



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **SP2024-004**

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **VIGOR WAY**

SUBDIVISION **ROCKWALL TOWNE CENTER** LOT **1** BLOCK **A**

GENERAL LOCATION **CENTERED IN VIGOR WAY BETWEEN I-30 & RIDGE RD.**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **COMMERCIAL** CURRENT USE **N/A**

PROPOSED ZONING **COMMERCIAL** PROPOSED USE **OFFICE**

ACREAGE **1.74 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER <b>PRBBS, LLC.</b>	<input checked="" type="checkbox"/> APPLICANT <b>CARROLL ARCH. INC.</b>
CONTACT PERSON <b>BRIAN BERRY</b>	CONTACT PERSON <b>JEFF CARROLL</b>
ADDRESS <b>2 ESSEX COURT</b>	ADDRESS <b>750 E. INTERSTATE 30 SUITE 110</b>
CITY, STATE & ZIP <b>HEATH, TX 75032</b>	CITY, STATE & ZIP <b>ROCKWALL, TX 75087</b>
PHONE <b>469.583.5976</b>	PHONE <b>214.632.1762</b>
E-MAIL <b>bberry@lonefirm.com</b>	E-MAIL <b>JCE@CARROLLARCH.COM</b>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeff Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1125 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2024

Applicant's OWNER'S SIGNATURE

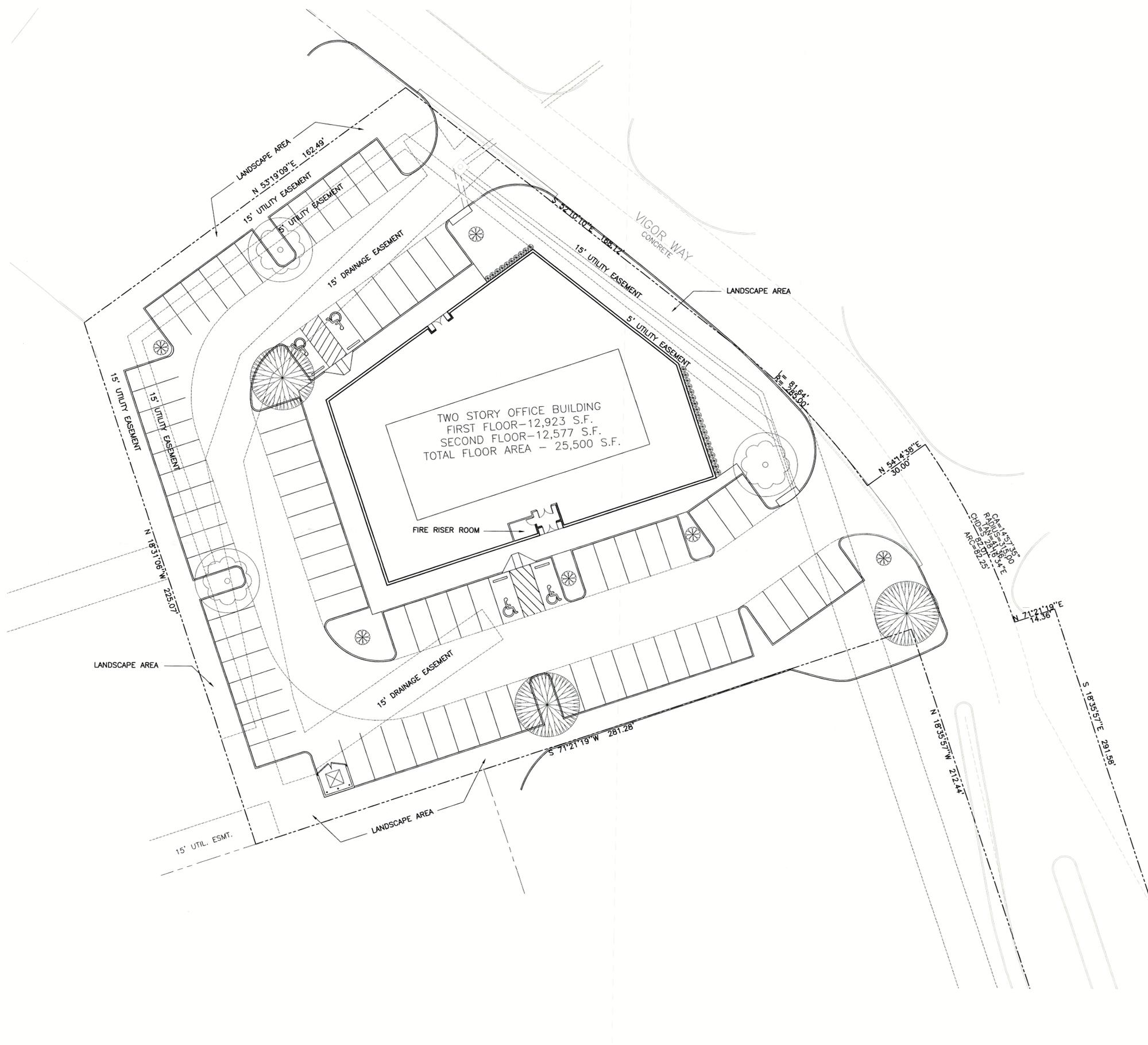
*Jeff Carroll*  
*M. Murphy*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS









SITE DATA TABLE	
SITE AREA	1.44 ACRES (62,462 S.F.)
ZONING	COMMERCIAL
PROPOSED USE	OFFICE
BUILDING AREA: FIRST FLOOR - SECOND FLOOR -	25,500 S.F. 12,923 S.F. 12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
FLOOR TO AREA RATIO	
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	1.44 ACRES (62,462 S.F.)
REQUIRED LANDSCAPE AREA - 20% OF 62,462 S.F.	12,492 S.F.
PROVIDED LANDSCAPE AREA - 25.2% OF 62,462 S.F.	15,750 S.F.
IMPERVIOUS COVERAGE - 74.8% OF 62,462 S.F.	46,712 S.F.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (DETENTION POND)
	DESERT WILLOW
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

- GENERAL NOTES:**
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
  - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
  - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
  - ALL PARKING SPACES ARE WITHIN 80' OF A TREE

CITY OF ROCKWALL CASE NUMBER: SP2024-XXX
LEGAL DESCRIPTION AND/OR ADDRESS: LOT 1, BLOCK A REPLAT OF ROCKWALL TOWNE CENTRE LOT 8 & LOT 9 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087
OWNER: PRBBS, LLC 2 Essex Court Heath, TX 75032 ATTN: Brian Berry
APPLICANT: Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll
SITE PLAN SIGNATURE BLOCK: APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____. WITNESS OUR HANDS, this _____ day of _____.
Planning & Zoning Commission, Chairman Director of Planning and Zoning

ISSUE:	
SITE PLAN:	02-16-2024

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NEW OFFICE DEVELOPMENT  
**VIGOR WAY PLAZA**  
Vigor Way,  
Rockwall, Texas 75087

PRBBS, LLC.  
2 ESSEX COURT  
HEATH, TX 75032



750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

**LANDSCAPE  
SITE PLAN**

DATE: FEB 2024 SHEET NO.  
PROJECT NO: 2023100  
DRAWN BY: ZJ  
CHECKED BY:

**A100**



# DEVELOPMENT APPLICATION

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## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

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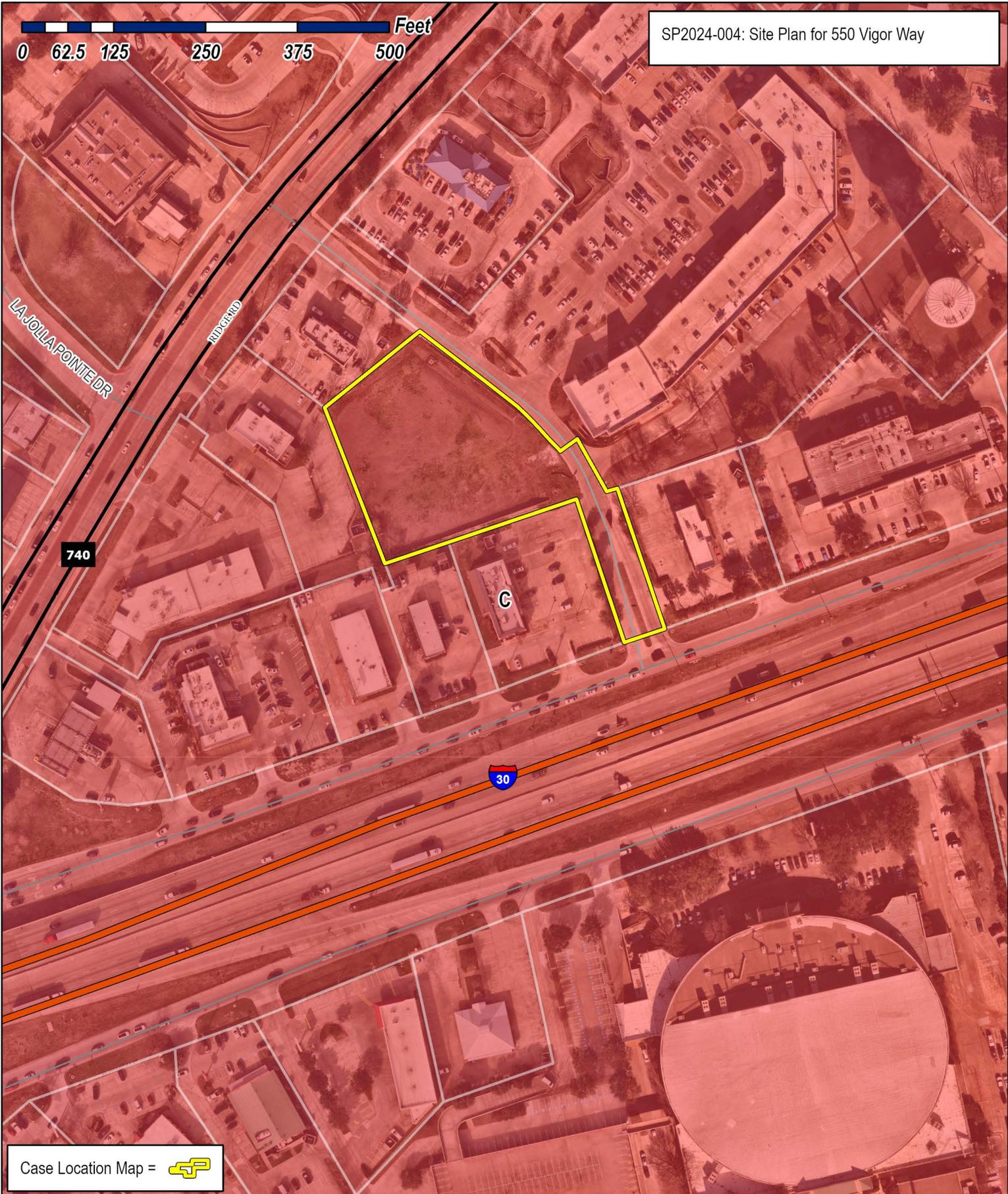
Applicant's OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 62.5 125 250 375 500 Feet

SP2024-004: Site Plan for 550 Vigor Way



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

FOR IRRIGATION SERVICE INSTALL:  
(1) 10"x1" TAPPING SLEEVE  
(1) 3/4" METER BOX  
INSTALL METER IN ROW.  
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

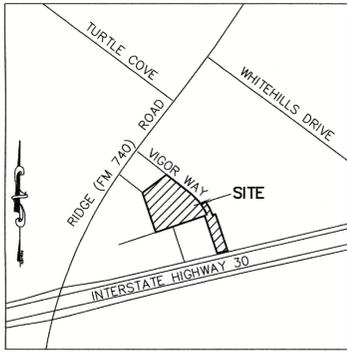
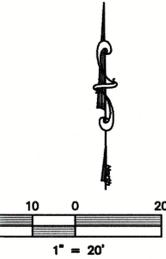
FOR DOMESTIC SERVICE INSTALL:  
(1) 10"x2" TAPPING SLEEVE  
(1) 2" WATER LINE  
(1) 2" METER BOX  
INSTALL METER IN ROW.  
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

CONNECT TO EX 8" SS TAP. INSTALL 8" TO 6" REDUCER W/ DBL CO & 15 LF OF PRIVATE 6" SDR-26

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 10" VALVE  
(1) 6" VALVE  
6" FIRE SPRINKLER LINE  
(C-900 CLASS 200 PVC DR14)

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 6" VALVE  
(1) FIRE HYDRANT ASSEMBLY

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 6" VALVE  
(1) FIRE HYDRANT ASSEMBLY



**SITE DATA:**  
LOT AREA: 1.74 Acres, 75,987 sq.ft.  
LOT COVERAGE: 17%  
FLOOR TO AREA RATIO: 5.88:1  
BUILDING AREA:  
1st Floor: 12,923 sq.ft.  
2nd Floor: 12,577 sq.ft.  
Total: 25,500 sq.ft.  
BUILDING HEIGHT: 2 STORY (30' MAX)  
PROPOSED FUTURE USE: OFFICE  
IMPERVIOUS AREA (including buildings): 59,269 sq.ft.  
ZONING: C2  
PARKING:  
Required: Office (1/300sf) = 85  
Handicap = 4  
Provided: Standard = 82  
Handicapped = 4  
Total Provided = 86  
LANDSCAPE AREA:  
Required: (20%) 15,197 sq.ft.  
Provided: 16,718 sq.ft.  
FIRESPRINKLER: YES  
\* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

VICINITY MAP NOT TO SCALE

**LEGEND**

- = PROPERTY LINE
- EX. SS- = EXISTING SANITARY SEWER LINE
- EX. W- = EXISTING WATER LINE
- ⊕FH = EXISTING FIRE HYDRANT
- ⊗WM = EXISTING WATER METER
- ⊙PP = EXISTING POWER POLE
- ⊙LP = EXISTING LIGHT POLE
- ⊙ = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = PROPOSED FIRELANE

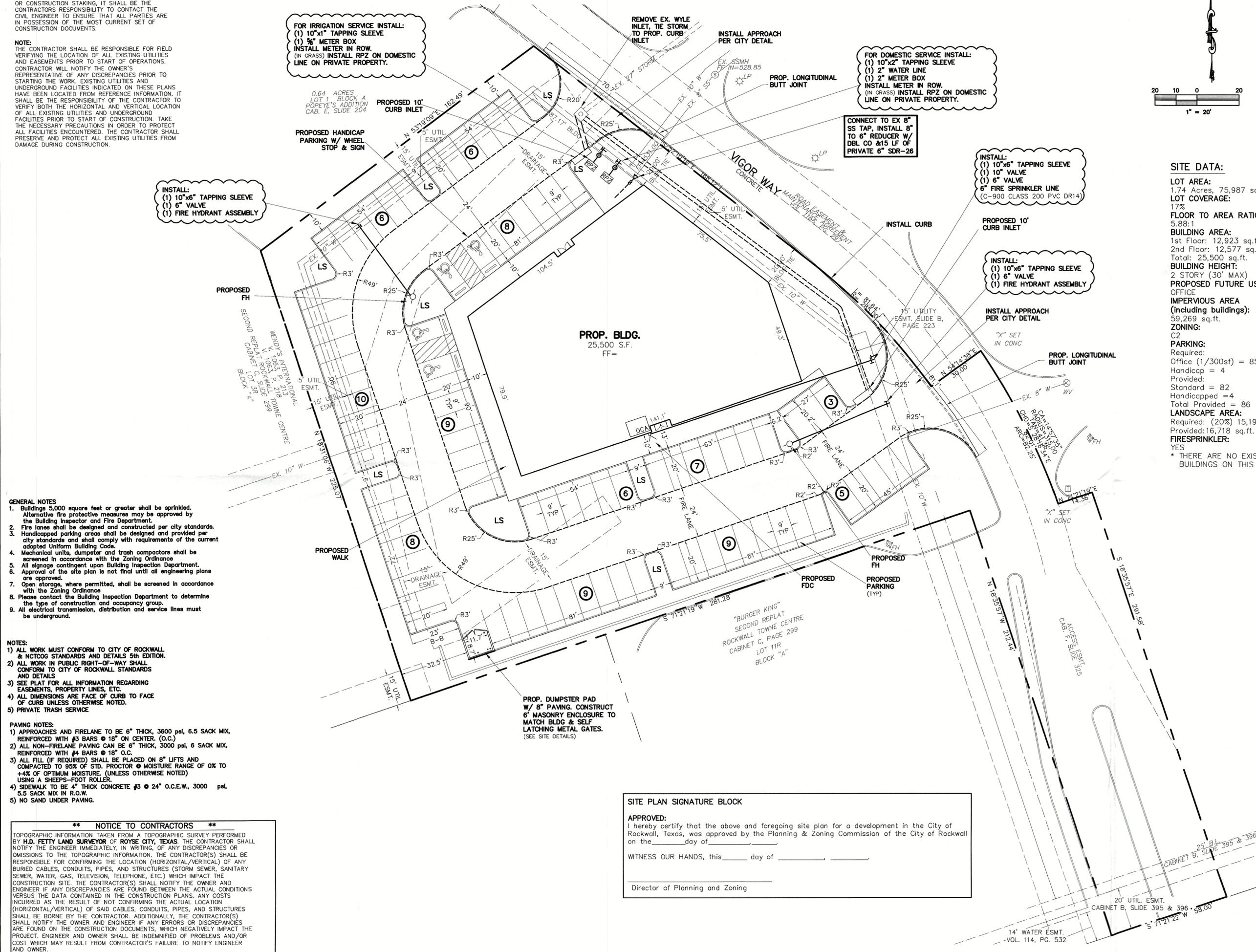
- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  - Fire lanes shall be designed and constructed per city standards.
  - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  - All signage contingent upon Building Inspection Department approval.
  - Approval of the site plan is not final until all engineering plans are approved.
  - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  - All electrical transmission, distribution and service lines must be underground.

- NOTES:**
- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
  - ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
  - SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - PRIVATE TRASH SERVICE

- PAVING NOTES:**
- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
  - NO SAND UNDER PAVING.

**\*\* NOTICE TO CONTRACTORS \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Director of Planning and Zoning

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



SP#: 2024-

**SITE PLAN**  
**VIGOR WAY OFFICE**

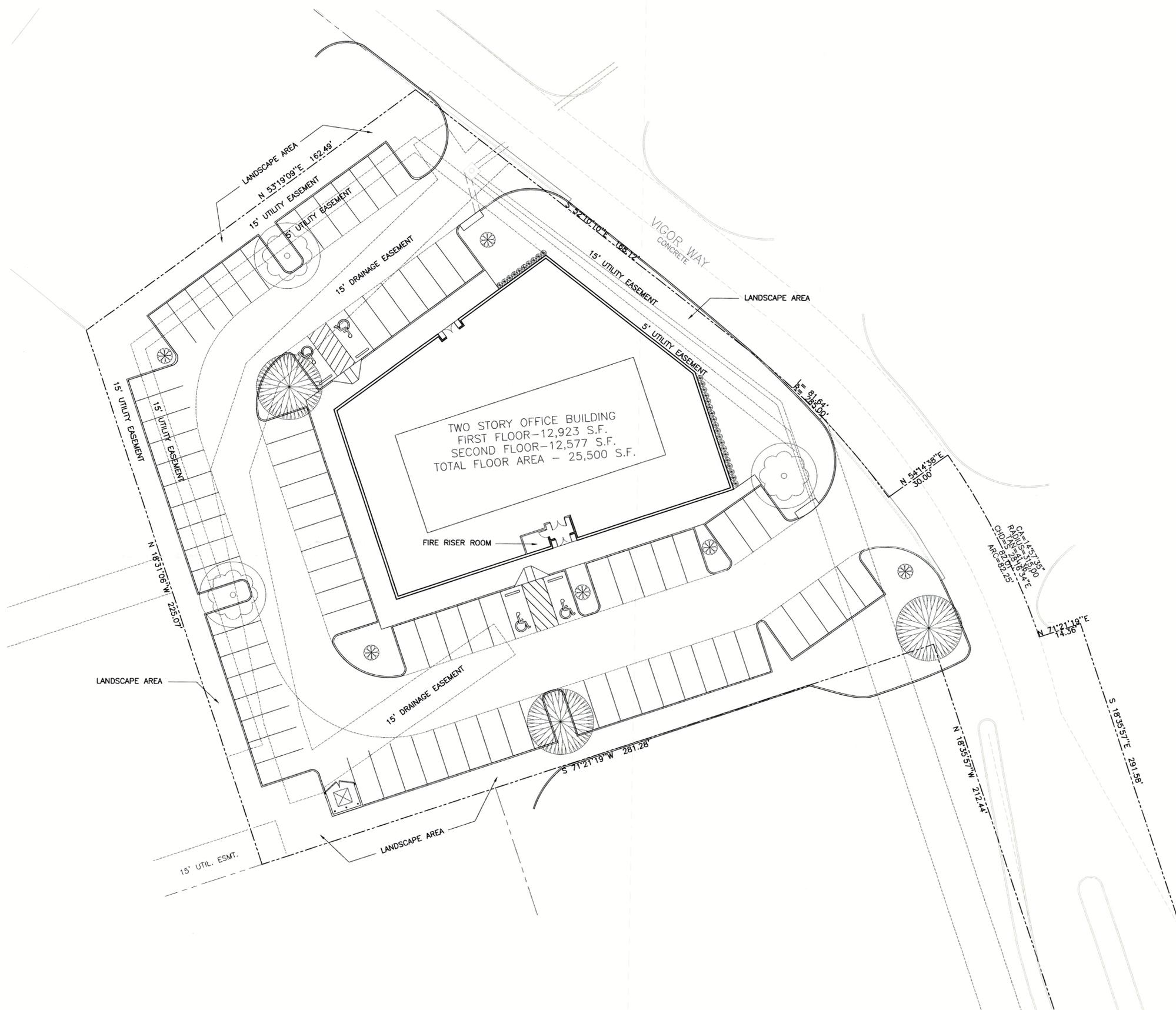
LOT 1, BLOCK A, 1.74 ACRES  
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE  
City of Rockwall, Rockwall County, Texas

owner  
PRBBS, LLC  
ATTN: BRIAN BERRY  
2 ESSEX COURT  
HEATH, TX 75032  
prepared by

MONK CONSULTING ENGINEERS  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2024-3 REG. NO.: F-21  
date: 2/15/24 scale: 1"=20' sheet: C10



SITE DATA TABLE	
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BUILDING AREA: FIRST FLOOR - SECOND FLOOR -	25,500 S.F. 12,923 S.F. 12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
FLOOR TO AREA RATIO	
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	1.44 ACRES (62,462 S.F.)
REQUIRED LANDSCAPE AREA - 20% OF 62,462 S.F.	12,492 S.F.
PROVIDED LANDSCAPE AREA - 25.2% OF 62,462 S.F.	15,750 S.F.
IMPERVIOUS COVERAGE - 74.8% OF 62,462 S.F.	46,712 S.F.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (DETENTION POND)
	DESERT WILLOW
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

- GENERAL NOTES:**
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
  - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
  - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
  - ALL PARKING SPACES ARE WITHIN 80' OF A TREE

CITY OF ROCKWALL CASE NUMBER:  
SP2024-XXX  
LEGAL DESCRIPTION AND OR ADDRESS:  
LOT 1, BLOCK A  
REPLAT OF ROCKWALL TOWNE CENTRE  
LOT 8 & LOT 9  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087

OWNER  
PRBBS, LLC  
2 Essex Court  
Heath, TX 75032  
ATTN: Brian Berry

APPLICANT  
Carroll Architects, Inc.  
750 E. Interstate 30 #110  
Rockwall, TX 75087  
P: 972-732-6085  
E: jc@carrollarch.com  
ATTN: Jeff Carroll

SITE PLAN SIGNATURE BLOCK  
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_.  
Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

ISSUE	DATE
SITE PLAN	02-16-2024

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NEW OFFICE DEVELOPMENT  
**VIGOR WAY PLAZA**  
Vigor Way,  
Rockwall, Texas 75087

PRBBS, LLC  
2 ESSEX COURT  
HEATH, TX 75032



750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

**LANDSCAPE  
SITE PLAN**

DATE: FEB 2024 SHEET NO.  
PROJECT NO: 2023100  
DRAWN BY: ZJ  
CHECKED BY:  
A100



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 2/23/2024

PROJECT NUMBER: SP2024-004  
PROJECT NAME: Site Plan for 700 Vigor Way  
SITE ADDRESS/LOCATIONS: 700 VIGOR WAY, ROCKWALL, 75087

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Brian Berry of PRBBS, LLC for the approval of a Site Plan for a commercial building on a 1.745-acre parcel of land being identified as Lot 1, Block A, BW Plus Executive Residency Addition City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 700 Vigor Way, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	02/23/2024	Approved w/ Comments

02/23/2024: SP2024-004; Site Plan for 700 Vigor Way

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Brian Berry of PRBBS, LLC for the approval of a Site Plan for a commercial building on a 1.745-acre parcel of land being identified as Lot 1, Block A, BW Plus Executive Residency Addition City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 700 Vigor Way.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (SP2024-004) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide the standard signature block on the site plan and photometric plan. The signature block on the site plan is missing the chairman signature line. (Subsection 03.04.A, of Article 11, UDC)

I.5 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.6 Site Plan

- 1) Indicate all building setbacks. (Subsection 03.14.B, of Article 11, UDC)
- 2) Indicate any screening for pad-mounted or ground mounted utility equipment. (Subsection 01.05.C, of Article 05, UDC)

M.7 Landscape Plan

- 1) Indicate any screening for pad-mounted or ground mounted utility equipment. (Subsection 01.05.C, of Article 05, UDC)
- 2) Indicate screening required for dumpsters. Dumpsters shall be four (4) sided, eight (8) foot in height, solid masonry enclosures that utilize the primary building materials of the associated building. Dumpster enclosures must incorporate a self-latching gate and require screening shrubs. (Subsection 06.02.D.7, of Article 05, UDC)
- 3) All parking spaces must be within 80' of a canopy tree. Please provide an exhibit showing conformance to this requirement. (Subsection 05.03.E, of Article 08, UDC)
- 4) Two (2) Canopy trees and four (4) accent trees are required for the frontage of IH-30. Disperse these trees throughout the site to meet this requirement. (Subsection 06.02.E,

Article 05, UDC)

- 5) Please provide shrubs adjacent to the parking spaces adjacent to Vigor Way.
- 6) Please provide a ten (10) foot landscape buffer with one (1) canopy and one (1) accent tree per 50-linear feet along Vigor Way.
- 7) Please define the landscape area call out on the plan.
- 8) Please provide headlight screening along the northern property line.

M.8 Building Elevations

- 1) Please dash in all roof top mounted equipment and demonstrate that it will be fully screened.
- 2) Subsection 04.01(C) of Article 05, District Development Standards, of the Unified Development Code (UDC) details the building articulation requirements. Currently, the proposed building does not meet the primary building facades. Specifically, the proposed buildings do not meet the projection standards of the UDC.
- 3) Subsection 06.02(C)(5) of Article 05, District Development Standards, of the UDC requires that "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." The proposed building does not meet this requirement.

M.9 Photometric Plan

- 1) Provide the same site data information as site plan.
- 2) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one footcandle. (Subsection 03.03.C, of Article 07, UDC)
- 3) All pole-mounted lights shall not exceed a height of 20 feet in the IH-30 Overlay District. Please revise mounting height for the eight (8) poles that exceed this mounting height. (Subsection 06.02.G, of Article 05, UDC)
- 4) Provide cut-sheets of light fixtures. (Subsection 03.03, of Article 07, UDC)

M.10 Staff has identified the following exception(s) associated with the proposed request: [1] Four (4)-Sided Architecture, and [2] Primary Building Articulation. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

M.11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on March 5, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on February 27, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on March 12, 2024.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	02/23/2024	Approved w/ Comments

- 02/23/2024: 1. Testable backflow.  
 2. 8"  
 3. This will be required to be an 8" water line.

4. Must pick up off site drainage flowing to this lot.
5. Dumpster area must drain to an oil/water separator.
6. This will be required to be an 8" water line.
7. There is an additional 5' easement south of the 15' easement. See attached plat.
8. 8"
9. Testable backflow.
10. Show.
11. Trees must be 10' from water line.
12. Tree is shown on top of fire line.
13. Landscape plan is subject to change with engineering plan review.
14. No trees within 10' of utilities.
15. Required landscape berms may not be top of City utilities.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	02/22/2024	Needs Review

02/22/2024: \* Domestic water service and irrigation service shall be equipped with a Double Check Assembly below ground at the water meter. RPZ is not allowed here  
 \* Dumpster enclosure does not meet the design requirements of the Unified Development Code, and shall also have a inlet that will drain into a oil/water separator before discharging to the storm water line/inlet.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	02/21/2024	Approved w/ Comments

02/21/2024: The minimum turning radius shall be in accordance with the following:

1. For buildings less than 30-feet and less than 3 stories in height:
  - a. 20-feet (inside) for turns less than or equal to 90 degrees
  - b. 25-feet (inside) for turns greater than 90 degrees
2. For buildings 30-feet or more and/or 3 or more stories in height minimum interior turning radius of 30 feet

For purposes of this section, the building height is measured from the lowest finished grade of the fire access roads to the point of accessible roof level, including parapet walls.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	02/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	02/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Bethany Ross	02/23/2024	Approved

No Comments

**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 8" VALVE  
(1) FIRE HYDRANT ASSEMBLY

FOR IRRIGATION SERVICE INSTALL:  
(1) 10"x1" TAPPING SLEEVE  
(1) 3/4" METER BOX  
INSTALL METER IN ROW.  
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

FOR DOMESTIC SERVICE INSTALL:  
(1) 10"x2" TAPPING SLEEVE  
(1) 2" WATER LINE  
(1) 2" METER BOX  
INSTALL METER IN ROW.  
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

CONNECT TO EX 8" SS TAP. INSTALL 8" TO 6" REDUCER W/ DBL CO & 15 LF OF PRIVATE 6" SDR-26

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 10" VALVE  
(1) 6" VALVE  
6" FIRE SPRINKLER LINE  
(C-900 CLASS 200 PVC DR14)

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 8" VALVE  
(1) FIRE HYDRANT ASSEMBLY

This will be required to be an 8" water line

There is an additional 5' easement south of the 15' easement. See attached plat.

This will be required to be an 8" water line

Must pick up off site drainage flowing to this lot.

PROP. DUMPSTER PAD W/ 8" PAVING. CONSTRUCT 6" MASONRY ENCLOSURE TO MATCH BLDG & SELF LATCHING METAL GATES. (SEE SITE DETAILS)  
Dumpster area must drain to an oil/water separator.

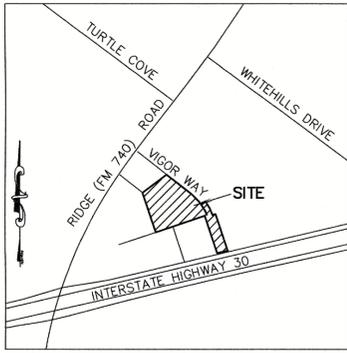
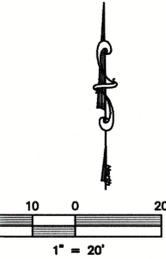
- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  - Fire lanes shall be designed and constructed per city standards.
  - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  - All signage contingent upon Building Inspection Department approval.
  - Approval of the site plan is not final until all engineering plans are approved.
  - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  - All electrical transmission, distribution and service lines must be underground.

- NOTES:**
- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
  - ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
  - SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - PRIVATE TRASH SERVICE

- PAVING NOTES:**
- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
  - NO SAND UNDER PAVING.

**\*\* NOTICE TO CONTRACTORS \*\***  
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**SITE PLAN SIGNATURE BLOCK**  
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_  
\_\_\_\_\_  
Director of Planning and Zoning



**SITE DATA:**  
LOT AREA: 1.74 Acres, 75,987 sq.ft.  
LOT COVERAGE: 17%  
FLOOR TO AREA RATIO: 5.88:1  
BUILDING AREA: 1st Floor: 12,923 sq.ft. 2nd Floor: 12,577 sq.ft. Total: 25,500 sq.ft.  
BUILDING HEIGHT: 2 STORY (30' MAX)  
PROPOSED FUTURE USE: OFFICE  
IMPERVIOUS AREA (including buildings): 59,269 sq.ft.  
ZONING: C2  
PARKING: Required: Office (1/300sf) = 85 Handicap = 4 Provided: Standard = 82 Handicapped = 4 Total Provided = 86  
LANDSCAPE AREA: Required: (20%) 15,197 sq.ft. Provided: 16,718 sq.ft.  
FIRESPRINKLER: YES  
\* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

VICINITY MAP NOT TO SCALE

**LEGEND**

- = PROPERTY LINE
- - - - - EX. SS = EXISTING SANITARY SEWER LINE
- - - - - EX. W = EXISTING WATER LINE
- ⊕ = EXISTING FIRE HYDRANT
- ⊗ = EXISTING WATER METER
- ⊙ = EXISTING POWER POLE
- ⊛ = EXISTING LIGHT POLE
- ⊚ = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = PROPOSED FIRELANE

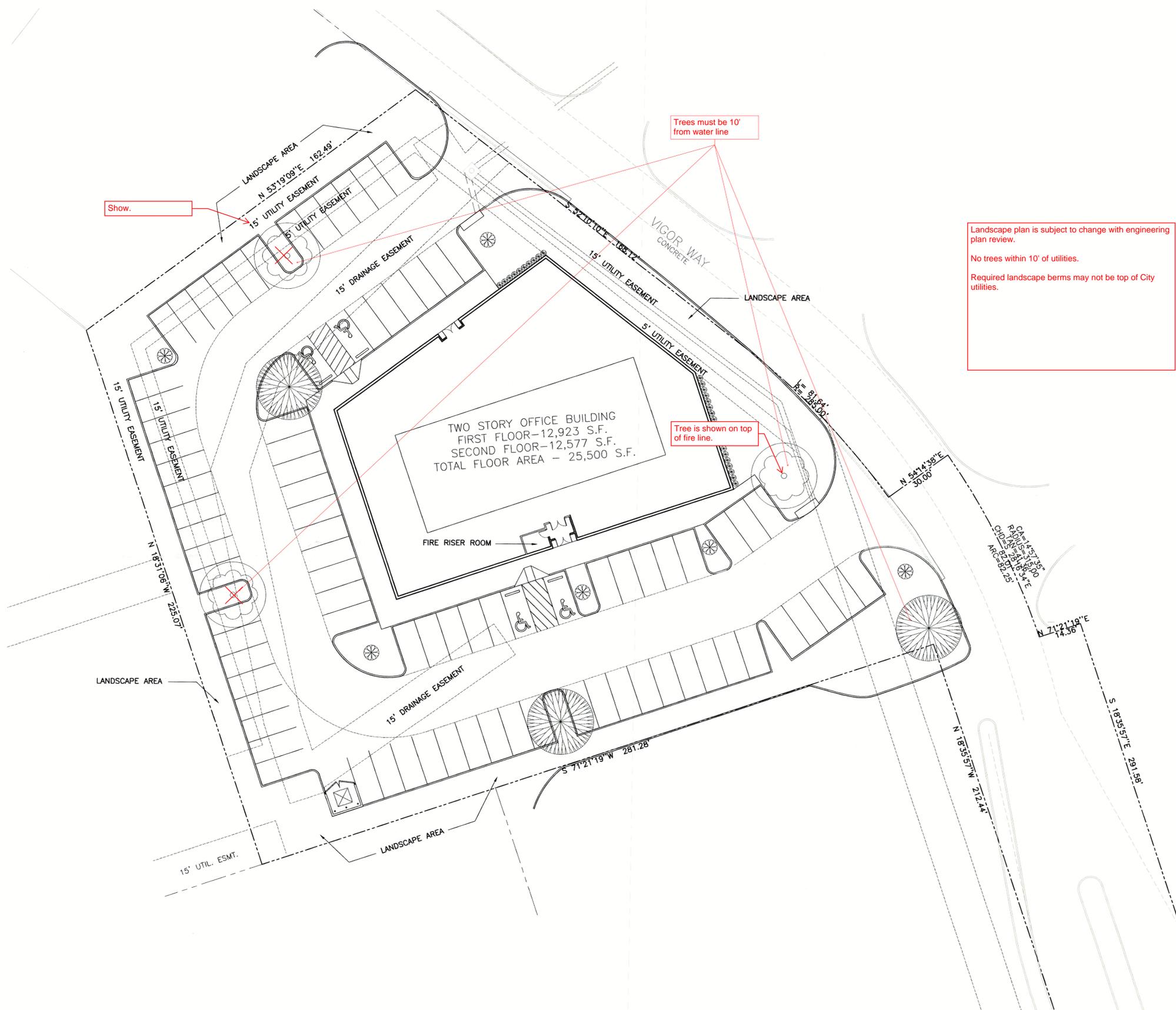
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



SP# 2024-

**SITE PLAN**  
**VIGOR WAY OFFICE**  
LOT 1, BLOCK A, 1.74 ACRES  
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE  
City of Rockwall, Rockwall County, Texas  
owner  
PRBBS, LLC  
ATTN: BRIAN BERRY  
2 ESSEX COURT  
HEATH, TX 75032  
prepared by  
MONK CONSULTING ENGINEERS  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761  
© 2024 Monk Consulting Engineers, Inc., All Rights Reserved  
PROJECT NO.: 2024-3 REG. NO.: F-21  
date: 2/15/24 scale: 1"=20' sheet: C10



Show.

Trees must be 10' from water line

Landscape plan is subject to change with engineering plan review.

No trees within 10' of utilities.

Required landscape berms may not be top of City utilities.

Tree is shown on top of fire line.

SITE DATA TABLE	
SITE AREA	1.44 ACRES (62,462 S.F.)
ZONING	COMMERCIAL
PROPOSED USE	OFFICE
BUILDING AREA: FIRST FLOOR - SECOND FLOOR -	25,500 S.F. 12,923 S.F. 12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
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PROVIDED LANDSCAPE AREA - 25.2% OF 62,462 S.F.	15,750 S.F.
IMPERVIOUS COVERAGE - 74.8% OF 62,462 S.F.	46,712 S.F.

NOTES:  
 - Irrigation shall be provided to all landscaped areas.  
 - Tree mitigation for this project for existing trees on this property.  
 - All perimeter parking are within 50'-0" of a shade tree.  
 - No trees within 5' of public utilities less than 10".  
 - No trees within 10' of public utilities 10" or greater

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (DETENTION POND)
	DESERT WILLOW
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION

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  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
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  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
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  - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
  - ALL PARKING SPACES ARE WITHIN 80' OF A TREE

CITY OF ROCKWALL CASE NUMBER: SP2024-XXX
LEGAL DESCRIPTION AND OR ADDRESS: LOT 1, BLOCK A REPLAT OF ROCKWALL TOWNE CENTRE LOT 8 & LOT 9 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087
OWNER: PRBBS, LLC 2 Essex Court Heath, TX 75032 ATTN: Brian Berry
APPLICANT: Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll
SITE PLAN SIGNATURE BLOCK: APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____. WITNESS OUR HANDS, this ___ day of _____. Planning & Zoning Commission, Chairman Director of Planning and Zoning

ISSUE:	02-16-2024
SITE PLAN:	

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NEW OFFICE DEVELOPMENT  
**VIGOR WAY PLAZA**  
 Vigor Way,  
 Rockwall, Texas 75087

PRBBS, LLC.  
 2 ESSEX COURT  
 HEATH, TX 75032



750 E. Interstate 30  
 Suite 110  
 Rockwall, TX 75087  
 t: 972-732-6085  
 f: 972-732-8058

**LANDSCAPE SITE PLAN**

DATE: FEB 2024 SHEET NO. A100  
 PROJECT NO: 2023100  
 DRAWN BY: ZJ  
 CHECKED BY:



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **SP2024-004**

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **VIGOR WAY**

SUBDIVISION **ROCKWALL TOWNE CENTER** LOT **1** BLOCK **A**

GENERAL LOCATION **CENTERED IN VIGOR WAY BETWEEN I-30 & RIDGE RD.**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **COMMERCIAL** CURRENT USE **N/A**

PROPOSED ZONING **COMMERCIAL** PROPOSED USE **OFFICE**

ACREAGE **1.74 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<b>PRBBS, LLC.</b>	<input checked="" type="checkbox"/> APPLICANT	<b>CARROLL ARCH. INC.</b>
CONTACT PERSON	<b>BRIAN BERRY</b>	CONTACT PERSON	<b>JEFF CARROLL</b>
ADDRESS	<b>2 ESSEX COURT</b>	ADDRESS	<b>750 E. INTERSTATE 30 SUITE 110</b>
CITY, STATE & ZIP	<b>HEATH, TX 75032</b>	CITY, STATE & ZIP	<b>ROCKWALL, TX 75087</b>
PHONE	<b>469.583.5976</b>	PHONE	<b>214.632.1762</b>
E-MAIL	<b>bberry@lonefirm.com</b>	E-MAIL	<b>JCE@CARROLLARCH.COM</b>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeff Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1125 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2024

Applicant's OWNER'S SIGNATURE

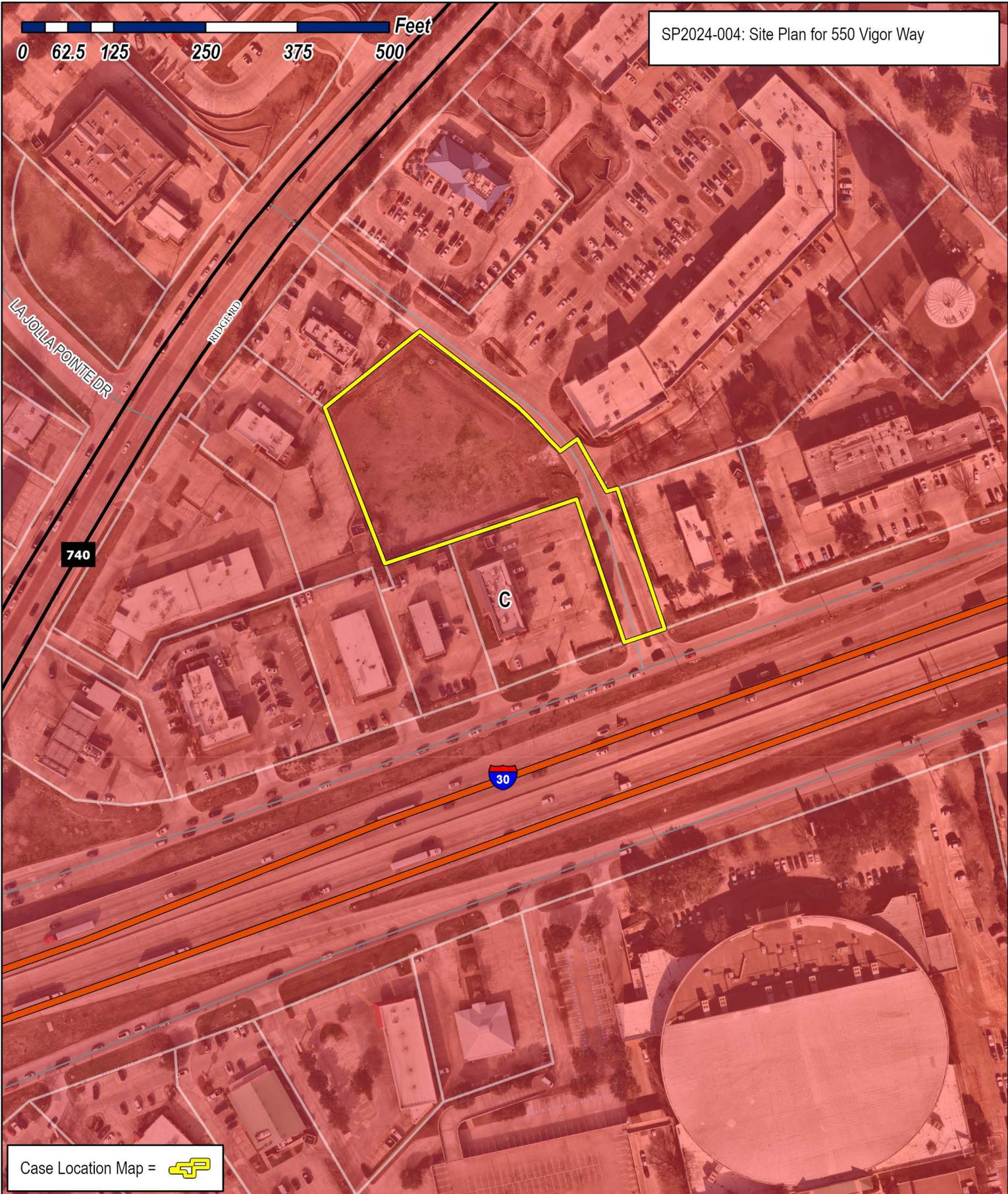
*Jeff Carroll*  
*M. Murphy*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 62.5 125 250 375 500 Feet

SP2024-004: Site Plan for 550 Vigor Way



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**WARNING:**  
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

FOR IRRIGATION SERVICE INSTALL:  
(1) 10"x1" TAPPING SLEEVE  
(1) 3/4" METER BOX  
INSTALL METER IN ROW.  
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

FOR DOMESTIC SERVICE INSTALL:  
(1) 10"x2" TAPPING SLEEVE  
(1) 2" WATER LINE  
(1) 2" METER BOX  
INSTALL METER IN ROW.  
(IN GRASS) INSTALL RPZ ON DOMESTIC LINE ON PRIVATE PROPERTY.

CONNECT TO EX 8" SS TAP. INSTALL 8" TO 6" REDUCER W/ DBL CO & 15 LF OF PRIVATE 6" SDR-26

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 10" VALVE  
(1) 6" VALVE  
6" FIRE SPRINKLER LINE  
(C-900 CLASS 200 PVC DR14)

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 6" VALVE  
(1) FIRE HYDRANT ASSEMBLY

INSTALL:  
(1) 10"x6" TAPPING SLEEVE  
(1) 6" VALVE  
(1) FIRE HYDRANT ASSEMBLY

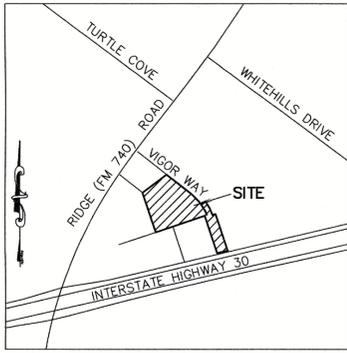
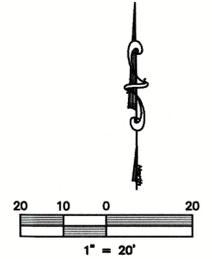
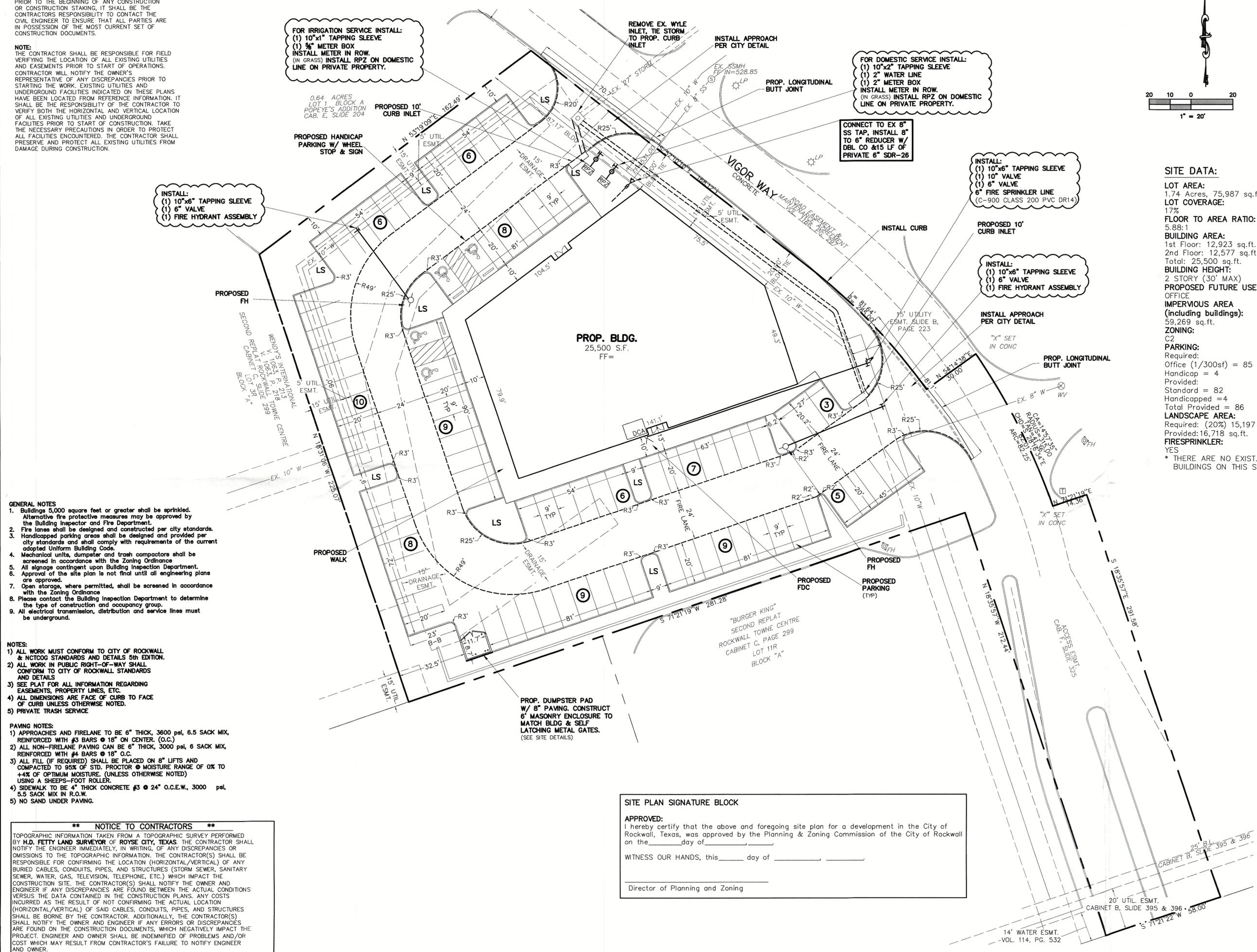
- GENERAL NOTES**
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  - Fire lanes shall be designed and constructed per city standards.
  - Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  - Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
  - All signage contingent upon Building Inspection Department approval.
  - Approval of the site plan is not final until all engineering plans are approved.
  - Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
  - Please contact the Building Inspection Department to determine the type of construction and occupancy group.
  - All electrical transmission, distribution and service lines must be underground.

- NOTES:**
- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
  - ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
  - SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - PRIVATE TRASH SERVICE

- PAVING NOTES:**
- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
  - NO SAND UNDER PAVING.

**\*\* NOTICE TO CONTRACTORS \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.



**SITE DATA:**

LOT AREA:  
1.74 Acres, 75,987 sq.ft.  
LOT COVERAGE:  
17%  
FLOOR TO AREA RATIO:  
5.88:1  
BUILDING AREA:  
1st Floor: 12,923 sq.ft.  
2nd Floor: 12,577 sq.ft.  
Total: 25,500 sq.ft.  
BUILDING HEIGHT:  
2 STORY (30' MAX)  
PROPOSED FUTURE USE:  
OFFICE  
IMPERVIOUS AREA  
(including buildings):  
59,269 sq.ft.  
ZONING:  
C2  
PARKING:  
Required:  
Office (1/300sf) = 85  
Handicap = 4  
Provided:  
Standard = 82  
Handicapped = 4  
Total Provided = 86  
LANDSCAPE AREA:  
Required: (20%) 15,197 sq.ft.  
Provided: 16,718 sq.ft.  
FIRESPRINKLER:  
YES  
\* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

**VICINITY MAP**  
NOT TO SCALE

**LEGEND**

- = PROPERTY LINE
- - - - - EX. SS = EXISTING SANITARY SEWER LINE
- - - - - EX. W = EXISTING WATER LINE
- ⊕ FH = EXISTING FIRE HYDRANT
- ⊗ WM = EXISTING WATER METER
- ⊙ PP = EXISTING POWER POLE
- ⊙ LP = EXISTING LIGHT POLE
- ⊙ SS = EXISTING SS MANHOLE
- ⊠ = EX. TELEPHONE BOX
- EXIST. or EX. = EXISTING
- ⊕ = CENTERLINE
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- B-B = BACK OF CURB TO BACK OF CURB
- = PROPOSED FIRELANE

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



SP#: 2024-

**SITE PLAN**  
**VIGOR WAY OFFICE**

LOT 1, BLOCK A, 1.74 ACRES  
COMFORT INN & SUITES ROCKWALL TOWNE CENTRE  
City of Rockwall, Rockwall County, Texas

owner  
PRBBS, LLC  
ATTN: BRIAN BERRY  
2 ESSEX COURT  
HEATH, TX 75032

prepared by  
MONK CONSULTING ENGINEERS  
1200 W. State Street, Garland Texas 75040  
972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2024-3 REG. NO.: F-21  
date: 2/15/24 scale: 1"=20' sheet: C10

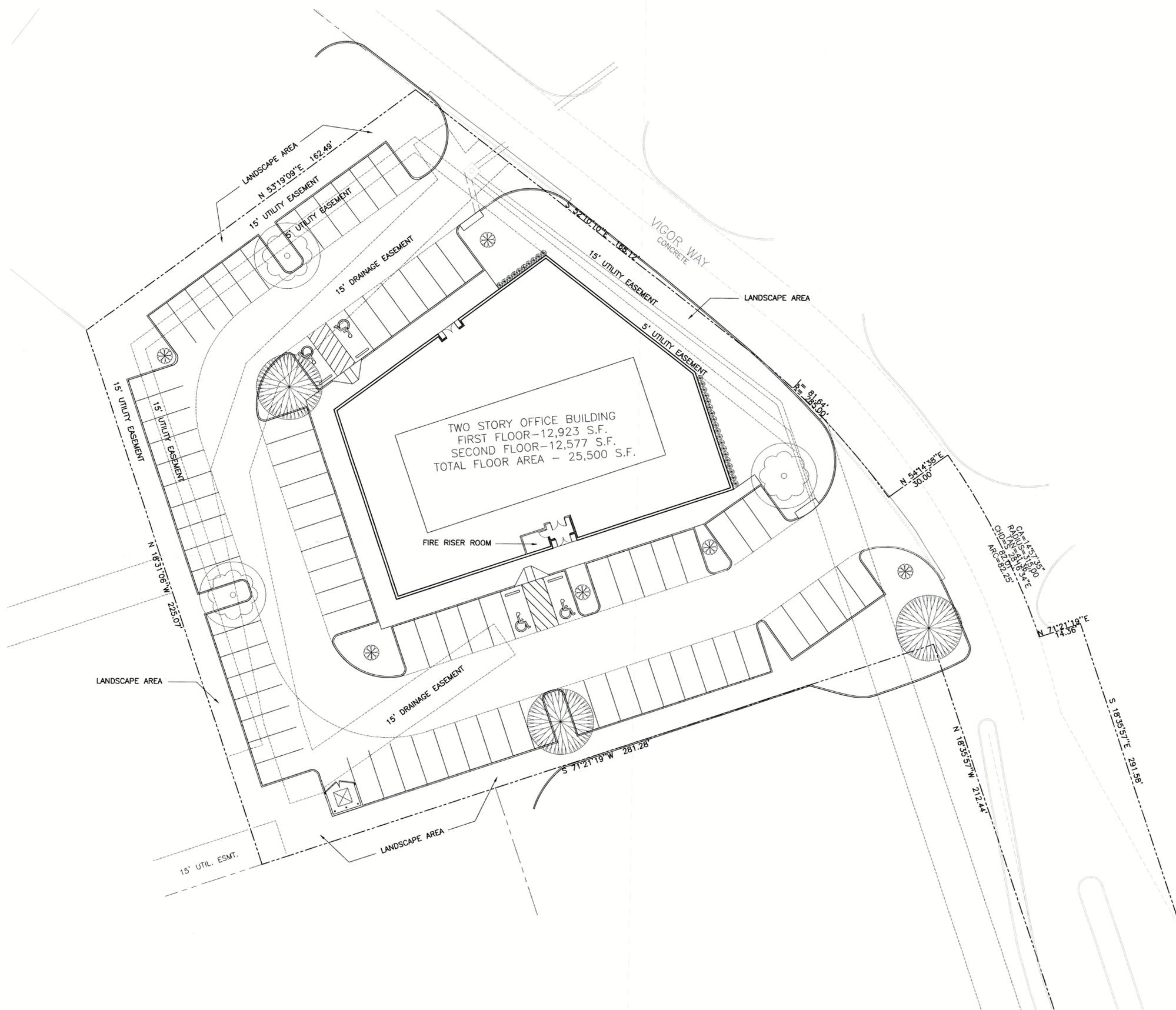
**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
Director of Planning and Zoning





SITE DATA TABLE	
SITE AREA	1.44 ACRES (62,462 S.F.)
ZONING	COMMERCIAL
PROPOSED USE	OFFICE
BUILDING AREA: FIRST FLOOR - SECOND FLOOR -	25,500 S.F. 12,923 S.F. 12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
FLOOR TO AREA RATIO	
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	1.44 ACRES (62,462 S.F.)
REQUIRED LANDSCAPE AREA - 20% OF 62,462 S.F.	12,492 S.F.
PROVIDED LANDSCAPE AREA - 25.2% OF 62,462 S.F.	15,750 S.F.
IMPERVIOUS COVERAGE - 74.8% OF 62,462 S.F.	46,712 S.F.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (DETENTION POND)
	DESERT WILLOW
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

- GENERAL NOTES:**
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA. OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
  - CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
  - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
  - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
  - ALL PARKING SPACES ARE WITHIN 80' OF A TREE

CITY OF ROCKWALL CASE NUMBER:  
SP2024-XXX  
LEGAL DESCRIPTION AND OR ADDRESS:  
LOT 1, BLOCK A  
REPLAT OF ROCKWALL TOWNE CENTRE  
LOT 8 & LOT 9  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087

OWNER  
PRBBS, LLC  
2 Essex Court  
Heath, TX 75032  
ATTN: Brian Berry

APPLICANT  
Carroll Architects, Inc.  
750 E. Interstate 30 #110  
Rockwall, TX 75087  
P: 972-732-6085  
E: jc@carrollarch.com  
ATTN: Jeff Carroll

SITE PLAN SIGNATURE BLOCK  
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_\_.  
WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_\_.  
Planning & Zoning Commission, Chairman  
Director of Planning and Zoning

ISSUE	DATE
SITE PLAN	02-16-2024

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NEW OFFICE DEVELOPMENT  
**VIGOR WAY PLAZA**  
Vigor Way,  
Rockwall, Texas 75087

PRBBS, LLC  
2 ESSEX COURT  
HEATH, TX 75032



750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

**LANDSCAPE  
SITE PLAN**

DATE: FEB 2024 SHEET NO.  
PROJECT NO: 2023100  
DRAWN BY: ZJ  
CHECKED BY:  
A100





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** March 12, 2024  
**APPLICANT:** Jeff Carroll; Carroll Architects  
**CASE NUMBER:** SP2024-004; *Site Plan for an Office Building at 700 Vigor Way*

---

### SUMMARY

Discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of Brian Berry of PRBBS, LLC for the approval of a Site Plan for a commercial building on a 1.745-acre parcel of land being identified as Lot 1, Block A, BW Plus Executive Residency Addition City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 700 Vigor Way, and take any action necessary.

### BACKGROUND

The subject property was annexed on November 7, 1960 by *Ordinance No. 60-04 [Case No A1960-004]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the January 3, 1972 *Historic Zoning Map*, at some point between the time of annexation and January 3, 1972, the subject property was rezoned from Agricultural (AG) District to a Commercial (C) District. On August 4 2008, the City Council approved a Specific Use Permit (SUP) by *Ordinance No. 08-37 [Case No. Z2008-013]* to allow a *Hotel* in a Commercial (C) District and to allow a *Building Greater than 36-feet in Height* within the Scenic Overlay (SO) District. On October 14, 2008, the Planning and Zoning Commission approved a site plan [*Case No. SP2008-029*] for a four (4)-story hotel on the subject property. On July 6, 2009, the City Council approved a replat [*Case No. P2009-013*] to establish the necessary easements for the four (4)-story hotel. Ultimately, this Specific Use Permit (SUP) and site plan expired in accordance with the requirements of the Unified Development Code (UDC). On March 3, 2017, the City Council approved another Specific Use Permit (SUP) [*Ordinance No. 17-12; S-163*] to allow for a *Hotel/Residency Hotel* in a Commercial (C) District and to allow a *Building Greater than 36-feet in Height* within the Scenic Overlay (SO) District. Following this approval, the Planning and Zoning Commission approved a site plan [*Case No. SP2017-019*] for the *Hotel* on August 25, 2017; however, the *Hotel* was never constructed, and the Specific Use Permit (SUP) and site plan expired on August 25, 2019. The subject property has remained vacant since the time of annexation.

### PURPOSE

On February 16, 2024 the applicant -- *Jeff Carroll of Carroll Architects* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a two (2) story office building on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is located at 700 Vigor Way. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.640-acre parcel of land (*i.e. Lot 1, Block A, Popeye's Addition*), developed with a 2,043 SF *restaurant with a drive-through (i.e. Popeye's Chicken and Biscuits)*, zoned Commercial (C) District. Beyond this is Vigor Way, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is Ridge Road, which is identified as an A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.5210-acre parcel of land (i.e. Lot 11RA, Block A, Rockwall Towne Center Phase 2 & 3), developed with a *minor automotive repair garage* (i.e. Paul's Kwik Kar Inc.), and zoned Commercial (C) District. Beyond this is IH-30, which is identified as a TXDOT 4D (i.e. Texas Department of Transportation, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Vigor Way which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 7.68-acre parcel of land (i.e. Lot 9, Block A, Rockwall Towne Center, Phase 4) developed with two (2) retail centers, and zoned Commercial (C) District. Beyond this is a 0.987-acre tract of land (i.e. Tract 20-01, Abstract No. 64, of the E P G Chisum Survey) owned by the City of Rockwall, developed with the City of Rockwall Southside Water Tower and zoned Commercial (C) District.

West: Directly west of the subject property is a 0.964-acre parcel of land (i.e. Lot 3R, Block A, Rockwall Towne Center, Phase 1) developed with a *restaurant with a drive-through* (i.e. Wendy's), zoned Commercial (C) District. Beyond this is a 1.4659-acre parcel of land (i.e. Lot 5R, Block A, Rockwall Towne Center Phase 1), developed with a retail center, and zoned Commercial (C) District. Beyond this is Ridge Road, which is identified as an A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office Building 5,000 SF or Greater* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	43,560 SF	X=1.74-acres; <i>In Conformance</i>
<i>Minimum Lot frontage</i>	200-Feet	X= 58-feet; <i>Legally Non-conforming</i>
<i>Minimum Lot Depth</i>	200-Feet	X=282-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	36-Feet (60-Feet with SUP)	X=30-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	X=17%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1 Parking Space Per 300 SF Total Required: 85	X=86; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	20.00%	22%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85%-90%	X=74.8%; <i>In Conformance</i>

**TREESCAPE PLAN**

There are currently no trees on the subject property. Based on this, a Treescape Plan is not required.

**CONFORMANCE WITH THE CITY'S CODES**

The applicant is requesting to construct a 25,500 SF two (2) story *Office Building* on the subject property. According to Subsection 02.02(D)(2), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as "(a) facility that provides executive, management, administrative, or professional services..., but not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices..."

The proposed site plan generally conforms to the requirements of the *General Commercial District Standards* and the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances and exceptions being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

### **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance and exceptions:

- (1) Four (4) Sided Architecture. According to Article 05, *General Overlay District Standards*, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (*i.e. four [4] or more accent or canopy trees*) shall be planted along perimeter of the subject property to the rear of the building." In this case, the building elevations do not meet the articulation standards and are not finished with the same finishes and details on all four (4) facades of the building. In addition, the applicant has not provided a row of trees along the perimeter of the subject property to the rear of the building. This will require a Variance from the Planning and Zoning Commission.
- (2) Primary Articulation. According to Article 05, *General Industrial Commercial Standards*, of the Unified Development Code (UDC), "(a) primary building façade is any building façade that has a primary entryway for a business or that has an adjacency to a public right-of-way, open space/green space, public/private park, and/or a residential zoning district or residentially used property. All commercial buildings shall meet the standards for articulation on primary building façades as depicted in *Figure 7*." In this case, the building elevations do not meet the standards for articulation on all the primary facades, specifically the projection and wall length requirements. This will require a Exception from the Planning and Zoning Commission.
- (3) Landscape Buffer Along IH-30. According to Article 05, *General Overlay District Standards*, of the Unified Development Code (UDC), "(a)ll landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway. In the E. SH-66 Overlay (E SH-66 OV), FM549 Overlay (FM-549 OV), and SH-205 By-Pass Overlay (SH205 BY OV) Districts the required landscape buffer shall incorporate one (1) additional cedar tree per 100-feet of linear of frontage along the *Primary Roadway*." In this case, the applicant is only providing four (4) canopy trees dispersed throughout the site in lieu of the required landscape buffer. This will require a Variance from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant an exception and/or variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] four (4) additional accent trees, [2] awnings over each first floor level storefront side to help offset primary articulation variance, [3] increased landscape percentage at 22.00%, in lieu of the required 15.00%, [4] an outside pedestrian area comprised of a park bench and bike rack at the front facing Vigor Way, [5] a large planter bed area with increased aesthetic landscaping close to the pedestrian area, and [6] pulling the building closer to the road and provided parking in the back. With this being said, requests for exceptions and variances and exceptions are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the IH-30 Corridor District and located within the IH-30 Corridor District is designated for the Special

Commercial (SC) Corridor land use. The OURHometown Vision 2040 Comprehensive Plan describes the Special Commercial (SC) Corridor as intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region. The primary land use characteristics include regional shopping centers, entertainment, retail, personal services, restaurant, corporate office, employment and recreational land uses. Based on this, the applicant's request appears to conform with the *Future Land Use Plan*. Staff should also note that the IH-30 Corridor District is divided into three (3) *Corridor Zones* (i.e. the *Preservation, Opportunity, and Transitional Zones*). In this case, the subject property is located within a *Preservation Zone*, which is defined as "(a) segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported." The subject property is currently vacant and is surrounded by restaurants and shopping centers including retail and personal service land uses. Based on this, the proposed future development would appear to conform to the *IH-30 Corridor Plan* contained in Appendix 'B', *Corridor Plans*, of the OURHometown Vision 2040 Comprehensive Plan.

According to the Goal 07, Policy 3, *Workforce*, within Chapter 06, *Economic Development*, of the OURHometown Vision 2040 Comprehensive Plan, strives to produce high quality work environments that create a sense of place, and that provide access in a close proximity to retail and restaurants. As mentioned previously, the subject property is surrounded by retail and restaurant land uses within walking distance. Given this, the applicant's request appears to conform to this policy, which is laid out for *Economic Development* within the OURHometown Vision 2040 Comprehensive Plan.

### **ARCHITECTURE REVIEW BOARD (ARB) RECOMMENDATION**

On February 27, 2024 the Architecture Review Board reviewed the building elevations provided by the applicant and requested the applicant provide colored elevations and renderings. The applicant has provided colored elevations. These will be reviewed by the ARB at the March 12, 2024 meeting for a recommendation to the Planning and Zoning Commission.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's request for a Site Plan for the purpose of constructing a two (2) story 25,500 SF *office building* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **SP2024-004**

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **VIGOR WAY**

SUBDIVISION **ROCKWALL TOWNE CENTER** LOT **1** BLOCK **A**

GENERAL LOCATION **CENTERED IN VIGOR WAY BETWEEN I-30 & RIDGE RD.**

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **COMMERCIAL** CURRENT USE **N/A**

PROPOSED ZONING **COMMERCIAL** PROPOSED USE **OFFICE**

ACREAGE **1.74 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER <b>PRBBS, LLC.</b>	<input checked="" type="checkbox"/> APPLICANT <b>CARROLL ARCH. INC.</b>
CONTACT PERSON <b>BRIAN BERRY</b>	CONTACT PERSON <b>JEFF CARROLL</b>
ADDRESS <b>2 ESSEX COURT</b>	ADDRESS <b>750 E. INTERSTATE 30 SUITE 110</b>
CITY, STATE & ZIP <b>HEATH, TX 75032</b>	CITY, STATE & ZIP <b>ROCKWALL, TX 75087</b>
PHONE <b>469.583.5976</b>	PHONE <b>214.632.1762</b>
E-MAIL <b>bberry@lonefirm.com</b>	E-MAIL <b>JCE@CARROLLARCH.COM</b>

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeff Carroll [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1125 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2024

Applicant's OWNER'S SIGNATURE

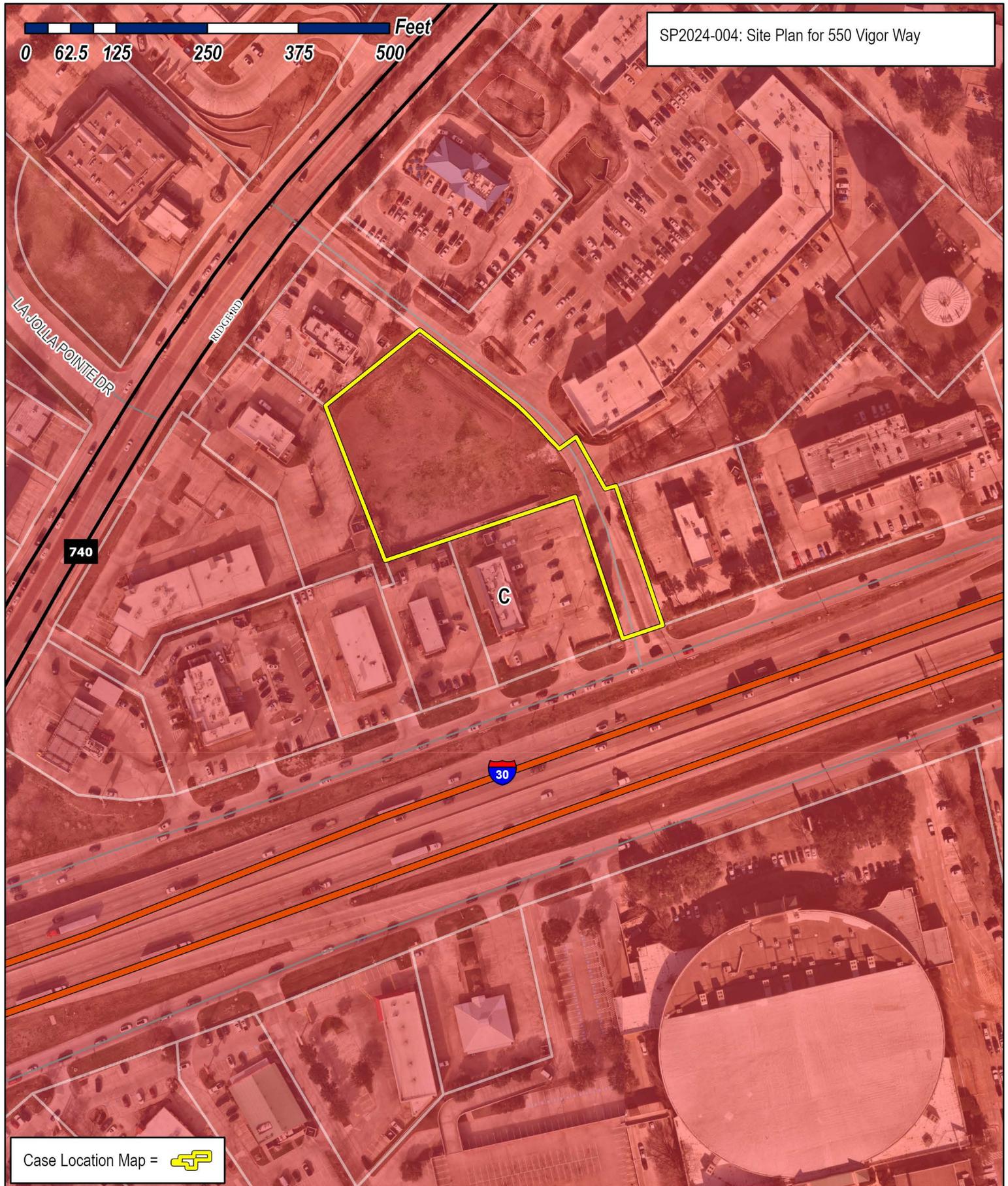
*Jeff Carroll*  
*M. Murphy*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2024-004: Site Plan for 550 Vigor Way



Case Location Map = 



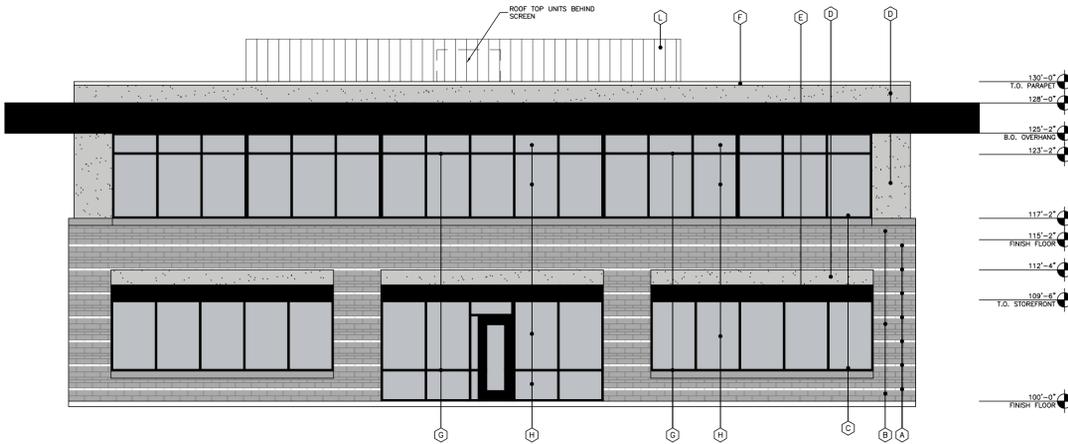
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







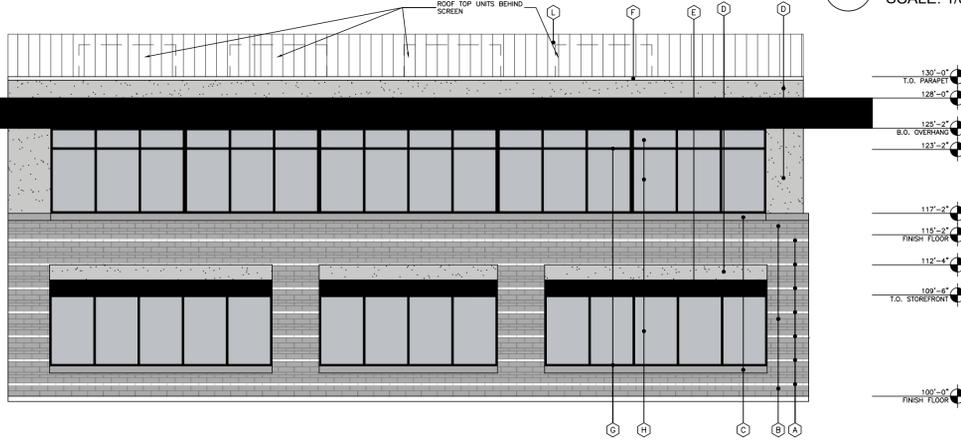
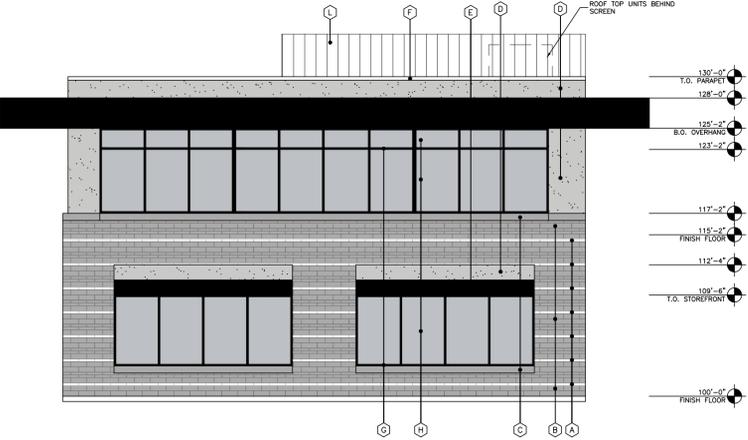
STONE	-	714 S.F.	-	53%
STUCCO	-	279 S.F.	-	21%
AWNINGS	-	350 S.F.	-	26%
<b>TOTAL</b>		<b>1,343 S.F.</b>		<b>100%</b>

**5 WEST ELEVATION - WENDY'S**  
SCALE: 1/8" = 1'-0"



STONE	-	878 S.F.	-	51%
STUCCO	-	387 S.F.	-	23%
AWNINGS	-	443 S.F.	-	26%
<b>TOTAL</b>		<b>1,708 S.F.</b>		<b>100%</b>

**4 NORTH ELEVATION - RIDGE ROAD**  
SCALE: 1/8" = 1'-0"



2/3 PERCENTAGES

STONE	-	1265 S.F.	-	56%
STUCCO	-	450 S.F.	-	20%
AWNINGS	-	552 S.F.	-	24%
<b>TOTAL</b>		<b>2,267 S.F.</b>		<b>100%</b>

**2 EAST ELEVATION - VIGOR WAY**  
SCALE: 1/8" = 1'-0"



STONE	-	1150 S.F.	-	51%
STUCCO	-	521 S.F.	-	23%
AWNINGS	-	577 S.F.	-	26%
<b>TOTAL</b>		<b>2,248 S.F.</b>		<b>100%</b>

**1 SOUTH ELEVATION - I-30**  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	STONE VENEER ACCENT COLOR: (4) SIDED CUT STONE USING 3" HEIGHT BY RANDOM LENGTHS, COLOR - LIMESTONE
B	STONE VENEER FIELD COLOR: (4) SIDED CUT STONE W/ RANDOM SIZE & WIDTHS WITH MINIMUM SIZE 6" TALL, MAXIMUM SIZE 12" TALL, COLOR - LUEDERS DARK GREY
C	STONE CAP: (4) SIDED CUT STONE W/ RANDOM LENGTHS WITH, MAXIMUM SIZE 3" TALL, COLOR - LUEDERS DARK GREY
D	STUCCO: (3 PART SYSTEM) W/ ELASTOMERIC FINISH COAT - COLOR - SW 9163 TIN LIZZIE
E	AWNINGS: PREFINISHED MTL. AWNINGS PANELS COLOR - BLACK
F	PREFINISHED METAL COPING COLOR - SILVER
G	ALUMINUM STOREFRONT, COLOR - BLACK
H	GLAZING: DOUBLE PANE INSULATED, LOW E GLASS W/ WINDOW TINTED @ 95% - DARK GREY
J	STUCCO: CONTROL JOINTS AS SHOWN
K	MASONRY EXPANSION JOINT
L	MECHANICAL SCREEN ON ROOF COLOR - LIGHT GREY

ISSUE:	
SITE PLAN:	03-05-2024

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NEW OFFICE DEVELOPMENT  
**VIGOR WAY PLAZA**  
Vigor Way,  
Rockwall, Texas 75087

PRBBS, LLC.  
2 ESSEX COURT  
HEATH, TX 75032

**CARROLL architects**  
750 E. Interstate 30  
Suite 110  
Rockwall, TX 75087  
t: 972-732-6085  
f: 972-732-8058

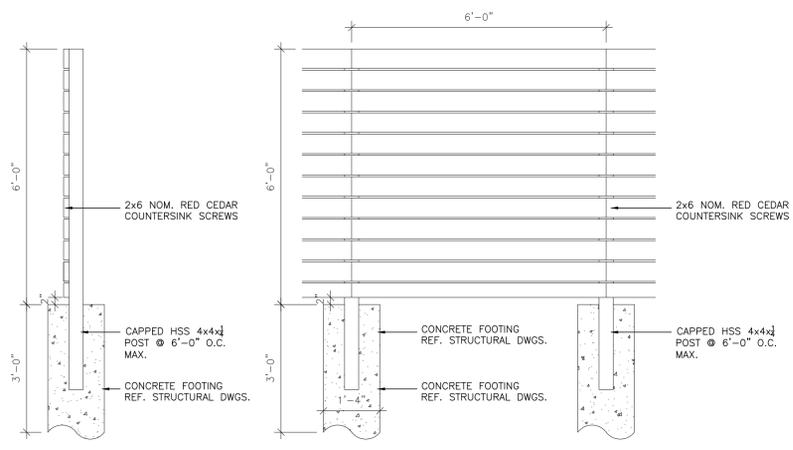
CITY OF ROCKWALL CASE NUMBER: SP2024-004
LEGAL DESCRIPTION AND/OR ADDRESS: LOT 1, BLOCK A REPLAT OF ROCKWALL TOWNE CENTRE LOT 8 & LOT 9 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087
OWNER PRBBS, LLC 2 Essex Court Heath, TX 75032 ATTN: Brian Berry
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll
SITE PLAN SIGNATURE BLOCK
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.
WITNESS OUR HANDS, this _____ day of _____.
Planning & Zoning Commission, Chairman
Director of Planning and Zoning

**EXTERIOR ELEVATIONS**

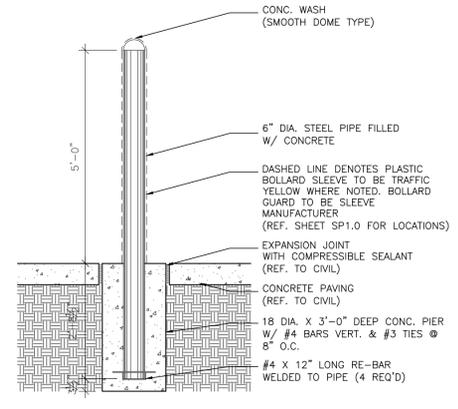
DATE: \_\_\_\_\_ SHEET NO: \_\_\_\_\_  
PROJECT NO: 2023100  
DRAWN BY: JZ  
CHECKED BY: \_\_\_\_\_

**A501**

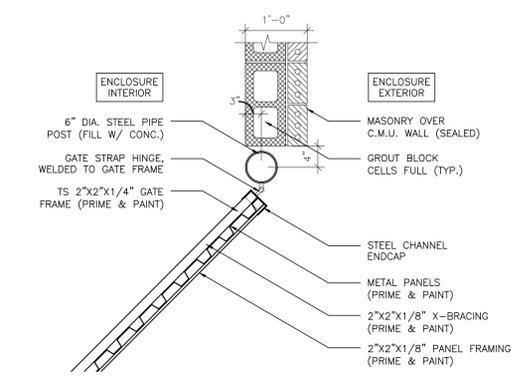
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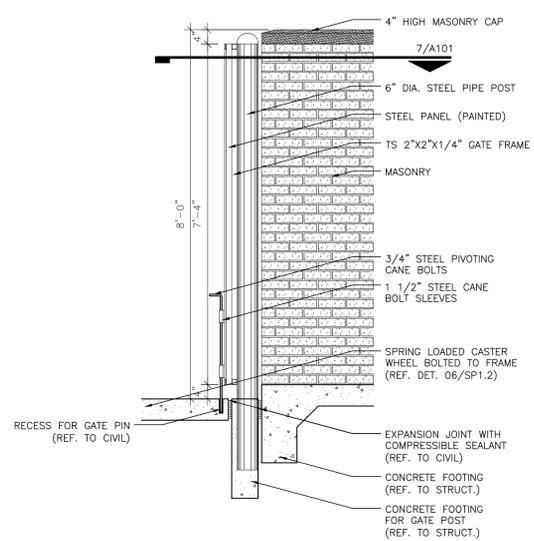
**9 WOOD SCREEN FENCE**  
 SCALE: 1/2" = 1'-0"



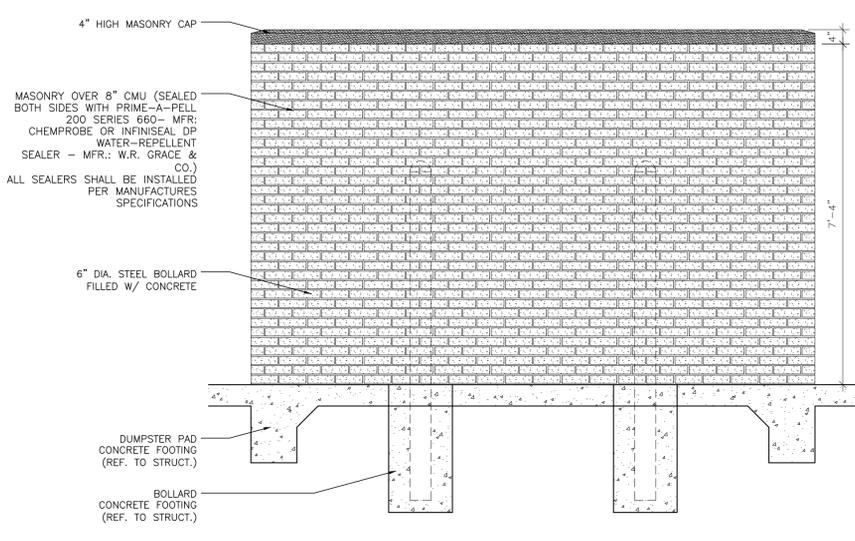
**8 BOLLARD DETAIL**  
 SCALE: 1/2" = 1'-0"



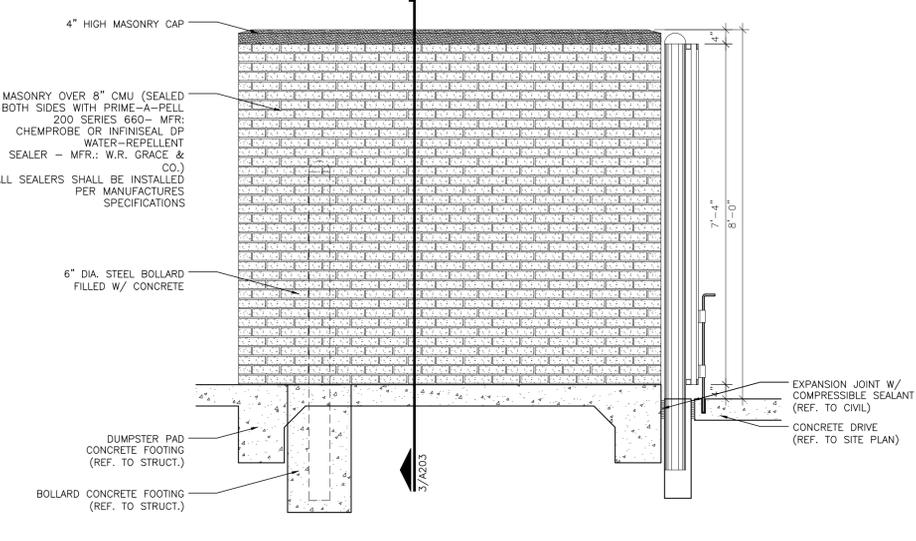
**7 DUMPSTER ENCLOSURE GATE DETAIL**  
 SCALE: 3/4" = 1'-0"



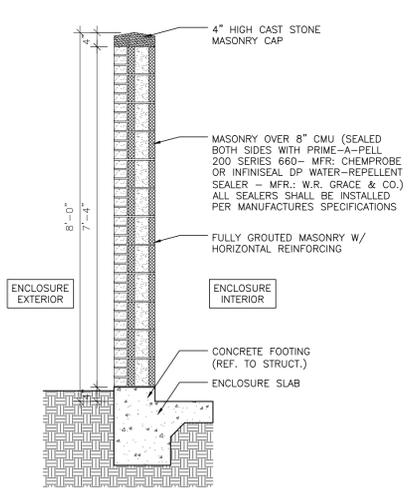
**6 GATE SECTION @ DUMPSTER ENCLOSURE**  
 SCALE: 1/2" = 1'-0"



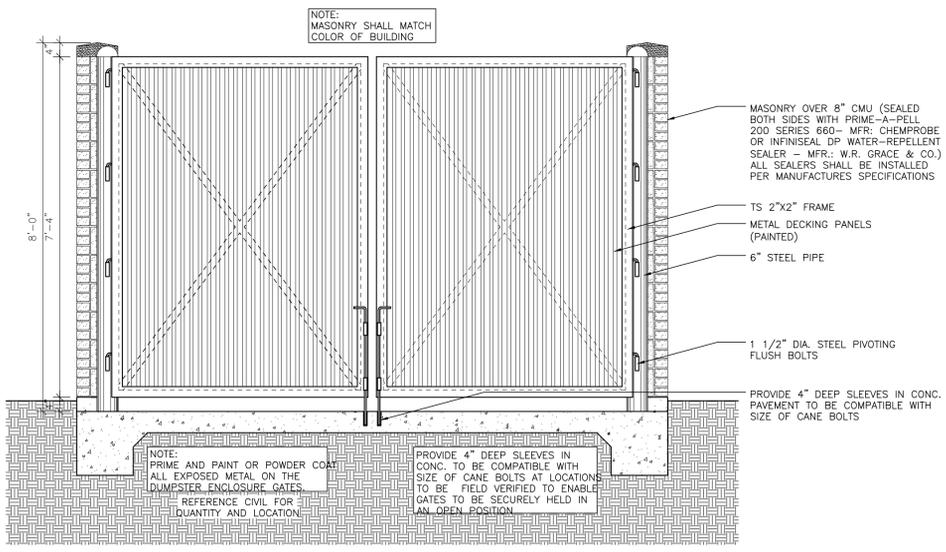
**5 DUMPSTER ENCLOSURE REAR ELEVATION**  
 SCALE: 1/2" = 1'-0"



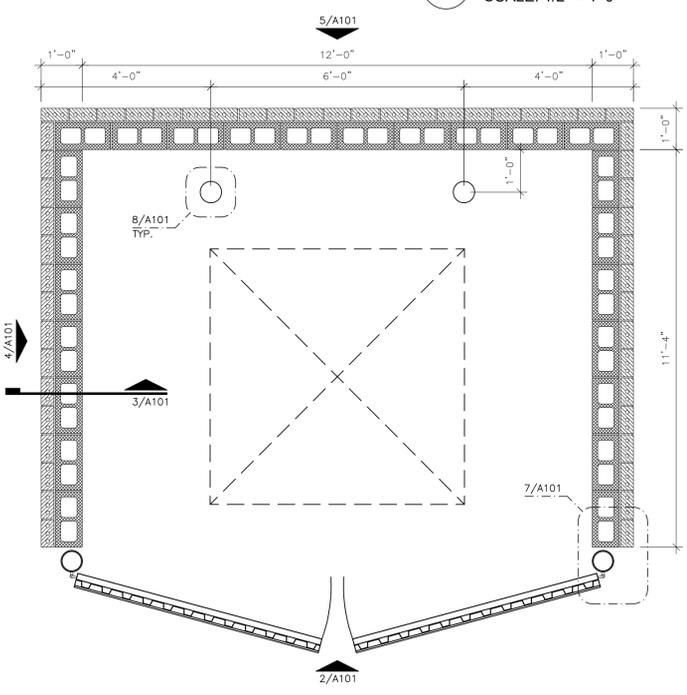
**4 DUMPSTER ENCLOSURE SIDE ELEVATION**  
 SCALE: 1/2" = 1'-0"



**3 WALL SECTION @ DUMPSTER ENCLOSURE**  
 SCALE: 1/2" = 1'-0"



**2 DUMPSTER ENCLOSURE FRONT ELEVATION**  
 SCALE: 1/2" = 1'-0"



**1 DUMPSTER ENCLOSURE ENLARGED PLAN**  
 SCALE: 1/2" = 1'-0"

CITY OF ROCKWALL CASE NUMBER: SP2024-004	
LEGAL DESCRIPTION AND/OR ADDRESS: LOT 1, BLOCK A REPLAT OF ROCKWALL TOWNE CENTRE LOT 8 & LOT 9 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087	
PRBBS, LLC 2 Essex Court Heath, TX 75032 ATTN: Brian Berry	OWNER
Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jcarroll@carrollarch.com ATTN: Jeff Carroll	APPLICANT
SITE PLAN SIGNATURE BLOCK	
APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2024.	
WITNESS OUR HANDS, this _____ day of _____, 2024.	
Planning & Zoning Commission, Chairman	Director of Planning and Zoning

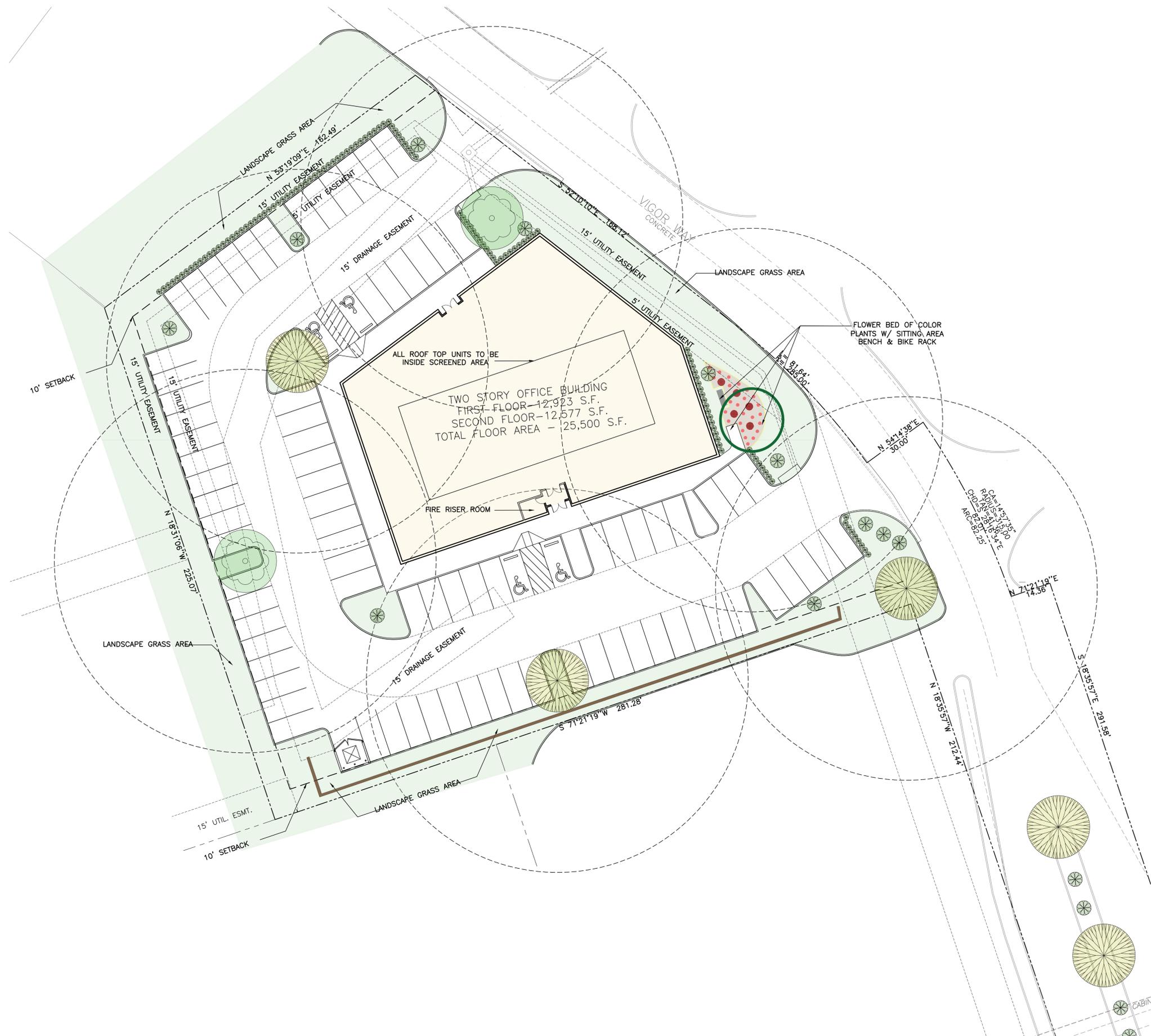
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PRBBS, LLC.  
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**CARROLL**  
 architects  
 750 E. Interstate 30  
 Suite 110  
 Rockwall, TX 75087  
 t: 972-732-6085  
 f: 972-732-8085

**MASONRY  
 DUMPSTER  
 ENCLOSURE**

DATE: \_\_\_\_\_ SHEET NO: **A101**  
 PROJECT NO: 2023100  
 DRAWN BY: KR  
 CHECKED BY: \_\_\_\_\_



SITE DATA TABLE	
SITE AREA	1.74 ACRES (75,987 S.F.)
ZONING	COMMERCIAL
PROPOSED USE	OFFICE
BUILDING AREA: FIRST FLOOR - SECOND FLOOR -	25,500 S.F. 12,923 S.F. 12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
FLOOR TO AREA RATIO	5.88 : 1
BUILDING HEIGHT MAX.	36'-0"

LANDSCAPE TABULATION	
NET AREA	1.74 ACRES (75,987 S.F.)
REQUIRED LANDSCAPE AREA-- 20% OF 75,987 S.F.	15,197 S.F.
PROVIDED LANDSCAPE AREA-- 22% OF 75,987 S.F.	16,718 S.F.
IMPERVIOUS COVERAGE-- 78% OF 75,987 S.F.	59,269 S.F.

NOTES:  
 - Irrigation shall be provided to all landscaped areas.  
 - Tree mitigation for this project for existing trees on this property.  
 - All perimeter parking area within 50'-0" of a shade tree.  
 - No trees within 5' of public utilities less than 10'.  
 - No trees within 10' of public utilities 10' or greater.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 4" CALIPER	
	CEDAR ELM
	BALD CYPRESS (DETENTION POND)
	WINTER BOXWOOD (SHRUB) 5 GALLON @ INSTALLATION
	DESERT WILLOW

NOTE: THE IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (Subsection 05.04, of Article 08)

- GENERAL NOTES:
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
  - ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
  - OWNER MAY SUBSTITUTE TYPES OF TREES. THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
  - CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION. CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.
  - DUMPSTER IS NOT REQUIRED FOR THIS PROJECT. - PROVIDED
  - ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS.
  - THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDED AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED.
  - NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO EDGE OF PAVEMENT OR FIVE (5) FEET FROM ANY WATER OR WASTEWATER LINE THAT IS LESS THAN 12 INCHES. WATER AND WASTEWATER LINES THAT ARE 12 INCHES AND GREATER REQUIRE TREES TO BE PLANTED A MINIMUM OF TEN (10) FEET FROM THE CENTERLINE OF THE PIPE. TREES MUST BE (5) FEET FROM ALL UTILITIES.
  - ALL PARKING SPACES ARE WITHIN 80' OF A TREE.

CITY OF ROCKWALL CASE NUMBER: SP2024-004
LEGAL DESCRIPTION AND/OR ADDRESS: LOT 1, BLOCK A REPLAT OF ROCKWALL TOWNE CENTRE LOT 8 & LOT 9 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087
OWNER PRBBS, LLC 2 Essex Court Heath, TX 75032 ATTN: Brian Berry
APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jcarroll@carrollarch.com ATTN: Jeff Carroll
SITE PLAN SIGNATURE BLOCK APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023. WITNESS OUR HANDS, this _____ day of _____, 2023. _____ Planning & Zoning Commission, Chairman Director of Planning and Zoning

ISSUE:	DATE:	DESCRIPTION:
03-05-2024		

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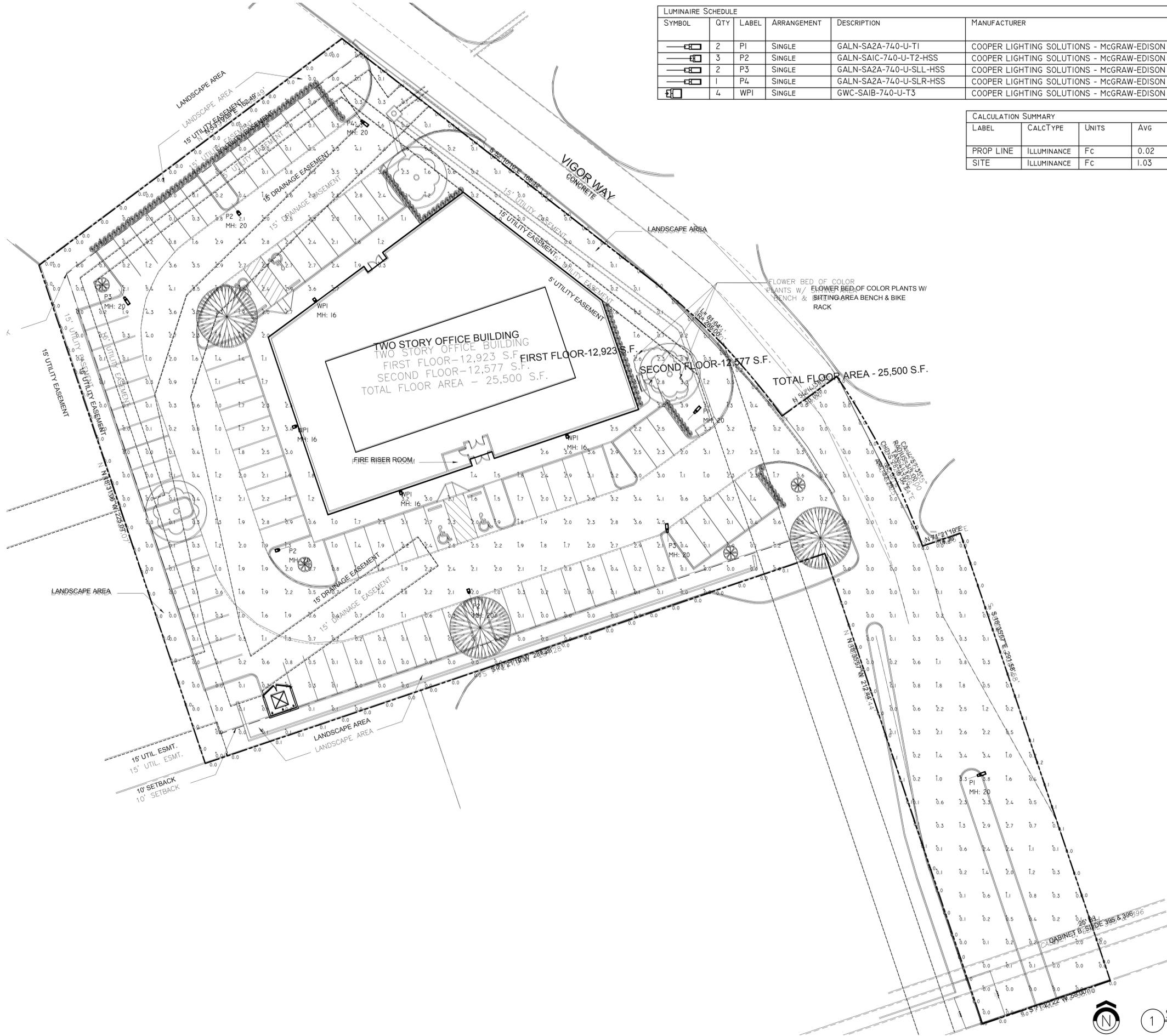
NEW OFFICE DEVELOPMENT  
**VIGOR WAY PLAZA**  
 Vigor Way,  
 Rockwall, Texas 75087

PRBBS, LLC.  
 2 ESSEX COURT  
 HEATH, TX 75032

**CARROLL**  
 architects  
 750 E. Interstate 30  
 Suite 110  
 Rockwall, TX 75087  
 t: 972-732-6085  
 f: 972-732-8058

**LANDSCAPE  
 SITE PLAN**

DATE: MAR 2024 SHEET NO:  
 PROJECT NO: 2023100  
 DRAWN BY: ZJ  
 CHECKED BY:



LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	DESCRIPTION	MANUFACTURER	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS	TOTAL WATTS
	2	P1	SINGLE	GALN-SA2A-740-U-T1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.900	9180	63	126
	3	P2	SINGLE	GALN-SAIC-740-U-T2-HSS	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	5318	57	171
	2	P3	SINGLE	GALN-SA2A-740-U-SLL-HSS	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	6604	63	126
	1	P4	SINGLE	GALN-SA2A-740-U-SLR-HSS	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	6604	63	63
	4	WPI	SINGLE	GWC-SAIB-740-U-T3	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	0.912	6105	44	176

CALCULATION SUMMARY								
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	CALC HT.
PROP LINE	ILLUMINANCE	Fc	0.02	0.2	0.0	N.A.	N.A.	N.A.
SITE	ILLUMINANCE	Fc	1.03	5.4	0.0	N.A.	N.A.	0

SITE DATA TABLE	
SITE AREA	1.74 ACRES (75,987 S.F.)
ZONING	COMMERCIAL
PROPOSED USE	OFFICE
BUILDING AREA:	25,500 S.F.
FIRST FLOOR -	12,923 S.F.
SECOND FLOOR -	12,577 S.F.
LOT COVERAGE (GROSS AREA)	17%
FLOOR TO AREA RATIO	5.88 : 1
BUILDING HEIGHT MAX.	36'-0"

CITY OF ROCKWALL CASE NUMBER: SP2024-004

LEGAL DESCRIPTION AND OR ADDRESS:  
 LOT 1, BLOCK A  
 REPLAT OF ROCKWALL TOWNE CENTRE  
 LOT 8 & LOT 9  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087

OWNER:  
 PRBBS, LLC  
 2 Essex Court  
 Heath, TX 75032  
 ATTN: Brian Berry

APPLICANT:  
 Carroll Architects, Inc.  
 750 E. Interstate 30 #110  
 Rockwall, TX 75087  
 P: 972-732-6085  
 E: info@carrollarch.com  
 ATTN: Jeff Carroll

SITE PLAN SIGNATURE BLOCK

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman  
 Director of Planning and Zoning

ISSUE: 03-05-2024  
 SITE PLAN:

**COPYRIGHT NOTICE:**  
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NEW OFFICE DEVELOPMENT  
**VIGOR WAY PLAZA**  
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 HEATH, TX 75032

**CARROLL architects**  
 750 E. Interstate 30  
 Suite 110  
 Rockwall, TX 75087  
 t: 972-732-6085  
 f: 972-732-8058



SITE PHOTOMETRIC PLAN

1 SITE PHOTOMETRIC PLAN  
 SCALE: 1" = 20'-0"

**JFTE**  
 James F. Turner  
 Engineers, L.P.  
 Consulting Engineers  
 8340 Meadow Rd., Suite 1600  
 Dallas, Texas 75231  
 TEL: 214-750-2900  
 TX REGISTRATION # 35905

DATE: 02.29.2024  
 SHEET NO.: E101  
 PROJECT NO.: 2023100  
 DRAWN BY: ZJ  
 CHECKED BY:

Project		Catalog #	GALN-SA2-A-740-U-T1-BK	Type	P1
Prepared by		Notes		Date	



# McGraw-Edison

## GALN Galleon II

Area / Site Luminaire

### Product Features



### Product Certifications



### Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Distributions [page 5](#)
- Product Specifications [page 5](#)
- Energy and Performance Data [page 6](#)
- Control Options [page 11](#)

### Quick Facts

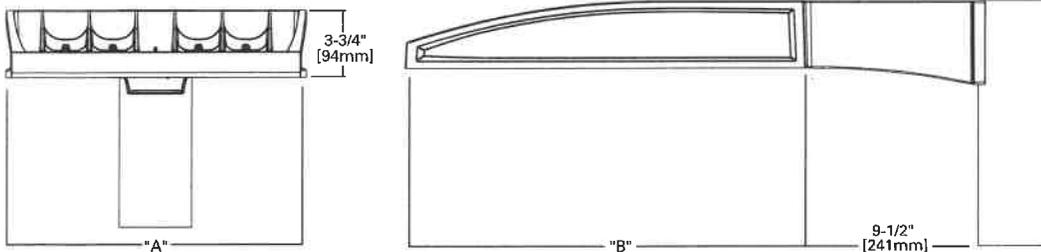
- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 17 optical distributions
- Efficacy up to 159 lumens per watt

### Connected Systems

- WaveLinX Lite
- WaveLinX

### Dimensional Details

#### Standard Pole Mount Arm

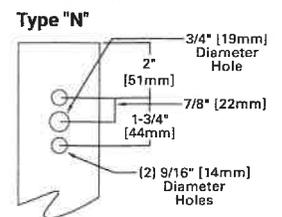


Number of Light Squares	Width "A"	Housing Length "B"	Weight with Standard or QM Arm	EPA with Standard or QM Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-9	22"	28-1/8"	48 lb	1.1

NOTES:  
For arm selection requirements and additional line art, see Mounting Details section.

NOTES:  
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.  
2. IDA Certified (3000K CCT and warmer only, fixed mounting options)

#### Pole Drilling Pattern



Ordering Information

SAMPLE NUMBER: GALN-SA4C-740-U-T4FT-GM

Product Family <sup>1,2</sup>	Light Engine		Color Temperature	Voltage	Distribution	Mounting	Finish
	Configuration	Drive Current					
GALN=Galleon II BAA-GALN=Galleon II Buy American Act Compliant <sup>27</sup> TAA-GALN=Galleon II Trade Agreements Act Compliant <sup>27</sup>	SA1=1 Square SA2=2 Squares SA3=3 Squares SA4=4 Squares SA5=5 Squares SA6=6 Squares SA7=7 Squares SA8=8 Squares SA9=9 Squares	A=600mA B=800mA C=1000mA <sup>4,17</sup> Z=Configured <sup>23</sup>	722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 760=70CRI, 6000K 827=80CRI, 2700K 830=80CRI, 3000K 835=80CRI, 3500K 840=80CRI, 4000K 930=90CRI, 3000K 935=90CRI, 3500K 940=90CRI, 4000K 950=90CRI, 5000K AMB=Amber, 590nm <sup>15,17</sup>	H=347V-480V <sup>7,30</sup> 1=120V 2=208V 3=240V 4=277V 8=480V <sup>7,30</sup> 9=347V <sup>7</sup> DV=277V-480V DuraVolt Drivers <sup>24,30,31</sup>	T1=Type I T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5NQ=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	[Blank]=Standard Pole Mount Arm QU=Quick Mount Universal Arm QM=Pole Mount Arm with Quick Mount Adaptor PA=Pole Mount, Adjustable SP=3" Slipfitter, Adjustable <sup>9</sup> SP2=2-3/8" Slipfitter, Adjustable <sup>9</sup> QMA=Quick Mount Mast Arm, Fixed MA=Mast Arm, Fixed WM=Wall Mount, Fixed WA=Wall Mount, Adjustable UP=Upswept Arm	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White RALXX=Custom Color
Options (Add as Suffix)		Controls and Systems Options (Add as Suffix)			Accessories (Order Separately) <sup>23</sup>		
DIM=External 0-10V Dimming Leads <sup>28</sup> F=Single Fuse (120, 277 or 347V Specify Voltage) FF=Double Fuse (208, 240 or 480V Specify Voltage) 20K=20kV UL 1449 fused surge protective device <sup>18</sup> 2L=Two Circuits <sup>18</sup> HA=50°C High Ambient HSS=Installed House Side Shield <sup>18</sup> GRSBK=Glare Reducing Shield, Black <sup>23</sup> GRSWH=Glare Reducing Shield, White <sup>23</sup> LCF=Light Square Trim Painted to Match Housing <sup>24</sup> TH=Tool-less Door Hardware <sup>9</sup> CC=Coastal Construction finish <sup>3</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right AHD145=After Hours Dim, 5 Hours <sup>22</sup> AHD245=After Hours Dim, 6 Hours <sup>22</sup> AHD255=After Hours Dim, 7 Hours <sup>22</sup> AHD355=After Hours Dim, 8 Hours <sup>22</sup> DALI=DALI Drivers		BPC=Button Type Photocontrol. Must specify voltage 120V, 208V, 240V or 277V. <sup>6</sup> PR=NEMA 3-PIN Photocontrol Receptacle PR7=NEMA 7-PIN Photocontrol Receptacle <sup>21</sup> FADC=Field Adjustable Dimming Controller <sup>22</sup> PSC=Photocontrol Shorting Cap SPB2=Dimming Motion Sensor, 9'-20' mounting <sup>24</sup> SPB4=Dimming Motion Sensor, 21'-40' mounting <sup>24</sup> SPB2/X=Dimming Motion Sensor, limited square count, 9'-20' mounting <sup>24</sup> SPB4/X=Dimming Motion Sensor, limited square count, 21'-40' mounting <sup>24</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9'-20' Mounting <sup>24</sup> MS/DIM-L40=Motion Sensor for Dimming Operation, 21'-40' Mounting <sup>24</sup> ZW=WaveLinX-enabled 4-PIN Twistlock Receptacle <sup>19</sup> ZD=SR Driver-enabled 4-PIN Twistlock Receptacle <sup>19</sup> ZW-WOBXX=WaveLinX Lite, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>19,12</sup> ZW-WOFXX=WaveLinX Lite, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>19,12</sup> ZD-WOBXX=WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>19,12</sup> ZD-WOFXX=WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>19,12</sup> ZW-SWPD4XX=WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>19,12,13</sup> ZW-SWPD5XX=WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>19,12,13</sup> ZD-SWPD4XX=WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>19,12,13</sup> ZD-SWPD5XX=WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>19,12,13</sup> DIM10-L20=Synapse Occupancy Sensor (9'-20' Mounting) <sup>19</sup> DIM10-L40=Synapse Occupancy Sensor (21'-40' Mounting) <sup>19</sup>			OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon SRA238=Adapter kit for mounting 3" SP arm to 2-3/8" O.D. vertical tenon FSIR-100=Wireless Configuration Tool for MS/DIM <sup>34</sup> LS/HSS=Field Installed House Side Shield <sup>8,19</sup> LS/GRSBK-2PK =Glare Reducing Shield, Black <sup>9,23</sup> LS/GRSWH-2PK =Glare Reducing Shield, White <sup>9,23</sup> LS/PFS=Perimeter Shield, Black <sup>18</sup> WOLC-7P-10A=WaveLinX Outdoor Control Module <sup>11,19</sup> WOB-XX=WaveLinX Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>12,14,19</sup> WOF-XX=WaveLinX Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>12,14,19</sup> SWPDA-XX=WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>12,13,14,19</sup> SWPDS-XX=WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>12,13,14,19</sup>		

NOTES:  
 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.  
 2. DesignLights Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.  
 3. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. Not available with TH option.  
 4. Drive current 1200mA not available with color temperatures 722, 727, 827, 830 or 930 when the HSS option is selected.  
 5. TH option not 3G rated. Not available with Coastal Construction (CC) option.  
 6. Not available with voltage options H, 8 or 9.  
 7. Requires the use of an internal step down transformer when combined with sensor options. Not available in combination with the HA high ambient and sensor options at 1A.  
 8. SP arm limited to 3" O.D. vertical tenon. SP2 limited to 2-3/8" O.D. vertical tenon.  
 9. One required for each Light Square.  
 10. 2L is not available with SPB at 347V or 480V. Not available with WaveLinX or Enlighted sensors, or 20kV surge option.  
 11. Requires PR7.  
 12. Replace XX with sensor color (WH, BZ or BK).  
 13. WAC Gateway required to enable field-configurability. Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. WAC not required for LC Bluetooth sensors.  
 14. Requires ZW or ZD receptacle.  
 15. Narrow-band 390nm +/-5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Exact luminaires wattage available in IES files. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option.  
 16. Set of 4 pcs. One set required per Light Square.

- 17. Not available with HA option.
- 18. Not for use with T1, 5MQ, 5WQ or RW optics.
- 19. Cannot be used with other control options.
- 20. Low voltage control lead brought out 18" outside fixture. Not available with DALI or integrated controls options
- 21. Not available if any SPB, LWR, or WaveLinX sensor is selected. Motion sensor has an integral photocell.
- 22. Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory.
- 23. Not for use with T1, T4FT, T4W or SL4 optics.
- 24. Sensor configuration mobile application required for configuration. See controls page for details.
- 25. Replace X with number of Light Squares controlled by the SPB, referencing the "SPB/X Availability Table" on the controls page.
- 26. Not available with HSS, GRSWH or GRSBK.
- 27. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](http://www.designlights.org) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- 28. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
- 29. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit [www.siglany.com/duravolt](http://www.siglany.com/duravolt) for more information.
- 30. 480V not to be used with ungrounded or impedance grounded systems.
- 31. Not available in 1 square configuration at 800mA or below. Not available with any control option except SPB.
- 32. Cannot be used with PR7 or other motion response control options.
- 33. Use GALN Product Configurator to specify lumen output, drive current and wattage. Not available with AMB.
- 34. Uses the FSP-211 motion sensor. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information.

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	D=Standard Dome Camera H=Hi-Res Dome Camera Z=Remote PTZ Camera	C=Cellular, No SIM A=Cellular, AT&T V=Cellular, Verizon S=Cellular, Sprint  R=Cellular, Rogers W=Wi-Fi Networking w/ Omni-Directional Antenna E=Ethernet Networking

Project		Catalog #	GALN-SA1-C-740-U-T2-BK-HSS	Type	P2
Prepared by		Notes		Date	



# McGraw-Edison

## GALN Galleon II

Area / Site Luminaire

### Product Features



### Product Certifications



### Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 5
- Product Specifications page 5
- Energy and Performance Data page 6
- Control Options page 11

### Quick Facts

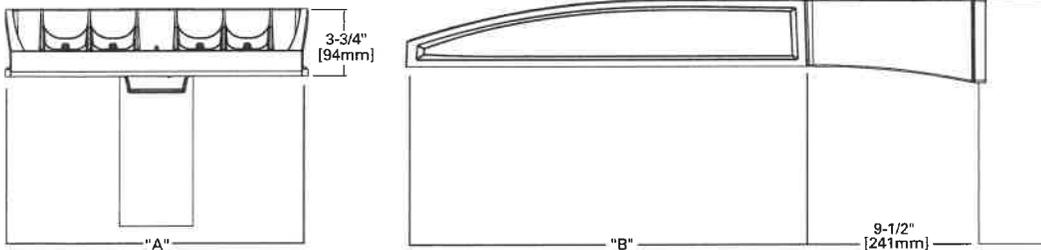
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- Efficacy up to 159 lumens per watt

### Connected Systems

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- WaveLinX

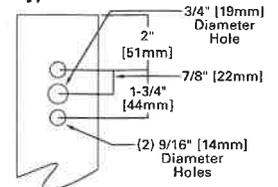
### Dimensional Details

Standard Pole Mount Arm



Pole Drilling Pattern

Type "N"



Number of Light Squares	Width "A"	Housing Length "B"	Weight with Standard or QM Arm	EPA with Standard or QM Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-9	22"	28-1/8"	48 lb	1.1

NOTES:  
For arm selection requirements and additional line art, see Mounting Details section.

NOTES:  
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2. IDA Certified (3000K CCT and warmer only, fixed mounting options)

Ordering Information

SAMPLE NUMBER: GALN-SA4C-740-U-T4FT-GM

Product Family <sup>1,2</sup>	Light Engine		Color Temperature	Voltage	Distribution	Mounting	Finish
	Configuration	Drive Current					
<b>GALN=Galleon II</b> BAA-GALN=Galleon II Buy American Act Compliant <sup>27</sup> TAA-GALN=Galleon II Trade Agreements Act Compliant <sup>27</sup>	<b>SA1=1 Square</b> <b>SA2=2 Squares</b> <b>SA3=3 Squares</b> <b>SA4=4 Squares</b> <b>SA5=5 Squares</b> <b>SA6=6 Squares</b> <b>SA7=7 Squares</b> <b>SA8=8 Squares</b> <b>SA9=9 Squares</b>	<b>A=600mA</b> <b>B=800mA</b> <b>C=1000mA</b> <sup>4,17</sup> <b>D=1200mA</b> <sup>4,17</sup> <b>Z=Configured</b> <sup>33</sup>	<b>722=70CRI, 2200K</b> <b>727=70CRI, 2700K</b> <b>730=70CRI, 3000K</b> <b>735=70CRI, 3500K</b> <b>740=70CRI, 4000K</b> <b>750=70CRI, 5000K</b> <b>760=70CRI, 6000K</b> <b>827=80CRI, 2700K</b> <b>830=80CRI, 3000K</b> <b>835=80CRI, 3500K</b> <b>840=80CRI, 4000K</b> <b>930=90CRI, 3000K</b> <b>935=90CRI, 3500K</b> <b>940=90CRI, 4000K</b> <b>950=90CRI, 5000K</b> <b>AMB=Amber, 590nm</b> <sup>15,17</sup>	<b>11=120-277V</b> <b>H=147V-480V</b> <sup>7,30</sup> <b>1=120V</b> <b>2=208V</b> <b>3=240V</b> <b>4=277V</b> <b>8=480V</b> <sup>7,30</sup> <b>9=347V</b> <sup>7</sup> <b>DV=277V-480V DuraVolt Drivers</b> <sup>29,30,31</sup>	<b>T1=Type I</b> <b>T2=Type II</b> <b>T2R=Type II Roadway</b> <b>T3=Type III</b> <b>T3R=Type III Roadway</b> <b>T4FT=Type IV Forward Throw</b> <b>T4W=Type IV Wide</b> <b>5NQ=Type V Narrow</b> <b>5MQ=Type V Square Medium</b> <b>5WQ=Type V Square Wide</b> <b>SL2=Type II w/Spill Control</b> <b>SL3=Type III w/Spill Control</b> <b>SL4=Type IV w/Spill Control</b> <b>SLL=90° Spill Light Eliminator Left</b> <b>SLR=90° Spill Light Eliminator Right</b> <b>RW=Rectangular Wide Type I</b> <b>AFL=Automotive Frontline</b>	<b>[Blank]=Standard Pole Mount Arm</b> <b>QU=Quick Mount Universal Arm</b> <b>QM=Pole Mount Arm with Quick Mount Adaptor</b> <b>PA=Pole Mount, Adjustable</b> <b>SP=3" Slipfitter, Adjustable</b> <sup>8</sup> <b>SP2=2-3/8" Slipfitter, Adjustable</b> <sup>8</sup> <b>QMA=Quick Mount Mast Arm, Fixed</b> <b>MA=Mast Arm, Fixed</b> <b>WM=Wall Mount, Fixed</b> <b>WA=Wall Mount, Adjustable</b> <b>UP=Upswept Arm</b>	<b>AP=Grey</b> <b>BZ=Bronze</b> <b>BK=Black</b> <b>DP=Dark Platinum</b> <b>GM=Graphite Metallic</b> <b>WH=White</b> <b>RALXX=Custom Color</b>
Options (Add as Suffix)			Controls and Systems Options (Add as Suffix)			Accessories (Order Separately) <sup>20</sup>	
<b>DIM=External 0-10V Dimming Leads</b> <sup>20</sup> <b>F=Single Fuse (120, 277 or 347V Specify Voltage)</b> <b>FF=Double Fuse (208, 240 or 480V Specify Voltage)</b> <b>20K=20kV UL 1449 fused surge protective device</b> <sup>16</sup> <b>2L=Two Circuits</b> <sup>10</sup> <b>HA=50°C High Ambient</b> <b>HSS=Installed House Side Shield</b> <sup>18</sup> <b>GRSBK=Glare Reducing Shield, Black</b> <sup>22</sup> <b>GRSWH=Glare Reducing Shield, White</b> <sup>22</sup> <b>LCF=Light Square Trim Painted to Match Housing</b> <sup>26</sup> <b>TH=Tool-Less Door Hardware</b> <sup>5</sup> <b>CC=Coastal Construction finish</b> <sup>3</sup> <b>L90=Optics Rotated 90° Left</b> <b>R90=Optics Rotated 90° Right</b> <b>AHD145=After Hours Dim, 5 Hours</b> <sup>22</sup> <b>AHD245=After Hours Dim, 6 Hours</b> <sup>22</sup> <b>AHD255=After Hours Dim, 7 Hours</b> <sup>22</sup> <b>AHD355=After Hours Dim, 8 Hours</b> <sup>22</sup> <b>DALI=DALI Drivers</b>			<b>BPC=Button Type Photocontrol. Must specify voltage 120V, 208V, 240V or 277V.</b> <sup>6</sup> <b>PR=NEMA 3-PIN Photocontrol Receptacle</b> <b>PR7=NEMA 7-PIN Photocontrol Receptacle</b> <sup>21</sup> <b>FADC=Field Adjustable Dimming Controller</b> <sup>22</sup> <b>PSC=Photocontrol Shorting Cap</b> <b>SPB2=Dimming Motion Sensor, 9'-20' mounting</b> <sup>24</sup> <b>SPB4=Dimming Motion Sensor, 21'-40' mounting</b> <sup>24</sup> <b>SPB2/X=Dimming Motion Sensor, limited square count, 9'-20' mounting</b> <sup>24</sup> <b>SPB4/X=Dimming Motion Sensor, limited square count, 21'-40' mounting</b> <sup>24</sup> <b>MS/DIM-120=Motion Sensor for Dimming Operation, 9'-20' Mounting</b> <sup>34</sup> <b>MS/DIM-140=Motion Sensor for Dimming Operation, 21'-40' Mounting</b> <sup>34</sup> <b>ZW=WaveLinx-enabled 4-PIN Twistlock Receptacle</b> <sup>19</sup> <b>ZD=SR Driver-enabled 4-PIN Twistlock Receptacle</b> <sup>19</sup> <b>ZW-WOBXX=WaveLinx Lite, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting</b> <sup>19,12</sup> <b>ZW-WOFXX=WaveLinx Lite, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting</b> <sup>19,12</sup> <b>ZD-WOBXX=WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting</b> <sup>19,12</sup> <b>ZD-WOFXX=WaveLinx Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting</b> <sup>19,12</sup> <b>ZW-SWPD4XX=WaveLinx Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting</b> <sup>19,12,13</sup> <b>ZW-SWPD5XX=WaveLinx Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting</b> <sup>19,12,13</sup> <b>ZD-SWPD4XX=WaveLinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting</b> <sup>19,12,13</sup> <b>ZD-SWPD5XX=WaveLinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting</b> <sup>19,12,13</sup> <b>DIM10-L20=Synapse Occupancy Sensor (9'-20' Mounting)</b> <sup>19</sup> <b>DIM10-L40=Synapse Occupancy Sensor (21'-40' Mounting)</b> <sup>19</sup>			<b>OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V</b> <b>OA/RA1027=NEMA Photocontrol - 480V</b> <b>OA/RA1201=NEMA Photocontrol - 347V</b> <b>OA/RA1013=Photocontrol Shorting Cap</b> <b>OA/RA1014=120V Photocontrol</b> <b>MA1252=10kV Surge Module Replacement</b> <b>MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon</b> <b>MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon</b> <b>MA1197-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon</b> <b>MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon</b> <b>MA1189-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon</b> <b>MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon</b> <b>MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon</b> <b>MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon</b> <b>MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon</b> <b>MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon</b> <b>MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon</b> <b>MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon</b> <b>MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon</b> <b>SRA238=Adapter kit for mounting 3" SP arm to 2-3/8" O.D. vertical tenon</b> <b>FSIR-100=Wireless Configuration Tool for MS/DIM</b> <sup>24</sup> <b>LS/HSS=Field Installed House Side Shield</b> <sup>5,18</sup> <b>LS/GRSBK-2PK=Glare Reducing Shield, Black</b> <sup>8,22</sup> <b>LS/GRSWH-2PK=Glare Reducing Shield, White</b> <sup>8,22</sup> <b>LS/PFS=Perimeter Shield, Black</b> <sup>14</sup> <b>WOLC-7P-10A=WaveLinx Outdoor Control Module</b> <sup>11,19</sup> <b>WOB-XX=WaveLinx Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting</b> <sup>12,14,19</sup> <b>WOF-XX=WaveLinx Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting</b> <sup>12,14,19</sup> <b>SWPD4-XX=WaveLinx Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting</b> <sup>12,13,14,19</sup> <b>SWPD5-XX=WaveLinx Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting</b> <sup>12,13,14,19</sup>	

**NOTES:**

- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
- DesignLights Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details. Not available with TH option.
- Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.
- Drive current 1200mA not available with color temperatures 722, 727, 827, 830 or 930 when the HSS option is selected.
- TH option not 3G rated. Not available with Coastal Construction (CC) option.
- Not available with voltage options H, 8 or 9.
- Requires the use of an internal step down transformer when combined with sensor options. Not available in combination with the HA high ambient and sensor options at 1A.
- SP arm limited to 3" O.D. vertical tenon. SP2 limited to 2-3/8" O.D. vertical tenon.
- One required for each Light Square.
- 2L is not available with SPB at 347V or 480V. Not available with WaveLinx or Enlighted sensors, or 20kV surge option.
- Requires PR7.
- Replace XX with sensor color (WH, BZ or BK.)
- WAC Gateway required to enable field-configurability. Order WAC-PoE and WPOE-120 (10V to PoE Injector) power supply if needed. WAC not required for LC Bluetooth sensors.
- Requires ZW or ZD receptacle.
- Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Exact luminaire wattage available in IES files. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option.
- Set of 4 pcs. One set required per Light Square.
- Not available with HA option.
- Not for use with T1, 5NQ, 5MQ, 5WQ or RW optics.
- Cannot be used with other control options.
- Low voltage control lead brought out 18" outside fixture. Not available with DALI or integrated controls options
- Not available if any SPB, LWR, or WaveLinx sensor is selected. Motion sensor has an integral photocell.
- Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory.
- Not for use with T1, T4FT, T4W or SL4 optics.
- Sensor configuration mobile application required for configuration. See controls page for details.
- Replace X with number of Light Squares controlled by the SPB, referencing the "SPB/X Availability Table" on the controls page.
- Not available with HSS, GRSWH or GRSBK.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCE](http://www.dome.com) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
- DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit [www.siglity.com/duravolt](http://www.siglity.com/duravolt) for more information.
- 480V not to be used with ungrounded or impedance grounded systems.
- Not available in 1 square configuration at 800mA or below. Not available with any control option except SPB.
- Cannot be used with PR7 or other motion response control options.
- Use GALN Product Configurator to specify lumen output, drive current and wattage. Not available with AMB.
- Uses the FSP-211 motion sensor. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information.

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	<b>D=Standard Dome Camera</b> <b>H=Hi-Res Dome Camera</b> <b>Z=Remote PTZ Camera</b>	<b>C=Cellular, No SIM</b> <b>A=Cellular, AT&amp;T</b> <b>V=Cellular, Verizon</b> <b>S=Cellular, Sprint</b> <b>R=Cellular, Rogers</b> <b>W=Wi-Fi Networking w/ Omni-Directional Antenna</b> <b>E=Ethernet Networking</b>

Project		Catalog #	GALN-SA2-A-740-U-SLL-BK-HSS	Type	P3
Prepared by		Notes		Date	



# McGraw-Edison

## GALN Galleon II

Area / Site Luminaire

### Product Features



### Product Certifications



### Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Distributions [page 5](#)
- Product Specifications [page 5](#)
- Energy and Performance Data [page 6](#)
- Control Options [page 11](#)

### Quick Facts

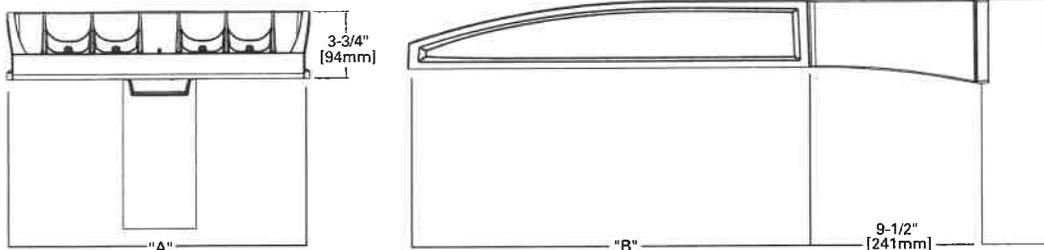
- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 17 optical distributions
- Efficacy up to 159 lumens per watt

### Connected Systems

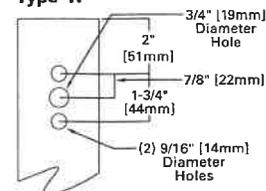
- WaveLinX Lite
- WaveLinX

### Dimensional Details

Standard Pole Mount Arm



Pole Drilling Pattern  
Type "N"



Number of Light Squares	Width "A"	Housing Length "B"	Weight with Standard or QM Arm	EPA with Standard or QM Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-9	22"	28-1/8"	48 lb	1.1

NOTES:  
For arm selection requirements and additional line art, see Mounting Details section.

NOTES:  
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.  
2. IDA Certified (3000K CCT and warmer only, fixed mounting options)

Ordering Information

SAMPLE NUMBER: GALN-SA4C-740-U-T4FT-GM

Product Family <sup>1,2</sup>	Light Engine		Color Temperature	Voltage	Distribution	Mounting	Finish
	Configuration	Drive Current					
GALN=Galleon II BAA-GALN=Galleon II Buy American Act Compliant <sup>27</sup> TAA-GALN=Galleon II Trade Agreements Act Compliant <sup>27</sup>	SA1=1 Square SA2=2 Squares SA3=3 Squares SA4=4 Squares SA5=5 Squares SA6=6 Squares SA7=7 Squares SA8=8 Squares SA9=9 Squares	A=600mA B=800mA C=1000mA D=1200mA <sup>4,17</sup> Z=Configured <sup>23</sup>	722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 760=70CRI, 6000K 827=80CRI, 2700K 830=80CRI, 3000K 835=80CRI, 3500K 840=80CRI, 4000K 930=90CRI, 3000K 935=90CRI, 3500K 940=90CRI, 4000K 950=90CRI, 5000K AMB=Amber, 590nm <sup>15,17</sup>	11=120-277V H=347V-480V <sup>7,30</sup> 1=120V 2=208V 3=240V 4=277V 8=480V <sup>7,30</sup> 9=347V <sup>7</sup> DV=277V-480V DuraVolt Drivers <sup>29,30,31</sup>	T1=Type I T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5NQ=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	[Blank]=Standard Pole Mount Arm QU=Quick Mount Universal Arm QM=Pole Mount Arm with Quick Mount Adaptor PA=Mount Arm, Adjustable SP=3" Slipfitter, Adjustable <sup>8</sup> SP2=2-3/8" Slipfitter, Adjustable <sup>8</sup> QMA=Quick Mount Mast Arm, Fixed MA=Mast Arm, Fixed WM=Wall Mount, Fixed WA=Wall Mount, Adjustable UP=Upswept Arm	AP=Grey R7=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White RALXX=Custom Color

Options (Add as Suffix)      Controls and Systems Options (Add as Suffix)      Accessories (Order Separately) <sup>28</sup>

<p>DIM=External 0-10V Dimming Leads <sup>29</sup> F=Single Fuse (120, 277 or 347V Specify Voltage) FF=Double Fuse (208, 240 or 480V Specify Voltage) 20K=20kV UL 1449 fused surge protective device <sup>10</sup> 2L=Two Circuits <sup>10</sup> HA=50°C High Ambient HSS=Installed House Side Shield <sup>18</sup> GRSBK=Glare Reducing Shield, Black <sup>23</sup> GRSWH=Glare Reducing Shield, White <sup>23</sup> LCF=Light Square Trim Painted to Match Housing <sup>24</sup> TH=Tool-less Door Hardware <sup>5</sup> CC=Coastal Construction Finish <sup>3</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right AHD145=After Hours Dim, 5 Hours <sup>22</sup> AHD245=After Hours Dim, 6 Hours <sup>22</sup> AHD255=After Hours Dim, 7 Hours <sup>22</sup> AHD355=After Hours Dim, 8 Hours <sup>22</sup> DALI=DALI Drivers</p>	<p>BPC=Button Type Photocontrol. Must specify voltage 120V, 208V, 240V or 277V. <sup>8</sup> PR=NEMA 3-PIN Photocontrol Receptacle PR7=NEMA 7-PIN Photocontrol Receptacle <sup>21</sup> FADC=Field Adjustable Dimming Controller <sup>22</sup> PSC=Photocontrol Shorting Cap SPB2=Dimming Motion Sensor, 9'-20' mounting <sup>24</sup> SPB4=Dimming Motion Sensor, 21'-40' mounting <sup>24</sup> SPB2/X=Dimming Motion Sensor, limited square count, 9'-20' mounting <sup>24</sup> SPB4/X=Dimming Motion Sensor, limited square count, 21'-40' mounting <sup>24</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9'-20' Mounting <sup>24</sup> MS/DIM-L40=Motion Sensor for Dimming Operation, 21'-40' Mounting <sup>24</sup> ZW=WaveLinX-enabled 4-PIN Twistlock Receptacle <sup>19</sup> ZD=SR Driver-enabled 4-PIN Twistlock Receptacle <sup>19</sup> ZW-WOBXX=WaveLinX Lite, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>19,12</sup> ZW-WOFXX=WaveLinX Lite, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>19,12</sup> ZD-WOBXX=WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>19,12</sup> ZD-WOFXX=WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>19,12</sup> ZW-SWPD4XX=WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>19,12,13</sup> ZW-SWPD5XX=WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>19,12,13</sup> ZD-SWPD4XX=WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>19,12,13</sup> ZD-SWPD5XX=WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>19,12,13</sup> DIM10-L20=Synapse Occupancy Sensor (9'-20' Mounting) <sup>19</sup> DIM10-L40=Synapse Occupancy Sensor (21'-40' Mounting) <sup>19</sup></p>	<p>OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon SRA238=Adapter kit for mounting 3" SP arm to 2-3/8" O.D. vertical tenon FSIR-100=Wireless Configuration Tool for MS/DIM <sup>34</sup> LS/HSS=Field Installed House Side Shield <sup>9,18</sup> LS/GRSBK-2PK =Glare Reducing Shield, Black <sup>9,23</sup> LS/GRSWH-2PK =Glare Reducing Shield, White <sup>9,23</sup> LS/PFS=Perimeter Shield, Black <sup>18</sup> WOLC-7P-10A=WaveLinX Outdoor Control Module <sup>11,19</sup> WOB-XX=WaveLinX Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>12,14,19</sup> WOF-XX=WaveLinX Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>12,14,19</sup> SWPD4-XX=WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>12,13,14,19</sup> SWPD5-XX=WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>12,13,14,19</sup></p>
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- NOTES:
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
  - DesignLights Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.
  - Coastal construction finish salt spray tested to over 5,000 hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.
  - Not available with TH option.
  - Drive current 1200mA not available with color temperatures 722, 727, 827, 830 or 930 when the HSS option is selected.
  - TH option not 3G rated. Not available with Coastal Construction (CC) option.
  - Not available with voltage options H, 8 or 9.
  - Requires the use of an internal step down transformer when combined with sensor options. Not available in combination with the HA high ambient and sensor options at 1A.
  - SP arm limited to 3" O.D. vertical tenon. SP2 limited to 2-3/8" O.D. vertical tenon.
  - One required for each Light Square.
  - 2L is not available with SPB at 347V or 480V. Not available with WaveLinX or Enlighted sensors, or 20kV surge option.
  - Requires PR7.
  - Replace XX with sensor color (WH, SZ or BK.)
  - WAC Gateway required to enable field-configurability. Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. WAC not required for LC Bluetooth sensors.
  - Requires ZW or ZD receptacle.
  - Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Exact luminaire wattage available in IES files. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option.
  - Set of 4 pcs. One set required per Light Square.
  - Not available with HA option.
  - Not for use with T1, 5NQ, 5MQ, 5WQ or RW optics.
  - Cannot be used with other control options.
  - Low voltage control lead brought out 18" outside fixture. Not available with DALI or integrated controls options
  - Not available if any SPB, LWR, or WaveLinX sensor is selected. Motion sensor has an integral photoac.
  - Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory.
  - Not for use with T1, T4FT, T4W or SL4 optics.
  - Sensor configuration mobile application required for configuration. See controls page for details.
  - Replace X with number of Light Squares controlled by the SPB, referencing the "SPB/X Availability Table" on the controls page.
  - Not available with HSS, GRSWH or GRSBK.
  - Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [www.mcgraw-edison.com](http://www.mcgraw-edison.com) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
  - For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
  - DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit [www.signify.com/duravolt](http://www.signify.com/duravolt) for more information.
  - 480V not to be used with ungrounded or impedance grounded systems.
  - Not available in 1 square configuration at 800mA or below. Not available with any control option except SPB.
  - Cannot be used with PR7 or other motion response control options.
  - Use GALN Product Configurator to specify lumen output, drive current and wattage. Not available with AMB.
  - Uses the FSP-211 motion sensor. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information.

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	D=Standard Dome Camera H=Hi-Res Dome Camera Z=Remote PTZ Camera	R=Cellular, Rogers W=Wi-Fi Networking w/ Omni-Directional Antenna E=Ethernet Networking

Project		Catalog #	GALN-SA2-A-740-U-SLR-BK-HSS	Type	P4
Prepared by		Notes		Date	



# McGraw-Edison

## GALN Galleon II

Area / Site Luminaire

### Product Features



### Product Certifications



### Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 5
- Product Specifications page 5
- Energy and Performance Data page 6
- Control Options page 11

### Quick Facts

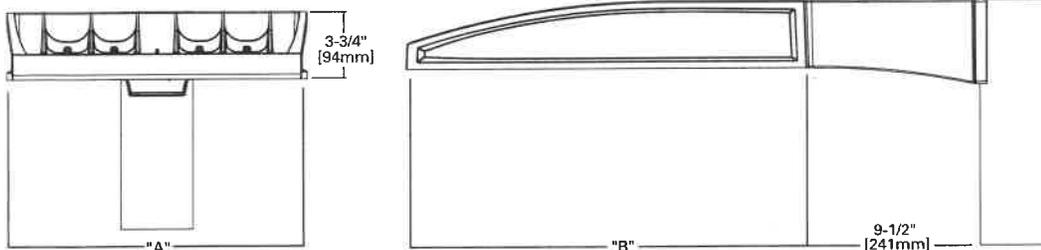
- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 17 optical distributions
- Efficacy up to 159 lumens per watt

### Connected Systems

- WaveLinx Lite
- WaveLinx

### Dimensional Details

Standard Pole Mount Arm

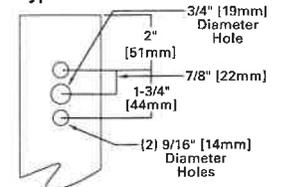


Number of Light Squares	Width "A"	Housing Length "B"	Weight with Standard or QM Arm	EPA with Standard or QM Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-9	22"	28-1/8"	48 lb	1.1

**NOTES:**  
For arm selection requirements and additional line art, see Mounting Details section.

### Pole Drilling Pattern

Type "N"



**NOTES:**  
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.  
2. IDA Certified (3000K CCT and warmer only, fixed mounting options)

Ordering Information

SAMPLE NUMBER: GALN-SA4C-740-U-T4FT-GM

Product Family <sup>1,2</sup>	Light Engine		Color Temperature	Voltage	Distribution	Mounting	Finish
	Configuration	Drive Current					
GALN=Galleon II BAA-GALN=Galleon II Buy American Act Compliant <sup>27</sup> TAA-GALN=Galleon II Trade Agreements Act Compliant <sup>27</sup>	SA1=1 Square SA2=2 Squares SA3=3 Squares SA4=4 Squares SA5=5 Squares SA6=6 Squares SA7=7 Squares SA8=8 Squares SA9=9 Squares	A=600mA B=800mA C=1000mA D=1200mA <sup>4,17</sup> Z=Configured <sup>23</sup>	722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 760=70CRI, 6000K 827=80CRI, 2700K 830=80CRI, 3000K 835=80CRI, 3500K 840=80CRI, 4000K 930=90CRI, 3000K 935=90CRI, 3500K 940=90CRI, 4000K 950=90CRI, 5000K AMB=Amber, 590nm <sup>15,17</sup>	II=120-277V H=347V-480V <sup>7,30</sup> 1=120V 2=208V 3=240V 4=277V 8=480V <sup>7,30</sup> 9=347V <sup>7</sup> DV=277V-480V DuraVolt Drivers <sup>29,30,31</sup>	T1=Type I T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5NQ=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SL1=60° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	[Blank]=Standard Pole Mount Arm QU=Quick Mount Universal Arm QM=Pole Mount Arm with Quick Mount Adaptor PA=Pole Mount, Adjustable SP=3" Slipfitter, Adjustable * SP2=2-3/8" Slipfitter, Adjustable * QMA=Quick Mount Mast Arm, Fixed MA=Mast Arm, Fixed WM=Wall Mount, Fixed WA=Wall Mount, Adjustable UP=Upswept Arm	AP=Grey RZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White RALXX=Custom Color

Options (Add as Suffix)	Controls and Systems Options (Add as Suffix)	Accessories (Order Separately) <sup>28</sup>
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<p>DIM=External 0-10V Dimming Leads <sup>20</sup> F=Single Fuse (120, 277 or 347V Specify Voltage) FF=Double Fuse (208, 240 or 480V Specify Voltage) 20K=20kV UL 1449 fused surge protective device <sup>10</sup> 2L=Two Circuits <sup>10</sup> HA=50°C High Ambient HSS=Installed House Side Shield <sup>14</sup> GRSBK=Glare Reducing Shield, Black <sup>23</sup> GRSWH=Glare Reducing Shield, White <sup>23</sup> LCF=Light Square Trim Painted to Match Housing <sup>28</sup> TH=Tool-less Door Hardware <sup>5</sup> CC=Coastal Construction finish <sup>3</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right AHD145=After Hours Dim, 5 Hours <sup>22</sup> AHD245=After Hours Dim, 6 Hours <sup>22</sup> AHD255=After Hours Dim, 7 Hours <sup>22</sup> AHD355=After Hours Dim, 8 Hours <sup>22</sup> DALI=DALI Drivers</p>	<p>BPC=Button Type Photocontrol. Must specify voltage 120V, 208V, 240V or 277V. <sup>6</sup> PR=NEMA 3-PIN Photocontrol Receptacle PR7=NEMA 7-PIN Photocontrol Receptacle <sup>21</sup> FADC=Field Adjustable Dimming Controller <sup>32</sup> PSC=Photocontrol Shorting Cap SPB2=Dimming Motion Sensor, 9'-20' mounting <sup>24</sup> SPB4=Dimming Motion Sensor, 21'-40' mounting <sup>24</sup> SPB2/X=Dimming Motion Sensor, limited square count, 9'-20' mounting <sup>24</sup> SPB4/X=Dimming Motion Sensor, limited square count, 21'-40' mounting <sup>24</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9'-20' Mounting <sup>34</sup> MS/DIM-L40=Motion Sensor for Dimming Operation, 21'-40' Mounting <sup>34</sup> ZW=WaveLinX-enabled 4-PIN Twistlock Receptacle <sup>19</sup> ZD=SR Driver-enabled 4-PIN Twistlock Receptacle <sup>19</sup> ZW-WOBXX=WaveLinX Lite, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>19,12</sup> ZW-WOFXX=WaveLinX Lite, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>19,12</sup> ZD-WOBXX=WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>19,12</sup> ZD-WOFXX=WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>19,12</sup> ZW-SWPD4XX=WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>19,12,13</sup> ZW-SWPD5XX=WaveLinX Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>19,12,13</sup> ZD-SWPD4XX=WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>19,12,13</sup> ZD-SWPD5XX=WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>19,12,13</sup> DIM10-L20=Synapse Occupancy Sensor (9'-20' Mounting) <sup>19</sup> DIM10-L40=Synapse Occupancy Sensor (21'-40' Mounting) <sup>19</sup></p>	<p>OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon SRA238=Adapter kit for mounting 3" SP arm to 2-3/8" O.D. vertical tenon FSIR-100=Wireless Configuration Tool for MS/DIM <sup>34</sup> LS/HSS=Field Installed House Side Shield <sup>4,18</sup> LS/GRSBK-2PK=Glare Reducing Shield, Black <sup>9,23</sup> LS/GRSWH-2PK=Glare Reducing Shield, White <sup>9,23</sup> LS/PFS=Perimeter Shield, Black <sup>18</sup> WOLC-7P-10A=WaveLinX Outdoor Control Module <sup>15,19</sup> WOB-XX=WaveLinX Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting <sup>12,14,19</sup> WOF-XX=WaveLinX Lite Sensor, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting <sup>12,14,19</sup> SWPD4-XX=WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>12,13,14,19</sup> SWPD5-XX=WaveLinX Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>12,13,14,19</sup></p>
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**NOTES:**

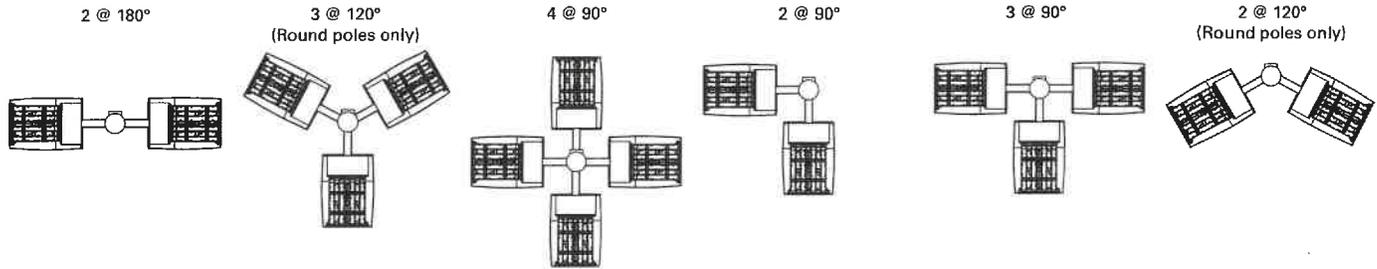
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
- DesignLights Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.
- Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. Not available with TH option.
- Drive current 1200mA not available with color temperatures 722, 727, 827, 830 or 930 when the HSS option is selected.
- TH option not 3G rated. Not available with Coastal Construction (CC) option.
- Not available with voltage options H, 8 or 9.
- Requires the use of an internal step down transformer when combined with sensor options. Not available in combination with the HA high ambient and sensor options at 1A.
- SP arm limited to 3" O.D. vertical tenon. SP2 limited to 2-3/8" O.D. vertical tenon.
- One required for each Light Square.
- 2L is not available with SPB at 347V or 480V. Not available with WaveLinX or Enlighted sensors, or 20kV surge option.
- Requires PR7.
- Replace XX with sensor color (WH, BZ or BK).
- WAC Gateway required to enable field-configurability. Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. WAC not required for LC Bluetooth sensors.
- Requires ZW or ZD receptacle.
- Narrow-band 590nm +/-5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Exact luminaire wattage available in IES files. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option.
- Set of 4 pcs. One set required per Light Square.
- Not available with HA option.
- Not for use with T1, 5NQ, 5MQ, 5WQ or RW optics.
- Cannot be used with other control options.
- Low voltage control lead brought out 18" outside fixture. Not available with DALI or integrated controls options
- Not available if any SPB, LWR, or WaveLinX sensor is selected. Motion sensor has an integral photocell.
- Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory.
- Not for use with T1, T4FT, T4W or SL4 optics.
- Sensor configuration mobile application required for configuration. See controls page for details.
- Replace X with number of Light Squares controlled by the SPB, referencing the "SPB/X Availability Table" on the controls page.
- Not available with HSS, GRSWH or GRSBK.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC.PREFERENCES](http://DOMESTIC.PREFERENCES) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
- DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit [www.sigfox.com/duvavolt](http://www.sigfox.com/duvavolt) for more information.
- 480V not to be used with ungrounded or impedance grounded systems.
- Not available in 1 square configuration at 800mA or below. Not available with any control option except SPB.
- Cannot be used with PR7 or other motion response control options.
- Use GALN Product Configurator to specify lumen output, drive current and wattage. Not available with AMB.
- Uses the FSP-211 motion sensor. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Cooper Lighting Solutions for more information.

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	D=Standard Dome Camera H=Hi-Res Dome Camera Z=Remote PTZ Camera	R=Cellular, Rogers W=Wi-Fi Networking w/ Omni-Directional Antenna E=Ethernet Networking

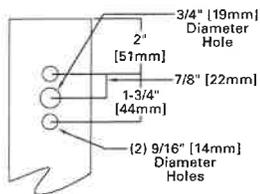
## Mounting Details

### Pole Configuration Options

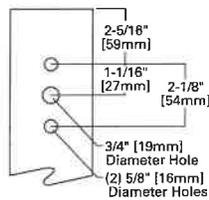


### Pole Drilling Patterns

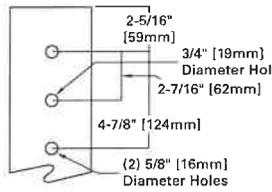
#### Type "N"



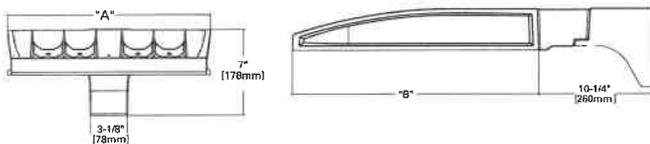
#### Type "R"



#### Type "M"

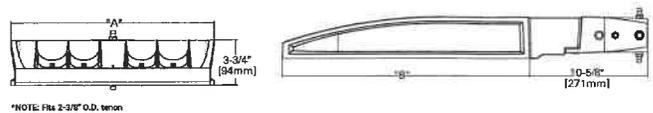


### Quick Mount Universal Arm (QU)



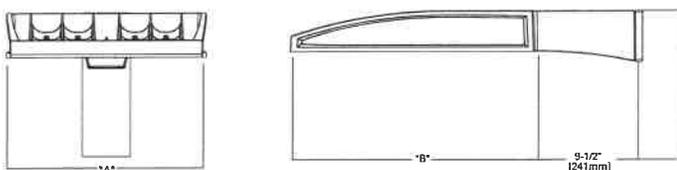
\*NOTE: Universal bolt pattern compatible with Type N through Type M drilling patterns

### Quick Mount Mast Arm (QMA)



\*NOTE: Fits 2-3/8\"/>

### Pole Mount Arm with Quick Mount Adaptor (QM)



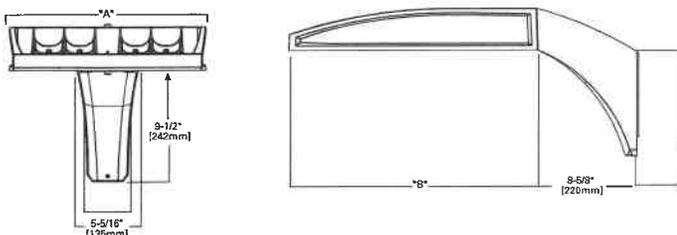
\*NOTE: Use Type N drilling pattern

### Mast Arm, Fixed (MA)



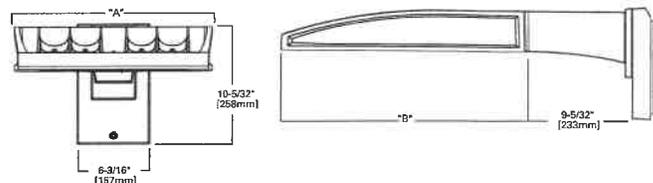
\*NOTE: Fits 2-3/8\"/>

### Upswept Arm (UP)



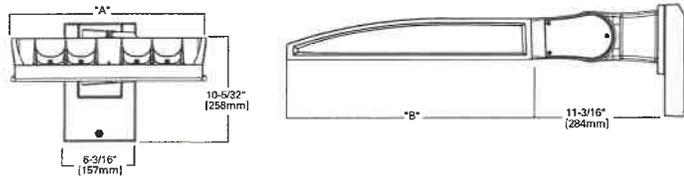
\*NOTE: Universal bolt pattern compatible with Type N through Type M drilling patterns

### Wall Mount, Fixed (WM)

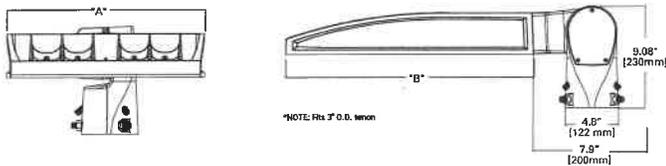


## Mounting Details

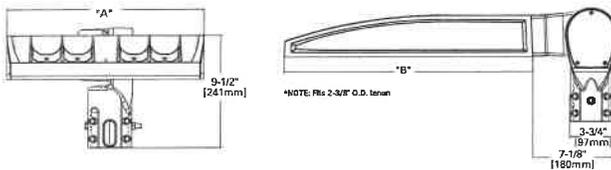
### Wall Mount, Adjustable (WA)



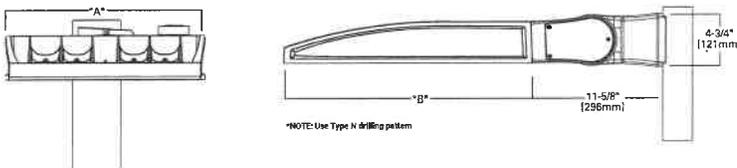
### 3" Slipfitter, Adjustable (SP)



### 2-3/8" Slipfitter, Adjustable (SP2)

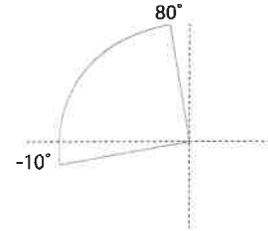


### Pole Mount, Adjustable Arm (PA)



### Adjustable Arm Range of Motion

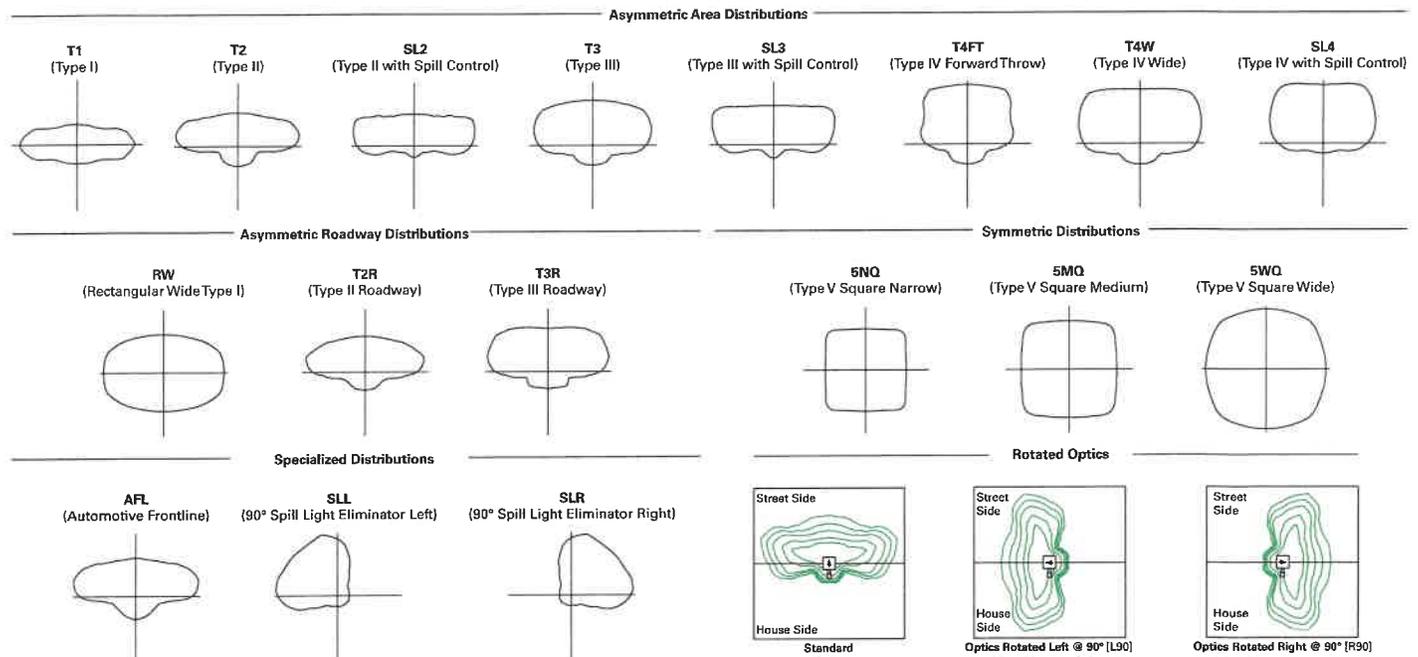
- Includes WA, SP, SP2 and PA mounting options
- Adjustable in increments of 5°
- Must maintain downward facing orientation



## Fixture Weights and EPAs

Tilt Angle (Degrees)	Number of Light Squares	Weight	1 @ 90°	2 @ 180°	2 @ 90°	2 @ 120°	3 @ 90°	3 @ 120°	4 @ 90°
0°	1-4	33.5 lb (15.2 kg)	0.85	1.70	1.46	1.66	2.31	2.25	2.35
	5-6	43.5 lb (19.7 kg)	0.86	1.71	1.62	1.80	2.49	2.35	2.50
	7-9	52.5 lb (23.8 kg)	0.98	1.95	1.75	1.98	2.73	2.55	2.76
15°	1-4	33.5 lb (15.2 kg)	1.10	1.71	1.95	2.26	2.81	3.30	2.87
	5-6	43.5 lb (19.7 kg)	1.42	1.71	2.27	2.72	3.13	3.63	3.15
	7-9	52.5 lb (23.8 kg)	1.69	1.96	2.67	3.22	3.65	4.38	3.72
30°	1-4	33.5 lb (15.2 kg)	1.72	1.81	2.58	3.21	3.44	4.59	3.53
	5-6	43.5 lb (19.7 kg)	2.26	2.29	3.11	4.00	3.97	5.27	4.00
	7-9	52.5 lb (23.8 kg)	2.75	2.85	3.73	4.83	4.71	6.45	4.81
45°	1-4	33.5 lb (15.2 kg)	2.25	2.36	3.10	4.00	3.96	5.63	4.08
	5-6	43.5 lb (19.7 kg)	2.96	2.99	3.81	5.06	4.67	6.49	4.71
	7-9	52.5 lb (23.8 kg)	3.63	3.76	3.73	6.17	5.59	8.03	5.73
60°	1-4	33.5 lb (15.2 kg)	2.63	2.77	3.49	4.58	4.34	6.21	4.48
	5-6	43.5 lb (19.7 kg)	3.46	3.51	4.32	5.84	5.19	7.01	5.22
	7-9	52.5 lb (23.8 kg)	4.27	4.44	5.25	7.15	6.23	8.80	6.40

Optical Distributions



Product Specifications

Construction

- Die-cast aluminum housing and heat sink
- Three housing sizes, using 1 to 9 light squares

Optics

- High-efficiency injection-molded AccuLED Optics technology
- 17 optical distributions for area site and roadway applications
- 3 shielding options include HSS, GRS and PFS
- IDA Certified (3000K CCT and warmer only, fixed mounting options)

Electrical

- Removable power tray assembly includes drivers, surge modules and control modules for ease of maintenance and serviceability
- Standard with 0-10V dimming
- Standard with 10kV surge module, optional 20kV surge module

- Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration

Mounting

- Arms are factory installed, enabling closed-housing installation
- All arms suitable for round or square pole installation
- All arms provide clearance for multiple fixture installations at 90°

Finish

- 6 standard finishes use super durable TGIC polyester powder coat paint, providing 2.5 mil nominal thickness and salt-spray tested to 3,000 hours per ASTM B117
- RAL and custom color matches available
- Coastal Construction (CC) option salt-spray tested to 5,000 hours per ASTM B117, achieving a scribe rating of 9 per ASTM D1654

Typical Applications

- Outdoor, Parking Lots, Walkways, Roadways, Building Areas

Warranty

- Five year limited warranty

**Energy and Performance Data**

**Lumen Maintenance (TM-21)**

Drive Current	Ambient Temperature	25,000 hours*	50,000 hours*	60,000 hours*	100,000 hours**	Theoretical L70 hours**
Up to 1A	25°C	99.4%	99.0%	98.9%	98.3%	> 2.4M
	40°C	98.7%	98.3%	98.1%	97.4%	> 1.9M
	50°C	98.2%	97.2%	96.8%	95.2%	> 851,000
1.2A	25°C	99.4%	99.0%	98.9%	98.3%	> 2.4M
	40°C	98.5%	97.9%	97.7%	96.7%	> 1.3M

**Lumen Multiplier**

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

\* Supported by IES TM-21 standards

\*\* Theoretical values represent estimations commonly used; however, refer to the IES position on LED Product Lifetime Prediction, IES PS-10-18, explaining proper use of IES TM-21 and LM-80.

**FADC Settings**

**SA1-SA3 (A, B, C, D Drive Current)**

FADC Position	Percent of Typical Lumen Output
1	25%
2	48%
3	56%
4	65%
5	75%
6	80%
7	85%
8	90%
9	95%
10	100%

**FADC Settings**

**SA4-SA6 (A, B, C, D Drive Current)**

FADC Position	Percent of Typical Lumen Output
1	14%
2	25%
3	32%
4	43%
5	49%
6	57%
7	65%
8	72%
9	80%
10	100%

**FADC Settings**

**SA7-SA9 (A, B, C, D Drive Current)**

FADC Position	Percent of Typical Lumen Output
1	19%
2	38%
3	47%
4	63%
5	74%
6	85%
7	95%
8	97%
9	100%
10	100%

Performance Table, Drive Current "A" (615mA)

Number of Light Squares		1	2	3	4	5	6	7	8	9
<b>Nominal Power (Watts)</b>		33	63	93	121	154	182	215	244	274
<b>Input Current @ 120V</b>		0.283	0.529	0.778	1.058	1.310	1.556	1.839	2.089	2.335
<b>Input Current @ 208V</b>		0.165	0.309	0.460	0.618	0.771	0.919	1.082	1.240	1.379
<b>Input Current @ 240V</b>		0.143	0.270	0.398	0.540	0.671	0.796	0.944	1.078	1.194
<b>Input Current @ 277V</b>		0.125	0.237	0.352	0.473	0.581	0.705	0.818	0.962	1.057
<b>Input Current @ 347V</b>		0.098	0.181	0.272	0.362	0.454	0.544	0.636	0.738	0.816
<b>Input Current @ 480V</b>		0.073	0.133	0.200	0.267	0.335	0.400	0.470	0.554	0.600
Optics										
T1	4000K Lumens	4,619	9,180	13,628	18,059	22,861	27,070	31,796	36,863	41,385
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
	Lumens per Watt	140	146	147	149	148	149	148	151	151
T2	4000K Lumens	4,654	9,249	13,730	18,194	23,032	27,273	32,034	37,138	41,694
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	141	147	148	150	150	150	149	152	152
T2R	4000K Lumens	4,716	9,372	13,913	18,437	23,340	27,637	32,462	37,634	42,251
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
	Lumens per Watt	143	149	150	152	152	152	151	154	154
T3	4000K Lumens	4,589	9,120	13,538	17,940	22,711	26,892	31,587	36,620	41,112
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G4
	Lumens per Watt	139	145	146	148	147	148	147	150	150
T3R	4000K Lumens	4,735	9,411	13,970	18,513	23,436	27,751	32,596	37,790	42,425
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	143	149	150	153	152	152	152	155	155
T4FT	4000K Lumens	4,617	9,176	13,622	18,051	22,851	27,058	31,782	36,847	41,366
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	140	146	146	149	148	149	148	151	151
T4W	4000K Lumens	4,631	9,203	13,662	18,104	22,918	27,138	31,876	36,955	41,488
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	140	146	147	150	149	149	148	151	151
SL2	4000K Lumens	4,619	9,180	13,627	18,058	22,860	27,069	31,795	36,861	41,383
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5
	Lumens per Watt	140	146	147	149	148	149	148	151	151
SL3	4000K Lumens	4,586	9,115	13,531	17,931	22,699	26,879	31,571	36,602	41,091
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	139	145	145	148	147	148	147	150	150
SL4	4000K Lumens	4,529	9,002	13,363	17,708	22,417	26,544	31,178	36,146	40,580
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	137	143	144	146	146	146	145	148	148
5NQ	4000K Lumens	4,829	9,598	14,247	18,880	23,901	28,301	33,242	38,539	43,266
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
	Lumens per Watt	146	152	153	156	155	155	155	158	158
5MQ	4000K Lumens	4,853	9,645	14,318	18,974	24,020	28,442	33,407	38,731	43,482
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	147	153	154	157	156	156	155	159	159
5WQ	4000K Lumens	4,843	9,625	14,288	18,934	23,969	28,382	33,337	38,649	43,390
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
	Lumens per Watt	147	153	154	156	156	156	155	158	158
SLL/ SLR	4000K Lumens	3,989	7,927	11,768	15,594	19,741	23,375	27,456	31,831	35,736
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	121	126	127	129	128	128	128	130	130
RW	4000K Lumens	4,774	9,488	14,085	18,665	23,628	27,979	32,863	38,100	42,774
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
	Lumens per Watt	145	151	151	154	153	154	153	156	156
AFL	4000K Lumens	4,673	9,286	13,785	18,268	23,126	27,384	32,164	37,290	41,864
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
	Lumens per Watt	142	147	148	151	150	150	150	153	153

\* Nominal data for 70 CRI. \*\* For additional performance data, please reference the Galleon Supplemental Performance Guide.

Performance Table, Drive Current "B" (800mA)

Number of Light Squares		1	2	3	4	5	6	7	8	9
<b>Nominal Power (Watts)</b>		44	82	121	164	204	243	286	325	364
<b>Input Current @ 120V</b>		0.367	0.689	1.014	1.378	1.704	2.027	2.393	2.716	3.041
<b>Input Current @ 208V</b>		0.213	0.401	0.594	0.802	0.997	1.188	1.400	1.605	1.782
<b>Input Current @ 240V</b>		0.184	0.347	0.510	0.694	0.860	1.021	1.210	1.386	1.531
<b>Input Current @ 277V</b>		0.160	0.303	0.449	0.605	0.757	0.898	1.065	1.242	1.347
<b>Input Current @ 347V</b>		0.125	0.235	0.355	0.471	0.592	0.710	0.828	0.958	1.065
<b>Input Current @ 480V</b>		0.092	0.172	0.258	0.344	0.432	0.517	0.605	0.706	0.775
<b>Optics</b>										
<b>T1</b>	4000K Lumens	5,748	11,423	16,957	22,470	28,446	33,683	39,563	45,867	51,494
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
	Lumens per Watt	131	139	140	137	139	139	138	141	141
<b>T2</b>	4000K Lumens	5,790	11,508	17,083	22,638	28,658	33,935	39,859	46,210	51,879
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	132	140	141	138	140	140	139	142	143
<b>T2R</b>	4000K Lumens	5,868	11,662	17,311	22,941	29,041	34,388	40,391	46,827	52,572
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
	Lumens per Watt	133	142	143	140	142	142	141	144	144
<b>T3</b>	4000K Lumens	5,710	11,347	16,845	22,322	28,258	33,461	39,303	45,565	51,155
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G4	B4-U0-G5	B4-U0-G5
	Lumens per Watt	130	138	139	136	139	138	137	140	141
<b>T3R</b>	4000K Lumens	5,892	11,710	17,383	23,035	29,161	34,530	40,558	47,020	52,788
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	134	143	144	140	143	142	142	145	145
<b>T4FT</b>	4000K Lumens	5,745	11,418	16,949	22,460	28,433	33,668	39,546	45,847	51,471
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	131	139	140	137	139	139	138	141	141
<b>T4W</b>	4000K Lumens	5,762	11,451	16,999	22,526	28,517	33,767	39,662	45,982	51,622
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	131	140	140	137	140	139	139	141	142
<b>SL2</b>	4000K Lumens	5,747	11,422	16,956	22,469	28,444	33,681	39,561	45,865	51,491
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	131	139	140	137	139	139	138	141	141
<b>SL3</b>	4000K Lumens	5,707	11,342	16,836	22,311	28,244	33,444	39,283	45,542	51,129
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	130	138	139	136	138	138	137	140	140
<b>SL4</b>	4000K Lumens	5,636	11,201	16,627	22,034	27,893	33,028	38,794	44,976	50,493
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	128	137	137	134	137	136	136	138	139
<b>5NQ</b>	4000K Lumens	6,009	11,942	17,727	23,492	29,739	35,214	41,362	47,953	53,835
	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
	Lumens per Watt	137	146	147	143	146	145	145	148	148
<b>5MQ</b>	4000K Lumens	6,039	12,001	17,816	23,609	29,887	35,389	41,568	48,191	54,103
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
	Lumens per Watt	137	146	147	144	147	146	145	148	149
<b>5WQ</b>	4000K Lumens	6,026	11,976	17,778	23,559	29,824	35,315	41,480	48,090	53,989
	BUG Rating	B3-U0-G1	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
	Lumens per Watt	137	146	147	144	146	145	145	148	148
<b>SLL/SLR</b>	4000K Lumens	4,963	9,863	14,642	19,403	24,563	29,085	34,163	39,607	44,465
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	113	120	121	118	120	120	119	122	122
<b>RW</b>	4000K Lumens	5,940	11,806	17,526	23,224	29,400	34,813	40,891	47,407	53,222
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
	Lumens per Watt	135	144	145	142	144	143	143	146	146
<b>AFL</b>	4000K Lumens	5,814	11,555	17,153	22,730	28,775	34,073	40,021	46,398	52,090
	BUG Rating	B1-U0-G1	B2-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4
	Lumens per Watt	132	141	142	139	141	140	140	143	143

\* Nominal data for 70 CRI. \*\* For additional performance data, please reference the Galleon Supplemental Performance Guide.

Performance Table, Drive Current "C" (1050mA)

Number of Light Squares		1	2	3	4	5	6	7	8	9
<b>Nominal Power (Watts)</b>		57	108	160	213	269	321	377	429	481
<b>Input Current @ 120V</b>		0.478	0.905	1.338	1.810	2.244	2.675	3.150	3.584	4.013
<b>Input Current @ 208V</b>		0.279	0.532	0.780	1.064	1.313	1.559	1.845	2.093	2.339
<b>Input Current @ 240V</b>		0.243	0.458	0.664	0.916	1.123	1.328	1.582	1.788	1.991
<b>Input Current @ 277V</b>		0.213	0.404	0.582	0.808	0.997	1.164	1.401	1.589	1.745
<b>Input Current @ 347V</b>		0.164	0.322	0.471	0.644	0.795	0.943	1.117	1.269	1.414
<b>Input Current @ 480V</b>		0.121	0.235	0.341	0.469	0.579	0.681	0.814	0.923	1.022
<b>Optics</b>										
<b>T1</b>	4000K Lumens	7,101	14,113	20,950	27,763	35,146	41,616	48,882	56,671	63,623
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	125	131	131	130	131	130	130	132	132
<b>T2</b>	4000K Lumens	7,154	14,219	21,107	27,970	35,408	41,927	49,247	57,094	64,098
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	126	132	132	131	132	131	131	133	133
<b>T2R</b>	4000K Lumens	7,250	14,408	21,389	28,344	35,881	42,487	49,905	57,857	64,954
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	127	133	134	133	133	132	132	135	135
<b>T3</b>	4000K Lumens	7,054	14,020	20,812	27,580	34,914	41,342	48,560	56,297	63,203
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	124	130	130	129	130	129	129	131	131
<b>T3R</b>	4000K Lumens	7,280	14,468	21,477	28,461	36,029	42,663	50,111	58,096	65,222
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	128	134	134	134	134	133	133	135	136
<b>T4FT</b>	4000K Lumens	7,098	14,107	20,941	27,751	35,130	41,598	48,860	56,646	63,594
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	125	131	131	130	131	130	130	132	132
<b>T4W</b>	4000K Lumens	7,119	14,148	21,003	27,832	35,233	41,720	49,004	56,812	63,781
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	125	131	131	131	131	130	130	132	133
<b>SL2</b>	4000K Lumens	7,101	14,112	20,949	27,761	35,144	41,614	48,879	56,668	63,619
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	125	131	131	130	131	130	130	132	132
<b>SL3</b>	4000K Lumens	7,051	14,013	20,802	27,566	34,897	41,321	48,535	56,269	63,172
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	124	130	130	129	130	129	129	131	131
<b>SL4</b>	4000K Lumens	6,963	13,839	20,543	27,223	34,463	40,808	47,932	55,569	62,386
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	122	128	128	128	128	127	127	130	130
<b>SNQ</b>	4000K Lumens	7,424	14,755	21,903	29,025	36,743	43,508	51,104	59,247	66,515
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
	Lumens per Watt	130	137	137	136	137	136	136	138	138
<b>SMQ</b>	4000K Lumens	7,461	14,828	22,012	29,169	36,926	43,725	51,359	59,542	66,846
	BUG Rating	B3-U0-G1	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
	Lumens per Watt	131	137	138	137	137	136	136	139	139
<b>SWQ</b>	4000K Lumens	7,445	14,797	21,966	29,108	36,849	43,633	51,250	59,417	66,705
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	131	137	137	137	137	136	136	139	139
<b>SL/SLR</b>	4000K Lumens	6,132	12,187	18,091	23,973	30,348	35,936	42,210	48,935	54,938
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	108	113	113	113	113	112	112	114	114
<b>RW</b>	4000K Lumens	7,340	14,587	21,553	28,694	36,325	43,013	50,522	58,573	65,757
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	129	135	135	135	135	134	134	137	137
<b>AFL</b>	4000K Lumens	7,183	14,276	21,193	28,084	35,552	42,098	49,448	57,327	64,359
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G4
	Lumens per Watt	126	132	132	132	132	131	131	134	134

\* Nominal data for 70 CRI. \*\* For additional performance data, please reference the Galleon Supplemental Performance Guide.

Performance Table, Drive Current "D" (1200mA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	
<b>Nominal Power (Watts)</b>	65	125	184	245	309	368	433	493	552	
<b>Input Current @ 120V</b>	0.546	1.041	1.535	2.082	2.578	3.070	3.619	4.114	4.605	
<b>Input Current @ 208V</b>	0.318	0.610	0.893	1.219	1.504	1.786	2.113	2.397	2.679	
<b>Input Current @ 240V</b>	0.276	0.523	0.758	1.046	1.282	1.516	1.806	2.041	2.274	
<b>Input Current @ 277V</b>	0.241	0.460	0.662	0.920	1.133	1.325	1.593	1.807	1.987	
<b>Input Current @ 347V</b>	0.187	0.370	0.543	0.740	0.915	1.085	1.285	1.459	1.628	
<b>Input Current @ 480V</b>	0.138	0.269	0.391	0.537	0.663	0.782	0.932	1.057	1.173	
<b>Optics</b>										
<b>T1</b>	4000K Lumens	7,814	15,529	23,053	30,549	38,672	45,793	53,787	62,358	70,007
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	120	124	125	125	125	124	124	126	127
<b>T2</b>	4000K Lumens	7,872	15,645	23,225	30,777	38,962	46,135	54,189	62,824	70,530
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	121	125	126	126	126	125	125	127	128
<b>T2R</b>	4000K Lumens	7,977	15,854	23,535	31,188	39,482	46,751	54,913	63,653	71,472
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	123	127	128	127	128	127	127	129	129
<b>T3</b>	4000K Lumens	7,762	15,427	22,901	30,348	38,418	45,491	53,433	61,947	69,546
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	119	123	124	124	124	124	123	126	126
<b>T3R</b>	4000K Lumens	8,010	15,920	23,632	31,317	39,645	46,944	55,139	63,925	71,767
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	123	127	128	128	128	128	127	130	130
<b>T4FT</b>	4000K Lumens	7,810	15,522	23,043	30,535	38,655	45,772	53,763	62,330	69,976
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	120	124	125	125	125	124	124	126	127
<b>T4W</b>	4000K Lumens	7,833	15,568	23,110	30,625	38,769	45,907	53,921	62,513	70,182
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	121	125	126	125	125	125	125	127	127
<b>SL2</b>	4000K Lumens	7,813	15,528	23,052	30,547	38,670	45,790	53,784	62,354	70,003
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	120	124	125	125	125	124	124	126	127
<b>SL3</b>	4000K Lumens	7,758	15,419	22,889	30,332	38,398	45,468	53,406	61,916	69,511
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	119	123	124	124	124	124	123	126	126
<b>SL4</b>	4000K Lumens	7,662	15,228	22,605	29,955	37,921	44,903	52,742	61,146	68,646
	BUG Rating	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	118	122	123	122	123	122	122	124	124
<b>5NQ</b>	4000K Lumens	8,169	16,235	24,101	31,938	40,431	47,874	56,232	65,193	73,190
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
	Lumens per Watt	126	130	131	130	131	130	130	132	133
<b>5MQ</b>	4000K Lumens	8,210	16,316	24,221	32,097	40,632	48,113	56,512	65,517	73,554
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	126	131	132	131	131	131	131	133	133
<b>5WQ</b>	4000K Lumens	8,192	16,282	24,170	32,029	40,546	48,011	56,393	65,379	73,399
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	126	130	131	131	131	130	130	133	133
<b>SLL/SLR</b>	4000K Lumens	6,747	13,410	19,906	26,379	33,394	39,542	46,445	53,846	60,451
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	104	107	108	108	108	107	107	109	110
<b>RW</b>	4000K Lumens	8,076	16,050	23,826	31,574	39,970	47,329	55,592	64,450	72,356
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
	Lumens per Watt	124	128	129	129	129	129	128	131	131
<b>AFL</b>	4000K Lumens	7,904	15,709	23,320	30,902	39,120	46,323	54,410	63,079	70,817
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B4-U0-G4	B4-U0-G4
	Lumens per Watt	122	126	127	126	127	126	126	128	128

\* Nominal data for 70 CRI, \*\* For additional performance data, please reference the Galleon Supplemental Performance Guide.

## Control Options

### 0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

### Photocontrol (BPC, PR and PR7)

Optional button-type photocontrol (BPC) and photocontrol receptacles (PR and PR7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PR7 receptacle.

### After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

### Dimming Occupancy Sensor (SPB and MS/DIM-LXX)

These passive infrared (PIR) sensors are factory installed in the luminaire housing. When the SPB (FSP-321 or FSP-311) or MS/DIM (FSP-211) sensor options are selected, the occupancy sensor is connected to a dimming driver and the luminaire dims when no motion is detected. After a set period of time, the luminaire turns off, and when motion is detected, the luminaire returns to full light output. Both sensors are factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS/DIM sensor requires the FSIR-100 programming tool to adjust factory defaults. The SPB sensor default parameters are listed in the table below and can be configured utilizing the Sensor Configuration mobile application for iOS and Android devices. The SPB/X is configured to control only the specified number of light squares (See SPB/X Availability Table below.) An integral photocontrol can be activated with the app for "dusk-to-dawn" control or daylight harvesting - the factory default is off. Four sensor colors are available; Bronze, Black, Gray and White, and are automatically selected based on the luminaire finish as indicated by the table below.

SPB sensor finish matched to luminaire finish		
Luminaire Finish		SPB Sensor Finish*
WH	White	White
BK	Black	Black
GM	Graphite Metallic	Black
BZ	Bronze	Bronze
AP	Gray	Gray
DP	Dark Platinum	Gray

\*SPB bezel color automatically selected based on luminaire finish

SPB/X Availability Table	
Fixture Square Count	Available SPB/X Square Count
1	Not Available
2	Not Available
3	Not Available
4	2
5	2 or 3
6	3
7	2, 3, 4 or 5
8	2, 3, 5 or 6
9	3 or 6

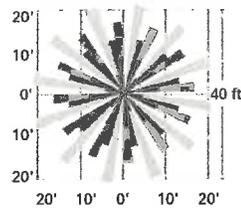
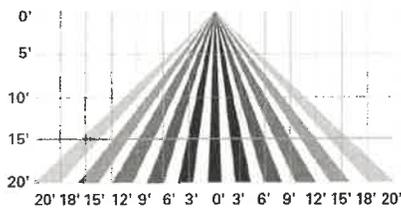
### Default Program Settings (Out of the Box Functionality)

Occupancy Sensor				
Setting	MS/DIM	SPB	WaveLinX Lite (WOF / WOB)	WaveLinX (SWPD)
High Mode %	100%	100%	100%	100%
Low Mode %	10%	10%	50%	50%
Time Delay	5 min	5 min	15 min	15 min
Cut Off Delay	1 hr	1 hr	Disabled	Disabled
Photocell Enabled	No	No	Yes	Yes

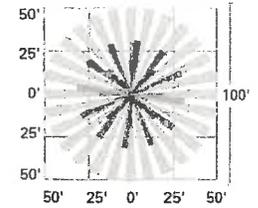
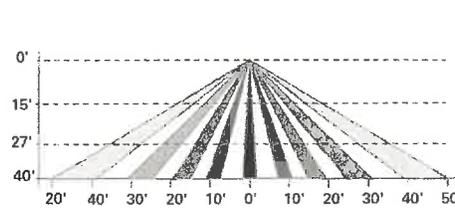
### WaveLinX Wireless Control and Monitoring System

Operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. WaveLinX and WaveLinX Lite sensors utilize the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW), while the WOLC control module utilizes a 7-PIN receptacle. ZW option provides 4-PIN receptacle and control module to enable future installation of WaveLinX sensors. ZD option provides 4-PIN receptacle and sensor-ready (SR) driver to enable future installation of WaveLinX sensors, power monitoring, and advanced functionality. WaveLinX (SWPD4 to SWPD5) outdoor wireless sensors offer passive infrared (PIR) occupancy and photocell for closed loop daylight harvesting, and can be factory or field-installed. Sensors are factory preset to dim down to 50% after 15 minutes of no motion detected. Two lens options are available for mounting heights of 7' to 40'. Use the WaveLinX mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets). WaveLinX Lite (WOF and WOB) outdoor wireless sensors provide PIR occupancy and photocell for closed loop daylight harvesting, and can be factory or field-installed. Sensors are factory preset to dim down to 50% after 15 minutes of no motion detected. Two lens options are available for mounting heights of 7' to 40'. Use the WaveLinX Lite mobile application for set-up and configuration. WAC not required. WaveLinX Outdoor Control Module (WOLC-7P-10A) accessory provides a photocontrol enabling astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

For mounting heights up to 15' (SWPD4 and WOB)



For mounting heights up to 40' (SWPD5 and WOF)



### LumenSafe Integrated Network Security Camera (LD)

Cooper Lighting Solutions brings ease of camera deployment to a whole new level. No additional wiring is needed beyond providing line power to the luminaire. A variety of networking options allows security integrators to design the optimal solution for active surveillance. As the ideal solution to meet the needs for active surveillance, the LumenSafe integrated network camera is a streamlined, outdoor-ready fixed dome that provides HDTV 1080p video. This IP camera is optimally designed for deployment in the video management system or security software platform of choice.

### Synapse (DIM10)

SimplySNAP integrated wireless controls system by Synapse. Includes factory installed DIM10 Synapse control module and FSP-201 motion sensor; requires additional Synapse system components for operation. Contact Synapse at [www.synapsewireless.com](http://www.synapsewireless.com) for product support, warranty and terms and conditions.

Project		Catalog #	GWC-SA1-B-740-U-T3-BK	Type	WP1
Prepared by		Notes		Date	



# McGraw-Edison

## GWC Galleon Wall

Wall Mount Luminaire

### Product Features



### Product Certifications



### Interactive Menu

- Ordering Information [page 2](#)
- Product Specifications [page 2](#)
- Optical Configurations [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 6](#)

### Quick Facts

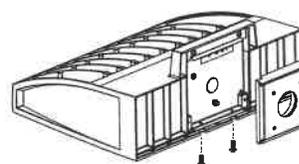
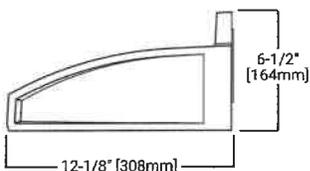
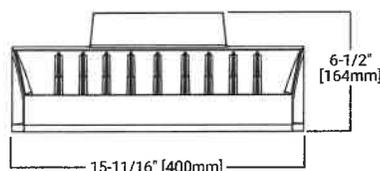
- Choice of thirteen high-efficiency, patented AccuLED Optics
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

### Connected Systems

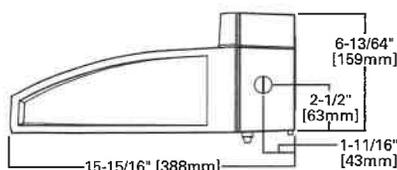
- WaveLinX
- Enlighted

### Dimensional Details

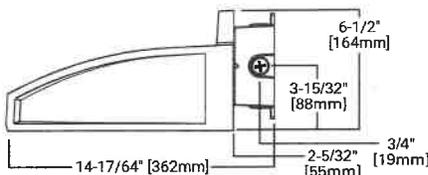
Net Weight: 17.0 lbs (7.7 kgs)



GWC with CBP option installed  
(Thru-Branch Back Box accessory MA1059XX)



GWC with accessory BB/GWCXX Back Box installed



NOTES:  
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.  
2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: GWC-SA2C-740-U-T4FT-GM

Product Family <sup>1</sup>	Light Engine		Color Temperature	Voltage	Distribution	Finish
	Configuration	Drive Current				
GWC=Galleon Wall BAA=GWC=Galleon Wall, Buy American Act Compliant <sup>35</sup> TAA=GWC=Galleon Wall, Trade Agreements Act Compliant <sup>35</sup>	SA1=1 Square SA2=2 Squares <sup>2</sup>	A=615mA B=800mA C=1000mA D=1200mA <sup>4</sup> Z=Configured <sup>41</sup>	722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 760=70CRI, 6000K 827=80CRI, 2700K 830=80CRI, 3000K AMB=Amber, 590nm <sup>2, 4</sup>	U=120-277V 1=120V 2=208V 3=240V 4=277V 8=480V <sup>6,7</sup> 9=347V <sup>6</sup> DV=277-480V DuraVolt Drivers <sup>7, 8, 27</sup>	T2=Type II T3=Type III T4F1=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right 5WQ=Type V Square Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)		Controls and Systems Options (Add as Suffix)			Accessories (Order Separately) <sup>38</sup>	
F=Single Fused (120, 277 or 347V. Must Specify Voltage) FF=Double Fused (208, 240 or 480V. Must Specify Voltage) 10K=10kV Surge Module 20K=Series 20kV UL 1449 Surge Protective Device 2L=Two-Circuit Light Engine <sup>24</sup> DIM=External 0-10V Dimming Leads <sup>9, 30</sup> CBP=Battery Pack with Back Box, Cold Weather Rated <sup>2, 4, 14, 33</sup> CBP-CEC=Battery Pack with Back Box, Cold Weather Rated, CEC compliant <sup>2, 4, 14</sup> BB=Shipped with Back Box Accessory <sup>29</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right HSS=Factory Installed House Side Shield <sup>23</sup> GRSBK=Factory Installed Glare Shield, BK <sup>4, 27</sup> GRSWH=Factory Installed Glare Shield, WH <sup>4, 27</sup> UPL=Uplight Housing <sup>13</sup> HA=50°C High Ambient <sup>2</sup> LCF=Light Square Trim Plate Painted to Match Housing <sup>22</sup> MT=Factory Installed Mesh Top CC=Coastal Construction finish <sup>5</sup> CE=CE Marking and Small Terminal Block <sup>24</sup> AHD145=After Hours Dim, 5 Hours <sup>18</sup> AHD245=After Hours Dim, 6 Hours <sup>18</sup> AHD255=After Hours Dim, 7 Hours <sup>18</sup> AHD355=After Hours Dim, 8 Hours <sup>18</sup> DALI=DALI Driver <sup>11</sup>		BPC=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) PR=NEMA 3-PIN Twistlock Photocontrol Receptacle PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle <sup>15</sup> FADC=Field Adjustable Dimming Controller <sup>40</sup> SPB1=Dimming Occupancy Sensor with Bluetooth Interface, <8' Mounting <sup>19, 34</sup> SPB2=Dimming Occupancy Sensor with Bluetooth Interface, 8' - 20' Mounting <sup>19, 34</sup> SPB4=Dimming Occupancy Sensor with Bluetooth Interface, 21' - 40' Mounting <sup>19, 34</sup> MS-LXX=Motion Sensor for On/Off Operation <sup>17, 18, 19</sup> MS/DIM-LXX=Motion Sensor for Dimming Operation <sup>17, 18, 19</sup> ZW=WaveLinX-enabled 4-PIN Twistlock Receptacle <sup>29, 30</sup> ZD=WaveLinX Module with DALI driver and 4-PIN Receptacle <sup>29, 30</sup> SWPD4XX=WaveLinX Sensor Only, 7'-15' <sup>31, 32</sup> SWPD5XX=WaveLinX Sensor Only, 15'-40' <sup>31, 32</sup> WOBXX=WaveLinX Sensor with Bluetooth, 7'-15' <sup>31, 32</sup> WOFXX=WaveLinX Sensor with Bluetooth, 15'-40' <sup>31, 32</sup> LWR-LW=Enlightened Wireless Sensor, Wide Lens for 8'-16' Mounting Height <sup>19, 20, 21</sup> LWR-LN=Enlightened Wireless Sensor, Narrow Lens for 16'-40' Mounting Height <sup>19, 20, 21</sup>			QA/RA1013=Photocontrol Shorting Cap QA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V QA/RA1201=NEMA Photocontrol - 347V QA/RA1027=NEMA Photocontrol - 480V MA1252=10kV Circuit Module Replacement MA1059XX=Thru-branch Back Box (Must Specify Color) BB/GWCXX=Back Box (Must Specify Color) LS/HSS=Field Installed House Side Shield <sup>23, 29</sup> LS/GRSBK-2PK=Glare Shield, Black <sup>25, 27</sup> LS/GRSWH-2PK=Glare Shield, White <sup>25, 27</sup> LS/PFS=Perimeter Shield, Black <sup>28</sup> FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>17</sup> WOLC-7P-10A=WaveLinX Outdoor Control Module (7-pin) <sup>28, 29</sup> SWPD4-XX=WaveLinX Wireless Sensor, 7' - 15' Mounting Height <sup>29, 30, 31, 32</sup> SWPD5-XX=WaveLinX Wireless Sensor, 15' - 40' Mounting Height <sup>29, 30, 31, 32</sup>	
<b>NOTES:</b> 1. DesignLight Consortium® Qualified. Refer to <a href="http://www.designlights.org">www.designlights.org</a> . Qualified Products List under Family Models for details. 2. Two light squares with CBP options limited to 25°C. CBP not available in combination with sensor options at 1200mA. 3. Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current A; supplied at 500mA drive current only. Exact luminaire wattage available in IES files. Available with 5WQ, 5MQ, SL2, SL3 and SL4 distributions. Can be used with HSS option. 4. Not available with HA option. 5. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 6. Require the use of a step down transformer. Not available in combination with sensor options at 1200mA. 7. 480V not to be used with ungrounded or impedance grounded systems. 8. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit <a href="http://www.sigimty.com/duravolt/">www.sigimty.com/duravolt/</a> for more information. 9. Cannot be used with other control options. 10. Low voltage control leads extended 18" from fixture. 11. Not available in 1200mA. When used with CBP or HA options, only available with single light square. 12. Not available in 1200mA, UPL, or CBP options. Available with single light square. 13. Not available with SL2, SL3, SL4, HA, CBP, PR or PR7 options. 14. Operates a single light square only. Operates at -20°C to +40°C. Backbox is non-IP rated. 15. Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls. 16. Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information. 17. The FSIR-100 configuration tool is required to adjust parameters such as high and low modes, sensitivity, time delay and cutoff. Consult your lighting representative at Cooper Lighting Solutions for more information. 18. Replace LXX with L08 (<8' mounting), L20 (8'-20' mounting) or L40W (21'-40' mounting.) 19. Includes integral photosensor. 20. Enlighted wireless sensors are factory installed requiring network components in appropriate quantities. 21. White sensor shipped on all housing color options. 22. Not available with HSS or GRS options. 23. Not for use with 5WQ, 5MQ, 5WQ or RW optics. The light square trim plate is painted black when the HSS option is selected. 24. CE is not available with the 1200, DALI, LWR, MS, MS/DIM, BPC, PR or PR7 options. Available in 120-277V only. 25. One required for each light square. 26. Requires PR7. 27. Not for use with T4FT, T4W or SL4 optics. 28. Set of 4 pcs. Once set required per Light Square. 29. Cannot be used in conjunction with additional photocontrol or other controls systems (BPC, PR, PR7, MS, LWR). 30. WAC Gateway required to enable field-configurability; Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. 31. Requires ZW or ZD receptacle. 32. Replace XX with sensor color (WH, BZ, or BK). 33. Specify 120V or 277V. 34. Smart device with mobile application required to change system defaults. See controls section for details. 35. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1993 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to <a href="http://www.designlights.org">www.designlights.org</a> website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 36. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 37. Not available in 1 square configuration at 800mA or below. Not available with any control option except SPB. 38. 2L not available with FF, AHD or DALI options. Controls and/or battery packs operate only one of the two circuits when 2L is specified. 2L with controls options not available with 347V or 480V. 39. Not available with CBP or CBP-CEC options. 40. Cannot be used with PR7 or other motion response control options. 41. Customer specific specifications utilizes standard products with small adjustments to meet unique requirements such as packaging, labels, wattage adjustments, etc.						

Product Specifications

Construction

- Driver enclosure thermally isolated from optics for optimal thermal performance
- Die-cast aluminum heat sinks
- IP66 rated housing
- 1.5G vibration rated

Optics

- Patented, high-efficiency injection-molded AccuLED Optics technology
- 13 optical distributions
- IDA Certified (3000K CCT and warmer only)

Electrical

- LED driver assembly mounted for ease of maintenance
- Standard with 0-10V dimming
- Optional 10kV or 20kV surge module
- Suitable for operation in -40°C to 40°C ambient environments; Optional 50°C high ambient (HA) configuration

Mounting

- Gasketed and zinc plated rigid steel mounting attachment
- "Hook-N-Lock" mechanism for easy installation

Finish

- Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Heat sink is powder coated black
- RAL and custom color matches available
- Coastal Construction (CC) option available

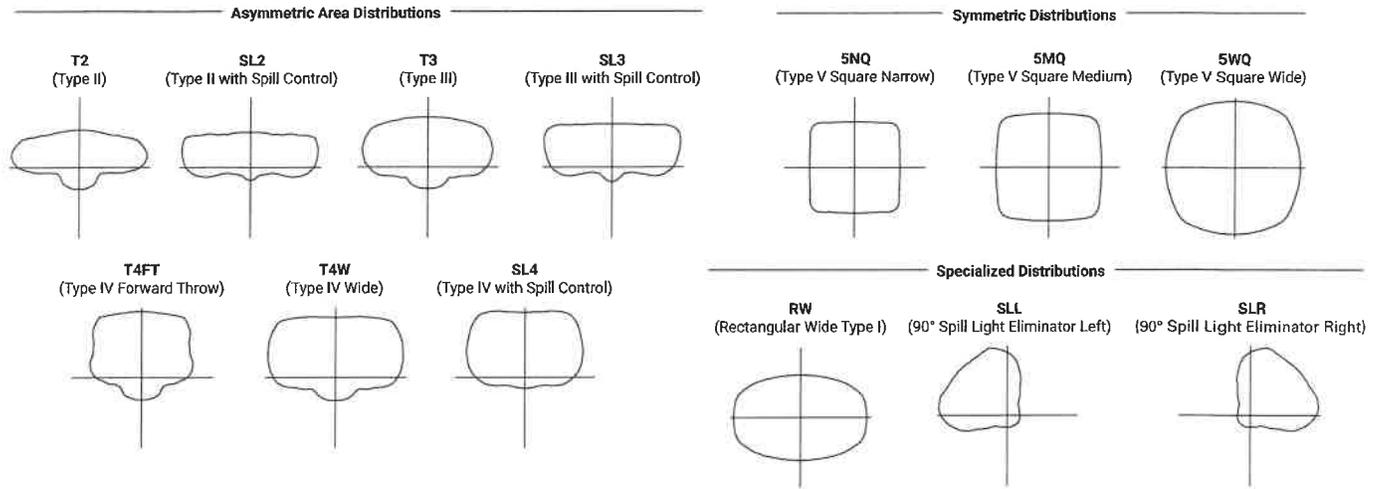
Typical Applications

- Exterior Wall, Walkway

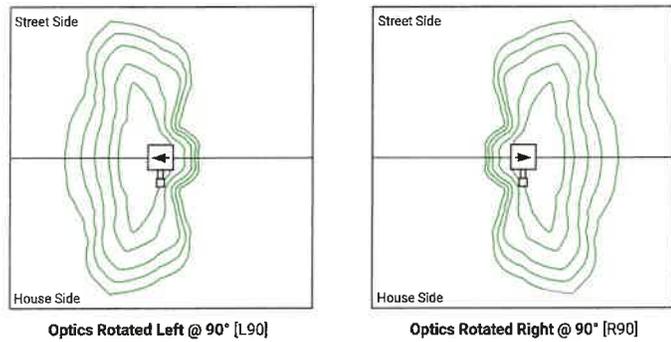
Warranty

- Five-year warranty

Optical Distributions



Optic Orientation



Energy and Performance Data

Lumen Multiplier

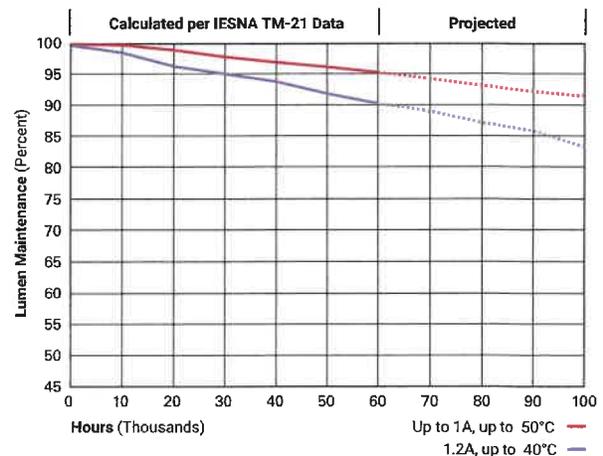
Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

FADC Settings

FADC Position	Lumen Multiplier
1	25%
2	46%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Lumen Maintenance

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



Energy and Performance Data

[View GWC Galleon Wall IES files](#)

4000K/5000K/6000K CCT, 70 CRI

Number of Light Squares		1				2			
Drive Current	615mA	800mA	1050mA	1.2A	615mA	800mA	1050mA	1.2A	
Nominal Power (Watts)	34	44	59	67	66	86	113	129	
Input Current @ 120V (A)	0.30	0.39	0.51	0.58	0.58	0.77	1.02	1.16	
Input Current @ 208V (A)	0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63	
Input Current @ 240V (A)	0.15	0.19	0.26	0.29	0.30	0.38	0.48	0.55	
Input Current @ 277V (A)	0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48	
Input Current @ 347V (A)	0.11	0.15	0.17	0.20	0.19	0.24	0.32	0.39	
Input Current @ 480V (A)	0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.30	
<b>Optics</b>									
T2	Lumens	4,883	5,989	7,412	8,131	9,543	11,703	14,485	15,891
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
	Lumens per Watt	144	136	126	121	145	136	128	123
T3	Lumens	4,978	6,105	7,556	8,288	9,729	11,929	14,764	16,196
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	146	139	128	124	147	139	131	126
T4FT	Lumens	5,008	6,140	7,599	8,337	9,783	11,998	14,850	16,290
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	147	140	129	124	148	140	131	126
T4W	Lumens	4,942	6,060	7,502	8,229	9,658	11,843	14,658	16,080
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3
	Lumens per Watt	145	138	127	123	146	138	130	125
SL2	Lumens	4,874	5,979	7,399	8,117	9,528	11,684	14,461	15,863
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G3
	Lumens per Watt	143	136	125	121	144	136	128	123
SL3	Lumens	4,976	6,104	7,555	8,287	9,727	11,927	14,763	16,194
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	146	139	128	124	147	139	131	126
SL4	Lumens	4,729	5,799	7,178	7,873	9,239	11,333	14,025	15,387
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4
	Lumens per Watt	139	132	122	118	140	132	124	119
5NQ	Lumens	5,134	6,296	7,793	8,547	10,033	12,303	15,226	16,704
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
	Lumens per Watt	151	143	132	128	152	143	135	129
5MQ	Lumens	5,228	6,412	7,935	8,705	10,216	12,529	15,508	17,011
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	154	146	134	130	155	146	137	132
5WQ	Lumens	5,242	6,428	7,956	8,728	10,244	12,563	15,548	17,056
	BUG Rating	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	154	146	135	130	155	146	138	132
SLL/SLR	Lumens	4,373	5,365	6,640	7,283	8,547	10,481	12,973	14,231
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	129	122	113	109	130	122	115	110
RW	Lumens	5,087	6,238	7,721	8,472	9,941	12,190	15,088	16,553
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	150	142	131	126	151	142	134	128

\* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

3000K CCT, 80 CRI

Number of Light Squares		1				2			
Drive Current		615mA	800mA	1050mA	1.2A	615mA	800mA	1050mA	1.2A
Nominal Power (Watts)		34	44	59	67	66	86	113	129
Input Current @ 120V (A)		0.30	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 208V (A)		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 240V (A)		0.15	0.19	0.26	0.29	0.30	0.38	0.48	0.55
Input Current @ 277V (A)		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 347V (A)		0.11	0.15	0.17	0.20	0.19	0.24	0.32	0.39
Input Current @ 480V (A)		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.30
<b>Optics</b>									
T2	Lumens	3,880	4,759	5,890	6,461	7,583	9,300	11,510	12,628
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	114	108	100	96	115	108	102	98
T3	Lumens	3,956	4,851	6,004	6,586	7,731	9,479	11,732	12,870
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
	Lumens per Watt	116	110	102	98	117	110	104	100
T4FT	Lumens	3,980	4,879	6,038	6,625	7,774	9,534	11,800	12,945
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	117	111	102	99	118	111	104	100
T4W	Lumens	3,927	4,816	5,961	6,539	7,675	9,411	11,648	12,778
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	116	109	101	98	116	109	103	99
SL2	Lumens	3,873	4,751	5,880	6,450	7,571	9,285	11,491	12,605
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	114	108	100	96	115	108	102	98
SL3	Lumens	3,954	4,851	6,004	6,585	7,729	9,478	11,731	12,868
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	116	110	102	98	117	110	104	100
SL4	Lumens	3,758	4,608	5,704	6,256	7,342	9,006	11,145	12,227
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3	B1-U0-G3	B1-U0-G3
	Lumens per Watt	111	105	97	93	111	105	99	95
5NQ	Lumens	4,080	5,003	6,193	6,792	7,973	9,776	12,099	13,274
	BUG Rating	B2-U0-G0	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2
	Lumens per Watt	120	114	105	101	121	114	107	103
5MQ	Lumens	4,154	5,095	6,305	6,917	8,118	9,956	12,323	13,518
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	122	116	107	103	123	116	109	105
5WQ	Lumens	4,166	5,108	6,322	6,936	8,140	9,983	12,355	13,553
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	123	116	107	104	123	116	109	105
SLL/SLR	Lumens	3,475	4,263	5,276	5,787	6,792	8,329	10,309	11,309
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G3
	Lumens per Watt	102	97	89	86	103	97	91	88
RW	Lumens	4,042	4,957	6,135	6,732	7,900	9,687	11,990	13,154
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
	Lumens per Watt	119	113	104	100	120	113	106	102

\* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

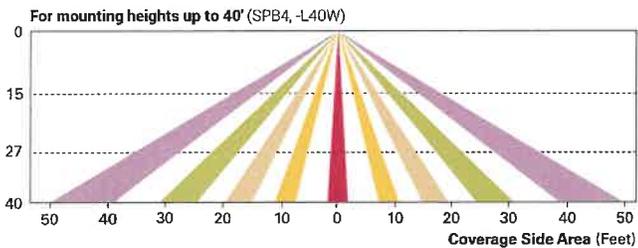
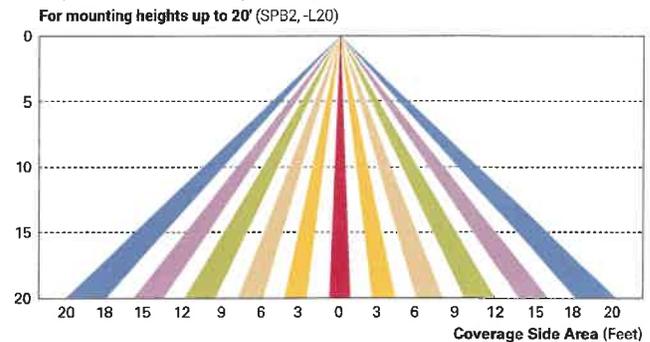
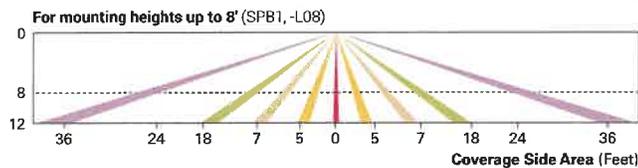
**Control Options**

**0-10V** This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

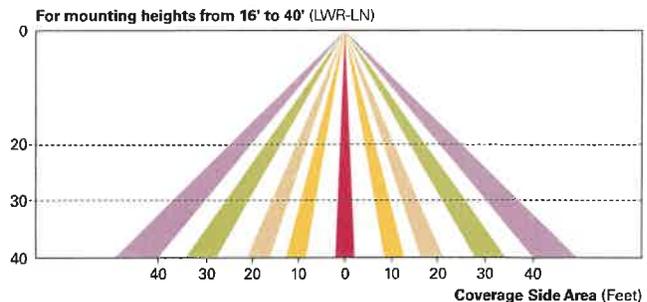
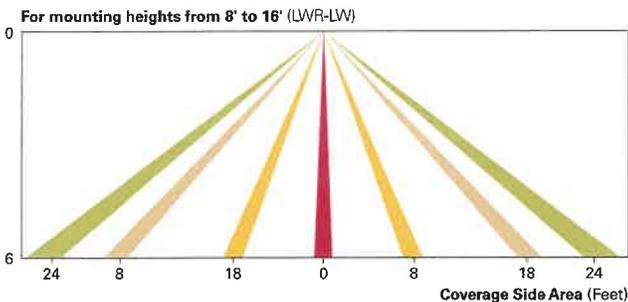
**Photocontrol** (BPC, PR, and PR7) Optional button-type photocontrol (BPC) and photocontrol receptacles (PR and PR7) provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PR7 receptacle.

**After Hours Dim (AHD)** This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a “dusk-to-dawn” period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

**Dimming Occupancy Sensor** (SPB, MS/DIM-LXX and MS-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS/DIM occupancy sensors require the FSIR-100 programming tool to adjust factory defaults.



**Enlighted Wireless Control and Monitoring System** (LWR-LW and LWR-LN) The Enlighted control system is a connected lighting solution, combining LED luminaires with an integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes while collecting valuable data about building performance and use. Software applications utilizing energy dashboards maximize data inputs to help optimize the use of other resources beyond lighting.



**WaveLinx Wireless Outdoor Lighting Control Module** (WOLC-7P-10A) The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

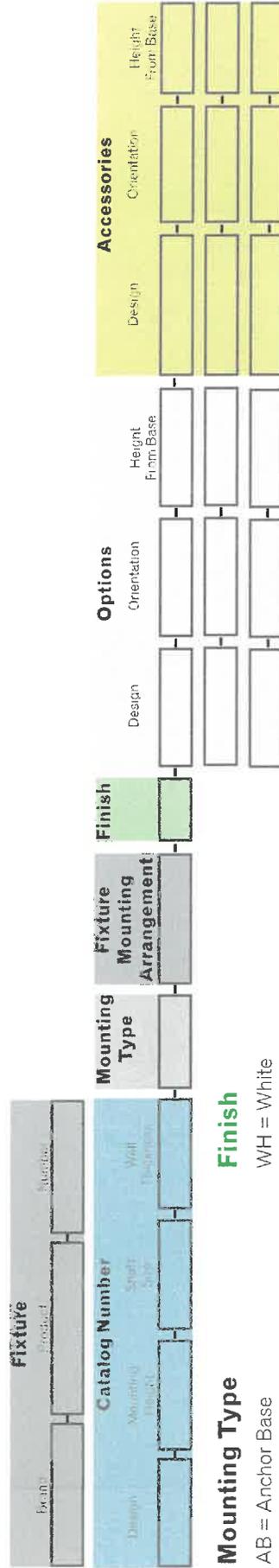
# POLE ORDERING GUIDE

## ORDER NUMBER TEMPLATE

### Example Order Number



### Build Your Order Number



Note: N/A = Not Applicable

### Mounting Type

- AB = Anchor Base
- EMB = Embedded (Direct Burial)

### Fixture Mounting Arrangement

- D1
- D4
- D2@90
- T2
- D2@180
- T2.5
- D3@90
- T3
- D3@120\*
- T4

\*Round poles only

Refer to the Mounting Orientation Guide on the next page of this file.

### Finish

- WH = White
- TWH = Textured White
- DB = Dark Bronze
- TMB = Textured Medium Bronze
- HB = Harvest Bronze
- NB = New Bronze
- SL = Silver
- MGY = Medium Gray
- GR = Gray
- TGR = Textured Gray
- GM = Graphite Metallic
- DP = Dark Platinum
- MA = Matte Aluminum
- PSP = Platinum Silver
- BK = Black
- TBK = Textured Black
- MG = Moss Green

Contact us for custom colors.

### Options

Options

- CMB = Camera Mounting Bracket
- CMP = Camera Mounting Plate
- WB-15 = Welded Bracket
- WC = Welded Coupling (denote size)
- WN = Welded Nipple (denote size)
- Festoon = Festoon Provision
- CSBC = Custom Steel Base Cover
- VD = Vibration Damper
- GFCI/UC = Ground Fault Circuit Interrupter with In-Use Cover
- UL = UL Listed\*\*

### Accessories

- TB = Transformer Base\*
- ABS-BC = ABS Base Cover\*
- LW = Lowering Winch
- LW-ELECTRIC = Electric Lowering Winch
- BA = Banner Arm
- FH = Flag Holder
- PTTA = Pole Top Tenon Adapter\*

\*See our online product catalog for complete catalog numbers of these options and accessories.

\*\*UL Listed labeling is available for catalog steel and aluminum poles—both Commercial & Industrial and Roadway. UL Listed labeling is not available for brackets. UL Listing must be specified at the time of order.

1 2 3 4

POLE SPECIFICATIONS			
NO.	COMPONENT	ASTM DESIGNATION	MIN. YIELD (P.S.I.)
1.	POLE SHAFT	A-500 GR. B	46,000
2.	BASE PLATE	A-36	36,000
3.	ANCHOR BOLTS	F1554 GR. 55	55,000
4.	GALVANIZED HARDWARE	A193	-

FINISH SPECIFICATIONS  
POLES SHALL HAVE A POLYESTER POWDER COAT FINISH IN A STANDARD COLOR.

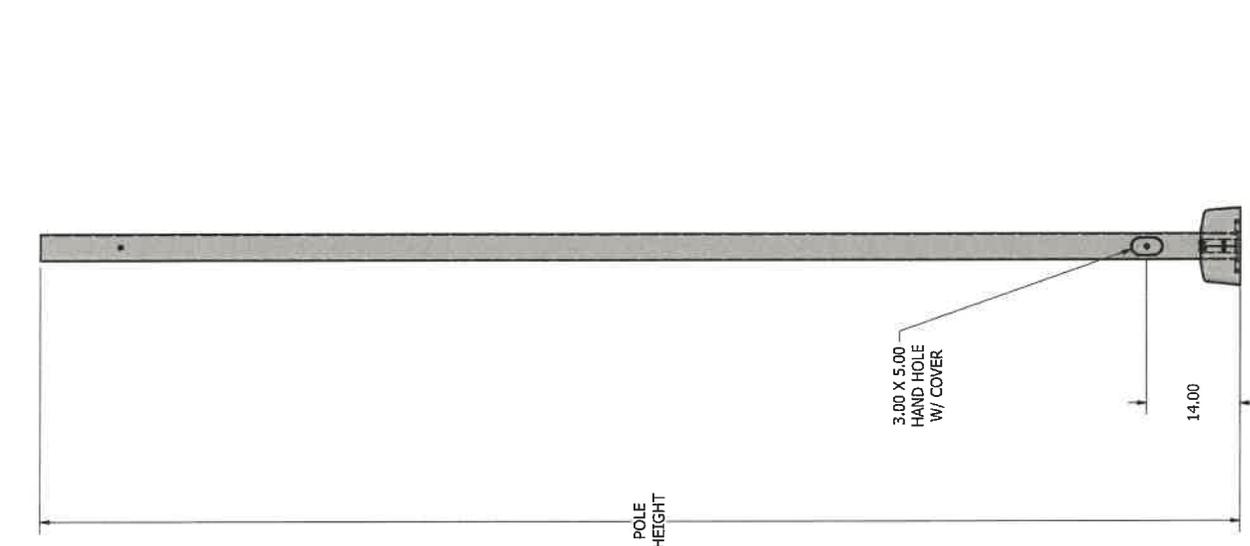
POLE DIMENSIONS			
POLE HGT (FT.)	TOP SQ. SIZE (IN.)	BOT. SQ. SIZE (IN.)	GAGE
25'	4.00	4.00	11 GAGE

BASE PLATE DIMENSIONS			
BOLT HOLE (IN.)	BASE PLATE DIM. (IN.)	BOLT HOLE (IN.)	PLATE THK. (IN.)
8.00-9.00	8.00 SQ.	1.00	.75

ANCHOR BOLT DIMENSIONS			
ANCHOR BOLT DIA. (IN.)	ANCHOR BOLT LENGTH (IN.)	WIND* EPA	ALLOWABLE WIND LOADING (SQ. FT.)
.75	20.00	4.1	90 MPH
		2.6	100 MPH
		1.8	120 MPH

\*WITH 1.3 GUST FACTOR

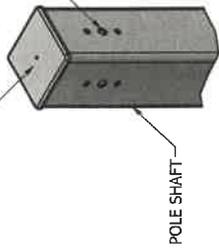
RPSQ-19.5'-4-11-AB-D1 Black on 6in base



8.00 X 8.00 X .75 THK. BASE PLATE

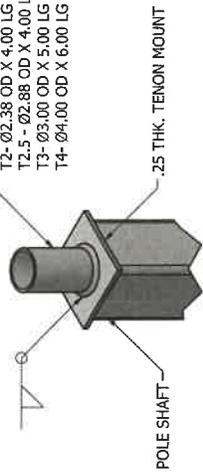
SOME GEOGRAPHICAL AREAS HAVE SPECIAL WIND CONDITIONS THAT CAN CREATE WIND INDUCED VIBRATIONS CAUSING A FATIGUE PROBLEM. NO METHOD HAS YET BEEN FOUND FOR PREDICTING DESTRUCTIVE LIGHTING POLE VIBRATION. THESE CONDITIONS ARE UNIQUE AND CANNOT BE GUARANTEED AGAINST, AND ARE THE RESPONSIBILITY OF A LOCAL SITE ENGINEER.	
<b>WARNING: DO NOT INSTALL LIGHT POLE WITHOUT INTENDED LOADING.</b>	
TITLE:	
CATALOG:	
DWG NO:	RPSQ-25-4-11
SIZE:	C
SHEET	1 OF 1

DRILL PER FIXTURE REQUIREMENTS:  
D1 - DRILLED FOR 1 FIXTURE  
D2 - DRILLED FOR 2 FIXTURES AT 90° & 180°  
D3 - DRILLED FOR 3 FIXTURES  
D4 - DRILLED FOR 4 FIXTURES

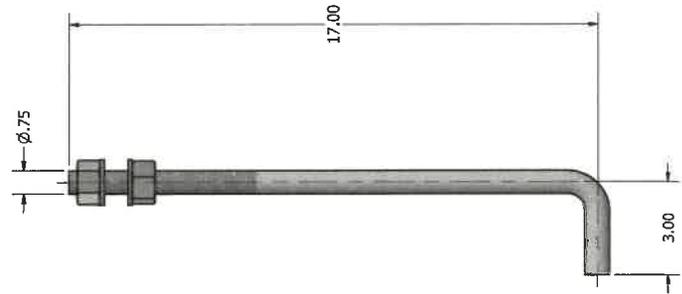


DRILL MOUNT OPTIONS

TENON MOUNT OPTIONS:  
T2 - Ø2.38 OD X 4.00 LG  
T2.5 - Ø2.88 OD X 4.00 LG  
T3 - Ø3.00 OD X 5.00 LG  
T4 - Ø4.00 OD X 6.00 LG



TENON MOUNT OPTIONS

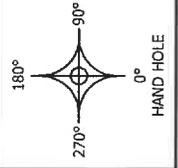


Ø.75 X 20.00 ANCHOR BOLT

REVISION:	DATE: 7/16/2019
QUOTE:	DATE:
APPROVAL SIGNATURE:	SO.#
DRAWN: L. GRUNIS	

23171 Groesbeck Hwy.  
Warren, MI 48089  
P: (586) 774-5650 | F: (586) 774-5706  
www.unitedlightingstandards.com

UNited LIGHTING STANDARDS  
A UNIT COMPANY



1 2 3 4



March 18, 2024

TO: Jeff Carroll  
750 E. Interstate 30  
Suite 110  
Rockwall, Texas 78087

CC: Brian Berry  
2 Essex Court  
Heath, Texas 75032

FROM: Bethany Ross  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: SP2024-004; *Site Plan for 700 Vigor Way*

Jeff:

This letter serves to notify you that the above referenced case (*i.e. Site Plan*) that you submitted for consideration by the City of Rockwall was approved by the Planning and Zoning Commission on March 12, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) All staff comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission

On March 12, 2024, the Planning and Zoning Commission approved a motion to approve the Site Plan by a vote of 4-0, with Commissioners Deckard, Womble, and Hustings absent.

Should you have any questions or concerns regarding your site plan case, please feel free to contact me a (972) 772-6488.

Sincerely,

A handwritten signature in blue ink that reads "Bethany Ross". The signature is written in a cursive, flowing style.

Bethany Ross, *Planner*  
City of Rockwall Planning and Zoning Department