



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 9 Crestview Cir Rockwall, TX 75087

SUBDIVISION Northcrest Estate #2

LOT

9

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFR

CURRENT USE SFR

PROPOSED ZONING

PROPOSED USE

ACREAGE 1.00

LOTS [CURRENT]

1

LOTS [PROPOSED]

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Zach Butler

☐ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS 9 Crestview Cir

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP

PHONE 972-896-3813

PHONE

E-MAIL Zach@rockwallproperties.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

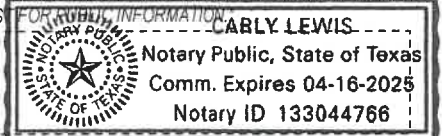
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zach Butler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF JANUARY, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF JANUARY, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 2-16-25

Letter of Explanation:

Zach Butler
9 Crestview Cir
Rockwall, TX 75087

The purpose of our request for a special use permit is for an expansion of our current garage/shop. We are adding on an indoor batting cage and sports gym for our three young boys. Part of the project also includes adding on some additional storage and more covered parking for future use as my kids get older. This batting cage and gym will be for private use for my kids, friends, and family and will not be used for business or income purposes. The need for this is to provide a facility for year round training for my kids indoors and outside of the elements. There are some private facilities around town but nothing open to the public and access to the private is growing increasingly difficult, costs money with each use and is usually a scheduling headache.

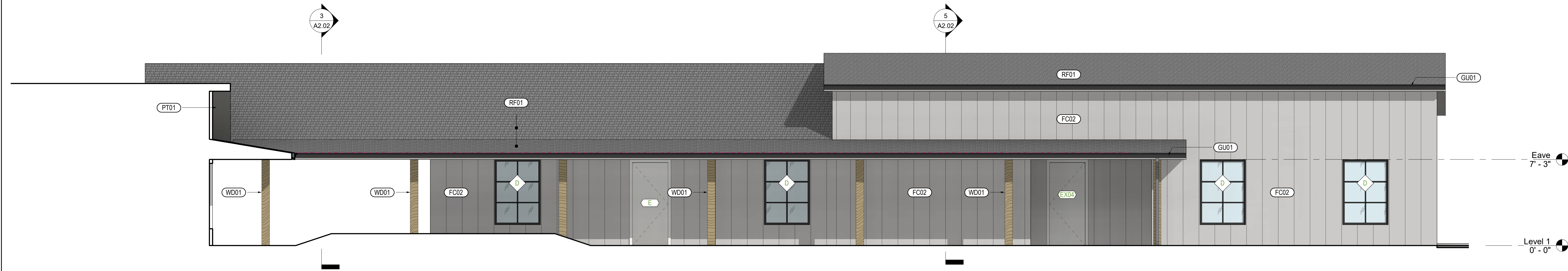
Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'ZB', with a long horizontal stroke extending to the right.

Zach Butler



4 ANEX WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 ANEX EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 Back Elevation
SCALE: 1/4" = 1'-0"

sheet notes

- 01 CUSTOM METAL ORNAMENTAL CHIMNEY CAP
- 02 WOOD FASCIA/TRIM
- 03 WOOD TRIM AN SOLDIER COURSE TO MATCH EXISTING
- 04 NEW CONCRETE PLANTER WITH INTEGRATED BENCH

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

RF01 ROOFING

ITEM: COMPOSITE SHINGLES

RF02 STANDING SEAM METAL ROOF

ITEM: STANDING SEAM METAL ROOF

UM01 BRICK MASONRY UNIT

TYPE: MATCH EXISTING
FINISH: PAINTED

PT01 EXTERIOR PAINT

ITEM: EXTERIOR PAINT
COLOR: GREY (TBD)

WD01 WOOD

ITEM: STAINED TIMBER STRUCTURE
COLOR: TBD

FC02 FIBER CEMENT

ITEM: FIBER CEMENT PANELS (BOARD AND BATTEN)

GU01 PREFINISHED METAL GUTTER

ITEM: PREFINISHES METAL GUTTER WITH LEAF GUARD

general notes

PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
ELEVATION

REV	DATE	NOTES
-----	------	-------

1/22/21

DRAWN BY
JCB

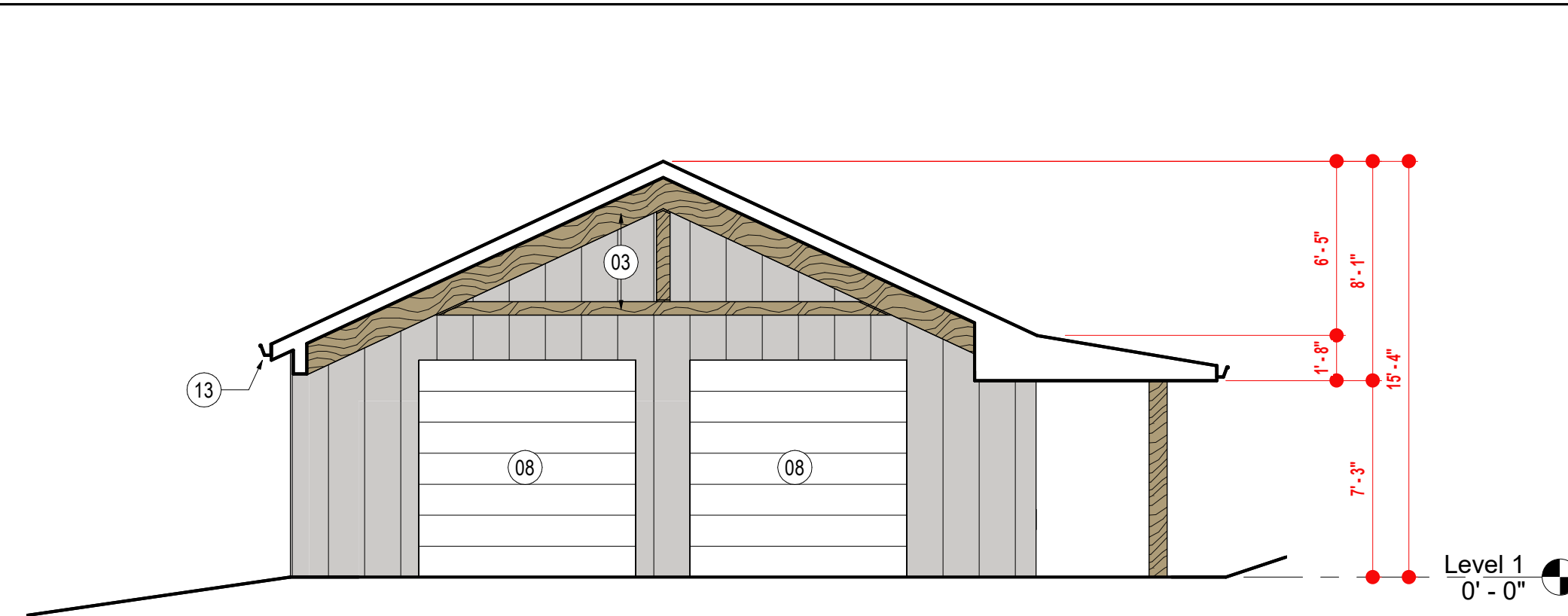
CHECKED BY
JCB

JOB NO

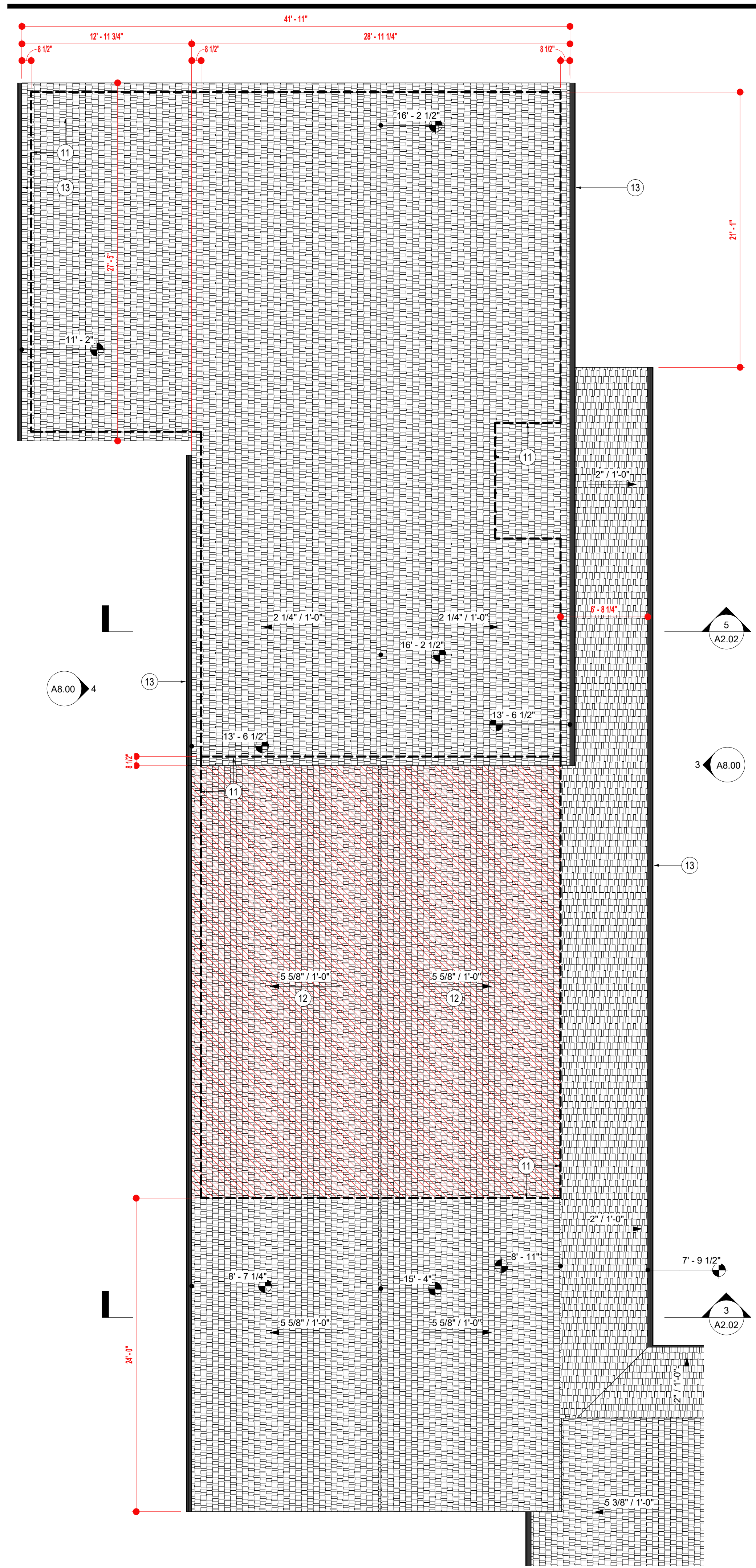
STATUS
PRICING

DRAWING NO

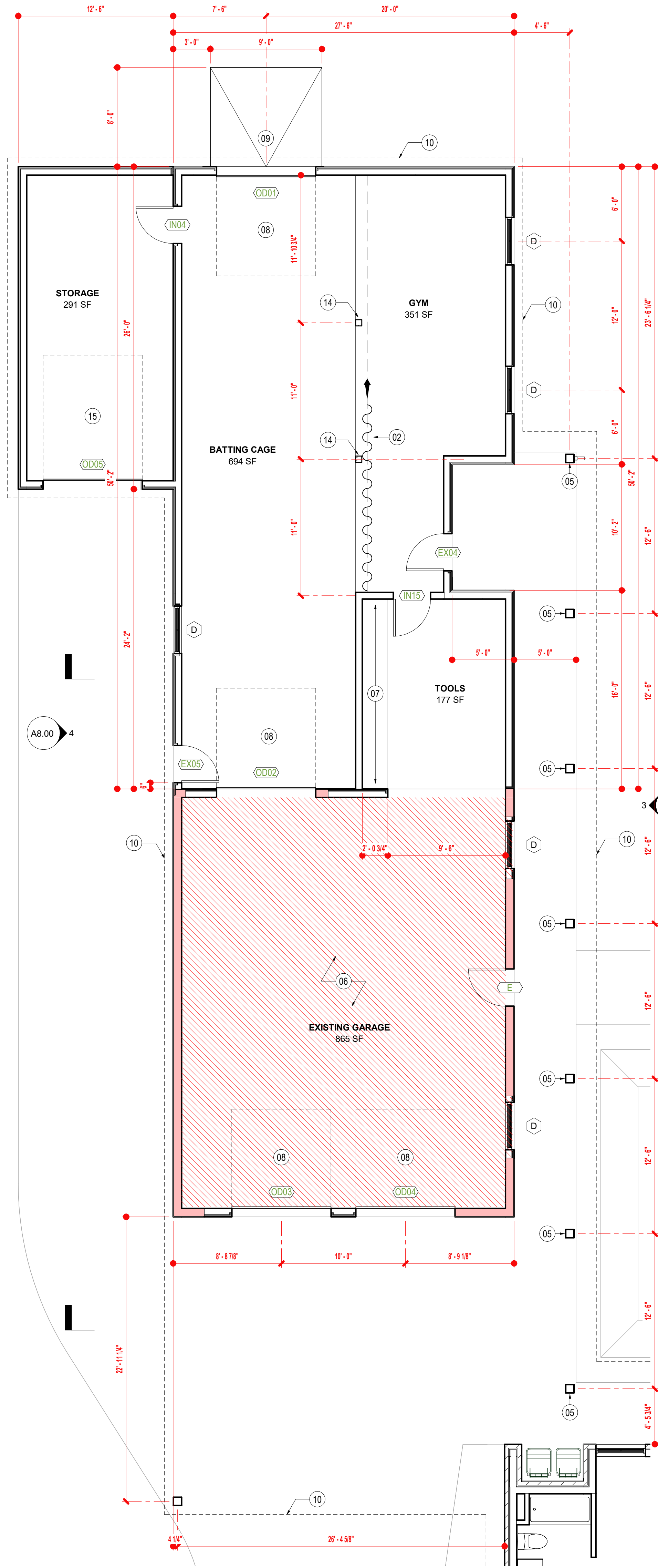
A8.00



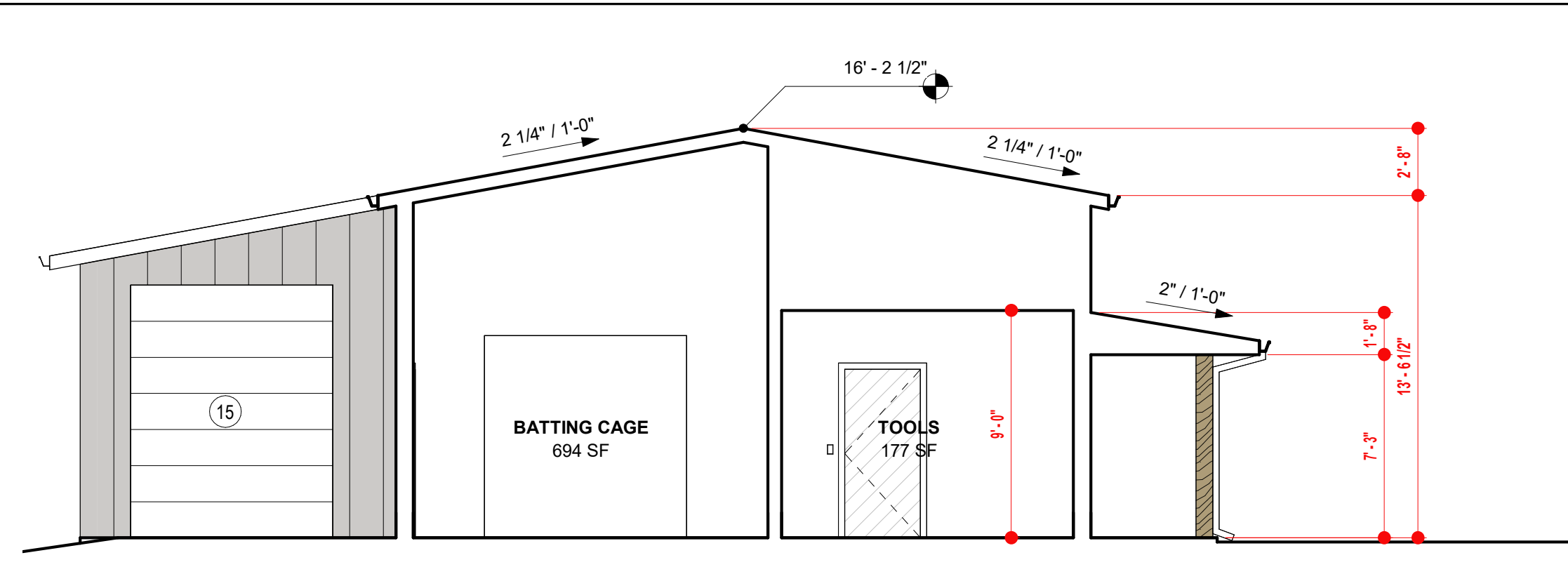
3 GARAGE SECTION B
SCALE: 3/16" = 1'-0"



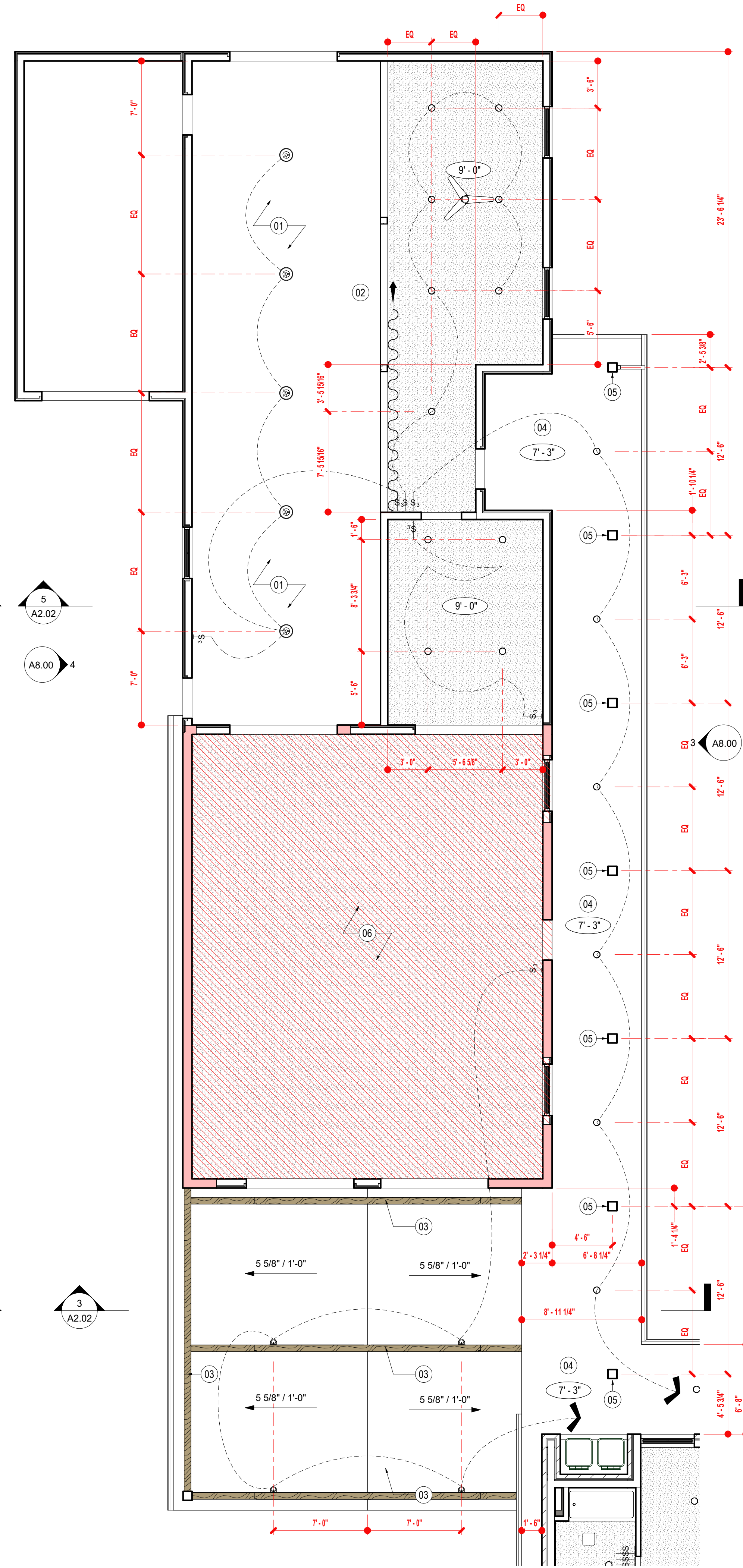
4 GARAGE ROOF PLAN
SCALE: 3/16" = 1'-0"



1 GARAGE CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"



5 GARAGE SECTION A
SCALE: 3/16" = 1'-0"



2 GARAGE REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

sheet notes

- 01 OPEN TO STRUCTURE ABOVE
- 02 SLIDING BATTING CURTAIN HUNG FROM TRACK ABOVE
- 03 EXPOSED TIMBER STRUCTURE (STAINED), MAINTAIN 10'-0" CLEAR
- 04 ELEVATION MATCHES THE EAVE OF EXISTING HOME
- 05 COLONADE COLUMN (SIZED BY STRUCTURAL ENGINEER)
- 06 HATCH DENOTES EXISTING GARAGE OUT OF SCOPE
- 07 BUILT-IN WORK BENCH
- 08 8'-0" X 8'-0" OVERHEAD GARAGE DOOR
- 09 CONCRETE RAMP
- 10 LINE OF OVERHANG ABOVE
- 11 LINE OF OUTSIDE FACE OF WALL BELOW
- 12 HATCH DENOTES EXISTING ROOF TO REMAIN
- 13 GUTTER, DOWNSPOUTS TO BE COORDINATED BETWEEN OWNER AND CONTRACTOR
- 14 STRUCTURAL SUPPORT COLUMN SIZED BY STRUCTURAL ENGINEER
- 15 8'-0" X 10'-0" OVERHEAD GARAGE DOOR

- KEY**
- NEW WALL
 - EXISTING WALL
 - LINE OF EXISTING FOOTPRINT
 - NO INTERIOR MODIFICATIONS

general notes

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY OWNER IF DISCREPANCIES ARE FOUND.
- ALL EXTERIOR WALLS TO BE FRAMED WITH 2X6 CONSTRUCTION.
- ALL INTERIOR PARTITIONS TO BE FRAMED WITH 2X4 CONSTRUCTION @ 16" O.C. UNLESS OTHERWISE NOTED.
- STRUCTURE ALL FRAMED OPENINGS AS REQUIRED. ENGINEERING BY OTHERS.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.
- EXTERIOR WALLS ARE DIMENSIONED FROM EXTERIOR FACE OF SHEATHING.
- ALL WATER HEATERS TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED.
- ALL INTERIOR FINISHES TO BE SELECTED BY OWNER. ALL INTERIOR FINISHES ARE BEYOND THE SCOPE OF THESE DRAWINGS.
- ALL VANITIES TO BE 36" HIGH.
- FINAL DESIGN AND AMENITIES @ ALL CABINETS AS PER OWNER/BUILDER AGREEMENT. ALL MILLWORK IS BEYOND THE SCOPE OF THESE DRAWINGS.
- ALL STRUCTURAL ENGINEERING BY OTHERS INCLUDING BUT NOT LIMITED TO ALL HORIZONTAL & VERTICAL FRAMES, FOUNDATIONS, COLUMN PLATES, CONNECTORS, BEAMS, WALLS, PLATES, PENETRATIONS, TRUSS SYSTEMS, ROOF SYSTEMS, & WIND BRACING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- IN AREAS OF WORK AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- ALL EXISTING WALLS SHALL BE REPAINTED AS SCHEDULED. CONTRACTOR RESPONSIBLE FOR PREPARING WALLS AND MINOR PATCHING (IN ADDITION TO SPECIFIC PATCHING AS NOTED). ALL EXISTING DOOR FRAMES SHALL BE REPAINTED. PREPARE EXISTING FRAMES PRIOR TO PAINTING.
- ALL ELECTRICAL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL CONFORM TO LOCAL BUILDING CODES, RULES, AND REGULATIONS. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.
- ALL OVERHEAD LIGHTING IN LIVING SPACES, BEDROOMS, AND OFFICES ON DIMMER SWITCHES.
- POWER AND DATA OUTLETS TO BE COORDINATED BY CONTRACTOR AND OWNER. FLOOR OUTLETS SHOULD BE COORDINATED PRIOR TO POURING THE LEVEL 01 SLAB.

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
SHOP PLANS

REV **DATE** **NOTES**

1/22/21

DRAWN BY
JCB

CHECKED BY
JCB

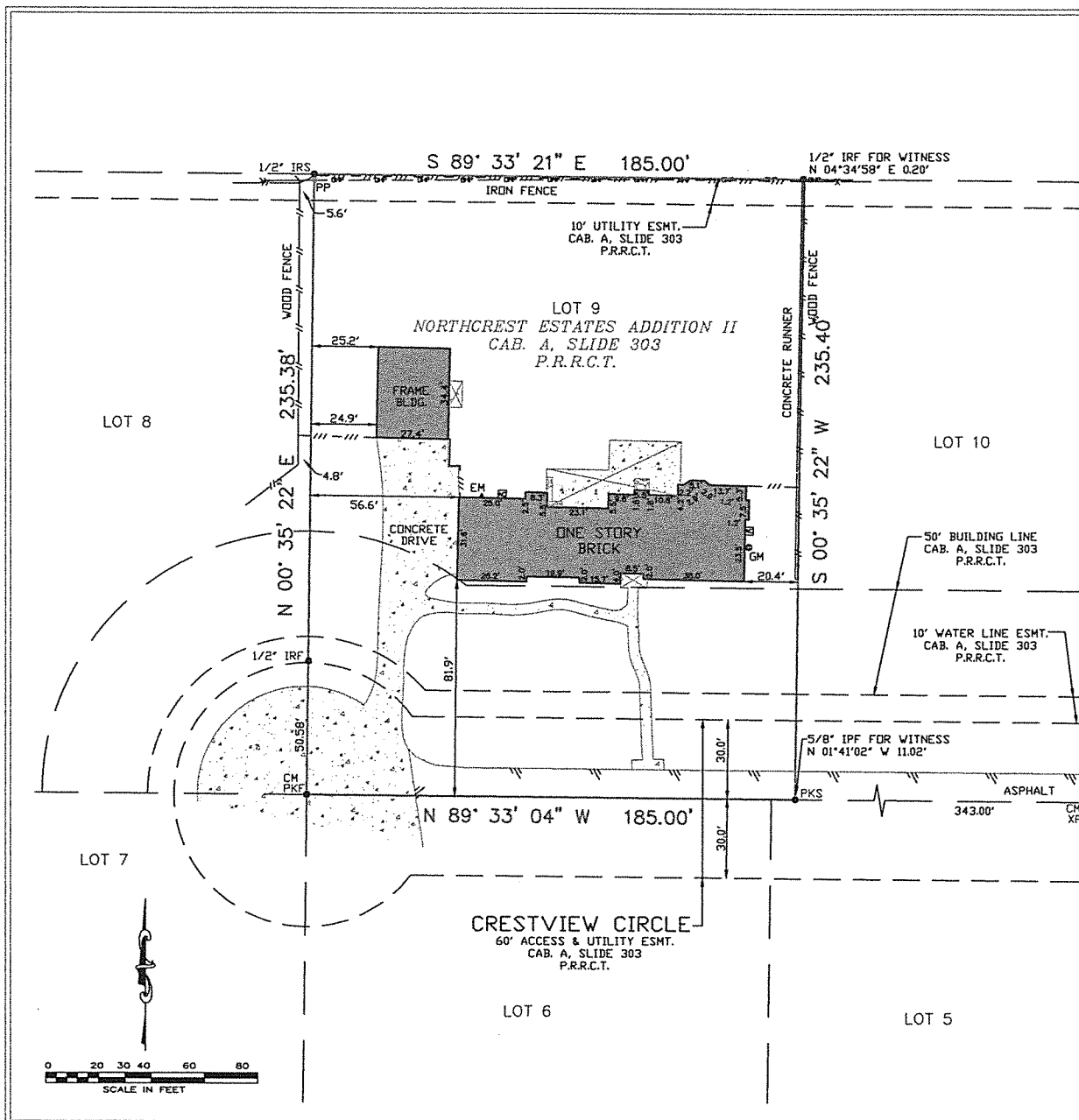
JOB NO

STATUS

PRICING

DRAWING NO

A2.02



LEGAL DESCRIPTION

Being Lot 9, of Northcrest Estates Addition II, an addition to Rockwall County, Texas, according to the plat recorded in Cabinet A, Slide 303, Plat Records, Rockwall County, Texas.

I, Wayne Beets II, Registered Professional Land Surveyor do hereby declare that the map shown hereon accurately represents the property as determined by an on-the-ground survey made under my direct supervision, and correctly shows the boundary lines and dimensions of the property indicated hereon. There are no visible conflicts, encroachments, or protrusions, except as shown hereon and said property has access to a public roadway. All easements and rights-of-way that the surveyor has knowledge of or has been advised of on the referenced plat or deed of record are shown or noted hereon. This survey is for the exclusive use of Zachary Butler, Courtney Butler, First National Bank, Old Republic National Title Insurance Company, and Allegiance Title Company, under G.F. No. 1775328A-10GH, dated January 17, 2018. Use of this survey by any other parties and/or purposes shall be at the user's own risk, and any loss resulting from other use and/or parties shall not be the responsibility of the undersigned and/or this firm. This survey is not valid without a seal and signature.

Flood Statement:
The property is shown as being located in Zone X by Flood Insurance Rate Map No. 48397C0035L, dated September 26, 2008. It is not shown as being located in a Special Flood Hazard Area Inundated by 100-Year Flood.

Notes:
1) Bearings are based on NAD83, Texas North Central Zone No. 4202, obtained by GPS observations.
2) This property is subject to the following restrictive covenants recorded in Vol. 107, Pg. 377 and Vol. 107, Pg. 407, R.P.R.R.C.T.
3) All set iron rods have a yellow cap stamped "BY-LINE".

BY: *Wayne Beets*
WAYNE BEETS II
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6039



LEGEND

CM = CONTROL MONUMENT
IRS = IRON ROD SET
IPF = IRON PIPE FOUND
IPS = IRON PIPE SET
600' = 600 NAIL FOUND
600S = 600 NAIL SET
PKF = PK NAIL FOUND
X = "X" FOUND IN CONCRETE
XS = "X" SET IN CONCRETE
EM = ELECTRIC METER
AC = AIR CONDITIONER PAD
PP = POWER POLE
OHP = OVERHEAD POWER LINE
WM = WATER METER
FH = FIRE HYDRANT
PE = POOL EQUIPMENT
GM = GAS METER
CP = CABLE PED.
TP = TELEPHONE PED.

ADDRESS:

9 CRESTVIEW CIRCLE
ROCKWALL, TEXAS

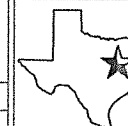
DATE: 01/31/2018

SCALE: 1" = 40'

JOB NO.: 2018-082

CLIENT: ALLEGIANCE TITLE

TECHNICIAN: JDJ



BY-LINE
SURVEYING LLC
1983 Rs. Co. Rd. 1300
Emory, Tx 75440
Ph: (903) 473-5150
Firm No: 10194233
www.bylinesurveying.com

©Copyright By-Line Surveying LLC. All rights reserved.

Wayne Beets

Courtney Butler



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 9 Crestview Cir Rockwall, TX 75087

SUBDIVISION Northcrest Estate #2

LOT

9

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFR

CURRENT USE SFR

PROPOSED ZONING

PROPOSED USE

ACREAGE 1.00

LOTS [CURRENT]

1

LOTS [PROPOSED]

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Zach Butler

☐ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

9 Crestview Cir

ADDRESS

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

PHONE

972-896-3813

PHONE

E-MAIL

Zach@rockwallproperties.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zach Butler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF JANUARY, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

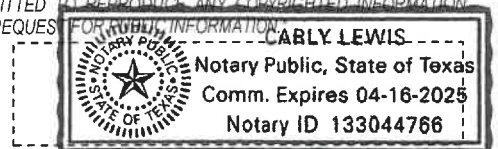
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF JANUARY, 2024.

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES 2-16-25

0 25 50 100 150 200 Feet

Z2024-004: SUP for an Accessory Building and Carport at 9 Crestview Circle

AG

SF-16

CRESTVIEW CIR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

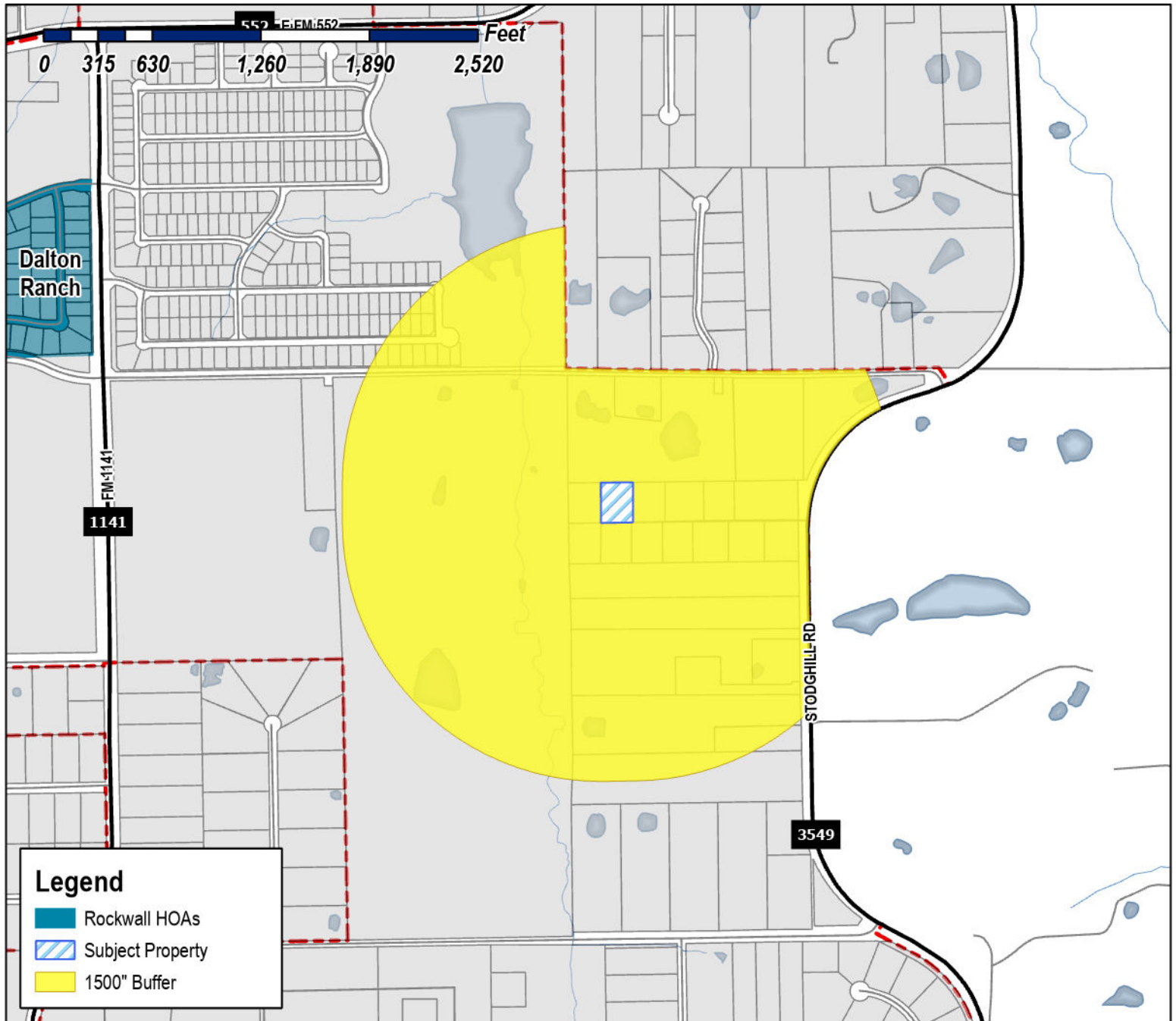




City of Rockwall

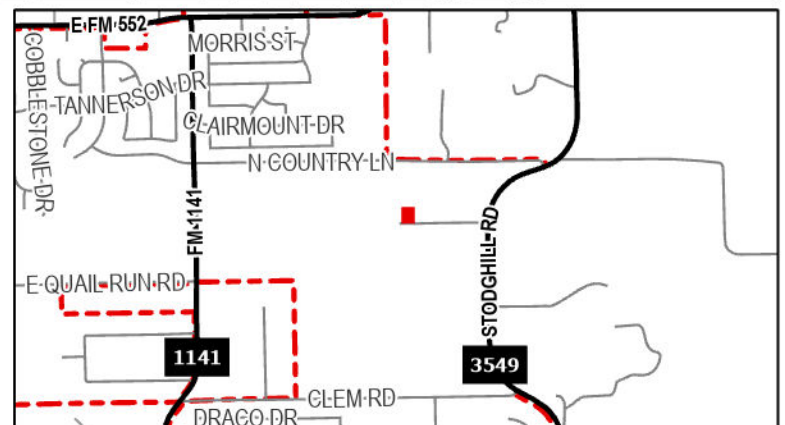
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-004
Case Name: SUP for an Accessory Building and Carport
Case Type: Zoning
Zoning: Single-Family 16 (SF-16)
Case Address: 9 Crestview Circle

Date Saved: 1/19/2024
For Questions on this Case Call (972) 771-7745

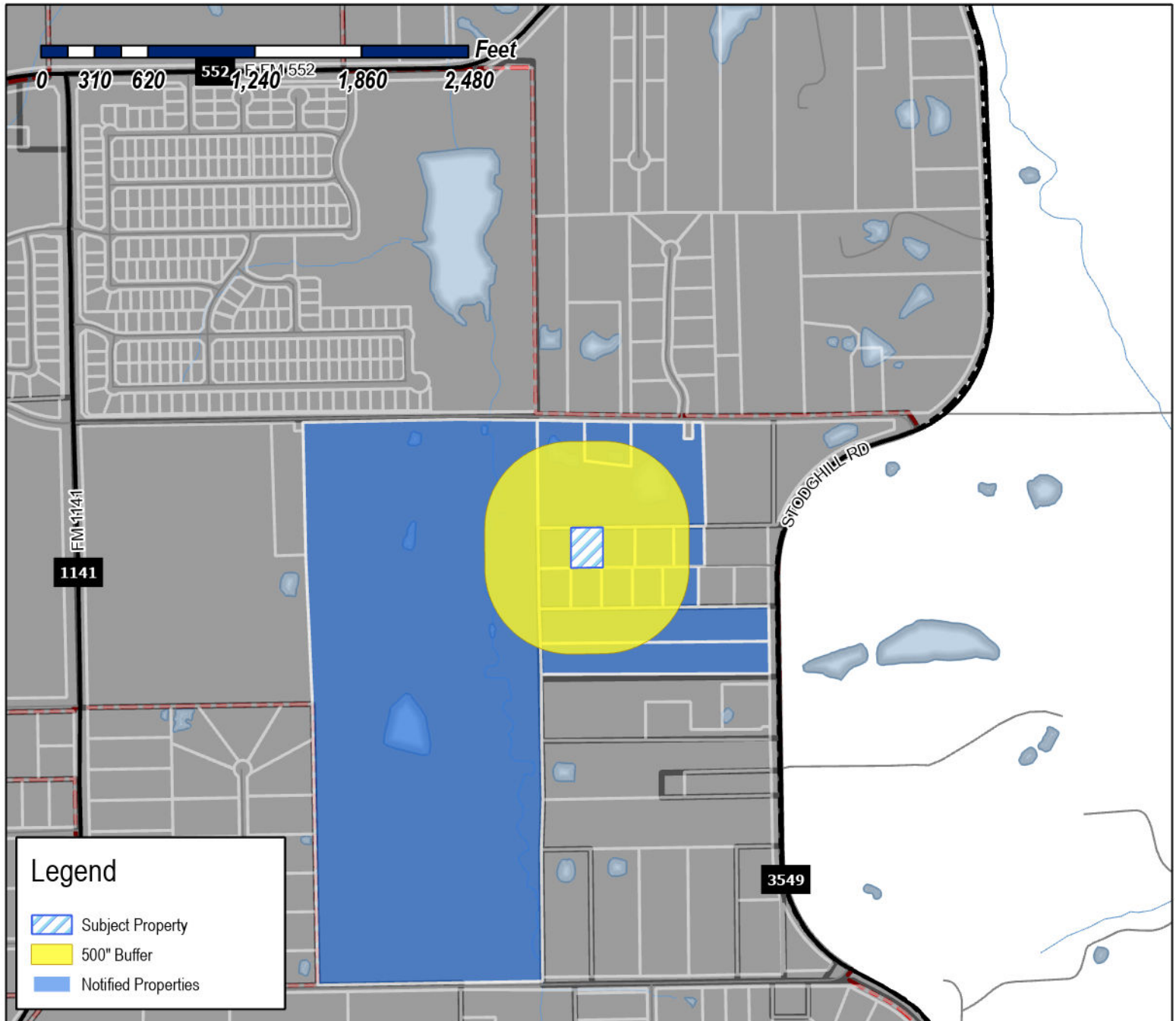




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

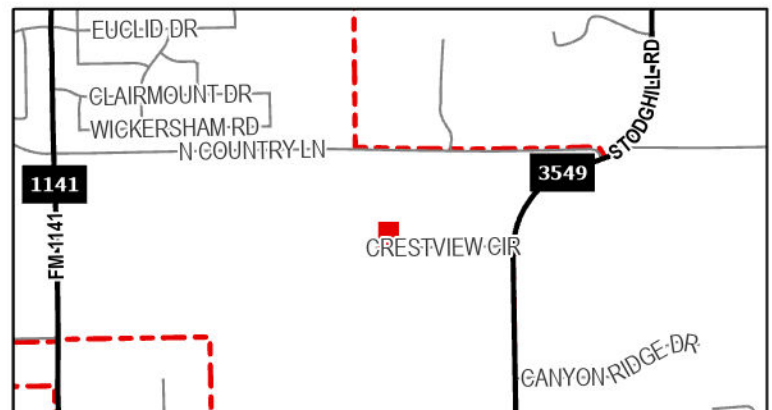
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-004
Case Name: SUP for an Accessory Building and Carport
Case Type: Zoning
Zoning: Single-family 16 (SF-16)
Case Address: 9 Crestview Circle

Date Saved: 1/19/2024

For Questions on this Case Call: (972) 771-7746



Letter of Explanation:

Zach Butler
9 Crestview Cir
Rockwall, TX 75087

The purpose of our request for a special use permit is for an expansion of our current garage/shop. We are adding on an indoor batting cage and sports gym for our three young boys. Part of the project also includes adding on some additional storage and more covered parking for future use as my kids get older. This batting cage and gym will be for private use for my kids, friends, and family and will not be used for business or income purposes. The need for this is to provide a facility for year round training for my kids indoors and outside of the elements. There are some private facilities around town but nothing open to the public and access to the private is growing increasingly difficult, costs money with each use and is usually a scheduling headache.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'ZB', with a long horizontal stroke extending to the right.

Zach Butler

C:\Users\17553\OneDrive - Creative\Documents\14 Creatview Justin_Baslam.rvt 3/13/2023 7:25:38 AM



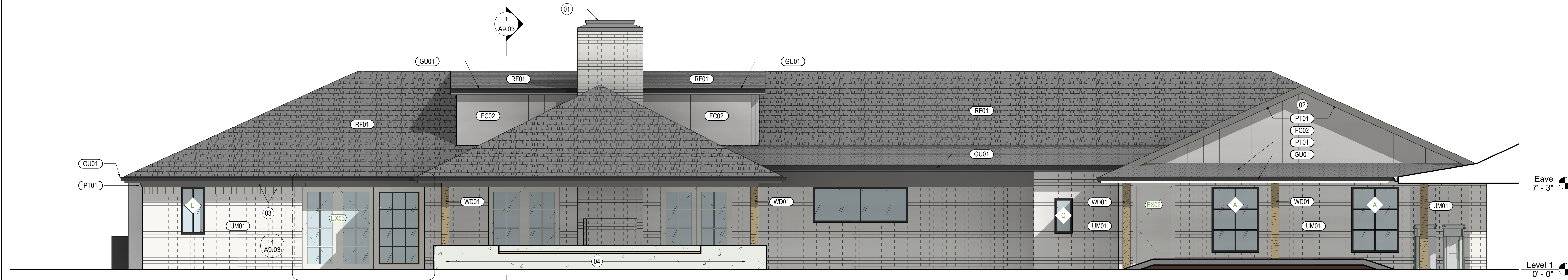
4 ANEX WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 ANEX EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 Back Elevation
SCALE: 1/4" = 1'-0"

sheet notes

- 01 CUSTOM METAL ORNAMENTAL CHIMNEY CAP
- 02 WOOD FASCIA/TRIM
- 03 WOOD TRIM AN SOLDIER COURSE TO MATCH EXISTING
- 04 NEW CONCRETE PLANTER WITH INTEGRATED BENCH

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

RF01 ROOFING

ITEM: COMPOSITE SHINGLES

RF02 STANDING SEAM METAL ROOF

ITEM: STANDING SEAM METAL ROOF

UM01 BRICK MASONRY UNIT

TYPE: MATCH EXISTING
FINISH: PAINTED

PT01 EXTERIOR PAINT

ITEM: EXTERIOR PAINT
COLOR: GREY (TBD)

WD01 WOOD

ITEM: STAINED TIMBER STRUCTURE
COLOR: TBD

FC02 FIBER CEMENT

ITEM: FIBER CEMENT PANELS (BOARD AND BATTEN)

GU01 PREFINISHED METAL GUTTER

ITEM: PREFINISHES METAL GUTTER WITH LEAF GUARD

general notes



PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
ELEVATION

REV	DATE	NOTES
-----	------	-------

1/22/21

DRAWN BY
JCB

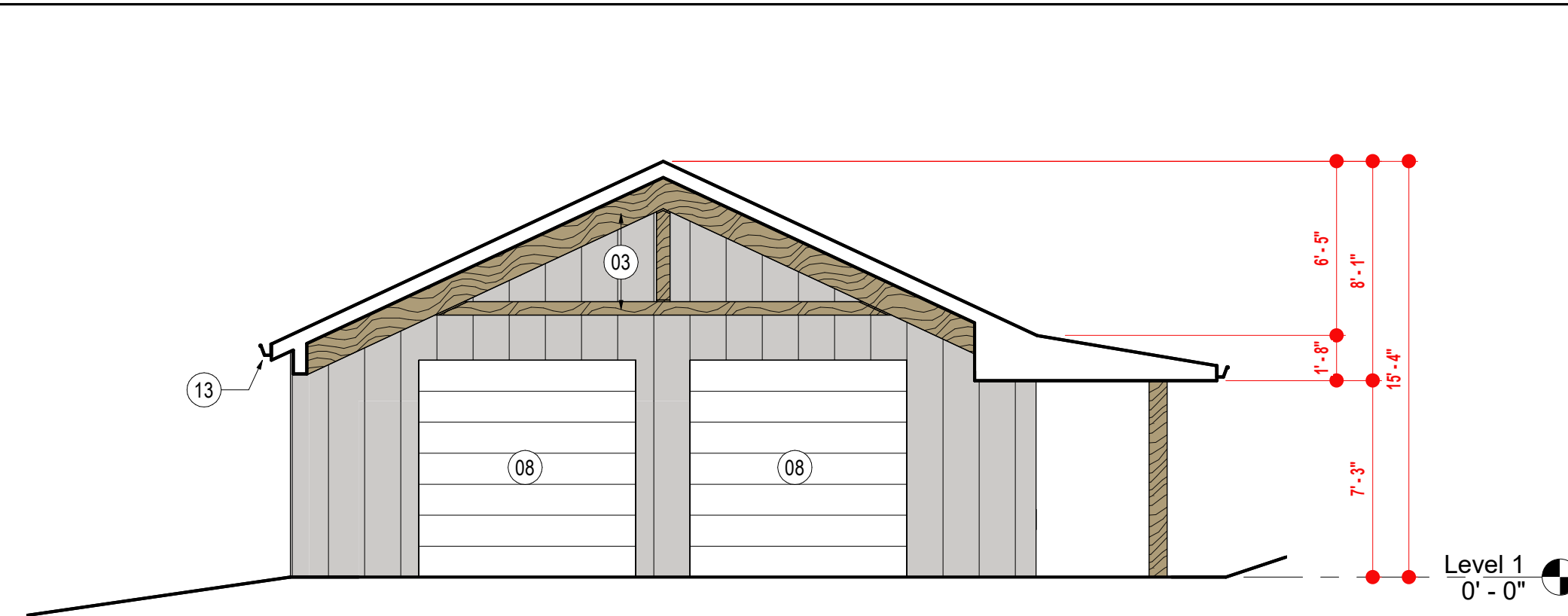
CHECKED BY
JCB

JOB NO

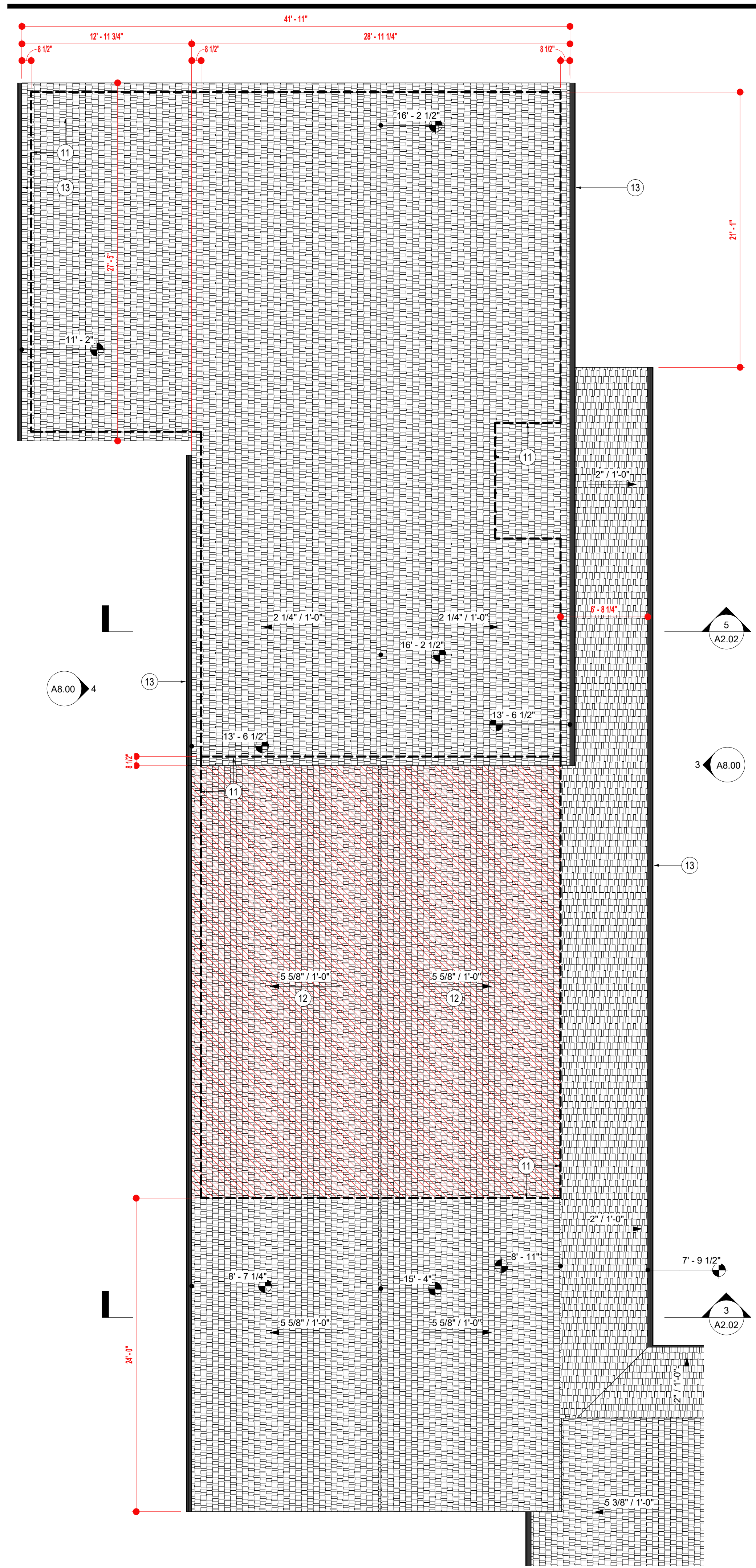
STATUS
PRICING

DRAWING NO

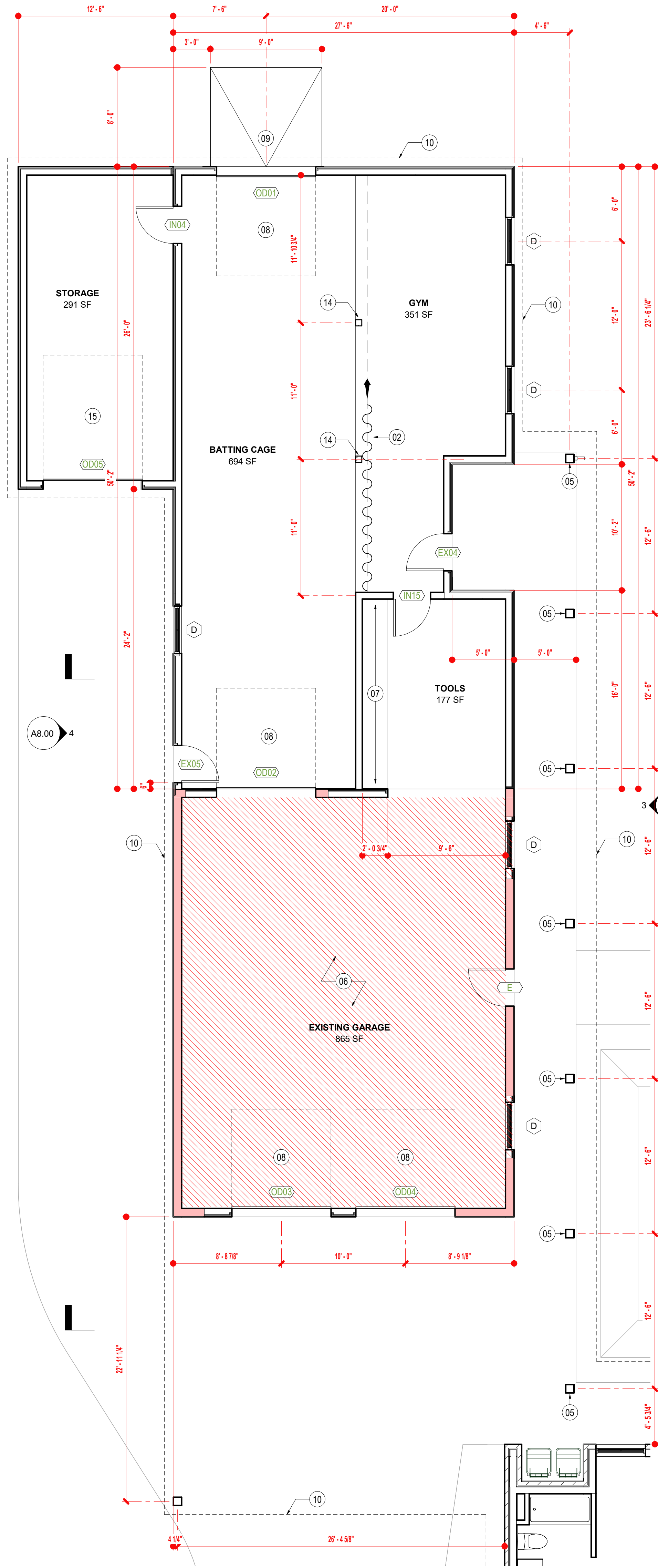
A8.00



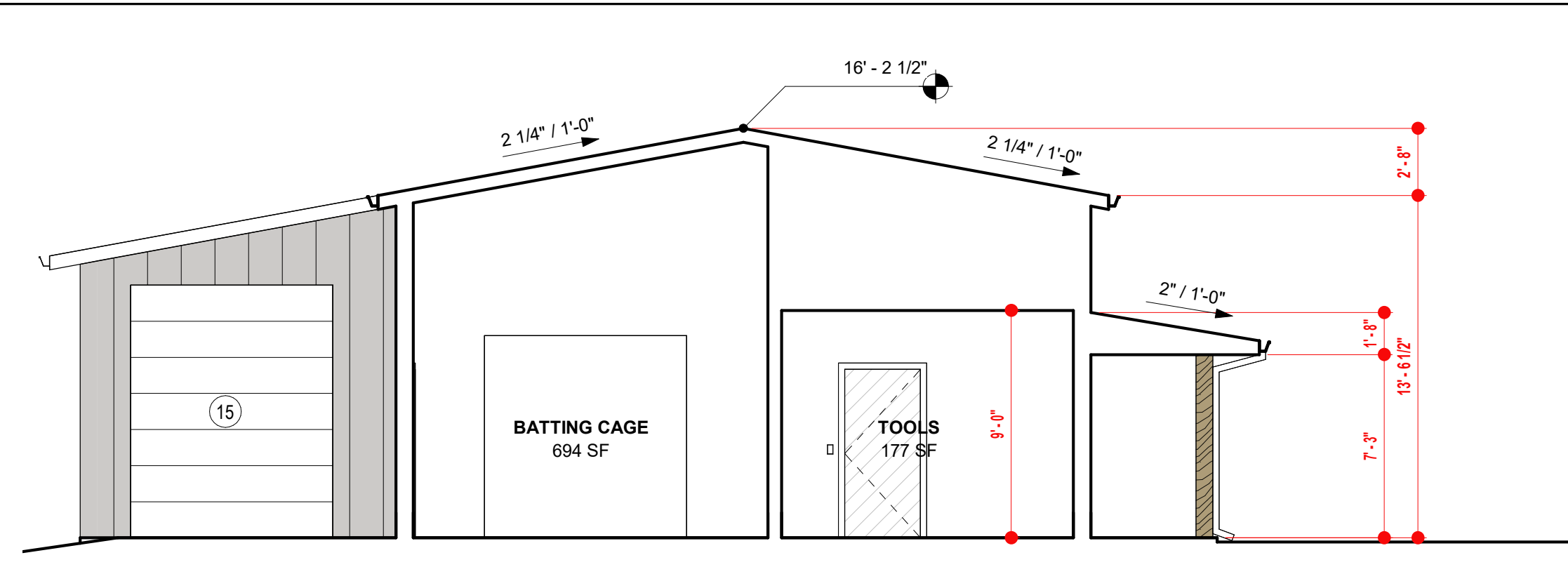
3 GARAGE SECTION B
SCALE: 3/16" = 1'-0"



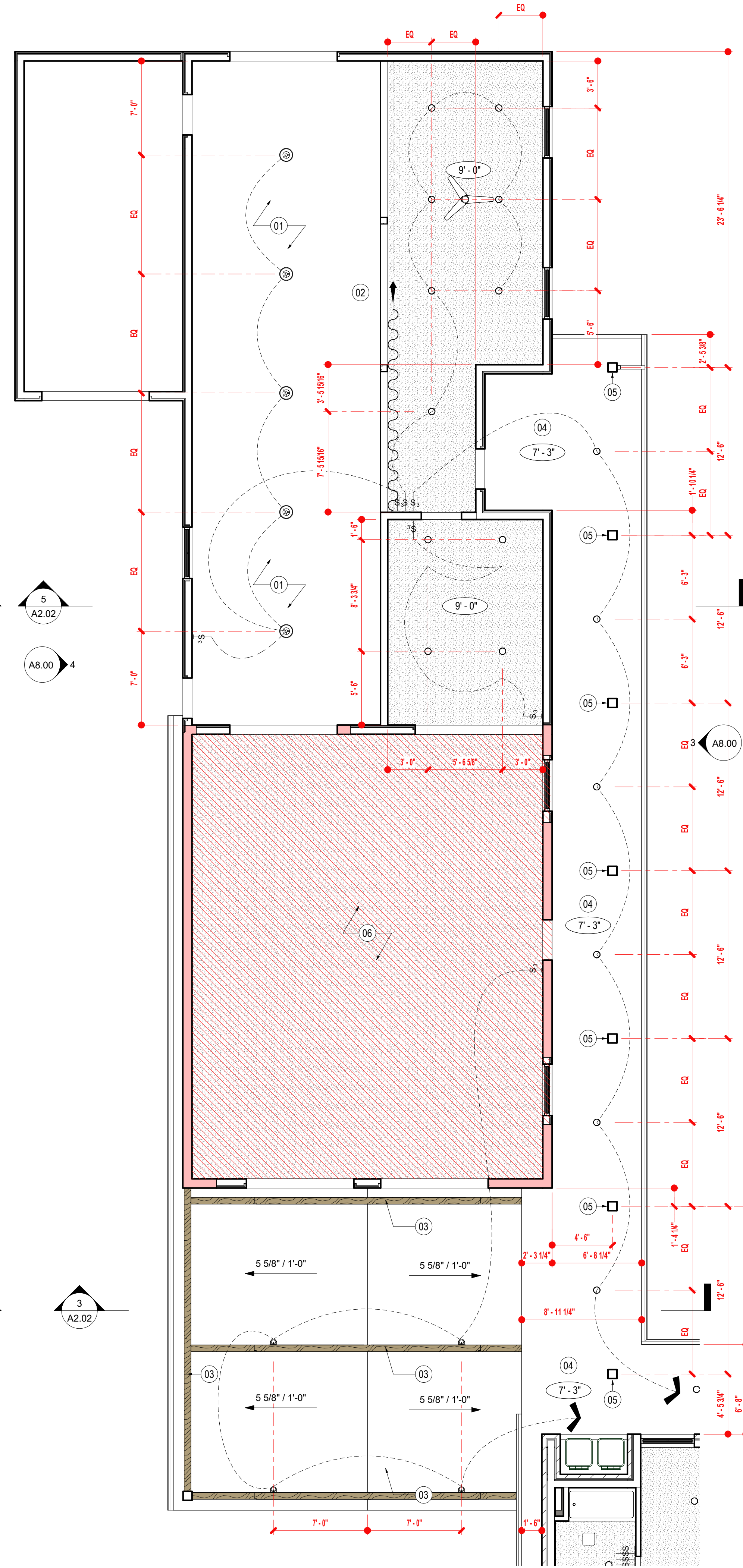
4 GARAGE ROOF PLAN
SCALE: 3/16" = 1'-0"



1 GARAGE CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"



5 GARAGE SECTION A
SCALE: 3/16" = 1'-0"



2 GARAGE REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

sheet notes

- 01 OPEN TO STRUCTURE ABOVE
- 02 SLIDING BATTING CURTAIN HUNG FROM TRACK ABOVE
- 03 EXPOSED TIMBER STRUCTURE (STAINED), MAINTAIN 10'-0" CLEAR
- 04 ELEVATION MATCHES THE EAVE OF EXISTING HOME
- 05 COLONADE COLUMN (SIZED BY STRUCTURAL ENGINEER)
- 06 HATCH DENOTES EXISTING GARAGE OUT OF SCOPE
- 07 BUILT-IN WORK BENCH
- 08 8'-0" X 8'-0" OVERHEAD GARAGE DOOR
- 09 CONCRETE RAMP
- 10 LINE OF OVERHANG ABOVE
- 11 LINE OF OUTSIDE FACE OF WALL BELOW
- 12 HATCH DENOTES EXISTING ROOF TO REMAIN
- 13 GUTTER, DOWNSPOUTS TO BE COORDINATED BETWEEN OWNER AND CONTRACTOR
- 14 STRUCTURAL SUPPORT COLUMN SIZED BY STRUCTURAL ENGINEER
- 15 8'-0" X 10'-0" OVERHEAD GARAGE DOOR

KEY

- NEW WALL
- EXISTING WALL
- LINE OF EXISTING FOOTPRINT
- NO INTERIOR MODIFICATIONS

general notes

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY OWNER IF DISCREPANCIES ARE FOUND.
- ALL EXTERIOR WALLS TO BE FRAMED WITH 2X6 CONSTRUCTION.
- ALL INTERIOR PARTITIONS TO BE FRAMED WITH 2X4 CONSTRUCTION @ 16" O.C. UNLESS OTHERWISE NOTED.
- STRUCTURE ALL FRAMED OPENINGS AS REQUIRED. ENGINEERING BY OTHERS.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.
- EXTERIOR WALLS ARE DIMENSIONED FROM EXTERIOR FACE OF SHEATHING.
- ALL WATER HEATERS TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED.
- ALL INTERIOR FINISHES TO BE SELECTED BY OWNER. ALL INTERIOR FINISHES ARE BEYOND THE SCOPE OF THESE DRAWINGS.
- ALL VANITIES TO BE 36" HIGH.
- FINAL DESIGN AND AMENITIES @ ALL CABINETS AS PER OWNER/BUILDER AGREEMENT. ALL MILLWORK IS BEYOND THE SCOPE OF THESE DRAWINGS.
- ALL STRUCTURAL ENGINEERING BY OTHERS INCLUDING BUT NOT LIMITED TO ALL HORIZONTAL & VERTICAL FRAMES, FOUNDATIONS, COLUMN PLATES, CONNECTORS, BEAMS, WALLS, PLATES, PENETRATIONS, TRUSS SYSTEMS, ROOF SYSTEMS, & WIND BRACING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- IN AREAS OF WORK AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- ALL EXISTING WALLS SHALL BE REPAINTED AS SCHEDULED. CONTRACTOR RESPONSIBLE FOR PREPARING WALLS AND MINOR PATCHING (IN ADDITION TO SPECIFIC PATCHING AS NOTED). ALL EXISTING DOOR FRAMES SHALL BE REPAINTED. PREPARE EXISTING FRAMES PRIOR TO PAINTING.
- ALL ELECTRICAL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL CONFORM TO LOCAL BUILDING CODES, RULES, AND REGULATIONS. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.
- ALL OVERHEAD LIGHTING IN LIVING SPACES, BEDROOMS, AND OFFICES ON DIMMER SWITCHES.
- POWER AND DATA OUTLETS TO BE COORDINATED BY CONTRACTOR AND OWNER. FLOOR OUTLETS SHOULD BE COORDINATED PRIOR TO POURING THE LEVEL 01 SLAB.

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
SHOP PLANS

REV
DATE
1/22/21

NOTES

DRAWN BY
JCB

JOB NO

DRAWING NO

CHECKED BY
JCB

STATUS
PRICING

A2.02

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 1/26/2024

PROJECT NUMBER: Z2024-004
PROJECT NAME: SUP for an Accesory Building at 9 Crestview Circle
SITE ADDRESS/LOCATIONS: 9 CRESTVIEW CIR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Zach Butler for the approval of a Specific Use Permit (SUP) for an Accessory Building and Carport on a one (1) acre parcel of land identified as Lot 9 of the Northcrest Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 9 Crestview Circle, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	01/26/2024	Approved w/ Comments

01/26/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Specific Use Permit (SUP) for an Accessory Building and Carport on a one (1) acre parcel of land identified as Lot 9 of the Northcrest Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, and addressed as 9 Crestview Circle.
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (Z2024-004) in the lower right-hand corner of all pages on future submittals.
- I.4 The subject property is zoned Single-Family 16 (SF-16) District.
- I.5 The proposed detached garage was constructed without a Specific Use Permit (SUP) or a building permit. Given this, the applicant had to pay the non-compliant structure fee.
- I.6 The subject property has had several improvements constructed without a permit. Below is a timeline that describes all of the known unpermitted improvement. This is timeline is accompanied with aerials in a second document.
- (1) August 12, 2014 – The applicant purchased the subject property.
 - (2) December 1, 2015 – New unpermitted concrete drive, parking pad, and sidewalk constructed.
 - (3) January 27, 2017 – Unpermitted expansion of driveway, mid-construction of the unpermitted detached garage, and the unpermitted pad for a home expansion and covered patio. Finished by September 6, 2017.
 - (4) September 7, 2019 – Unpermitted sidewalk between covered patio and driveway.
 - (5) September 29, 2023 – Unpermitted addition to detached garage, unpermitted driveway expansion unpermitted home addition, and unpermitted patio cover.
 - (6) October 20, 2023 – Contractor applies for electrical permit (Permit No. RES2023-5225).
 - (7) December 6, 2023 – Staff issued a Stop Work Order.
 - (8) December 14, 2023 – Applicant applies for Residential Building Permit (Permit No. RES2023-6181).
 - (9) December 15, 2023 – Staff follow up after Stop Work Order. Work had continued and electrician was on-site at time of follow up.
 - (10) January 16, 2024 – Work appears to be complete; however, equipment appears to be on the property.

(11) January 19, 2024 – Applicant applies for Specific Use Permit (SUP).

I.7 The applicant is requesting the approval of a Specific Use Permit (SUP) to allow the unpermitted detached garage. In addition, as part of this SUP request, the applicant is requesting to allow the construction of a carport. The proposed carport would be attached to the unpermitted detached garage and to the single-family home.

I.8 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), detached garages shall adhere to the following requirements:

- (1) Number of Accessory Structures Permitted per Lot: 1
- (2) Maximum SF of Accessory Building: 625 SF
- (3) Minimum Rear Yard Setback: 10 Feet
- (4) Minimum Side Yard Setback: 8 Feet
- (5) Distance Between Buildings: 10 Feet
- (6) Maximum Building Height: 15 Feet

In this case, the proposed detached garage is 2,378 SF, where 865 SF was existing -- but unpermitted -- and 1,513 SF is new. This makes the detached garage 3.8 times bigger than permitted by right. Staff should note, based on the Rockwall Central Appraisal District (RCAD), the single-family home is 3,736 SF. This makes the detached garage 63.70% the size of the existing single-family home. That being said, unpermitted additions have been made on the single-family home making it difficult for staff to determine the actual size of the home.

I.9 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), carports shall adhere to the following requirements:

- (1) Number of Accessory Structures Permitted per Lot: 1
- (2) Maximum SF of Accessory Building: 500 SF
- (3) Minimum Rear Yard Setback: 10 Feet
- (4) Minimum Side Yard Setback: 8 Feet
- (5) Distance Between Buildings: 10 Feet
- (6) Maximum Building Height: 15 Feet

In addition, according to the UDC, carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the front façade of the primary structure. In this case, the proposed carport is open on two (2) sides, and is located more than 20-feet behind the front façade of the single-family home. That being said, the proposed carport is ~580 SF, which exceeds the maximum permissible size of 500 SF. In addition, due to the unpermitted improvement to the existing single-family home and the unpermitted detached garage, staff cannot determine if the proposed Carport would be architecturally integrated based on the proposed plans.

I.10 According the Section 03, Residential Districts, of Article 05, District Development Standards, of the Unified Development Code (UDC) "(a)ll residential structures shall be constructed with a minimum 3:12 roof pitch." In this case, the proposed accessory building has a ~2.5:12 roof pitch.

M.11 Please clarify if any of the detached garage is going to be air-conditioned. If so, please clarify the amount to be air-conditioned. Please note, that if the total air-conditioned space of one (1) building is over 5,000 SF, then the Fire Department will require a fire suppression system.

M.12 In summary, the applicant is requesting a Specific Use Permit (SUP) [1] to allow the unpermitted expansion to a detached garage to remain that exceeds the maximum permissible size and does not meet the minimum roof pitch, and [2] allow the construction of a carport that exceeds the maximum permissible size.

M.13 Please review the attached Draft Ordinance prior to the January 30, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than February 6, 2024.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional

information that is requested. Revisions for this case will be due on February 6, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the February 13, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on January 30, 2024.

I.15 The projected City Council meeting dates for this case will be February 20, 2024 [1st Reading] and March 4, 2024 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Jonathan Browning	01/25/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	01/24/2024	Approved w/ Comments

01/24/2024: With new additions and all the previous additions, if the total conditioned space exceeds 5,000 square feet, a fire suppression system will be required. If the SUP is approved they must obtain an Approved Building Permit before any work is started. There will be additional paperwork and inspections required at the Building Permit submittal due to all the previous additions without permits/inspections.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	01/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	01/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	01/22/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	01/25/2024	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 9 Crestview Cir Rockwall, TX 75087

SUBDIVISION Northcrest Estate #2

LOT

9

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFR

CURRENT USE SFR

PROPOSED ZONING

PROPOSED USE

ACREAGE 1.00

LOTS [CURRENT]

1

LOTS [PROPOSED]

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Zach Butler

☐ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

9 Crestview Cir

ADDRESS

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

PHONE

972-896-3813

PHONE

E-MAIL

Zach@rockwallproperties.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zach Butler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF JANUARY, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

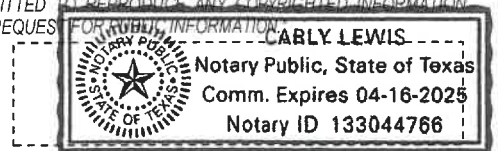
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF JANUARY, 2024.

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES 2-16-25

0 25 50 100 150 200 Feet

Z2024-004: SUP for an Accessory Building and Carport at 9 Crestview Circle

AG

SF-16

CRESTVIEW CIR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

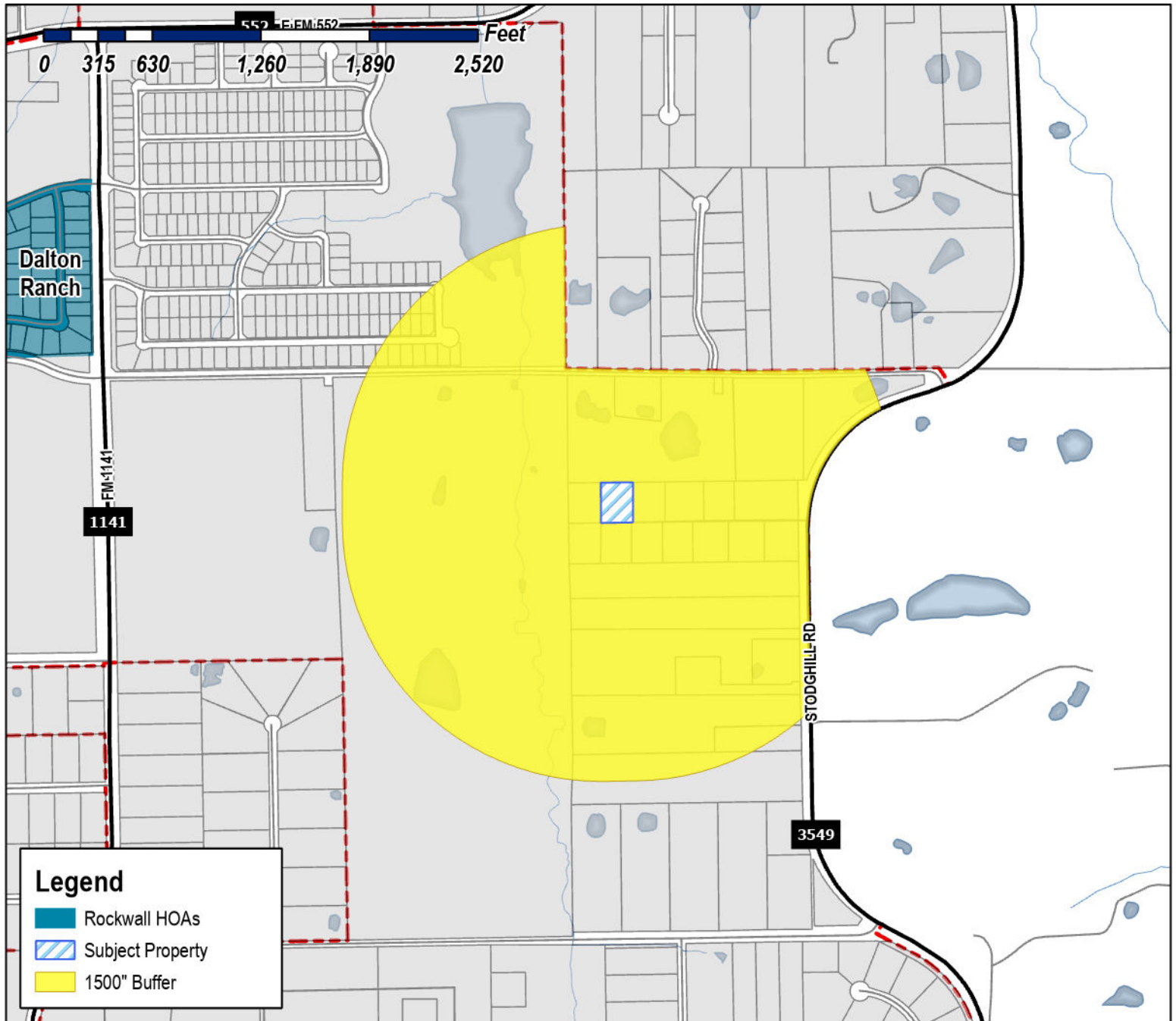




City of Rockwall

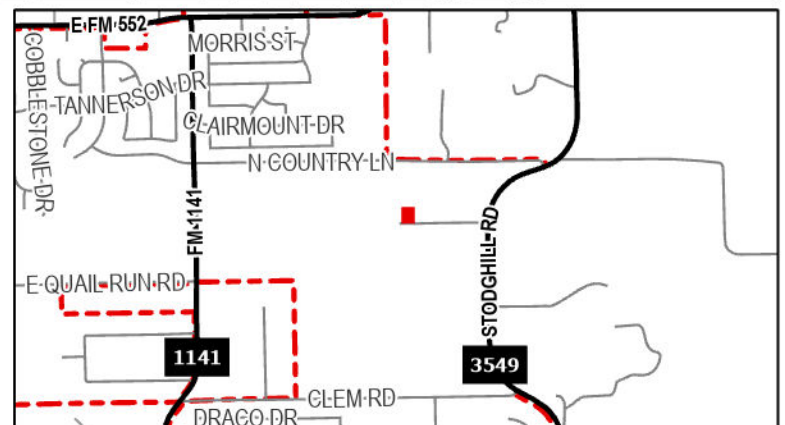
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-004
Case Name: SUP for an Accessory Building and Carport
Case Type: Zoning
Zoning: Single-Family 16 (SF-16)
Case Address: 9 Crestview Circle

Date Saved: 1/19/2024
For Questions on this Case Call (972) 771-7745

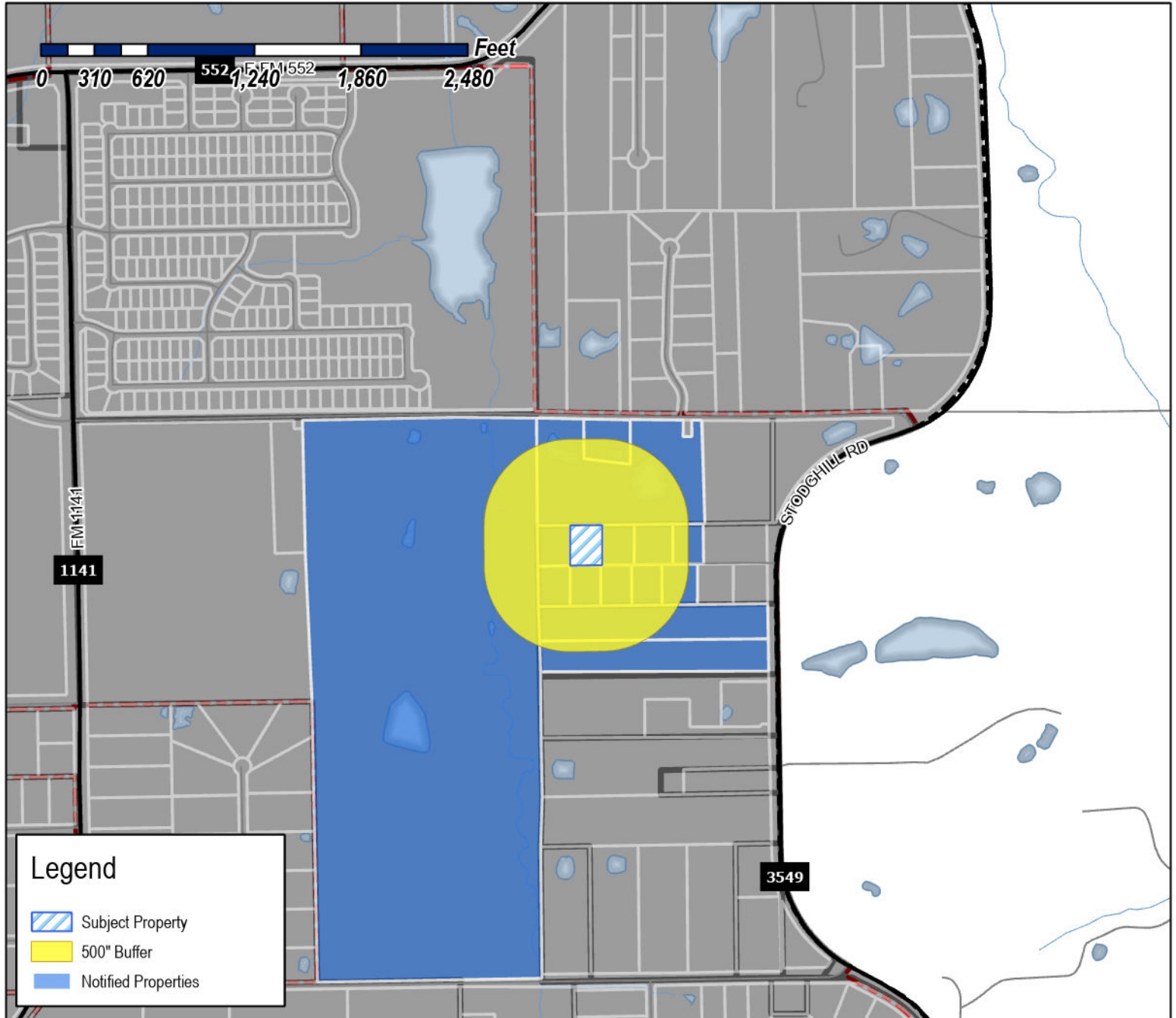




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

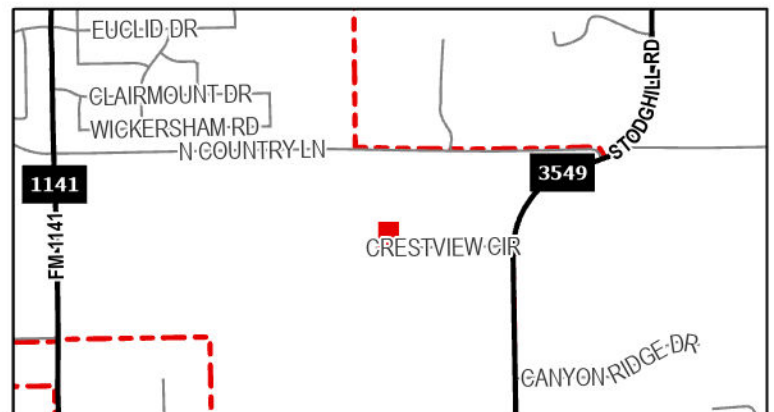
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-004
Case Name: SUP for an Accessory Building and Carport
Case Type: Zoning
Zoning: Single-family 16 (SF-16)
Case Address: 9 Crestview Circle

Date Saved: 1/19/2024

For Questions on this Case Call: (972) 771-7746



RESIDENT
FM3549 STODGHILL RD
ROCKWALL, TX 75032

MICHAEL REMEDIOS G
10 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

ERBERT STEPHEN RICHARD & PATRICIA ERBERT
1004 CEDAR GLEN TRL
ROCKWALL, TX 75032

DAVIS KENNETH W ET UX
11 CRESTVIEW CIR
ROCKWALL, TX 75087

FLANAGAIN GARY W & ESTHER
12 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
2030 CROSSWOOD LANE
IRVING, TX 75063

MCCALLUM MATTHEW A AND AMANDA KAY
3 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

RESIDENT
379 N COUNTRY LN
ROCKWALL, TX 75032

MCCAULEY MATTHEW F & CYNTHIA R
4 CRESTVIEW CIR
ROCKWALL, TX 75087

HANKS MICHAEL JOEL AND BATINA L
5 CRESTVIEW CIR
ROCKWALL, TX 75087

LENZI LEWIS B AND MARY K
6 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

RESIDENT
656 N COUNTRY LN
ROCKWALL, TX 75032

GIPSON ANTHONY D & JOYCE E
7 CRESTVIEW CIR
ROCKWALL, TX 75087

PEARCE CAROL ALLEY
721 N COUNTRY LN
ROCKWALL, TX 75087

PEARCE CAROL ALLEY &
BRIAN S & NICOLE DEJARNETT
721 N COUNTRY LN
ROCKWALL, TX 75087

PRITCHARD BRIAN E AND JENNIFER L
8 CRESTVIEW CIR
ROCKWALL, TX 75087

BUTLER ZACHARY AND COURTNEY
9 CRESTVIEW CIR
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

CORRECTED NOTICE: ALL CHANGES CORRECTED IN RED BELOW. CORRECTING THE CITY COUNCIL MEETING DATE TO REFLECT TUESDAY, FEBRUARY 20, 2024.

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-004: SUP for an Accessory Building and Carport

Hold a public hearing to discuss and consider a request by Zach Butler for the approval of a Specific Use Permit (SUP) for an Accessory Building and Carport on a one (1) acre parcel of land identified as Lot 9 of the Northcrest Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 9 Crestview Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on **TUESDAY, February 20, 2024 at 6:00 PM**. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **TUESDAY, February 20, 2024 at 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-004: SUP for an Accessory Building and Carport

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Letter of Explanation:

Zach Butler
9 Crestview Cir
Rockwall, TX 75087

The purpose of our request for a special use permit is for an expansion of our current garage/shop. We are adding on an indoor batting cage and sports gym for our three young boys. Part of the project also includes adding on some additional storage and more covered parking for future use as my kids get older. This batting cage and gym will be for private use for my kids, friends, and family and will not be used for business or income purposes. The need for this is to provide a facility for year round training for my kids indoors and outside of the elements. There are some private facilities around town but nothing open to the public and access to the private is growing increasingly difficult, costs money with each use and is usually a scheduling headache.

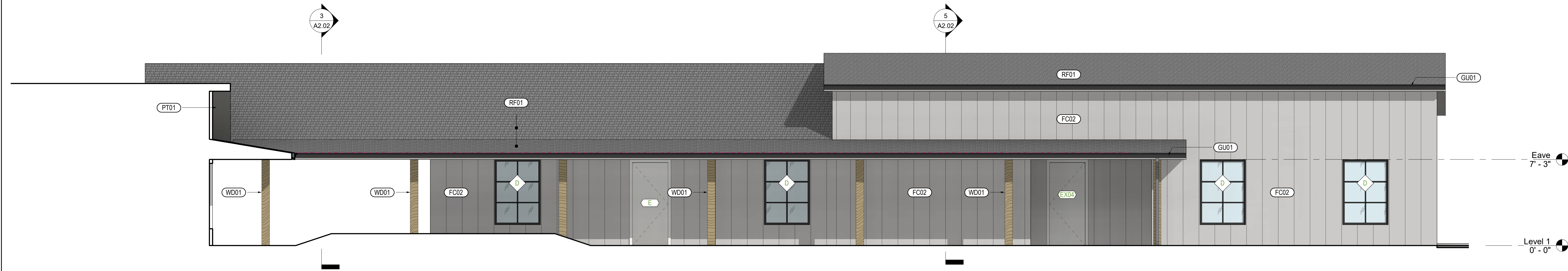
Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'ZB', with a long horizontal stroke extending to the right.

Zach Butler



4 ANEX WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 ANEX EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 Back Elevation
SCALE: 1/4" = 1'-0"

sheet notes

- 01 CUSTOM METAL ORNAMENTAL CHIMNEY CAP
- 02 WOOD FASCIA/TRIM
- 03 WOOD TRIM AN SOLDIER COURSE TO MATCH EXISTING
- 04 NEW CONCRETE PLANTER WITH INTEGRATED BENCH

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

RF01 ROOFING

ITEM: COMPOSITE SHINGLES

RF02 STANDING SEAM METAL ROOF

ITEM: STANDING SEAM METAL ROOF

UM01 BRICK MASONRY UNIT

TYPE: MATCH EXISTING

FINISH: PAINTED

PT01 EXTERIOR PAINT

ITEM: EXTERIOR PAINT

COLOR: GREY (TBD)

WD01 WOOD

ITEM: STAINED TIMBER STRUCTURE

COLOR: TBD

FC02 FIBER CEMENT

ITEM: FIBER CEMENT PANELS (BOARD AND BATTEN)

GU01 PREFINISHED METAL GUTTER

ITEM: PREFINISHES METAL GUTTER WITH LEAF GUARD

general notes



PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
ELEVATION

REV	DATE	NOTES
-----	------	-------

1/22/21

DRAWN BY
JCB

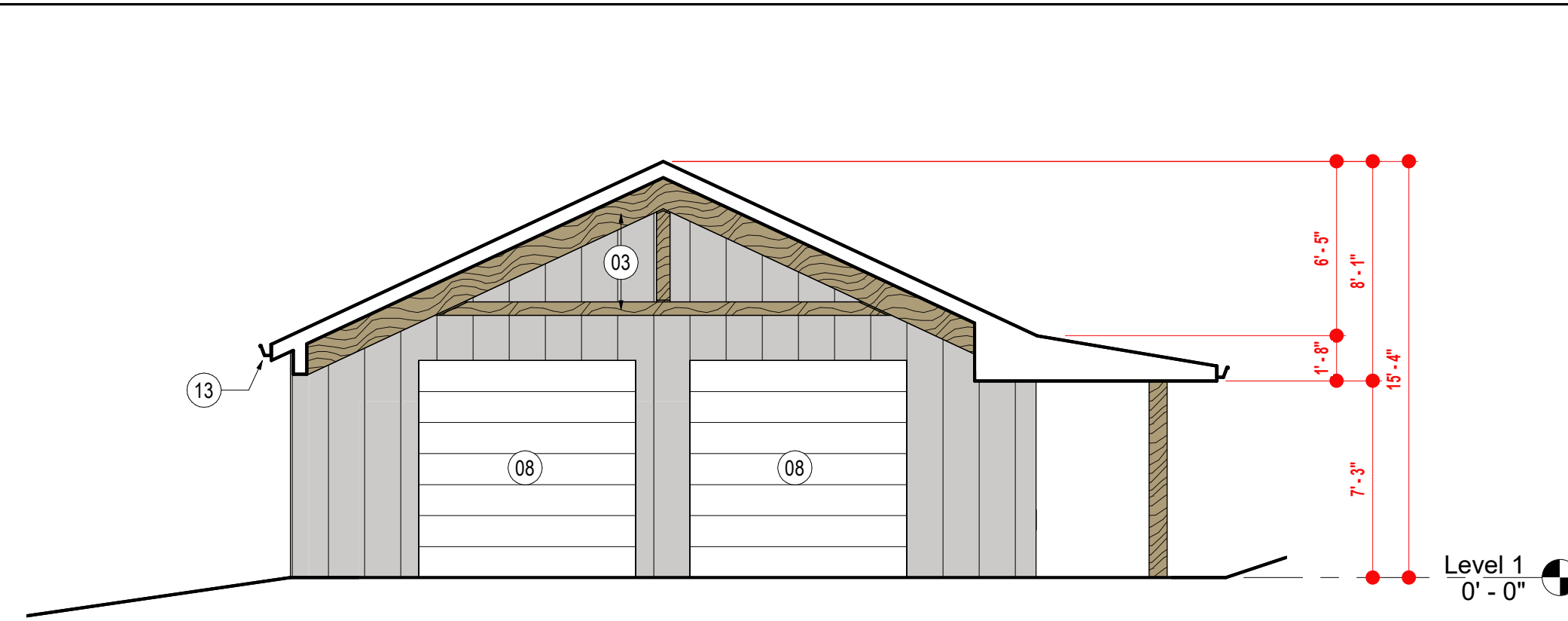
CHECKED BY
JCB

JOB NO

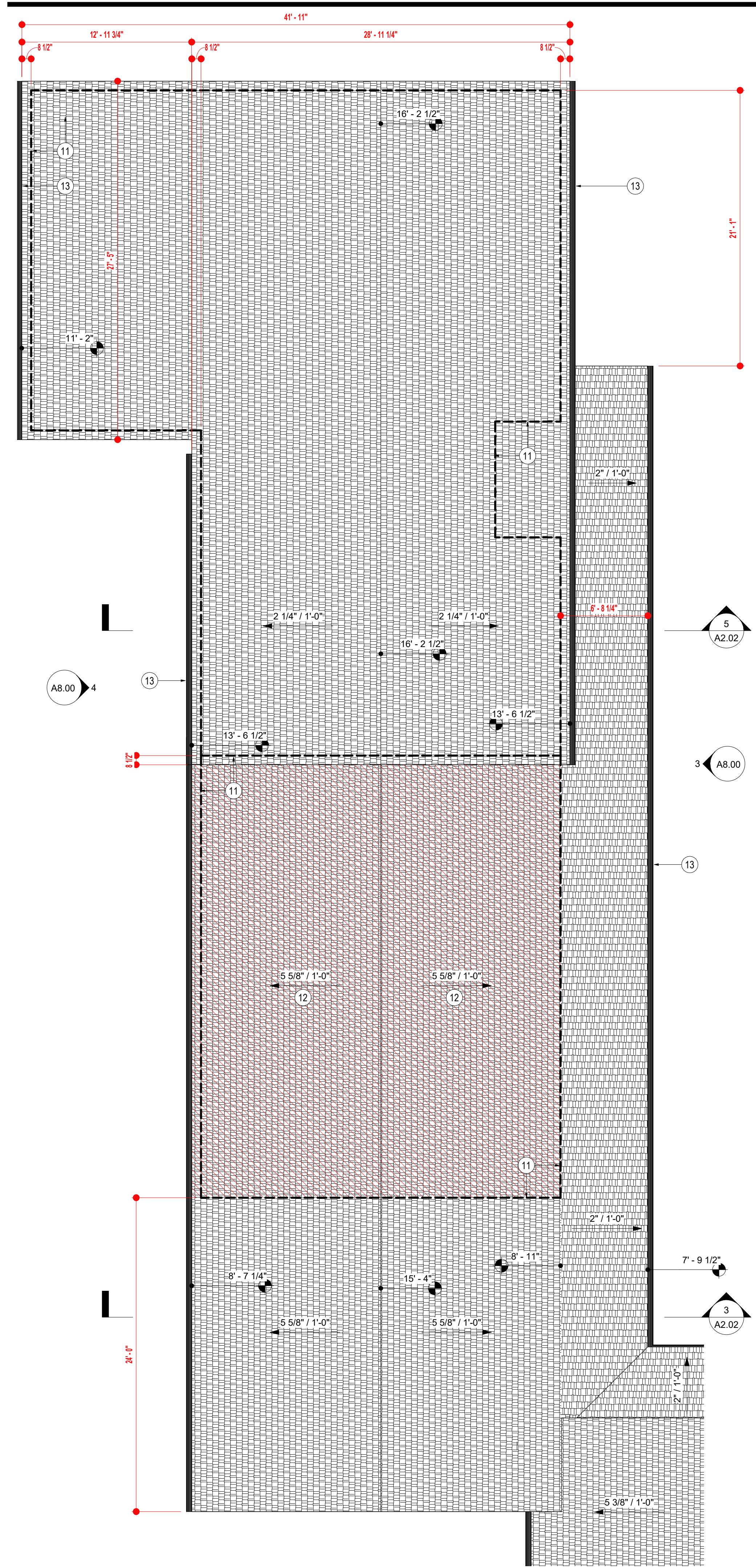
STATUS
PRICING

DRAWING NO

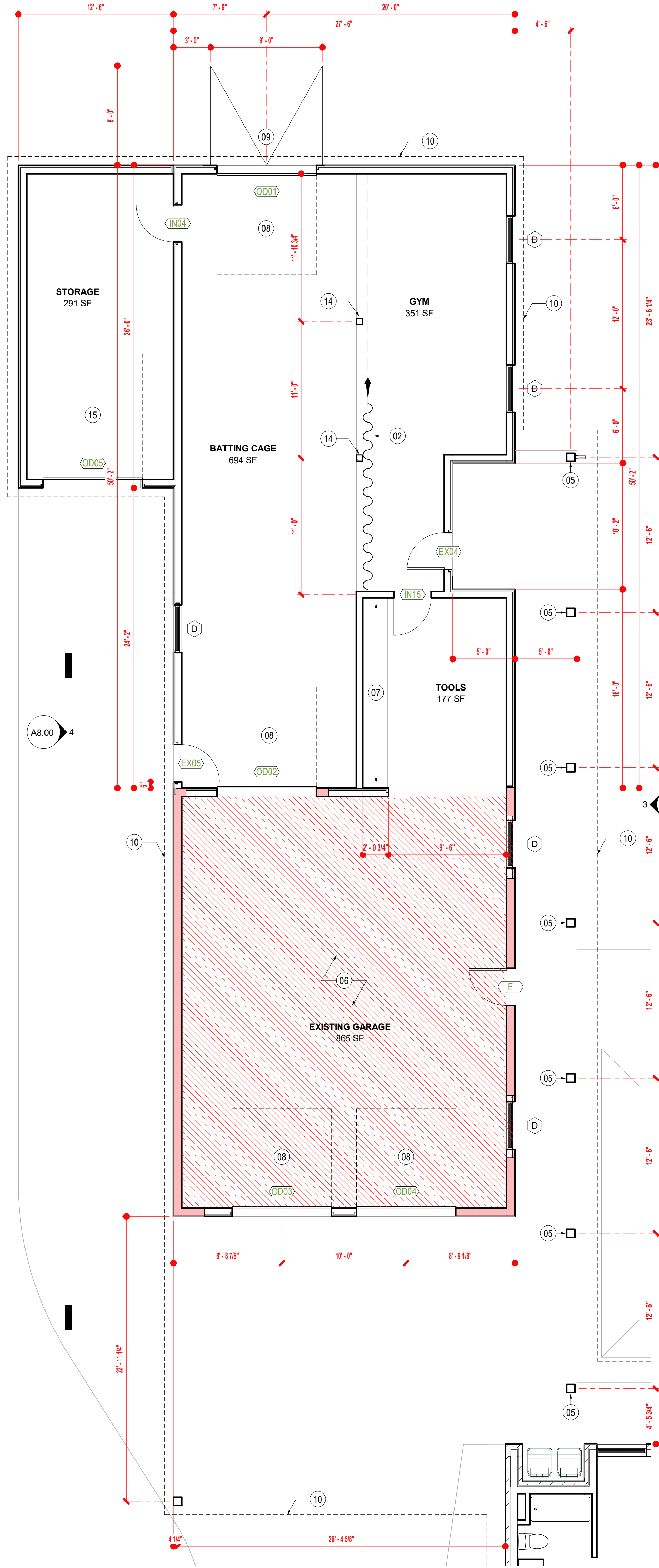
A8.00



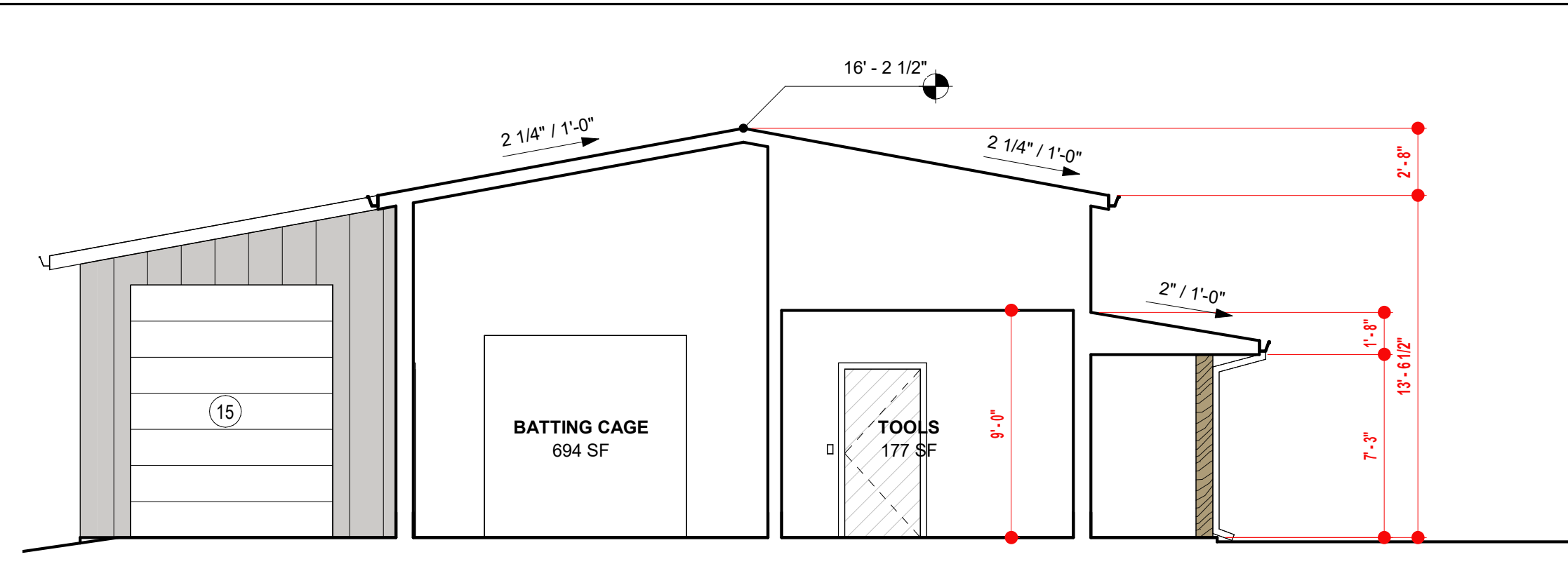
3 GARAGE SECTION B
SCALE: 3/16" = 1'-0"



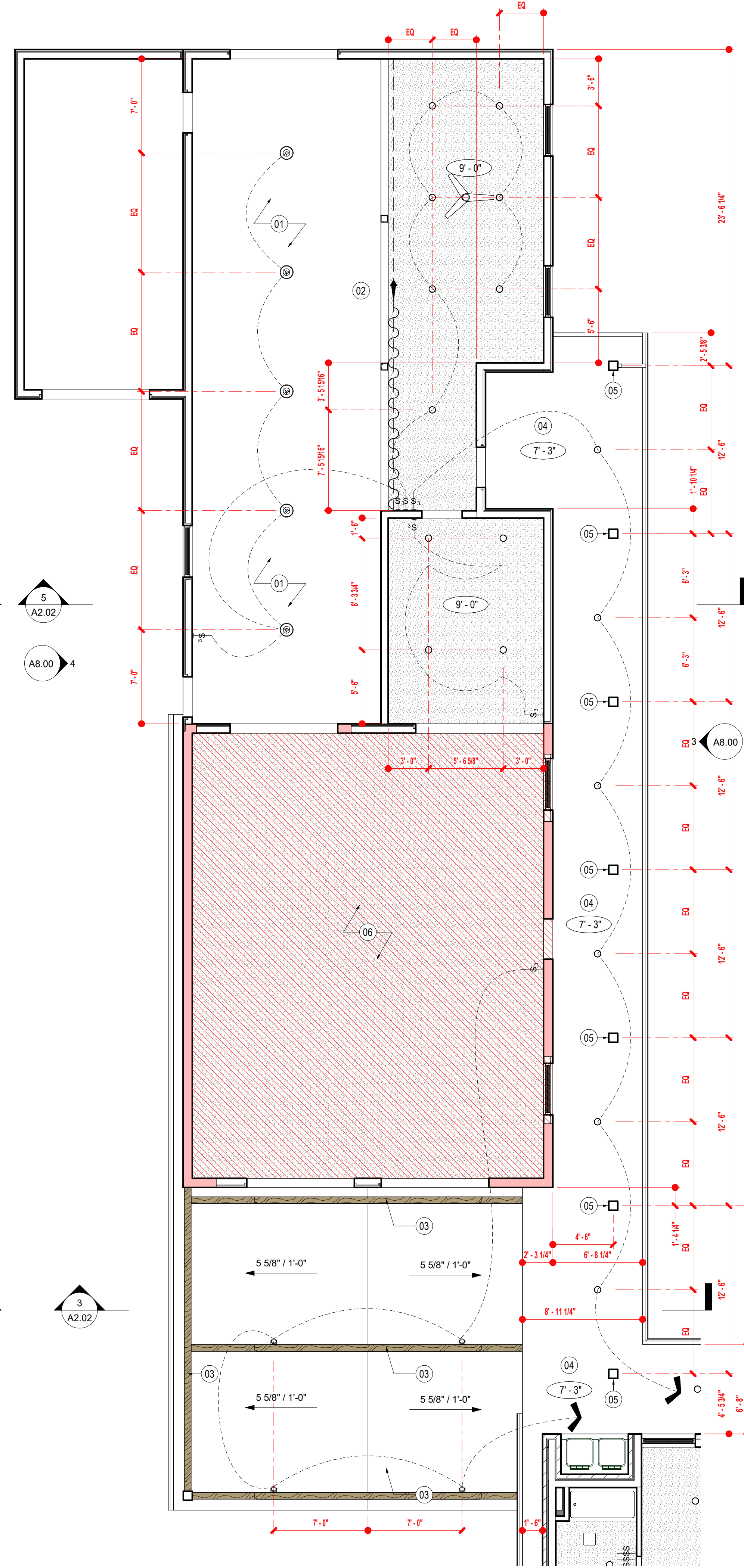
4 GARAGE ROOF PLAN
SCALE: 3/16" = 1'-0"



1 GARAGE CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"



5 GARAGE SECTION A
SCALE: 3/16" = 1'-0"



2 GARAGE REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

sheet notes

- 01 OPEN TO STRUCTURE ABOVE
- 02 SLIDING BATTING CURTAIN HUNG FROM TRACK ABOVE
- 03 EXPOSED TIMBER STRUCTURE (STAINED), MAINTAIN 10'-0" CLEAR
- 04 ELEVATION MATCHES THE EAVE OF EXISTING HOME
- 05 COLONADE COLUMN (SIZED BY STRUCTURAL ENGINEER)
- 06 HATCH DENOTES EXISTING GARAGE OUT OF SCOPE
- 07 BUILT-IN WORK BENCH
- 08 8'-0" X 8'-0" OVERHEAD GARAGE DOOR
- 09 CONCRETE RAMP
- 10 LINE OF OVERHANG ABOVE
- 11 LINE OF OUTSIDE FACE OF WALL BELOW
- 12 HATCH DENOTES EXISTING ROOF TO REMAIN
- 13 GUTTER, DOWNSPOUTS TO BE COORDINATED BETWEEN OWNER AND CONTRACTOR
- 14 STRUCTURAL SUPPORT COLUMN SIZED BY STRUCTURAL ENGINEER
- 15 8'-0" X 10'-0" OVERHEAD GARAGE DOOR

- KEY**
- NEW WALL
 - EXISTING WALL
 - LINE OF EXISTING FOOTPRINT
 - NO INTERIOR MODIFICATIONS

general notes

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY OWNER IF DISCREPANCIES ARE FOUND.
- ALL EXTERIOR WALLS TO BE FRAMED WITH 2X6 CONSTRUCTION.
- ALL INTERIOR PARTITIONS TO BE FRAMED WITH 2X4 CONSTRUCTION @ 16" O.C. UNLESS OTHERWISE NOTED.
- STRUCTURE ALL FRAMED OPENINGS AS REQUIRED. ENGINEERING BY OTHERS.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.
- EXTERIOR WALLS ARE DIMENSIONED FROM EXTERIOR FACE OF SHEATHING.
- ALL WATER HEATERS TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED.
- ALL INTERIOR FINISHES TO BE SELECTED BY OWNER. ALL INTERIOR FINISHES ARE BEYOND THE SCOPE OF THESE DRAWINGS.
- ALL VANITIES TO BE 36" HIGH.
- FINAL DESIGN AND AMENITIES @ ALL CABINETS AS PER OWNER/BUILDER AGREEMENT. ALL MILLWORK IS BEYOND THE SCOPE OF THESE DRAWINGS.
- ALL STRUCTURAL ENGINEERING BY OTHERS INCLUDING BUT NOT LIMITED TO ALL HORIZONTAL & VERTICAL FRAMES, FOUNDATIONS, COLUMN PLATES, CONNECTORS, BEAMS, WALLS, PLATES, PENETRATIONS, TRUSS SYSTEMS, ROOF SYSTEMS, & WIND BRACING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- IN AREAS OF WORK AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- ALL EXISTING WALLS SHALL BE REPAINTED AS SCHEDULED. CONTRACTOR RESPONSIBLE FOR PREPARING WALLS AND MINOR PATCHING (IN ADDITION TO SPECIFIC PATCHING AS NOTED). ALL EXISTING DOOR FRAMES SHALL BE REPAINTED. PREPARE EXISTING FRAMES PRIOR TO PAINTING.
- ALL ELECTRICAL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL CONFORM TO LOCAL BUILDING CODES, RULES, AND REGULATIONS. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.
- ALL OVERHEAD LIGHTING IN LIVING SPACES, BEDROOMS, AND OFFICES ON DIMMER SWITCHES.
- POWER AND DATA OUTLETS TO BE COORDINATED BY CONTRACTOR AND OWNER. FLOOR OUTLETS SHOULD BE COORDINATED PRIOR TO POURING THE LEVEL 01 SLAB.

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE



PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
SHOP PLANS

REV	DATE	NOTES
	1/22/21	

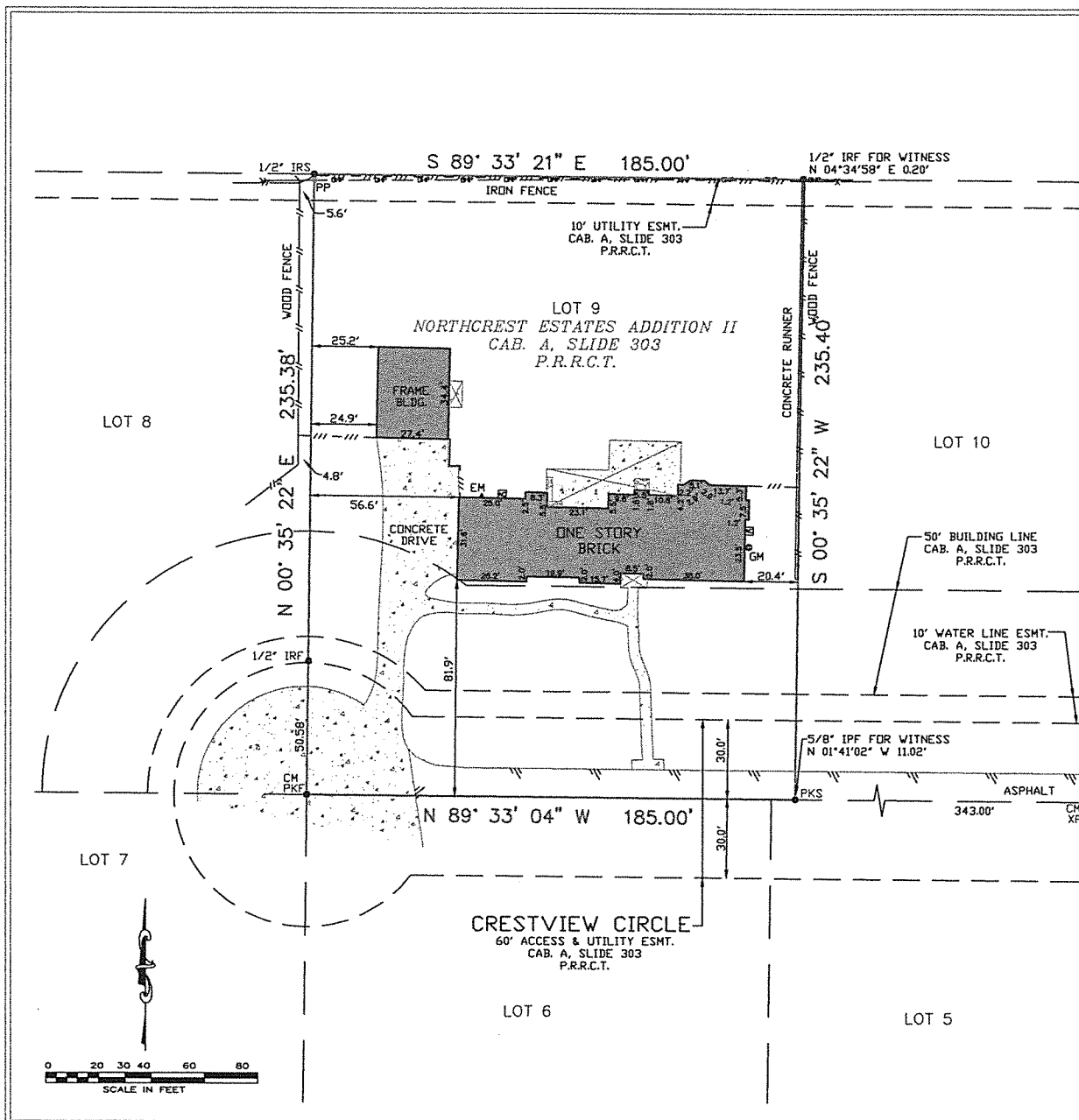
DRAWN BY
JCB

CHECKED BY
JCB

JOB NO

STATUS
PRICING

DRAWING NO
A2.02



LEGAL DESCRIPTION

Being Lot 9, of Northcrest Estates Addition II, an addition to Rockwall County, Texas, according to the plat recorded in Cabinet A, Slide 303, Plat Records, Rockwall County, Texas.

I, Wayne Beets II, Registered Professional Land Surveyor do hereby declare that the map shown hereon accurately represents the property as determined by an on-the-ground survey made under my direct supervision, and correctly shows the boundary lines and dimensions of the property indicated hereon. There are no visible conflicts, encroachments, or protrusions, except as shown hereon and said property has access to a public roadway. All easements and rights-of-way that the surveyor has knowledge of or has been advised of on the referenced plat or deed of record are shown or noted hereon. This survey is for the exclusive use of Zachary Butler, Courtney Butler, First National Bank, Old Republic National Title Insurance Company, and Allegiance Title Company, under G.F. No. 1775328A-10GH, dated January 17, 2018. Use of this survey by any other parties and/or purposes shall be at the user's own risk, and any loss resulting from other use and/or parties shall not be the responsibility of the undersigned and/or this firm. This survey is not valid without a seal and signature.

Flood Statement:
The property is shown as being located in Zone X by Flood Insurance Rate Map No. 48397C0035L, dated September 26, 2008. It is not shown as being located in a Special Flood Hazard Area Inundated by 100-Year Flood.

Notes:
1) Bearings are based on NAD83, Texas North Central Zone No. 4202, obtained by GPS observations.
2) This property is subject to the following restrictive covenants recorded in Vol. 107, Pg. 377 and Vol. 107, Pg. 407, R.P.R.R.C.T.
3) All set iron rods have a yellow cap stamped "BY-LINE".

BY: *Wayne Beets*
WAYNE BEETS II
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6039



LEGEND

CM = CONTROL MONUMENT
IRS = IRON ROD SET
IPF = IRON PIPE FOUND
IPS = IRON PIPE SET
600F = 600 NAIL FOUND
600S = 600 NAIL SET
PKF = PK NAIL FOUND
X = "X" FOUND IN CONCRETE
Y = "Y" SET IN CONCRETE
EM = ELECTRIC METER
AC = AIR CONDITIONER PAD
PP = POWER POLE
OHP = OVERHEAD POWER LINE
WM = WATER METER
FH = FIRE HYDRANT
PE = POOL EQUIPMENT
GM = GAS METER
CP = CABLE PED.
TP = TELEPHONE PED.

ADDRESS:

9 CRESTVIEW CIRCLE
ROCKWALL, TEXAS

DATE: 01/31/2018

SCALE: 1" = 40'

JOB NO.: 2018-082

CLIENT: ALLEGIANCE TITLE

TECHNICIAN: JDJ



**BY-LINE
SURVEYING LLC**
1983 Rs. Co. Rd. 1300
Emory, Tx 75440
Ph: (903) 473-5150
Firm No: 10194233
www.bylinesurveying.com

©Copyright By-Line Surveying LLC. All rights reserved.

Wayne Beets

Courtney Butler

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *DETACHED GARAGE AND CARPORT* ON A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 9 OF THE NORTHCREST ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Zach Butler for the approval of a Specific Use Permit (SUP) for a *Detached Garage and Carport* on a one (1) acre parcel of land, addressed as 9 Crestview Circle, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* and a *Carport* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, Subsection 03.06, *Single-Family 16 (SF-16) District*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* and *Carport* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a *Detached Garage* and *Carport* on the *Subject Property* shall generally conform to the *Building Elevations and Building Plans* depicted in *Exhibit 'C'* of this ordinance.
- (3) The *Carport* shall not exceed a maximum building footprint or size of 600 SF.
- (4) The maximum height of the *Detached Garage* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
- (5) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (6) All of the unpermitted improvements on the subject property must be either permitted or removed within three (3) months (*i.e. 90-days*) after the approval of this Specific Use Permit (SUP) (*i.e. the applicant has until June 2, 2024*).

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF MARCH, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 20, 2024

2nd Reading: March 4, 2024

Exhibit 'A'
Location Map and Legal Description

Address: 9 Crestview Circle

Legal Description: Lot 9 of the Northcrest Estates #2 Addition



⑤

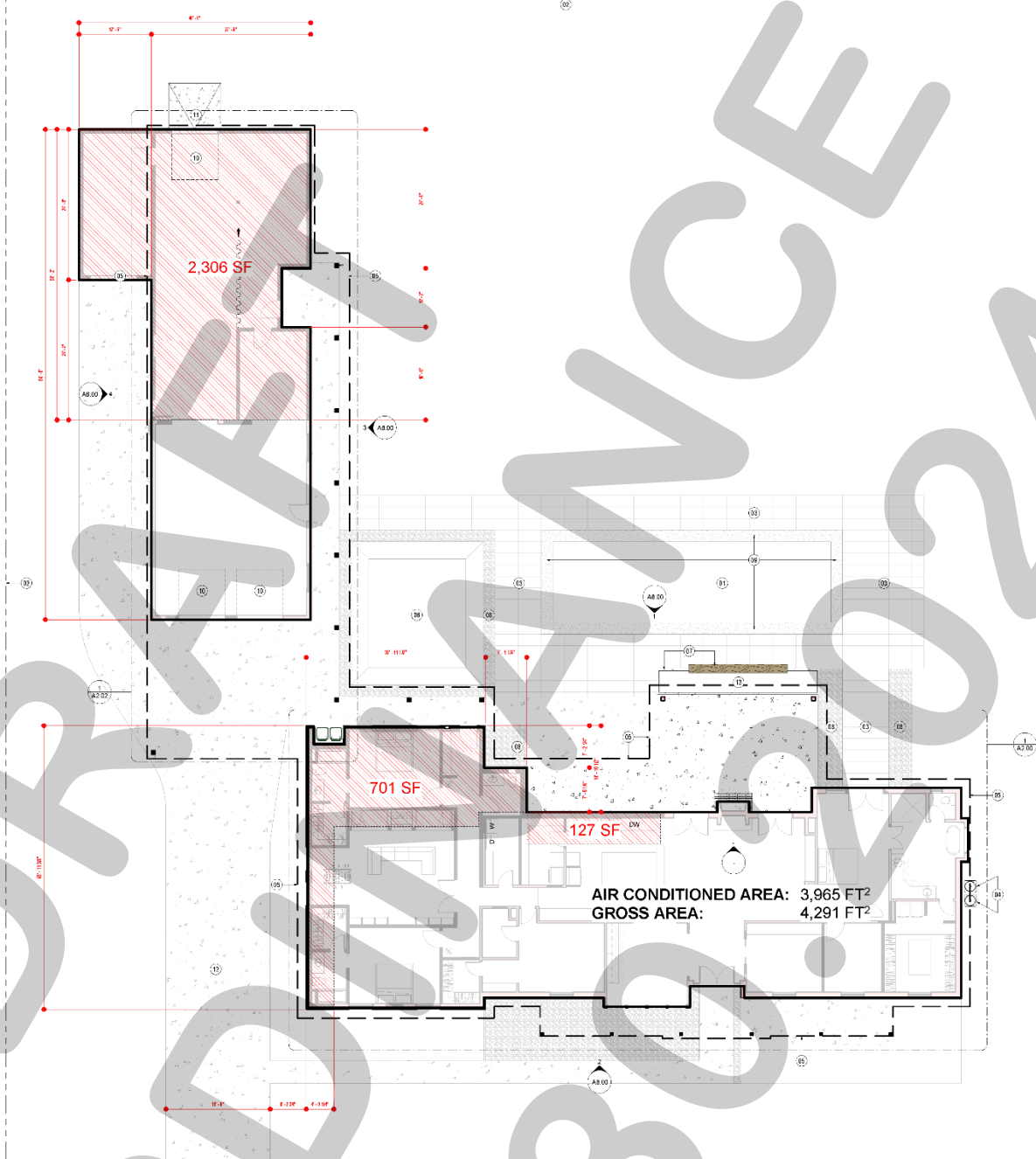
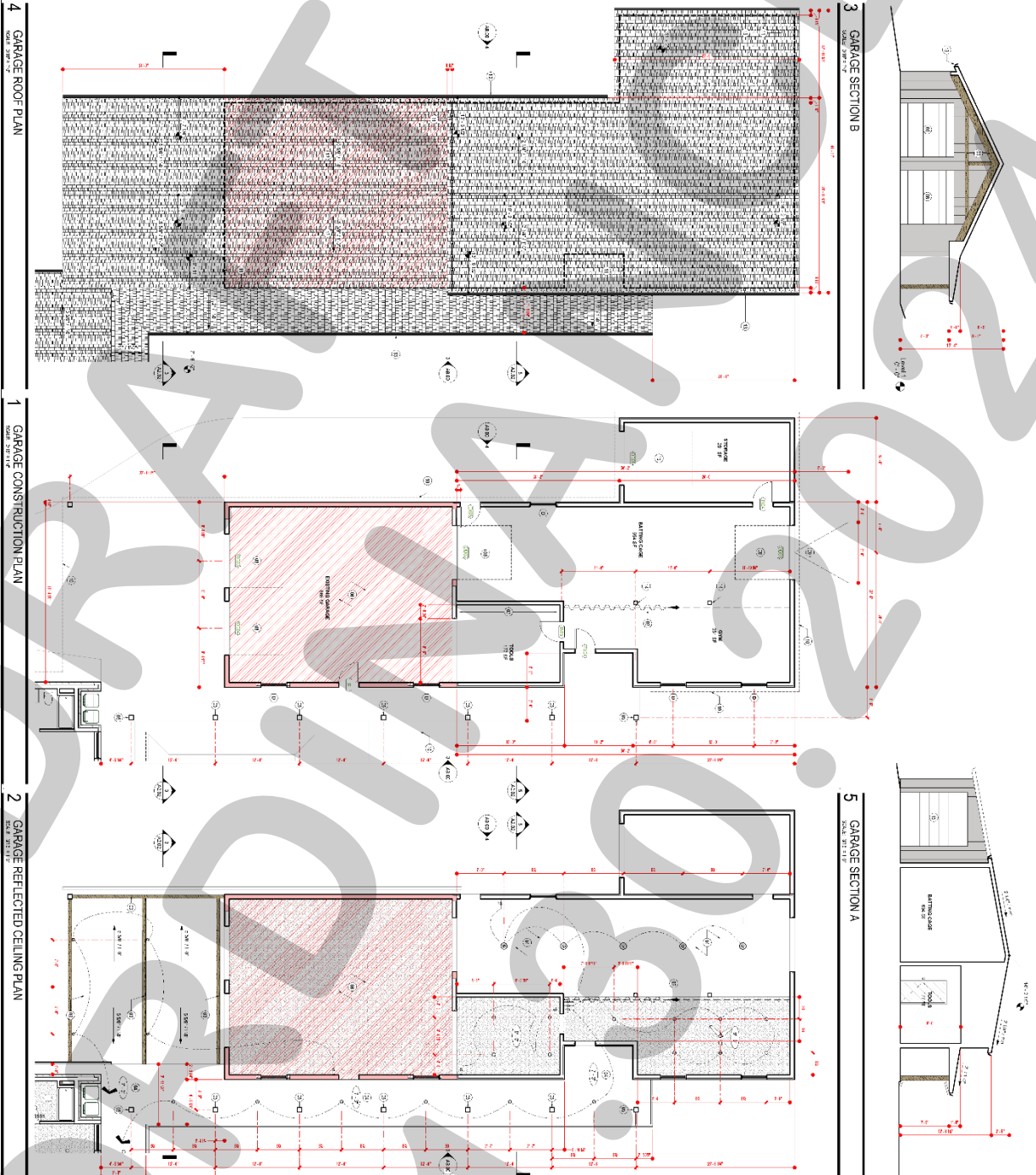


Exhibit 'C':
Building Elevations & Building Plans





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: February 13, 2024

APPLICANT: Zach Butler

CASE NUMBER: Z2024-004; *Specific Use Permit (SUP) for a Detached Garage and Carport at 9 Crestview Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Zach Butler for the approval of a Specific Use Permit (SUP) for an *Accessory Building and Carport* on a one (1) acre parcel of land identified as Lot 9 of the Northcrest Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 9 Crestview Circle, and take any action necessary.

BACKGROUND

On April 10, 1978, the Commissioners Court approved a final plat that establish the subject property as Lot 9 of the Northcrest Estates #2 Addition. According to the Rockwall Central Appraisal District (RCAD) the 2,758 SF single-family home was constructed in 1987. The subject property was annexed into the City of Rockwall on May 17, 2004 by *Ordinance No. 04-35 [Case No. A2004-002]*. On September 7, 2004, the City Council approved to rezone the subject property from Agricultural (AG) District to Single-Family 16 (SF-16) District [*Ordinance No. 04-49; Case No. Z2004-026*].

Staff should note that since the applicant's purchase of the property on August 12, 2014 they have complete several improvements (*i.e. new additions, new/additional paving, and a detached garage*) to the property that were not permitted. The timeline has been included in the attached packet and outlines all of the unpermitted improvements. Based on the provided timeline a new concrete drive, parking pad, a sidewalk was constructed within six (6) months of the applicant purchasing the property (*i.e. aerial taken December 1, 2015*). Following this, the aerial taken January 27, 2017 shows that the applicant expanded their driveway, poured a pad for an expansion of the existing single-family home, and began constructing a detached garage. Based on the September 7, 2019 aerial the applicant had added a covered patio and a sidewalk connecting it to the driveway. Following this, the aerial taken September 29, 2023 depicts the detached garage addition, a driveway expansion, a home addition, and a patio cover. On October 21, 2023 a contractor applied for an electrical permit (*Permit No. RES2023-5225*). This permit led to staff discovering the unpermitted improvements, which subsequently required staff to issue a *Stop Work Order* on December 6, 2023. This led the applicant to apply for a residential building permit (*Permit No. RES2023-6181*). Following this, staff did a compliance check on December 15, 2023 and discovered that work had continued on the property after the *Stop Work Order* had been issue. In addition, an electrical contractor was on-site performing work during the compliance check. As of January 16, 2024, the work appeared to be complete despite the *Stop Work Order*, and there appears to still be equipment on-site.

PURPOSE

The applicant -- *Zach Butler* -- is requesting the approval of a Specific Use Permit (SUP) to allow the unpermitted detached garage to remain, and to allow the construction of a carport that exceeds the maximum allowable square footage as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 9 Crestview Circle. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 12.125-acre tract of land (*i.e. Tract 1-02 of the J. E. Sherwood Survey, Abstract No. 193*) developed with an agricultural accessory building. Adjacent to this is a 1.665-acre tract of land (*i.e. Tract 1-01 of the J. E. Sherwood Survey, Abstract No. 193*) developed with a single-family home. Both properties are zoned Agricultural (AG) District. Following this is North Country Lane, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the City of Rockwall's corporate boundary.

South: Directly south of the subject property is Crestview Circle, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.95-acre parcel of land (*i.e. Lot 6 of the Northcrest Estates #2 Addition*) developed with a single-family home and zoned Single-Family 16 (SF-16) District. Following this are two (2) vacant tracts of land (*i.e. Tract 5 & 5-3 of the J. E. Sherwood Survey, Abstract No. 193*) zoned Single-Family Estate 4.0 (SFE-4.0) District.

East: Directly east of the subject property are four (4) parcels of land (*i.e. Lots 10-12 of the Northcrest Estates #2 Addition, and Lot 15 of the Ensley Addition*) developed with single-family homes, and zoned Single-Family 16 (SF-16) District. Beyond this is N. Stodghill Road which is identified as a TXDOT4D (*i.e. TXDOT, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the City of Rockwall corporate boundary.

West: Directly west of the subject property is a one (1) acre parcel of land (*i.e. Lot 8 of the Northcrest Estates #2 Addition*) developed with a single-family home that is zoned Single-Family 16 (SF-16) District. Beyond this is a 101.43-acre tract of land (*i.e. Tract 4 of the J. M. Gass Survey, Abstract No. 88*) zoned Agricultural (AG) District.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow [1] an unpermitted detached garage to remain, and [2] allow the construction of a carport. Based on the floor plan, the proposed detached garage is 2,378 SF, where 865 SF is existing -- *but unpermitted* -- and 1,513 SF is new. In addition, the site plan shows the proposed carport will be ~580 SF. This exceeds the maximum permissible size of 500 SF by ~80 SF. The building elevations provided by the applicant indicate a 2½:12 roof pitch, which is less than the required 3:12 roof pitch. Based on the provided survey and building plans the improvements are located within the side yard of the subject property and behind the front façade of the single-family home.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 16 (SF-16) District allows one (1) detached garage with a maximum square footage of 625 SF. In this case, the unpermitted detached garage is 2,378 SF. This makes the detached garage 1,753 SF or 3.80 times bigger than permitted by right. Staff should note, based on the Rockwall Central Appraisal District (RCAD), the single-family home is 3,736 SF. This makes the detached garage 63.70% the size of the existing single-family home. With that being said, unpermitted additions have been made on the single-family home making it difficult for staff to determine the actual size of the home. Staff should also note that the Unified Development Code (UDC) defines the proposed unpermitted detached garage as *not* being attached to the primary structure as breezeways are *not* considered architecturally integrated design elements; however, should the carport be approved this may change how this structure is viewed. Since the carport has not been approved, staff is bringing both structures forward for a Specific Use Permit (SUP) to avoid having to run subsequent cases should the carport not be approved or not be viewed as being architecturally integrated.

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 16 (SF-16) District allows one (1) carport with a maximum square footage of 500 SF. In this case, the proposed carport is ~580 SF. In addition, the UDC states that carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the front façade of the primary structure. In this case, the proposed carport is open on two (2) sides, and is located more than 20-feet behind the front façade of the single-family home. In addition, due to the unpermitted improvements to the existing single-family home and the

unpermitted detached garage, staff cannot determine if the proposed carport would be architecturally integrated based on the current proposed plans.

STAFF ANALYSIS

In this case, the applicant's request for [1] an unpermitted detached garage does not meet any of the technical requirements for a detached garage in a Single-Family 16 (SF-16) District -- *with exception of the maximum permissible height (i.e. 15-feet measured at the midpoint of the pitched roof) and location behind the front façade of the primary structure --*, and [2] the proposed carport exceeds the maximum permissible size and does not appear to be architecturally integrated into the primary structure. For the purpose of comparing the proposed improvements with other accessory structures in the area, staff reviewed aerials and street view images to locate similar structures. Through this analysis, staff was able to identify all but one (1) of the adjacent properties on Crestview Circle (i.e. 12 of the 13 properties) had accessory structures, and one (1) other property had a carport specifically for a recreational vehicle. This analysis is included within the packet for the City Council and Planning and Zoning Commission to review. It can be seen that the majority of the accessory structures are detached garages, with an overall average size of 831 SF and the maximum size being 2,000 SF. In this case, the applicants unpermitted detached garage is 1,547 SF larger than the average (i.e. 2.86 times larger than the average) and 378 SF larger than the largest existing accessory building. Staff should note that these calculations are based off only the existing detached garage and does not include the proposed carport. Staff should also note, that every other property along Crestview has been issued permits for home improvements besides 8 Crestview Circle and the subject property since the time of annexation. Based on this, the proposed improvements appear to be inconsistent with the adjacent properties. If approved by the City Council -- *pending a recommendation from the Planning and Zoning Commission* -- this could set a precedence in the area; however, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Staff should note, if the applicants request is approved, they will be required to meet the *Operational Conditions* outlined within the *Draft Ordinance*. One (1) of these *Operational Conditions* is that "(a)ll of the unpermitted improvements on the subject property must be either permitted or removed within three (3) months (i.e. 90-days) after the approval of this Specific Use Permit (SUP) (i.e. the applicant has until June 2, 2024)." Given this -- *if approved* -- the applicant will need to apply for all applicable permits, complete all necessary inspections, and be issued the permits, within 90 days of approval.

NOTIFICATIONS

On January 25, 2024, staff mailed 17 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had three (3) notices in favor of the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Site Plan as depicted in Exhibit 'B' of this ordinance.
 - (b) The construction of a *Detached Garage* and *Carport* on the *Subject Property* shall generally conform to the Building Elevations and Building Plans depicted in *Exhibit 'C'* of this ordinance.
 - (c) The *Carport* shall not exceed a maximum building footprint or size of 600 SF.
 - (d) The maximum height of the *Detached Garage* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.

- (e) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
 - (f) All of the unpermitted improvements on the subject property must be either permitted or removed within three (3) months (*i.e. 90-days*) after the approval of this Specific Use Permit (SUP) (*i.e. the applicant has until June 2, 2024*).
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 9 Crestview Cir Rockwall, TX 75087

SUBDIVISION Northcrest Estate #2

LOT 9

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFR

CURRENT USE SFR

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE 1.00

LOTS [CURRENT] 1

LOTS [PROPOSED] _____

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Zach Butler

☐ APPLICANT _____

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 9 Crestview Cir

ADDRESS _____

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP _____

PHONE 972-896-3813

PHONE _____

E-MAIL Zach@rockwallproperties.com

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

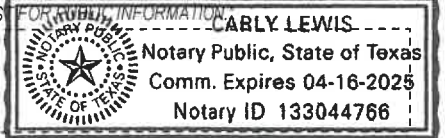
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zach Butler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF JANUARY, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF JANUARY, 2024.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES 2-16-25

0 25 50 100 150 200 Feet

Z2024-004: SUP for an Accessory Building and Carport at 9 Crestview Circle

AG

SF-16

CRESTVIEW CIR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

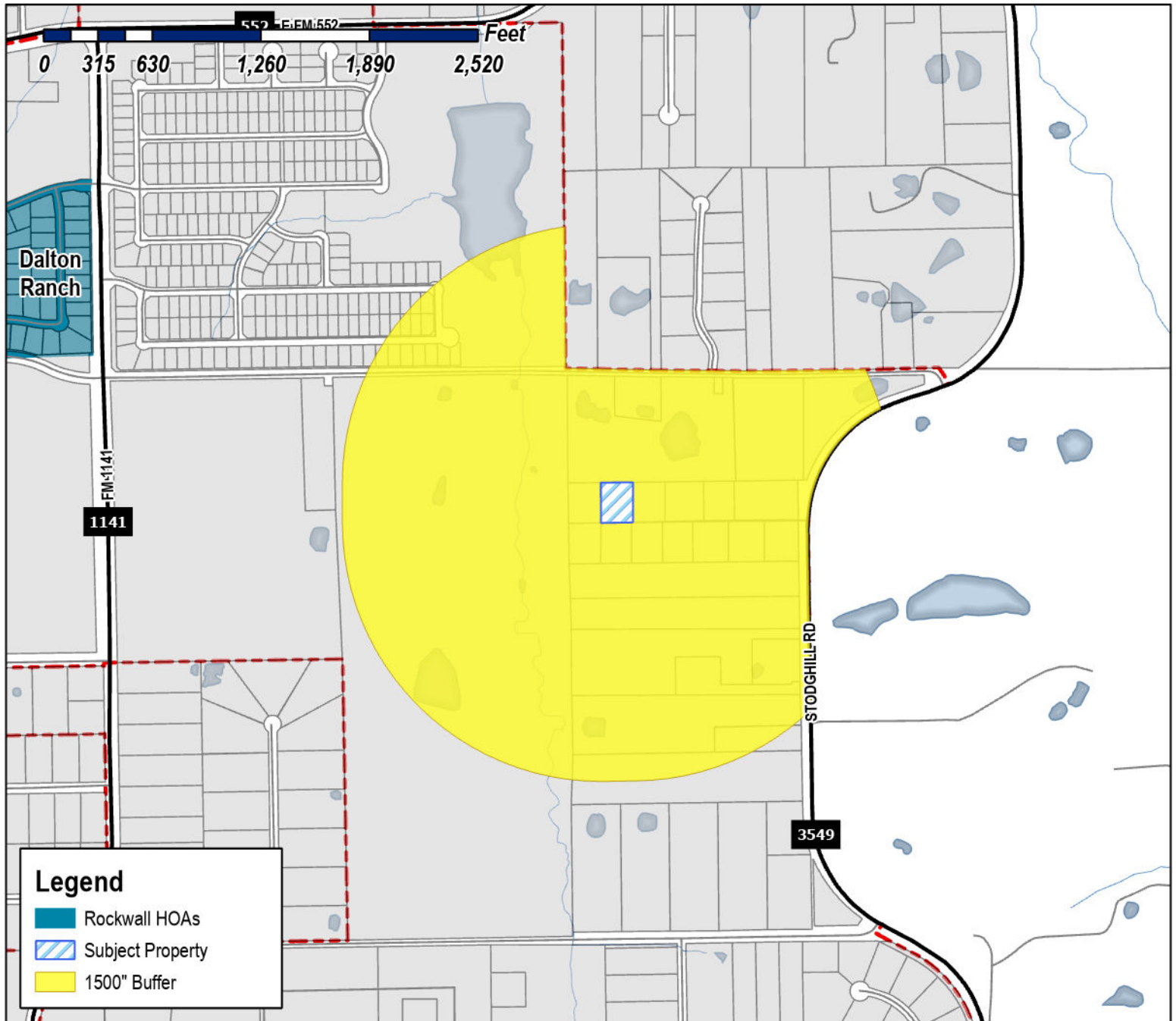




City of Rockwall

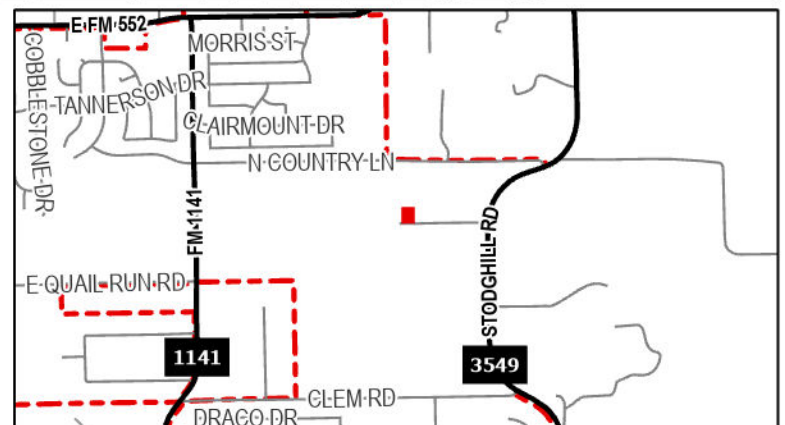
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-004
Case Name: SUP for an Accessory Building and Carport
Case Type: Zoning
Zoning: Single-Family 16 (SF-16)
Case Address: 9 Crestview Circle

Date Saved: 1/19/2024
For Questions on this Case Call (972) 771-7745

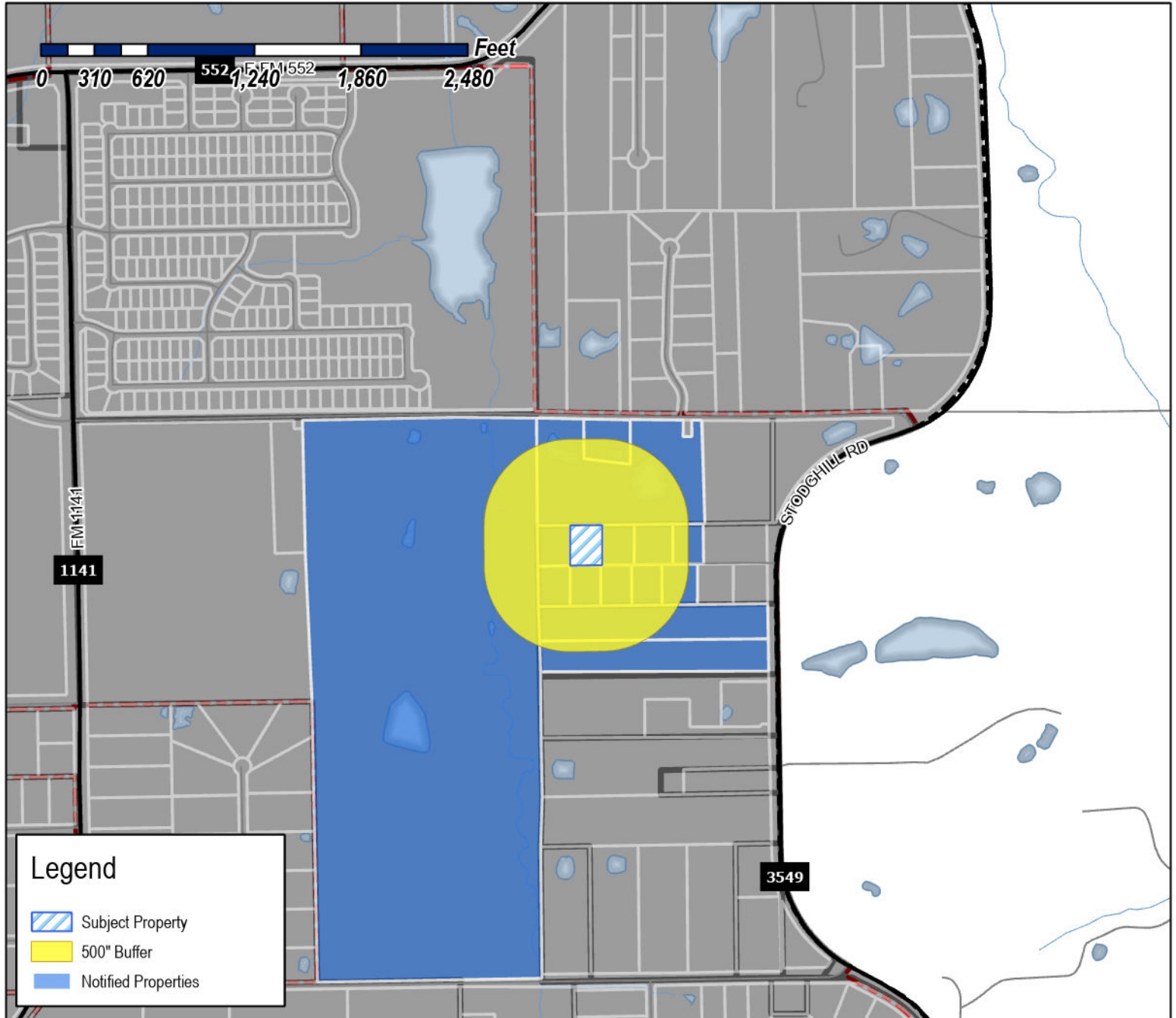




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

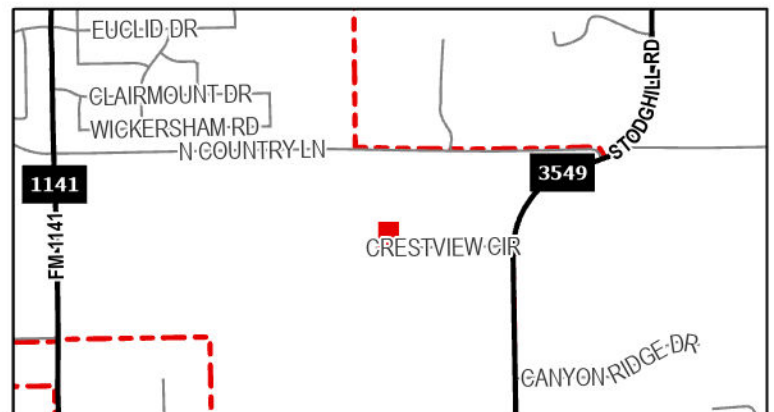
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-004
Case Name: SUP for an Accessory Building and Carport
Case Type: Zoning
Zoning: Single-family 16 (SF-16)
Case Address: 9 Crestview Circle

Date Saved: 1/19/2024

For Questions on this Case Call: (972) 771-7746



RESIDENT
FM3549 STODGHILL RD
ROCKWALL, TX 75032

MICHAEL REMEDIOS G
10 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

ERBERT STEPHEN RICHARD & PATRICIA ERBERT
1004 CEDAR GLEN TRL
ROCKWALL, TX 75032

DAVIS KENNETH W ET UX
11 CRESTVIEW CIR
ROCKWALL, TX 75087

FLANAGAIN GARY W & ESTHER
12 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
2030 CROSSWOOD LANE
IRVING, TX 75063

MCCALLUM MATTHEW A AND AMANDA KAY
3 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

RESIDENT
379 N COUNTRY LN
ROCKWALL, TX 75032

MCCAULEY MATTHEW F & CYNTHIA R
4 CRESTVIEW CIR
ROCKWALL, TX 75087

HANKS MICHAEL JOEL AND BATINA L
5 CRESTVIEW CIR
ROCKWALL, TX 75087

LENZI LEWIS B AND MARY K
6 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

RESIDENT
656 N COUNTRY LN
ROCKWALL, TX 75032

GIPSON ANTHONY D & JOYCE E
7 CRESTVIEW CIR
ROCKWALL, TX 75087

PEARCE CAROL ALLEY
721 N COUNTRY LN
ROCKWALL, TX 75087

PEARCE CAROL ALLEY &
BRIAN S & NICOLE DEJARNETT
721 N COUNTRY LN
ROCKWALL, TX 75087

PRITCHARD BRIAN E AND JENNIFER L
8 CRESTVIEW CIR
ROCKWALL, TX 75087

BUTLER ZACHARY AND COURTNEY
9 CRESTVIEW CIR
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

CORRECTED NOTICE: ALL CHANGES CORRECTED IN RED BELOW. CORRECTING THE CITY COUNCIL MEETING DATE TO REFLECT TUESDAY, FEBRUARY 20, 2024.

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-004: SUP for an Accessory Building and Carport

Hold a public hearing to discuss and consider a request by Zach Butler for the approval of a Specific Use Permit (SUP) for an Accessory Building and Carport on a one (1) acre parcel of land identified as Lot 9 of the Northcrest Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 9 Crestview Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on TUESDAY, February 20, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by TUESDAY, February 20, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-004: SUP for an Accessory Building and Carport

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-004

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Amanda /Matthew

Last Name *

McCallum

Address *

City *

Rockwall

State *

Tx

Zip Code *

75087

Please check all that apply: *



I live nearby the proposed Zoning or Specific Use Permit (SUP) request.



I work nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.



Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

☒ I received a property owner notification in the mail.

☐ I read about the request on the City's website.

☐ I saw a zoning sign on the property.

☐ I read about the request in the Rockwall Herald Banner.

☐ My neighbors told me about the request.

☐ Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-004

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We should not be in the city. The city does nothing for our tax dollars so I don't understand why "the city of Rockwall" can tell us how big to build our buildings

Respondent Information

Please provide your information.

First Name *

Batina

Last Name *

Hanks

Address *

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *



I live nearby the proposed Zoning or Specific Use Permit (SUP) request.



I work nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.



Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

☒ I received a property owner notification in the mail.

☐ I read about the request on the City's website.

☐ I saw a zoning sign on the property.

☐ I read about the request in the Rockwall Herald Banner.

☐ My neighbors told me about the request.

☐ Other: _____

This content is neither created nor endorsed by Google.

Google Forms

From: Brian Pritchard [REDACTED]
Sent: Sunday, January 28, 2024 1:26 PM
To: Lee, Henry
Subject: Case No. Z2024-004

Good afternoon,

I am in favor of the request of allowing Zach Butler to add an Accessory Building and Carport to their home at [REDACTED], [Rockwall, TX 75087](#)

We live next door in one of the homes that would be the most affected by this addition. Zach's property is always well maintained and looks great. Their addition will surely add value to our neighborhood.

Thank you.

Sincerely,
Brian Pritchard
[REDACTED], [Rockwall, TX 75087](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Letter of Explanation:

Zach Butler
9 Crestview Cir
Rockwall, TX 75087

The purpose of our request for a special use permit is for an expansion of our current garage/shop. We are adding on an indoor batting cage and sports gym for our three young boys. Part of the project also includes adding on some additional storage and more covered parking for future use as my kids get older. This batting cage and gym will be for private use for my kids, friends, and family and will not be used for business or income purposes. The need for this is to provide a facility for year round training for my kids indoors and outside of the elements. There are some private facilities around town but nothing open to the public and access to the private is growing increasingly difficult, costs money with each use and is usually a scheduling headache.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'ZB', with a long horizontal flourish extending to the right.

Zach Butler



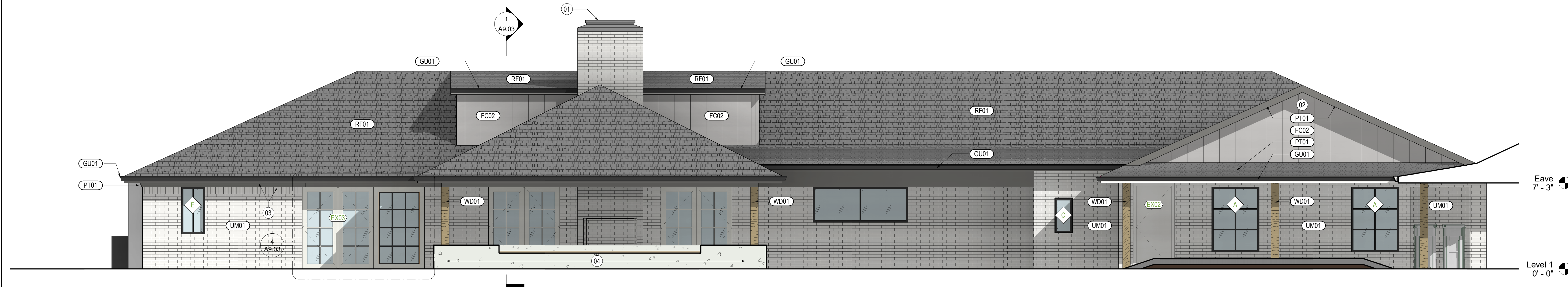
4 ANEX WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 ANEX EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 Back Elevation
SCALE: 1/4" = 1'-0"

sheet notes

- 01 CUSTOM METAL ORNAMENTAL CHIMNEY CAP
- 02 WOOD FASCIA/TRIM
- 03 WOOD TRIM AN SOLDIER COURSE TO MATCH EXISTING
- 04 NEW CONCRETE PLANTER WITH INTEGRATED BENCH

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

RF01 ROOFING

ITEM: COMPOSITE SHINGLES

RF02 STANDING SEAM METAL ROOF

ITEM: STANDING SEAM METAL ROOF

UM01 BRICK MASONRY UNIT

TYPE: MATCH EXISTING
FINISH: PAINTED

PT01 EXTERIOR PAINT

ITEM: EXTERIOR PAINT
COLOR: GREY (TBD)

WD01 WOOD

ITEM: STAINED TIMBER STRUCTURE
COLOR: TBD

FC02 FIBER CEMENT

ITEM: FIBER CEMENT PANELS (BOARD AND BATTEN)

GU01 PREFINISHED METAL GUTTER

ITEM: PREFINISHES METAL GUTTER WITH LEAF GUARD

general notes



PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
ELEVATION

REV	DATE	NOTES
	1/22/21	

DRAWN BY
JCB

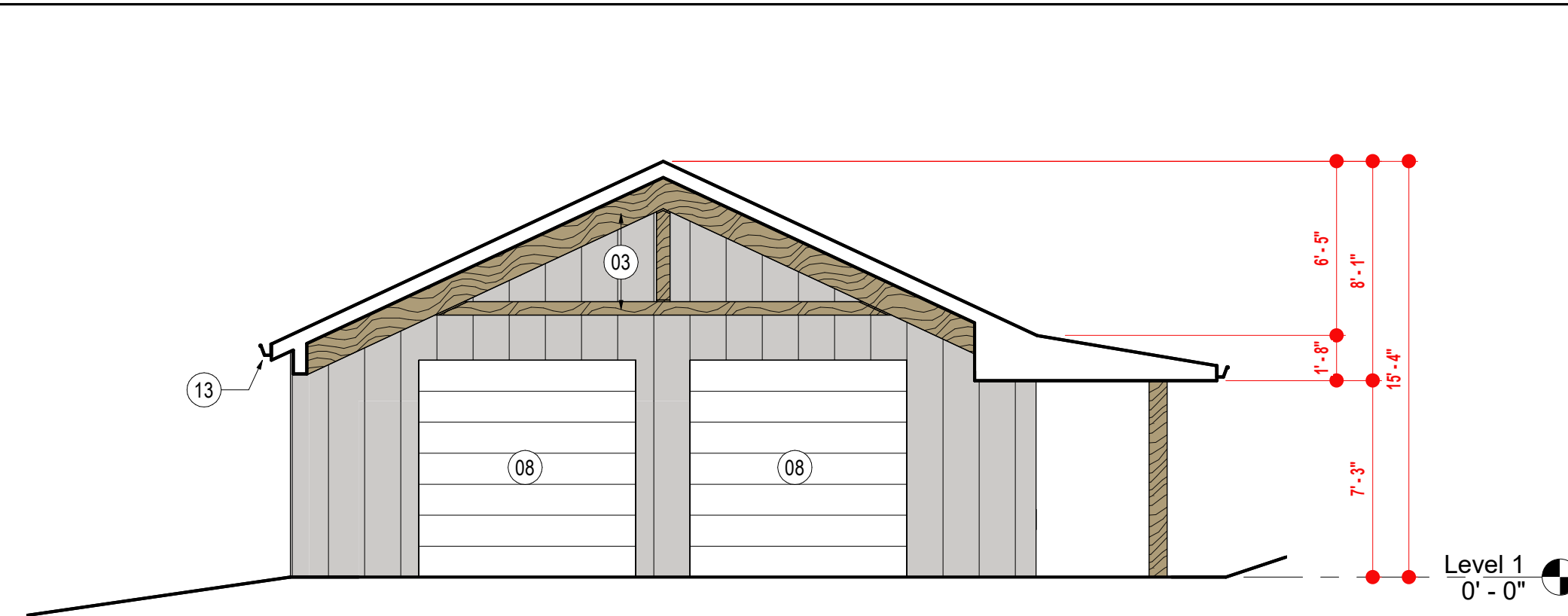
JOB NO

DRAWING NO

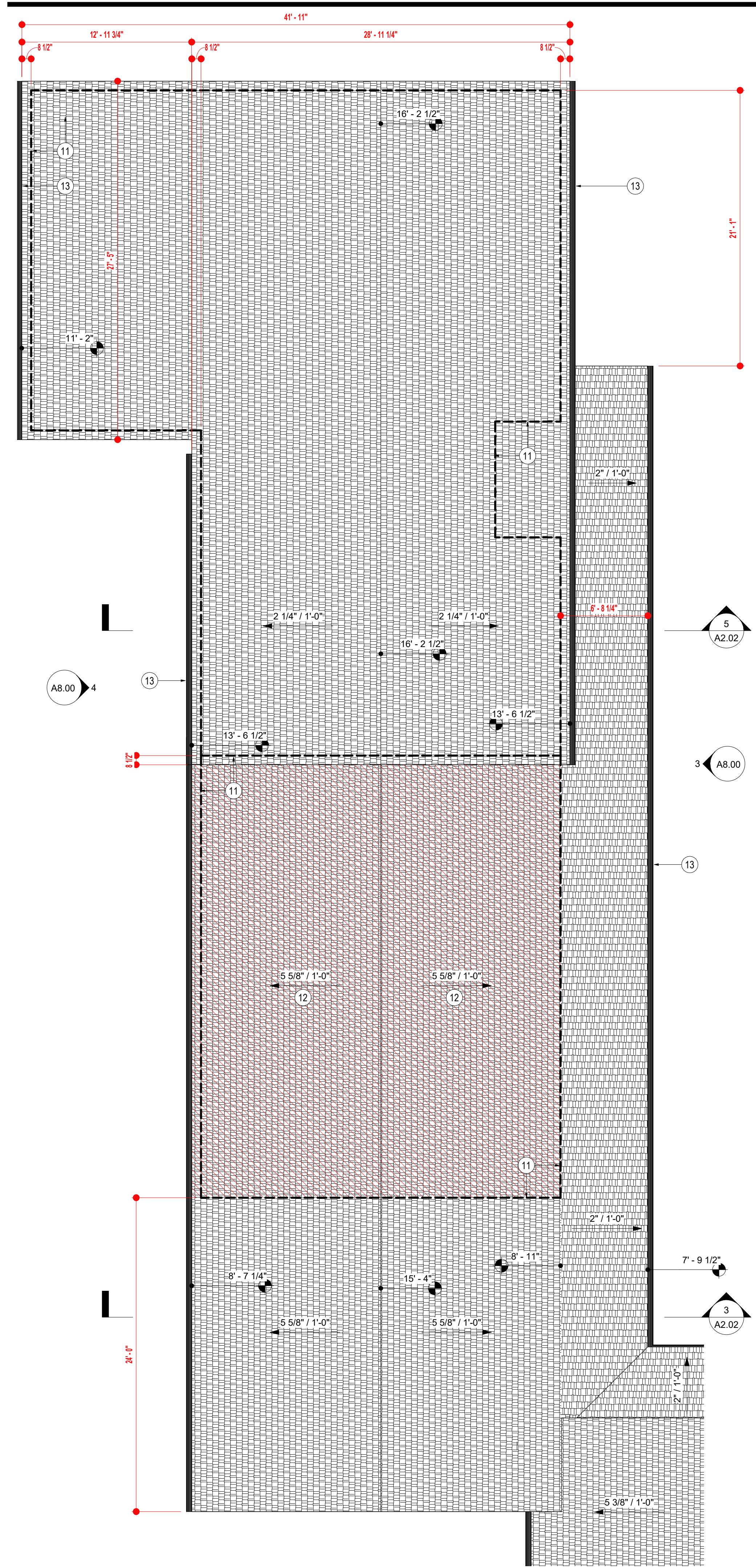
CHECKED BY
JCB

STATUS
PRICING

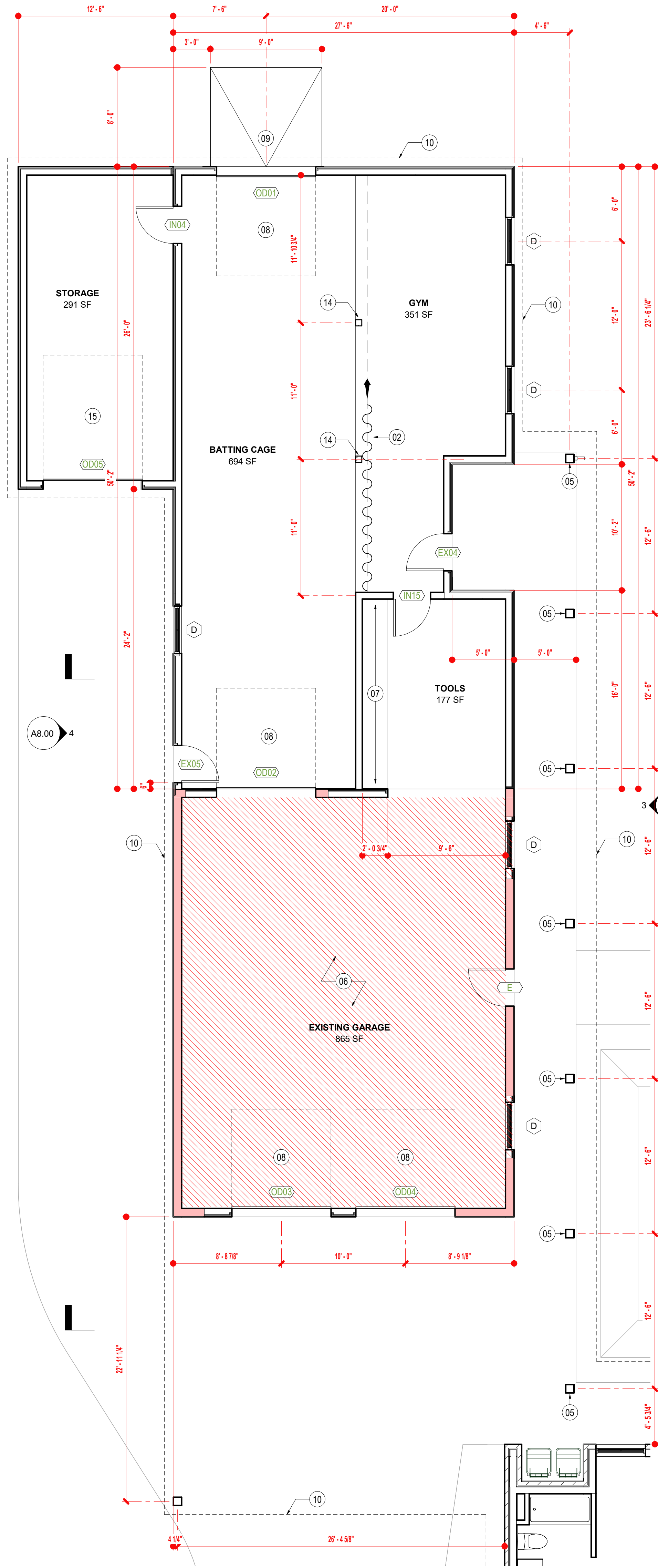
A8.00



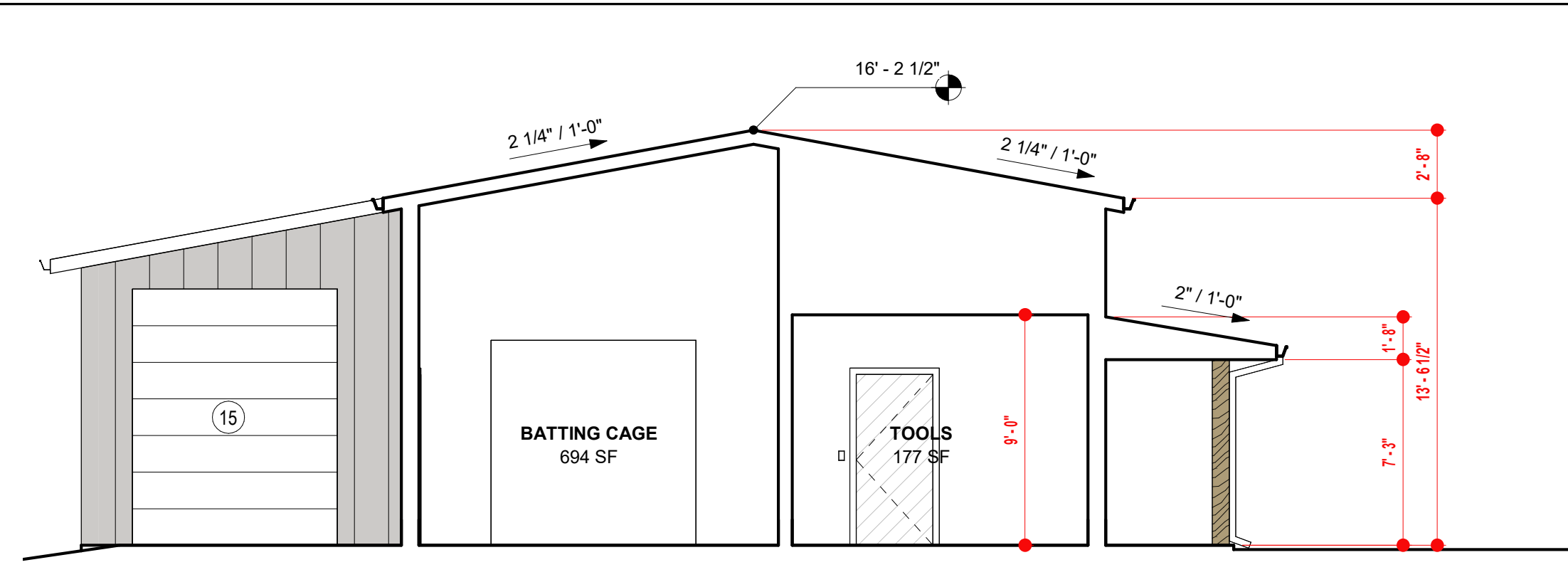
3 GARAGE SECTION B
SCALE: 3/16" = 1'-0"



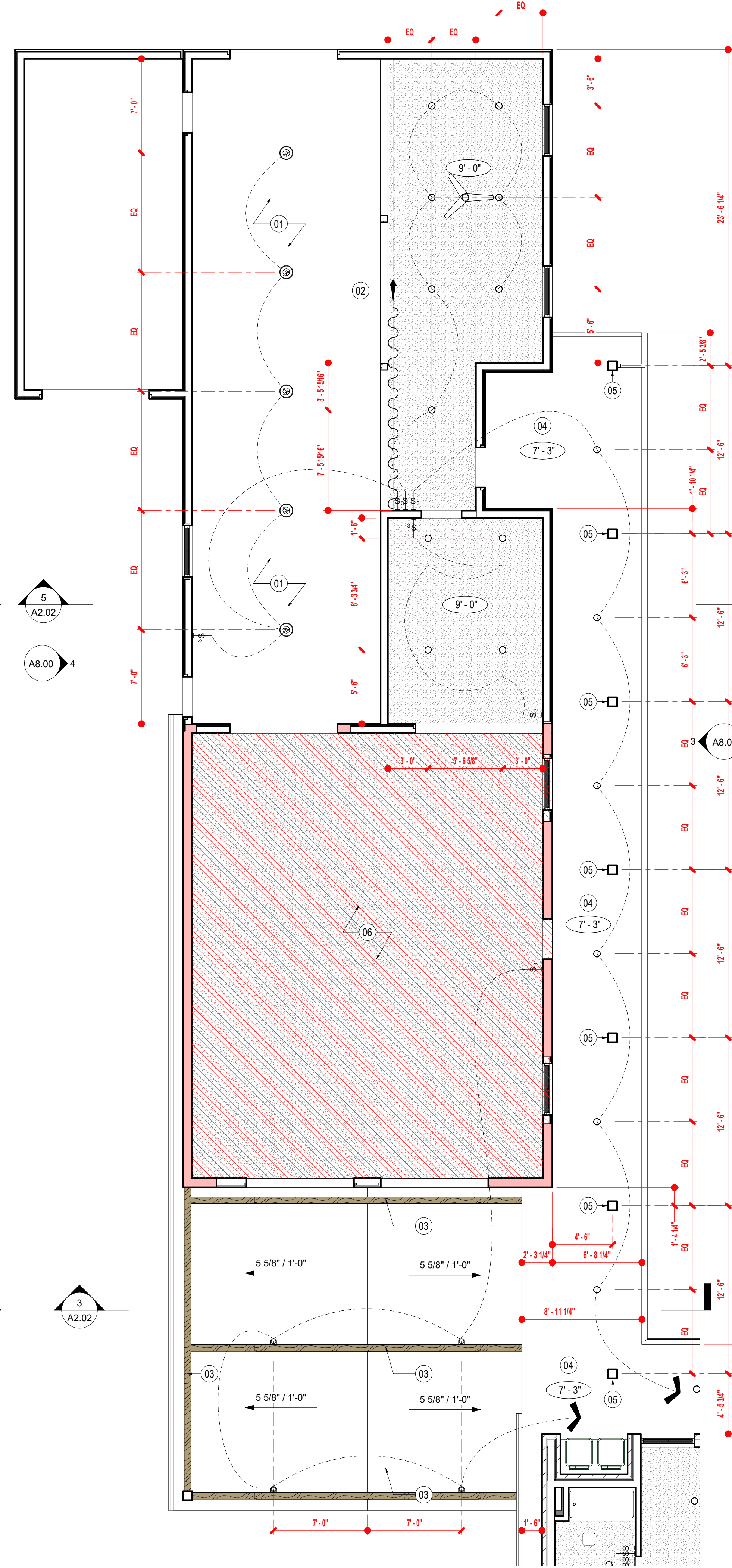
4 GARAGE ROOF PLAN
SCALE: 3/16" = 1'-0"



1 GARAGE CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"



5 GARAGE SECTION A
SCALE: 3/16" = 1'-0"



2 GARAGE REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

sheet notes

- 01 OPEN TO STRUCTURE ABOVE
- 02 SLIDING BATTING CURTAIN HUNG FROM TRACK ABOVE
- 03 EXPOSED TIMBER STRUCTURE (STAINED), MAINTAIN 10'-0" CLEAR
- 04 ELEVATION MATCHES THE EAVE OF EXISTING HOME
- 05 COLONADE COLUMN (SIZED BY STRUCTURAL ENGINEER)
- 06 HATCH DENOTES EXISTING GARAGE OUT OF SCOPE
- 07 BUILT-IN WORK BENCH
- 08 8'-0" X 8'-0" OVERHEAD GARAGE DOOR
- 09 CONCRETE RAMP
- 10 LINE OF OVERHANG ABOVE
- 11 LINE OF OUTSIDE FACE OF WALL BELOW
- 12 HATCH DENOTES EXISTING ROOF TO REMAIN
- 13 GUTTER, DOWNSPOUTS TO BE COORDINATED BETWEEN OWNER AND CONTRACTOR
- 14 STRUCTURAL SUPPORT COLUMN SIZED BY STRUCTURAL ENGINEER
- 15 8'-0" X 10'-0" OVERHEAD GARAGE DOOR

- KEY**
- NEW WALL
 - EXISTING WALL
 - LINE OF EXISTING FOOTPRINT
 - NO INTERIOR MODIFICATIONS

general notes

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY OWNER IF DISCREPANCIES ARE FOUND.
- ALL EXTERIOR WALLS TO BE FRAMED WITH 2X6 CONSTRUCTION.
- ALL INTERIOR PARTITIONS TO BE FRAMED WITH 2X4 CONSTRUCTION @ 16" O.C. UNLESS OTHERWISE NOTED.
- STRUCTURE ALL FRAMED OPENINGS AS REQUIRED. ENGINEERING BY OTHERS.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.
- EXTERIOR WALLS ARE DIMENSIONED FROM EXTERIOR FACE OF SHEATHING.
- ALL WATER HEATERS TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED.
- ALL INTERIOR FINISHES TO BE SELECTED BY OWNER. ALL INTERIOR FINISHES ARE BEYOND THE SCOPE OF THESE DRAWINGS.
- ALL VANITIES TO BE 36" HIGH.
- FINAL DESIGN AND AMENITIES @ ALL CABINETS AS PER OWNER/BUILDER AGREEMENT. ALL MILLWORK IS BEYOND THE SCOPE OF THESE DRAWINGS.
- ALL STRUCTURAL ENGINEERING BY OTHERS INCLUDING BUT NOT LIMITED TO ALL HORIZONTAL & VERTICAL FRAMES, FOUNDATIONS, COLUMN PLATES, CONNECTORS, BEAMS, WALLS, PLATES, PENETRATIONS, TRUSS SYSTEMS, ROOF SYSTEMS, & WIND BRACING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- IN AREAS OF WORK AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- ALL EXISTING WALLS SHALL BE REPAINTED AS SCHEDULED. CONTRACTOR RESPONSIBLE FOR PREPARING WALLS AND MINOR PATCHING (IN ADDITION TO SPECIFIC PATCHING AS NOTED). ALL EXISTING DOOR FRAMES SHALL BE REPAINTED. PREPARE EXISTING FRAMES PRIOR TO PAINTING.
- ALL ELECTRICAL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL CONFORM TO LOCAL BUILDING CODES, RULES, AND REGULATIONS. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.
- ALL OVERHEAD LIGHTING IN LIVING SPACES, BEDROOMS, AND OFFICES ON DIMMER SWITCHES.
- POWER AND DATA OUTLETS TO BE COORDINATED BY CONTRACTOR AND OWNER. FLOOR OUTLETS SHOULD BE COORDINATED PRIOR TO POURING THE LEVEL 01 SLAB.

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
SHOP PLANS

REV
DATE
NOTES

1/22/21

DRAWN BY
JCB

CHECKED BY
JCB

JOB NO

STATUS

DRAWING NO

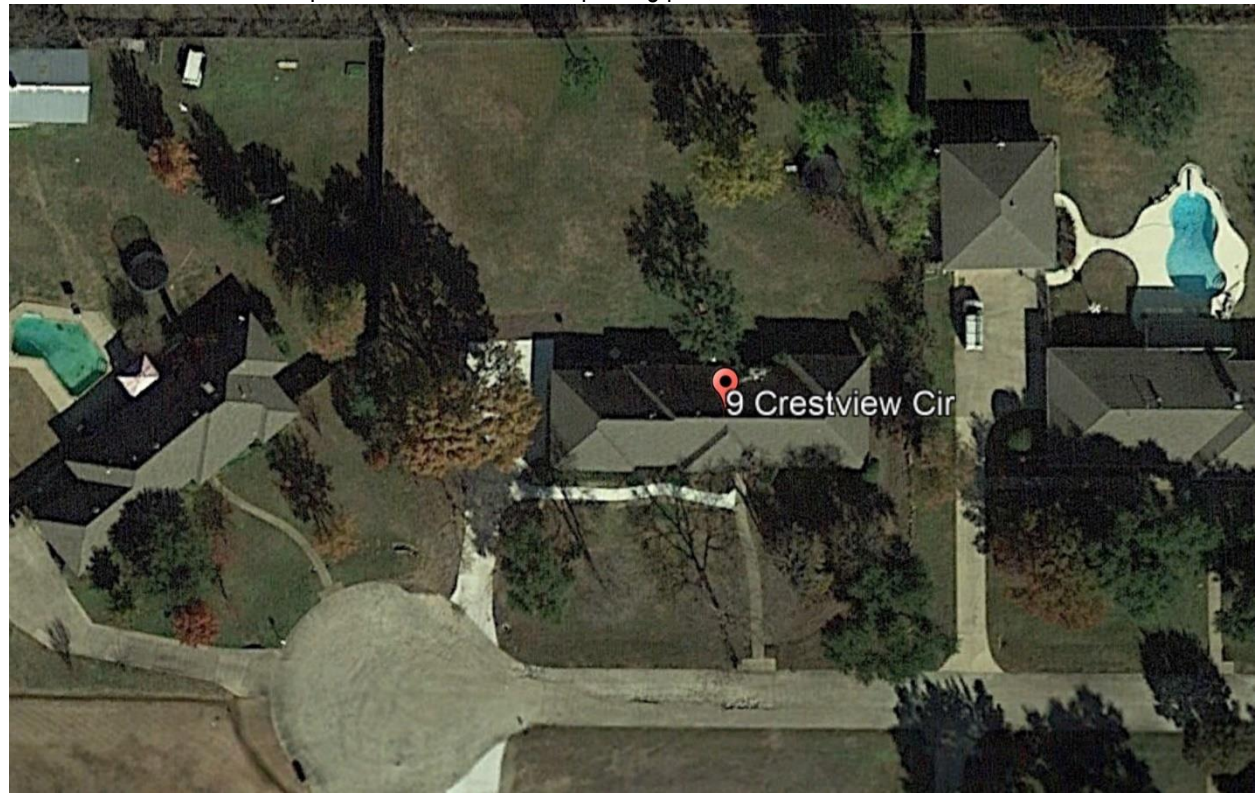
A2.02

Accessory Building Analysis

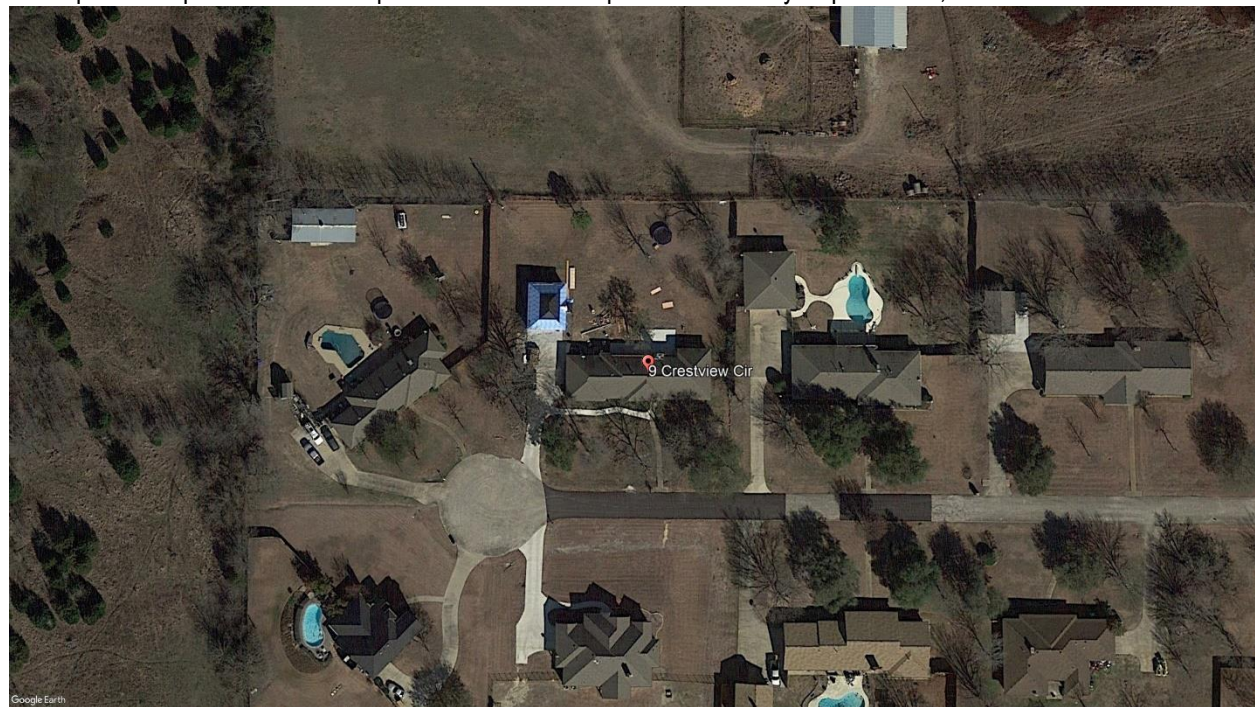
Address	Type	Size
1 Crestview Circle	Detached Garage	660
2 Crestview Circle	Detached Garage	1,064
	Shed	80
3 Crestview Circle	Detached Garage	650
4 Crestview Circle	N/A	
5 Crestview Circle	Detached Garage	720
6 Crestview Circle	Detached Garage	625
7 Crestview Circle	Shed	120
8 Crestview Circle	Barn	1,350
	Shed	120
Subject Property	Detached Garage	1,050
10 Crestview Circle	Detached Garage	1,750
11 Crestview Circle	Detached Garage	480
12 Crestview Circle	Detached Garage	960
13 Crestview Circle	Detached Garage	2,000
	831 Average	
	690 Median	

August 12, 2014 – The applicant purchased the subject property.

December 1, 2015 - New unpermitted concrete drive, parking pad, and sidewalk constructed.



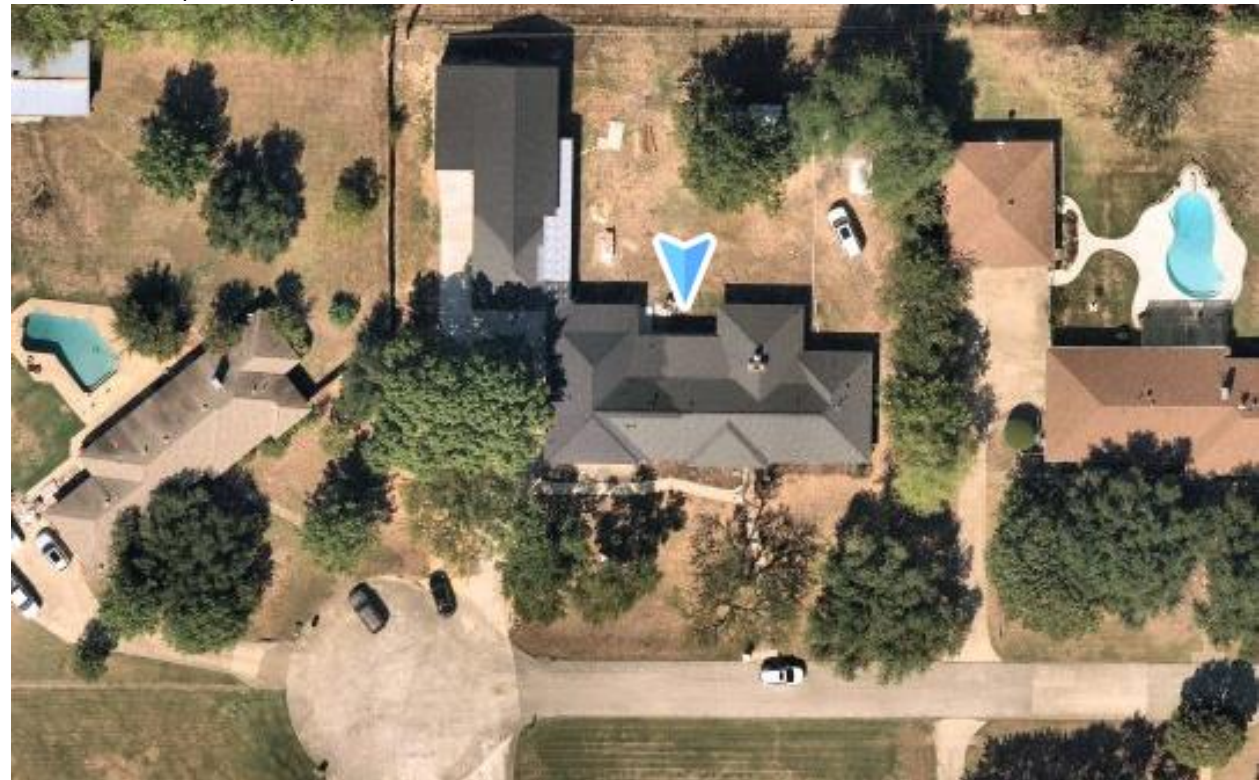
January 27, 2017 – Unpermitted expansion of driveway, mid-construction of the unpermitted detached garage, and the unpermitted pad for a home expansion and covered patio. Finished by September 6, 2017.



September 7, 2019 – Unpermitted sidewalk between covered patio and driveway.



September 29, 2023 – Unpermitted addition to detached garage, unpermitted driveway expansion unpermitted home addition, and unpermitted patio cover.



October 20, 2023 – Contractor applies for electrical permit (Permit No. RES2023-5225).

December 6, 2023 – Staff issued a Stop Work Order.

December 14, 2023 – Applicant applies for Residential Building Permit (Permit No. RES2023-6181).

December 15, 2023 – Staff follow up after stop work order. Work had continued and electrician on site at time of follow up.



January 16, 2024 – Work appears to be complete; however, equipment appears to be on the property.



January 19, 2024 – Applicant applies for Specific Use Permit (SUP).

Search...

Lee, Henry ▾

PLL Inbox Cases & Permits Search Cases & Permits Reports Recents Task Manager GIS Search License Renewals

Message Queue Search

Drag a column header and drop it here to group by that column

<input type="checkbox"/>	Number	Type	Type Description	SubType	SubType Description	Tag	Location
<input type="checkbox"/>	C-2663	BPCOMMERC	Commercial Building Permit	BPSIGN	Sign Permit		Crestview
<input type="checkbox"/>	C-3060	BPRESIDENT	Residential Building Permit	BPIRRIGATI	Irrigation Permit		Crestview
<input type="checkbox"/>	CE2010-1658	CODE	Code Enforcement	CEVEHICLE	Vehicle	TRAILER PARKED IN PUBLIC VIEW	1 Crestview
<input type="checkbox"/>	CE2008-0011	CODE	Code Enforcement	CEZONING	Zoning		1 Crestview
<input type="checkbox"/>	BLD2017-2165	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	water heater replacement	1 Crestview
<input type="checkbox"/>	BLD2017-2203	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	replacing the 2nd water heater in garage	1 Crestview
<input type="checkbox"/>	BLD2017-2694	BPRESIDENT	Residential Building Permit	BPCONCRETE	Concrete Permit	REPLACE PART OF DRIVEWAY	1 Crestview
<input type="checkbox"/>	BLD2013-1039	BPRESIDENT	Residential Building Permit	BPROOF	Roofing Permit	RE-DECKING & SHINGLES	1 Crestview
<input type="checkbox"/>	RES2023-4842	BPRESIDENT	Residential Building Permit	BPROOF	Roofing Permit	reroof	1 Crestview
<input type="checkbox"/>	RES2023-1752	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	Water Heater replacement	10 Crestview
<input type="checkbox"/>	RES2023-1775	BPRESIDENT	Residential Building Permit	BPMECHANIC	Mechanical Permit	HVAC MECHANICAL FINAL	11 Crestview
<input type="checkbox"/>	CE2010-1918	CODE	Code Enforcement	CEVEHICLE	Vehicle	RED TRAILER	12 Crestview
<input type="checkbox"/>	BLD2004-2629	BPRESIDENT	Residential Building Permit	BPACCBLD	Accessory Building Permit	Detached Garage	12 Crestview
<input type="checkbox"/>	Z2004-030	PZZONING	P&Z Zoning	PZSUP	Specific Use Permit	J. Ford (Lot 12, Northcrest Estates #2)	12 Crestview
<input type="checkbox"/>	PLB2011-0225	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	GAS WATER HEATER	12 Crestview
<input type="checkbox"/>	BLD2010-0189	BPRESIDENT	Residential Building Permit	BPFENCE	Fence Permit	5' BLACK CHAIN LINK W/ 2 GATES & 8' WROUGHT IRON FENCE	12 Crestview
<input type="checkbox"/>	RES2023-5799	BPRESIDENT	Residential Building Permit	BPGENERATO	Generator	Install a 24kW home standby generator with a 200 ATS with a connection to gas line	12 Crestview
<input type="checkbox"/>	FF2013-005	HISTMISC	Historical Misc			48" WROUGHT IRON LOT 13 & 14	13 Crestview
<input type="checkbox"/>	BLD2016-1318	BPRESIDENT	Residential Building Permit	BPELECTRIC	Electrical Permit	INSTALL METER SOCKET AND 100 AMP ELEC SERV ON ACC. BLD.	13 & 14 Crestview
<input type="checkbox"/>	BLD2013-1687	BPRESIDENT	Residential Building Permit	BPFENCE	Fence Permit	8' PRIVACY FENCE ' & 48' ORN. ALUM. FENCE	13 & 14 Crestview
<input type="checkbox"/>	CE2012-3545	CODE	Code Enforcement	CEPROPMAIN	Property Maintenance	Prop/Main/Paint	13 Crestview
<input type="checkbox"/>	BLD2016-2179	BPRESIDENT	Residential Building Permit	BPCARPORT	Carport Permit	38 x 13 DETACHED CARPORT	13 Crestview
<input type="checkbox"/>	P2018-030	PZPLATAPP	P&Z Plats	PZREPLAT	Replat	13 Crestview Circle	13 Crestview
<input type="checkbox"/>	BLD2019-0003	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	Water heater	13 Crestview
<input type="checkbox"/>	BLD2012-2577	BPRESIDENT	Residential Building Permit	BPADDITION	Addition	ENCLOSED ACCESSORY BUILDING PORCH	13 Crestview
<input type="checkbox"/>	BLD2018-4083	BPRESIDENT	Residential Building Permit	BPELECTRIC	Electrical Permit	Adding 125 amp svc to barn	13 Crestview
<input type="checkbox"/>	BLD2014-1824	BPRESIDENT	Residential Building Permit	BPFENCE	Fence Permit	48" WROUGHT IRON LOT 13 & 14	13 Crestview
<input type="checkbox"/>	BLD2016-1232	BPRESIDENT	Residential Building Permit	BPADDITION	Addition	RV CARPORT	14 Crestview
<input type="checkbox"/>	RES2020-2859	BPRESIDENT	Residential Building Permit	BPELECTRIC	Electrical Permit	PANEL CHANGEOUT	2 Crestview
<input type="checkbox"/>	CE2010-1657	CODE	Code Enforcement	CEVEHICLE	Vehicle	trailer parked in public view	3 Crestview
<input type="checkbox"/>	BLD2018-0110	BPRESIDENT	Residential Building Permit	BPCONCRETE	Concrete Permit	DRIVEWAY & APPROACH FLATWORK	3 Crestview

1

	Number	Type	Type Description	SubType	SubType Description	Tag	Locati
<input type="checkbox"/>	BLD2017-2071	BPRESIDENT	Residential Building Permit	BPPOOL	Pool	INGROUND POOL	3 CRE!
<input type="checkbox"/>	BLD2019-0156	BPRESIDENT	Residential Building Permit	BPCONCRETE	Concrete Permit	Driveway and Approach Addition	3 CRE!
<input type="checkbox"/>	BLD2013-1860	BPRESIDENT	Residential Building Permit	BPFENCE	Fence Permit	6' WOOD FENCE WITH METAL POSTS	3 CRE!
<input type="checkbox"/>	BLD2013-1861	BPRESIDENT	Residential Building Permit	BPACCBLD	Accessory Building Permit	ADDITION TO EXISTING STORAGE BUILDING	3 CRE!
<input type="checkbox"/>	CE2010-1656	CODE	Code Enforcement	CEZONING	Zoning	BOAT PARKED IN PUBLIC VIEW	4 CRE!
<input type="checkbox"/>	BLD2016-1814	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	40 GAL GAS WATER HEATER IN GARAGE	4 CRE!
<input type="checkbox"/>	RES2020-3579	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	Replacing 40g gas w/h in hall closet	4 CRE!
<input type="checkbox"/>	CE2016-2862	CODE	Code Enforcement	CETRASH	Trash	Trash in the front.	5 CRE!
<input type="checkbox"/>	CE2016-2856	CODE	Code Enforcement	CEVEHICLE	Vehicle	Junk vehicle.	5 CRE!
<input type="checkbox"/>	CE2016-2861	CODE	Code Enforcement	CEHGANUAL	HG Annual Notice	HG/weeds.	5 CRE!
<input type="checkbox"/>	RES2020-4013	BPRESIDENT	Residential Building Permit	BPRTNWALL	Retaining Wall Permit	RETAINING WALL & FENCE	5 CRE!
<input type="checkbox"/>	BLD2017-0596	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	REPLACE 40 GAL GAS WATER HEATER IN HALL CLOSET	5 CRE!
<input type="checkbox"/>	BLD2017-3000	BPRESIDENT	Residential Building Permit	BPMECHANIC	Mechanical Permit	A/C change out- condenser & coils	5 CRE!
<input type="checkbox"/>	BLD2017-2308	BPRESIDENT	Residential Building Permit	BPROOF	Roofing Permit	Re-Roof (Shingles Only)	5 CRE!
<input type="checkbox"/>	REG-005322	BPMECHANIC	Mechanical Contractor Registration			Martin Heating & Air, LLC	5 CRE!
<input type="checkbox"/>	RES2022-6255	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	Replace sewer service (main) - up to 20' & replace sewer service - up to 140'	5 CRE!
<input type="checkbox"/>	CE2014-1326	CODE	Code Enforcement	CEPROPMAIN	Property Maintenance		6 CRE!
<input type="checkbox"/>	CE2014-1977	CODE	Code Enforcement	CEHGANUAL	HG Annual Notice		6 CRE!
<input type="checkbox"/>	CE2015-2404	CODE	Code Enforcement	CEEROSION	Erosion Control	mud drained into neighbors grass and in drainage ditch.	6 CRE!
<input type="checkbox"/>	RES2022-1777	BPRESIDENT	Residential Building Permit	BPACCBLD	Accessory Building Permit	Detached Garage 25'x25' with concrete pad & extended driveway	6 CRE!
<input type="checkbox"/>	BLD2015-0475	BPRESIDENT	Residential Building Permit	BPNEWCON	New Construction	NEW SINGLE FAMILY*Not on city water or sewer.	6 CRE!
<input type="checkbox"/>	ELE2015-0042	BPRESIDENT	Residential Building Permit	BPELECTRIC	Electrical Permit	STANBY GENERATOR	7 CRE!
<input type="checkbox"/>	BLD2011-0957	BPRESIDENT	Residential Building Permit	BPWNDWDR	Window & Door Permit	REPLACE 7 EXISTING WINDOWS & 2 EXISTING DOORS	7 CRE!
<input type="checkbox"/>	CE2010-1650	CODE	Code Enforcement	CEVEHICLE	Vehicle	TRAILER PARKED ON STREET	8 CRE!
<input type="checkbox"/>	CE2010-1652	CODE	Code Enforcement	CEPROPMAIN	Property Maintenance	PILE OF BRICKS IN FRONT OF HOUSE	9 CRE!
<input type="checkbox"/>	CE2010-1653	CODE	Code Enforcement	CEPROPMAIN	Property Maintenance	TRAILER PARKED IN PUBLIC VIEW	9 CRE!
<input type="checkbox"/>	Z2024-004	PZZONING	P&Z Zoning	PZSUP	Specific Use Permit	SUP for an Accesory Building at 9 Crestview Circle	9 CRE!
<input type="checkbox"/>	RES2023-6181	BPRESIDENT	Residential Building Permit	BPADDITION	Addition	Expanding Existing Garage by 1500 sf	9 CRE!
<input type="checkbox"/>	RES2023-5225	BPRESIDENT	Residential Building Permit	BPELECTRIC	Electrical Permit	Relocate electric service and install new meter base. Run electric to new DT gar	9 CRE!
<input type="checkbox"/>	PZ1998-88-1	PZPLATAPP	P&Z Plats	PZFINALPLA	Final Plat	Crestview 3 (Final)	Crestv
<input type="checkbox"/>	PZ1998-88-2	HISTMISC	Historical Misc			Crestview 3	Crestv
<input type="checkbox"/>	CE2021-3331	CODE	Code Enforcement	CEHGANUAL	HG Annual Notice	HG	CREST
<input type="checkbox"/>	C-1611	BPRESIDENT	Residential Building Permit	BPREMODEL	Remodel		Crestv
<input type="checkbox"/>	Z2004-026	PZZONING	P&Z Zoning	PZZONINGCH	Zoning Change	(Ag) to Single-Family (various)	FM 54
<input type="checkbox"/>	PZ2000-23-1	PZPLATAPP	P&Z Plats	PZREPLAT	Replat	Crestview 3 (Replat)	Severc

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *DETACHED GARAGE AND CARPORT* ON A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 9 OF THE NORTHCREST ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Zach Butler for the approval of a Specific Use Permit (SUP) for a *Detached Garage and Carport* on a one (1) acre parcel of land, addressed as 9 Crestview Circle, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* and a *Carport* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, Subsection 03.06, *Single-Family 16 (SF-16) District*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* and *Carport* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a *Detached Garage* and *Carport* on the *Subject Property* shall generally conform to the *Building Elevations and Building Plans* depicted in *Exhibit 'C'* of this ordinance.
- (3) The *Carport* shall not exceed a maximum building footprint or size of 600 SF.
- (4) The maximum height of the *Detached Garage* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
- (5) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (6) All of the unpermitted improvements on the subject property must be either permitted or removed within three (3) months (*i.e. 90-days*) after the approval of this Specific Use Permit (SUP) (*i.e. the applicant has until June 2, 2024*).

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF MARCH, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 20, 2024

2nd Reading: March 4, 2024

Exhibit 'A'
Location Map and Legal Description

Address: 9 Crestview Circle

Legal Description: Lot 9 of the Northcrest Estates #2 Addition



⑤

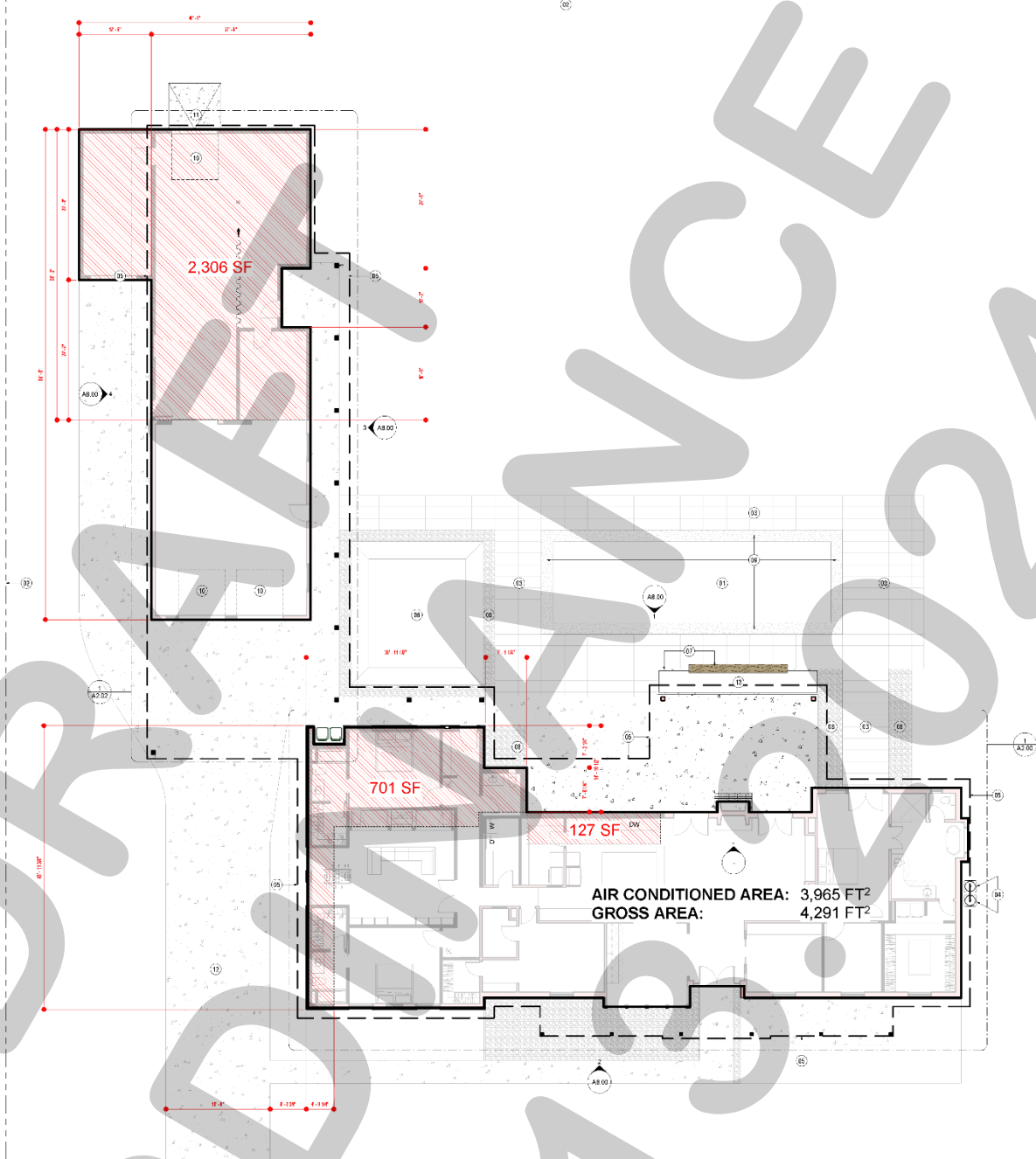
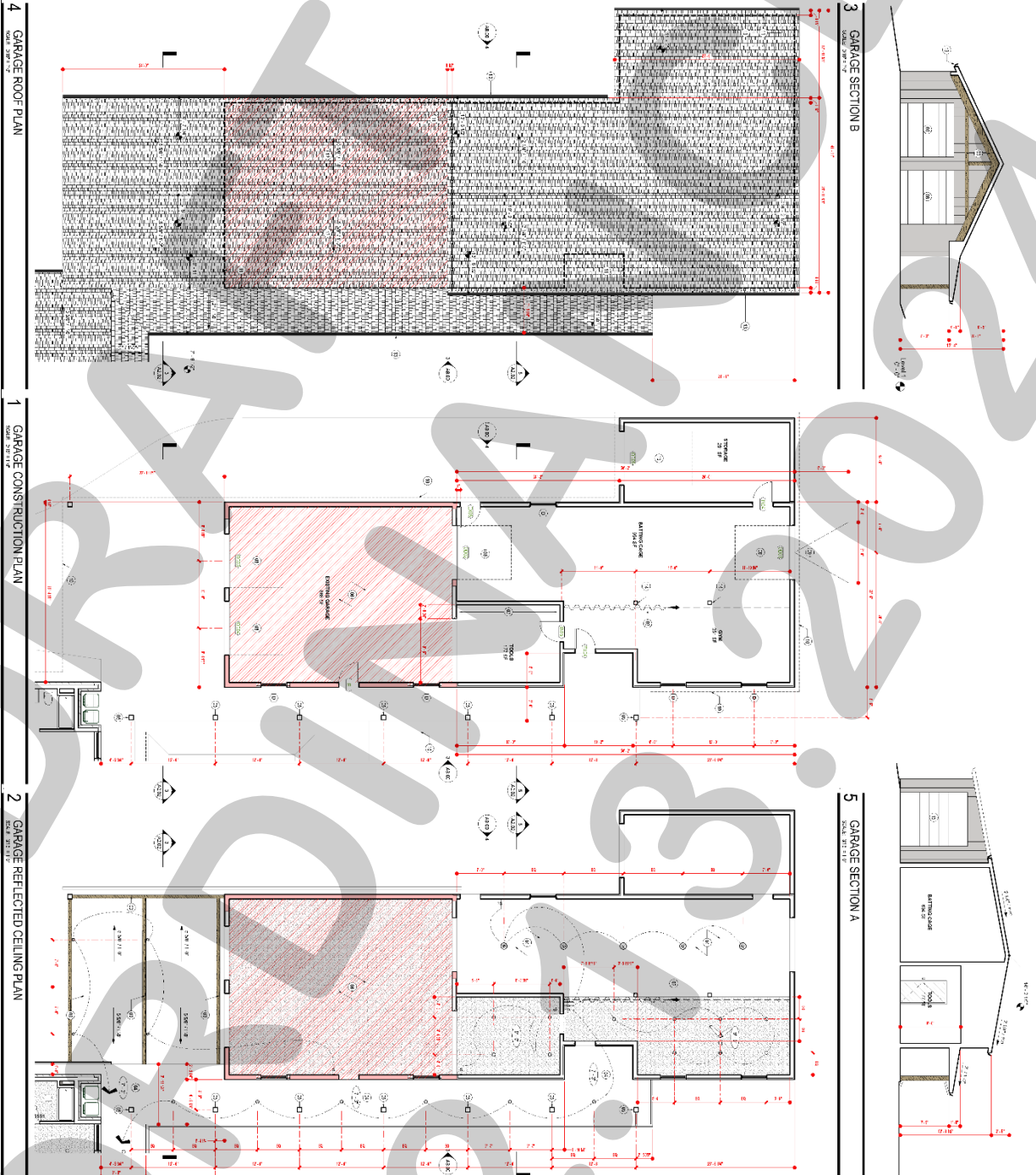


Exhibit 'C':
Building Elevations & Building Plans





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: February 20, 2024

APPLICANT: Zach Butler

CASE NUMBER: Z2024-004; *Specific Use Permit (SUP) for a Detached Garage and Carport at 9 Crestview Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Zach Butler for the approval of a Specific Use Permit (SUP) for an *Accessory Building and Carport* on a one (1) acre parcel of land identified as Lot 9 of the Northcrest Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 9 Crestview Circle, and take any action necessary.

BACKGROUND

On April 10, 1978, the Commissioners Court approved a final plat that establish the subject property as Lot 9 of the Northcrest Estates #2 Addition. According to the Rockwall Central Appraisal District (RCAD) the 2,758 SF single-family home was constructed in 1987. The subject property was annexed into the City of Rockwall on May 17, 2004 by *Ordinance No. 04-35 [Case No. A2004-002]*. On September 7, 2004, the City Council approved to rezone the subject property from Agricultural (AG) District to Single-Family 16 (SF-16) District [*Ordinance No. 04-49; Case No. Z2004-026*].

Staff should note that since the applicant's purchase of the property on August 12, 2014 they have complete several improvements (*i.e. new additions, new/additional paving, and a detached garage*) to the property that were not permitted. The timeline has been included in the attached packet and outlines all of the unpermitted improvements. Based on the provided timeline a new concrete drive, parking pad, a sidewalk was constructed within six (6) months of the applicant purchasing the property (*i.e. aerial taken December 1, 2015*). Following this, the aerial taken January 27, 2017 shows that the applicant expanded their driveway, poured a pad for an expansion of the existing single-family home, and began constructing a detached garage. Based on the September 7, 2019 aerial the applicant had added a covered patio and a sidewalk connecting it to the driveway. Following this, the aerial taken September 29, 2023 depicts the detached garage addition, a driveway expansion, a home addition, and a patio cover. On October 21, 2023 a contractor applied for an electrical permit (*Permit No. RES2023-5225*). This permit led to staff discovering the unpermitted improvements, which subsequently required staff to issue a *Stop Work Order* on December 6, 2023. This led the applicant to apply for a residential building permit (*Permit No. RES2023-6181*). Following this, staff did a compliance check on December 15, 2023 and discovered that work had continued on the property after the *Stop Work Order* had been issue. In addition, an electrical contractor was on-site performing work during the compliance check. As of January 16, 2024, the work appeared to be complete despite the *Stop Work Order*, and there appears to still be equipment on-site.

PURPOSE

The applicant -- *Zach Butler* -- is requesting the approval of a Specific Use Permit (SUP) to allow the unpermitted detached garage to remain, and to allow the construction of a carport that exceeds the maximum allowable square footage as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 9 Crestview Circle. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 12.125-acre tract of land (*i.e. Tract 1-02 of the J. E. Sherwood Survey, Abstract No. 193*) developed with an agricultural accessory building. Adjacent to this is a 1.665-acre tract of land (*i.e. Tract 1-01 of the J. E. Sherwood Survey, Abstract No. 193*) developed with a single-family home. Both properties are zoned Agricultural (AG) District. Following this is North Country Lane, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the City of Rockwall's corporate boundary.

South: Directly south of the subject property is Crestview Circle, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.95-acre parcel of land (*i.e. Lot 6 of the Northcrest Estates #2 Addition*) developed with a single-family home and zoned Single-Family 16 (SF-16) District. Following this are two (2) vacant tracts of land (*i.e. Tract 5 & 5-3 of the J. E. Sherwood Survey, Abstract No. 193*) zoned Single-Family Estate 4.0 (SFE-4.0) District.

East: Directly east of the subject property are four (4) parcels of land (*i.e. Lots 10-12 of the Northcrest Estates #2 Addition, and Lot 15 of the Ensley Addition*) developed with single-family homes, and zoned Single-Family 16 (SF-16) District. Beyond this is N. Stodghill Road which is identified as a TXDOT4D (*i.e. TXDOT, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the City of Rockwall corporate boundary.

West: Directly west of the subject property is a one (1) acre parcel of land (*i.e. Lot 8 of the Northcrest Estates #2 Addition*) developed with a single-family home that is zoned Single-Family 16 (SF-16) District. Beyond this is a 101.43-acre tract of land (*i.e. Tract 4 of the J. M. Gass Survey, Abstract No. 88*) zoned Agricultural (AG) District.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow [1] an unpermitted detached garage to remain, and [2] allow the construction of a carport. Based on the floor plan, the proposed detached garage is 2,378 SF, where 865 SF is existing -- *but unpermitted* -- and 1,513 SF is new. In addition, the site plan shows the proposed carport will be ~580 SF. This exceeds the maximum permissible size of 500 SF by ~80 SF. The building elevations provided by the applicant indicate a 2½:12 roof pitch, which is less than the required 3:12 roof pitch. Based on the provided survey and building plans the improvements are located within the side yard of the subject property and behind the front façade of the single-family home.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 16 (SF-16) District allows one (1) detached garage with a maximum square footage of 625 SF. In this case, the unpermitted detached garage is 2,378 SF. This makes the detached garage 1,753 SF or 3.80 times bigger than permitted by right. Staff should note, based on the Rockwall Central Appraisal District (RCAD), the single-family home is 3,736 SF. This makes the detached garage 63.70% the size of the existing single-family home. With that being said, unpermitted additions have been made on the single-family home making it difficult for staff to determine the actual size of the home. Staff should also note that the Unified Development Code (UDC) defines the proposed unpermitted detached garage as *not* being attached to the primary structure as breezeways are *not* considered architecturally integrated design elements; however, should the carport be approved this may change how this structure is viewed. Since the carport has not been approved, staff is bringing both structures forward for a Specific Use Permit (SUP) to avoid having to run subsequent cases should the carport not be approved or not be viewed as being architecturally integrated.

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 16 (SF-16) District allows one (1) carport with a maximum square footage of 500 SF. In this case, the proposed carport is ~580 SF. In addition, the UDC states that carports must be open on at least two (2) sides, architecturally integrated into the primary structure, and be located 20-feet behind the front façade of the primary structure. In this case, the proposed carport is open on two (2) sides, and is located more than 20-feet behind the front façade of the single-family home. In addition, due to the unpermitted improvements to the existing single-family home and the

unpermitted detached garage, staff cannot determine if the proposed carport would be architecturally integrated based on the current proposed plans.

STAFF ANALYSIS

In this case, the applicant's request for [1] an unpermitted detached garage does not meet any of the technical requirements for a detached garage in a Single-Family 16 (SF-16) District -- *with exception of the maximum permissible height (i.e. 15-feet measured at the midpoint of the pitched roof) and location behind the front façade of the primary structure --*, and [2] the proposed carport exceeds the maximum permissible size and does not appear to be architecturally integrated into the primary structure. For the purpose of comparing the proposed improvements with other accessory structures in the area, staff reviewed aerials and street view images to locate similar structures. Through this analysis, staff was able to identify all but one (1) of the adjacent properties on Crestview Circle (i.e. 12 of the 13 properties) had accessory structures, and one (1) other property had a carport specifically for a recreational vehicle. This analysis is included within the packet for the City Council and Planning and Zoning Commission to review. It can be seen that the majority of the accessory structures are detached garages, with an overall average size of 831 SF and the maximum size being 2,000 SF. In this case, the applicants unpermitted detached garage is 1,547 SF larger than the average (i.e. 2.86 times larger than the average) and 378 SF larger than the largest existing accessory building. Staff should note that these calculations are based off only the existing detached garage and does not include the proposed carport. Staff should also note, that every other property along Crestview has been issued permits for home improvements besides 8 Crestview Circle and the subject property since the time of annexation. Based on this, the proposed improvements appear to be inconsistent with the adjacent properties. If approved by the City Council -- *pending a recommendation from the Planning and Zoning Commission* -- this could set a precedence in the area; however, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Staff should note, if the applicants request is approved, they will be required to meet the *Operational Conditions* outlined within the *Draft Ordinance*. One (1) of these *Operational Conditions* is that "(a)ll of the unpermitted improvements on the subject property must be either permitted or removed within three (3) months (i.e. 90-days) after the approval of this Specific Use Permit (SUP) (i.e. the applicant has until June 2, 2024)." Given this -- *if approved* -- the applicant will need to apply for all applicable permits, complete all necessary inspections, and be issued the permits, within 90 days of approval.

NOTIFICATIONS

On January 25, 2024, staff mailed 17 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had three (3) notices in favor of the request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Site Plan as depicted in Exhibit 'B' of this ordinance.
 - (b) The construction of a *Detached Garage* and *Carport* on the *Subject Property* shall generally conform to the Building Elevations and Building Plans depicted in *Exhibit 'C'* of this ordinance.
 - (c) The *Carport* shall not exceed a maximum building footprint or size of 600 SF.
 - (d) The maximum height of the *Detached Garage* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.

- (e) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
 - (f) All of the unpermitted improvements on the subject property must be either permitted or removed within three (3) months (*i.e. 90-days*) after the approval of this Specific Use Permit (SUP) (*i.e. the applicant has until June 2, 2024*).
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On February 13, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-1, with Commissioner Womble dissenting and Commissioners Thompson and Hustings absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 9 Crestview Cir Rockwall, TX 75087

SUBDIVISION Northcrest Estate #2

LOT

9

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SFR

CURRENT USE SFR

PROPOSED ZONING

PROPOSED USE

ACREAGE 1.00

LOTS [CURRENT]

1

LOTS [PROPOSED]

☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER

Zach Butler

☐ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

9 Crestview Cir

ADDRESS

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

PHONE

972-896-3813

PHONE

E-MAIL

Zach@rockwallproperties.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zach Butler [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19th DAY OF JANUARY, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

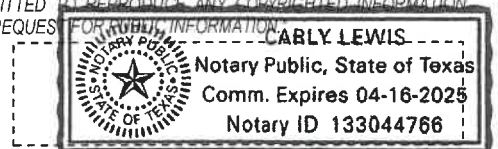
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19th DAY OF JANUARY, 2024.

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES 2-16-25

0 25 50 100 150 200 Feet

Z2024-004: SUP for an Accessory Building and Carport at 9 Crestview Circle

AG

SF-16

CRESTVIEW CIR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

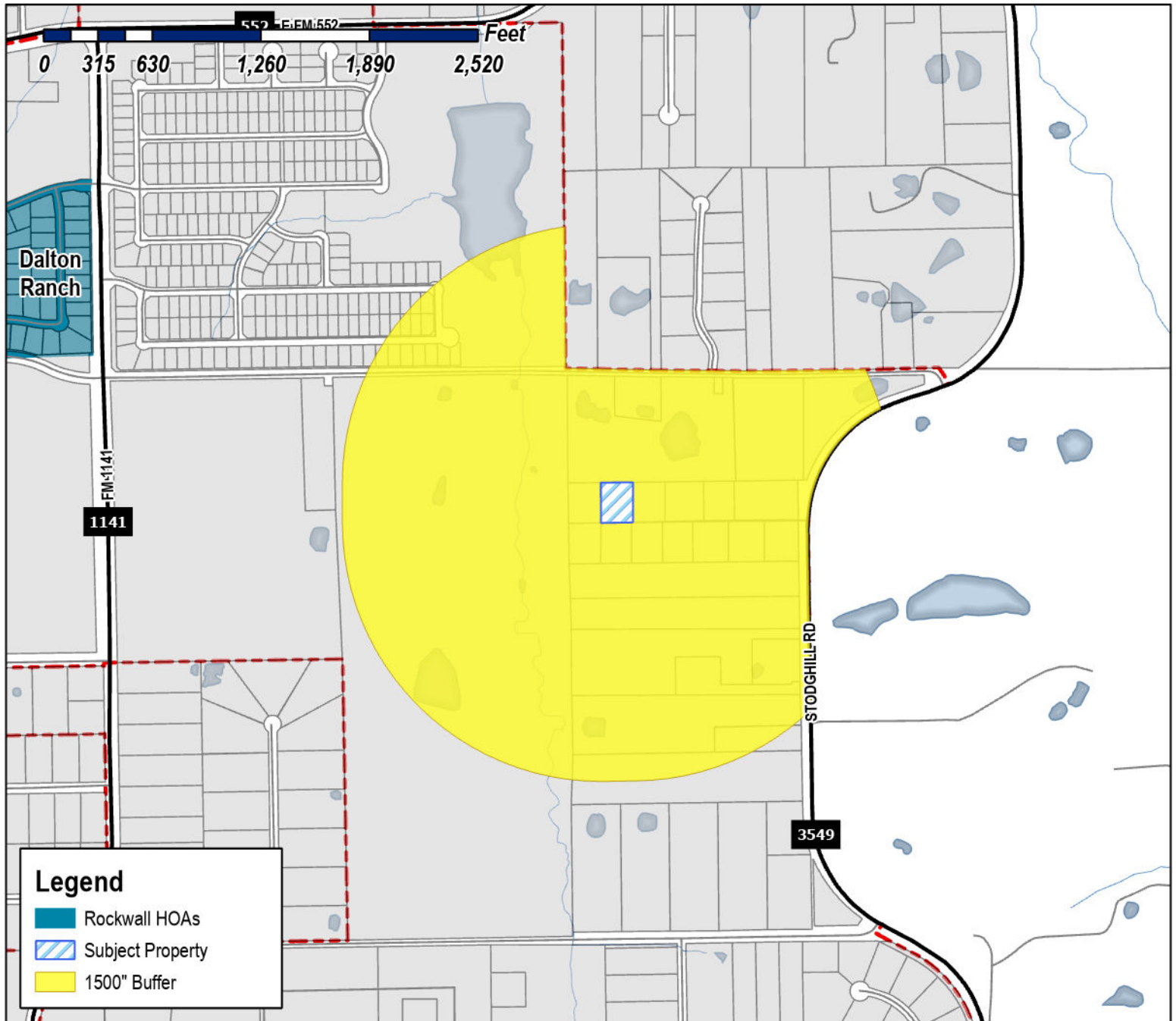




City of Rockwall

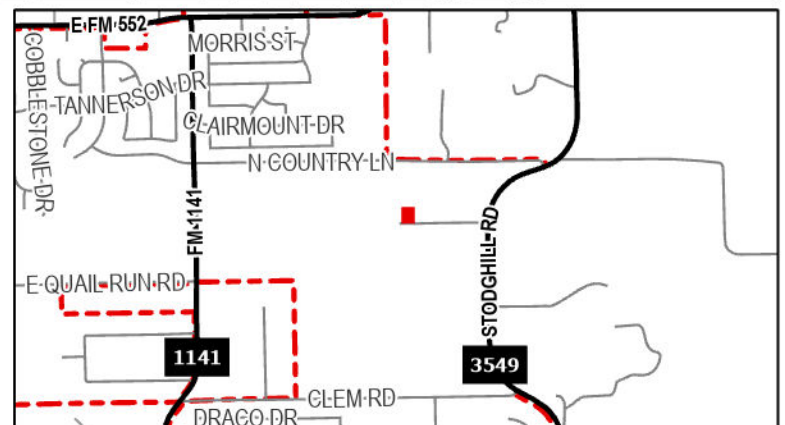
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-004
Case Name: SUP for an Accessory Building and Carport
Case Type: Zoning
Zoning: Single-Family 16 (SF-16)
Case Address: 9 Crestview Circle

Date Saved: 1/19/2024
For Questions on this Case Call (972) 771-7745

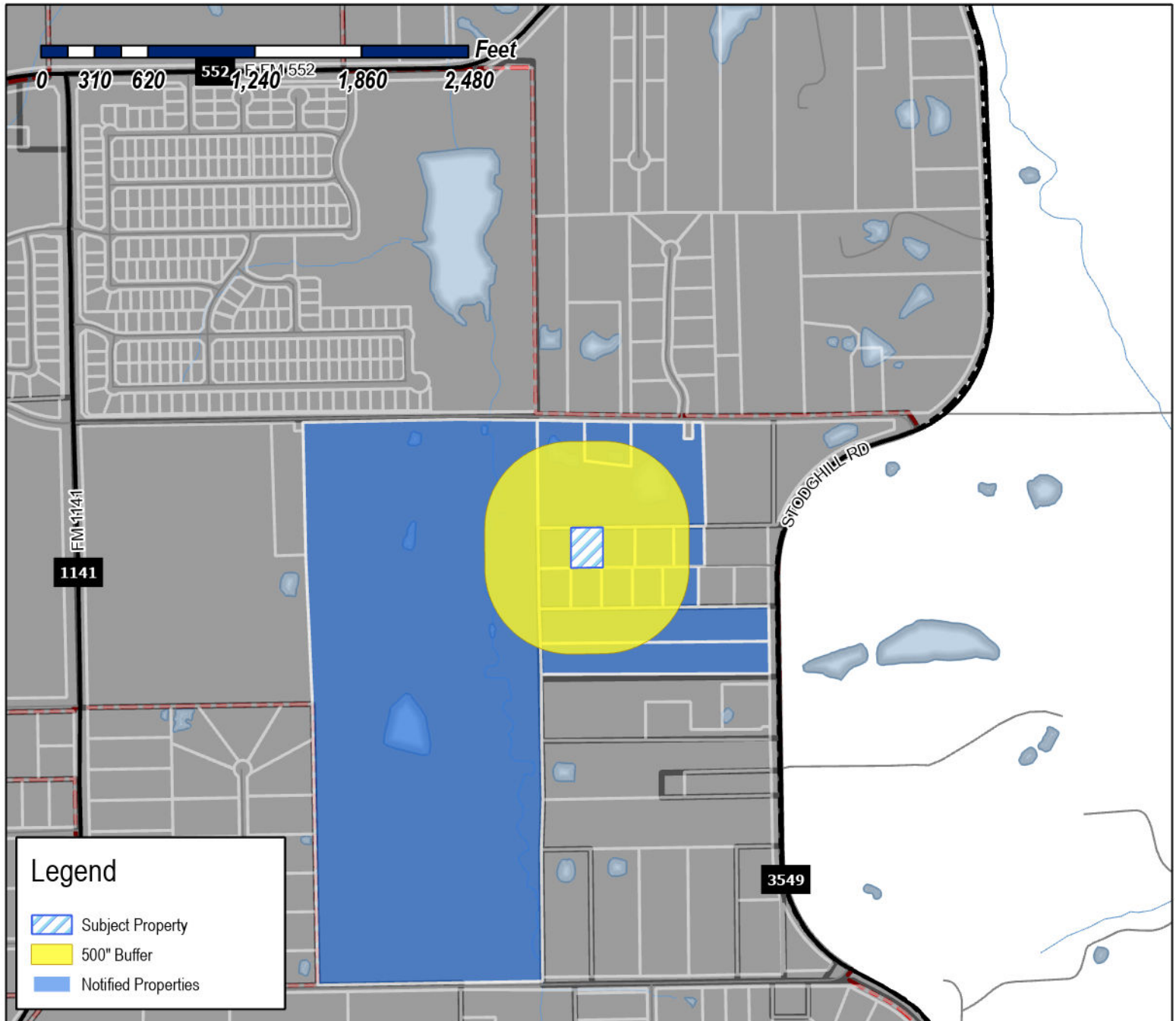




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

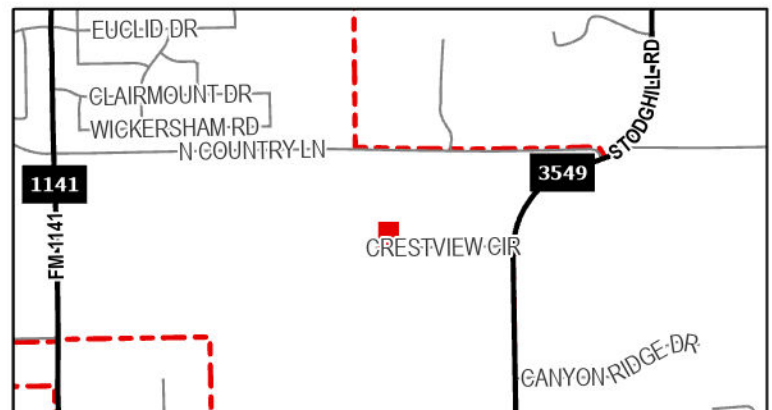
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2024-004
Case Name: SUP for an Accessory Building and Carport
Case Type: Zoning
Zoning: Single-family 16 (SF-16)
Case Address: 9 Crestview Circle

Date Saved: 1/19/2024

For Questions on this Case Call: (972) 771-7746



RESIDENT
FM3549 STODGHILL RD
ROCKWALL, TX 75032

MICHAEL REMEDIOS G
10 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

ERBERT STEPHEN RICHARD & PATRICIA ERBERT
1004 CEDAR GLEN TRL
ROCKWALL, TX 75032

DAVIS KENNETH W ET UX
11 CRESTVIEW CIR
ROCKWALL, TX 75087

FLANAGAIN GARY W & ESTHER
12 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
2030 CROSSWOOD LANE
IRVING, TX 75063

MCCALLUM MATTHEW A AND AMANDA KAY
3 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

RESIDENT
379 N COUNTRY LN
ROCKWALL, TX 75032

MCCAULEY MATTHEW F & CYNTHIA R
4 CRESTVIEW CIR
ROCKWALL, TX 75087

HANKS MICHAEL JOEL AND BATINA L
5 CRESTVIEW CIR
ROCKWALL, TX 75087

LENZI LEWIS B AND MARY K
6 CRESTVIEW CIRCLE
ROCKWALL, TX 75087

RESIDENT
656 N COUNTRY LN
ROCKWALL, TX 75032

GIPSON ANTHONY D & JOYCE E
7 CRESTVIEW CIR
ROCKWALL, TX 75087

PEARCE CAROL ALLEY
721 N COUNTRY LN
ROCKWALL, TX 75087

PEARCE CAROL ALLEY &
BRIAN S & NICOLE DEJARNETT
721 N COUNTRY LN
ROCKWALL, TX 75087

PRITCHARD BRIAN E AND JENNIFER L
8 CRESTVIEW CIR
ROCKWALL, TX 75087

BUTLER ZACHARY AND COURTNEY
9 CRESTVIEW CIR
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

CORRECTED NOTICE: ALL CHANGES CORRECTED IN RED BELOW. CORRECTING THE CITY COUNCIL MEETING DATE TO REFLECT TUESDAY, FEBRUARY 20, 2024.

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-004: SUP for an Accessory Building and Carport

Hold a public hearing to discuss and consider a request by Zach Butler for the approval of a Specific Use Permit (SUP) for an Accessory Building and Carport on a one (1) acre parcel of land identified as Lot 9 of the Northcrest Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 9 Crestview Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on TUESDAY, February 20, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by TUESDAY, February 20, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-004: SUP for an Accessory Building and Carport

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-004

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Amanda /Matthew

Last Name *

McCallum

Address *

City *

Rockwall

State *

Tx

Zip Code *

75087

Please check all that apply: *



I live nearby the proposed Zoning or Specific Use Permit (SUP) request.



I work nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.



Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

☒ I received a property owner notification in the mail.

☐ I read about the request on the City's website.

☐ I saw a zoning sign on the property.

☐ I read about the request in the Rockwall Herald Banner.

☐ My neighbors told me about the request.

☐ Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-004

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We should not be in the city. The city does nothing for our tax dollars so I don't understand why "the city of Rockwall" can tell us how big to build our buildings

Respondent Information

Please provide your information.

First Name *

Batina

Last Name *

Hanks

Address *

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *



I live nearby the proposed Zoning or Specific Use Permit (SUP) request.



I work nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.



I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.



Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

☒ I received a property owner notification in the mail.

☐ I read about the request on the City's website.

☐ I saw a zoning sign on the property.

☐ I read about the request in the Rockwall Herald Banner.

☐ My neighbors told me about the request.

☐ Other: _____

This content is neither created nor endorsed by Google.

Google Forms

From: Brian Pritchard [REDACTED]
Sent: Sunday, January 28, 2024 1:26 PM
To: Lee, Henry
Subject: Case No. Z2024-004

Good afternoon,

I am in favor of the request of allowing Zach Butler to add an Accessory Building and Carport to their home at [REDACTED], [Rockwall, TX 75087](#)

We live next door in one of the homes that would be the most affected by this addition. Zach's property is always well maintained and looks great. Their addition will surely add value to our neighborhood.

Thank you.

Sincerely,
Brian Pritchard
[REDACTED], [Rockwall, TX 75087](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Letter of Explanation:

Zach Butler
9 Crestview Cir
Rockwall, TX 75087

The purpose of our request for a special use permit is for an expansion of our current garage/shop. We are adding on an indoor batting cage and sports gym for our three young boys. Part of the project also includes adding on some additional storage and more covered parking for future use as my kids get older. This batting cage and gym will be for private use for my kids, friends, and family and will not be used for business or income purposes. The need for this is to provide a facility for year round training for my kids indoors and outside of the elements. There are some private facilities around town but nothing open to the public and access to the private is growing increasingly difficult, costs money with each use and is usually a scheduling headache.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'ZB', with a long horizontal stroke extending to the right.

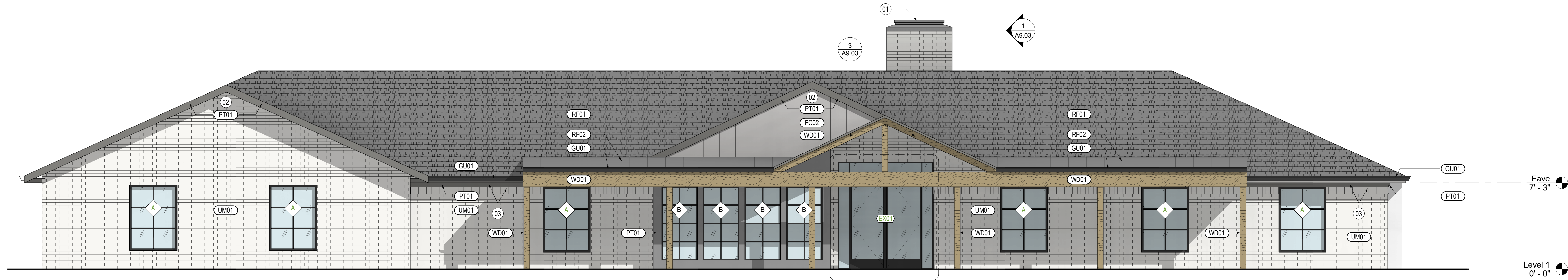
Zach Butler



4 ANEX WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 ANEX EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 Back Elevation
SCALE: 1/4" = 1'-0"

sheet notes

- 01 CUSTOM METAL ORNAMENTAL CHIMNEY CAP
- 02 WOOD FASCIA/TRIM
- 03 WOOD TRIM AN SOLDIER COURSE TO MATCH EXISTING
- 04 NEW CONCRETE PLANTER WITH INTEGRATED BENCH

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE

RF01 ROOFING

ITEM: COMPOSITE SHINGLES

RF02 STANDING SEAM METAL ROOF

ITEM: STANDING SEAM METAL ROOF

UM01 BRICK MASONRY UNIT

TYPE: MATCH EXISTING

FINISH: PAINTED

PT01 EXTERIOR PAINT

ITEM: EXTERIOR PAINT

COLOR: GREY (TBD)

WD01 WOOD

ITEM: STAINED TIMBER STRUCTURE

COLOR: TBD

FC02 FIBER CEMENT

ITEM: FIBER CEMENT PANELS (BOARD AND BATTEN)

GU01 PREFINISHED METAL GUTTER

ITEM: PREFINISHES METAL GUTTER WITH LEAF GUARD

general notes



PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
ELEVATION

REV	DATE	NOTES
	1/22/21	

DRAWN BY
JCB

CHECKED BY
JCB

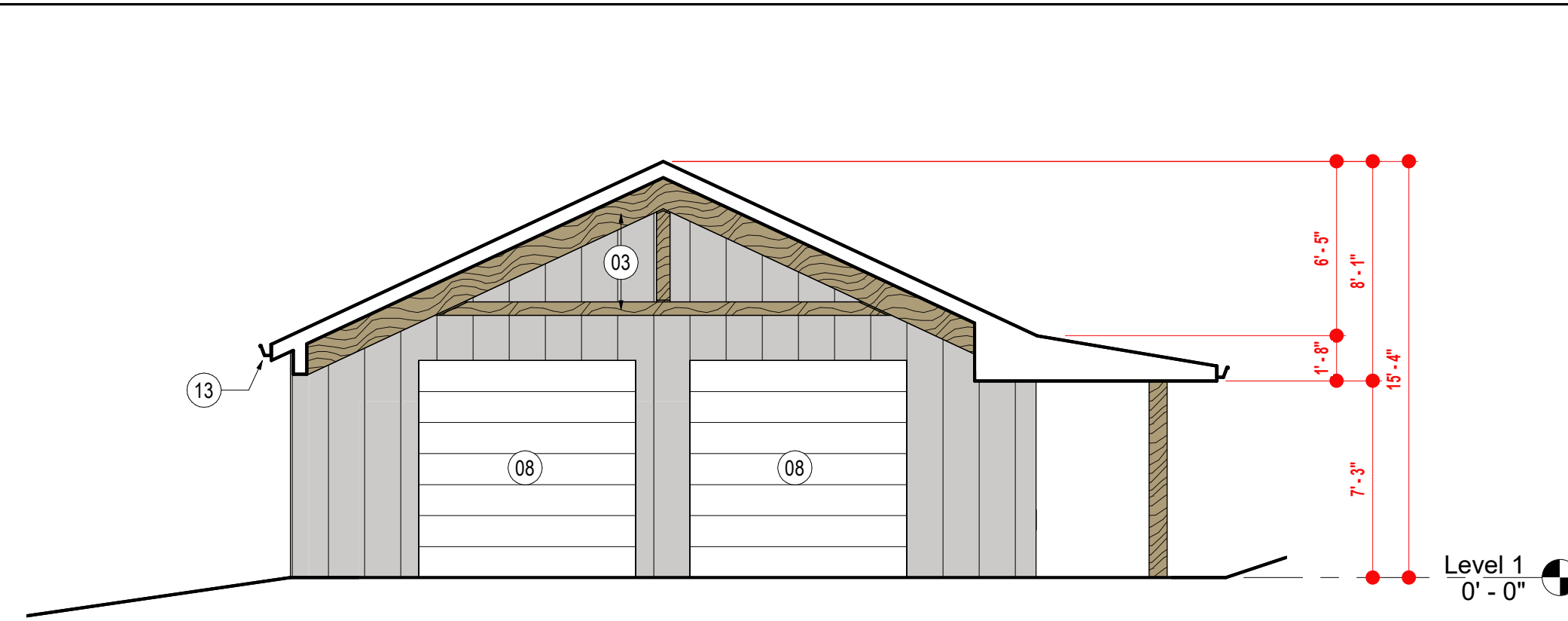
JOB NO

STATUS

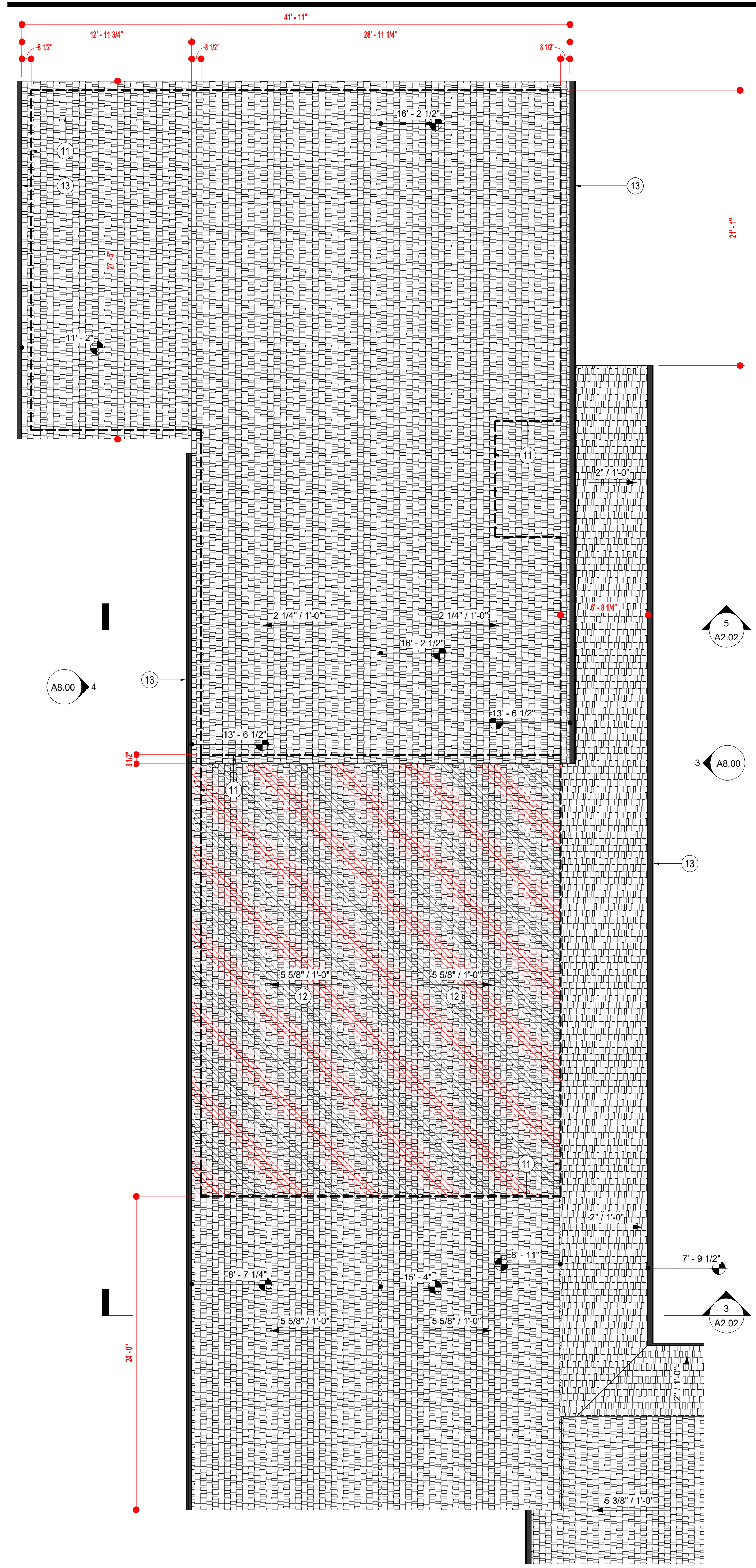
PRICING

DRAWING NO

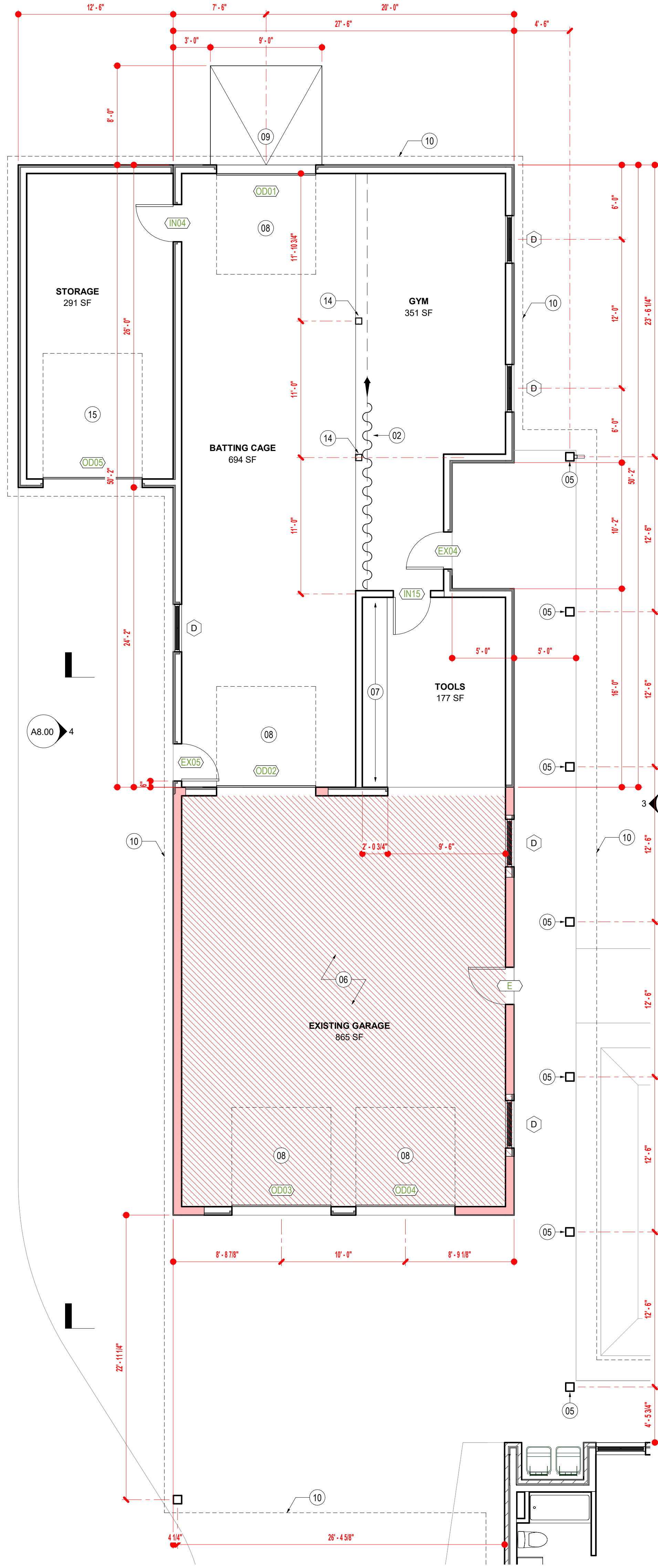
A8.00



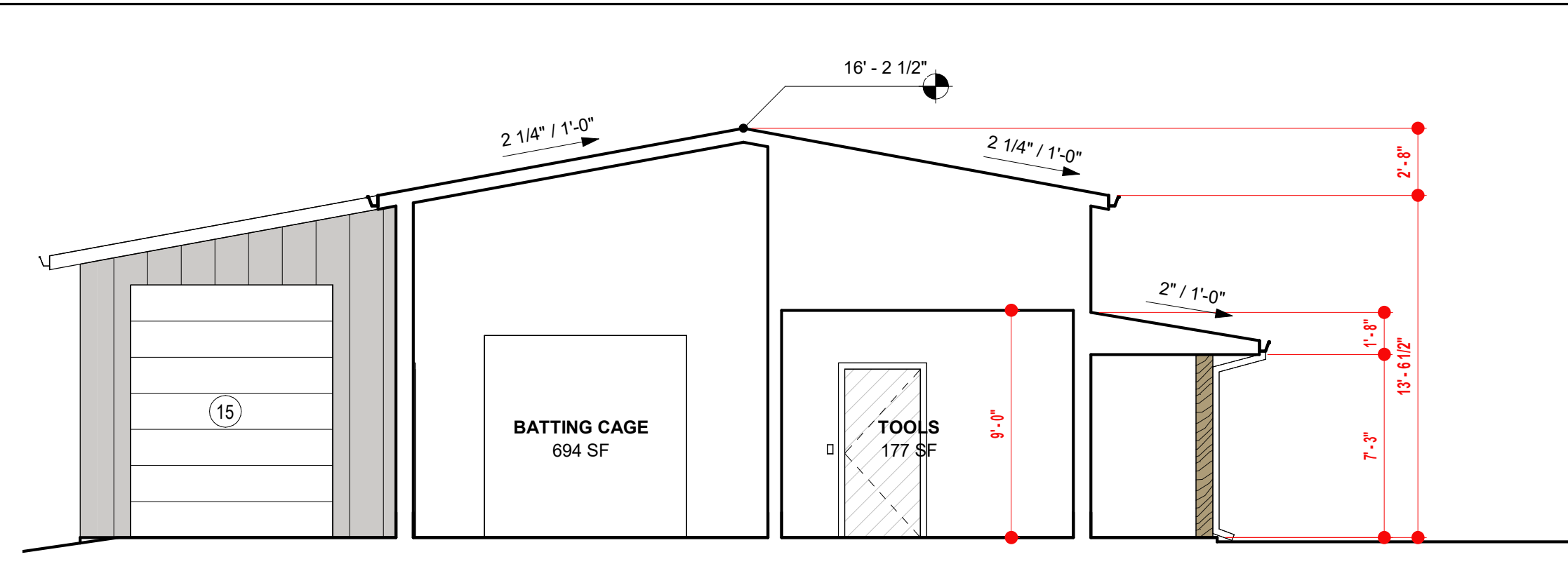
3 GARAGE SECTION B
SCALE: 3/16" = 1'-0"



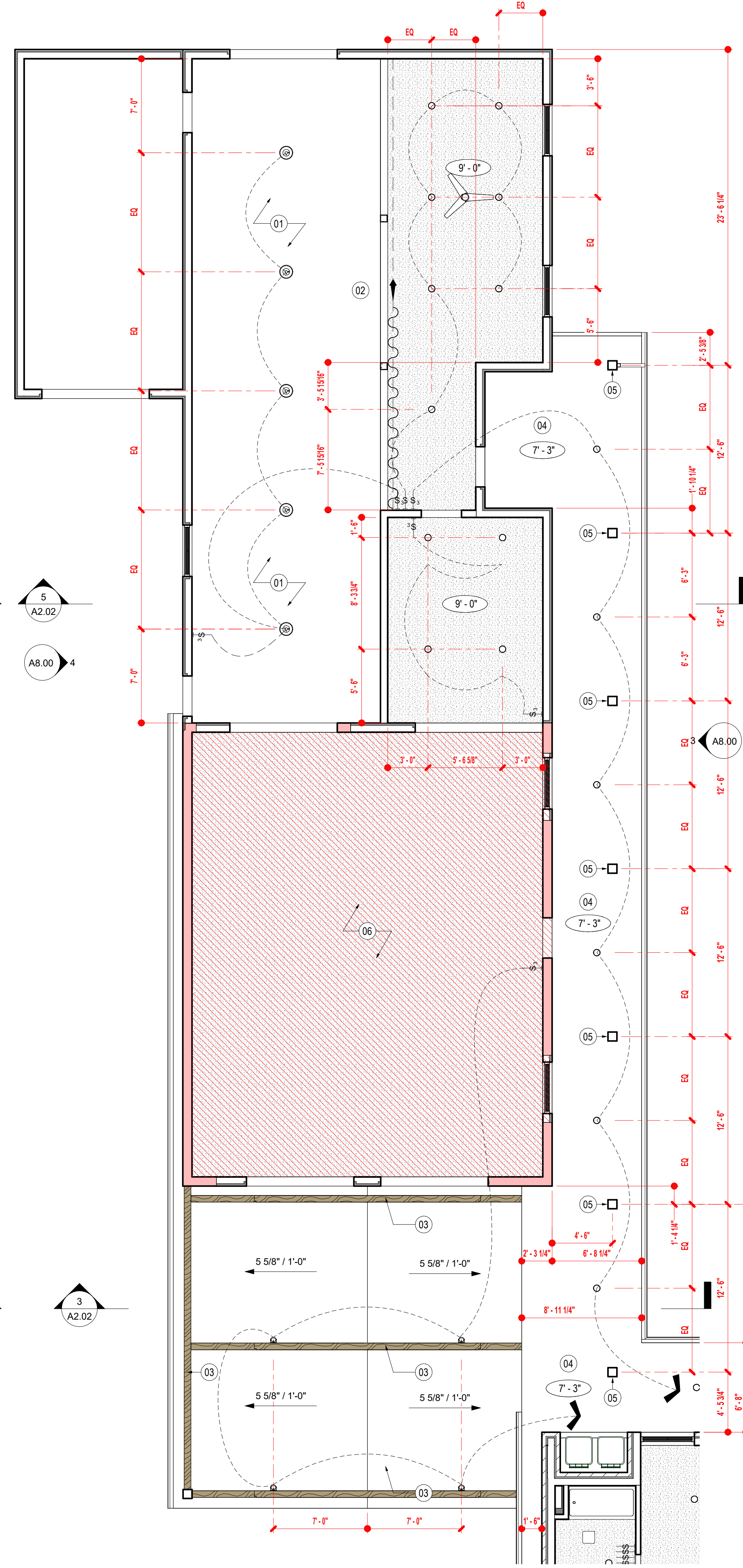
4 GARAGE ROOF PLAN
SCALE: 3/16" = 1'-0"



1 GARAGE CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"



5 GARAGE SECTION A
SCALE: 3/16" = 1'-0"



2 GARAGE REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

sheet notes

- 01 OPEN TO STRUCTURE ABOVE
- 02 SLIDING BATTING CURTAIN HUNG FROM TRACK ABOVE
- 03 EXPOSED TIMBER STRUCTURE (STAINED), MAINTAIN 10'-0" CLEAR
- 04 ELEVATION MATCHES THE EAVE OF EXISTING HOME
- 05 COLONADE COLUMN (SIZED BY STRUCTURAL ENGINEER)
- 06 HATCH DENOTES EXISTING GARAGE OUT OF SCOPE
- 07 BUILT-IN WORK BENCH
- 08 8'-0" X 8'-0" OVERHEAD GARAGE DOOR
- 09 CONCRETE RAMP
- 10 LINE OF OVERHANG ABOVE
- 11 LINE OF OUTSIDE FACE OF WALL BELOW
- 12 HATCH DENOTES EXISTING ROOF TO REMAIN
- 13 GUTTER, DOWNSPOUTS TO BE COORDINATED BETWEEN OWNER AND CONTRACTOR
- 14 STRUCTURAL SUPPORT COLUMN SIZED BY STRUCTURAL ENGINEER
- 15 8'-0" X 10'-0" OVERHEAD GARAGE DOOR

KEY

- NEW WALL
- EXISTING WALL
- LINE OF EXISTING FOOTPRINT
- NO INTERIOR MODIFICATIONS

general notes

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY OWNER IF DISCREPANCIES ARE FOUND.
- ALL EXTERIOR WALLS TO BE FRAMED WITH 2X6 CONSTRUCTION.
- ALL INTERIOR PARTITIONS TO BE FRAMED WITH 2X4 CONSTRUCTION @ 16" O.C. UNLESS OTHERWISE NOTED.
- STRUCTURE ALL FRAMED OPENINGS AS REQUIRED. ENGINEERING BY OTHERS.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.
- EXTERIOR WALLS ARE DIMENSIONED FROM EXTERIOR FACE OF SHEATHING.
- ALL WATER HEATERS TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED.
- ALL INTERIOR FINISHES TO BE SELECTED BY OWNER. ALL INTERIOR FINISHES ARE BEYOND THE SCOPE OF THESE DRAWINGS.
- ALL VANITIES TO BE 36" HIGH.
- FINAL DESIGN AND AMENITIES @ ALL CABINETS AS PER OWNER/BUILDER AGREEMENT. ALL MILLWORK IS BEYOND THE SCOPE OF THESE DRAWINGS.
- ALL STRUCTURAL ENGINEERING BY OTHERS INCLUDING BUT NOT LIMITED TO ALL HORIZONTAL & VERTICAL FRAMES, FOUNDATIONS, COLUMN PLATES, CONNECTORS, BEAMS, WALLS, PLATES, PENETRATIONS, TRUSS SYSTEMS, ROOF SYSTEMS, & WIND BRACING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- IN AREAS OF WORK AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- ALL EXISTING WALLS SHALL BE REPAINTED AS SCHEDULED. CONTRACTOR RESPONSIBLE FOR PREPARING WALLS AND MINOR PATCHING (IN ADDITION TO SPECIFIC PATCHING AS NOTED). ALL EXISTING DOOR FRAMES SHALL BE REPAINTED. PREPARE EXISTING FRAMES PRIOR TO PAINTING.
- ALL ELECTRICAL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL CONFORM TO LOCAL BUILDING CODES, RULES, AND REGULATIONS. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH WORK.
- ALL OVERHEAD LIGHTING IN LIVING SPACES, BEDROOMS, AND OFFICES ON DIMMER SWITCHES.
- POWER AND DATA OUTLETS TO BE COORDINATED BY CONTRACTOR AND OWNER. FLOOR OUTLETS SHOULD BE COORDINATED PRIOR TO POURING THE LEVEL 01 SLAB.

CLIENT
ZACH AND COURTNEY BUTLER

CLIENT ADDRESS
9 CREATVIEW CIRCLE



PROJECT
BUTLER RESIDENCE

PROJECT ADDRESS
9 CREATVIEW CIRCLE

DRAWING TITLE
SHOP PLANS

REV	DATE	NOTES
	1/22/21	

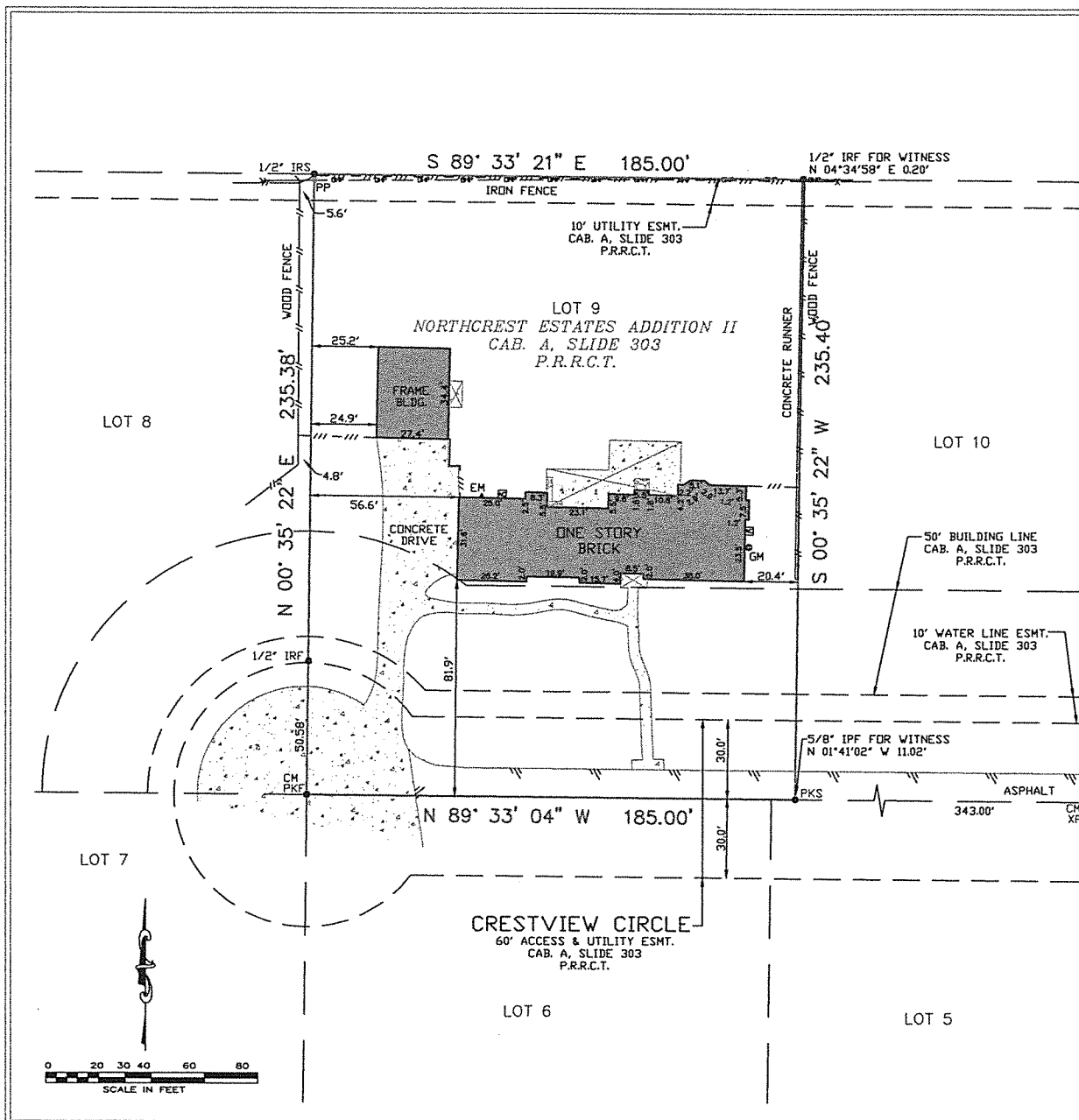
DRAWN BY
JCB

CHECKED BY
JCB

JOB NO

STATUS
PRICING

DRAWING NO
A2.02



LEGAL DESCRIPTION

Being Lot 9, of Northcrest Estates Addition II, an addition to Rockwall County, Texas, according to the plat recorded in Cabinet A, Slide 303, Plat Records, Rockwall County, Texas.

I, Wayne Beets II, Registered Professional Land Surveyor do hereby declare that the map shown hereon accurately represents the property as determined by an on-the-ground survey made under my direct supervision, and correctly shows the boundary lines and dimensions of the property indicated hereon. There are no visible conflicts, encroachments, or protrusions, except as shown hereon and said property has access to a public roadway. All easements and rights-of-way that the surveyor has knowledge of or has been advised of on the referenced plat or deed of record are shown or noted hereon. This survey is for the exclusive use of Zachary Butler, Courtney Butler, First National Bank, Old Republic National Title Insurance Company, and Allegiance Title Company, under G.F. No. 1775328A-10GH, dated January 17, 2018. Use of this survey by any other parties and/or purposes shall be at the user's own risk, and any loss resulting from other use and/or parties shall not be the responsibility of the undersigned and/or this firm. This survey is not valid without a seal and signature.

Flood Statement:
The property is shown as being located in Zone X by Flood Insurance Rate Map No. 48397C0035L, dated September 26, 2008. It is not shown as being located in a Special Flood Hazard Area Inundated by 100-Year Flood.

Notes:
1) Bearings are based on NAD83, Texas North Central Zone No. 4202, obtained by GPS observations.
2) This property is subject to the following restrictive covenants recorded in Vol. 107, Pg. 377 and Vol. 107, Pg. 407, R.P.R.R.C.T.
3) All set iron rods have a yellow cap stamped "BY-LINE".

BY: *Wayne Beets*
WAYNE BEETS II
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6039



LEGEND

CM = CONTROL MONUMENT
IRF = IRON ROD FOUND
RS = IRON ROD SET
IPF = IRON PIPE FOUND
IPS = IRON PIPE SET
600F = 600 NAIL FOUND
600S = 600 NAIL SET
PKF = PK NAIL FOUND
X = "X" FOUND IN CONCRETE
XS = "X" SET IN CONCRETE
EM = ELECTRIC METER
AC = AIR CONDITIONER PAD
PP = POWER POLE
OHP = OVERHEAD POWER LINE
WM = WATER METER
FH = FIRE HYDRANT
PE = POOL EQUIPMENT
GM = GAS METER
CP = CABLE PED.
TP = TELEPHONE PED.

ADDRESS:

9 CRESTVIEW CIRCLE
ROCKWALL, TEXAS

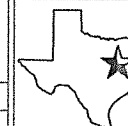
DATE: 01/31/2018

SCALE: 1" = 40'

JOB NO.: 2018-082

CLIENT: ALLEGIANCE TITLE

TECHNICIAN: JDJ



**BY-LINE
SURVEYING LLC**
1983 Rs. Co. Rd. 1300
Emory, Tx 75440
Ph: (903) 473-5150
Firm No: 10194233
www.bylinesurveying.com

©Copyright By-Line Surveying LLC. All rights reserved.

Wayne Beets

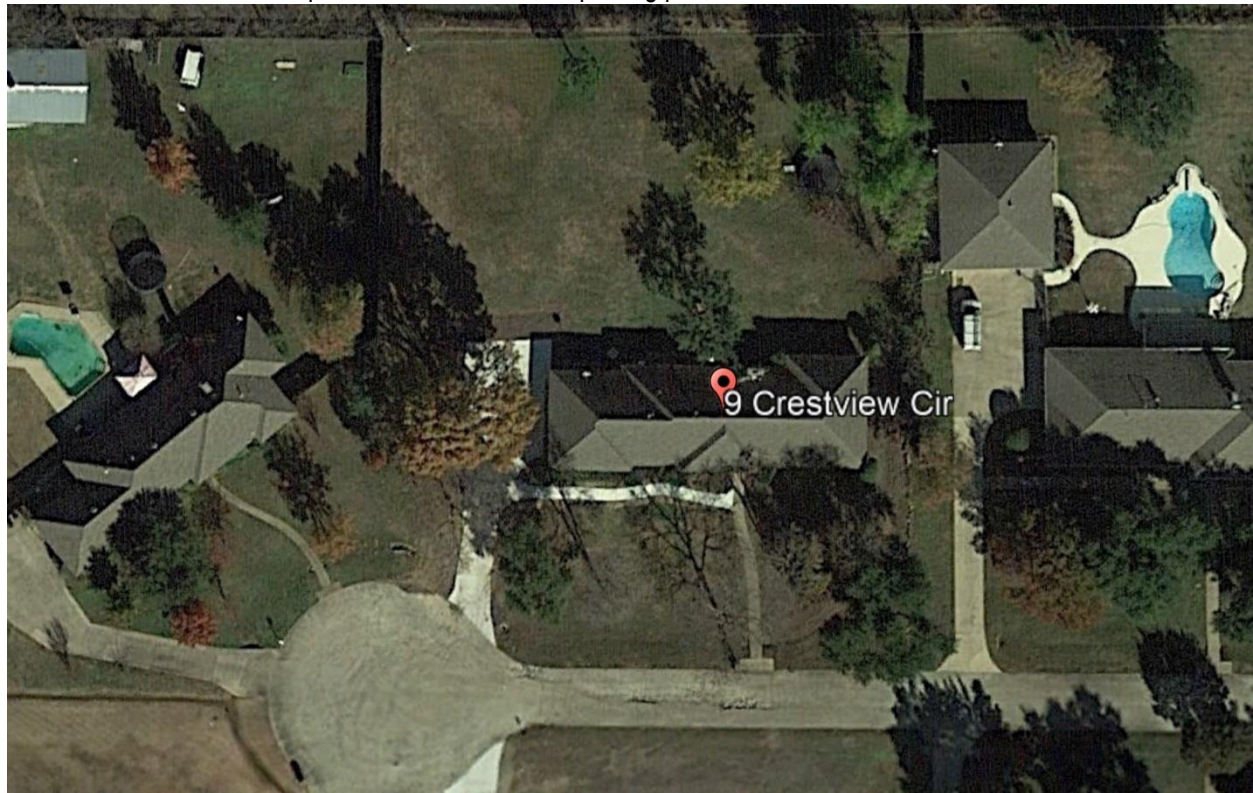
Courtney Butler

Accessory Building Analysis

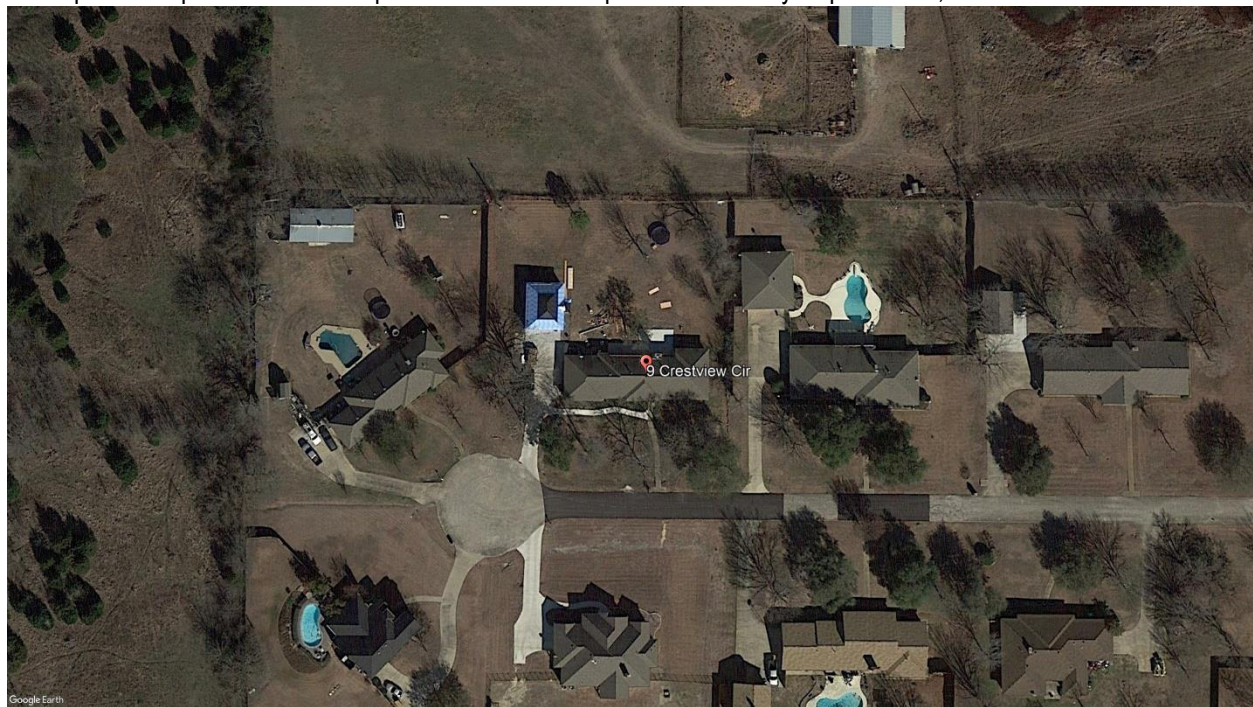
Address	Type	Size
1 Crestview Circle	Detached Garage	660
2 Crestview Circle	Detached Garage	1,064
	Shed	80
3 Crestview Circle	Detached Garage	650
4 Crestview Circle	N/A	
5 Crestview Circle	Detached Garage	720
6 Crestview Circle	Detached Garage	625
7 Crestview Circle	Shed	120
8 Crestview Circle	Barn	1,350
	Shed	120
Subject Property	Detached Garage	1,050
10 Crestview Circle	Detached Garage	1,750
11 Crestview Circle	Detached Garage	480
12 Crestview Circle	Detached Garage	960
13 Crestview Circle	Detached Garage	2,000
	831 Average	
	690 Median	

August 12, 2014 – The applicant purchased the subject property.

December 1, 2015 - New unpermitted concrete drive, parking pad, and sidewalk constructed.



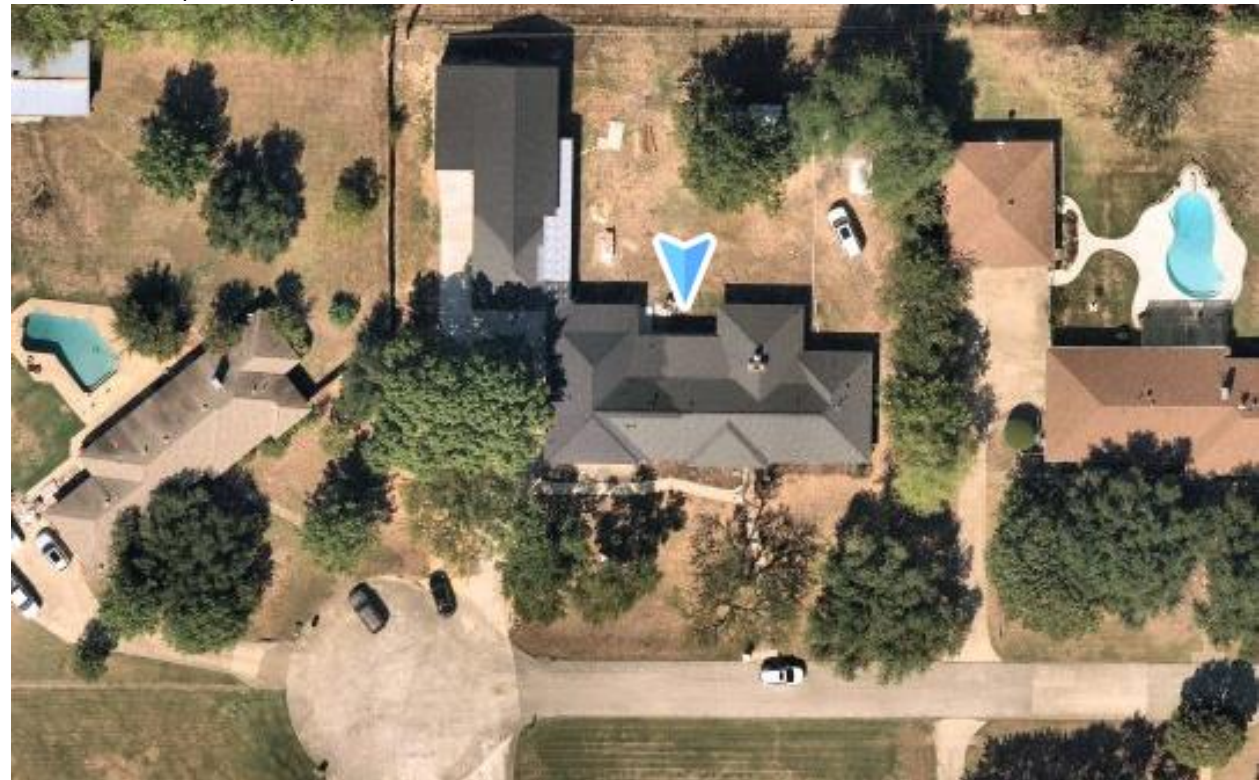
January 27, 2017 – Unpermitted expansion of driveway, mid-construction of the unpermitted detached garage, and the unpermitted pad for a home expansion and covered patio. Finished by September 6, 2017.



September 7, 2019 – Unpermitted sidewalk between covered patio and driveway.



September 29, 2023 – Unpermitted addition to detached garage, unpermitted driveway expansion unpermitted home addition, and unpermitted patio cover.



October 20, 2023 – Contractor applies for electrical permit (Permit No. RES2023-5225).

December 6, 2023 – Staff issued a Stop Work Order.

December 14, 2023 – Applicant applies for Residential Building Permit (Permit No. RES2023-6181).

December 15, 2023 – Staff follow up after stop work order. Work had continued and electrician on site at time of follow up.



January 16, 2024 – Work appears to be complete; however, equipment appears to be on the property.



January 19, 2024 – Applicant applies for Specific Use Permit (SUP).

Search...

Lee, Henry ▾

PLL Inbox Cases & Permits Search Cases & Permits Reports Recents Task Manager GIS Search License Renewals

Message Queue Search

Drag a column header and drop it here to group by that column

<input type="checkbox"/>	Number	Type	Type Description	SubType	SubType Description	Tag	Location
<input type="checkbox"/>	C-2663	BPCOMMERC	Commercial Building Permit	BPSIGN	Sign Permit		Crestview
<input type="checkbox"/>	C-3060	BPRESIDENT	Residential Building Permit	BPIRRIGATI	Irrigation Permit		Crestview
<input type="checkbox"/>	CE2010-1658	CODE	Code Enforcement	CEVEHICLE	Vehicle	TRAILER PARKED IN PUBLIC VIEW	1 Crestview
<input type="checkbox"/>	CE2008-0011	CODE	Code Enforcement	CEZONING	Zoning		1 Crestview
<input type="checkbox"/>	BLD2017-2165	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	water heater replacement	1 Crestview
<input type="checkbox"/>	BLD2017-2203	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	replacing the 2nd water heater in garage	1 Crestview
<input type="checkbox"/>	BLD2017-2694	BPRESIDENT	Residential Building Permit	BPCONCRETE	Concrete Permit	REPLACE PART OF DRIVEWAY	1 Crestview
<input type="checkbox"/>	BLD2013-1039	BPRESIDENT	Residential Building Permit	BPROOF	Roofing Permit	RE-DECKING & SHINGLES	1 Crestview
<input type="checkbox"/>	RES2023-4842	BPRESIDENT	Residential Building Permit	BPROOF	Roofing Permit	reroof	1 Crestview
<input type="checkbox"/>	RES2023-1752	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	Water Heater replacement	10 Crestview
<input type="checkbox"/>	RES2023-1775	BPRESIDENT	Residential Building Permit	BPMCHANIC	Mechanical Permit	HVAC MECHANICAL FINAL	11 Crestview
<input type="checkbox"/>	CE2010-1918	CODE	Code Enforcement	CEVEHICLE	Vehicle	RED TRAILER	12 Crestview
<input type="checkbox"/>	BLD2004-2629	BPRESIDENT	Residential Building Permit	BPACCBLD	Accessory Building Permit	Detached Garage	12 Crestview
<input type="checkbox"/>	Z2004-030	PZZONING	P&Z Zoning	PZSUP	Specific Use Permit	J. Ford (Lot 12, Northcrest Estates #2)	12 Crestview
<input type="checkbox"/>	PLB2011-0225	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	GAS WATER HEATER	12 Crestview
<input type="checkbox"/>	BLD2010-0189	BPRESIDENT	Residential Building Permit	BPFENCE	Fence Permit	5' BLACK CHAIN LINK W/ 2 GATES & 8' WROUGHT IRON FENCE	12 Crestview
<input type="checkbox"/>	RES2023-5799	BPRESIDENT	Residential Building Permit	BPGENERATO	Generator	Install a 24kW home standby generator with a 200 ATS with a connection to gas line	12 Crestview
<input type="checkbox"/>	FF2013-005	HISTMISC	Historical Misc			48" WROUGHT IRON LOT 13 & 14	13 Crestview
<input type="checkbox"/>	BLD2016-1318	BPRESIDENT	Residential Building Permit	BPELECTRIC	Electrical Permit	INSTALL METER SOCKET AND 100 AMP ELEC SERV ON ACC. BLD.	13 & 14 Crestview
<input type="checkbox"/>	BLD2013-1687	BPRESIDENT	Residential Building Permit	BPFENCE	Fence Permit	8' PRIVACY FENCE ' & 48' ORN. ALUM. FENCE	13 & 14 Crestview
<input type="checkbox"/>	CE2012-3545	CODE	Code Enforcement	CEPROPMAIN	Property Maintenance	Prop/Main/Paint	13 Crestview
<input type="checkbox"/>	BLD2016-2179	BPRESIDENT	Residential Building Permit	BPCARPORT	Carport Permit	38 x 13 DETACHED CARPORT	13 Crestview
<input type="checkbox"/>	P2018-030	PZPLATAPP	P&Z Plats	PZREPLAT	Replat	13 Crestview Circle	13 Crestview
<input type="checkbox"/>	BLD2019-0003	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	Water heater	13 Crestview
<input type="checkbox"/>	BLD2012-2577	BPRESIDENT	Residential Building Permit	BPADDITION	Addition	ENCLOSED ACCESSORY BUILDING PORCH	13 Crestview
<input type="checkbox"/>	BLD2018-4083	BPRESIDENT	Residential Building Permit	BPELECTRIC	Electrical Permit	Adding 125 amp svc to barn	13 Crestview
<input type="checkbox"/>	BLD2014-1824	BPRESIDENT	Residential Building Permit	BPFENCE	Fence Permit	48" WROUGHT IRON LOT 13 & 14	13 Crestview
<input type="checkbox"/>	BLD2016-1232	BPRESIDENT	Residential Building Permit	BPADDITION	Addition	RV CARPORT	14 Crestview
<input type="checkbox"/>	RES2020-2859	BPRESIDENT	Residential Building Permit	BPELECTRIC	Electrical Permit	PANEL CHANGEOUT	2 Crestview
<input type="checkbox"/>	CE2010-1657	CODE	Code Enforcement	CEVEHICLE	Vehicle	trailer parked in public view	3 Crestview
<input type="checkbox"/>	BLD2018-0110	BPRESIDENT	Residential Building Permit	BPCONCRETE	Concrete Permit	DRIVEWAY & APPROACH FLATWORK	3 Crestview

1

	Number	Type	Type Description	SubType	SubType Description	Tag	Locati
<input type="checkbox"/>	BLD2017-2071	BPRESIDENT	Residential Building Permit	BPPOOL	Pool	INGROUND POOL	3 CRE!
<input type="checkbox"/>	BLD2019-0156	BPRESIDENT	Residential Building Permit	BPCONCRETE	Concrete Permit	Driveway and Approach Addition	3 CRE!
<input type="checkbox"/>	BLD2013-1860	BPRESIDENT	Residential Building Permit	BPFENCE	Fence Permit	6' WOOD FENCE WITH METAL POSTS	3 CRE!
<input type="checkbox"/>	BLD2013-1861	BPRESIDENT	Residential Building Permit	BPACCBLD	Accessory Building Permit	ADDITION TO EXISTING STORAGE BUILDING	3 CRE!
<input type="checkbox"/>	CE2010-1656	CODE	Code Enforcement	CEZONING	Zoning	BOAT PARKED IN PUBLIC VIEW	4 CRE!
<input type="checkbox"/>	BLD2016-1814	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	40 GAL GAS WATER HEATER IN GARAGE	4 CRE!
<input type="checkbox"/>	RES2020-3579	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	Replacing 40g gas w/h in hall closet	4 CRE!
<input type="checkbox"/>	CE2016-2862	CODE	Code Enforcement	CETRASH	Trash	Trash in the front.	5 CRE!
<input type="checkbox"/>	CE2016-2856	CODE	Code Enforcement	CEVEHICLE	Vehicle	Junk vehicle.	5 CRE!
<input type="checkbox"/>	CE2016-2861	CODE	Code Enforcement	CEHGANUAL	HG Annual Notice	HG/weeds.	5 CRE!
<input type="checkbox"/>	RES2020-4013	BPRESIDENT	Residential Building Permit	BPRTNWALL	Retaining Wall Permit	RETAINING WALL & FENCE	5 CRE!
<input type="checkbox"/>	BLD2017-0596	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	REPLACE 40 GAL GAS WATER HEATER IN HALL CLOSET	5 CRE!
<input type="checkbox"/>	BLD2017-3000	BPRESIDENT	Residential Building Permit	BPMECHANIC	Mechanical Permit	A/C change out- condenser & coils	5 CRE!
<input type="checkbox"/>	BLD2017-2308	BPRESIDENT	Residential Building Permit	BPROOF	Roofing Permit	Re-Roof (Shingles Only)	5 CRE!
<input type="checkbox"/>	REG-005322	BPMECHANIC	Mechanical Contractor Registration			Martin Heating & Air, LLC	5 CRE!
<input type="checkbox"/>	RES2022-6255	BPRESIDENT	Residential Building Permit	BPPLUMBING	Plumbing Permit	Replace sewer service (main) - up to 20' & replace sewer service - up to 140'	5 CRE!
<input type="checkbox"/>	CE2014-1326	CODE	Code Enforcement	CEPROPMAIN	Property Maintenance		6 CRE!
<input type="checkbox"/>	CE2014-1977	CODE	Code Enforcement	CEHGANUAL	HG Annual Notice		6 CRE!
<input type="checkbox"/>	CE2015-2404	CODE	Code Enforcement	CEEROSION	Erosion Control	mud drained into neighbors grass and in drainage ditch.	6 CRE!
<input type="checkbox"/>	RES2022-1777	BPRESIDENT	Residential Building Permit	BPACCBLD	Accessory Building Permit	Detached Garage 25'x25' with concrete pad & extended driveway	6 CRE!
<input type="checkbox"/>	BLD2015-0475	BPRESIDENT	Residential Building Permit	BPNEWCON	New Construction	NEW SINGLE FAMILY*Not on city water or sewer.	6 CRE!
<input type="checkbox"/>	ELE2015-0042	BPRESIDENT	Residential Building Permit	BPELECTRIC	Electrical Permit	STANBY GENERATOR	7 CRE!
<input type="checkbox"/>	BLD2011-0957	BPRESIDENT	Residential Building Permit	BPWNDWDR	Window & Door Permit	REPLACE 7 EXISTING WINDOWS & 2 EXISTING DOORS	7 CRE!
<input type="checkbox"/>	CE2010-1650	CODE	Code Enforcement	CEVEHICLE	Vehicle	TRAILER PARKED ON STREET	8 CRE!
<input type="checkbox"/>	CE2010-1652	CODE	Code Enforcement	CEPROPMAIN	Property Maintenance	PILE OF BRICKS IN FRONT OF HOUSE	9 CRE!
<input type="checkbox"/>	CE2010-1653	CODE	Code Enforcement	CEPROPMAIN	Property Maintenance	TRAILER PARKED IN PUBLIC VIEW	9 CRE!
<input type="checkbox"/>	Z2024-004	PZZONING	P&Z Zoning	PZSUP	Specific Use Permit	SUP for an Accesory Building at 9 Crestview Circle	9 CRE!
<input type="checkbox"/>	RES2023-6181	BPRESIDENT	Residential Building Permit	BPADDITION	Addition	Expanding Existing Garage by 1500 sf	9 CRE!
<input type="checkbox"/>	RES2023-5225	BPRESIDENT	Residential Building Permit	BPELECTRIC	Electrical Permit	Relocate electric service and install new meter base. Run electric to new DT gar	9 CRE!
<input type="checkbox"/>	PZ1998-88-1	PZPLATAPP	P&Z Plats	PZFINALPLA	Final Plat	Crestview 3 (Final)	Crestv
<input type="checkbox"/>	PZ1998-88-2	HISTMISC	Historical Misc			Crestview 3	Crestv
<input type="checkbox"/>	CE2021-3331	CODE	Code Enforcement	CEHGANUAL	HG Annual Notice	HG	CREST
<input type="checkbox"/>	C-1611	BPRESIDENT	Residential Building Permit	BPREMODEL	Remodel		Crestv
<input type="checkbox"/>	Z2004-026	PZZONING	P&Z Zoning	PZZONINGCH	Zoning Change	(Ag) to Single-Family (various)	FM 54
<input type="checkbox"/>	PZ2000-23-1	PZPLATAPP	P&Z Plats	PZREPLAT	Replat	Crestview 3 (Replat)	Severc

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *DETACHED GARAGE AND CARPORT* ON A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 9 OF THE NORTHCREST ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Zach Butler for the approval of a Specific Use Permit (SUP) for a *Detached Garage and Carport* on a one (1) acre parcel of land, addressed as 9 Crestview Circle, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* and a *Carport* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, Subsection 03.06, *Single-Family 16 (SF-16) District*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* and *Carport* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a *Detached Garage* and *Carport* on the *Subject Property* shall generally conform to the *Building Elevations and Building Plans* depicted in *Exhibit 'C'* of this ordinance.
- (3) The *Carport* shall not exceed a maximum building footprint or size of 600 SF.
- (4) The maximum height of the *Detached Garage* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
- (5) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (6) All of the unpermitted improvements on the subject property must be either permitted or removed within three (3) months (*i.e. 90-days*) after the approval of this Specific Use Permit (SUP) (*i.e. the applicant has until June 2, 2024*).

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF MARCH, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 20, 2024

2nd Reading: March 4, 2024

Exhibit 'A'
Location Map and Legal Description

Address: 9 Crestview Circle

Legal Description: Lot 9 of the Northcrest Estates #2 Addition



⑤

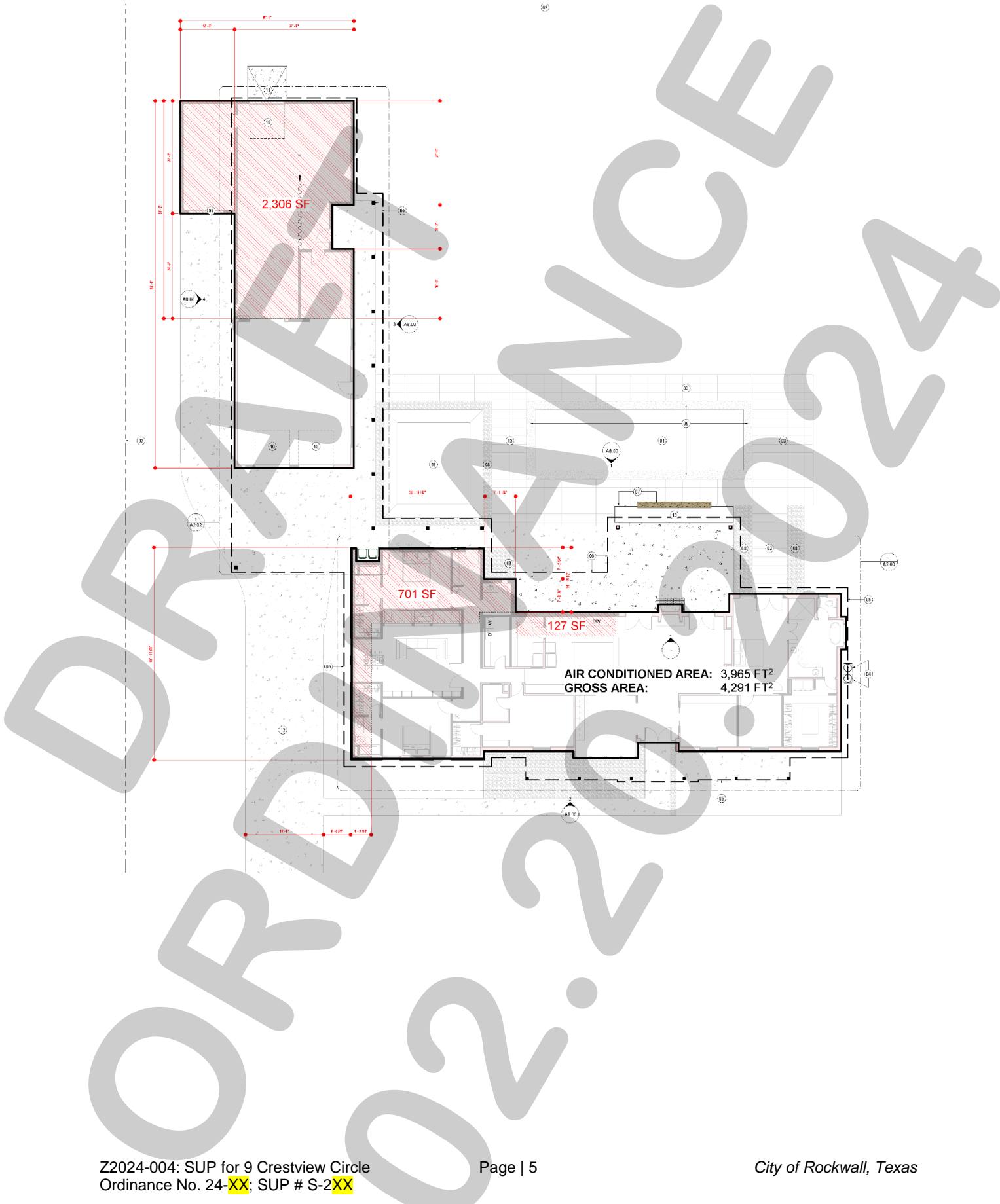
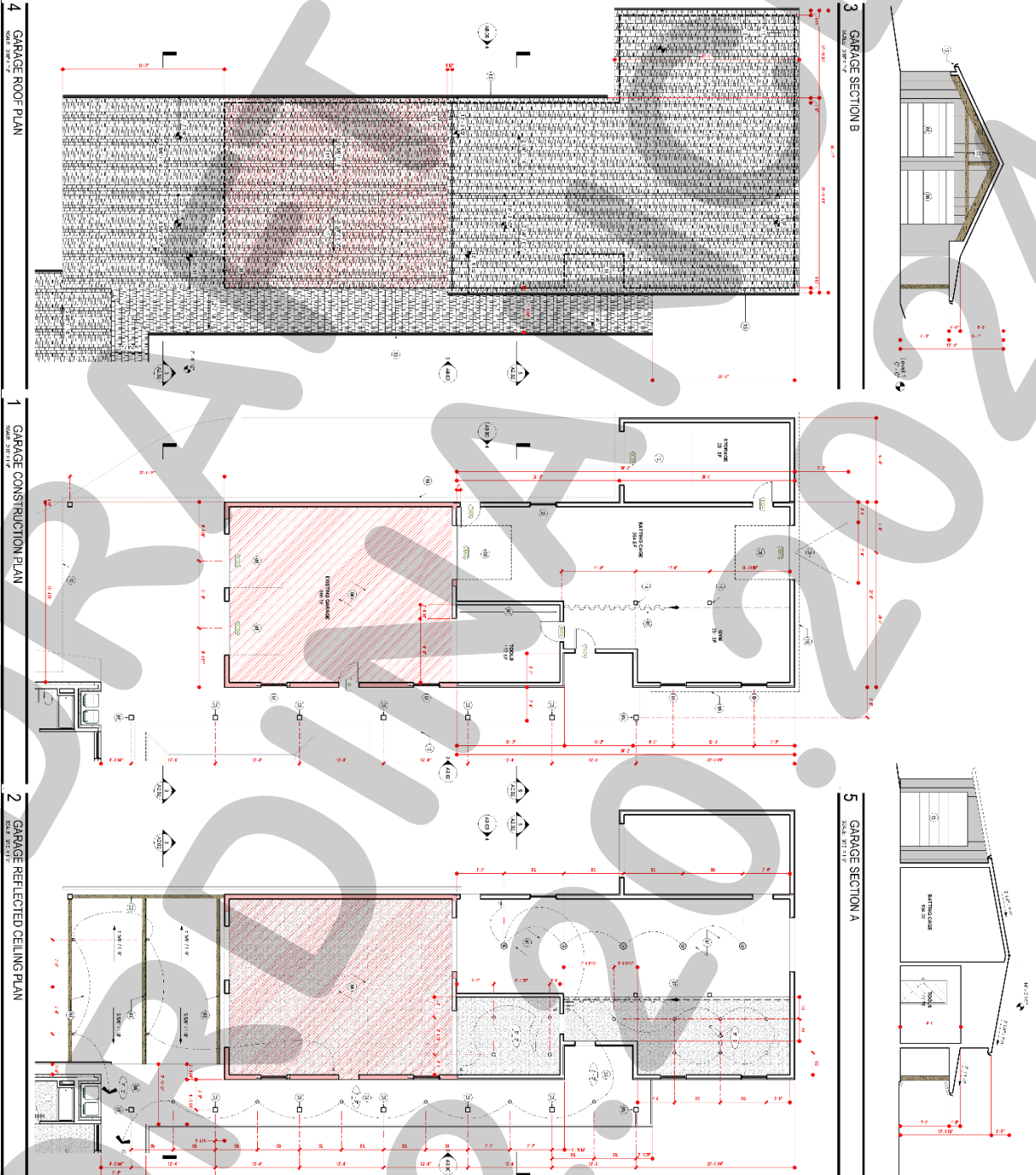


Exhibit 'C':
Building Elevations & Building Plans





CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

CC: Mary Smith, *City Manager*
Joey Boyd, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: March 4, 2024

SUBJECT: Z2024-004; *Specific Use Permit (SUP) for an Accessory Building for 9 Crestview Circle*

On February 20, 2024, the City Council approved a motion to approve Case No. Z2024-004 by a vote of 5-0, with Mayor Johannesen and Councilmember Thomas absent. As part of the motion, Councilmember McCallum requested that an additional *Operational Condition* be included in the ordinance requiring the applicant to bring the Specific Use Permit (SUP) back for consideration after building permits for the unpermitted improvements were approved. Mr. McCallum also conditioned the motion to require that the *Stop Work Order* remained in effect until after the reconsideration of the Specific Use Permit (SUP). In accordance with this motion, staff has amended the Specific Use Permit (SUP) ordinance removing the *Carport -- which can be requested when the applicant brings the request back to the City Council after permitting --*, and adding the following *Operational Conditions*:

- (1) The *Stop Work Order* shall remain in place for the *Detached Garage* until all the unpermitted improvements on the *Subject Property* have permitted by the City of Rockwall and the applicant has submitted and been approved for a subsequent Specific Use Permit (SUP) for the *Detached Garage* and *Carport*.
- (2) If the applicant fails to submit the building permits for this Specific Use Permit (SUP) within 90-days of the approval date of this ordinance (*i.e. June 2, 2024*), this Specific Use Permit shall expire.
- (3) This Specific Use Permit (SUP) shall expire 180-days after the approval of this ordinance (*i.e. the applicant has until August 31, 2024*).

A copy of the updated draft ordinance has been attached to the memorandum for the City Council's review. Should the City Council have any questions concerning the updated ordinance, staff will be available at the March 4, 2024 City Council meeting.

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *DETACHED GARAGE* ON A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 9 OF THE NORTHCREST ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Zach Butler for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a one (1) acre parcel of land, addressed as 9 Crestview Circle, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, Subsection 03.06, *Single-Family 16 (SF-16) District*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Detached Garage* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations and Building Plans* depicted in *Exhibit 'C'* of this ordinance.
- (3) The maximum height of the *Detached Garage* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
- (4) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (5) The *Stop Work Order* shall remain in place for the *Detached Garage* until all the unpermitted improvements on the *Subject Property* have permitted by the City of Rockwall and the applicant has submitted and been approved for a subsequent Specific Use Permit (SUP) for the *Detached Garage* and *Carport*.
- (6) If the applicant fails to submit the building permits for this Specific Use Permit (SUP) within 90-days of the approval date of this ordinance (*i.e. June 2, 2024*), this Specific Use Permit shall expire.
- (7) This Specific Use Permit (SUP) shall expire 180-days after the approval of this ordinance (*i.e. the applicant has until August 31, 2024*).

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF MARCH, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 20, 2024

2nd Reading: March 4, 2024

Exhibit 'A'
Location Map and Legal Description

Address: 9 Crestview Circle

Legal Description: Lot 9 of the Northcrest Estates #2 Addition



Exhibit 'B':
Site Plan

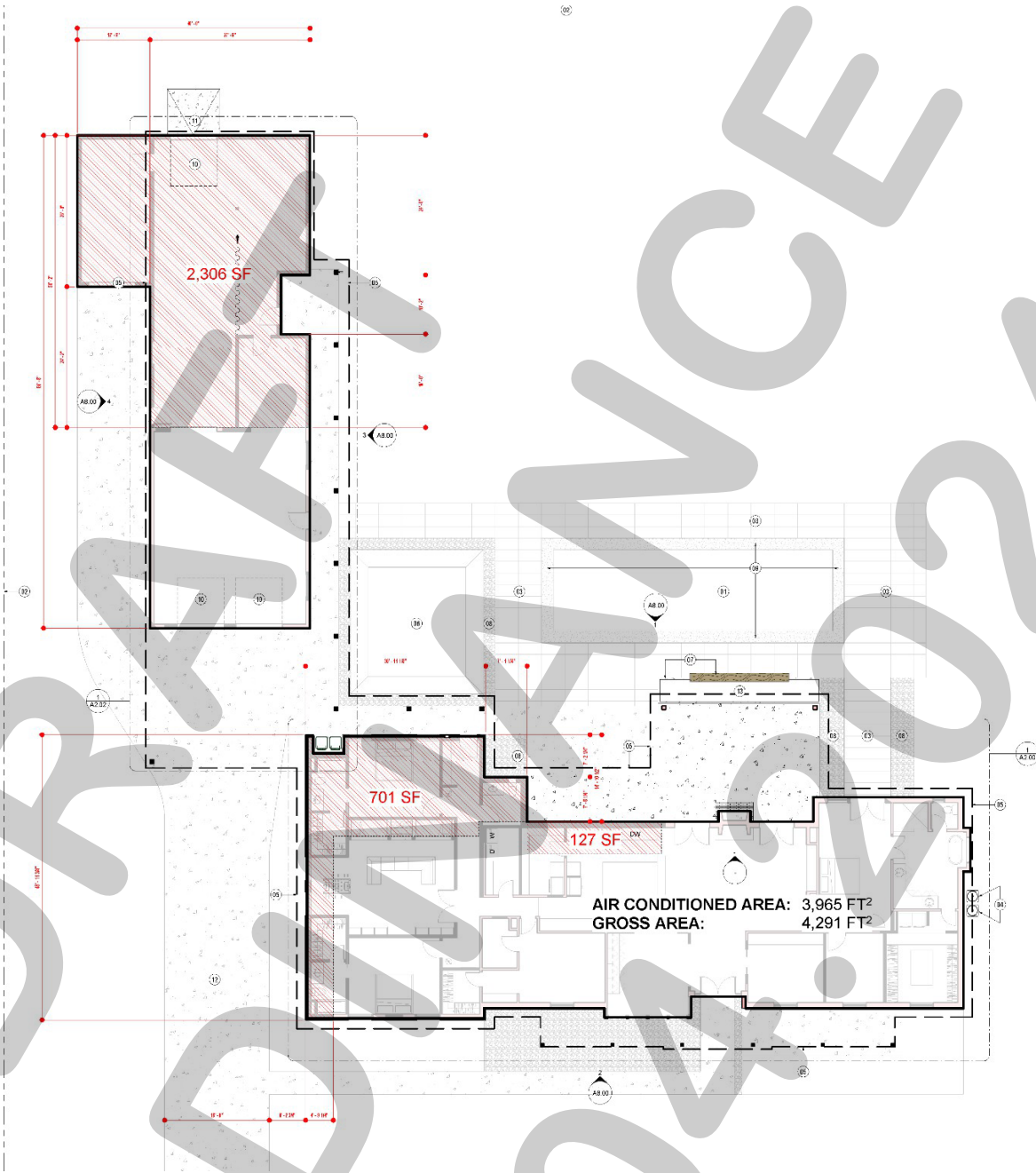
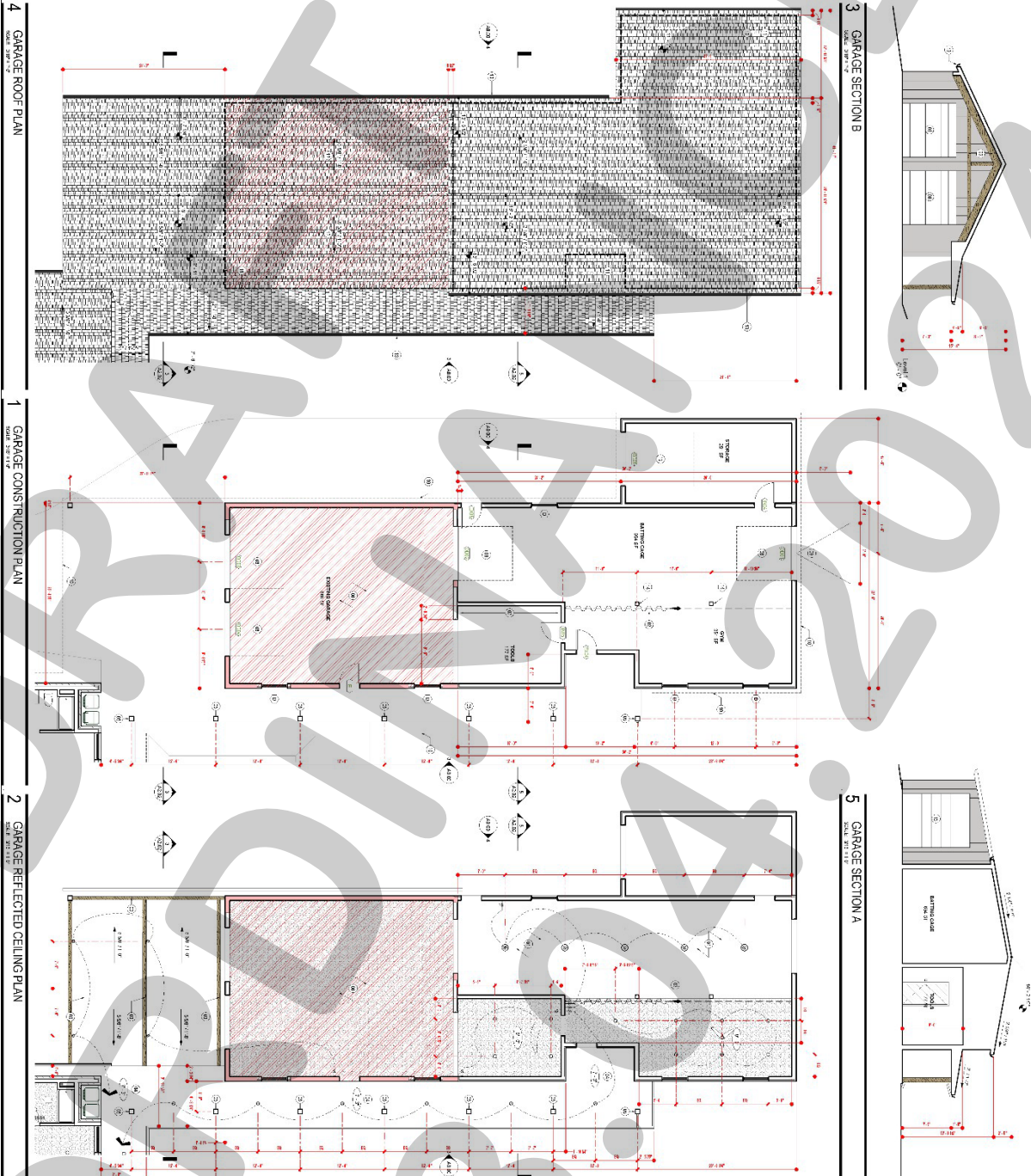


Exhibit 'C':
Building Elevations & Building Plans





DATE: April 10, 2024

TO: Zach Butler
9 Crestview Circle
Rockwall, TX 75087

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2024-004; *Specific Use Permit (SUP) for an Accessory Building and Carport at 9 Crestview Circle*

Zach:

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on March 4, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant is responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in 'Exhibit 'B' of this ordinance.
 - (b) The construction of a *Detached Garage* and *Carport* on the *Subject Property* shall generally conform to the *Building Elevations and Building Plans* depicted in *Exhibit 'C'* of this ordinance.
 - (c) The *Carport* shall not exceed a maximum building footprint or size of 600 SF.
 - (d) The maximum height of the *Detached Garage* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
 - (e) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
 - (f) All of the unpermitted improvements on the subject property must be either permitted or removed within three (3) months (*i.e. 90-days*) after the approval of this Specific Use Permit (SUP) (*i.e. the applicant has until June 2, 2024*).

Planning and Zoning Commission

On February 13, 2024, the Planning and Zoning Commission approved a motion to approve the SUP by a vote of 4-1, with Commissioner Womble dissenting, and Commissioners Thompson and Hustings absent.

City Council

On February 20, 2024, the City Council approved a motion to approve the SUP with conditions by a vote of 4-1, with Council Member Jorif dissenting. The conditions being that the Stop Work Order remain in place, and the applicant must return to the City Council for reevaluation once all the unpermitted improvements on the subject property have been approved.

On March 4, 2024, the City Council approved a motion to approve the zoning change by a vote of 5-1, with Council Member Jorif dissenting, and Council Member McCallum absent.

Included with this letter is a copy of Ordinance No. 24-09, S-327, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6434.

Sincerely,

A handwritten signature in black ink, appearing to read "Henry Lee", is written over the typed name.

Henry Lee, AICP, *Senior Planner*

City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 24-09

SPECIFIC USE PERMIT NO. S-327

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *DETACHED GARAGE* ON A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 9 OF THE NORTHCREST ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Zach Butler for the approval of a Specific Use Permit (SUP) for a *Detached Garage* on a one (1) acre parcel of land, addressed as 9 Crestview Circle, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, Subsection 03.06, *Single-Family 16 (SF-16) District*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Detached Garage* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations and Building Plans* depicted in *Exhibit 'C'* of this ordinance.
- (3) The maximum height of the *Detached Garage* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
- (4) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (5) The *Stop Work Order* shall remain in place for the *Detached Garage* until all the unpermitted improvements on the *Subject Property* have permitted by the City of Rockwall and the applicant has submitted and been approved for a subsequent Specific Use Permit (SUP) for the *Detached Garage* and *Carport*.
- (6) If the applicant fails to submit the building permits for this Specific Use Permit (SUP) within 90-days of the approval date of this ordinance (*i.e. June 2, 2024*), this Specific Use Permit shall expire.
- (7) This Specific Use Permit (SUP) shall expire 180-days after the approval of this ordinance (*i.e. the applicant has until August 31, 2024*).

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

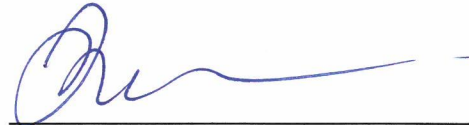
SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF MARCH, 2024.**




Trace Johannesen, Mayor

ATTEST:


Kristy Teague, City Secretary

APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: February 20, 2024

2nd Reading: March 4, 2024

Exhibit 'A'
Location Map and Legal Description

Address: 9 Crestview Circle

Legal Description: Lot 9 of the Northcrest Estates #2 Addition

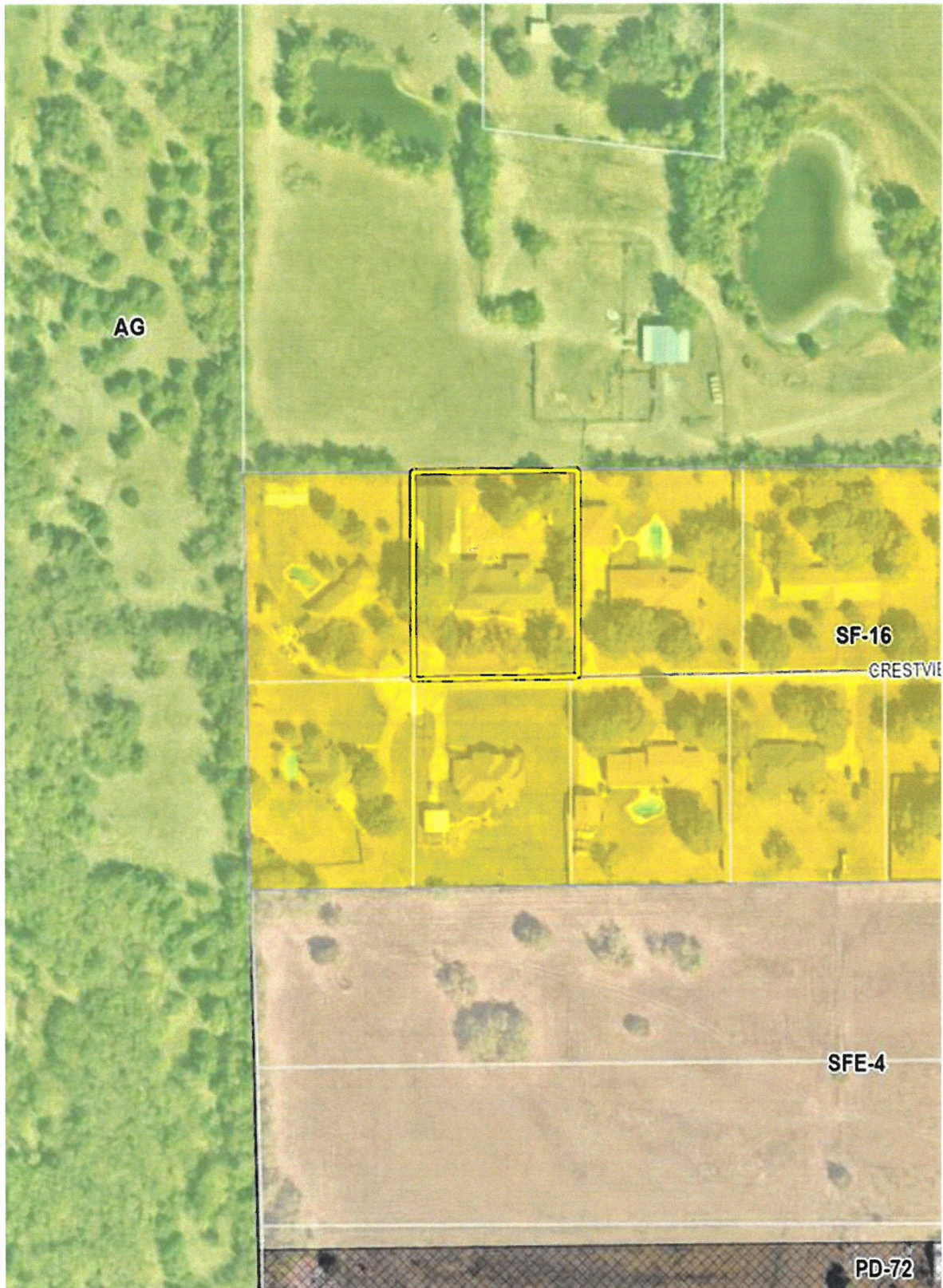


Exhibit 'B':
Site Plan

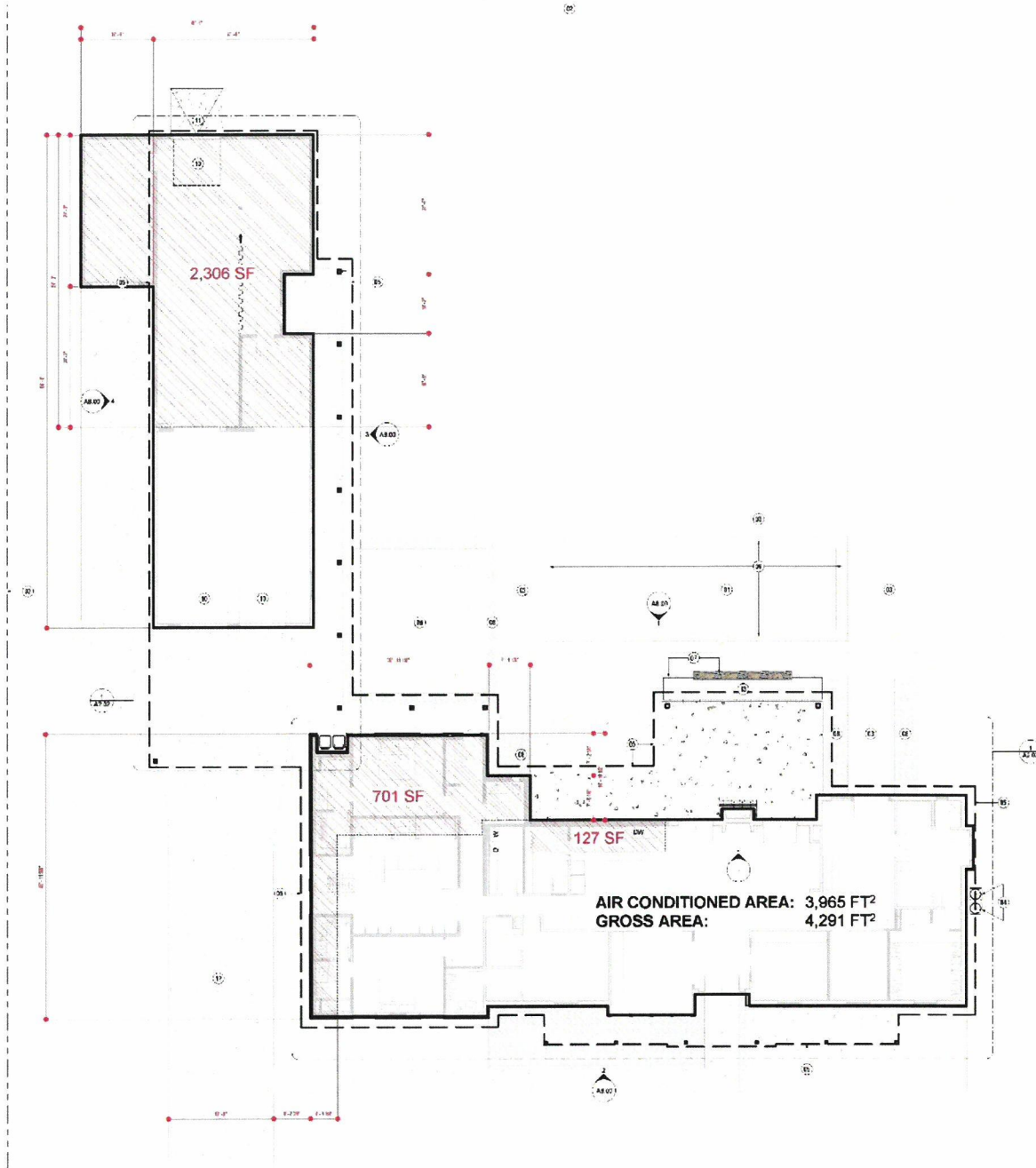


Exhibit 'C': *Building Elevations & Building Plans*

