



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 607 White Hills Drive, Rockwall, TX

SUBDIVISION Wal-Mart Super Center Addition LOT 4 BLOCK A

GENERAL LOCATION Southeast corner of White Hills Drive & Suncrest Drive

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C(Commercial/IH30 Overlay) CURRENT USE Vacant lot

PROPOSED ZONING C(Commercial/IH30 Overlay) PROPOSED USE Retail & Carwash

ACREAGE 2.003 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Travelers Plaza LLC	<input checked="" type="checkbox"/> APPLICANT	Tarina Group, Inc
CONTACT PERSON	Michael Eido	CONTACT PERSON	Hani Elkady
ADDRESS	1324 Somerset Court	ADDRESS	3120 Ashwood Ct.
CITY, STATE & ZIP	Rockwall, Texas 75032	CITY, STATE & ZIP	Richardson, Texas 75082
PHONE	972-800-4443	PHONE	214-213-7192
E-MAIL	m.eido@hotmail.com	E-MAIL	elkady422@aol.com

## NOTARY VERIFICATION [REQUIRED]

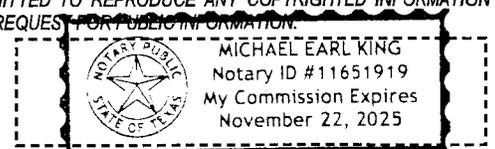
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Eido [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June 2024 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June, 2024

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 11-22-2025



# CHECKLIST FOR PLAT SUBMITTALS

City of Rockwall  
 Planning and Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087

**Case Type:**

- Minor/Amending Plat       Replat  
 Final Plat                       Preliminary Plat  
 Master Plat                         Vacation Plat

**Case Number**

**Reviewed By:**

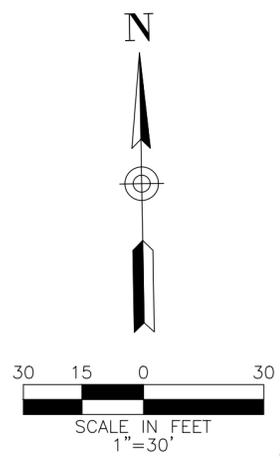
**Review Date:**

**NOTES:** The requirements listed below are based on the case type, which is indicated in the '[ ]' below the requirement description. On the checklist below a Replat, Minor Subdivision Plat, and Vacation Plat would be required to meet all the same requirements as a Final Plat.

Requirements	✓= OK	N/A	Comments
Case Number [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input type="checkbox"/>	The case number will be provided by staff and placed in the lower right-hand corner of all new submittals.
Items Necessary for Plat Review:			
✓ Plat	<input checked="" type="checkbox"/>	<input type="checkbox"/>	[Final Plat, Preliminary Plat & Master Plat]
✓ Treescape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Landscape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	If Applicable [Final Plat & Preliminary Plat]
✓ Plat Reinstatement Request	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Check w/ Planning Staff
Submittal Requirements [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Four (4) large (18" x 24") <b>folded</b> copies and one (1) PDF digital copy of each plat is required at the time of submittal.
Engineering Information [Final Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide accurate plat dimensions with all engineering information necessary to reproduce the plat on the ground. <b>ENGINEERING SUBMITTAL AND APPROVAL REQUIRED PRIOR TO SUBMITTING AN APPLICATION FOR FINAL PLAT.</b>
Title Block:			
Type of Plat [Master, Preliminary, Final or Replat]			
Subdivision Name (Proposed or Approved)			
Lot / Block Designation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the title block information in the lower right-hand corner.
Number of Lots (Proposed)			
Total Acreage			
City, State, County			
Owner, Developer, and/or Surveyor/Engineer (Name/Address/Phone Number/Date of Preparation) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	This includes the names and addresses of the sub dividers, record owner, land planner, engineer and/or surveyor. The date of plat preparation should also be put in the lower right-hand corner.
Survey Monuments/State Plane Coordinates [Final Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet).
Vicinity Map [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A Vicinity Map should show the boundaries of the proposed subdivision relative to the rest of the city.
North Point [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.
Numeric and Graphic Scale [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plats should be drawn to an Engineering Scale of 1"=50', 1"=100', etc...
Subdivision (Boundary, Acreage, and Square Footage) [Final Plat, Preliminary Plat & Master Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Indicate the subdivision boundary lines, and acreage and square footage. For Master Plats provide a schematic layout of the entire tract to be subdivided, any remainder tracts and its relationship to adjacent property and existing adjoining developments.
Lot and Block (Designation, Width, Depth and Area) [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identification of each lot and block by number or letter. For each lot indicate the square footage and acreage or provide a calculation sheet. Also provide a lot count.
Dwelling Units/Population Density [Master Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the proposed number of dwelling units and population densities.
Building Setbacks [Final Plat & Preliminary Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Label the building lines where adjacent to a street.
Easements [Final Plat & Preliminary Plat]	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all existing and proposed easements relative to the site and include the type, purpose and width.
City Limits [Final Plat, Preliminary Plat & Master Plat]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location of the City Limits, contiguous or within the platting area.
Utilities (P)	<input type="checkbox"/>	<input type="checkbox"/>	Indicate the locations of all existing and proposed utilities. Include the size and type of each.

Property Lines <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide all the proposed and platted property lines.
Streets <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label all proposed and existing streets with the proposed or approved names. For Master Plats indicate the existing arterials and collector streets to serve the land to be platted consistent with the Thoroughfare Plan or proposed amendments.
Right-Of-Way and Centerline <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Label the right-of-way width and street centerline for each street both within and adjacent to the development.
Additional Right-Of-Way <i>[Final Plat &amp; Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the location and dimensions of any proposed right-of-way dedication.
Corner Clips <i>[Final Plat &amp; Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all existing and proposed corner clips and any subsequent dedication.
Median Openings <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Locate and identify existing and/or proposed median openings and left turn channelization.
Topographical Contours <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Topographical information and physical features to include contours at 2-foot intervals.
Flood Elevations <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show 100-Year & 50-Year floodplain and floodway boundaries (if applicable).
Drainage Areas <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show all drainage areas and all proposed storm drainages areas with sizes if applicable.
Wooded Areas <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the boundaries of all adjacent wooded areas.
Zoning and Land Use Information <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all proposed land uses, and existing and proposed zoning classifications. For Master Plats indicate the proposed major categories of land use.
Existing Man-Made Features <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate all significant man-made features such as railroad, roads, buildings, utilities or other physical structures as shown on USGS topographic maps, utility company records and city records when such features affect the plans.
Parks and Open Space <i>[Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identify the dimensions, names and description of all parks and open spaces, both existing and proposed. For Master Plats also indicate schools and other public uses as consistent with those shown in the comprehensive plan.
Proposed Improvements <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate how the proposed improvements would relate to those in the surrounding area.
Water Sources <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate water sources inside the city limits or in the extraterritorial jurisdiction (ETJ).
Sewage Disposal <i>[Preliminary Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate sewage disposal method inside the city limits or in the extraterritorial jurisdiction (ETJ).
Adjacent Properties <i>[Final Plat &amp; Preliminary Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Record owners of contiguous parcels of subdivided land, names and lot patterns of contiguous subdivisions, approved Concept Plans, reference recorded subdivision plats adjoining platted land by record name and by deed record volume and page.
Phasing Plan <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Designation of each phase of development within the subdivision, the order of development, and a schedule for the development of each phase of the master plan.
Dedication <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate the boundary lines, dimensions and descriptions, of spaces to be dedicated for public use of the inhabitants of the development.
Statement of Service <i>[Master Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a detailed statement of how the proposed subdivision will be served by water, wastewater, roadway and drainage facilities that have adequate capacity to serve the development.
Standard Plat Wording <i>[Final Plat]</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide the appropriate plat wording provided in the application packet that details the designation of the entity responsible for the operation and maintenance of any commonly held property and a waiver releasing the city of such responsibility, a waiver releasing the City for damages in establishment or alteration of grade.
Legal Description <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Place the Legal Description (Metes and Bounds Description/Field Notes) where indicated in the Owner's Certificate per the application packet.
Storm Drainage Improvements Statement <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the appropriate statement of developer responsibility for storm drainage improvements found in the application packet.
Dedication Language <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide the instrument of dedication or adoption signed by the owners, which is provided in the application packet.
Seal/Signature <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Required to have the seal and signature of surveyor responsible for the surveying the development and/or the preparation of the plat.
Public Improvement Statement <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proved the appropriate statement indicating that no building permits will be issued until all public improvements are accepted by the City as provided in the application packet.
Plat Approval Signatures <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a space for signatures attesting approval of the plat.

Compliance with Preliminary Plat <i>[Final Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Does the plat comply with all the special requirements developed in the preliminary plat review?
Review Plans with Franchise Utility Companies <i>[Final Plat, Preliminary Plat &amp; Master Plat]</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Review the proposed plans and plat with electric, gas, cable and phone companies.

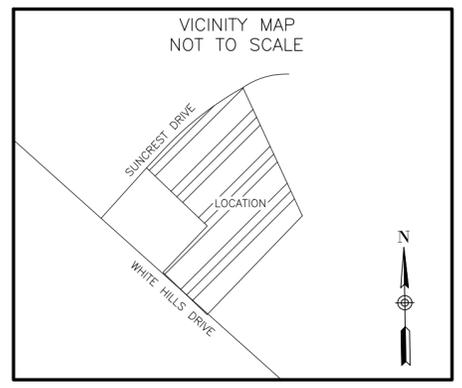
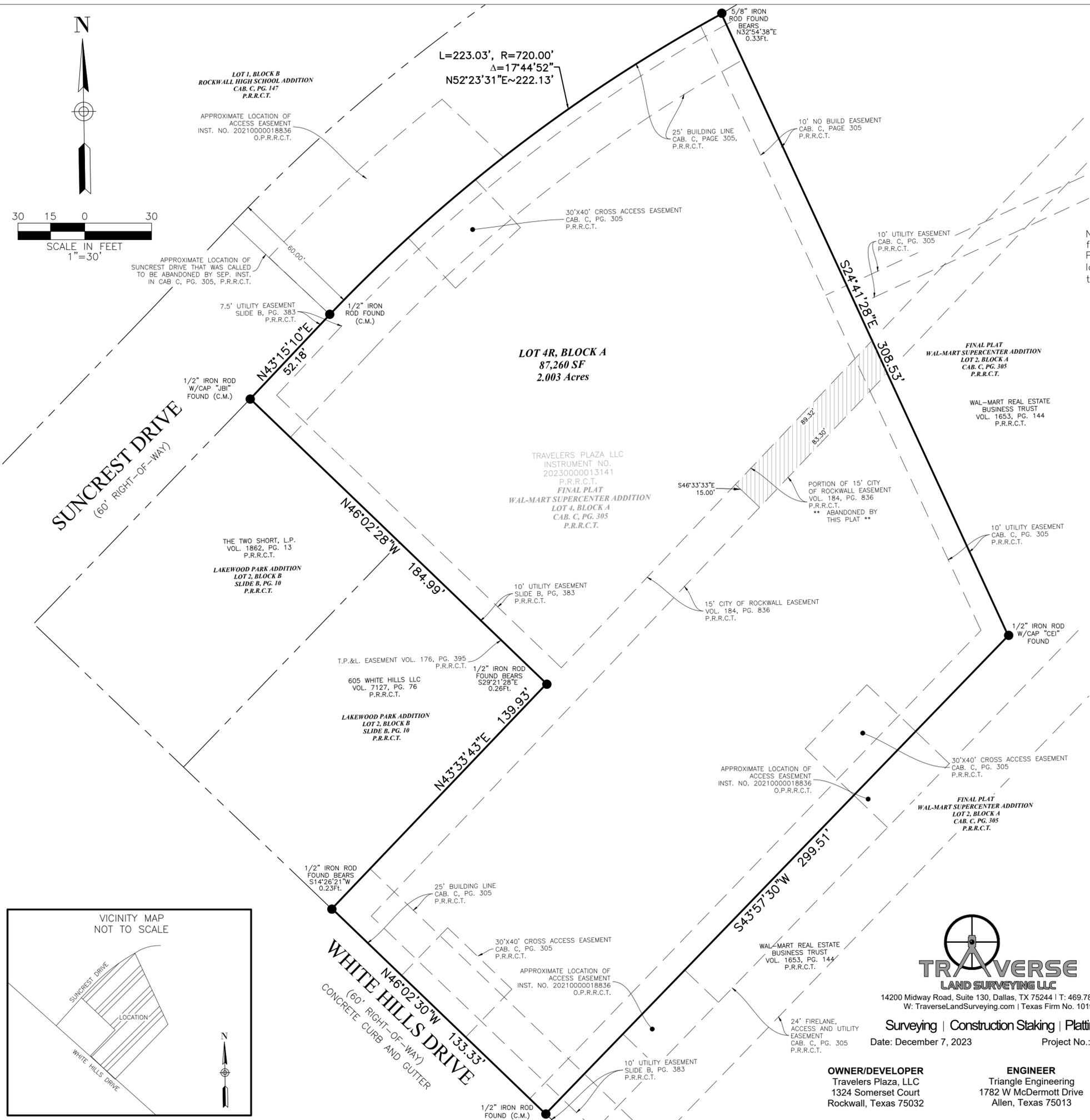


**GENERAL NOTES**

1. The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Allterra RTK Network and adjusted to surface using a scale factor of 1.000146135.
2. Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
3. The purpose of this plat is to abandon a portion of an existing easement.

**FLOOD NOTES**

No portion of the subject property shown hereon lies within the 100 year flood hazard area according to the Flood Insurance Rate Map, Community Panel No. 48397C0040L, dated September 26, 2008. The subject property is located in the area designated as Zone "X", (areas determined to be outside the 0.2% annual chance floodplain).



**TRaverse**  
LAND SURVEYING LLC  
14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321  
W: TraverseLandSurveying.com | Texas Firm No. 10194631  
Surveying | Construction Staking | Platting  
Date: December 7, 2023 Project No.: TR-157-23

**OWNER/DEVELOPER**  
Travelers Plaza, LLC  
1324 Somerset Court  
Rockwall, Texas 75032

**ENGINEER**  
Triangle Engineering  
1782 W McDermott Drive  
Allen, Texas 75013

**REPLAT  
LOT 4R, BLOCK A  
WAL-MART  
SUPERCENTER  
ADDITION**

BEING 2.003 ACRES  
SITUATED IN THE E.P. GAINES CHISUM SURVEY  
ABSTRACT NUMBER 64  
BEING ALL OF LOT 4, BLOCK A OF WAL-MART  
SUPERCENTER ADDITION, AN ADDITION TO THE  
CITY OF ROCKWALL, AS RECORDED IN  
CABINET C, PAGE 305, P.R.R.C.T.  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
DECEMBER 2023

STATE OF TEXAS  
COUNTY OF ROCKWALL

BEING a 2.003 acre tract of land situated in the E. P. Gaines Chisum Survey, Abstract Number 64, City of Rockwall, Rockwall County, Texas, and same being all of Lot 4, Block A, of Wal-Mart Supercenter Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Page 305, Public Records, Rockwall County, Texas (P.R.R.C.T.), and same being all of a tract of land described to Traveler's Plaza, LLC, by the Deed recorded in Instrument Number 20230000013141, P.R.R.C.T., and same being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found for the most westerly corner of Lot 2, Block A, of said Wal-Mart Supercenter Addition, and being a point on the northeasterly right-of-way boundary line of White Hills Drive (60' right-of-way);

THENCE North 46 degrees 02 minutes 30 seconds West along the northeasterly right-of-way boundary line of said White Hills Drive, a distance of 133.33 feet to a point for corner, from which a 1/2" iron rod found bears South 14 degrees 26 minutes 21 seconds West a distance of 0.23 feet, and same being the most southerly corner of Lot 2, Block B, of Lakewood Park Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Slide B, Page 10, P.R.R.C.T.;

THENCE along a common boundary line of said Lot 2 and said Lot 4, the following courses and distances:

North 43 degrees 33 minutes 43 seconds East a distance of 139.93 feet to a point for corner, from which a 1/2" iron rod found bears South 29 degrees 21 minutes 28 seconds East a distance of 0.26 feet;

North 46 degrees 02 minutes 28 seconds West a distance of 184.99 feet to a 1/2" iron rod found with a cap stamped "JBI" for the most northerly corner of said Lot 2, and same being a point on the southeasterly right-of-way boundary line of Suncrest Drive (60' right-of-way);

THENCE along a common boundary line of said Lot 4, and the southeasterly right-of-way boundary line of said Suncrest Drive, the following courses and distances:

North 43 degrees 15 minutes 10 seconds East a distance of 52.18 feet to a 1/2" iron rod found for corner, and same being the beginning of a curve to the right with a central angle of 17 degrees 44 minutes 52 seconds, and a radius of 720.00 feet whose chord bears North 52 degrees 23 minutes 31 seconds East a chord distance of 222.13 feet;

Along said curve and arc distance of 223.03 feet to a point for corner, from which a 5/8" iron rod found bears North 32 degrees 54 minutes 38 seconds East a distance of 0.33 feet;

THENCE along a common boundary line of said Lot 2 and said Lot 4, the following courses and distances:

South 24 degrees 41 minutes 28 seconds East a distance of 308.53 feet to a 1/2" iron rod found with a cap stamped "CEI" for corner;

South 43 degrees 57 minutes 30 seconds West a distance of 299.51 feet to the POINT OF BEGINNING containing 2.003 acres (87,260 square feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT we Travelers Plaza, LLC do hereby adopt this plat designating the hereinabove described property as Wal-Mart Supercenter Addition, an addition to the City of Rockwall, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the constructions, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling without the necessity at any time of procuring the permission of anyone. This plat approved subject to the platting ordinances, rules, regulations and resolutions of the City of Rockwall, Texas.

We further understand the following:

1. No building shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other growths or improvements which in any way endanger or interfere with construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets or improvements.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities and maintenance to provided drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house, dwelling, unit or other structure shall be constructed on any lot in the addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with required base and paving, curb and gutter, water and sewer, drainage structures, storm structures and storm sewers all according to the specifications of the City of Rockwall.

Witness, my hand at \_\_\_\_\_, \_\_\_\_\_, This \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signature - Travelers Plaza, LLC Representative

Printed Name

Title / Date

## SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, David F. McCullah, do hereby certify that i prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision.

\_\_\_\_\_  
David F. McCullah  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 4023

DATE: \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared David F. McCullah, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

## SUBDIVISION STATEMENT

Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulations of Subdivisions and property Development of the Texas Local Government Code and shall be subject to the City of Rockwall withholding utilities and building permits.

## PUBLIC IMPROVEMENT STATEMENT

It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under Subdivision Ordinance of the City of Rockwall.

## DRAINAGE AND DETENTION EASEMENTS

The property owner shall be responsible for maintaining, repairing and replacing and shall bear sole liability of all systems within the drainage and detention easements.

## FIRE LANES

All Fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane Improvements.

## STREET APPURTENANCES

All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired and replaced by Home Owners Association.

CERTIFICATE OF APPROVAL:

Approved:

I hereby certify that the above and foregoing subdivision plat, being an addition to the City of Rockwall, Texas, was approved by City Council on the City of Rockwall, Texas, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
Director of Planning and Zoning

\_\_\_\_\_  
Planning and Zoning Commission Chariman

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
City Secretary



14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321  
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting

Date: December 7, 2023

Project No.: TR-157-23

**OWNER/DEVELOPER**  
Travelers Plaza, LLC  
1324 Somerset Court  
Rockwall, Texas 75032

**ENGINEER**  
Triangle Engineering  
1782 W McDermott Drive  
Allen, Texas 75013

# REPLAT LOT 4R, BLOCK A WAL-MART SUPERCENTER ADDITION

BEING 2.003 ACRES

SITUATED IN THE E.P. GAINES CHISUM SURVEY  
ABSTRACT NUMBER 64

BEING ALL OF LOT 4, BLOCK A OF WAL-MART  
SUPERCENTER ADDITION, AN ADDITION TO THE  
CITY OF ROCKWALL, AS RECORDED IN  
CABINET C, PAGE 305, P.R.R.C.T.

CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

DECEMBER 2023



T: 469.784.9321 | W: [TraverseLandSurveying.com](http://TraverseLandSurveying.com) | O: 14200 Midway Road, Suite 130, Dallas, TX 75244

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,019,228.6017'

East: 2,591,162.1707'

Segment# 1: Line

Course: N43° 15' 10.49"E

Length: 52.180'

North: 7,019,266.6063'

East: 2,591,197.9255'

Segment# 2: Curve

Length: 223.025'

Radius: 720.000'

Delta: 17.7478 (d)

Tangent: 112.413'

Chord: 222.135'

Course: N52° 23' 31.49"E

Course In: S46° 28' 54.51"E

Course Out: N28° 44' 02.51"W

RP North: 7,018,770.8252'

East: 2,591,720.0376'

End North: 7,019,402.1650'

East: 2,591,373.9017'

Segment# 3: Line

Course: S24° 41' 27.51"E

Length: 308.530'

North: 7,019,121.8426'

East: 2,591,502.7820'

Segment# 4: Line

Course: S43° 57' 30.49"W

Length: 299.510'

North: 7,018,906.2424'

East: 2,591,294.8811'

Segment# 5: Line

Course: N46° 02' 29.51"W

Length: 133.330'

North: 7,018,998.7917'

East: 2,591,198.9044'

Segment# 6: Line

Course: N43° 33' 43.49"E

Length: 139.930'

North: 7,019,100.1889'

East: 2,591,295.3358'

Segment# 7: Line

Course: N46° 02' 27.51"W

Length: 184.994'

North: 7,019,228.6013'

East: 2,591,162.1704'

Perimeter: 1,341.500'

Area: 87,260.43Sq.Ft.

Error Closure: 0.0005

Course: S34° 14' 34.24"W

Error North : -0.00040

East: -0.00027

Precision 1: 2,682,998.000



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 607 White Hills Drive, Rockwall, TX

SUBDIVISION Wal-Mart Super Center Addition LOT 4 BLOCK A

GENERAL LOCATION Southeast corner of White Hills Drive & Suncrest Drive

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C(Commercial/IH30 Overlay) CURRENT USE Vacant lot

PROPOSED ZONING C(Commercial/IH30 Overlay) PROPOSED USE Retail & Carwash

ACREAGE 2.003 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Travelers Plaza LLC	<input checked="" type="checkbox"/> APPLICANT	Tarina Group, Inc
CONTACT PERSON	Michael Eido	CONTACT PERSON	Hani Elkady
ADDRESS	1324 Somerset Court	ADDRESS	3120 Ashwood Ct.
CITY, STATE & ZIP	Rockwall, Texas 75032	CITY, STATE & ZIP	Richardson, Texas 75082
PHONE	972-800-4443	PHONE	214-213-7192
E-MAIL	m.eido@hotmail.com	E-MAIL	elkady422@aol.com

## NOTARY VERIFICATION [REQUIRED]

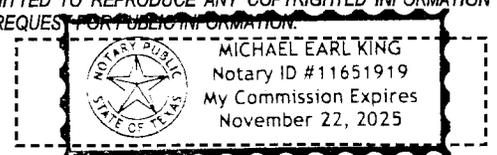
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Eido [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June 2024 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June 2024

OWNER'S SIGNATURE

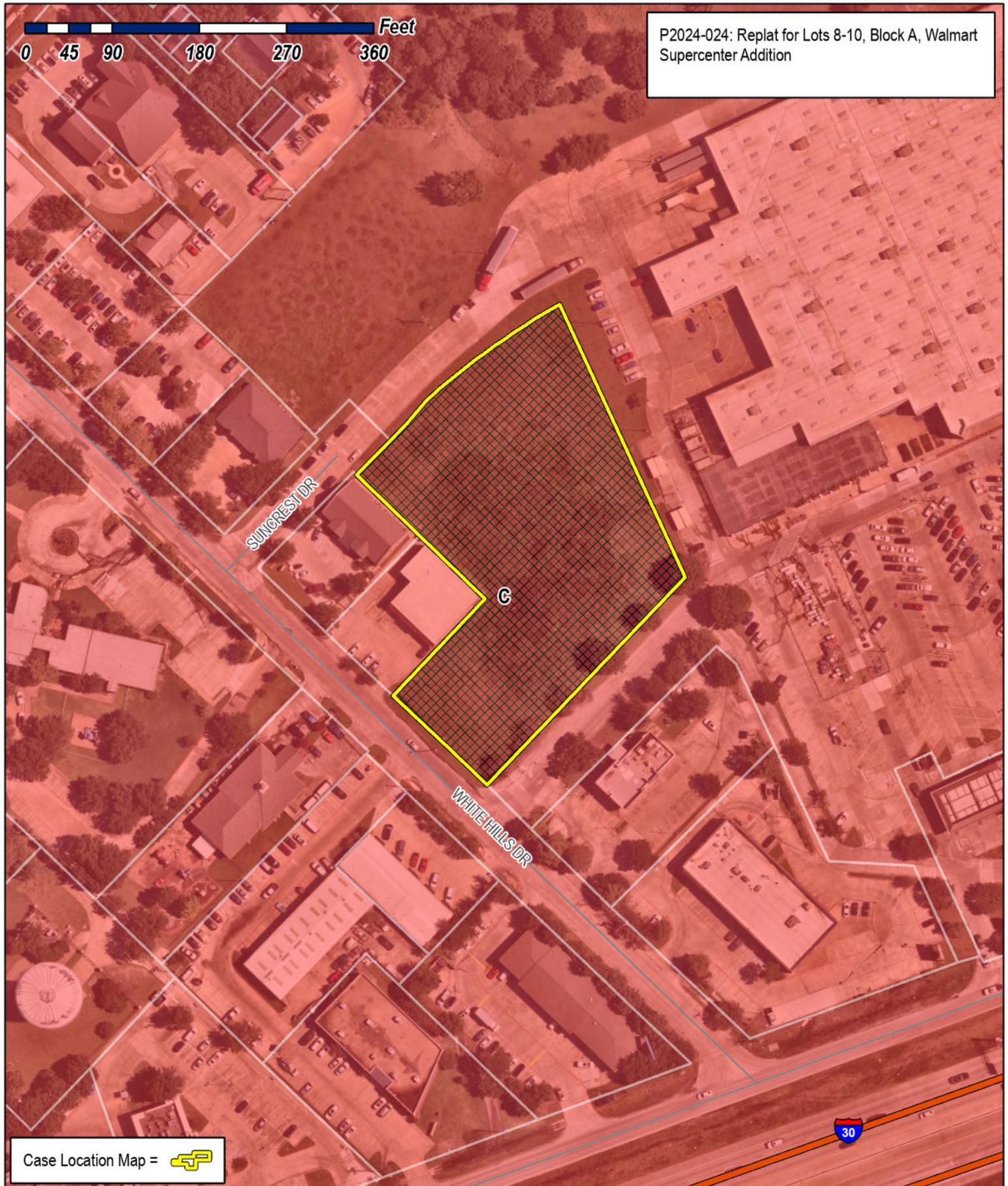
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 11-22-2025



P2024-024: Replat for Lots 8-10, Block A, Walmart Supercenter Addition



Case Location Map = 

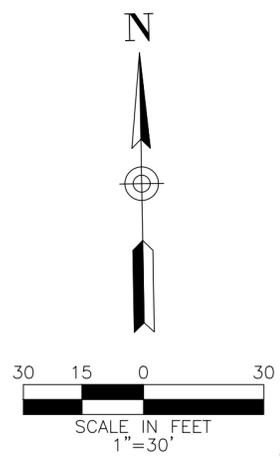


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



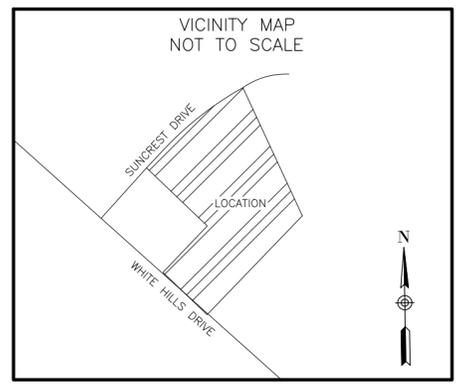
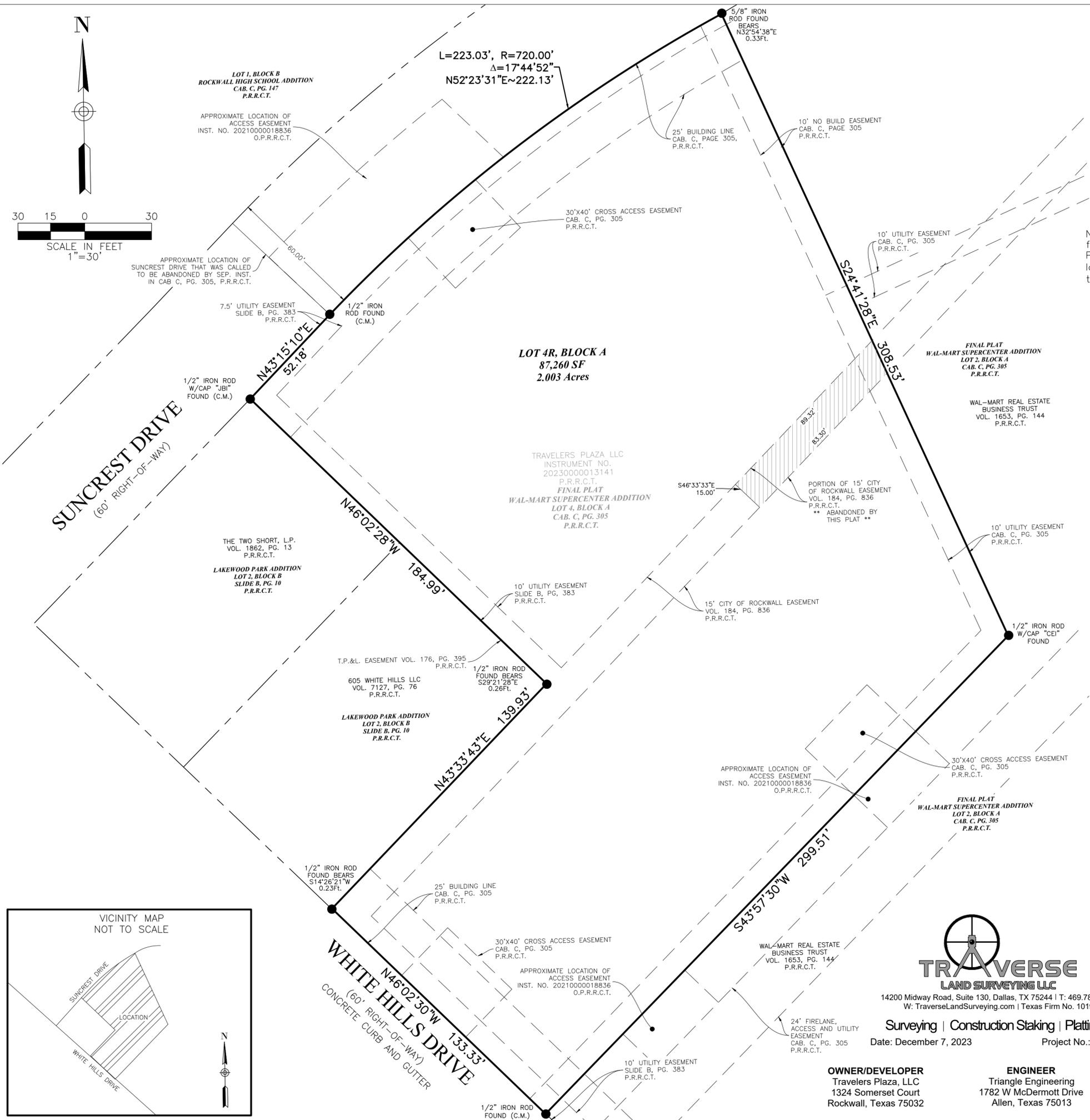


**GENERAL NOTES**

1. The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Allterra RTK Network and adjusted to surface using a scale factor of 1.000146135.
2. Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
3. The purpose of this plat is to abandon a portion of an existing easement.

**FLOOD NOTES**

No portion of the subject property shown hereon lies within the 100 year flood hazard area according to the Flood Insurance Rate Map, Community Panel No. 48397C0040L, dated September 26, 2008. The subject property is located in the area designated as Zone "X", (areas determined to be outside the 0.2% annual chance floodplain).



**TRaverse**  
LAND SURVEYING LLC  
14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321  
W: TraverseLandSurveying.com | Texas Firm No. 10194631  
Surveying | Construction Staking | Platting  
Date: December 7, 2023 Project No.: TR-157-23

**OWNER/DEVELOPER**  
Travelers Plaza, LLC  
1324 Somerset Court  
Rockwall, Texas 75032

**ENGINEER**  
Triangle Engineering  
1782 W McDermott Drive  
Allen, Texas 75013

**REPLAT  
LOT 4R, BLOCK A  
WAL-MART  
SUPERCENTER  
ADDITION**

BEING 2.003 ACRES  
SITUATED IN THE E.P. GAINES CHISUM SURVEY  
ABSTRACT NUMBER 64  
BEING ALL OF LOT 4, BLOCK A OF WAL-MART  
SUPERCENTER ADDITION, AN ADDITION TO THE  
CITY OF ROCKWALL, AS RECORDED IN  
CABINET C, PAGE 305, P.R.R.C.T.  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
DECEMBER 2023

STATE OF TEXAS  
COUNTY OF ROCKWALL

BEING a 2.003 acre tract of land situated in the E. P. Gaines Chisum Survey, Abstract Number 64, City of Rockwall, Rockwall County, Texas, and same being all of Lot 4, Block A, of Wal-Mart Supercenter Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Page 305, Public Records, Rockwall County, Texas (P.R.R.C.T.), and same being all of a tract of land described to Traveler's Plaza, LLC, by the Deed recorded in Instrument Number 20230000013141, P.R.R.C.T., and same being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found for the most westerly corner of Lot 2, Block A, of said Wal-Mart Supercenter Addition, and being a point on the northeasterly right-of-way boundary line of White Hills Drive (60' right-of-way);

THENCE North 46 degrees 02 minutes 30 seconds West along the northeasterly right-of-way boundary line of said White Hills Drive, a distance of 133.33 feet to a point for corner, from which a 1/2" iron rod found bears South 14 degrees 26 minutes 21 seconds West a distance of 0.23 feet, and same being the most southerly corner of Lot 2, Block B, of Lakewood Park Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Slide B, Page 10, P.R.R.C.T.;

THENCE along a common boundary line of said Lot 2 and said Lot 4, the following courses and distances:

North 43 degrees 33 minutes 43 seconds East a distance of 139.93 feet to a point for corner, from which a 1/2" iron rod found bears South 29 degrees 21 minutes 28 seconds East a distance of 0.26 feet;

North 46 degrees 02 minutes 28 seconds West a distance of 184.99 feet to a 1/2" iron rod found with a cap stamped "JBI" for the most northerly corner of said Lot 2, and same being a point on the southeasterly right-of-way boundary line of Suncrest Drive (60' right-of-way);

THENCE along a common boundary line of said Lot 4, and the southeasterly right-of-way boundary line of said Suncrest Drive, the following courses and distances:

North 43 degrees 15 minutes 10 seconds East a distance of 52.18 feet to a 1/2" iron rod found for corner, and same being the beginning of a curve to the right with a central angle of 17 degrees 44 minutes 52 seconds, and a radius of 720.00 feet whose chord bears North 52 degrees 23 minutes 31 seconds East a chord distance of 222.13 feet;

Along said curve and arc distance of 223.03 feet to a point for corner, from which a 5/8" iron rod found bears North 32 degrees 54 minutes 38 seconds East a distance of 0.33 feet;

THENCE along a common boundary line of said Lot 2 and said Lot 4, the following courses and distances:

South 24 degrees 41 minutes 28 seconds East a distance of 308.53 feet to a 1/2" iron rod found with a cap stamped "CEI" for corner;

South 43 degrees 57 minutes 30 seconds West a distance of 299.51 feet to the POINT OF BEGINNING containing 2.003 acres (87,260 square feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT we Travelers Plaza, LLC do hereby adopt this plat designating the hereinabove described property as Wal-Mart Supercenter Addition, an addition to the City of Rockwall, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the constructions, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling without the necessity at any time of procuring the permission of anyone. This plat approved subject to the platting ordinances, rules, regulations and resolutions of the City of Rockwall, Texas.

We further understand the following:

1. No building shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other growths or improvements which in any way endanger or interfere with construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets or improvements.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities and maintenance to provided drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house, dwelling, unit or other structure shall be constructed on any lot in the addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with required base and paving, curb and gutter, water and sewer, drainage structures, storm structures and storm sewers all according to the specifications of the City of Rockwall.

Witness, my hand at \_\_\_\_\_, \_\_\_\_\_, This \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signature - Travelers Plaza, LLC Representative

Printed Name

Title / Date

### SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, David F. McCullah, do hereby certify that i prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision.

\_\_\_\_\_  
David F. McCullah  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 4023

DATE: \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared David F. McCullah, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

### SUBDIVISION STATEMENT

Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulations of Subdivisions and property Development of the Texas Local Government Code and shall be subject to the City of Rockwall withholding utilities and building permits.

### PUBLIC IMPROVEMENT STATEMENT

It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under Subdivision Ordinance of the City of Rockwall.

### DRAINAGE AND DETENTION EASEMENTS

The property owner shall be responsible for maintaining, repairing and replacing and shall bear sole liability of all systems within the drainage and detention easements.

### FIRE LANES

All Fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane Improvements.

### STREET APPURTENANCES

All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired and replaced by Home Owners Association.

CERTIFICATE OF APPROVAL:

Approved:

I hereby certify that the above and foregoing subdivision plat, being an addition to the City of Rockwall, Texas, was approved by City Council on the City of Rockwall, Texas, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
Director of Planning and Zoning

\_\_\_\_\_  
Planning and Zoning Commission Chariman

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
City Secretary



14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321  
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting

Date: December 7, 2023

Project No.: TR-157-23

**OWNER/DEVELOPER**  
Travelers Plaza, LLC  
1324 Somerset Court  
Rockwall, Texas 75032

**ENGINEER**  
Triangle Engineering  
1782 W McDermott Drive  
Allen, Texas 75013

# REPLAT LOT 4R, BLOCK A WAL-MART SUPERCENTER ADDITION

BEING 2.003 ACRES

SITUATED IN THE E.P. GAINES CHISUM SURVEY  
ABSTRACT NUMBER 64

BEING ALL OF LOT 4, BLOCK A OF WAL-MART  
SUPERCENTER ADDITION, AN ADDITION TO THE  
CITY OF ROCKWALL, AS RECORDED IN  
CABINET C, PAGE 305, P.R.R.C.T.

CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

DECEMBER 2023



T: 469.784.9321 | W: TraverseLandSurveying.com | O: 14200 Midway Road, Suite 130, Dallas, TX 75244

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,019,228.6017'

East: 2,591,162.1707'

Segment# 1: Line

Course: N43° 15' 10.49"E

Length: 52.180'

North: 7,019,266.6063'

East: 2,591,197.9255'

Segment# 2: Curve

Length: 223.025'

Radius: 720.000'

Delta: 17.7478 (d)

Tangent: 112.413'

Chord: 222.135'

Course: N52° 23' 31.49"E

Course In: S46° 28' 54.51"E

Course Out: N28° 44' 02.51"W

RP North: 7,018,770.8252'

East: 2,591,720.0376'

End North: 7,019,402.1650'

East: 2,591,373.9017'

Segment# 3: Line

Course: S24° 41' 27.51"E

Length: 308.530'

North: 7,019,121.8426'

East: 2,591,502.7820'

Segment# 4: Line

Course: S43° 57' 30.49"W

Length: 299.510'

North: 7,018,906.2424'

East: 2,591,294.8811'

Segment# 5: Line

Course: N46° 02' 29.51"W

Length: 133.330'

North: 7,018,998.7917'

East: 2,591,198.9044'

Segment# 6: Line

Course: N43° 33' 43.49"E

Length: 139.930'

North: 7,019,100.1889'

East: 2,591,295.3358'

Segment# 7: Line

Course: N46° 02' 27.51"W

Length: 184.994'

North: 7,019,228.6013'

East: 2,591,162.1704'

Perimeter: 1,341.500'

Area: 87,260.43Sq.Ft.

Error Closure: 0.0005

Course: S34° 14' 34.24"W

Error North : -0.00040

East: -0.00027

Precision 1: 2,682,998.000



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 25, 2024  
**APPLICANT:** Hani Elkady; *Tarina Group, Inc.*  
**CASE NUMBER:** P2024-024; *Replat for Lots 8-10, Block A, Walmart Supercenter Addition*

---

### SUMMARY

Consider a request by Hani Elkady of Tarina Group, Inc. on behalf of Michael Eido of Travelers Plaza, LLC for the approval of a Replat for Lots 8-10, Block A, Walmart Supercenter Addition on a 2.003-acre parcel of land identified Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated along the east side of White Hills Drive south of Suncrest Drive, and take any action necessary.

### PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Replat for a 2.003-acre parcel of land (*i.e. Lot 4, Block A, Wal-Mart Super Center Addition*) for the purpose of establishing three (3) lots and the required easements for the development of a *Carwash and Commercial Retail Shopping Center* on the subject property.
- Background. On November 7, 1960 the subject property was annexed by *Ordinance 60-03 [Case No. A1960-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to City's historic zoning maps, at some point between November 7, 1960 and January 3, 1972, the subject property was rezoned from Agricultural (AG) District to Commercial (C) District. On February 1, 2016, the City Council approved a Specific Use Permit (SUP) [*Case No. Z2015-039*] for a *Residence Hotel*; however, this Specific Use Permit (SUP) has since expired. On April 11, 2023, the Planning and Zoning Commission approved a site plan (*Case No. SP2023-011*) for a *Carwash and Commercial/Retail Shopping Center*.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 8-10, Block A, Wal-Mart Super Center Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to the filing of this Replat; and,

- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 6/20/2024

PROJECT NUMBER: P2024-024  
PROJECT NAME: Lot 4, Block A, Walmart Super Center Addition  
SITE ADDRESS/LOCATIONS: 607 WHITE HILLS DR

CASE CAPTION:

---

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	06/19/2024	Approved w/ Comments

---

06/19/2024: P2024-024: Replat for Lot 8, Block A, Walmart Supercenter Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 8, Block A, Walmart Supercenter Addition on a 2.003-acre parcel of land identified Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated along the east side of White Hills Drive south of Suncrest Drive, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (P2024-024) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

REPLAT  
LOT 8, BLOCK A,  
WALMART SUPERCENTER ADDITION  
BEING A REPLAT OF  
LOT 4, BLOCK A  
WALMART SUPERCENTER ADDITION  
2.003-ACRES OR 87,250.68 SF  
SITUATED IN THE E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please provide at least two (2) state plane coordinates on the corners of the development. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please correct the Signature Block. Remove the Director of Planning and Zoning from the signature block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please provide Centerlines for both White Hills Drive and Suncrest Drive. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Please correct the Owner's Certificate of Dedication. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.10 The projected meeting dates for this case are as follows:

Planning and Zoning Commission: June 25, 2024

City Council: July 1, 2024

I.11 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	06/18/2024	Approved w/ Comments

- 06/18/2024: 1. What is this line for?  
2. Show existing drainage easement.  
3. At least 2 of the property corners need to have northings and eastings to tie it down.  
4. Show offsite easements.  
5. Plat not to be filed until written confirmation of the existing sewer line not in use.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	06/17/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/17/2024	Approved w/ Comments

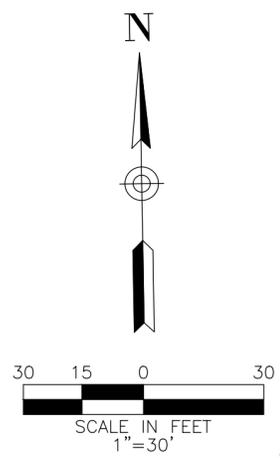
06/17/2024: Please mark two corners referenced to State Plane Coordinates (NAD83 Texas North Central Zone-4202, Grid)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany Ross	06/20/2024	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/17/2024	Approved

No Comments



**GENERAL NOTES**

1. The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Allterra RTK Network and adjusted to surface using a scale factor of 1.000146135.
2. Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
3. The purpose of this plat is to abandon a portion of an existing easement.

**FLOOD NOTES**

No portion of the subject property shown hereon lies within the 100 year flood hazard area according to the Flood Insurance Rate Map, Community Panel No. 48397C0040L, dated September 26, 2008. The subject property is located in the area designated as Zone "X", (areas determined to be outside the 0.2% annual chance floodplain).

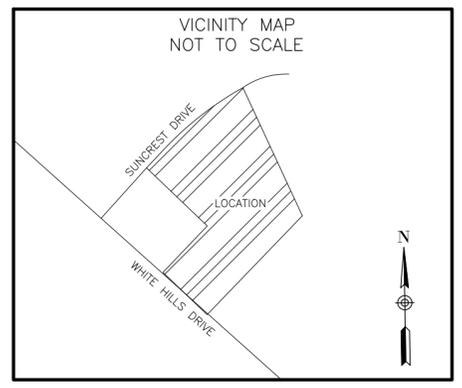
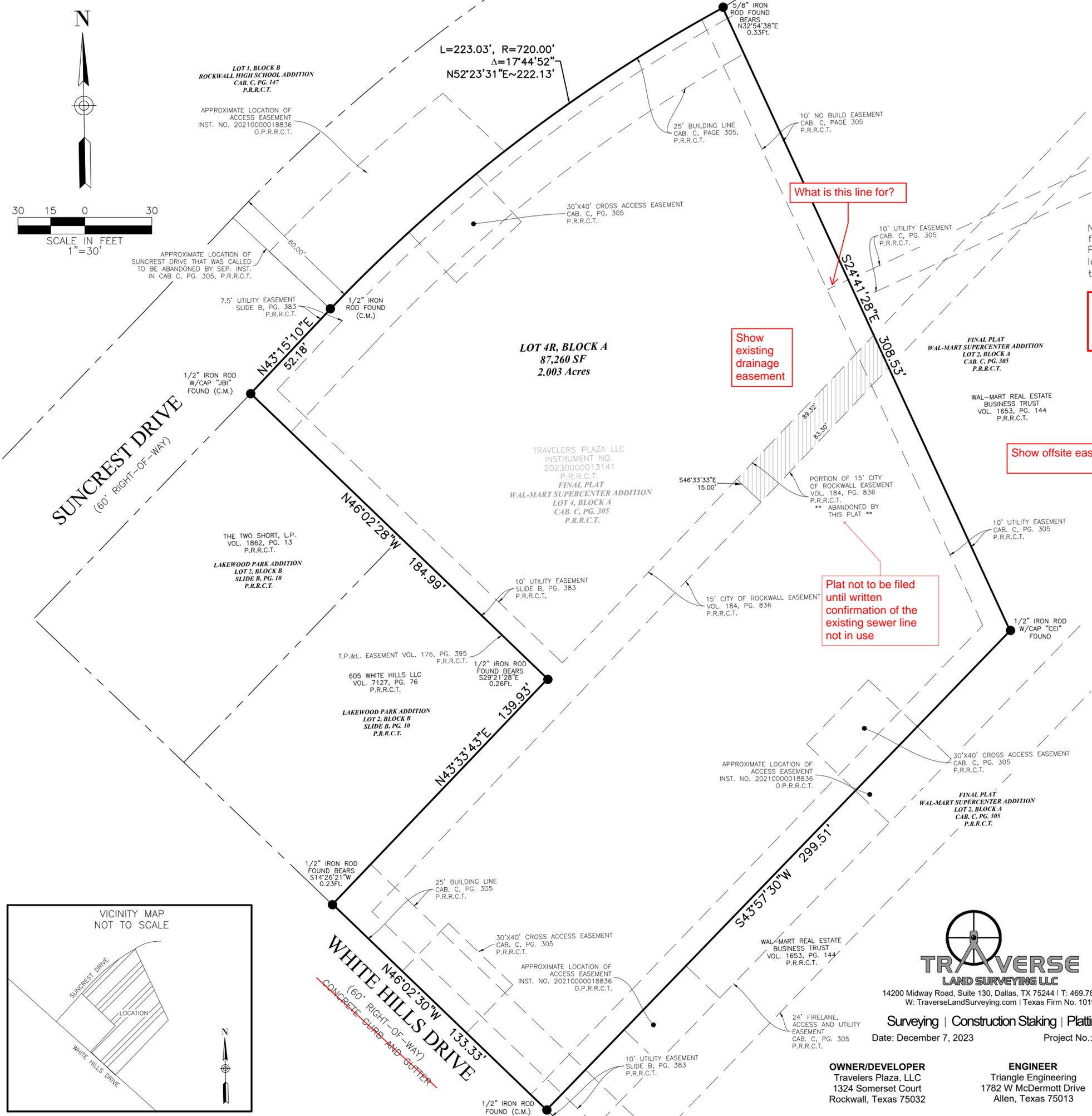
At least 2 of the property corners need to have northings and eastings to tie it down.

Show offsite easements.

Show existing drainage easement

Plat not to be filed until written confirmation of the existing sewer line not in use

What is this line for?



**REPLAT  
LOT 4R, BLOCK A  
WAL-MART  
SUPERCENTER  
ADDITION**

BEING 2.003 ACRES  
SITUATED IN THE E.P. GAINES CHISUM SURVEY  
ABSTRACT NUMBER 64  
BEING ALL OF LOT 4, BLOCK A OF WAL-MART  
SUPERCENTER ADDITION, AN ADDITION TO THE  
CITY OF ROCKWALL, AS RECORDED IN  
CABINET C, PAGE 305, P.R.R.C.T.  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
DECEMBER 2023



14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321  
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting

Date: December 7, 2023

Project No.: TR-157-23

**OWNER/DEVELOPER**  
Travelers Plaza, LLC  
1324 Somerset Court  
Rockwall, Texas 75032

**ENGINEER**  
Triangle Engineering  
1782 W McDermott Drive  
Allen, Texas 75013



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 607 White Hills Drive, Rockwall, TX

SUBDIVISION Wal-Mart Super Center Addition LOT 4 BLOCK A

GENERAL LOCATION Southeast corner of White Hills Drive & Suncrest Drive

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C(Commercial/IH30 Overlay) CURRENT USE Vacant lot

PROPOSED ZONING C(Commercial/IH30 Overlay) PROPOSED USE Retail & Carwash

ACREAGE 2.003 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Travelers Plaza LLC	<input checked="" type="checkbox"/> APPLICANT	Tarina Group, Inc
CONTACT PERSON	Michael Eido	CONTACT PERSON	Hani Elkady
ADDRESS	1324 Somerset Court	ADDRESS	3120 Ashwood Ct.
CITY, STATE & ZIP	Rockwall, Texas 75032	CITY, STATE & ZIP	Richardson, Texas 75082
PHONE	972-800-4443	PHONE	214-213-7192
E-MAIL	m.eido@hotmail.com	E-MAIL	elkady422@aol.com

## NOTARY VERIFICATION [REQUIRED]

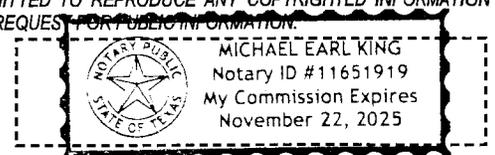
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Eido [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June 2024 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June, 2024

OWNER'S SIGNATURE

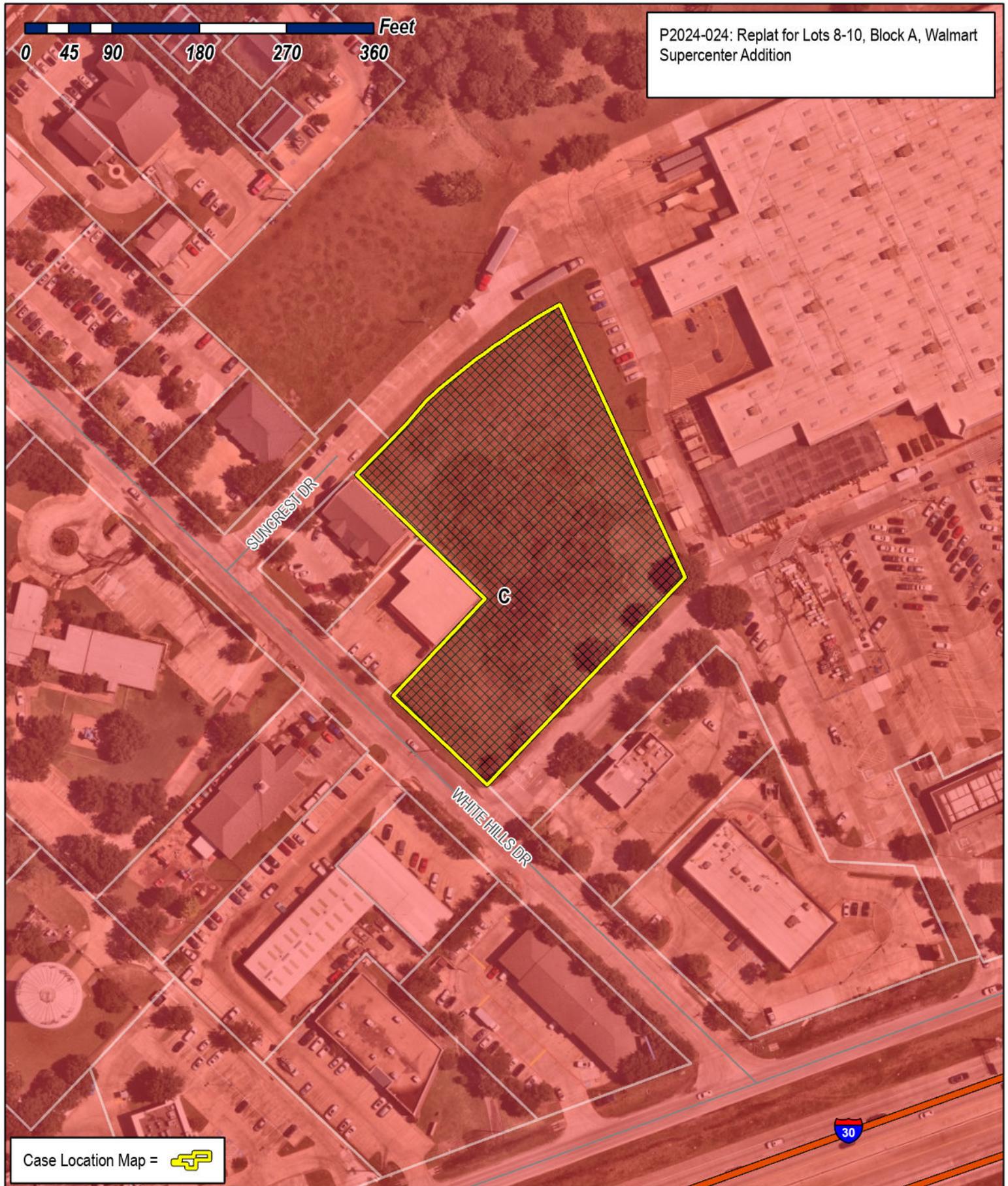
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 11-22-2025



P2024-024: Replat for Lots 8-10, Block A, Walmart Supercenter Addition



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





STATE OF TEXAS  
COUNTY OF ROCKWALL

BEING a 2.003 acre tract of land situated in the E. P. Gaines Chisum Survey, Abstract Number 64, City of Rockwall, Rockwall County, Texas, and same being all of Lot 4, Block A, of Wal-Mart Supercenter Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Page 305, Public Records, Rockwall County, Texas (P.R.R.C.T.), and same being all of a tract of land described to Traveler's Plaza, LLC, by the Deed recorded in Instrument Number 20230000013141, P.R.R.C.T., and same being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found for the most westerly corner of Lot 2, Block A, of said Wal-Mart Supercenter Addition, and being a point on the northeasterly right-of-way boundary line of White Hills Drive (60' right-of-way);

THENCE North 46 degrees 02 minutes 30 seconds West along the northeasterly right-of-way boundary line of said White Hills Drive, a distance of 133.33 feet to a point for corner, from which a 1/2" iron rod found bears South 14 degrees 26 minutes 21 seconds West a distance of 0.23 feet, and same being the most southerly corner of Lot 2, Block B, of Lakewood Park Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Slide B, Page 10, P.R.R.C.T.;

THENCE along a common boundary line of said Lot 2 and said Lot 4, the following courses and distances:

North 43 degrees 33 minutes 43 seconds East a distance of 139.93 feet to a point for corner, from which a 1/2" iron rod found bears South 29 degrees 21 minutes 28 seconds East a distance of 0.26 feet;

North 46 degrees 02 minutes 28 seconds West a distance of 184.99 feet to a 1/2" iron rod found with a cap stamped "JBI" for the most northerly corner of said Lot 2, and same being a point on the southeasterly right-of-way boundary line of Suncrest Drive (60' right-of-way);

THENCE along a common boundary line of said Lot 4, and the southeasterly right-of-way boundary line of said Suncrest Drive, the following courses and distances:

North 43 degrees 15 minutes 10 seconds East a distance of 52.18 feet to a 1/2" iron rod found for corner, and same being the beginning of a curve to the right with a central angle of 17 degrees 44 minutes 52 seconds, and a radius of 720.00 feet whose chord bears North 52 degrees 23 minutes 31 seconds East a chord distance of 222.13 feet;

Along said curve and arc distance of 223.03 feet to a point for corner, from which a 5/8" iron rod found bears North 32 degrees 54 minutes 38 seconds East a distance of 0.33 feet;

THENCE along a common boundary line of said Lot 2 and said Lot 4, the following courses and distances:

South 24 degrees 41 minutes 28 seconds East a distance of 308.53 feet to a 1/2" iron rod found with a cap stamped "CEI" for corner;

South 43 degrees 57 minutes 30 seconds West a distance of 299.51 feet to the POINT OF BEGINNING containing 2.003 acres (87,260 square feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT we Travelers Plaza, LLC do hereby adopt this plat designating the hereinabove described property as Wal-Mart Supercenter Addition, an addition to the City of Rockwall, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the constructions, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling without the necessity at any time of procuring the permission of anyone. This plat approved subject to the platting ordinances, rules, regulations and resolutions of the City of Rockwall, Texas.

We further understand the following:

1. No building shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other growths or improvements which in any way endanger or interfere with construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets or improvements.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities and maintenance to provided drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house, dwelling, unit or other structure shall be constructed on any lot in the addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with required base and paving, curb and gutter, water and sewer, drainage structures, storm structures and storm sewers all according to the specifications of the City of Rockwall.

Witness, my hand at \_\_\_\_\_, \_\_\_\_\_, This \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signature - Travelers Plaza, LLC Representative

Printed Name

Title / Date

### SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, David F. McCullah, do hereby certify that i prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision.

\_\_\_\_\_  
David F. McCullah  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 4023

DATE: \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared David F. McCullah, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

### SUBDIVISION STATEMENT

Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulations of Subdivisions and property Development of the Texas Local Government Code and shall be subject to the City of Rockwall withholding utilities and building permits.

### PUBLIC IMPROVEMENT STATEMENT

It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under Subdivision Ordinance of the City of Rockwall.

### DRAINAGE AND DETENTION EASEMENTS

The property owner shall be responsible for maintaining, repairing and replacing and shall bear sole liability of all systems within the drainage and detention easements.

### FIRE LANES

All Fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane Improvements.

### STREET APPURTENANCES

All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired and replaced by Home Owners Association.

CERTIFICATE OF APPROVAL:
Approved:
I hereby certify that the above and foregoing subdivision plat, being an addition to the City of Rockwall, Texas, was approved by City Council on the City of Rockwall, Texas, on the _____ day of _____, 20____.
_____ Mayor, City of Rockwall
_____ Director of Planning and Zoning
_____ Planning and Zoning Commission Chariman
_____ City Engineer
_____ City Secretary



14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321  
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting  
Date: December 7, 2023 Project No.: TR-157-23

OWNER/DEVELOPER  
Travelers Plaza, LLC  
1324 Somerset Court  
Rockwall, Texas 75032

ENGINEER  
Triangle Engineering  
1782 W McDermott Drive  
Allen, Texas 75013

# REPLAT LOT 4R, BLOCK A WAL-MART SUPERCENTER ADDITION

BEING 2.003 ACRES  
SITUATED IN THE E.P. GAINES CHISUM SURVEY  
ABSTRACT NUMBER 64  
BEING ALL OF LOT 4, BLOCK A OF WAL-MART  
SUPERCENTER ADDITION, AN ADDITION TO THE  
CITY OF ROCKWALL, AS RECORDED IN  
CABINET C, PAGE 305, P.R.R.C.T.  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
DECEMBER 2023



T: 469.784.9321 | W: TraverseLandSurveying.com | O: 14200 Midway Road, Suite 130, Dallas, TX 75244

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North:7,019,228.6017'

East:2,591,162.1707'

Segment# 1: Line

Course: N43° 15' 10.49"E

Length: 52.180'

North: 7,019,266.6063'

East: 2,591,197.9255'

Segment# 2: Curve

Length: 223.025'

Radius: 720.000'

Delta: 17.7478 (d)

Tangent: 112.413'

Chord: 222.135'

Course: N52° 23' 31.49"E

Course In: S46° 28' 54.51"E

Course Out: N28° 44' 02.51"W

RP North: 7,018,770.8252'

East: 2,591,720.0376'

End North: 7,019,402.1650'

East: 2,591,373.9017'

Segment# 3: Line

Course: S24° 41' 27.51"E

Length: 308.530'

North: 7,019,121.8426'

East: 2,591,502.7820'

Segment# 4: Line

Course: S43° 57' 30.49"W

Length: 299.510'

North: 7,018,906.2424'

East: 2,591,294.8811'

Segment# 5: Line

Course: N46° 02' 29.51"W

Length: 133.330'

North: 7,018,998.7917'

East: 2,591,198.9044'

Segment# 6: Line

Course: N43° 33' 43.49"E

Length: 139.930'

North: 7,019,100.1889'

East: 2,591,295.3358'

Segment# 7: Line

Course: N46° 02' 27.51"W

Length: 184.994'

North: 7,019,228.6013'

East: 2,591,162.1704'

Perimeter: 1,341.500'

Area: 87,260.43Sq.Ft.

Error Closure: 0.0005

Course: S34° 14' 34.24"W

Error North : -0.00040

East: -0.00027

Precision 1: 2,682,998.000



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** July 1, 2024  
**APPLICANT:** Hani Elkady; *Tarina Group, Inc.*  
**CASE NUMBER:** P2024-024; *Replat for Lot 8, Block A, Walmart Supercenter Addition*

---

### SUMMARY

Consider a request by Hani Elkady of Tarina Group, Inc. on behalf of Michael Eido of Travelers Plaza, LLC for the approval of a Replat for Lot 8, Block A, Walmart Supercenter Addition on a 2.003-acre parcel of land identified Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated along the east side of White Hills Drive south of Suncrest Drive, and take any action necessary.

### PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Replat for a 2.003-acre parcel of land (*i.e. Lot 4, Block A, Wal-Mart Super Center Addition*) for the purpose of establishing the required easements for the development of a *Carwash and Commercial Retail Shopping Center* on the subject property.
- Background. On November 7, 1960 the subject property was annexed by *Ordinance 60-03 [Case No. A1960-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to City's historic zoning maps, at some point between November 7, 1960 and January 3, 1972, the subject property was rezoned from Agricultural (AG) District to Commercial (C) District. On February 1, 2016, the City Council approved a Specific Use Permit (SUP) [*Case No. Z2015-039*] for a *Residence Hotel*; however, this Specific Use Permit (SUP) has since expired. On April 11, 2023, the Planning and Zoning Commission approved a site plan (*Case No. SP2023-011*) for a *Carwash and Commercial/Retail Shopping Center*.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If the City Council chooses to approve of the Replat for *Lots 8, Block A, Wal-Mart Super Center Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to the filing of this Replat; and,

- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On June 25, 2024, the Planning and Zoning Commission recommended approval of the Replat by a vote of 6-0, with one (1) vacant seat.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 607 White Hills Drive, Rockwall, TX

SUBDIVISION Wal-Mart Super Center Addition LOT 4 BLOCK A

GENERAL LOCATION Southeast corner of White Hills Drive & Suncrest Drive

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C(Commercial/IH30 Overlay) CURRENT USE Vacant lot

PROPOSED ZONING C(Commercial/IH30 Overlay) PROPOSED USE Retail & Carwash

ACREAGE 2.003 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Travelers Plaza LLC	<input checked="" type="checkbox"/> APPLICANT	Tarina Group, Inc
CONTACT PERSON	Michael Eido	CONTACT PERSON	Hani Elkady
ADDRESS	1324 Somerset Court	ADDRESS	3120 Ashwood Ct.
CITY, STATE & ZIP	Rockwall, Texas 75032	CITY, STATE & ZIP	Richardson, Texas 75082
PHONE	972-800-4443	PHONE	214-213-7192
E-MAIL	m.eido@hotmail.com	E-MAIL	elkady422@aol.com

## NOTARY VERIFICATION [REQUIRED]

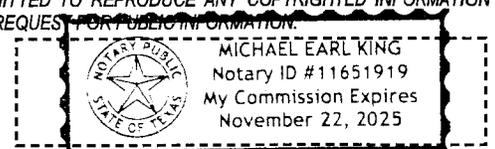
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Eido [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June 2024 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June 2024

OWNER'S SIGNATURE

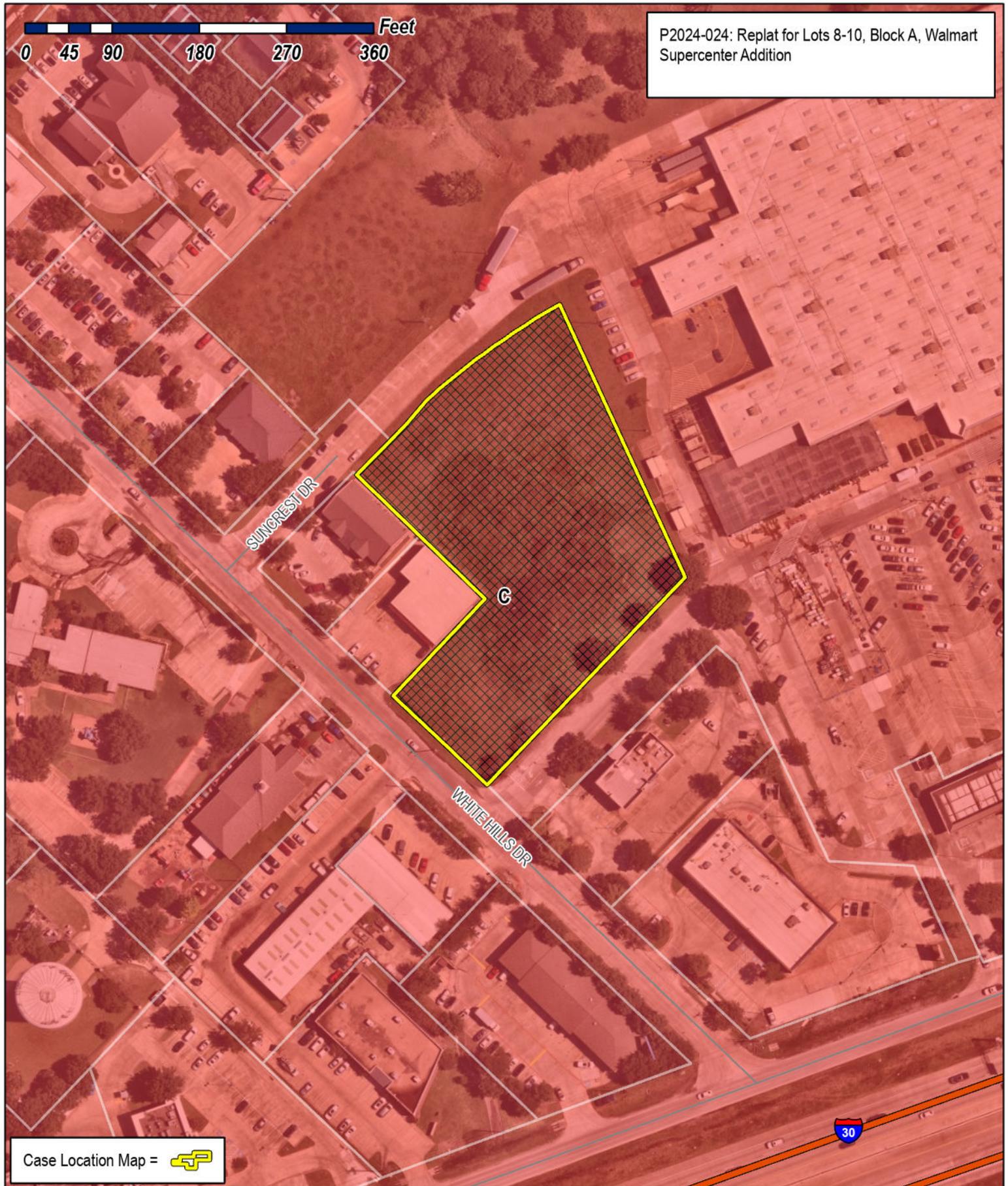
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 11-22-2025



P2024-024: Replat for Lots 8-10, Block A, Walmart Supercenter Addition



Case Location Map = 

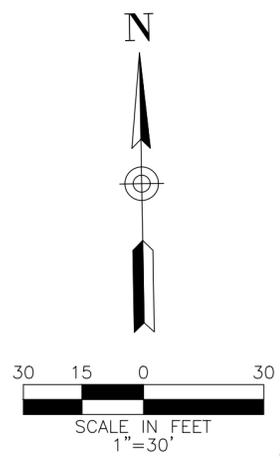


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



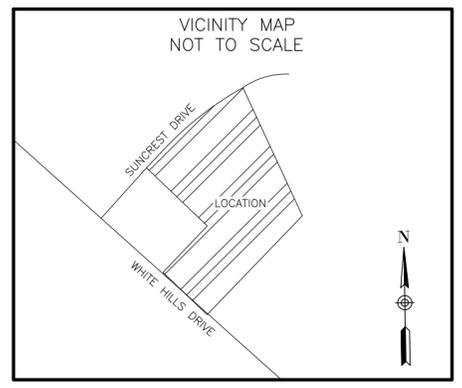
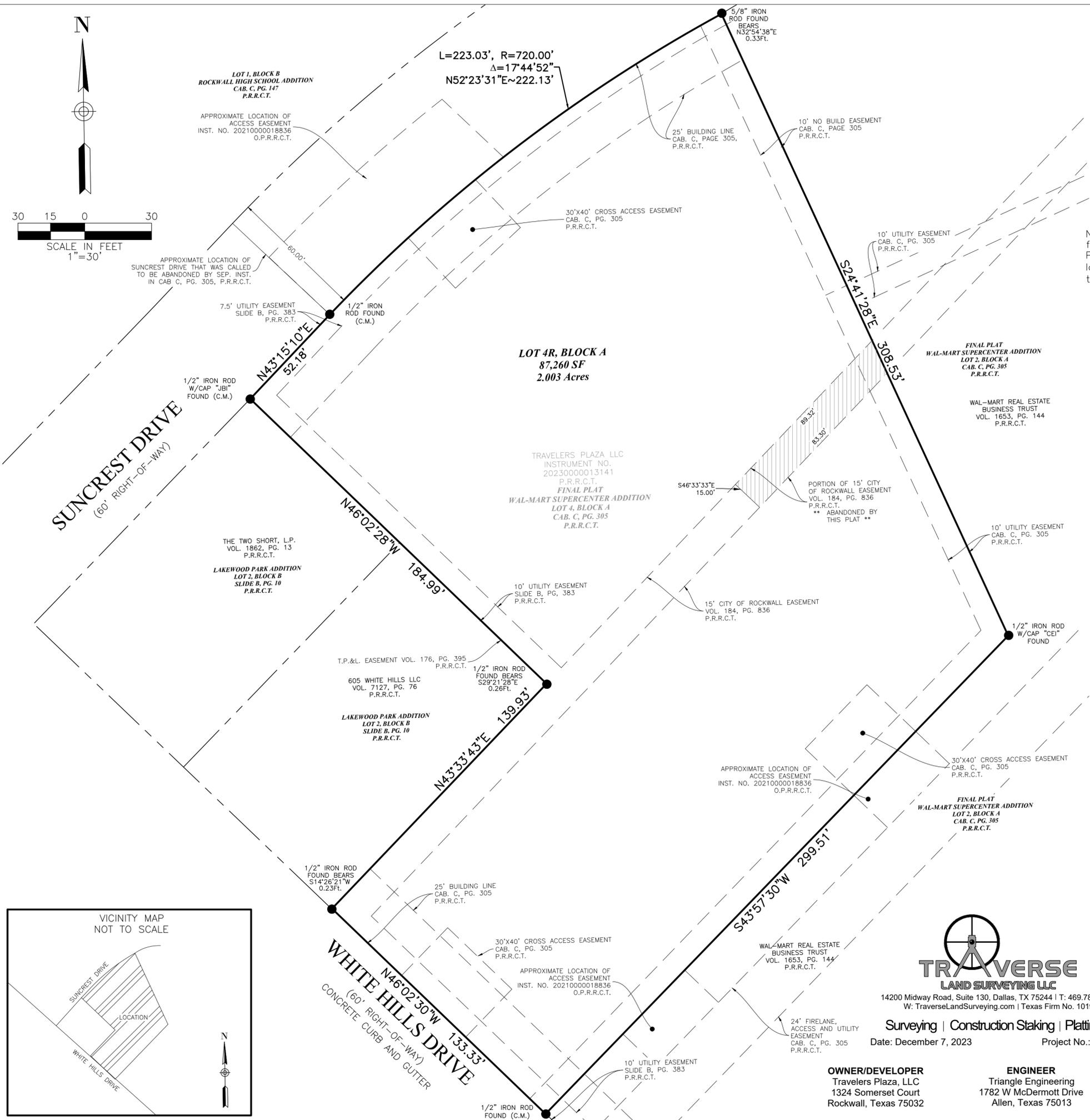


**GENERAL NOTES**

1. The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Allterra RTK Network and adjusted to surface using a scale factor of 1.000146135.
2. Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
3. The purpose of this plat is to abandon a portion of an existing easement.

**FLOOD NOTES**

No portion of the subject property shown hereon lies within the 100 year flood hazard area according to the Flood Insurance Rate Map, Community Panel No. 48397C0040L, dated September 26, 2008. The subject property is located in the area designated as Zone "X", (areas determined to be outside the 0.2% annual chance floodplain).



**TRaverse**  
LAND SURVEYING LLC  
14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321  
W: TraverseLandSurveying.com | Texas Firm No. 10194631  
Surveying | Construction Staking | Platting  
Date: December 7, 2023 Project No.: TR-157-23

**OWNER/DEVELOPER**  
Travelers Plaza, LLC  
1324 Somerset Court  
Rockwall, Texas 75032

**ENGINEER**  
Triangle Engineering  
1782 W McDermott Drive  
Allen, Texas 75013

**REPLAT  
LOT 4R, BLOCK A  
WAL-MART  
SUPERCENTER  
ADDITION**

BEING 2.003 ACRES  
SITUATED IN THE E.P. GAINES CHISUM SURVEY  
ABSTRACT NUMBER 64  
BEING ALL OF LOT 4, BLOCK A OF WAL-MART  
SUPERCENTER ADDITION, AN ADDITION TO THE  
CITY OF ROCKWALL, AS RECORDED IN  
CABINET C, PAGE 305, P.R.R.C.T.  
CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS  
DECEMBER 2023

STATE OF TEXAS  
COUNTY OF ROCKWALL

BEING a 2.003 acre tract of land situated in the E. P. Gaines Chisum Survey, Abstract Number 64, City of Rockwall, Rockwall County, Texas, and same being all of Lot 4, Block A, of Wal-Mart Supercenter Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Page 305, Public Records, Rockwall County, Texas (P.R.R.C.T.), and same being all of a tract of land described to Traveler's Plaza, LLC, by the Deed recorded in Instrument Number 20230000013141, P.R.R.C.T., and same being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found for the most westerly corner of Lot 2, Block A, of said Wal-Mart Supercenter Addition, and being a point on the northeasterly right-of-way boundary line of White Hills Drive (60' right-of-way);

THENCE North 46 degrees 02 minutes 30 seconds West along the northeasterly right-of-way boundary line of said White Hills Drive, a distance of 133.33 feet to a point for corner, from which a 1/2" iron rod found bears South 14 degrees 26 minutes 21 seconds West a distance of 0.23 feet, and same being the most southerly corner of Lot 2, Block B, of Lakewood Park Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Slide B, Page 10, P.R.R.C.T.;

THENCE along a common boundary line of said Lot 2 and said Lot 4, the following courses and distances:

North 43 degrees 33 minutes 43 seconds East a distance of 139.93 feet to a point for corner, from which a 1/2" iron rod found bears South 29 degrees 21 minutes 28 seconds East a distance of 0.26 feet;

North 46 degrees 02 minutes 28 seconds West a distance of 184.99 feet to a 1/2" iron rod found with a cap stamped "JBI" for the most northerly corner of said Lot 2, and same being a point on the southeasterly right-of-way boundary line of Suncrest Drive (60' right-of-way);

THENCE along a common boundary line of said Lot 4, and the southeasterly right-of-way boundary line of said Suncrest Drive, the following courses and distances:

North 43 degrees 15 minutes 10 seconds East a distance of 52.18 feet to a 1/2" iron rod found for corner, and same being the beginning of a curve to the right with a central angle of 17 degrees 44 minutes 52 seconds, and a radius of 720.00 feet whose chord bears North 52 degrees 23 minutes 31 seconds East a chord distance of 222.13 feet;

Along said curve and arc distance of 223.03 feet to a point for corner, from which a 5/8" iron rod found bears North 32 degrees 54 minutes 38 seconds East a distance of 0.33 feet;

THENCE along a common boundary line of said Lot 2 and said Lot 4, the following courses and distances:

South 24 degrees 41 minutes 28 seconds East a distance of 308.53 feet to a 1/2" iron rod found with a cap stamped "CEI" for corner;

South 43 degrees 57 minutes 30 seconds West a distance of 299.51 feet to the POINT OF BEGINNING containing 2.003 acres (87,260 square feet) of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT we Travelers Plaza, LLC do hereby adopt this plat designating the hereinabove described property as Wal-Mart Supercenter Addition, an addition to the City of Rockwall, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the constructions, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling without the necessity at any time of procuring the permission of anyone. This plat approved subject to the platting ordinances, rules, regulations and resolutions of the City of Rockwall, Texas.

We further understand the following:

1. No building shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other growths or improvements which in any way endanger or interfere with construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets or improvements.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities and maintenance to provided drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house, dwelling, unit or other structure shall be constructed on any lot in the addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with required base and paving, curb and gutter, water and sewer, drainage structures, storm structures and storm sewers all according to the specifications of the City of Rockwall.

Witness, my hand at \_\_\_\_\_, \_\_\_\_\_, This \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signature - Travelers Plaza, LLC Representative

Printed Name

Title / Date

## SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, David F. McCullah, do hereby certify that i prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision.

\_\_\_\_\_  
David F. McCullah  
REGISTERED PROFESSIONAL LAND SURVEYOR  
TEXAS REGISTRATION NO. 4023

DATE: \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared David F. McCullah, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public in and for the State of Texas

## SUBDIVISION STATEMENT

Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulations of Subdivisions and property Development of the Texas Local Government Code and shall be subject to the City of Rockwall withholding utilities and building permits.

## PUBLIC IMPROVEMENT STATEMENT

It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under Subdivision Ordinance of the City of Rockwall.

## DRAINAGE AND DETENTION EASEMENTS

The property owner shall be responsible for maintaining, repairing and replacing and shall bear sole liability of all systems within the drainage and detention easements.

## FIRE LANES

All Fire lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane Improvements.

## STREET APPURTENANCES

All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired and replaced by Home Owners Association.

CERTIFICATE OF APPROVAL:

Approved:

I hereby certify that the above and foregoing subdivision plat, being an addition to the City of Rockwall, Texas, was approved by City Council on the City of Rockwall, Texas, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Mayor, City of Rockwall

\_\_\_\_\_  
Director of Planning and Zoning

\_\_\_\_\_  
Planning and Zoning Commission Chariman

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
City Secretary



14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321  
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting

Date: December 7, 2023

Project No.: TR-157-23

**OWNER/DEVELOPER**  
Travelers Plaza, LLC  
1324 Somerset Court  
Rockwall, Texas 75032

**ENGINEER**  
Triangle Engineering  
1782 W McDermott Drive  
Allen, Texas 75013

# REPLAT LOT 4R, BLOCK A WAL-MART SUPERCENTER ADDITION

BEING 2.003 ACRES

SITUATED IN THE E.P. GAINES CHISUM SURVEY  
ABSTRACT NUMBER 64

BEING ALL OF LOT 4, BLOCK A OF WAL-MART  
SUPERCENTER ADDITION, AN ADDITION TO THE  
CITY OF ROCKWALL, AS RECORDED IN  
CABINET C, PAGE 305, P.R.R.C.T.

CITY OF ROCKWALL,  
ROCKWALL COUNTY, TEXAS

DECEMBER 2023



T: 469.784.9321 | W: TraverseLandSurveying.com | O: 14200 Midway Road, Suite 130, Dallas, TX 75244

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,019,228.6017'

East: 2,591,162.1707'

Segment# 1: Line

Course: N43° 15' 10.49"E

Length: 52.180'

North: 7,019,266.6063'

East: 2,591,197.9255'

Segment# 2: Curve

Length: 223.025'

Radius: 720.000'

Delta: 17.7478 (d)

Tangent: 112.413'

Chord: 222.135'

Course: N52° 23' 31.49"E

Course In: S46° 28' 54.51"E

Course Out: N28° 44' 02.51"W

RP North: 7,018,770.8252'

East: 2,591,720.0376'

End North: 7,019,402.1650'

East: 2,591,373.9017'

Segment# 3: Line

Course: S24° 41' 27.51"E

Length: 308.530'

North: 7,019,121.8426'

East: 2,591,502.7820'

Segment# 4: Line

Course: S43° 57' 30.49"W

Length: 299.510'

North: 7,018,906.2424'

East: 2,591,294.8811'

Segment# 5: Line

Course: N46° 02' 29.51"W

Length: 133.330'

North: 7,018,998.7917'

East: 2,591,198.9044'

Segment# 6: Line

Course: N43° 33' 43.49"E

Length: 139.930'

North: 7,019,100.1889'

East: 2,591,295.3358'

Segment# 7: Line

Course: N46° 02' 27.51"W

Length: 184.994'

North: 7,019,228.6013'

East: 2,591,162.1704'

Perimeter: 1,341.500'

Area: 87,260.43Sq.Ft.

Error Closure: 0.0005

Course: S34° 14' 34.24"W

Error North : -0.00040

East: -0.00027

Precision 1: 2,682,998.000



DATE: July 2, 2024

TO: Hani Elkady  
3120 Ashwood Ct.  
Richardson, Texas 75082

CC: Michael Eido  
1324 Somerset Court  
Rockwall, Texas 75032

FROM: Bethany Ross  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: P2024-024; *Replat for Lot 8, Block A, Walmart Supercenter Addition*

Hani:

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on July 1, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All technical comments from City Staff (i.e. Engineering, Planning and Fire Department) shall be addressed prior to the filing of this Replat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On June 25, 2024, Planning and Zoning Commission approved a motion to recommend approval of the Replat by a vote of 6-0, with one (1) vacant seat.

City Council

On July 1, 2024, the City Council approved a motion to approve the Replat by a vote of 6-0, with Council Member Campbell absent.

Prior to submitting the required materials for filing, please send or submit a physical or digital copy of the plat to allow staff to ensure that all outstanding comments have been addressed. Once staff has verified all comments have been addressed you will be required to submit -- *at a minimum* -- the following:

- (1) One (1) set(s) of mylar copies of the plat.
- (2) One (1) tax certificate for each property being platted that demonstrates that the current years taxes have been paid.
- (3) A check for the filing fees (See below) made out to the *Rockwall County Clerk's Office*.

**FILING FEES:**

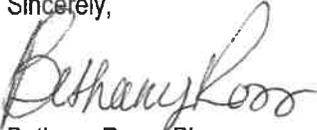
**Mylars:** \$50.00 per page for the 1<sup>st</sup> set only (*No charge for additional sets*).

**Tax Certificates:** \$30.00 for the 1<sup>st</sup> certificate and \$4.00 for each additional certificate.

Please note that the filling fee amount above is only an estimate and that filing fees are subject to change based on the requirements of the *Rockwall County Clerk's Office*. In addition, if you are submitting mylars between September 1<sup>st</sup> and December 31<sup>st</sup>, you will be required to submit the current year's tax receipt showing that all assessed taxes have been paid. If taxes have not been assessed on the property being platted, a statement/letter from the *Rockwall Central Appraisal District (RCAD)* and an additional \$4.00 filing fee will be required to be submitted to staff.

All plats must be submitted to the City with the required filing fees and tax certificates a minimum of 180-days from the approval date. Failure to adhere to this deadline, will result in the plat being expired in accordance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances. Should you have any questions or concerns regarding your plat or the platting process, please feel free to contact me a (972) 772-6488.

Sincerely,

A handwritten signature in cursive script that reads "Bethany Ross".

Bethany Ross, *Planner*  
City of Rockwall Planning and Zoning Department