



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS 0 Evans Road Rockwall TX 75032

SUBDIVISION \_\_\_\_\_ LOT 1179 BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING Residential CURRENT USE \_\_\_\_\_

PROPOSED ZONING Residential PROPOSED USE \_\_\_\_\_

ACREAGE 0.2 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

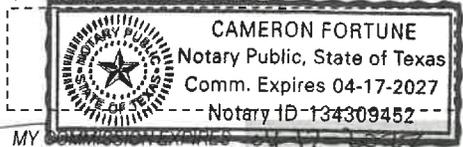
|                                |                                |                                               |                                     |
|--------------------------------|--------------------------------|-----------------------------------------------|-------------------------------------|
| <input type="checkbox"/> OWNER | <u>Shirley Soto</u>            | <input checked="" type="checkbox"/> APPLICANT | <u>Projects &amp; Constructions</u> |
| CONTACT PERSON                 | _____                          | CONTACT PERSON                                | <u>PAUL ARCE Araque</u>             |
| ADDRESS                        | <u>453 Lynn @ Dr</u>           | ADDRESS                                       | <u>18601 LBJ Fwy</u>                |
|                                |                                |                                               | <u>SUITE 250</u>                    |
| CITY, STATE & ZIP              | <u>Rockwall TX 75032</u>       | CITY, STATE & ZIP                             | <u>MESQUITE TX 75150</u>            |
| PHONE                          | <u>(903) 985-1425</u>          | PHONE                                         | <u>(972) 365-6823</u>               |
| E-MAIL                         | <u>shirleysoto@hotmail.com</u> | E-MAIL                                        | <u>projectsaraque41@gmail.com</u>   |

**NOTARY VERIFICATION [REQUIRED]**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shirley Soto [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 219 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2024.  
OWNER'S SIGNATURE Shirley Soto



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Cameron Fortune MY COMMISSION EXPIRES 04-17-2027

1/2" IRF FOR WITNEES  
S 25°28'38" W 1'-45"

NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

0'-1" OFF

3/8" IRF FOR WITNEES  
N 0°35'53"

N 00°30'00" W 120'-00"

N 89°30'00" E 90'-00"

S 00°30'00" E 120'-00"

**NEW HOUSE  
PROPOSED  
3.306 SG/FT**

15'-0"  
**PROPOSED  
PORCH COVER**

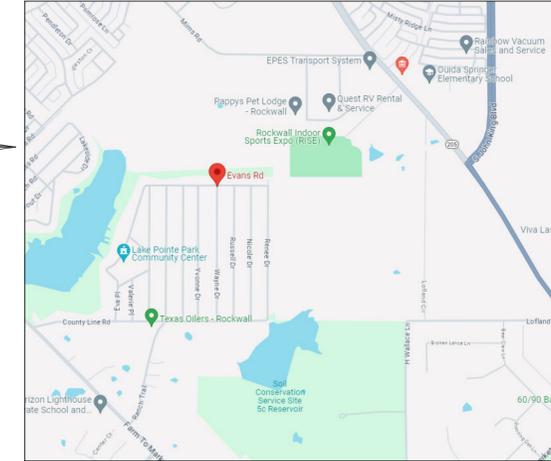
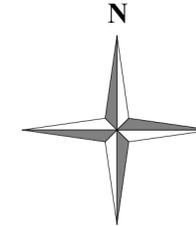
14'-10"  
**PROPOSED  
PATIO COVER**

FRAME  
SHED NO  
FOUNDATION

DRIVEWAY

WALKING

S 89°30'00" W 90'-00"



VICINITY MAP

**EVANS ROAD  
LOT 1179**

|                               |                      |
|-------------------------------|----------------------|
| Proposed Floor Plan           | 2,417.5 SG/FT        |
| <b>Total New Construction</b> | <b>2,417.5 SG/FT</b> |
| Proposed Garage               | 469.4 SG/FT          |
| Proposed Porch Cover          | 75 SG/FT             |
| Proposed Patio Cover          | 344.1 SG/FT          |
| <b>Total New Construction</b> | <b>3,306 SG/FT</b>   |
| Lot                           | 1179                 |
| Country                       | Dallas               |
| City                          | Rockwall             |
| Lot Area                      | <b>0.2 ACRES</b>     |
| Max Lot Coverage              | 35%                  |
| Lot Coverage                  | 65%                  |

**1 Site Plan**  
1" = 10'-0"

**EVANS ROAD**  
50' R.O.W.



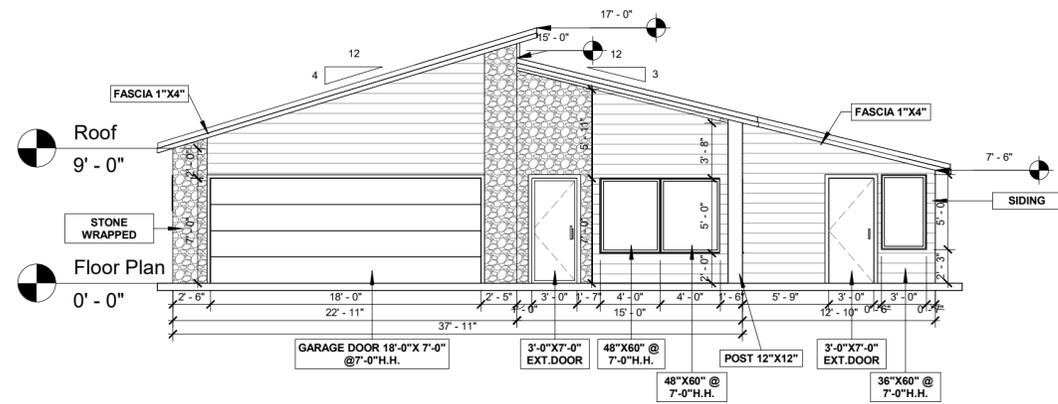
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GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
EVANS ROAD

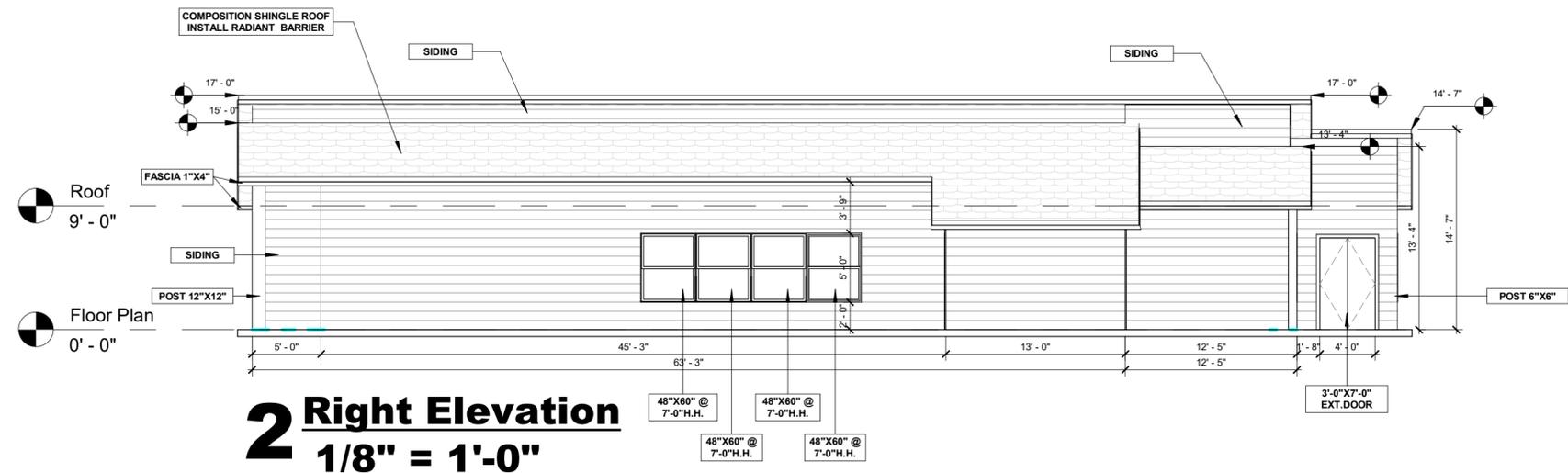
**Legal Description**  
LOT 1179

**SITE PLAN**

Project number:  
Date: 02/17/2024 Scale 1" = 10'-0"  
Drawn by: Projects & Construction Araque



**1 Front Elevation**  
**1/8" = 1'-0"**



**2 Right Elevation**  
**1/8" = 1'-0"**



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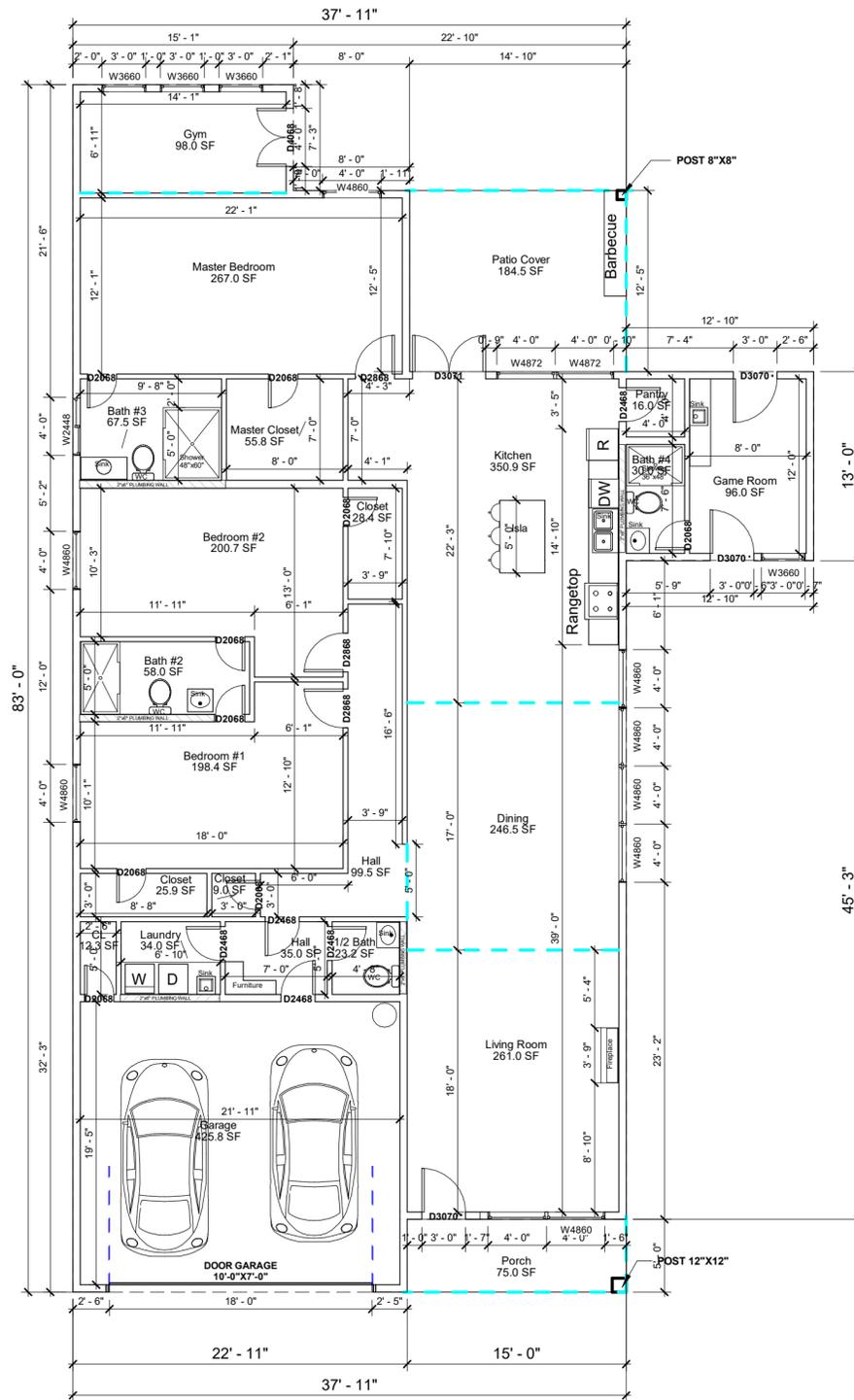
**Project Name & Address**  
 EVANS ROAD

**Legal Description**  
 LOT 1179

**ELEVATIONS**

Project number:  
 Date: 02/17/2024 Scale 1/8" = 1'-0"  
 Drawn by: Projects & Construction Araque





**1 Floor Plan**  
**1/8" = 1'-0"**

| Door Schedule    |                             |            |          |         |
|------------------|-----------------------------|------------|----------|---------|
| Phase Created    | Mark                        | Type       | Width    | Height  |
| New Construction | D2068                       | 24" x 80"  | 2' - 0"  | 6' - 8" |
| New Construction | D2468                       | 28" x 80"  | 2' - 4"  | 6' - 8" |
| New Construction | D2868                       | 32" x 80"  | 2' - 8"  | 6' - 8" |
| New Construction | D3070                       | 36" x 84"  | 3' - 0"  | 7' - 0" |
| New Construction | D3071                       | 60" x 84"  | 5' - 0"  | 7' - 0" |
| New Construction | D4068                       | 48" x 80"  | 4' - 0"  | 6' - 8" |
| New Construction | DOOR GARAGE<br>10'-0"X7'-0" | 108" x 84" | 18' - 0" | 7' - 0" |
| Grand total: 23  |                             |            |          |         |

| Window Schedule  |       |               |         |         |
|------------------|-------|---------------|---------|---------|
| Phase Created    | Mark  | Type          | Height  | Width   |
| New Construction | W2448 | 0915 x 1220mm | 2' - 0" | 4' - 0" |
| New Construction | W3660 | 36"x60"       | 5' - 0" | 3' - 0" |
| New Construction | W4860 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4860 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4868 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4872 | 48"x72"       | 6' - 0" | 4' - 0" |
| Grand total: 16  |       |               |         |         |



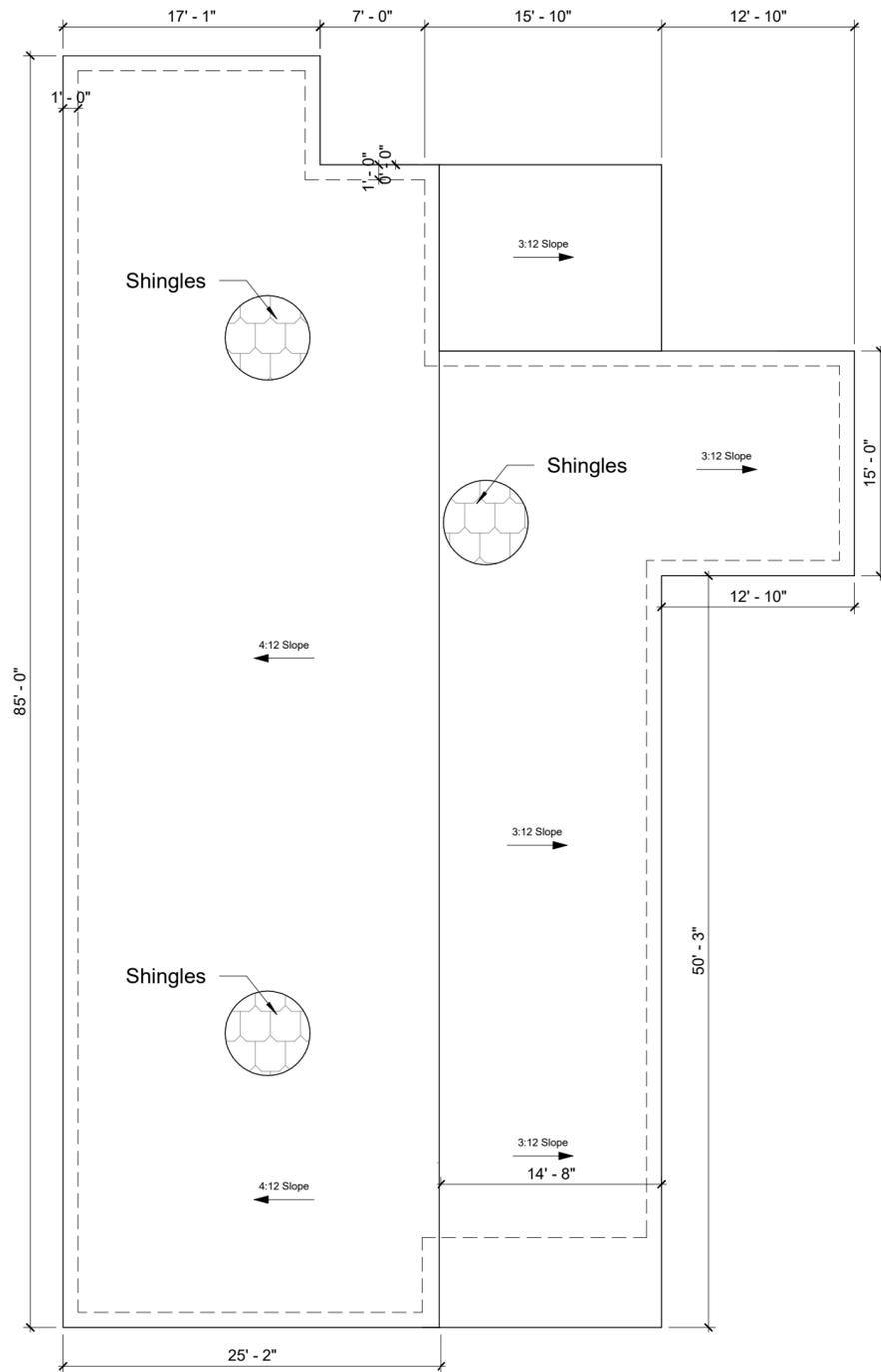
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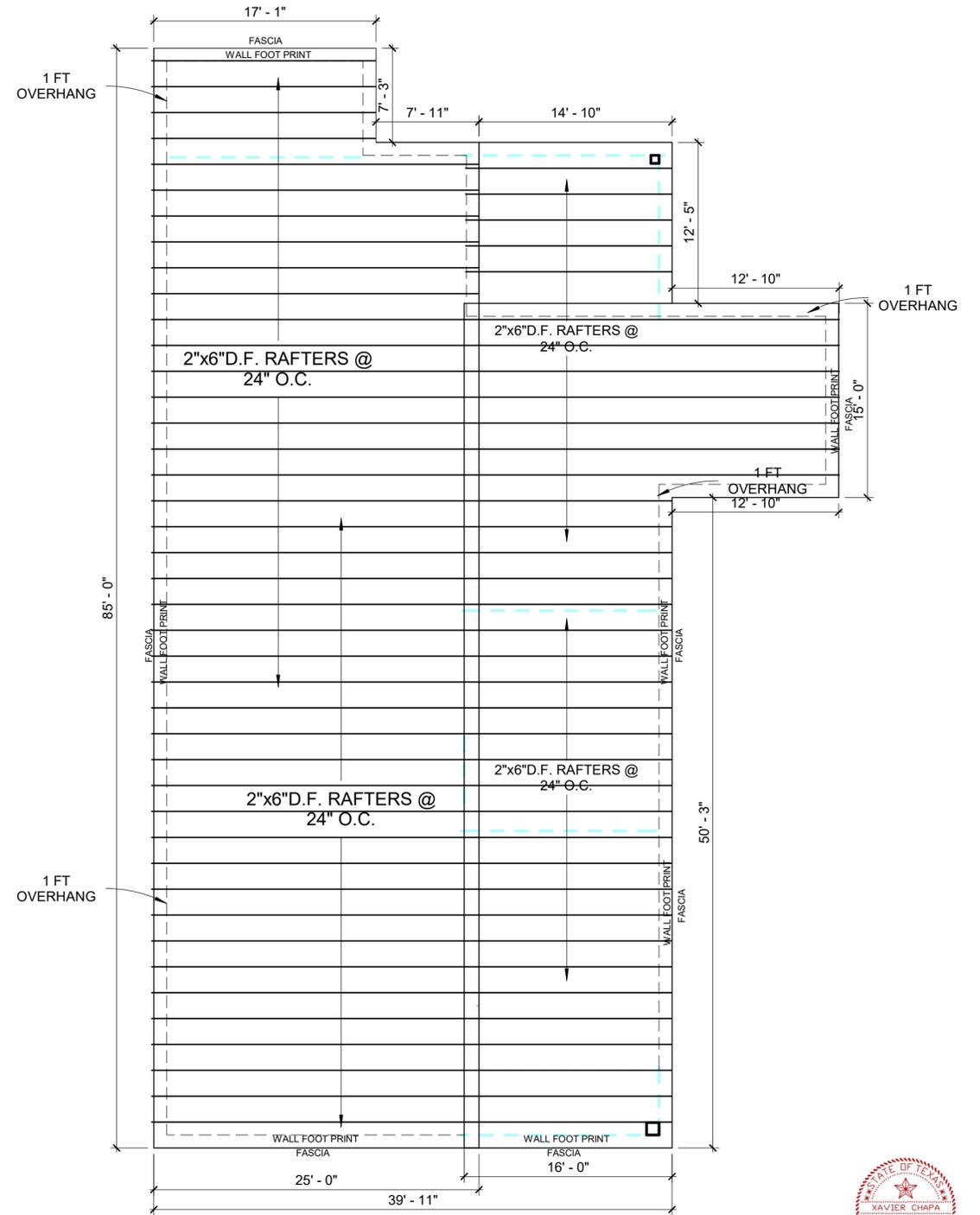
**Project Name & Address**  
 EVANS ROAD  
**Legal Description**  
 LOT 1179

**FLOOR PLAN**

Project number:  
 Date: 02/17/2024 Scale 1/8" = 1'-0"  
 Drawn by: Projects & Construction Araque



**1 Roof**  
 $1/8" = 1'-0"$



**2 Rafter Roof**  
 $1/8" = 1'-0"$



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**Project Name & Address**  
 EVANS ROAD

**Legal Description**  
 LOT 1179

**ROOF**

Project number:

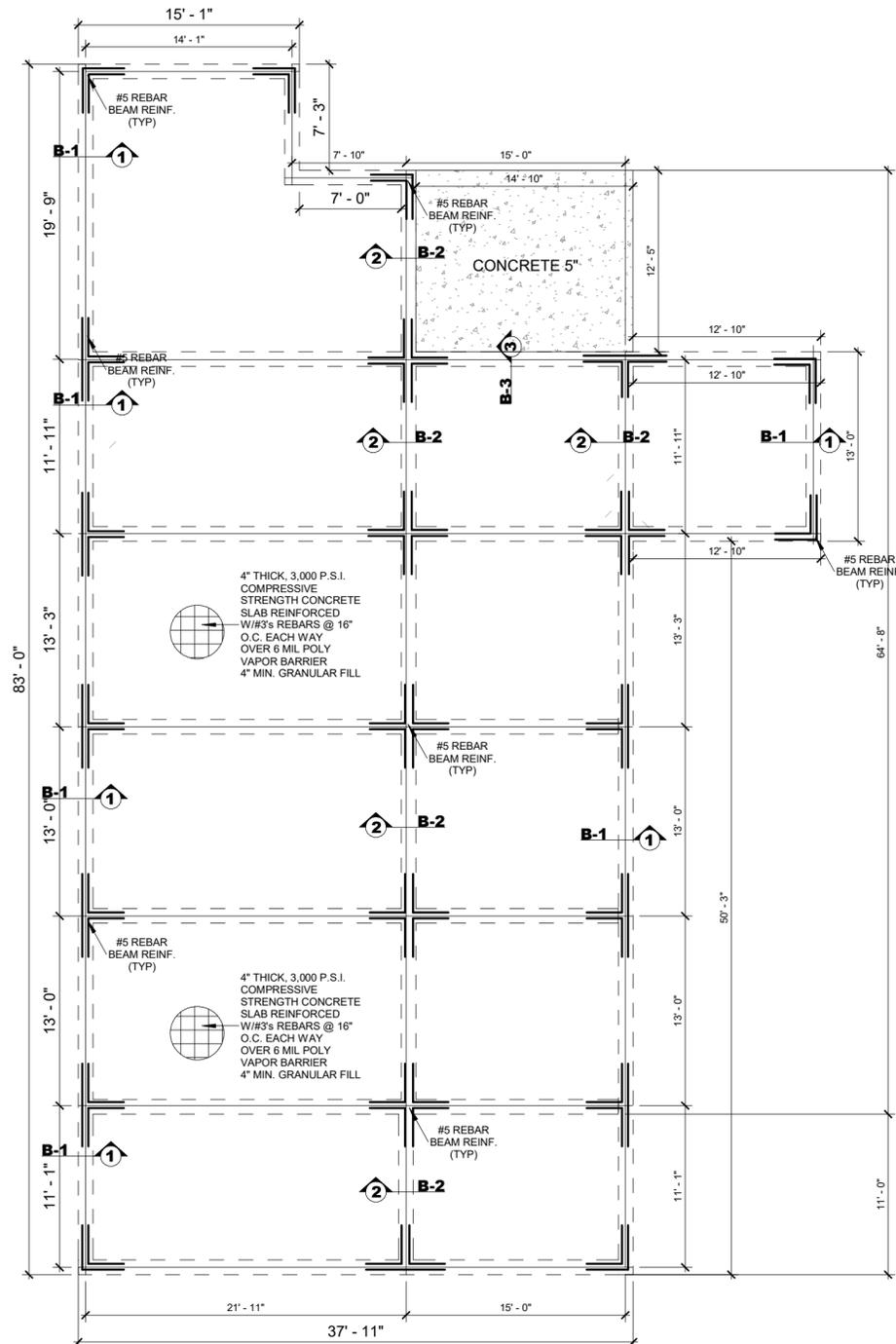
Date:

02/17/2024

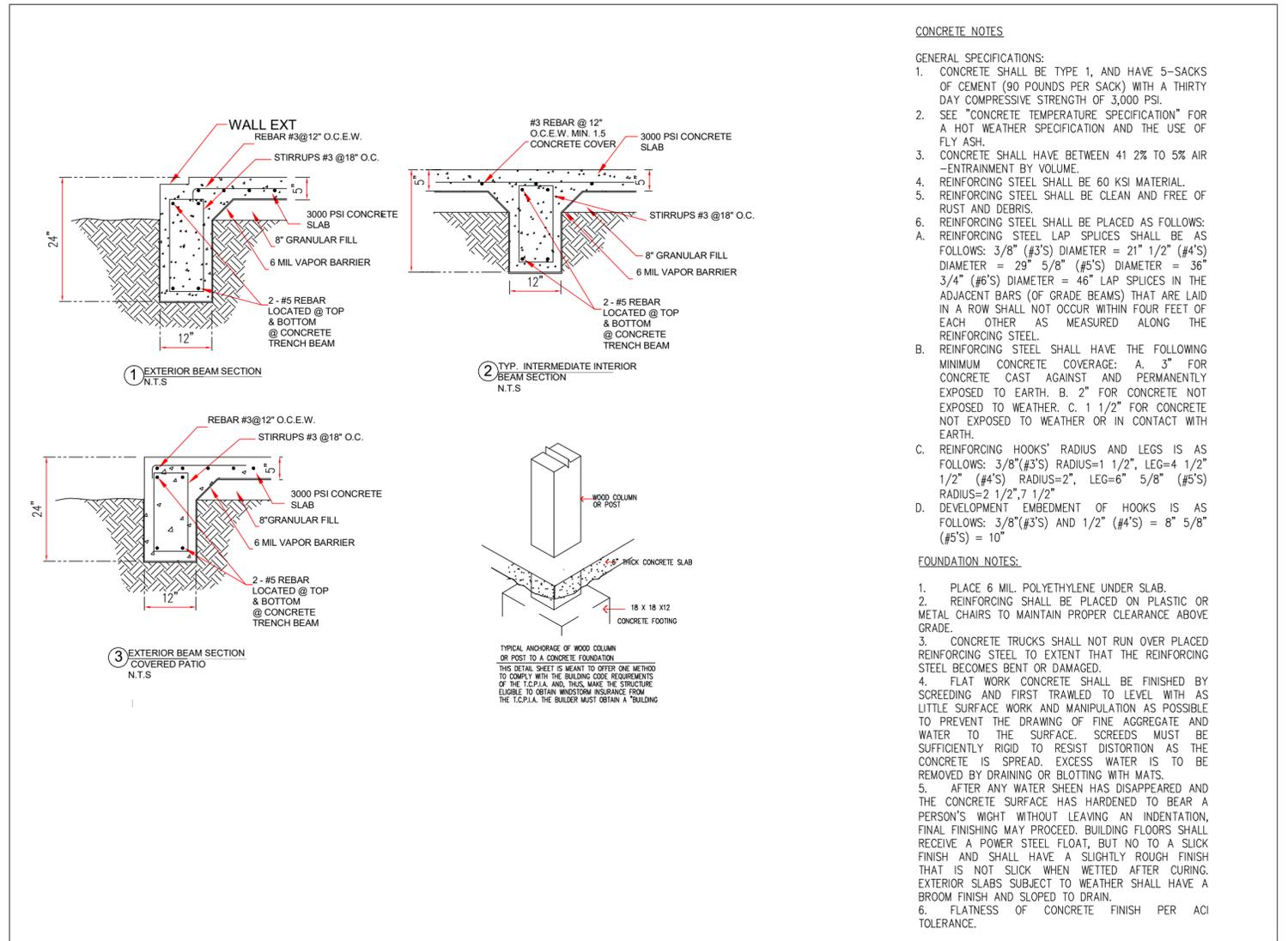
Scale

1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**1 Foundation**  
1/8" = 1'-0"



**CONCRETE NOTES**

- GENERAL SPECIFICATIONS:
1. CONCRETE SHALL BE TYPE 1, AND HAVE 5-SACKS OF CEMENT (90 POUNDS PER SACK) WITH A THIRTY DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
  2. SEE "CONCRETE TEMPERATURE SPECIFICATION" FOR A HOT WEATHER SPECIFICATION AND THE USE OF FLY ASH.
  3. CONCRETE SHALL HAVE BETWEEN 41 2% TO 5% AIR-ENTRAINMENT BY VOLUME.
  4. REINFORCING STEEL SHALL BE 60 KSI MATERIAL.
  5. REINFORCING STEEL SHALL BE CLEAN AND FREE OF RUST AND DEBRIS.
  6. REINFORCING STEEL SHALL BE PLACED AS FOLLOWS:
    - A. REINFORCING STEEL LAP SPICES SHALL BE AS FOLLOWS: 3/8" (#3'S) DIAMETER = 21" 1/2" (#4'S) DIAMETER = 29" 5/8" (#5'S) DIAMETER = 36" 3/4" (#6'S) DIAMETER = 46" LAP SPICES IN THE ADJACENT BARS (OF GRADE BEAMS) THAT ARE LAID IN A ROW SHALL NOT OCCUR WITHIN FOUR FEET OF EACH OTHER AS MEASURED ALONG THE REINFORCING STEEL.
    - B. REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM CONCRETE COVERAGE: A. 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH. B. 2" FOR CONCRETE NOT EXPOSED TO WEATHER. C. 1 1/2" FOR CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH.
    - C. REINFORCING HOOKS' RADIUS AND LEGS IS AS FOLLOWS: 3/8" (#3'S) RADIUS=1 1/2", LEG=4 1/2" 1/2" (#4'S) RADIUS=2", LEG=6" 5/8" (#5'S) RADIUS=2 1/2", 7 1/2"
    - D. DEVELOPMENT EMBEDMENT OF HOOKS IS AS FOLLOWS: 3/8" (#3'S) AND 1/2" (#4'S) = 8" 5/8" (#5'S) = 10"

**FOUNDATION NOTES:**

1. PLACE 6 MIL. POLYETHYLENE UNDER SLAB.
2. REINFORCING SHALL BE PLACED ON PLASTIC OR METAL CHAIRS TO MAINTAIN PROPER CLEARANCE ABOVE GRADE.
3. CONCRETE TRUCKS SHALL NOT RUN OVER PLACED REINFORCING STEEL TO EXTENT THAT THE REINFORCING STEEL BECOMES BENT OR DAMAGED.
4. FLAT WORK CONCRETE SHALL BE FINISHED BY SCREEDING AND FIRST TRAWLED TO LEVEL WITH AS LITTLE SURFACE WORK AND MANIPULATION AS POSSIBLE TO PREVENT THE DRAWING OF FINE AGGREGATE AND WATER TO THE SURFACE. SCREEDS MUST BE SUFFICIENTLY RIGID TO RESIST DISTORTION AS THE CONCRETE IS SPREAD. EXCESS WATER IS TO BE REMOVED BY DRAINING OR BLOTING WITH MATS.
5. AFTER ANY WATER SHEEN HAS DISAPPEARED AND THE CONCRETE SURFACE HAS HARDENED TO BEAR A PERSON'S WIGHT WITHOUT LEAVING AN INDENTATION, FINAL FINISHING MAY PROCEED. BUILDING FLOORS SHALL RECEIVE A POWER STEEL FLOAT, BUT NO TO A SLICK FINISH AND SHALL HAVE A SLIGHTLY ROUGH FINISH THAT IS NOT SLICK WHEN WETTED AFTER CURING. EXTERIOR SLABS SUBJECT TO WEATHER SHALL HAVE A BROOM FINISH AND SLOPED TO DRAIN.
6. FLATNESS OF CONCRETE FINISH PER ACI TOLERANCE.



Xavier Chapa  
Xavier Chapa Engineering/Surveying  
Firm Number F-9156  
03/13/2024



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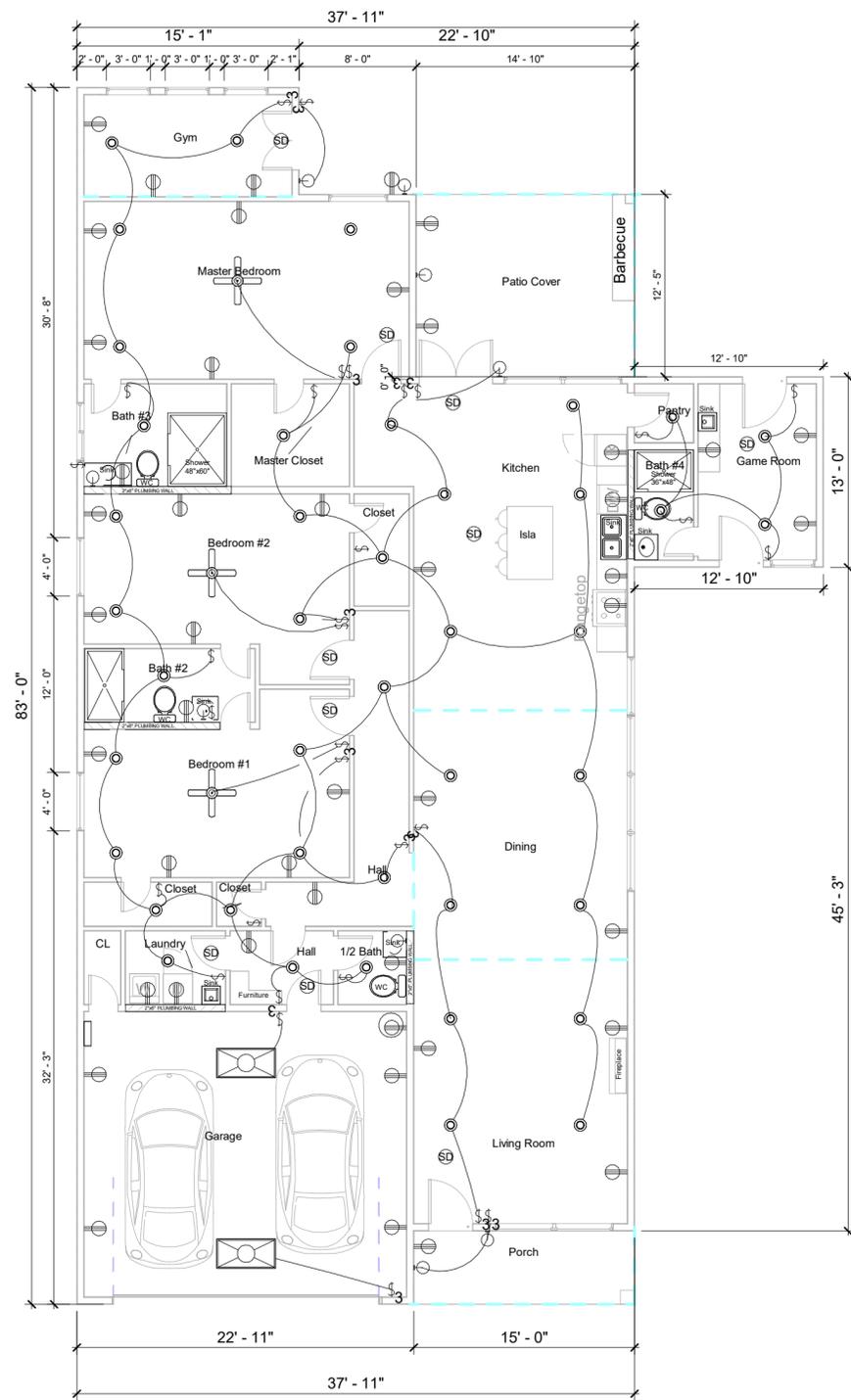
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**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

**FOUNDATION**

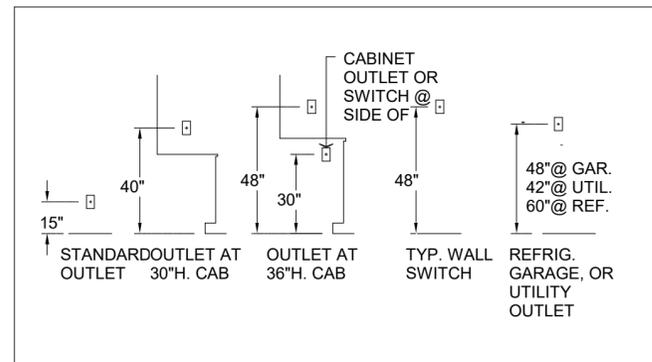
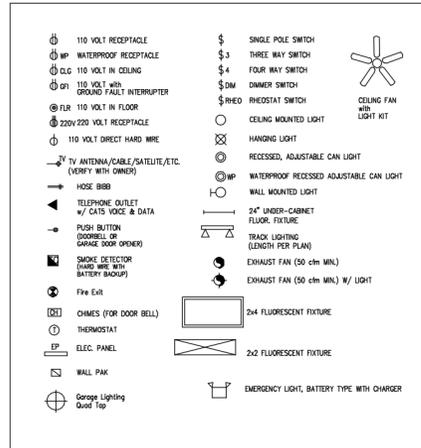
Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



# 1 Electrical

1/8" = 1'-0"

## LEGEND



- GENERAL ELECTRICAL NOTES**
1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
  2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
  3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
  4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
  5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
  6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
  7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
  8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY



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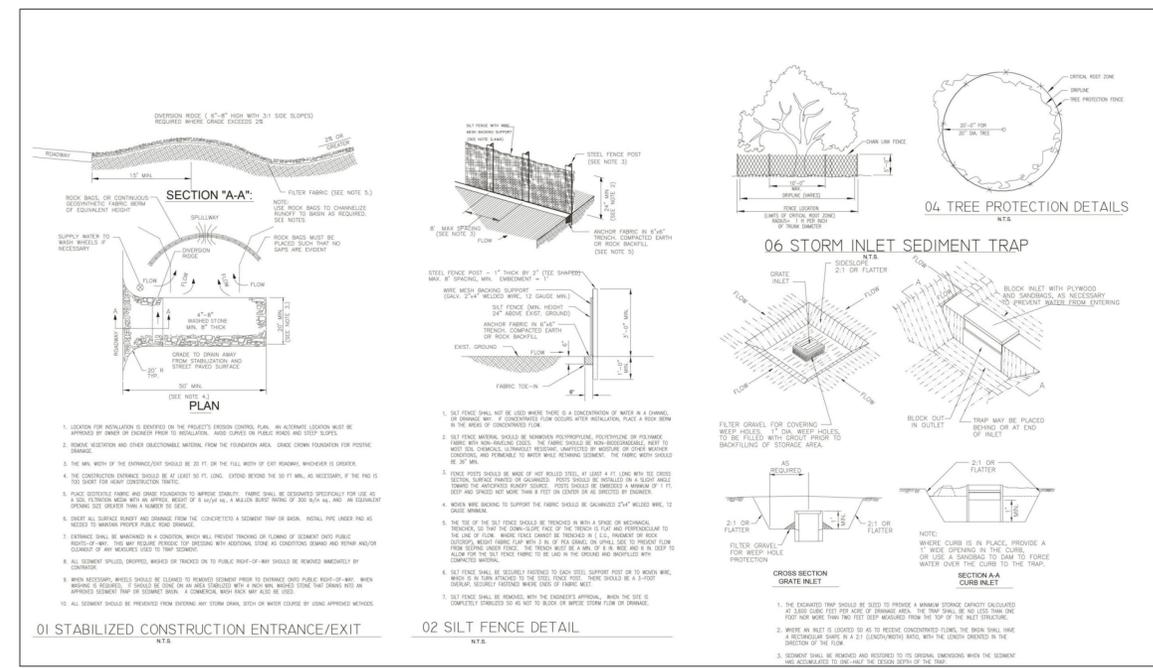
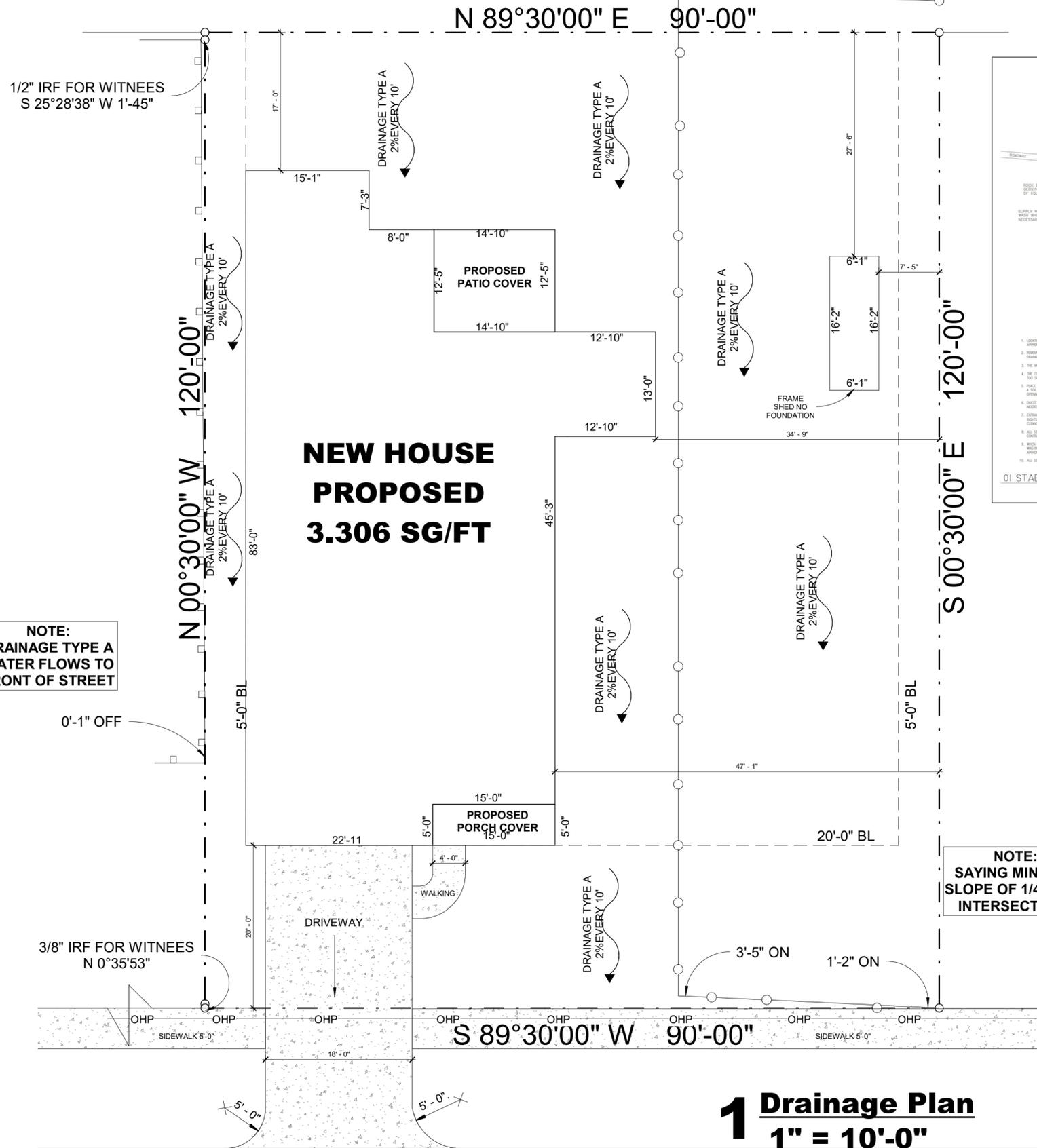
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## ELECTRICAL

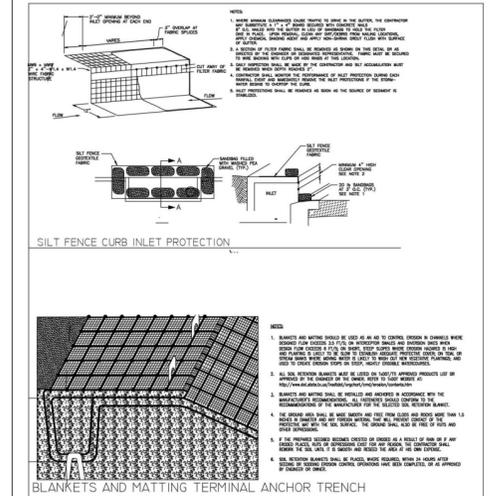
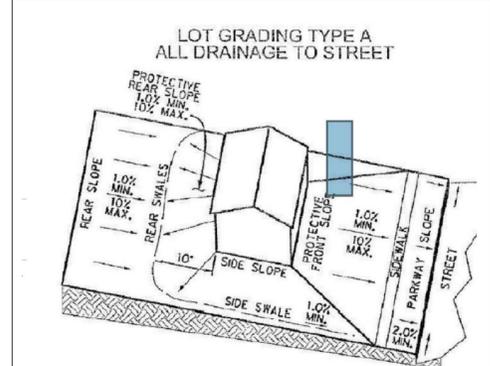
Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



**PROPOSED LOT DRAINAGE**

Single family lots must be graded in conformance with the grading plan established for the subdivision where applicable, and should normally follow FHA lot grading patterns shown on the right. Types A and B are preferred but Type C (all drainage to rear) but a swale is required at the bottom of the yard to intercept runoff if the rear yard exceeds 2%. Runoff must be picked up in a street right-of-way or drainage easement after crossing more than two neighboring lots. Any exception to these conditions will be subject to special approval and inspections.

The lot must be graded to provide a finished floor elevation 12 above the surrounding land and crown of street, and drain away from the foundation as shown below. Final grading must provide a minimum of four (4) inches of top soil outside of the foundation and other hard surfaces, in order to sustain vegetation after construction is complete.



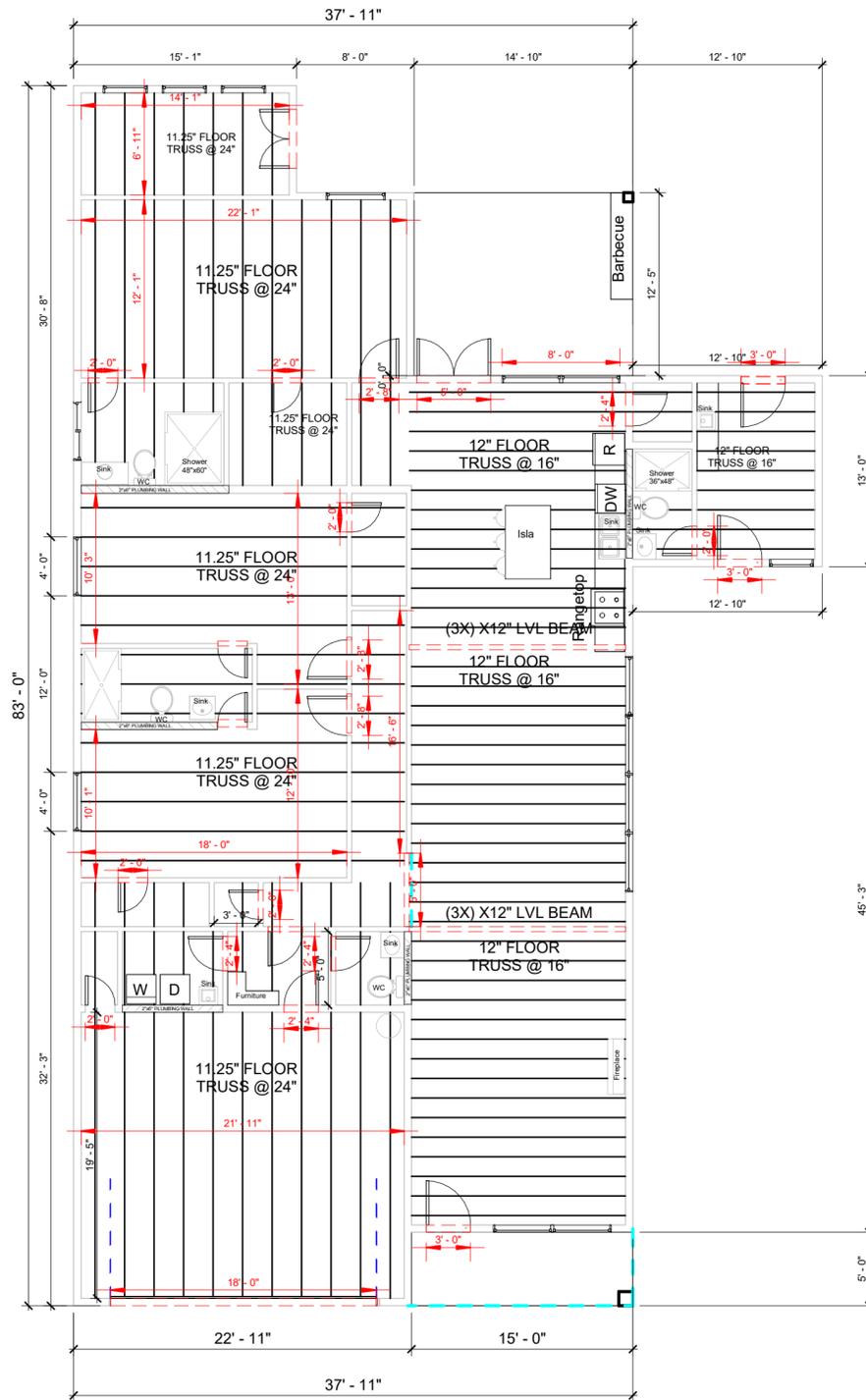
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
EVANS ROAD

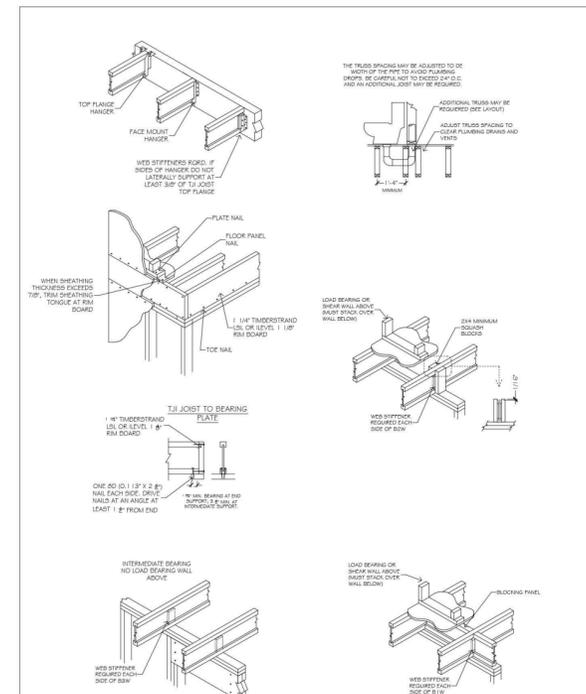
**Legal Description**  
LOT 1179

|                                          |             |
|------------------------------------------|-------------|
| <b>DRAINAGE PLAN</b>                     |             |
| Project number:                          |             |
| Date:                                    | 02/17/2024  |
| Scale:                                   | 1" = 10'-0" |
| Drawn by: Projects & Construction Araque |             |



**1 Ceiling Floor Plan**  
**1/8" = 1'-0"**

**DETAILS CEILING**



03/13/2024



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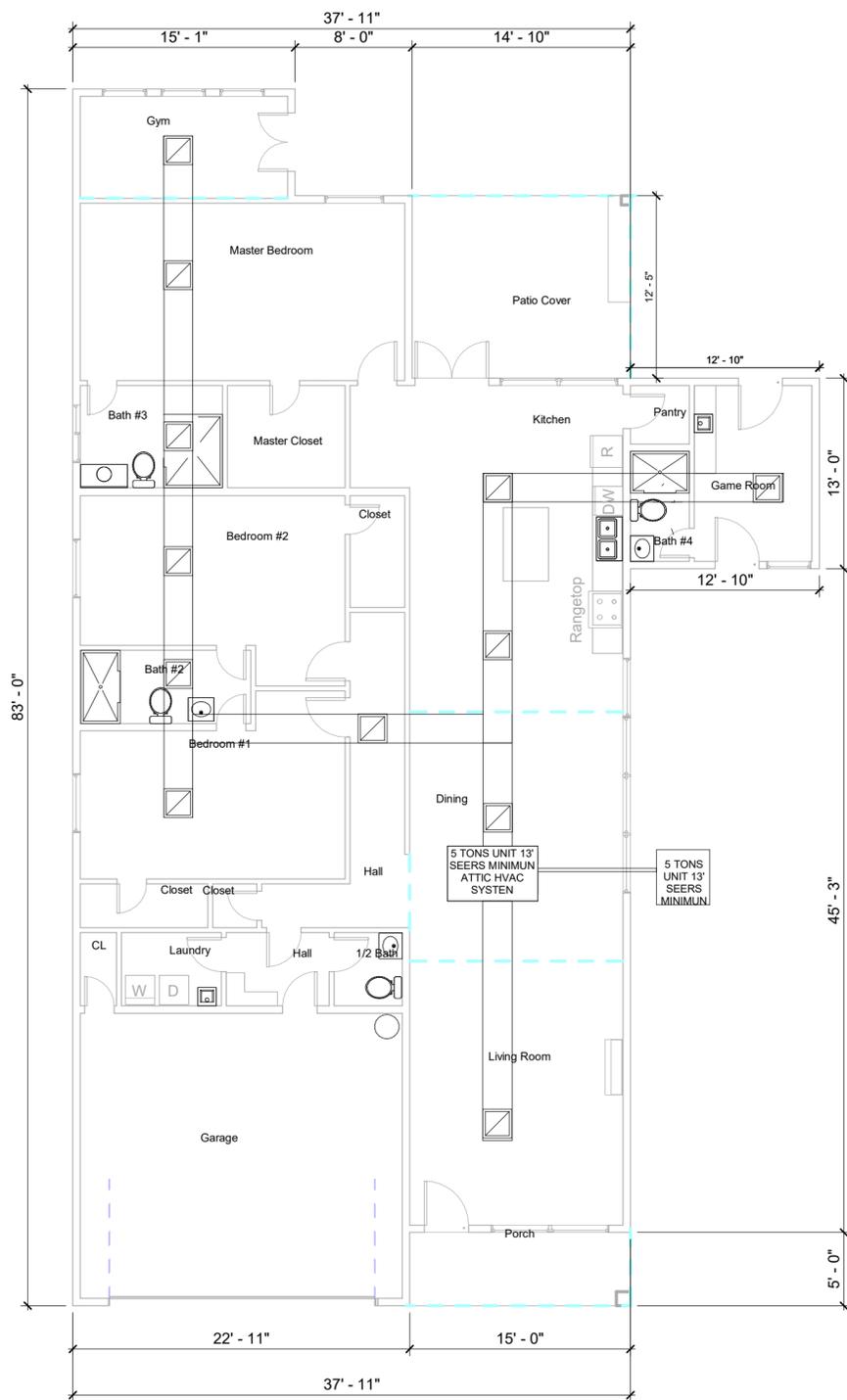
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**Project Name & Address**  
 EVANS ROAD

**Legal Description**  
 LOT 1179

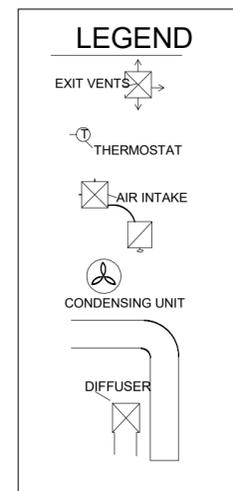
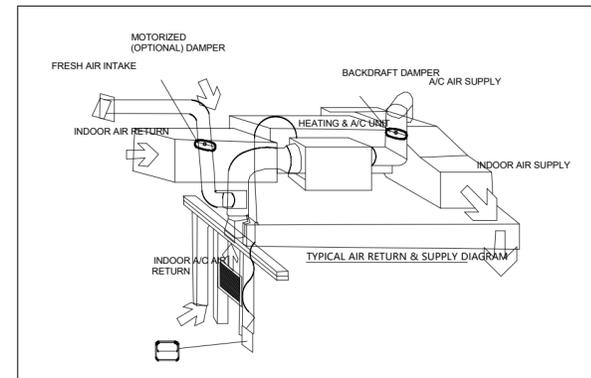
**CEILING FLOOR PLAN**

Project number:  
 Date: 02/17/2024 Scale As indicated  
 Drawn by: Projects & Construction Araque



**1 Mechanical**  
**1/8" = 1'-0"**

**DETAIL MECHANICAL**



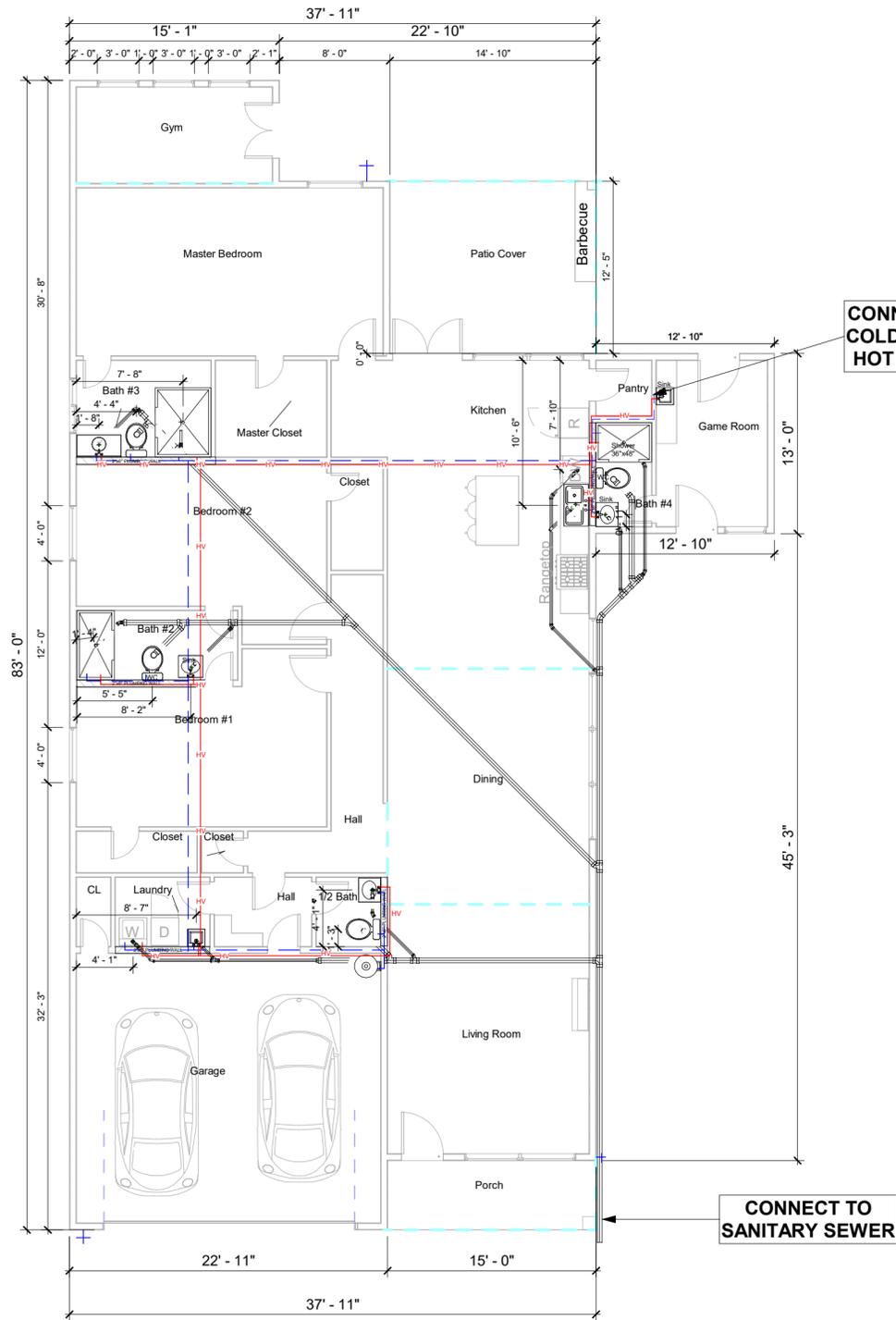
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**Project Name & Address**  
 EVANS ROAD  
**Legal Description**  
 LOT 1179

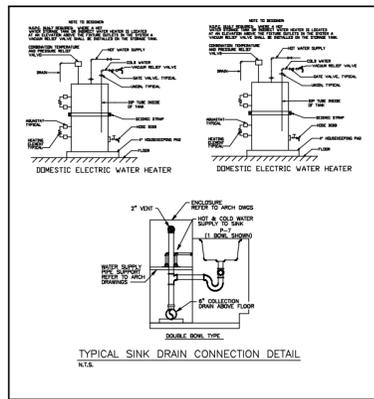
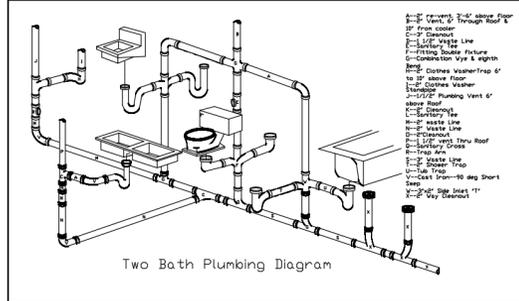
**MECHANICAL**

Project number:  
 Date: 02/17/2024 Scale 1/8" = 1'-0"  
 Drawn by: Projects & Construction Araque



| PLUMBING LEGEND |                  |
|-----------------|------------------|
| SYMBOL          | ITEM DESCRIPTION |
|                 | SANITARY SEWER   |
|                 | HOT WATER        |
|                 | COLD WATER       |

CONNECT TO  
COLD WATER  
HOT WATER



| SIZING FOR DRAINPIPES |                                            |                                          |
|-----------------------|--------------------------------------------|------------------------------------------|
| PIPE SIZE             | MAXIMUM FIXTURE UNITS FOR HORIZONTAL DRAIN | MAXIMUM FIXTURE UNITS FOR VERTICAL DRAIN |
| 1-1/4"                | 1                                          | 1                                        |
| 1-1/2"                | 1 (except sinks)                           | 2                                        |
| 2"                    | 8                                          | 16                                       |
| 2-1/2"                | 14                                         | 32                                       |
| 3"                    | 35                                         | 48                                       |
| 4"                    | 216                                        | 256                                      |

| CRITICAL DISTANCES FOR VENT DRAINPIPES |                   |                   |
|----------------------------------------|-------------------|-------------------|
| SIZE FOR FIXTURE DRAIN                 | MINIMUM VENT SIZE | CRITICAL DISTANCE |
| 1-1/4"                                 | 1-1/4"            | 2-1/2'            |
| 1-1/2"                                 | 1-1/4"            | 3-1/2'            |
| 2"                                     | 1-1/2"            | 5'                |
| 3"                                     | 2"                | 6'                |
| 4"                                     | 3"                | 10'               |

| SIZING FOR WATER DISTRIBUTION PIPES                   |                                     |     |     |     |      |      |      |
|-------------------------------------------------------|-------------------------------------|-----|-----|-----|------|------|------|
| Maximum length for total fixture units (46 to 60 PSI) |                                     |     |     |     |      |      |      |
| Meter & Street service                                | Size of main supply pipe & Branches | 40' | 60' | 80' | 100' | 150' | 200' |
| 3/4"                                                  | 1/2"                                | 7   | 7   | 6   | 5    | 4    | 3    |
| 3/4"                                                  | 3/4"                                | 20  | 20  | 19  | 17   | 14   | 11   |
| 3/4"                                                  | 1"                                  | 39  | 39  | 36  | 33   | 28   | 23   |
| 1"                                                    | 1"                                  | 39  | 39  | 39  | 36   | 30   | 25   |
| 1"                                                    | 1-1/4"                              | 78  | 78  | 76  | 67   | 52   | 44   |

| SIZING FOR WATER SUPPLY RISERS |      |      |                         |              |              |
|--------------------------------|------|------|-------------------------|--------------|--------------|
| Minimum piper diameter:        |      |      | Minimum piper diameter: |              |              |
| WATER TEMP:                    | COLD | HOT  | WATER TEMP:             | COLD         | HOT          |
| Toilet                         | 3/8" |      | Bar sink                | 3/8"         | 3/8"         |
| Bathtub                        | 1/2" | 1/2" | Dishwasher              |              | 3/8" to 1/2" |
| Lavatory sink                  | 3/8" | 3/8" | Washing machine         | 1/2"         | 1/2"         |
| Shower                         | 1/2" | 1/2" | Laundry sink            | 1/2"         | 1/2"         |
| Bar sink                       | 3/8" | 3/8" | Water heater            | 3/4"         |              |
| Kitchen sink                   | 1/2" | 1/2" | Hose bibb               | 1/2" to 3/4" |              |

# 1 Plumbing

1/8" = 1'-0"



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**Project Name & Address**  
EVANS ROAD

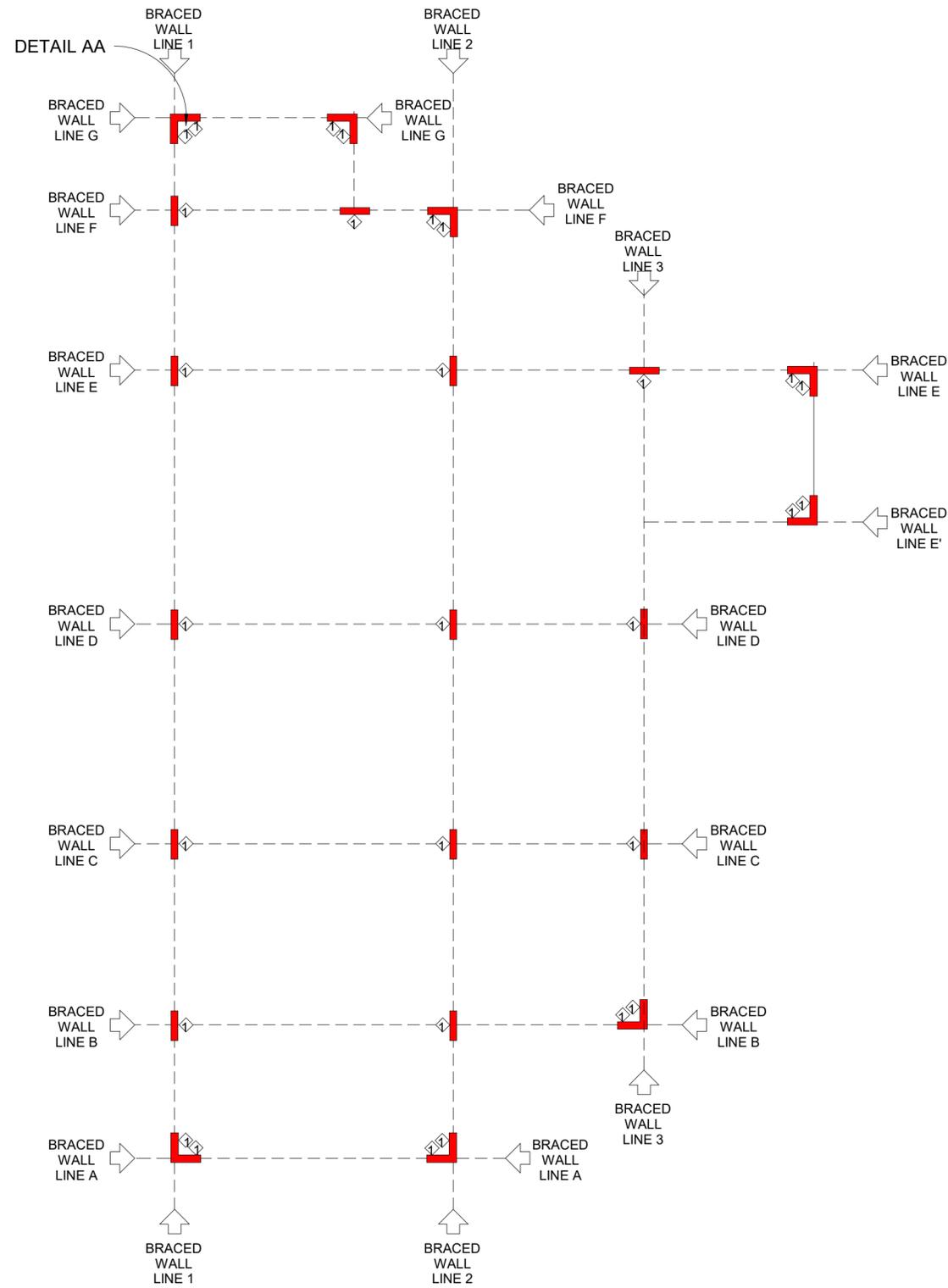
**Legal Description**  
LOT 1179

## PLUMBING

Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



Xavier Chapa  
Xavier Chapa Engineering/Surveying  
Firm Number F-9156  
03/13/2024



**LEGEND**

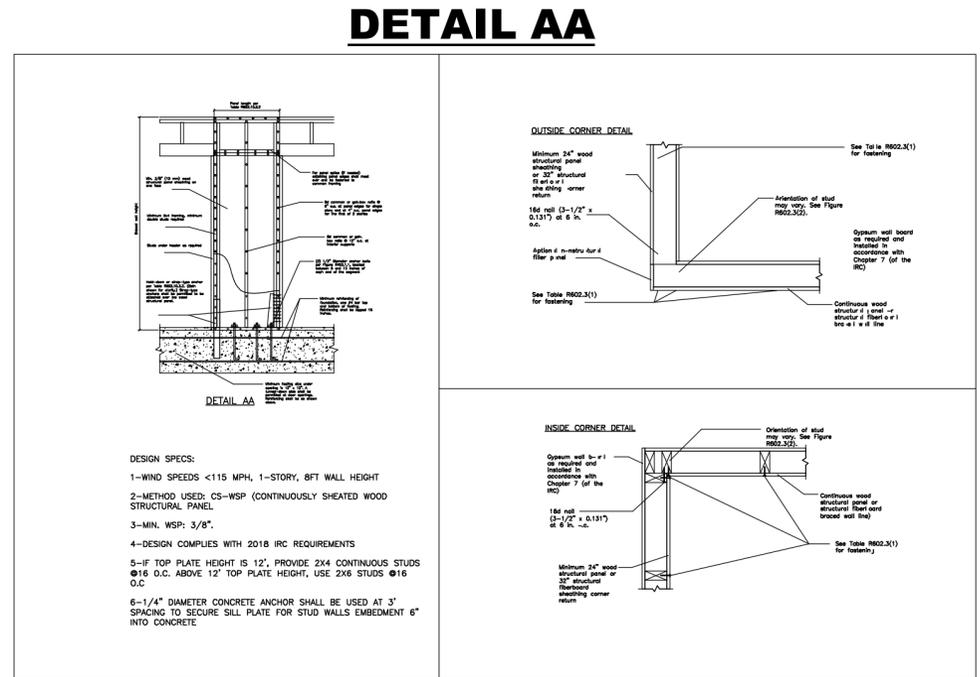
◊ 48" Braced Wall Panel  
Structural Sheathing

Note: If 48 inches are not available in the field, use a minimum of 30", unless otherwise noted.

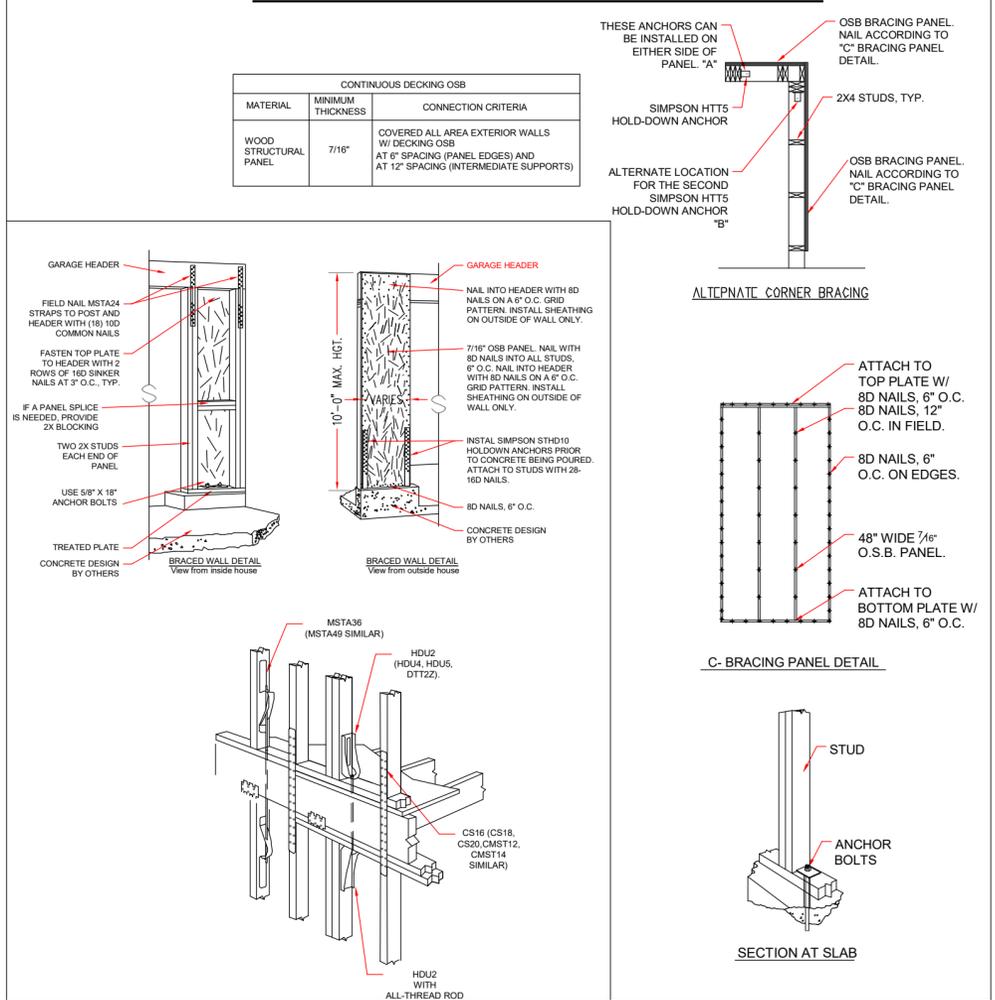
Adopted Codes:

- 2018 International Residential Code
- 2017 National Electrical Code
- 2018 International Energy Conservation Code

**1 Wall Bracing**  
**1/8" = 1'-0"**



### DETAILS WALL BRACING



Xavier Chapa  
Xavier Chapa Engineering/Surveying  
Firm Number F-9156  
03/13/2024



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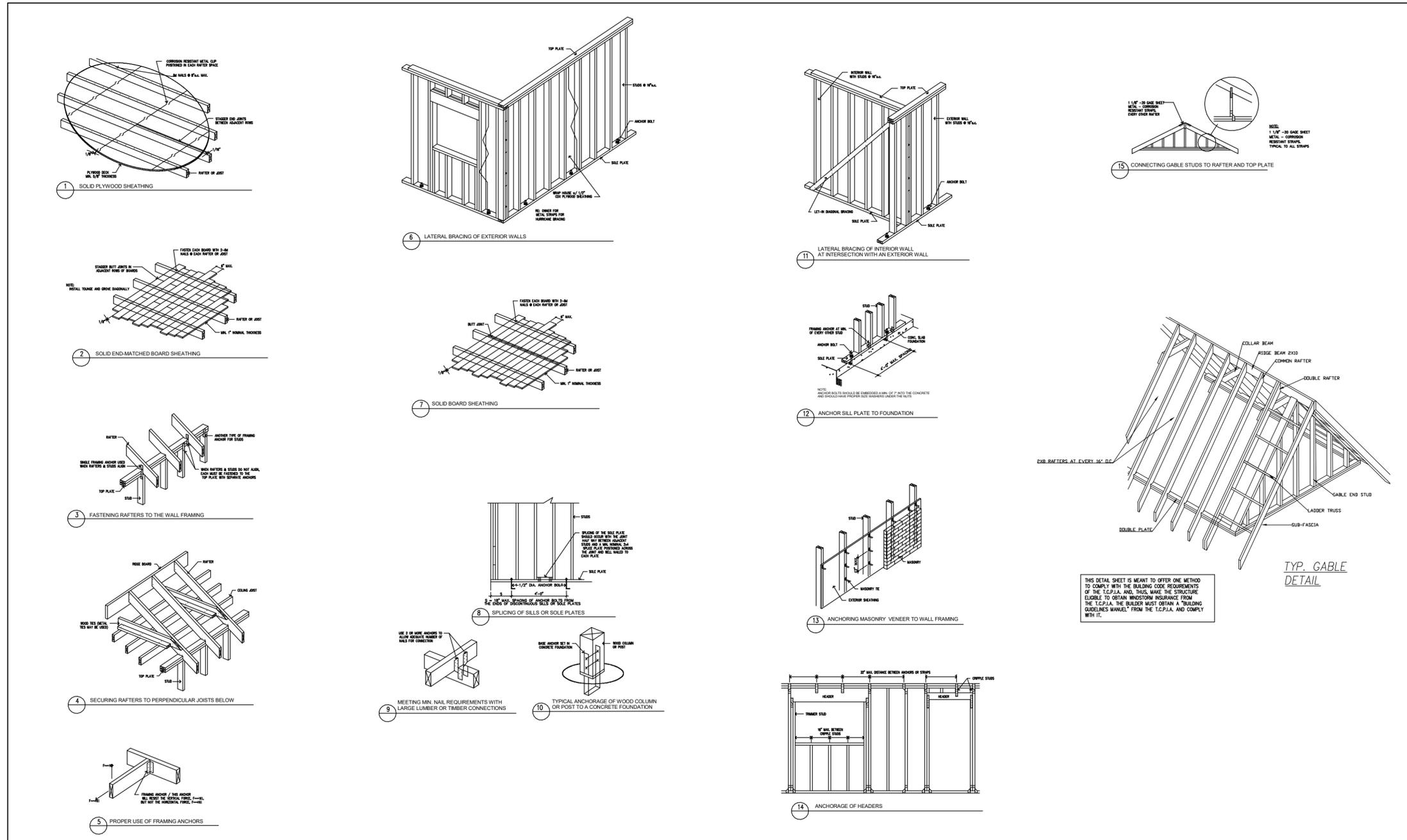
**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

**WALL BRACING**

Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque

# FRAMING NOTES



*Xavier Chapa*  
 Xavier Chapa Engineering/Surveying  
 Firm Number F-9156  
 03/13/2024



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**Project Name & Address**  
 EVANS ROAD

**Legal Description**  
 LOT 1179

## FRAMING NOTES

Project number:  
 Date: 02/17/2024 Scale 1/4" = 1'-0"  
 Drawn by: Projects & Construction Araque

5.1



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>PLATTING APPLICATION FEES:</b></p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p><b>SITE PLAN APPLICATION FEES:</b></p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p> | <p><b>ZONING APPLICATION FEES:</b></p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input checked="" type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&amp;2</sup></p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><b>OTHER APPLICATION FEES:</b></p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup></p> <p><b>NOTES:</b></p> <p><sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p><sup>2</sup> A <del>\$1,000.00</del> FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 0 Evans Road Rockwall TX 75032

SUBDIVISION \_\_\_\_\_ LOT 1179 BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential CURRENT USE \_\_\_\_\_

PROPOSED ZONING Residential PROPOSED USE \_\_\_\_\_

ACREAGE 0.2 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

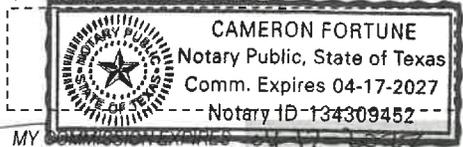
|                                |                                |                                               |                                     |
|--------------------------------|--------------------------------|-----------------------------------------------|-------------------------------------|
| <input type="checkbox"/> OWNER | <u>Shirley Soto</u>            | <input checked="" type="checkbox"/> APPLICANT | <u>Projects &amp; Constructions</u> |
| CONTACT PERSON                 |                                | CONTACT PERSON                                | <u>PAUL ARCE Araque</u>             |
| ADDRESS                        | <u>453 Lynn @ Dr</u>           | ADDRESS                                       | <u>18601 LBJ Fwy<br/>SUITE 250</u>  |
| CITY, STATE & ZIP              | <u>Rockwall TX 75032</u>       | CITY, STATE & ZIP                             | <u>MESQUITE TX 75150</u>            |
| PHONE                          | <u>(903) 985-1425</u>          | PHONE                                         | <u>(972) 365-6823</u>               |
| E-MAIL                         | <u>shirleysoto@hotmail.com</u> | E-MAIL                                        | <u>projectsaraque41@gmail.com</u>   |

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shirley Soto [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 219 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2024.  
OWNER'S SIGNATURE Shirley Soto

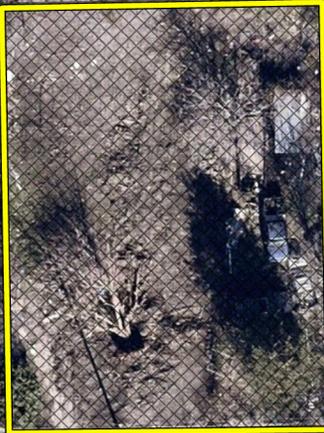


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Cameron Fortune MY COMMISSION EXPIRES 04-17-2027



Z2024-013: Specific Use Permit (SUP) for Residential Infill 340 Evans Road

PD-101



EVANS RD

PD-75

WAYNE DR

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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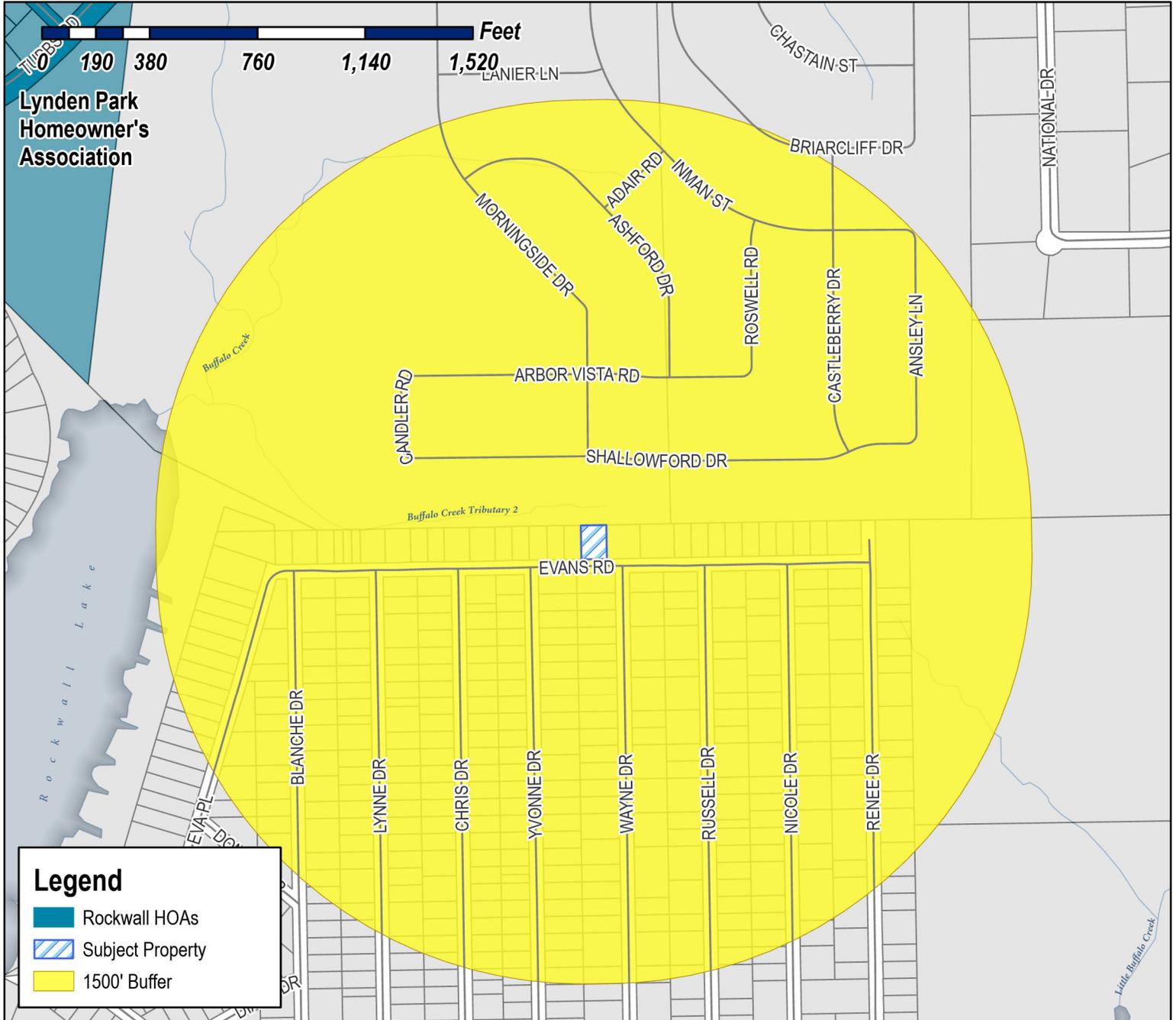




# City of Rockwall

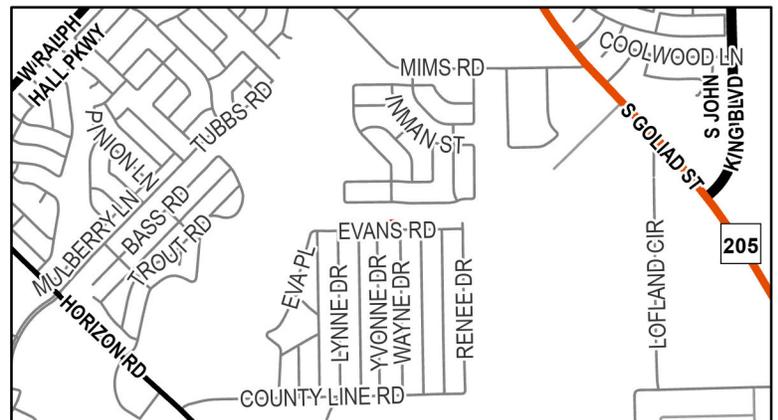
Planning & Zoning Department  
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**Case Number:** Z2024-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill at 340 Evans Road  
**Case Type:** Zoning  
**Zoning:** Planned Development 75 (PD-75)  
**Case Address:** 340 Evans Road

**Date Saved:** 3/15/2024  
 For Questions on this Case Call (972) 771-7745

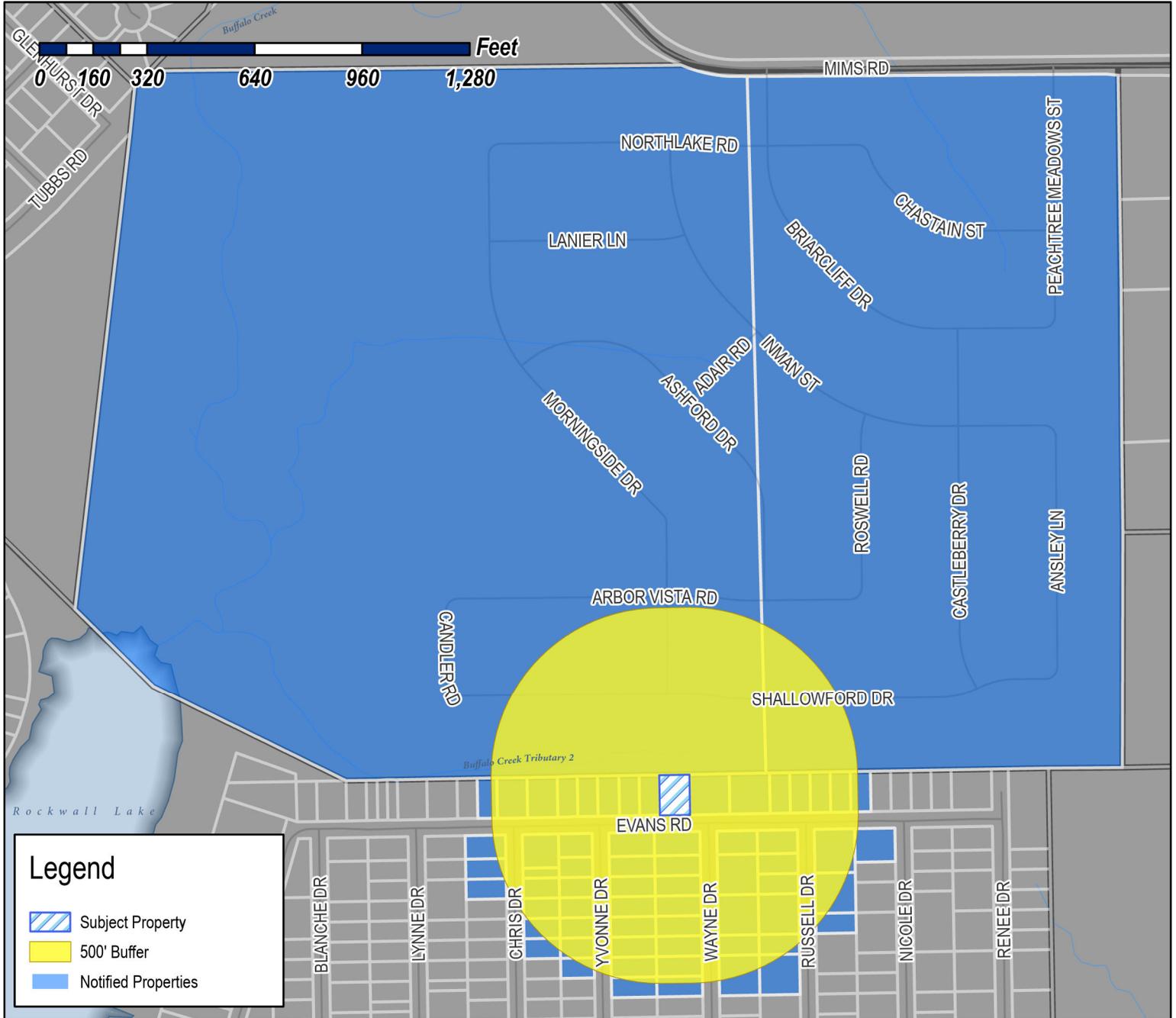




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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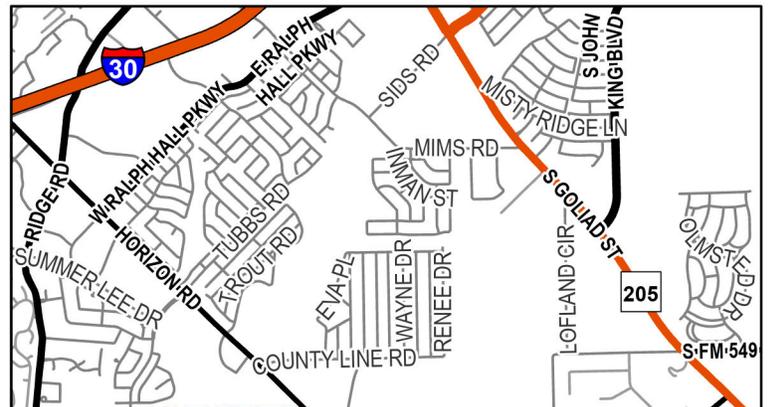
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**Case Number:** Z2024-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill at 340 Evans Road  
**Case Type:** Zoning  
**Zoning:** Planned Development 75 (PD-75) District  
**Case Address:** 340 Evans Road

**Date Saved:** 3/15/2024

For Questions on this Case Call: (972) 771-7746



SILVA BERTHA  
1041 E FM 552  
ROCKWALL, TX 75087

DEAN ANN W  
106 STANDING OAK DR  
GEORGETOWN, TX 78633

QUALICO DEVELOPMENTS (US), INC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
186 NICOLE DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
220 EVANS RD  
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA  
234 EVANS RD  
ROCKWALL, TX 75032

MEJIA RAMIRO  
244 EVANS RD  
ROCKWALL, TX 75032

NGO HA THAI AND MIA DINH  
2505 WESTBANK TRL  
GARLAND, TX 75042

RESIDENT  
266 EVANS RD  
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC  
2716 GREENHILL DRIVE  
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO  
VELAZQUEZ  
290 EVANS  
ROCKWALL, TX 75032

RESIDENT  
302 EVANS RD  
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

BALDERAS GREGORY  
310 EVANS RD  
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE  
QUINONEZ  
322 EVANS RD  
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I  
3248 BLACKLAND RD  
ROYSE CITY, TX 75189

RAMIRES RAUL  
358 EVANS RD  
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L  
376 EVANS RD  
ROCKWALL, TX 75032

GONZALEZ NORMA PATRICIA SOLIS  
388 EVANS RD  
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO  
397 CHRIS DR  
ROCKWALL, TX 75032

MENDOZA FIDEL & ALEJANDRINA  
400 EVANS RD  
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA  
400 EVANS RD  
ROCKWALL, TX 75032

GAMEZ PETRA K MARTINEZ  
406 EVANS  
ROCKWALL, TX 75032

RESIDENT  
412 EVANS RD  
ROCKWALL, TX 75032

RESIDENT  
418 EVANS RD  
ROCKWALL, TX 75032

BALLEZA REAL ESTATE LLC AND  
ANA QUEZADA  
4408 AIKEN TRL  
SACHSE, TX 75048

YANEZ SANDRA R TORRES  
441 LYNNE DRIVE  
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ  
461 YVONNE DR  
ROCKWALL, TX 75032

CRUZ MARIO  
461 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
466 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
470 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
470 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
471 YVONNE DR  
ROCKWALL, TX 75032

SOTO DOMINGO  
471 WAYNE DR  
ROCKWALL, TX 75032

MORENO ORALIA SOLIS  
474 BASS ROAD  
ROCKWALL, TX 75032

MORENO LUIS NOE  
474 BASS ROAD  
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA  
479 CHRIS DR  
ROCKWALL, TX 75032

ALONSO ELEASAR &  
BENITO GAMEZ  
482 WAYNE DR  
ROCKWALL, TX 75032

GUEVARA MARIA  
482 YVONNE DRIVE  
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS  
MARTINEZ-AGUILAR  
485 YVONNE DR  
ROCKWALL, TX 75032

PAYNE MILDRED IRENE  
487 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
488 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
491 YVONNE DR  
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA  
491 CHRIS DR  
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND  
FANIA GARCIA  
494 RUSSELL LOT 1252  
ROCKWALL, TX 75032

ARROYO REYES  
499 RUSSELL DR  
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND  
JUDITH GAIL WOOD  
499 WAYNE DR  
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI  
500 YVONNE DR  
ROCKWALL, TX 75032

VELASQUEZ LORENA  
501 CHRIS DRIVE  
ROCKWALL, TX 75033

MARTINEZ PEDRO & MARIA CELIA  
506 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN  
509 YVONNE DR  
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA  
5112 WOLVERTON CT  
GARLAND, TX 75043

RESIDENT  
513 CHRIS DR  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA  
513 RUSSELL DR  
ROCKWALL, TX 75032

LEON VANESSA RANGEL  
514 YVONNE DR  
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA  
GALLEGOS  
516 CHRIS DR  
ROCKWALL, TX 75032

MARTINEZ DAVID  
516 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
518 RUSSELL DR  
ROCKWALL, TX 75032

JIMENEZ LEONARDO  
5201 KELSO LN  
GARLAND, TX 75043

RESIDENT  
521 YVONNE DR  
ROCKWALL, TX 75032

GANUS HUGH  
524 SESAME DR  
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA  
524 YVONNE DR  
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ  
525 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
528 CHRIS DR  
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO  
528 WAYNE DR  
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY  
530 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
531 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
534 YVONNE DR  
ROCKWALL, TX 75032

RETANA JUAN &  
YENY RUBIO  
535 CHRIS DR  
ROCKWALL, TX 75032

STRICKLAND TARA  
536 WAYNE DR  
ROCKWALL, TX 75032

OBRIEN ELLEN K  
537 RUSSELL DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
540 CHRIS DR  
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L  
541 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
544 YVONNE DR  
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH  
547 WAYNE DR  
ROCKWALL, TX 75032

CERVANTES HECTOR AND  
ERIKA MOLINA  
548 NICOLE DRIVE  
ROCKWALL, TX 75032

ARRIAGA GREGORIA  
548 WAYNE ST  
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS  
552 RUSSELL DR  
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA  
848 SMITH ACRES DR  
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC  
PO BOX 69  
ROCKWALL, TX 75087

1/2" IRF FOR WITNEES  
S 25°28'38" W 1'-45"

NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

0'-1" OFF

3/8" IRF FOR WITNEES  
N 0°35'53"

N 00°30'00" W 120'-00"

N 89°30'00" E 90'-00"

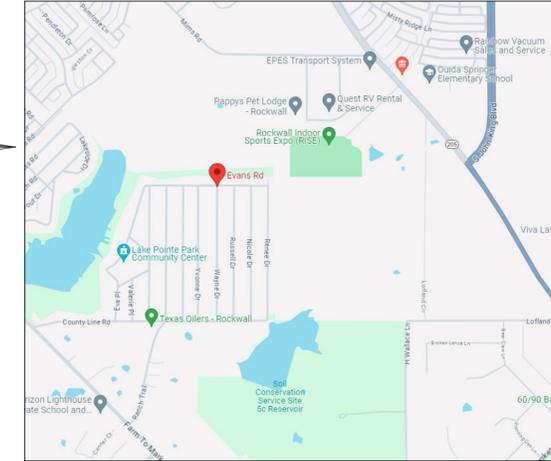
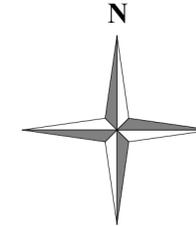
S 00°30'00" E 120'-00"

**NEW HOUSE  
PROPOSED  
3.306 SG/FT**

15'-0"  
**PROPOSED  
PORCH COVER**

14'-10"  
**PROPOSED  
PATIO COVER**

FRAME  
SHED NO  
FOUNDATION



**VICINITY MAP**

**EVANS ROAD  
LOT 1179**

|                               |                      |
|-------------------------------|----------------------|
| Proposed Floor Plan           | 2,417.5 SG/FT        |
| <b>Total New Construction</b> | <b>2,417.5 SG/FT</b> |
| Proposed Garage               | 469.4 SG/FT          |
| Proposed Porch Cover          | 75 SG/FT             |
| Proposed Patio Cover          | 344.1 SG/FT          |
| <b>Total New Construction</b> | <b>3,306 SG/FT</b>   |
| Lot                           | 1179                 |
| Country                       | Dallas               |
| City                          | Rockwall             |
| Lot Area                      | <b>0.2 ACRES</b>     |
| Max Lot Coverage              | 35%                  |
| Lot Coverage                  | 65%                  |

**1 Site Plan**  
1" = 10'-0"

**EVANS ROAD**  
50' R.O.W.



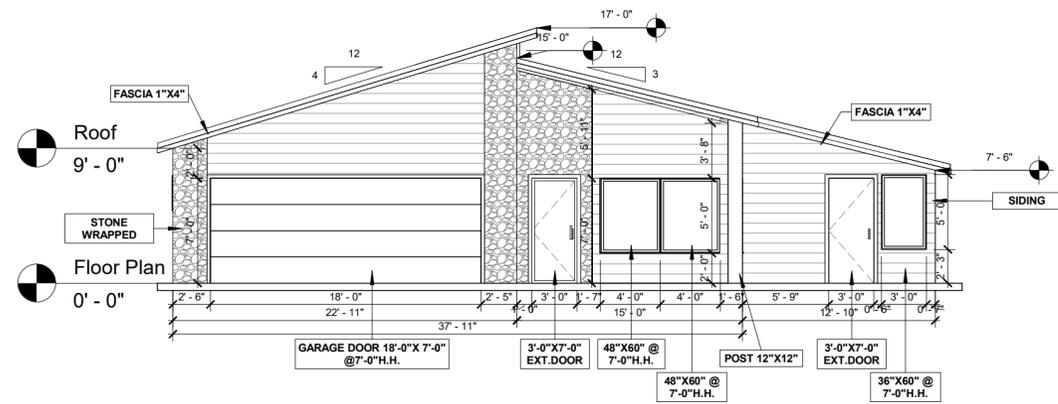
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GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
EVANS ROAD

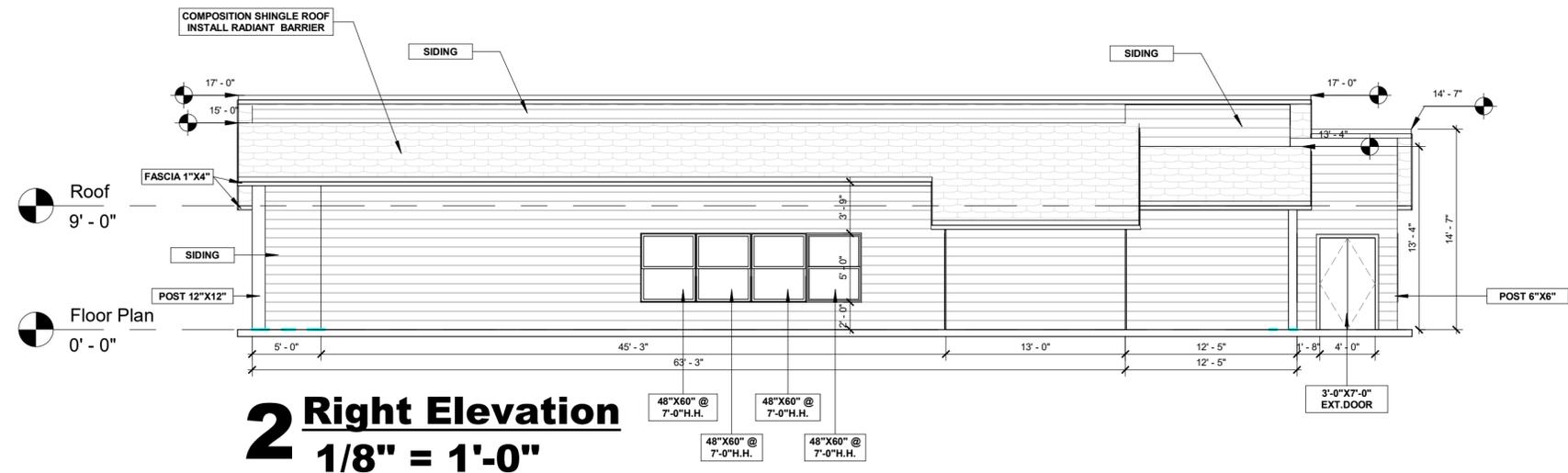
**Legal Description**  
LOT 1179

**SITE PLAN**

Project number:  
Date: 02/17/2024 Scale 1" = 10'-0"  
Drawn by: Projects & Construction Araque



**1 Front Elevation**  
**1/8" = 1'-0"**



**2 Right Elevation**  
**1/8" = 1'-0"**



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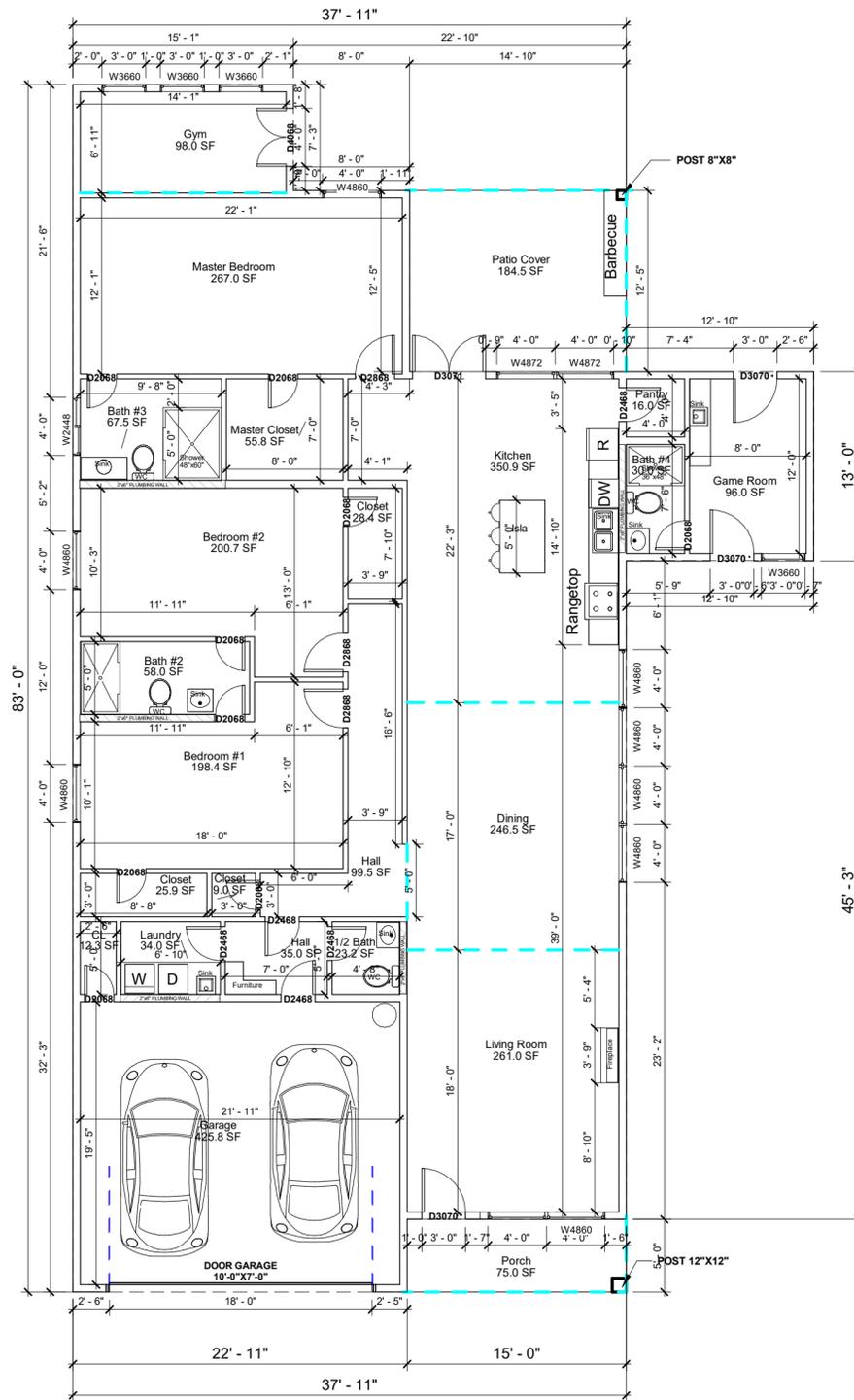
**Project Name & Address**  
 EVANS ROAD

**Legal Description**  
 LOT 1179

**ELEVATIONS**

Project number:  
 Date: 02/17/2024 Scale 1/8" = 1'-0"  
 Drawn by: Projects & Construction Araque





**1 Floor Plan**  
1/8" = 1'-0"

| Door Schedule    |                             |            |          |         |
|------------------|-----------------------------|------------|----------|---------|
| Phase Created    | Mark                        | Type       | Width    | Height  |
| New Construction | D2068                       | 24" x 80"  | 2' - 0"  | 6' - 8" |
| New Construction | D2468                       | 28" x 80"  | 2' - 4"  | 6' - 8" |
| New Construction | D2868                       | 32" x 80"  | 2' - 8"  | 6' - 8" |
| New Construction | D3070                       | 36" x 84"  | 3' - 0"  | 7' - 0" |
| New Construction | D3071                       | 60" x 84"  | 5' - 0"  | 7' - 0" |
| New Construction | D4068                       | 48" x 80"  | 4' - 0"  | 6' - 8" |
| New Construction | DOOR GARAGE<br>10'-0"X7'-0" | 108" x 84" | 18' - 0" | 7' - 0" |
| Grand total: 23  |                             |            |          |         |

| Window Schedule  |       |               |         |         |
|------------------|-------|---------------|---------|---------|
| Phase Created    | Mark  | Type          | Height  | Width   |
| New Construction | W2448 | 0915 x 1220mm | 2' - 0" | 4' - 0" |
| New Construction | W3660 | 36"x60"       | 5' - 0" | 3' - 0" |
| New Construction | W4860 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4860 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4868 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4872 | 48"x72"       | 6' - 0" | 4' - 0" |
| Grand total: 16  |       |               |         |         |



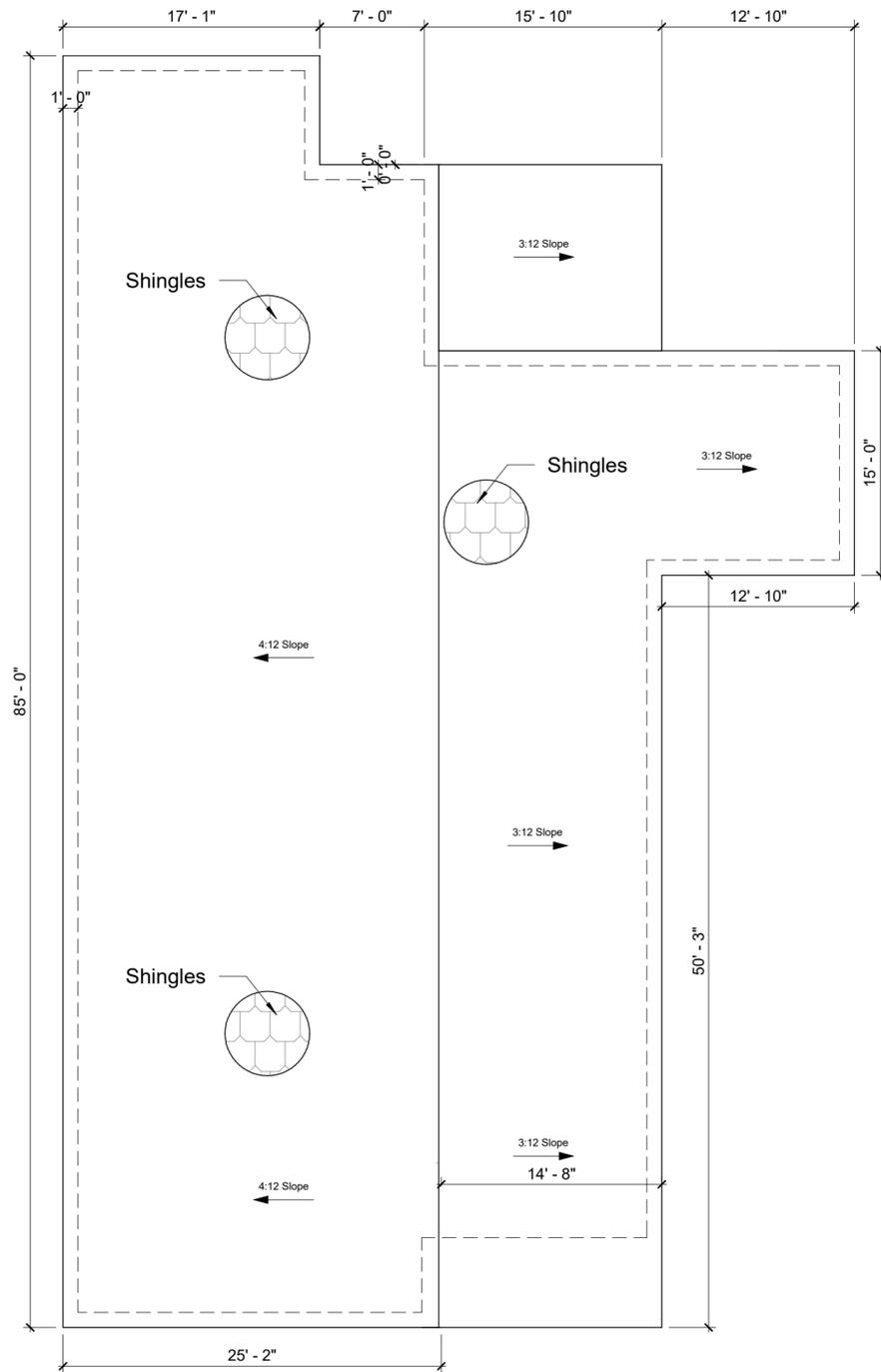
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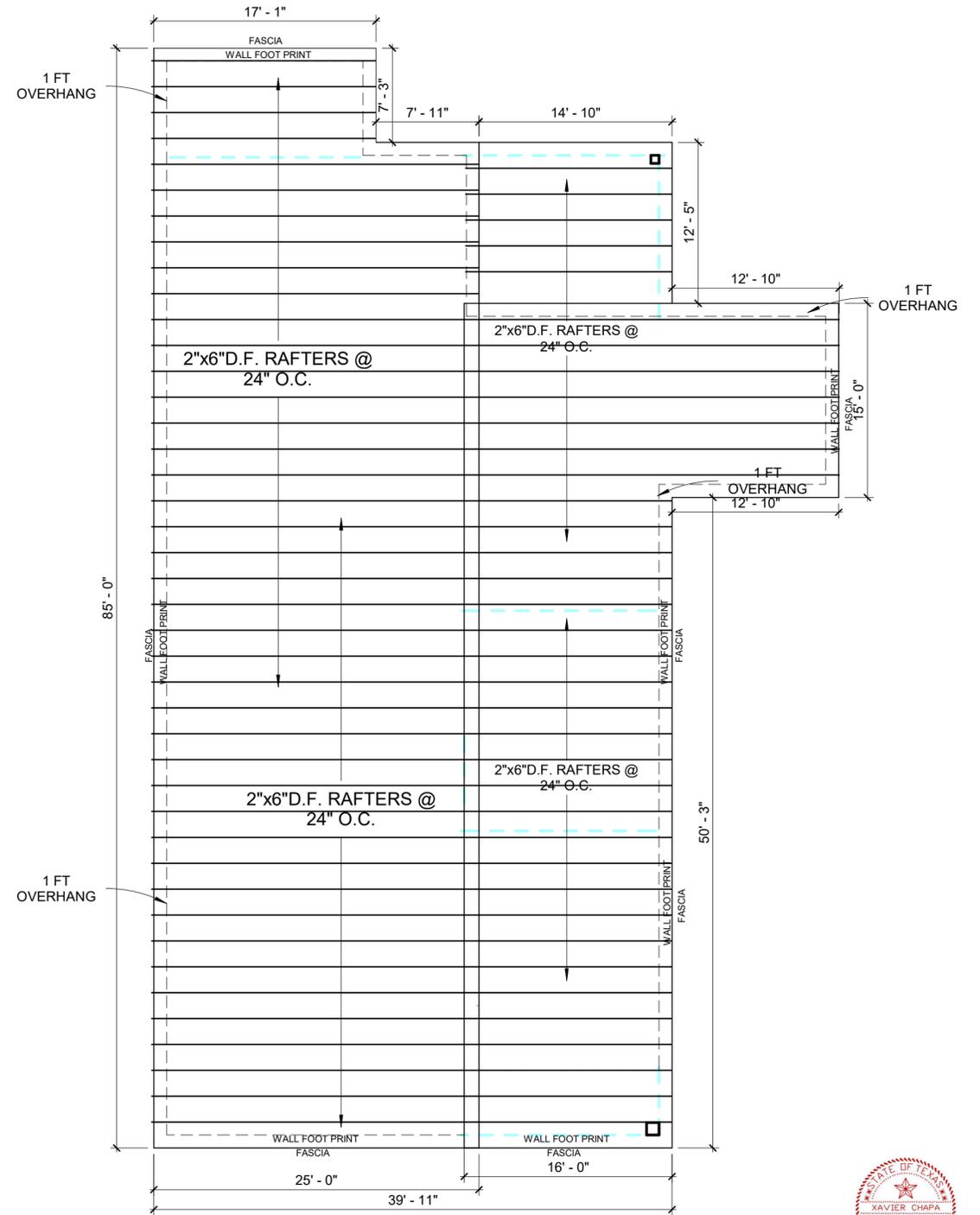
**Project Name & Address**  
EVANS ROAD  
**Legal Description**  
LOT 1179

**FLOOR PLAN**

Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



**1 Roof**  
 $1/8" = 1'-0"$



**2 Rafter Roof**  
 $1/8" = 1'-0"$



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**Project Name & Address**  
 EVANS ROAD

**Legal Description**  
 LOT 1179

**ROOF**

Project number:

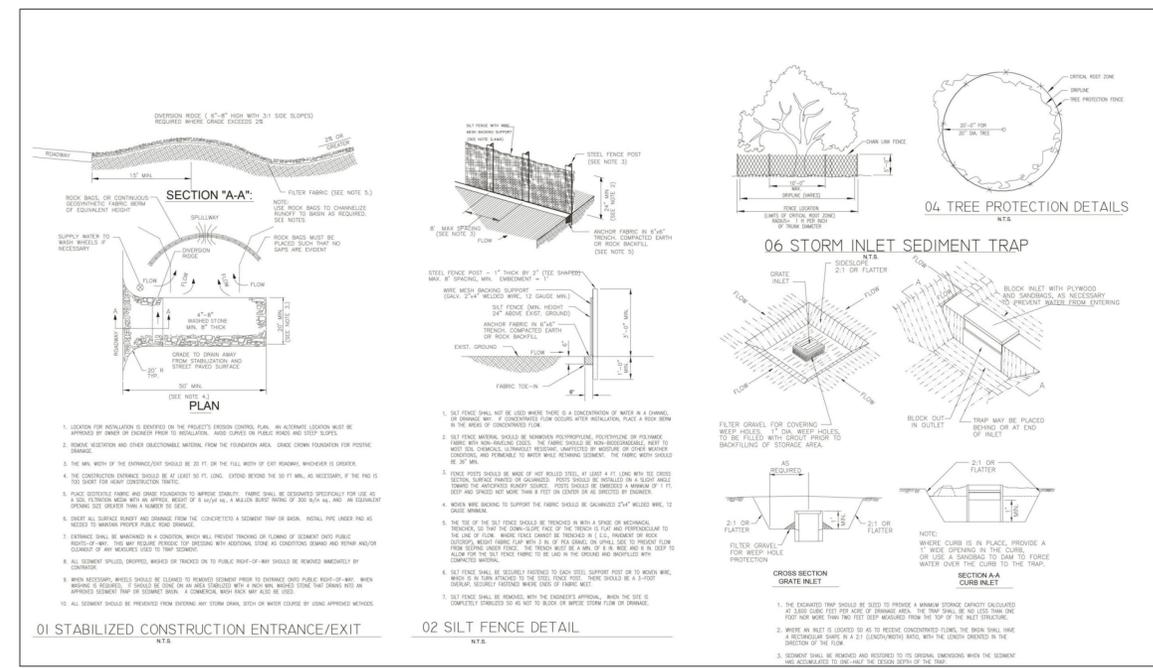
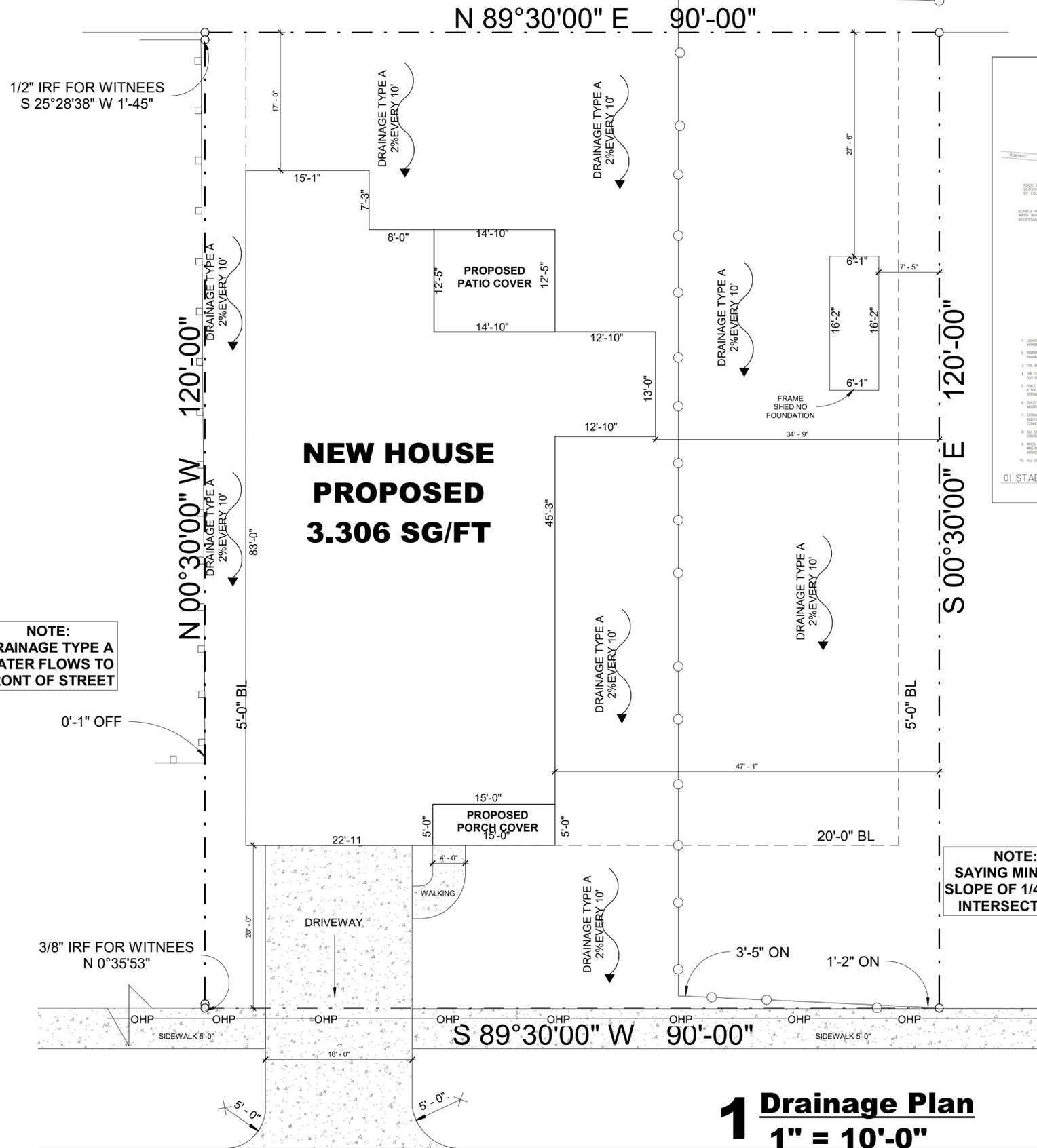
Date:

02/17/2024

Scale

1/8" = 1'-0"

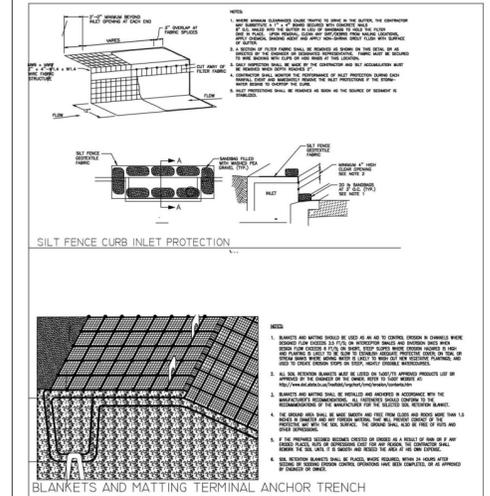
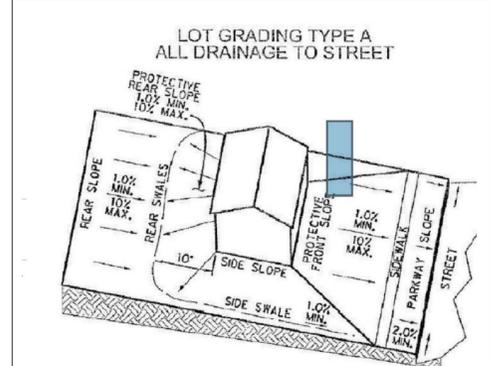
Drawn by: Projects & Construction Araque



**PROPOSED LOT DRAINAGE**

Single family lots must be graded in conformance with the grading plan established for the subdivision where applicable, and should normally follow FHA lot grading patterns shown on the right. Types A and B are preferred but Type C (all drainage to rear) but a swale is required at the bottom of the yard to intercept runoff if the rear yard exceeds 2%. Runoff must be picked up in a street right-of-way or drainage easement after crossing more than two neighboring lots. Any exception to these conditions will be subject to special approval and inspections.

The lot must be graded to provide a finished floor elevation 12 above the surrounding land and crown of street, and drain away from the foundation as shown below. Final grading must provide a minimum of four (4) inches of top soil outside of the foundation and other hard surfaces, in order to sustain vegetation after construction is complete.



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**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

|                                          |             |
|------------------------------------------|-------------|
| <b>DRAINAGE PLAN</b>                     |             |
| Project number:                          |             |
| Date:                                    | 02/17/2024  |
| Scale:                                   | 1" = 10'-0" |
| Drawn by: Projects & Construction Araque |             |

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 3/22/2024

PROJECT NUMBER: Z2024-013  
PROJECT NAME: SUP for Residential Infill Evans Road  
SITE ADDRESS/LOCATIONS: 340 EVANS RD, ROCKWALL, TX 75032

CASE CAPTION: Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single- Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

| DEPARTMENT | REVIEWER         | DATE OF REVIEW | STATUS OF PROJECT    |
|------------|------------------|----------------|----------------------|
|            | Angelica Guevara | 03/22/2024     | Approved w/ Comments |

03/22/2024: Z2024-013; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 340 Evans Road  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.248-acre tract of land identified as a portion of Lot 1180 and of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 340 Evans Road.
- I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).
- M.3 For reference, include the case number (Z2024-013) in the lower right-hand corner of all pages on future submittals.
- M.4 The applicant will be required to replat the subject property prior to the issuance of a Building Permit.
- I.5 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is situated within the Lake Rockwall Estates #2 Subdivision which has been in existence since 1956, consists of more than five (5) lots, and is considered to be more than 90% developed.
- I.6 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
- I.7 Garage Requirements. According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is approximately 5-feet in front of the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.
- M.8 Exterior Materials. According to Subsection 3.(b), Exterior Materials, of Exhibit 'C' of Planned Development District 75 (PD-75) "(b)uildings 120-SF or greater and over ten (10) feet in height shall have exterior walls constructed of a minimum of 80% standards masonry construction, excluding windows and doors ... Hardi-Board or similar cementaceous materials may be used on up to 50% of the total masonry requirement. A building with less than 80% standard masonry construction or which utilizes an excess of 50% cementaceous material shall require approval by the City Council in accordance with Section 3.C, Consideration of a Special Request, of this Ordinance." Please indicate that type of siding being proposed and that it is a cementaceous product. In addition, please provide exterior material percentages -- excluding doors and windows -- for all exterior elevations. This is needed to demonstrate conformance to the requirements of Planned Development District 75 (PD-75).

I.9 In this case, the proposed request appears to meet most of the requirements for Residential Infill in an Established Subdivision, and the zoning requirements for a property in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District.

M.10 Ordinances. Please review the attached draft ordinance prior to the April 9, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by April 2, 2024.

I.11 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 2, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 9, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.12 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 26, 2024, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on April 9, 2024.

I.13 City Council Meeting Dates. The projected City Council meeting dates for this case will be April 15, 2024 (1st Reading) and May 6, 2024 (2nd Reading).

I.14 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

| DEPARTMENT  | REVIEWER      | DATE OF REVIEW | STATUS OF PROJECT    |
|-------------|---------------|----------------|----------------------|
| ENGINEERING | Madelyn Price | 03/21/2024     | Approved w/ Comments |

03/21/2024: 1. Finished floor must be a minimum of 1.5' above the gutter line of Evans Road. Plot plan including grading showing swales and drainage pattern required with the Building Permit.

2. Existing or proposed fence? Do you plan on keeping it if existing?

3. There is no existing or proposed sidewalk along Evans Road. Please remove.

4. You will need to provide a proposed culvert underneath of this driveway to pass drainage within the existing drainage swale. Engineering plans required. Culvert to be reinforced concrete with sloped concrete headwalls and minimum size of 18".

5. Property currently drains northeast.

| DEPARTMENT | REVIEWER     | DATE OF REVIEW | STATUS OF PROJECT |
|------------|--------------|----------------|-------------------|
| BUILDING   | Craig Foshee | 03/21/2024     | Approved          |

No Comments

| DEPARTMENT | REVIEWER       | DATE OF REVIEW | STATUS OF PROJECT |
|------------|----------------|----------------|-------------------|
| FIRE       | Ariana Kistner | 03/18/2024     | Approved          |

No Comments

| DEPARTMENT | REVIEWER        | DATE OF REVIEW | STATUS OF PROJECT    |
|------------|-----------------|----------------|----------------------|
| GIS        | Lance Singleton | 03/18/2024     | Approved w/ Comments |

03/18/2024: Assigned address will be 340 EVANS RD. ROCKWALL, TX 75032

| DEPARTMENT | REVIEWER        | DATE OF REVIEW | STATUS OF PROJECT |
|------------|-----------------|----------------|-------------------|
| POLICE     | Chris Cleveland | 03/18/2024     | Approved          |

No Comments

| DEPARTMENT | REVIEWER     | DATE OF REVIEW | STATUS OF PROJECT |
|------------|--------------|----------------|-------------------|
| PARKS      | Travis Sales | 03/18/2024     | Approved          |

No Comments

1/2" IRF FOR WITNESSES  
S 25°28'38" W 1'-45"

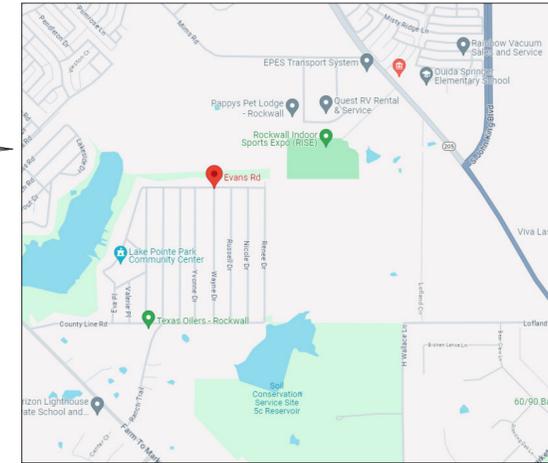
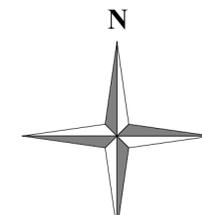
N 89°30'00" E 90'-00"

- Finished floor must be a minimum of 1.5' above the gutter line of Evans Road.  
- Plot plan including grading showing swales and drainage pattern required with the Building Permit.

N 00°30'00" W 120'-00"

**NEW HOUSE  
PROPOSED  
3.306 SG/FT**

**NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS**



VICINITY MAP

**EVANS ROAD  
LOT 1179**

|                               |                      |
|-------------------------------|----------------------|
| Proposed Floor Plan           | 2,417.5 SG/FT        |
| <b>Total New Construction</b> | <b>2,417.5 SG/FT</b> |
| Proposed Garage               | 469.4 SG/FT          |
| Proposed Porch Cover          | 75 SG/FT             |
| Proposed Patio Cover          | 344.1 SG/FT          |
| <b>Total New Construction</b> | <b>3,306 SG/FT</b>   |
| Lot                           | 1179                 |
| Country                       | Dallas               |
| City                          | Rockwall             |
| Lot Area                      | <b>0.2 ACRES</b>     |
| Max Lot Coverage              | 35%                  |
| Lot Coverage                  | 65%                  |

Existing or proposed fence? Do you plan on keeping it if existing?

There is no existing or proposed sidewalk along Evans Road. Please remove.

You will need to provide a proposed culvert underneath of this driveway to pass drainage within the existing drainage swale. Engineering plans required. Culvert to be reinforced concrete with sloped concrete headwalls and minimum size of 18".

0'-1" OFF

3/8" IRF FOR WITNESSES  
N 0°35'53"

**EVANS ROAD**  
50' R.O.W.

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.  
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

**SITE PLAN**

Project number:

Date:

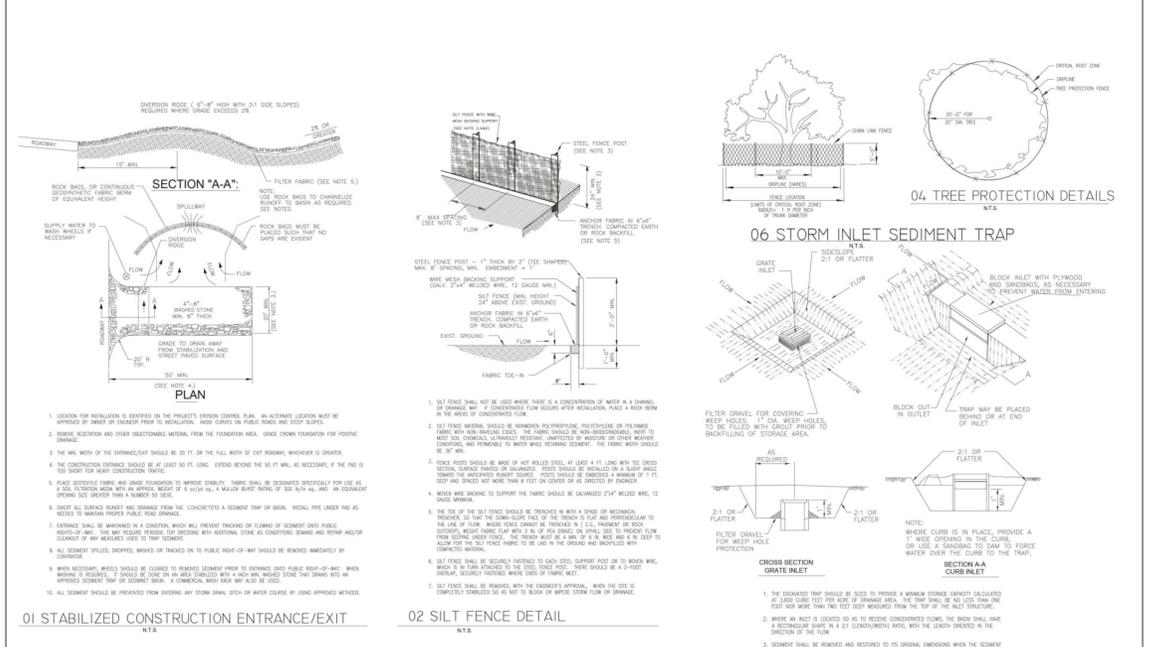
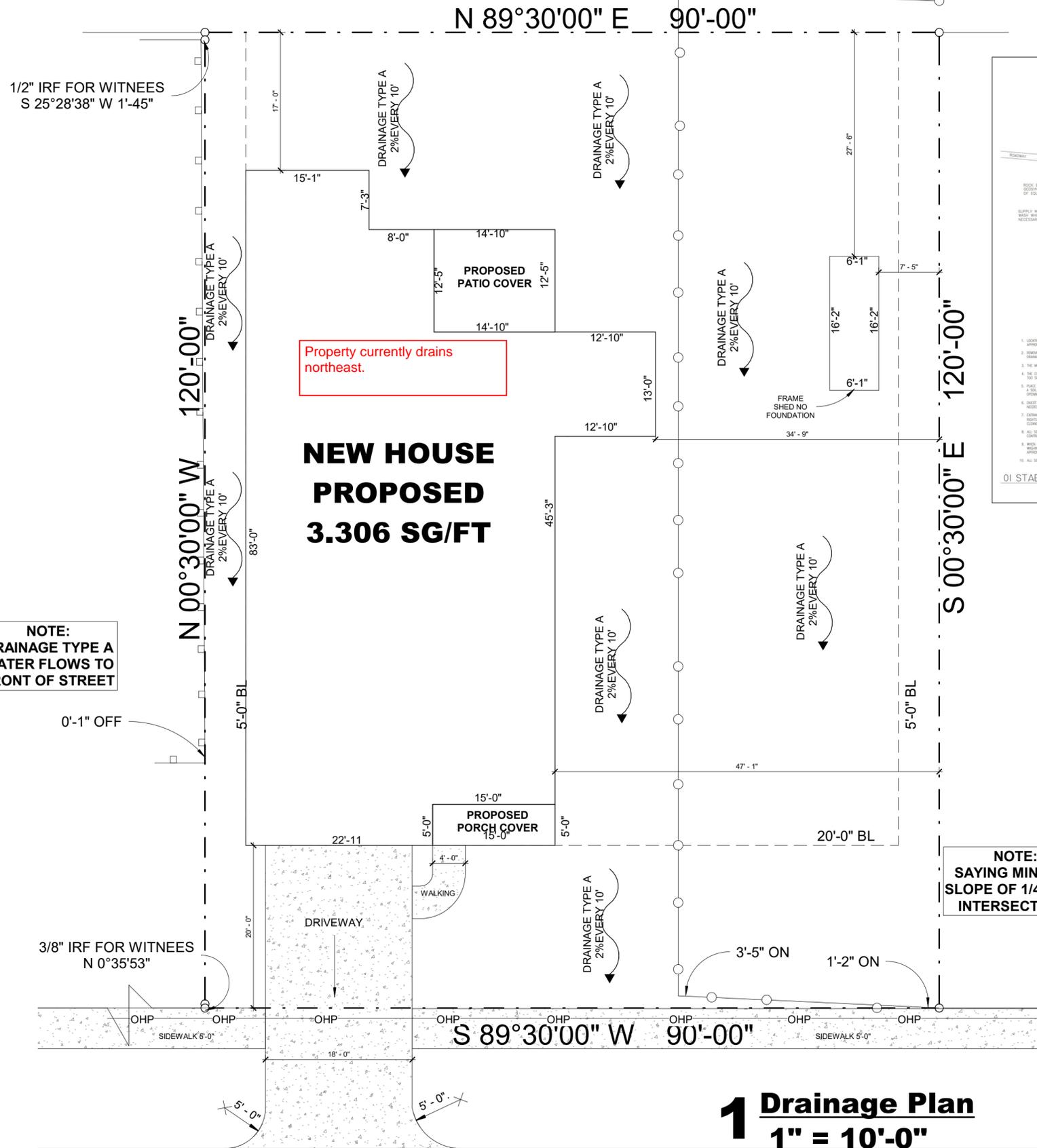
02/17/2024

Scale

1" = 10'-0"

Drawn by: Projects & Construction Araque

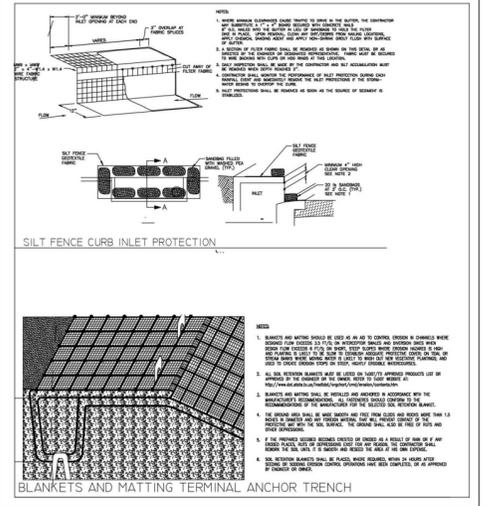
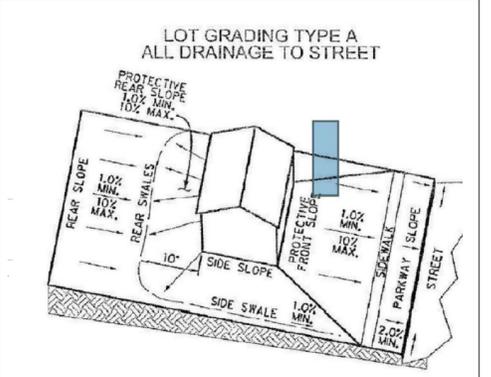




**PROPOSED LOT DRAINAGE**

Single family lots must be graded in conformance with the grading plan established for the subdivision where applicable, and should normally follow FHA lot grading patterns shown on the right. Types A and B are preferred but Type C (all drainage to rear) but a swale is required at the bottom of the yard to intercept runoff if the rear yard exceeds 2%. Runoff must be picked up in a street right-of-way or drainage easement after crossing more than two neighboring lots. Any exception to these conditions will be subject to special approval and inspections.

The lot must be graded to provide a finished floor elevation 12 above the surrounding land and crown of street, and drain away from the foundation as shown below. Final grading must provide a minimum of four (4) inches of top soil outside of the foundation and other hard surfaces, in order to sustain vegetation after construction is complete.



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

**DRAINAGE PLAN**

Project number:  
Date: 02/17/2024 Scale 1" = 10'-0"  
Drawn by: Projects & Construction Araque



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>PLATTING APPLICATION FEES:</b></p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p><b>SITE PLAN APPLICATION FEES:</b></p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p> | <p><b>ZONING APPLICATION FEES:</b></p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input checked="" type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&amp;2</sup></p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><b>OTHER APPLICATION FEES:</b></p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup></p> <p><b>NOTES:</b></p> <p><sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p><sup>2</sup> A <del>\$1,000.00</del> FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 0 Evans Road Rockwall TX 75032

SUBDIVISION \_\_\_\_\_ LOT 1179 BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential CURRENT USE \_\_\_\_\_

PROPOSED ZONING Residential PROPOSED USE \_\_\_\_\_

ACREAGE 0.2 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

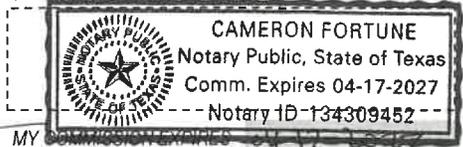
|                                |                                |                                               |                                     |
|--------------------------------|--------------------------------|-----------------------------------------------|-------------------------------------|
| <input type="checkbox"/> OWNER | <u>Shirley Soto</u>            | <input checked="" type="checkbox"/> APPLICANT | <u>Projects &amp; Constructions</u> |
| CONTACT PERSON                 |                                | CONTACT PERSON                                | <u>PAUL ARCE Araque</u>             |
| ADDRESS                        | <u>453 Lynn @ Dr</u>           | ADDRESS                                       | <u>18601 LBJ Fwy<br/>SUITE 250</u>  |
| CITY, STATE & ZIP              | <u>Rockwall TX 75032</u>       | CITY, STATE & ZIP                             | <u>MESQUITE TX 75150</u>            |
| PHONE                          | <u>(903) 985-1425</u>          | PHONE                                         | <u>(972) 365-6823</u>               |
| E-MAIL                         | <u>shirleysoto@hotmail.com</u> | E-MAIL                                        | <u>projectsaraque41@gmail.com</u>   |

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shirley Soto [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 219 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2024.  
OWNER'S SIGNATURE Shirley Soto

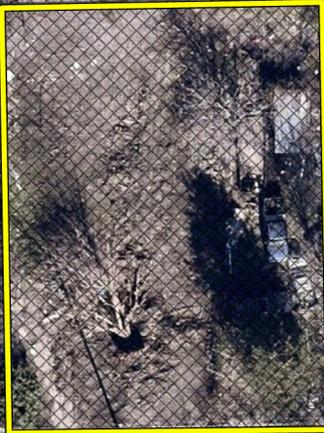


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Cameron Fortune MY COMMISSION EXPIRES 04-17-2027



Z2024-013: Specific Use Permit (SUP) for Residential Infill 340 Evans Road

PD-101



EVANS RD

PD-75

WAYNE DR

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

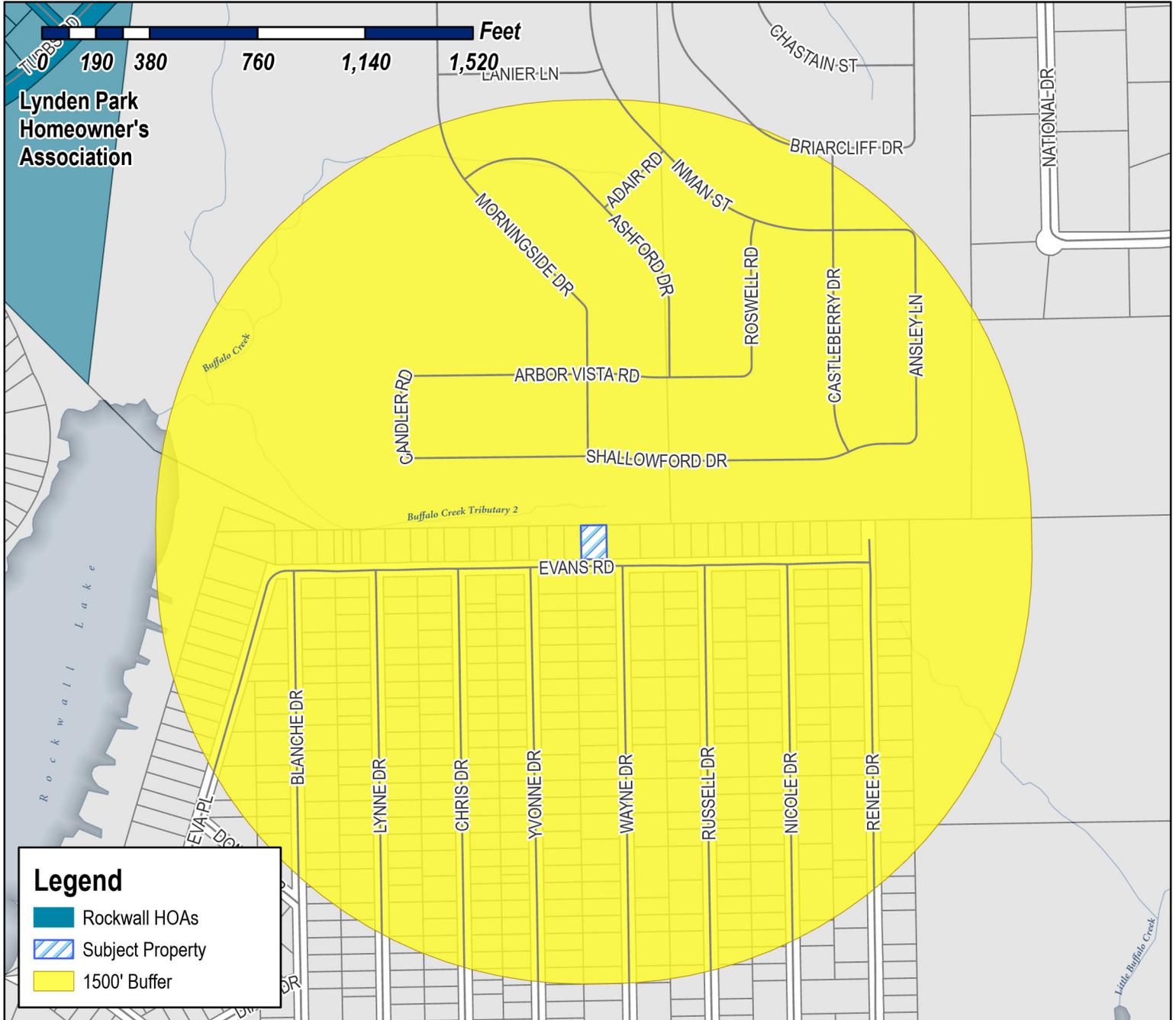




# City of Rockwall

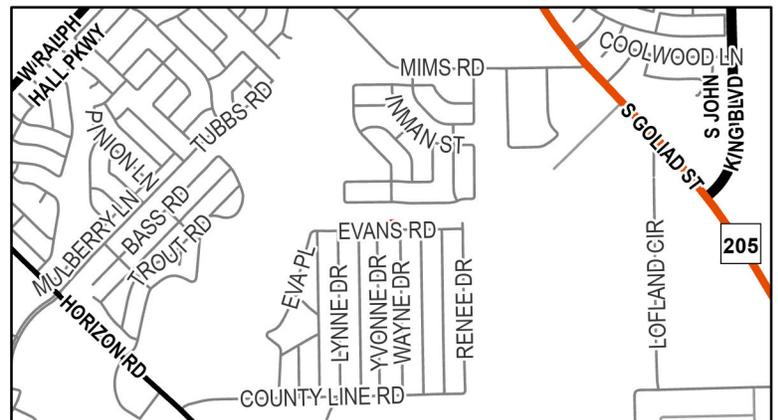
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2024-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill at 340 Evans Road  
**Case Type:** Zoning  
**Zoning:** Planned Development 75 (PD-75)  
**Case Address:** 340 Evans Road

**Date Saved:** 3/15/2024  
 For Questions on this Case Call (972) 771-7745

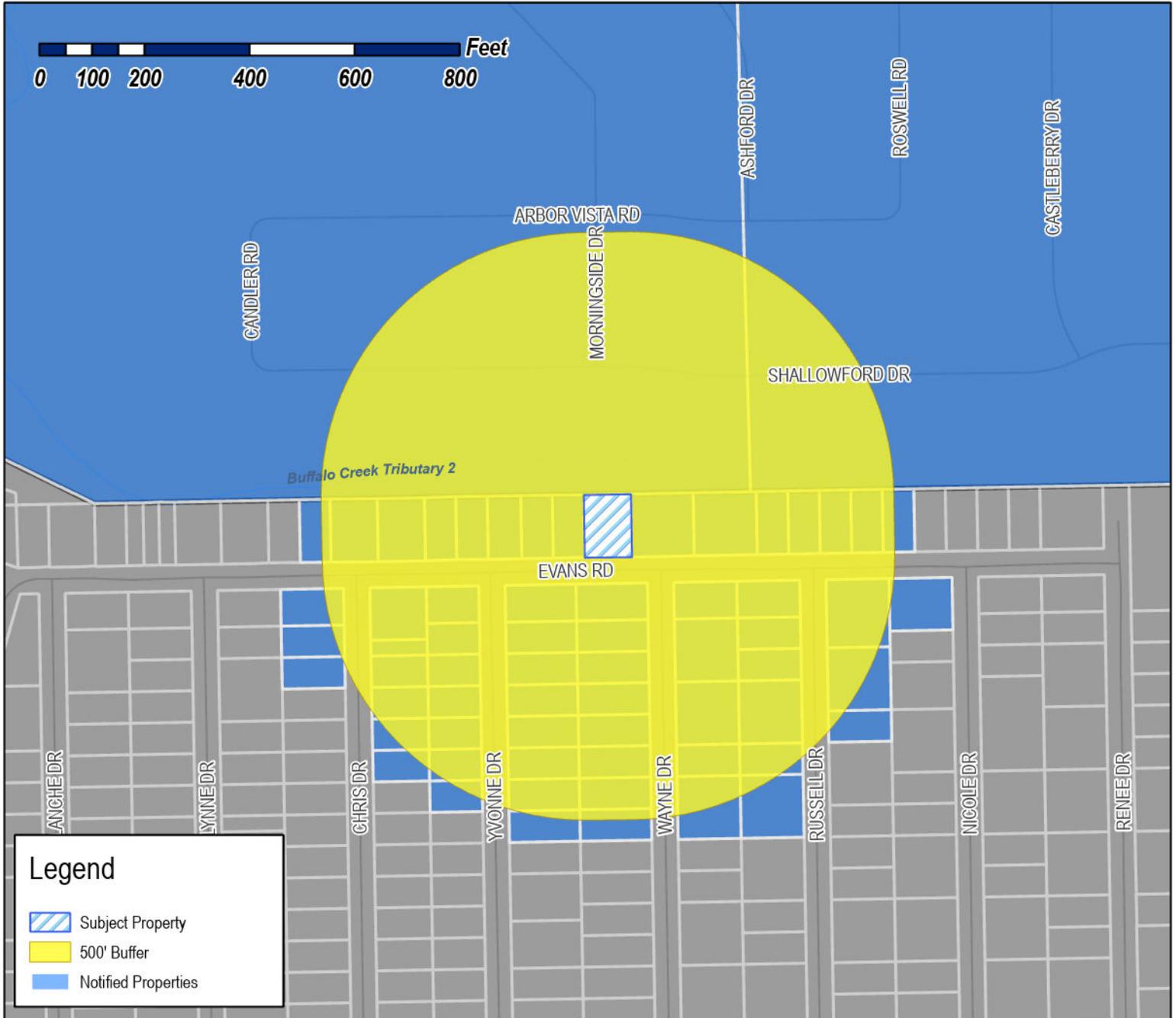




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

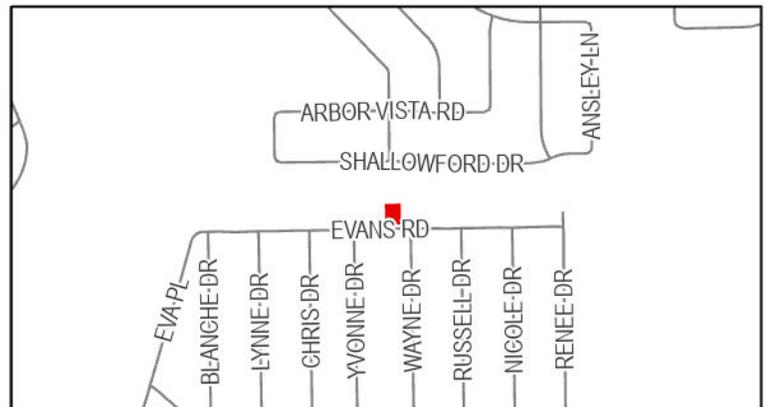
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**Case Number:** Z2024-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill at 340 Evans Road  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 340 Evans Road

**Date Saved:** 3/15/2024

For Questions on this Case Call: (972) 771-7746



SILVA BERTHA  
1041 E FM 552  
ROCKWALL, TX 75087

DEAN ANN W  
106 STANDING OAK DR  
GEORGETOWN, TX 78633

QUALICO DEVELOPMENTS (US), INC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
186 NICOLE DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
220 EVANS RD  
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA  
234 EVANS RD  
ROCKWALL, TX 75032

MEJIA RAMIRO  
244 EVANS RD  
ROCKWALL, TX 75032

NGO HA THAI AND MIA DINH  
2505 WESTBANK TRL  
GARLAND, TX 75042

RESIDENT  
266 EVANS RD  
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC  
2716 GREENHILL DRIVE  
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO  
VELAZQUEZ  
290 EVANS  
ROCKWALL, TX 75032

RESIDENT  
302 EVANS RD  
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

BALDERAS GREGORY  
310 EVANS RD  
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE  
QUINONEZ  
322 EVANS RD  
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I  
3248 BLACKLAND RD  
ROYSE CITY, TX 75189

RAMIRES RAUL  
358 EVANS RD  
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L  
376 EVANS RD  
ROCKWALL, TX 75032

GONZALEZ NORMA PATRICIA SOLIS  
388 EVANS RD  
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO  
397 CHRIS DR  
ROCKWALL, TX 75032

MENDOZA FIDEL & ALEJANDRINA  
400 EVANS RD  
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA  
400 EVANS RD  
ROCKWALL, TX 75032

GAMEZ PETRA K MARTINEZ  
406 EVANS  
ROCKWALL, TX 75032

RESIDENT  
412 EVANS RD  
ROCKWALL, TX 75032

RESIDENT  
418 EVANS RD  
ROCKWALL, TX 75032

BALLEZA REAL ESTATE LLC AND  
ANA QUEZADA  
4408 AIKEN TRL  
SACHSE, TX 75048

YANEZ SANDRA R TORRES  
441 LYNNE DRIVE  
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ  
461 YVONNE DR  
ROCKWALL, TX 75032

CRUZ MARIO  
461 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
466 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
470 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
470 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
471 YVONNE DR  
ROCKWALL, TX 75032

SOTO DOMINGO  
471 WAYNE DR  
ROCKWALL, TX 75032

MORENO ORALIA SOLIS  
474 BASS ROAD  
ROCKWALL, TX 75032

MORENO LUIS NOE  
474 BASS ROAD  
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA  
479 CHRIS DR  
ROCKWALL, TX 75032

ALONSO ELEASAR &  
BENITO GAMEZ  
482 WAYNE DR  
ROCKWALL, TX 75032

GUEVARA MARIA  
482 YVONNE DRIVE  
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS  
MARTINEZ-AGUILAR  
485 YVONNE DR  
ROCKWALL, TX 75032

PAYNE MILDRED IRENE  
487 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
488 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
491 YVONNE DR  
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA  
491 CHRIS DR  
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND  
FANIA GARCIA  
494 RUSSELL LOT 1252  
ROCKWALL, TX 75032

ARROYO REYES  
499 RUSSELL DR  
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND  
JUDITH GAIL WOOD  
499 WAYNE DR  
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI  
500 YVONNE DR  
ROCKWALL, TX 75032

VELASQUEZ LORENA  
501 CHRIS DRIVE  
ROCKWALL, TX 75033

MARTINEZ PEDRO & MARIA CELIA  
506 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN  
509 YVONNE DR  
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA  
5112 WOLVERTON CT  
GARLAND, TX 75043

RESIDENT  
513 CHRIS DR  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA  
513 RUSSELL DR  
ROCKWALL, TX 75032

LEON VANESSA RANGEL  
514 YVONNE DR  
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA  
GALLEGOS  
516 CHRIS DR  
ROCKWALL, TX 75032

MARTINEZ DAVID  
516 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
518 RUSSELL DR  
ROCKWALL, TX 75032

JIMENEZ LEONARDO  
5201 KELSO LN  
GARLAND, TX 75043

RESIDENT  
521 YVONNE DR  
ROCKWALL, TX 75032

GANUS HUGH  
524 SESAME DR  
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA  
524 YVONNE DR  
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ  
525 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
528 CHRIS DR  
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO  
528 WAYNE DR  
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY  
530 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
531 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
534 YVONNE DR  
ROCKWALL, TX 75032

RETANA JUAN &  
YENY RUBIO  
535 CHRIS DR  
ROCKWALL, TX 75032

STRICKLAND TARA  
536 WAYNE DR  
ROCKWALL, TX 75032

OBRIEN ELLEN K  
537 RUSSELL DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
540 CHRIS DR  
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L  
541 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
544 YVONNE DR  
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH  
547 WAYNE DR  
ROCKWALL, TX 75032

CERVANTES HECTOR AND  
ERIKA MOLINA  
548 NICOLE DRIVE  
ROCKWALL, TX 75032

ARRIAGA GREGORIA  
548 WAYNE ST  
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS  
552 RUSSELL DR  
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA  
848 SMITH ACRES DR  
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC  
PO BOX 69  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-013: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single- Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

### Case No. Z2024-013: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

1/2" IRF FOR WITNESSES  
S 25°28'38" W 1'-45"

NOTE:  
SAYING MINIMUM  
SLOPE OF 1/4:12 ON  
INTERSECTIONS

0'-1" OFF

3/8" IRF FOR WITNESSES  
N 0°35'53"

N 00°30'00" W 120'-00"

N 89°30'00" E 90'-00"

S 00°30'00" E 120'-00"

**NEW HOUSE  
PROPOSED  
3.306 SG/FT**

15'-0"  
**PROPOSED  
PORCH COVER**

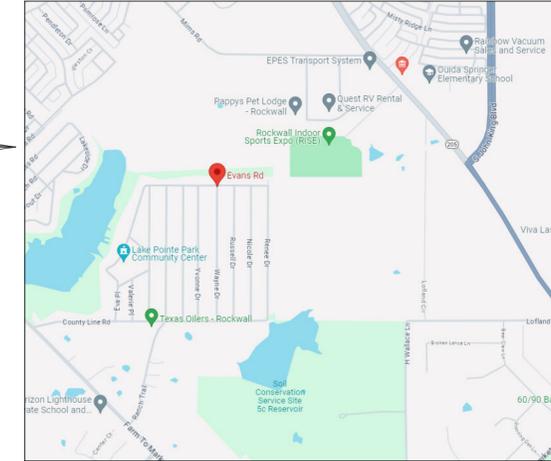
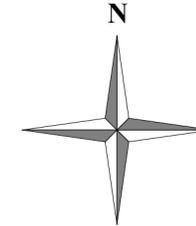
14'-10"  
**PROPOSED  
PATIO COVER**

FRAME  
SHED NO  
FOUNDATION

DRIVEWAY

WALKING

S 89°30'00" W 90'-00"



VICINITY MAP

**EVANS ROAD  
LOT 1179**

|                               |                      |
|-------------------------------|----------------------|
| Proposed Floor Plan           | 2,417.5 SG/FT        |
| <b>Total New Construction</b> | <b>2,417.5 SG/FT</b> |
| Proposed Garage               | 469.4 SG/FT          |
| Proposed Porch Cover          | 75 SG/FT             |
| Proposed Patio Cover          | 344.1 SG/FT          |
| <b>Total New Construction</b> | <b>3,306 SG/FT</b>   |
| Lot                           | 1179                 |
| Country                       | Dallas               |
| City                          | Rockwall             |
| Lot Area                      | <b>0.2 ACRES</b>     |
| Max Lot Coverage              | 35%                  |
| Lot Coverage                  | 65%                  |

**1 Site Plan**  
1" = 10'-0"

**EVANS ROAD**  
50' R.O.W.



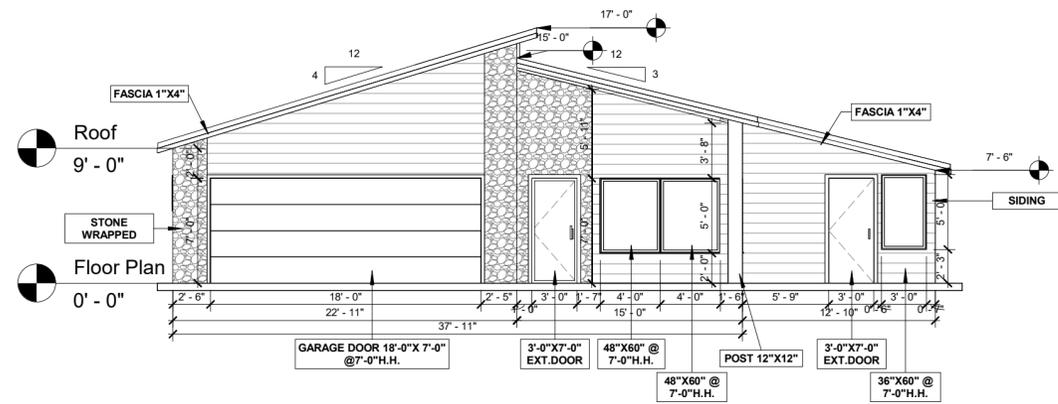
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.  
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
EVANS ROAD

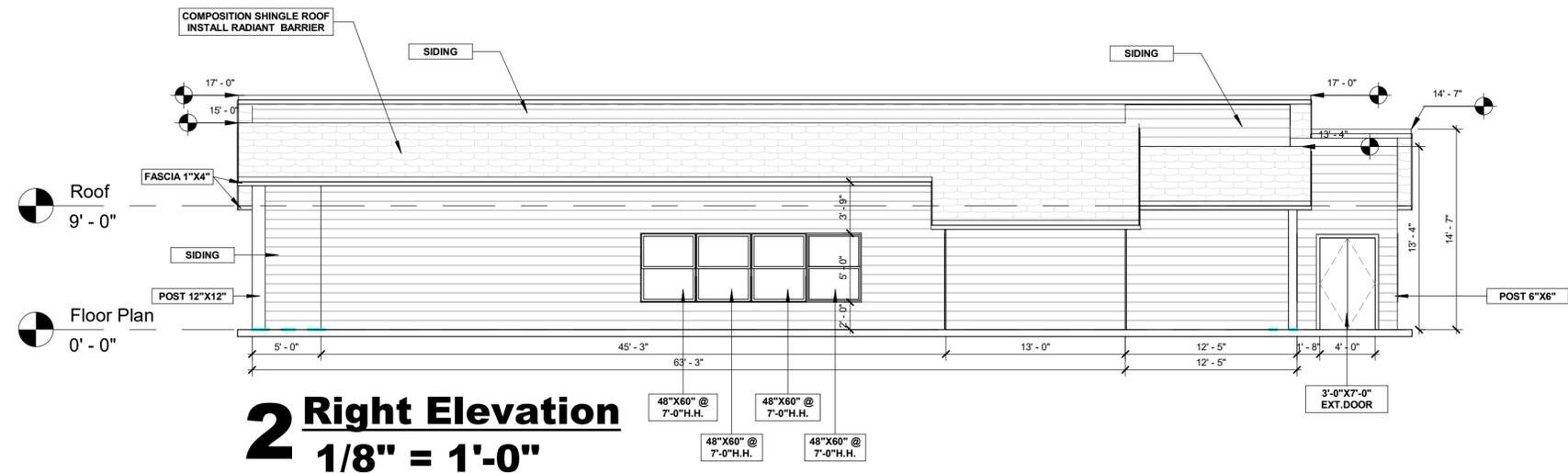
**Legal Description**  
LOT 1179

**SITE PLAN**

Project number:  
Date: 02/17/2024 Scale 1" = 10'-0"  
Drawn by: Projects & Construction Araque



**1 Front Elevation**  
**1/8" = 1'-0"**



**2 Right Elevation**  
**1/8" = 1'-0"**



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL, BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

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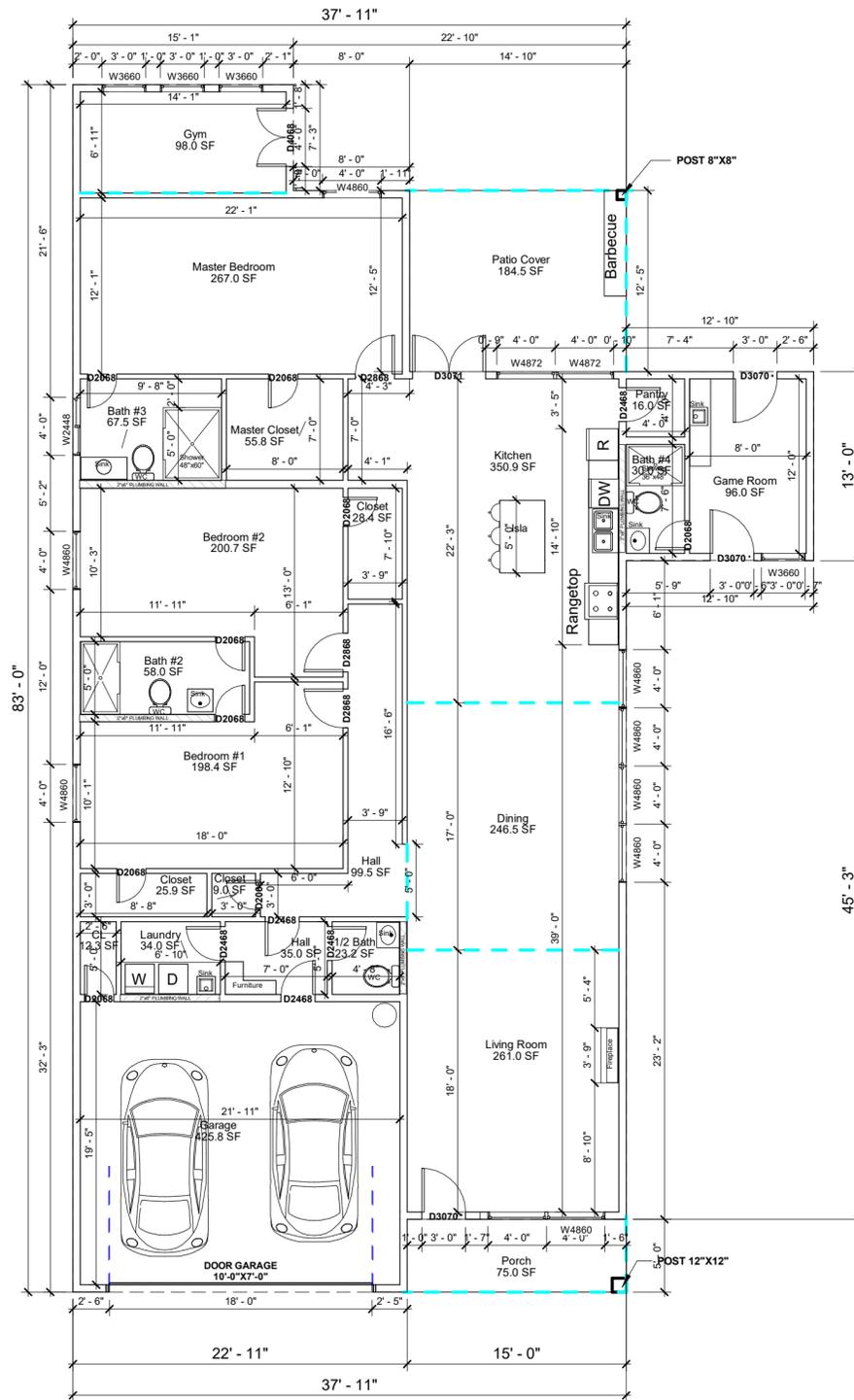
**Project Name & Address**  
 EVANS ROAD

**Legal Description**  
 LOT 1179

**ELEVATIONS**

Project number:  
 Date: 02/17/2024 Scale 1/8" = 1'-0"  
 Drawn by: Projects & Construction Araque





**1 Floor Plan**  
**1/8" = 1'-0"**

| Door Schedule    |                             |            |          |         |
|------------------|-----------------------------|------------|----------|---------|
| Phase Created    | Mark                        | Type       | Width    | Height  |
| New Construction | D2068                       | 24" x 80"  | 2' - 0"  | 6' - 8" |
| New Construction | D2468                       | 28" x 80"  | 2' - 4"  | 6' - 8" |
| New Construction | D2868                       | 32" x 80"  | 2' - 8"  | 6' - 8" |
| New Construction | D3070                       | 36" x 84"  | 3' - 0"  | 7' - 0" |
| New Construction | D3071                       | 60" x 84"  | 5' - 0"  | 7' - 0" |
| New Construction | D4068                       | 48" x 80"  | 4' - 0"  | 6' - 8" |
| New Construction | DOOR GARAGE<br>10'-0"X7'-0" | 108" x 84" | 18' - 0" | 7' - 0" |
| Grand total: 23  |                             |            |          |         |

| Window Schedule  |       |               |         |         |
|------------------|-------|---------------|---------|---------|
| Phase Created    | Mark  | Type          | Height  | Width   |
| New Construction | W2448 | 0915 x 1220mm | 2' - 0" | 4' - 0" |
| New Construction | W3660 | 36"x60"       | 5' - 0" | 3' - 0" |
| New Construction | W4860 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4860 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4868 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4872 | 48"x72"       | 6' - 0" | 4' - 0" |
| Grand total: 16  |       |               |         |         |



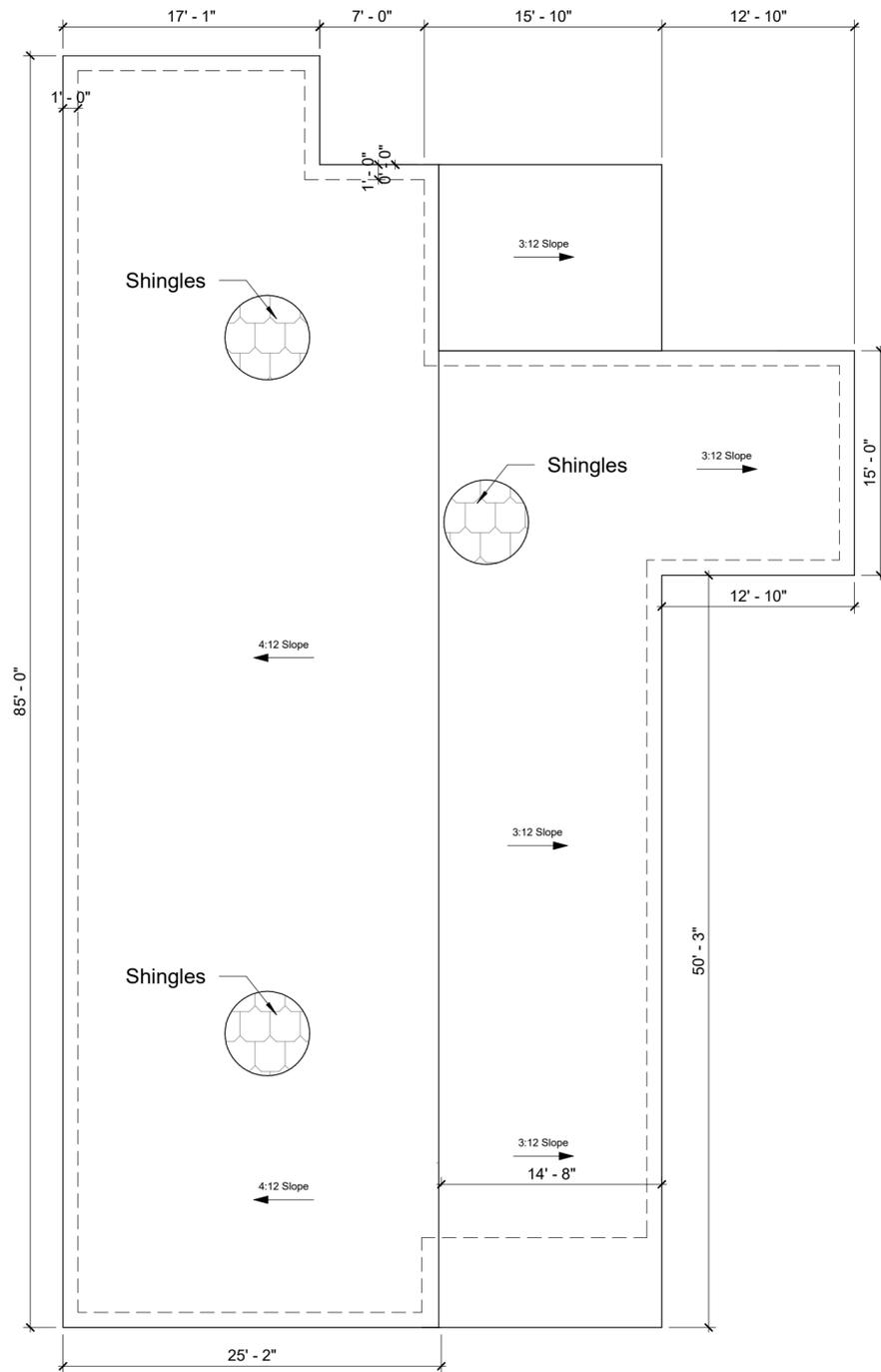
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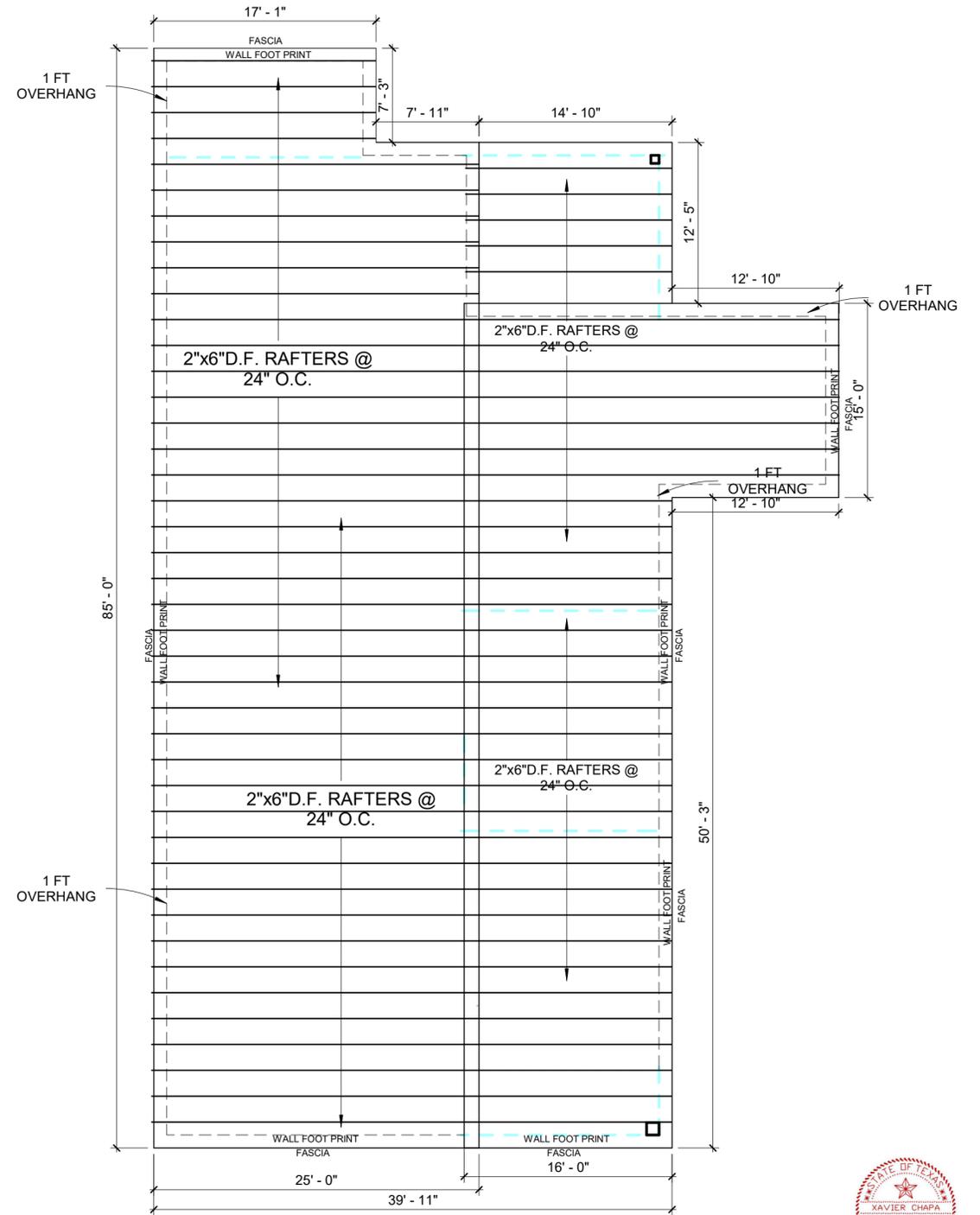
**Project Name & Address**  
 EVANS ROAD  
**Legal Description**  
 LOT 1179

**FLOOR PLAN**

Project number:  
 Date: 02/17/2024 Scale 1/8" = 1'-0"  
 Drawn by: Projects & Construction Araque



**1 Roof**  
 $1/8" = 1'-0"$



**2 Rafter Roof**  
 $1/8" = 1'-0"$



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**Project Name & Address**  
 EVANS ROAD

**Legal Description**  
 LOT 1179

**ROOF**

Project number:

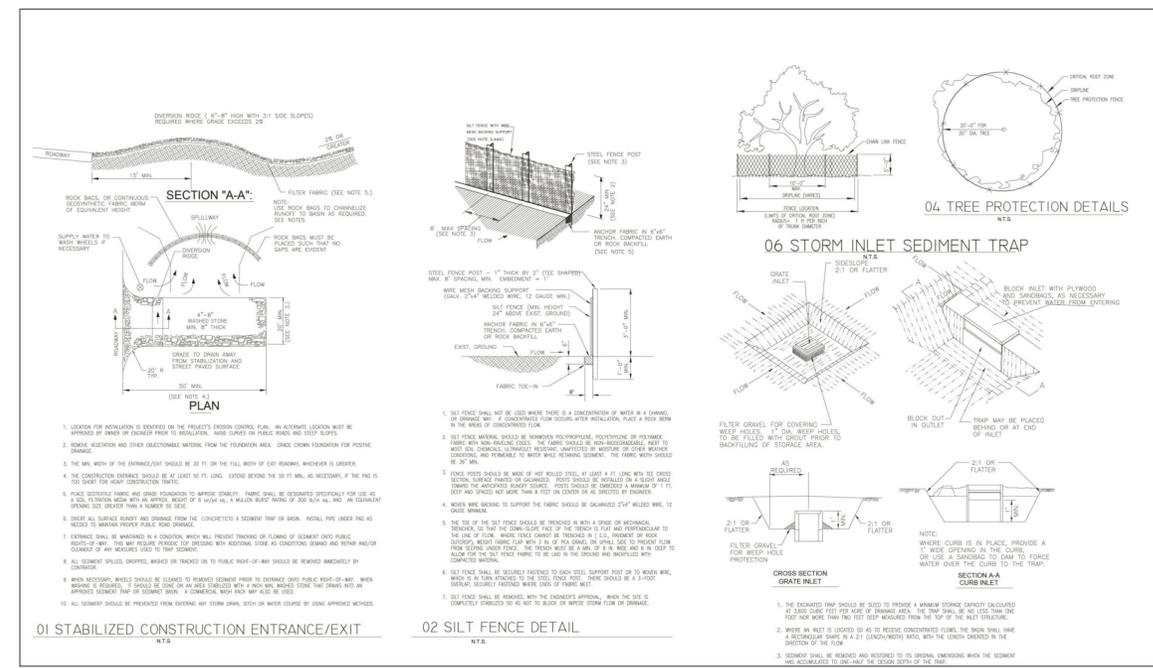
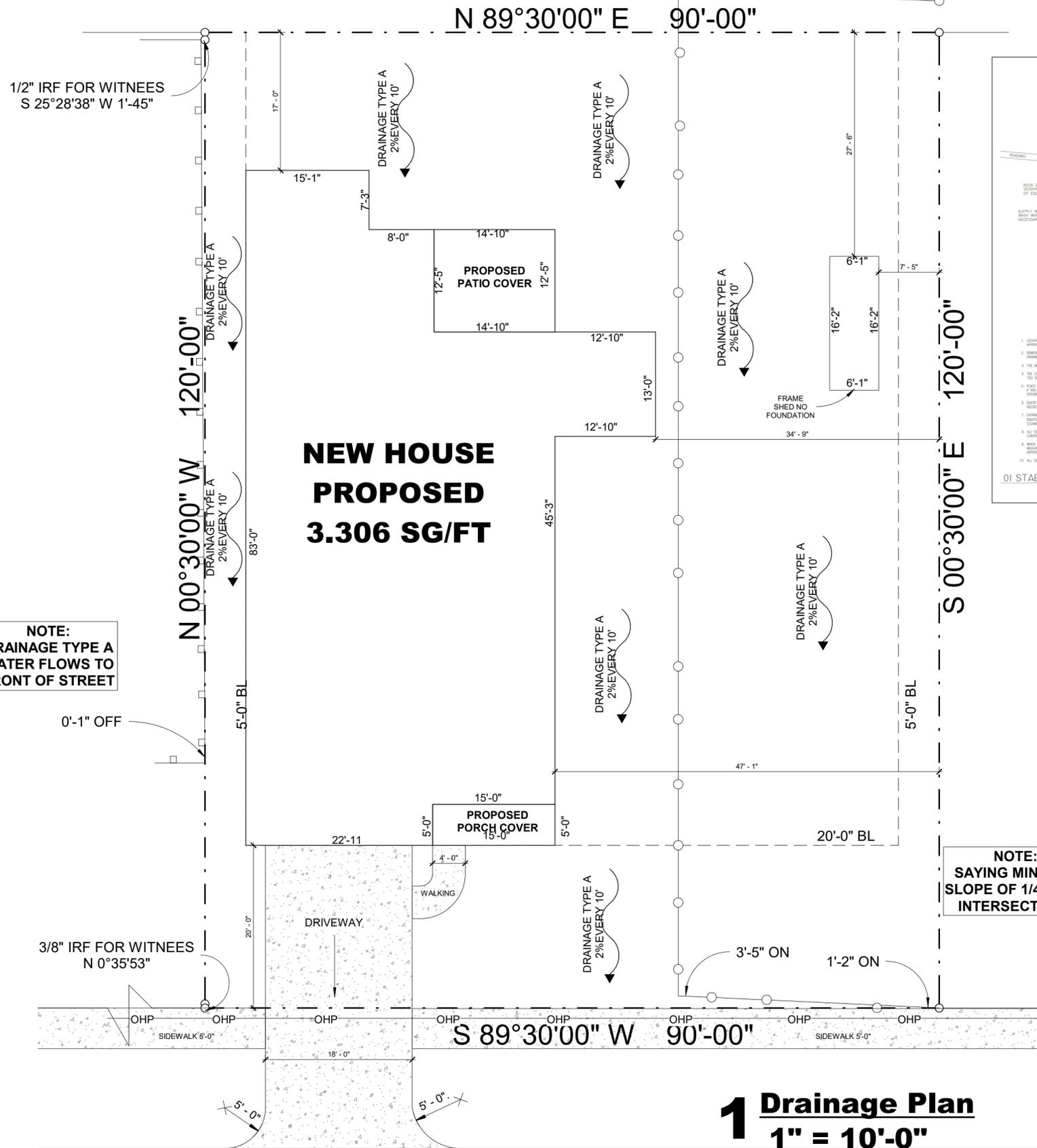
Date:

02/17/2024

Scale

1/8" = 1'-0"

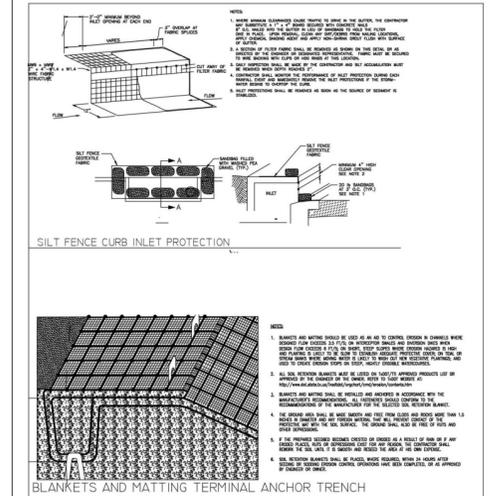
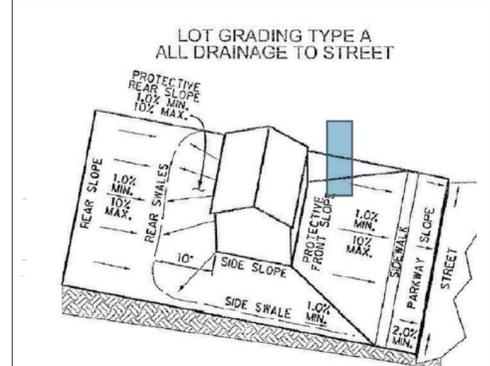
Drawn by: Projects & Construction Araque



**PROPOSED LOT DRAINAGE**

Single family lots must be graded in conformance with the grading plan established for the subdivision where applicable, and should normally follow FHA lot grading patterns shown on the right. Types A and B are preferred but Type C (all drainage to rear) but a swale is required at the bottom of the yard to intercept runoff if the rear yard exceeds 2%. Runoff must be picked up in a street right-of-way or drainage easement after crossing more than two neighboring lots. Any exception to these conditions will be subject to special approval and inspections.

The lot must be graded to provide a finished floor elevation 12 above the surrounding land and crown of street, and drain away from the foundation as shown below. Final grading must provide a minimum of four (4) inches of top soil outside of the foundation and other hard surfaces, in order to sustain vegetation after construction is complete.



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**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

|                                          |             |
|------------------------------------------|-------------|
| <b>DRAINAGE PLAN</b>                     |             |
| Project number:                          |             |
| Date:                                    | 02/17/2024  |
| Scale:                                   | 1" = 10'-0" |
| Drawn by: Projects & Construction Araque |             |

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1180 AND ALL OF LOT 1179 OF THE LAKE ROCKWALL ESTATES PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Paul Arce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 340 Evans Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 75 (PD-75) [Ordinance No. 16-01] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) The applicant shall be required to replat the subject property prior to the issuance of a Building Permit.
- 4) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> OF MAY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

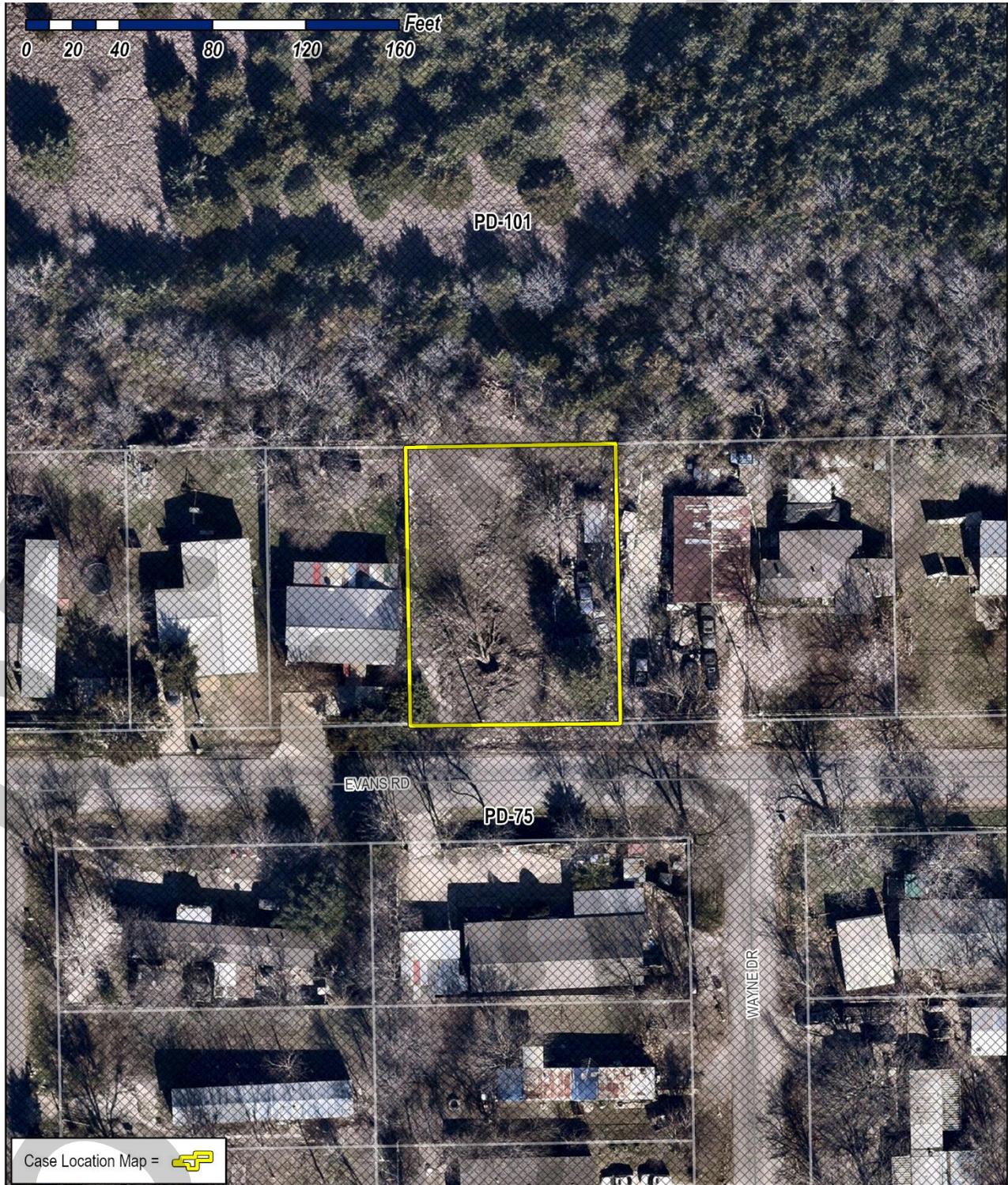
1<sup>st</sup> Reading: April 15, 2024

2<sup>nd</sup> Reading: May 6, 2024

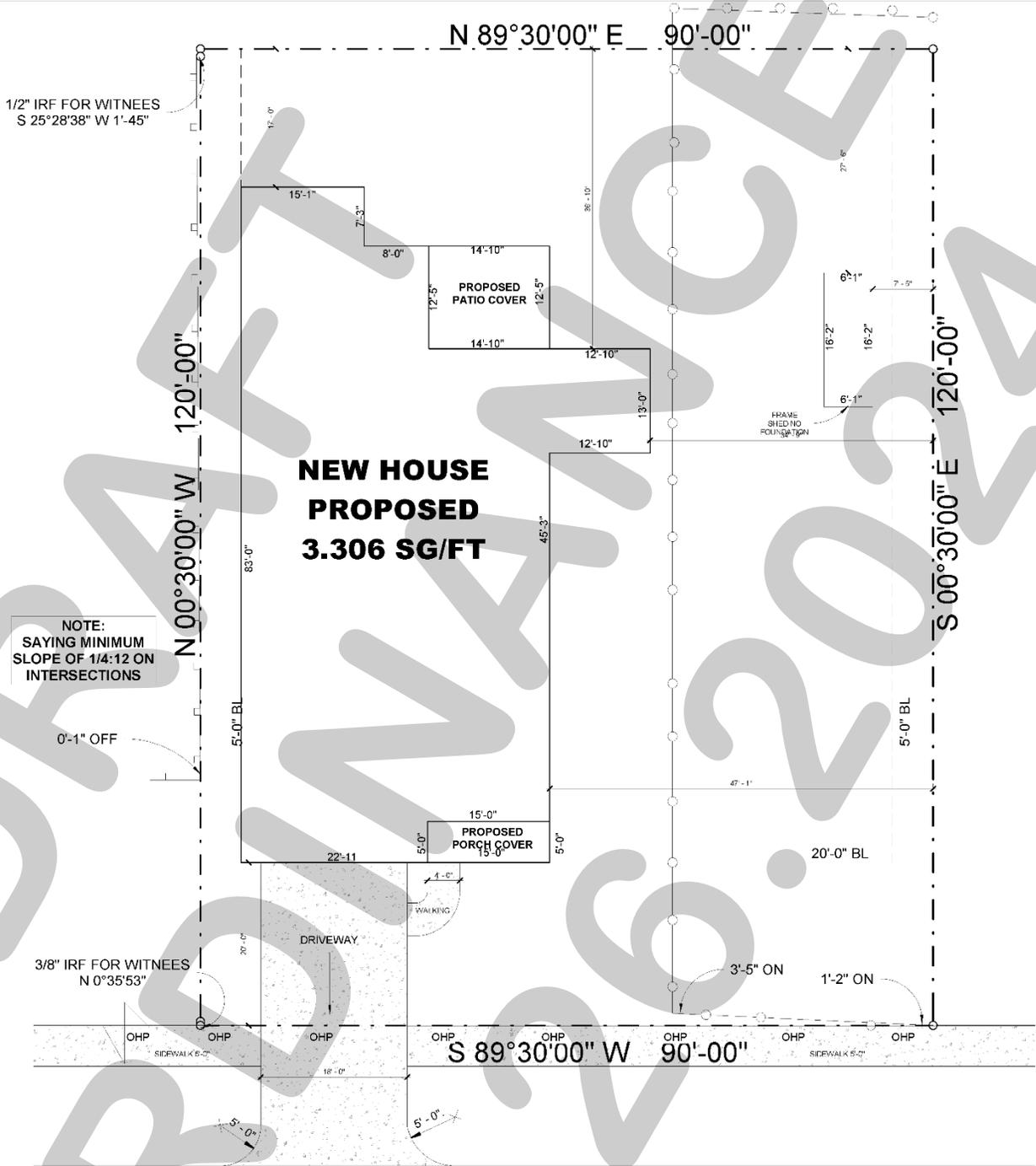
**Exhibit 'A':**  
**Location Map and Residential Plot Plan**

Address: 340 Evans Road

Legal Description: Portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates Phase 2 Addition



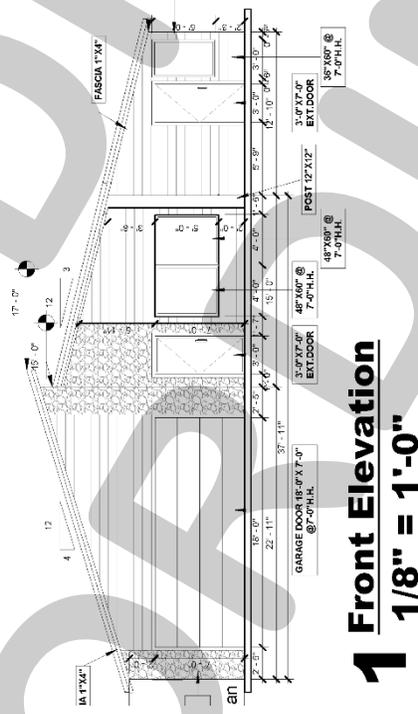
**Exhibit 'A':**  
**Location Map and Residential Plot Plan**



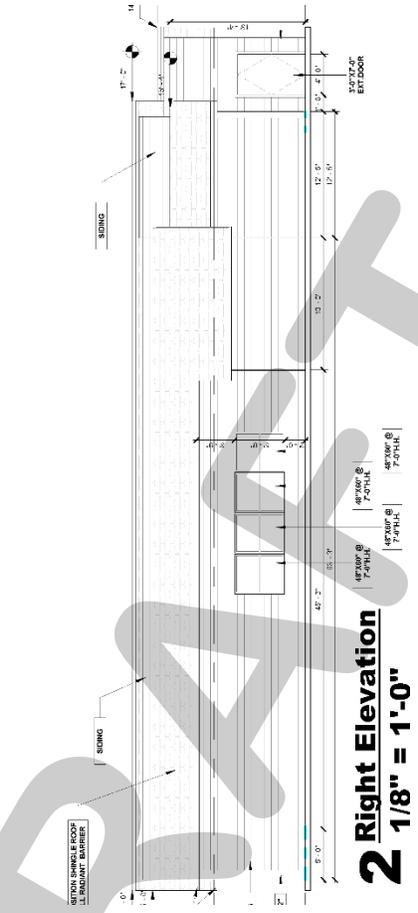
**1 Site Plan**  
**1" = 10'-0"**

**EVANS ROAD**  
 50' R.O.W.

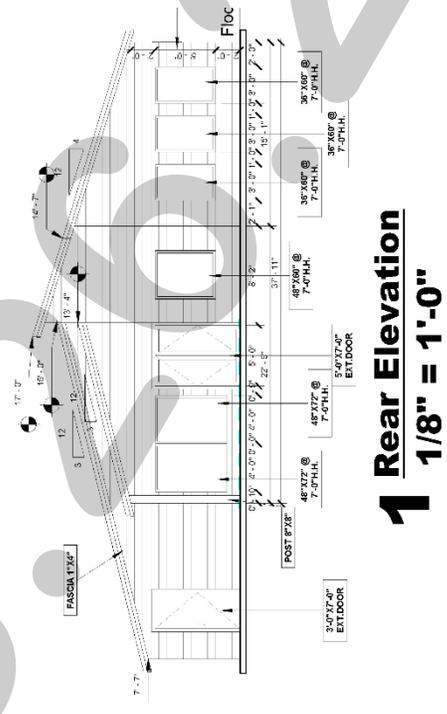
Exhibit 'B':  
Building Elevations



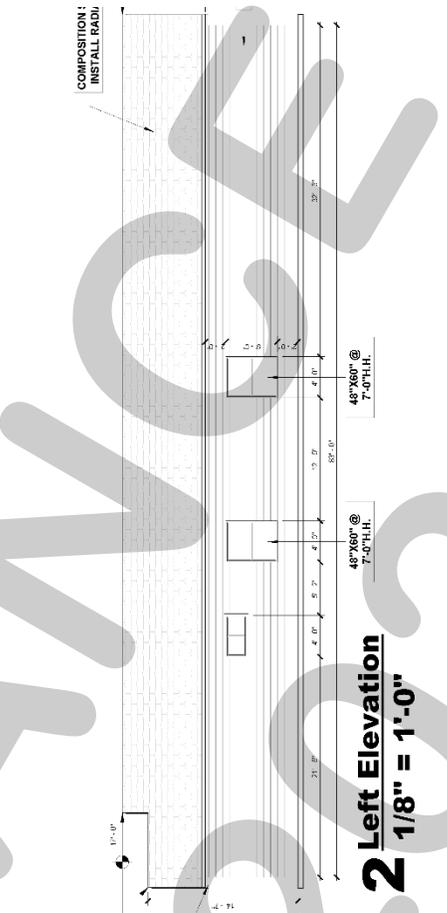
**1** Front Elevation  
**1/8" = 1'-0"**



**2** Right Elevation  
**1/8" = 1'-0"**



**1** Rear Elevation  
**1/8" = 1'-0"**



**2** Left Elevation  
**1/8" = 1'-0"**



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** April 9, 2024

**APPLICANT:** Paul Arce; *Projects & Constructions Araque*

**CASE NUMBER:** Z2024-013; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 340 Evans Road*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

### BACKGROUND

The subject property was originally platted as Lots 1180 & 1179 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. The subject property has been vacant since its annexation.

### PURPOSE

The applicant -- *Paul Arce* -- is requesting the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC)..

### ADJACENT LAND USES AND ACCESS

The subject property is located at 340 Evans Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 90.5-acre vacant tract of land (*which is part of a larger 140.5-acre tract of land identified as Tract 3 of the G. Wells Survey, Abstract No. 219*), which is zoned Planned Development District 101 (PD-101) for Single-Family 10 (SF-10) District land uses. Beyond that is Mims Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 48-6670-acre parcel of land (*i.e. Lot 3 of the W.H. Barnes Survey, Abstract No. 26*), which is zoned Commercial (C) District and belongs to the Rayburn Country Electric Cooperation.

South: Directly south of the subject property is Evans Road, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with modular homes, with some of the lots being developed with

single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Renee Drive, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is a 0.66-acre parcel of land (*i.e. 557 Renee Drive*) developed with a modular home and zoned Planned Development District 75 (PD-75).

West: Directly west of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is a 66.083-acre tract of land (*i.e. Tract 2 of the G. Wells Survey, Abstract No. 219*), which consists of Rockwall Lake and is zoned Planned Development District 75 (PD-75).

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Evans Road and Russell & Wayne Drive compared to the house proposed by the applicant:

| Housing Design and Characteristics | Existing Housing on Evans Road, Wayne Drive & Russell Drive                      | Proposed Housing                                           |
|------------------------------------|----------------------------------------------------------------------------------|------------------------------------------------------------|
| Building Height                    | One (1) Story                                                                    | One (1) Story                                              |
| Building Orientation               | All of the homes face the towards Evans Road, Wayne or Russell Drive.            | The front elevation of the home will face onto Evans Road. |
| Year Built                         | 1970-2003                                                                        | N/A                                                        |
| Building SF on Property            | 970 SF – 2,558 SF                                                                | 3,306 SF                                                   |
| Building Architecture              | Majority Modular Homes and Two (2) Single-Family Homes                           | Comparable Architecture to Newer Single-Family Homes       |
| Building Setbacks:                 |                                                                                  |                                                            |
| Front                              | The front yard setbacks appear to conform to the required 20-foot yard setback.  | 20-Feet                                                    |
| Side                               | The side yard setbacks appear to conform to the required five (5) foot setback.  | X>5-Feet, X= 5-Feet                                        |
| Rear                               | The rear yard setbacks appear to conform to the ten (10) feet rear yard setback. | 17-Feet                                                    |
| Building Materials                 | Metal, Modular Paneling, Masonite Siding, and Brick.                             | Brick and Stone                                            |
| Paint and Color                    | White, Gray, Red, Yellow, Blue, Green                                            | <i>Undefined by the Applicant</i>                          |
| Roofs                              | Composite Shingles and Metal                                                     | Asphalt Composite Shingle                                  |

|                   |                        |                                                                                   |
|-------------------|------------------------|-----------------------------------------------------------------------------------|
| Driveways/Garages | No Garages or Carports | The garage will be a front entry garage with the driveway facing onto Evans Road. |
|-------------------|------------------------|-----------------------------------------------------------------------------------|

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i) in single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage approximately five (5) feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past, and that the single-family home directly west of the subject property appears to be in the same configuration as the proposed home. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Evans Road, Wayne Drive, and Russell Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

**NOTIFICATIONS**

On March 22, 2024, staff mailed 81 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant’s request.

**CONDITIONS OF APPROVAL**

If City Council chooses to approve of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘A’* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘B’* of the draft ordinance;
  - (c) The applicant shall be required to replat the subject property prior to the issuance of a Building Permit; and,
  - (d) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>PLATTING APPLICATION FEES:</b></p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p><b>SITE PLAN APPLICATION FEES:</b></p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup></p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p> | <p><b>ZONING APPLICATION FEES:</b></p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><input checked="" type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&amp;2</sup></p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup></p> <p><b>OTHER APPLICATION FEES:</b></p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup></p> <p><b>NOTES:</b></p> <p><sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p><sup>2</sup> A <del>\$1,000.00</del> FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 0 Evans Road Rockwall TX 75032

SUBDIVISION \_\_\_\_\_ LOT 1179 BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential CURRENT USE \_\_\_\_\_

PROPOSED ZONING Residential PROPOSED USE \_\_\_\_\_

ACREAGE 0.2 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

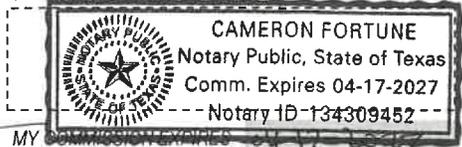
|                                |                                |                                               |                                          |
|--------------------------------|--------------------------------|-----------------------------------------------|------------------------------------------|
| <input type="checkbox"/> OWNER | <u>Shirley Soto</u>            | <input checked="" type="checkbox"/> APPLICANT | <u>Projects &amp; Constructions</u>      |
| CONTACT PERSON                 |                                | CONTACT PERSON                                | <u>PAUL ARCE Araque</u>                  |
| ADDRESS                        | <u>453 Lynn @ Dr</u>           | ADDRESS                                       | <u>18601 LBJ Fwy</u><br><u>SUITE 250</u> |
| CITY, STATE & ZIP              | <u>Rockwall TX 75032</u>       | CITY, STATE & ZIP                             | <u>MESQUITE TX 75150</u>                 |
| PHONE                          | <u>(903) 985-1425</u>          | PHONE                                         | <u>(972) 365-6823</u>                    |
| E-MAIL                         | <u>shirleysoto@hotmail.com</u> | E-MAIL                                        | <u>projectsaraque41@gmail.com</u>        |

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shirley Soto [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 219 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2024.  
OWNER'S SIGNATURE Shirley Soto

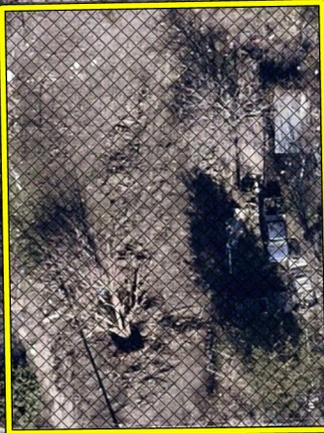


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Cameron Fortune MY COMMISSION EXPIRES 04-17-2027



Z2024-013: Specific Use Permit (SUP) for Residential Infill 340 Evans Road

PD-101



EVANS RD

PD-75

WAYNE DR

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

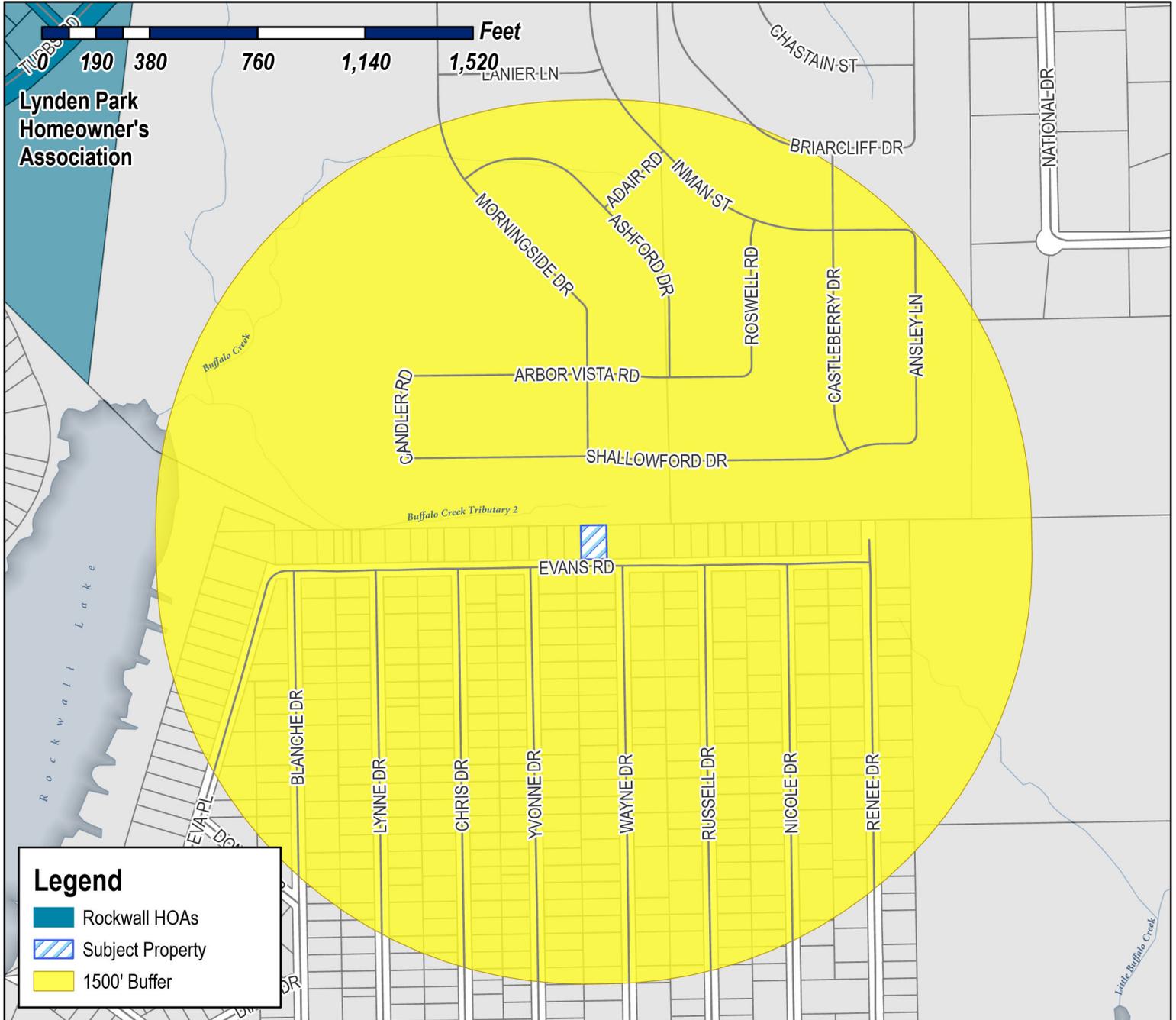




# City of Rockwall

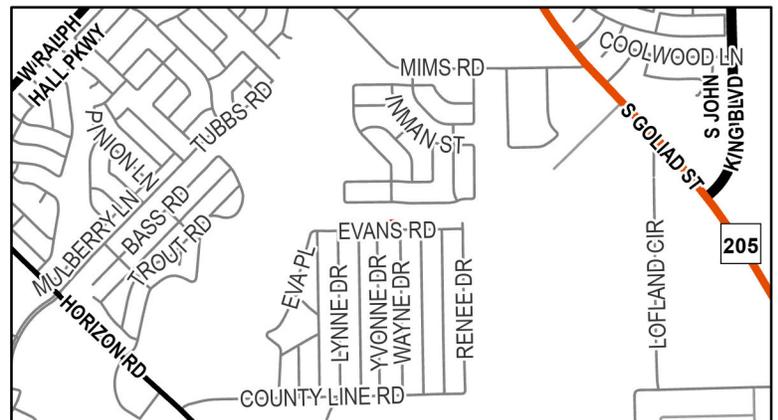
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**Case Number:** Z2024-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill at 340 Evans Road  
**Case Type:** Zoning  
**Zoning:** Planned Development 75 (PD-75)  
**Case Address:** 340 Evans Road

**Date Saved:** 3/15/2024  
 For Questions on this Case Call (972) 771-7745

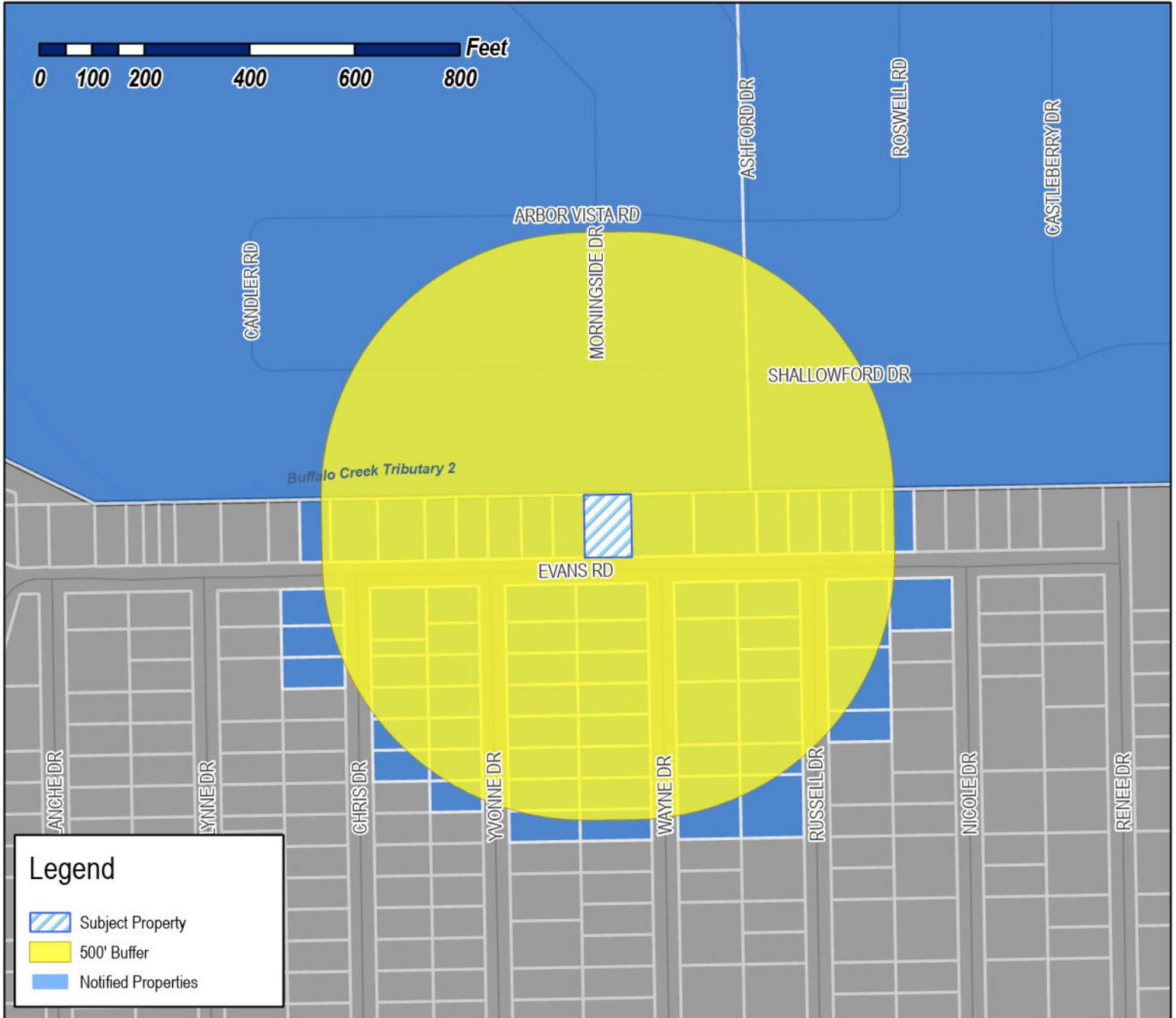




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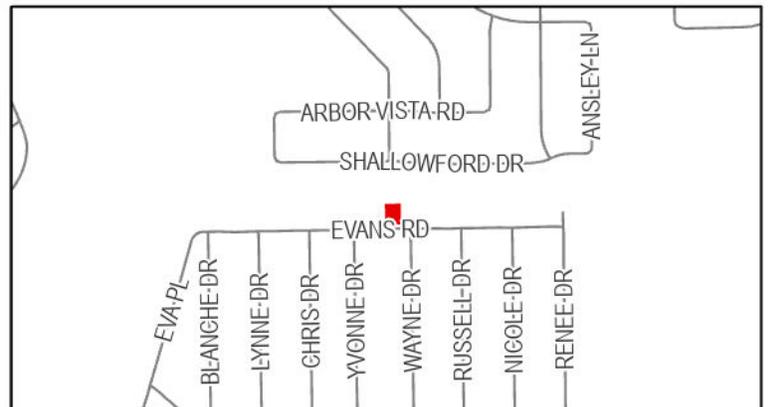
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**Case Number:** Z2024-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill at 340 Evans Road  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 340 Evans Road

**Date Saved:** 3/15/2024

For Questions on this Case Call: (972) 771-7746



SILVA BERTHA  
1041 E FM 552  
ROCKWALL, TX 75087

DEAN ANN W  
106 STANDING OAK DR  
GEORGETOWN, TX 78633

QUALICO DEVELOPMENTS (US), INC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
186 NICOLE DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
220 EVANS RD  
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA  
234 EVANS RD  
ROCKWALL, TX 75032

MEJIA RAMIRO  
244 EVANS RD  
ROCKWALL, TX 75032

NGO HA THAI AND MIA DINH  
2505 WESTBANK TRL  
GARLAND, TX 75042

RESIDENT  
266 EVANS RD  
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC  
2716 GREENHILL DRIVE  
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO  
VELAZQUEZ  
290 EVANS  
ROCKWALL, TX 75032

RESIDENT  
302 EVANS RD  
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

BALDERAS GREGORY  
310 EVANS RD  
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE  
QUINONEZ  
322 EVANS RD  
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I  
3248 BLACKLAND RD  
ROYSE CITY, TX 75189

RAMIRES RAUL  
358 EVANS RD  
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L  
376 EVANS RD  
ROCKWALL, TX 75032

GONZALEZ NORMA PATRICIA SOLIS  
388 EVANS RD  
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO  
397 CHRIS DR  
ROCKWALL, TX 75032

MENDOZA FIDEL & ALEJANDRINA  
400 EVANS RD  
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA  
400 EVANS RD  
ROCKWALL, TX 75032

GAMEZ PETRA K MARTINEZ  
406 EVANS  
ROCKWALL, TX 75032

RESIDENT  
412 EVANS RD  
ROCKWALL, TX 75032

RESIDENT  
418 EVANS RD  
ROCKWALL, TX 75032

BALLEZA REAL ESTATE LLC AND  
ANA QUEZADA  
4408 AIKEN TRL  
SACHSE, TX 75048

YANEZ SANDRA R TORRES  
441 LYNNE DRIVE  
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ  
461 YVONNE DR  
ROCKWALL, TX 75032

CRUZ MARIO  
461 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
466 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
470 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
470 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
471 YVONNE DR  
ROCKWALL, TX 75032

SOTO DOMINGO  
471 WAYNE DR  
ROCKWALL, TX 75032

MORENO ORALIA SOLIS  
474 BASS ROAD  
ROCKWALL, TX 75032

MORENO LUIS NOE  
474 BASS ROAD  
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA  
479 CHRIS DR  
ROCKWALL, TX 75032

ALONSO ELEASAR &  
BENITO GAMEZ  
482 WAYNE DR  
ROCKWALL, TX 75032

GUEVARA MARIA  
482 YVONNE DRIVE  
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS  
MARTINEZ-AGUILAR  
485 YVONNE DR  
ROCKWALL, TX 75032

PAYNE MILDRED IRENE  
487 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
488 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
491 YVONNE DR  
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA  
491 CHRIS DR  
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND  
FANIA GARCIA  
494 RUSSELL LOT 1252  
ROCKWALL, TX 75032

ARROYO REYES  
499 RUSSELL DR  
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND  
JUDITH GAIL WOOD  
499 WAYNE DR  
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI  
500 YVONNE DR  
ROCKWALL, TX 75032

VELASQUEZ LORENA  
501 CHRIS DRIVE  
ROCKWALL, TX 75033

MARTINEZ PEDRO & MARIA CELIA  
506 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN  
509 YVONNE DR  
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA  
5112 WOLVERTON CT  
GARLAND, TX 75043

RESIDENT  
513 CHRIS DR  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA  
513 RUSSELL DR  
ROCKWALL, TX 75032

LEON VANESSA RANGEL  
514 YVONNE DR  
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA  
GALLEGOS  
516 CHRIS DR  
ROCKWALL, TX 75032

MARTINEZ DAVID  
516 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
518 RUSSELL DR  
ROCKWALL, TX 75032

JIMENEZ LEONARDO  
5201 KELSO LN  
GARLAND, TX 75043

RESIDENT  
521 YVONNE DR  
ROCKWALL, TX 75032

GANUS HUGH  
524 SESAME DR  
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA  
524 YVONNE DR  
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ  
525 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
528 CHRIS DR  
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO  
528 WAYNE DR  
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY  
530 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
531 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
534 YVONNE DR  
ROCKWALL, TX 75032

RETANA JUAN &  
YENY RUBIO  
535 CHRIS DR  
ROCKWALL, TX 75032

STRICKLAND TARA  
536 WAYNE DR  
ROCKWALL, TX 75032

OBRIEN ELLEN K  
537 RUSSELL DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
540 CHRIS DR  
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L  
541 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
544 YVONNE DR  
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH  
547 WAYNE DR  
ROCKWALL, TX 75032

CERVANTES HECTOR AND  
ERIKA MOLINA  
548 NICOLE DRIVE  
ROCKWALL, TX 75032

ARRIAGA GREGORIA  
548 WAYNE ST  
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS  
552 RUSSELL DR  
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA  
848 SMITH ACRES DR  
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC  
PO BOX 69  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-013: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single- Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

### Case No. Z2024-013: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

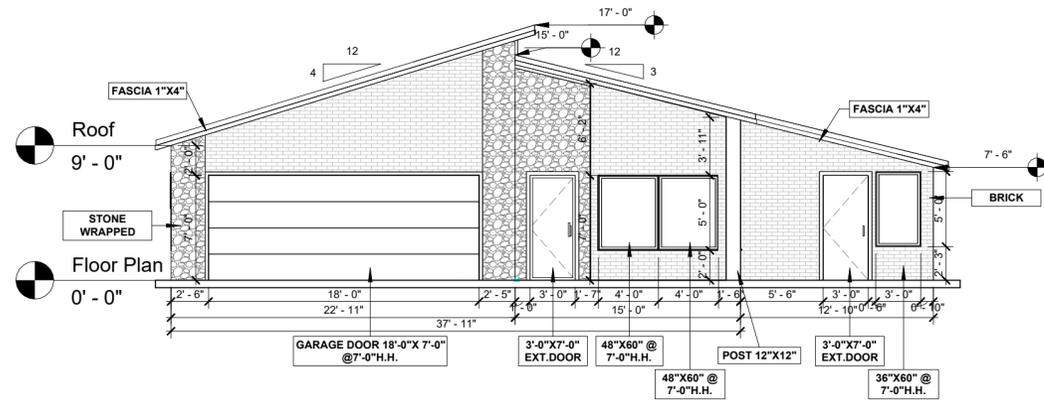
Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

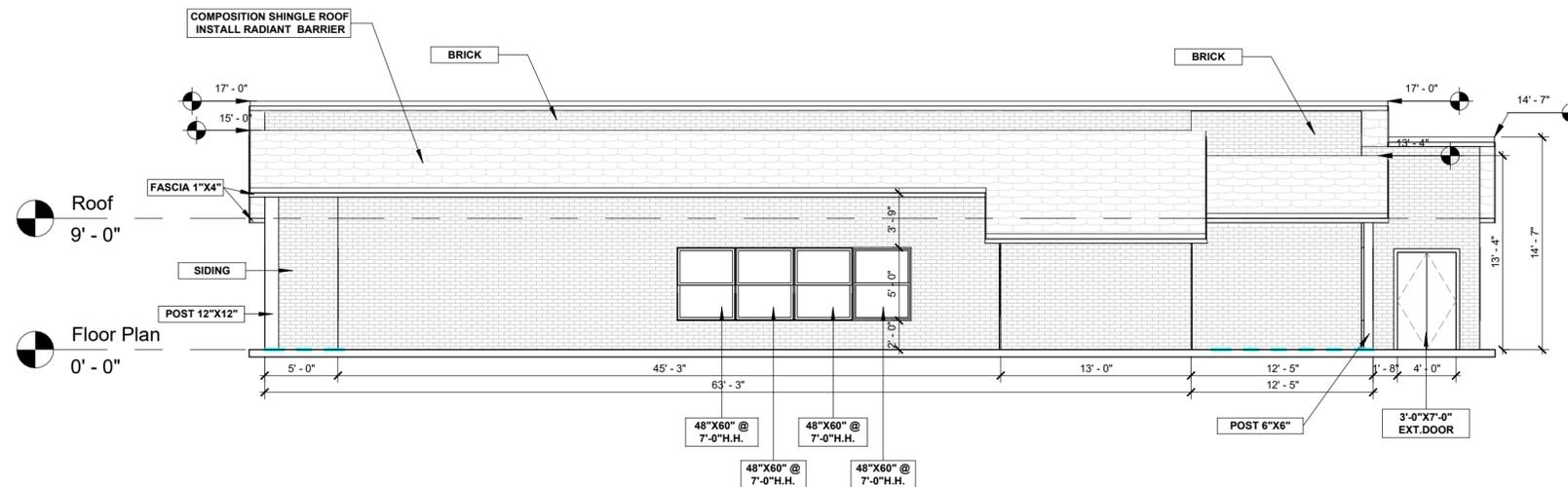
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





# 1 Front Elevation

1/8" = 1'-0"



# 2 Right Elevation

1/8" = 1'-0"



Xavier Chapa  
Xavier Chapa Engineering/Surveying  
Firm Number F-9156  
03/13/2024



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

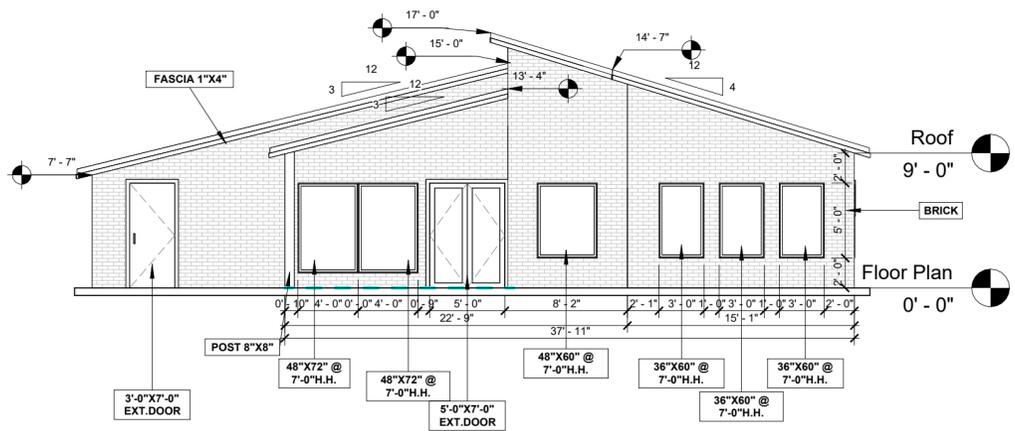
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

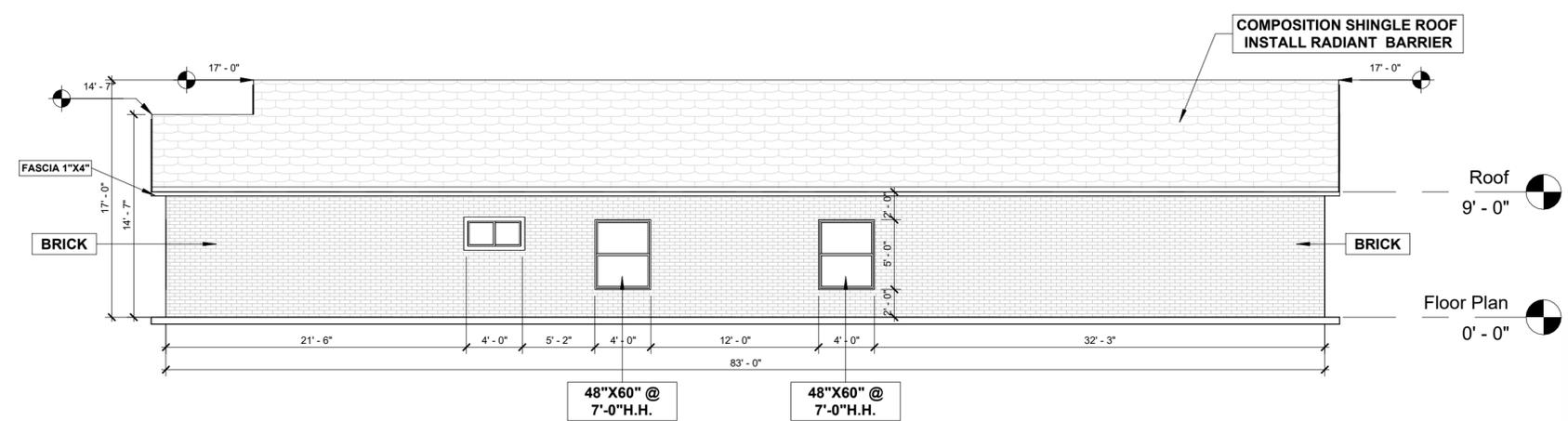
## ELEVATIONS

Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



# 1 Rear Elevation

1/8" = 1'-0"



# 2 Left Elevation

1/8" = 1'-0"



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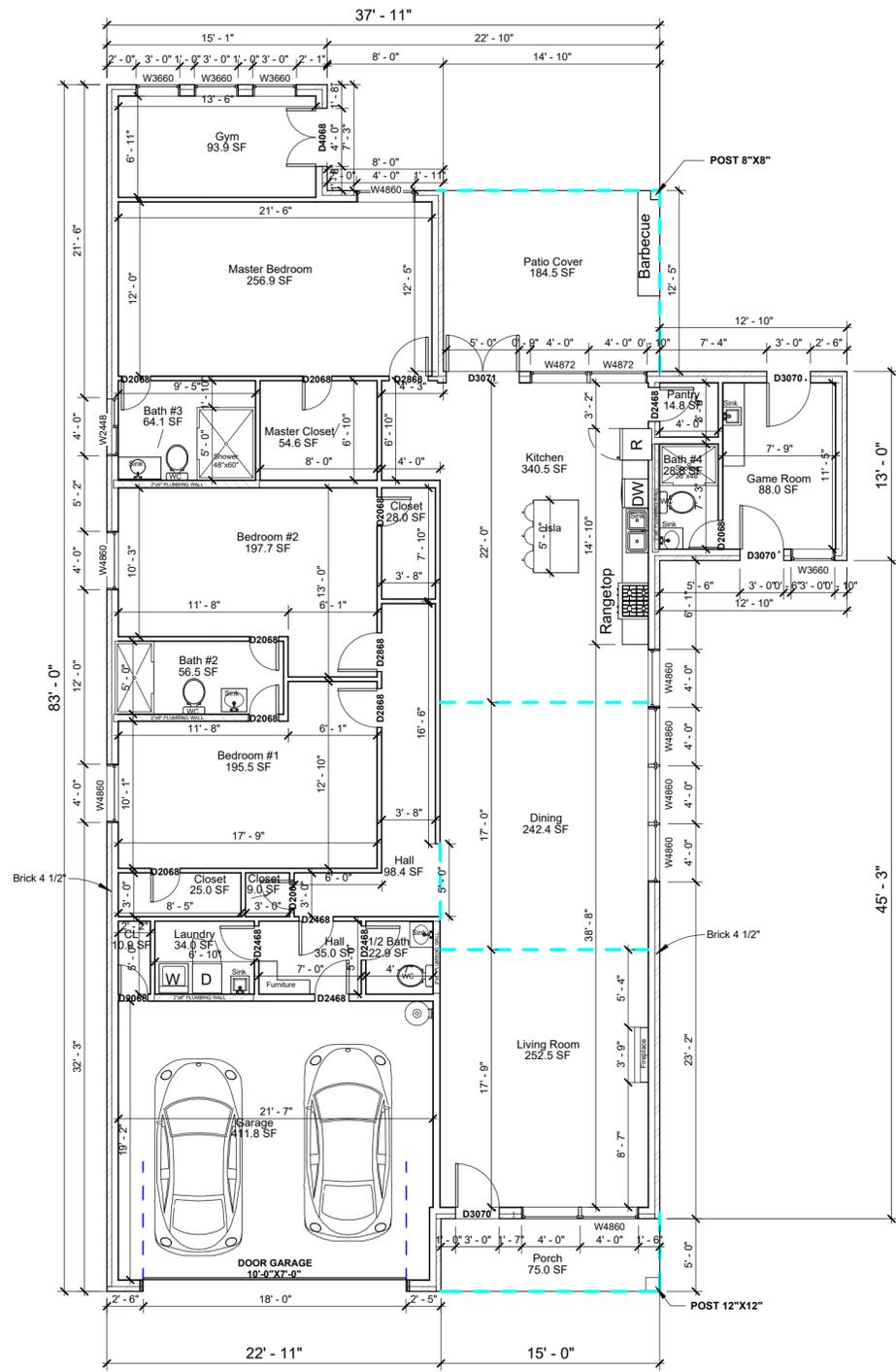
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**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

| ELEVATIONS                               |              |
|------------------------------------------|--------------|
| Project number:                          |              |
| Date:                                    | 02/17/2024   |
| Scale:                                   | 1/8" = 1'-0" |
| Drawn by: Projects & Construction Araque |              |

11.1



# 1 Floor Plan

1/8" = 1'-0"

| Door Schedule    |             |            |          |         |
|------------------|-------------|------------|----------|---------|
| Phase Created    | Mark        | Type       | Width    | Height  |
| New Construction | D2068       | 24" x 80"  | 2' - 0"  | 6' - 8" |
| New Construction | D2468       | 28" x 80"  | 2' - 4"  | 6' - 8" |
| New Construction | D2868       | 32" x 80"  | 2' - 8"  | 6' - 8" |
| New Construction | D3070       | 36" x 84"  | 3' - 0"  | 7' - 0" |
| New Construction | D3071       | 60" x 84"  | 5' - 0"  | 7' - 0" |
| New Construction | D4068       | 48" x 80"  | 4' - 0"  | 6' - 8" |
| New Construction | DOOR GARAGE | 108" x 84" | 18' - 0" | 7' - 0" |
| Grand total: 23  |             |            |          |         |

| Window Schedule  |       |               |         |         |
|------------------|-------|---------------|---------|---------|
| Phase Created    | Mark  | Type          | Height  | Width   |
| New Construction | W2448 | 0915 x 1220mm | 2' - 0" | 4' - 0" |
| New Construction | W3660 | 36"x60"       | 5' - 0" | 3' - 0" |
| New Construction | W4860 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4860 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4868 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4872 | 48"x72"       | 6' - 0" | 4' - 0" |
| Grand total: 16  |       |               |         |         |

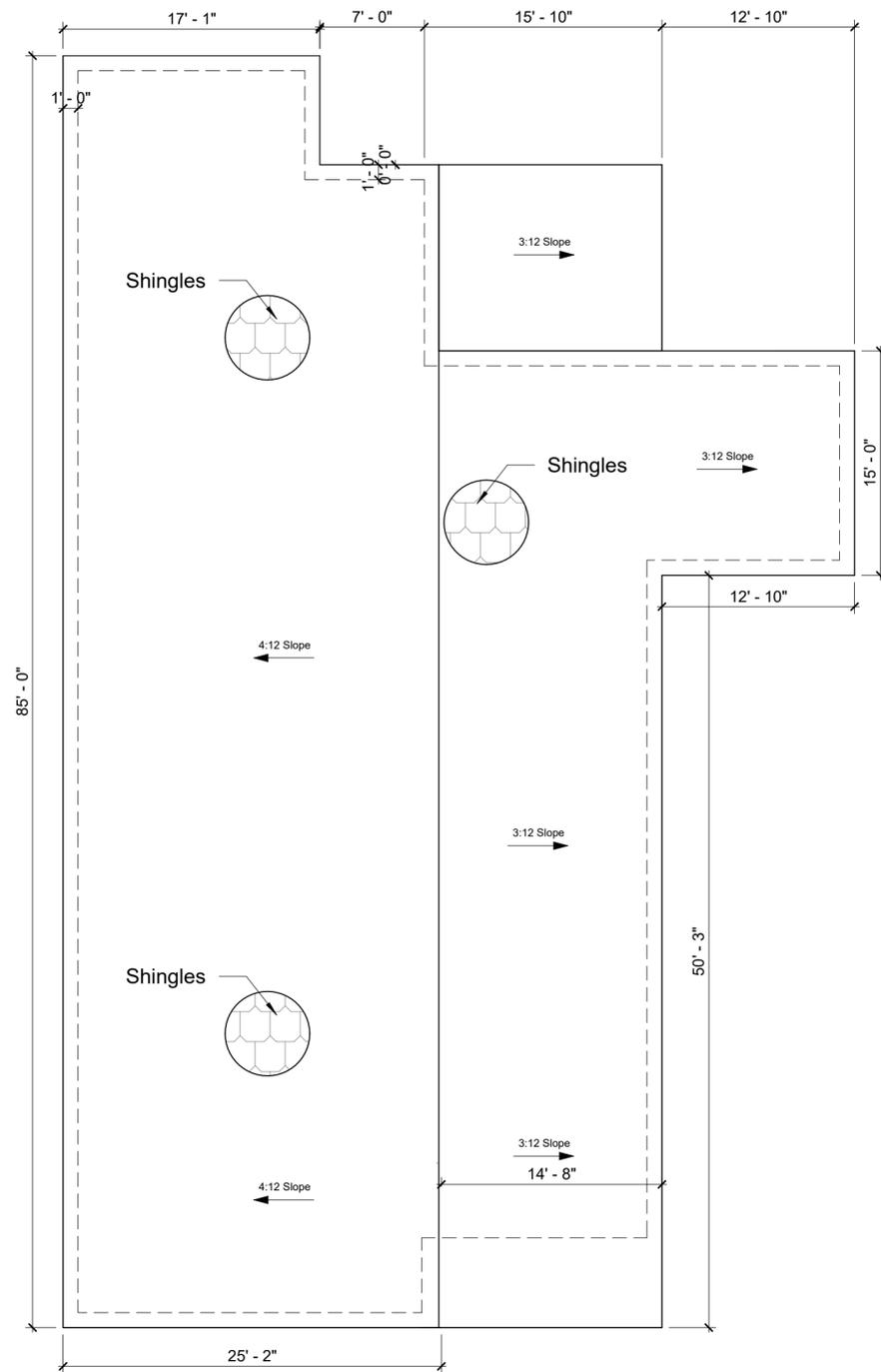


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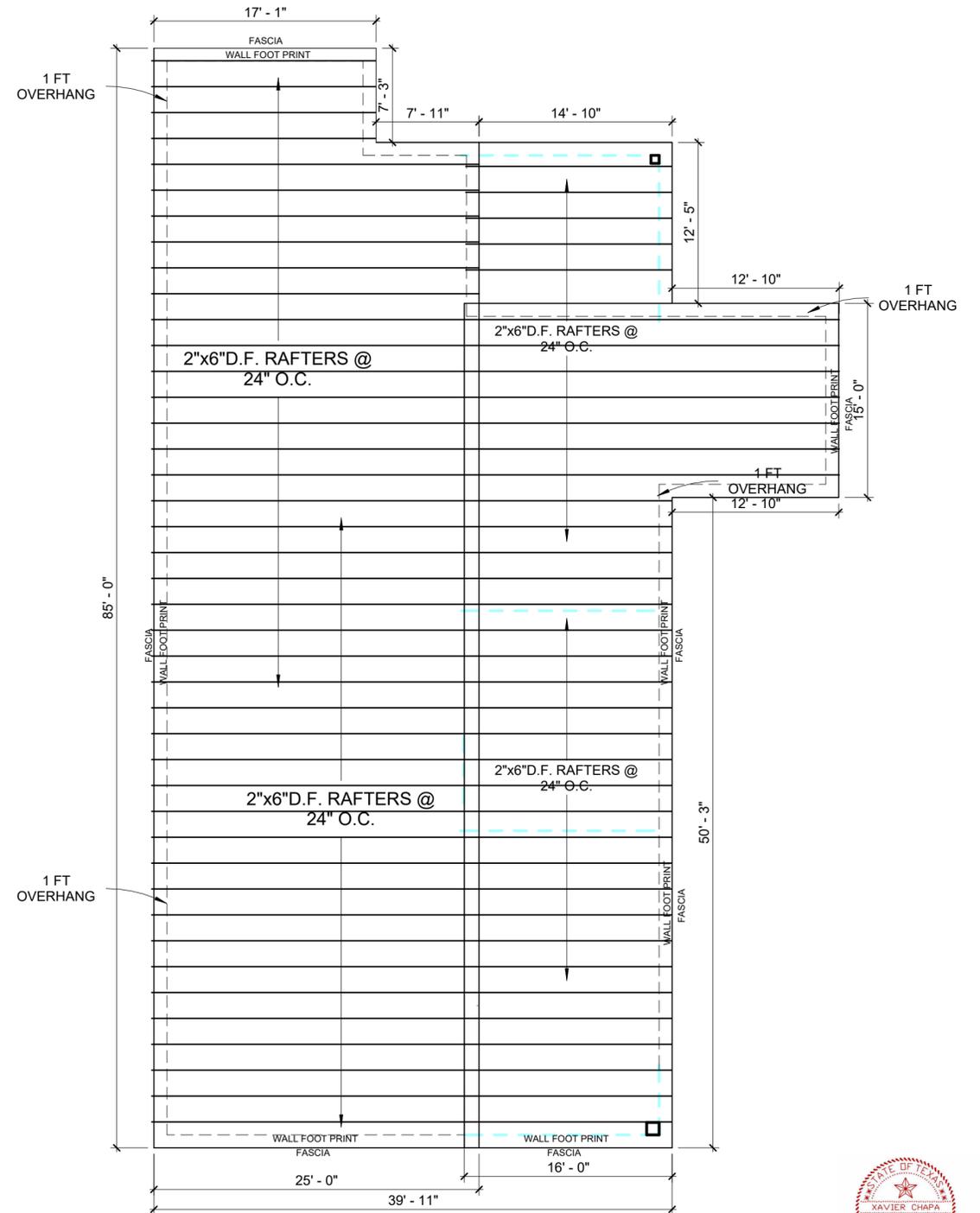
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**Project Name & Address**  
EVANS ROAD  
**Legal Description**  
LOT 1179

**FLOOR PLAN**  
Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



**1 Roof**  
1/8" = 1'-0"



**2 Rafter Roof**  
1/8" = 1'-0"



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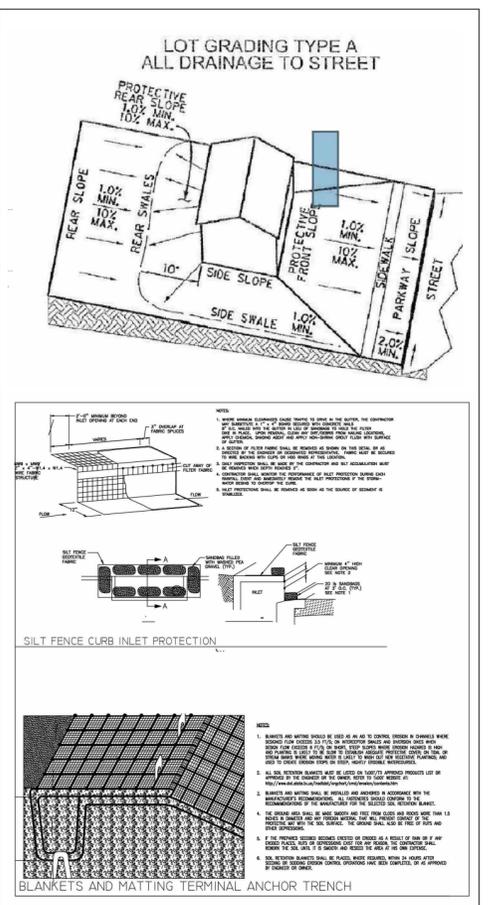
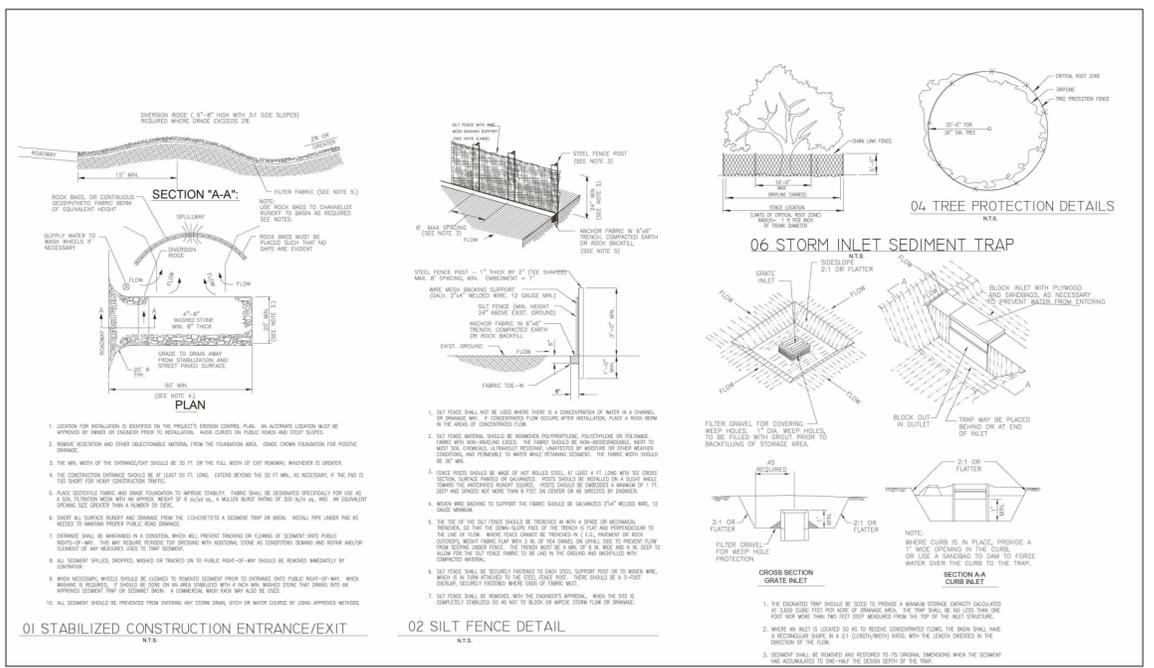
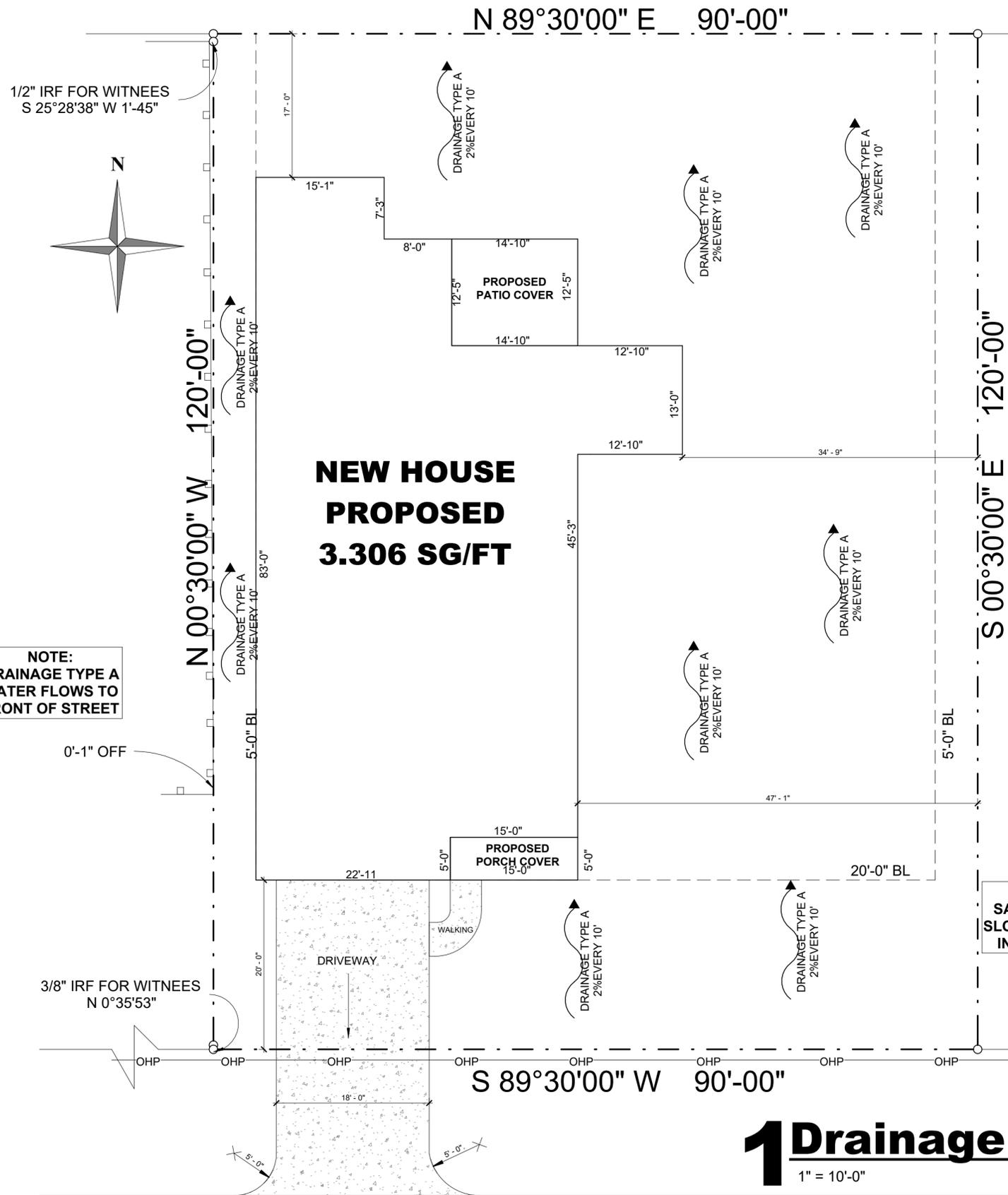
**Project Name & Address**  
EVANS ROAD  
**Legal Description**  
LOT 1179

**ROOF**

Project number:

Date: 02/17/2024 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**EVANS ROAD**  
50' R.O.W.

**Drainage Plan**  
1" = 10'-0"

**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

**DRAINAGE PLAN**

Project number:  
Date: 02/17/2024 Scale 1" = 10'-0"  
Drawn by: Projects & Construction Araque



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# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

| ADDRESS           | HOUSING TYPE       | YEAR BUILT | HOUSE SF | ACCESSORY BUILDING | EXTERIOR MATERIALS |
|-------------------|--------------------|------------|----------|--------------------|--------------------|
| 302 Evans Road    | Modular Home       | 1985       | 1,104    | N/A                | Siding             |
| 310 Evans Road    | Modular Home       | 1999       | 1,856    | N/A                | Siding             |
| 322 Evans Road    | Single-Family Home | 1995       | 1,324    | 90                 | Siding             |
| 340 Evans Road    | Vacant             | N/A        | N/A      | N/A                | N/A                |
| 358 Evans Road    | Single-Family Home | 1975       | 1,152    | 1350               | Brick and Siding   |
| 376 Evans Road    | Modular Home       | 1998       | 2,384    | N/A                | Siding             |
| 388 Evans Road    | Modular Home       | 1980       | 1,391    | 90                 | Siding             |
| 400 Evans Road    | Modular Home       | 1974       | 1,148    | 168                | Siding             |
| 552 Russell Drive | Modular Home       | 2003       | 1,560    | 144                | Siding             |
| 547 Wayne Drive   | Modular Home       | 1998       | 1,444    | 400                | Siding             |
| 548 Wayne Drive   | Modular Home       | 1984       | 2,558    | 192                | Siding             |
| 541 Yvonne Drive  | Modular Home       | 2003       | 1,276    | 168                | Siding             |
| 544 Yvonne Drive  | Modular Home       | 1970       | 940      | 240                | Siding             |
| AVERAGES:         |                    | 1989       | 1,511    | 316                |                    |



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

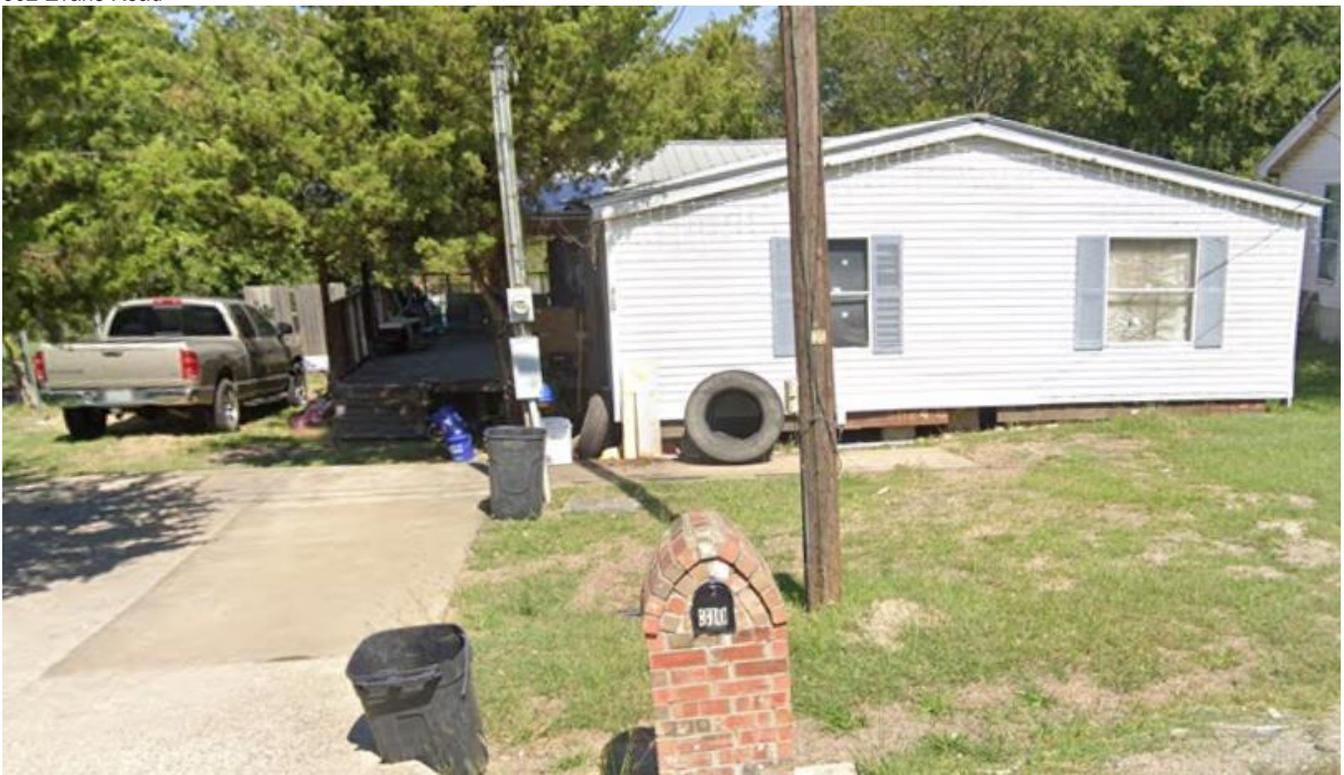
**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



302 Evans Road



310 Evans Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

**PLANNING AND ZONING DEPARTMENT**

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322 Evans Road



340 Evans Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

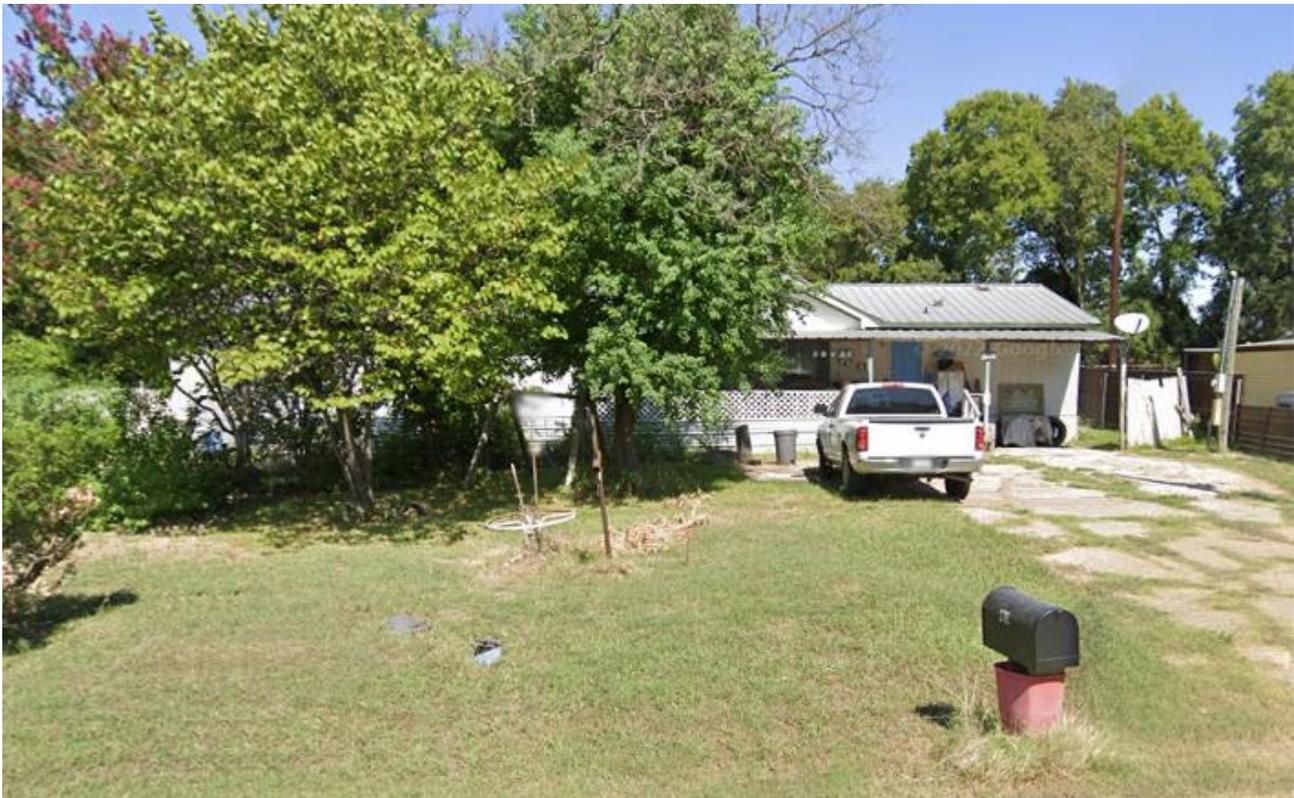
**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



358 Evans Road



376 Evans Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

## PLANNING AND ZONING DEPARTMENT

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388 Evans Road



400 Evans Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

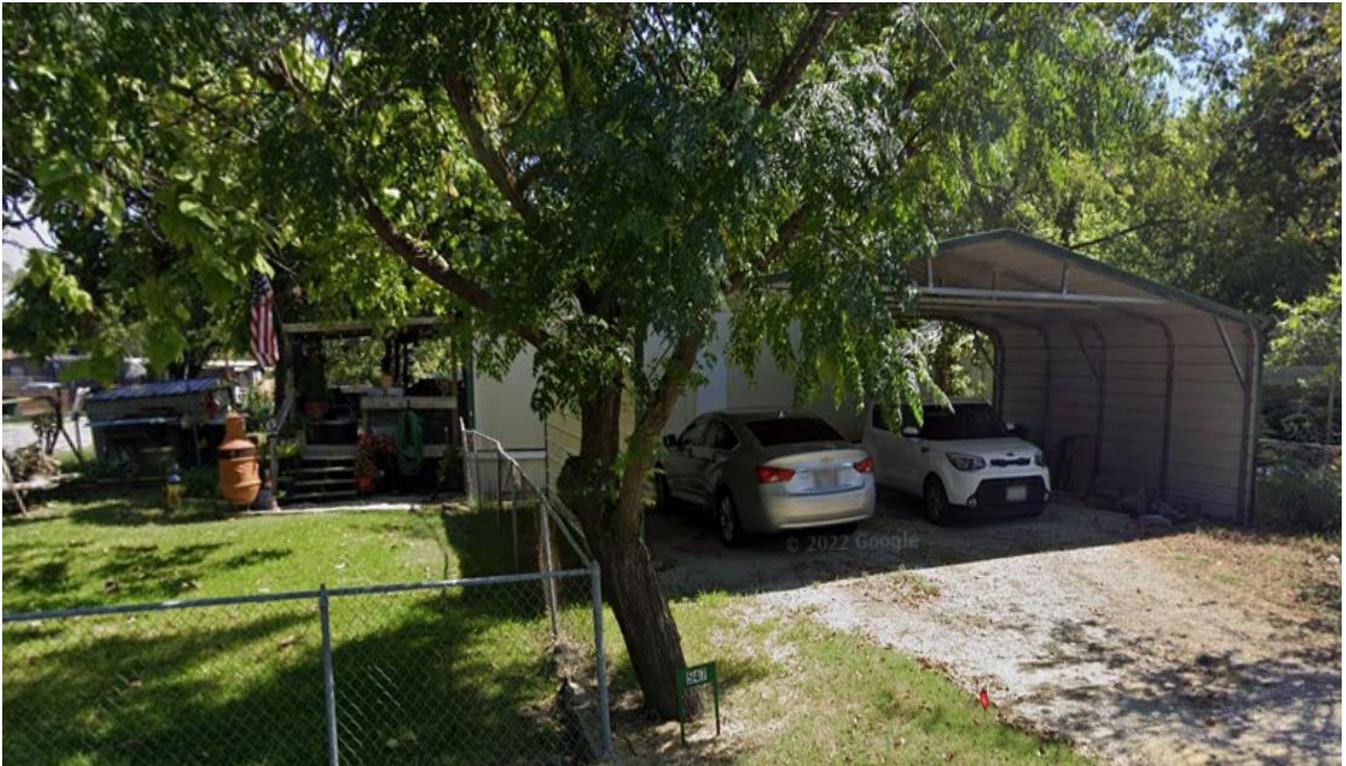
**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



552 Russell Drive



547 Wayne Drive



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



548 Wayne Drive



541 Yvonne Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



544 Yvonne Drive

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1180 AND ALL OF LOT 1179 OF THE LAKE ROCKWALL ESTATES PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Paul Arce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 340 Evans Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 75 (PD-75) [Ordinance No. 16-01] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
- 3) The applicant shall be required to replat the subject property prior to the issuance of a Building Permit.
- 4) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> OF MAY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

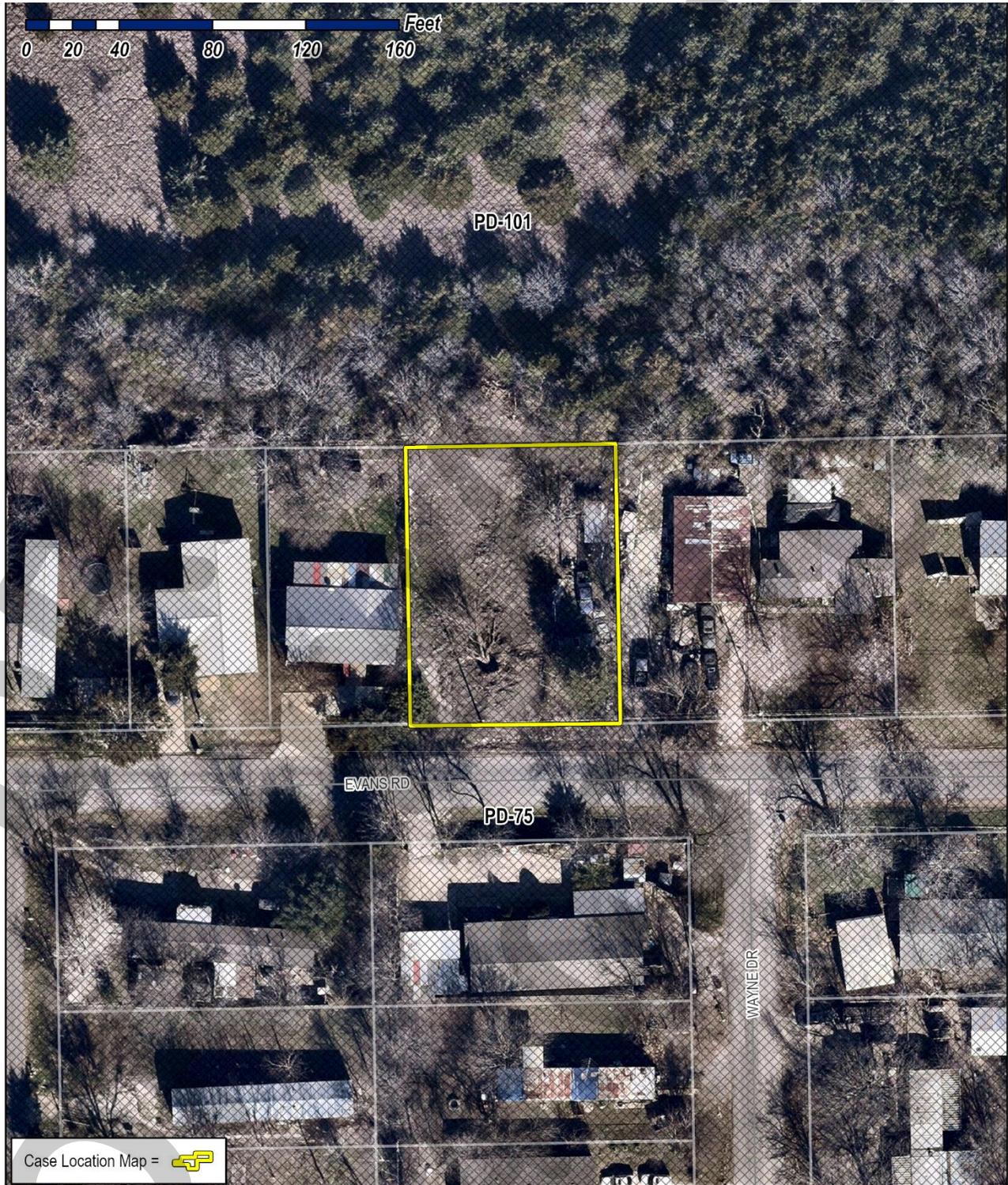
1<sup>st</sup> Reading: April 15, 2024

2<sup>nd</sup> Reading: May 6, 2024

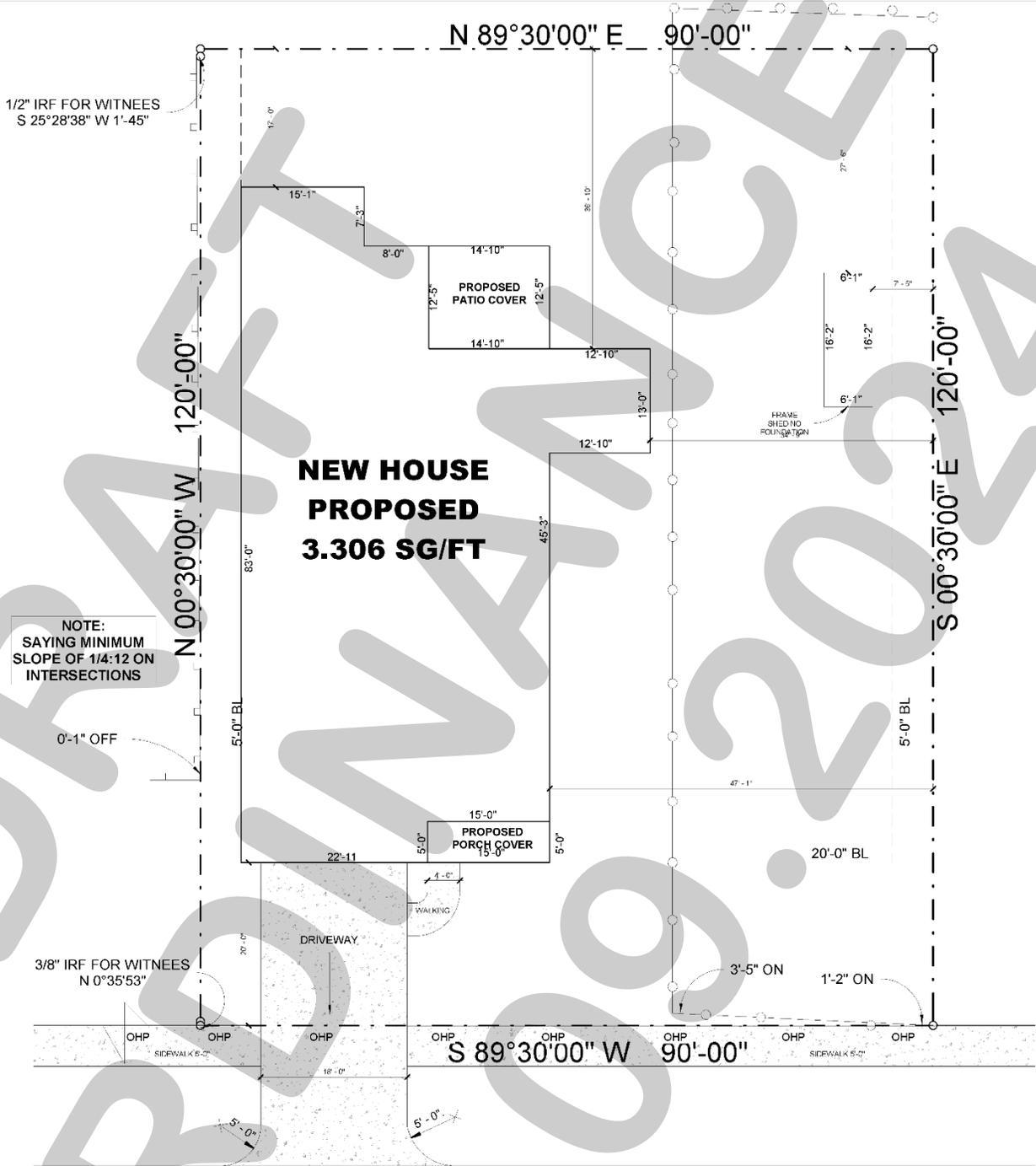
**Exhibit 'A':**  
**Location Map and Residential Plot Plan**

Address: 340 Evans Road

Legal Description: Portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates Phase 2 Addition



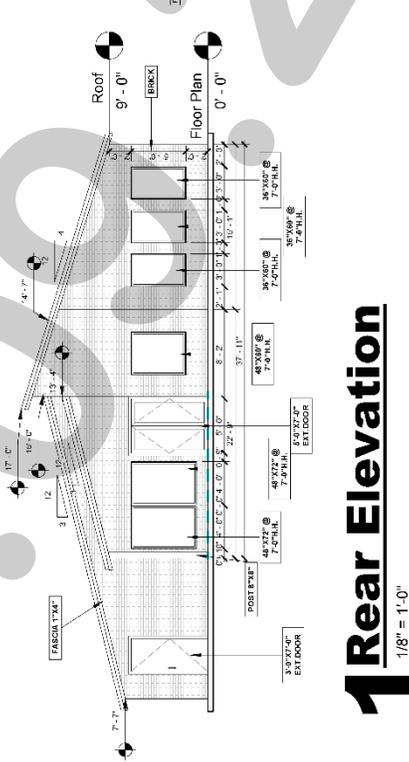
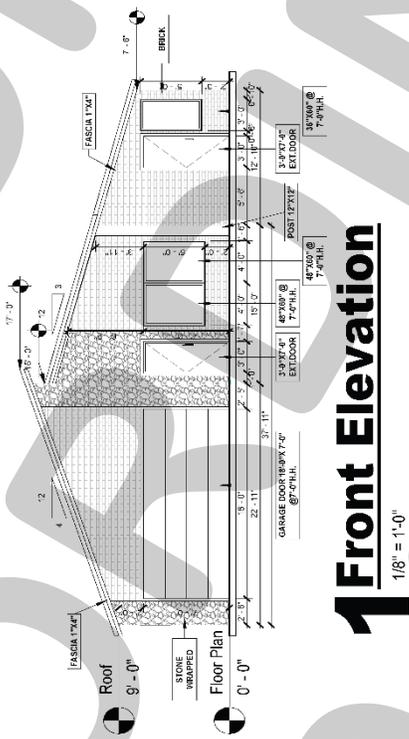
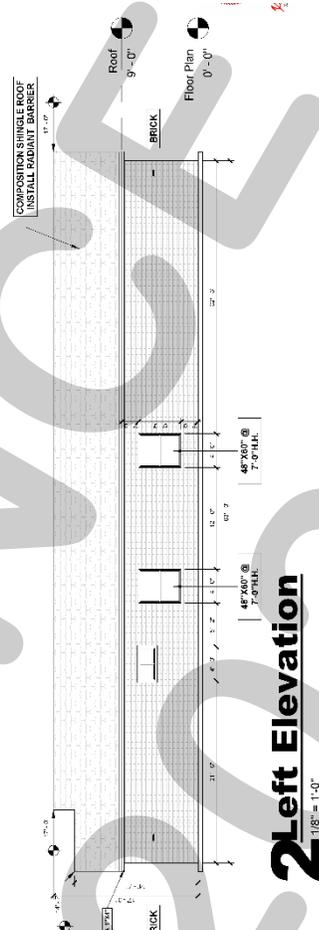
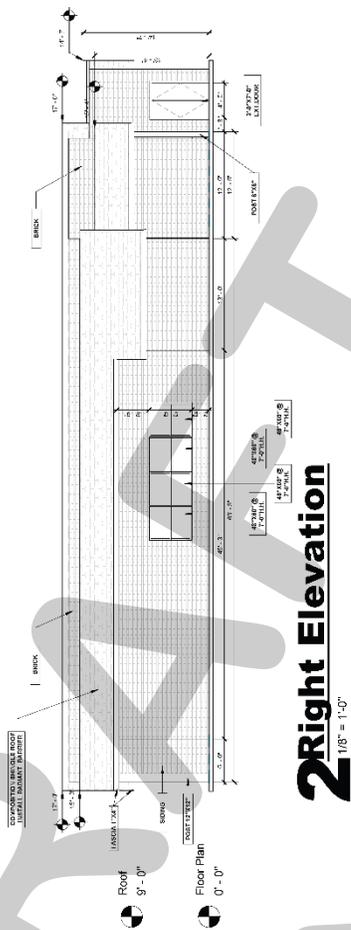
**Exhibit 'A':**  
**Location Map and Residential Plot Plan**



**1 Site Plan**  
**1" = 10'-0"**

**EVANS ROAD**  
 50' R.O.W.

Exhibit 'B':  
Building Elevations





# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council

**DATE:** April 15, 2024

**APPLICANT:** Paul Arce; *Projects & Constructions Araque*

**CASE NUMBER:** Z2024-013; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 340 Evans Road*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

### BACKGROUND

The subject property was originally platted as Lots 1180 & 1179 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. The subject property has been vacant since its annexation.

### PURPOSE

The applicant -- *Paul Arce* -- is requesting the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC)..

### ADJACENT LAND USES AND ACCESS

The subject property is located at 340 Evans Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 90.5-acre vacant tract of land (*which is part of a larger 140.5-acre tract of land identified as Tract 3 of the G. Wells Survey, Abstract No. 219*), which is zoned Planned Development District 101 (PD-101) for Single-Family 10 (SF-10) District land uses. Beyond that is Mims Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 48-6670-acre parcel of land (*i.e. Lot 3 of the W.H. Barnes Survey, Abstract No. 26*), which is zoned Commercial (C) District and belongs to the Rayburn Country Electric Cooperation.

South: Directly south of the subject property is Evans Road, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with modular homes, with some of the lots being developed with

single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Renee Drive, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is a 0.66-acre parcel of land (*i.e. 557 Renee Drive*) developed with a modular home and zoned Planned Development District 75 (PD-75).

West: Directly west of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is a 66.083-acre tract of land (*i.e. Tract 2 of the G. Wells Survey, Abstract No. 219*), which consists of Rockwall Lake and is zoned Planned Development District 75 (PD-75).

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Evans Road and Russell & Wayne Drive compared to the house proposed by the applicant:

| Housing Design and Characteristics | Existing Housing on Evans Road, Wayne Drive & Russell Drive                      | Proposed Housing                                           |
|------------------------------------|----------------------------------------------------------------------------------|------------------------------------------------------------|
| Building Height                    | One (1) Story                                                                    | One (1) Story                                              |
| Building Orientation               | All of the homes face the towards Evans Road, Wayne or Russell Drive.            | The front elevation of the home will face onto Evans Road. |
| Year Built                         | 1970-2003                                                                        | N/A                                                        |
| Building SF on Property            | 970 SF – 2,558 SF                                                                | 3,306 SF                                                   |
| Building Architecture              | Majority Modular Homes and Two (2) Single-Family Homes                           | Comparable Architecture to Newer Single-Family Homes       |
| Building Setbacks:                 |                                                                                  |                                                            |
| Front                              | The front yard setbacks appear to conform to the required 20-foot yard setback.  | 20-Feet                                                    |
| Side                               | The side yard setbacks appear to conform to the required five (5) foot setback.  | X>5-Feet, X= 5-Feet                                        |
| Rear                               | The rear yard setbacks appear to conform to the ten (10) feet rear yard setback. | 17-Feet                                                    |
| Building Materials                 | Metal, Modular Paneling, Masonite Siding, and Brick.                             | Brick and Stone                                            |
| Paint and Color                    | White, Gray, Red, Yellow, Blue, Green                                            | <i>Undefined by the Applicant</i>                          |
| Roofs                              | Composite Shingles and Metal                                                     | Asphalt Composite Shingle                                  |

|                   |                        |                                                                                   |
|-------------------|------------------------|-----------------------------------------------------------------------------------|
| Driveways/Garages | No Garages or Carports | The garage will be a front entry garage with the driveway facing onto Evans Road. |
|-------------------|------------------------|-----------------------------------------------------------------------------------|

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage approximately five (5) feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past, and that the single-family home directly west of the subject property appears to be in the same configuration as the proposed home. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Evans Road, Wayne Drive, and Russell Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

**NOTIFICATIONS**

On March 22, 2024, staff mailed 81 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant’s request.

**CONDITIONS OF APPROVAL**

If City Council chooses to approve of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit ‘A’* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘B’* of the draft ordinance;
  - (c) The applicant shall be required to replat the subject property prior to the issuance of a Building Permit; and,
  - (d) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the *Specific Use Permit (SUP)* by a vote of 7-0.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION [PLEASE PRINT]**

ADDRESS 0 Evans Road Rockwall TX 75032

SUBDIVISION \_\_\_\_\_ LOT 1179 BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

CURRENT ZONING Residential CURRENT USE \_\_\_\_\_

PROPOSED ZONING Residential PROPOSED USE \_\_\_\_\_

ACREAGE 0.2 LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**

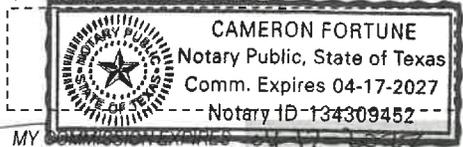
|                                |                                |                                               |                                     |
|--------------------------------|--------------------------------|-----------------------------------------------|-------------------------------------|
| <input type="checkbox"/> OWNER | <u>Shirley Soto</u>            | <input checked="" type="checkbox"/> APPLICANT | <u>Projects &amp; Constructions</u> |
| CONTACT PERSON                 | _____                          | CONTACT PERSON                                | <u>PAUL ARCE Araque</u>             |
| ADDRESS                        | <u>453 Lynn @ Dr</u>           | ADDRESS                                       | <u>18601 LBJ Fwy</u>                |
|                                |                                |                                               | <u>SUITE 250</u>                    |
| CITY, STATE & ZIP              | <u>Rockwall TX 75032</u>       | CITY, STATE & ZIP                             | <u>MESQUITE TX 75150</u>            |
| PHONE                          | <u>(903) 985-1425</u>          | PHONE                                         | <u>(972) 365-6823</u>               |
| E-MAIL                         | <u>shirleysoto@hotmail.com</u> | E-MAIL                                        | <u>projectsaraque41@gmail.com</u>   |

**NOTARY VERIFICATION [REQUIRED]**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shirley Soto [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 219 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2024.  
OWNER'S SIGNATURE Shirley Soto

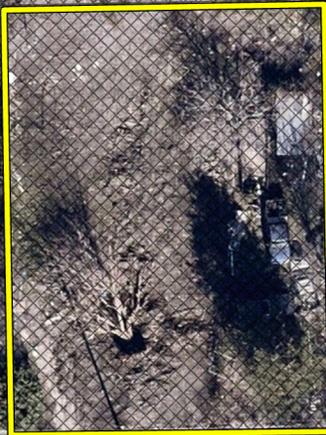


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Cameron Fortune



Z2024-013: Specific Use Permit (SUP) for Residential Infill 340 Evans Road

PD-101



EVANS RD

PD-75

WAYNE DR

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

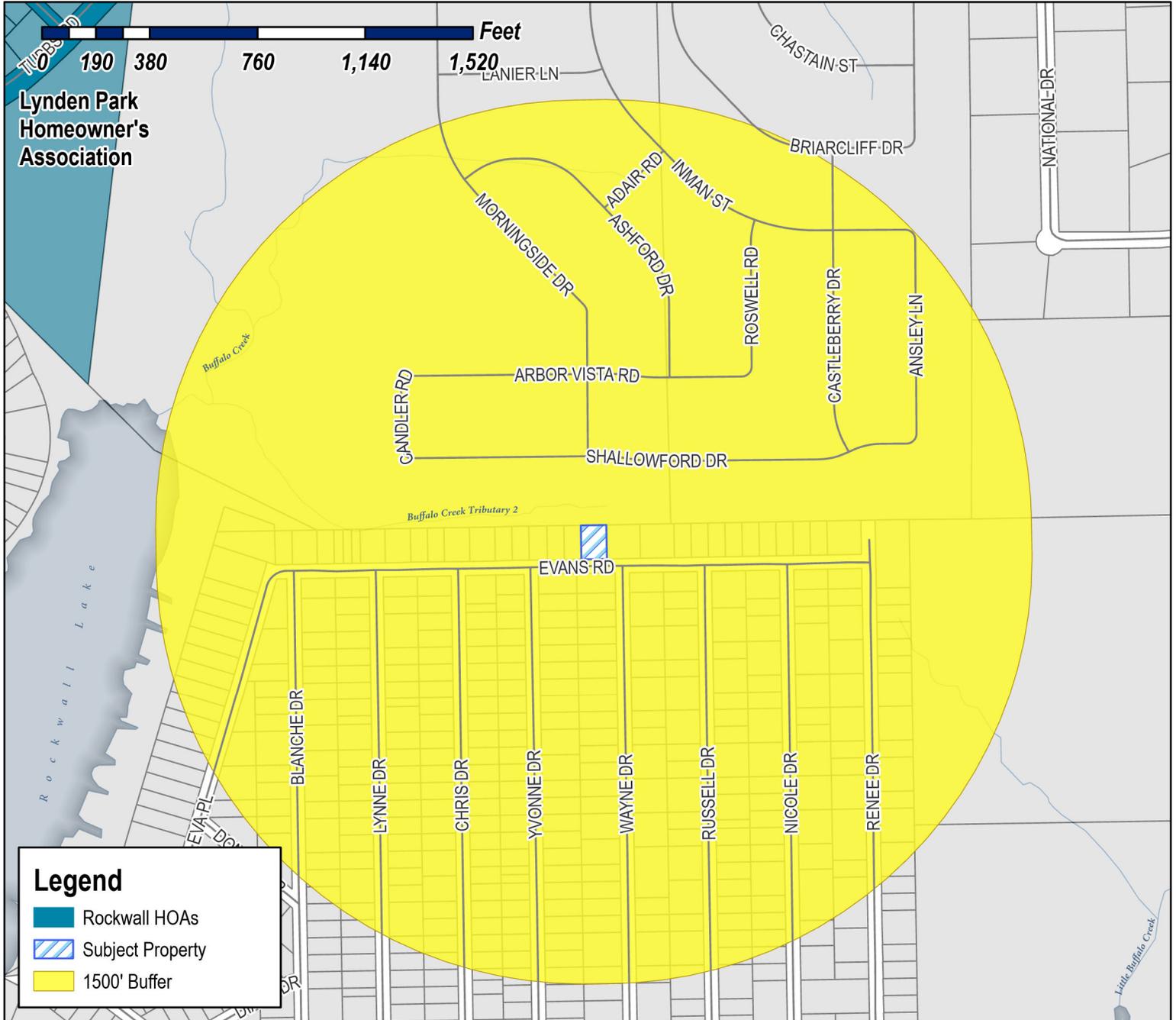




# City of Rockwall

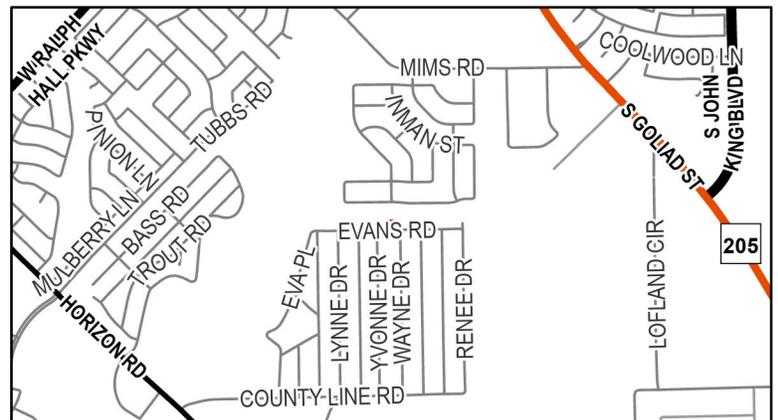
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**Case Number:** Z2024-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill at 340 Evans Road  
**Case Type:** Zoning  
**Zoning:** Planned Development 75 (PD-75)  
**Case Address:** District 340 Evans Road

**Date Saved:** 3/15/2024  
 For Questions on this Case Call (972) 771-7745

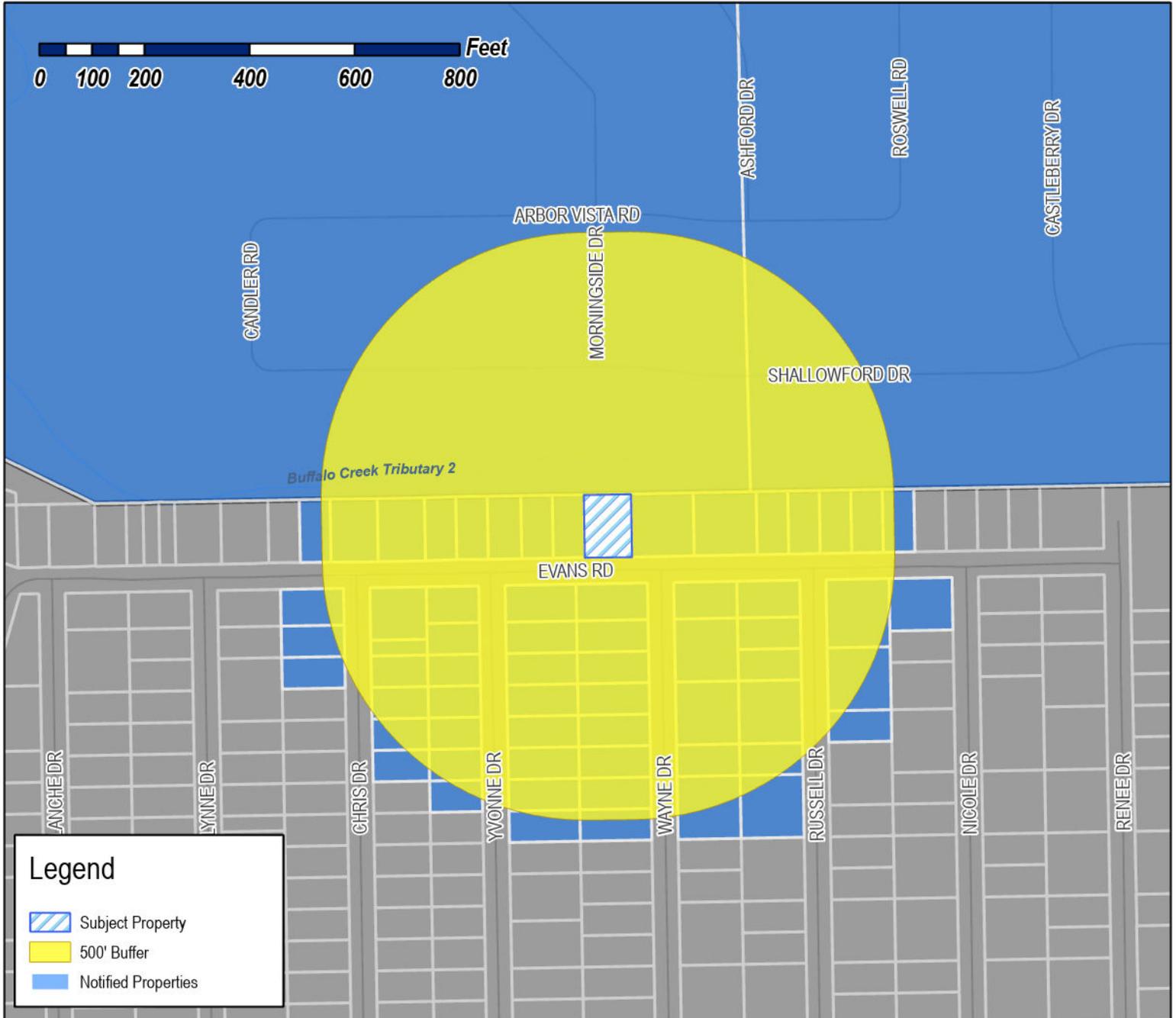




# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
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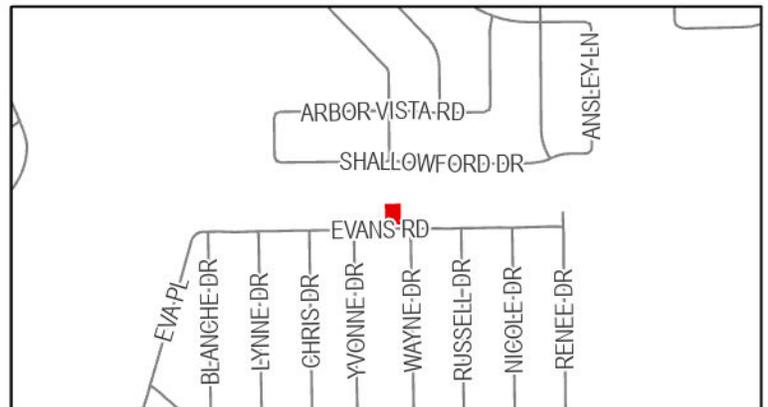
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**Case Number:** Z2024-013  
**Case Name:** Specific Use Permit (SUP) for Residential Infill at 340 Evans Road  
**Case Type:** Zoning  
**Zoning:** Planned Development District 75 (PD-75)  
**Case Address:** 340 Evans Road

**Date Saved:** 3/15/2024

For Questions on this Case Call: (972) 771-7746



SILVA BERTHA  
1041 E FM 552  
ROCKWALL, TX 75087

DEAN ANN W  
106 STANDING OAK DR  
GEORGETOWN, TX 78633

QUALICO DEVELOPMENTS (US), INC  
14400 THE LAKES BLVD BUILDING C, SUITE 200  
AUSTIN, TX 78660

UC LUIS JOSE &  
GELLY DEL ROSARIO XOOL  
186 NICOLE DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
220 EVANS RD  
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA  
234 EVANS RD  
ROCKWALL, TX 75032

MEJIA RAMIRO  
244 EVANS RD  
ROCKWALL, TX 75032

NGO HA THAI AND MIA DINH  
2505 WESTBANK TRL  
GARLAND, TX 75042

RESIDENT  
266 EVANS RD  
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC  
2716 GREENHILL DRIVE  
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO  
VELAZQUEZ  
290 EVANS  
ROCKWALL, TX 75032

RESIDENT  
302 EVANS RD  
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

SILVA JORGE & ELIZABETH  
3078 S FM 551  
ROYSE CITY, TX 75189

BALDERAS GREGORY  
310 EVANS RD  
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE  
QUINONEZ  
322 EVANS RD  
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I  
3248 BLACKLAND RD  
ROYSE CITY, TX 75189

RAMIRES RAUL  
358 EVANS RD  
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L  
376 EVANS RD  
ROCKWALL, TX 75032

GONZALEZ NORMA PATRICIA SOLIS  
388 EVANS RD  
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO  
397 CHRIS DR  
ROCKWALL, TX 75032

MENDOZA FIDEL & ALEJANDRINA  
400 EVANS RD  
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA  
400 EVANS RD  
ROCKWALL, TX 75032

GAMEZ PETRA K MARTINEZ  
406 EVANS  
ROCKWALL, TX 75032

RESIDENT  
412 EVANS RD  
ROCKWALL, TX 75032

RESIDENT  
418 EVANS RD  
ROCKWALL, TX 75032

BALLEZA REAL ESTATE LLC AND  
ANA QUEZADA  
4408 AIKEN TRL  
SACHSE, TX 75048

YANEZ SANDRA R TORRES  
441 LYNNE DRIVE  
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ  
461 YVONNE DR  
ROCKWALL, TX 75032

CRUZ MARIO  
461 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
466 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
470 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
470 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
471 YVONNE DR  
ROCKWALL, TX 75032

SOTO DOMINGO  
471 WAYNE DR  
ROCKWALL, TX 75032

MORENO ORALIA SOLIS  
474 BASS ROAD  
ROCKWALL, TX 75032

MORENO LUIS NOE  
474 BASS ROAD  
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA  
479 CHRIS DR  
ROCKWALL, TX 75032

ALONSO ELEASAR &  
BENITO GAMEZ  
482 WAYNE DR  
ROCKWALL, TX 75032

GUEVARA MARIA  
482 YVONNE DRIVE  
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS  
MARTINEZ-AGUILAR  
485 YVONNE DR  
ROCKWALL, TX 75032

PAYNE MILDRED IRENE  
487 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
488 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
491 YVONNE DR  
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA  
491 CHRIS DR  
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND  
FANIA GARCIA  
494 RUSSELL LOT 1252  
ROCKWALL, TX 75032

ARROYO REYES  
499 RUSSELL DR  
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND  
JUDITH GAIL WOOD  
499 WAYNE DR  
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI  
500 YVONNE DR  
ROCKWALL, TX 75032

VELASQUEZ LORENA  
501 CHRIS DRIVE  
ROCKWALL, TX 75033

MARTINEZ PEDRO & MARIA CELIA  
506 RUSSELL DR  
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN  
509 YVONNE DR  
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA  
5112 WOLVERTON CT  
GARLAND, TX 75043

RESIDENT  
513 CHRIS DR  
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA  
513 RUSSELL DR  
ROCKWALL, TX 75032

LEON VANESSA RANGEL  
514 YVONNE DR  
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA  
GALLEGOS  
516 CHRIS DR  
ROCKWALL, TX 75032

MARTINEZ DAVID  
516 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
518 RUSSELL DR  
ROCKWALL, TX 75032

JIMENEZ LEONARDO  
5201 KELSO LN  
GARLAND, TX 75043

RESIDENT  
521 YVONNE DR  
ROCKWALL, TX 75032

GANUS HUGH  
524 SESAME DR  
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA  
524 YVONNE DR  
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ  
525 WAYNE DR  
ROCKWALL, TX 75032

RESIDENT  
528 CHRIS DR  
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO  
528 WAYNE DR  
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY  
530 RUSSELL DR  
ROCKWALL, TX 75032

RESIDENT  
531 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
534 YVONNE DR  
ROCKWALL, TX 75032

RETANA JUAN &  
YENY RUBIO  
535 CHRIS DR  
ROCKWALL, TX 75032

STRICKLAND TARA  
536 WAYNE DR  
ROCKWALL, TX 75032

OBRIEN ELLEN K  
537 RUSSELL DR  
ROCKWALL, TX 75032

RODRIGUEZ ROMAN  
540 CHRIS DR  
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L  
541 YVONNE DR  
ROCKWALL, TX 75032

RESIDENT  
544 YVONNE DR  
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH  
547 WAYNE DR  
ROCKWALL, TX 75032

CERVANTES HECTOR AND  
ERIKA MOLINA  
548 NICOLE DRIVE  
ROCKWALL, TX 75032

ARRIAGA GREGORIA  
548 WAYNE ST  
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS  
552 RUSSELL DR  
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA  
848 SMITH ACRES DR  
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC  
PO BOX 69  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2024-013: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single- Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

### Case No. Z2024-013: SUP for Residential Infill

Please place a check mark on the appropriate line below:

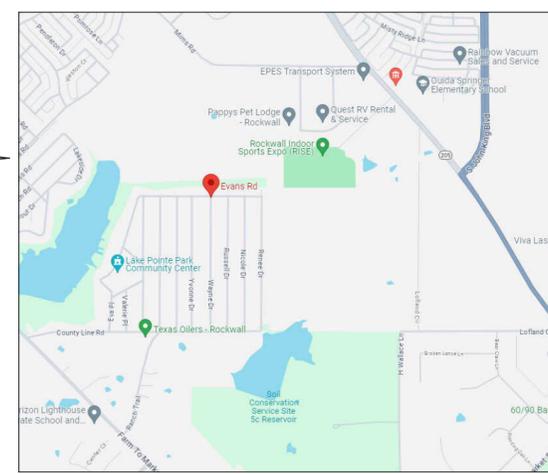
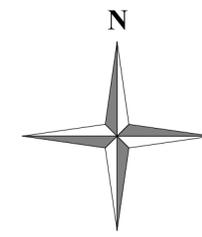
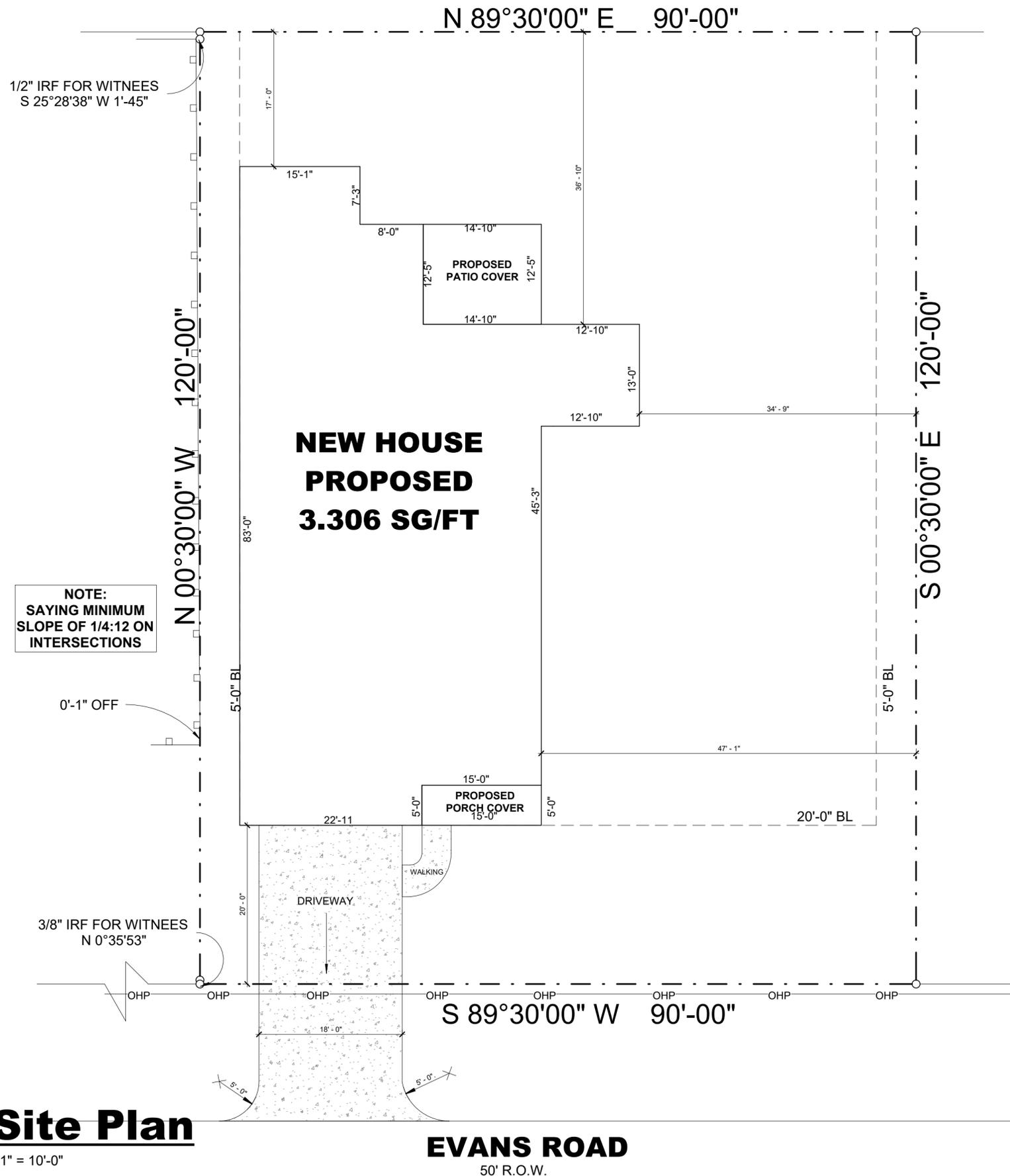
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



**VICINITY MAP**

**EVANS ROAD LOT 1179**

|                               |                      |
|-------------------------------|----------------------|
| Proposed Floor Plan           | 2,417.5 SG/FT        |
| <b>Total New Construction</b> | <b>2,417.5 SG/FT</b> |
| Proposed Garage               | 469.4 SG/FT          |
| Proposed Porch Cover          | 75 SG/FT             |
| Proposed Patio Cover          | 344.1 SG/FT          |
| <b>Total New Construction</b> | <b>3.306 SG/FT</b>   |
| Lot                           | 1179                 |
| Country                       | Dallas               |
| City                          | Rockwall             |
| Lot Area                      | <b>0.2 ACRES</b>     |
| Max Lot Coverage              | 35%                  |
| Lot Coverage                  | 65%                  |

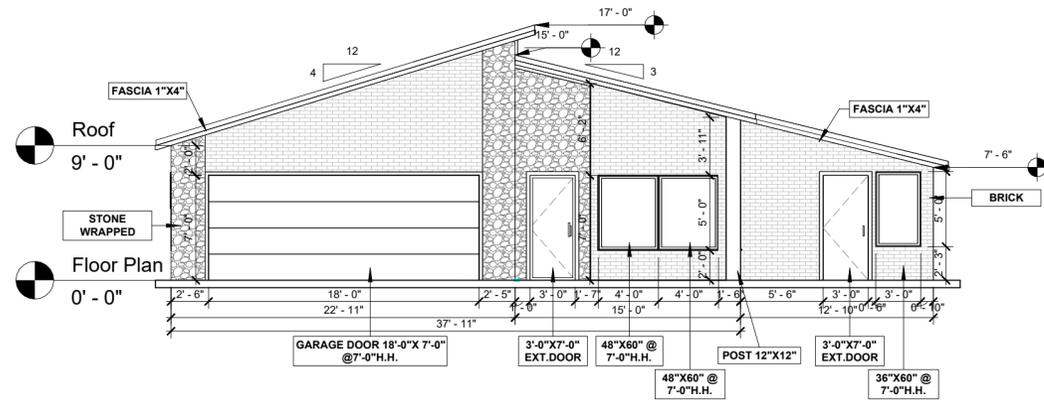
**Site Plan**  
1" = 10'-0"

**Project Name & Address**  
EVANS ROAD  
**Legal Description**  
LOT 1179

**SITE PLAN**  
Project number:  
Date: 02/17/2024 Scale 1" = 10'-0"  
Drawn by: Projects & Construction Araque

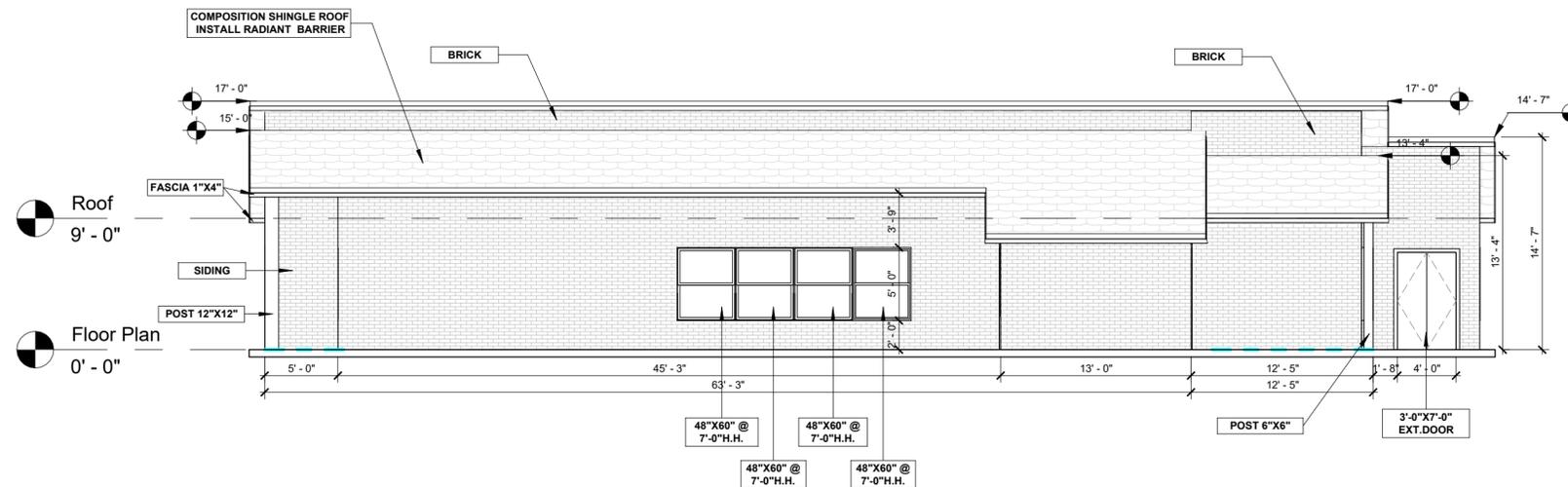


THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.  
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.



# 1 Front Elevation

1/8" = 1'-0"



# 2 Right Elevation

1/8" = 1'-0"



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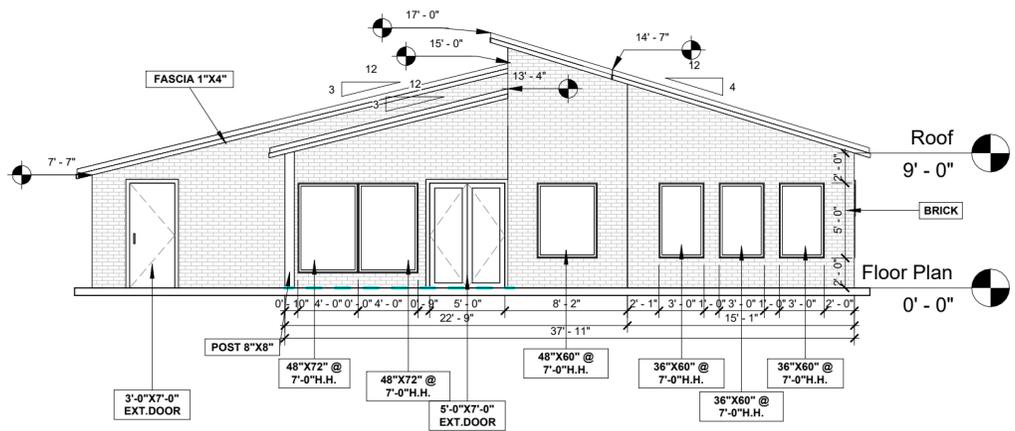
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**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

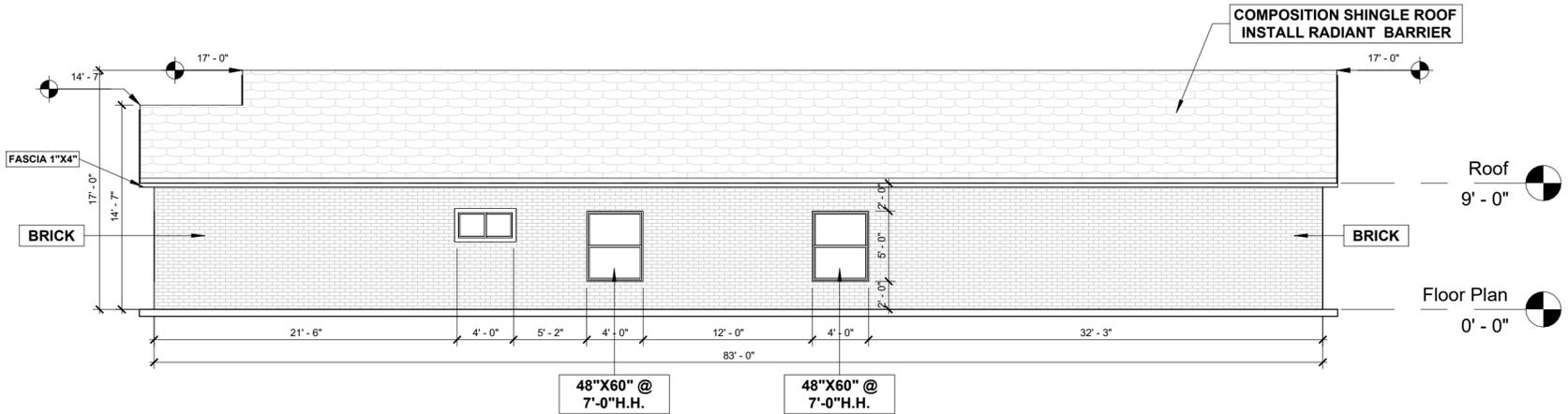
## ELEVATIONS

Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



# 1 Rear Elevation

1/8" = 1'-0"



# 2 Left Elevation

1/8" = 1'-0"



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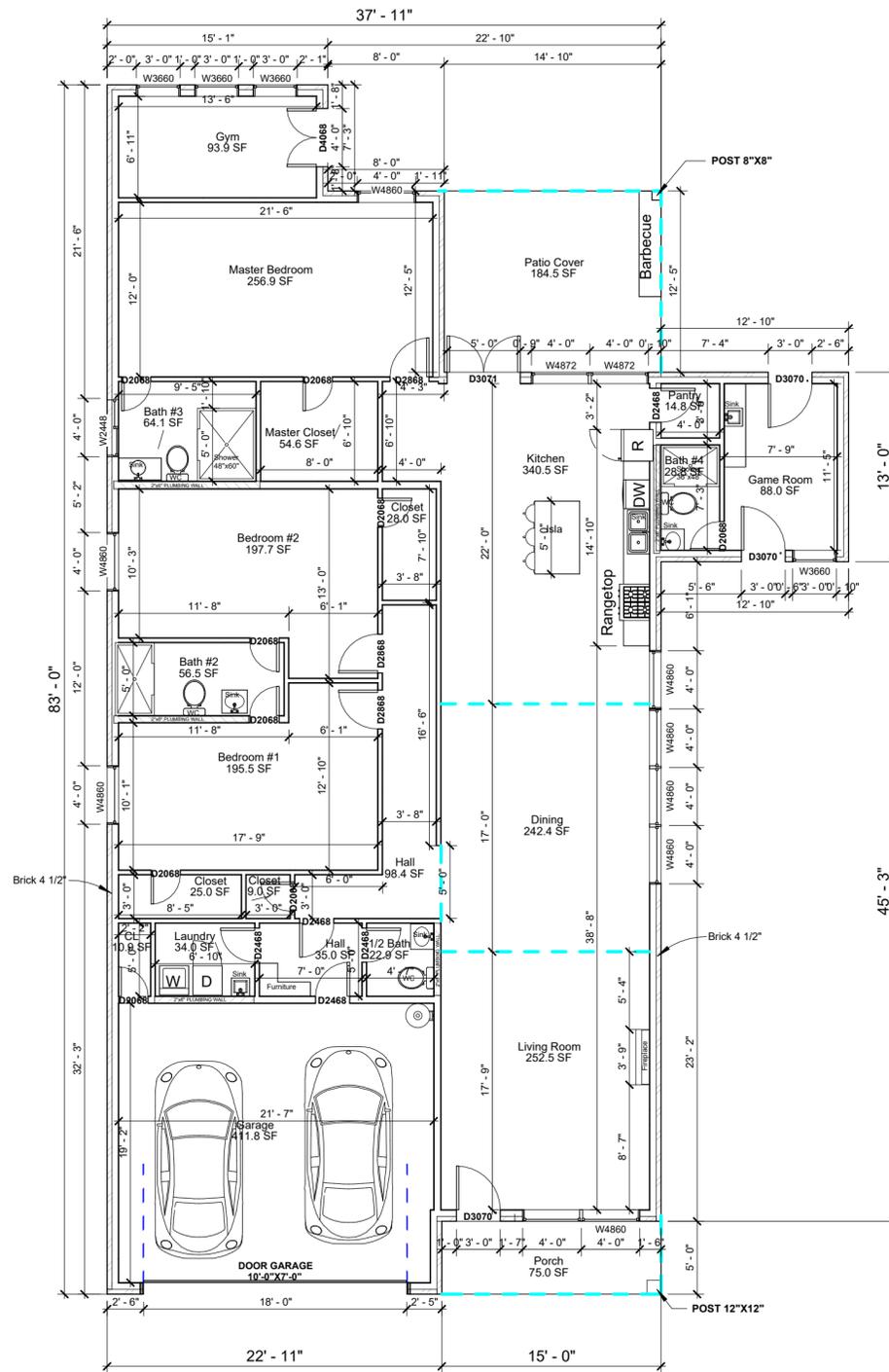
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**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

| ELEVATIONS                               |              |
|------------------------------------------|--------------|
| Project number:                          |              |
| Date:                                    | 02/17/2024   |
| Scale:                                   | 1/8" = 1'-0" |
| Drawn by: Projects & Construction Araque |              |

11.1



# 1 Floor Plan

1/8" = 1'-0"

| Door Schedule    |             |            |          |         |
|------------------|-------------|------------|----------|---------|
| Phase Created    | Mark        | Type       | Width    | Height  |
| New Construction | D2068       | 24" x 80"  | 2' - 0"  | 6' - 8" |
| New Construction | D2468       | 28" x 80"  | 2' - 4"  | 6' - 8" |
| New Construction | D2868       | 32" x 80"  | 2' - 8"  | 6' - 8" |
| New Construction | D3070       | 36" x 84"  | 3' - 0"  | 7' - 0" |
| New Construction | D3071       | 60" x 84"  | 5' - 0"  | 7' - 0" |
| New Construction | D4068       | 48" x 80"  | 4' - 0"  | 6' - 8" |
| New Construction | DOOR GARAGE | 108" x 84" | 18' - 0" | 7' - 0" |
| Grand total: 23  |             |            |          |         |

| Window Schedule  |       |               |         |         |
|------------------|-------|---------------|---------|---------|
| Phase Created    | Mark  | Type          | Height  | Width   |
| New Construction | W2448 | 0915 x 1220mm | 2' - 0" | 4' - 0" |
| New Construction | W3660 | 36"x60"       | 5' - 0" | 3' - 0" |
| New Construction | W4860 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4860 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4868 | 48"x60"       | 5' - 0" | 4' - 0" |
| New Construction | W4872 | 48"x72"       | 6' - 0" | 4' - 0" |
| Grand total: 16  |       |               |         |         |



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**Project Name & Address**  
EVANS ROAD

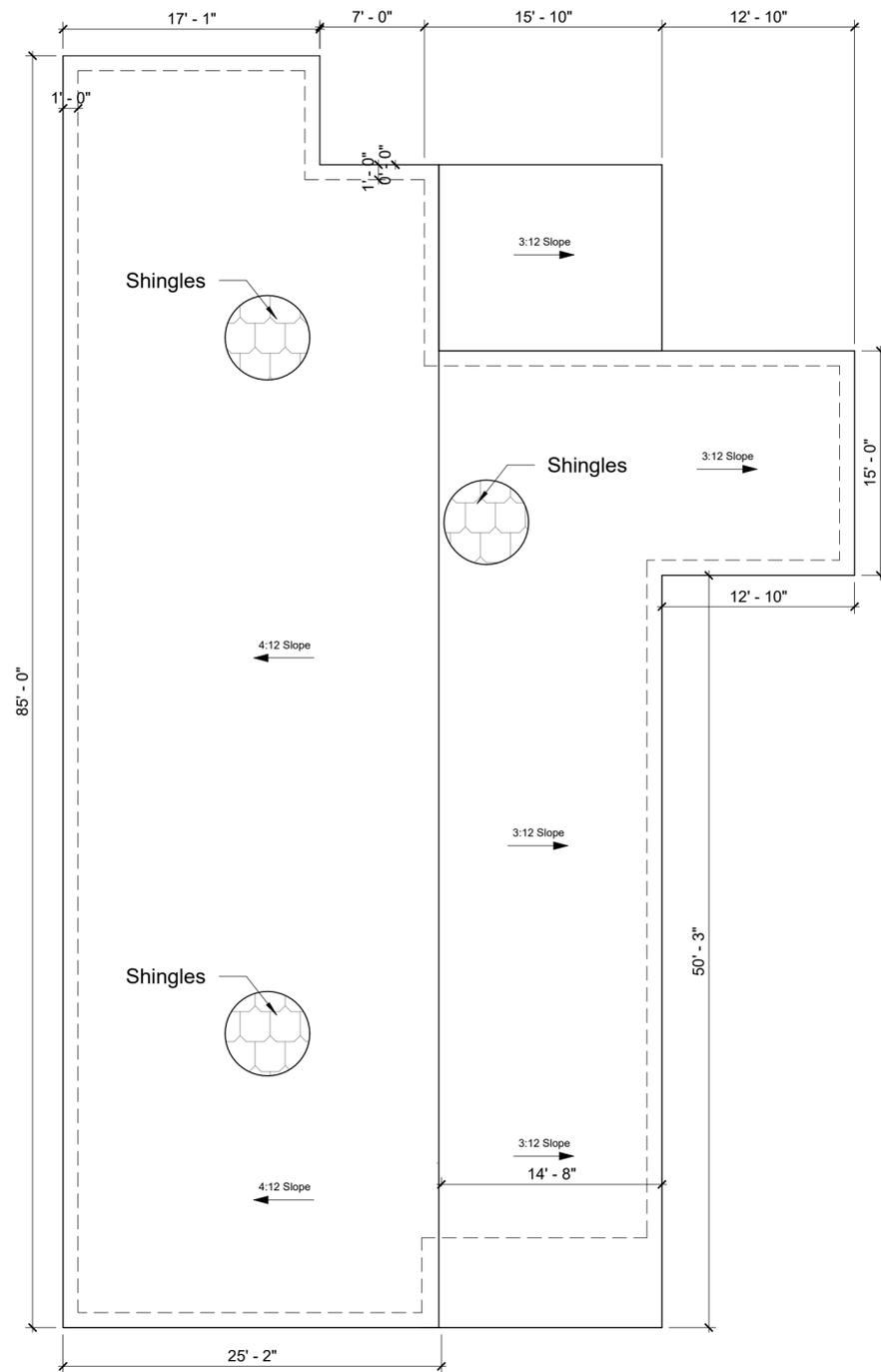
**Legal Description**  
LOT 1179

## FLOOR PLAN

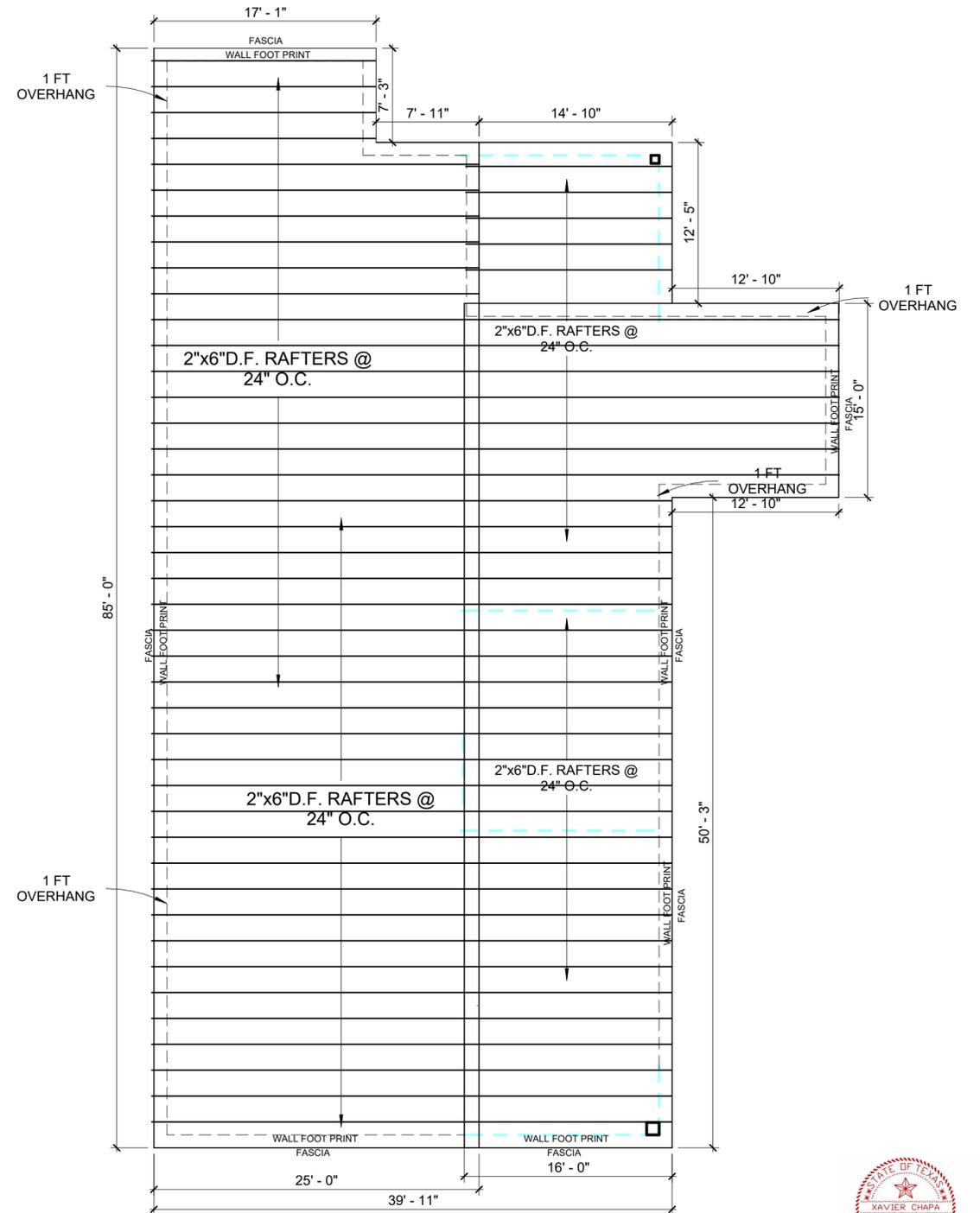
Project number:

Date: 02/17/2024 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



**1 Roof**  
1/8" = 1'-0"



**2 Rafter Roof**  
1/8" = 1'-0"

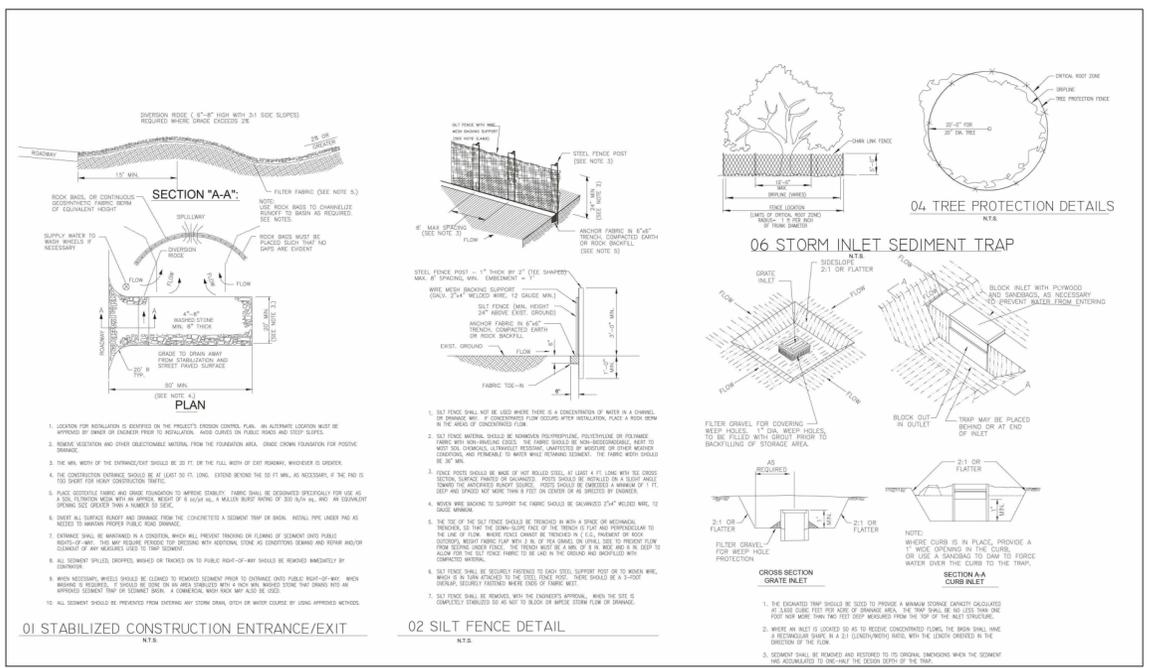
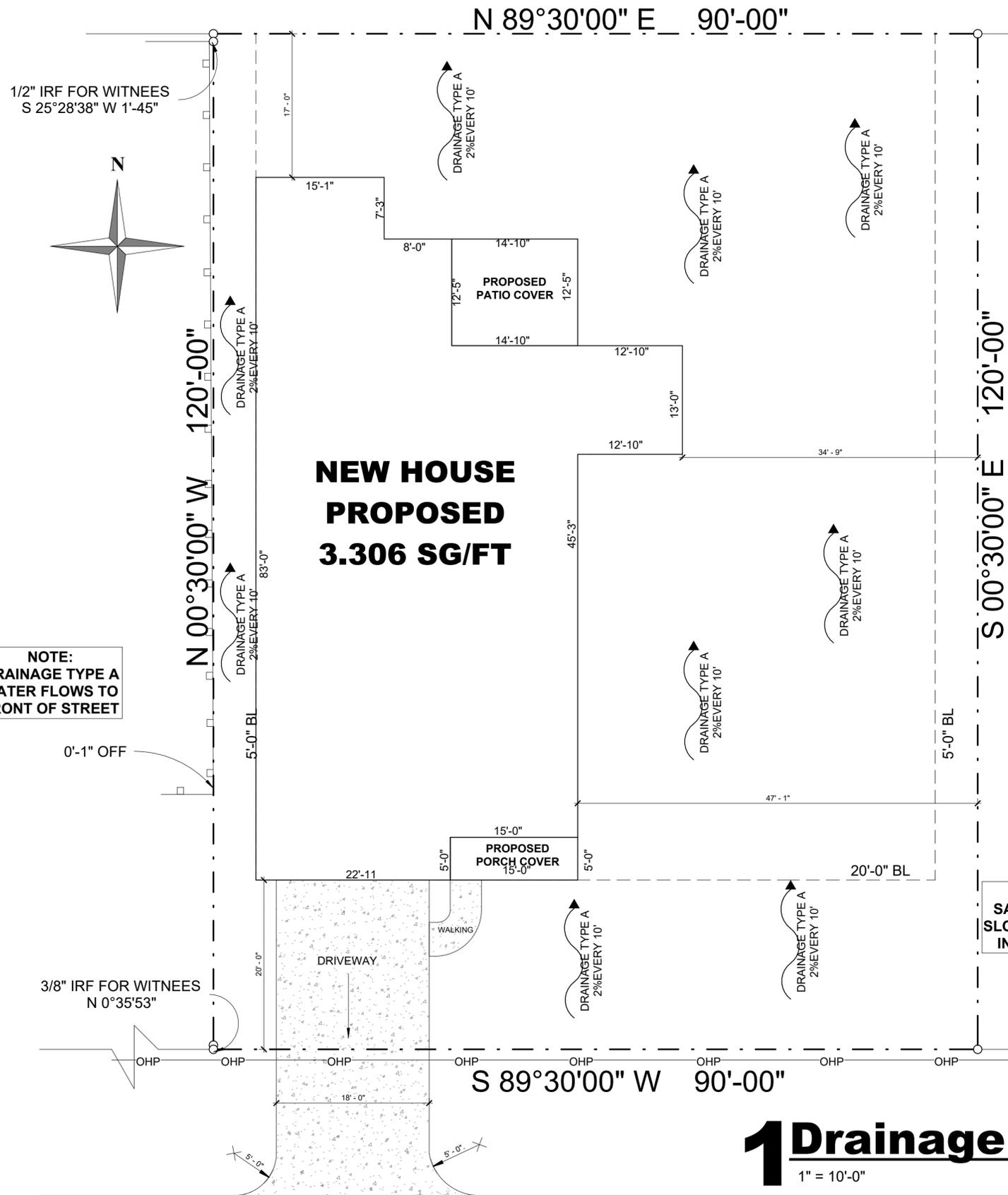


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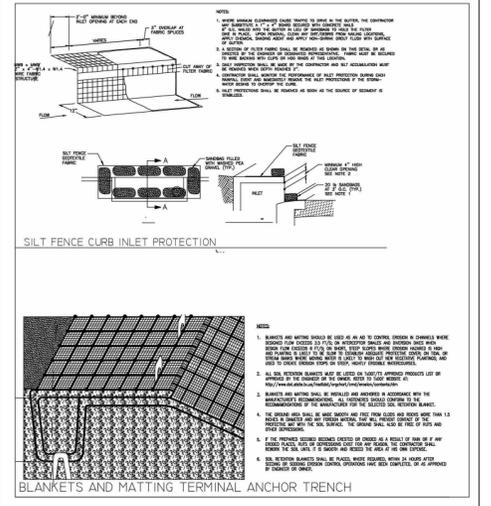
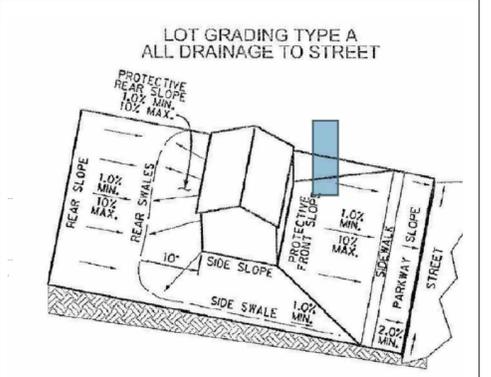
**Project Name & Address**  
EVANS ROAD  
**Legal Description**  
LOT 1179

**ROOF**  
Project number:  
Date: 02/17/2024 Scale 1/8" = 1'-0"  
Drawn by: Projects & Construction Araque



**PROPOSED LOT DRAINAGE**

Single family lots must be graded in conformance with the grading plan established for the subdivision where applicable, and should normally follow FHA lot grading patterns shown on the right. Types A and B are preferred but Type C (all drainage to rear) but a swale is required at the bottom of the yard to intercept runoff if the rear yard exceeds 2%. Runoff must be picked up in a street right-of-way or drainage easement after crossing more than two neighboring lots. Any exception to these conditions will be subject to special approval and inspections. The lot must be graded to provide a finished floor elevation 12 above the surrounding land and crown of street, and drain away from the foundation as shown below. Final grading must provide a minimum of four (4) inches of top soil outside of the foundation and other hard surfaces, in order to sustain vegetation after construction is complete.



**EVANS ROAD**  
50' R.O.W.

**1 Drainage Plan**  
1" = 10'-0"



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**Project Name & Address**  
EVANS ROAD

**Legal Description**  
LOT 1179

**DRAINAGE PLAN**

Project number:  
Date: 02/17/2024 Scale 1" = 10'-0"  
Drawn by: Projects & Construction Araque



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

| ADDRESS           | HOUSING TYPE       | YEAR BUILT | HOUSE SF | ACCESSORY BUILDING | EXTERIOR MATERIALS |
|-------------------|--------------------|------------|----------|--------------------|--------------------|
| 302 Evans Road    | Modular Home       | 1985       | 1,104    | N/A                | Siding             |
| 310 Evans Road    | Modular Home       | 1999       | 1,856    | N/A                | Siding             |
| 322 Evans Road    | Single-Family Home | 1995       | 1,324    | 90                 | Siding             |
| 340 Evans Road    | Vacant             | N/A        | N/A      | N/A                | N/A                |
| 358 Evans Road    | Single-Family Home | 1975       | 1,152    | 1350               | Brick and Siding   |
| 376 Evans Road    | Modular Home       | 1998       | 2,384    | N/A                | Siding             |
| 388 Evans Road    | Modular Home       | 1980       | 1,391    | 90                 | Siding             |
| 400 Evans Road    | Modular Home       | 1974       | 1,148    | 168                | Siding             |
| 552 Russell Drive | Modular Home       | 2003       | 1,560    | 144                | Siding             |
| 547 Wayne Drive   | Modular Home       | 1998       | 1,444    | 400                | Siding             |
| 548 Wayne Drive   | Modular Home       | 1984       | 2,558    | 192                | Siding             |
| 541 Yvonne Drive  | Modular Home       | 2003       | 1,276    | 168                | Siding             |
| 544 Yvonne Drive  | Modular Home       | 1970       | 940      | 240                | Siding             |
| AVERAGES:         |                    | 1989       | 1,511    | 316                |                    |



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

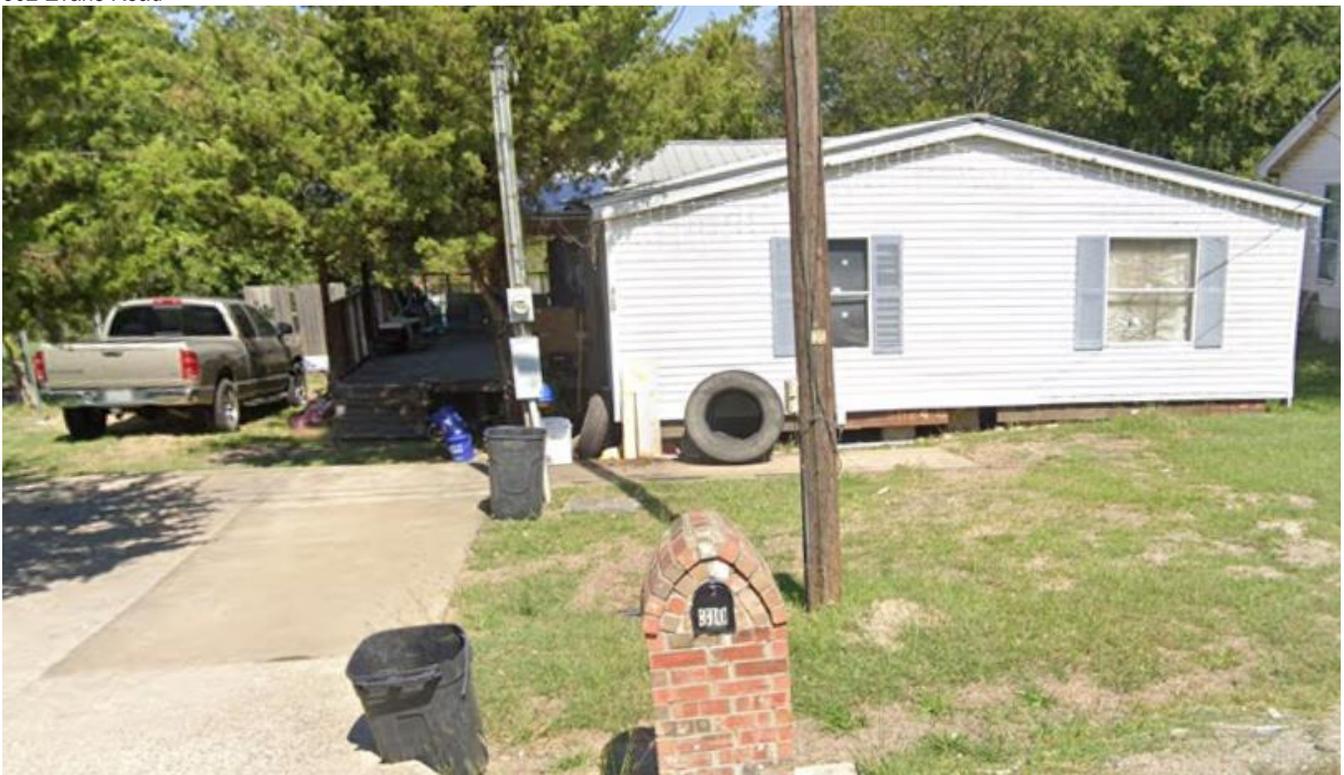
**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



302 Evans Road



310 Evans Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



322 Evans Road



340 Evans Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

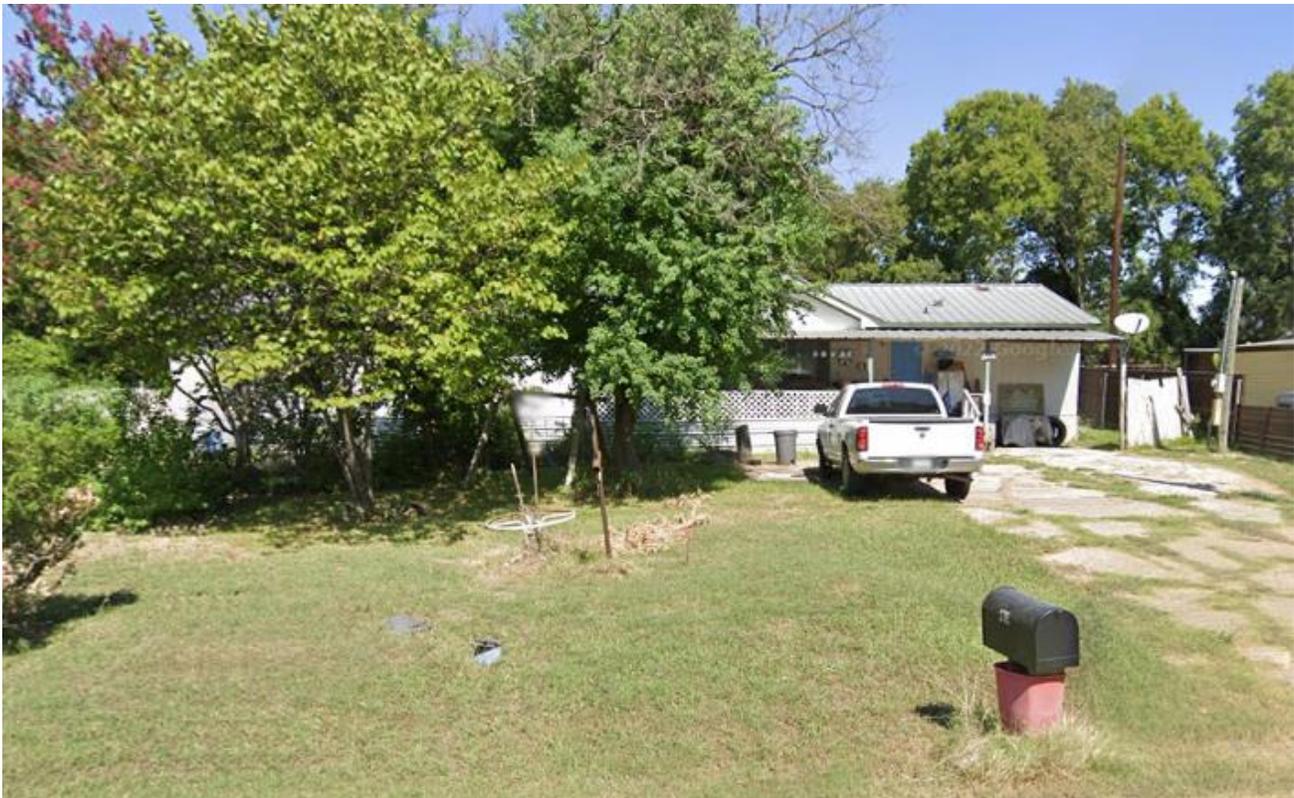
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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



358 Evans Road



376 Evans Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

## PLANNING AND ZONING DEPARTMENT

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



388 Evans Road



400 Evans Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

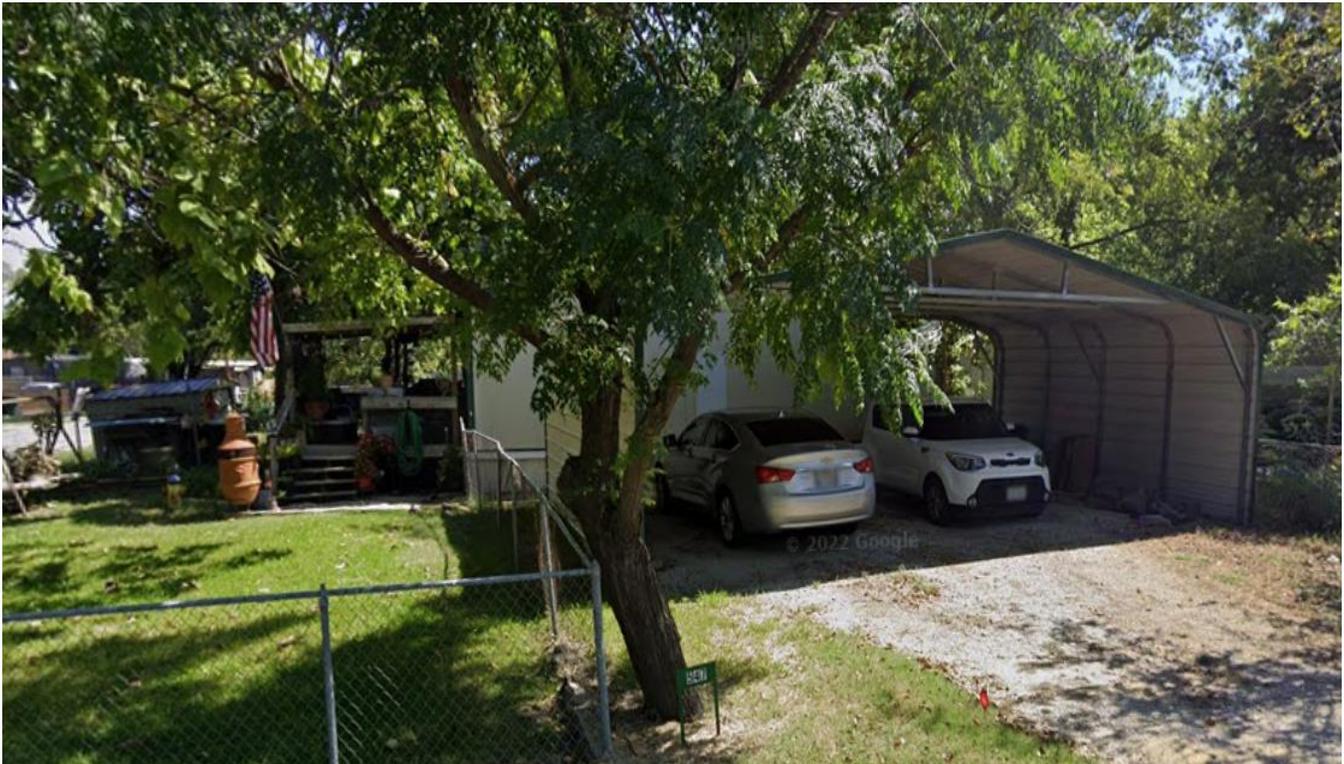
**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



552 Russell Drive



547 Wayne Drive



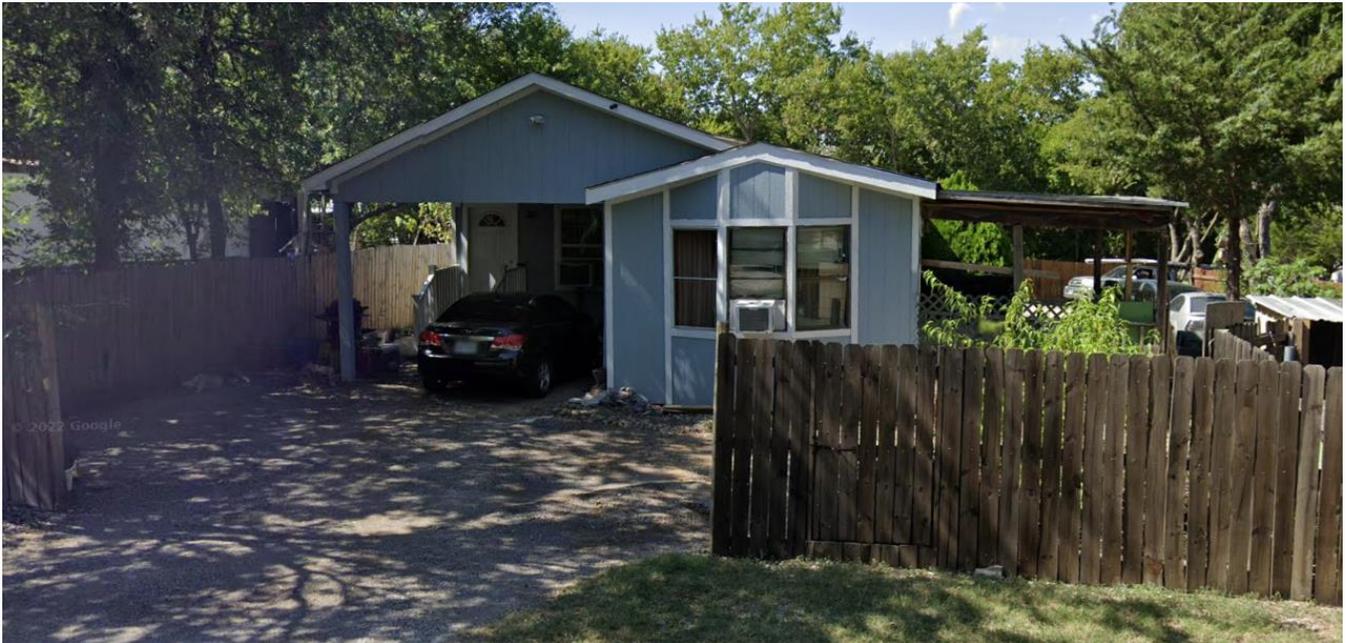
## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



548 Wayne Drive



541 Yvonne Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



544 Yvonne Drive

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1180 AND ALL OF LOT 1179 OF THE LAKE ROCKWALL ESTATES PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Paul Arce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 340 Evans Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 75 (PD-75) [Ordinance No. 16-01] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) The applicant shall be required to replat the subject property prior to the issuance of a Building Permit.
- 4) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 6<sup>th</sup> OF MAY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

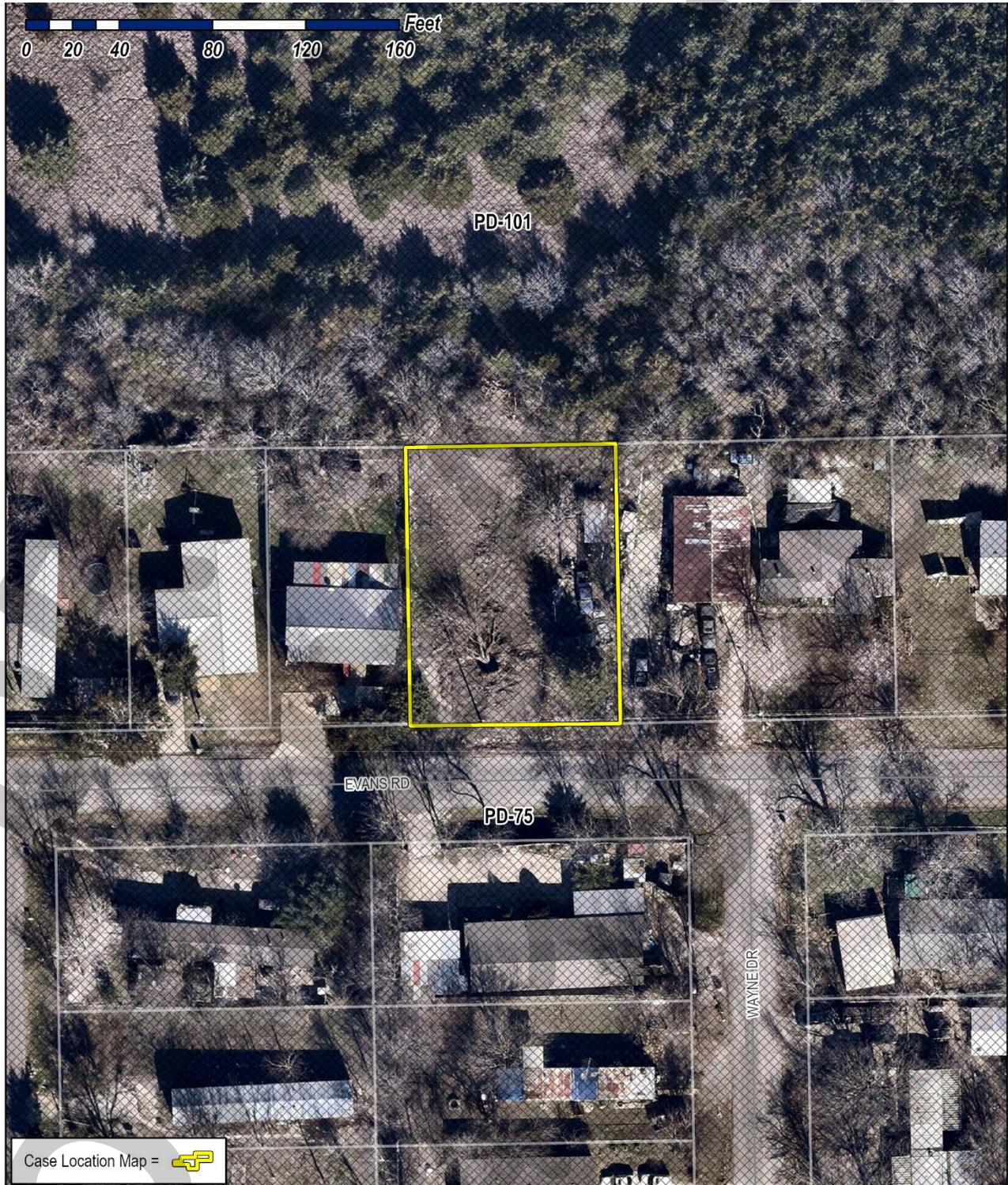
1<sup>st</sup> Reading: April 15, 2024

2<sup>nd</sup> Reading: May 6, 2024

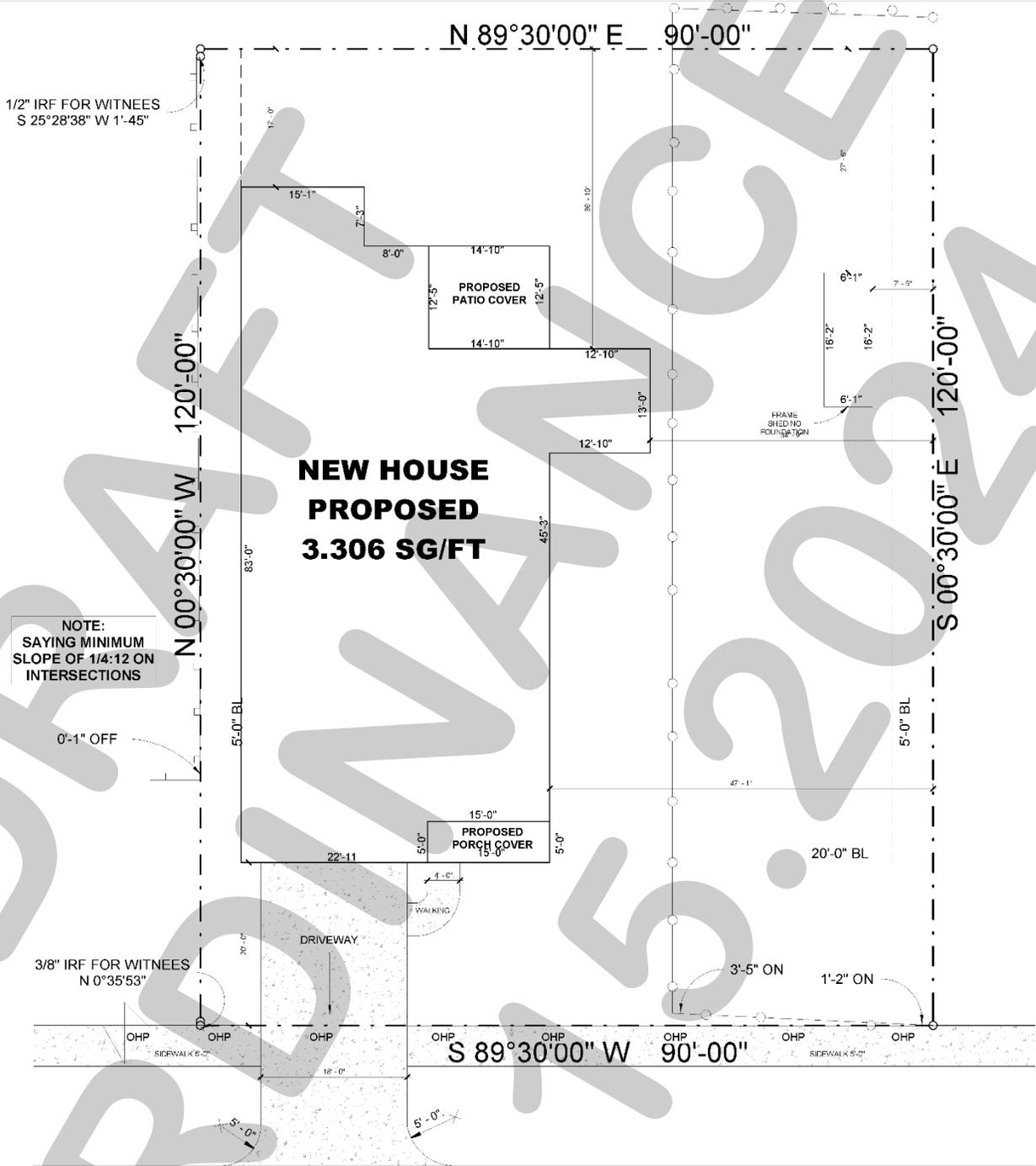
**Exhibit 'A':**  
**Location Map and Residential Plot Plan**

Address: 340 Evans Road

Legal Description: Portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates Phase 2 Addition



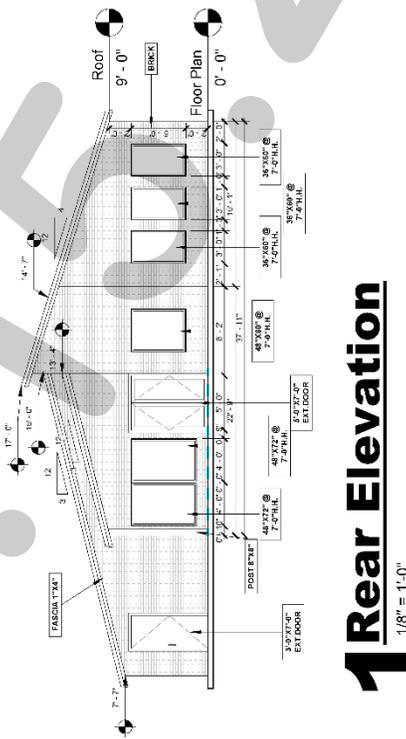
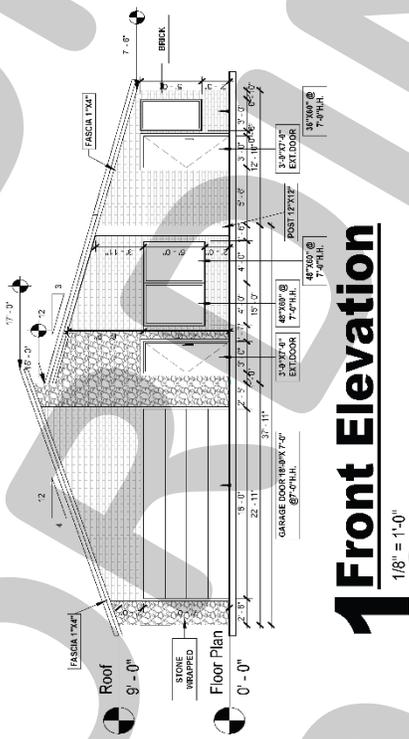
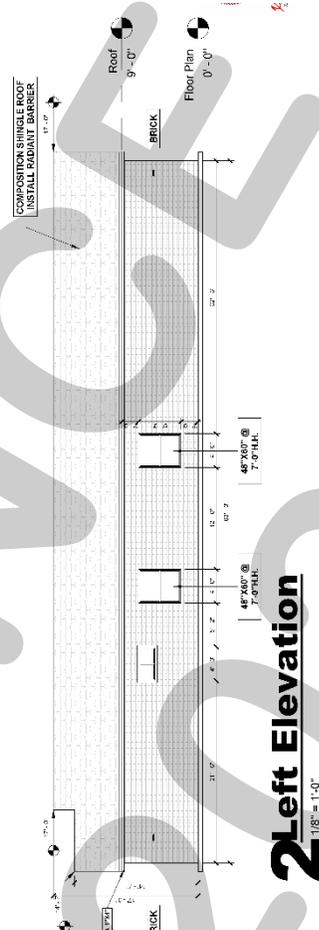
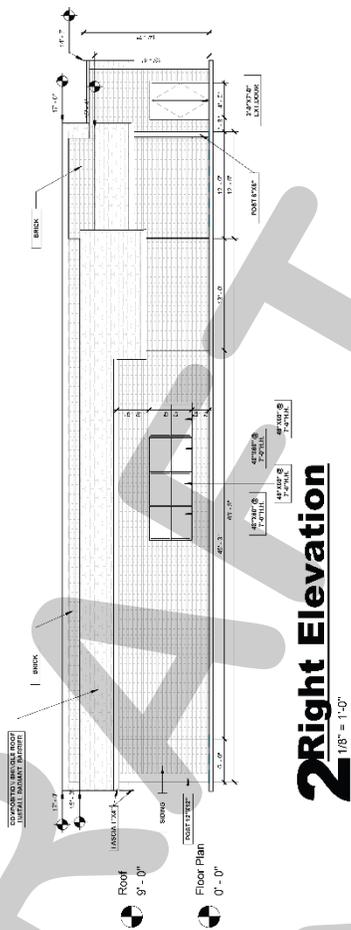
**Exhibit 'A':**  
**Location Map and Residential Plot Plan**



**1 Site Plan**  
**1" = 10'-0"**

**EVANS ROAD**  
 50' R.O.W.

Exhibit 'B':  
Building Elevations





DATE: May 16, 2024

TO: Paul Arce  
18601 LBJ Freeway  
Suite 250  
Mesquite, TX 75150

CC: Shirley Soto  
453 Lynne Drive  
Rockwall, TX 75032

FROM: Angelica Guevara  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2024-013; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 340 Evans Road*

Mr. Arce:

This letter serves to notify you that the above referenced platting case that you submitted for consideration by the City of Rockwall was approved by the City Council on May 6, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant is responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
  - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
  - (c) The applicant shall be required to replat the subject property prior to the issuance of a Building Permit.
  - (d) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

Planning and Zoning Commission

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 7-0.

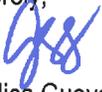
City Council

On April 15, 2024, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

On May 6, 2024, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 6-0, with Council Member Lewis absent.

Included with this letter is a copy of Ordinance No. 24-16, S-331, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6438.

Sincerely,



Angelica Guevara, *Planning Technician*  
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 24-16

SPECIFIC USE PERMIT NO. S-331

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1180 AND ALL OF LOT 1179 OF THE LAKE ROCKWALL ESTATES PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Paul Arce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 340 Evans Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [Ordinance No. 16-01] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

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## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.
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## 2.2 COMPLIANCE

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the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

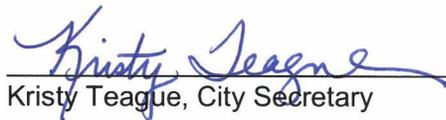
**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6<sup>th</sup> DAY OF MAY, 2024.**



Trace Johannesen, Mayor

**ATTEST:**



Kristy Teague, City Secretary



**APPROVED AS TO FORM:**



Frank J. Garza, City Attorney

1<sup>st</sup> Reading: April 15, 2024

2<sup>nd</sup> Reading: May 6, 2024

**Exhibit 'A':**  
*Location Map and Residential Plot Plan*

Address: 340 Evans Road

Legal Description: Portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates Phase 2 Addition



**Exhibit 'A':**  
*Location Map and Residential Plot Plan*

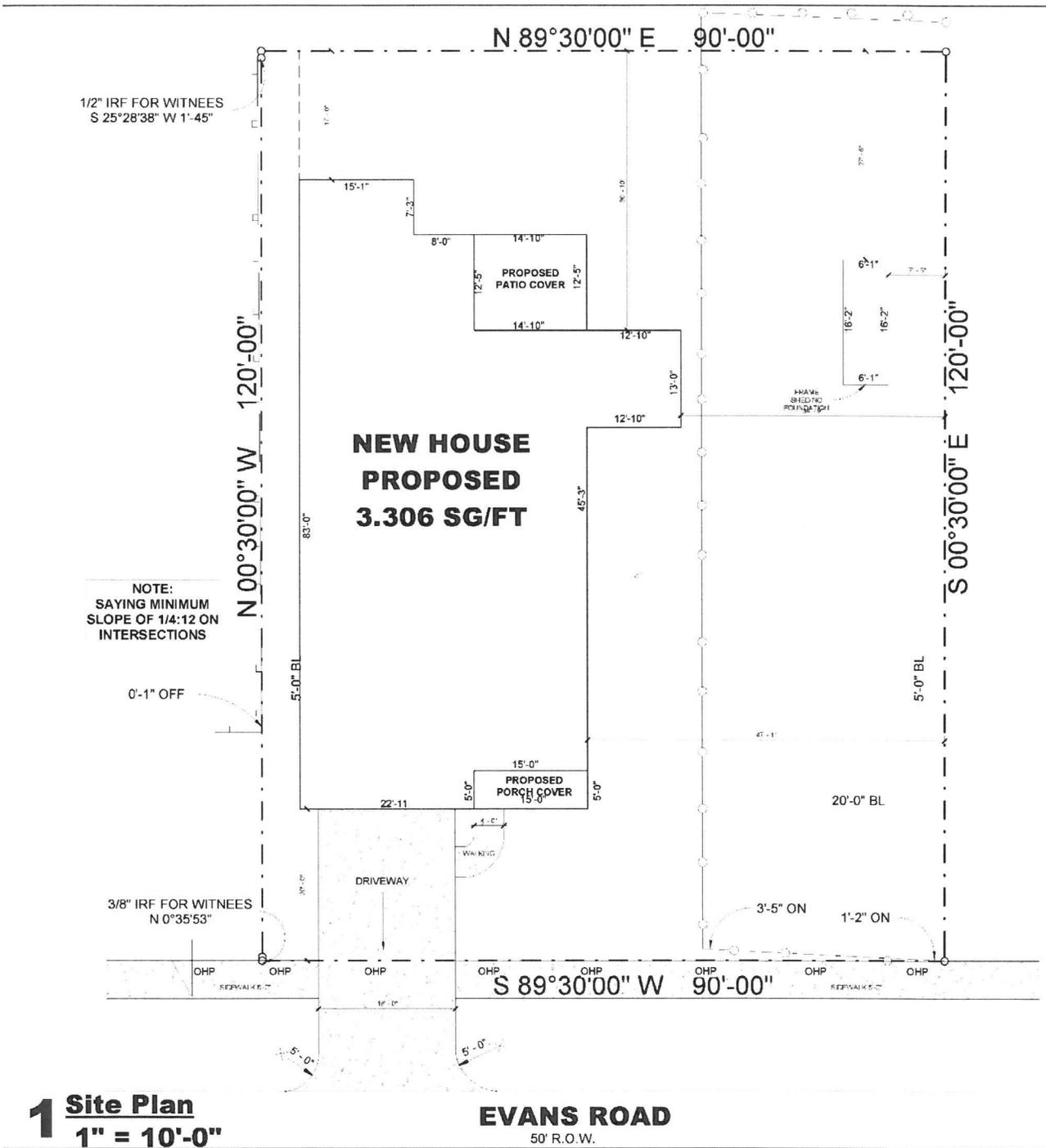


Exhibit 'B':  
Building Elevations

