BOULEVARD
(65-FOOT WIDE RIGHT-OF-WAY)

AMAZON.COM SERVICES LLC
(INST. NO. 20210000025041)

LOT 1, BLOCK B
CHANNELL SUBDIVISION
(CAB. I, SLIDE 337)
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
(VOL. 4168, PG. 317)

LOT 5, BLOCK A
18.762 ACRES
(817,294 SF)

LOT 4, BLOCK A
CHANNELL SUBDIVISION
(INST. NO. 20230000006336)
WILLCAR HOLDINGS LLC
(INST. NO. 20170000002016)

NATHAN BUTLER - ABSTRACT NO. 20
ARCHIBALD HANNA - ABSTRACT NO. 99

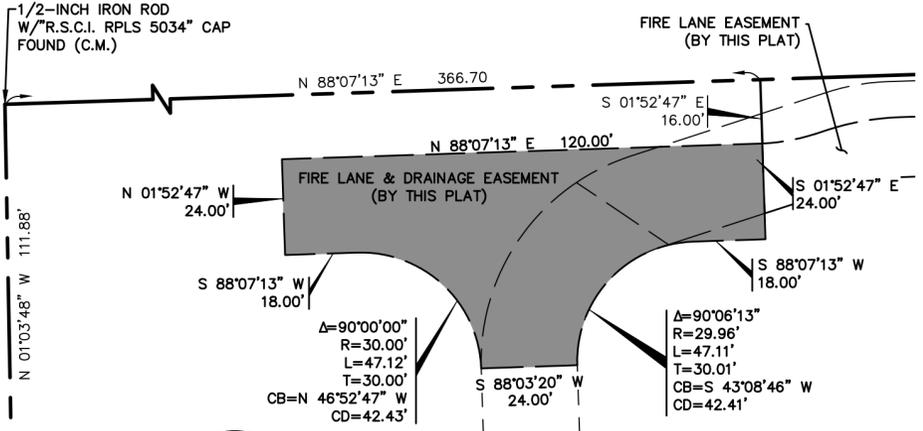
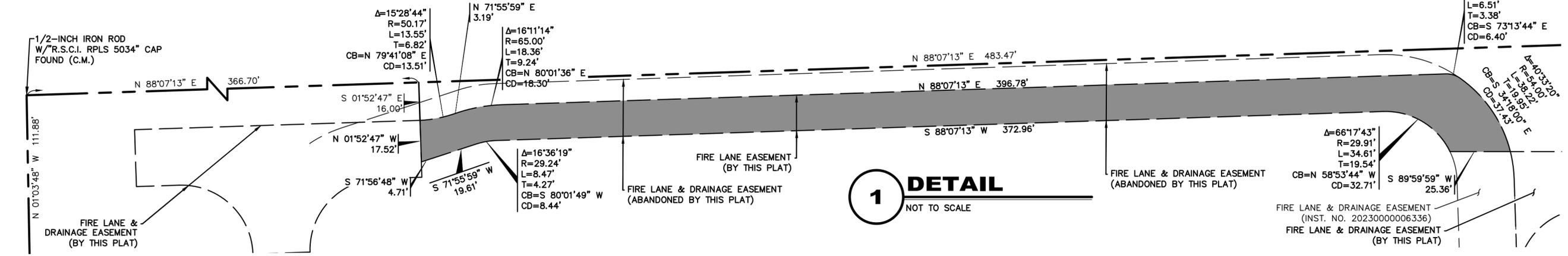
N 71°46'54" W 100.00'

JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

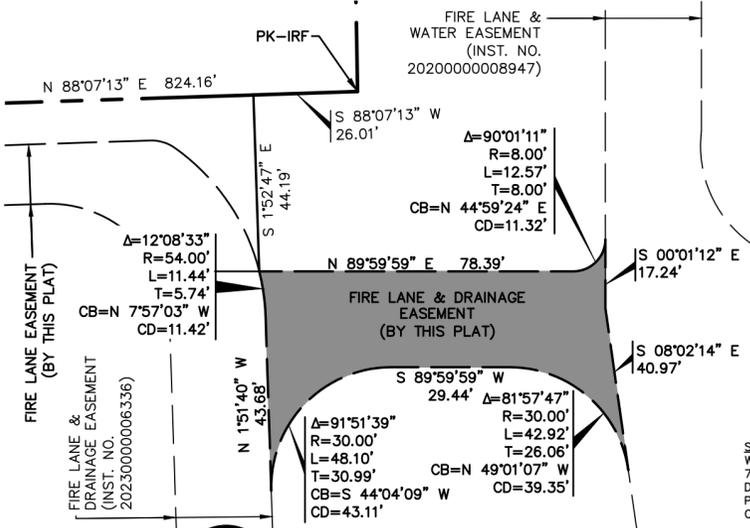
Δ=22°51'11"
R=807.50'
L=322.08'
T=163.21'

CB=N 83°12'29" W
CD=319.95'

1 DETAIL
NOT TO SCALE



2 DETAIL
NOT TO SCALE



3 DETAIL
NOT TO SCALE

SHEET 1 OF 3
REPLAT
**LOT 5, BLOCK A,
CHANNELL SUBDIVISION**
BEING A REPLAT OF LOT 4, BLOCK A,
CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. _____

SURVEYOR/ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER:
WILLCAR HOLDINGS LLC
26040 YNEZ ROAD
TEMECULA, CALIFORNIA 92592
PH: 909-240-3460
CONTACT: ALTON FRAZIER

Westwood
Westwood Professional Services, Inc. westwoodps.com

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

DRAWN BY LAH	CHECKED BY KCH	SCALE 1"=60'	DATE APRIL 2024	JOB NUMBER 3273-20.063
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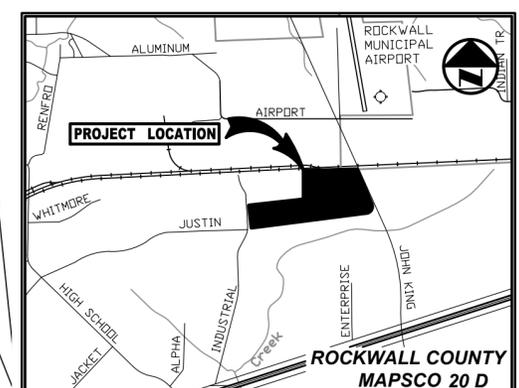
LAHERMANDEZ1 04/17/2024 - 9:22AM
C:\TEMP\ACGPUBLISH_8068\3273-20.063RP.DWG

REPLAT-LOT 5, BLOCK A, CHANNELL SUBDIVISION

U.P./DALLAS GARLAND N.E. RAILROAD

(A 100-FOOT RIGHT-OF-WAY)
 N 88°10'00" E 693.99'

N 88°16'13" E
 116.20'



VICINITY MAP
 (NOT TO SCALE)

LEGEND

- IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND
- CSC 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND
- (C.M.) CONTROLLING MONUMENT
- (B.T.P.) BY THIS PLAT
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED EASEMENT LINE
- SETBACK LINE
- ABSTRACT LINE
- CENTERLINE
- EASEMENT ABANDONED BY THIS PLAT
- EASEMENT BY THIS PLAT

ROCKWALL INDUSTRIAL EAST
 (CAB. C, SLIDE 72)
 CONTINENTAL PET TECHNOLOGIES
 (VOL. 552, PG. 127)

N 01°03'38" W 550.29'

LOT 5, BLOCK A
 18.762 ACRES
 (817,294 SF)

LOT 4, BLOCK A
 CHANNELL SUBDIVISION
 (INST. NO. 2023000006336)

WILLCAR HOLDINGS LLC
 (INST. NO. 20170000002016)

JOHN KING BOULEVARD
 (A 120-FOOT WIDE RIGHT-OF-WAY)

Δ=17°06'33"
 R=1,810.00'
 L=540.49'
 T=272.27'
 CB=S 21°54'26" E
 CD=538.48'

Δ=84°24'20"
 R=29.50'
 L=43.46'
 T=26.75'
 CB=S 37°35'03" W
 CD=39.63'

S 30°27'42" E
 46.15'

N: 7,024,535.78
 E: 2,601,989.93

S 14°39'43" E
 12.00'

S 00°38'16" E
 8.89'

S 79°47'13" W
 186.63'

Δ=00°33'04"
 R=892.50'
 L=8.58'
 T=4.29'

Δ=04°26'56"
 R=904.50'
 L=70.23'
 T=35.13'

Δ=10°34'42"
 R=807.50'
 L=149.09'
 T=74.76'

LOT 1, BLOCK B
 CHANNELL SUBDIVISION
 (CAB. I, SLIDE 337)
 ROCKWALL ECONOMIC
 DEVELOPMENT CORPORATION
 (VOL. 4168, PG. 317)

N 88°07'13" E
 850.17'

MATCH LINE (SEE SHEET 1)

SEE DETAIL 1

SEE DETAIL 3

JUSTIN ROAD
 (VARIABLE WIDTH RIGHT-OF-WAY)

Δ=22°51'11"
 R=807.50'
 L=322.08'
 T=163.21'

CB=N 83°12'29" W
 CD=319.95'

LAHERNANDEZI 04/17/2024 - 9:22AM
 C:\TEMP\AC\PUBLISH_8068\3273-20.063RPR.DWG

REPLAT-LOT 5, BLOCK A, CHANNELL SUBDIVISION

SHEET 2 OF 3

REPLAT
LOT 5, BLOCK A,
CHANNELL SUBDIVISION

BEING A REPLAT OF LOT 4, BLOCK A,
 CHANNELL SUBDIVISION
 1 LOT, BEING 18.762 ACRES AND BEING OUT OF
 THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
 THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
 AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
 AN ADDITION TO THE CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 CASE NO. _____

Westwood		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T:972.235.3031	
Westwood Professional Services, Inc.		TBPELS ENGINEERING FIRM NO. 11756 TBPELS SURVEYING FIRM NO. 10074301	
DRAWN BY LAH	CHECKED BY KCH	SCALE 1"=60'	DATE APRIL 2024
		JOB NUMBER 3273-20.063	

SURVEYOR/ENGINEER:
 WESTWOOD PROFESSIONAL SERVICES
 7557 RAMBLER ROAD, SUITE 1400
 DALLAS, TEXAS 75231
 PH: 972-235-3031
 CONTACT: KYLE C. HARRIS

OWNER:
 WILLCAR HOLDINGS LLC
 26040 YNEZ ROAD
 TEMECULA, CALIFORNIA 92592
 PH: 909-240-3460
 CONTACT: ALTON FRAZIER

TEMUNOVIC
 PARTNERSHIP, LTD.
 (VOL. 7038, PG. 314)

CITY OF ROCKWALL
 20' SANITARY SEWER EASEMENT
 (VOL. 3182, PG. 118)

CITY OF ROCKWALL
 20' SANITARY SEWER EASEMENT
 (VOL. 3182, PG. 118)

N 27°11'22" E
 20' SETBACK TO MONUMENT ROD
 1,583.02'

NATHAN BUTLER - ABSTRACT NO. 20
 ARCHIBALD HANNA - ABSTRACT NO. 99

FIRE LANE & WATER EASEMENT
 (INST. NO. 2020000008947)

WATER EASEMENT
 (INST. NO. 20160000011900)

FIRE LANE & WATER EASEMENT
 (INST. NO. 20160000011900)

ONCOR ELECTRIC DELIVERY
 COMPANY, LLC EASEMENT
 (20150000014737)

FIRE LANE EASEMENT
 (INST. NO. 20160000011900)

WATER EASEMENT
 (INST. NO. 20160000011900)

WATER EASEMENT
 (INST. NO. 20160000011900)

ONCOR ELECTRIC DELIVERY
 COMPANY, LLC EASEMENT
 (20150000014737)

8.8' X 15.0'
 WATER EASEMENT
 (INST. NO. 20160000011900)

DRAINAGE EASEMENT
 (INST. NO. 20160000011900)

FIRE LANE & WATER EASEMENT
 (INST. NO. 2020000008947)

WATER EASEMENT
 (INST. NO. 20160000011900)

FIRE LANE EASEMENT
 (INST. NO. 20160000011900)

ELECTRICAL EASEMENT
 (INST. NO. 2023000006336)

FIRE LANE EASEMENT
 (BY THIS PLAT)

WATER EASEMENT
 (INST. NO. 20160000011900)

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
 (INST. NO. 20150000014737)

FIRE LANE & WATER EASEMENT
 (ABANDONED BY INST. NO. 2020000008947)

FIRE LANE & WATER EASEMENT
 (INST. NO. 2020000008947)

DRAINAGE EASEMENT
 (CAB. I, SLIDE 337)

S 85°21'55" W
 325.98'

WATER EASEMENT
 (INST. NO. 20160000011900)

DRAINAGE EASEMENT
 (CAB. I, SLIDE 337)

IRF

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Willcar Holdings LLC, is the owner of an 18.762 acre tract of land in the City of Rockwall, Rockwall County, Texas; said tract of land being described as follows:

LEGAL DESCRIPTION

DESCRIPTION, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Archibald Hanna Survey, Abstract No. 99, and the David Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas; said tract being all of Lot 4, Block A, Channell Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Instrument No. 20230000006336 of the Official Public Records of Rockwall County, Texas; said tract also being all of that certain tract of land described in Special Warranty Deed to Willcar Holdings LLC recorded in Instrument No. 20170000002016 of the said Official Public Records; said 18.762 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (a 65-foot wide right-of-way); said point being the westernmost northwest corner of said Lot 3 and the southwest corner of Rockwall Industrial East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 72 of said Plat Records;

THENCE, North 88 degrees, 07 minutes, 13 seconds East, departing the said east line of Industrial Boulevard and along the south line of said Rockwall Industrial East, a distance of 850.17 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner; said point being the southeast corner of said Rockwall Industrial East;

THENCE, North 01 degrees, 03 minutes, 38 seconds West, along the east line of said Rockwall Industrial East, a distance of 550.29 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner in the south right-of-way line of the UP/DALLAS GARLAND N.E. RAILROAD (a 100-foot wide right-of-way); said point being the northeast corner of said Rockwall Industrial East;

THENCE, along the said south line of the UP/DALLAS GARLAND N.E. RAILROAD, the following two (2) calls:

North 88 degrees, 10 minutes, 00 seconds East, a distance of 693.99 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

North 88 degrees, 16 minutes, 13 seconds East, a distance of 16.20 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the west right-of-way line of John King Boulevard (a 120-foot wide right-of-way);

THENCE, departing the said south line of the UP/DALLAS GARLAND N.E. RAILROAD and along the said west line of John King Boulevard, the following three (3) calls:

South 13 degrees, 13 minutes, 35 seconds East, a distance of 112.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a non-tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 17 degrees, 06 minutes, 33 seconds, a radius of 1,810.00 feet, a chord bearing and distance of South 21 degrees, 54 minutes, 26 seconds East, 538.48 feet, an arc distance of 540.49 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 30 degrees, 27 minutes, 42 seconds East, a distance of 46.15 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the northeast end of a circular right-of-way corner clip at the intersection of the said west line of John King Boulevard and the north right-of-way line of Justin Road (a variable width right-of-way) and the beginning of a non-tangent curve to the right;

THENCE, in a southwesterly direction, departing the said west line of John King Boulevard and along said corner clip and said curve to the right, having a central angle of 84 degrees, 24 minutes, 20 seconds, a radius of 29.50 feet, a chord bearing and distance of South 37 degrees, 35 minutes, 03 seconds West, 39.63 feet, an arc distance of 43.46 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said north line of Justin Road; said point being at the southwest end of said corner clip;

THENCE, departing the said corner clip and along the said north line of Justin Road, the following fourteen (14) calls:

South 79 degrees, 47 minutes, 13 seconds West, a distance of 186.63 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

South 89 degrees, 47 minutes, 13 seconds West, a distance of 50.50 feet to a 1/2-inch iron rod with "CSC 4252" cap found for corner;

South 00 degrees, 38 minutes, 16 seconds East, a distance of 8.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner;

South 79 degrees, 47 minutes, 13 seconds West, a distance of 10.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner at the beginning of a tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 04 degrees, 26 minutes, 56 seconds, a radius of 904.50 feet, a chord bearing and distance of South 77 degrees, 33 minutes, 45 seconds West, 70.22 feet, an arc distance of 70.23 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner;

South 14 degrees, 39 minutes, 43 seconds East, a distance of 12.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being the beginning of a non-tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 00 degrees, 33 minutes, 04 seconds, a radius of 892.50 feet, a chord bearing and distance of South 75 degrees, 03 minutes, 45 seconds West, 8.58 feet, an arc distance of 8.58 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 74 degrees, 47 minutes, 13 seconds West, a distance of 191.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 10 degrees, 34 minutes, 42 seconds, a radius of 807.50 feet, a chord bearing and distance of South 80 degrees, 04 minutes, 34 seconds West, 148.87 feet, an arc distance of 149.09 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 85 degrees, 21 minutes, 55 seconds West, a distance of 325.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 22 degrees, 51 minutes, 11 seconds, a radius of 807.50 feet, a chord bearing and distance of North 83 degrees, 12 minutes, 29 seconds West, 319.95 feet, an arc distance of 322.08 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

North 71 degrees, 46 minutes, 54 seconds West, a distance of 100.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the left;

In a westerly direction, along said curve to the left, having a central angle of 18 degrees, 36 minutes, 18 seconds, a radius of 892.50 feet, a chord bearing and distance of North 81 degrees, 05 minutes, 03 seconds West, 288.54 feet, an arc distance of 289.81 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

(LEGAL DESCRIPTION CONTINUED)

South 89 degrees, 36 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the southeast end of a right-of-way corner clip at the intersection of said north line of Justin Road with the said east line of Industrial Boulevard;

THENCE, North 45 degrees, 43 minutes, 30 seconds West, departing the said north line of Justin Road and along the said corner clip, a distance of 42.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said east line of Industrial Boulevard; said point being at the northwest end of said corner clip;

THENCE, North 01 degrees, 03 minutes, 48 seconds West, departing the said corner clip and along the said east line of Industrial Boulevard, a distance of 111.88 feet to the POINT OF BEGINNING;

CONTAINING, 817,294 square feet or 18.762 acres of land, more or less.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Kyle C. Harris, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. RELEASED 4/17/24.

Kyle C. Harris Date
Registered Professional Land Surveyor
No. 6266
kyle.harris@westwoodps.com



Planning and Zoning Commission

Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2024.

Mayor, City of Rockwall

City Secretary

City Engineer

GENERAL NOTES

- 1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
2. Bearing system for this survey is based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (2011) and correlated to the City of Rockwall Monument R016. The coordinates shown hereon are State Plane (Grid) Coordinates, no scale and no projection.
3. The property owner shall be responsible for maintenance, repair, and replacement of all drainage and detention easements.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as the LOT 5, BLOCK A, CHANNELL SUBDIVISION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the LOT 5, BLOCK A, CHANNELL SUBDIVISION have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the Subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

William H. Channell, President

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared William H. Channell, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires:

SHEET 3 OF 3

REPLAT
LOT 5, BLOCK A,
CHANNELL SUBDIVISION

BEING A REPLAT OF LOT 4, BLOCK A, CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20, THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99 AND THE DAVID HARR SURVEY, ABSTRACT NO. 102 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. _____

Westwood

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

Table with 5 columns: DRAWN BY (LAH), CHECKED BY (KCH), SCALE (NONE), DATE (APRIL 2024), JOB NUMBER (3273-20.063)

SURVEYOR/ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER:
WILLCAR HOLDINGS LLC
26040 YNEZ ROAD
TEMECULA, CALIFORNIA 92592
PH: 909-240-3460
CONTACT: ALTON FRAZIER



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: May 6, 2024
APPLICANT: Kyle Harris; *Westwood Professional Services*
CASE NUMBER: P2024-017; *Replat for Lot 5, Block A, Channell Subdivision*

SUMMARY

Consider a request by Kyle Harris of Westwood Professional Services on behalf of Edward Burke of Channell, Inc. for the approval of a Replat for Lot 5, Block A, Channell Subdivision being a 18.762-acre parcel of land identified as Lot 4, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 89 (PD-89) for Light Industrial (LI) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Replat for an 18.762-acre parcel of land (*i.e. Lot 4, Block A, Channell Subdivision*) for the purpose of reestablishing one (1) non-residential lot (*i.e. Lot 5, Block A, Channell Subdivision*) to modify fire lane and drainage easements on the subject property.
- Background. The subject property was annexed by the City Council on September 16, 1974 by *Ordinance No. 74-25 [i.e. Case No. A1974-005]*. Based on the May 7, 1993 historic zoning maps, between the time of annexation and May 7, 1993 the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District. On March 17, 2014 the City Council approved a final plat [*i.e. Case No. P2014-008*] establishing Lot 1, Block A and Lot 1, Block B, Channell Subdivision. On July 8, 2014, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2014-011*] for a 225,910 SF manufacturing and office building on the 18.762-acre subject property. As a part of the aforementioned site plan request, and on July 21, 2014, the City Council approved variances to the parking, building materials, light pole height requirements, and a special exception to allow tilt wall construction. On September 17, 2014, the City Council approved a replat [*i.e. Case No. P2014-038*] for the subject property. An amendment to the approved site plan [*i.e. Case No. SP2014-011*] was approved by the City Council on May 16, 2016. A subsequent site plan [*i.e. Case No.'s SP2019-021 [withdrawn] and SP2019-045*] -- which was approved on December 10, 2019 -- established screening for the outside storage areas on the north side of the existing building, realigned the western drive aisle, and laid out additional parking areas. An amended site plan [*i.e. Case No. SP2020-011*] was submitted and approved by the Planning and Zoning Commission on July 14, 2020. On January 4, 2021, the City Council approved a zoning change from a Light Industrial (LI) District to Planned Development District 89 (PD-89) [*i.e. Case No. Z2020-053*] for Light Industrial (LI) District land uses for the purpose of establishing a corporate campus. A final amended site plan [*i.e. Case No. SP2021-011*] was approved administratively by staff for the purpose of constructing a ~55,760 SF office/warehouse facility. On July 6, 2021, City Council approved a replat [*i.e. Case No. P2021-030*] on the subject property to establish the subject property as Lot 4, Block A, Channell Subdivision.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- conforming to the requirements for plats as stipulated by the *Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If City Council chooses to approve of a Replat for Lot 5, Block A, Channell Subdivision, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to the filing of this Replat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 30, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Replat by a vote of 5-0, with Commissioners Llewellyn and Conway absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input checked="" type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²</p> <p>NOTES:</p> <p>¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1700 Justin Road, Rockwall, Texas**

SUBDIVISION **Channell Subdivision** LOT **4** BLOCK **A**

GENERAL LOCATION **Northwest Corner of Justin Road and John King Boulevard**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-89** CURRENT USE **Office & Factory**

PROPOSED ZONING **PD-89** PROPOSED USE **Office & Factory**

ACREAGE **18.762** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER Channell, Inc	<input checked="" type="checkbox"/> APPLICANT Westwood Professional Services
CONTACT PERSON Edward Burke	CONTACT PERSON Kyle Harris
ADDRESS 1700 Justin Road	ADDRESS 7557 Rambler Road
	Suite 1400
CITY, STATE & ZIP Rockwall, Texas 75087	CITY, STATE & ZIP Dallas, Texas, 75231
PHONE 951-719-2600	PHONE (972)235-3031
E-MAIL eburke@channell.com	E-MAIL kyle.harris@westwoodps.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Edward Burke [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: *REP*

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 675.24 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____

OWNER'S SIGNATURE

REP Edward Burke

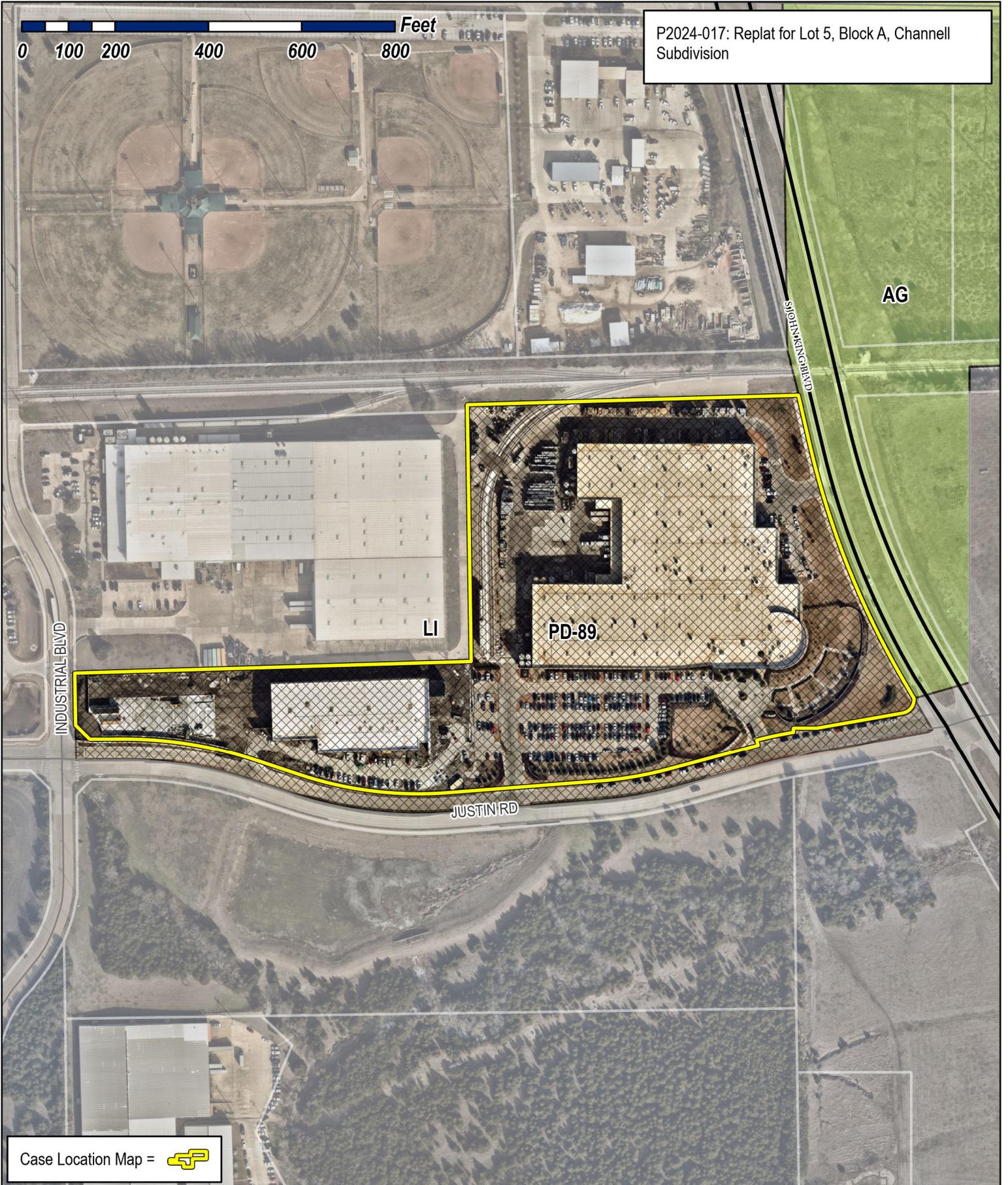
NOTARY PUBLIC IN AND FOR THE STATE OF CALIFORNIA



MY COMMISSION EXPIRES

0 100 200 400 600 800 Feet

P2024-017: Replat for Lot 5, Block A, Channell Subdivision



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of Riverside

On April 19, 2024 before me, Pamela L. Bishop, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Edward James Burke
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Pamela L. Bishop
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian of Conservator

Other: _____

Signer is Representing: _____

Signer's Name: _____

Corporate Officer – Title(s): _____

Partner – Limited General

Individual Attorney in Fact

Trustee Guardian of Conservator

Other: _____

Signer is Representing: _____

65' R.O.W.
POINT OF BEGINNING

SEE DETAIL ②

SEE DETAIL ①

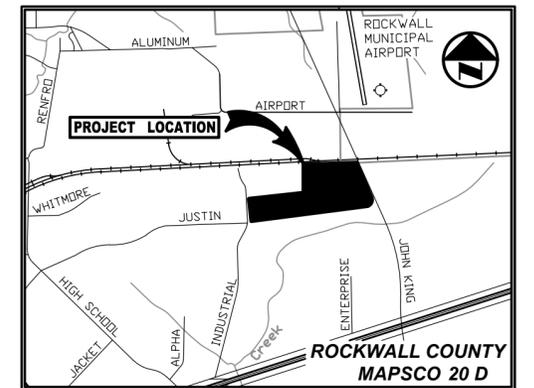
ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)

CONTINENTAL PET TECHNOLOGIES
(VOL. 552, PG. 127)

N 88°07'13" E 850.17'

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
(INST. NO. 2023000006336)
(ABANDONED B.T.P.)

ONCOR ELECTRIC DELIVERY COMPANY, LLC EASEMENT
(INST. NO. 20150000014737)



VICINITY MAP
(NOT TO SCALE)

MATCH LINE (SEE SHEET 2)

N 01°03'48" W 111.88'
LOT 2, BLOCK A
SPR PACKAGING ADDITION
(CAB. H, SLIDE 155)
ALVAPLAST US DEVELOPMENT, LLC
(VOL. 2018, PG. 11676)

N: 7,024,472.23
E: 2,600,192.82

JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

N 45°43'30" W 42.68'

S 89°36'48" W 70.14'

CITY OF ROCKWALL
(VOL. 507, PG. 181)

INDUSTRIAL BOULEVARD
(65-FOOT WIDE RIGHT-OF-WAY)

AMAZON.COM SERVICES LLC
(INST. NO. 20210000025041)

LOT 1, BLOCK B
CHANNELL SUBDIVISION
(CAB. I, SLIDE 337)
ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
(VOL. 4168, PG. 317)

85' R.O.W.

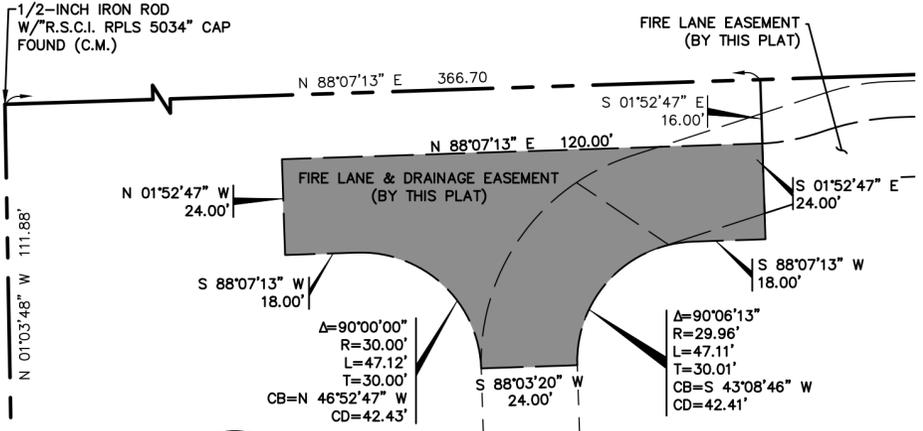
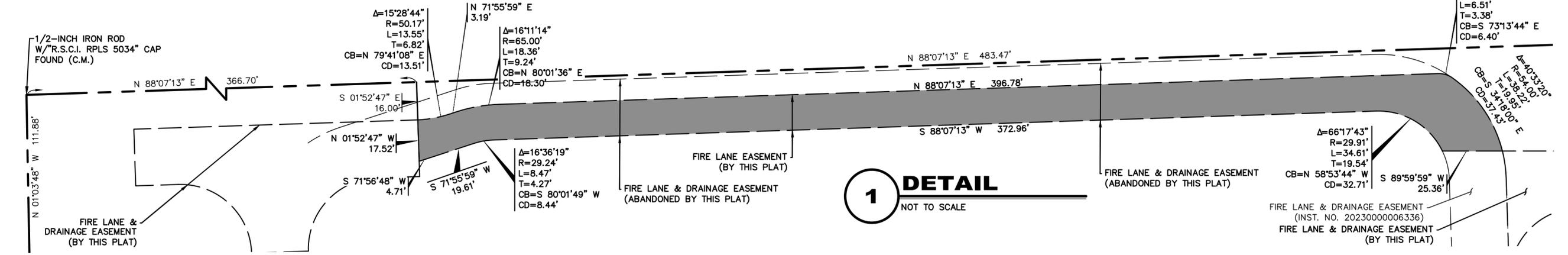
JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

Δ=22°51'11"
R=807.50'
L=322.08'
T=163.21'
CB=N 83°12'29" W
CD=319.95'

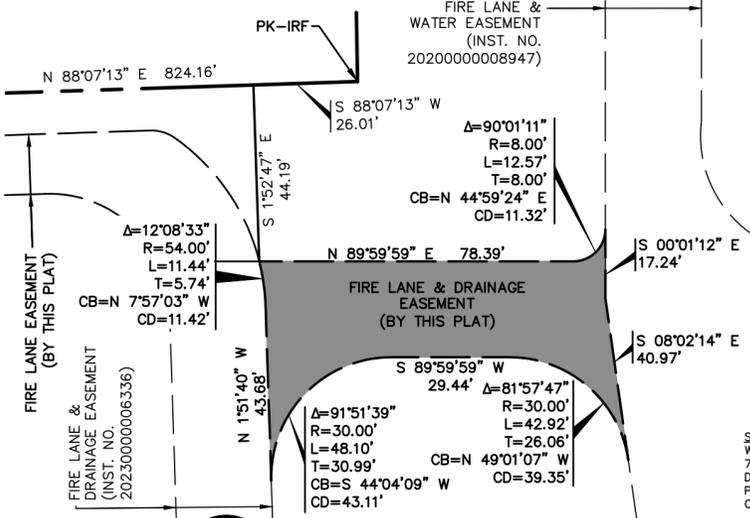
LEGEND

IRF	1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND	(B.T.P.) BY THIS PLAT
CSC	1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND	PROPERTY LINE
(C.M.)	CONTROLLING MONUMENT	EASEMENT LINE
		PROPOSED EASEMENT LINE
		SETBACK LINE
		ABSTRACT LINE
		CENTERLINE
		EASEMENT BY THIS PLAT

1 DETAIL
NOT TO SCALE



2 DETAIL
NOT TO SCALE



3 DETAIL
NOT TO SCALE

SHEET 1 OF 3
REPLAT
**LOT 5, BLOCK A,
CHANNELL SUBDIVISION**
BEING A REPLAT OF LOT 4, BLOCK A,
CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. _____

SURVEYOR/ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER:
WILLCAR HOLDINGS LLC
26040 YNEZ ROAD
TEMECULA, CALIFORNIA 92592
PH: 909-240-3460
CONTACT: ALTON FRAZIER

Westwood		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T: 972.235.3031	
Westwood Professional Services, Inc.		TBPELS ENGINEERING FIRM NO. 11756 TBPELS SURVEYING FIRM NO. 10074301	
DRAWN BY LAH	CHECKED BY KCH	SCALE 1"=60'	DATE APRIL 2024
		JOB NUMBER 3273-20.063	

LAHERMANDEZ1 04/17/2024 - 9:22AM
C:\TEMP\AC\PUBLISH_8068\3273-20.063RP.DWG

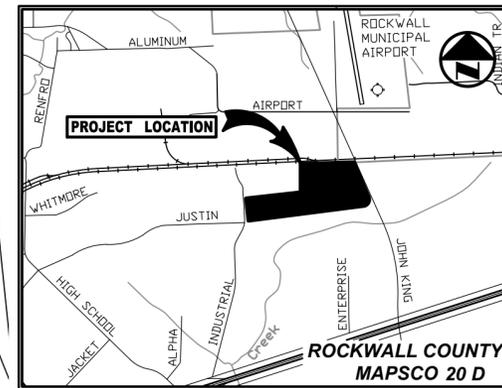
REPLAT-LOT 5, BLOCK A, CHANNELL SUBDIVISION

U.P./DALLAS GARLAND N.E. RAILROAD

(A 100-FOOT RIGHT-OF-WAY)

N 88°10'00" E 693.99'

N 88°16'13" E 116.20'



VICINITY MAP
(NOT TO SCALE)

LEGEND

- IRF 1/2-INCH IRON ROD W/"WIER ASSOC INC" CAP FOUND
- CSC 1/2-INCH IRON ROD W/"CSC 4252" CAP FOUND
- (C.M.) CONTROLLING MONUMENT
- (B.T.P.) BY THIS PLAT
- PROPERTY LINE
- EASEMENT LINE
- PROPOSED EASEMENT LINE
- SETBACK LINE
- ABSTRACT LINE
- CENTERLINE
- EASEMENT ABANDONED BY THIS PLAT
- EASEMENT BY THIS PLAT

ROCKWALL INDUSTRIAL EAST
(CAB. C, SLIDE 72)
CONTINENTAL PET TECHNOLOGIES
(VOL. 552, PG. 127)

N 01°03'38" W 550.29'

LOT 5, BLOCK A
18.762 ACRES
(817,294 SF)

LOT 4, BLOCK A
CHANNELL SUBDIVISION
(INST. NO. 2023000006336)

WILLCAR HOLDINGS LLC
(INST. NO. 20170000002016)

JOHN KING BOULEVARD
(A 120-FOOT WIDE RIGHT-OF-WAY)

PART OF
CITY OF ROCKWALL
(VOL. 5418, PG 54)

$\Delta=17^{\circ}06'33''$
 $R=1,810.00'$
 $L=540.49'$
 $T=272.27'$
 $CB=S 21^{\circ}54'26'' E$
 $CD=538.48'$

$\Delta=84^{\circ}24'20''$
 $R=29.50'$
 $L=43.46'$
 $T=26.75'$
 $CB=S 37^{\circ}35'03'' W$
 $CD=39.63'$

$S 30^{\circ}27'42'' E$
 $46.15'$
 $N: 7,024,535.78$
 $E: 2,601,989.93$

$S 14^{\circ}39'43'' E$
 $12.00'$

$S 00^{\circ}38'16'' E$
 $8.89'$

$S 79^{\circ}47'13'' W$
 $186.63'$

$\Delta=00^{\circ}33'04''$
 $R=892.50'$
 $L=8.58'$
 $T=4.29'$
 $CB=S 75^{\circ}03'45'' W$
 $CD=8.58'$

$\Delta=04^{\circ}26'56''$
 $R=904.50'$
 $L=70.23'$
 $T=35.13'$
 $CB=S 77^{\circ}33'45'' W$
 $CD=70.22'$

$\Delta=10^{\circ}34'42''$
 $R=807.50'$
 $L=149.09'$
 $T=74.76'$
 $CB=S 80^{\circ}04'34'' W$
 $CD=148.87'$

$\Delta=22^{\circ}51'11''$
 $R=807.50'$
 $L=322.08'$
 $T=163.21'$
 $CB=N 83^{\circ}12'29'' W$
 $CD=319.95'$

JUSTIN ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

LOT 1, BLOCK B
CHANNELL SUBDIVISION
(CAB. I, SLIDE 337)
ROCKWALL ECONOMIC
DEVELOPMENT CORPORATION
(VOL. 4168, PG. 317)

TEMUNOVIC
PARTNERSHIP, LTD.
(VOL. 7038, PG. 314)

SURVEYOR/ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER:
WILLCAR HOLDINGS LLC
26040 YNEZ ROAD
TEMECULA, CALIFORNIA 92592
PH: 909-240-3460
CONTACT: ALTON FRAZIER

Westwood

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

Westwood Professional Services, Inc.	westwoodps.com	SCALE	DATE	JOB NUMBER
DRAWN BY	CHECKED BY	1"=60'	APRIL 2024	3273-20.063
LAH	KCH			

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REPLAT-LOT 5, BLOCK A, CHANNELL SUBDIVISION

SHEET 2 OF 3

REPLAT
LOT 5, BLOCK A,
CHANNELL SUBDIVISION

BEING A REPLAT OF LOT 4, BLOCK A,
CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
CASE NO. _____

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Willcar Holdings LLC, is the owner of an 18.762 acre tract of land in the City of Rockwall, Rockwall County, Texas; said tract of land being described as follows:

LEGAL DESCRIPTION

DESCRIPTION, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Archibald Hanna Survey, Abstract No. 99, and the David Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas; said tract being all of Lot 4, Block A, Channell Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Instrument No. 20230000006336 of the Official Public Records of Rockwall County, Texas; said tract also being all of that certain tract of land described in Special Warranty Deed to Willcar Holdings LLC recorded in Instrument No. 20170000002016 of the said Official Public Records; said 18.762 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (a 65-foot wide right-of-way); said point being the westernmost northwest corner of said Lot 3 and the southwest corner of Rockwall Industrial East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 72 of said Plat Records;

THENCE, North 88 degrees, 07 minutes, 13 seconds East, departing the said east line of Industrial Boulevard and along the south line of said Rockwall Industrial East, a distance of 850.17 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner; said point being the southeast corner of said Rockwall Industrial East;

THENCE, North 01 degrees, 03 minutes, 38 seconds West, along the east line of said Rockwall Industrial East, a distance of 550.29 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner in the south right-of-way line of the UP/DALLAS GARLAND N.E. RAILROAD (a 100-foot wide right-of-way); said point being the northeast corner of said Rockwall Industrial East;

THENCE, along the said south line of the UP/DALLAS GARLAND N.E. RAILROAD, the following two (2) calls:

North 88 degrees, 10 minutes, 00 seconds East, a distance of 693.99 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

North 88 degrees, 16 minutes, 13 seconds East, a distance of 16.20 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the west right-of-way line of John King Boulevard (a 120-foot wide right-of-way);

THENCE, departing the said south line of the UP/DALLAS GARLAND N.E. RAILROAD and along the said west line of John King Boulevard, the following three (3) calls:

South 13 degrees, 13 minutes, 35 seconds East, a distance of 112.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a non-tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 17 degrees, 06 minutes, 33 seconds, a radius of 1,810.00 feet, a chord bearing and distance of South 21 degrees, 54 minutes, 26 seconds East, 538.48 feet, an arc distance of 540.49 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 30 degrees, 27 minutes, 42 seconds East, a distance of 46.15 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the northeast end of a circular right-of-way corner clip at the intersection of the said west line of John King Boulevard and the north right-of-way line of Justin Road (a variable width right-of-way) and the beginning of a non-tangent curve to the right;

THENCE, in a southwesterly direction, departing the said west line of John King Boulevard and along said corner clip and said curve to the right, having a central angle of 84 degrees, 24 minutes, 20 seconds, a radius of 29.50 feet, a chord bearing and distance of South 37 degrees, 35 minutes, 03 seconds West, 39.63 feet, an arc distance of 43.46 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said north line of Justin Road; said point being at the southwest end of said corner clip;

THENCE, departing the said corner clip and along the said north line of Justin Road, the following fourteen (14) calls:

South 79 degrees, 47 minutes, 13 seconds West, a distance of 186.63 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

South 89 degrees, 47 minutes, 13 seconds West, a distance of 50.50 feet to a 1/2-inch iron rod with "CSC 4252" cap found for corner;

South 00 degrees, 38 minutes, 16 seconds East, a distance of 8.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner;

South 79 degrees, 47 minutes, 13 seconds West, a distance of 10.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap found for corner at the beginning of a tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 04 degrees, 26 minutes, 56 seconds, a radius of 904.50 feet, a chord bearing and distance of South 77 degrees, 33 minutes, 45 seconds West, 70.22 feet, an arc distance of 70.23 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner;

South 14 degrees, 39 minutes, 43 seconds East, a distance of 12.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being the beginning of a non-tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 00 degrees, 33 minutes, 04 seconds, a radius of 892.50 feet, a chord bearing and distance of South 75 degrees, 03 minutes, 45 seconds West, 8.58 feet, an arc distance of 8.58 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 74 degrees, 47 minutes, 13 seconds West, a distance of 191.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 10 degrees, 34 minutes, 42 seconds, a radius of 807.50 feet, a chord bearing and distance of South 80 degrees, 04 minutes, 34 seconds West, 148.87 feet, an arc distance of 149.09 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 85 degrees, 21 minutes, 55 seconds West, a distance of 325.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 22 degrees, 51 minutes, 11 seconds, a radius of 807.50 feet, a chord bearing and distance of North 83 degrees, 12 minutes, 29 seconds West, 319.95 feet, an arc distance of 322.08 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

North 71 degrees, 46 minutes, 54 seconds West, a distance of 100.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the left;

In a westerly direction, along said curve to the left, having a central angle of 18 degrees, 36 minutes, 18 seconds, a radius of 892.50 feet, a chord bearing and distance of North 81 degrees, 05 minutes, 03 seconds West, 288.54 feet, an arc distance of 289.81 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

(LEGAL DESCRIPTION CONTINUED)

South 89 degrees, 36 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the southeast end of a right-of-way corner clip at the intersection of said north line of Justin Road with the said east line of Industrial Boulevard;

THENCE, North 45 degrees, 43 minutes, 30 seconds West, departing the said north line of Justin Road and along the said corner clip, a distance of 42.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said east line of Industrial Boulevard; said point being at the northwest end of said corner clip;

THENCE, North 01 degrees, 03 minutes, 48 seconds West, departing the said corner clip and along the said east line of Industrial Boulevard, a distance of 111.88 feet to the POINT OF BEGINNING;

CONTAINING, 817,294 square feet or 18.762 acres of land, more or less.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Kyle C. Harris, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. RELEASED 4/17/24.

Kyle C. Harris Date
Registered Professional Land Surveyor
No. 6266
kyle.harris@westwoodps.com



Planning and Zoning Commission

Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2024.

Mayor, City of Rockwall

City Secretary

City Engineer

GENERAL NOTES

- 1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
2. Bearing system for this survey is based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (2011) and correlated to the City of Rockwall Monument R016. The coordinates shown hereon are State Plane (Grid) Coordinates, no scale and no projection.
3. The property owner shall be responsible for maintenance, repair, and replacement of all drainage and detention easements.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as the LOT 5, BLOCK A, CHANNELL SUBDIVISION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the LOT 5, BLOCK A, CHANNELL SUBDIVISION have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the Subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

William H. Channell, President

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared William H. Channell, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____, 2024.

Notary Public in and for the State of Texas

My Commission Expires:

SHEET 3 OF 3

REPLAT
LOT 5, BLOCK A,
CHANNELL SUBDIVISION

BEING A REPLAT OF LOT 4, BLOCK A, CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES AND BEING OUT OF THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20, THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99 AND THE DAVID HARR SURVEY, ABSTRACT NO. 102 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. _____

Westwood

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 T: 972.235.3031
TBPELS ENGINEERING FIRM NO. 11756
TBPELS SURVEYING FIRM NO. 10074301

Table with 5 columns: DRAWN BY, CHECKED BY, SCALE, DATE, JOB NUMBER. Values: LAH, KCH, NONE, APRIL 2024, 3273-20.063

SURVEYOR/ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: 972-235-3031
CONTACT: KYLE C. HARRIS

OWNER:
WILLCAR HOLDINGS LLC
26040 YNEZ ROAD
TEMECULA, CALIFORNIA 92592
PH: 909-240-3460
CONTACT: ALTON FRAZIER



DATE: May 15, 2024

TO: Edward Burke
1700 Justin Road
Rockwall, TX 75087

CC: Kyle Harris
7557 Rambler Road
Suite 1400
Dallas, TX 75231

FROM: Angelica Guevara
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: P2024-017; *Replat for Lot 5, Block A, Channel Subdivision*

Mr. Burke:

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on May 6, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On April 30, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Replat by a vote of 5-0, with Commissioners Llewellyn and Conway absent.

City Council

On May 6, 2024, the City Council approved a motion to approve the Replat by a vote of 6-0, with Council Member Lewis absent.

Prior to submitting the required materials for filing, please send or submit a physical or digital copy of the plat to allow staff to ensure that all outstanding comments have been addressed. Once staff has verified all comments have been addressed you will be required to submit -- *at a minimum* -- the following:

- (1) One (1) set(s) of mylar copies of the plat.
- (2) One (1) tax certificate for each property being platted that demonstrates that the current years taxes have been paid.
- (3) A check for the filing fees (See below) made out to the *Rockwall County Clerk's Office*.

FILING FEES:

Mylars: \$49.00 per page for the 1st set only (*No charge for additional sets*).

Tax Certificates: \$29.00 for the 1st certificate and \$4.00 for each additional certificate.

Please note that the filing fee amount above is only an estimate and that filing fees are subject to change based on the requirements of the *Rockwall County Clerk's Office*. In addition, if you are submitting mylars between September 1st and December 31st, you will be required to submit the current year's tax receipt showing that all assessed taxes have been paid. If taxes have not been assessed on the property being platted, a statement/letter from the *Rockwall Central Appraisal District (RCAD)* and an additional \$4.00 filing fee will be required to be submitted to staff.

All plats must be submitted to the City with the required filing fees and tax certificates a minimum of 180-days from the approval date. Failure to adhere to this deadline, will result in the plat being expired in accordance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 772-6438.

Sincerely,

Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department